



**AGENDA FOR THE REGULAR MEETING OF COUNCIL TO
COMMENCE AT 6:00 PM, IN THE COUNCIL CHAMBER, CITY
HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, OCTOBER 28, 2019**

**MONDAY, OCTOBER 28, 2019
COUNCIL MEETING – 6:00 PM**

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, October 28, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, October 22, 2019

PUBLIC INPUT PERIOD

CONSENT AGENDA

Item *3 is listed in the Consent Agenda for consideration.

BYLAW – ADOPTION

- *3. “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan)

REPORTS

4. Cycling Without Age Update
5. Funding Reallocation: Watermain and Sanitary Sewer Replacement 100 Block East 15th Street

PUBLIC HEARING – 730 Westmoreland Crescent

BYLAW – THIRD READING

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent)



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Regular Council Meeting Agenda – October 28, 2019

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PUBLIC HEARING – 339 East 13th Street

BYLAW – THIRD READING

7. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Hearth Architectural Inc., 339 East 13th Street, CD-720)

PUBLIC MEETING – 658 East 3rd Street

MOTION

8. Temporary Use Permit No. TUP2019-00001 (658 East 3rd Street)

PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

CITY CLERK’S RECOMMENDATION

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Section 90(1)(e) [land matter].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

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CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, October 28, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, October 22, 2019

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.”

The time allotted for each speaker appearing before Council during the Public Input Period is two minutes, with the number of speakers set at five persons. Speakers’ presentations will be audio and video recorded, as well as live-streamed on the Internet, and will form part of the public record.

To make a submission to Council during the Public Input Period, a person must complete the Public Input Period sign-up sheet at City Hall prior to the Regular Council Meeting. A person who fails to complete, or only partially completes, the Public Input Period sign-up sheet will not be permitted to make a submission to Council during the Public Input Period. The sign-up sheet will be available on the table in the lobby outside the Council Chamber from 5:30 pm until 5:55 pm before a Council meeting.

When appearing before Council, speakers are requested to state their name and address for the record. Speakers may display materials on the document camera at the podium in the Council Chamber and provide written materials to the City Clerk for distribution to Council, only if these materials have been provided to the City Clerk by 4:00 pm on the date of the meeting.

The Public Input Period provides an opportunity for input only, without the expectation of a response from Council, and places the speaker’s concern on record.

Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items as listed in section 12.25(2).

Speakers are requested not to address matters that refer to items from a concluded Public Hearing/Public Meeting and to Public Hearings, Public Meetings and Committee meetings when those matters are scheduled on the same evening’s agenda and an opportunity for public input is provided when the particular item comes forward for discussion.

Please address the Mayor as “Mayor, followed by his/her surname” or “Your Worship”. Councillors should be addressed as “Councillor, followed by their surname”.



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CONSENT AGENDA

Item *3 is listed in the Consent Agenda for consideration.

RECOMMENDATION:

THAT the recommendation listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAW – ADOPTION

- *3. “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan)

RECOMMENDATION:

THAT “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

END OF CONSENT AGENDA

REPORTS

4. Cycling Without Age Update – File: 16-8330-05-0001/1

Report: Planning Assistant, Transportation, October 16, 2019

RECOMMENDATION:

PURSUANT to the report of the Planning Assistant, Transportation, dated October 16, 2019, entitled “Cycling Without Age Update”:

THAT Council direct staff to make the necessary arrangements to allow Cycling Without Age trishaws to use designated on- and off-street bicycle routes and other multi-use paths identified in the report.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
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REPORTS – Continued

5. Funding Reallocation: Watermain and Sanitary Sewer Replacement 100 Block East 15th Street – File: 11-5600-01-0001/2019

Report: Manager, Engineering Planning and Design, October 24, 2019

RECOMMENDATION:

PURSUANT to the report of the Manager, Engineering Planning and Design, dated October 24, 2019, entitled “Funding Reallocation: Watermain and Sanitary Sewer Replacement 100 Block East 15th Street”:

