

# Notice of Proposed Zoning Amendment Bylaw - No Public Hearing

## Zoning Amendment Bylaw No. 8960, 2024

### 120-128 East 14<sup>th</sup> Street

**Purpose:** The purpose of the proposed Bylaw is to rezone the subject property from a Central Lonsdale Mixed Use B (C-1B) Zone to a Comprehensive Development 760 (CD-760) Zone to permit the development of a 21-storey, residential (164 strata units) and commercial (retail and office) mixed-use building.

**Subject Lands:** The lands that are the subject of the proposed Bylaw are shown on the inset map, with a civic address of 120-128 East 14<sup>th</sup> Street.

Legal Description: Lot 9, Block 50, DL 549, Plan 5938  
Lot 10, Block 50, DL 549, Plan 5938



**Bylaw Readings:** Consideration of first, second and third readings of the proposed Bylaw will be at the **Regular Council Meeting on May 6, 2024.**

**Access Documents:** A copy of the proposed Bylaw is available for inspection online anytime at [cnv.org/PublicNotices](https://cnv.org/PublicNotices) from April 24 to May 6, 2024.

**Provide input:** **Written submissions only, including your name and address,** may be addressed to the Corporate Officer and sent by email to [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than noon on Monday, May 6, 2024,** to ensure availability to Council at the meeting. No Public Hearing will be held, as it is prohibited by section 464(3) of the *Local Government Act*. **No public in-person or online submissions on this matter will be heard at the Council meeting.**

**Watch the Meeting:** Online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming) or in person at City Hall, 141 West 14<sup>th</sup> Street. Enter City Hall from 13<sup>th</sup> Street after 5:30pm.

**Questions?** Matthew Menzel, Planner, [planning@cnv.org](mailto:planning@cnv.org) / 604-982-9675



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Matthew Menzel, Planner 3

Subject: REZONING APPLICATION: 120-128 EAST 14<sup>TH</sup> STREET (THREE SHORES MANAGEMENT, CD-760) AND TEXT AMENDMENT: CENTENNIAL THEATRE, 2300 LONSDALE AVENUE, 116 EAST 23<sup>RD</sup> STREET AND NORSEMAN PARK (HJNL, CD-165)

Date: April 24, 2024 File No: 08-3400-20-0075/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 3, dated April 24, 2024, entitled "Rezoning Application: 120-128 East 14<sup>th</sup> Street (Three Shores Management, CD-760) and Text Amendment: Centennial Theatre, 2300 Lonsdale Avenue, 116 East 23<sup>rd</sup> Street and Norseman Park (HJNL, CD-165)":

THAT the application submitted by Three Shores Management to rezone the property located at 120-128 East 14<sup>th</sup> Street from a C-1B Zone to a Comprehensive Development Zone and to amend the CD-165 Zone to facilitate a density transfer, be considered with no Public Hearing held, in accordance with the *Local Government Act, section 464(3) [public hearing prohibited]*;

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 8960" (Three Shores Management, 120-128 East 14<sup>th</sup> Street, CD-760 (the Density Receiver Site)) and Text Amendment to Centennial Theatre, 2300 Lonsdale Avenue, 116 East 23<sup>rd</sup> Street, and Norseman Park (HJNL, CD-165) be considered for first, second and third readings with no Public Hearing held, in accordance with the *Local Government Act, section 464(3) [public hearing prohibited]*;

THAT the community benefits listed in the report section "Density Bonus and Community Benefits" be secured through agreements at the applicant's expense and to the satisfaction of staff;



AND THAT the Mayor and Corporate Officer be authorized to sign the required legal agreements including an encroachment agreement to permit solar shades, which are permanently affixed to the proposed building and encroach over City property, and any other necessary documentation to give effect to the motion.

**ATTACHMENTS**

- 1. Context Map (CityDocs [#2332844](#))
- 2. Architectural Plans, dated May 26, 2023 (CityDocs [2487429](#))
- 3. Landscape Plans, dated May 26, 2023 (CityDocs [2372519](#))
- 4. Advisory Design Panel Resolution, dated November 26, 2021 (CityDocs [#2164065](#))
- 5. Integrated Transportation Committee Resolution, dated February 2, 2022 (CityDocs [#2169119](#))
- 6. Developer Information Session Summary (CityDocs [#2174121](#))
- 7. Updated Public Notification Report (CityDocs [2478328](#))
- 8. Overview of Variances to Zoning and Parking Provisioning (CityDocs [#2376274](#))
- 9. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 8960" (CityDocs [#2332897](#))

**SUMMARY**

The purpose of this report is to present a rezoning application for the property located at 120-128 East 14<sup>th</sup> Street (the "subject site") to amend the Zoning Bylaw to permit a 21-storey mixed-use commercial and residential development. The proposal would replace the existing commercial buildings.

Also included in the proposal is a transfer of density from the CD-165 zone in respect of the Harry Jerome Community Recreation Centre Lands to the subject site to facilitate the redevelopment.

*Table 1. Project Information*

Applicant:	Three Shores Management
Architect:	Integra Architecture
Official Community Plan Designation:	Mixed Use Level 4B (MU4B)
Existing Zoning:	Central Lonsdale Mixed Use B (C-1B) Zone
Applicable Guidelines:	N/A

**DISCUSSION**

**Site and Surrounding Uses**

This 1,457 square metre (15,691 square foot) site is located mid-block along the 100 block of East 14<sup>th</sup> Street, with a frontage of 34 metres (111.5 feet) along East 14<sup>th</sup> Street. Surrounding uses are provided in Table 2.

**Table 2. Surrounding Uses**

Direction	Address	Zoning	Description	OCP
North (across lane)	1440-1460 Lonsdale Ave & 121-137 E 15th St 143 E 15th St & 1441 St Georges Ave	Commercial (C-1A & C-1B) Comprehensive Development (CD-691)	1 to 3-storey commercial 16 & 23-storey mixed-use (rental residential)	Mixed Use – Level 4B (High Density) Max. 3.0 FSR with 1.0 FSR bonus density Max. Height 68m (approx. 22 storeys)
South (across E 14 <sup>th</sup> St)	1318-1356 Lonsdale Ave & 109-111 E 14 <sup>th</sup> St 119-127 E 14 <sup>th</sup> St 147 E 14 <sup>th</sup> St	Commercial (C-1A) Comprehensive Development (CD-631) Comprehensive Development (CD-0166)	1 to 3-storey commercial 24-storey mixed-use 3-storey civic	Mixed Use – Level 4B (High Density) Max. 3.0 FSR with 1.0 FSR bonus density Max. Height 68m (approx. 22 storeys)
East	140 E 14 <sup>th</sup> St 150-160 E 14 <sup>th</sup> St & 1401-1419 St Georges Ave	Commercial (C-1B) Comprehensive Development (CD-079)	12-storey mixed-use 11-storey mixed-use	Mixed Use – Level 4B (High Density) Max. 3.0 FSR with 1.0 FSR bonus density Max. Height 37m (approx. 12 storeys)
West (across lane)	108-116 E 14 <sup>th</sup> St & 1400-1434 Lonsdale Ave	Commercial (C-1A)	10-storey mixed-use	Mixed Use – Level 4B (High Density) Max. 3.0 FSR with 1.0 FSR bonus density Max. Height 68m (approx. 22 storeys)

## Proposal

The application proposes a 21-storey mixed-use building, with two levels of commercial uses, including retail and services at ground level, office commercial uses at level 2, and 19 levels of strata residential units within the upper levels. Parking access is provided off the rear lane to the north. Table 3 provides an overview of the proposed development.

**Table 3. Development Proposal Overview**

Element	Proposal
Density	9.98 FSR
Commercial Retail & Office Space	A total of 1,371 square metres (14,759 square feet) or 0.94 FSR.
Unit Mix	164 residential strata units, including: <ul style="list-style-type: none"> <li>• 18 studio units;</li> <li>• 71 one-bed units;</li> </ul>



Element	Proposal
	<ul style="list-style-type: none"> <li>• 54 two-bed units; and</li> <li>• 21 three-bed units (12.8%).</li> </ul>
<b>Adaptable Units</b>	41, Level 2 adaptable units (25%), comprised of: <ul style="list-style-type: none"> <li>• 6 studio units;</li> <li>• 18 one-bed units; and</li> <li>• 17 two-bed units.</li> </ul>
<b>Residential Amenity</b>	Indoor – 219.6 sq. m. or 2,364 sq. ft.; and Outdoor – approx. 255 sq. m. or 2,750 sq. ft.

### Policy Context and Planning Analysis

The subject site is designated Mixed Use Level 4B (High Density) in the Official Community Plan (OCP). A maximum height of 68 metres (approximately 22 storeys) is permitted.

This designation allows for a mix of higher density multi-family and commercial uses with a maximum density of 4.0 FSR (including 1.0 bonus FSR). Consistent with section 2.3 of the OCP, City Council may authorize a density transfer between properties, which permits an additional density above the maximum, to facilitate a preferable form of development. The proposal will involve a density transfer, which is discussed further below.

#### **Land Use**

The proposed mix of commercial and residential uses are appropriate along the Central Lonsdale corridor, which is envisioned as a key growth corridor in the City.

The ground floor retail space, as well as second floor office commercial uses, are supported, as they would contribute to the vibrancy and economic development of Central Lonsdale.

The proposed strata residential use meets the policy objective of increasing diverse housing stock within the City. The proposed mix of unit types meets directions of the Housing Action Plan, including delivery of a minimum of 10% as three-bedroom units to support families. The proposal also meets the Zoning Bylaw minimum requirement for 25% of units designed to Level 2 Adaptable Design.

#### **Built Form & Urban Design**

The proposed built form is consistent with the character of the neighbourhood. The proposed height at 68 metres (21 storeys) complies with the OCP and ensures the building integrates with existing and future developments on nearby lots, as well as establishes an appropriate commercial podium wall along East 14<sup>th</sup> Street.

Tower positioning has been considered to ensure that the project will meet the minimum 24.4 metre (80 feet) building separation to surrounding towers within proximity to the subject site.

Extensive glazing treatments within the design of ground floor retail and commercial uses will activate the streetscape (both along East 14<sup>th</sup> Street and the north-south laneway). The development will also deliver a publicly accessible courtyard along the laneway to provide a gathering place for the community. This courtyard, along with a publicly accessible sidewalk, will be secured for public use through statutory rights of way (SRW) agreements.

The proposal will also involve an encroachment into the East 14<sup>th</sup> Street road right of way, for an architectural building feature which will function as a solar shade and weather protection for pedestrians using the City's footpath network. The encroachment will be authorized by an encroachment agreement.

A high level of laneway activation and casual surveillance is also achieved through: incorporating glazing treatments to the western elevation of the retail corner; inclusion of the publicly accessible courtyard adjacent to the laneway; orientation of windows from the level two office tenancies to the west; positioning of the short term bicycle spaces adjacent to the laneway; and orientating the communal outdoor amenity area towards the laneway.

### ***View Impacts and Tower Separation***

The tower positioning and floor plate have been designed to minimize potential impacts on view corridors to the fullest extent possible. This is addressed through floorplates that have a narrow width of 19.8 metres (65 feet) to the northern and southern elevations, which is less than the 30.48 metres (100 feet) prescribed for the C-1B zone.

It is important to consider that any decrease in building height would result in a wider floorplate, causing more adverse impacts on view corridors. The slender tower format is deemed appropriate as it will lessen impacts on view corridors for surrounding residents.

While there is likely to be some impact on existing views, the OCP does not guarantee that views will be preserved through redevelopment that is anticipated in the City. This is especially true in the Regional City Centre that is envisaged to accommodate regional-scale employment, services, business and commercial activities, along with high density housing.

### ***Density***

The proposed density is 9.98 FSR and consists of two components:

1. The OCP permits a maximum density of 4.0 FSR (including 1.0 FSR bonus density) for the Mixed Use Level 4B land use designation; and
2. A density transfer is proposed to add an additional 8,710 square metres (93,754 square feet) of density, being 5.98 FSR.

In accordance with Section 2.3 of the OCP, City Council may authorize a density transfer between properties, which permits additional density above the maximum specified in the OCP being achieved on a site, where the building height limits are not



exceeded. This process does not require an OCP amendment, as such transfers do not involve an increase in the total development potential in the City, but rather the relocation of density allowance from one parcel to another.

The transferred density is from the CD-165 zone in respect of the lands being developed for the City's new Harry Jerome Community Recreation Centre, and will allow for the delivery of new employment generating uses and residential strata units, which would contribute to economic growth along the Lonsdale Corridor and provide new housing stock in the City.

There are few locations in the City's Mixed Use Level 4B (Medium Density) land use designations that can accommodate additional (i.e. transfer) density without the resultant building forms exceeding the height limits established in the OCP. The subject site is one of those few locations. The OCP allows for a maximum of 68 metres (approximately 22 storeys) on the subject site. The proposed increase in density will not result in an increase in building height beyond what is permitted by the OCP.

In summary, based on staff support of the built form and urban design of the proposal, the total proposed density on the site is also supported. The proposed density transfer is discussed in greater depth below.

### ***Zoning Variances***

The proposed Comprehensive Development Zone will be based off of the Central Lonsdale Mixed Use B (C-1B) Zone, and is consistent with the current zoning of the subject site and surrounding land. To allow the massing, the proposed bylaw would include the modifications to the C-1B zone base density, building height, lot coverage, flanking lane siting, rear boundary setback and building width. A table summary and overview of the proposed zoning changes is included as Attachment 8 to this report.

### ***Transportation, Parking and Loading***

The site is located in the Lonsdale Regional City Centre, with shops and amenities within a short walking distance. Transit access is provided on two Frequent Transit Routes providing strong connections along Lonsdale Avenue, to Lynn Valley Centre and to Downtown Vancouver.

The application proposes vehicle access to the underground parkade from the northern lane. Three loading bays are also provided adjacent to this lane. The loading design would ensure that all commercial and residential loading would be undertaken on-site and would not impact the functionality of the surrounding road network.

Table 4 provides a summary and overview of the proposed car parking provisioning associated with the project:

**Table 4. Proposed Vehicle and Bicycle Parking**

<p><b>Car Parking</b></p>	<p><b>Provided</b> Total of 184 spaces, comprised of:</p> <ul style="list-style-type: none"> <li>• 153 resident parking spaces (including 8 disability spaces);             <ul style="list-style-type: none"> <li>○ 0.93 spaces per unit;</li> </ul> </li> <li>• 13 residential visitor spaces;</li> <li>• 15 commercial spaces (including one disability spaces);</li> <li>• 3 shared residential visitor / commercial spaces.</li> </ul>	<p><b>Required by Zoning Bylaw</b></p> <ul style="list-style-type: none"> <li>• 172 resident spaces, including 16 visitor parking spaces (156 resident spaces excluding visitor spaces);</li> <li>• 18 commercial spaces.</li> </ul>
<p><b>Bicycle Parking</b></p>	<p><b>Provided</b> Residential:</p> <ul style="list-style-type: none"> <li>• Secure – 246 spaces;</li> <li>• Short Term – 16 spaces.</li> </ul> <p><i>Note:</i></p> <ul style="list-style-type: none"> <li>○ 47 of the secure bicycle spaces are provided in the P2 level.</li> <li>○ 31 of the 246 secure spaces have been provided for larger cargo bikes.</li> </ul> <p>Commercial:</p> <ul style="list-style-type: none"> <li>• Secure – 6 spaces;</li> <li>• Short Term – 8 spaces.</li> </ul>	<p><b>Required by Zoning Bylaw</b> Residential:</p> <ul style="list-style-type: none"> <li>• Secure – 246 spaces;</li> <li>• Short Term – 16 spaces.</li> </ul> <p>Commercial:</p> <ul style="list-style-type: none"> <li>• Secure – 6 spaces;</li> <li>• Short Term – 8 spaces.</li> </ul>
<p><b>Loading Spaces</b></p>	<p>3 at-grade loading spaces, comprised of:</p> <ul style="list-style-type: none"> <li>• One full sized loading space (i.e. 2.7m x 9.15m); and</li> <li>• 2 smaller passenger vehicle sized loading spaces (i.e. 2.7m x 5.5m).</li> </ul>	<p><b>Required by Zoning Bylaw</b> One loading space.</p>

Overall, the application generally meets the parking and loading requirements of the Zoning Bylaw apart from some minor variances to resident, commercial and visitor parking. These variances are supported by staff. An overview of the proposed parking variances are included as part of Attachment 8 to this report.

**Traffic Impacts**

A Transportation Study was completed for the proposed development and demonstrates that the surrounding road network and intersections can accommodate the future traffic from the development with minimal additional delay. Traffic in the lane specifically will increase, since the proposed development will have increased parking accessed from the lane. The development will generate approximately 86 and 95 vehicle trips during the AM and PM peak hours respectively, however, with this additional traffic, the lane will still function as intended.



### ***Off-Site Works and Infrastructure Upgrades***

The proposed development will provide off-site streetscape upgrades, consistent with the City's Subdivision and Development Control Bylaw. This includes the reconstruction of the frontage works along East 14<sup>th</sup> Street with new sidewalk, street lighting, street furnishings, and a seating area. Existing street trees will be retained and additional street trees will be provided. The development will also repave East 14<sup>th</sup> Street and the adjoining laneways to the northern and western boundaries.

In addition to the bylaw required infrastructure upgrades, the applicant will complete the design and construction of a full traffic signal at the intersection of East 14<sup>th</sup> Street and St. Georges Avenue, and has agreed to make a financial contribution of \$59,621.00 towards future upgrades to the sanitary sewer main on East 14<sup>th</sup> Street.

These requirements will be secured through a Servicing Agreement with the City.

### **Density Bonus and Community Benefits**

In accordance with the Density Bonus and Community Benefits Policy, the application is eligible for density bonuses up to 4.0 FSR, in exchange for a community benefit contribution (CBC). The estimated value of the CBC is shown in Table 5.

**Table 5.** *Estimated Value of Community Benefits through Density Bonusing*

<b>Density Value Calculation</b>	<b>Value</b>
Density Bonus to 3.0 FSR / OCP Density (@ \$25 / sq. ft.)	\$156,910.00
Density Bonus to 4.0 FSR Max Bonus (@ \$190 / sq. ft.)	\$2,981,290.00
<b>Total Value of Community Benefits</b>	<b>\$3,138,200.00</b>

### ***Density Transfer***

As mentioned previously, this project includes the proposed purchase of transfer density from the new Harry Jerome Community Recreation Centre portion of the Harry Jerome Neighbourhood Lands as the density donor site (2300 Lonsdale Avenue and 116 East 23<sup>rd</sup> Street, CD-165), in accordance with Section 2.3 of the OCP. Such transfers reallocate density from one site to another and do not increase the overall density contemplated by the OCP.

The applicant is proposing to purchase 5.98 FSR (8,710 square metres or 93,754 square feet) of additional density from the City at the current market value of \$195 per buildable square foot. This will result in an estimated cash contribution of \$18,282,030 to be allocated towards the Civic Amenity Reserve Fund. The final contribution amount will be confirmed prior to final adoption of this rezoning based on the current market value rate.

The total monetary value that this project would generate, including CBC and density transfer purchase is \$21,420,230 as outlined in Table 6 below (including allocations).

**Table 6. Total Project Monetary Contribution and Allocation**

	Community Benefits	Density Transfer	Total
Civic Amenity Reserve Fund Contribution	\$2,510,560	\$18,282,030	\$20,792,590
Affordable Housing Reserve Fund Contribution	\$627,640	-	\$627,640
<b>Total</b>	<b>\$3,138,200.00</b>	<b>\$18,282,030</b>	<b>\$21,420,230</b>

The following items would also be secured as additional benefits to the community through this application:

- Public art with a value of \$395,000.00 (approximately 1% of the construction costs);
- Design and construction of a full traffic signal upgrade at the intersection of East 14<sup>th</sup> Street and St. Georges Avenue;
- Financial contribution of \$59,621.00 towards upgrading the sanitary main on East 14<sup>th</sup> Street;
- Relocation of existing utility pole at E/W lane and St. Georges Avenue;
- Public access right-of-way along the western boundary to provide safe public thoroughfare along the north-south laneway; and
- Public access right-of-way over the courtyard adjacent to the western laneway, providing a public gathering place for the community.

### Legal Agreements

The following agreements would be secured as conditions of this rezoning:

- Development Covenant (with Public Art provisions);
- Servicing Agreement;
- Shoring and Crane Swing Agreement;
- Flooding Covenant;
- Community Energy Agreement;
- Statutory Right of Way for Sidewalk and Pedestrian access;
- Statutory Right of Way for Courtyard;
- Community Good Neighbour Agreement; and
- Encroachment Agreement for solar shades.

### ADVISORY BODY INPUT

#### Advisory Design Panel

The application was reviewed by the Advisory Design Panel (ADP) on March 16, 2022. The Panel recommended approval of the proposal subject to addressing the following issues to the satisfaction of staff:



- Further design development of the ground floor residential lobby relative to the public realm and mixing of commercial and residential uses with particular attention to CPTED for security and safety concerns; and
- Further design development for bike parking within the public realm for enhanced visibility, eyes on the street and accessibility.

Revised designs were subsequently submitted that address the above concerns to the satisfaction of staff.

### **Integrated Transportation Committee**

The application was reviewed by the Integrated Transportation Committee (ITC) on April 6, 2022. The Panel unanimously supported the proposal and made the following recommendations:

- That the developer include larger bike parking facilities to accommodate cargo bikes, including bikes with trailers;
- That the developer ensure security measures are in place to reduce bicycle theft;
- That City staff investigate the north-south lane and ensure an effort is made to minimize the conflicts between cars and pedestrians;
- That the Committee expresses their concern about the potential for increased congestion at the east-west lane at the St. George's intersection; and,
- That the Committee are concerned about the impending rise in traffic congestion along Central Lonsdale as a result of planned and future developments.

Revised designs were subsequently submitted that address the above concerns to the satisfaction of City staff. This includes the provision of 31 cargo bike spaces within the P1 Level, and ensuring appropriate security measures are in place to prevent access to bicycle rooms within the parkade levels.

Further, the 1.8 metre SRW over the western boundary has also been provided to enhance safety for pedestrians accessing the laneway.

### **COMMUNITY CONSULTATION**

A Developer's Information Session was held on March 30, 2022 and was attended by 46 members of the public. A total of 45 comment forms were submitted and nine emails were received; 28 indicated support for the project; 22 were opposed; two indicated conditional support; and two did not specify either support or opposition.

A subsequent Public Notification mail-out was delivered to the nearby residents on February 13, 2024 to provide an update of the project, and allow a further opportunity for comments to be submitted. A total of eight emails were received; two indicated support for the project; six were opposed.

The main reasons for support were:

- Provision of new housing supply in the City to address current undersupply;
- New office and retail opportunities;
- New housing to support local workforce;
- The building design; and
- Densification providing better use of infrastructure and more sustainable use of resources.

The main concerns were:

- Building height;
- Tower separation;
- View impacts;
- Density;
- Traffic and parking impacts; and
- Construction impacts.

A summary of the public consultation, as prepared by the applicant, is available in Attachment 6 and Attachment 7. It is the opinion of staff that the comments raised during the community consultation have satisfactorily been addressed.

## **NO PUBLIC HEARING FOR OCP COMPLIANT RESIDENTIAL DEVELOPMENT**

Pursuant to recent Provincial amendments to Section 464 of the *Local Government Act*, which came into force on November 30, 2023, the City must not hold a public hearing on a proposed rezoning bylaw if: an OCP is in place for the subject site; the bylaw is consistent with the OCP; the purpose of the bylaw is to permit a development that is residential; and that residential component is at least half of the gross floor area for the development. Since all of these factors apply to this development, no public hearing will be held and notices have been published prior to First Reading of the Bylaw, as required by the *Local Government Act*.

## **FINANCIAL IMPLICATIONS**

As discussed under the Density Bonus and Community Benefits section, this application, if approved, would generate the following monetary benefits for the City:

- Cash community benefit contribution: \$3,138,200; and
- Purchase of transfer density from the City estimated at \$18,282,030.

This combines to a total monetary contribution (sum of the above two items) of approximately \$21,420,230.

Any deviation from the 93,754 sq. ft. of transfer density proposed would result in a change of the density transfer payment by the agreed upon \$195 per buildable square foot of FSR area.



These financial benefits are in addition to other City requirements, such as development cost charges (DCCs), utility upgrades, intersection upgrades and public art.

## CONCLUSION

This application has been assessed and is in alignment with the goals and objectives of the Regional Growth Strategy (Metro 2040), OCP and Council Strategic Plan to intensify employment generating uses, and to increase and diversify the residential housing stock within the Lonsdale Regional City Centre. The proposal will also contribute funds to support community amenities and enhancements through the Capital Plan process.

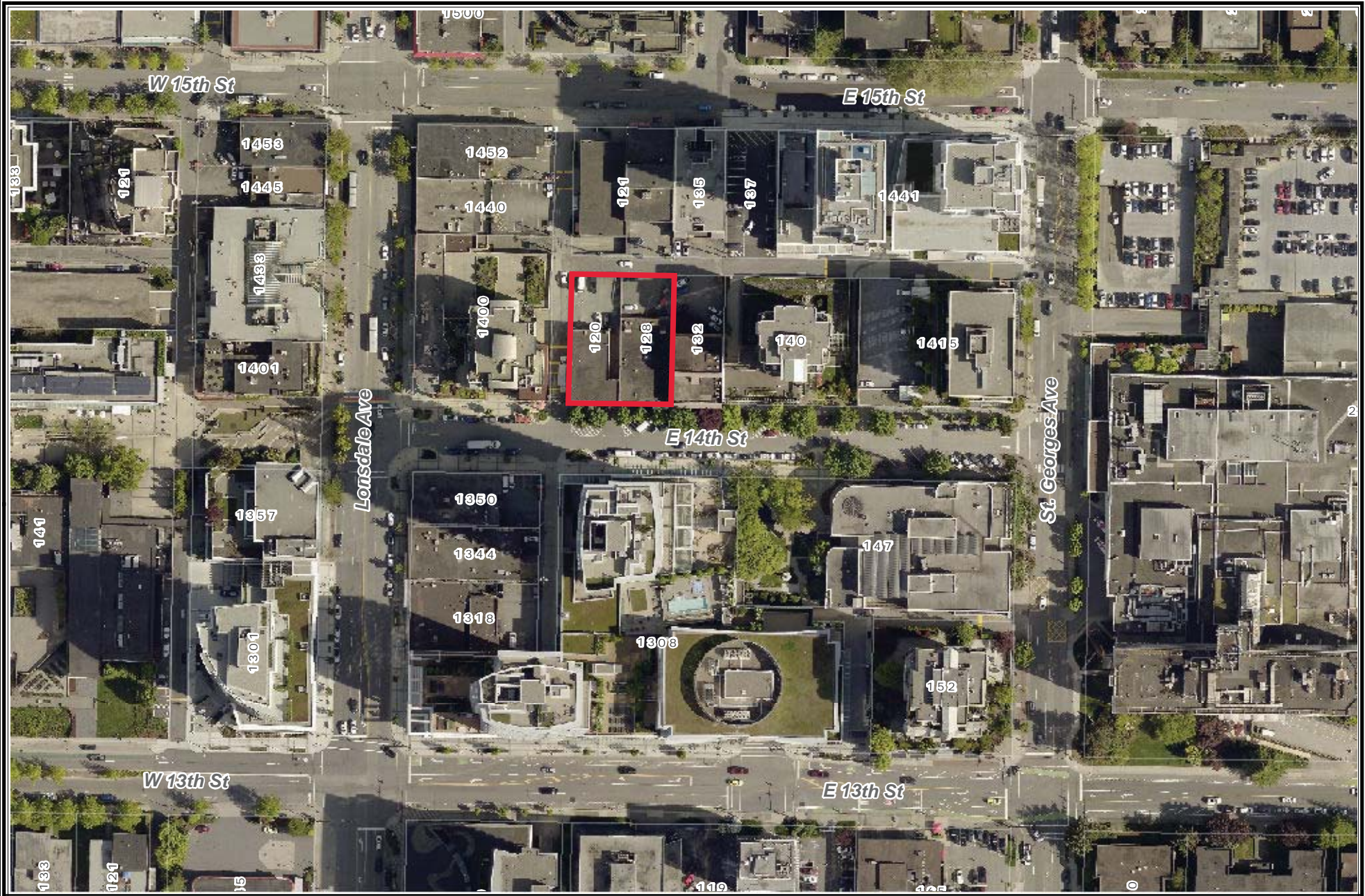
RESPECTFULLY SUBMITTED:



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Matthew Menzel  
Planner 3





**Context Map: 120-128 East 14th Street**

Legal\_Parcel



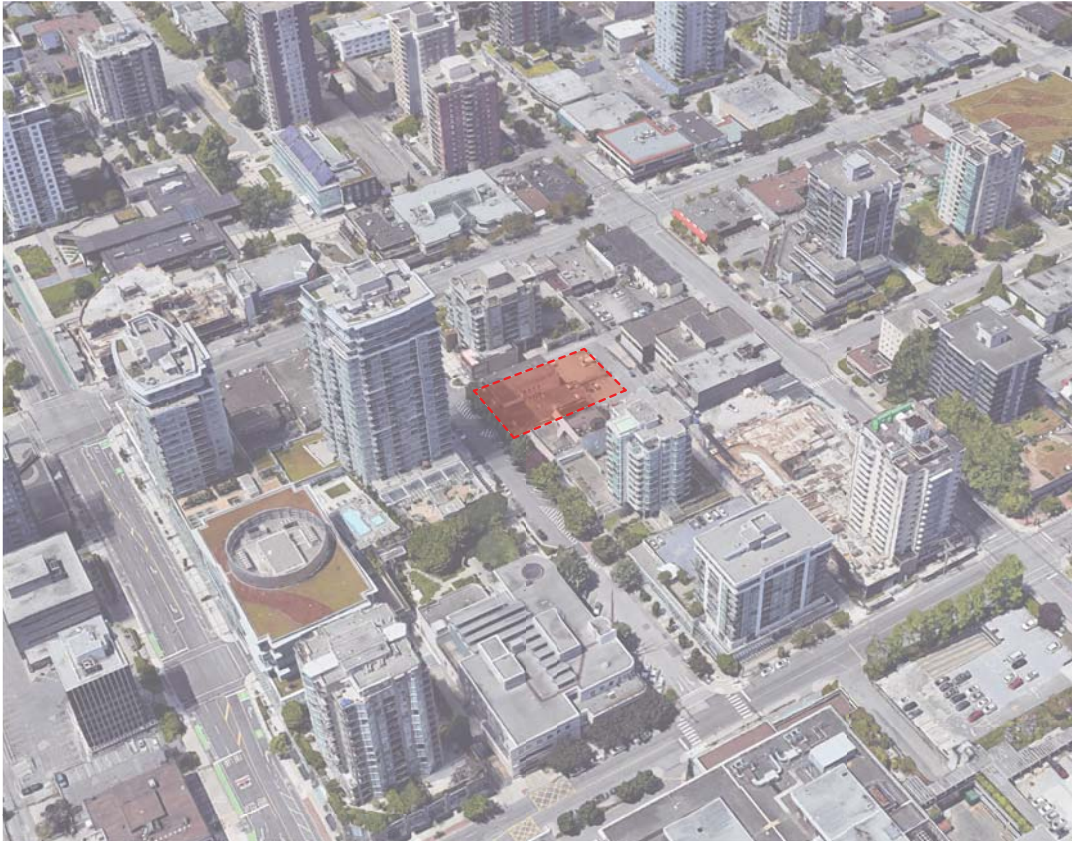
# East 14th Street

## Issue 05: RZ/DP Resubmission

### Tuesday, March 19, 2024

Civic Address:  
120-128 East 14th Street, North Vancouver, BC

Note: Drawings only to scale when printed on 24x36 sheets



### Architectural Drawing Index

<b>A-0.000 Cover</b>			
A-0.000	Cover		
A-0.101	Data		
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A-0.311	Context - Site Plan		
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A-0.330	Site Context - Street View Photos		
A-0.340	Concept Images		
A-0.401	Perspectives	1:1.68	
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A-0.403	Perspectives	1:1.68	
A-0.404	Perspectives	1:1.68	
A-0.405	Perspectives	1:1.68	
<b>A-1.000 Site</b>			
A-1.001	Survey		
A-1.002	Site Plan	1/8" = 1'-0"	
A-1.003	Grading Plan		
A-1.004	Fire Access Plan	3/32" = 1'-0"	
A-1.005	Vehicular Access and Movement Diagrams		
<b>A-2.000 Plans</b>			
A-2.001	Level P5 Floor Plan	1/8" = 1'-0"	
A-2.002	Level P4 Floor Plan	1/8" = 1'-0"	
A-2.003	Level P3 Floor Plan	1/8" = 1'-0"	
A-2.004	Level P2 Floor Plan	1/8" = 1'-0"	
A-2.005	Level P1 Floor Plan	1/8" = 1'-0"	
A-2.101	Level 1 Floor Plan	1/8" = 1'-0"	
A-2.201	Level 2 Floor Plan	1/8" = 1'-0"	
A-2.301	Level 3 Floor Plan	1/8" = 1'-0"	
A-2.401	Level 4 to 8 Floor Plan (Typ.)	1/8" = 1'-0"	
A-2.501	Level 9 to 20 Floor Plan (Typ.)	1/8" = 1'-0"	
A-2.601	Level 21 Floor Plan	1/8" = 1'-0"	
A-2.701	Lower Roof Plan		
<b>A-3.000 Unit Plans</b>			
A-3.001	Unit Plans		
A-3.002	Unit Plans		
A-3.003	Unit Plans		
A-3.004	Unit Plans	1:1.11	
<b>A-4.000 Elevations</b>			
A-4.001	North & East Street Elevation	1/32" = 1'-0"	
A-4.002	South & West Street Elevation	1/32" = 1'-0"	
A-4.100	North Elevation	1/16" = 1'-0"	
A-4.200	East Elevation	1/16" = 1'-0"	
A-4.300	South Elevation	1/16" = 1'-0"	
A-4.400	West Elevation	1/16" = 1'-0"	
<b>A-5.000 Sections</b>			
A-5.100	Building Sections	1/16" = 1'-0"	
A-5.101	Building Sections	1/16" = 1'-0"	
<b>A-8.000 Supplemental</b>			
A-8.101	Shadow Study		
A-8.102	Shadow Study		
A-8.200	Site Study 130-134 E 14th St - Data		
A-8.201	Site Study 130-134 E 14th St - Level 1	1/8" = 1'-0"	
A-8.202	Site Study 130-134 E 14th St - Level 2	1/8" = 1'-0"	
A-8.203	Site Study 130-134 E 14th St - Level 3 & 4 (T...	1/8" = 1'-0"	
A-8.301	Level 1 Area Overlay	1/8" = 1'-0", 1' = 1'-0"	
A-8.302	Level 2 Area Overlay	1/8" = 1'-0", 1' = 1'-0"	
A-8.303	Level 3 Area Overlay	1/8" = 1'-0", 1' = 1'-0"	
A-8.304	Level 4-20 (Typ.) Area Overlay	1/8" = 1'-0", 1' = 1'-0"	
A-8.305	Level 21 Area Overlay	1/8" = 1'-0", 1' = 1'-0"	

### CONTACT LIST

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Civil	Binnie & Associates 300-4940 Canada Way Vancouver, BC V5C 4K6	Russell Warren	604.987.9070	rwarren@binnie.com
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Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street  
North Vancouver, BC

[STYLE]

Cover

21569 [PROJECT]

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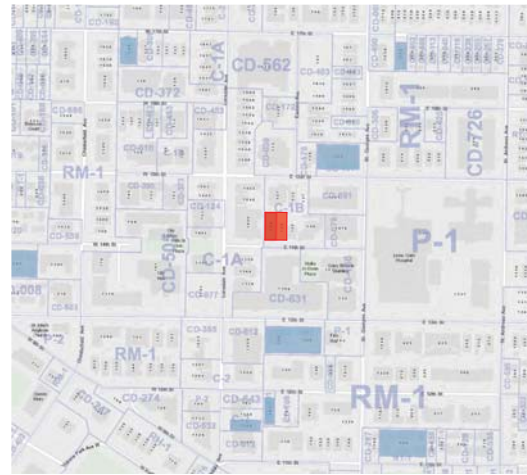




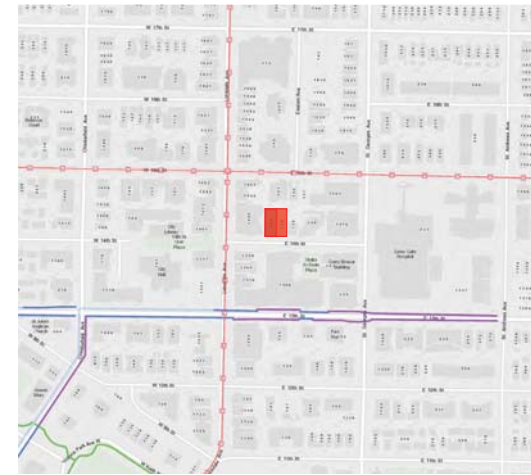
OCP LANDUSE MAP - NORTH VANCOUVER



OCP LANDUSE - SITE



ZONING MAP - SITE



TRANSIT & BIKE ROUTES - SITE



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(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**

120-126 East 14th Street  
 North Vancouver, BC

(STYLE)

**Context - Site Location**

(PROJECT)

**21569**

Not To Scale (SCALE)

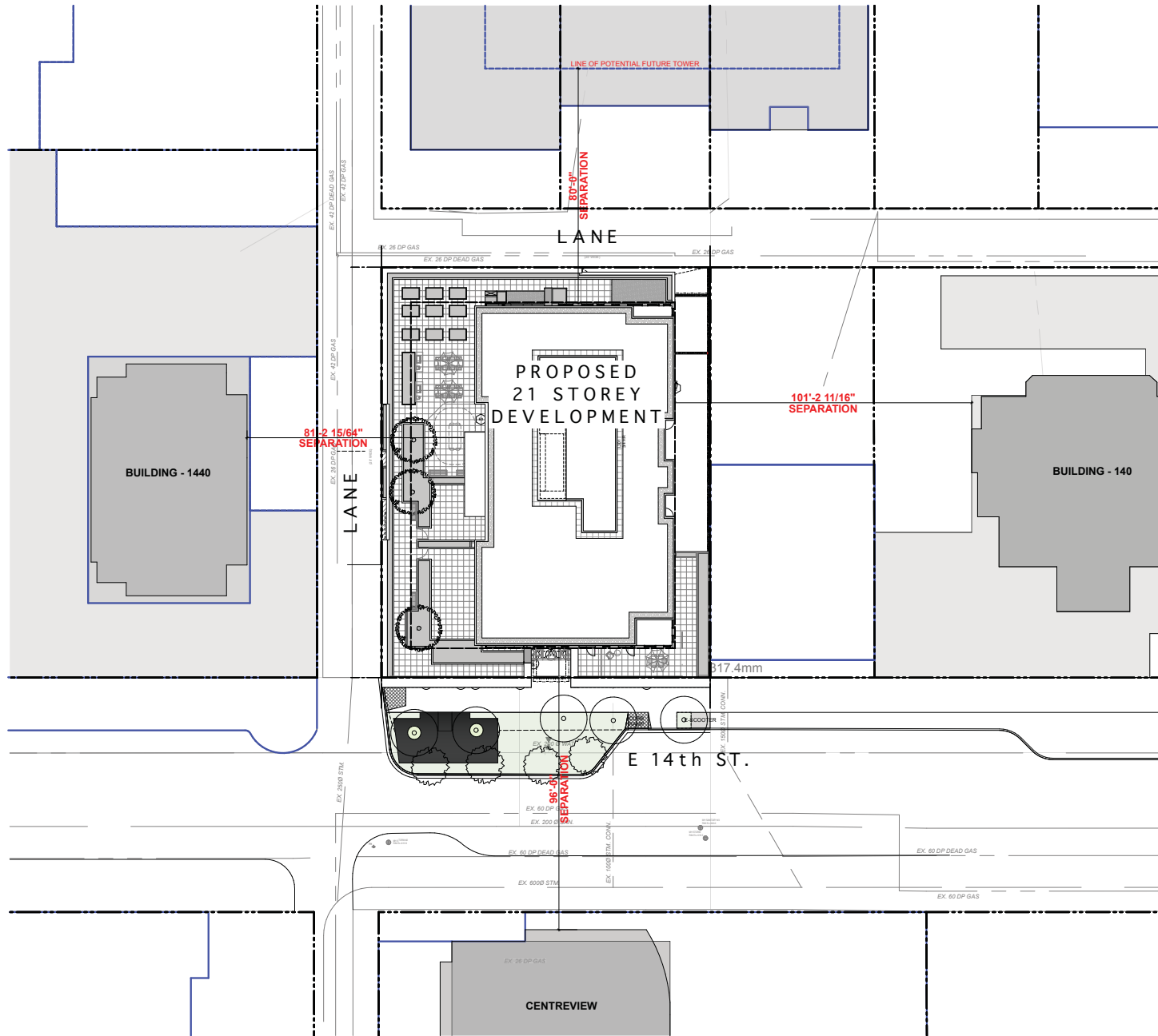
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**Three Shores Development**

[PROJECT]

**East 14th Street**

120-126 East 14th Street  
 North Vancouver, BC

[STYLE]

**Context - Site Plan**

[PROJECT]

21569

[SCALE]

Friday, May 26, 2023

[DATE]

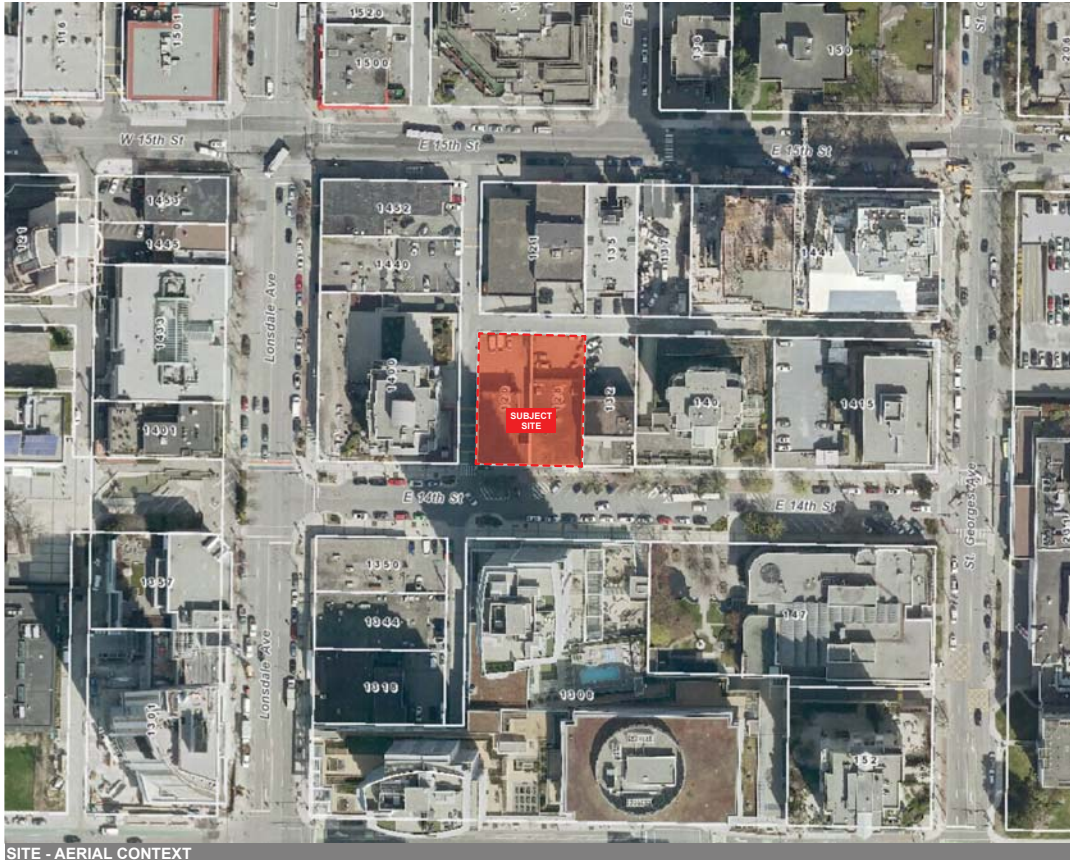
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[ISSUE]

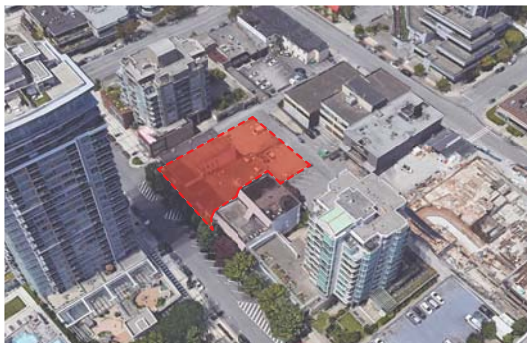
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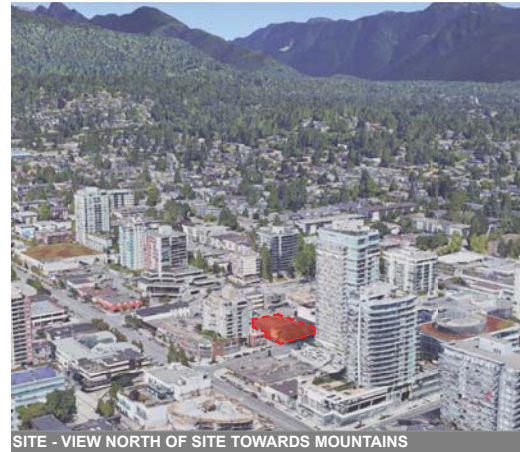
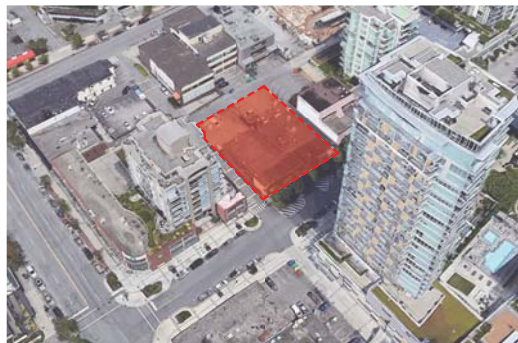




SITE - AERIAL CONTEXT



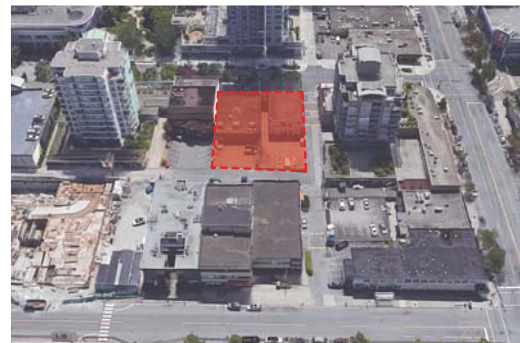
SITE - AERIAL CONTEXT



SITE - VIEW NORTH OF SITE TOWARDS MOUNTAINS



SITE - VIEW SOUTH OF SITE TOWARDS OCEAN



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**Three Shores Development**

[PROJECT]

**East 14th Street**

120-126 East 14th Street  
North Vancouver, BC

[STYLE]

**Context - Aerial Perspective**

21569 [PROJECT]

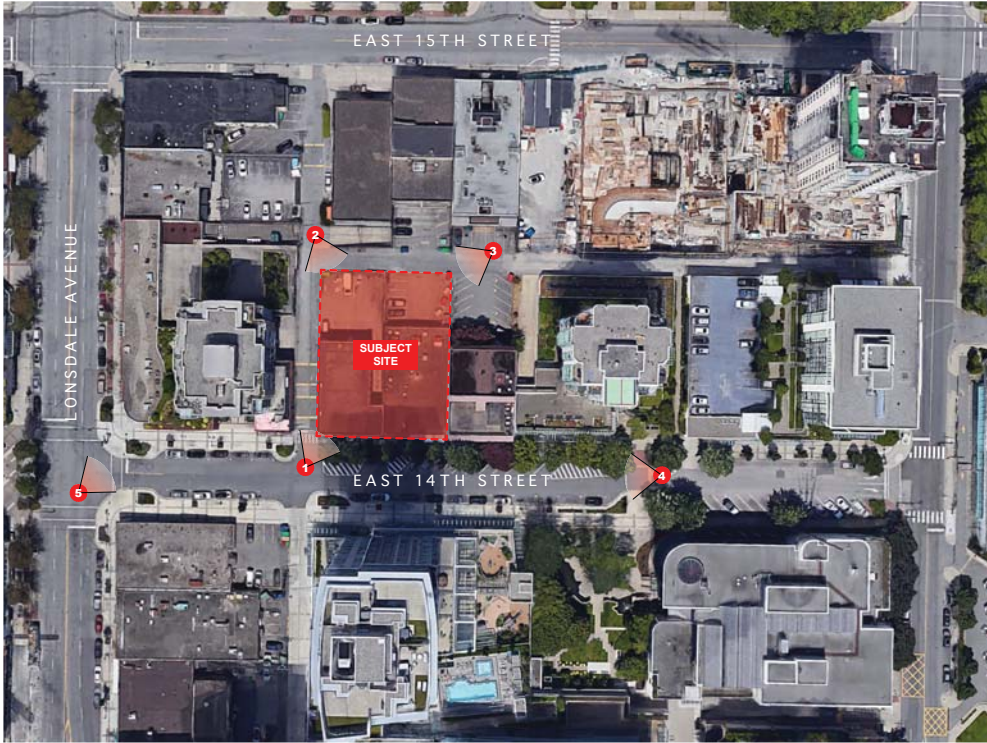
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1 VIEW FROM SOUTH WEST CORNER OF SITE



2 VIEW FROM NORTH WEST CORNER OF SITE



3 VIEW FROM NORTH EAST CORNER OF SITE



4 VIEW WEST DOWN E14TH STREET TOWARDS SITE



5 VIEW FROM INTERSECTION AT LONSDALE AVENUE & E14TH STREET



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**Three Shores Development**

[PROJECT]

**East 14th Street**

120-126 East 14th Street  
 North Vancouver, BC

[STYLE]

**Site Context -  
 Street View  
 Photos**

[PROJECT]

21569

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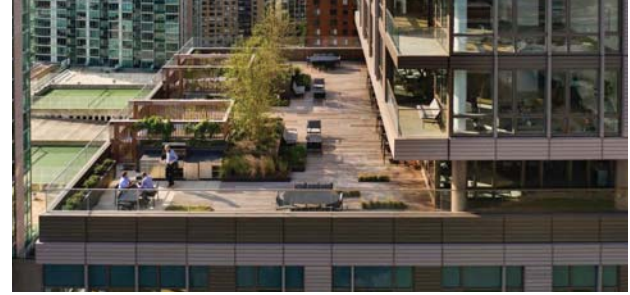
[DRAWING]

**A-0.330**





PLANTERS & ROOFTOP VIEWS  
PLANTERS | COMMUNAL GREENSPACE | VIEWS TOWARDS OCEAN AND MOUNTAINS



INDOOR & OUTDOOR AMENITY  
KITCHEN & LIVING AMENITY | INDOOR-OUTDOOR COMMUNAL SPACE



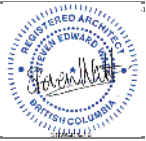
STREET PRESENCE & DESIGN  
COMMERCIAL PODIUM & RESIDENTIAL TOWER | MONOCHROMATIC BRICK & METAL PANELS | MODERN GLAZING | PRIVATE BALCONIES



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Three Shores Development

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

Concept Images

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**A-0.340**





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**Three Shores Development**

[PROJECT]

**East 14th Street**

120-126 East 14th Street  
 North Vancouver, BC

[STYLE]

**Perspectives**

21569 [PROJECT]

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**A-0.401**





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**Three Shores Development**

[PROJECT]

**East 14th Street**

120-126 East 14th Street  
 North Vancouver, BC

[STYLE]

**Perspectives**

21569 [PROJECT]

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**A-0.402**



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## Three Shores Development

[PROJECT]

## East 14th Street

120-128 East 14th Street  
North Vancouver, BC

[STYLE]

## Perspectives

[PROJECT]

21569

[SCALE]

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# A-0.403





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[PROJECT]

**East 14th Street**

120-128 East 14th Street  
North Vancouver, BC

[STYLE]

**Perspectives**

[PROJECT]

**21569** [SCALE]

**Not To Scale**

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[PROJECT]

**East 14th Street**

120-126 East 14th Street  
North Vancouver, BC

[STYLE]

**Perspectives**

21569 [PROJECT]

Not To Scale [SCALE]

Friday, May 26, 2023 [DATE]

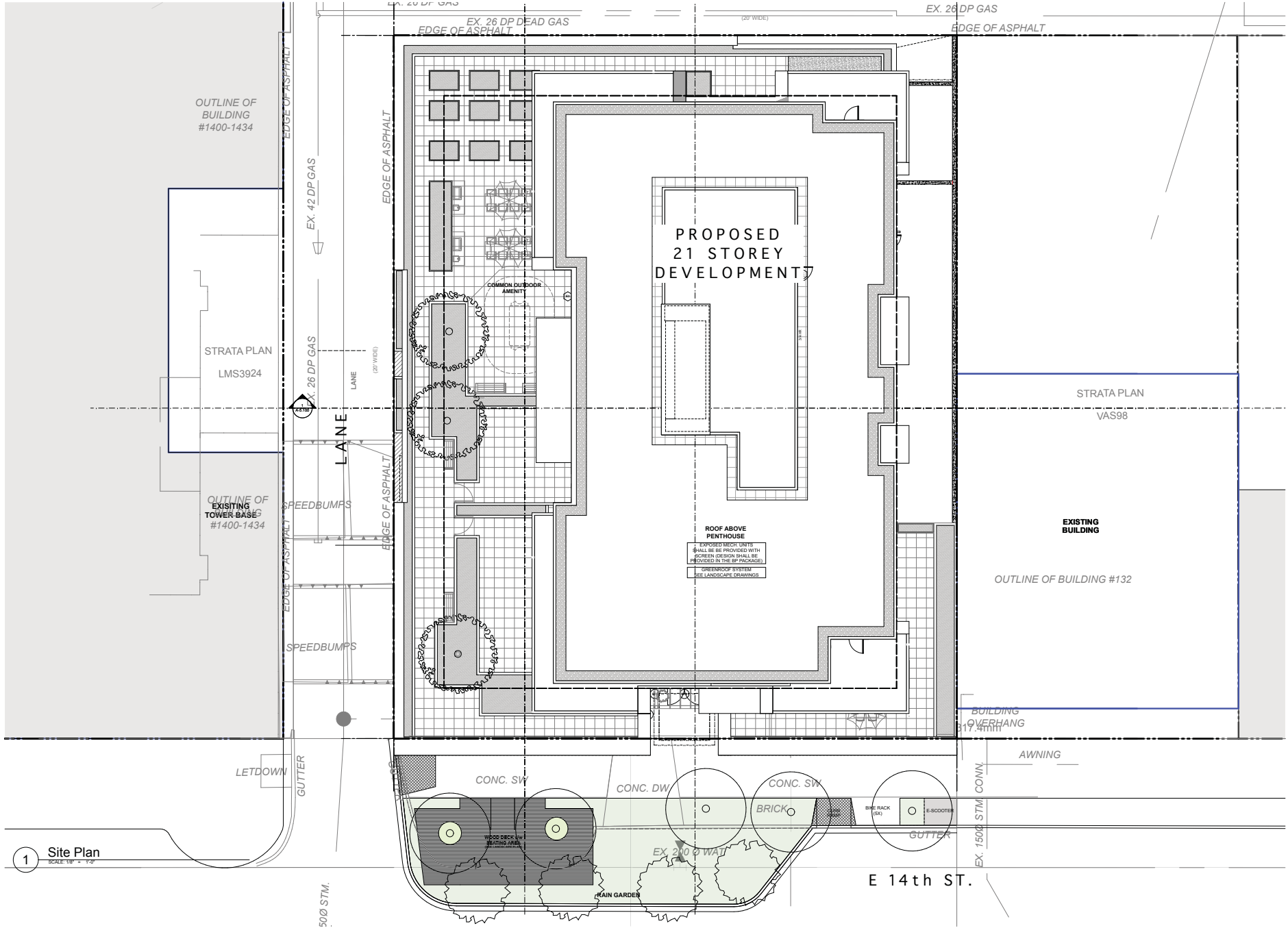
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**A-0.405**







1 Site Plan  
SCALE: 1/8" = 1'-0"



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Three Shores Development  
(PROJECT)

East 14th Street  
120-126 East 14th Street  
North Vancouver, BC  
(STYLE)

Site Plan  
(PROJECT)

21569  
1/8" = 1'-0"  
(SCALE)

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(DATE)

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(ISSUE)

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**A-1.002**





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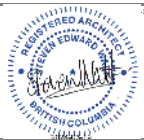
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Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

Grading Plan

21569

(PROJECT)

(SCALE)

Friday, May 26, 2023

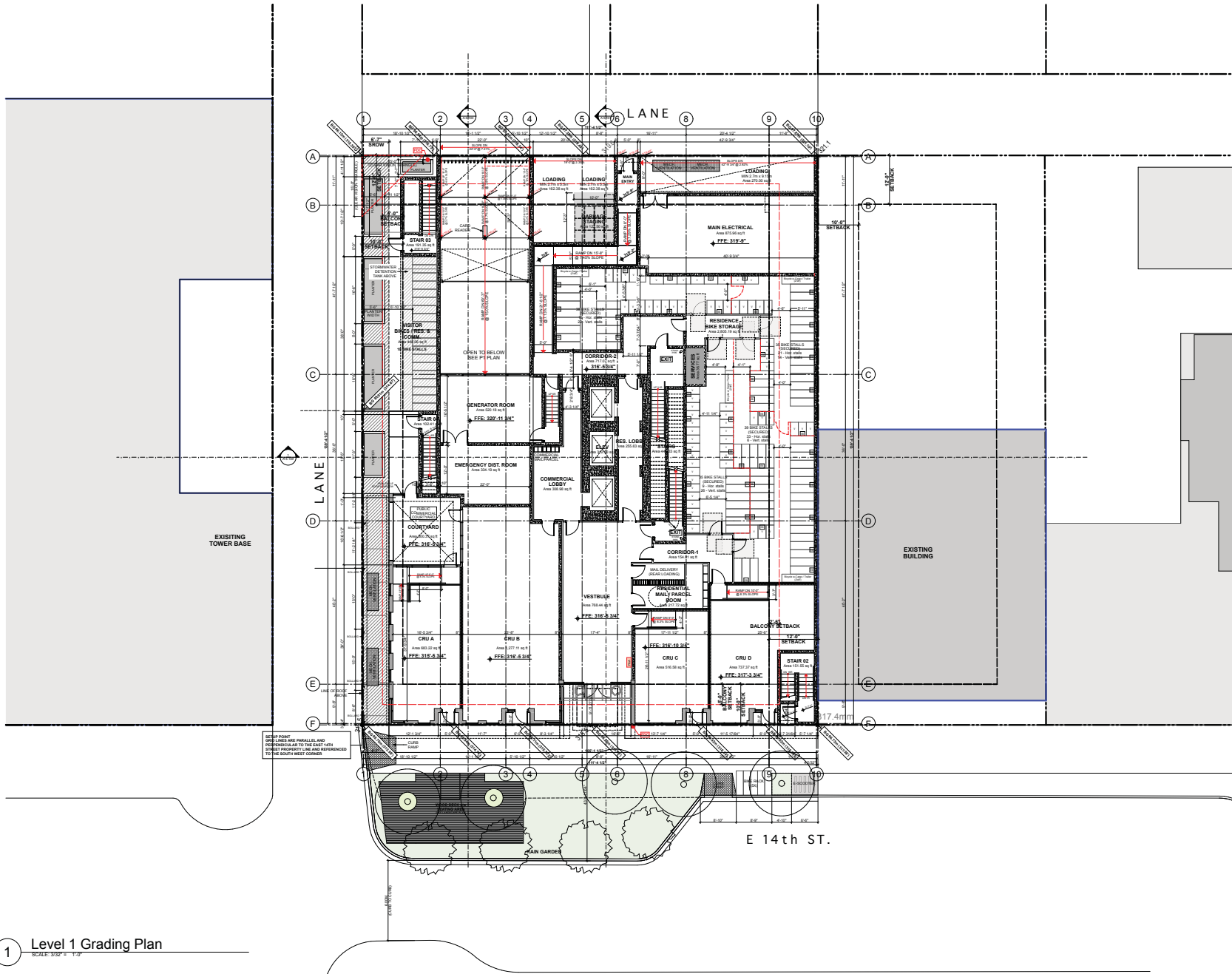
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A-1.003



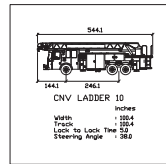
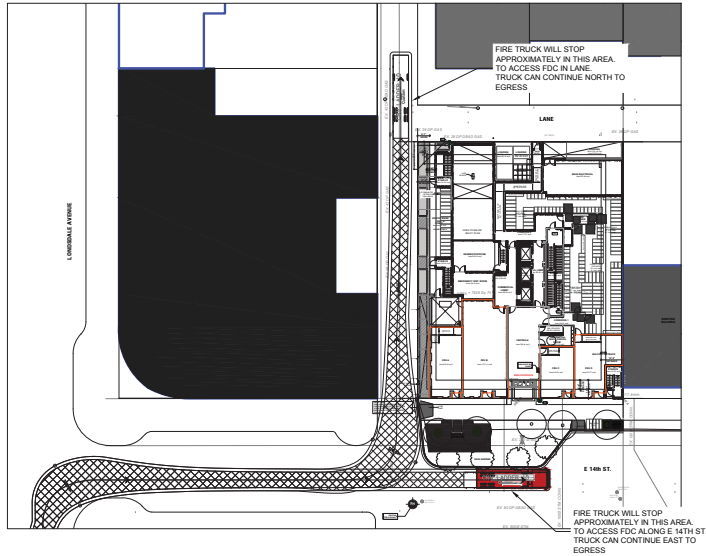
1 Level 1 Grading Plan

SCALE: 1/8" = 1'-0"



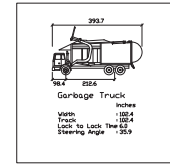
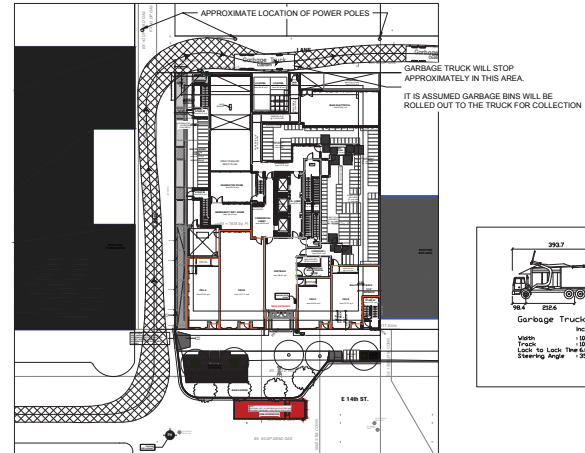


120-128 EAST 14TH STREET  
FIRE TRUCK CIRCULATION



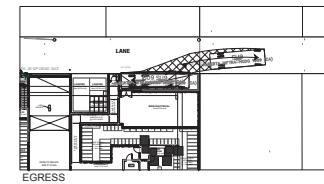
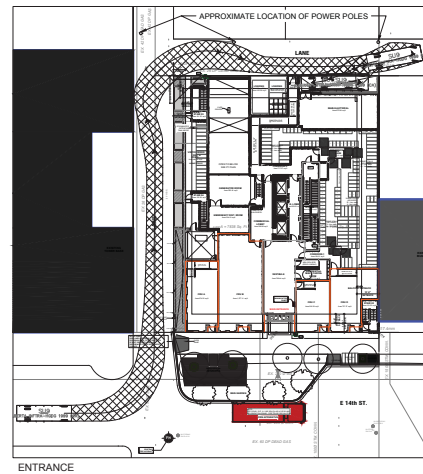
1 Fire Truck Circulation  
SCALE: 1" = 1'-0"

120-128 EAST 14TH STREET  
GARBAGE TRUCK CIRCULATION



2 Garbage Circulation  
SCALE: 1" = 1'-0"

120-128 EAST 14TH STREET  
LOADING TRUCK CIRCULATION



3 Loading Truck Circulation  
SCALE: 1" = 1'-0"



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**Three Shores Development**

(PROJECT)

**East 14th Street**

120-128 East 14th Street  
North Vancouver, BC

**Vehicular Access  
and Movement  
Diagrams**

(PROJECT)

21569

(SCALE)

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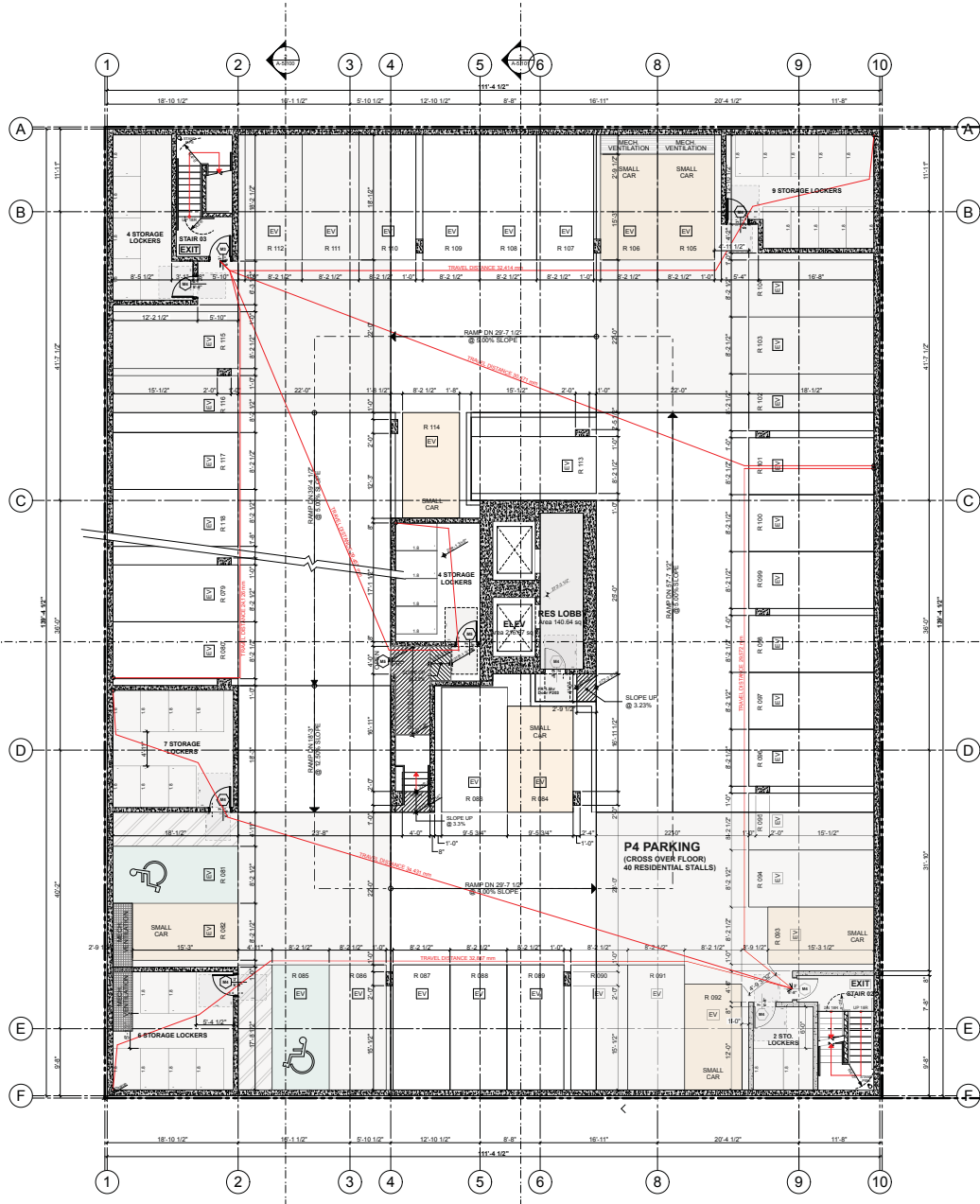
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**A-1.005**





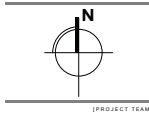


1 Level P4 Parking Plan  
SCALE: 1/8" = 1'-0"



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(PROJECT)

**East 14th Street**  
120-126 East 14th Street  
North Vancouver, BC

(TITLE)

**Level P4 Floor Plan**

(PROJECT)

21569 (SCALE)  
1/8" = 1'-0"

Friday, May 26, 2023 (DATE)

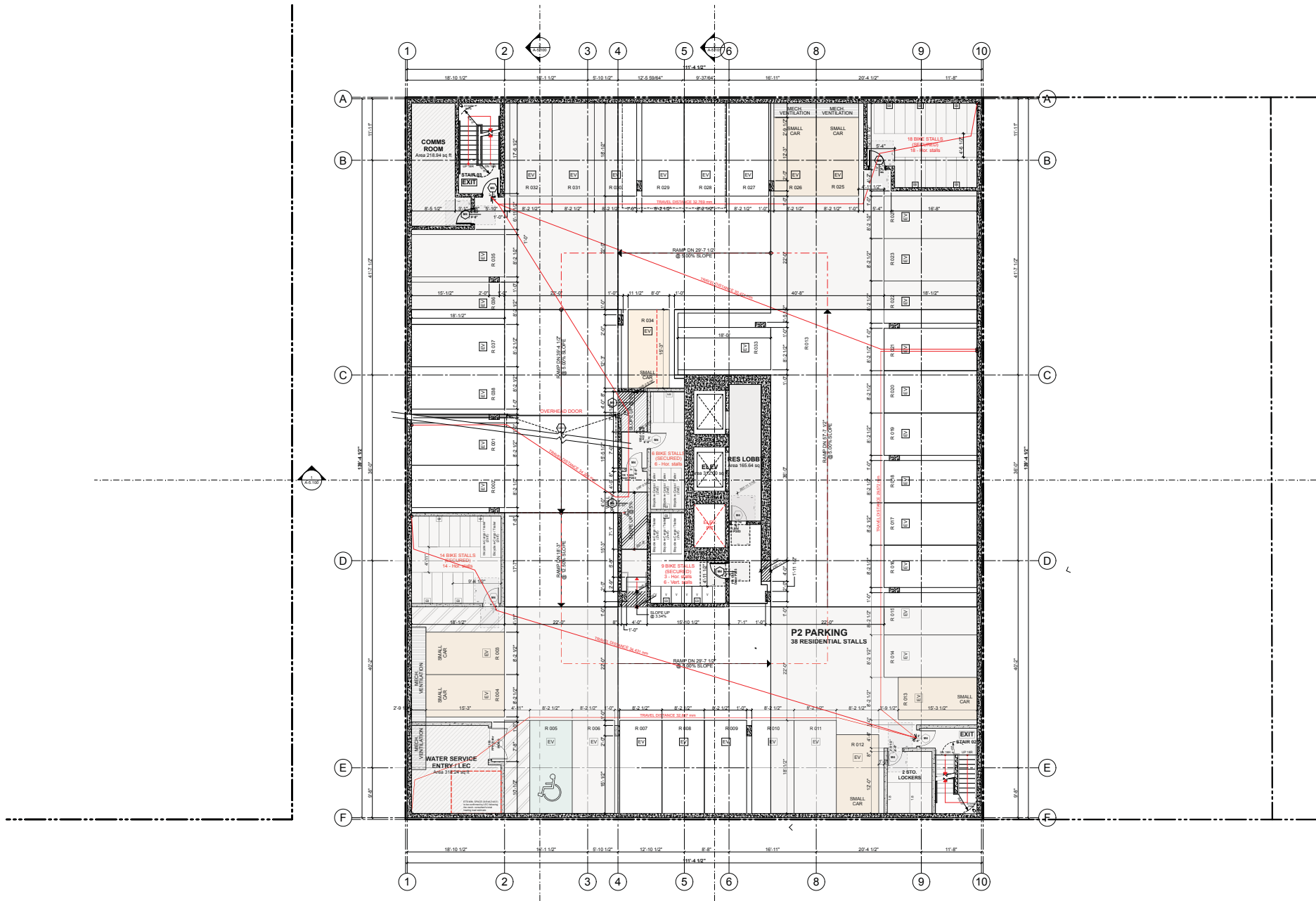
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**A-2.002**







1 Level P2 Parking Plan  
SCALE: 1/8" = 1'-0"



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(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street  
120-126 East 14th Street  
North Vancouver, BC

(STYLE)

Level P2 Floor Plan

(PROJECT)

21569 (SCALE)

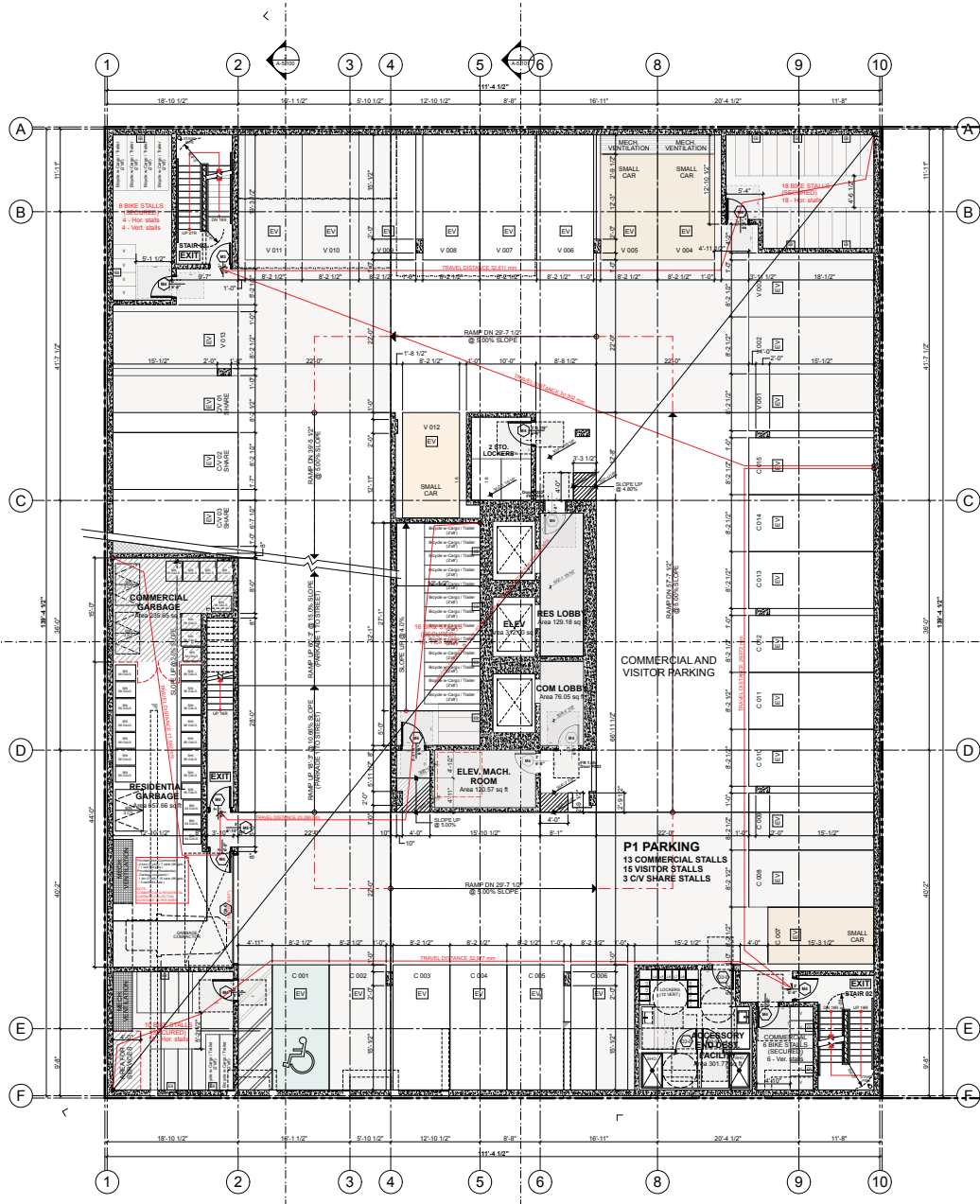
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**A-2.004**



1 Level P1 Parking Plan  
SCALE: 1/8" = 1'-0"



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Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

Level P1 Floor Plan

21569

(SCALE)

1/8" = 1'-0"

Friday, May 26, 2023

(DATE)

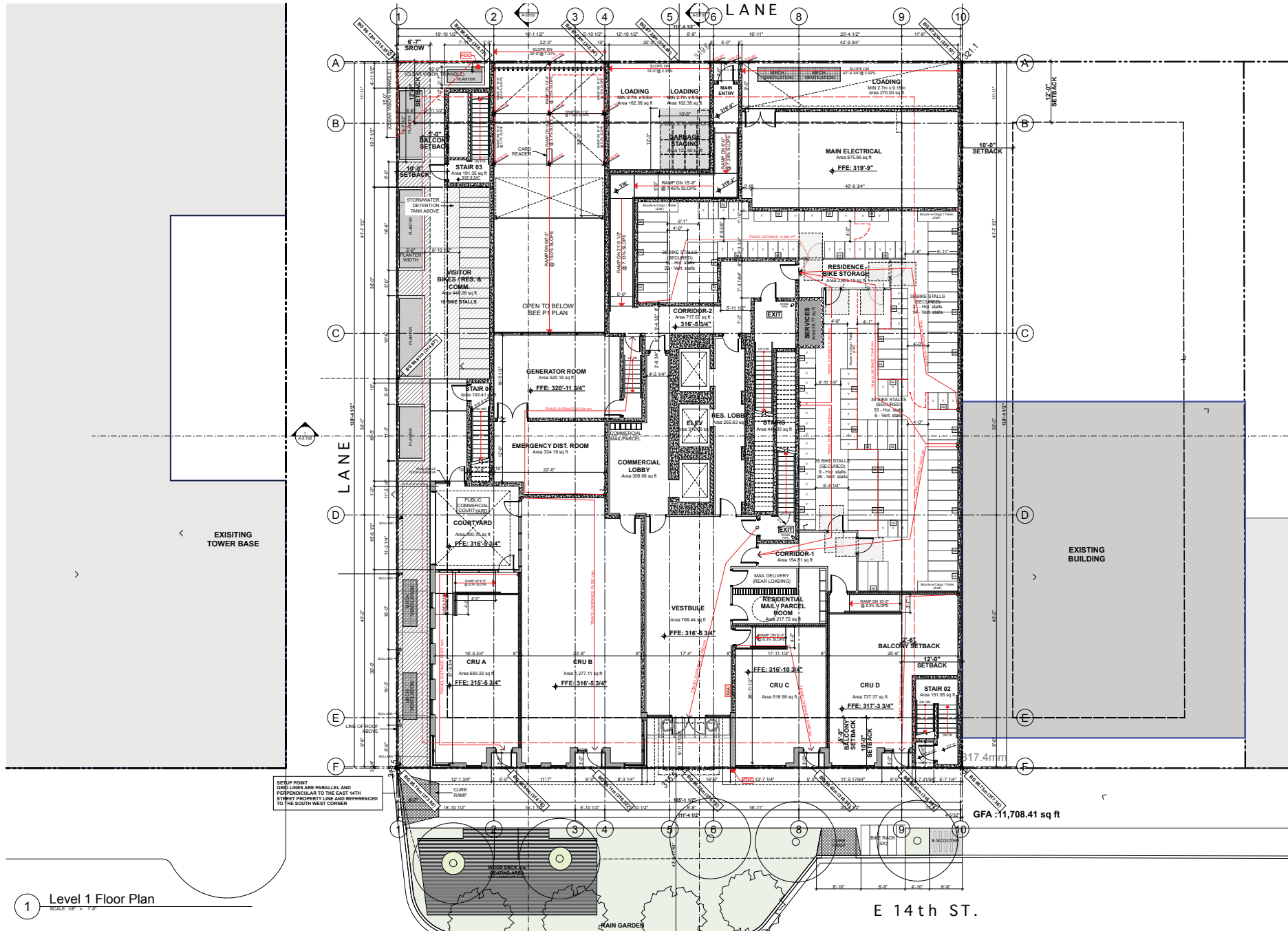
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**A-2.005**



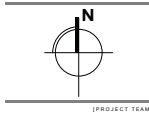


1 Level 1 Floor Plan  
SCALE: 1/8" = 1'-0"



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Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

Level 1 Floor Plan

21569 (PROJECT)

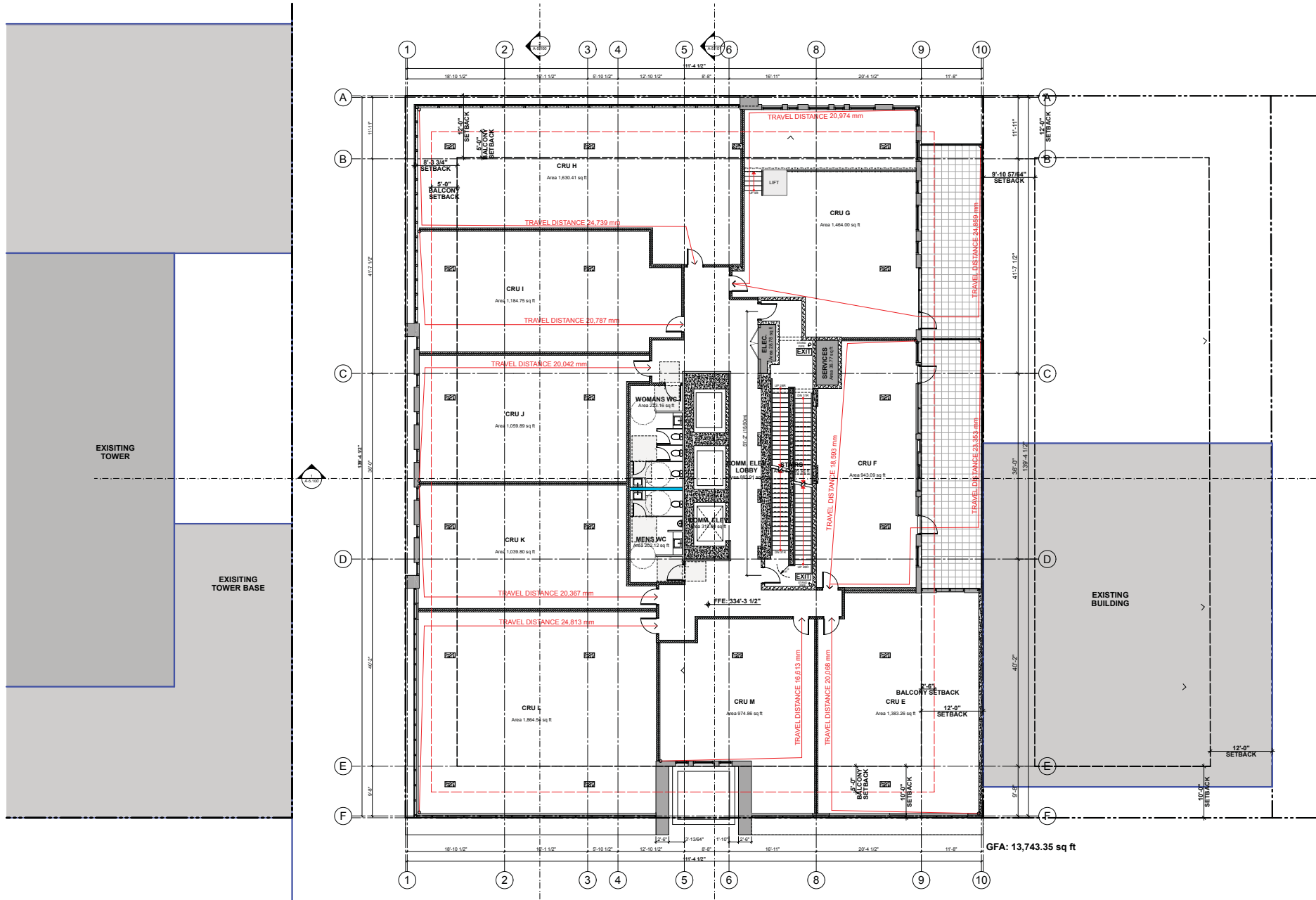
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**A-2.101**



1 Level 2 Floor Plan  
SCALE: 1/8" = 1'-0"



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**Three Shores Development**  
(PROJECT)

**East 14th Street**  
120-126 East 14th Street  
North Vancouver, BC  
(STYLE)

**Level 2 Floor Plan**

21569 (PROJECT)

1/8" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

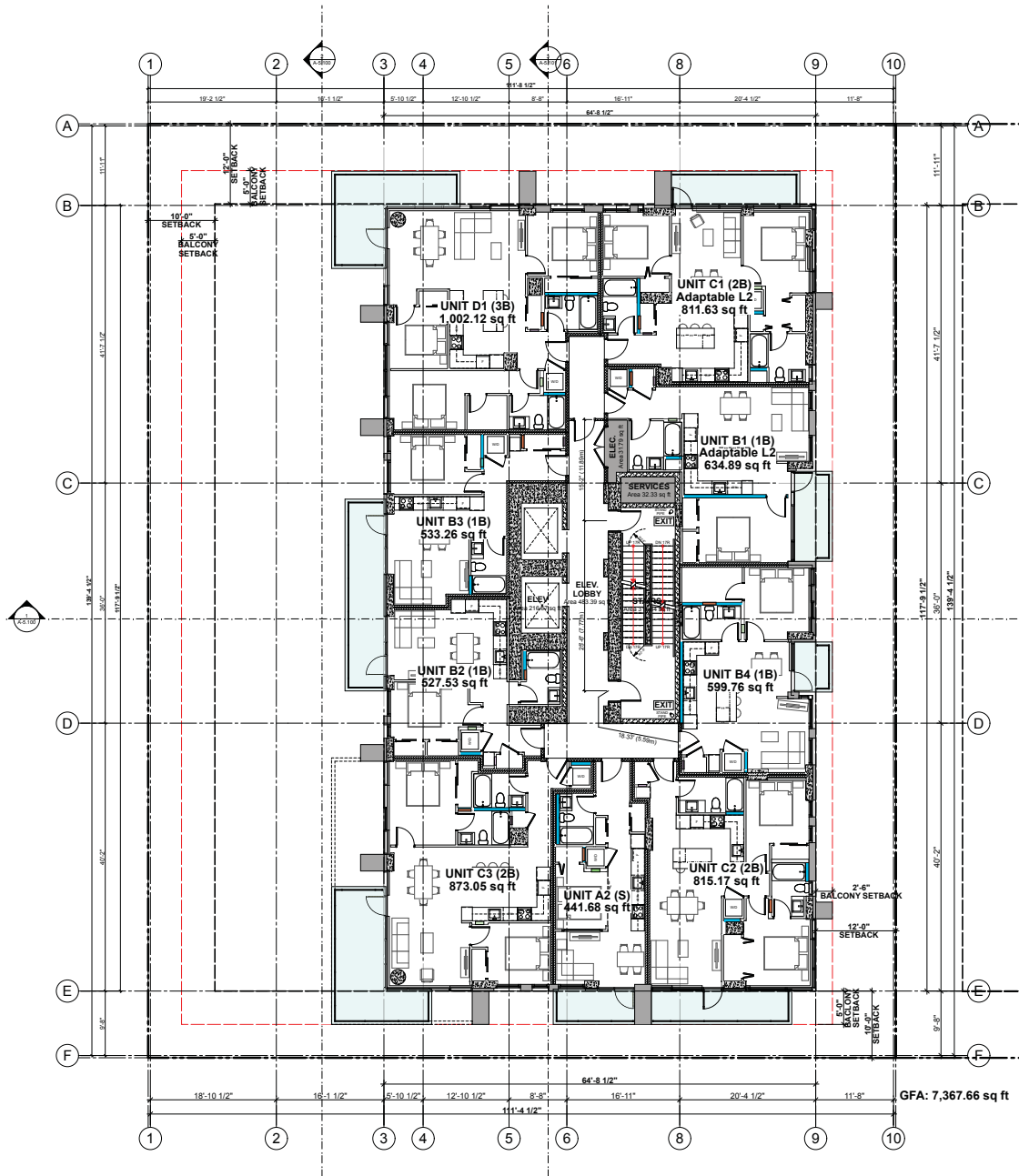
**A-2.201**











1 Level 9 to 20 Floor Plan (Typ.)  
SCALE: 1/8" = 1'-0"



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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**  
(PROJECT)

**East 14th Street**  
120-126 East 14th Street  
North Vancouver, BC  
(STYLE)

**Level 9 to 20  
Floor Plan (Typ.)**

21569 (PROJECT)

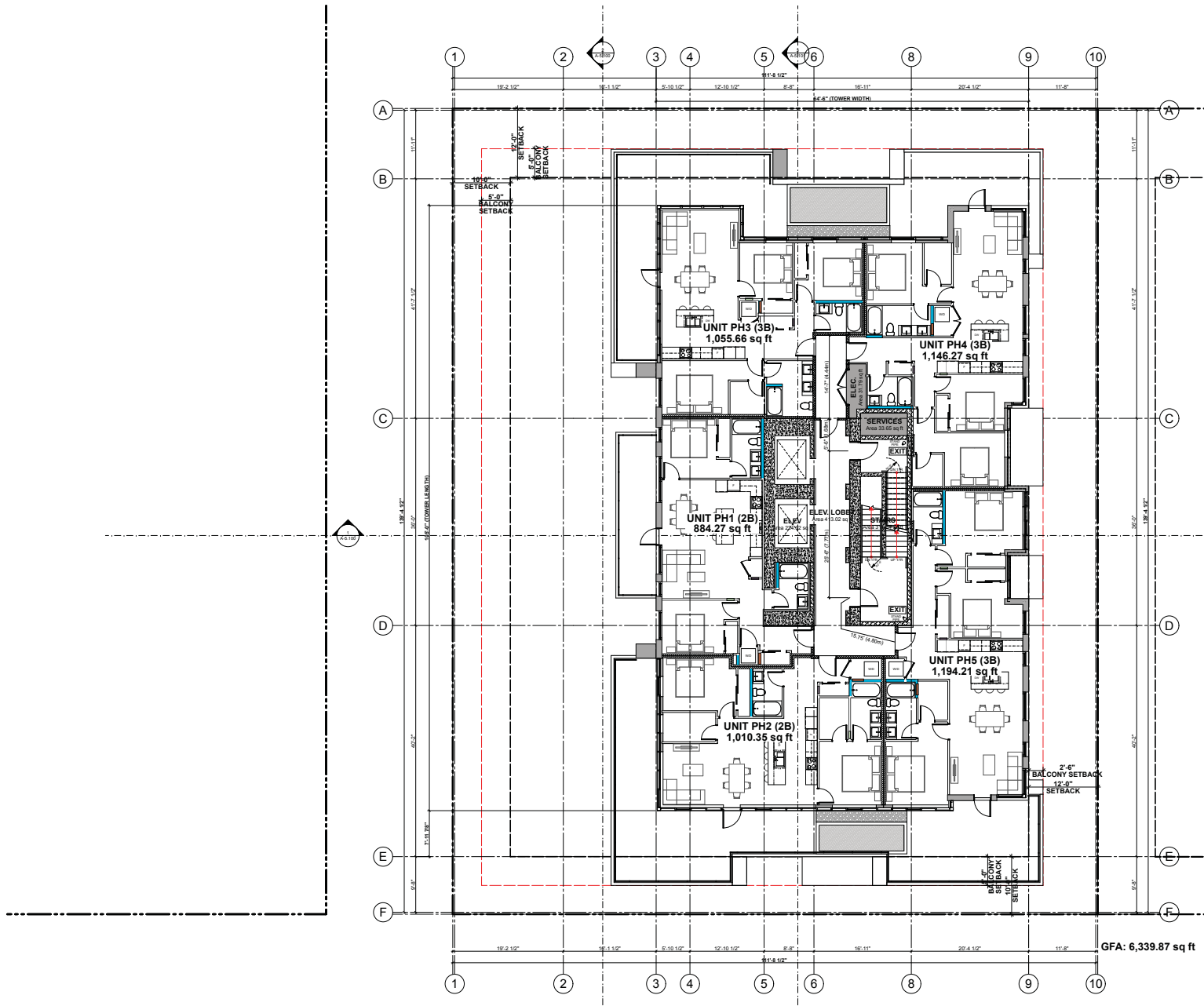
1/8" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

(DRAWING)

**A-2.501**



1 Level 21 Floor Plan  
SCALE: 1/8" = 1'-0"



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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

**Level 21 Floor Plan**

(PROJECT)

21569

1/8" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

(DRAWING)

**A-2.601**



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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**

120-128 East 14th Street  
North Vancouver, BC

(STYLE)

**Lower Roof Plan**

21569

(PROJECT)

(SCALE)

Friday, May 26, 2023

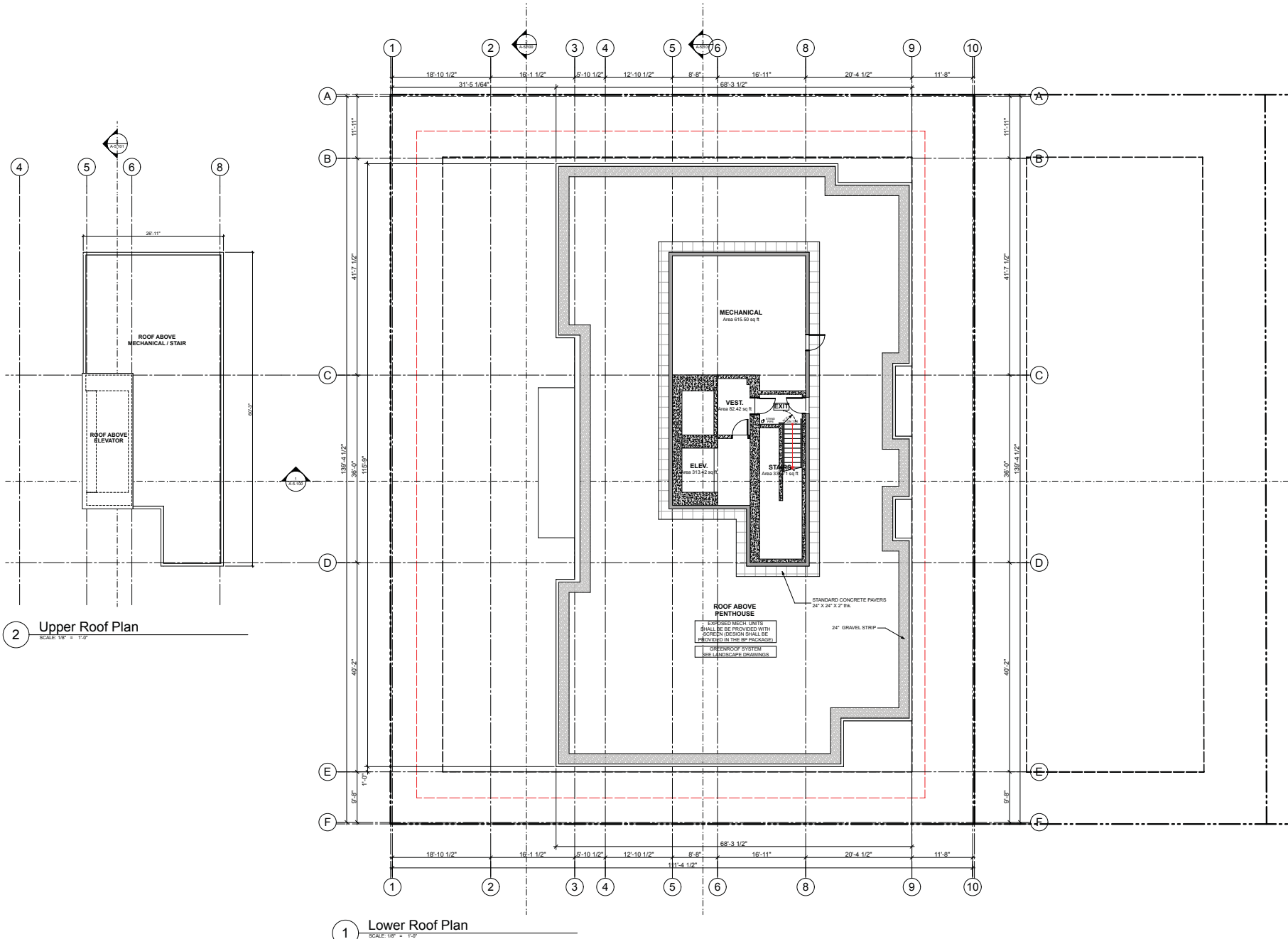
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ISSUE 05.1 - RZ/DDP

(ISSUE)

(DRAWING)

**A-2.701**





**DRAWING LIST**

**UNIT PLANS**

A-7.000	COVER PAGE		
A-7.001	NOTES		
A-7.002	SOLID BLOCKING DETAILS	9/4"	1/0"
A-7.003	KEY PLANS	9/16"	1/0"
A-7.004	KEY PLANS	9/16"	1/0"
A-7.010	UNIT A1 (ADAPTABLE L2)	9/4"	1/0"
A-7.011	UNIT A2	9/4"	1/0"
A-7.012	UNIT B1 (ADAPTABLE L2)	9/4"	1/0"
A-7.013	UNIT B2	9/4"	1/0"
A-7.014	UNIT B3	9/4"	1/0"
A-7.015	UNIT B4	9/4"	1/0"
A-7.016	UNIT C1 (ADAPTABLE L2)	9/4"	1/0"
A-7.017	UNIT C2	9/4"	1/0"
A-7.018	UNIT C3	9/4"	1/0"
A-7.019	UNIT D1	9/4"	1/0"
A-7.020	UNIT PH1	9/4"	1/0"
A-7.021	UNIT PH2	9/4"	1/0"
A-7.022	UNIT PH3	9/4"	1/0"
A-7.023	UNIT PH4	9/4"	1/0"
A-7.024	UNIT PH5	9/4"	1/0"



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**THREE SHORES DEVELOPMENT**  
E14th St  
120-128 East 14th Street  
North Vancouver BC

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2024-01-05  
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A-7.000

**E14th St**  
120-128 East 14th Street North Vancouver BC Canada

**ISSUE 05.1 - RZ/DP**

**SYMBOLS AND LEGENDS:**

- WINDOW TYPE
- DOOR TYPE
- DOOR RATING (RRS)
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING/HVAC/SE WALL
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- INDICATES ELECTRICAL PANEL
- INDICATES MEDIA PANEL
- INDICATES MANIFOLD PLUMBING PANEL
- SUITE NO.
- STRATALOT NO.
- UNIT FIRE
- APPROX. NET AREA
- INDICATES DROPPED CEILING

- NOTES:**
- SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS
  - SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION
  - PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET
  - MIRROR DIMENSIONS TO BE CONFIRMED ON SITE
  - AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS - STUD SPACING TO BE MINIMUM OF 16" o.c.
  - PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS
  - PROVIDE 37" (WIDTH AND 70" HEIGHT) CLEAR BETWEEN SAUSAGEBOARD & COUNTER TOP FOR FRIDGES - CONFIRM WINDOW
  - BATHROOM & LAUNDRY CEILINGS (EXCEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE PLUMBING & VENTING ABOVE MIN. 5.1m CEILING HEIGHT
  - KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'0" HEIGHT TO ACCOMMODATE PLUMBING & VENTING ABOVE MIN HEIGHT 2.4m
  - SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS: TILE PATTERNS, CABINETS, PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN SCOPE OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS
  - ALL VENTILATION DUCTS THAT PASS THROUGH UNHEATED ATTIC SPACES ARE TO BE INSULATED - SEE MECH DWGS.
  - PROVIDE MIN 5" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS
  - PROVIDE SEPARATE PRICER FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET
  - FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO EXTEND FAST FACE OF KITCHEN CABINETS
  - EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS
  - LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER DRYER
  - PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.



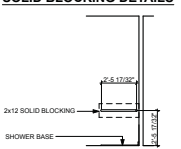
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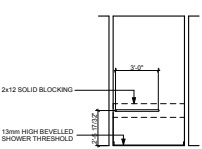
**THREE SHORES DEVELOPMENT**  
E14th St  
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North Vancouver BC

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2024-01-05  
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A-7.000

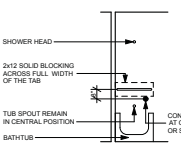
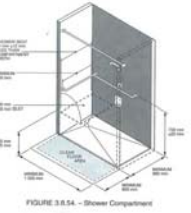
**SOLID BLOCKING DETAILS**



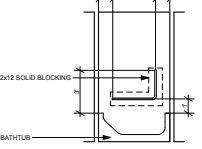
**SHOWER SIDE ELEVATION (BOTH SIDES)**



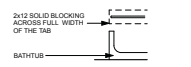
**SHOWER FRONT ELEVATION**



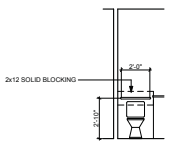
**BATHTUB SIDE ELEVATION 1**



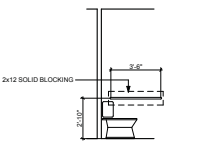
**BATHTUB FRONT ELEVATION**



**BATHTUB SIDE ELEVATION 2**



**WATER CLOSET FRONT ELEVATION**



**WATER CLOSET SIDE ELEVATION**

**NOTE:**  
PROVIDE SOLID BLOCKING IN WALLS OF TUB/SHOWER AND TOILET AREAS AND BEHIND TOWEL BARS IN AT LEAST ONE BATHROOM OF ALL UNITS



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**THREE SHORES DEVELOPMENT**  
E14th St  
120-128 East 14th Street  
North Vancouver BC

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A-7.000

**Unit Plans**

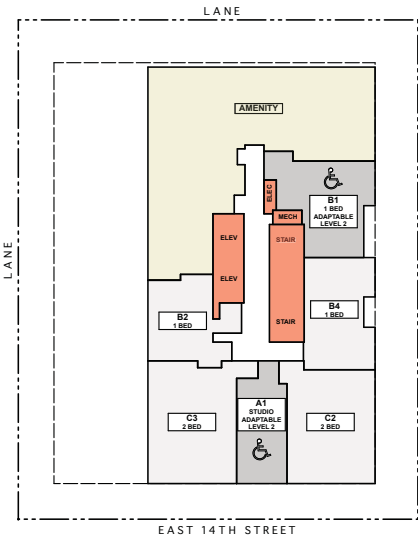
**SOLID BLOCKING DETAILS**

**As Noted**  
Friday, May 26, 2023

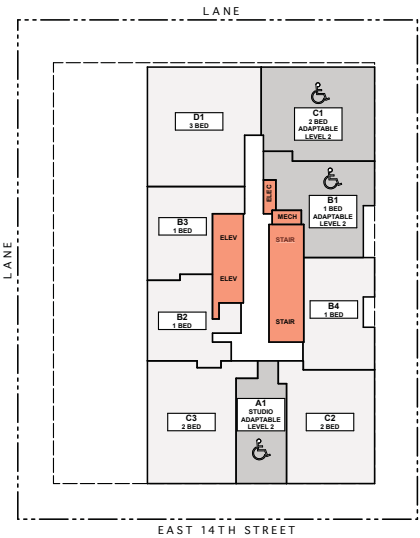
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**A-7.002**

**A-3.001**



KEY PLAN - LEVEL 3



KEY PLAN - LEVEL 4-8 (TYP.)

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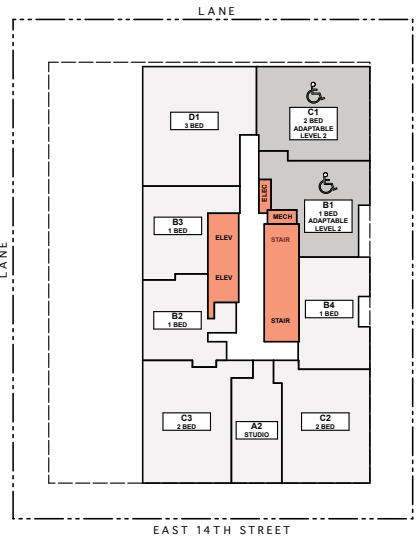
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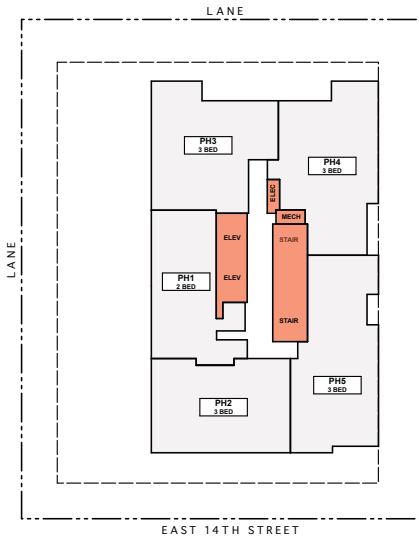
**KEY PLANS**

DATE: 11/17/2018  
SCALE: 1/8" = 1'-0"  
ISSUED BY: [REDACTED]  
DRAWN BY: RZ/DP

**A-7.003**



KEY PLAN - LEVEL 9-20 (TYP.)



KEY PLAN - LEVEL 21

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**KEY PLANS**

DATE: 11/17/2018  
SCALE: 1/8" = 1'-0"  
ISSUED BY: [REDACTED]  
DRAWN BY: RZ/DP

**A-7.004**



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THREE SHORES DEVELOPMENT  
E14th St  
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North Vancouver, BC

**KEY PLANS**

DATE: 11/17/2018  
SCALE: 1/8" = 1'-0"  
ISSUED BY: [REDACTED]  
DRAWN BY: RZ/DP

**A-7.004**

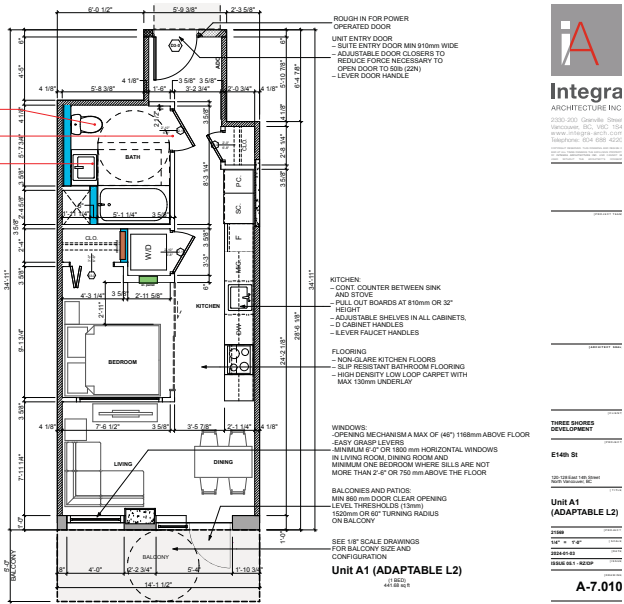


THREE SHORES DEVELOPMENT  
E14th St  
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North Vancouver, BC

Unit Plans

21569  
As Noted  
Friday, May 26, 2023  
ISSUE 05.1 - RZ/DP

**A-3.002**

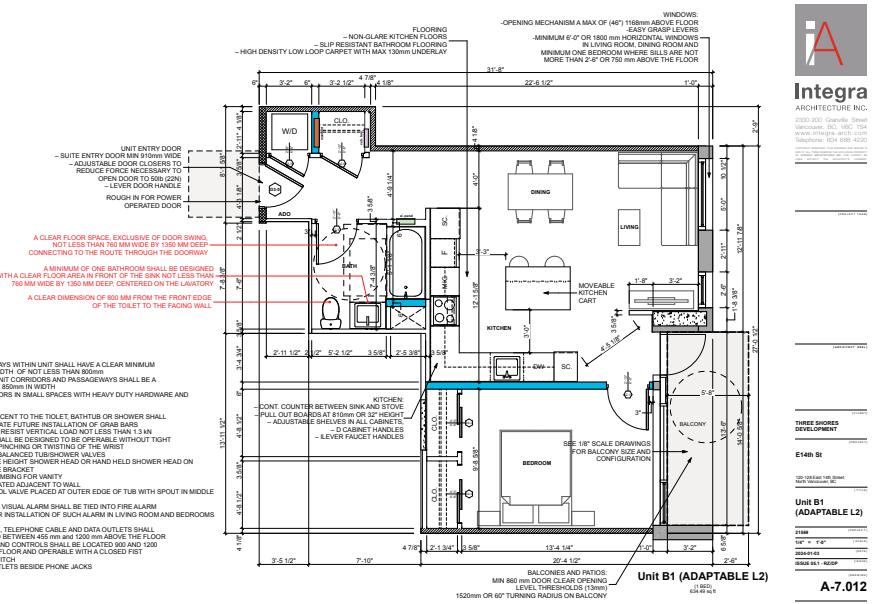


**THREE SHORES DEVELOPMENT**

**E14th St**

**Unit A1 (ADAPTABLE L2)**

**A-7.010**

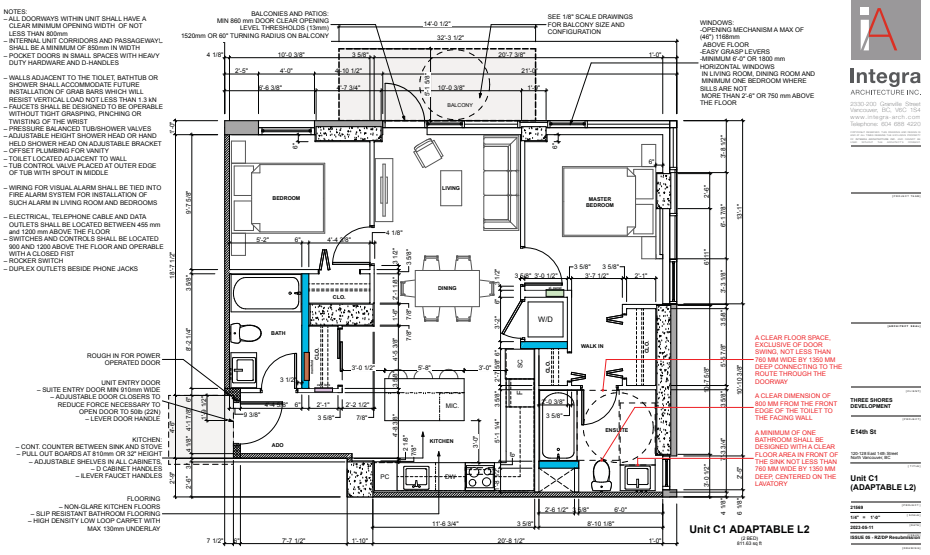


**THREE SHORES DEVELOPMENT**

**E14th St**

**Unit B1 (ADAPTABLE L2)**

**A-7.012**



**THREE SHORES DEVELOPMENT**

**E14th St**

**Unit C1 (ADAPTABLE L2)**

**A-7.016**



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**THREE SHORES DEVELOPMENT**

**E14th St**

**Unit Plans**

**21569**

**As Noted**

**Friday, May 26, 2023**

**A-7.016**

**ISSUE 05.1 - RZ/DDP**

**A-3.003**



**Three Shores Development**

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North Vancouver, BC

**Unit Plans**

**21569**

**As Noted**

**Friday, May 26, 2023**

**A-7.016**

**ISSUE 05.1 - RZ/DDP**

**A-3.003**



ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2065, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>BUILDING ACCESS</b>	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
<b>BUILDING ACCESS</b>	Coth cuts have tactile and visual cues	Coth cuts have tactile and visual cues	Coth cuts have tactile and visual cues
<b>BUILDING ACCESS</b>	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
<b>BUILDING ACCESS</b>	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1500mm corridors: 2' or 610mm clear wall space adjacent to door latch) - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each unit	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1500mm corridors: 2' or 610mm clear wall space adjacent to door latch) - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each Level 3 unit	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1500mm corridors: 2' or 610mm clear wall space adjacent to door latch) - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each Level 3 unit
<b>BUILDING ACCESS</b>	Canopy over main building entrances (3' or 915mm) and entrance.	Canopy over main building entrances (3' or 915mm) and entrance.	Canopy over main building entrances (3' or 915mm) and entrance.
<b>BUILDING ACCESS</b>	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parking level where disability parking is provided.	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parking level where disability parking is provided.	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parking level where disability parking is provided.
<b>BUILDING ACCESS</b>	Disability Parking provided in accordance with Zoning Bylaw Figure 9-4 as attached.	Disability Parking provided in accordance with Zoning Bylaw Figure 9-4 as attached.	Disability Parking provided in accordance with Zoning Bylaw Figure 9-4 as attached.
<b>BUILDING ACCESS</b>	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)
<b>BUILDING ACCESS</b>	Accessible building entrance, call buttons and, where provided, suite door bells.	Accessible building entrance, call buttons and, where provided, suite door bells.	Accessible building entrance, call buttons and, where provided, suite door bells.

\* Illustrations available  
- Options considered

Design Elements  
July 2005

DESIGN ELEMENTS

2 of 11

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>BASIC</b>	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
<b>BASIC</b>	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
<b>BASIC</b>	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
<b>BASIC</b>	Except for pocket doors, sliding doors, or doors equipped with operators, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with operators, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with operators, lever door handles are required on all doors (provide notation on door schedule)
<b>BASIC</b>	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
<b>BASIC</b>	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
<b>CIRCULATION</b>	Slip resistant flooring	Slip resistant flooring	Slip resistant flooring
<b>CIRCULATION</b>	Colour contrasting and doors	Colour contrasting and doors	Colour contrasting and doors
<b>BUILDING MEETING / AMENITY ROOMS</b>	Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
<b>UNIT ENTRIES</b>	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
<b>UNIT ENTRIES</b>	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below.	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below.	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below.
<b>UNIT ENTRIES</b>	Two door viewers: 3"5" or 1050mm and 6" or 150mm	Two door viewers: 3"5" or 1050mm and 6" or 150mm	Two door viewers: 3"5" or 1050mm and 6" or 150mm
<b>UNIT FLOORING</b>	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
<b>UNIT FLOORING</b>	High density, low level loop carpet and underlay maximum 1/2" or 13mm height	High density, low level loop carpet and underlay maximum 1/2" or 13mm height	High density, low level loop carpet and underlay maximum 1/2" or 13mm height
<b>PATIO AND BALCONIES</b>	Outdoor light fixture provided	Outdoor light fixture provided	Outdoor light fixture provided
<b>PATIO AND BALCONIES</b>	Electrical outlet provided	Electrical outlet provided	Electrical outlet provided

\* Illustrations available

- 1 of 3

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES

6 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>COMMON AREAS</b>	Accessible mailboxes for all AD Level 2 units, and 5' or 1500mm turning radius in front *	Accessible mailboxes for all AD Level 2 units, and 5' or 1500mm turning radius in front *	Accessible mailboxes for all AD Level 2 units, and 5' or 1500mm turning radius in front *
<b>CIRCULATION</b>	Corridors minimum 4' or 1200mm wide (except for service access areas) *	Corridors minimum 4' or 1200mm wide (except for service access areas) *	Corridors minimum 4' or 1200mm wide (except for service access areas) *
<b>CIRCULATION</b>	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit *
<b>SUITE CIRCULATION</b>	Provide wiring for an automatic door opener for the suite entry door.	Provide wiring for an automatic door opener for the suite entry door.	Provide wiring for an automatic door opener for the suite entry door.
<b>SUITE CIRCULATION</b>	Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms) *	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms) *	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms) *
<b>DOORS</b>	Minimum one bedroom, minimum one bedroom and storage room doors 2' 10" or 860mm clear opening	Minimum one bedroom, minimum one bedroom and storage room doors 2' 10" or 860mm clear opening	Minimum one bedroom, minimum one bedroom and storage room doors 2' 10" or 860mm clear opening
<b>PATIO &amp; BALCONIES</b>	Minimum one patio or balcony doors with maximum 1/2" or 13mm threshold	Minimum one patio or balcony doors with maximum 1/2" or 13mm threshold	Minimum one patio or balcony doors with maximum 1/2" or 13mm threshold
<b>PATIO &amp; BALCONIES</b>	Minimum 5' or 1500mm turning radius on patio / balcony	Minimum 5' or 1500mm turning radius on patio / balcony	Minimum 5' or 1500mm turning radius on patio / balcony
<b>WINDOWS</b>	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
<b>WINDOWS</b>	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-0" or 600mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-0" or 600mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-0" or 600mm above the floor
<b>KITCHEN</b>	Continuous counter between sink and stove *	Continuous counter between sink and stove *	Continuous counter between sink and stove *
<b>KITCHEN</b>	Sink cabinet minimum 23" or 610mm wide	Sink cabinet minimum 23" or 610mm wide	Sink cabinet minimum 23" or 610mm wide
<b>KITCHEN</b>	Provide sufficient space for future installation of cooktop and wall oven	Provide for potential 2" or 50mm wide undercounter workspace	Provide for potential 2" or 50mm wide undercounter workspace
<b>KITCHEN</b>	Lower edge of upper cupboards 4'6" or 1350mm above floor	Lower edge of upper cupboards 4'6" or 1350mm above floor	Lower edge of upper cupboards 4'6" or 1350mm above floor

\* Illustrations available  
- Options considered

Design Elements  
July 2005

DESIGN ELEMENTS

3 of 11



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(PROJECT TEAM)

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>ELECTRICAL</b>	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
<b>ELECTRICAL</b>	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
<b>ELECTRICAL</b>	Within suites a duplex outlet is required within 6' or 2000mm of a telephone jack	Within suites a duplex outlet is required within 6' or 2000mm of a telephone jack	Within suites a duplex outlet is required within 6' or 2000mm of a telephone jack
<b>ELECTRICAL</b>	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
<b>ELECTRICAL</b>	Rocker switches	Rocker switches	Rocker switches
<b>ELECTRICAL</b>	Double wall ceiling fixtures	Double wall ceiling fixtures	Double wall ceiling fixtures
<b>ELECTRICAL</b>	Provide wiring for automatic door opener and strike at unit entry	Provide wiring for automatic door opener and strike at unit entry	Provide wiring for automatic door opener and strike at unit entry
<b>WINDOWS</b>	Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
<b>KITCHEN</b>	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
<b>KITCHEN</b>	Paint-out work boards at 2'6" or 810mm height *	Paint-out work boards at 2'6" or 810mm height *	Paint-out work boards at 2'6" or 810mm height *
<b>KITCHEN</b>	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
<b>KITCHEN</b>	Adjustable shelves in all cabinets	Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
<b>KITCHEN</b>	Drawer storage in key areas	Drawer storage in key areas	Drawer storage in key areas
<b>KITCHEN</b>	Provision for removal of sink cabinet and provision for future installation of at least one counter appliance in front of cabinets	Provision for removal of sink cabinet and provision for future installation of at least one counter appliance in front of cabinets	Provision for removal of sink cabinet and provision for future installation of at least one counter appliance in front of cabinets
<b>KITCHEN</b>	Where regular refrigerator installed initially, provide adequate space for side by side model	Where regular refrigerator installed initially, provide adequate space for side by side model	Where regular refrigerator installed initially, provide adequate space for side by side model
<b>KITCHEN</b>	Countertop inside on stove / cook top	Countertop inside on stove / cook top	Countertop inside on stove / cook top

\* Illustrations available

- 2 of 3

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES

7 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>KITCHEN</b>	Minimum 4' or 1200mm floor space between base cabinets / walls (provide notation on window schedule)	Minimum 4' or 1200mm floor space between base cabinets / walls (provide notation on window schedule)	Minimum 4' or 1200mm floor space between base cabinets / walls (provide notation on window schedule)
<b>MIN. ONE BATHROOM</b>	Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
<b>MIN. ONE BATHROOM</b>	Provide turning radius within bathroom (may result from removal of vanity cabinet) *	Provide turning radius within bathroom (may result from removal of vanity cabinet) *	Provide turning radius within bathroom (may result from removal of vanity cabinet) *
<b>MIN. ONE BATHROOM</b>	3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
<b>MIN. ONE BATHROOM</b>	Tub control valve placed at outer edge of tub, with tub control remaining in central position *	Tub control valve placed at outer edge of tub, with tub control remaining in central position *	Tub control valve placed at outer edge of tub, with tub control remaining in central position *
<b>MIN. ONE BATHROOM</b>	Accessible storage	Accessible storage	Accessible storage
<b>MIN. ONE BATHROOM</b>	Space under sink minimum 2" or 50mm wide *	Space under sink minimum 2" or 50mm wide *	Space under sink minimum 2" or 50mm wide *
<b>MIN. ONE BATHROOM</b>	Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details	Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details	Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
<b>MIN. ONE BEDROOM</b>	Sufficient manoeuvring room between closet and double bed *	Sufficient manoeuvring room between closet and double bed *	Sufficient manoeuvring room between closet and double bed *
<b>MIN. ONE BEDROOM</b>	Provide 3' or 915mm access to window opening *	Provide 3' or 915mm access to window opening *	Provide 3' or 915mm access to window opening *
<b>LAUNDRY FACILITIES</b>	Provide front loading side-by-side washer / dryer in suite, or in common area	Provide front loading side-by-side washer / dryer in suite, or in common area	Provide front loading side-by-side washer / dryer in suite, or in common area
<b>LAUNDRY FACILITIES</b>	4' or 1200mm manoeuvring space in front of washer / dryer	4' or 1200mm manoeuvring space in front of washer / dryer	4' or 1200mm manoeuvring space in front of washer / dryer

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

\* Illustrations available  
- Options considered

Design Elements  
July 2005

DESIGN ELEMENTS

4 of 11



Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Unit Plans

21569 (PROJECT)

As Noted (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

(DRAWING)

A-3.004

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>MIN. ONE BATHROOM</b>	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
<b>MIN. ONE BATHROOM</b>	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
<b>MIN. ONE BATHROOM</b>	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
<b>MIN. ONE BATHROOM</b>	Provision for vanity sink removal	Provision for vanity sink removal	Provision for vanity sink removal
<b>MIN. ONE BATHROOM</b>	Adjustable height shower head or hand-held shower head on adjustable bracket	Adjustable height shower head or hand-held shower head on adjustable bracket	Adjustable height shower head or hand-held shower head on adjustable bracket
<b>MIN. ONE BATHROOM</b>	Water temperature regulator on tub / shower	Water temperature regulator on tub / shower	Water temperature regulator on tub / shower
<b>LIVING ROOM</b>	One switched electrical outlet	One switched electrical outlet	One switched electrical outlet
<b>BEDROOMS</b>	Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
<b>BEDROOMS</b>	Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
<b>BEDROOMS</b>	Telephone jack	Telephone jack	Telephone jack
<b>IN-SUITE STORAGE</b>	Provide light and electrical outlet	Provide light and electrical outlet	Provide light and electrical outlet

LEVEL 1 - ALL UNITS  
LEVEL 2 - ADAPTABLE UNITS: A1, B1 & C1

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES

8 of 11

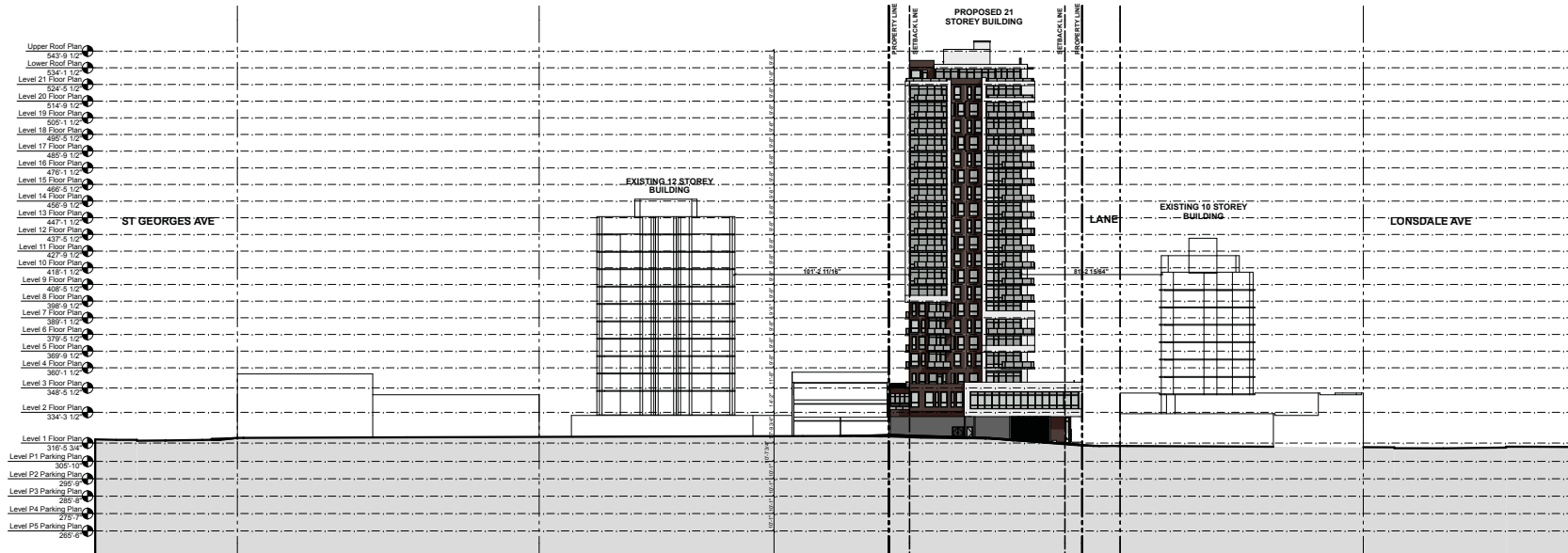


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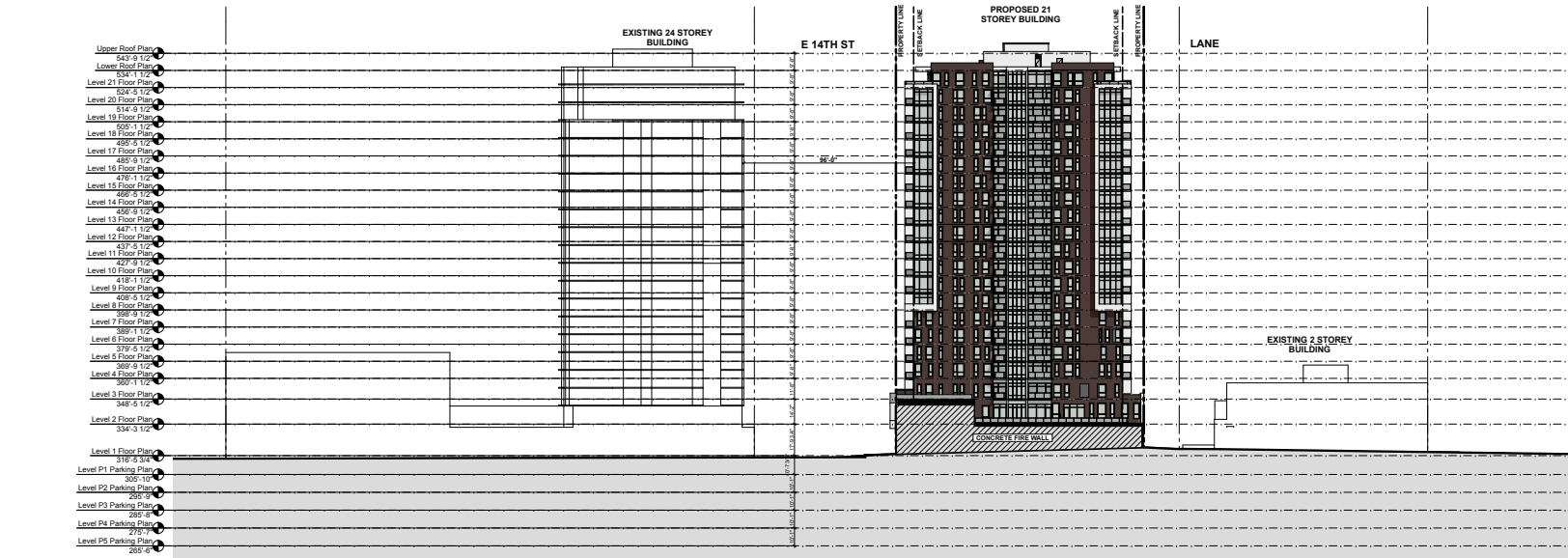
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(PROJECT TEAM)



1 North - Street Elevation  
SCALE: 1/32" = 1'-0"



2 East - Street Elevation  
SCALE: 1/32" = 1'-0"



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

North & East  
Street Elevation

21569 (PROJECT)

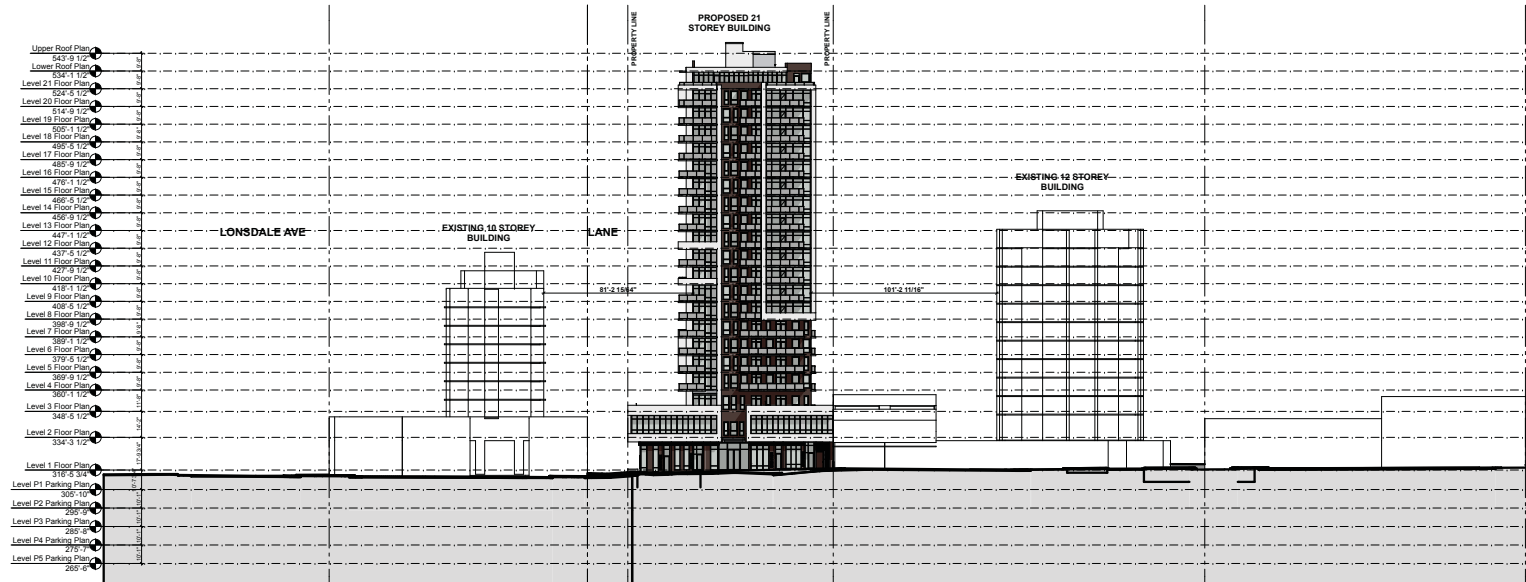
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Friday, May 26, 2023 (DATE)

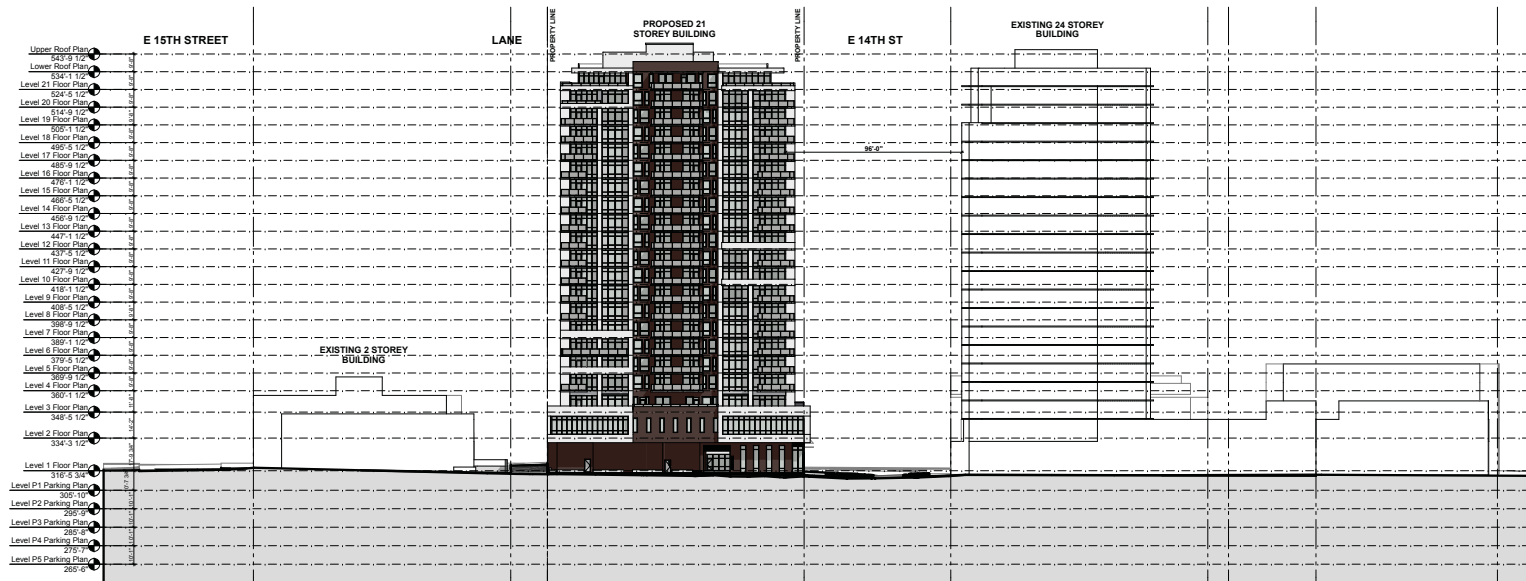
ISSUE 05.1 - RZ/D/P (ISSUE)

(DRAWING)

**A-4.001**



3 South - Street Elevation  
SCALE: 1/32" = 1'-0"



4 West - Street Elevation  
SCALE: 1/32" = 1'-0"



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(PROJECT TEAM)



Three Shores Development

(PROJECT)

East 14th Street

120-128 East 14th Street  
North Vancouver, BC

(STYLE)

South & West  
Street Elevation

21569 (PROJECT)