THAT \$228,000 of funding approved in the 2018 Water Utility Capital Plan for watermain replacement on the 1000 Block Heywood Street be reallocated to fund watermain replacement on the 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT \$47,000 of funding from Project 56100 Surplus from Completed Water Projects be reallocated to fund watermain replacement on the 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT \$155,000 of funding approved in the 2019 Sewer Utility Capital Plan for sanitary sewer replacement on St. Davids Avenue between East 1st Street and East 3rd Street be reallocated to fund sanitary sewer replacement on 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT the watermain replacement on 1000 Block Heywood Street be included for consideration in a future Water Utility Capital Plan;

AND THAT \$155,000 of funding for sanitary sewer replacement on St. Davids Avenue between East 1st Street and East 3rd Street be included for consideration in the 2020 Sewer Utility Capital Plan.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
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PUBLIC HEARING – 730 Westmoreland Crescent – 6:00 PM

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent) would rezone the subject property from RS-1 (One-Unit Residential 1) to RS-2 (One-Unit Residential 2) to allow for a subdivision to create 2 lots with a front width of 9.97 metres (32.7 feet). A total of 4 surface parking spaces are proposed, 2 with access from the rear lane for the west lot and 2 with access from Alden Lane for the east lot.

Bylaw No. 8716 to be considered under Item 6.

AGENDA

Staff presentation
Applicant presentation
Representations from the public
Questions from Council
Motion to conclude the Public Hearing

BYLAW – THIRD READING

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716”
(Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.,
730 Westmoreland Crescent)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716”
(Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730
Westmoreland Crescent) be given third reading.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Regular Council Meeting Agenda – October 28, 2019

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PUBLIC HEARING – 339 East 13th Street – following Item 6

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Hearth Architectural Inc., 339 East 13th Street, CD-720) would rezone the subject property from a Two-Unit Residential 1 (RT-1) Zone to a Comprehensive Development 720 (CD-720) Zone to permit the development of 3 units, consisting of a duplex plus infill building. The permitted density is 0.5 times the lot area (FSR) and the permitted maximum building height of the structures is 10.1 metres (33.1 feet). The proposed development includes 4 parking spaces.

Bylaw No. 8717 to be considered under Item 7.

AGENDA

Staff presentation
Applicant presentation
Representations from the public
Questions from Council
Motion to conclude the Public Hearing

BYLAW – THIRD READING

7. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Hearth Architectural Inc., 339 East 13th Street, CD-720)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Hearth Architectural Inc., 339 East 13th Street, CD-720) be given third reading.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Regular Council Meeting Agenda – October 28, 2019

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PUBLIC MEETING – 658 East 3rd Street – following Item 7

Temporary Use Permit No. TUP2019-00001 would permit a single-storey sales centre, 185.8 sq.m. (2000 sq. ft.), with 4 parking stalls to be accessed off the rear lane.

AGENDA

Staff presentation
Representations from the public
Questions from Council
Motion to conclude the Public Hearing

MOTION

8. Temporary Use Permit No. TUP2019-00001 (658 East 3rd Street)
– File: 09-4520-20-0005/2019

RECOMMENDATION:

THAT Temporary Use Permit No. TUP2019-00001 (658 East 3rd Street) be issued to 1072555 B.C. Ltd., Inc. No. BC1072555, in accordance with Section 493 of the *Local Government Act*;

AND THAT the Mayor and City Clerk be authorized to sign and seal Temporary Use Permit No. TUP2019-00001.

PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

CITY CLERK'S RECOMMENDATION

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Section 90(1)(e) [land matter].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING GUIDELINES

Public Hearings are generally held on the third Monday of the month and are included as part of a Regular Council agenda. Public Hearings are governed by the provisions of the *Local Government Act*.

A Public Hearing is held for the purpose of allowing the public an opportunity to make representations to Council – in person at the Public Hearing or by written submission – on a proposed amendment to the City's Official Community Plan and/or Zoning Bylaw. All persons who believe their interest in property is affected by a proposed bylaw(s) are afforded a reasonable opportunity to be heard, voice concerns or present written submissions regarding matters contained within the bylaw(s).

All written submissions and representations made at the Public Hearing form part of the official public record. Minutes of the Public Hearing and a video recording of the proceedings are posted on the City's website at cnv.org.