1/32" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

**A-4.002**

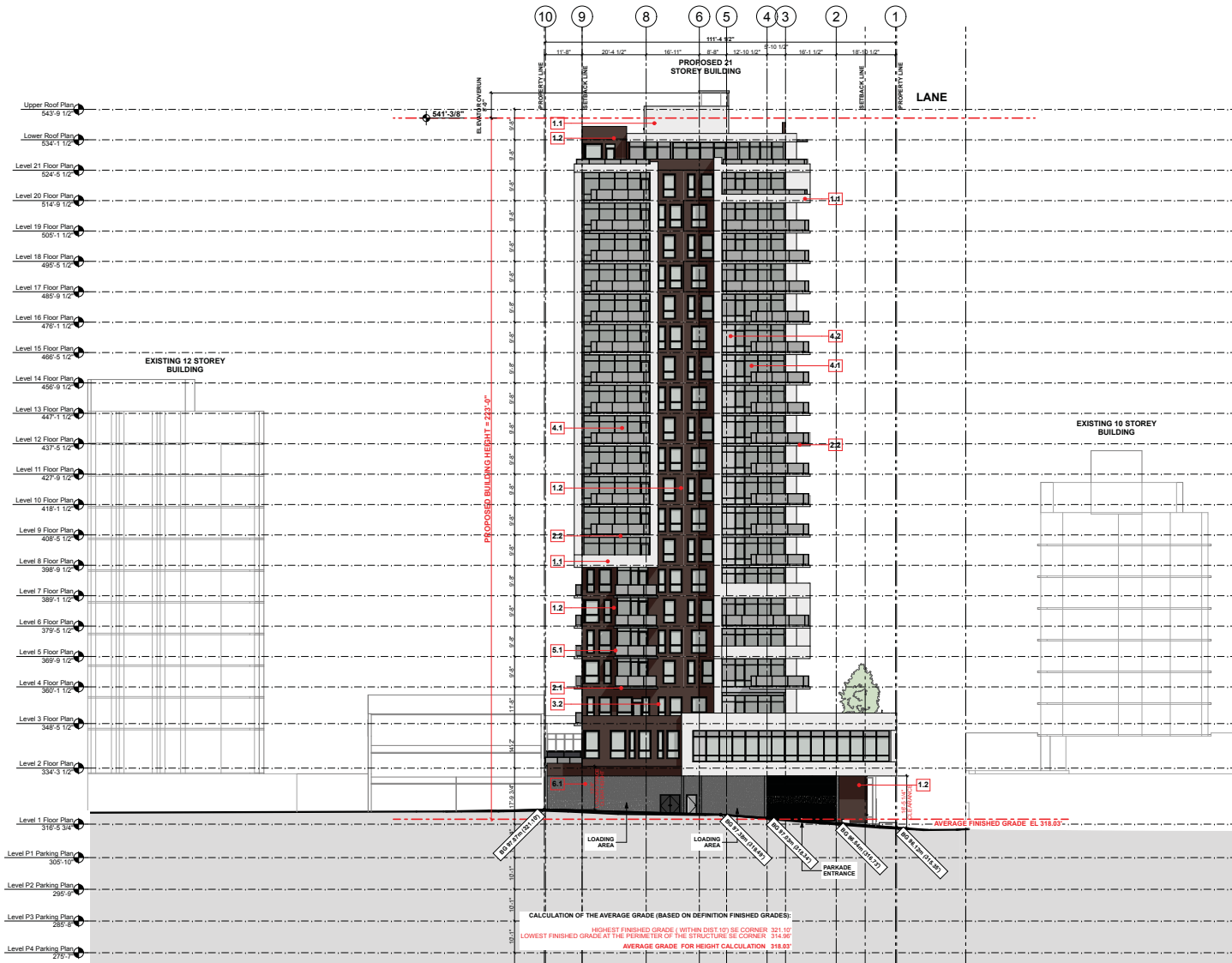




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(PROJECT TEAM)



1 North - Building Elevation  
SCALE: 1/16" = 1'-0"



Three Shores Development

(PROJECT)

East 14th Street

120-128 East 14th Street  
North Vancouver, BC

(TITLE)

North Elevation

21569 (PROJECT)

1/16" = 1'-0" (SCALE)

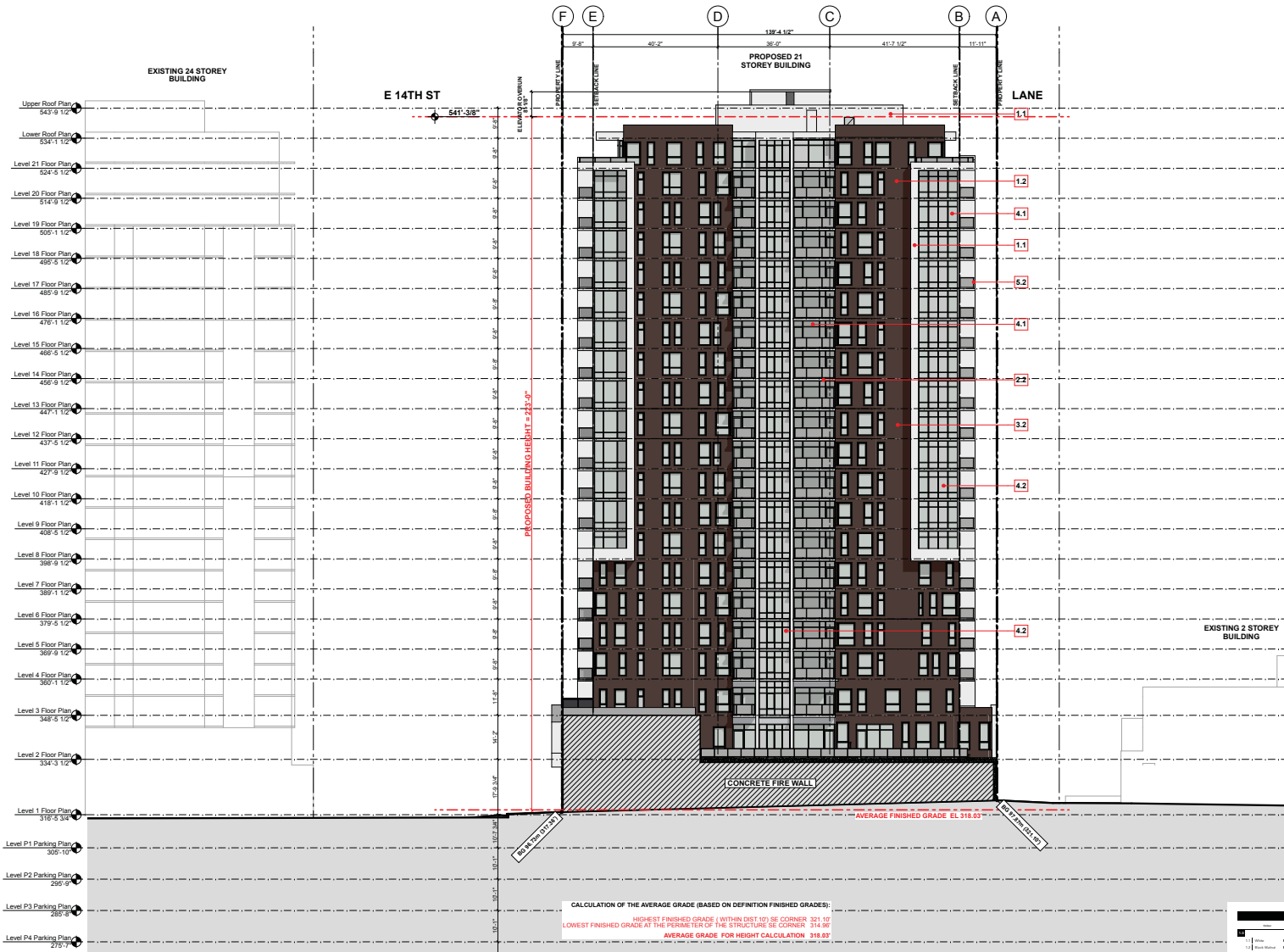
Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

**A-4.100**

Material and Colour Legend					
ID	Color	Material	Reference	Notes	Application
<b>ALUMINUM CLADDING</b>					
1	White	NA	Aluminum Composite Panel	Smooth	Window Walls
2	Black	NA	Aluminum Composite Panel	Smooth	Window Walls
<b>GLASS</b>					
3	Black	NA	Insulated Glass	Smooth	Window Walls
4	White	NA	Insulated Glass	Smooth	Window Walls
<b>WOODWORK</b>					
5	White	NA	White Oak Veneer	Smooth	Window Walls
6	White	NA	White Oak Veneer	Smooth	Window Walls
<b>WALLS</b>					
7	White	NA	Level 4 White Gypsum	Smooth	Window Walls
8	White	NA	Level 4 White Gypsum	Smooth	Window Walls
<b>ROOFING</b>					
9	Black	NA	Flat Flexible Membrane	Clear / Charcoal	Roofing @ Entry, Entry, Entrance, North/South
10	Black	NA	Flat Flexible Membrane	Clear / Charcoal	Roofing @ Entry, Entry, Entrance, North/South
<b>STRUCTURE</b>					
11	Light Grey	NA	Concrete	Smooth	Core Slabs and Columns



2 East - Building Elevation

SCALE: 1/16" = 1'-0"

Material and Colour Legend				
ID	Material	Reference	Material	Colour
<b>ALUMINUM CLADDING</b>				
1	Aluminum Composite Panel	Brush	Aluminum	Black
2	Aluminum Composite Panel	Brush	Aluminum	Black
<b>GLASS</b>				
3	Insulated Glass Unit	Clear	Clear	Clear
4	Insulated Glass Unit	Clear	Clear	Clear
<b>CONCRETE</b>				
5	Concrete	Form Finish	Concrete	Grey
6	Concrete	Form Finish	Concrete	Grey
<b>WOOD</b>				
7	Wood	Vertical Grain	Wood	Dark
8	Wood	Vertical Grain	Wood	Dark
<b>PAINT</b>				
9	Paint	Flat	Paint	White
10	Paint	Flat	Paint	White



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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
 North Vancouver, BC

(TITLE)

East Elevation

21569 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DDP (ISSUE)

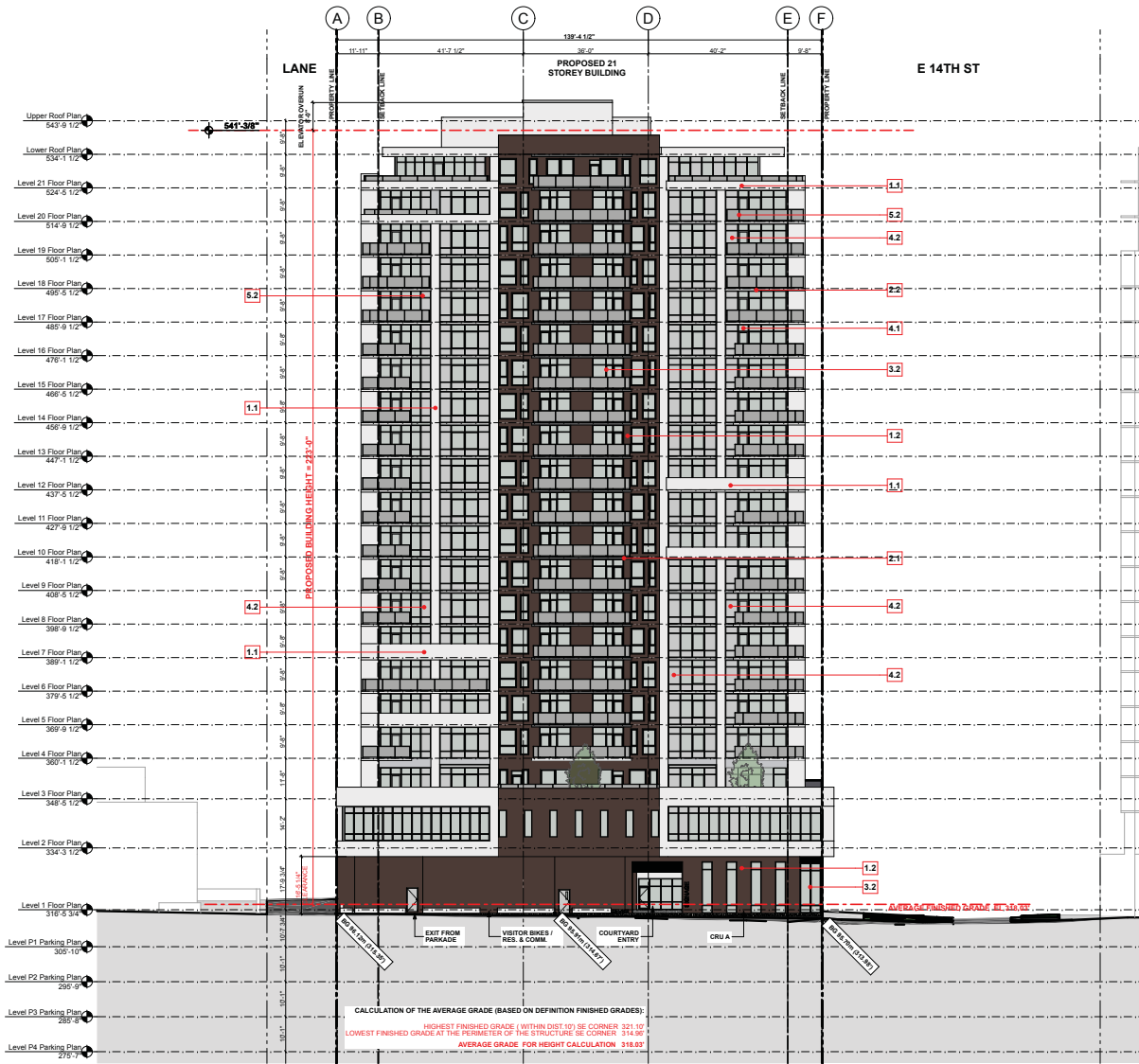
(DRAWING)

STRUCTURE

A-4.200







4 West - Building Elevation  
SCALE: 1/16" = 1'-0"



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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**  
120-126 East 14th Street  
North Vancouver, BC

(TITLE)

**West Elevation**

(PROJECT)

**21569**

1/16" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

**A-4.400**

Material and Colour Legend					
ID	Color	Material	Finish (Color)	Finish (Texture)	Notes
<b>ALUMINUM CLADDING</b>					
1	White	NA	Aluminum Composite Panel	Smooth	Aluminum Balcony
2	Black	NA	Aluminum Composite Panel	Smooth	Aluminum Balcony
<b>SOFFIT/PANORAMA</b>					
3	Black	NA	Aluminum Balcony	Smooth	Aluminum Balcony
4	White	NA	Aluminum Balcony	Smooth	Aluminum Balcony
<b>WINDOW FRAME</b>					
5	White	NA	Window Balcony	Smooth	Window Balcony
6	Black	NA	Window Balcony	Smooth	Window Balcony
<b>GLASS</b>					
7	Clear	NA	Low-E Multi-Glass	Smooth	Window Balcony
8	Clear	NA	Window Balcony	Smooth	Window Balcony
<b>PAVING</b>					
9	Dark Grey	NA	Porcelain Ceramic Tiles - Clear Safety Glass	Clear / Channel	Porcelain Ceramic Tiles - Clear Safety Glass
10	Light Grey	NA	Porcelain Ceramic Tiles - Clear Safety Glass	Clear / Channel	Porcelain Ceramic Tiles - Clear Safety Glass
11	Light Grey	NA	Porcelain Ceramic Tiles - Clear Safety Glass	Clear / Channel	Porcelain Ceramic Tiles - Clear Safety Glass



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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-128 East 14th Street  
North Vancouver, BC

(TITLE)

Building Sections

(PROJECT)

21569

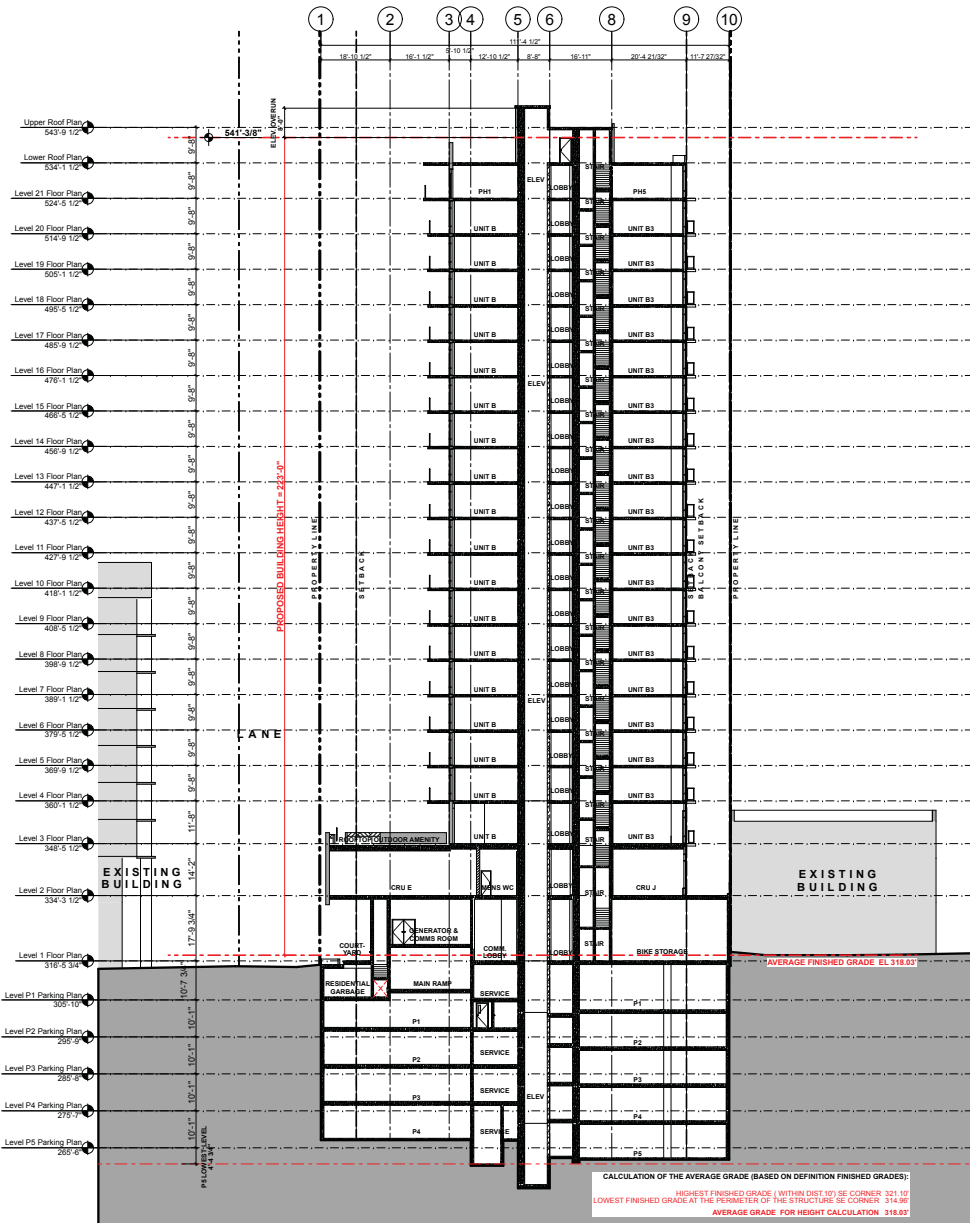
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Friday, May 26, 2023 (DATE)

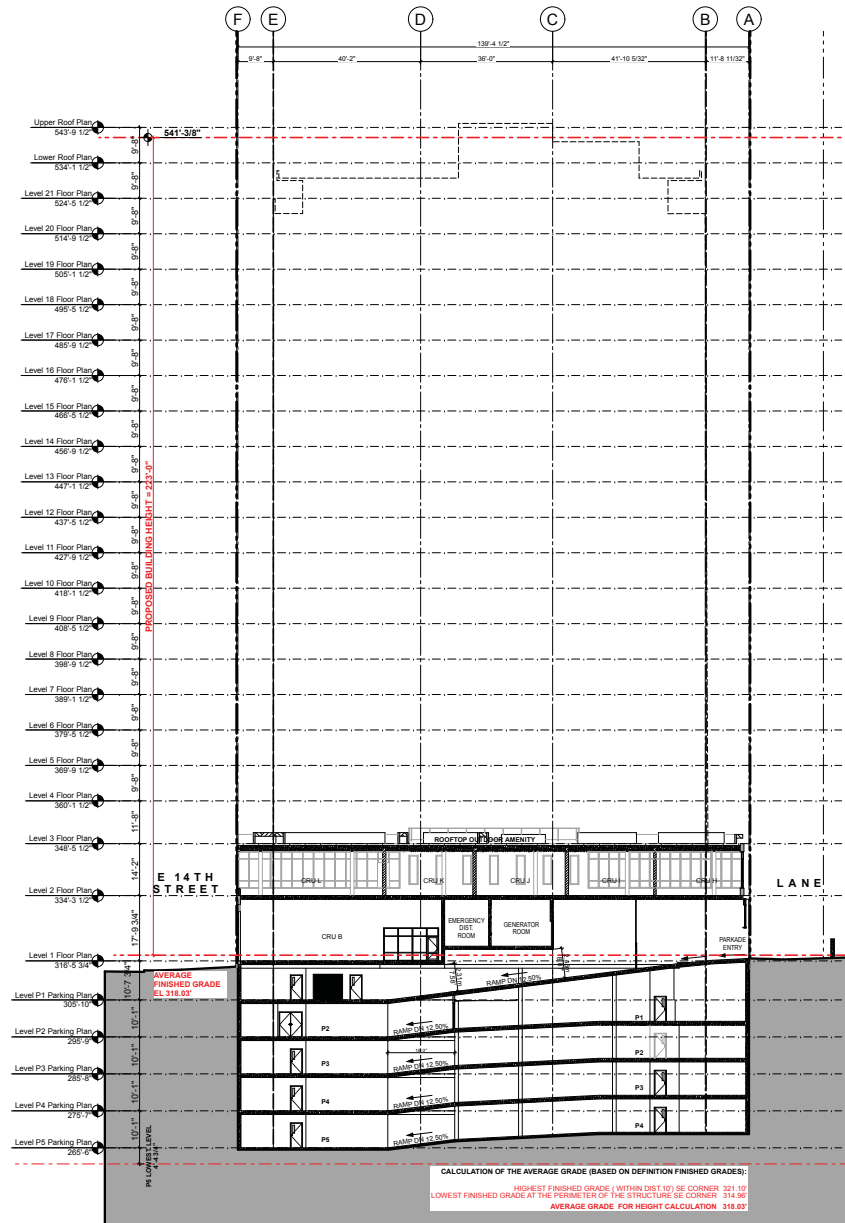
ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

**A-5.100**



1 Building Section - East-West



2 Building Section - North-South

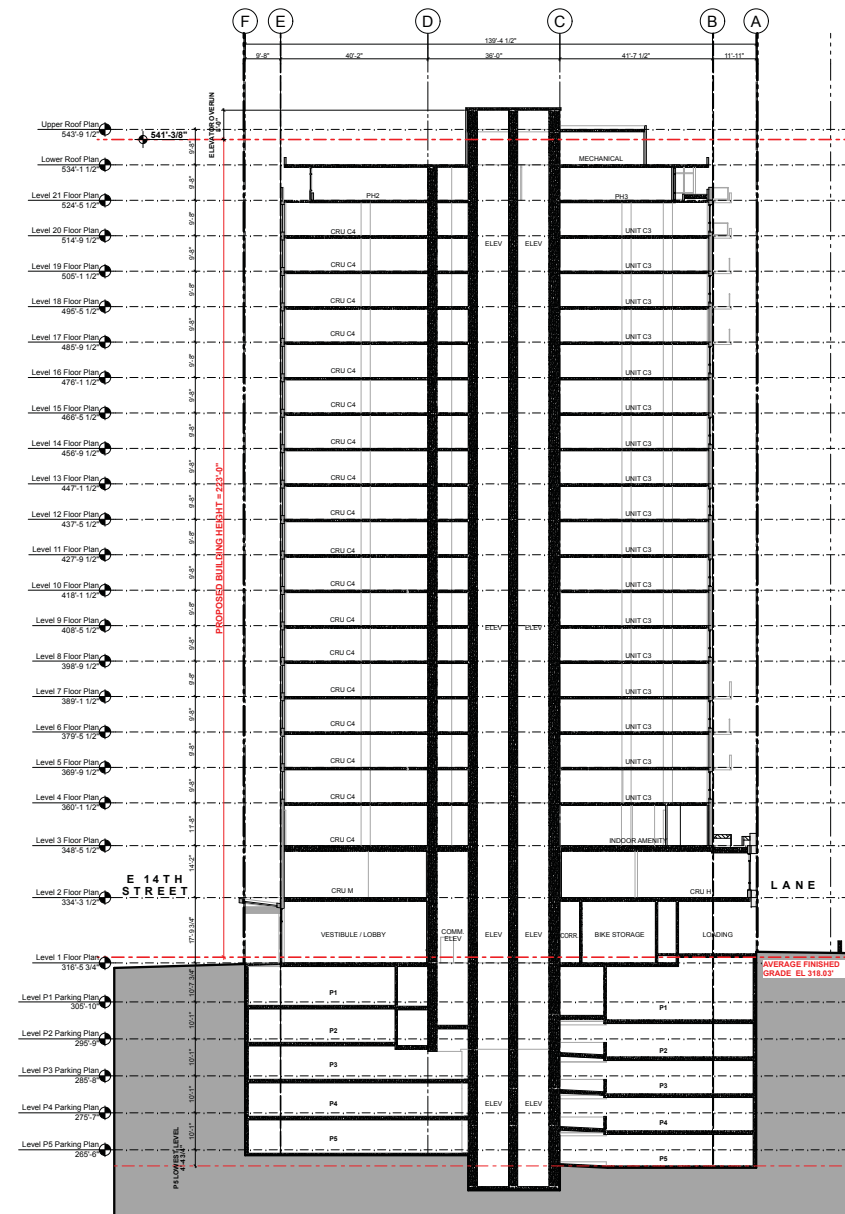


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[PROJECT TEAM]



**Three Shores Development**  
[PROJECT]

**East 14th Street**  
120-128 East 14th Street  
North Vancouver, BC  
[STYLE]

**Building Sections**  
[PROJECT]

**21569**  
[SCALE]  
1/16" = 1'-0"

**Friday, May 26, 2023**  
[DATE]

**ISSUE 05.1 - RZ/DP**  
[ISSUE]

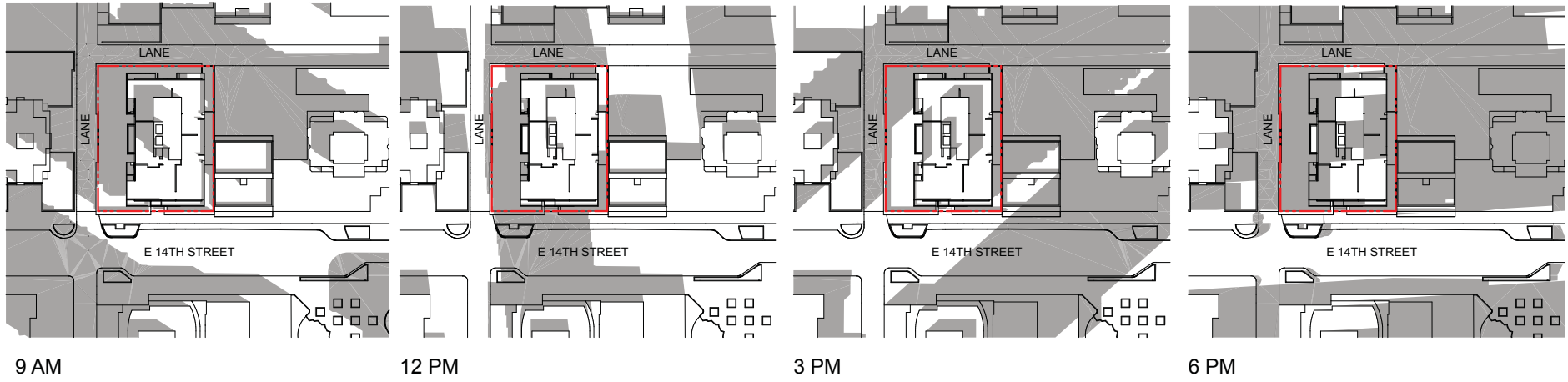
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**A-5.101**

3 Building Section - North-South 2  
SCALE: 1/16" = 1'-0"



SPRING EQUINOX  
MARCH 21



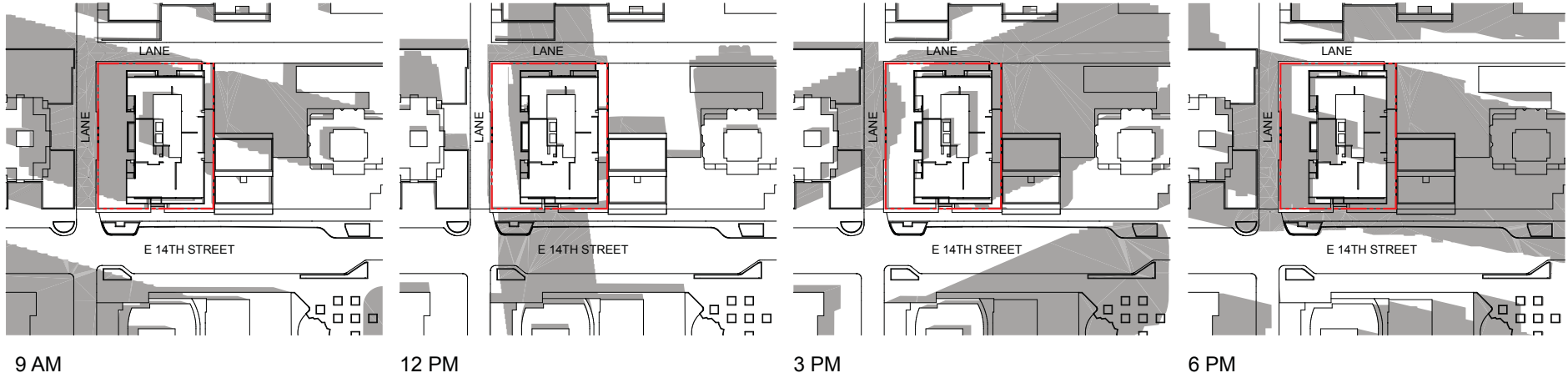
9 AM

12 PM

3 PM

6 PM

SUMMER SOLSTICE  
JUNE 21



9 AM

12 PM

3 PM

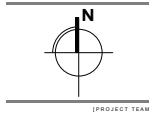
6 PM



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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**

120-126 East 14th Street  
North Vancouver, BC

(STYLE)

**Shadow Study**

(PROJECT)

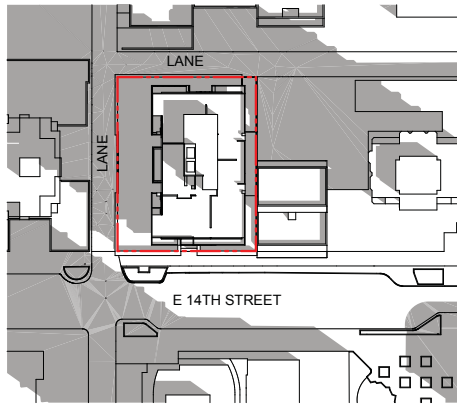
21569 (SCALE)

Friday, May 26, 2023 (DATE)

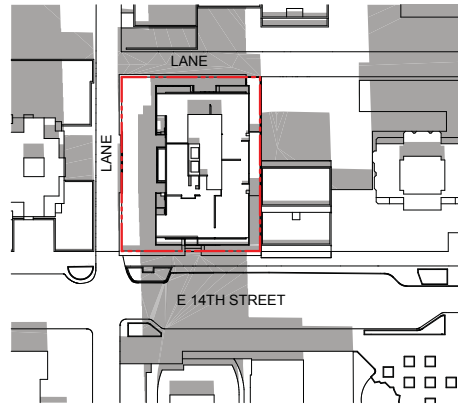
ISSUE 05.1 - RZ/DP (ISSUE)

(DRAWING)

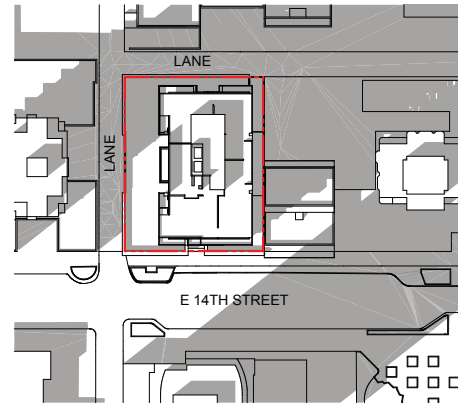
FALL EQUINOX  
SEPTEMBER 23



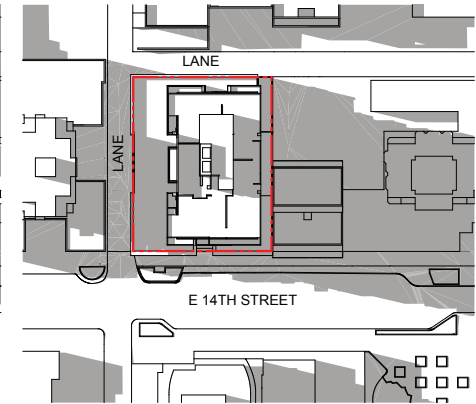
9 AM



12 PM

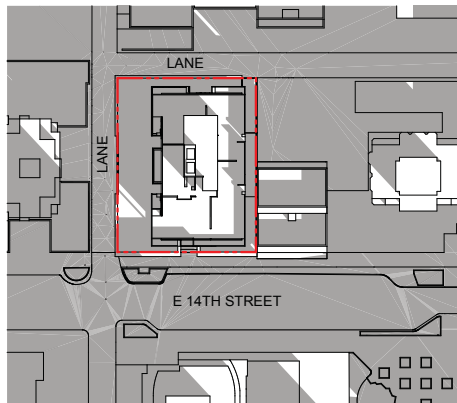


3 PM

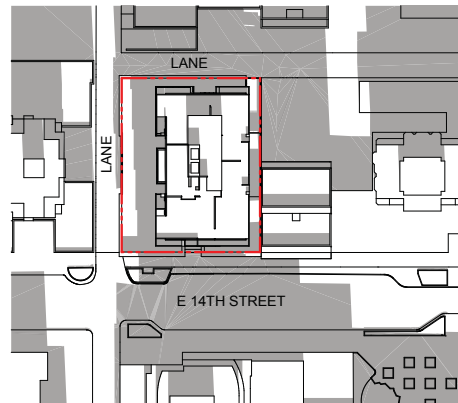


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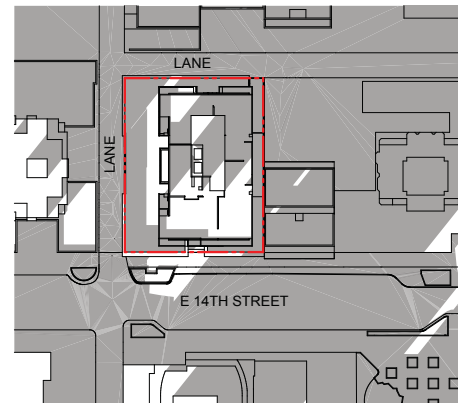
WINTER SOLSTICE  
DECEMBER 21



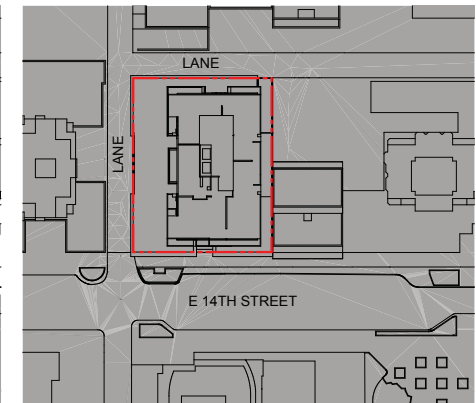
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**Integra**

ARCHITECTURE INC.

2330-200 Granville Street

Vancouver, BC, V6C 1S4

www.integra-arch.com

Telephone: 604 688 4220

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(PROJECT TEAM)



(CLIENT)

**Three Shores Development**

(PROJECT)

**East 14th Street**

120-126 East 14th Street

North Vancouver, BC

(STYLE)

**Shadow Study**

(PROJECT)

21569

(SCALE)

Friday, May 26, 2023

(DATE)

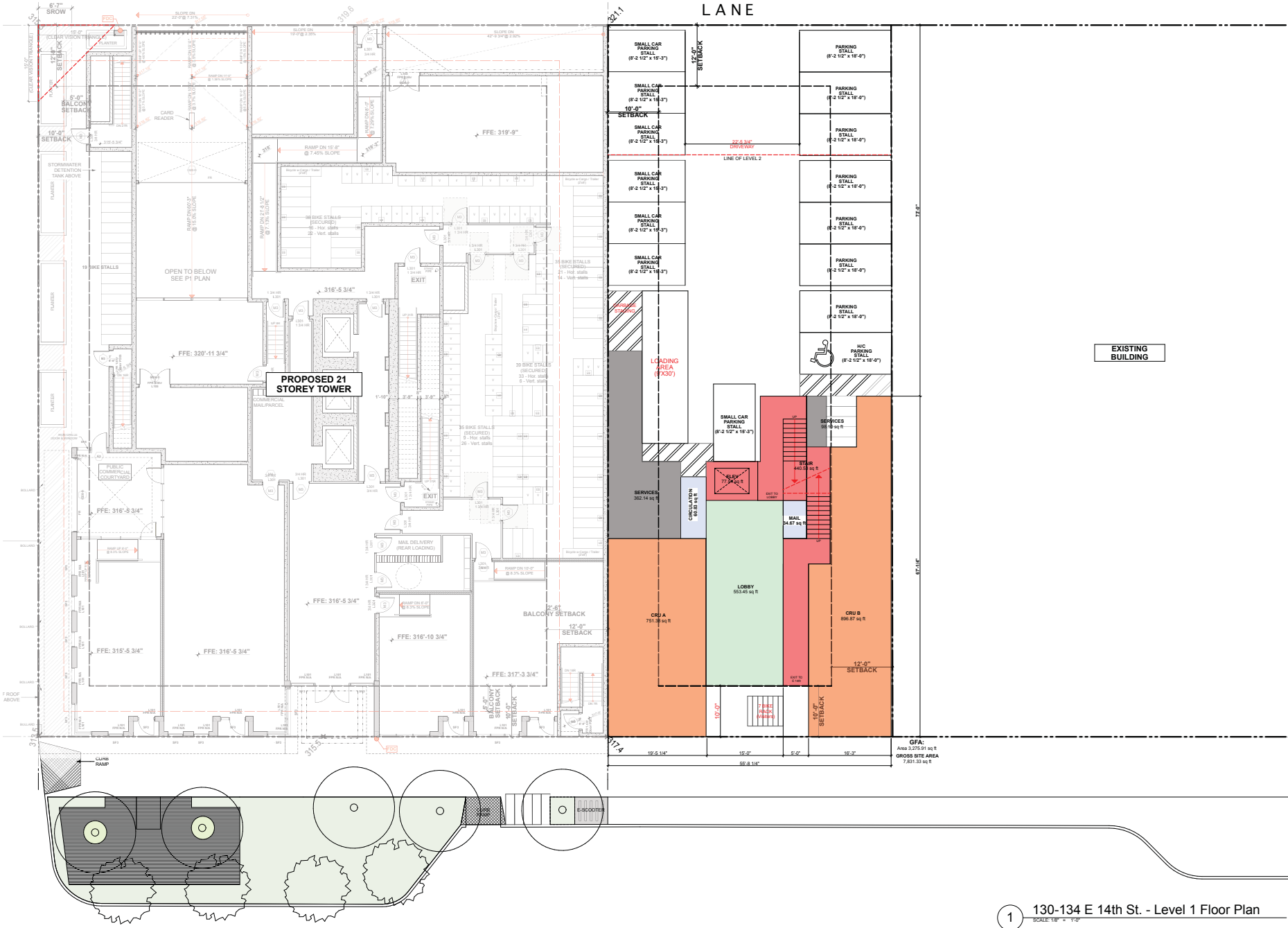
ISSUE 05.1 - RZ/DP

(ISSUE)

(DRAWING)

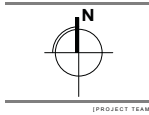






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[PROJECT TEAM]



[CLIENT]

**Three Shores Development**

[PROJECT]

**East 14th Street**

130-134 East 14th Street  
North Vancouver, BC

[TITLE]

**Site Study**  
**130-134 E 14th St**  
**- Level 1**

[PROJECT]

**21569** [SCALE]

1/8" = 1'-0" [SCALE]

Friday, May 26, 2023 [DATE]

ISSUE 05.1 - RZ/DDP [ISSUE]

[DRAWING]

1 130-134 E 14th St. - Level 1 Floor Plan  
SCALE: 1/8" = 1'-0"

**A-8.201**



# Integra

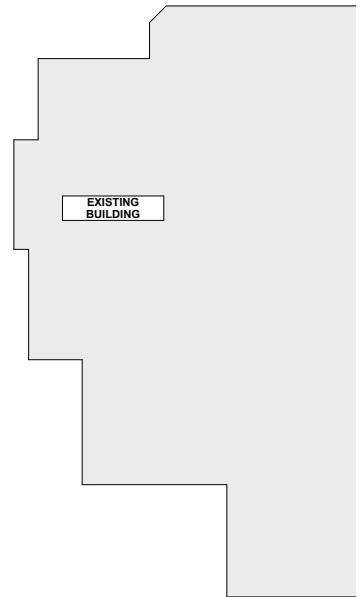
ARCHITECTURE INC.

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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Site Study  
130-134 E 14th St  
- Level 2

(PROJECT)

21569

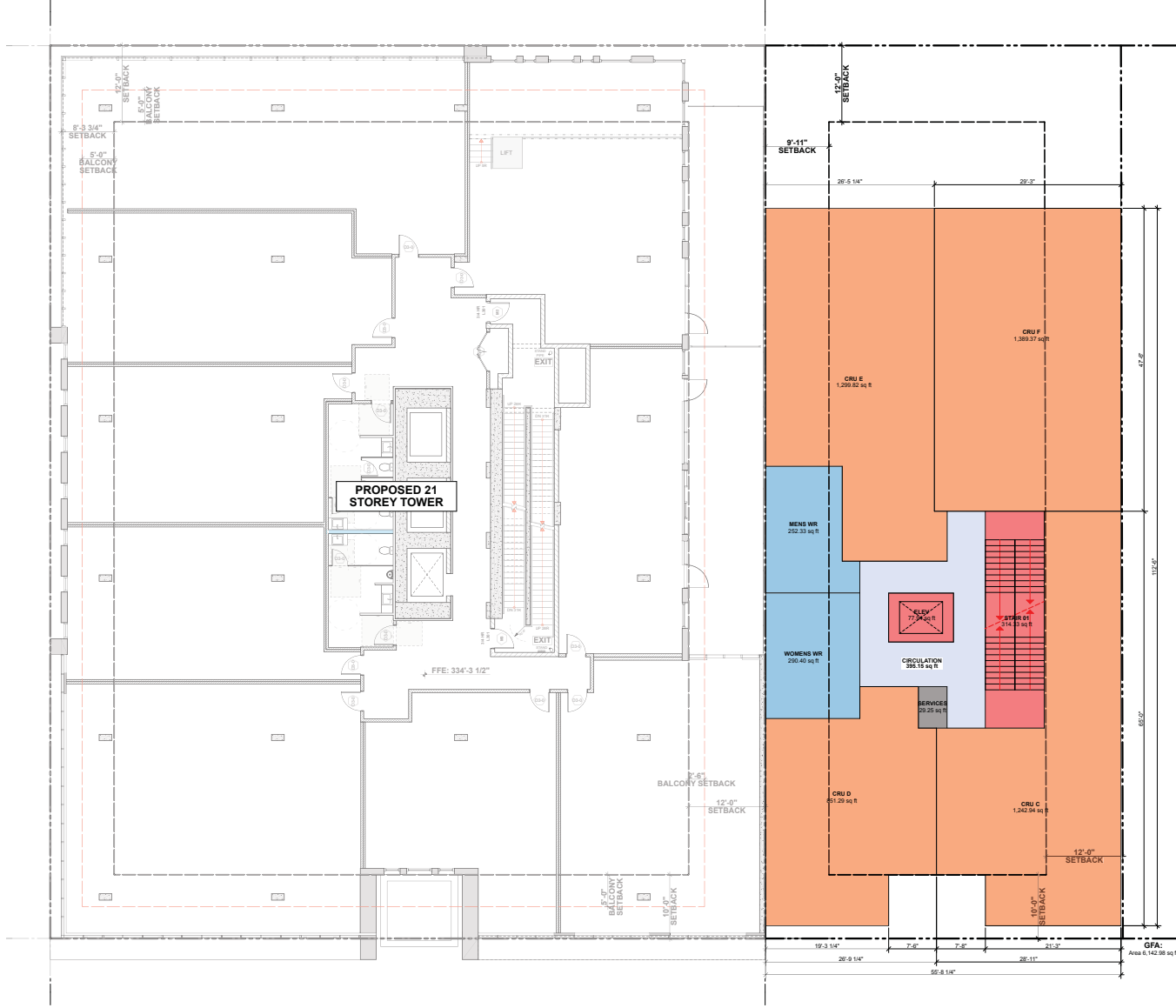
1/8" = 1'-0"

Friday, May 26, 2023

ISSUE 05.1 - RZ/DP

(DRAWING)

## A-8.202



2 130-134 E 14th St. - Level 2 Floor Plan  
SCALE: 1/8" = 1'-0"





PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR-1	154.81
	Circulation	CORRIDOR-2	171.67
	Circulation	ELEV	334.19
	Circulation	ELEV	312.00
	Circulation	GENERATOR ROOM	520.18
	Circulation	MAIL/PARCEL ROOM	217.72
Level 2 Floor Plan	Circulation	MAIN ELEC. ROOM	879.96
	Circulation	MECH SERVICES	36.77
	Circulation	STAIR 01	441.33
	Commercial	CRU A	683.22
	Commercial	CRU B	1,277.11
	Commercial	CRU C	516.58
Level 3 Floor Plan	Commercial	CRU D	737.37
	Circulation	COMM ELEV	312.00
	Circulation	CORRIDOR	882.97
	Circulation	ELEV	312.00
	Circulation	GENS WR	29.78
	Circulation	MECH SERVICES	36.77
Level 4 Floor Plan	Circulation	STAR 01	311.95
	Circulation	WOMENS WR	223.16
	Commercial	CRU E	1,383.26
	Commercial	CRU F	943.09
	Commercial	CRU G	1,464.00
	Commercial	CRU H	1,030.41
Level 5 Floor Plan	Commercial	CRU I	1,184.75
	Commercial	CRU J	1,059.89
	Commercial	CRU K	1,039.80
	Commercial	CRU L	1,864.54
	Commercial	CRU M	974.86
	Circulation	CORRIDOR	493.08
Level 6 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	224.89
	Circulation	SERVICES	32.33
	Circulation	STAR 01	321.63
	Residential	APARTMENTS	3,000.20
	Circulation	CORRIDOR	510.04
Level 7 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	224.89
	Circulation	SERVICES	32.33
	Circulation	STAR 01	321.63
	Residential	APARTMENTS	6,456.25
	Circulation	CORRIDOR	478.89
Level 8 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 9 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 10 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 11 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 12 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 13 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 14 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 15 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 16 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 17 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 18 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 19 Floor Plan	Circulation	CORRIDOR	478.89
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 20 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 21 Floor Plan	Circulation	ELEV	317.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89

GFA		GFA	
LEVEL	AREA	LEVEL	AREA
Level 1 Floor Plan	11,708.41	Level 12 Floor Plan	7,367.66
Level 2 Floor Plan	13,743.35	Level 13 Floor Plan	7,367.66
Level 3 Floor Plan	7,367.66	Level 14 Floor Plan	7,367.66
Level 4 Floor Plan	7,367.66	Level 15 Floor Plan	7,367.66
Level 5 Floor Plan	7,367.66	Level 16 Floor Plan	7,367.66
Level 6 Floor Plan	7,367.66	Level 17 Floor Plan	7,367.66
Level 7 Floor Plan	7,367.66	Level 18 Floor Plan	7,367.66
Level 8 Floor Plan	7,367.66	Level 19 Floor Plan	7,367.66
Level 9 Floor Plan	7,367.66	Level 20 Floor Plan	7,367.66
Level 10 Floor Plan	7,367.66	Level 21 Floor Plan	6,338.97
Level 11 Floor Plan	7,367.66		164,409.81 ft

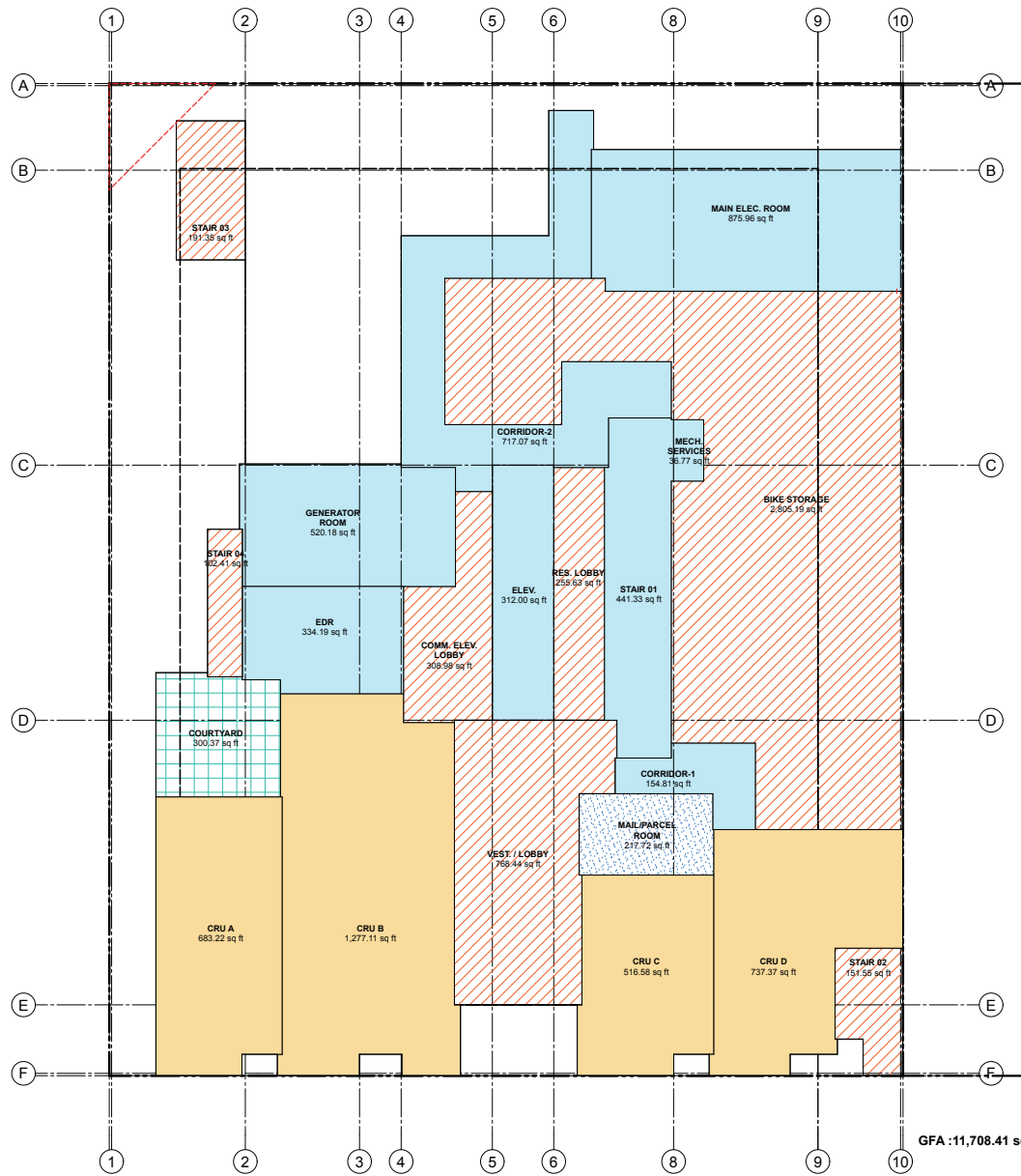
GFA EXCLUSIONS		
Zone Name	Area	
BIKE STORAGE	2,806.19	
COMM ELEV LOBBY	306.37	
COURTYARD	800.37	
RES LOBBY	258.63	
STAR 02	151.55	
STAR 03	191.35	
STAR 04	102.41	
VEST / LOBBY	768.44	
INDOOR AMENITY	2,363.97	
	7,247.89 ft	

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,800.20
	Residential	APARTMENTS	6,248.95
Level 4 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 5 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 6 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 7 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 8 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 9 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 10 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 11 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 12 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 13 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 14 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 15 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 16 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 17 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 18 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 19 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 20 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23
Level 21 Floor Plan	Residential	APARTMENTS	6,250.78
	Residential	APARTMENTS	117,459.81 ft

CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Commercial	CRU A	683.22
	Commercial	CRU B	1,277.11
	Commercial	CRU C	516.58
	Commercial	CRU D	737.37
Level 2 Floor Plan	Commercial	CRU E	1,383.26
	Commercial	CRU F	943.09
	Commercial	CRU G	1,464.00
	Commercial	CRU H	1,030.41
	Commercial	CRU I	1,184.75
	Commercial	CRU J	1,059.89
	Commercial	CRU K	1,039.80
	Commercial	CRU L	1,864.54
	Commercial	CRU M	974.86
			14,758.88 ft

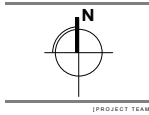


1 Level 1 Area Overlay  
SCALE: 1/8" = 1'-0"



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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Level 1 Area Overlay

21569 (PROJECT)

1/8" = 1'-0", 1" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

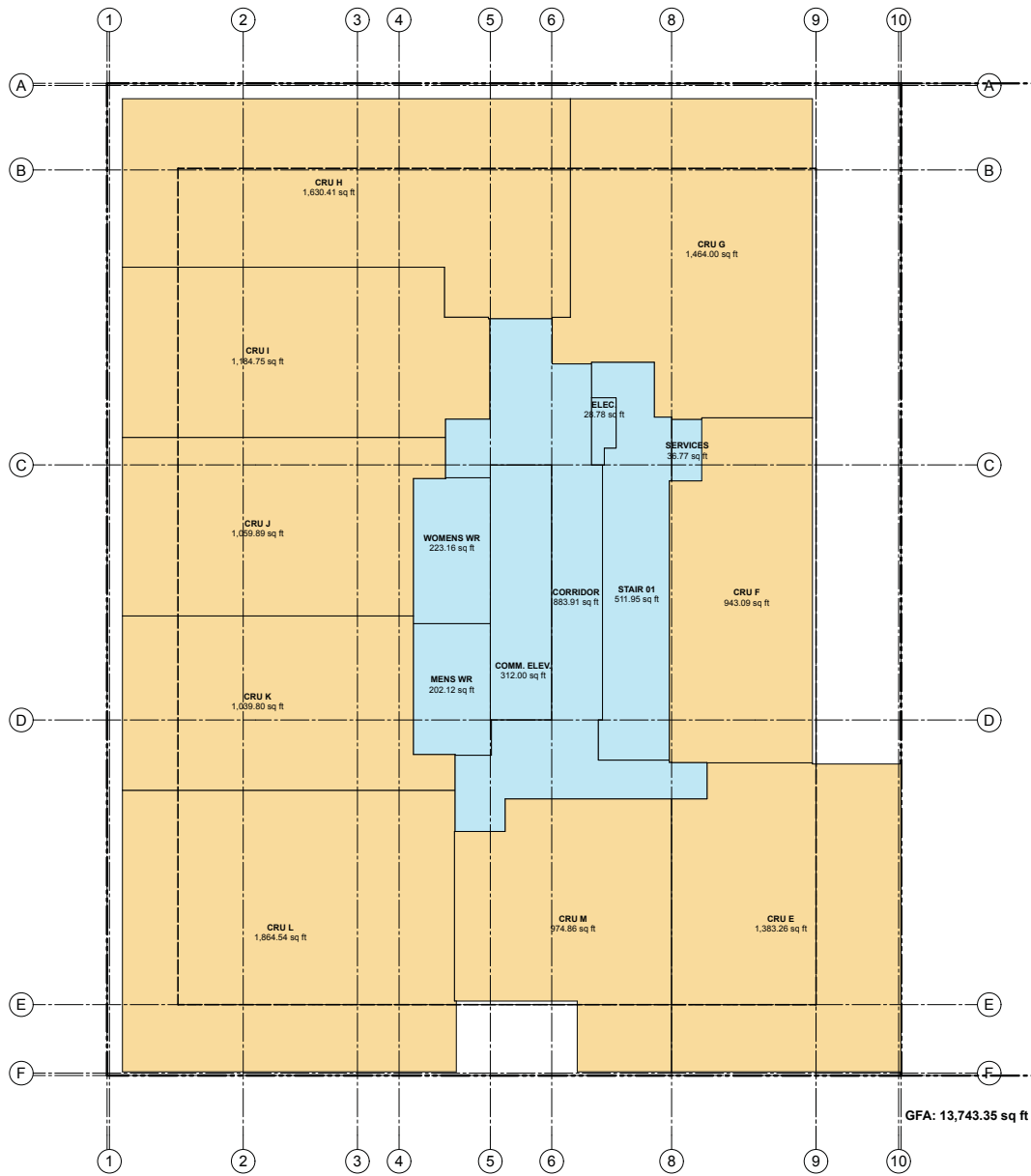
(DRAWING)

**A-8.301**

GFA : 11,708.41 sq ft

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Circulation	CORRIDOR	154.81	
	Circulation	CORRIDOR-2	171.67	
	Circulation	ELEV	334.19	
	Circulation	ELEV	372.00	
	Circulation	GENERATOR ROOM	200.00	
	Circulation	MAIL/PRECE ROOM	217.72	
	Circulation	MAIN ELEC. ROOM	879.96	
	Circulation	MECH SERVICES	36.77	
	Circulation	STAIR 01	441.33	
	Commercial	CRU A	883.22	
Level 2 Floor Plan	Commercial	CRU F	1,184.75	
	Commercial	CRU C	616.58	
	Commercial	CRU D	737.37	
	Circulation	COMM ELEV	312.00	
	Circulation	CORRIDOR	883.97	
	Circulation	ELEC	29.78	
	Circulation	MENS WR	202.12	
	Circulation	SERVICES	36.77	
	Circulation	STAIR 01	511.95	
	Circulation	WOMENS WR	223.16	
Level 3 Floor Plan	Commercial	CRU E	1,383.26	
	Commercial	CRU H	1,454.00	
	Commercial	CRU I	1,184.75	
	Commercial	CRU J	1,039.80	
	Commercial	CRU K	1,039.80	
	Commercial	CRU L	1,864.54	
	Commercial	CRU M	974.86	
	Circulation	CORRIDOR	493.08	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	224.89	
Level 4 Floor Plan	Circulation	SERVICES	33.33	
	Circulation	STAIR 01	321.63	
	Residential	APARTMENTS	3,900.20	
	Circulation	CORRIDOR	510.04	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	224.89	
	Circulation	SERVICES	33.33	
	Circulation	STAIR 01	321.63	
	Residential	APARTMENTS	6,450.36	
	Level 5 Floor Plan	Circulation	CORRIDOR	478.89
Circulation		ELEC	31.79	
Circulation		ELEVATOR	216.67	
Circulation		SERVICES	33.66	
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 6 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 7 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 8 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 9 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 10 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 11 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 12 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 13 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 14 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 15 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 16 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 17 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 18 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	

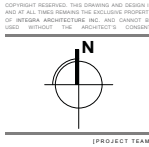
PROPOSED 21 STOREY MIXED-USE TOWER (FSR)											
LEVEL	Zone Category	Name	AREA								
Level 19 Floor Plan	Circulation	CORRIDOR	478.89								
	Circulation	ELEVATOR	216.67								
	Circulation	SERVICES	33.66								
	Circulation	STAIR 01	310.64								
	Residential	APARTMENTS	6,378.23								
	Level 20 Floor Plan	Circulation	CORRIDOR	478.89							
		Circulation	ELEVATOR	216.67							
		Circulation	SERVICES	33.66							
		Circulation	STAIR 01	310.64							
		Residential	APARTMENTS	6,378.23							
Level 21 Floor Plan		Circulation	CORRIDOR	438.41							
		Circulation	ELEVATOR	311.79							
		Circulation	SERVICES	33.66							
		Circulation	STAIR 01	310.64							
		Residential	APARTMENTS	6,378.23							
	LEVEL	GFA	AREA								
		Level 1 Floor Plan		11,708.41							
		Level 2 Floor Plan		13,743.35							
		Level 3 Floor Plan		7,367.66							
		Level 4 Floor Plan		7,367.66							
Level 5 Floor Plan			7,367.66								
Level 6 Floor Plan			7,367.66								
Level 7 Floor Plan			7,367.66								
Level 8 Floor Plan			7,367.66								
Level 9 Floor Plan			7,367.66								
Level 10 Floor Plan		7,367.66									
Level 11 Floor Plan		7,367.66									
Level 12 Floor Plan		7,367.66									
Level 13 Floor Plan		7,367.66									
Level 14 Floor Plan		7,367.66									
Level 15 Floor Plan		7,367.66									
Level 16 Floor Plan		7,367.66									
Level 17 Floor Plan		7,367.66									
Level 18 Floor Plan		7,367.66									
Level 19 Floor Plan		7,367.66									
Level 20 Floor Plan		7,367.66									
Level 21 Floor Plan		6,338.97									
LEVEL			<b>164,409.81 ft</b>								
GFA EXCLUSIONS											
Zone Name											
AREA											
Level 1 Floor Plan	BIKE STORAGE		2,806.19								
	COMM. ELEV. LOBBY		306.98								
	COURTYARD		300.37								
	REEL LOBBY		256.63								
	STAIR 02		151.55								
	STAIR 03		191.35								
	STAIR 04		102.41								
	VEST / LOBBY		768.44								
	Level 3 Floor Plan	INDOOR AMENITY		2,363.97							
				<b>7,247.89 ft</b>							
APARTMENT AREA											
Zone Name											
AREA											
Level 3 Floor Plan	Residential	APARTMENTS	3,900.20								
	Level 4 Floor Plan	Residential	APARTMENTS	6,240.95							
		Level 5 Floor Plan	Residential	APARTMENTS	6,378.23						
			Level 6 Floor Plan	Residential	APARTMENTS	6,378.23					
				Level 7 Floor Plan	Residential	APARTMENTS	6,378.23				
					Level 8 Floor Plan	Residential	APARTMENTS	6,378.23			
						Level 9 Floor Plan	Residential	APARTMENTS	6,378.23		
							Level 10 Floor Plan	Residential	APARTMENTS	6,378.23	
								Level 11 Floor Plan	Residential	APARTMENTS	6,378.23
									Level 12 Floor Plan	Residential	APARTMENTS
Level 13 Floor Plan										Residential	APARTMENTS
	Level 14 Floor Plan									Residential	APARTMENTS
		Level 15 Floor Plan								Residential	APARTMENTS
			Level 16 Floor Plan							Residential	APARTMENTS
				Level 17 Floor Plan						Residential	APARTMENTS
					Level 18 Floor Plan					Residential	APARTMENTS
						Level 19 Floor Plan				Residential	APARTMENTS
							Level 20 Floor Plan			Residential	APARTMENTS
								Level 21 Floor Plan		Residential	APARTMENTS
									LEVEL		
CRU AREA											
Zone Category											
Name											
AREA											
Level 1 Floor Plan	Commercial	CRU A	883.22								
	Commercial	CRU B	1,277.11								
	Commercial	CRU C	616.58								
	Commercial	CRU D	737.37								
	Level 2 Floor Plan	Commercial	CRU E	1,383.26							
		Commercial	CRU F	943.09							
		Commercial	CRU G	1,454.00							
		Commercial	CRU H	1,030.41							
		Commercial	CRU I	1,184.75							
		Commercial	CRU J	1,039.80							
Commercial		CRU K	1,039.80								
Commercial		CRU L	1,864.54								
Commercial		CRU M	974.86								
LEVEL				<b>14,768.88 ft</b>							



1 Level 2 Area Overlay  
SCALE: 1/8" = 1'-0"



**Integra**  
ARCHITECTURE INC.  
2330-200 Granville Street  
Vancouver, BC, V6C 1S4  
www.integra-arch.com  
Telephone: 604 688 4220



(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Level 2 Area Overlay

21569 (PROJECT)

1/8" = 1'-0", 1" = 1'-0" (A1)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

(DRAWING)

**A-8.302**

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	154.81
	Circulation	CORRIDOR-2	171.67
	Circulation	ELEV	334.19
	Circulation	ELEV	372.00
	Circulation	GENERATOR ROOM	200.00
	Circulation	MAIL/PREICE ROOM	217.72
	Circulation	MAIN ELEC. ROOM	879.96
Level 2 Floor Plan	Circulation	MECH SERVICES	36.77
	Circulation	STAIR 01	441.33
	Commercial	CRU A	683.22
	Commercial	CRU B	1,277.11
	Commercial	CRU C	616.58
	Commercial	CRU D	737.37
	Commercial	CRU E	1,363.26
Level 3 Floor Plan	Circulation	DOMM ELEV	312.00
	Circulation	CORRIDOR	882.97
	Circulation	ELEC	29.78
	Circulation	KENS WR	262.17
	Circulation	SERVICES	36.77
	Circulation	STAIR 01	311.95
	Circulation	WOMENS WR	223.16
Level 4 Floor Plan	Commercial	CRU E	1,363.26
	Commercial	CRU F	943.09
	Commercial	CRU G	1,464.00
	Commercial	CRU H	1,030.41
	Commercial	CRU I	1,184.75
	Commercial	CRU J	1,059.89
	Commercial	CRU K	1,030.80
Level 5 Floor Plan	Commercial	CRU L	1,864.54
	Commercial	CRU M	974.86
	Circulation	CORRIDOR	493.08
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	224.92
	Circulation	SERVICES	32.33
	Circulation	STAIR 01	321.63
Level 6 Floor Plan	Residential	APARTMENTS	3,900.20
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
Level 7 Floor Plan	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 8 Floor Plan	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
Level 9 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
Level 10 Floor Plan	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
Level 11 Floor Plan	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
Level 12 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
Level 13 Floor Plan	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
Level 14 Floor Plan	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
Level 15 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
Level 16 Floor Plan	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
Level 17 Floor Plan	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
Level 18 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 19 Floor Plan	Circulation	CORRIDOR	478.89
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
Level 20 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
Level 21 Floor Plan	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
Level 22 Floor Plan	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
Level 23 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.89
	Circulation	ELEC	31.79
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64
	Residential	APARTMENTS	6,378.23

GFA		GFA	
LEVEL	AREA	LEVEL	AREA
Level 1 Floor Plan	11,708.41	Level 12 Floor Plan	7,367.66
Level 2 Floor Plan	13,743.35	Level 13 Floor Plan	7,367.66
Level 3 Floor Plan	7,367.66	Level 14 Floor Plan	7,367.66
Level 4 Floor Plan	7,367.66	Level 15 Floor Plan	7,367.66
Level 5 Floor Plan	7,367.66	Level 16 Floor Plan	7,367.66
Level 6 Floor Plan	7,367.66	Level 17 Floor Plan	7,367.66
Level 7 Floor Plan	7,367.66	Level 18 Floor Plan	7,367.66
Level 8 Floor Plan	7,367.66	Level 19 Floor Plan	7,367.66
Level 9 Floor Plan	7,367.66	Level 20 Floor Plan	7,367.66
Level 10 Floor Plan	7,367.66	Level 21 Floor Plan	6,338.97
Level 11 Floor Plan	7,367.66		164,409.81 ft

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan	BIKE STORAGE	2,806.19
	COMM. ELEV. LOBBY	306.96
	COURTYARD	300.37
	REEL LOBBY	256.63
	STAIR 02	151.55
	STAIR 03	191.35
	STAIR 04	102.41
	VEST / LOBBY	768.44
Level 3 Floor Plan	INDOOR AMENITY	2,363.97
		7,247.89 ft

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,900.20
Level 4 Floor Plan	Residential	APARTMENTS	6,240.95
Level 5 Floor Plan	Residential	APARTMENTS	6,378.23
Level 6 Floor Plan	Residential	APARTMENTS	6,378.23
Level 7 Floor Plan	Residential	APARTMENTS	6,378.23
Level 8 Floor Plan	Residential	APARTMENTS	6,378.23
Level 9 Floor Plan	Residential	APARTMENTS	6,378.23
Level 10 Floor Plan	Residential	APARTMENTS	6,378.23
Level 11 Floor Plan	Residential	APARTMENTS	6,378.23
Level 12 Floor Plan	Residential	APARTMENTS	6,378.23
Level 13 Floor Plan	Residential	APARTMENTS	6,378.23
Level 14 Floor Plan	Residential	APARTMENTS	6,378.23
Level 15 Floor Plan	Residential	APARTMENTS	6,378.23
Level 16 Floor Plan	Residential	APARTMENTS	6,378.23
Level 17 Floor Plan	Residential	APARTMENTS	6,378.23
Level 18 Floor Plan	Residential	APARTMENTS	6,378.23
Level 19 Floor Plan	Residential	APARTMENTS	6,378.23
Level 20 Floor Plan	Residential	APARTMENTS	6,378.23
Level 21 Floor Plan	Residential	APARTMENTS	6,200.78
			117,469.81 ft