A sign-up sheet is located outside of the Council Chamber 1.5 hours prior to the start time of the Public Hearing and members of the public may sign the sheet if they wish to speak at the Public Hearing. The sign-up sheet remains available until the commencement of the Public Hearing and is restricted to "In Person" sign-up only. Other persons are not permitted to sign the sheet on another speaker's behalf. Speakers cannot pre-register.

Please restrict comments to the issues related specifically to the proposed application; do not divert to other matters and avoid repetitive comments.

Speakers are requested to provide their name and address for the public record and are provided up to 5 minutes to present their comments. After all people listed on the sign-up sheet and anyone else in the gallery have spoken a first time, speakers may come forward to speak a second time if they have any new information to provide. The Chair (Mayor) may restrict the speaking time to a defined number of minutes and may also impose other regulations. Procedural rules for the conduct of the Public Hearing are set at the call of the Chair.

Everyone shall be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views known. All persons in the gallery are requested to refrain from applause or other expressions, either showing support or opposition to an application.

If a large turnout for the Public Hearing is anticipated, separate sign-up sheets may be provided for speakers – in support and in opposition/with concerns. The sign-up sheets are monitored by City staff. The Chair will call each speaker to come forward by name, alternating between the sign-up sheets.

Continued...



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING GUIDELINES (continued)

A document camera is available should a member of the public wish to display hardcopy material/information on the monitors in the Council Chamber. The document camera can also display information from an iPad or tablet. If a member of the public wishes to provide written material to the Mayor and Council, it must be handed to the City Clerk for distribution to Council.

Members of Council may ask questions of a speaker in order to clarify or expand on a speaker's submission. However, the main function of Council members is to listen to the views of the public regarding the change of land use in the proposed bylaw(s). It is not the function of Council to debate the merits of an application with speakers at the Public Hearing. Questions from members of the public and Council must be addressed through the Chair.

When the Public Hearing concludes, Council moves a motion to adjourn. No further information or submissions can be considered by Council once the Public Hearing is closed.

Following adjournment of the Public Hearing, the Regular meeting reconvenes and the Zoning and/or Official Community Plan bylaw amendment(s) are discussed and debated by Council. Consideration of third reading and discussion of the bylaw(s) usually takes place at the same meeting as the Public Hearing, but may occur at a subsequent meeting.

If there is insufficient time for the Public Hearing to be conducted in one evening (i.e. to accommodate a large number of speakers), Council may recess the Public Hearing to a specified date, time and place.

Council will consider final adoption of the bylaw(s) after third reading and once all covenants and legal agreements are in place. Adoption usually occurs at a subsequent meeting of Council; however, a Zoning Bylaw amendment or Official Community Plan Bylaw amendment may be adopted at the same meeting as the Public Hearing if all legal requirements have been satisfied.



MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER, CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON TUESDAY, OCTOBER 22, 2019

PRESENT

COUNCIL MEMBERS

Mayor L. Buchanan
Councillor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor T. Hu
Councillor J. McIlroy
Councillor T. Valente

STAFF MEMBERS

L. McCarthy, CAO
K. Graham, City Clerk
C. Baird, Deputy City Clerk
J. Peters, Assistant City Clerk
B. Pearce, Director, Strategic and Corporate Services
H. Reinhold, Deputy Director, Strategic and Corporate Services
B. Themens, Director, Finance
L. Garber, Deputy Director, Finance
D. Van Heerden, Manager, Financial Planning
R. Skene, Director, Community and Partner Engagement
M. Epp, Director, Planning and Development
S. Galloway, Manager, Planning
H. Evans, Community Planner
N. Carbo, Sustainable Transportation Coordinator
Z. Mathurin, North Shore Mobility Options Coordinator
D. Pope, Director, Engineering, Parks and Environment

The meeting was called to order at 6:00 pm.