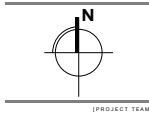
CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Commercial	CRU A	683.22
	Commercial	CRU B	1,277.11
	Commercial	CRU C	616.58
	Commercial	CRU D	737.37
Level 2 Floor Plan	Commercial	CRU E	1,363.26
	Commercial	CRU F	943.09
	Commercial	CRU G	1,464.00
	Commercial	CRU H	1,030.41
	Commercial	CRU I	1,184.75
	Commercial	CRU J	1,059.89
	Commercial	CRU K	1,030.80
	Commercial	CRU L	1,864.54
	Commercial	CRU M	974.86
			14,768.88 ft



1 Level 3 Area Overlay  
SCALE: 1/8" = 1'-0"



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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Level 3 Area Overlay

21569 (PROJECT)

1/8" = 1'-0", 1" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/DP (ISSUE)

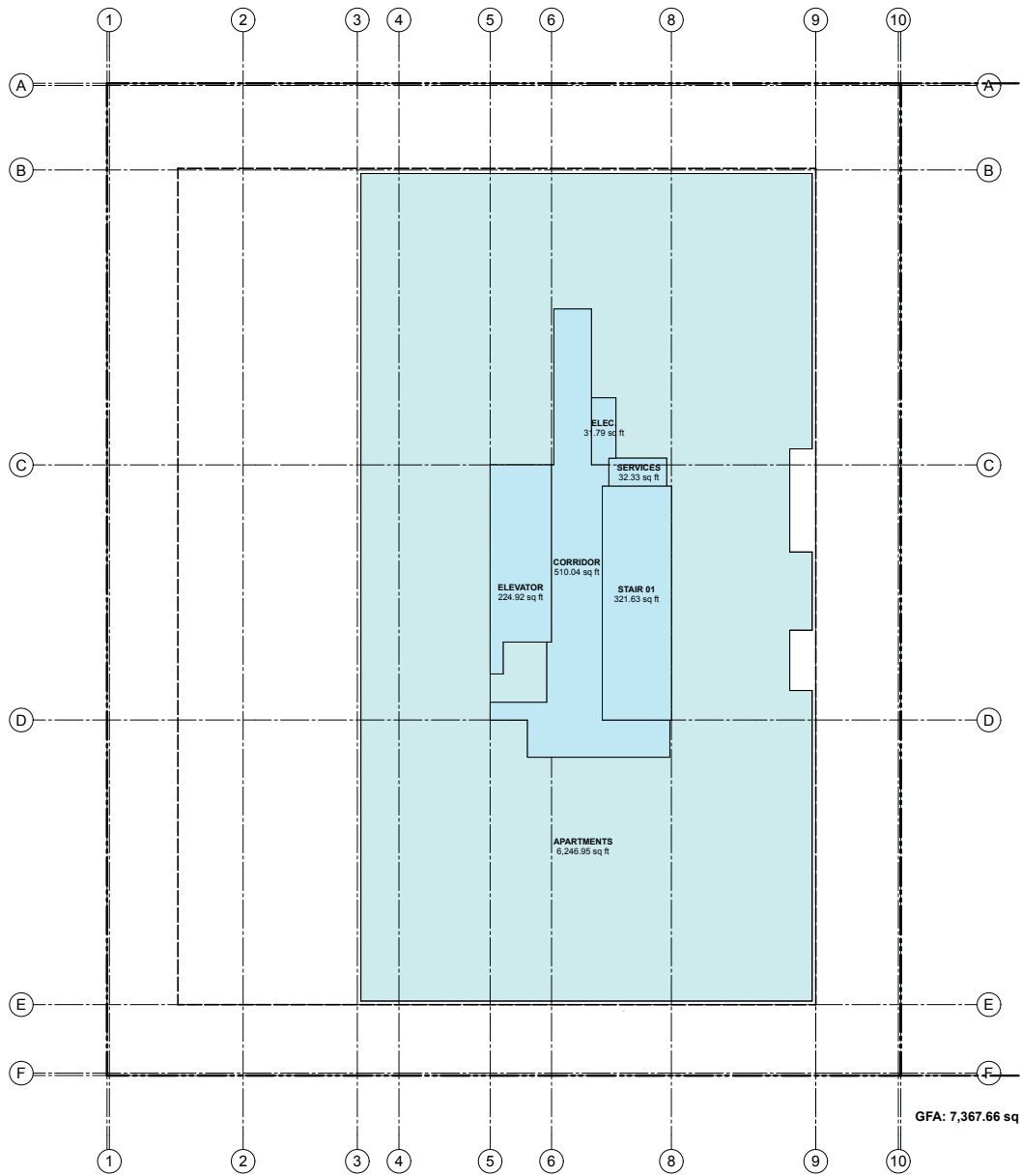
(DRAWING)

**A-8.303**



PROPOSED 21 STOREY MIXED-USE TOWER (FSR)				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Circulation	CORRIDOR	154.81	
	Circulation	CORRIDOR-2	171.67	
	Circulation	ELEV	334.19	
	Circulation	ELEV	372.00	
	Circulation	GENERATOR ROOM	200.00	
	Circulation	MAIL/PREICE ROOM	217.72	
	Circulation	MAIN ELEC. ROOM	87.96	
	Circulation	MECH SERVICES	36.77	
	Circulation	STAIR 01	441.33	
	Commercial	CRU A	683.22	
Commercial	CRU B	1,277.11		
Commercial	CRU C	476.88		
Commercial	CRU D	737.37		
Level 2 Floor Plan	Circulation	DOMM ELEV	312.00	
	Circulation	CORRIDOR	883.91	
	Circulation	ELEC	29.78	
	Circulation	KENS WR	262.17	
	Circulation	SERVICES	36.77	
	Circulation	STAIR 01	311.95	
	Circulation	WOMENS WR	223.16	
	Commercial	CRU E	1,383.26	
	Commercial	CRU F	943.09	
	Commercial	CRU G	1,464.00	
Commercial	CRU H	1,030.41		
Commercial	CRU I	1,184.75		
Commercial	CRU J	1,059.89		
Commercial	CRU K	1,039.80		
Commercial	CRU M	1,864.54		
Commercial	CRU L	974.86		
Level 3 Floor Plan	Circulation	CORRIDOR	493.08	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	224.92	
	Circulation	SERVICES	32.33	
	Circulation	STAIR 01	321.63	
	Residential	APARTMENTS	3,900.20	
	Level 4 Floor Plan	Circulation	CORRIDOR	510.04
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	224.92
		Circulation	SERVICES	32.33
Circulation		STAIR 01	321.63	
Residential		APARTMENTS	6,246.95	
Level 5 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 6 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 7 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 8 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 9 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 10 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 11 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 12 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 13 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 14 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 15 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 16 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 17 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 18 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	

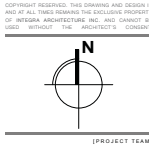
PROPOSED 21 STOREY MIXED-USE TOWER (FSR)				
LEVEL	Zone Category	Name	AREA	
Level 19 Floor Plan	Circulation	CORRIDOR	478.89	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	216.67	
	Circulation	SERVICES	33.66	
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 20 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAIR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 21 Floor Plan		Circulation	CORRIDOR	438.41
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	224.92
		Circulation	SERVICES	32.33
	Circulation	STAIR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	<b>168,472.89 ft</b>			
	<b>GFA</b>			
	LEVEL	AREA	LEVEL	AREA
	Level 1 Floor Plan	11,708.41	Level 12 Floor Plan	7,367.66
Level 2 Floor Plan	13,743.35	Level 13 Floor Plan	7,367.66	
Level 3 Floor Plan	7,367.66	Level 14 Floor Plan	7,367.66	
Level 4 Floor Plan	7,367.66	Level 15 Floor Plan	7,367.66	
Level 5 Floor Plan	7,367.66	Level 16 Floor Plan	7,367.66	
Level 6 Floor Plan	7,367.66	Level 17 Floor Plan	7,367.66	
Level 7 Floor Plan	7,367.66	Level 18 Floor Plan	7,367.66	
Level 8 Floor Plan	7,367.66	Level 19 Floor Plan	7,367.66	
Level 9 Floor Plan	7,367.66	Level 20 Floor Plan	7,367.66	
Level 10 Floor Plan	7,367.66	Level 21 Floor Plan	6,338.97	
Level 11 Floor Plan	7,367.66		<b>164,409.81 ft</b>	
<b>GFA EXCLUSIONS</b>				
Zone Name				
LEVEL	AREA	LEVEL	AREA	
Level 1 Floor Plan		Level 12 Floor Plan		
Level 2 Floor Plan		Level 13 Floor Plan		
Level 3 Floor Plan		Level 14 Floor Plan		
Level 4 Floor Plan		Level 15 Floor Plan		
Level 5 Floor Plan		Level 16 Floor Plan		
Level 6 Floor Plan		Level 17 Floor Plan		
Level 7 Floor Plan		Level 18 Floor Plan		
Level 8 Floor Plan		Level 19 Floor Plan		
Level 9 Floor Plan		Level 20 Floor Plan		
Level 10 Floor Plan		Level 21 Floor Plan		
<b>APARTMENT AREA</b>				
Zone Name				
LEVEL	AREA	LEVEL	AREA	
Level 3 Floor Plan		Level 4 Floor Plan		
Level 4 Floor Plan		Level 5 Floor Plan		
Level 5 Floor Plan		Level 6 Floor Plan		
Level 6 Floor Plan		Level 7 Floor Plan		
Level 7 Floor Plan		Level 8 Floor Plan		
Level 8 Floor Plan		Level 9 Floor Plan		
Level 9 Floor Plan		Level 10 Floor Plan		
Level 10 Floor Plan		Level 11 Floor Plan		
Level 11 Floor Plan		Level 12 Floor Plan		
Level 12 Floor Plan		Level 13 Floor Plan		
Level 13 Floor Plan		Level 14 Floor Plan		
Level 14 Floor Plan		Level 15 Floor Plan		
Level 15 Floor Plan		Level 16 Floor Plan		
Level 16 Floor Plan		Level 17 Floor Plan		
Level 17 Floor Plan		Level 18 Floor Plan		
Level 18 Floor Plan		Level 19 Floor Plan		
Level 19 Floor Plan		Level 20 Floor Plan		
Level 20 Floor Plan		Level 21 Floor Plan		
<b>CRU AREA</b>				
Zone Category				
LEVEL	AREA	LEVEL	AREA	
Level 1 Floor Plan		Level 2 Floor Plan		
Commercial	CRU A	Commercial	CRU E	
Commercial	CRU B	Commercial	CRU F	
Commercial	CRU C	Commercial	CRU G	
Commercial	CRU D	Commercial	CRU H	
Commercial	CRU E	Commercial	CRU I	
Commercial	CRU F	Commercial	CRU J	
Commercial	CRU G	Commercial	CRU K	
Commercial	CRU H	Commercial	CRU L	
Commercial	CRU I	Commercial	CRU M	
Commercial	CRU J		<b>14,768.88 ft</b>	



1 Typical Floor (L4-20) Area Overlay  
SCALE: 1/8" = 1'-0"



**Integra**  
ARCHITECTURE INC.  
2330-200 Granville Street  
Vancouver, BC, V6C 1S4  
www.integra-arch.com  
Telephone: 604 688 4220



Three Shores Development

(PROJECT)

East 14th Street  
120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Level 4-20 (Typ.)  
Area Overlay

21569 (PROJECT)

1/8" = 1'-0", 1" = 1'-0" (A1)

Friday, May 26, 2023 (DATE)

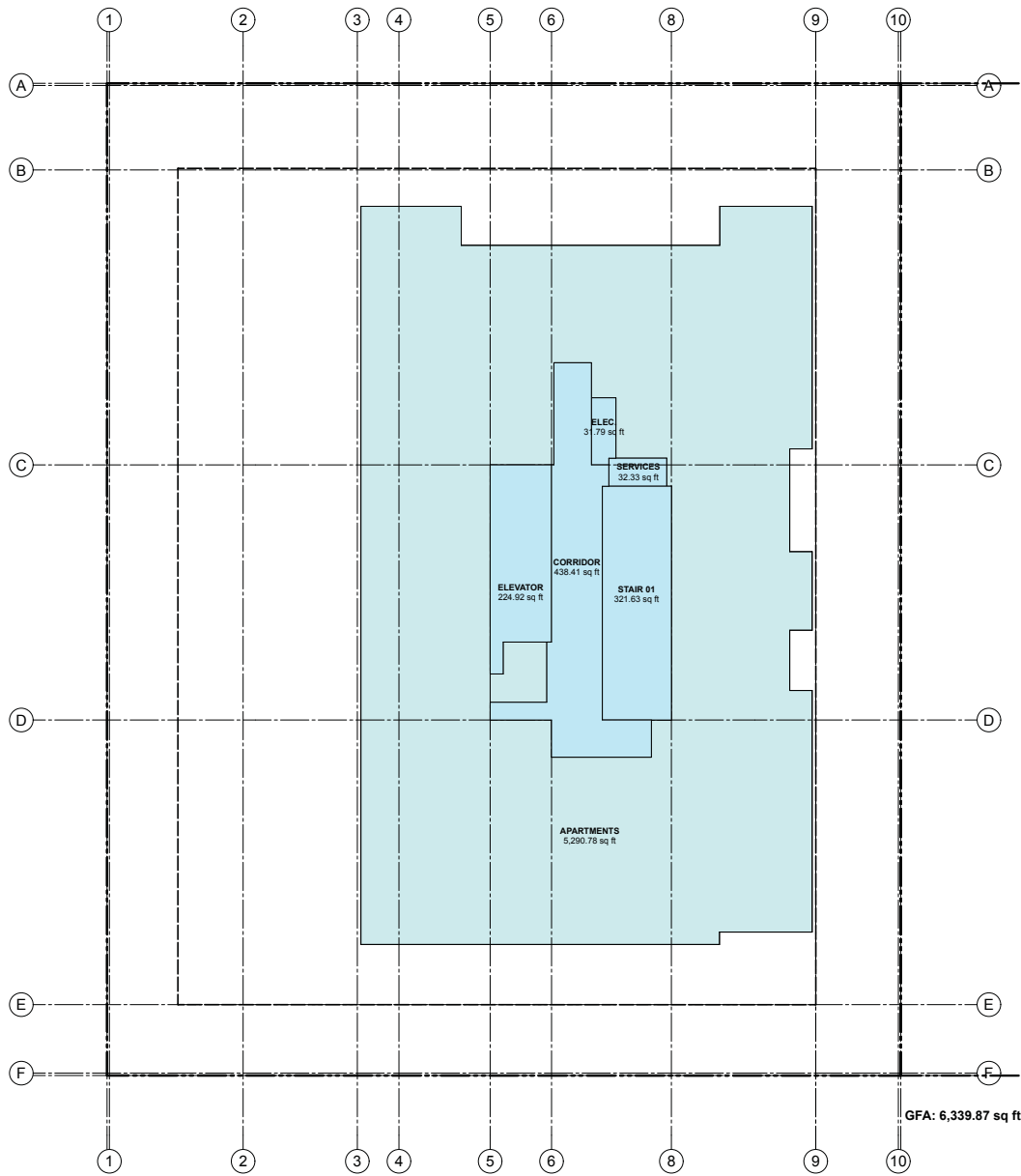
ISSUE 05.1 - RZ/DDP (ISSUE)

(DRAWING)

**A-8.304**

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Circulation	CORRIDOR	154.81	
	Circulation	CORRIDOR-2	171.67	
	Circulation	ELEV	334.19	
	Circulation	ELEV	372.00	
	Circulation	GENERATOR ROOM	200.00	
	Circulation	MAIL/PRECE ROOM	217.72	
	Circulation	MAIN ELEC ROOM	87.96	
	Circulation	MECH SERVICES	36.77	
	Circulation	STAIR 01	441.33	
	Commercial	CRU A	683.22	
Commercial	CRU B	1,277.11		
Commercial	CRU C	476.86		
Commercial	CRU D	737.37		
Level 2 Floor Plan	Circulation	COMM ELEV	312.00	
	Circulation	CORRIDOR	382.97	
	Circulation	ELEC	29.78	
	Circulation	KENS WR	262.17	
	Circulation	SERVICES	36.37	
	Circulation	STAR 01	311.95	
	Circulation	WOMENS WR	223.16	
	Commercial	CRU E	1,383.26	
	Commercial	CRU F	943.09	
	Commercial	CRU G	1,464.00	
Commercial	CRU H	1,030.41		
Commercial	CRU I	1,184.75		
Commercial	CRU J	1,059.80		
Commercial	CRU K	1,039.80		
Commercial	CRU L	1,864.54		
Commercial	CRU M	974.86		
Level 3 Floor Plan	Circulation	CORRIDOR	493.08	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	224.92	
	Circulation	SERVICES	32.33	
	Circulation	STAR 01	321.63	
	Residential	APARTMENTS	3,900.20	
	Level 4 Floor Plan	Circulation	CORRIDOR	510.04
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	224.92
		Circulation	SERVICES	32.33
Circulation		STAR 01	321.63	
Residential		APARTMENTS	6,436.23	
Level 5 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 6 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 7 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 8 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 9 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 10 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 11 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 12 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 13 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 14 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 15 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 16 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 17 Floor Plan		Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 18 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)				
LEVEL	Zone Category	Name	AREA	
Level 19 Floor Plan	Circulation	CORRIDOR	478.89	
	Circulation	ELEC	31.79	
	Circulation	ELEVATOR	216.67	
	Circulation	SERVICES	33.66	
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	6,378.23	
	Level 20 Floor Plan	Circulation	CORRIDOR	478.89
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	216.67
		Circulation	SERVICES	33.66
Circulation		STAR 01	310.64	
Residential		APARTMENTS	6,378.23	
Level 21 Floor Plan		Circulation	CORRIDOR	438.41
		Circulation	ELEC	31.79
		Circulation	ELEVATOR	224.92
		Circulation	SERVICES	32.33
	Circulation	STAR 01	310.64	
	Residential	APARTMENTS	5,290.76	
				168,472.89 ft²
	GFA			
	LEVEL	AREA	LEVEL	AREA
	Level 1 Floor Plan	11,708.41	Level 12 Floor Plan	7,367.66
Level 2 Floor Plan	13,743.36	Level 13 Floor Plan	7,367.66	
Level 3 Floor Plan	7,367.66	Level 14 Floor Plan	7,367.66	
Level 4 Floor Plan	7,367.66	Level 15 Floor Plan	7,367.66	
Level 5 Floor Plan	7,367.66	Level 16 Floor Plan	7,367.66	
Level 6 Floor Plan	7,367.66	Level 17 Floor Plan	7,367.66	
Level 7 Floor Plan	7,367.66	Level 18 Floor Plan	7,367.66	
Level 8 Floor Plan	7,367.66	Level 19 Floor Plan	7,367.66	
Level 9 Floor Plan	7,367.66	Level 20 Floor Plan	7,367.66	
Level 10 Floor Plan	7,367.66	Level 21 Floor Plan	6,339.87	
Level 11 Floor Plan	7,367.66		164,409.81 ft²	
GFA EXCLUSIONS				
Zone Name				
Level 1 Floor Plan				
	BIKE STORAGE		2,806.19	
	COMM ELEV LOBBY		306.98	
	COURTYARD		300.37	
	REEL LOBBY		256.63	
	STAR 02		151.55	
	STAR 03		191.35	
	STAR 04		102.41	
	VEST / LOBBY		768.44	
Level 3 Floor Plan				
	INDOOR AMENITY		2,363.97	
			7,247.89 ft²	
APARTMENT AREA				
LEVEL	Zone Category	Name	AREA	
Level 3 Floor Plan	Residential	APARTMENTS	3,900.20	
	Residential	APARTMENTS	6,240.95	
	Residential	APARTMENTS	6,378.23	
Level 4 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 5 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 6 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 7 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 8 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 9 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 10 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 11 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 12 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 13 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 14 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 15 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 16 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 17 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 18 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 19 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 20 Floor Plan	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
	Residential	APARTMENTS	6,378.23	
Level 21 Floor Plan	Residential	APARTMENTS	5,290.76	
	Residential	APARTMENTS	117,409.81 ft²	
CRU AREA				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Commercial	CRU A	683.22	
	Commercial	CRU B	1,277.11	
	Commercial	CRU C	476.86	
	Commercial	CRU D	737.37	
Level 2 Floor Plan	Commercial	CRU E	1,383.26	
	Commercial	CRU F	943.09	
	Commercial	CRU G	1,464.00	
	Commercial	CRU H	1,030.41	
	Commercial	CRU I	1,184.75	
	Commercial	CRU J	1,059.80	
	Commercial	CRU K	1,039.80	
	Commercial	CRU L	1,864.54	
	Commercial	CRU M	974.86	
				14,768.88 ft²



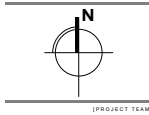
GFA: 6,339.87 sq ft

1 Level 21 Area Overlay  
SCALE: 1/8" = 1'-0"



**Integra**  
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(PROJECT TEAM)



(CLIENT)

Three Shores Development

(PROJECT)

East 14th Street

120-126 East 14th Street  
North Vancouver, BC

(TITLE)

Level 21 Area Overlay

21569 (PROJECT)

1/8" = 1'-0", 1" = 1'-0" (SCALE)

Friday, May 26, 2023 (DATE)

ISSUE 05.1 - RZ/D/P (ISSUE)

(DRAWING)

**A-8.305**

**DRAWING LIST**

L-0-0 COVER SHEET

- L-1-0 LEVEL 1 - SITE PLAN
- L-1-1 LEVEL 1 - IRRIGATION PLAN
- L-1-2 LEVEL 3 - SITE PLAN
- L-1-3 LEVEL 21 - SITE PLAN
- L-1-4 LEVEL LOWER ROOF - SITE PLAN
- L-2-0 DETAILS
- L-2-1 DETAILS
- L-2-2 DETAILS
- L-2-3 DETAILS
- L-2-4 DETAILS
- L-3-0 SECTIONS

**LANDSCAPE NOTES**

1. All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
2. Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
3. Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
4. All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, i.e. it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
5. Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
6. All trees to be staked in accordance with CNLA Standards.
7. For all existing on site services and survey symbols refer to survey drawings.
8. All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

**IRRIGATION NOTES**

1. All on-site "Soft Landscape Areas" are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IABC Standards.
2. Irrigation sub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
3. Irrigation system is a design-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
4. No visible irrigation lines will be accepted.
5. All irrigation boxes to be equipped with quick couplers.
6. Irrigation controller to be located in mechanical room.

**IRRIGATION**

Key	Description
	HOSE BIB
	STUB OUT

**TREE PROTECTION**

Key	Description
	TREE PROTECTION FENCING refer to CoNV tree protection detail
	TREE CRITICAL ROOT ZONE extent of critical root zone (orz) outside of tree protection zone.
	TREE ID TAG tree number referred to existing tree inventory + arboricultural report

**LIGHTING**

Key	Description
	WALL LIGHT
	LINEAR STRIP LIGHT (mounted to metal planter)

\*\* refer to electrical for further information

**SOFT LANDSCAPE**

Key	Description	Additional Information
	EXTENSIVE GREEN ROOF	
	PLANTING BED drought/tolerant planting material	tree soil depth: 36" shrubs: 18 - 24" groundcovers: 6 - 8"

**HARD LANDSCAPE**

Key	Description
	CITY CIP CONCRETE PAVING broom finish with saw cuts as per CoNV standards
	CIP CONCRETE SIDEWALK Vehicular - refer to civil
	CONCRETE PAVING PATTERN (permeable) under e-scooter along east 14th street
	CONCRETE LINEAR PAVER (ground level only) paving pattern - 01
	CONCRETE LINEAR PAVER (ground level only) paving pattern - 02
	CONCRETE PAVING PATTERN Texada slab paver - charcoal
	GRANULAR TYPE 1 Black basalt
	GRANULAR TYPE 2 3/4" clear crush
	RUBBER SURFACING poured in place
	WOOD DECK
	FLEXIBLE POROUS PAVEMENT (over existing tree #5)

**OVERALL PLANT LIST**

TREES	symbol	qty	botanical name	common name	size	notes
		5	Acer rubrum 'Bowhall'	Bowhall red maple	7cm caliper min.	b+b
		1	Nyssa sylvatica	Sour gum/ Black tupelo	5cm caliper min.	b+b
		5	existing street trees to be retained + protected			

SHRUBS	symbol	qty	botanical name	common name	size	notes
		88	Cornus sericea 'Kelsey'	Kelsey dwarf dogwood	#2 pot	24" o.c.
		10	Gaillardia sp.	Saili	#1 pot	24" o.c.
		47	Lavandula angust. 'Hidcot'	Hidcot lavender	#2 pot	24" o.c.
		29	Mahonia nervosa	Dull-leaved Oregon grape	#2 pot	36" o.c.
		30	Polystichum munium	Western sword fern	#1 pot	24" o.c.
		13	Sakha officinalis	Sage*	#1 pot	16" o.c.
		81	Sarcococca hook. var. humilis	Sweet box	#2 pot	24" o.c.
		271	Taxus + media 'Hicks'	Hicks yew	3" O" Ht	20" o.c.
		6	Vaccinium ovalifolium	Oval-leaved blueberry*	#1 pot	24" o.c.

GROUNDCOVERS + GRASSES	symbol	qty	botanical name	common name	size	notes
		189	Actinotryphes viv-um	Kiwifruit*	#1 pot	24" o.c.
		25	Festuca glauca 'Elijah Blue'	Blue fescue	#1 pot	12" o.c.
		12	Juncus effusus	Soft rush	#1 pot	24" o.c.
		5	Juncus peltatus	Spreading rush	#1 pot	24" o.c.
		121	Pachyrhizis terminalis	Japanese spurge	#1 pot	12" o.c.

**PLANT LIST - ROOF GARDEN PLOTS**

URBAN AGRICULTURE	symbol	qty	botanical name	common name
	6 sqft	Fragaria vesca	Woodland strawberry*	Basil*
	6 sqft	Odium basilicum	Basil*	Oregano*
	6 sqft	Organum vulgare	Oregano*	Raspberry*
	6 sqft	Rubus idaeus	Raspberry*	

6	2023-05-26	re-issue recording up	agb
6	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	af
6	2023-03-17	city review	af
3	2023-01-18	agb response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for dp	af
2	2022-03-16	issue for agb	af
1	2022-01-27	issue for dp	af

Revisions:  
Stamp:



**dk**  
DURANTE KREUK LTD. LANDSCAPE ARCHITECTS  
1507 West 59th Avenue Vancouver B.C. V6L 1H6  
P 604.584.4811 | F 604.584.0577 | www.dk3.bc.ca  
Client:

**Three Shores**  
  
**120-128 east 14th street**  
  
**120-128 east 14th street**  
**North Vancouver, BC**

Drawn by: agb  
Checked by: ev  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

**cover sheet**  
  
Project No.:  
**21075**  
Sheet No.:





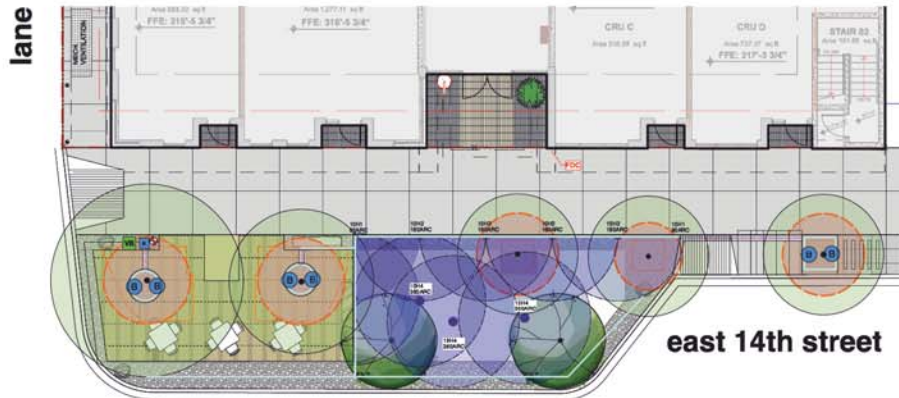
### OFFSITE IRRIGATION LEGEND

Key	Description
	Automatic valves to be Rain Bird PEB series. See City Details. Zones to be confirmed.
	Toro Sentinel Controller Part number: SB-12-PS1-U. Controller to be powered from a city accessible metered kiosk. City to confirm. The enclosure cabinet shall be locking and water proof.
	Water Mainline: Main supply line size specified on Drawing. Provide Plastic Warning Tape 150-200mm above all lines. Layout shown is Schematic ONLY - Confirm exact piping layout on site. Contractor to provide shop drawings to confirm layout and pipe sizing.
	Typical Irrigation Lateral Line: Size of line as indicated. Contractor to provide shop drawings to confirm layout and pipe sizing. PVC layout, pipe sizing, automatic valve locations, sprinkler placement and nozzle selection will be required before approval.
	Typical Sleeving: Provide sleeving under all paved surfaces as follows: Schedule 80 PVC sleeves sized to receive the required irrigation pipe and control wiring. Provide Schedule 80 PVC under all cast-in-place (cip) concrete and unit paving surfaces and Schedule 40 elsewhere for the mainline. Install to suit on site pipe layout. Sleeving to be 2X the diameter of the irrigation piping inside.
	Bubbler: Rainbird RWB-1402. See city details

### IRRIGATION LEGEND: RAINBIRD PRODUCTS OR APPROVED EQUAL

SYSTEM DESIGN  
Operating Pressure 90 psi  
Flow Rate: 50 GPM min- requires 1" connection  
PLANTING BED SPRAY HEADS: RAIN BIRD 1800 Series or pre-approved equivalent to the satisfaction of City of North Vancouver

SYMB	NOZZLE MODEL #		Pressure (psi)	Radius (ft.)	Flow (gpm)	Precip (in/h)	Precip (in/h)
10H1	10 Series HE-VAN (27° Trajectory)	90° Arc	25	9	0.41	1.94	2.24
10H2	10 Series HE-VAN (27° Trajectory)	180° Arc	25	9	0.81	1.94	2.24
10H3	10 Series HE-VAN (27° Trajectory)	270° Arc	25	9	1.22	1.94	2.24
10H4	10 Series HE-VAN (27° Trajectory)	360° Arc	25	9	1.63	1.94	2.24
SYMB	DRIP MODEL	PC	APPLICATION	RADIUS	FLOW RATE	INLET	Spray Pattern
XBE	Xer Bug Emitters	Yes	Low flow emitters for watering the root zones of individual plants, shrubs, and trees	Drip	3.75 in 7.57 in 9.99 in 3.75 in 7.57 in	15/2" Barb 10-32	Drip



9	2023-05-26	re-issue recording up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	af
6	2023-03-17	city review	af
5	2023-01-18	agb response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for agb	af
2	2022-03-16	issue for agb	af
1	2022-01-27	issue for dp	af

Revisions:  
Stamp:



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Client:

**Three Shores**

Project:  
**120-128 east 14th street**

**120-128 east 14th street  
North Vancouver, BC**

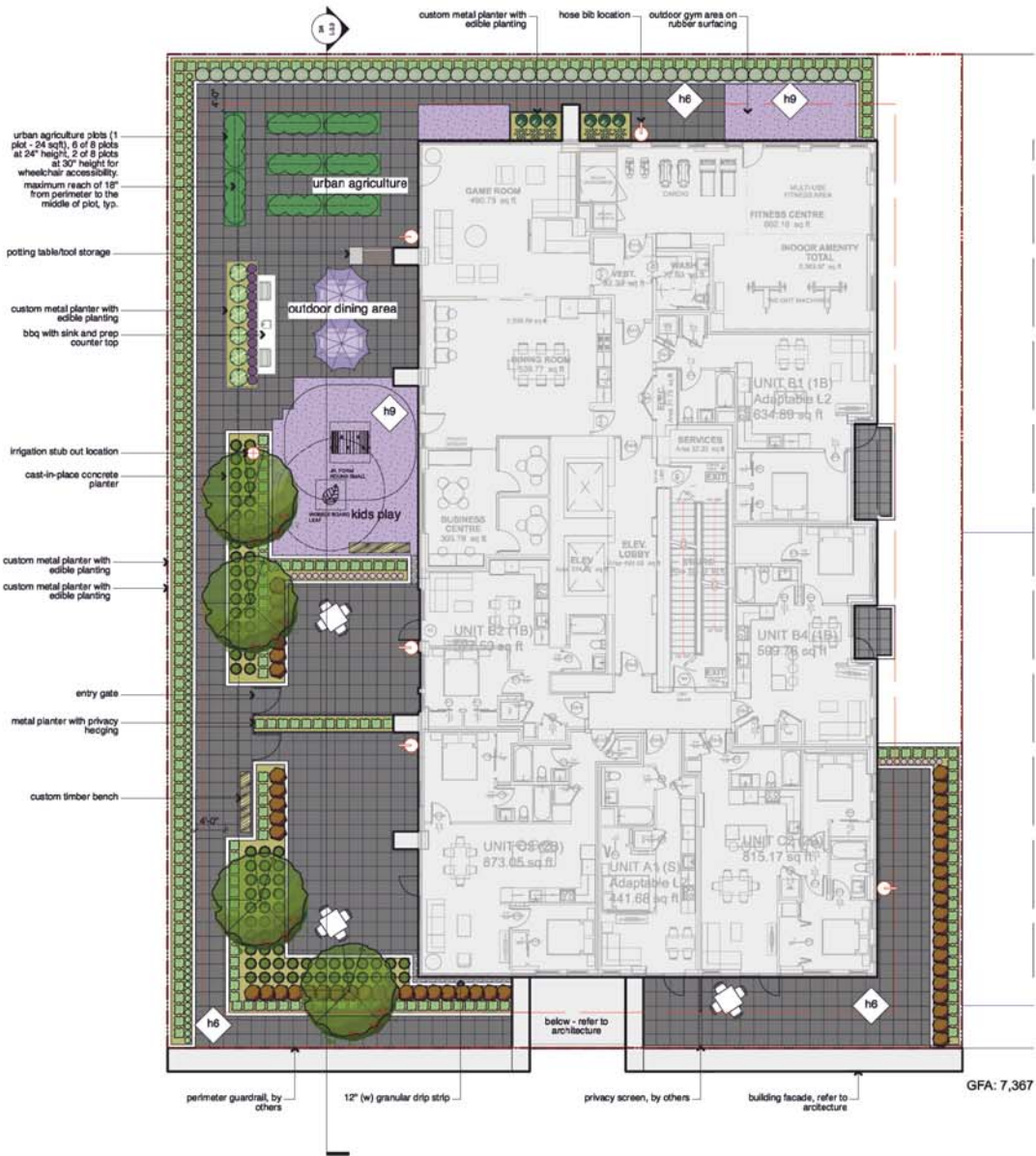
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Checked by: ev  
Date: day DEC yr  
Scale: 1/8" = 1'-0"

Drawing Title:  
**level 1 - irrigation plan**

Project No.:  
**21075**  
Sheet No.:

**L-1.1**





GFA: 7,367

Rev.	Date	Description	By
9	2023-05-26	re-issue reworking up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	agb
6	2023-03-17	city review	agb
5	2023-01-18	agb response	agb
4	2023-01-23	re-issue for dp	agb
3	2022-11-04	issue for agb	agb
2	2022-03-16	issue for agb	agb
1	2022-01-27	issue for dp	agb

Revisions:  
Stamp:



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**Three Shores**

Project:  
**120-128 east 14th street**

**120-128 east 14th street**  
North Vancouver, BC

Drawn by: agb  
Checked by: sv  
Date: day DEC yr  
Scale: 1/8" = 1'-0"  
Drawing Title:

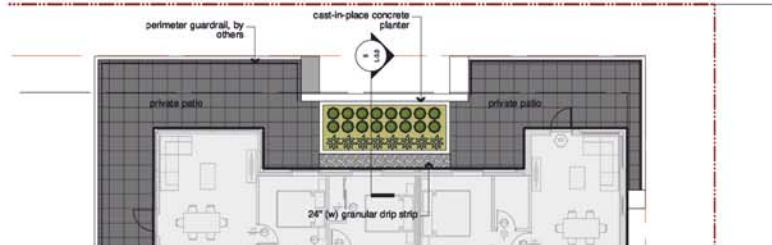
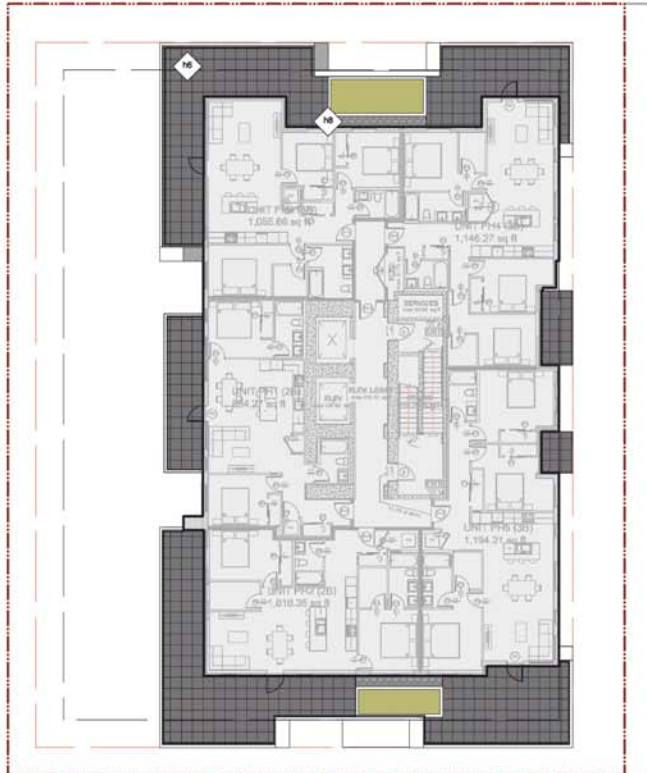
**level 3 - site plan**

Project No.:  
**21075**  
Sheet No.:

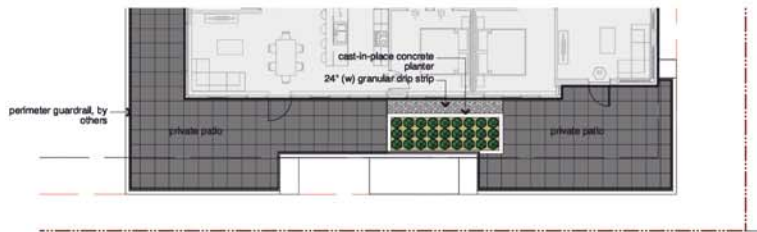
**L-1.2**







1  
L-1.3  
**LEVEL 21 - PLANTING ENLARGMENT NORTH**  
Scale: 1/8" = 1'-0"



2  
L-1.3  
**LEVEL 21 - PLANTING ENLARGMENT SOUTH**  
Scale: 1/8" = 1'-0"

9	2023-05-26	re-issue recording	agb
8	2023-06-28	issue for coordination	agb
7	2023-04-18	agb response	af
6	2023-03-17	city review	af
5	2023-01-18	agb response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for dp	af
2	2022-03-16	issue for agb	af
1	2022-01-27	issue for dp	af

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Drawn by: agb  
Checked by: sv  
Date: day DEC yr  
Scale: 3/32" = 1'-0"  
Drawing Title:

**level 21 - site plan**

Project No.:  
**21075**  
Sheet No.:

**L-1.3**







no.	date	item	by
9	2023-05-26	re-issue reworking up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	agb
6	2023-03-17	city review	agb
5	2023-01-18	agb response	agb
4	2023-01-23	re-issue for dp	agb
3	2022-11-04	issue for dp	agb
2	2022-03-16	issue for agb	agb
1	2022-01-27	issue for dp	agb

Revisions:  
Stamp:



**dk**  
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 102 - 1137 West 59 Avenue Vancouver B.C. V6J 1H6  
 P 604.684.4811 | F 604.684.0877 | www.dk.bc.ca

Client:  
**Three Shores**

Project:  
**120-128 east 14th street**  
**street**

**120-128 east 14th street**  
**North Vancouver, BC**

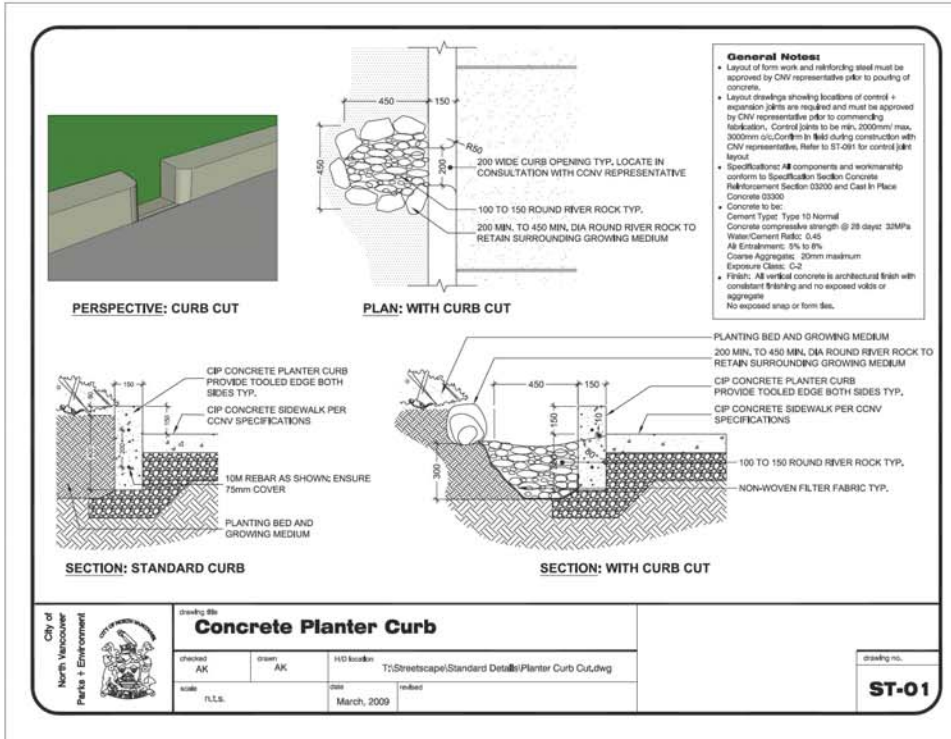
Drawn by: agb  
 Checked by: ev  
 Date: day DEC yr  
 Scale: 3/32" = 1'-0"  
 Drawing Title:

**level lower roof - site plan**

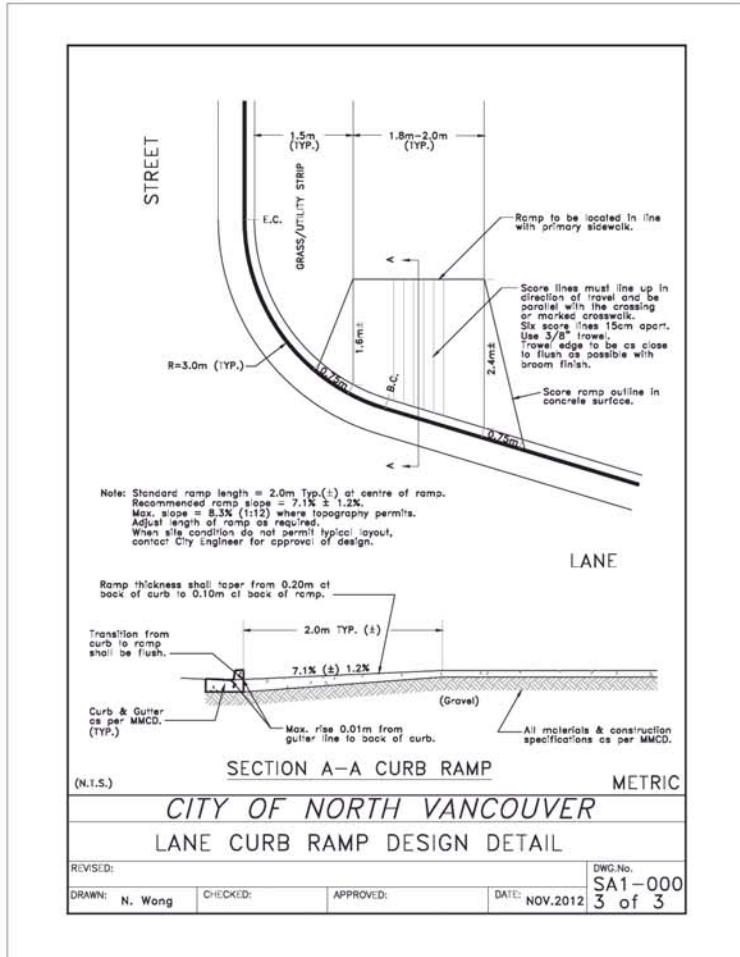
Project No.:  
**21075**  
 Sheet No.:

**L-1.4**





1 CITY OF NORTH VANCOUVER TYPICAL DETAIL  
Scale: R.L.S.



4 CITY OF NORTH VANCOUVER TYPICAL DETAIL  
Scale: R.L.S.

9	2023-05-26	re-issue recording up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	agb
6	2023-03-17	city review	agb
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4	2023-01-23	re-issue for dp	agb
3	2022-11-04	issue for dp	agb
2	2022-03-16	issue for agb	agb
1	2022-01-27	issue for dp	agb

Rev: [ ] date: [ ] item: [ ] by: [ ]

Stamp:



**dk**

**DURANTE KREUK LTD. LANDSCAPE ARCHITECTS**  
152 - 1187 West 59 Avenue, Vancouver B.C. V6S 1Y6  
P 604.584.4811 | F 604.584.0877 | www.dk3.bc.ca

Client:

**Three Shores**

Project:  
**120-128 east 14th street**

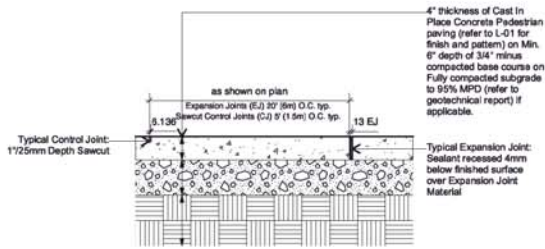
**120-128 east 14th street North Vancouver, BC**

Drawn by: agb  
Checked by: ev  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

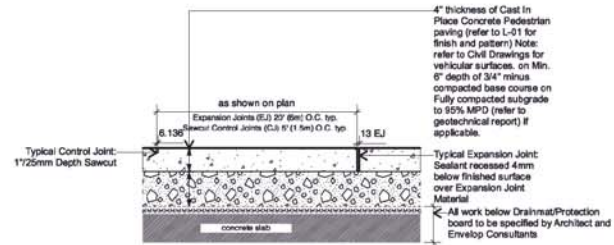
**details**

Project No.:  
**21075**  
Sheet No.:

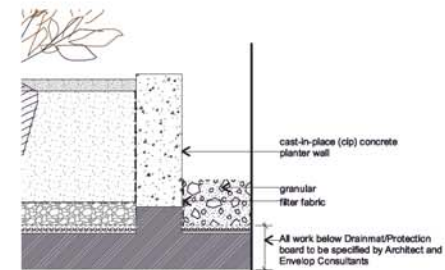
**L-2.0**



1 CAST-IN-PLACE CONCRETE - ON GRADE  
Scale: 1" = 1'-0"

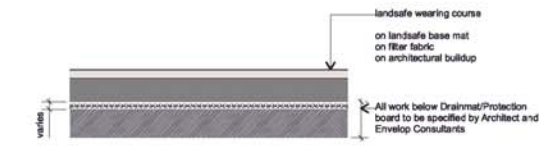


2 CAST-IN-PLACE CONCRETE - ON SLAB  
Scale: 1" = 1'-0"

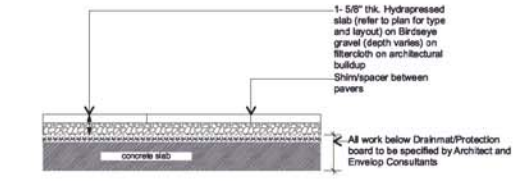


3 DRIP STRIP AT BUILDING FACE  
Scale: 1" = 1'-0"

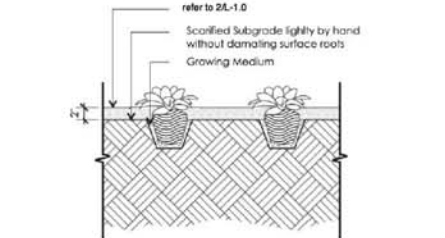
- Note:
- 1) Ensure all work within critical root zone to be coordinated with consulting arborist.
  - 2) Use of 4" plant material only, unless otherwise accepted by consulting arborist.
  - 3) Placement and spacing of plant material to be as per drawings, unless minor adjustments required to avoid structural roots.
  - 4) Handtools allowed within critical root zone only.
  - 5) Minimize excavation into existing grade by planting plants level with top of mulch.
  - 6) Clear mulch covering groundcover foliage.



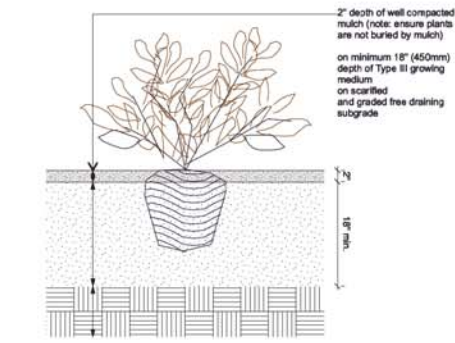
4 RUBER SURFACING - ON SLAB  
Scale: 1" = 1'-0"



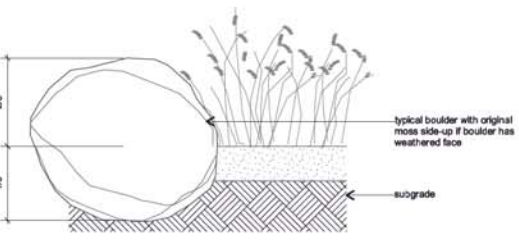
5 CONCRETE SLAB PAVER - ON SLAB  
Scale: 1" = 1'-0"



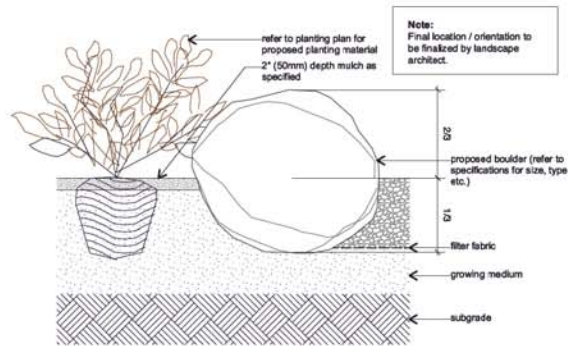
6 POCKET PLANTING IN TREE PROTECTION ZONE  
Scale: n.l.s.



7 SHRUB PLANTING - ON GRADE  
Scale: 1" = 1'-0"



8 LANDSCAPE BOULDER PLACEMENT - ON GRADE  
Scale: 1" = 1'-0"



9 SHRUB + BOULDER PLACEMENT - ON GRADE  
Scale: 1" = 1'-0"

9	2023-05-26	re-issue recording up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	agb
6	2023-03-17	city review	agb
5	2023-01-18	agb response	agb
4	2023-01-23	re-issue for dp	agb
3	2022-11-04	issue for agb	agb
2	2022-03-16	issue for agb	agb
1	2022-01-27	issue for dp	agb

Revisions:  
Stamp:



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152 - 1187 West 59 Avenue Vancouver B.C. V6L 1H6  
P 604.584.4811 | F 604.584.0877 | www.dkbc.ca  
Client:

**Three Shores**  
Project:  
**120-128 east 14th street street**

**120-128 east 14th street North Vancouver, BC**

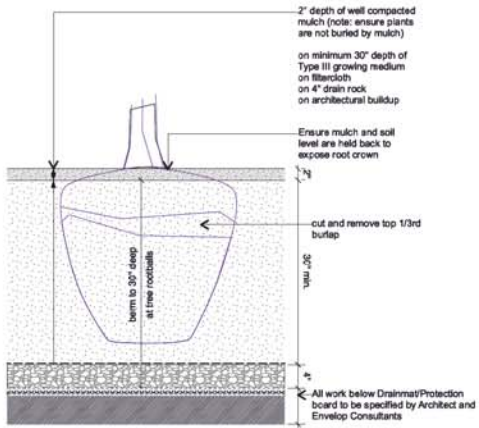
Drawn by: agb  
Checked by: iv  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

**details**

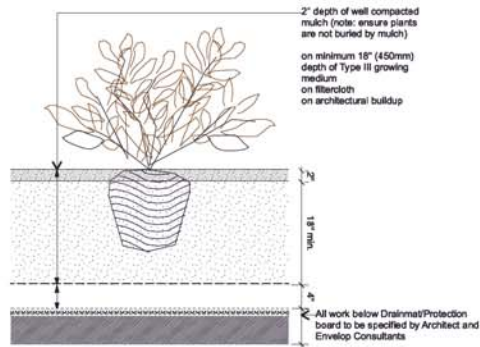
Project No.:  
**21075**  
Sheet No.:

**L-2.1**

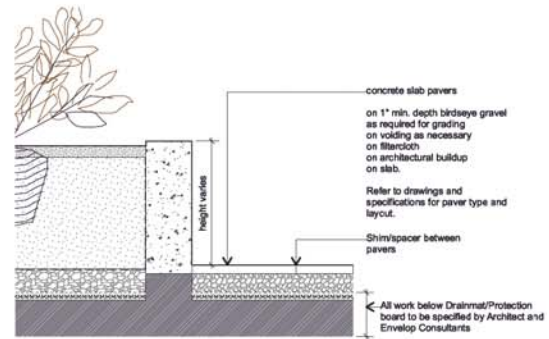




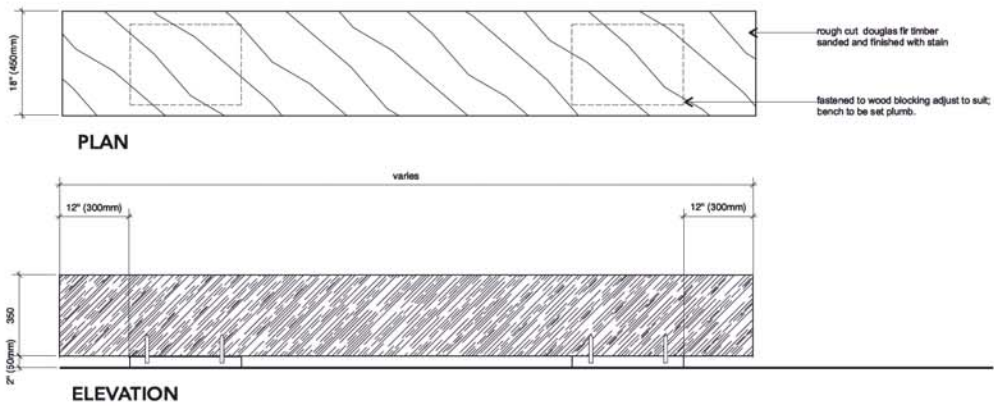
1  
L-2.2 TREE PLANTING - ON SLAB  
Scale: 1" = 1'-0"



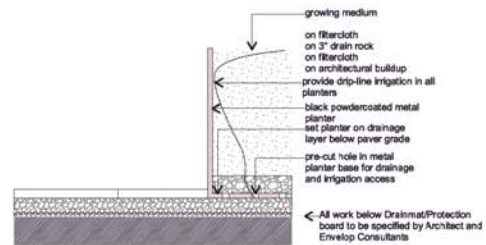
2  
L-2.2 SHRUB PLANTING - ON SLAB  
Scale: 1" = 1'-0"



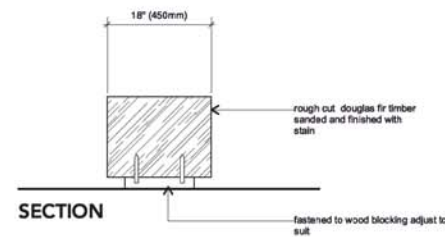
3  
L-2.2 CONCRETE PLANTER WALL - ON SLAB  
Scale: 1" = 1'-0"



4  
L-2.2 CUSTOM TIMBER BENCH  
Scale: 1" = 1'-0"



5  
L-2.2 METAL PLANTER - ON SLAB  
Scale: 1" = 1'-0"



SECTION

Rev.	Date	Description	By
8	2023-05-26	re-issue reworking up	agb
8	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	agb
6	2023-03-17	city review	agb
5	2023-01-18	agb response	agb
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3	2022-11-04	issue for agb	agb
2	2022-03-16	issue for agb	agb
1	2022-01-27	issue for dp	agb

Revisions:  
Stamp:



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102 - 1107 West 59th Avenue Vancouver B.C. V6S 1H6  
P 604.684.4811 | F 604.684.0877 | www.dk.bc.ca  
Client:

**Three Shores**

Project:  
**120-128 east 14th street**

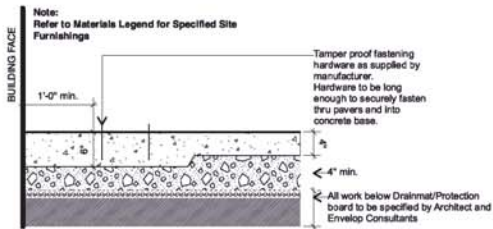
**120-128 east 14th street  
North Vancouver, BC**

Drawn by: agb  
Checked by: ev  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

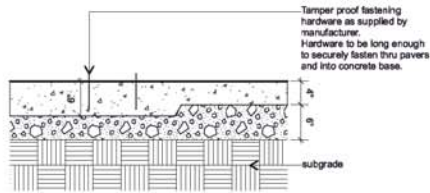
**details**

Project No.:  
**21075**  
Sheet No.:

**L-2.2**



1 SITE FURNISHING ATTACHMENT - ON SLAB  
Scale: 1" = 1'-0"



2 SITE FURNISHING ATTACHMENT - ON GRADE  
Scale: 1" = 1'-0"



size: 5 bicycles  
finish: black

3 SITE FURNISHING - CORA BICYCLE RACK (W-4508)  
Scale: n.l.s.



finish: copper

4 SITE FURNISHING - WEBER GENESIS II E-330 GAS GRILL  
Scale: n.l.s.

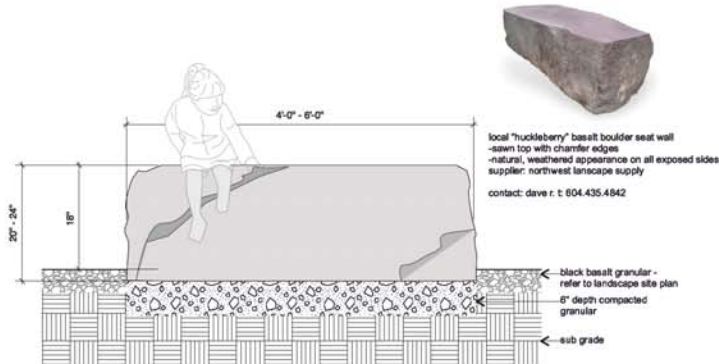


finish: powder coated black

5 SITE FURNISHING - METAL PLANTER  
Scale: n.l.s.



6 SITE FURNISHING - MOVEABLE POTS  
Scale: n.l.s.



7 SITE FURNISHING - BOULDER SEAT WALL  
Scale: 1" = 1'-0"

no.	date	item	by
9	2023-05-26	re-issue recording up	agp
8	2023-06-26	issue for coordination	agp
7	2023-04-18	agp response	af
6	2023-03-17	city review	af
5	2023-01-18	agp response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for dp	af
2	2022-03-16	issue for agp	af
1	2022-01-27	issue for dp	af

Revisions:  
Stamp:



**dk**  
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1187 West 59th Avenue Vancouver B.C. V6S 1H6  
P 604.684.4811 | F 604.684.0877 | www.dk3.bc.ca

Client:  
**Three Shores**

Project:  
**120-128 east 14th street**

**120-128 east 14th street**  
North Vancouver, BC

Drawn by: agp  
Checked by: ev  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

**details**

Project No.:  
**21075**  
Sheet No.:

**L-2.3**



**WOBBLE BOARD - LEAF**  
Intended user age: 5-12

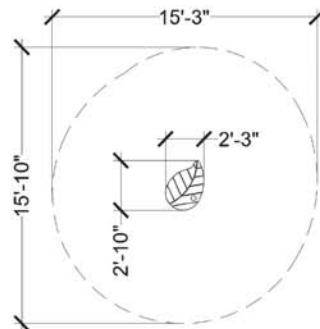
**PRODUCT INFORMATION**

**ASTM F1487**

The Leaf Wobble Board is a versatile take on rocking playground equipment that lets users sit or stand while wobbling. The Leaf shape is often an appropriate thematic choice for a natural playground. The flat balancing surface for kinetic play is supported by three springs for multidirectional rocking.



Maximum height: 1'-3"  
Fall height: 1'-3"  
Area of Safety Surfacing: 240 ft<sup>2</sup>



The highest designated play surface and space required are according to ASTM F1487. A buffer is included in the fall zone to account for fabrication and material variations.

Resilient safety surfacing is required within the fall zone of equipment.

If you have questions about the equipment or require changes, please contact Earthscape at 1-877-269-2972.

1  
L-2.4

**KIDSPRAY - WOBBLE BOARD**  
Scale: n.t.s.



**JUNIOR FORM - ROUND SMALL**  
Intended user age: 4+

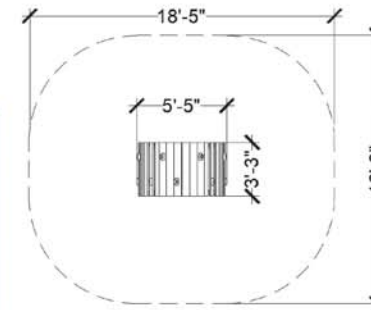
**PRODUCT INFORMATION**

**ASTM F1487**

Is it a meteor? A caterpillar? A rainbow? A planet? The Round junior form is a versatile playground sculpture. The Round form are fully climbable but they can also function as a small hut where children can meet and gather inside. Both the inside and outside of the Round form provides climbing with gapped cladding or climbing holds.



Maximum height: 4'-2"  
Fall height: 4'-2"  
Area of Safety Surfacing: 264 ft<sup>2</sup>  
User Capacity: 4



The highest designated play surface and space required are according to ASTM F1487. A buffer is included in the fall zone to account for fabrication and material variations.

Resilient safety surfacing is required within the fall zone of equipment.

If you have questions about the equipment or require changes, please contact Earthscape at 1-877-269-2972.

2  
L-2.4

**KIDSPRAY - JUNIOR FORM**  
Scale: n.t.s.

6	2023-05-26	re-issue reworking up	agb
4	2023-06-26	issue for coordination	agb
7	2023-04-18	agb response	af
6	2023-03-17	city review	af
5	2023-01-18	agb response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for dp	af
2	2022-03-16	issue for agb	af
1	2022-01-27	issue for dp	af

rev. | date | item | by

Revisions:  
Stamp:



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102 - 1107 West 59 Avenue Vancouver B.C. V6S 1Y6  
P 604.684.4611 | F 604.684.0677 | www.dk3.co

Client:  
**Three Shores**

Project:  
**120-128 east 14th street**

**120-128 east 14th street**  
North Vancouver, BC

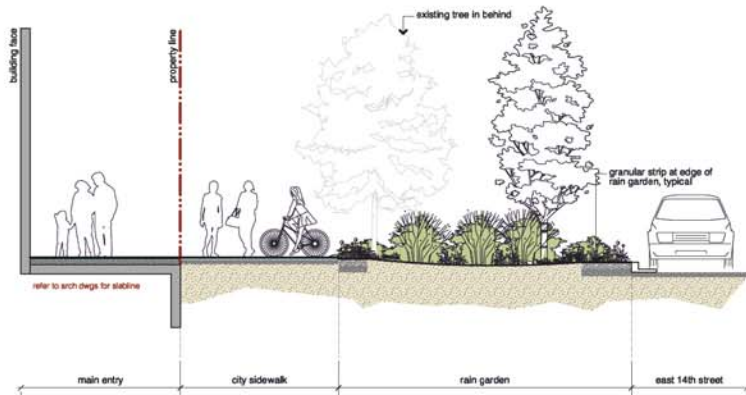
Drawn by: agb  
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Date: day DEC yr  
Scale: as shown  
Drawing Title:

**details**

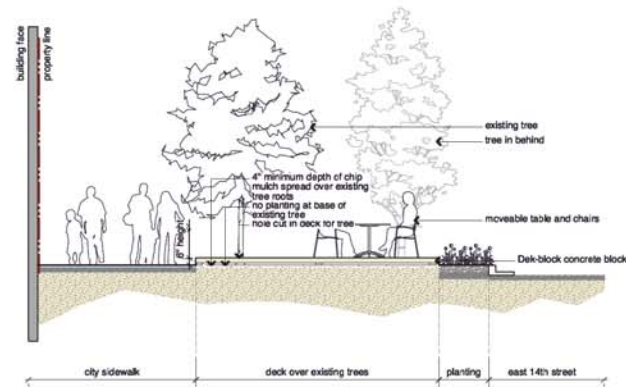
Project No.:  
**21075**  
Sheet No.:

**L-2.4**

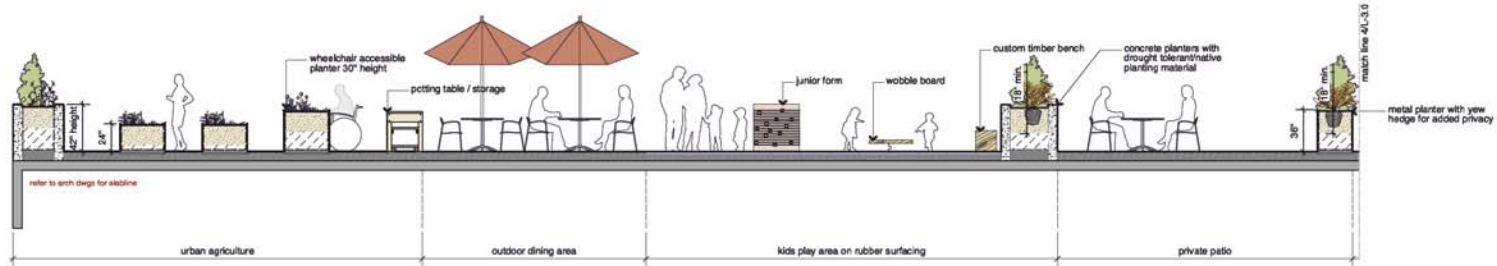




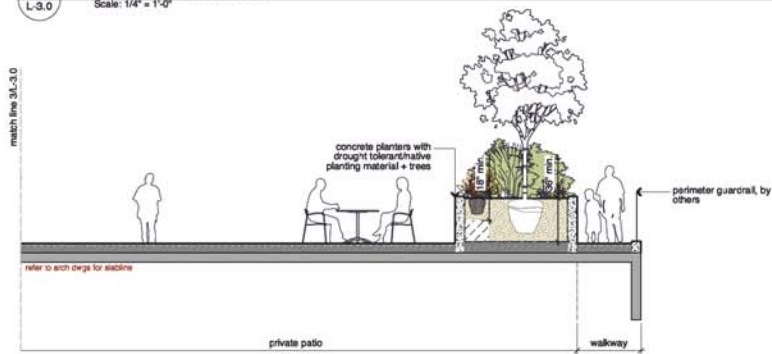
1 L-3.0 **LOOKING EAST ALONG EAST 14TH - RAIN GARDEN**  
Scale: 1/4" = 1'-0"



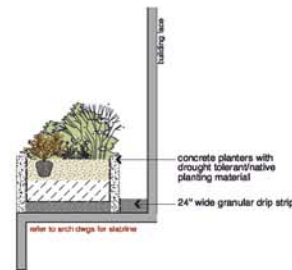
2 L-3.0 **LOOKING EAST ALONG EAST 14TH - DECK**  
Scale: 1/4" = 1'-0"



3 L-3.0 **LEVEL 3 - LOOKING EAST**  
Scale: 1/4" = 1'-0"



4 L-3.0 **LEVEL 3 - LOOKING EAST**  
Scale: 1/4" = 1'-0"



5 L-3.0 **LEVEL 21 - DRAINAGE STRIP ADJACENT TO PLANTER**  
Scale: 1/4" = 1'-0"

8	2023-05-26	re-issue recording up	agp
8	2023-06-26	issue for coordination	agp
7	2023-04-18	agp response	af
6	2023-03-17	city review	af
5	2023-01-18	agp response	af
4	2023-01-23	re-issue for dp	af
3	2022-11-04	issue for agp	af
2	2022-03-16	issue for agp	af
1	2022-01-27	issue for dp	af

Revisions:  
Stamp:



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P 604.584.4811 | F 604.584.0877 | www.dk3.bc.ca

**Three Shores**

Project:  
**120-128 east 14th street**

**120-128 east 14th street  
North Vancouver, BC**

Drawn by: agp  
Checked by: ev  
Date: day DEC yr  
Scale: as shown  
Drawing Title:

**sections**

Project No.:  
**21075**  
Sheet No.:

**L-3.0**



**ADVISORY DESIGN PANEL**  
CITY OF NORTH VANCOUVER  
141 WEST 14TH STREET  
NORTH VANCOUVER  
BC / CANADA / V7M 1H9

T 604 985 7761  
F 604 985 9417  
INFO@CNV.ORG  
CNV.ORG

March 29, 2022

VIA EMAIL: [rhysl@integra-arch.com](mailto:rhysl@integra-arch.com)

Rhys Leitch, Integra Architecture Inc.  
200 Granville Street Unit 2330  
Vancouver, BC V6C 1S4

Dear Mr. Leitch:

**Re: 120 East 14<sup>th</sup> Street (Rezoning Application)**

This will confirm that at their meeting on March 16, 2022, the Advisory Design Panel reviewed the above application and endorsed the following resolution:

“THAT the Advisory Design Panel has reviewed the Rezoning Application for 120 East 14<sup>th</sup> Street and recommends approval subject to addressing the following issues to the satisfaction of the Development Planner:

- Further design development of the ground floor residential lobby relative to the public realm and mixing of commercial and residential uses with particular attention to CPTED for security and safety concerns; and
- Further design development for bike parking within the public realm for enhanced visibility, eyes on the street and accessibility;

AND THAT the Panel wishes to thank the applicant for their presentation.”

The recommendations of the Advisory Design Panel pertain only to site-specific design and site planning considerations and do not, in any way, represent Council and staff approval or rejection of this project.

Yours truly,

A handwritten signature in blue ink that reads "T. Huckell".

T. Huckell  
Committee Clerk-Secretary

Cc: M. Menzel, Planner 2, Planning and Development  
E. Chow, Planner 2, Planning and Development  
B. Savage, Three Shores Development



**PLANNING & DEVELOPMENT DEPARTMENT  
PLANNING**

CITY OF NORTH VANCOUVER T 604 983 7357  
141 WEST 14TH STREET F 604 985 0576  
NORTH VANCOUVER PLANNING@CNV.ORG  
BC / CANADA / V7M 1H9 CNV.ORG

April 13, 2022

Barry Savage  
Principal  
Three Shores Management

Dear Barry,

**Re: Rezoning application for 120 East 14<sup>th</sup> Street**

At their regular committee meeting on April 6, 2022, the Integrated Transportation Committee received a presentation from Three Shores Management, Integra Architecture and IBI Group regarding the above mentioned. Following review and discussion, the following motion was made:

THAT the Integrated Transportation Committee has reviewed the Rezoning application for 120 East 14<sup>th</sup> Street and supports the project.

The Committee makes the following additional comments:

- That the developer include larger bike parking facilities to accommodate cargo bikes, including bikes with trailers;
- That the developer ensure security measures are in place to reduce bicycle theft;
- That City staff investigate the north-south lane and ensure an effort is made to minimize the conflicts between cars and pedestrians;
- That the Committee expresses their concern about the potential for increased congestion at the east-west lane at the St. George's intersection; and,
- That the Committee are worried about the impending rise in traffic congestion in Central Lonsdale as a result of planned and future developments.

**CARRIED**

The recommendations of the Integrated Transportation Committee do not, in any way, represent Council and/or staff approval or rejection of this proposal.

Yours truly,

Hayley van Gelderen  
Committee Clerk/Secretary

- c. E. Chow, Planner 2, City of North Vancouver  
D. Watson, Transportation Planner, City of North Vancouver  
K. Graham, Corporate Officer, City of North Vancouver

## 120-128 E 14th St, North Vancouver Rezoning Application – Three Shores – Developer Information Session Summary Report

**Event Date:** Wednesday, March 30<sup>th</sup>, 2022

**Time:** 6:00PM – 7:30PM

**Location:** Online Zoom Webinar

**Attendance:** 46 members of the public attended virtually. The Three Shores team was in attendance, as was a representative of the City of North Vancouver Planning Department.

**Comments:** 45 comment forms and 9 emails were submitted before and/or following the DIS.

**Meeting Purpose:**

- 1) To present development application materials to the community
- 2) To provide an opportunity for the community to ask questions about the development
- 3) To provide an opportunity for the community to comment on the proposal

### **Notification:**

In accordance with City of North Vancouver policies:

#### Invitation Flyers

DIS Invitation flyers were delivered to 739 addresses within a 40m radius of the site, provided by the City of North Vancouver. Appendix A: Notification includes a copy of this material.

#### Newspaper Ad

A DIS newspaper ad was placed in the North Shore News on March 16<sup>th</sup>, 23<sup>rd</sup> and 30<sup>th</sup>, 2022. A copy of the ad is included in Appendix A: Notification.

#### Notification Sign

One DIS notification sign was erected on the site on March 18<sup>th</sup>, 2022 and was removed on April 4<sup>th</sup>, 2022. Photos of the installed site sign is included in Appendix A: Notification.

### **Attendance:**

46 members of the public signed in for the virtual meeting. A copy of the attendee list is included in Appendix B: Attendee List.

The following City staff and project team members were in attendance:

City of North Vancouver:

- Emma Chow, Planner 2

Project Team:

- Barry Savage, Three Shores, Developer



- Stephen Vincent, DKL, Landscape Architect
- Mladen Pecanac, IBI Group, Transportation Consultant
- Rhys Leitch, Integra Architecture Inc, Architect

Facilitators:

- Katrina May, Katrina May Consulting
- Charles Pan, Assistant

**Overview:**

In accordance with the City of North Vancouver’s COVID-19 state of emergency community consultation guidelines, the DIS meeting was held in an online Virtual Developer Information Session format. Meeting participants watched a PowerPoint presentation and a virtual 3D “fly-through” video by members of the Three Shores project team.

Participants were invited to use the Zoom Webinar Q&A function to ask questions or submit comments during the DIS, which were addressed at the end of the presentation during the Question & Answer period. The facilitator read all questions received aloud and directed questions to the appropriate project team member to respond verbally for all participants to hear. Answers were transcribed by the facilitator and posted for all to see.

The project presentation and facilitated Question & Answer period took approximately 90 minutes. The facilitators received several questions and comments about the project and recorded them for inclusion in this summary report, attached as a separate Appendix C: Public Dialogue.

Participants were invited to submit written comments (using the City’s standard comment form or via email) to the applicant and/or the municipal development planner, following the DIS. 45 comment forms and 9 emails were submitted before or after the DIS.

The key themes of the questions during the Developer Information Session related to the height of the building and distance from adjacent buildings, and how that relates to private views from the adjacent buildings. Many questions arose on the permitted height and density for the site and the increasing density due to recent development along and surrounding 14<sup>th</sup> street. The applicant noted that the height complies with the OCP for the area, and that density was purchased from the City for this site from a donor site (the Harry Jerome Lands). Planning staff further explained the concept of a “density transfer” in the City of North Vancouver, as well as the fact that the site is located in a major focal node of Lonsdale City Centre, identified as a priority location for higher density development.

Questions arose over the impact on traffic that this project would have to an already congested area, particularly along the lanes to the west and north of the property. The traffic consultant advised that the width of the lane meets City requirements and should allow two vehicles to pass one another. The traffic consultant also noted that commercial use of the lane, such as for loading, would diminish in the evenings when residential traffic typically increases.

Other questions included the size range of the homes available, the size and location of outdoor amenity spaces, whether or not the parking stalls were equipped with EV charging stations, and if rental housing or affordable housing would be provided as part of this proposal.

**Comment Sheet and Email Summary:**

Participants were invited to submit comments during a 7-day response period after the DIS meeting. 45 comment forms and 9 emails were submitted before or after the DIS. 31 of the responses were in support and 20 were opposed to the proposed project. These are submitted as a separate Appendix D: Public Comments.

Those in favour of the project noted support for the building design, for the variety of housing, office and retail opportunities, in particular the availability of new commercial space. The suggestion was made to earmark the commercial space for medical and dental uses.

Those opposed to the project noted concern over the building height and proximity to neighbouring buildings, blocking private views. The suggestion was made to reduce the building height or to step back upper floors in order to block less light. There is concern over the amount of density in Central Lonsdale, and the impacts of this density including increased traffic, parking challenges and noise and disruption from ongoing construction in the area.

**Conclusion:**

The purpose of this online Virtual Developer Information Session was to present to the community the proposed rezoning application and the development concept, and to provide attendees with an opportunity to ask clarifying questions and comment on the proposal. 739 DIS notification flyers were distributed by mail to the surrounding community, and 46 community members signed into the DIS. Three newspaper ads notified the community of the DIS, and 1 DIS notification sign was posted on the property. A total of 45 comment forms and 9 e-mails were submitted.

Members of the public could participate in this consultation process in three ways:

- Watching a virtual project presentation during the DIS, including a 3D virtual “fly-through” video
- Asking questions of the project team and/or City Planner during the DIS
- Submitting written comments after the DIS

The DIS meeting length and format was sufficient to provide all participants an opportunity to learn more about the proposed project, ask questions, and make any comments they wished to provide that evening. Participants asked the development team and City Planner a variety of specific questions, mostly related to building height, density, view impacts, parking and traffic implications and the overall pace of development in the Lower Lonsdale area.

**Appendix A: Notification**

Newspaper Advertisement: North Shore News, Wednesday, March 16<sup>th</sup>, 2022

A38 | NEWS WEDNESDAY, MARCH 16, 2022

north shore news [TSNEWS.COM](https://www.nshnews.com)

SPECIAL REPORT

# Investigation into daughter's death points to gaps in ER care

JANE SEYD

[jane@nshnews.com](mailto:jane@nshnews.com)

A grieving mother says a report by B.C.'s College of Physicians and Surgeons into the care her daughter received at Lions Gate Hospital's emergency ward has done little to provide accountability for why her daughter died.

Ann Forry's 29-year-old daughter Natasha Forry died in October 2020,

**“It was a complete collapse of care for Natasha ... Twenty-nine-year-olds don't die like this.”**

ANN FORRY

after a small infection went undetected by doctors until well after it had developed into widespread septic shock that was shutting down her internal organs.

Forry went to Lions Gate Hospital four times between

Oct. 2 and 12, 2020, her condition worsening with each visit. She was never given antibiotics but was sent home with pain medications, until her final visit when she was rushed to the intensive care unit having difficulty breathing.

Natasha died later that day.

A report recently produced by an inquiry committee of the college



Natasha Forry died in October 2020 at North Vancouver's Lions Gate Hospital after seeking care at the ER four times. Her mother says there is inadequate accountability for the treatment she received. COURTESY ANN FORRY

examined the actions of eight doctors who saw Natasha at Lions Gate Hospital, finding fault with only one of those physicians, an emergency room physician who saw Forry on her third visit to the

ER. The report from the college's inquiry committee found Forry's vital signs were not checked and documented following treatment, which might have provided an indication of her worsening condition.

A "significant drop" in Forry's "serum-albumen" - which can indicate a serious infection - was also "underappreciated" according to the report.

The committee noted the doctor would be asked to take part in an interview to discuss those concerns "and means of enhancing the care of future patients."

But that's little comfort to Natasha's mother Ann Forry, who said she has no confidence the report from the college will result in any changes.

**'COMPLETE COLLAPSE OF CARE'**

"There's no justice for me," she said.

"It was a complete collapse of care for Natasha ... 29-year-olds don't just die like this."

Forry said the events leading up to her daughter's death at Lions Gate Hospital should be of concern to everyone on the North Shore.

"This isn't just my problem," she said.

Forry said she thought her daughter was in the best place possible when she repeatedly went to Lions Gate. "My error was trusting the hospital," she said. "It cost my daughter her life."

The 18-page report from the inquiry committee detailed all events leading up to Natasha Forry's death. According to the report, on Oct. 2 2020, the young woman visited the emergency department with an infected cyst in her pelvic area.

*Continued on page 39*

## VIRTUAL DEVELOPER'S INFORMATION SESSION

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**How to Participate:**  
 Please register in advance at: [www.120east14th.com](http://www.120east14th.com) or contact the applicant.

**Date & Time:**  
 Wednesday March 30, 2021  
 6:00 PM - 6:15 PM - Presentation  
 6:15 PM - 7:30 PM - Q & A

**Applicant Contact**  
 Barry Savage  
 Three Shores Management  
 e: [bsavage@threeshores.ca](mailto:bsavage@threeshores.ca)  
 t: 778-366-2367

**City of North Vancouver Contact**  
 Emma Chow  
 Development Planning  
 e: [echow@cnv.org](mailto:echow@cnv.org)  
 t: 604-982-3919



**THREE SHORES**

This meeting is required by the City of North Vancouver as part of the rezoning process.

## Development Proposal

### PUBLIC INFO MEETING

**VIRTUAL Open House: March 21 - April 11, 2022**  
 Visit: [DNV.org/public-meeting](https://www.dnv.org/public-meeting)

This is not a public hearing. District of North Vancouver Council will formally consider the proposal at a later date.

### PROPOSAL: 1900-50 Sandown Place



- 24** stacked townhouse units
- 41** parking spaces
- 50** bicycle parking spaces

**WE ARE HERE**

**PUBLIC INFO MEETING** → **PUBLIC HEARING** →

**Questions?**  
 Matthew Cheng, Matthew Cheng Architect Inc.  
[matthew@mcal.ca](mailto:matthew@mcal.ca) / 604-731-3012

MATTHEW CHENG ARCHITECTURE INC.

Newspaper Advertisement: North Shore News, Wednesday March 23, 2022




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## Iranian Olympian involved with club

*Continued from page 32*  
 said that he grew up in clubs like the North Shore Wrestling Club, and is excited to bring his son there, noting the opportunities that wrestling can offer through scholarships in post-secondary education.

"I just think that there are endless possibilities. I grew up in a small club in Moose Jaw, Sask., a small town, and we've had four Olympians come out of that club, because in our community, wrestling was an important thing," said Abdou.

Another significant figure who has been helping out at the club is former Iranian national wrestling coach Monsour Barzegar. An Olympic silver medalist and world champion, he has been bringing his grandson in for coaching. Wrestling is the national sport of Iran, and holds great significance in the Iranian-Canadian community, with Barzegar carrying status amongst the wrestling community.

"When I wrestled on the national team for Canada, he was the head coach of Iran," said Abdou. "So I used to wrestle against his top wrestlers. He's a wrestling legend. It'd be exciting for me just to be around him and maybe pick up some things for my own team."

Abdou compared Barzegar to hockey greats such as Bobby Orr, Gordie Howe, and Wayne Gretzky, adding that his presence could possibly increase the number of Iranian-Canadians that want to come out and put their kids in wrestling in Canada. Speaking to the North Shore News

through a translator, his son Manziar, Monsour Barzegar expressed the importance of a good coach and talked about how important wrestling is to him and his children.

"My father believes that he should guide the new generation to the right way to find their purpose and be a good member of their community," said Manziar. Both Barzegars expressed how wrestling isn't just a sport for them, it's something that holds great importance to their family and community, and that they were excited to share it with the people at the club.

The North Shore Wrestling Club runs programs for elementary-aged children, high school students, and adult classes, and offers a place for wrestlers on the North Shore to train in the off-season, as it runs all year long. Thom also mentioned that there have been no reported COVID cases associated with wrestlers in B.C.

"You don't need to wrestle yourself to bring your kid there. Your kid doesn't need to fit a certain mould, body type or background or skill set. It's really a space for anybody," said Thom. "Wrestling is often a sport where people end up that just don't fit in anywhere else. We've got an open door for those people."

The club operates out of Gloria Dei Lutheran Church at 1110 Gladwin Drive in North Vancouver. Visit [westsidereswrestling.com/north-shore-wrestling](https://westsidereswrestling.com/north-shore-wrestling) for more information or for registration details.

## VIRTUAL DEVELOPER'S INFORMATION SESSION

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 t: 778-366-2367

**City of North Vancouver Contact**  
 Emma Chow  
 Development Planning  
 e: [echow@cnv.org](mailto:echow@cnv.org)  
 t: 604-982-3919




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## Development Proposal

### PUBLIC INFO MEETING

VIRTUAL Open House: March 21 - April 11, 2022  
 Visit: [DNV.org/public-meeting](https://dnv.org/public-meeting)

### PROPOSAL: 1900-50 Sandown Place



**24** stacked townhouse units  
**41** parking spaces  
**50** bicycle parking spaces



**Questions?**  
 Matthew Cheng, Matthew Cheng Architect Inc.  
[matthew@mc.ai.ca](mailto:matthew@mc.ai.ca) / 604-731-3012



SNOWSHOE PATH

# Trail grooming machines damage Mount Seymour's trees

**BRENT RICHTER**  
 @brentrichter

A North Vancouver trail user is calling out Mt Seymour and BC Parks after resort contractors used heavy machinery to groom a rarely used trail, taking out or damaging a swath of trees in the process.

The northernmost snowshoe trail, marked the E Trail and also known as the Cougar Trail, is within the resort's boundaries, but is usually roped off, said Mike Hanafin.

Hanafin was aghast when he crossed onto the trail recently and saw tracks from a snow groomer.

"I didn't go very far and I saw at least half a dozen to a dozen trees that had been either decapitated or damaged on the sides. Parts of them were just lopped off by this Sno-Cat machine," he said. "There was a tree in the way, boom, they went right over. Where they were trying to squeeze between bigger trees, they just rammed it through there and damaged bigger trees. That, to me, is just inexcusable."

Beyond his obvious concerns about the environmental damage, Hanafin questions the wisdom of grooming the E Trail at all, as it starts out quite tame but becomes highly challenging with steep sections and creek crossings. By grooming it, Hanafin worries it will woo in snowshoers

who aren't prepared for the backcountry conditions.

"It's not an area where people who aren't experienced and equipped should be venturing into," he said.

Hanafin wrote about his concerns to Mt Seymour Resorts management and to the Ministry Environment and Climate Change Strategy, which oversees BC Parks and grants Mt. Seymour Resorts its licence to operate in the provincial park. It's not the first time this has happened, he noted, having taken the ministry to task for damaging up to 100 trees on the main Mount Seymour trail in 2020.

Rory Moorhead, outdoor education manager for Mt Seymour Resorts, wrote back to Hanafin on March 16.

"Concerning the damaged trees you observed within the ski area boundaries, both the Mt. Seymour Main Trail and Cougar trails are not the standard we want to uphold when providing recreational services," he wrote. "As a result, we will be continuing our remediation work cleaning up the damaged trees and providing maintenance to the trails in an appropriate and environmentally sensitive manner to accommodate winter access. Furthermore, we will refrain from grooming these trails until sufficient snowpack ensures there isn't further damage in the future."

Hanafin, however, did not receive a



The use of heavy equipment to groom a rarely used trail on Mount Seymour, earlier this month, has left damage to trees. MIKE HANAFIN

response from the province. The Ministry of Environment did release a statement to the North Shore News.

"BC Parks works closely with Mt Seymour Resorts to confine the grooming to the designated route on the Seymour Main Trail, to avoid damage to vegetation," the statement read. "Park rangers regularly patrol the route and are expected to report any deviation from the agreed-upon grooming program. Any damage observed,

without sufficient rationale or justification, may result in enforcement action taken under the Park Act."

Hanafin said the province takes far too much of a hands-off approach to the park.

"That's just a standard boilerplate. The ministry just puts out a response and hopes it goes away. And that is typically how the ministry deals with just about everything, as far as I've seen," he said. "So far, I haven't seen any accountability."

**SEE SOMETHING WILD?**

**CONTEST:**

Send us your photos and videos for a chance to be featured in the North Shore News and win monthly prizes like Sea to Sky Gondola passes.

**Remember, the photos must be recent!**

Send your submissions to [publisher@nsnews.com](mailto:publisher@nsnews.com)

SEA TO SKY GONDOLA

SEA TO SKY GONDOLA

Adventure by...

## VIRTUAL DEVELOPER'S INFORMATION SESSION

Three Shores Management has submitted a rezoning application to the City of North Vancouver for 120 - 128 East 14th Street to support the development of a 21 storey residential and commercial (retail and office) mixed use building. Interested members of the public are invited to attend a Virtual Developer's Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

**How to Participate:**  
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[www.120east14th.com](http://www.120east14th.com)  
 or contact the applicant.

**Date & Time:**  
 Wednesday March 30, 2021  
 6:00 PM - 6:15 PM - Presentation  
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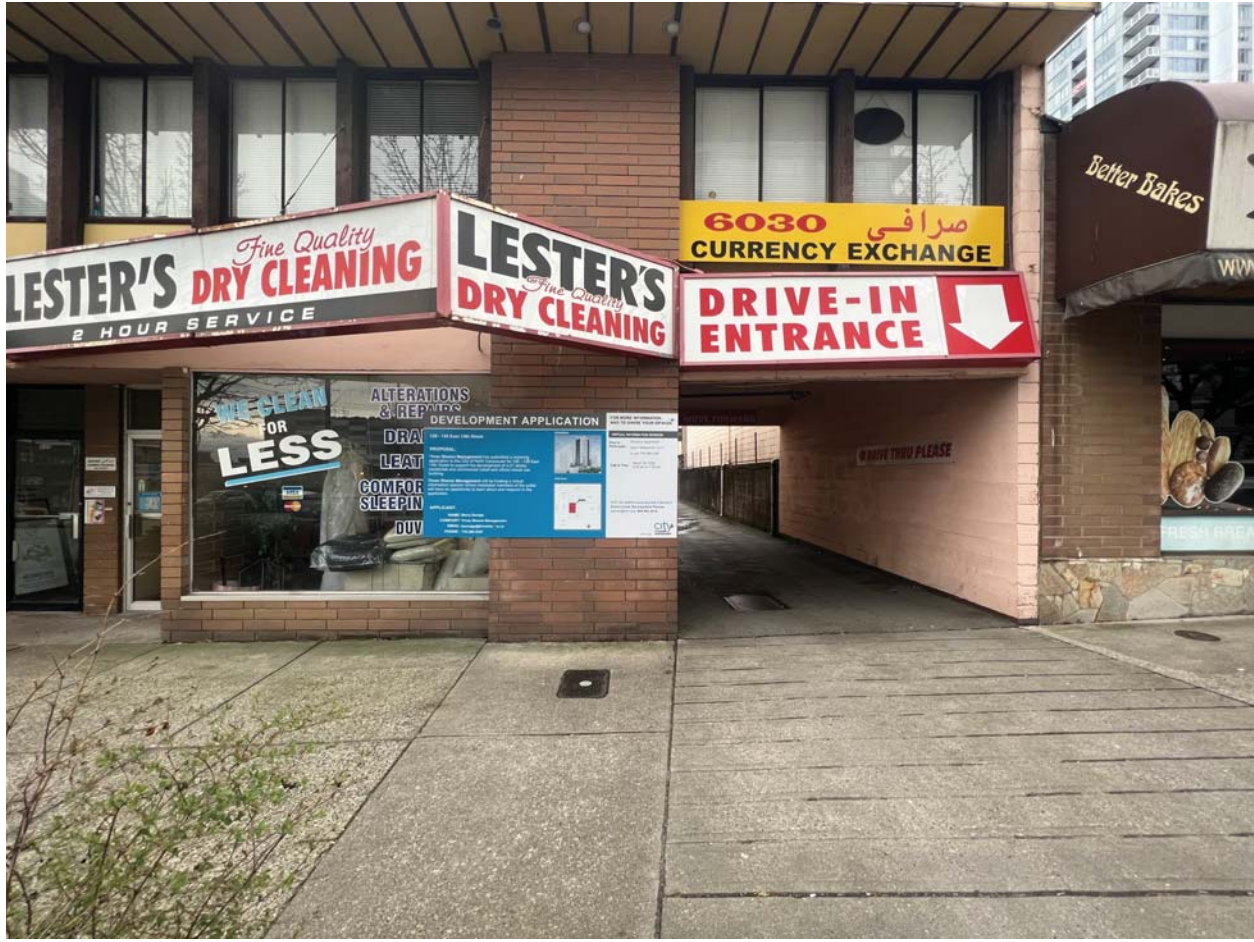
**Applicant Contact**  
 Barry Savage  
 Three Shores Management  
 e: [bsavage@threeshores.ca](mailto:bsavage@threeshores.ca)  
 t: 778-366-2367

**City of North Vancouver Contact**  
 Emma Chow  
 Development Planning  
 e: [echow@city.nv.ca](mailto:echow@city.nv.ca)  
 t: 604-982-3919

**THREE SHORES**

This meeting is required by the City of North Vancouver as part of the rezoning process.

Notification Sign



Notification Flyer



**VIRTUAL DEVELOPER'S INFORMATION SESSION**

Early Public Input Opportunity  
Rezoning Application for 120-128 East 14th Street, North Vancouver

**How to Participate:**  
Register in advance at: [www.120east14th.com](http://www.120east14th.com)  
or contact the applicant.

**Date & Time:** Wednesday March 30, 2022  
6:00 PM - 6:15 PM - Presentation  
6:15 PM - 7:30 PM - Q & A





## 120-128 E 14<sup>th</sup> St, North Vancouver, Rezoning Application – Three Shores – Developer Information Session Summary Report

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Three Shores Management has submitted a rezoning application to the City of North Vancouver for 120 - 128 East 14th Street to support the development of a 21 storey residential and commercial (retail and office) mixed use building. Interested members of the public are invited to attend a Virtual Developer's Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

**Applicant Contact**

Barry Savage  
Three Shores Management  
E: [bsavage@threeshores.ca](mailto:bsavage@threeshores.ca)  
T: 778-366-2367

**City of North Vancouver Contact**

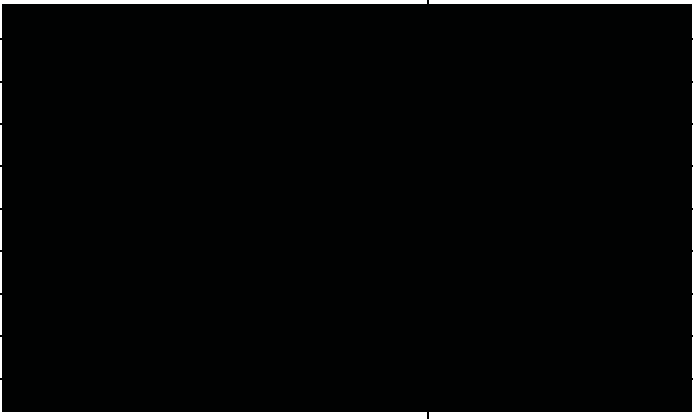
Emma Chow  
Development Planning  
E: [echow@cnv.org](mailto:echow@cnv.org)  
T: 604-982-3919



**Appendix B: Attendee List (redacted to preserve privacy)**

Attendee Details		
Attended	User Name (Original Name)	Email
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**Appendix C: Public Dialogue (see attached)**

**Appendix D: Public Comments – Written and Emailed Submissions (see attached)**

## 120-128 East 14th St, North Vancouver - Rezoning Application

### Updated Notification Report

**Delivery Date:** Tuesday February 13, 2024

**Comments:** 8 emails were submitted following the delivery of the Information flyers.

**Notification Purpose:** 1) To update the community on the status of the development application  
2) To provide an opportunity for the community to comment on the proposal

**Notification:**

In accordance with City of North Vancouver policies:

Information Flyers

Information flyers were delivered to 894 addresses within a 40m radius of the site, provided by the City of North Vancouver. The flyers were mailed on February 13, 2024. The purpose of the information flyer was to inform the neighbouring residents that Three Shores Management has responded to all of the outstanding items and that this project is ready to move to the next step of the development process. Appendix A: Notification includes a copy of this material.

**Background:**

The first Developer Information Session was held on Wednesday March 30, 2022 as part of the development process. 46 members of the public attended the virtual meeting. Following the meeting, 45 comment forms and 9 emails were submitted. 31 of the responses were in support and 20 were opposed to the proposed project.

**Overview:**

The key themes of the responses to the Information Flyer were the height and density of the project along with concern over traffic.

Regarding the height and density for the site and the increasing density in Central Lonsdale, it should be noted that the height complies with the OCP for the area, and that density is being purchased from the City for this site from a donor site (the Harry Jerome Lands). The site is located in a major focal node of Lonsdale City Centre, identified as a priority location for higher density development.

Comments regarding the impact on traffic that this project would have to an already congested area, particularly along the lanes to the west and north of the property. As previously noted by our traffic consultant, the width of the lane meets City requirements and should allow two vehicles to pass one another. The traffic consultant also noted that commercial use of the lane, such as for loading, would diminish in the evenings when residential traffic typically increases. The introduction of intersection improvements at 14<sup>th</sup> Street and St. Georges and along the back lanes has help alleviate some of the traffic and congestion concerns.

**Comment Sheet and Email Summary:**

Residents were invited to submit comments on the application. 8 emails were submitted following the delivery of the Information flyers. 2 of the responses were in support and 6 were opposed to the proposed project. These are submitted as a separate Appendix B: Public Comments.

Those in favour of the project noted support for the building design, the need for new housing, and for the need for new commercial space.

Those opposed to the project noted concern over the amount of density in Central Lonsdale, and the impacts of this density including increased traffic, parking challenges and noise and disruption from ongoing construction in the area.

**Conclusion:**

The purpose of this Updated Notification was to make the community aware that this rezoning application was progressing through the rezoning process and that it would be coming before City Council in the next few months. It provided the community with an opportunity to provide comments on the application.

# Appendix A: Notification

## Notification Flyer

### PLANNING APPLICATION

#### 120 – 128 East 14th Street

Three Shores Management has applied for a Zoning Bylaw Amendment application to rezone the property from existing C-1B Zone to new Comprehensive Development Zone to allow for a 21-storey residential and commercial building with 177 strata units. The proposal includes 184 vehicle parking stalls and 252 secure bicycle parking stalls.

#### PROPOSED BUILDING



#### LOCATION



### PROJECT UPDATE & NEXT STEPS

Three Shores Management has submitted a revised application based on the comments received by the City and the public. Three Shores Management has responded to all of the outstanding items and that this project is ready to move to the next step of the development process. It is anticipated that this Zoning Bylaw Amendment will be advanced to City Council in the next month or so.

### TO LEARN MORE & PROVIDE FEEDBACK

#### COMMENTS TO APPLICANT:

Please submit your comments to Three Shores Management for review and response. Your comments will be shared with City staff for consideration.

Three Shores Management  
38 Fell Ave #400,  
North Vancouver, BC V7P 3S2  
[info@threeshores.ca](mailto:info@threeshores.ca)

[cnv.org/Applications](https://cnv.org/Applications)  
Search by property address



#### APPLICANT

Barry Savage  
Three Shores Management  
38 Fell Ave #400,  
North Vancouver, BC V7P 3S2  
[info@threeshores.ca](mailto:info@threeshores.ca)  
[778-366-2367](tel:778-366-2367)

#### CITY OF NORTH VANCOUVER

Matthew Menzel  
Planning & Development  
141 West 14th Street, North Vancouver  
[planning@cnv.org](mailto:planning@cnv.org)  
604-982-9675



### **Overview of Variances to Zoning and Parking Provisioning**

The following provides a summary and overview of the proposed variances to zoning and car parking provisioning associated with the project at 120-128 East 14<sup>th</sup> Street:

**Table 1. Summary of Proposed Zoning Changes**

	<b>BASE C-1B ZONE</b>	<b>PROPOSED CD-749 ZONE</b>
<b>Permitted Principal Uses</b>	Retail-Service Group 1 Accessory Residential and Parking Uses	Retail-Service Group 1A at ground level Retail-Service Group 1 at second level Accessory Residential Uses Accessory Parking Uses
<b>Density Maximum</b>	2.6 FSR	9.98 FSR
<b>Lot Coverage Maximum</b>	90%, reduced to 35% above the second storey	100 percent, reduced to 47 percent above the second level
<b>Height Maximum</b>	36.6 metres (120 feet)	68 metres (as per the OCP)
<b>Siting</b>	3.048 metres (10 feet) from the flanking lane	0 metres to podium level 3.048 metres (10 feet) to tower
	6.096 metres (20 feet) from the rear lot line	<u>Up to Level 2 (podium level)</u> 0 metres  <u>Level 3 to 21 (tower levels)</u> 3.65 metres (12 feet) to the principal building. 2.13 metres (7 feet) to an unenclosed balcony.
<b>Building Width &amp; Length</b>	Shall not exceed a horizontal width or length of 51.816 metres (170 feet) above the second storey and 30.48 metres (100 feet) above third storey	36 metres (approx. 118 feet) to the eastern and western elevations of the tower levels.

#### Lot Coverage

The application seeks a variation to the Lot Coverage requirements set for the C-2 zone, specifically being 90%, reduced to 35% above the second storey.

The application proposes a Lot Coverage of 100%, reduced to 47% above the second storey.

The building has been designed with a commercial podium level, which is appropriate given the site's Mixed Use Level 4B land use designation in the OCP. The proposed lot coverage at the ground level is required in order to meet operational functions of the building, including for example vehicle and bicycle parking, loading and garbage storage/staging, and to establish active commercial retail units along the full frontage of

the East 14th Street. The proposed Lot Coverage is therefore determined to result in an appropriate form and intensity for the mixed use location.

The site has been designed with appropriate landscaping treatments within the streetscape and podium level to soften the built form elements and enhance amenity for residents.

#### Flanking Lane Setback

The C-1B zone requires a minimum setback of 3.048 metres (10 feet) from the flanking lane (western boundary). The application proposes a 2 metre (6.6 feet) setback at ground floor and 0 metres on the second floor.

As discussed, the development achieves excellent laneway activation through positioning of commercial uses and pedestrian amenities at grade level. The second floor office spaces that will overlook the laneway are also strongly supported.

The second floor overhangs over the ground level along the western boundary. Staff support this minor variation to the setback, as it helps to establish an appropriate commercial podium and will contribute to the overall laneway activation strategy. The overhang will create a covered area at grade, providing weather protection for pedestrians and the short-term bicycle parking spaces.

#### Rear Boundary Setback

The proposed development will result in a variation to the siting requirements for the C-1B zone, specifically from the rear lot line, being the northern boundary adjacent to the laneway. The C-1B zone requires a minimum setback 6.096 metres (20 feet) from the rear lot line.

The proposed development results in the following minimum setbacks on the existing northern boundary (rear lot line):

- Podium Level – 0 metres;
- Tower element:
  - to wall – 3.65 metres (12 feet); and
  - to balcony – 2.14 metres (7 feet).

The reduction in the rear boundary setback will have minimal impacts with respect to overshadowing of existing adjoining dwellings, and will ensure that residents achieve an adequate level of access to sunlight and prevailing breezes.

As demonstrated in the Context Site Plan prepared by the applicant's architect, the proposed rear boundary setback will ensure that a 24.4 metre (80 foot) separation can be achieved to a potential future tower on the land to the north. On this basis, it is determined that the proposed rear boundary setback will not jeopardize the development outcomes on nearby parcels, and will be able to appropriately mitigate potential overlooking impacts to future residents.

### Building Width and Length

The building is composed of a 2-storey podium and 19 storeys of tower. The proposed development will result in a variation to the building width and length requirements set for the C-1B zone, specifically being 30.48 metres (100 feet) for the tower element.

The proposed development results in a maximum building width of 35.9 metres (118 feet) above the podium level, specifically along the eastern and western elevations.

It is firstly important to acknowledge that the northern and southern elevations have been designed with slender tower width of only approximately 19.8 metres (65 feet), which is significantly less than the 30.48 metres (100 feet) prescribed by the C-1B zone. The design of the tower has mitigated view impacts of nearby residents towards the north to the full extent possible.

Further, the Context Site Plan prepared by the applicant's architect has demonstrated that the proposed building design will ensure that a 24.4 metre (80 foot) separation can be achieved to a potential future tower on the land to the north. On this basis, it is determined that the proposed tower width will not jeopardize the development outcome on nearby parcels.

The proposed elevations have been designed with appropriate articulation along the length of the building, including steps in the building line, and inclusion of recessed balconies. The building also adopts a contemporary design that utilizes a variety of façade materials and strong roof line. These built form elements appropriately break up the form of the building and reduce the perceived building bulk, despite the variance to building length and width.

The building width and length standards are regularly varied in individual Comprehensive Development Zones to ensure a functional built form outcome is established in mixed use areas. Similar building widths and lengths have been permitting in a number of nearby projects in the Central Lonsdale area.

### Resident Parking Spaces

The proposed development involves a minor variation to the proposed resident car parking. Specifically, only 153 residential visitor car parking spaces will be provided in lieu of the required 156 spaces.

The subject site is located in a centralized location, nearby to 2 frequent transit corridors with inbound and outbound bus stops located within 200 metres walking distance of the site. The site is also located within one block of the bicycle route on 13<sup>th</sup> Street which provides connections to the broader bicycle network. Finally, the proposed development has provided 246 residential secure bicycle parking spaces (which includes 31 cargo bicycle spaces), to promote use of active transportation.

Given the sites centralized location, there is expected to be a reduced demand for parking on the site, and therefore the proposed variance is supported.

### Visitor and Commercial Vehicle Parking

The development involves a minor variation to the proposed visitor and commercial vehicle parking. Specifically, only 13 residential visitor car parking spaces will be provided in lieu of the required 16 spaces. Further only 15 commercial car parking spaces will be provided in lieu of the required 18 spaces.

The development has proposed to allocate 3 vehicle parking spaces as being shared between residential visitor spaces and commercial users. Given the commercial parking and residential visitor parking will have different peak use times, the shared arrangement for these 3 spaces will make better use of the overlapping parking demands generated by the commercial uses and residential visitors. Use of the visitor car parking space will be managed through the strata of the building, and the terms can be outlined in the development covenant.

Given the sites centralized location, there is expected to be a reduced demand for parking on the site, and therefore the proposed variance is supported.

### Bicycle Parking within P2 Level

The development proposes 47 resident bicycle parking spaces within the P2 level.

The minor variance is supported, as requiring additional bicycle parking within the ground level floor plate will impact the functionality of the office and residential lobbies, and reduce the available floor space allocated to active commercial uses along East 14<sup>th</sup> Street. Further, providing additional bicycle parking within the P1 level will impact the functionality of the car parking layout.

The proposed bicycle parking within P2 will be easily accessible to residents via the parkade ramps and two residential elevators.



**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

**BYLAW NO. 8960**

**A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2024, No. 8960” (Three Shores Management, 120-128 East 14<sup>th</sup> Street, CD-760 (the Density Receiver Site)) and Text Amendment to Centennial Theatre, 2300 Lonsdale Avenue, 116 East 23<sup>rd</sup> Street, and Norseman Park (HJNL, CD-165).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 120-128 East 14<sup>th</sup> Street and legally described below as henceforth being transferred, added to and forming part of CD-760 (Comprehensive Development 760 Zone):

PID: 005-773-024	LOT 9 OF LOT A BLOCK 50 DISTRICT LOT 549 PLAN 5938
PID: 011-039-523	LOT 10 OF LOT A BLOCK 50 DISTRICT LOT 549 PLAN 5938

from zone C-1B.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

CD-760 Comprehensive Development 760 Zone (120-128 East 14<sup>th</sup> Street)

In the CD-760 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-1B Zone, except that:

- (1) The permitted Principal Use on the Lot shall be limited to:
  - (a) Retail Service Group 1A Use;
  - (b) Retail Service Group 1 Use, except these uses are permitted only at the second storey or higher;
  - (c) Health care related professional office uses are permitted at the ground level;
  - (d) Accessory Apartment Use subject to Section 607(1) of this Bylaw;
  - (e) Accessory Home Occupation Use, subject to Section 507(6);
  - (f) Accessory Home Office Use, subject to Section 507(6);
  - (g) Child Care Use, subject to Section 607(9);
  - (h) Accessory Off-Street Loading Use;
  - (i) Accessory Off-Street Parking Use;
  - (j) Off-Site Parking Use.

(2) Gross Floor Area

(a) The maximum Gross Floor Area is 2.6 FSR;

(b) Notwithstanding (2)(a) the Gross Floor Area may be increased as follows:

<b>ADDITIONAL (BONUS) DENSITY</b>			
<b>ADDITIONAL DENSITY CATEGORY</b>	<b>DESCRIPTION</b>	<b>ADDITIONAL DENSITY (BONUS)</b>	<b>POLICY REFERENCE</b>
Community Benefit Cash Contribution	Provision of a Community Benefit Cash Contribution of \$3,138,200	Maximum 2,040.8 sq. m. (21,967 sq. ft.) 1.4 FSR	As per OCP Policy Section 2.2.1
<b>TOTAL BONUS</b>		<b>1.4 FSR</b>	

<b>DENSITY TRANSFER</b>			
<b>DONOR SITE</b>	<b>DESCRIPTION</b>	<b>TRANSFERRED GROSS FLOOR AREA</b>	<b>POLICY REFERENCE</b>
Transferred from Harry Jerome Lands (at 2300 Lonsdale Avenue and 116 East 23 <sup>rd</sup> Street, Comprehensive Development Zone 165)	Residual density that is not to be utilized on donor site	8,710 sq. m. (93,754 sq. ft.) / 5.98 FSR	As per OCP Policy Section 2.3
<b>TOTAL TRANSFER</b>		<b>5.98 FSR</b>	

Such that the total effective on-site Gross Floor Area is not to exceed 9.98 FSR.

(3) A minimum of 10% of units shall have 3 bedrooms;

(4) Lot Coverage

Shall not exceed a Lot Coverage of 100%, reduced to 47% above the second Storey.

(5) Building Height:

(a) The Principal Building shall not exceed a Building Height of 68 metres (223 feet) as measured from the average Building Grades;

(b) Elevator and mechanical penthouses may project beyond the defined height in (a) by a maximum of 6.1 metres (20 feet) including elevator shafts and mechanical rooms;

- (6) Section 610(5) Siting shall be waived and replaced with the following siting requirements:
- (a) The Principal Building shall be sited not less than:
    - (i) 0 meters from the lane (Flanking Lane) to the west, for all portions of Principal Buildings up to two storeys;
    - (ii) Minimum of 3.048 metres (10 feet) from the lane (Flanking Lane) to the west, for all portions of Principal Buildings exceeding two storeys;
    - (iii) 0 meters from the rear boundary setback, for all portions of Principal Buildings up to two storeys;
    - (iv) 3.65 metres (12 feet) from a Rear Lot Line to the wall, for all portions of Principal Buildings exceeding two storeys;
    - (v) 2.14 metres (7 feet) from a Rear Lot Line to an unenclosed balcony, for all portions of Principal Buildings exceeding two storeys;
    - (vi) Notwithstanding Subsections (6)(a)(i-v) all portions of Principal Building exceeding four storeys shall be sited at least 24.4 metres (80 feet) from all portions of other Principal Buildings exceeding four Storeys.
  - (7) Section 612(6) Building Width and Length shall be waived;
  - (8) Section 402(6) within Prohibited Uses of Land, Buildings, and Structures shall be waived;
  - (9) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, and 10A, except that:
    - (a) A minimum of 153 residential vehicle Parking Spaces shall be provided;
    - (b) A minimum of 13 residential visitor Parking Spaces shall be provided;
    - (c) A minimum of 15 commercial Parking Spaces shall be provided;
    - (d) 3 vehicle Parking Spaces shall be identified as shared residential visitor and commercial parking spaces;
    - (e) 47 resident bicycle parking spaces can be provided at the second level beneath grade.

B. Amending Section 1101, CD-165, Schedule 141, 'Record of Density Transfer', by:

- (1) Creating a new entry recording 8,710 sq. m. of Transferred Gross Floor Area to the 120-128 East 14<sup>th</sup> Street recipient site and subtracting 8,710 sq. m. from the Remaining Residual Density.

READ a first time on the <> day of <>, 2024.

READ a second time on the <> day of <>, 2024.

READ a third time on the <> day of <>, 2024.

ADOPTED on the <> day of <>, 2024.

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MAYOR

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CORPORATE OFFICER



**From:** Gail McGuire  
**Sent:** May-03-22 4:12 PM  
**To:** City\_North\_Van\_Info <[info@cnv.org](mailto:info@cnv.org)>  
**Subject:** 100 block East 14th St. Concern

To Mayor and council as well as relevant departments.

I'm a resident living at 108 East 14th St. and have concerns about the increased traffic, both vehicular and pedestrian, using the lane which runs N-S between 14th and 15th Streets.

A lot of the extra vehicular traffic is the result of the 'no left turn' sign on Lonsdale at 15th. Traffic now comes down to 14th and goes N to get back to 15th, OR to back out onto 14th, turn R onto Lonsdale and back to 15th. (I must say this signage makes it much easier to turn onto 15th from the lane).

This lane is also a thoroughfare for pedestrians between 13th to 15th streets. I would like to see crosswalks across 14th at the lane and 15th (at Eastern) be considered as well as a dedicated walkway along the lane.

Now with the (proposed) development of a 21 storey building at 120-128 East 14th this area and lane is going to be impacted even more severely. I would request that city hall and the traffic dep't monitor this lane with a critical eye. This lane should be widened to deal with the increased amount of commercial traffic serving this entire area south of 14th as well as the east and west sides of the 1400 block of Lonsdale and of course all the waste management trucks servicing this immediate area. Currently the retail stores on this proposed development lot have their own loading and parking areas (butchers, bakery, dry cleaners, restaurant, etc) but this will not be the case with redevelopment.

Therefore, to deal with this density and traffic increase it would be prudent to adapt this lane before another tower is approved. Please take a long look at the traffic in this area.

These pictures were taken at 10:30ish on May 3, 2022. The lane was blocked by waste management which caused a semi to block the entrance and left other traffic at a standstill on 14th. Pedestrians enter at their own risk...

Thank you,  
Gail McGuire  
East14<sup>th</sup> Street  
North Vancouver



**From:** Anne-Marie Lavallee  
**Sent:** March-23-24 1:19 PM  
**To:** Submissions; Mayor Linda Buchanan  
**Subject:** 120 - 128 14th Street East N Van

My address is East 14th Street. Now I might to force sell my place because I won't be able to sleep during the day and the construction hours. Can we just have a break in noise pollution?? We have been enduring it for almost 6 years.

On Saturday, March 23, 2024, 6:08 AM, Anne-Marie L wrote:

Hello,

I am a homeowner at 14th Street East.

I am super concerned about the new development. Some city officials were paid to accept the contract for a 21-story building at 120-128 14th Street East.

I am a first responder, working the night shift and sleeping during the day.

I bought it in 2016 after knowing the city only allowed a six-story building facing my apartment. My suite faces north.

When I moved here in 2017, I dealt with the noise construction from the rental highrise at the north/west corner of 13th and Lonsdale Ave. I tried to sleep during the day, but my building vibrated during the construction.

Then, the construction of the Millenium in the 100 block of 13th Street East continued, and the noise continued.

It has been so noisy here since I lived here.

I know many shift workers living at Centre View, and we are concerned about the noise caused by the construction.

Have you ever tried to sleep during the day when concrete drilling took place?

I would like to see a 2024 traffic study on my street.

There is a daycare in the 100 block of 14th Street East, and many parents drop off their kids in the morning and pick them up in the afternoon. Do you have an alternative drop and pick-up area?

Have you had a chance to talk with the daycare?

The RCMP has six parking stops on the 100 block of 14th Street.

The parking spots in the detachment are tiny, and officers have to climb through the windows of their police cars when they park in detachment P1.

Only the general duty officers can park on the 100 block of 14th Street to be ready to go immediately during an emergency.

I was one of the officers who responded to the in-progress Lynn Valley stabbing, and my police vehicle was parked in P1 of the detachment. I had to climb through the window of my police car as the parking spots in P1 were too tiny.

Officers who were parked on 100 block 14th Street East were able to respond faster than I was.

Even the city designated more parking spots on the 100 block of 14th Street for the RCMP's police vehicles.

Will the city provide more spots on St Georges for the police vehicles?

Have you consulted with the Home Hardware store? Their 18-wheeled delivery truck is too big to park in the Centre View parking lot, located at 100 block East 13th Street.

This street is chaotic; please conduct a traffic study in the afternoon. It is already congested without additional construction trucks. Please meet with clients to get their perspective; it is not enough to post signs with a proposal. People are busy and don't have time to read signs.

I would appreciate an answer.

Anne-Marie Lavallee  
East 14th Street  
North Vancouver



**From:** Lois Schneeberg  
**Sent:** March-24-24 8:49 AM  
**To:** Submissions  
**Subject:** Project on 14th street

Hello,

I am so against the 21 story tower on 14th street for so many obvious reasons. 14th street is one way with access to the hospital. People wanting to go to the emergency room will be impacted. We cannot make hospital access difficult when our hospital is the only hospital on the north shore. Also we are turning this area into a cement village where all of us already living here can only see into other apartment windows when we look out our windows. Of course there is access to the north shore being more and more difficult with the increased population to this area. I'm totally against this high rise for more reasons than those listed. Please reconsider this high rise.

Thank you

Lois Schneeberg  
East 14<sup>th</sup> Street  
North Vancouver

**From:** Gillian Knox  
**Sent:** March-24-24 5:59 PM  
**To:** Submissions; Planning  
**Subject:** Zoning Amendment Bylaw No 8960 120-128 East 14th Street - Opposition

To Corporate Officer

I am writing to voice my objection to the rezoning application at 120-128 East 14th Street and I am very disappointed that no public hearing will be held. I don't believe that a thorough study of the impacts have been taken into account. I am concerned that the construction will close 14<sup>th</sup> street or limit its use drastically. This is street that is used by both the police and ambulances. I also have a young child and am concerned about the construction debris and dust that is inevitable for a building that size. Have there been any studies regarding the stability of a building that large with others so close by? What about water consumption and sewage? 14<sup>th</sup> street is already chaotic enough without the added construction and the congestion that a building of this size would bring once the construction is completed in 3 years. Please consider this when you are making your decision. You will affect not only the quality of life of the occupants of 14<sup>th</sup> street, but also those of the entire North Shore with the impact this will have on the police and hospital.

Sincerely,  
Gillian Knox  
East 14<sup>th</sup> Street  
North Vancouver BC V7L 0E6

**From:** James Beard  
**Sent:** March-25-24 10:34 AM  
**To:** Submissions  
**Subject:** Zoning Amendment 120-128 East 14th St.

Among the concerns that I have regarding the proposed construction of a 21 story residential commercial building at 120-128 East 14<sup>th</sup> Street is the following.

During demolition and excavation there will be an on going stream of dump trucks and perhaps heavy equipment on East 14<sup>th</sup> Street and during erection of the tower there will a similar stream of transit mixers (cement trucks) and other vehicles delivering steel etc. Even with traffic control personnel, this will seriously impede garbage collection, mail and parcel delivery, and most importantly, access by emergency vehicles, when required, to the residents and commercial establishments on East 14<sup>th</sup>, as well as the police station. As you undoubtedly know, that section of East 14<sup>th</sup> Street is a one way single driving lane and should the plan be to restrict, or modify the existing parking arrangements this would further impact the tax paying citizens who live, work and shop in that area.

I'll be interested to learn how you plan to mitigate the impact during this multi year Project.

Regards

James Beard  
East 14<sup>th</sup> Street  
North Vancouver BC V7L 2N3

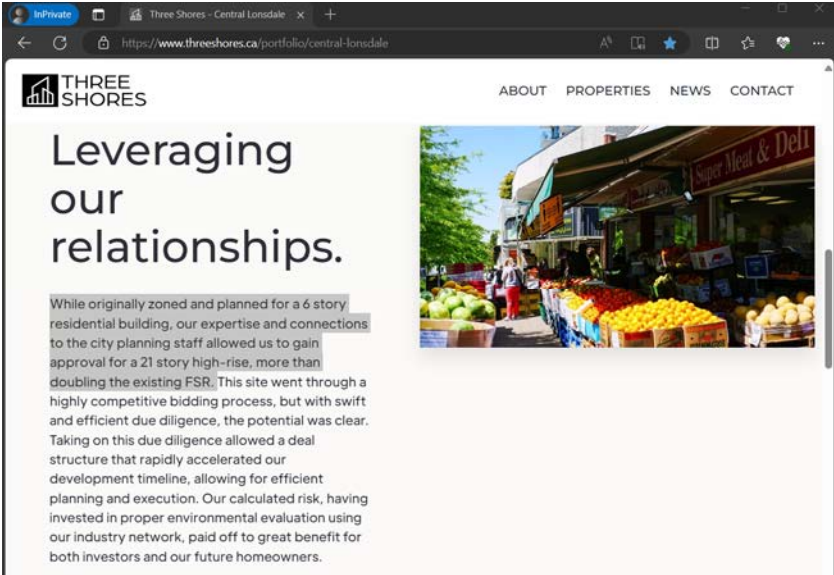
**From:** Garry Nishimura  
**Sent:** March-25-24 2:39 PM  
**To:** Submissions; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor)  
**Subject:** Excessive development at 120-128 East 14th Street

Dear Mayor and Councillors,

I was very disappointed to hear that there will not be a public hearing for the development at 120-128 East 14<sup>th</sup> Street.

Isn't a public hearing required if the proposed development does not comply with the OCP? The FSR for the development is 9.98 versus the maximum 4.0 allowed by the OCP. The public deserves the right to present their objections to City Council.

Three Shores Development are certainly acting like they already have council approval for the project. They even brag on their website that they already have approval, stating "our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR". (<https://www.threeshores.ca/portfolio/central-lonsdale>)



The lack of a public hearing is not a good look with Three Shores implying that approval was the result of their "connections" in City Hall.

During the Developer Information Session held in March 2022, several concerns were raised by myself and others regarding this project. These included, but are not exclusive to:

- Density will be significantly increased in the immediate area of East 14<sup>th</sup> Street and, as Three Shores indicates, such a dramatic increase is brag worthy.
- While the concept of transfer of density was described during the session, no explanation was provided to the question of why, against the City's guidelines for density transfers, density is



allowed to be shifted from one region of the city (Harry Jerome) into another not-in-close-proximity, already dense region (East 14<sup>th</sup>).

- East 14<sup>th</sup> is a single lane, one-way street already experiencing traffic congestion that leads to Lions Gate Hospital and the RCMP detachment.
- East 14<sup>th</sup> and the laneways between East 14<sup>th</sup> and East 15<sup>th</sup> are already heavily utilized by commercial delivery vehicles, RCMP vehicles, residents and visitors of 14<sup>th</sup>, 15<sup>th</sup> and Lonsdale, and by pedestrians.
- Parking on East 14<sup>th</sup> is already an issue with constant illegal parking by delivery vehicles and others due to insufficient parking to support current levels of traffic and local businesses.

An increase of residents, vehicles and pets will exacerbate an already taxing situation that doesn't seem to be understood by the City. It should be noted that the traffic consultant at the info session based his comments using studies conducted during COVID restrictions. No post-pandemic data has been presented.

The consultant also said there was room for two vehicles in the lanes which, in itself, he said should provide proof of sufficient adequacy for traffic flow. This is typical modelling that completely ignores real-life activity and behaviour in the laneways which includes large parked commercial trucks reducing flow, 2-way traffic completely blocked by waste disposal trucks loading from adjacent buildings, large trucks unable to turn northbound while travelling westbound in the laneway without backing up twice, etc. I have included a couple pieces of video and photo evidence of the reality of traffic in the lane and can document similar congestion on a daily basis.



*Garbage disposal blocking "2-way" traffic during pickup*



*Multiple commercial vehicles (no drivers in vehicles) completely blocking laneway*

Businesses, large and small, on East 14<sup>th</sup> Street and Lonsdale are struggling with loading/unloading and deliveries repeatedly rely on illegal parking and blocking of traffic flow.



*Home Hardware truck completely blocking traffic on E. 14<sup>th</sup> during delivery*

The City also disregards the amount that the RCMP relies on this block for transportation of prisoners, access to the hospital, staff parking and access to their facilities.

I challenge you to monitor activity here for a day to see the congestion already present at current density levels.

Upon reviewing the revised submission by the developer and the summary report from the Information Session (which by the way, doesn't include Public Dialogue and Public Comments), it is unclear that any attempt to address these concerns has been made and now we find out that no public hearing will be held. The Conclusion of the Information Session Summary Report simply indicates that the developer met the criteria of informing the public about the project but gave no indication, or inclination, to a response to any of the concerns.

I strongly believe that the development as proposed will decrease the livability of residents and visitors to the area and is a net negative for the City.

I am not naive enough to suggest that development should not occur on this site; I only request that the proposed construction be limited to a level that can be better accommodated by the surrounding infrastructure. A 21-storey, 9.98 FSR building far exceeds that. I look forward to your response.

Regards,  
Garry and Donna Nishimura  
14<sup>th</sup> St E, North Vancouver, BC V7L 0E6

**From:** Gord Stevens  
**Sent:** March-24-24 7:36 PM  
**To:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>  
**Subject:** 120 - 128 14th Street North Vancouver

Hello,  
The project looks pretty decent giving the parking details. It's important that the City of North Vancouver continues its development parking requirements.

One thing that is a serious concern is that 14th street is currently a 1 way street. The rear alleys are already congested with delivery vehicles and the cars from Lonsdale, 14th, and 15th, streets that exit and enter into that alley. There is also a 20 vehicle parking area only accessible through those alleys.

I suggest this needs to be remedied by making 14th a 2 way street again, and parking access for the new development to be on 14th street.

Gord Stevens,  
St Georges Avenue  
North Vancouver



**From:** Mehdi Raz  
**Sent:** March-24-24 8:55 AM  
**To:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>  
**Subject:** Concerns Regarding New Development at 120-128 14th Street East

Dear City of North Vancouver Council and Planning Department,

My name is Mehdi Razaghi, and my address is 14th St E, North Vancouver, BC V7L 0E6.

I am writing to you as a concerned resident and homeowner at 14th Street East, deeply troubled by the recent approval of the development project at 120-128 14th Street East. My concerns are shared by many in our community, including fellow homeowners, shift workers, and parents, all of whom foresee significant negative impacts on our quality of life, safety, and local infrastructure from this development.

1. **Lack of RCMP Consultation:** The absence of any consultation with the RCMP is alarming, given the critical need for emergency response readiness. Our community's safety and the efficiency of our first responders should not be compromised by inadequate planning. How does the City plan to address the need for immediate emergency response capabilities?
2. **Outdated Traffic Study:** The reliance on possibly outdated traffic studies raises concerns about the development's impact on local traffic conditions, particularly considering the construction trucks that will further congest our streets. When was the last traffic study conducted, and how does it account for the current and future increases in traffic volumes, especially with ongoing developments?
3. **Emergency Hospital Access, Childcare Drop-off, and Deliveries:** The development poses a threat to critical access routes for emergencies, as well as routine yet essential activities like childcare drop-off and deliveries for current residential & businesses. Given the strategic location of a daycare facility and the Home Hardware store on our street, what measures are in place to ensure that these daily activities are not hindered? Furthermore, what alternative arrangements have been made to accommodate the needs of these establishments and their patrons?

Additionally, I would like to address the issue of public engagement further by requesting the arrangement of a public hearing concerning this development. As per the Amendment of S464, a public hearing is not mandated if a proposed zoning bylaw is consistent with an existing official community plan and permits residential development, or if the bylaw pertains to small-scale multi-family housing development. Given the scale and impact of the development at 120-128 14th Street East, it is my understanding that this project does not fall within these two categories. This development significantly affects the community's fabric, necessitating a platform for comprehensive public input and scrutiny.

Could you please provide clarification on the reasons for not arranging a public hearing for this project? If other considerations or interpretations of the Amendment of S464 have led to this decision,

the community must understand these rationales to ensure transparency and trust in the process. A public hearing would not only demonstrate the City's commitment to engaging with its citizens but also allow for a more detailed examination of the concerns raised by the community, including those mentioned in my previous points.

I, along with my fellow concerned residents, urge the City to reconsider the implications of this development project. We request a more comprehensive consultation process.

Mehdi Razaghi  
East 14th Street  
North Vancouver, BC V7L 0E6

**From:** Ali Eshghi  
**Sent:** March-25-24 4:11 PM  
**To:** Submissions  
**Subject:** Zoning Amendment Bylaw N. 8960,2024

I am a resident of E 14th Street in North Vancouver and strongly oppose the zoning Amendment proposed by the council. The proposed amendment will create an already disastrous congestion in the block between lonsdale and St. Georges even worse than it already is. I know approving this development will put more money in the coffers of the City with future property taxes as well as in the pockets of the greedy developers. It is time for the City to think about the well being of residents who already live in this part of Central Lonsdale.

Ali Eshghi  
East 14th Street  
North Vancouver

**From:** Frank Mc Guinness

**Sent:** March-25-24 12:45 PM

**To:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>; Holly Back (Councillor) <[HBack@cnv.org](mailto:HBack@cnv.org)>; Don Bell (Councillor) <[dbell@cnv.org](mailto:dbell@cnv.org)>; Angela Girard (Councillor) <[agirard@cnv.org](mailto:agirard@cnv.org)>; [jmcllroy@cnv.org](mailto:jmcllroy@cnv.org); Tony Valente (Councillor) <[tvalente@cnv.org](mailto:tvalente@cnv.org)>; Mayor Linda Buchanan <[Mayor@cnv.org](mailto:Mayor@cnv.org)>; Shervin Shahriari (Councillor) <[sshahriari@cnv.org](mailto:sshahriari@cnv.org)>

**Cc:** [editor@nsnews.com](mailto:editor@nsnews.com)

**Subject:** Excerpt from Three Shores Website.

Published Statement:

While originally zoned mixed use allowing for a 6 story residential building, our expertise and connections to the city planning staff allowed us to gain approval for (CD760) to permit a 21 story high-rise, more than doubling the existing FSR. This site went through a highly competitive bidding process, but with swift and efficient due diligence, the potential was clear. Taking on this due diligence allowed a deal structure that rapidly accelerated our development timeline, allowing for efficient planning and execution. Our calculated risk, having invested in proper environmental evaluation using our industry network, paid off to great benefit for both investors and our future homeowners.

Based upon this public statement by Three Shores Properties, our City planning administrators, and City Councilors have finalized their decision to rezone the property and change the zoning of the OCP, and render the rezone application and the first reading on April 8, 2024 a facade to legitimize the process. Being the case it appears that the formality of the "Zoning Amendment Bylaw No. 8960, 2024" to accommodate the development at 120-128 East 14<sup>th</sup> street is duplicit, disingenuous to current city residents, electors and taxpayers. We are of the opinion that it also displays a lack of objective reasoning by all relevant decision makers. Needless to say it raises serious concerns about the integrity of the zoning process, and a waste of time for concerned residents to attend this meeting.

Francis Mc Guinness

Resident 14<sup>th</sup> Street East

City of North Vancouver BC V7L 2N3



**From:** Brad and Connie Doerksen  
**Sent:** March-26-24 7:57 PM  
**To:** Submissions  
**Subject:** Development at 120-128 East 14th Street

dear mayor and councilors,

We are writing to express our deep concern for this proposed hi rise .

This is a one way single lane street that is already too busy and jammed up  
With people and cars all day every day .

It is also the street that the rcmp has to use as well as emergency vehicles and it faces directly to the  
ER doors of the hospital .

It is blocked up each day with no parking available , with commercial  
Vehicles that are delivering goods to businesses and to residents in the already existing towers on  
this street .

The transfer of density to a street blocks , miles away makes no sense .

What does the density from  
Harry Jerome development on 23rd Street have anything to do with 14th street ?

You are jamming density from one area and completely destroying another community .  
Why wouldn't the density from Harry Jerome  
Be transferred to something a block or two away from  
There at the most ?

How is it okay to destroy quality of life to a street that is a mile away ?

Decisions are being made that affect us negatively by people that aren't going to be affected by it  
personally .

We ask that you re look at this and make some  
Common sense decisions .  
It can't be too late .

Regards

Brad and Connie Doerksen  
East 14th Street  
North Vancouver B.C. V7L 0E6

**From:** Gianrita Celotti  
**Sent:** March-27-24 2:09 PM  
**To:** Mayor Linda Buchanan; Don Bell (Councillor); Planning; Jessica McIlroy (Councillor); Tony Valente (Councillor); Sean Galloway; Submissions; Eva Fleming; Holly Back (Councillor); Angela Girard (Councillor); CAO; Shervin Shahriari (Councillor); gateway@cnv.org  
**Subject:** QUESTION 1: 120-128 14th Street east -Transfer of Density -question outstanding since 2022- Reply expected prior to 2 April

Dear City of North Vancouver Mayor, Council, Planning department

This is the first of numerous emails I will be sending. I'm trusting that sending one question per email it will make it easier for the relevant folks to reply in a timely manner.

I'm writing to you again because it sounds like none of the feedback or the questions asked at the 2022 information session have been answered nor taken into consideration. Why is the City going out of its way to support this development ?

Since the 2022 election this project has just steamrolled ahead. Three Shores Development are acting like they already have council approval for the project. They even brag on their website that they already have approval, stating "our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR". (<https://www.threeshores.ca/portfolio/central-lonsdale>)

**As a reminder, according to the City Guidelines:** Density Transfers are appropriate in the following two scenarios:

1. Density Transfer donor site is adjacent or in close proximity (i.e., same block) as the receiving site and transfer will result in a preferable built form; and/or
2. Significant civic or public benefit will accrue from the Density Transfer (e.g., secured protection of a valued heritage site or provision towards an important civic facility).

**Please provide a response to Transfer of Density:**  
**The concept was described at the session in 2022 but no explanation was given as to why the city, against its own guidelines for density transfers, allowed this density to be moved from one region of the city to another not close to it and which already has high density.**

Thank you

Kind Regards  
Gianrita Celotti  
14th Street East, North Vancouver

**From:** Gianrita Celotti  
**Sent:** March-27-24 2:20 PM  
**To:** Mayor Linda Buchanan; Don Bell (Councillor); Planning; Jessica McIlroy (Councillor); Tony Valente (Councillor); Sean Galloway; Submissions; Eva Fleming; Holly Back (Councillor); Angela Girard (Councillor); CAO; Shervin Shahriari (Councillor); gateway@cnv.org  
**Subject:** QUESTION 2: 120-128 14th Street east -FSR of 9.98? -when will there be a public hearing- Reply expected prior to 2 April

Dear City of North Vancouver Mayor, Council, Planning department

This is the second of numerous emails I will be sending. I'm trusting that sending one question per email it will make it easier for the relevant folks to reply in a timely manner.

I'm writing to you again because it sounds like none of the feedback or the questions asked at the 2022 information session have been answered nor taken into consideration. Why is the City going out of its way to support this development ?

Since the 2022 election this project has just steamrolled ahead. Three Shores Development are acting like they already have council approval for the project. They even brag on their website that they already have approval, stating "our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR". (<https://www.threeshores.ca/portfolio/central-lonsdale>)

Isn't a public hearing required if the proposed development does not comply with the OCP?

The FSR for the development is 9.98 versus the maximum 4.0 allowed by the OCP. The public deserves the right to present their case to city council.

**When can we expect a public hearing for this?**

Thank you

Kind Regards  
Gianrita Celotti  
14th Street East, North Vancouver

**From:** Gianrita Celotti  
**Sent:** March-27-24 3:47 PM  
**To:** Mayor Linda Buchanan; Don Bell (Councillor); Planning; Jessica McIlroy (Councillor); Tony Valente (Councillor); Sean Galloway; Submissions; Eva Fleming; Holly Back (Councillor); Angela Girard (Councillor); CAO; Shervin Shahriari (Councillor); gateway@cnv.org  
**Subject:** QUESTION 3: 120-128 14th Street east -Traffic study and reality- Reply expected prior to 2 April  
**Attachments:** VIDEO-2024-03-08-09-44-45.mp4

Dear City of North Vancouver Mayor, Council, Planning department

This is the third of numerous emails I will be sending. I'm trusting that sending one topic per email it will make it easier for the relevant folks to reply in a timely manner.

I'm writing to you again because it sounds like none of the feedback or the questions asked at the 2022 information session have been answered nor taken into consideration. Why is the City going out of its way to support this development ?

Since the 2022 election this project has just steamrolled ahead.

Three Shores Development are acting like they already have council approval for the project. They even brag on their website that they already have approval, stating "our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR". (<https://www.threeshores.ca/portfolio/central-lonsdale>)

## CONTEXT

- 14th street east is essentially a single lane street, a conduit to vital and essential resident services as Lions Gate Hospital and the RCMP, a route used by ambulances to avoid traffic on 13th or if St Georges is blocked and is already challenged by the multitude of delivery

truck and lack of space. Since the RCMP was not directly consulted, the City also disregards the amount that the RCMP relies on this block for transportation of prisoners, access to the hospital, staff parking and access to their facilities. **What is the plan to consult the RCMP? Who In CNV has driven along this street?**

- It is my understanding that when Centreview, which has a FSR of only 4.56, was being built the city disallowed the entry for the parking garage off 14th -**Why would they allow this new complex to have their entrance on the lane parallel to 14th and 15th with the access from 14th? -**

## TRAFFIC STUDY:

The traffic study that is being used was done in the midst of COVID when there was limited traffic in circulation. Additionally, it is using software that models situations completely ignoring real-life activity . It does not take into account behaviour in the laneways which includes large parked commercial trucks reducing flow, 2-way traffic completely blocked by waste disposal trucks loading from adjacent buildings, large trucks unable to turn northbound while travelling westbound in the laneway without



backing up twice, etc. I have included a couple pieces of video and photo evidence of the reality of traffic in the lane and can document similar congestion on a daily basis.

I challenge you to monitor activity here for a day to see the congestion already present at current density levels. **Will a 2024 study be requested before this project can go ahead?**

Below are a few pictures and videos that demonstrate what things really look like.....many more available on request

Look at the mess now and this is the laneway that is proposed as the access point for 350+ residents?? what will this look like ?



Multiple commercial vehicles (no drivers in vehicles) completely blocking laneway



Businesses, large and small, on East 14th Street and Lonsdale are struggling with loading/unloading and deliveries repeatedly rely on illegal parking and blocking of traffic flow.



We look forward to reviewing a full response from the Mayor or CAO's office prior to April 2, 2024.

Kind Regards  
Gianrita Celotti  
14th Street East, North Vancouver

**From:** T. Jenson  
**Sent:** March-28-24 12:00 PM  
**To:** Submissions  
**Subject:** 120- 128 E14th St North Van

Absolutely not, do not permit this development.

We do not need another concrete high rise building in this area.

Not only to block the existing view, but to benefit the foreign buyers as few Canadians will afford to live in the building.

T. Jenson

East 13th St North Vancouver.

**From:** Chris Meadowcroft  
**Sent:** March-30-24 12:17 PM  
**To:** Submissions  
**Subject:** 120-128 East 14th Street

I'm strongly against the new "Zoning Amendment Bylaw No. 8960, 2024" for 120-128 East 14th Street. Not only would it ruin the view of many of the neighbouring residents and block daylight on the ground by putting a very tall new building directly across a narrow street from another of the same, it would add a ton of traffic to a street already constantly packed with delivery vehicles for the condo buildings currently facing the street.

Thank you for your attention,

Christopher Meadowcroft  
East 14<sup>th</sup> Street North  
Vancouver V7L 0E6



**From:** Henry Rodriguez  
**Sent:** March-30-24 2:00 PM  
**To:** Submissions  
**Subject:** Zoning Amendment Bylaw No. 8960, 2024. 120-128 East 14th Street

Dear Corporate Officer,

I am the owner of Pearson's Home Hardware located across the street from the proposed development at 120 – 128 East 14<sup>th</sup> Street.

By biggest concern regarding the above proposal is that this development will further increase the amount for car traffic on this street as well as decrease the amount of parking available for customers of retail businesses on this and the surrounding block. Two long standing businesses, North Shore Quality Meats and Wild Trails Coffee, have recently closed their doors on this street and I believe this is due to the unavailability of parking and therefore lack of customers. The alleyway between the 100 block of East 14<sup>th</sup> and 15<sup>th</sup> Street is like a highway these days with all the development that has occurred in and around this area.

This short section of East 14th street is further compromised to traffic by being a two way street up to the alleyway and a one way street thereafter. The number of drivers making “U” turns and accessing the dead end alleyway towards Wholefoods because they don't want to pay for parking causes many bottlenecks throughout the day. I BELIEVE CITY COULCIL SHOULD CONSIDER MAKING THIS WHOLE BLOCK A ONE WAY STREET. Also, I find it baffling that the signal on 14<sup>th</sup> Street East and St Georges, right in front of the emergency entrance to Lion's Gate Hospital is not a full signal. Drivers going east on 14<sup>th</sup> Street E towards St. Georges must be very very cautious because there is only a pedestrian signal at this location and visibility is limited due to the parked cars on this road when turning onto St. Georges. It is also not marked clearly enough that it is a ONE WAY street from this direction as we see many many drivers going the wrong way throughout the day. However, it appears that this issue is being addresses as part of the development.

Lack of parking is one of the major concerns customers consistently express when shopping at our store.

On the corner of 13<sup>th</sup> street and Lonsdale where there was once a Safeway Store there are now two towers, the ONNI Centreview buildings, with over 340 residential units.

I am not against development, I think it is very good for the City. However, I do not think that sufficient thought goes into the impact of this type of development on the surrounding businesses and residents.

The magnitude of this development (Centreview) has massively increased the population density at this location and has significantly adversely affected the availability of parking for residents of North Vancouver that want to shop locally. Visitors, tenants, delivery drivers, and service providers to these 340+ units all use street parking leaving little to no space for customers and residents who simply want to shop locally.

Although, the Centreview complex provides parking, it is paid parking and many people do not want to pay for parking and or complain of the logistics of accessing the parkade. It is ironic to me in that the

facility that causes the most negative impact on the parking availability in this area also benefits financially from it by charging for it.

I believe that the proposed development of 164 additional units will further negatively impact local businesses as well as local residents trying to access these businesses.

Therefore:

I BELIEVE THAT CITY COUNCIL SHOULD SERIOUSLY CONSIDER A BYLAW THAT WHERE A PROPOSED DEVELOPMENT SIGNIFICANTLY INCREASES THE POPULATION DENSITY OF A LOCATION WHERE THERE ARE RETAIL BUSINESSES THEN THAT DEVELOPMENT SHOULD PROVIDE SOME EASILY ACCESSABLE FREE PARKING TO THE PUBLIC THAT IS PROPORTIONAL TO THE SIZE OF THE PROPOSED DEVELOPMENT.

Thank you for your time,

Henry Rodriguez  
Dealer/Owner  
Pearson's Home Hardware  
North Vancouver, BC V7M 2N4

**From:** Anne-Marie Lavallee  
**Sent:** March-31-24 10:36 AM  
**To:** Submissions; Mayor Linda Buchanan  
**Subject:** 120-128 East 14th Street  
**Attachments:** 8671a848-a2c0-4153-abc3-40f4f9971c8c.MP4

Hello

I am Anne Marie Lavallee. I have already emailed you guys and never received anything and I see the three shore removed their line saying that they have an in \*with the city in North Vancouver. This is a typical Sunday morning. The delivery truck can barely fit on the street and this delivery truck does not fit into the underground on 13.

Anne-Marie Lavallee  
East 14th Street N Van.

**From:** Lisa Capitanio  
**Sent:** April-01-24 5:34 PM  
**To:** Submissions  
**Subject:** Three Shores development at 120 E. 14th

To Whom it may Concern at City of North Van,

I am a property owner in Tower A of Centreview at E. 13th Street. I am writing to share my grave concerns with the proposed Three Shores development that seems to be getting rubber stamped with very little input from city of North Van residents/tax payers. I am very concerned as someone living in the area so affected by this massive development that is way beyond what was first proposed in terms of density. I am concerned for residents of Tower B located on E. 14th. I just can't understand why this tower, with a proposed 164 units, can go ahead on a one-way street - a street that features an insane amount of activity from the RCMP on the same block and Lions Gate Hospital at the end of the street. A one way street that is already crowded by large delivery trucks that often block traffic on 14th with deliveries to shops and residents in Tower B, and produce and other delivery trucks driving into the lane on 14th with Whole Foods as their destination. There appears to be no plan for commercial parking, at least not shared with the public.

What good reason can there be other than profit for the increased density of this project? Clearly the City of North Van planning staff, along with Mayor Buchanan and her council have not considered the population living in the Lonsdale corridor? I'm sure none of them live near this development and they won't be personally impacted.

I will be attending the meeting on April 8th along with many other Centreview residents who are shocked and appalled. We do not want this large scale development in our neighbourhood, nor does it make any sense on an already congested one way street.

Lisa Capitanio  
East 13<sup>th</sup> Street  
North Vancouver



**From:** Brett HURST - ACIA

**Sent:** Tuesday, April 2, 2024 2:10 PM

**To:** [gateway@cnv.org](mailto:gateway@cnv.org); [gschalk@cnv.org](mailto:gschalk@cnv.org); [kmagnusson@cnv.org](mailto:kmagnusson@cnv.org); [acifarelli@cnv.org](mailto:acifarelli@cnv.org); [lsawrenko@cnv.org](mailto:lsawrenko@cnv.org); [pdejong@cnv.org](mailto:pdejong@cnv.org); [mayor@cnv.org](mailto:mayor@cnv.org); [hback@cnv.org](mailto:hback@cnv.org); [dbell@cnv.org](mailto:dbell@cnv.org); [agirard@cnv.org](mailto:agirard@cnv.org); [jmcllroy@cnv.org](mailto:jmcllroy@cnv.org); [sshahriari@cnv.org](mailto:sshahriari@cnv.org); [tvalente@cnv.org](mailto:tvalente@cnv.org)

**Cc:** [finance@african-eagle.com](mailto:finance@african-eagle.com)

**Subject:** 120-128 14th East, Lonsdale - Three Shores 21-story development approval objection, query and concerns

**Importance:** High

To:

*Planning and Approvals Officials & Councillors of the City of North Vancouver (CNV)*

*Mayor of City of North Vancouver*

*Bylaws, Police Support Services CNV*

*Infrastructure Planning, Public Works CNV*

*Corporate Officer/City Clerk CNV*

*Chief Financial Officer CNV*

*Acting Corporate Officer CNV*

Dear Sirs / Madams

I would like to document and voice my extreme concern to our elected city officials, councillors and leaders regarding the proposed construction of a 21-storey mixed-use high-rise by Three Shores along 120-128 14th St East one-way road.

One understands that North Vancouver (and wider Canada) is in a clear population and property trap with a shortage of 'affordable' housing and hence I am not concerned with the construction of the originally approved existing official community plan attached (OCP) 6-story tower, as fair and reasonable and common sense. But the issue is, the rapid pace of construction in the heart of Central Lonsdale, it begs the question if the City of North Vancouver (CNV) has lost sight of the need to balance housing development with preserving a decent quality of life for the people of North Vancouver.

As you will know, 14<sup>th</sup> St East is a one-way single lane highly congested road and a significantly vital road leading to essential services such as the Lions Gate Hospital and the RCMP.

Please help me and other concerned residents and owners in the North Vancouver Central Lonsdale area understand how and why CNV Planning approved such a large 21-storey tower which is way in excess of the City's Land Use Map already approved OCP Density (FSR) of 3 + maximum bonus of 1 FSR (totalling 4 FSR) coming in at around 10.04 FSR for Three Shores 120-128 14<sup>th</sup> St East development? It is beyond comprehension and common sense. The comment on Three Shores own website (attached, but has since been conveniently removed by Three Shores recently in the last 1-week) where they boast of their "expertise and connections" to the City Planning staff and their "swift and efficient" due diligence during a "highly competitive bidding process" allowing them to gain approval from a 6-story to 21-story high-rise at a nearly doubled FSR – this in itself raises many questions.

What is even more concerning and deeply worrying is the project received the approval without the need for any public consultation or hearing, as indicated in the Public Advisory in front of the subject property. As per the Amendment of S464, a public hearing is not mandated if a proposed zoning bylaw is consistent with an existing official community plan (OCP) and permits residential development, or if the bylaw pertains to small-scale multi-family housing development. Given the scale and impact of the development at 120-128 14th Street East, it is my understanding that this project does not fall within these two categories, and therefore necessitates a comprehensive public input and scrutiny and far more transparency from the CNV. This along with the extreme and unreasonable nearly doubled increase in approved FSR raises many questions over this specific application and questionable approvals process.

I understand that this nonsensical massive project was approved through a density transfer (FSR) from the Harry James area to 14th St E, resulting in an increase from max 6 (six) floors to now 21 (twenty one) floors. It is unbelievable and very disturbing that the CNV can wave their own self appointed magic wand, when it suits them, to interpret and move around density parameters in a haphazard fashion without consulting its own constituency that will be significantly affected by such a development. It would appear that the CNV elected officials and planning and approvals department have a very detached or potentially selective blindness with regard to the impacts this particular development will have on its wider neighbours and commercial outfits in the close vicinity.

I have the following non-exhaustive questions to be answered specifically:

- I would ask the CNV to detail, by application and project in the past 5-years, which other North Vancouver Developer has requested the CNV and been approved by the CNV to increase their OCP approved FSR from a 3+1-bonus to in excess of anything above 5 FSR to up to 10+ FSR, (just over 10.04 FSR as in the case of Three Shores for this specific development, per the architects Integra-ach)? And if the projects were not approved, why? If the project applications were eventually approved with certain adjustments, what was the final approved FSR?
- How is it that Millenium Tower on 13<sup>th</sup> (which is on a major corridor with 4 lanes of traffic) proposals for an approximate 5.46 FSR were rejected as too high? What is the logic the city is using to justify nearly double this amount for Three Shores development on 14<sup>th</sup> St East?
- In the past, developments have been blocked or rejected because of view corridor blockages, but it would appear that this Three Shores development which will be near identical height to Centreview Tower B on 125 14<sup>th</sup> St East and directly in front of it, and no concern has been given to the complete view blockage here? It would appear this has been completely discarded in the CNV approval of this new development.
- As is very well known to the CNV, parking is already horrific in North Vancouver, especially along Central Lonsdale between 14<sup>th</sup> and 18<sup>th</sup> Street with the ludicrous “covid café side walk constructions” (which are generally not used 99% of the time) taking up an entire lane of traffic and which have not been removed to only exacerbate the crazy traffic congestion – I request that a formal updated 2024 Traffic Study to be available and presented to the residents and owners of properties neighbouring the 14<sup>th</sup> St East be made available to the general public. If the CNV has not carried out a recent traffic study in the past 12-months, why has this not been done? I understand the CNV is relying on a Traffic Study carried out during 2020/2021 covid period which clearly is not a realistic or representative study and is completely outdated.
- Is the CNV planning to eliminate the street parking on 14<sup>th</sup> St East for up to 3 years of construction due to the construction requiring at least one lane for cranes, cement trucks, construction consumables etc? Where will general public pick up/drop-offs occur for both commercial outlets such as Home Hardware and 14<sup>th</sup> St residents, parcel delivery and moving trucks, etc.?
- Does the Mayor, any Councillor, or any CNV city staff members (or any of their family members, family trusts, personal company structure/s in or outside of Canada have a pecuniary or non-pecuniary interest, benefit, potential benefit or compensation whatsoever (such as consulting agreements/ commissions/ donations/ distributions/ property assignments/ property discounts now or in the future etc with Three Shores or any of its directors/shareholders/staff/employees, or any trust, company or related party structure/s under the wider Three Shores ultimate control or significant influence? If so, please disclose the nature and amount of those relationships for public transparency and public official accountability.

In addition to the above, there are many other points which are well known to the wider community such as the apparent total lack of specific and active engagement from the 14<sup>th</sup> St East RCMP and Lions Gate Hospital for the direct impact of this development other than giving them a general opportunity to raise any concerns through normal planning channels and CNV saying that they did not raise “any specific concerns” is not good enough.

I would expect a response in writing from CNV to the above key questions, to hopefully demonstrate that the CNV is connected with the concerns of your constituents by addressing the abovementioned issues.


Please acknowledge receipt of this email and also ensure a printed copy is taken note of and recorded in the upcoming CNV Council Consideration Meeting to be held on 8 April 2024.

Thank you.

Yours sincerely

Mr. Brett Hurst


Director/Owner/Resident  
East 14<sup>th</sup> Street

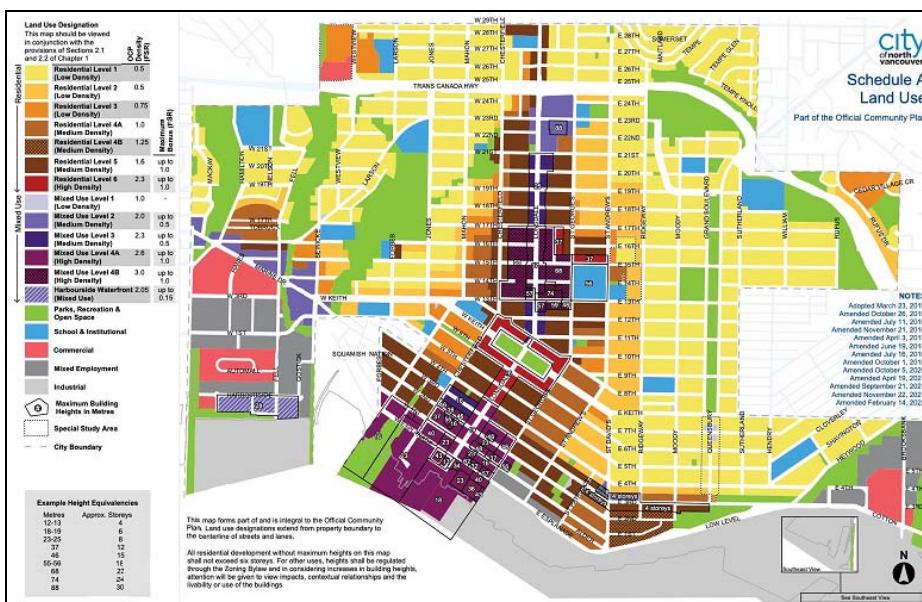


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## Leveraging our relationships.

While originally zoned and planned for a 6 story residential building, our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR. This site went through a highly competitive bidding process, but with swift and efficient due diligence, the potential was clear. Taking on this due diligence allowed a deal structure that rapidly accelerated our development timeline, allowing for efficient planning and execution. Our calculated risk, having invested in proper environmental evaluation using our industry network, paid off to great benefit for both investors and our future homeowners.





**From:** Dennis Frias  
**Sent:** April-02-24 3:26 PM  
**To:** Submissions  
**Cc:** CAO; Mayor Linda Buchanan  
**Subject:** Proposed 21-Storey Development on 14th St E

Officials of the City of North Vancouver,

Over a week ago, we sent the email found below expressing our serious concerns about the proposed construction of a 21-storey edifice by Three Shores along the narrow, highly densified and congested 14th St East, a project that arose from a logic-defying transfer of density with virtually no public consultation. To date, we have not received an acknowledgement, much less a response from you. This apparent inaction on your part as public officials is disheartening and, for us, points to the pervasive apathy of local governments on its constituencies. We hope you have not lost sight of the fact that you serve the people of the City of North Vancouver.

Truly yours,  
Dennis & Estela Frias  
East 14th St  
North Vancouver, BC V7L 0E6

*Dear Officials of the City of North Vancouver,*

*We would like to convey a distressing concern to our city leaders -- the soon-to-be built 21-storey mixed-use high-rise by Three Shores along 14th St E. Please help us understand why City Planning approved a towering edifice in such a highly dense and congested area of Central Lonsdale and along a virtually one-way street that is a conduit to vital and essential resident services as Lions Gate Hospital and the RCMP. It is also deeply unsettling that this project received the green light without need of public consultation, as indicated in the Public Advisory in front of the subject property.*

*We take it that such a massive project was approved through a density transfer (FSR) from the Harry James area to 14th St E, resulting in an increase from max six floors to 21 floors. It is perplexing and disturbing to us that the city can juggle and toss around density parameters in a seemingly whimsical fashion without consulting its own constituency that will be directly and adversely affected by such a development. CNV leadership appear to have a detached or indifferent posture with regards to the potential deleterious impact it will have on its neighbours on the other side of 14th St.*

*We understand that fast-tracking such projects is meant to help alleviate (on paper) the city's housing crisis. However, given the unbridled rapid pace of construction here in the heart of Central Lonsdale, we are left to wonder if the city has lost sight of the need to balance housing development with preserving a decent welcoming quality of life for the people who effectively voted them to power.*

*Kindly demonstrate that you are still connected with the concerns of your disaffected constituents by addressing the aforementioned issues. Thank you.*

*Sincerely,  
Dennis & Estela Frias  
14th St E., North Vancouver, BC V7L 0E6*

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On Sun, Mar 24, 2024 at 2:08 PM Dennis Frias wrote:



Dear Officials of the City of North Vancouver,

We would like to convey a distressing concern to our city leaders -- the soon-to-be built 21-storey mixed-use high-rise by Three Shores along 14th St E. Please help us understand why City Planning approved a towering edifice in such a highly dense and congested area of Central Lonsdale and along a virtually one-way street that is a conduit to vital and essential resident services as Lions Gate Hospital and the RCMP. It is also deeply unsettling that this project received the green light without need of public consultation, as indicated in the Public Advisory in front of the subject property.

We take it that such a massive project was approved through a density transfer (FSR from the Harry James area to 14th St E, resulting in an increase from max six floors to 21 floors. It is perplexing and disturbing to us that the city can juggle and toss around density parameters in a seemingly whimsical fashion without consulting its own constituency that will be directly and adversely affected by such a development. CNV leadership appear to have a detached or indifferent posture with regards to the potential deleterious impact it will have on its neighbours on the other side of 14th St.

We understand that fast-tracking such projects is meant to help alleviate (on paper the city's housing crisis. However, given the unbridled rapid pace of construction here in the heart of Central Lonsdale, we are left to wonder if the city has lost sight of the need to balance housing development with preserving a decent welcoming quality of life for the people who effectively voted them to power.

Kindly demonstrate that you are still connected with the concerns of your disaffected constituents by addressing the aforementioned issues. Thank you.

Sincerely,  
Dennis & Estela Frias  
14th St E., North Vancouver, BC V7L 0E6

**From:** Michael Menten  
**Sent:** April-04-24 1:51 PM  
**To:** Submissions  
**Subject:** Support for Development: 120 East 14th Street

Dear Council,

I wanted to take my time to express my support for the project developed on 120 E 14<sup>th</sup> Street.

The developer has reached out to the local community and has done everything they can to include EVERYONE in this project. I was delighted when they reached out to me and wanted to tell my story and other local stories of small businesses that they want to empower and support.

Thank you,

Michael Menten  
North Vancouver

**From:** Richard Short  
**Sent:** April-04-24 9:26 PM  
**To:** Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); CAO; Sean Galloway; Planning; Submissions; gateway@cnv.org; Peter DeJong; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** Gianrita Celotti; Tri Chiem; Eva Fleming; Alastair Meikem - Concerned CentreView Owner; Garry Nishimura; mehdi razaghi; Patti Tracey; Roberta Walker; brad and connie; brett hurst; Anne-Marie Lavallee; Estela frias; Ischne; Terry Marshall - Concerned CentreView Owner  
**Subject:** Bad Optics: Developer boasts online it has leverage and connections with CNV

Thank you for the call this afternoon Leanne. Sorry I only had limited time to speak.

To ensure I do not misrepresent to the group what you told me, can you please sum up your actions to date, and plans going forward, since these bad optics came to your attention?

There are many unresolved questions about this proposed development. I appreciate you letting me know that the "land use" email responses will be managed by the Planning department. Can you please provide a timeline for when those responses will occur?

In the meantime, there are still these key questions about the bad optics that remain unanswered. Can you please provide the city's response to these questions:

1. Will the city have a public hearing, with ample notification, so your constituents can be heard before a final decision is made for this proposed development?
2. What relationship(s) at CNV is/are Three Shores "leveraging"?
3. Who are the "connections" at CNV Three Shores is talking about?
4. Are questions 2 and 3 appropriate under any circumstance for a developer dealing with CNV (who is supposed to have the public trust)? Yes or No?
5. Does anybody on CNV payroll have a pecuniary or non-pecuniary interest with Three Shores? Yes or No?

Thank you for following up, and in advance for providing the much-needed transparency to uphold the public trust.

Regards,  
Richard Short

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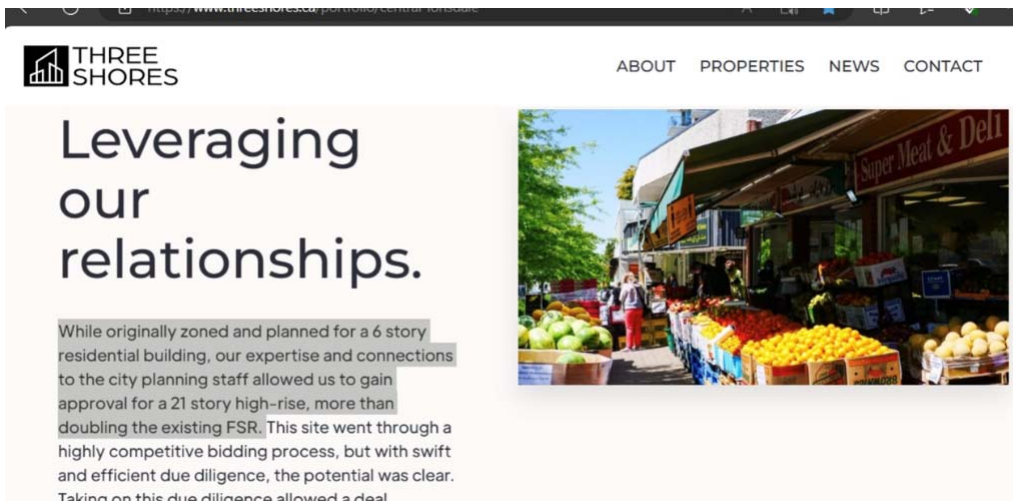
On Apr 3, 2024, at 10:04 PM, Richard Short <> wrote:

City of North Vancouver leadership,

Is there a reason we have not received a reply from one of you to the below email sent on March 26th? Your constituents are asking reasonable questions and require transparency from our elected officials and civil servants to uphold the public trust.

Since we sent the email last week, Three Shores removed the webpage that boasted of “leveraging” and “connections”. Who at the city informed them to take it down? Now more than ever we want answers to the questions posed below.

Thank you in advance for addressing the bad optics with this development.



Regards,  
Richard Short

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On Mar 26, 2024, at 9:13 PM, Richard Short <> wrote:

City of North Vancouver Mayor, CAO, Council, and Planning Department,

People are talking. It is disconcerting. However, there is no need to waste time asking you to address the rumours and innuendo attached to the development proposed by Three Shores at 120-128 East 14th St.

Detailed below are the basic facts that on their own have caused deep concern with the city’s residents. To quell the appearance of a conflict of interest, we strongly urge you to answer five simple questions (that city staff has refused to address to date) following these facts:

- Last election the mayor broke a campaign spending record that was heavily funded by developers: <https://www.nsnews.com/local-news/north-van-mayor-breaks-campaign-spending-record-6525673>
- Barry Savage and Mehdi Shokri, the two principles of Three Shores contributed \$1,239 each to the mayor’s campaign. The donations were one day apart, for \$11 less than the maximum amount allowed, and in the final week of fundraising.



- Three Shores on its webpage related to this proposed development has a heading of: “**Leveraging our relationships**”, along with the following verbiage: “While originally zoned and planned for a 6 story residential building, our expertise and **connections to the city planning staff** allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR.”
- Since the 2022 election, the project has gained steam, the city has been reluctant to answer most questions, has provided an outdated traffic study to support the initiative, has not solicited the feedback from key stakeholders, there will not be a public hearing for an important bylaw change to support the next step towards project finalization, and on the city’s website it now states that on April 8th the project will have “Council Consideration”.

Questions:

1. Will the city have a public hearing, with ample notification, so your constituents can be heard before a final decision is made for this proposed development?
2. What relationship(s) at CNV is/are Three Shores “leveraging”?
3. Who are the “connections” at CNV Three Shores is talking about?
4. Are questions 2 and 3 appropriate under any circumstance for a developer dealing with CNV, who is supposed to have the public trust? Yes or No?
5. Does anybody on CNV payroll have a pecuniary or non-pecuniary interest with Three Shores? Yes or No?

We look forward to reviewing a full response from the Mayor or CAO’s office prior to April 3, 2024.

Regards.  
Richard Short  
14th St E  
North Vancouver, BC

**From:** Chris Wilkinson  
**Sent:** April-04-24 9:44 PM  
**To:** Submissions  
**Subject:** 120 East 14th Rezoning

Good evening,

I am writing in full support of the rezoning of 120 East 14th Street to enable the development of this much needed mixed use project with over 160 new homes.

This OCP compliant project will be a welcome addition to the vibrant Central Lonsdale neighbourhood.

Regards,

Chris Wilkinson  
East 15th Street  
North Vancouver

**From:** Tod Pelly  
**Sent:** April-05-24 7:18 AM  
**To:** City Council  
**Cc:** Submissions  
**Subject:** 120 East 14th Project

To whom it may concern,

I've been a North Vancouver resident for my entire life and a business owner since 2007. I'd like to put my support behind the project proposed at 120 East 14th, as I believe we need more housing on the North Shore for middle and low income people.

It has become a problem for businesses on the North Shore trying to hire, as the cost of living has caused businesses to have to pay employees roughly double the provincial average so they can live here. For me personally, I also won't hire off of the North Shore because traffic has become so bad that sometimes they arrive to work late.

Thanks for your consideration,

Tod Pelly, DC  
North Vancouver

**From:** Iannone, Morgan  
**Sent:** April-05-24 8:55 AM  
**To:** Submissions  
**Subject:** Support for 120 East 14th project

Dear Mayor & City Councillors,

My name is Morgan Iannone, and I am a resident and property owner in the City of North Vancouver, specifically the Grand Boulevard area, east of the proposed development. I am writing to express my strong support for the application for a mixed-use high-rise project at 120 East 14<sup>th</sup> Street. As someone deeply invested in the future of the community and involved in the development world, I believe this project is a significant step toward addressing the urgent need for all types of housing in North Vancouver while also contributing to the economic and social vitality of the area.

North Vancouver is a wonderful place to live, offering a unique blend of natural beauty and urban convenience. However, as our community continues to grow, the demand for housing has never been more apparent. The proposed project represents a timely opportunity to meet this demand, providing a range of housing options that can accommodate individuals and families at various stages of life.

I am excited about the potential of this project to contribute positively to the Lonsdale area and North Vancouver's future. I urge you and your fellow officials to support the development at 120<sup>th</sup> East 14<sup>th</sup> Street. I believe it will make a meaningful impact on our community's housing needs while fostering a vibrant, sustainable, and inclusive city for generations to come.

Thank you for considering my perspective, I appreciate the hard work and dedication you bring to serving our community and look forward to the positive impact this project can bring.

Sincerely,

Morgan Iannone  
West Cordova St.  
Vancouver, BC V6C 1C7

**From:** Dr. Steven Weller

**Sent:** April-05-24 10:11 AM

**To:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>

**Cc:** Mayor Linda Buchanan <[Mayor@cnv.org](mailto:Mayor@cnv.org)>; Holly Back (Councillor) <[HBack@cnv.org](mailto:HBack@cnv.org)>; Don Bell (Councillor) <[dbell@cnv.org](mailto:dbell@cnv.org)>; Angela Girard (Councillor) <[agirard@cnv.org](mailto:agirard@cnv.org)>; Jessica McIlroy (Councillor) <[jmcilroy@cnv.org](mailto:jmcilroy@cnv.org)>; Shervin Shahriari (Councillor) <[sshahriari@cnv.org](mailto:sshahriari@cnv.org)>; Tony Valente (Councillor) <[tvalente@cnv.org](mailto:tvalente@cnv.org)>

**Subject:** Zoning Bylaw Amendment

Dear Mr. Menzel,

With regards to the proposed Zoning Bylaw Amendment for 120-128 East 14<sup>th</sup> Street, I have a concern as one of the owners in the strata building located at the adjacent property, at 132 East 14<sup>th</sup> Street. I have been an owner there since 1988.

As a group of owners we were surprised that the City would proceed with a development that would orphan a single lot with an aging building, between a previous development to the east of our building and the current proposed development. This severely limits the development potential of our property due to setbacks, lot size and adjacent buildings.

We are also concerned for the stability of the property given that the development directly abuts our property. There have been several catastrophic failures recently in Vancouver from development of properties near existing structures.

I feel that a reconsideration of the development to include our property would eliminate our concerns, as well as maximizing the potential for this prime piece of real estate in North Vancouver.

I appreciate your consideration of this situation.

Sincerely,

Dr. Steven J. Weller  
East 14<sup>th</sup> Street  
North Vancouver, BC V7L 2N3



**From:** Josh Alter  
**Sent:** April-05-24 1:04 PM  
**To:** City Council; Submissions  
**Subject:** 120 East 14th Street Development

To Whom It Concerns:

I am writing to council with regards to the upcoming meeting on April 8th and in particular, the redevelopment project on East 14th Street proposed by Three Shores.

I am a local business owner and resident of North Vancouver. My office is in close proximity to this project and is located at East 13th and Lonsdale. Having followed Three Shores' past projects on the northshore and this particular redevelopment project, I would like to voice my support for this rezoning application.

Three Shores has given strong consideration and care for the local community in planning their projects, and continues to bring positive direct social and economic benefit to Central Lonsdale. There is unquestionable demand for quality housing in the neighborhood along with a shortage of well-situated at-grade retail/commercial space. I am personally very excited to see this project come to life and hope that Council will vote in favour of this rezoning application.

Please do not hesitate to contact me if you have any questions.

Regards,

Josh Alter  
East 13<sup>th</sup> Street  
North Vancouver

**From:** Claire's Alter  
**Sent:** April-05-24 5:50 PM  
**To:** City Council  
**Cc:** Submissions  
**Subject:** Letter of Support: 120 East 14th Project

Good evening,

I would like to express my sincere support for the development project at 120 East 14th Avenue.

I believe this building will bring an extremely positive impact to Central Lonsdale and the surrounding community.

As a local resident & business owner in the area I have gotten to know this project and the team involved and feel very excited at the prospect of this building joining the local community. I feel it will greatly benefit the North Shore overall.

Any questions please let me know.

Warm regards,

Claire Alter  
North Vancouver

April 5, 2024

Dear Mr. Menzel,

With regards to the proposed Zoning Bylaw Amendment for 120-128 East 14<sup>th</sup> Street, I have a concern as one of the owners in the strata building located at the adjacent property, at East 14<sup>th</sup> Street. I have been an owner there since 1972.

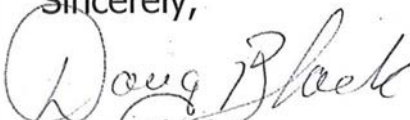
As a group of owners we were surprised that the City would proceed with a development that would orphan a single lot with an aging building, between a previous development to the east of our building and the current proposed development. This severely limits the development potential of our property due to setbacks, lot size and adjacent buildings.

We are also concerned for the stability of the property given that the development directly abuts our property. There have been several catastrophic failures recently in Vancouver from development of properties near existing structures.

I feel that a reconsideration of the development to include our property would eliminate our concerns, as well as maximizing the potential for this prime piece of real estate in North Vancouver.

I appreciate your consideration of this situation.

Sincerely,



Doug Black

East 14th Street  
North Vancouver

**From:** NVFC Spring Registration  
**Sent:** April-05-24 11:41 PM  
**To:** City Council; Submissions  
**Subject:** Project on 14th st E

Hi there,

Just wanted to share my support for the housing project on 14th st E, near the RCMP. Having more housing on the North Shore is important to increase supply, and therefore options to rent.

While having a construction site close to my apartment will be unpleasant, it's more important to look at the bigger picture: more housing options for North Van residents.

Hope this project goes forward one day : )

Sam Souk  
North Vancouver, BC

**From:** Jason Boudreau  
**Sent:** April-06-24 9:09 AM  
**To:** City Council; Submissions  
**Subject:** Support for 120 East 14th

Dear City of North Vancouver Councillors and team,

I hope this email finds you well. I am writing to express my enthusiastic support for the proposed development at 120 East 14th, in our wonderful community of North Vancouver.

Having lived here for many years, having carefully reviewed the plans and considering the potential benefits it brings, I believe that this development is exactly what is needed here on the North Shore, and especially in the Central Lonsdale corridor. Also, as the owner of a rapidly-growing business that I have chosen to have here in North Vancouver, having great options for housing nearby are a key attraction and retention tool for our business!!

Here are some key reasons why I endorse this project:

1. **Enhanced Community Amenities:** The addition of much-needed housing and space for businesses will enrich the quality of life for residents and create a more vibrant community hub.
2. **Economic Growth:** The development will stimulate economic activity by attracting new businesses and residents, leading to job creation and increased revenue for local businesses in the Neighbourhood and in North Vancouver. As noted above, it also supports businesses like mine with being able to attract and retain key employees where they can live and work in the same community.
3. **Smart Urban Planning:** The project adheres to sustainable urban planning principles, incorporating energy-efficient design, green infrastructure, and it is in a highly-walkable area, which are crucial for our environment and future generations (I am always looking at options to secure housing for our kids for the future, so they can live in North Vancouver when they are older- and this project provides great options for that!).
4. **Improved Housing Options:** With a diverse mix of unit options in the tower (this one in particular has an optimal mix of units, including more affordable ones), the project will address the growing demand for housing in our area and provide opportunities for people of all backgrounds to live in our community. It is also a very nice looking building, but not "over the top".
5. **Elevated Aesthetic Appeal:** The architectural design of the development enhances the aesthetic appeal of the neighborhood, contributing to its overall attractiveness and desirability.

I firmly believe that the development at 120 East 14th will be a valuable addition to our community, fostering growth and prosperity while respecting the character and integrity of our neighborhood.

Please feel free to reach out if you have any questions or need further information. Thank you for considering my viewpoint.

Warm Regards,

Jason Boudreau  
West Esplanade  
North Vancouver, BC V7M 0E9



**From:** Mohammad Amin Hassan Pour  
**Sent:** April-08-24 6:22 AM  
**To:** Submissions  
**Subject:** Zoning Amendment Bylaw NO 8960, 2024

Dear Corporate Officer,

I am writing to express my concerns regarding the rezoning proposal for the construction of a 21-storey, residential and commercial mixed-use building at 120-128 E 14th Street.

While I understand the potential benefits of development, I am apprehensive about the implications of such a project, particularly in relation to traffic congestion. Introducing a significant addition to our neighbourhood, such as a 21-storey building, without addressing the existing congestion issues, could exacerbate an already problematic situation. The influx of residents and visitors to the proposed mixed-use building would undoubtedly contribute to further gridlock on our streets. Furthermore, our neighbourhood lacks sufficient space for the increased throughput of traffic that would accompany the completion of such a large-scale development. The existing infrastructure simply cannot accommodate the anticipated volume without causing significant disruptions to the daily lives of residents and businesses alike.

I am thankful for the opportunity to express my concerns regarding the proposed rezoning. Your consideration of the issues raised by residents is greatly appreciated.

Thank you for your attention to this matter.

Sincerely,

Mohammad Amin Hassan Pour/Parvin Hassan Pour  
29th Street E,  
North Vancouver, BC, V7N 1E3

**From:** Peyman safari-pour

**Sent:** April-06-24 11:44 AM

**To:** Planning

**Cc:** Angela Girard (Councillor); Don Bell (Councillor); Holly Back (Councillor); Mayor Linda Buchanan; Tony Valente (Councillor)

**Subject:** 120-128 East 14th new construction

Dear Mr. Menzel,

I'm writing because I'm worried about the plan to change the zoning rules for 120-128 East 14th Street. I am a dentist and have a dentistry in the building next door at East 14th Street .

I'm surprised that the City wants to build on just one lot between two other developments. This makes it hard for us to develop our property because of rules about how close buildings can be.

I'm also concerned about the safety of our building if there's construction right next to it. Some buildings in Vancouver have had big problems because of nearby construction. Considering our building is old.

I think it would be great to include our property in the plan. That way, we wouldn't have these worries, and the area could be used more effectively for our community .Thanks for listening.

Sincerely,

Dr. Peyman Safari-Pour  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Maxwell Carroll  
**Sent:** April-08-24 10:16 AM  
**To:** City Council; Submissions  
**Subject:** 120 East 14th Street

I am writing to express my strong support for the development of 120 East 14th street, North Vancouver proposed by Three Shores Management and the construction of a significant number of homes thereon. I have been a resident of North Vancouver for 11 years and am pleased to see the revitalization of Lonsdale and more density being built there. Many of my friends and family have had to leave North Vancouver and the lower mainland due to increasing property values and a lack of newer rental supply.

I am also concerned about the opportunity for my children to find options for housing in the near future and hope that the City continues to support construction of new housing.

I hope that council will approve this development and continue their trend of densifying the Lonsdale neighbourhood.

Regards,

Max Carroll  
Loach Place  
North Vancouver, BC

**From:** Ian Gabriel  
**Sent:** April-08-24 10:27 AM  
**To:** Submissions  
**Cc:** Ian Gabriel  
**Subject:** 120 14th St E - Zoning Bylaw No. 8960

Dear City Council Members,

I am writing to express my thoughts and concerns regarding the proposed zoning bylaw amendment (8960, 2024) at 120 14 St E, to allow for the construction of a 21-story apartment building in our neighbourhood. As a resident who cares deeply about the future development of our city, I believe it is crucial to carefully consider the potential impacts of such a significant project.

While I recognize the need for increased housing options and urban density, I am apprehensive about the proposal's reliance on zoning density transfers from a nearby neighborhood. While density transfers can be a valuable tool for maximizing land use efficiency, it is essential to ensure that they are implemented in a manner that promotes equitable development and preserves the character of our community.

Here are a few key points I urge the City to consider:

#### **Traffic Impact on Single Lane Roads:**

One significant concern associated with the proposed 21-story apartment building is the potential impact on traffic flow, particularly on single lane roads within the vicinity. With increased residential density comes an inevitable rise in vehicular traffic, which could strain existing road infrastructure and lead to congestion, delays, and safety hazards for pedestrians and cyclists. It is imperative that thorough traffic studies and assessments are conducted to evaluate the potential impacts and identify necessary mitigating measures, such as road widening, signal adjustments, or alternative transportation options. Addressing these concerns proactively is essential to ensure the continued safety and efficiency of our road networks for all residents and commuters in the affected area.

#### **Affordable Housing in Suitable Locations:**

While increasing housing supply is essential, it is equally important to ensure that affordable housing is distributed equitably across our city. Central Lonsdale, while a vibrant and desirable neighborhood, is not the most affordable area in North Vancouver. As such, any zoning amendments should prioritize the inclusion of affordable housing units in areas that are more accessible to residents of varying income levels. By diversifying housing options across different neighbourhoods, we can create more inclusive communities and mitigate the risk of exacerbating socioeconomic disparities.

#### **Final thoughts:**

In consideration of the concerns raised regarding the proposed 21-story apartment building, I would like to suggest an alternative design concept for a building of approximately 15 stories. This height strikes a balance between increasing urban density and preserving the character of the neighborhood. Here are some key features of the proposed building:

The building will be designed to harmonize with the surrounding built environment, respecting the scale and proportion of existing structures in the area. By keeping the height to around 15 stories, we can minimize visual disruption and maintain a more cohesive urban fabric.

Thank you for your time and allowing further discussion on this important matter.

Respectfully,

Ian Gabriel  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Fred Gharagozloo  
**Sent:** April-08-24 11:37 AM  
**To:** Submissions  
**Subject:** 120 East 14th Street, North Vancouver.

Hi,

I just would like to say, I am 100 percent supporting this project.  
As a business owner and doing business in North Shore for a long time, currently we are facing lots of shortage to find professional staff and it is all because of residency problems of young generation.

I hope the city of North Vancouver supports small businesses as well and approves the mentioned project.

All the best,

Fred Gharagozloo  
West 14<sup>th</sup> Street  
North Vancouver, BC, V7P 3P3

**From:** Mehdi Raz  
**Sent:** April-08-24 11:40 AM  
**To:** Clerks  
**Subject:** Public Hearing - 08-April

Good evening, Mayor Buchanan, respected councilors, and members of our community. Tonight, as a resident of north Vancouver, I want to express concerns about the new proposed development on 128-14th St E, urging us to carefully reconsider its planning.

14th St E is a one-way street with just one lane, which already struggles with congestion. This situation is critical for our local businesses, especially those depending on large deliveries. With construction taking up space, these businesses will face tough challenges in receiving their goods, affecting their service to the community. Without a solid plan to support these businesses, they stand to lose significantly in their daily sales. Let me be clear: we're not opposing development, but we are not in favor of unsuitable development in our community with a very aggressive floor space ratio rate.

A specific point of concern is the Centerview building's loading zone, located exactly where the construction is planned. This zone is essential for daily operations and movements in and out of the building. If construction activity blocks half the lane, and loading activities take up the rest, the result could be severe traffic jams, not just on 14th St but potentially a surplus of traffic that will negatively affect Lansdale Street.

The expected increase in congestion could notably slow down first responders and ambulances. Given the limited rerouting options on a one-way street, any delay could be critical, potentially putting lives at risk.

Given these points, the current development plan needs a second look. We must consider the specific challenges of 14th St E, such as its one-way status, severe shortage of parking, high FSR rate of this project, and the necessity of access to loading zones. I request the council and planning team to review the planning again, considering feedback from local businesses, Lions Gate Emergency Services, and proactive consultation with the RCMP, to craft a plan that not only facilitates growth but also ensures the well-being and functionality of our community. Thank you.

Mehdi Razaghi  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Bahar Gamini  
**Sent:** April-08-24 12:48 PM  
**To:** Submissions  
**Subject:** Zoning 120-128 east 14th street

Dear Mr.Menzel,

I am writing to express my concerns regarding the development plans in the area surrounding my property located at E 14th St. As one of the owners of this building, I am deeply invested in ensuring that any development initiatives in the vicinity are executed in a manner that considers the best interests of all stakeholders, including property owners like myself.

With the proposed developments in the area, I fear that the interests of our property would be adversely affected. It is evident to me, as well as a matter of common sense, that consolidating these buildings with each other would yield the most favorable results. As it stands, our building would be left isolated amidst new developments, impacting not only the value of our units—which are significant investments—but also the aesthetic appeal of the street.

Therefore, I strongly believe that it would be beneficial for all parties involved to integrate our building into the new development plans. This would not only ensure a cohesive and harmonious streetscape but also safeguard the investments made by property owners like myself.

I kindly request that you consider my perspective and take necessary actions to address these concerns during the planning and implementation stages of the development project. Your attention to this matter is greatly appreciated.

Thank you for your time and consideration.

Sincerely,

Dr.Bahar Gamini  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** masoud haghikashani  
**Sent:** April-08-24 9:45 PM  
**To:** Submissions  
**Subject:** 120-128 14th Street East Rezoning

Dear CNV,

We hope this email finds you well.

We, Masoud Kashani and Zahra Baharipour, are the owners of unit at 14th Street East. We are deeply upset about the rezoning of 120-128 14th Street East. Our unit is only north-facing, and we have limited light. The street is not quite wide, and having a 21-story tower in front of our north-facing unit would further limit light.

More importantly, we strongly believe that having a 21-story tower on such a narrow street adversely impacts the traffic on this street in particular and the neighborhood in general, which in turn may cause delays in the prompt service of Police vehicles and ambulances.

We understand that the residents of north-facing units are a small group of our community, and you may not consider it. Having said that, the proposed rezoning would affect the life of a wider group of North Vancouver residents who need urgent support and assistance from the Police and Hospital.

Thank you very much in advance for your understanding and consideration.

Best regards,

Masoud Kashani and Zahra Baharipour  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Peter Beetlestone  
**Sent:** April-09-24 7:28 AM  
**To:** City Council; Submissions  
**Subject:** 120 east 14th project

Hey,

I would like to share my support for the 120 east 14th project. As a member of this community, I think this project is a great initiative.

Thank you,

Peter Beetlestone  
Tatlow Avenue  
North Vancouver, BC



**Subject:** 120 East 14th Street Rezoning Application - Frequently Asked Questions

**From:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>  
**Sent:** April-11-24 11:08 AM  
**Subject:** 120 East 14th Street Rezoning Application - Frequently Asked Questions

Dear Resident,

Thanks for taking the time to provide your input on the proposed development at 120-128 E. 14<sup>th</sup> Street. This project has not been approved and the proposed rezoning is being brought forward to Council for formal consideration. The date of this meeting will be provided to the public through the City’s standard notification process for rezoning applications, which includes the delivery of notices to nearby properties, site signage as well as newspaper postings.

As per the requirements of the *Local Government Act*, there will not be a Public Hearing for this application as the proposed rezoning is to permit a development that is residential and that residential component is at least half of the gross floor area for the development. The proposal is also consistent with the OCP, as explained in the FAQ page noted below.

Staff have prepared a Frequently Asked Questions (FAQ) page for this project for the land use matters that have been raised most frequently. This FAQ page can also be accessed via the Active Applications website for the project, which can be accessed via the following link: <https://www.cnv.org/Business-Development/Building/Land-Use-Approvals/Active-Applications/120-East-14th-Street>. The FAQs can be found under the “Related Documents” heading on the webpage.

Thank you,

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**Rupinder Basi** | Manager, Planning (Development Planning)  
Planning & Development  
[planning@cnv.org](mailto:planning@cnv.org)

**City of North Vancouver**  
141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9  
[cnv.org](http://cnv.org)



## FREQUENTLY ASKED QUESTIONS – 120 EAST 14<sup>TH</sup> STREET

### **How does this application comply with the development review process?**

This application is being processed in accordance with the *Local Government Act* and the City's standard process for rezoning applications. To date this has included a comprehensive interdepartmental review of the project, developer-led consultation and presentation to City advisory committees (Advisory Design Panel & Integrated Transportation Committee). The next step in the process is formal consideration of the application by City Council.

As part of this consideration, a staff report will be provided which will provide a staff recommendation based on

- how the proposal aligns with City policies and objectives
- an overview of the development proposal and key land use considerations
- a summary of public and committee engagement

Council will consider the information provided by staff, as well as the public correspondence when making their decision on this proposal. To date, no decisions have been made on this application.

### **Why is there no public hearing?**

Pursuant to recent Provincial amendments to the *Local Government Act*, which came into force on November 30, 2023, the City must not hold a public hearing on a proposed rezoning bylaw if:

- an OCP is in place for the subject site
- the bylaw is consistent with the OCP
- the purpose of the bylaw is to permit a development that is residential and that residential component is at least half of the gross floor area for the development.

Since all of these factors apply to this development, no public hearing will be held, consistent with the requirements of the *Local Government Act*.

### **What will be the impacts on local traffic and parking?**

As part of our review of more complex planning applications, the City requires the applicant to submit a transportation study to show how the proposed development project will affect the transportation network. The applicant in this case prepared a [Transportation Study in October 2022](#), which demonstrates that the existing road network can accommodate additional vehicle trips once this project was built. This study has been reviewed by the City's Transportation Planning team.

With regards to engagement with the RCMP, all nearby property owners are provided with an opportunity to submit feedback on planning applications in the City. The City did not receive any feedback from the RCMP on this specific project. It is worth noting that the RCMP has its primary access

point from St. Georges Avenue, and emergency vehicles typically use higher order roads in the case of emergencies (i.e. 13th Street & 15th Street).

The application generally meets the parking and loading requirements of the Zoning Bylaw apart from some minor variances to resident, commercial and visitor parking.

**Please explain the OCP land use designation and density transfer.**

In accordance with the OCP, City Council may authorize a density transfer between properties, which permits additional density above the maximum specified in the OCP being achieved on a site, where the building height limits are not exceeded. The height identified in the OCP for the site is 68 metres or approximately 22 storeys. The OCP Schedule A Land Use Map can be accessed at the following link:

[https://gisext2.cnv.org/PDFMaps/Schedule%20A%20Land%20Use\\_11x17.pdf](https://gisext2.cnv.org/PDFMaps/Schedule%20A%20Land%20Use_11x17.pdf)

This process does not require an OCP amendment, as such transfers do not involve an increase in the total development potential in the City, but rather the relocation of density allowance from one parcel to another.

The density transfer is facilitated through a rezoning application as currently proposed for Council consideration. As outlined above, recent changes to the *Local Government Act* prohibit the City from holding a Public Hearing for this project. The provisions of the *Local Government Act* take precedence over the current regulations in the OCP, which previously required a Public Hearing for Density Transfers.

The proposed transferred density is from the CD-165 zone from the lands being developed for the City's new Harry Jerome Community Recreation Centre. The increased density will allow for the delivery of new employment generating uses and residential units, which would contribute to economic growth along the Lonsdale Corridor and provide new housing stock in the City.

The proposed density transfer includes a cash contribution of \$195 per square foot of buildable area above 4.0 FSR (amounting to an estimated \$18,282,030), which will be allocated toward the Civic Amenity Reserve Fund, and would be directed to projects to support the delivery of new amenities and programmes to serve our growing community, for example the Harry Jerome Community Recreation Centre, new parklands, etc. The application is also providing a community benefit contribution of \$3,138, 200 as per the City's Density Bonus and Community Benefits Policy.

**How will the building height affect view corridors?**

The tower positioning and footprint have been designed to minimize potential impacts on view corridors to the fullest extent possible. This is addressed through floorplates that have a narrow width of 19.8 metres (65 feet) to the northern and southern elevations, which is less than the 30.48 metres (100 feet) prescribed for the C-1B zone.

It is important to consider that any decrease in building height would result in a wider floorplate, causing more adverse impacts on view corridors. The slender tower format is deemed appropriate as it will lessen impacts on view corridors for surrounding residents.

While there is likely to be some impact on existing views, the OCP does not guarantee that views will be preserved. This is especially true in the Regional City Centre that is envisaged to accommodate regional-scale employment, services, business and commercial activities, along with high density housing.

**What infrastructure is being planned to accommodate more residents?**

The proposed development will be required to provide off-site streetscape improvements, consistent with the City’s Subdivision and Development Control Bylaw. This includes the reconstruction of the frontage works along East 14th Street with new sidewalks, street lighting, street furnishings, and a seating area. Existing street trees will be retained and additional street trees will be provided. The development will also repave East 14th Street and the adjoining laneways to the northern and western boundaries.

In addition to the bylaw required infrastructure upgrades, the applicant will be required to complete the design and construction of a full traffic signal at the intersection of East 14th Street and St. Georges Avenue, and has agreed to make a financial contribution of \$59,621.00 towards future upgrades to the sanitary sewer main on East 14th Street.

These requirements will be secured through legal agreements with the City to ensure that they are completed should this project move forward.

**How will the construction impacts to the community be managed?**

Should this application move forward, the City’s construction administration process includes several measures aimed at mitigating impacts to the neighbouring community. For example, Building Permit applications for large-scale projects like this one are required to include both a Construction Management Plan and Traffic Management Plan, detailing the strategy for the delivery of materials to the site, staging areas, and contractor parking. Further, all projects are required to comply with the Noise Control Bylaw, regulating both the hours of construction and noise levels. Finally, the City’s Construction Site Ambassador Program provides dedicated staff to routinely observe site activity, liaise with construction managers, and address potential issues on a proactive basis.

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**From:** Richard Short  
**Sent:** April-14-24 5:36 PM  
**To:** CAO; Leanne McCarthy; Linda Buchanan (Mayor); Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; Submissions; gateway@cnv.org; Peter DeJong; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; ian bedford; brett hurst; Lisa Cappi; Gianrita Celotti; Mgc; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; bradandconnie; Eva Fleming; denfri; Estela Frias; Dr. Bgamini; Jaimi Gardner; Deb Henndol; sasha hougen; hjarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; claumartosmejia; promeca; ady mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; shayan; donna nishimura; Garry Nishimura; Patti Tracey; Sandy; Roberta Walker; rupert; mehdi razaghi; Dr. safaripour; Aryan & Shema Saifhashemi; samira; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine thomas; Meflem  
**Subject:** Bad Optics: Developer boasts online it has leverage and connections with CNV

CAO McCarthy, Mayor Buchanan, and City Council members,

In addition to dozens of unanswered questions posed by residents cc'd on this email, there are some vital questions outstanding about the way the city operates with developers. Our group is growing, as is our deep concern. The optics are bad with the illogical and unprecedented 10.04 FSR proposed development at 120-128 14th St E. Why is the City of North Vancouver unwilling to address this? Do you not want to adhere to the Council Commitments posted on the city's website to be "accessible, transparent, accountable"?

In the emails below, you and your leadership team were asked direct questions on March 26th, April 3rd, and April 4th. At the April 8th Public Input Period these questions were asked an additional time. It is interesting that the Minutes from the Council Meeting misrepresented my two-minute address to Council as "statements attributed to the property owner on their website". The gist was why would any developer feel emboldened enough to market a project using language such as "leveraging relationships" and "connections" with the city? It was pointed out that you have been asked on multiple occasions if anybody on city payroll has a pecuniary or non-pecuniary interest with the developer, Three Shores. We were asking then, and now once again; is there a reason the city does not want to answer this simple question?

It was noteworthy that Council Member Shahriari recused himself from a portion of the Public Input Period due to a conflict of interest with the proposed development. Can you please let us know why he had not previously recused himself, including the closed session (why the opaqueness?) that approved the absurd density transfer from Harry Jerome to Three Shores' site? Due to the long



outstanding pecuniary or non-pecuniary interest question, should other city representatives have been recusing themselves as well?

Here are links to articles about “sunshine laws” and a past motion at CNV that we would like you as our representatives to read/reread:

(<https://www.biv.com/news/economy-law-politics/these-bc-mayors-want-sunshine-laws-tackle-corruption-and-transparency-8269376>)

(<https://www.nsnews.com/local-news/city-of-north-van-motions-to-stop-developer-union-campaign-funds-2963849>)

Going forward is the City of North Vancouver willing to follow its own statement for transparency and accountability when it comes to this, or any other, proposed development?

@lmccarthy@cnv.org as CAO can we entrust you on behalf of Mayor and Council to deliver the answers to any sentence ending with a question mark (highlighted in yellow for easy reference) in this email string by EOD April 18th?

Please note, if we do not receive a response, we will assume the city has no desire in being transparent with its constituents and this email string will be forwarded to the BC Ombudsperson and media outlets.

Thank you in advance for your prompt attention to this very important matter.

Regards,

Richard Short  
14th St E  
North Vancouver, BC

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**From:** Richard Short

**Subject:** Re: Bad Optics: Developer boasts online it has leverage and connections with CNV

**Date:** April 4, 2024 at 9:25:47 PM PDT

**To:** Linda Buchanan (Mayor), Councillor Holly Back, Councillor Don Bell, Councillor Angela Girard, Councillor Jessica McIlroy, Councillor Shervin Shahriari, Councillor Tony Valente, [cao@cnv.org](mailto:cao@cnv.org), [sgalloway@cnv.org](mailto:sgalloway@cnv.org), [planning@cnv.org](mailto:planning@cnv.org), [input@cnv.org](mailto:input@cnv.org), gateway, [pdejong@cnv.org](mailto:pdejong@cnv.org), [gschalk@cnv.org](mailto:gschalk@cnv.org), Karyn Magnusson, [lsawrenko@cnv.org](mailto:lsawrenko@cnv.org)

**Cc:** Gianrita Celotti, Tri Chiem, Eva Fleming, Alastair Meikem - Concerned CentreView Owner, Garry Nishimura, Mehdi Razaghi, Patti Tracey, Roberta Walker, Brad and Connie, Brett Hurst, Anne-Marie Lavallee, Estel Frias, Ischne, Terry Marshall - Concerned CentreView Owner

Thank you for the call this afternoon Leanne. Sorry I only had limited time to speak.

To ensure I do not misrepresent to the group what you told me, can you please sum up your actions to date, and plans going forward, since these bad optics came to your attention?

There are many unresolved questions about this proposed development. I appreciate you letting me know that the "land use" email responses will be managed by the Planning department. Can you please provide a timeline for when those responses will occur?

In the meantime, there are still these key questions about the bad optics that remain unanswered. Can you please provide the city's response to these questions:

- 1. Will the city have a public hearing, with ample notification, so your constituents can be heard before a final decision is made for this proposed development?**
- 2. What relationship(s) at CNV is/are Three Shores “leveraging”?**
- 3. Who are the “connections” at CNV Three Shores is talking about?**
- 4. Are questions 2 and 3 appropriate under any circumstance for a developer dealing with CNV (who is supposed to have the public trust)? Yes or No?**
- 5. Does anybody on CNV payroll have a pecuniary or non-pecuniary interest with Three Shores? Yes or No?**

Thank you for following up, and in advance for providing the much-needed transparency to uphold the public trust.

Regards,

Richard Short  
14th St E  
North Vancouver, BC

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On April 3, 2024, Richard Short wrote:

City of North Vancouver leadership,

Is there a reason we have not received a reply from one of you to the below email sent on March 26th? Your constituents are asking reasonable questions and require transparency from our elected officials and civil servants to uphold the public trust.

Since we sent the email last week, Three Shores removed the webpage that boasted of “leveraging” and “connections”. Who at the city informed them to take it down? Now more than ever we want answers to the questions posed below.

Thank you in advance for addressing the bad optics with this development.

## Leveraging our relationships.

While originally zoned and planned for a 6 story residential building, our expertise and connections to the city planning staff allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR. This site went through a highly competitive bidding process, but with swift and efficient due diligence, the potential was clear. Taking on this due diligence allowed a deal



Regards,

Richard Short  
14th St E North  
Vancouver, BC

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On March 26, 2024, Richard Short wrote:

City of North Vancouver Mayor, CAO, Council, and Planning Department,

People are talking. It is disconcerting. However, there is no need to waste time asking you to address the rumours and innuendo attached to the development proposed by Three Shores at 120-128 East 14th St.

Detailed below are the basic facts that on their own have caused deep concern with the city's residents. To quell the appearance of a conflict of interest, we strongly urge you to answer five simple questions (that city staff has refused to address to date) following these facts:

- Last election the mayor broke a campaign spending record that was heavily funded by developers: <https://www.nsnews.com/local-news/north-van-mayor-breaks-campaign-spending-record-6525673>
- Barry Savage and Mehdi Shokri, the two principles of Three Shores contributed \$1,239 each to the mayor's campaign. The donations were one day apart, for \$11 less than the maximum amount allowed, and in the final week of fundraising.
- Three Shores on its webpage related to this proposed development has a heading of: "**Leveraging our relationships**", along with the following verbiage: "While originally zoned and planned for a 6 story residential building, our expertise and **connections to the city planning staff** allowed us to gain approval for a 21 story high-rise, more than doubling the existing FSR."
- Since the 2022 election, the project has gained steam, the city has been reluctant to answer most questions, has provided an outdated traffic study to support the initiative, has not solicited the feedback from key stakeholders, there will not be a public hearing for an important

bylaw change to support the next step towards project finalization, and on the city's website it now states that on April 8th the project will have "Council Consideration".

**Questions:**

- 1. Will the city have a public hearing, with ample notification, so your constituents can be heard before a final decision is made for this proposed development?**
- 2. What relationship(s) at CNV is/are Three Shores "leveraging"?**
- 3. Who are the "connections" at CNV Three Shores is talking about?**
- 4. Are questions 2 and 3 appropriate under any circumstance for a developer dealing with CNV, who is supposed to have the public trust? Yes or No?**
- 5. Does anybody on CNV payroll have a pecuniary or non-pecuniary interest with Three Shores? Yes or No?**

We look forward to reviewing a full response from the Mayor or CAO's office prior to April 3, 2024.

Regards.

Richard Short  
East 14th Street  
North Vancouver, BC

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**From:** Gianrita Celotti  
**Sent:** April-15-24 2:37 AM  
**To:** Planning  
**Cc:** CAO; Leanne McCarthy; Mayor Linda Buchanan; Linda Buchanan (Mayor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Don Bell (Councillor); Shervin Shahriari (Councillor); Planning; Holly Back (Councillor); Tony Valente (Councillor); Sean Galloway; Submissions; Peter DeJong; Karyn Magnusson; Larry Sawrenko; Greg Schalk; gateway@cnv.org; Richard Short; Borja Alvarez Menendez - Concerned CentreView Owner; ianbedford; brett hurst; Lisa cappi; Mauro Celotti; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; bradandconnie; Eva Fleming; denfri; Estela frias; Dr.bgamini; Jaimi gardner; deb hendol; sasha hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim; Terry Marshall - Concerned CentreView Owner; claumartosmejia; promeca; ady mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Jake pmoore; shayanm; donna nishimura; Garry Nishimura; Patti Tracey; Sandy; Roberta Walker; Marlene Rupert; mehdi razaghi; Dr.safaripour; Aryan & Shema Saifhashemi; samira; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine thomas; Meflem

**Subject:** 120 East 14th Street-Responses expected by April 19th

Good Morning Rupinder

Thank you for your email

With this being such an important issue I find this impersonal, cut and paste email addressed to "Dear Resident" disrespectful and insulting.

It avoids, directly answering the questions that have repeatedly been posed to your department and others.

We are seeking specific answers to the questions of which I remind you below.

**1. Please provide a response to how the Transfer of Density could be unanimously approved by council, in what has recently come to light a "closed" session, with no public consultation? :**

The concept was described at the session in 2022 but no explanation was given as to why the city, against its own guidelines for density transfers, allowed this density to be moved from one region of the city to another not close to it and which already has high density.

**2.** 14th street east is essentially a single lane street, a conduit to vital and essential resident services as Lions Gate Hospital and the RCMP, a route used by ambulances to avoid traffic on 13th or if St Georges is blocked and is already challenged by the multitude of delivery truck and lack of space.



Since the RCMP was not directly consulted, the City also disregards the amount that the RCMP relies on this block for transportation of prisoners, access to the hospital, staff parking and access to their facilities.

**What is the plan to consult the RCMP?**

3. It is my understanding that when Centreview, which has a FSR of only 4.56, was being built the city disallowed the entry for the parking garage off 14th -

**Why would they allow this new complex to have their entrance on the lane parallel to 14th and 15th with the access from 14th? -**

**4. TRAFFIC STUDY:**

The traffic study that is being used was done in the midst of COVID when there was limited traffic in circulation. Additionally, it is using software that models situations completely ignoring real-life activity . It does not take into account behaviour in the laneways which includes large parked commercial trucks reducing flow, 2-way traffic completely blocked by waste disposal trucks loading from adjacent buildings, large trucks unable to turn northbound while travelling westbound in the laneway without backing up twice, etc. I challenge you to monitor activity here for a day to see the congestion already present at current density levels.

**Will a 2024 study be requested before this project can go ahead? What is the plan here?**

We look forward to receiving your responses by EOD Friday 19th April

A large number of constituents are waiting.

Kind Regards

Gianrita Celotti  
14th street East  
North Vancouver, BC

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On Apr 11, 2024, at 8:08 PM, Planning <[Planning@cnv.org](mailto:Planning@cnv.org)> wrote:

Dear Resident,

Thanks for taking the time to provide your input on the proposed development at 120-128 E. 14<sup>th</sup> Street. This project has not been approved and the proposed rezoning is being brought forward to Council for formal consideration. The date of this meeting will be provided to the public through the City's standard notification process for rezoning applications, which includes the delivery of notices to nearby properties, site signage as well as newspaper postings.

As per the requirements of the *Local Government Act*, there will not be a Public Hearing for this application as the proposed rezoning is to permit a development that is residential and that residential component is at least half of the gross floor area for the development. The proposal is also consistent with the OCP, as explained in the FAQ page noted below.

Staff have prepared a Frequently Asked Questions (FAQ) page for this project for the land use matters that have been raised most frequently. This FAQ page can also be accessed via the Active Applications website for the project, which can be accessed via the following link: <https://www.cnv.org/Business-Development/Building/Land-Use-Approvals/Active->

[Applications/120-East-14th-Street](#). The FAQs can be found under the “Related Documents” heading on the webpage.

Thank you,

Rupinder Basi  
Manager, Planning (Development Planning)

**From:** Brett HURST - ACIA  
**Sent:** April-15-24 12:03 PM  
**To:** CAO; Leanne McCarthy; Linda Buchanan (Mayor); Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; Submissions; gateway@cnv.org; Peter DeJong; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; ianbedford; Lisacappi; Gianrita Celotti; Mgc; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; bradandconnie; Eva Fleming; denfri; Estelafrias; Dr.bgamini; Fonze; Richard Short; Jaimi gardner; deb hendol; sasha hougen; hjarvi; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; claumartosmejia; promeca; ady mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; shayan; donna nishimura; Garry Nishimura; Patti Tracey; Sandy; Roberta Walker; rupert; mehdi razaghi; Dr safaripour; Aryan & Shema Saifhashemi; samira; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine thomas; Meflem  
**Subject:** 120-128 14th East, Lonsdale - Three Shores 21-story development approval objection, query and concerns - follow up

To: Mayor of City of North Vancouver & Councillors of the City of North Vancouver (CNV) / Planning and Approvals Officials

Dear Sirs / Madams

I am following up on my below email dated 2 April 2024 which has not yet been addressed at all – please prioritise these valid questions and concerns **in red below** raised by many residents in the City of North Vancouver.

Regards

Brett Hurst  
14<sup>th</sup> St East, North Vancouver, BC

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**From:** Brett HURST - ACIA  
**Sent:** Friday, April 5, 2024 1:06 PM  
**To:** Mayor Linda Buchanan  
**Cc:** [gateway@cnv.org](mailto:gateway@cnv.org); [GSchalk@cnv.org](mailto:GSchalk@cnv.org); [kmagnusson@cnv.org](mailto:kmagnusson@cnv.org); [acifarelli@cnv.org](mailto:acifarelli@cnv.org); [lsawrenko@cnv.org](mailto:lsawrenko@cnv.org); [pdejong@cnv.org](mailto:pdejong@cnv.org); [HBack@cnv.org](mailto:HBack@cnv.org); [dbell@cnv.org](mailto:dbell@cnv.org); [agirard@cnv.org](mailto:agirard@cnv.org); [jmcilroy@cnv.org](mailto:jmcilroy@cnv.org); [sshahriari@cnv.org](mailto:sshahriari@cnv.org); [tvalente@cnv.org](mailto:tvalente@cnv.org); Brett Hurst  
**Subject:** RE: 120-128 14th East, Lonsdale - Three Shores 21-story development approval objection, query and concerns

Hello Linda

Thank you for your initial standard answer to the wider group of constituents. I do hope and expect that we would receive soon actual detailed answers to the various questions and concerns raised, as in the background, it would be fair to assume a lot of internal CNV discussions and reporting or at least senior decisions would have been taken or documented to get this 120-128 14<sup>th</sup> St E to this advanced stage of density transfer, bylaw changes, architectural designs and plans etc etc etc which must have a wholistic plan already detailed and laid out, as no developer or interested party would go to such lengths unless they had various undertakings or assurances to achieve their wider agenda and plan.

Therefore, it would be vital to ensure this is addressed properly before it could be “deemed too late” to alter. Again, trusting in the integrity and transparency of the whole CNV leadership and colleagues to do what is best for the City of North Vancouver and the North Shore along with its residents.

Yours sincerely

Brett Hurst  
14<sup>th</sup> St East, North Vancouver, BC

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**From:** Kendra McEachern **On Behalf Of** Mayor Linda Buchanan  
**Sent:** Friday, April 5, 2024 12:48 PM  
**To:** Brett HURST - ACIA  
**Cc:** Mayor Linda Buchanan  
**Subject:** RE: 120-128 14th East, Lonsdale - Three Shores 21-story development approval objection, query and concerns

Please see the message below from Mayor Buchanan.

Dear Brett:

Thank you very much for sharing your comments with me regarding the proposed redevelopment of 120 East 14th. Please know this matter has yet to be presented to council so no staff reports have been received. Your feedback is important to me and will be taken into consideration once this matter comes before council.

Thank you again for reaching out.

Best Regards,

Linda

Linda Buchanan | Mayor

City of North Vancouver  
141 West 14th Street  
North Vancouver, BC  
V7M 1H9

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**From:** Brett HURST - ACIA

**Sent:** April-02-24 2:10 PM

**To:** gateway@cnv.org; Greg Schalk; Karyn Magnusson; Amelia Cifarelli; Larry Sawrenko; Peter DeJong; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor)

**Cc:** Brett Hurst

**Subject:** 120-128 14th East, Lonsdale - Three Shores 21-story development approval objection, query and concerns

To:

Planning and Approvals Officials & Councillors of the City of North Vancouver (CNV)

Mayor of City of North Vancouver

Bylaws, Police Support Services CNV

Infrastructure Planning, Public Works CNV

Corporate Officer/City Clerk CNV

Chief Financial Officer CNV

Acting Corporate Officer CNV

Dear Sirs / Madams

I would like to document and voice my extreme concern to our elected city officials, councillors and leaders regarding the proposed construction of a 21-storey mixed-use high-rise by Three Shores along 120-128 14th St East one-way road.

One understands that North Vancouver (and wider Canada) is in a clear population and property trap with a shortage of 'affordable' housing and hence I am not concerned with the construction of the originally approved existing official community plan attached (OCP) 6-story tower, as fair and reasonable and common sense. But the issue is, the rapid pace of construction in the heart of Central Lonsdale, it begs the question if the City of North Vancouver (CNV) has lost sight of the need to balance housing development with preserving a decent quality of life for the people of North Vancouver.

As you will know, 14<sup>th</sup> St East is a one-way single lane highly congested road and a significantly vital road leading to essential services such as the Lions Gate Hospital and the RCMP.

Please help me and other concerned residents and owners in the North Vancouver Central Lonsdale area understand how and why CNV Planning approved such a large 21-storey tower which is way in excess of the City's Land Use Map already approved OCP Density (FSR) of 3 + maximum bonus of 1 FSR (totalling 4 FSR) coming in at around 10.04 FSR for Three Shores 120-128 14<sup>th</sup> St East development? It is beyond comprehension and common sense. The comment on Three Shores own website (attached, but has since been conveniently removed by Three Shores recently in the last 1-week) where they boast of their "expertise and connections" to the City Planning staff and their "swift and efficient" due diligence during a "highly competitive bidding process" allowing them to gain approval from a 6-story to 21-story high-rise at a nearly doubled FSR – this in itself raises many questions.



What is even more concerning and deeply worrying is the project received the approval without the need for any public consultation or hearing, as indicated in the Public Advisory in front of the subject property. As per the Amendment of S464, a public hearing is not mandated if a proposed zoning bylaw is consistent with an existing official community plan (OCP) and permits residential development, or if the bylaw pertains to small-scale multi-family housing development. Given the scale and impact of the development at 120-128 14th Street East, it is my understanding that this project does not fall within these two categories, and therefore necessitates a comprehensive public input and scrutiny and far more transparency from the CNV. This along with the extreme and unreasonable nearly doubled increase in approved FSR raises many questions over this specific application and questionable approvals process.

I understand that this nonsensical massive project was approved through a density transfer (FSR) from the Harry James area to 14th St E, resulting in an increase from max 6 (six) floors to now 21 (twenty one) floors. It is unbelievable and very disturbing that the CNV can wave their own self appointed magic wand, when it suits them, to interpret and move around density parameters in a haphazard fashion without consulting its own constituency that will be significantly affected by such a development. It would appear that the CNV elected officials and planning and approvals department have a very detached or potentially selective blindness with regard to the impacts this particular development will have on its wider neighbours and commercial outfits in the close vicinity.

I have the following non-exhaustive questions to be answered specifically:

- I would ask the CNV to detail, by application and project in the past 5-years, which other North Vancouver Developer has requested the CNV and been approved by the CNV to increase their OCP approved FSR from a 3+1-bonus to in excess of anything above 5 FSR to up to 10+ FSR, (just over 10.04 FSR as in the case of Three Shores for this specific development, per the architects Integra-ach)? And if the projects were not approved, why? If the project applications were eventually approved with certain adjustments, what was the final approved FSR?
- How is it that Millenium Tower on 13<sup>th</sup> (which is on a major corridor with 4 lanes of traffic) proposals for an approximate 5.46 FSR were rejected as too high? What is the logic the city is using to justify nearly double this amount for Three Shores development on 14<sup>th</sup> St East?
- In the past, developments have been blocked or rejected because of view corridor blockages, but it would appear that this Three Shores development which will be near identical height to Centreview Tower B on 125 14<sup>th</sup> St East and directly in front of it, and no concern has been given to the complete view blockage here? It would appear this has been completely discarded in the CNV approval of this new development.
- As is very well known to the CNV, parking is already horrific in North Vancouver, especially along Central Lonsdale between 14<sup>th</sup> and 18<sup>th</sup> Street with the ludicrous “covid café side walk constructions” (which are generally not used 99% of the time) taking up an entire lane of traffic and which have not been removed to only exacerbate the crazy traffic congestion – I request that a formal updated 2024 Traffic Study to be available and presented to the residents and owners of properties neighbouring the 14<sup>th</sup> St East be made available to the general public. If the CNV has not carried out a recent traffic study in the past 12-months, why has this not been done? I understand the CNV is relying on a Traffic Study carried out during 2020/2021 covid period which clearly is not a realistic or representative study and is completely outdated.
- Is the CNV planning to eliminate the street parking on 14<sup>th</sup> St East for up to 3 years of construction due to the construction requiring at least one lane for cranes, cement trucks,

construction consumables etc? Where will general public pick up/drop-offs occur for both commercial outlets such as Home Hardware and 14<sup>th</sup> St residents, parcel delivery and moving trucks, etc.?

- Does the Mayor, any Councillor, or any CNV city staff members (or any of their family members, family trusts, personal company structure/s in or outside of Canada have a pecuniary or non-pecuniary interest, benefit, potential benefit or compensation whatsoever (such as consulting agreements/ commissions/ donations/ distributions/ property assignments/ property discounts now or in the future etc with Three Shores or any of its directors/shareholders/staff/employees, or any trust, company or related party structure/s under the wider Three Shores ultimate control or significant influence? If so, please disclose the nature and amount of those relationships for public transparency and public official accountability.

In addition to the above, there are many other points which are well known to the wider community such as the apparent total lack of specific and active engagement from the 14<sup>th</sup> St East RCMP and Lions Gate Hospital for the direct impact of this development other than giving them a general opportunity to raise any concerns through normal planning channels and CNV saying that they did not raise “any specific concerns” is not good enough.

I would expect a response in writing from CNV to the above key questions, to hopefully demonstrate that the CNV is connected with the concerns of your constituents by addressing the abovementioned issues.

Please acknowledge receipt of this email and also ensure a printed copy is taken note of and recorded in the upcoming CNV Council Consideration Meeting to be held on 8 April 2024.

Thank you.

Yours sincerely

Mr. Brett Hurst  
14<sup>th</sup> St East, North Vancouver, BC

**From:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>  
**Sent:** April-19-24 4:30 PM  
**To:** Mehdi Raz  
**Subject:** 120 East 14th Street Rezoning Application - Frequently Asked Questions

Dear Mehdi Razaghi,

Thank you for your correspondence. It has been forwarded to the Corporate Officer and will be added to the package of agenda materials regarding this matter for Council consideration.

Pertaining to your questions below, these have been addressed in the FAQ that has been created for this development. The FAQ responds to items such as parking, traffic, emergency services and other related topics. As noted in the FAQ, the project was also referred to various stakeholders through the rezoning process, including the Integrated Transportation Committee and Advisory Design Panel. Further information will be outlined in the staff report that will be provided to Council when they consider this application.

Attached is a copy of the FAQ for your reference.

Thank you,

Rupinder Basi  
Manager, Planning (Development Planning)

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**From:** Mehdi Raz  
**Sent:** April-17-24 8:57 PM  
**To:** Planning <[Planning@cnv.org](mailto:Planning@cnv.org)>; Mayor Linda Buchanan <[Mayor@cnv.org](mailto:Mayor@cnv.org)>; Holly Back (Councillor) <[HBack@cnv.org](mailto:HBack@cnv.org)>; Don Bell (Councillor) <[dbell@cnv.org](mailto:dbell@cnv.org)>; Angela Girard (Councillor) <[agirard@cnv.org](mailto:agirard@cnv.org)>; Jessica McIlroy (Councillor) <[jmcilroy@cnv.org](mailto:jmcilroy@cnv.org)>; Shervin Shahriari (Councillor) <[sshahriari@cnv.org](mailto:sshahriari@cnv.org)>; Tony Valente (Councillor) <[tvalente@cnv.org](mailto:tvalente@cnv.org)>; CAO <[CAO@cnv.org](mailto:CAO@cnv.org)>; Sean Galloway <[sgalloway@cnv.org](mailto:sgalloway@cnv.org)>; Submissions <[input@cnv.org](mailto:input@cnv.org)>; [gateway@cnv.org](mailto:gateway@cnv.org); Greg Schalk <[GSchalk@cnv.org](mailto:GSchalk@cnv.org)>; Karyn Magnusson <[kmagnusson@cnv.org](mailto:kmagnusson@cnv.org)>; Amelia Cifarelli <[acifarelli@cnv.org](mailto:acifarelli@cnv.org)>; Larry Sawrenko <[lsawrenko@cnv.org](mailto:lsawrenko@cnv.org)>  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Capitanio; Gianrita Celotti; MGC; Bianca Charwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad Connie Doerksen; Eva Fleming; Den Fri; Estela Frias; Dr B Gamini; Jaimi Gardner; Deb Hendold; Sasha Hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Clau M.; Promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan; Donna; Garry Nishimura; Patti Tracey; Sandy; Roberta Walker; Rupert; Dr Safaripour; Aryan & Shema Saifhashemi; Samira; Mesands; Ischne; Bianca & Ryan

Hi Rupinder Basi,

I am writing to follow up once more, as I have not yet received a response to the specific queries and concerns I raised in my previous emails. The general reply I received earlier did not address any of these points.

Understanding the pressures and responsibilities associated with your managerial role, which is compensated and supported by taxpayers & resident funds, I believe it is reasonable to expect timely and effective communication with city residents like myself. I am hopeful that this instance is not reflective of a broader shift in the City engagement practices.

Thank you for your attention to this matter. I am eager to receive a comprehensive response soon

Mehdi Razaghi  
East 14<sup>th</sup> Street  
North Vancouver, BC

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On Thu, Apr 11, 2024 at 9:33 PM Mehdi Raz wrote:

Hi Rupinder Basi,

I am following up on my previous communications from March regarding the proposed development at 120-128 E. 14th Street. While I appreciate the general update provided, I must express my concern that the response received does not address the specific issues raised. It has been **19 days** since my initial outreach on March 24th and 26th, and several critical concerns remain unaddressed in both your responses and the provided FAQ page.

**Emergency Services Access:** The expected increase in traffic may hinder the timely arrival of emergency responders and ambulances. This is particularly troubling given that the street is one-way with few alternative routes. Can you outline the specific measures being taken to maintain clear emergency access? Additionally, I have not found any records showing that the planning department or city authorities have sought or received input from the RCMP on 14th St or from Lions Gate Emergency Services on this issue.

**Outdated Traffic Study:** Given the potential increase in traffic from ongoing developments, the community would benefit from understanding when the last traffic study was conducted and how it reflects current and anticipated conditions.

**Impact on Childcare Safety:** The proposed development may severely disrupt access to childcare facilities located in proximity to the site. Could you please detail the measures that are planned to mitigate these impacts and ensure continued accessibility to these essential services?

**Impact on Local Businesses and Congestion:** 14th St E is a narrow, one-way street already facing congestion issues. The construction could severely disrupt local businesses reliant on large deliveries, potentially diminishing their service quality and daily sales. Most of the affected entities are small business owners who already face significant challenges. This situation could make it very

difficult for them to survive. What measures are proposed to mitigate these challenges during the construction phase?

**Centerview Building's Loading Zone:** The loading zone crucial for daily operations at the Centerview building is directly affected by the planned construction. If construction and loading activities coincide, this could lead to severe congestion, not only on 14th St but potentially spilling over to adjacent areas like Lansdale Street. How is the planning team addressing this significant risk?

**Need for Comprehensive Review:** Given the high floor space ratio (FSR) rate and the unique challenges of the proposed site, it is crucial that the plan be revisited. I urge the council and planning department to engage more deeply with stakeholders, including local businesses, Lions Gate Emergency Services, and the RCMP, to develop a plan that supports growth while ensuring community functionality and safety.

I look forward to a prompt and detailed response, addressing each of these points specifically.  
Thanks

Mehdi Razaghi  
East 14<sup>th</sup> Street  
North Vancouver, BC

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On Thu, Apr 11, 2024 at 11:08 AM Planning <[Planning@cnv.org](mailto:Planning@cnv.org)> wrote:

Dear Resident,

Thanks for taking the time to provide your input on the proposed development at 120-128 E. 14<sup>th</sup> Street. This project has not been approved and the proposed rezoning is being brought forward to Council for formal consideration. The date of this meeting will be provided to the public through the City's standard notification process for rezoning applications, which includes the delivery of notices to nearby properties, site signage as well as newspaper postings.

As per the requirements of the *Local Government Act*, there will not be a Public Hearing for this application as the proposed rezoning is to permit a development that is residential and that residential component is at least half of the gross floor area for the development. The proposal is also consistent with the OCP, as explained in the FAQ page noted below.

Staff have prepared a Frequently Asked Questions (FAQ) page for this project for the land use matters that have been raised most frequently. This FAQ page can also be accessed via the Active Applications website for the project, which can be accessed via the following link:

<https://www.cnv.org/Business-Development/Building/Land-Use-Approvals/Active-Applications/120-East-14th-Street>. The FAQs can be found under the "Related Documents" heading on the webpage.

Thank you,

Rupinder Basi  
Manager, Planning (Development Planning)



**From:** Gord Stevens  
**Sent:** April-24-24 3:29 PM  
**To:** Submissions  
**Subject:** Zoning Bylaw Amendment Bylaw No.8960 2024

Good afternoon,

In regards to the 120 - 128 East 14th Street 21 Story building proposed.

14th Street is a one way street running halfway from that corner to the LGH and is already congested.

14th Street empties out onto St George's Ave which has a busy RCMP Detachment and Ambulance route to the Emergency department situated at the outlet of 14th Street.

The Fire Department uses St George's a considerable amount, further creating congestion.

There are 2 spots on St George's where cars are not permitted to idle (Ambulance and Police entrances). The Hospital itself sees a lot of pedestrian traffic and many of those are injured, disabled, and elderly.

The alleyway running from the 120 - 128 E 14th is already congested. The two Royals Towers and the two high rises facing the Royals across the alley ALL discharge their parking lot vehicles into that alley.

Further to that, garbage trucks, recycling trucks, utility trucks, and restaurant delivery vans all use this alley and create bottlenecks in such that only one vehicle at a time can pass through.

There is also a 20 stall pay parking lot next to The Royals which likewise only exits to that alley.

Some development is good yes, but the burden caused by this increase in vehicle traffic would be hazardous and could cause an increase in accidents; vehicular, cyclists, and pedestrians, who all cut through this alley, often without notice.

There should be a limit to how high the building should be (3-4 stories max), and the number of new units in the area.

Gord Stevens,  
St George's Ave  
North Vancouver

**From:** Mehdi Raz  
**Sent:** April-26-24 9:34 PM  
**To:** Holly Back (Councillor)  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Capitanio; Gianrita Celotti; Mgc; Bianca Charwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad Connie Doerksen; Eva Fleming; denfri; Estela Frias; Dr. Bgamini; Jaimi Gardner; Deb Hendold; Sasha Hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Clau M; promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Aussie; Roberta Walker; merupert; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Bianca & Ryan Charwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Submissions

**Subject:** Critical Concerns Over Proposed High-Density Project on 120-128 E. 14th Street

Hi Councilor Holly Back,

I hope this message finds you well. While I support the council's initiatives to increase housing availability in our city, I have serious reservations about the proposed density of the proposed development at 120-128 E. 14th Street., especially given its location on a narrow, one-way, one-lane street. As a former business owner yourself, you have firsthand experience with the challenges that small businesses face during extensive construction projects. The scale of this development is not only unprecedented but also likely unsustainable, posing significant risks and disruptions to the community and local businesses alike. The following points summarize the core of my concerns:

- **Emergency Response:** Potential delays for RCMP and emergency services could arise from increased traffic, directly impacting community safety.
- **Unsustainable Density with high FSR rate:** The proposed density could set a troubling precedent for future developments, potentially compromising the quality of life and character of our neighbourhood.
- **Safety Concerns:** The lengthy construction period of approximately three years raises significant safety issues for all community members, particularly vulnerable groups such as children and elders.
- **Impact on Childcare Safety:** The proposed development may severely disrupt access to childcare facilities located in proximity to the site.
- **Traffic and Parking:** Increased congestion and exacerbated parking shortages are expected, which could hinder daily activities and affect the quality of life for residents.
- **Impact on Local Businesses and Congestion:** 14th St E is already facing congestion issues. The construction could severely disrupt local businesses reliant on large deliveries, potentially diminishing their service quality and daily sales. Most of the affected entities are small business owners who already face significant challenges.

I urge you to consider the long-term impacts of this development. It is crucial to find a balance that fosters growth without sacrificing the well-being of current residents and the viability of local businesses. Could we explore a compromise by reducing the scope of the project? Such an adjustment would demonstrate a commitment to sustainable development and responsible governance.

I trust that you will stand on the right side of history by making a decision that protects and preserves the quality of life in our community. Thank you for your attention to this matter, and for all the work you do for our city.

Mehdi Razaghi  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Carol Savage  
**Sent:** April-27-24 12:24 PM  
**To:** Submissions  
**Subject:** 120 East 14th Street

Dear Mayor and Council,

I am writing to express my strong support for the proposed development project at 120 East 14th Street. As a resident of North Vancouver, I believe this project represents a significant opportunity for community growth and revitalization.

The development's focus on sustainability and its commitment to enhancing the local area align with the values and vision of our community. The inclusion of residential units and commercial space addresses the diverse needs of our residents and contributes to the vibrancy of our neighborhood.

The project's location is ideal for fostering a walkable community, reducing reliance on vehicles, and promoting public transit use. This not only supports our city's environmental goals but also encourages a healthier lifestyle for all.

I appreciate the developer's efforts to engage with the community and their willingness to incorporate feedback into the project's design. It is evident that this development is being approached with careful consideration for its long-term impact on North Vancouver.

I urge the City of North Vancouver to approve this project and look forward to the positive changes it will bring to our community.

Sincerely,

C.T. Savage  
West 14th Street  
North Vancouver, B.C.

**From:** Amir Hajbaba  
**Sent:** April-27-24 2:32 PM  
**To:** Submissions  
**Subject:** Concerns Regarding Zoning Amendment Bylaw No. 8960, 2024 - 120-128 East 14th Street

Dear City Council Members,

I am a resident of 14th St. E, and I am writing to express my serious concerns regarding the proposed rezoning described in Zoning Amendment Bylaw No. 8960, 2024. The proposed change to rezone 120-128 East 14th Street from a Central Lonsdale Mixed Use Zone (C-1B) to a Comprehensive Development Zone (CD-760) to allow a 21-storey mixed-use building raises several critical issues:

1. **Infrastructure Support:** The current infrastructure surrounding 120-128 East 14th Street is not equipped to support the significant increase in density that a 21-storey building with 164 strata units and additional commercial space would bring. One of my primary concerns is the inadequacy of parking. The proposed development does not adequately address the needs for increased parking spaces, which could lead to increased street parking congestion and traffic.
2. **Emergency Vehicle Access\*:** The increase in traffic and potential congestion may severely limit access for emergency vehicles. This could compromise the safety and well-being of residents and businesses in the area, particularly in urgent situations.
3. **Impact on Community Character and Services:** The scale of the proposed development is out of character with the existing buildings in the area. Furthermore, the additional population may strain local services, such as schools, parks, and public transport, which are already nearing capacity.

I urge the City Council to consider these issues carefully before proceeding with the proposed rezoning. The impact on local infrastructure, emergency services, and community character must be thoroughly assessed to ensure that development benefits all residents without sacrificing our quality of life.

Please ensure this message is presented to the council members ahead of the meeting on May 6, 2024. Thank you for your attention to these matters. I look forward to your response and to seeing how these concerns are addressed in the council's decision-making process.

Sincerely,

Amir Hajbaba & Soussan Hoseini  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Jaimi Gardner  
**Sent:** April-27-24 4:24 PM  
**To:** Mehdi Raz  
**Cc:** Holly Back (Councillor); Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Capitanio; Gianrita Celotti; Mgc; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad Connie Doerksen; Eva Fleming; denfri; Estela Frias; Dr. Bgamini; Deb Hendol; Sasha Hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Clau M; promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Aussie; Roberta Walker; merupert; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Submissions

**Subject:** Re: Critical Concerns Over Proposed High-Density Project on 120-128 E. 14th Street

Dear Councilor Holly Back,

My name is Jaimi Gardner and I agree with everything that my neighbour Mehdi Raz wrote in his email. I am also against the proposed bylaw to rezone 120-128 East 14th Street from a Central Lonsdale Mixed Use B zone to a comprehensive development 760 zone.

In addition to Medhi's points, I am also concerned about the impact of building high-density buildings on our current public transportation infrastructure. What is the plan to meet the needs of the current population, let alone the proposed amount of residents that will soon make North Vancouver their home? Will the city increase the number of buses, create bus lanes, consider LRT, or increase the frequency of the seabus? I sometimes have to wait for multiple buses after work to come home, as the buses are already at full capacity. At night the buses are infrequent and at times do not turn up. Furthermore, the seabus only runs every half hour after 8 pm.

Additionally, I am concerned that 132 14th St. has not been included in the construction at the moment. Will it be developed at a later date, thereby extending the construction period on this block?

Jaimi Gardner  
East 14<sup>th</sup> Street  
North Vancouver, BC

On Fri, Apr 26, 2024 at 9:34 PM Mehdi Raz wrote:

Hi Councilor Holly Back,

I hope this message finds you well. While I support the council's initiatives to increase housing availability in our city, I have serious reservations about the proposed density of the proposed development at 120-128 E. 14th Street., especially given its location on a narrow, one-way, one-lane

street. As a former business owner yourself, you have firsthand experience with the challenges that small businesses face during extensive construction projects. The scale of this development is not only unprecedented but also likely unsustainable, posing significant risks and disruptions to the community and local businesses alike. The following points summarize the core of my concerns:

- **Emergency Response:** Potential delays for RCMP and emergency services could arise from increased traffic, directly impacting community safety.
- **Unsustainable Density with high FSR rate:** The proposed density could set a troubling precedent for future developments, potentially compromising the quality of life and character of our neighbourhood.
- **Safety Concerns:** The lengthy construction period of approximately three years raises significant safety issues for all community members, particularly vulnerable groups such as children and elders.
- **Impact on Childcare Safety:** The proposed development may severely disrupt access to childcare facilities located in proximity to the site.
- **Traffic and Parking:** Increased congestion and exacerbated parking shortages are expected, which could hinder daily activities and affect the quality of life for residents.
- **Impact on Local Businesses and Congestion:** 14th St E is already facing congestion issues. The construction could severely disrupt local businesses reliant on large deliveries, potentially diminishing their service quality and daily sales. Most of the affected entities are small business owners who already face significant challenges.

I urge you to consider the long-term impacts of this development. It is crucial to find a balance that fosters growth without sacrificing the well-being of current residents and the viability of local businesses. Could we explore a compromise by reducing the scope of the project? Such an adjustment would demonstrate a commitment to sustainable development and responsible governance.

I trust that you will stand on the right side of history by making a decision that protects and preserves the quality of life in our community. Thank you for your attention to this matter, and for all the work you do for our city.

Mehdi Razaghi  
East 14th Street  
North Vancouver, BC

**From:** Jade Moore  
**Sent:** April-27-24 5:35 PM  
**To:** Jaimi Gardner  
**Cc:** Ian Bedford; Alastair Meikem - Concerned CentreView Owner; Anne-Marie Lavallee; Aryan & Shema Saifhashemi; Bianca & Ryan Charwood - Concerned CentreView Owners; Bianca Charwood; Borja Alvarez Menendez - Concerned CentreView Owner; Brad Connie Doerksen; Catherine Thomas; Clau M; Claudine Courvoisier; Dr. Bgamani; Dr. Safaripour; Estela Frias; Eva Fleming; Faye Lim - Concerned CentreView Owner; Fonze; Garry Nishimura; Gianrita Celotti; Harry Jarvis; Jake Moore; Lisa Capitanio; Meflem; Mehdi Raz; Mgc; Patti Tracey; Roberta Walker; Sandy Aussie; Sue Knapp; Terry Marshall - Concerned CentreView Owner; Tri Chiem; Ady Mejia; Brett Hurst; denfri; Donna Nishimura; elzom; Holly Back (Councillor); Deb Hendol; Submissions; Ischne; merupert; mesands; promeca; Samira S; Sasha.Hougen; Shayan M

**Subject:** Re: Critical Concerns Over Proposed High-Density Project on 120-128 E. 14th Street

Dear Councilor Holly Back,

My name is Jade Moore and I am a resident at 14th street E, North Vancouver. I am writing to express my serious concerns with the proposed development at 120-128 E 14th street. While I appreciate the cities mandate to create housing to meet rising population and demand, 14th street does not have the necessary infrastructure required to support either the construction of such a large development, nor the number of people who would fill it.

Two of the most prevalent issues in North Vancouver are housing and traffic. We cannot forsake one for the other, there must be a balance and compromise. 14th street is wedged between the extremely busy Lonsdale and the extremely important Lionsgate Hospital, fire department, and police department.

Anyone who lives in this area knows the drastic effect that the nearby millennium construction on 13th street has had on businesses, traffic patterns, pedestrian access, and emergency service dispatch. 13th street has 4 lanes, and it is very often reduced to 1 lane due to the construction. 14th street simply cannot function in the same capacity. As I'm sure you know, the street is a 2 lane one way and is rarely left with an available parking spot. Deliveries for the grocery stores and other businesses on this street require large trucks which block the street on a regular cadence.

I urge you to reconsider the scale of the proposed development, and find a compromise that would provide a solution to the issues as opposed to pushing ahead with a development which will have long term negative impact on this community. If you have not already, I would recommend you come to the area. I'm sure the myriad of issues we are all doing our best to draw attention to would be immediately clear.

We have yet to receive a response from the city or developer that identifies any solutions to the problems many of my concerned neighbours have mentioned. The alleys behind the proposed

development are constantly blocked with commercial and garbage trucks. We could not possibly have the space for 20+ stories and another parking garage.

There is no point in building housing if it cannot function as a home.

Thank you,

Jade Moore  
East 14<sup>th</sup> Street  
North Vancouver, BC

On Sat, Apr 27, 2024 at 4:23 PM Jaimi Gardner wrote:

Dear Councilor Holly Back,

My name is Jaimi Gardner and I agree with everything that my neighbour Mehdi Raz wrote in his email. I am also against the proposed bylaw to rezone [120-128 East 14th Street](#) from a Central Lonsdale Mixed Use B zone to a comprehensive development 760 zone.

In addition to Medhi's points, I am also concerned about the impact of building high-density buildings on our current public transportation infrastructure. What is the plan to meet the needs of the current population, let alone the proposed amount of residents that will soon make North Vancouver their home? Will the city increase the number of buses, create bus lanes, consider LRT, or increase the frequency of the seabus? I sometimes have to wait for multiple buses after work to come home, as the buses are already at full capacity. At night the buses are infrequent and at times do not turn up. Furthermore, the seabus only runs every half hour after 8 pm.

Additionally, I am concerned that 132 14th St. has not been included in the construction at the moment. Will it be developed at a later date, thereby extending the construction period on this block?

Jaimi Gardner  
East 14th Street  
North Vancouver, BC

On Fri, Apr 26, 2024 at 9:34 PM Mehdi Raz wrote:

Hi Councilor Holly Back,

I hope this message finds you well. While I support the council's initiatives to increase housing availability in our city, I have serious reservations about the proposed density of the proposed development at [120-128 E. 14th Street](#), especially given its location on a narrow, one-way, one-lane street. As a former business owner yourself, you have firsthand experience with the challenges that small businesses face during extensive construction projects. The scale of this development is not only unprecedented but also likely unsustainable, posing significant risks and disruptions to the community and local businesses alike. The following points summarize the core of my concerns:

- **Emergency Response:** Potential delays for RCMP and emergency services could arise from increased traffic, directly impacting community safety.

- **Unsustainable Density with high FSR rate:** The proposed density could set a troubling precedent for future developments, potentially compromising the quality of life and character of our neighbourhood.
- **Safety Concerns:** The lengthy construction period of approximately three years raises significant safety issues for all community members, particularly vulnerable groups such as children and elders.
- **Impact on Childcare Safety:** The proposed development may severely disrupt access to childcare facilities located in proximity to the site.
- **Traffic and Parking:** Increased congestion and exacerbated parking shortages are expected, which could hinder daily activities and affect the quality of life for residents.
- **Impact on Local Businesses and Congestion:** 14th St E is already facing congestion issues. The construction could severely disrupt local businesses reliant on large deliveries, potentially diminishing their service quality and daily sales. Most of the affected entities are small business owners who already face significant challenges.

I urge you to consider the long-term impacts of this development. It is crucial to find a balance that fosters growth without sacrificing the well-being of current residents and the viability of local businesses. Could we explore a compromise by reducing the scope of the project? Such an adjustment would demonstrate a commitment to sustainable development and responsible governance.

I trust that you will stand on the right side of history by making a decision that protects and preserves the quality of life in our community. Thank you for your attention to this matter, and for all the work you do for our city.

Mehdi Razaghi  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Alexandra Reid  
**Sent:** April-28-24 2:42 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); jmcllroy@cnv.org; Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Vote NO: Zoning Amendment Bylaw No 8690, 2024

Dear Mayor and Council,

I love my neighbourhood and appreciate that development is the key to revitalization and diversity in a community. However, I am exceptionally concerned about the **excessive** Three Shores Development plan designated for 120-128 14th St. East.

The traffic study done in 2022 is not at all indicative of current vehicle and pedestrian traffic in the area. There are daily conflicts and traffic jams between waste & recycling trucks, refrigerator food delivery trucks, goods & service deliveries (Amazon), couriers (UPS, Canada Post), movers - all of this on top of the regular commuters already living in the neighbouring buildings and simply trying to get where they need to go. This is compounded by cars using the laneway to bypass the traffic restrictions (no left turn at 15th) on Lonsdale. ALL of the above vehicles are limited to travel/park/unload along a narrow north/south lane way between 14th and 15th which is not sufficient to handle the current load. It's already BAD with no solution identified by the CNV planning department and an outdated traffic study.

Adding development of the planned scope and size simply doesn't make sense and is **contrary to the current OCP**. A seeming compromise and reasonable development proposal would be to have the developer incorporate the neighbouring building (132 E 14th St.) and **keep the FSR per the current OCP (3 FSR maximum)**.

The **current OCP** states: **Density Transfers are appropriate in the following two scenarios: 1. Density Transfer donor site is adjacent or in close proximity (i.e., same block) as the receiving site and transfer will result in a preferable built form; 2. Significant civic or public benefit will accrue from the Density Transfer (e.g., secured protection of a valued heritage site)**. Clearly, this planned 21-storey development does not adhere to the first point and so I would question what exactly is the "significant civic or public benefit" - specifically as it relates to the residents on East 14th Street? More money for the city does not equate to benefit for those directly (and negatively) impacted by the years-long construction noise, dirt, traffic etc.

Just because you CAN (develop a ridiculously tall tower), doesn't mean you should.

Thank you for considering the concerns of a local resident. I sincerely hope that you will REJECT the rezoning of 120-128 East 14th St.

Sincerely,

Alexandra Reid  
East 14th Street  
North Vancouver, BC

**From:** Amirneh Saeedi  
**Sent:** April-28-24 4:07 PM  
**To:** Mayor Linda Buchanan; Linda Buchanan (Mayor); Leanne McCarthy; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Tony Valente (Councillor)  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Cappi; Gianrita Celotti; Mgc; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estela Frias; Dr. Bgimini; Jaimi Gardner; Deb Hendol; Sasha Hougen; H Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Clau Martos; promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; merupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Saadat Shamsi; Matthew Menzel; Rupinder Basi; Planning; Submissions; Peter DeJong; Sean Galloway; gateway; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Vote against the proposed zoning amendment bylaw No. 8960, 2024

Hi, Mayor Buchanan and Councilors,

I am compelled to formally express my significant concerns regarding the proposed rezoning for the property located at 120-128 East 14th Street. The density proposed exceeds by 2.5 times the maximum stipulated under the Official Community Plan (OCP), and such an increase raises substantial legal and community concerns. While I support any reasonable and well-planned housing development, My concern centers on developments that negatively impact and do not promote sustainable growth within our community.

These are my core concerns:

- The absence of a satisfactory response or an updated traffic study from the Planning Department that addresses the post-COVID-19 activity levels and the impact of the recent hospital expansion.
- Increased traffic flow poses heightened safety risks to the community, particularly affecting children and the elderly.
- Significant increase in traffic congestion on a densely populated, single-block, one-way street that currently accommodates four high-rise towers, multiple commercial enterprises, a childcare facility, an RCMP detachment, and a major hospital.
- The exacerbation of existing logistical challenges related to parking, as well as the pick-up and drop-off activities, which will severely impact residents, visitors, and local businesses.

- Potential adverse effects on the response times of RCMP and emergency services, without due consultation with the stakeholders potentially affected by increased density.
- Continual noise disturbances, with no mitigation measures in place, especially concerning since there are pending redevelopment plans for 132 E 14th.
- A lack of provided impact analysis concerning the rezoning's effect on the heavily utilized, often congested laneways that are crucial to the fabric of the proposed rezoning plan.
- The Planning Department has failed to cite any precedent where such a high-density development has been successfully implemented on a similarly configured street.
- Prior decisions by the city to reject a parking entrance on East 14th for CentreView were prudent; it is inconsistent to now propose that a laneway, primarily serviced by the same street, accommodate increased density.
- The lack of proximate green spaces has led to inappropriate utilization of our street; this situation will likely deteriorate further with an increase in population density.

I trust that the Council will give these issues the thorough consideration they warrant. I respectfully urge adherence to the 3 FSR limit as outlined in the OCP and encourage the evaluation of development proposals that respect the unique characteristics of our street. It is my sincere hope, and indeed my humble expectation, that the Council will decide against the proposed rezoning in favor of a solution that benefits the entire community.

Thank you for your consideration of these critical issues.

Armineh Saeedi  
 East 14<sup>th</sup> Street  
 North Vancouver, BC



**From:** Lois Schneeberg  
**Sent:** April-28-24 4:12 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Peter DeJong; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Vote against the proposed zoning amendment bylaw No. 8960, 2024

Dear Mayor and Councillors,

I reside at \_\_\_\_\_ on 14th Street. As a senior who has retired after a half-century of diligent work, I chose North Vancouver for its serene views and tranquil atmosphere. The joy of strolling to the waterfront and ascending the hill, away from the bustling city's clamor, was a cherished part of my routine. Regrettably, the construction on 13th, subjected me to relentless noise and traffic disruptions for the past three years. Now, with the Millennium project nearing completion, the prospect of a new 21-story building at 120 East 14th Street is quite disheartening.

I understand the housing crisis, but this project is not an affordable solution for the average person. And, the concentration of high-rises in Central Lonsdale's compact area seems excessive. 14th Street is ill-equipped for significant construction activity.

It feels unjust to us retirees who sought a peaceful retirement and invested in what we hoped would be our final home, only to face years of noise and congestion. Continuing construction in the same vicinity for another three years would further disrupt the lives of current residents.

Moreover, with potential future developments at 132 East 14th, I am apprehensive about enduring even more construction. I moved from New York City seeking North Vancouver's peace in my twilight years, but it seems my retirement will be marred by the constant inconvenience and din of construction.

Thank you for your attention.

Lois Schneeberg  
East 14th Street  
North Vancouver, BC

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**From:** Raha Mostafavi  
**Sent:** April-28-24 5:27 PM  
**To:** Submissions  
**Subject:** Opposition to rezoning of 120-128 East 14th St.  
**Attachments:** Current situation in 14th street east.jpg

Dear Mayor and council

I am living on 14th street East North Vancouver and there is a very huge construction development project that is going to be built in front of our eyes.

There are lots of disadvantages regarding this project and I am opposing to that with the following reason:

1. We already have 4 very large high rise buildings in this area and this development makes it so populated and make it impossible for our community to live easily and traffic and density will get worse and disgusting
2. With regular struggles to manage parking, pick ups, drop-offs, and deliveries, the increased density will result in further parking shortages for residents, visitors, and businesses. ( see picture attached the current situation)
3. The planning department has not provided satisfactory answers to questions, nor provided an updated traffic study to reflect post-covid activity, or the increased traffic that will come from the nearly completed hospital expansion
4. I have not been provided with an analysis of the impact on the frequently used and many times congested, laneways running parallel and perpendicular to this block that will be a key aspect of this proposed rezoning.
5. When asked, the planning department has not provided a single example of any other street configured/populated like ours that has proven successful let alone one with more density proposed. Other disadvantages:
  - The increased traffic will add to our safety concerns for all community members with a focus on pets, children, and our seniors.
  - Impact on RCMP and emergency response times. RCMP and Lions Gate hospital staff were never surveyed to understand their concerns with more density and congestion.
  - Prolonged noise disturbance affecting all residents especially since there is still not a solution in place for 132 E 14th which will also be a redevelopment target.
  - Previously the city disallowed a parking entrance for CentreView from East 14th St. That was the correct decision. However, a laneway primarily fed by the same street is being proposed as a solution for this proposed increased density.
  - There is no nearby green space which has resulted in nearby residents using our street as a bathroom for their dogs. The street is constantly littered with cigarette butts. Increased density will only make these problems worse.

Thank you for reading my concerns. The land use for this site should not exceed 3 FSR as originally noted in the OCP. Only new development proposals that are reasonable and responsible for this street should be considered.

I strongly urge you to reject this rezoning proposal.

Sincerely,  
Raha Mostafavi  
East 14th Street, North Vancouver, BC



**From:** Lisa Capitanio  
**Sent:** April-28-24 9:49 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); jmcllroy@cnv.org; Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; gateway@cnv.org; Greg Schalk  
**Subject:** Citizen's vote against the proposed zoning amendment bylaw No. 8960, 2024

Good evening Mayor Buchanan and Councilors,

After attending two council meetings in April along with my community of Centreview owners of towers A & B, and returning home disappointed and disheartened by hearing rhetoric and blame passing to another level of government, I feel compelled to write this email to share my concerns regarding the proposed rezoning for the property located at 120-128 East 14th Street.

I am an owner living on E. 13th street. I have lived in my apartment since July 2023 and have been living through the Millennium construction directly across the street from me that is ongoing. In my nine months living here, there have been many traffic delays when the two-way, four lane street goes down to one lane of traffic. As well, it is often congested trying to turn east or west out of the parking garage...and that is with four lanes of traffic going in either direction unlike 14th street that is a one-way street. I find it incredulous and incomprehensible that a 21-storey mixed-use condo development is proposed for E. 14th street on a dedicated one-way street that continuously has cars travelling down it and drivers choosing to park, plus large delivery trucks going down the alleyway making deliveries to Whole Foods. Of all the streets for this development to take place, Three Shores chooses to go from a seven-storey development to 21 storeys on a one-way street across from the RCMP headquarters and Lions Gate Hospital at the end of the block? Any suggestion of promoting 'community' with this new development is preposterous given the mayhem that will ensue with the congestion created by the hundreds of new vehicles attached to the new residents, plus visitor vehicles and double the delivery trucks...and this is after years of construction insanity.

The density proposed exceeds by 2.5 times the maximum stipulated under the Official Community Plan (OCP), and such an increase raises substantial legal and community concerns. While I support any reasonable and well-planned housing development, my concern centers on developments that negatively impact and do not promote sustainable growth within our community. This type of growth will create chaos and not an enjoyable, liveable city living experience.

These are my core concerns:

- The absence of a satisfactory response or an updated traffic study from the Planning Department that addresses the post-COVID-19 activity levels and the impact of the recent hospital expansion.
- Increased traffic flow poses heightened safety risks to the community, particularly affecting children and the elderly.
- Significant increase in traffic congestion on a densely populated, single-block, one-way street that currently accommodates four high-rise towers, multiple commercial enterprises, a childcare facility, an RCMP detachment, and a major hospital.
- The exacerbation of existing logistical challenges related to parking, as well as the pick-up and drop-off activities, which will severely impact residents, visitors, and local businesses.

- Potential adverse effects on the response times of RCMP and emergency services, without due consultation with the stakeholders potentially affected by increased density.
- Continual noise disturbances, with no mitigation measures in place, especially concerning since there are pending redevelopment plans for 132 E 14th.
- The Planning Department has failed to cite any precedent where such a high-density development has been successfully implemented on a similarly configured street.
- Prior decisions by the city to reject a parking entrance on East 14th for CentreView were prudent; it is inconsistent to now propose that a laneway, primarily serviced by the same street, accommodate increased density.
- The lack of proximate green spaces has led to inappropriate utilization of our street; this situation will likely deteriorate further with an increase in population density.

I hope that the Council will give these issues the thorough consideration they warrant. I respectfully urge adherence to the 3 FSR limit as outlined in the OCP and encourage the evaluation of development proposals that respect the unique characteristics of our street. It is my sincere hope that the Council will decide against the proposed rezoning in favor of a solution that benefits the entire community. All of us living in Central Lonsdale deserve to live in a sustainable, safe and walkable community not steeped in noise, traffic and vehicles constantly coming and going. This proposal is alarming to my sense of home and I am worried about the concrete jungle that the central Lonsdale corridor is becoming.

Thank you for your consideration of these critical issues.

Lisa Capitanio  
East 13<sup>th</sup> Street  
North Vancouver, BC

**From:** Jennifer MacMillan  
**Sent:** April-29-24 7:52 AM  
**To:** Submissions  
**Subject:** Bylaw No. 8960 Zoning Amendment

**RE: 120 - 128 East 14th Street**

To Whom it may Concern,

I have written in the past when this proposed zoning bylaw was first submitted. I live in the neighbourhood and have expressed my concern about traffic issues this 22 story complex will create. **Traffic and safety concerns are a MAJOR PRIORITY and CONCERN!** This has not been addressed to satisfaction!

Daily, the back alleys between 14th and 15th (both east/west bound and north/south bound) street are congested and many times impassible. Moving trucks, garbage and recycling trucks, linen supply trucks, food service vehicles, delivery vans, maintenance vehicles, police vehicles are constantly using the alley ways let alone the commercial tenants and residents that live in the area and vehicles using the large parking lot accessible from the alley. Pedestrians constantly walk in the alley to and from the hospital!

Getting from the back alley onto St. George's is already challenging. The city had to put up a no/parking parking sign on St. George's in front of the Royals condo complex because of the lack of visibility onto the street. And yet, people still park there obstructing visibility. More traffic from your proposed complex will just make traffic flow here more dangerous and challenging.

Have you actually spent a day or two sitting and assessing the congested traffic flow? Our driveway backs onto the alley and many times we have trouble getting out of our driveway into the alley due to parked trucks blocking our access. The alley is often down to one lane making it difficult to see around trucks, people speeding and cars trying to park in several of the back parking stalls. Adding another high rise to 128 East 14th will only make the situation worse. **Safety** is a huge issue. **And, this is without a steady stream of construction vehicles during the building of yet another tower!**

14th street is already a busy thoroughfare with delivery trucks, couriers, postal delivery trucks, parking spots, moving trucks (Onni condo building), commercial businesses, residential condominium entrances, Stella Jo Dean park plaza. This is a designated green street. Building another huge complex will add nothing to the green space. Another major concern is that this is where the RCMP building is situated right in front of the hospital. Emergency vehicles use the alley way and 14th Street East all the time. So, how will building another 22 storey multi unit complex help an already busy neighbourhood? Safety on our street and back alley are our major concern for both pedestrians and drivers in our neighbourhood!

Jennifer MacMillan  
East 14th Street  
North Vancouver, BC

**From:** Kevin Pollard  
**Sent:** April-29-24 10:07 AM  
**To:** Submissions  
**Subject:** Re: Zoning Amendment Bylaw No. 8960, 2024 120-128 East 14th Street

Hello, the proposed amendment to allow this development to go from the current maximum 4.0 FSR to 9.98 FSR should be rejected. This type of rezoning is abusive to the neighborhood and will not be tolerated by the electorate. Developers should not be able to pay to circumvent the existing zoning via density transfers to such an absurd degree.

This development is not a "preferable form" of development that should be granted this density transfer. The meagre 10% of 3 bedroom units being proposed will not be affordable to local families and it's laughable to posit that this is the type of housing stock voters and families want. The ground floor retail space and vibrancy argument for this project also doesn't hold up to scrutiny. If the council was concerned about "vibrancy and economic development of Central Lonsdale" they wouldn't be ignoring all of the currency exchanges starting to hollow out the retail landscape of the area.

No mandate from residents exists for this type of rezoning, regardless of any good intentions the council may have.

Thanks,

Kevin Pollard  
West 1<sup>st</sup> Street  
North Vancouver, BC

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**From:** Planning  
**Sent:** April-29-24 10:27 AM  
**To:** Submissions  
**Cc:** Matthew Menzel  
**Subject:** Opposition to rezoning of 120-128 East 14th St.  
**Attachments:** Current situation in 14th street east.jpg

Dear Mayor and Council

I am writing to express my deep concern about the proposed rezoning at 120-128 East 14th street. The density proposed is 2.5 X greater than what has been part of the Official Community plan (OCP). This will have a major impact on the neighbourhood.

The city has not provided a solution to effectively manage the day-to-day activity on this street with its current density level, therefore I am very worried about the following:

- Increased congestion on a small, one-block one way, street that already has four towers, multiple businesses, and child care centre, RCMP detachment, and a major hospital at the end of the street.
- With regular struggles to manage parking, pick ups, drop-offs, and deliveries, the increased density will result in further parking shortages for residents, visitors, and businesses. ( see picture attached the current situation).
- The planning department has not provided satisfactory answers to questions, nor provided an updated traffic study to reflect post-covid activity, or the increased traffic that will come from the nearly completed hospital expansion.
- I have not been provided with an analysis of the impact on the frequently used, and many times congested, laneways running parallel and perpendicular to this block that will be a key aspect of this proposed rezoning.
- When asked, the planning department has not provided a single example of any other street configured/populated like ours that has proven successful let alone one with more density proposed.
- The increased traffic will add to our safety concerns for all community members with a focus on pets, children, and our seniors.
- Impact on RCMP and emergency response times. RCMP and Lions Gate hospital staff were never surveyed to understand their concerns with more density and congestion.
- Prolonged noise disturbance affecting all residents especially since there is still not a solution in place for 132 E 14th which will also be a redevelopment target.
- Previously the city disallowed a parking entrance for CentreView from East 14th St. That was the correct decision. However, a laneway primarily fed by the same street is being proposed as a solution for this proposed increased density.
- There is no nearby green space which has resulted in nearby residents using our street as a bathroom for their dogs. The street is constantly littered with cigarette butts. Increased density will only make these problems worse.

Thank you for reading my concerns. The land use for this site should not exceed 3 FSR as originally noted in the OCP. Only new development proposals that are reasonable and responsible for this street should be considered.

I strongly urge you to reject this rezoning proposal.

Sincerely,

Amir Kaveie

East 14th Street, North Vancouver, BC



**From:** Richard Short

**Sent:** April-27-24 5:53 PM

**To:** Matthew Menzel; Rupinder Basi; Planning; Leanne McCarthy

**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Cappi; Gianrita Celotti; MGC; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estel Frias; Dr. Bgamini; Jaimi Gardner; Deb Hendol; Sasah Hougen; H Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Clau Martos; promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; merupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; meflem; elzom; Saadat Shamsi

**Subject:** Re: Outstanding since August 2023 re: 120 East 14th Street

+ CAO McCarthy for visibility on this string.

Following up on the below Matthew and Rupinder. Please advise.

I have included a small sampling of pictures that reflect the day to day reality on this unique, one-block, one-way street, plus the laneway that will be a key aspect of your 10 FSR proposed development (that would be overkill at the 3 +1 FSR in the OCP).

Lastly, it would be great if you could also explain what your plan is to rectify these current issues prior to ANY new development occurring in this neighbourhood. May I suggest you watch the interview Mayor Buchanan had with Richard Zussman on Global News. Much of what she said defending (rightfully) the city against the province's "naughty list" considering the lack of infrastructure and inability to absorb more reflected the situation we are at with what you have planned. Is there a reason we should feel differently when confronted with something that clearly defies reality?



Regards,

Richard Short  
East 14<sup>th</sup> Street  
North Vancouver, BC

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On Apr 19, 2024, at 9:40 PM, Richard Short wrote:

Matthew,

It has been more than a month since I asked you some questions in the below email. Is there a reason you did not reply with answers?

To keep things easy for all of us to follow, here they are again:

- Can you please provide a study for late 2023 or 2024 to reflect more realistic post-Covid travel volumes?
- Where is the analysis of the impact on the frequently used, and many times congested, laneways that run parallel and perpendicular to this block?
- Can you please point out where there is a study accounting for the additional traffic the major hospital expansion will bring?
- Did CNV reach out directly on any occasion to the RCMP to solicit feedback?

In light of the unusual verbiage that was recently removed from the developer's website, we now have three more questions for you:

- Did anybody outside of your department have an involvement with this proposed development?
- If so, who and for what reasons?

- Do you personally have a pecuniary or non-pecuniary interest with Three Shores ownership, staff, or employees/trades?

Please note if we do not receive a reply by EOD Monday April 22nd, we will have to assume you are unwilling to adhere to the city's commitment to be "accessible, transparent, accountable" and will act accordingly.

Regards,

Richard Short

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On Mar 11, 2024, at 5:24 AM, Richard Short wrote:

Thank you for your reply Matthew.

**There are still some unanswered questions.** To ensure there are no gaps I will consolidate all of the previously asked questions, along with the answers we have received, into a document that will make things much easier for all parties to track.

In the meantime, please see our comments and **follow up questions in bold font below.**

Regards,

Richard Short

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On Mar 7, 2024, at 4:14 PM, Matthew Menzel wrote:

Hi Richard,

Thank for your further enquiry regarding the application at 120-128 East 14<sup>th</sup> Street. I am writing to provide you with some more information in response to your unanswered questions. It is standard practice for the development planner assigned to the file to be the first point of contact for enquiries concerning development planning applications.

You asked about a CNV comparable for the 100-block of East 14<sup>th</sup>. A direct comparison does not exist, which is why the City does not rely on precedent or comparison as the basis for its planning analysis. Each development proposal is assessed on its own merit, as each site and development proposal has its own set of unique circumstances that need to be considered.

**Thank you for acknowledging a direct comparison does not exist in the City of North Vancouver. Can you point us to any comparable blocks in the Lower Mainland? If not, can CNV recognize why there is a deep concern with residents/businesses that our block is going to be a density and City Planning "guinea pig"?**

As part of our review of more complex planning applications, the City requires that the applicant submits a Transportation Study to support the proposed development. I have attached a copy of the Transportation Study prepared in support of this application as per your request, which has demonstrated that the existing road network can accommodate additional vehicle trips as a consequence of the proposal. This study has informed our assessment of the proposed

development. Furthermore, to reiterate the response provided previously, the City will continue to work to fine-tune the on-street requirements to ensure the multi-modal transportation needs are met.

**This Transportation Study is from 2021.**

**Can you please provide a study for late 2023 or 2024 to reflect more realistic post-Covid travel volumes?**

**Where is the analysis of the impact on the frequently used, and many times congested, laneways that run parallel and perpendicular to this block?**

**Lastly, can you please point out where there is a study accounting for the additional traffic the major hospital expansion will bring?**

With regards to the engagement with the RCMP, all nearby property owners are provided with an opportunity to submit feedback on planning applications in the City. The City did not receive any feedback from the RCMP on this specific project. It is worth noting that the RCMP has its primary access point from St. Georges Avenue, and emergency vehicles will logically use higher order roads in the case of emergencies (i.e. 13<sup>th</sup> Street & 15<sup>th</sup> Street).

**Recognizing the importance of the RCMP, did CNV reach out directly on any occasion to the RCMP to solicit feedback?**

**The City's perspective on what is "logical" when it comes to the Detachment's road usage is interesting in light of how much the RCMP rely upon this block (and the adjacent laneways) to return to the office, find parking, bring back prisoners, or go to the hospital with patient apprehensions. None of this takes into account the limited parking space and vulnerability the RCMP already have at their location. Increased density and traffic will only add to safety concerns for such valued members of our community.**

**I will forward this email to the appropriate RCMP personnel so they are aware of CNV's position.**

I also thought it would be prudent to reattach the City's previous responses to your enquiries for your reference, which have also addressed a number your queries.

**As stated above since there are still a number of unanswered questions, I will consolidate all of the questions that have previously been asked, along with the answers we have received, into a form that will make things much easier for all parties to track.**

In moving forward, please be advised that there will be further opportunities for public input once the project is referred to Mayor and Council for consideration. During the public input period, you will be able to submit written comments regarding the development, which will be sent directly to Mayor and Council for consideration. We would encourage you to submit your comments on this application as we move into the Council consideration process. It is anticipated the application will be occur in the next month or so.

**Thank you and actually that does lead to a very important question that is still outstanding: Does the Mayor, Council, or any city staff members have a pecuniary or non-pecuniary interest with Three Shores or its staff/employees?**

Please note, that City staff and the applicants consultant team will be available to answer any questions that arise from the written submission received at the Council meeting., that City staff and the applicants consultant team will be available to answer any questions that arise from the written submission received at the Council meeting.

Please let me know if you have any further questions.

Regards,

**Matthew Menzel** | Planner 3  
Planning & Development

**City of North Vancouver**

141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9

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**From:** Richard Short

**Sent:** March-06-24 6:51 AM

**To:** [gateway@cnv.org](mailto:gateway@cnv.org)

**Cc:** Alastair Meikem - Concerned CentreView Owner; Matthew Menzel; Garry Nishimura; Gianrita Celotti; Roberta Walker; Brad and Connie; Estela Frias; Tri Chiem; Brett Hurst; Patti Tracey; Eva Fleming; Shayan M; Jennifer Draper

**Subject:** Outstanding since August 2023 re: 120 East 14th Street

Hi Gateway team,

Can you please help us get a response?

Regards,

Richard Short

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On Mar 3, 2024, at 5:05 PM, Richard Short wrote:

Just following up Jennifer. Please advise.

+ [gateway@cnv.org](mailto:gateway@cnv.org) if Jennifer has been/is OOO can you please help us source the answers to these questions that have been outstanding since last summer?

Regards,

Richard Short

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On Feb 23, 2024, at 4:25 PM, Richard Short wrote:

Hi Jennifer,

Thank you for the reply. Unfortunately it does not address many of the questions that have been sitting with the City since last August. To ensure nothing is getting lost in this email string I will put those questions into a Word doc for you and the team to answer.



Also to keep things in order, I have looped in the others who were on the email to the Gateway team earlier today (that I assume prompted your response below).

Have a great weekend.

Regards,

Richard Short

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On Feb 23, 2024, at 3:06 PM, Jennifer Draper wrote:

Hi Richard,

Your messages have been forwarded along to me for response. I oversee the transportation planning team here at the City and our mandate is to set the long-range strategies and policies for mobility across all modes and to ensure that developments meet the aspirations and targets set by our policies. I wish to start out by acknowledging the long wait you've had in receiving this response and I thank you for your patience.

Development review is a multi-disciplinary collaboration amongst many City teams and as such it's important to maintain a clear channel of communications for the lead planner on the file as they also have the benefit of having all the information on hand. We work together closely and can be more responsive when this clear channel is maintained.

In addition to what was provided in the August response from our team, I'd like to share with you an update on one of the most impactful 'levers' we have within transportation planning which is curbside management for all modes. You may have seen a recent engagement on this from the City as we're preparing updated policy and implementation strategies for better managing our curbs and ensuring access is maintained for the most important activities such as access to businesses, deliveries and passenger loading. Staff will be at Council in the Spring with our draft policies and again in the Fall seeking approval on the plan and for implementation to start shortly after. All this to say that a lot of the challenges we face today are going to have stronger tools and levers in place to ensure our curbs meet the needs of a vibrant urban setting.

The application is expected to be at Council in April, subject to council agendas being finalized. Please continue to stay tuned to the website as we approach the spring and dates are solidified.

Thank you once again for your patience,

**Jennifer Draper** | Deputy Director  
Planning & Development

**City of North Vancouver**  
141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9

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**From:** Richard Short  
**Sent:** February-15-24 7:49 PM  
**To:** Matthew Menzel  
**Cc:** Garry Nishimura; Gianrita Celotti  
**Subject:** Re: PLN2022-00003 - 120 East 14th Street

Hi Matthew,

Did you follow up on the below email from last August? If so can you please send us the reply.

Regards,

Richard Short

On Aug 10, 2023, at 4:00 PM, Matthew Menzel wrote:

Good afternoon Richard,

Thank you for your further enquiry regarding the project at 120 East 14<sup>th</sup> Street.

A number of my colleagues are currently on vacation, and I will require their input in compiling a considered response to your email. I will endeavour to get the back to you in the next week or so.

Thank you for your patience, and please let me know if you have any further questions in the meantime.

Regards,

**Matthew Menzel** | Planner 2  
Planning & Development  
T 604 982 8337 | C 778 866 3103

**City of North Vancouver**  
141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9

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**From:** Richard Short  
**Sent:** August-05-23 11:05 AM  
**To:** Matthew Menzel  
**Cc:** Garry Nishimura; Gianrita Celotti  
**Subject:** Re: PLN2022-00003 - 120 East 14th Street

Hi Matthew,

Thank you for your reply. Please see my comments and questions in bold font in your email below below. I have looped in a couple of my neighbours who are also very interested in this initiative by the City.

Lastly I have attached a couple of pictures with the same time stamp on Wednesday the 2nd that shows the existing infrastructure cannot absorb the regular activity attached to real life on the tiny one block, one-way that is 14th St E. When the city signed off on Tower B for CentreView, assurances to the other buildings on the street were made that have proven to be false. This is why there is a healthy dose of skepticism that things will suddenly be fine with this extremely aggressive proposed development.

Regards,

Richard Short

On Aug 4, 2023, at 4:59 PM, Matthew Menzel wrote:

Good afternoon Richard,

Thank you for your inquiry on transportation impacts related to the proposed development at 120-128 East 14<sup>th</sup> Street. I am responding on behalf of the Transportation Planning division, who have assisted with compiling the below response.

**Thank you for your reply on behalf of the Transportation Planning division. Is it a standard practice that other divisions use you as their conduit?**

The development aligns with the City's Mobility Strategy, particularly within Strategy 8. Specifically:

1. The development is in a location well-served by frequent transit; and
2. The development is in close proximity to a range of services and amenities that can be reached by sustainable mobility choices.

**The above is understandable from an on-paper, strategy perspective, but still not address reality or the density question that was posed. Does the city have an example of a similarly populated, one block, one-way street, that ends with two major institutions where there has not been major issues?**

Furthermore, the development's transportation study indicates that the existing network can accommodate additional vehicle trips. The developer is committed to providing a range of transportation demand management measures, including additional bike storage for residents and visitors, and stalls equipped for electric bike charging stations to encourage use of sustainable mobility choices. All intersections reviewed as part of the transportation study are expected to operate with an acceptable level of service, and the signal at East 14<sup>th</sup> Street and St Georges Avenue will be upgraded at the applicants expense for improved safety.

**Again this may look good on paper but reality will be a much different thing. Are you able to point us to the transportation study and let us know what comps were used as proof this proposal is viable?**

As mentioned the other day, there will be further opportunities for public input once the project is referred to Mayor and Council for consideration. Specifically, there will be a public notice sent out to the community, which includes: a sign established on the site; a mail-out to nearby residents; and two advertisements in two separate publications of a local newspaper. During the public input period, you will be able to submit comments regarding the development, which will be sent directly to Mayor and Council for consideration. You will also have an opportunity to speak to the proposed development at a future Council meeting, if desired.

**This is great. Thank you for reiterating there will be visibility to the public on this initiative. Considering the developer's substantial donations to the Mayor and the conflict of interest that could arise from that, total transparency will be extremely important.**

At this point in time, I do not have a clear understanding of when this project will be presented to Mayor and Council, however I would encourage you to keep an eye on the project website for further updates.

**We will do that. Thank you.**

Please feel free to reach out to me should you have any further questions in relation this matter.

**Thank you for your ongoing responsiveness. Have a great long weekend.**

**Matthew Menzel** | Planner 2  
Planning & Development  
T 604 982 8337 | C 778 866 3103

**City of North Vancouver**  
141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9

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**From:** Richard Short  
**Sent:** August-02-23 9:38 AM  
**To:** Transportation; DevelopmentEngineering  
**Subject:** Fwd: 120 14th St E

Thank you. To be clear I am not against development on that site. My concern is how an already overstressed, one block, one-way street, that feeds the RCMP detachment and hospital, can absorb the major expansion of homes that has been determined. Is there any other street configured/populated like this in North Vancouver (or the Lower Mainland) that has proven successful with the level of congestion that will occur?

I look toward to hearing back from Development Services.

Regards,

Richard Short

On Aug 2, 2023, at 8:53 AM, Transportation wrote:

Hi Richard,

Thank you very much for contacting the City of North Vancouver. Please note that your email has been forwarded to our Development Services for their review and response.

If you would like to follow up with them, please contact the team at [developmentengineering@cnv.org](mailto:developmentengineering@cnv.org).

Thanks,

**Traffic Engineering Section | City of North Vancouver**  
Engineering, Parks & Environment  
E: [transportation@cnv.org](mailto:transportation@cnv.org)

141 W 14<sup>th</sup> Street, North Vancouver, BC | V7M 1H9  
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**From:** Richard Short  
**Sent:** August-02-23 7:13 AM

**To:** Transportation  
**Subject:** Fwd: 120 14th St E

Hi there,

Per the below email string, I spoke with Matthew Menzel. He informed me the Transportation department had signed off on the additional congestion on 14th St E that will come from the proposed development. Can you please let me know who oversaw that decision?

Regards,

Richard Short

Begin forwarded message:

**From:** Richard Short  
**Date:** July 28, 2023 at 7:26:45 AM PDT  
**To:** [Planning@cnv.org](mailto:Planning@cnv.org)  
**Subject:** Re: 120 14th St E

My apology. I just noticed Sara had sent me a reply with a couple links for feedback. However it did not specifically address the large development that will be a disaster on 14th. Can Matthew Menzel, the planning lead, please let me know when he can speak?

Regards,

Richard Short

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On Jul 28, 2023, at 7:21 AM, Richard Short wrote:

Hi again,

I am following up on the below. Can somebody please get back to me?

Regards,  
Richard Short

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On Jul 20, 2023, at 9:24 AM, Richard Short wrote:

Hi there,

After 5 months living in and loving North Vancouver (I purchased the SW facing view penthouse at CentreView) I was shocked to find out the city was considering another tower development along 14th St. There are major problems already due to the complex I live in stressing the street for parking and deliveries which has already led to safety concerns. Taking into account there is no nearby green space which has resulted in nearby residents using our street as bathroom for their dogs and the fact 14th is an artery for the RCMP and Hospital can somebody please explain how this application has been not already been squashed?

Regards,

Richard Short  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Garry Nishimura  
**Sent:** April-29-24 10:43 AM  
**To:** Submissions; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor)  
**Subject:** Objection to rezoning of 120-128 East 14th Street

Dear Mayor and Council,

I wish to express my opposition to the proposed design of the development at 120 East 14th Street.

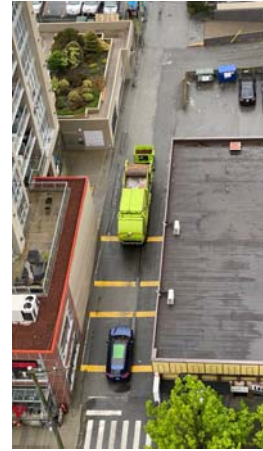
The 100 block of East 14th Street is a unique single-lane, one-way street featuring 4 residential towers, various businesses, a daycare, and terminating at the RCMP detachment and Lions Gate Hospital. The alleys between 14th and 15th Streets, designated as the entrance for the new tower, already serve 5 high-rises and numerous businesses, including those on Lonsdale.

The Integrated Transportation Committee expressed their concern about the increased congestion in the laneway and Central Lonsdale in general. While the Planning Department report states that the committee's other concerns were addressed by the developer, it gives no indication that the congestion concerns were remedied.

The current road network is already visibly struggling with vehicle traffic. This congestion is evident at present density levels, with frequent traffic backups and scarce parking. Commercial and home delivery vehicles frequently resort to illegal parking to conduct their services.

The new development's provision of fewer parking spaces than the zoning bylaws require for residents, visitors, and commercial units is likely to aggravate the existing problem.

The consultant at the developer's information session claimed that the lanes could accommodate two vehicles, which he suggested was evidence of adequate traffic flow. However, this model overlooks the actual dynamics and behavior in the laneways, such as the obstruction caused by large parked commercial trucks, the blockage of two-way traffic by waste disposal trucks servicing adjacent buildings, and the difficulty large trucks face when attempting to turn northbound from a westbound direction in the laneway, often requiring them to reverse twice. I have provided several photographs as evidence of the true traffic conditions in the lane and can provide documentation of similar congestion every day.



*Garbage disposal trucks blocking "2-way" traffic during pickup*



*Multiple commercial vehicles (no drivers in vehicles) completely blocking laneway*



*Home Hardware truck completely blocking traffic on E. 14<sup>th</sup> during delivery*

The developer boasted on their website that they were able to more than double the FSR for the site. Indeed, such a claim is noteworthy as it is excessively high. For comparison, Centreview across the street has an FSR of 4.9. Millennium, on the 4-lane 13th Street, underwent several redesigns to reduce its FSR to 4.95. And Elle, situated on 15th, another major road, was limited to an FSR of 7.05. It seems illogical, then, to position a building with an FSR of 9.98, which is 41% more than Elle's, on a single-lane street already experiencing congestion issues.

(As a side note, why was the value of the density transfer to this development only \$195 per square foot while it was \$250 per square foot for the Elle project? Is the City getting fair value for this transfer?)

East 14<sup>th</sup> Street was rejected as the entrance for the parking lot for Centreview. Surely the arguments that led to that decision are even more relevant now.

The development will also, in effect, "orphan" the aging building at 132 East 14th. When that site gets redeveloped, area residents will have to endure another round of construction. Why wasn't consideration given to having the three buildings all included in the current development plans? This would have made it possible to reposition the building and have a more manageable FSR spread across the 3 lots.

While I acknowledge the city's aim to enhance housing availability and I support sensible development, we must build responsibly to preserve a livable city. I must record my concern that the proposed density is too substantial for this location. It will diminish the quality of life for existing residents, negatively affect visitors and local businesses, and should not be approved in its current form.

Thank you for your consideration.

Garry Nishimura  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** faye lim  
**Sent:** April-29-24 10:52 AM  
**To:** Submissions  
**Subject:** Opposing Rezoning of 120-128 E. 14th St.

Mayor Buchanan and Council;

My name is Faye Lim and I live at E. 14<sup>th</sup> St.

I am writing to you to express my deep concerns regarding the proposed high density of the new development at 120-128 E. 14<sup>th</sup> St.

I am not objecting to new development but am very opposed to the scale of density that is being proposed.

Our one block one way street cannot manage an increased population of this magnitude. Already with no new development the increased traffic and parking is barely manageable and we do not have the infrastructure to support a 21 storey tower.

The original approval of a 6 storey building is feasible. This street is not the area for such a high density project.

I strongly urge you not to support the proposed higher density plan and consider the long term effect on our neighbourhood if this proposal is granted.

Please reject the rezoning of this project.

Thank you.

Faye Lim  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Estela Frias  
**Sent:** April-29-24 11:38 AM  
**To:** Submissions; pdejong@cnv; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Isawrenko@cnv.org  
**Subject:** Opposition to rezoning of 120-128 14th St. E

Dear Mayor Buchanan and NV city counsellors,

As a resident of the city of Vancouver, I am concerned by how the city has been excessively growing without regard to its constituents' quality of life. I support the city's desire to address the housing crisis in the province and approving the initial 6-storey building proposed by Three Shores. However, the proposed 21-storey building along a very narrow street that is an artery to the city's important service providers like Lions Gate Hospital, RCMP and childcare, will only exacerbate the problem that the residents have already been experiencing. I am sure most of you have observed and experienced the traffic congestion as well as the lack of parking on 14th street. I also believe that the proposed 21-storey building will not solve the housing crisis because only people with millions of dollars can afford to purchase a unit. The rich foreign investors, which are mostly from overseas, will again benefit from this development.

I am hoping the mayor, counsellors and its civil servants will hear their constituents who put them in power.

Sincerely,

Estela Frias  
East 14th Street  
North Vancouver, BC

**From:** Mia Kaye  
**Sent:** April-29-24 12:04 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); jmcllroy@cnv.org; Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Written Input - Land use issue with City of North Vancouver  
**Attachments:** PHOTO-2024-04-28-14-19-35.jpg

Dear Mayor & Council Members,

I have decided to send my written input, given public hearings are no longer allowed. I am a resident living at East 14th Street & I have also grown up living in North Vancouver for my entire life and have seen the ever changing city throughout the years.

Across the way is a proposed development site at 120-128 East 14th street per the Official Community Plan supporting a certain degree of height and density.

On the development site, 4.0 FSR means approximately 132 new residents and their vehicles entering the neighborhood. There are alternatives that fall within the FSR guidelines of the OCP.

For this site to support Three Shores' proposed 21-story tower (with double the main floor aka 22 floors) meaning more residents and vehicles, it will also then require an increased density/FSR approx. 9.98 FSR. This is 2.5x greater than the plan states. This is already on a one way street that ends with our RCMP & Lions Gate Hospital entrances, exits, and loading bays.

The week of April 22nd I received a notice of proposed rezoning Amendment Bylaw in the mail. It is clear that a Zoning Amendment must occur to support the 21-story, 164 strata units development.

Three Shores' proposed development requires this bylaw change, without this revised zoning, the developer will need to rethink and come up with a more appropriate vision for this site.

I ask that this proposal can be scaled-down and consider the well-being and interests of our community.

Thank you for your consideration.

Mia Kaye  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Kevin  
**Sent:** April-29-24 12:50 PM  
**To:** Submissions  
**Subject:** Concern about the new project on East 14th Street

Hi,

I'm the resident of centerview, we are truly worry about the new project near our community. We won't allow the new noise and affect our environment nearby.

Please reconsider your decision and listen our voice, please.

Thank you

Kevin Liu  
East 14<sup>th</sup> Street  
North Vancouver

**From:** Mon Seno  
**Sent:** April-29-24 12:59 PM  
**To:** Peter DeJong; Submissions  
**Subject:** Zoning Amendment Bylaw to rezone the property @120-128 East 14th Street.

To whom it may concern,

I am an owner of a unit in the Centerview Condos on 13th Street and Lonsdale.

The area around 13th, 14th, 15th and other streets have gotten so busy, so populated, densified, noisy ect.

I bought knowing that there was a fire department, hospital and police station around, but all this new construction is taking away the beautiful views and changing our landscape to an unfavorable one.

There is minimal parking as is.

I know this is all about profit and money and how much developers can make, but we're taking the beauty out of the North Shore by polluting it with high rises everywhere.

I've lived on the North Shore almost my entire life. I support change, but the North Shore is looking very different and not necessarily for the better.

Please reconsider the zoning of such a tall building.

Thank-you for your time and consideration

Monika Seno  
East 13<sup>th</sup> Street  
North Vancouver, BC

**From:** Janice Davies  
**Sent:** April-29-24 1:13 PM  
**To:** Submissions; Peter DeJong  
**Subject:** Proposed 21-Story Building at 128 East 14th Street, North Vancouver

I am very concerned about the proposal to build another big tower in this very busy sector. I live in the area and find that it is becoming very congested with so many high rises. Emergency response, Fire Department, RCMP and Lions Gate Hospital as well as local traffic use East 14<sup>th</sup> and the current number of residents and businesses create a major impact on the ability to get around. I think it would be best to disallow this size of building to support the density currently in the area.

I hope you reconsider this matter. Thank you.

Janice Davies  
East 13th Street  
North Vancouver, BC

From: Paula Phillips  
Sent: April-29-24 1:15 PM  
To: Peter DeJong  
Subject: Concern 120-128 East 14th Street

Good Day

The only concern I have is the difficulty for pickups and emergency services.

Taxis cannot stop on 13th Building A so when 14th has construction, how will services pick us up, it's bad already.

I do believe taxis should be able to pick up folk from Building A, especially when this New Building gets started.

I have no objections otherwise. We need housing.

It's progress.

Thank You kindly

Paula Phillips  
East 13<sup>th</sup> Street  
North Vancouver, BC

**From:** Farshid Tafazoli  
**Sent:** April-29-24 2:33 PM  
**To:** Submissions; Peter DeJong  
**Subject:** Urgent Request to Reconsider Zoning Amendment Bylaw for 120-128 East 14th Street

Dear Mayor and Esteemed City Council Members,

I hope this email finds you well. I am writing to express my deep concern regarding the proposed Zoning Amendment Bylaw for the property located at 120-128 East 14th Street in North Vancouver. As a resident of this vibrant community, I believe it is crucial to consider the long-term impact of any development on our neighborhood.

The proposed 21-storey tower, if approved, would significantly alter the character of our area. While I understand the need for growth and development, it is essential to strike a balance that respects the existing community fabric and addresses the concerns raised by residents.

Here are my specific concerns:

1. **Density:** The proposed density exceeds what was outlined in the Official Community Plan (OCP). Such a substantial increase in density could strain our already crowded neighborhood. We must prioritize the well-being of our residents and ensure that any development aligns with the community's needs.
2. **Traffic Congestion:** Our streets are already experiencing heavy traffic due to increased population. Adding more density without adequate transportation infrastructure could exacerbate congestion, impacting both residents and commuters. We need thoughtful planning to mitigate traffic challenges.
3. **Emergency Services:** The rapid population growth resulting from this development may strain emergency services such as ambulances and firefighting capabilities. We must consider the safety and well-being of our community members.

Given these concerns, I kindly request that you reconsider the proposed density outlined in the Zoning Amendment Bylaw. Let us prioritize sustainable growth that enhances our community rather than overwhelms it. I urge you to engage in a transparent dialogue with residents and provide an opportunity for public input before making a final decision.

As a concerned citizen, I appreciate your dedication to serving our community. I trust that you will carefully weigh the impact of this development on our neighborhood and make decisions that reflect the best interests of North Vancouver residents.

Thank you for your attention to this matter. I look forward to hearing from you soon.

Sincerely,

Farshid Tafazoli  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Deniz Saadat  
**Sent:** April-29-24 3:26 PM  
**To:** Submissions  
**Subject:** 120-128 East 14th St

Dear Sir/Madam,

I am Deniz Saadat Gharin, the owner of a property located at East 14th Street, and I am writing to express my strong disagreement regarding the proposed rezoning of the building situated at 120-128 East 14th St.

As you may know, the street is already narrow and busy, with a hospital and police station located nearby. Additionally, the area has limited parking spaces, and the existing businesses already struggle to accommodate their visitors. Adding a 21-story building to this neighborhood would only exacerbate the problem, and it would make it extremely difficult for residents and visitors alike to find a parking space.

Therefore, I strongly oppose the rezoning of this building and urge the city and bylaw officials to consider the community's peace and comfort when making their decision. Thank you for your attention to this matter.

Sincerely,

Deniz Saadat Gharin  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Maya Lange  
**Sent:** April-28-24 10:24 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Rezoning Vote May 6

I am emailing in opposition to your vote on May 6th to proceed with a rezoning of a property on 14th St. E. that will negatively impact our neighbourhood, and harm many of our neighbours.

The residents of North Vancouver are not going to put up with this type of behaviour. I expect you to vote against this clearly outrageous proposal. It is beyond comprehension that you would proceed without a public hearing - I know the NDP brought in legislation not requiring public hearings but as residents, we demand that you, as our local, elected officials, do the right thing.

Per Image 2, a Zoning Amendment must occur to support the proposed 21-story, 164 strata unit, development. Three Shores' proposed development requires this bylaw change. Without this revised zoning, the developer will have to back to the drawing board and come up with something more appropriate for the site. This is most likely our last chance stop this absurd proposal from irreparably damaging our neighbourhood.

Image 2

**city of north vancouver** Notice of Proposed Zoning Amendment Bylaw  
**No Public Hearing**  
Zoning Amendment Bylaw No. 8960, 2024  
120-128 East 14<sup>th</sup> Street

**Purpose:** The purpose of the proposed Bylaw is to **rezone** the subject property from a Central Lonsdale Mixed Use B (C-1B) Zone to a Comprehensive Development 760 (CD-760) Zone to **permit the development of a 21-storey, residential (164 strata units) and commercial (retail and office) mixed-use building.**

**Subject Lands:** The lands that are the subject of the proposed Bylaw are shown on the inset map, with a civic address of 120-128 East 14<sup>th</sup> Street.

**Legal Description:** Lot 9, Block 50, DL 549, Plan 5938  
Lot 10, Block 50, DL 549, Plan 5938

**Bylaw Readings:** Consideration of first, second and third readings of the proposed Bylaw will be at the **Regular Council Meeting on May 6, 2024.**

**Access Documents:** A copy of the proposed Bylaw is available for inspection online anytime at [cnv.org/PublicNotices](http://cnv.org/PublicNotices) from April 24 to May 6, 2024.

**Provide input:** **Written submissions only, including your name and address,** may be addressed to the Corporate Officer and sent by email to [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than noon on Monday, May 6, 2024,** to ensure availability to Council at the meeting. No Public Hearing will be held, as it is prohibited by section 464(3) of the *Local Government Act*. **No public in-person or online submissions on this matter will be heard at the Council meeting.**

**Watch the Meeting:** Online at [cnv.org/LiveStreaming](http://cnv.org/LiveStreaming) or in person at City Hall, 141 West 14<sup>th</sup> Street. Enter City Hall from 13<sup>th</sup> Street after 5:30pm.

**Questions?** Matthew Merzel, Planner, [planning@cnv.org](mailto:planning@cnv.org) / 604-982-9675

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9  
T 604 985 7761 / F 604 985 9417 / CNV.ORG

Maya Lange  
North Vancouver, BC

**From:** Harley Francik  
**Sent:** April-29-24 6:23 AM  
**To:** Larry Sawrenko; Submissions; Angela Girard (Councillor); Don Bell (Councillor); Holly Back (Councillor); Mayor Linda Buchanan; CAO; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Planning; Tony Valente (Councillor); Peter DeJong; Sean Galloway; Jessica McIlroy (Councillor); Shervin Shahriari (Councillor)  
**Subject:** Stop the re-zoning abuse without a public vote.

On Monday May 6th the mayor and city council will vote, WITHOUT a public hearing being held, on rezoning a property on 14th St. E. that will negatively impact our neighbourhood, and harm many of our neighbors.

The residents of North Vancouver are not going to put up with this type of behaviour and expect the council to vote against this rezoning abuse.

There should be no closed-door voting/meetings about things like this or other plans that can impact our neighborhood.

We should be able to have a public vote that is easily accessible.

Harley Francik  
Old Dollarton Road  
North Vancouver, BC

**From:** Walter and Kirsten Thoma  
**Sent:** April-29-24 4:46 PM  
**To:** Submissions  
**Subject:** 120-128 East 14th Street

Living in Centreview on East14th Street it is more than troubling to find that a 21 storey building might go up across the street from us. Traffic in our block is already problematic with the businesses there and the RCMP. Large trucks go in and out all day long.

We are very much opposed to this new development and hope you will consider our thoughts in the matter.

Respectfully submitted

Walter and Kirsten Thoma  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Gianrita Celotti  
**Sent:** April-29-24 5:13 PM  
**To:** Mayor Linda Buchanan; Linda Buchanan (Mayor); Leanne McCarthy; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Tony Valente (Councillor); Matthew Menzel; Rupinder Basi; Planning; Submissions; Peter DeJong; Sean Galloway; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** arminaz s; Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Cappi; Mauro Celotti; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estela Frias; Dr. Bgamini; Jaimi Gardner; Deb Hendol; Sasha Hougén; Harry Jarvis; Sue Knapp; Anne-Marie Lavalée; Faye Lim; Terry Marshall - Concerned CentreView Owner; Clau Martos; promeca; Ady Mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; Marlene Rupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Saadat Shamsi  
**Subject:** Vote "NO" to the proposed zoning amendment bylaw No. 8960, 2024

Good Morning Mayor Buchanan and Councillors,

After a weekend of experiencing (once again) the challenges of the congestion on 14th street, almost being run over by an impatient/frustrated driver, and hearing anxieties, not only from residents of the immediate neighbourhood but those from other areas of the North Shore, I feel compelled, more than ever, to express my deep concerns regarding the rezoning of the property located at 120-128 East 14th Street and to encourage you to **VOTE "NO"** to the proposed zoning amendment.

My concerns are that the application is not in keeping with the OCP, inconsistent with surrounding developments, offers no community benefit and the infrastructure cannot sustain such an increase in density while respecting the safety and well being of the residents and constituents.

More specifically:

- **This Proposal requires an OCP Amendment** : The "application" is described as a Zoning Bylaw Amendment to create a CD Zone that would permit the proposed development. The current OCP designations for the site is Mixed Use 4B (High density) which would allow for a max FSR of 3.00 plus and additional bonus of 1.0 if the project presents a benefit to the community (which by now it should be apparent it does not) . The application as it is at the moment proposes a 9.98 for the site. This is totally inconsistent with anything else in the area, 300% greater than the allowable FSR in the OCP and with no apparent community benefit. Allowing an FSR so high on this site upends all the hard work that was put into developing the OCP in the first place.

- **Traffic and Congestion:** I have the same concerns as those raised by Mayor Buchan in her interview, last week: “infrastructure, traffic congestion, road network, goods movement”.
  - 14th Street is a single lane, narrow, one way street that acts as a conduit to essential services such as the hospital and RCMP detachment.
  - The City previously rejected the parking entrance for CentreView be located on 14th street -how could it make sense for the tiny street to sustain the increased traffic now when it wasn't deemed able to do so pre-CentreView construction?
  - The traffic study that that was provided by the Planning Department is outdated and the conclusions drawn by the consultant are unrealistic. It was done in the midst of COVID when there was limited traffic in circulation and prior to the increased traffic due to the hospital extension. Additionally, it is using software that models situations completely ignoring real-life activity. It does not take into account behaviour in the laneways which include large parked commercial trucks reducing flow, 2-way traffic completely blocked by waste disposal trucks loading from adjacent buildings, large trucks unable to turn northbound while travelling westbound in the laneway without backing up twice, etc. I challenge you to monitor activity here for a day to see the congestion already present at current density levels.
  
- **Parking Requirements :** The current Public Transport hours of operation, routes and infrastructure to not support car free living on the North Shore. In contrast to the 1.25 parking stall allocation at CentreView this development proposed less than one stall per vehicle.
  
- **Considerations for adjacent buildings-** With the current proposal, it would appear that 132 East 14th Street could not be used for any future development that would comply with the OCP- why would you facilitate such a detrimental impact on a neighbouring property?

I encourage you to consider the long-term impacts of this development, which is not reasonable nor responsible.

I strongly urge you to reject this rezoning, not support "bending the rules" of the OCP and support adherence to the 3 FSR limit (maybe +1.0).

I am hopeful that the Council will decide against the proposed rezoning in favor of a solution that benefits the entire community.

Thank you for your consideration of these pivotal issues

Kind Regards

Gianrita Celotti  
 East 14<sup>th</sup> Street  
 North Vancouver, BC



**From:** Brad Connie Doerksen  
**Sent:** April-29-24 8:09 PM  
**To:** Submissions; Mayor Linda Buchanan; Planning  
**Subject:** Proposed Development on east 14th Street

I am writing to express my concern for this proposed development at 120-128 East 14th Street.

Building a 22 storey building on an already busy small single lane street that ends at the north shores only hospital is at best short sighted and in reality a potential disaster.

Small businesses, current residents and the whole neighbourhood will be adversely affected by this.

This street is already overloaded with traffic, pedestrians and commercial activities.

RCMP will have even more trouble getting in and out of their building to do their jobs and keep us safe. Fire trucks will be hampered, and ambulances trying to get to the hospital to save lives will also have even more difficulty.

any more congestion here around the hospital, fire department and police department is a bad and unsafe idea. We also feel this applies to any other future plans on corner of Lonsdale and 14th Street.

We are dense enough.

Kind regards

Brad and Connie Doerksen  
East 14th Street  
North Vancouver, BC

**From:** Amir Sabour  
**Sent:** April-29-24 8:46 PM  
**To:** Submissions; Peter DeJong  
**Subject:** 120-128 E 14th St N Van

Hi

My name is Amir Sabour residence of E 13<sup>th</sup> St N Van.

I'm afraid I have to disagree with this project because it will impact our neighborhood with many problems such as Traffic, Noise, and the area's density. The bigger problem we have is that we only have 2 bridges for transportation from Northshore to Vancouver and no one is talking about that.

The question is why?

Thanks

Amir Sabour  
East 13<sup>th</sup> Street  
North Vancouver, BC

**From:** Dalia A  
**Sent:** April-29-24 8:47 PM  
**To:** Submissions; Peter DeJong  
**Subject:** 21-storey building proposed in City of North Vancouver

Hello,

I am one of the resident in North Vancouver and live across what would be the new development. I would like to raise my concern and thoughts about what this new development would do to our already over populated and high traffic area. I understand that housing is needed for the city but we have not done enough to ensure adequate access to the area for the current residents. I would like to see what the city's plans are for this project and how they plan to protect the North Vancouver residents.

The area is filled with small businesses that have been around for decades and will no doubt not be able to continue. As a British Columbian I have always been conscious in supporting our residents and help their businesses and it's unfortunate to see the city come in and take that away.

Even if there is a fair payout for the owners, hundreds of workers will lose their jobs and ability to support themselves and families which will only add to our economic situation.

Please make sure that this is thoughtfully implemented and not just another development company that will benefit.

I look forward to seeing positive outcomes.

Regards,

Dalia A.  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Peter DeJong  
**Sent:** April-30-24 11:07 AM  
**To:** Clerks  
**Subject:** Development Proposal

I seem to be spending a lot of time reading about and trying to understand the various development proposals going on within our City. In viewing the proposed Zoning Amendment, Bylaw no. 8960, 2024 120-128 East 14th Street... I have to comment that I am strongly opposed to allowing this major change in the OCP to allow the height of this project. The City is already in chaos, and even though the Province is demanding density, this can still be achieved by keeping the project within the OCP. We do not want to become Metrotown with the shiny towers abound. Please deny this proposal and keep within the OCP.

Thank you

Brian Wawzonek  
East 6<sup>th</sup> Street  
North Vancouver, BC

**From:** Mike Jenkins  
**Sent:** April-30-24 9:35 AM  
**To:** Submissions  
**Subject:** 120-128 East 14th St

Do Not permit the development of this hi rise.  
We already have the Millenium Development that has put us through misery, and along with them, it will further add to the upcoming traffic chaos that is getting worse and worse in Central North Vancouver.

Mike Jenkins  
C. Jedrzycki  
T. Jenkins  
B. Jenkins  
East 13<sup>th</sup> Street  
North Vancouver, BC

**From:** Dennis Frias  
**Sent:** April-30-24 1:31 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Opposition to Ill-conceived 120-128 14th St E Development

Dear City of North Vancouver decision-makers,

By this time, you must be aware of the displeasure of a growing number of CNV residents opposed to the ill-conceived Three Shores' 21-storey tower that will be crammed in a tiny block along the already congested, narrow, one-way 14th St E, which city council has barred the public from making any references to in its council meeting on April 22nd, 2024, under the flimsy guise of 'provincial legislation', choosing to be oblivious to public sentiment.

Count me as another CNV resident who is dismayed by this unbridled development that undoubtedly will cast residents' and visitors' daily lives to a congestion bedlam. My wife and I chose to settle in this city by the mountains eight years ago, not only because of its character of being a haven across from Vancouver downtown, but also because of its sensible community development plan then, being naïve to the devices of a later city council that would wantonly play around with resident density ratios, without much regard for the well-being of existing residents, who, to jog the council's memory, are to whom it is accountable to (not to building developers). A more sensible, balanced, scaled-down project can likewise address housing issues.

Thank you.

A disenchanted resident,  
Dennis Frias  
East 14th Street  
North Vancouver, BC



**From:** Khosrow Khosravian  
**Sent:** April-30-24 2:45 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Peter DeJong; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Subject:** Opposition to Rezoning Proposal for 120-128 East 14th St.

Dear Members of the City Council,

I am writing to express my concerns regarding the proposed rezoning of 120-128 East 14th Street. As a resident of the area, I am deeply troubled by the potential implications this development could have on our community, particularly regarding the already narrow one-way street, and the critical access routes to our local hospital and police station.

The street in question is not equipped to handle the increased traffic that would inevitably result from the new development. This is not merely an inconvenience but a serious safety concern. In the event of an emergency, every second counts, and the additional congestion could impede the timely response of emergency services to the hospital or police station. Moreover, the character of our neighborhood is at stake.

I understand the need for development and appreciate the efforts to revitalize our city. However, it is imperative that such developments are in harmony with the existing infrastructure and community needs. I urge the council to consider the long-term impacts of this rezoning proposal on the accessibility of essential services and the quality of life for the residents.

Thank you for your attention to this matter. I trust that you will make a decision that prioritizes the well-being and safety of our community.

Sincerely,

Khosrow Khosravian  
East 14<sup>th</sup> Street  
North Vancouver, BC

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**From:** Brett HURST - ACIA  
**Sent:** April-30-24 3:32 PM  
**To:** Submissions; Mayor Linda Buchanan; Peter DeJong; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko; Jonathan Wilkinson; media@conservativebc.ca; Bowinn Ma; Pierre Poilievre  
**Cc:** Arminaz S; Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Lisa Cappi; Mauro Celotti; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estela Frias; Dr. Bgamini; Jaimi Gardner; Deb Hendol; Sasha Hougén; Harry Jarvis; Sue Knapp; Anne-Marie Lavalée; Faye Lim; Terry Marshall - Concerned CentreView Owner; Clau Martos; promeca; Ady Mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; Marlene Rupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; Elzom; Saadat Shamsi; finance@african-eagle.com  
**Subject:** Objection to proposed By-Law zoning change - 120-128 14th East, Lonsdale - request a "Vote Against"

To: *Mayor of City of North Vancouver & Councillors of the City of North Vancouver (CNV)*

Hello Mayor Buchanan / Councillor Back / Councillor Bell / Councillor Girard / Councillor McIlroy  
Councillor Shahriari / Councillor Valente

I would like to respectfully request you to seriously consider rejecting and voting against the proposed rezoning change at 120-128 East 14<sup>th</sup> Street which would result in a 2.5x greater FSR than what has been previously approved in the Official Community Plan (OCP).

**It is times like this that are crucial for your leadership, stewardship, accountability and guidance to either truly shine for the whole community you were elected to serve and approve what is reasonable and fair for the whole community as apposed to specific targeted contractors and/o developers whose objective is certainly not community based nor in the interest of so called "affordable housing" no matter how they try and dress it up, but simply profit for its immediate shareholders and associates - a decision on this bylaw rezoning will have far reaching consequences for the whole of North Vancouver and frankly wider North Shore. Setting a precedent such as approving this proposed rezoning bylaw change resulting in an exorbitan FSR of up to 9.98 is just not right.**

As I have said in previous communications, one understands that North Vancouver (and wide BC/Canada) is in a clear population and property trap with a shortage of "affordable housing" and hence I am not concerned with the construction of the originally approved existing official OCP 6-stor tower 3+1 FSR, as fair and reasonable and common sense. I ask the question as to why the CNV has

not offered other developers and sites along the whole of Lonsdale/St Georges/wider CNV etc to increase the new builds from a standard FSR to increase theirs to say up to 25-33% greater FSR as a general offer and not linked to the so called “density-transfer” loophole which is not transparent in the slightest – if affordable housing was really the issue, surely this would be a logical approach rather than isolated plots of land, all approved behind closed doors with no transparency and large sums of money being paid to the CNV? I am sure this would have tremendous support from the whole community if shared in a transparent manner.

Has the CNV also considered that the “orphaned old building” remaining between 130-134 E 14<sup>th</sup> Street could or should be taken into account at the same time as any Bylaw Rezoning change so that the whole section of 120-134 E 14<sup>th</sup> Street could be updated to allow say a 6-9 story building with an additional CNV sanctioned discretionary uplift on the current approved 3+1 FSR to say a maximum of 5 FSR (similar to the Onni/Millennium approvals) which would ensure the construction on this E14<sup>th</sup> Street is done once, and we are not having a repeat of this scenario in 5-10 years time when someone wants to “develop” the “orphaned building plot”? Also allowing an increase of 25%-33% to the FSR would in itself be a huge uplift to all developers and actually contribute more to the so called “affordable housing” shortage.

I understand that this proposed bylaw rezoning change and the 2.5x FSR upliftment is linked to a density transfer from the Harry Jerome area to 14<sup>th</sup> St E, resulting in a “undisclosed calculation” increase of the FSR, but it is unbelievable and very disturbing that the CNV cannot see that this 14<sup>th</sup> Street block cannot realistically cope with such a large development on such a small footprint on this small single lane one-way street that already has four large towers, multiple businesses, a vital child care centre, the RCMP detachment (who already have parking shortages and frequently use 15-minute drop off public parking by the hospital way in excess of the time limit [with no fines] to the detriment of actual sick patients/customers), and the major hospital at the end of the street which also has tremendous parking shortages for the aged and sick who actually need the ease of parking etc.

In addition to the above, there are many other points which are well known to the wider community which we believe the CNV is not taking into account such as no updated transport traffic study, the pressures on the infrastructure, obvious traffic congestion and poor road network to cope with increased population and construction and general goods movement, and the apparent total lack of specific and active engagement from the 14<sup>th</sup> St East RCMP and Lions Gate Hospital for the direct impact of this bylaw rezoning proposal and anticipated future development/s.

Please genuinely give this bylaw rezoning change tremendous consideration and vote against it for the good of the whole of the North Shore. It would be better to take more time and consider the options suggested above that to rush this through. Please!

Thank you.

Yours sincerely

Mr. Brett Hurst  
East 14<sup>th</sup> Street  
North Vancouver, BC

May 1, 2024

From

Sedik Ovanessain E 14th St.

Vic Jang E 14th St.

Our concern is the density.

The alley between 14th St and 15th Street is a huge problem ...Major congestion from delivery trucks every day. This alley is occupied by delivery trucks with no where to park.

Residence at 108 E 14th Street and customers who access the TD Parking from 14th and 15th St. have trouble getting through because these delivery trucks are blocking the alley. (Garbage trucks and local service trucks are blocked)

The City of North Vancouver should send someone out during the week to view this issue.

Also you are aware that East 14th Street is a ONE WAY Street. Every day some one is driving down the wrong way...an accident waiting to happen.

**From:** Mauro Celotti  
**Sent:** April-30-24 6:17 PM  
**To:** Mayor Linda Buchanan; Linda Buchanan (Mayor); Leanne McCarthy; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Tony Valente (Councillor); Matthew Menzel; Rupinder Basi; Planning; Submissions; Peter DeJong; Sean Galloway; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** arminaz s; Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Cappi; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Gianrita Celotti; Brad and Connie; Eva Fleming; denfri; Estela Frias; Dr. Bgimini Jaimi Gardner; Deb Hendol; Sasha Hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim; Terry Marshall - Concerned CentreView Owner; Cau Martos; promeca; Ady Mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; Marlene Rupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Saadat Shamsi; Roxy Mcgregor  
**Subject:** Vote "NO" to the proposed zoning amendment bylaw No. 8960, 2024

Dear Mayor and Council,

I am writing to impress on you my deep concern about the proposed rezoning at 120-128 East 14th Street and to strongly encourage you to vote against the proposed Bylaw amendment.

The density proposed is 2.5x greater than what has been part of the Official Community Plan (OCP). This will have a major impact on the neighbourhood.

Additionally, to suggest this does not impact the overall OCP for the City is a cop out.

Being retired and getting older, North Vancouver appealed to me. I wanted to be close to amenities, stores and the hospital without being stuck in the concrete jungle of Downtown .

I was encouraged by the robust planning outlined in the OCP. Now I'm feeling betrayed and disillusioned.

It makes no sense to me how you could possibly entertain this. Help me understand how you can allow a transfer of density from an area, not remotely connected to the location in question, a transfer which makes a mockery of the OCP, should not be allowed to occur without an OCP amendment and which will destroy the very fabric of the neighbourhood it is being transferred to.

You might chose to hide behind the Provinces ludicrous suggestions to increase housing and set housing targets (which in itself is insane) without providing support or funding for the City to build the infrastructure to support it. Consider who your "customers are", who the folks who have entrusted you

to make sound decision on their behalf are. If the Province is making bad, politically driven blanket decision without due diligence, should you stoop to those standards at the expense of the well being of your own constituents?

Increasing the density on this tiny one way one lane street will make it unsafe for its residents, little children being dropped off at daycare and have a negative impact on the efficient operation of the RCMP and ambulance trying to access the hospital.

To believe that the Traffic study, provided by the Planning Department, is an accurate representation of “real life” on this street and the lanes that surround it is delusional. It was conducted during COVID, prior to the opening of the Lions Gate Hospital expansion and does not account for this increased volume.

To tout this development as “affordable housing “ or suggest that it would in any way alleviate the housing crisis is a joke. A mortgage on a million dollar home will cost about \$7k per month. Please identify, which residents, who are seeking affordable housing can afford this?

Why not consider supporting and encouraging the redevelopment of numerous old 2-4 storey building. By doubling the height of these and marginally reducing the unit sizes would more than double the current inventory.

Thank you for reading my concerns.

I suggest that land use for this site should not exceed 3 FSR as originally noted in the OCP.

I strongly urge you to reject this rezoning proposal. **Vote “NO”!**

Thank you

Mauro Celotti  
Central Lonsdale Resident  
North Vancouver, BC



**From:** Iain McGregor  
**Sent:** April-30-24 7:27 PM  
**To:** Submissions  
**Subject:** Opposition to rezoning at 120-128 East 14 street

Dear Mayor and Council

As a resident of East 14 street on central Lonsdale, I find it very troubling on the proposal rezoning of 120-128 East 14 street. This an already congested area as it is!

With this project on a one way street, how does the city and developer plan to take more space away from this very narrow street? Just where are all the residents going to go for not only living but parking ?

I do not in my opinion believe this proposed plan has been thought through with great thought and diligence.

Thank you for reading my concerns.

Iain McGregor  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Jeff Ballou  
**Sent:** April-30-24 7:40 PM  
**To:** Submissions; Peter DeJong  
**Subject:** 120-128 Eat 14th Development? Proposal

I would have preferred to state my concerns about this development proposal directly to Council but it appears that the Mayor and Council have opted for obviating their responsibility to the residents of the City by hiding behind Provincial legislation. Likely legal, but not ethical, nor principled.

I add my concerns regarding this proposal to the many you have already heard: however, I include some that may not have been addressed previously. I am a resident of East 14th and directly affected by this development proposal.

My concerns are as follows:

1) The planner's claim that East 14th can accommodate the traffic generated by the development (192 vehicles, 258 bicycles) is laughable. Any casual observation would note that East 14th cannot handle existing traffic load. Playing around with the lights at St. Georges or Lonsdale as they intersect East 14th will not diminish the overload that presently exists. There are existing concerns regarding emergency access to the residents and businesses on East 14th as it is without adding another 192 vehicles.

2) The City seems to have opted for transferring density to obtain a \$18 million buyout from the developer. The legality of this transfer is subject to analysis. That said, part of the discussion in the Council's deliberations need to include how this \$18 million will be spent. The central Lonsdale corridor is bereft of green space with the small park between Centreview and the RCMP building being little more than a dog park and dog urinal (despite signage). Where is the green space for children to play, for seniors to enjoy nature, etc.? The current development proposal offers nothing in this regard and for this alone, the proposal should be rejected. Other than the \$18 million to the City, the proposal offers nothing directly to City residents in terms of meaningful amenities such as play/green space. Bike charging stations cannot be considered a public amenity given how few residents use this as a transportation option.

3) Construction Phase - many issues here! Casual observations of the build outs of the Millennium project on 13th (which we have endured for years!) and Elle on 15th and the one at 17th and Lonsdale show that it is unlikely that the current proposal could be built without closures of East 14th. Closures are, in fact, more likely in that East 14th is a single lane, unlike East 13th, etc. Any closure that compromises 24/7 emergency access (police, fire, ambulance, etc.) to the residents and businesses of East 14th should be seen as unacceptable and sufficient reason to nullify the development proposal. I question the City's liability if it approves a development that causes compromised emergency service that results in or exacerbates personal injury or property loss.

4) We have a grandchild attending the Cenreview daycare, which is directly opposite the proposed construction site. We are legitimately concerned regarding the noise, dust and fume pollution that our grandchild and her peers will be exposed to during the construction phase. Can these environmental assaults be truly mitigated? Likely not. Access to the daycare for pickup and dropoff will also be compromised. How is this concern being addressed? It is a fact that a preponderance of

construction workers smoke which becomes a further environmental risk (e.g. second hand smoke - see Health Canada) for children and residents.

5) You have probably heard about the economic impact on businesses on East 14th from these businesses. We share their concerns given our observations of the businesses in Vancouver that suffered, and continue to suffer, economically from build outs of the Canada Line and the Broadway corridor line. How does the developer address the inevitable economic losses of these businesses? Without a specific plan in this regard the proposal should be rejected.

6) Developers are quick to join the 'housing crisis' bandwagon that sees local councils throughout BC falling victim to its siren call. Logically, there is not a housing crisis, but there is an affordability crisis. Given international evidence it is not possible to build out of an affordability crisis. The most dense cities in the world are also the most expensive. Given this, is there a need for another 194 housing units in central Lonsdale? This question is pertinent given the sales history and lack of buy out of the Millennium, Elle and 17th Street developments.

We are hopeful that Council will listen and understand the legitimate concerns and issues regarding the East 14th development proposal and decide to reject the East 14th development proposal as it is currently proposed. That said, we also sadly expect that the current Council will be 'suckered' by the \$18 million buyout and will turn a blind eye to the legitimate reasons to reject the proposal.

Regards

Jeff and Susan Ballou  
East 14th Street  
North Vancouver, BC

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**From:** Terry Marshall  
**Sent:** May-01-24 12:47 PM  
**To:** Mayor Linda Buchanan; Submissions; Peter DeJong; CAO; Holly Back (Councillor); Don Bell (Councillor); agirard@cnv.orgg; jmcllroy@cnv.org; Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko; Jonathan Wilkinson; medi@conservativebc.ca; Bowinn Ma; Pierre Poilievre; Shervin Shahriari (Councillor)  
**Subject:** Proposed Development 120-128 East 14th Street

Dear Mayor and Council,

I am writing to you to express my Personal concern about the Proposed Development at 20-128 14<sup>th</sup> Street.

I have read a lot of the comments opposed to this Development and am in Agreement with most of them.

My opposition is more personal. I am 80+ years old and have just returned to North Vancouver after a 40+ year absence.

My location at 125 East 14<sup>th</sup> Steet has all of the attributes of the things I want to enjoy in my later years. A view of the Mountains, the Harbour, the Lions Gate Bridge etc.  
More specifically I value the easy access to the Shops, Restaurants, and Services that I need.

In regards to the Proposed Development, I am sure that the Florist and Retuarant will be able to find new local locations. However, the Bakery and Dry Cleaners are UNIQUE to the neighbourhood and I doubt ifthey will find new Local Home.

I understand it is the Mayor and Councils Duty and Responsibility to ensure the Communities Financial Viability and to keep moving the Community ahead,

I also, believe it is the Mayors and Council's responsibility to retain as much as possible of the Diversity and attributes that make the Upper Lonsdale Neighbourhood so uniques and a very desirable place to live.

In addition to all of the other very valid reasons to NOT approve this Development I would ask for you to include that we in this community will almost certainly lose 2 Unique Businesses that make Upper Lonsdale the great area that it is if the Development goes ahead as planned..

This Development is a Lose/Lose for the Community when there must be multiple other locations for the Development that will cause less disruption and loss for the 14<sup>th</sup> Street Neighbourhood.

Thank you on advance for your Help and Attention in this matter.

A concerned Owner.

Terry Marshall  
East 14th Street  
North Vancouver, BC

**From:** Anne-Marie Lavallee  
**Sent:** May-01-24 4:15 PM  
**To:** Brett HURST - ACIA  
**Cc:** Submissions; Mayor Linda Buchanan; Peter DeJong; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko; Jonathan Wilkinson; media@conservativebc.ca; Bowinn Ma; Pierre Poilievre; Arminaz S; Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Lisa Cappi; Mauro Celotti; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estela Frias; Dr. Bgamani; Jaimi Gardner; Deb Hendol; Sasha Hougen; Harry Jarvis; Sue Knapp; Faye Lim; Terry Marshall - Concerned CentreView Owner; Claumartos Mejia; promeca; Ady Mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; Marlene Rupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Saadat Shamsi; finance@african-eagle.com  
**Subject:** Re: Objection to proposed By-Law zoning change - 120-128 14th East, Lonsdale - request a "Vote Against"

Hello, City of North Vancouver,

My name is Anne-Marie Lavallee, and I own a condo at 308-125 14th Street, North Vancouver. I have resided in the same place since the summer of 2017.

I work the night shift and have had to endure noise pollution for the past six years.

It all began with concrete drilling in the highrise at 13th/Lonsdale, then spread to two other highrises on the 100 block of 15th Street East, and now it's the Millennium on the 100 block of 13th Street East.

So, we last had a break of noise (concrete drilling noise) six years ago.

Have you ever worked the night shift and tried to sleep while constructors drilled in the concrete? I wear earplugs and use a fan, but my building still shakes.

Also, if you allow the 21-story highrise on 120-128 14th Street East to be built, have you found alternative parking for the parents who pick up and drop off their toddlers at the YMCA daycare inside the Centre View?

Would you happen to know how the RCMP will have access to their six parking stops on 100 blocks of 14th Street East?

I see the ambulance going code 3 on 100 blocks East 14th Street. Where will they go if you allow three shores to block our Street for their construction?

Can three shores build their 21 Stories elsewhere? On a street where there are fewer highrises?

I sent numerous emails/feedback about this project to the city but await answers.

You could also remove the pique nique tables on Lonsdale, and there is no parking.

Anne-Marie Lavallee  
East 14<sup>th</sup> Street  
North Vancouver, BC

On Tue, Apr 30, 2024 at 3:32 PM Brett HURST - ACIA wrote:

To: *Mayor of City of North Vancouver & Councillors of the City of North Vancouver (CNV)*

Hello Mayor Buchanan / Councillor Back / Councillor Bell / Councillor Girard / Councillor McIlroy / Councillor Shahriari / Councillor Valente

I would like to respectfully request you to seriously consider rejecting and voting against the proposed rezoning change at 120-128 East 14<sup>th</sup> Street which would result in a 2.5x greater FSR than what has been previously approved in the Official Community Plan (OCP).

**It is times like this that are crucial for your leadership, stewardship, accountability and guidance to either truly shine for the whole community you were elected to serve and approve what is reasonable and fair for the whole community as apposed to specific targeted contractors and/or developers whose objective is certainly not community based nor in the interest of so called “affordable housing” no matter how they try and dress it up, but simply profit for its immediate shareholders and associates - a decision on this bylaw rezoning will have far reaching consequences for the whole of North Vancouver and frankly wider North Shore. Setting a precedent such as approving this proposed rezoning bylaw change resulting in an exorbitant FSR of up to 9.98 is just not right.**

As I have said in previous communications, one understands that North Vancouver (and wider BC/Canada) is in a clear population and property trap with a shortage of “affordable housing” and hence I am not concerned with the construction of the originally approved existing official OCP 6-story tower 3+1 FSR, as fair and reasonable and common sense. I ask the question as to why the CNV has not offered other developers and sites along the whole of Lonsdale/St Georges/wider CNV etc to increase the new builds from a standard FSR to increase theirs to say up to 25-33% greater FSR as a general offer and not linked to the so called “density-transfer” loophole which is not transparent in the slightest – if affordable housing was really the issue, surely this would be a logical approach rather than isolated plots of land, all approved behind closed doors with no transparency and large sums of money being paid to the CNV? I am sure this would have tremendous support from the whole community if shared in a transparent manner.

Has the CNV also considered that the “orphaned old building” remaining between 130-134 E 14<sup>th</sup> Street could or should be taken into account at the same time as any Bylaw Rezoning change so that the whole section of 120-134 E 14<sup>th</sup> Street could be updated to allow say a 6-9 story building with an additional CNV sanctioned discretionary uplift on the current approved 3+1 FSR to say a maximum of



5 FSR (similar to the Onni/Millennium approvals) which would ensure the construction on this E14th Street is done once, and we are not having a repeat of this scenario in 5-10 years time when someone wants to “develop” the “orphaned building plot”? Also allowing an increase of 25%-33% to the FSR would in itself be a huge uplift to all developers and actually contribute more to the so called “affordable housing” shortage.

I understand that this proposed bylaw rezoning change and the 2.5x FSR upliftment is linked to a density transfer from the Harry Jerome area to 14th St E, resulting in a “undisclosed calculation” increase of the FSR, but it is unbelievable and very disturbing that the CNV cannot see that this 14<sup>th</sup> Street block cannot realistically cope with such a large development on such a small footprint on this small single lane one-way street that already has four large towers, multiple businesses, a vital child care centre, the RCMP detachment (who already have parking shortages and frequently use 15-minute drop off public parking by the hospital way in excess of the time limit [with no fines] to the detriment of actual sick patients/customers), and the major hospital at the end of the street which also has tremendous parking shortages for the aged and sick who actually need the ease of parking etc. In addition to the above, there are many other points which are well known to the wider community which we believe the CNV is not taking into account such as no updated transport traffic study, the pressures on the infrastructure, obvious traffic congestion and poor road network to cope with increased population and construction and general goods movement, and the apparent total lack of specific and active engagement from the 14<sup>th</sup> St East RCMP and Lions Gate Hospital for the direct impact of this bylaw rezoning proposal and anticipated future development/s.

Please genuinely give this bylaw rezoning change tremendous consideration and vote against it for the good of the whole of the North Shore. It would be better to take more time and consider the options suggested above that to rush this through. Please!

Thank you.

Yours sincerely

Mr. Brett Hurst  
East 14<sup>th</sup> Street  
North Vancouver, BC

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**From:** Bahar Gamini  
**Sent:** May-01-24 6:10 PM  
**To:** Mayor Linda Buchanan; Linda Buchanan (Mayor); Leanne McCarthy; CAO; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Tony Valente (Councillor); Matthew Menzel; Rupinder Basi; Planning; Submissions; Peter DeJong; Sean Galloway; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** Arminaz S; Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett Hurst; Lisa Cappi; Bianca Charwood; Tri Chiem; Claudine Courvoisier; Fonze; Gianrita Celotti; Brad and Connie; Eva Fleming; denfri; Estela Frias; Bahar Gamini; Jaimi Gardner; Deb Hendol; Sasha Hougen; Harry Jarvis; Sue Knapp; Anne-Marie Lavallee; Faye Lim; Terry Marshall - Concerned CentreView Owner; Claumartos Mejia; promeca; Ady Mejia; Alastair & Meagan Meikem; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; Marlene Rupert; Mehdi Raz; Peyman Safari-Pour; Aryan & Shema Saifhashemi; Samira S; mesands; Ischne; Richard Short; Bianca & Ryan Charwood - Concerned CentreView Owners; Catherine Thomas; Meflem; elzom; Saadat Shamsi; Roxy Mcgregor  
**Subject:** Objection to proposed By-law zoning change

Dear Mayor and City Council Members of North Vancouver,

As a long-standing member of the North Vancouver community and the owner of two commercial units located at East 14th Street, I am writing to express my profound concern regarding the proposed rezoning at 120-128 East 14th Street and its potential impact on our neighborhood.

I want to reiterate the concerns I expressed during my previous emails and our in-person meeting two years ago regarding the proposed development, particularly the plan to erect a 21-story building in the heart of our community. I emphasized that such a drastic change to the landscape and skyline of our neighborhood could have far-reaching consequences for its overall aesthetic appeal and livability. Additionally, I highlighted the challenges of navigating the streets and infrastructure, particularly the increased congestion, reduced accessibility, and potential safety hazards for the neighbors.

Furthermore, I am deeply concerned about the fate of 132 East 14th Street amidst the development activities. It has been conveyed to me that developers are not currently interested in integrating 132 East 14th Street into their project because they already have desirable space for their development, and including 132 would primarily offer additional parking spots, which is deemed unnecessary given the city's efforts to encourage public transportation use.

This decision has left 132 East 14th Street in a precarious position. Two years ago, developers offered a lower-than-market-price for the property, which the owners rightfully declined. As a result,

132 East 14th Street is effectively orphaned, decreasing its value and potential for future development. This situation not only poses financial challenges for the property owners but also hampers the potential for responsible and cohesive development in the area.

In addition to these concerns, we are also deeply worried about the safety of our old building during the development process. The construction of a towering structure adjacent to our property raises legitimate fears about structural integrity, potential damage, and disruptions to our business operations.

In light of these concerns, I urge you to reconsider the current trajectory of the proposed development at 120-128 East 14th Street and to explore alternative solutions that prioritize the well-being and interests of all stakeholders involved. By incorporating 132 East 14th Street into the project, developers could explore a development plan that aligns with the parameters set forth in the Official Community Plan (OCP). This strategy would facilitate the renewal of the building while also offering additional housing opportunities that are in line with the capacity of 14th Street. By working collaboratively towards a more equitable and sustainable approach to development, we can ensure that North Vancouver continues to thrive as a vibrant and inclusive community for years to come.

Thank you for your attention to this matter.

Bahar Gamini  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Sue Knapp

**Date:** May 1, 2024 at 6:16:54 PM PDT

**To:** [info@nsmi.ca](mailto:info@nsmi.ca), "Linda Buchanan (Mayor)" <[lbuchanan@cnv.org](mailto:lbuchanan@cnv.org)>, "Don Bell (Councillor)" <[dbell@cnv.org](mailto:dbell@cnv.org)>, "Holly Back (Councillor)" <[HBack@cnv.org](mailto:HBack@cnv.org)>, "Shervin Shahriari (Councillor)" <[sshahriari@cnv.org](mailto:sshahriari@cnv.org)>, "Tony Valente (Councillor)" <[tvalente@cnv.org](mailto:tvalente@cnv.org)>, Angela Girard <[egirard@cnv.org](mailto:egirard@cnv.org)>, Jessica McIlroy <[jmcllroy@cnv.org](mailto:jmcllroy@cnv.org)>

**Subject:** Development Proposal 120-128 East 14th Street. "Zoning Amendment Bylaw No.8960, 2024"

Mayor and Councillors,

I reside at East 14th Street. The ongoing construction of condo towers and the densification of North Vancouver continues, especially on East 14th Street. I spoke at the recent city council meeting on April 8th regarding the negative impact this is having on sustainability and quality of life on the residents who live here.

Traffic noise from numerous delivery and recycling trucks are contributing to this decline. Trucks are constantly using East 14th and the adjacent laneway for deliveries starting at 7a.m. and continuing throughout the day. Traffic going south on Lonsdale has been rerouted from turning left on East 15th to turning left on East 14th adding to the current traffic load. The 21 story tower proposed for 120-128 East 14th will only add to the already strained neighborhood in terms of additional cars, trucks and traffic noise that will follow.

There are seniors living in my building, some have mobility challenges. Years ago a senior described East 14th as her "safe street" as traffic calming measures had been implemented (i.e. East 14th was made a one way street). Today the laneway crosswalk at East 14th going from Echo Cafe to Tooka Florist is hazardous at the best of times. If the development plan for 120-128 East 14th goes through, how will the additional traffic load on the lane and street be safely navigated?

East 14th is used by EHS on route to LGH Emergency and the RCMP on route to their detachment. Currently emergency vehicles can be blocked by traffic snarls as cars attempt to park. Just imagine how the additional traffic will negatively impact this problem.

I understand that development is inevitable, however where is the infrastructure to support this development plan? Has there been a current independent traffic study done in 2024 on East 14th? Considering the traffic congestion I observe on a daily basis, do the current traffic generating numbers support a lower FSR?

Please carefully consider the impact of this development on the current residents living on East 14th. This intersection is already strained to maximum capacity. VOTE NO!

Respectfully,

Sue Knapp  
East 14th Street  
North Vancouver, BC

**From:** Catherine Thomas  
**Sent:** April-28-24 3:58 PM  
**To:** bowinn.ma.mla@leg.bc.ca; Mayor Linda Buchanan  
**Subject:** Strongly opposed to Development Proposal 120-128 East 14th St North Vancouver

Attention Linda and Bowinn

I wish to convey my opposition to the Development Proposal 120 - 128 East 14 th St North Vancouver

I understand the government's push for more housing but clearly over the last decades the infrastructure as not kept up with the growth on the North Shore

I have worked @ LGH as an RN since 1977

My job in mental health requires in home visits

Travel to these homes after 1 pm is really challenging because of the daily traffic jams

Now a ridiculous 21 storey high rise is proposed for my street that I live on .

14 th street is a one way single lane road that accommodates our hospital and RCMP building.

The congestion will cause safety issues along with added pollution and a reduced quality of life.

I doubt very much that the average citizen could afford this housing.

Despite my opposition I am optimistic that the voiced concerns about such a proposal will be taken seriously

I look forward to a response to this email

Best regards

Cathy Thomas  
East 14<sup>th</sup> Street  
North Vancouver, BC

**From:** Amir Kaveie  
**Sent:** February-20-24 10:51 AM  
**To:** Mayor Linda Buchanan <[Mayor@cnv.org](mailto:Mayor@cnv.org)>  
**Subject:** huge building in front of us

Hi Kendra

**I am hoping my email can be seen by respectful Mayor Linda Buchanan in near future there will be very huge 21 story building exactly in front of us , our building in located at 125 14th street ease. This building has many many disadvantages per following:**

**The new construction is going to be at 120-128 14th street east.**

- 1: We already have 4 very large high rise buildings in this area including 15th street west ( will start soon), 13th street east under construction, 13th street east in the intersection area, our building 125 14th street east, so the area will be very much populated and not easy to live for residents.
  - 2: lots of retail stores will disappear without any replacement.
  - 3: Our view will be eliminated as this building is exactly in front of our eyes.
  - 4: lots of traffic will be added to this very small street and people can not go around easily.
  - 5: Many people as guests will not have the chance to park their car in 14th street as new building make it impossible.
- More and more disadvantages also will be created.

Sincerely

Amir Kaveie  
East 14<sup>th</sup> Street  
North Vancouver, BC



**From:** Sarah Curtin  
**Sent:** May-02-24 10:49 AM  
**To:** Submissions; Peter DeJong  
**Subject:** Proposed Development 14th St E - Congestion Concerns

Dear council members,

I am writing to express my deep concern at the proposed rezoning to permit a 21 storey development on 14th St E, Central Lonsdale. I understand many residents have already alerted you to the numerous and vast issues with this proposal and I will not recount of these in my email.

**I request from you a copy of the traffic study, to the extent that you are permitted to share it with the public.**

This tight one way street is already the subject of extreme congestion and lack of sufficient parking (and in such close proximity to Lonsdale, which is also very congested). This is a thoroughfare for hospital, police & fire fighters, not to mention large delivery trucks and vans, at all hours of the day and night. The additional developments taking place on 13th & 15th will place additional strain on this thoroughfare once they are populated. Access is already a nightmare for residents living here and access for emergency services are already at risk. Even the addition of the original 6 storey development would add serious additional strain to this street. No amount of redevelopment of this tight street will prevent it becoming impossible to access.

**At minimum, as reasonable, intelligent people acting in good faith towards your community and office, you must surely agree that an updated traffic study should be completed before any rezoning vote can take place.**

Kind regards,

Sarah Curtin  
East 14<sup>th</sup> Street  
North Vancouver, BC

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**From:** Richard Short  
**Sent:** May-02-24 11:24 PM  
**To:** Submissions; Peter DeJong; CAO; Mayor Linda Buchanan; Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Jessica McIlroy (Councillor); Shervin Shahriari (Councillor); Tony Valente (Councillor); Sean Galloway; Planning; gateway@cnv.org; Greg Schalk; Karyn Magnusson; Larry Sawrenko  
**Cc:** Borja Alvarez Menendez - Concerned CentreView Owner; Ian Bedford; Brett HURST - ACIA; Lisa Cappi; Gianrita Celotti; Mgc; Bianca Charlwood; Tri Chiem; Claudine Courvoisier; Fonze; Brad and Connie; Eva Fleming; denfri; Estela Frias; Bahar Gamini; Jaimi Gardner; Sohrab Ghassai - Concerned CentreView Owner; Deb Hendol; Sasha Hougén; H Jarvis; Mia Kaye; Sue Knapp; Anne-Marie Lavallee; Faye Lim - Concerned CentreView Owner; Terry Marshall - Concerned CentreView Owner; Claumartos Mejia; promeca; Ady Mejia; Alastair Meikem - Concerned CentreView Owner; Jade & Jake Moore; Shayan M; Donna Nishimura; Garry Nishimura; Patti Tracey; Sandy Reid; Roberta Walker; merupert; Mehdi Raz; Dr. Safaripour; Aryan & Shema Saifhashemi; Sohrab Ghassai - Concerned CentreView Owner; Samira S@live.ca; mesands; Ischne; Bianca & Ryan Charlwood - Concerned CentreView Owners; Catherine Thomas; Dr. Steven Weller; Meflem; elzom; Saadat Shamsi  
**Subject:** Vote NO to rezoning 120-128 East 14th St.

Mayor Buchanan and Council,

Reasonable people recognize the need for new housing development to support our growing population. However, is there not a responsibility that lies with all of you to ensure the growth is managed responsibly and without any appearance of impropriety?

Please take a step back and try to view things through the lens of your residents. How would you feel if:

- It seemed like a major campaign donor was given special treatment for a density transfer that increased the FSR on a site near your home by 2.5x. The OCP's documented 3.0 +1.0 FSR on your street was already unimaginable to you and your neighbours since it is a one-block, one-way street that has four towers and is struggling with congestion, parking, loading/unloading issues, and the safety concerns that have arisen due to those points. In addition, the street terminates at the RCMP detachment, and Lions Gate Hospital, with the unique emergency traffic flows that go along with those institutions. No post-Covid traffic study had been provided that recognized the heavy use of the adjacent laneways or included the increased traffic that will occur when the hospital expansion is completed.
- A meeting to approve a density transfer to support an unprecedented 9.98 FSR occurred in a closed session and was done with a developer who boasted on its website of leverage and access with the city.

- Despite the verbiage in the OCP stating density transfers require a rezoning with a Public Hearing, the city seemed to hide behind ambiguous new provincial legislation and stifled any public input about a highly controversial development.
- Except for a few key people, a promise on the city's website to be accessible, accountable, transparent, and communicative, was the opposite for each of those commitments.
- More than a dozen requests to city leadership to answer yes or no whether they have a pecuniary or non-pecuniary interest with the developer were ignored.
- You found out the OCP's land use can be overridden by a backroom deal, and it does not even require an amendment to the Official Community Plan.
- A major purchase decision for a specific neighbourhood and home was based on a set of facts that suddenly changed behind closed doors. Based on minimal and lacking feedback from the planning department the project appeared to have been rubber-stamped from the moment it landed with them.
- Your major investment immediately loses value and your quality of life, due to construction disturbances, will be upended for years to come.
- An "orphan" site, that should have been included in the final round of development on your street, will ensure the construction disruption continues well beyond 2030.

On Global's Focus BC, Mayor Buchanan did an admirable job articulating her concerns after the province unfairly put the city on its "naughty list". Many of those are the same fears we have for our neighbourhood. Infrastructure, goods movement, collaboration, and undue tension are just a few of the worries we have in common. This is not a NIMBY situation. Nobody I know is against new development on the site. However, we are against an unreasonable FSR that will make our tiny, unique street a guinea pig that any rational person can see is not capable of sustaining what is proposed.

I do not want to be cynical and believe many of you are working for the greater good in a job that is for the most part thankless. However, the above points, along with the constant, and growing chatter about some officials at the city is disconcerting. I sincerely hope none of the insinuations are true.

Vote **NO** to the rezoning. Go back to the drawing board. Spread the extraordinary density transfer proportionately across numerous sites so a single neighbourhood does not bear the brunt of something that is on its face is ill-conceived, and at its worst casts a doubt on the integrity of our city's leadership.

Please do the right thing so my friends and I can go back to our lives, and you can focus on more important matters than battling over a patently absurd development proposal that has such bad optics.

Thank you.

Richard Short  
 East 14<sup>th</sup> Street  
 North Vancouver, BC

## FREQUENTLY ASKED QUESTIONS – 120 EAST 14<sup>TH</sup> STREET

### **How does this application comply with the development review process?**

This application is being processed in accordance with the *Local Government Act* and the City's standard process for rezoning applications. To date this has included a comprehensive interdepartmental review of the project, developer-led consultation and presentation to City advisory committees (Advisory Design Panel & Integrated Transportation Committee). The next step in the process is formal consideration of the application by City Council.

As part of this consideration, a staff report will be provided which will provide a staff recommendation based on

- how the proposal aligns with City policies and objectives
- an overview of the development proposal and key land use considerations
- a summary of public and committee engagement

Council will consider the information provided by staff, as well as the public correspondence when making their decision on this proposal. To date, no decisions have been made on this application.

### **Why is there no public hearing?**

Pursuant to recent Provincial amendments to the *Local Government Act*, which came into force on November 30, 2023, the City must not hold a public hearing on a proposed rezoning bylaw if:

- an OCP is in place for the subject site
- the bylaw is consistent with the OCP
- the purpose of the bylaw is to permit a development that is residential and that residential component is at least half of the gross floor area for the development.

Since all of these factors apply to this development, no public hearing will be held, consistent with the requirements of the *Local Government Act*.

### **What will be the impacts on local traffic and parking?**

As part of our review of more complex planning applications, the City requires the applicant to submit a transportation study to show how the proposed development project will affect the transportation network. The applicant in this case prepared a [Transportation Study in October 2022](#), which demonstrates that the existing road network can accommodate additional vehicle trips once this project was built. This study has been reviewed by the City's Transportation Planning team.

With regards to engagement with the RCMP, all nearby property owners are provided with an opportunity to submit feedback on planning applications in the City. The City did not receive any feedback from the RCMP on this specific project. It is worth noting that the RCMP has its primary access

point from St. Georges Avenue, and emergency vehicles typically use higher order roads in the case of emergencies (i.e. 13th Street & 15th Street).

The application generally meets the parking and loading requirements of the Zoning Bylaw apart from some minor variances to resident, commercial and visitor parking.

**Please explain the OCP land use designation and density transfer.**

In accordance with the OCP, City Council may authorize a density transfer between properties, which permits additional density above the maximum specified in the OCP being achieved on a site, where the building height limits are not exceeded. The height identified in the OCP for the site is 68 metres or approximately 22 storeys. The OCP Schedule A Land Use Map can be accessed at the following link:

[https://gisext2.cnv.org/PDFMaps/Schedule%20A%20Land%20Use\\_11x17.pdf](https://gisext2.cnv.org/PDFMaps/Schedule%20A%20Land%20Use_11x17.pdf)

This process does not require an OCP amendment, as such transfers do not involve an increase in the total development potential in the City, but rather the relocation of density allowance from one parcel to another.

The density transfer is facilitated through a rezoning application as currently proposed for Council consideration. As outlined above, recent changes to the *Local Government Act* prohibit the City from holding a Public Hearing for this project. The provisions of the *Local Government Act* take precedence over the current regulations in the OCP, which previously required a Public Hearing for Density Transfers.

The proposed transferred density is from the CD-165 zone from the lands being developed for the City's new Harry Jerome Community Recreation Centre. The increased density will allow for the delivery of new employment generating uses and residential units, which would contribute to economic growth along the Lonsdale Corridor and provide new housing stock in the City.

The proposed density transfer includes a cash contribution of \$195 per square foot of buildable area above 4.0 FSR (amounting to an estimated \$18,282,030), which will be allocated toward the Civic Amenity Reserve Fund, and would be directed to projects to support the delivery of new amenities and programmes to serve our growing community, for example the Harry Jerome Community Recreation Centre, new parklands, etc. The application is also providing a community benefit contribution of \$3,138, 200 as per the City's Density Bonus and Community Benefits Policy.

**How will the building height affect view corridors?**

The tower positioning and footprint have been designed to minimize potential impacts on view corridors to the fullest extent possible. This is addressed through floorplates that have a narrow width of 19.8 metres (65 feet) to the northern and southern elevations, which is less than the 30.48 metres (100 feet) prescribed for the C-1B zone.

It is important to consider that any decrease in building height would result in a wider floorplate, causing more adverse impacts on view corridors. The slender tower format is deemed appropriate as it will lessen impacts on view corridors for surrounding residents.

While there is likely to be some impact on existing views, the OCP does not guarantee that views will be preserved. This is especially true in the Regional City Centre that is envisaged to accommodate regional-scale employment, services, business and commercial activities, along with high density housing.

**What infrastructure is being planned to accommodate more residents?**

The proposed development will be required to provide off-site streetscape improvements, consistent with the City's Subdivision and Development Control Bylaw. This includes the reconstruction of the frontage works along East 14th Street with new sidewalks, street lighting, street furnishings, and a seating area. Existing street trees will be retained and additional street trees will be provided. The development will also repave East 14th Street and the adjoining laneways to the northern and western boundaries.

In addition to the bylaw required infrastructure upgrades, the applicant will be required to complete the design and construction of a full traffic signal at the intersection of East 14th Street and St. Georges Avenue, and has agreed to make a financial contribution of \$59,621.00 towards future upgrades to the sanitary sewer main on East 14th Street.

These requirements will be secured through legal agreements with the City to ensure that they are completed should this project move forward.

**How will the construction impacts to the community be managed?**

Should this application move forward, the City's construction administration process includes several measures aimed at mitigating impacts to the neighbouring community. For example, Building Permit applications for large-scale projects like this one are required to include both a Construction Management Plan and Traffic Management Plan, detailing the strategy for the delivery of materials to the site, staging areas, and contractor parking. Further, all projects are required to comply with the Noise Control Bylaw, regulating both the hours of construction and noise levels. Finally, the City's Construction Site Ambassador Program provides dedicated staff to routinely observe site activity, liaise with construction managers, and address potential issues on a proactive basis.