APPROVAL OF AGENDA

Moved by Councillor Girard, seconded by Councillor Bell

1. Regular Council Meeting Agenda, October 22, 2019

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Girard, seconded by Councillor McIlroy

2. Regular Council Meeting Minutes, October 7, 2019

CARRIED UNANIMOUSLY

PROCLAMATIONS

Waste Reduction Week – October 21 to 27, 2019

Foster Family Month – October 2019

PUBLIC INPUT PERIOD

- Ron Sostad, 231 East 15th Street, North Vancouver, spoke regarding cycling at Lynn Valley Mall and Second Narrows bridge.
- John Harvey, 1910 Cedar Village Crescent, North Vancouver, spoke regarding proclamations, citing October 2, 2020 as International Wrongful Conviction Day and the Public Input Period.

REPORT

3. 2019-2028 Revised Financial Plan – File: 05-1715-20-0020/2019

Report: Deputy Director, Finance, October 15, 2019

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Deputy Director, Finance, dated October 15, 2019, entitled “2019 - 2028 Revised Financial Plan”:

THAT “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan) be considered.

CARRIED UNANIMOUSLY

BYLAW – FIRST, SECOND AND THIRD READINGS

4. “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan)

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736” (Revised Financial Plan) be given third reading.

CARRIED UNANIMOUSLY

BYLAW – ADOPTION

5. “Taxation Exemption Bylaw, 2019, No. 8713”

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT “Taxation Exemption Bylaw, 2019, No. 8713” be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

CARRIED UNANIMOUSLY

REPORT

6. Funding Support for Economic Partnership North Vancouver
– File: 13-6750-25-0003/1

Report: Manager, Business and Community Partnerships, October 8, 2019

Moved by Councillor Girard, seconded by Mayor Buchanan

PURSUANT to the report of the Manager, Business and Community Partnerships, dated October 8, 2019, entitled “Funding Support for Economic Partnership North Vancouver”:

THAT the City discontinue funding support for the Economic Partnership North Vancouver given the lack of funding support from Western Economic Diversification Canada;

THAT the \$70,000 in City funding allocated for the Economic Partnership North Vancouver in the 2019-2028 Project Plan be reallocated to City Economic Development initiatives;

THAT staff be directed to work with North Vancouver Chamber of Commerce staff to investigate ways to continue the Economic Partnership North Vancouver Board as a forum for business in the North Shore region;

AND THAT staff be directed to work with North Vancouver Chamber of Commerce staff to investigate ways for the City to support the continuation and updating of the interactive Data Centre in the North Vancouver region to assist prospective and existing businesses in the region.

CARRIED UNANIMOUSLY

PUBLIC CLARIFICATION PERIOD

Mayor Buchanan declared a recess at 6:21 pm for the Public Clarification Period and reconvened the meeting immediately after.

COUNCIL INQUIRIES

7. Smoking Bylaw – File: 01-0220-01-0001/2019

Inquiry by Councillor Bell

Councillor Bell inquired of Mayor Buchanan regarding the legalization of edible cannabis and when amendments to the Smoking Bylaw would be coming forward.

The CAO advised that a staff report is scheduled for the Regular Council Meeting of November 4, 2019.

NEW ITEMS OF BUSINESS

Nil.

NOTICES OF MOTION

Nil.

CITY CLERK'S RECOMMENDATION

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Sections 90(1)(e) [land matter], 90(1)(i) [legal advice], 90(1)(j) [information protected from disclosure], and 90(1)(k) [proposed service].

CARRIED UNANIMOUSLY

The meeting recessed to the Committee of the Whole, Closed session, at 6:23 pm and reconvened at 8:59 pm.

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

8. Update on North Shore E-Bike Share System – File: 16-8330-05-0001/1

Report: Sustainable Transportation Coordinator and North Shore Mobility Options Coordinator, October 9, 2019

Moved by Councillor Girard, seconded by Councillor Bell

PURSUANT to the report of the Sustainable Transportation Coordinator and the North Shore Mobility Options Coordinator, dated October 9, 2019, entitled “Update on North Shore E-Bike Share System”:

THAT Council endorse prioritizing the development of a shared micro-mobility licensing framework to further enable supportive conditions for e-bike share and other related types of services on the North Shore;

AND THAT the report of the Sustainable Transportation Coordinator and North Shore Mobility Options Coordinator, dated October 9, 2019, remain in the Closed session, other than to share a copy with officials and key staff at the District of North Vancouver and District of West Vancouver, on a confidential basis.

CARRIED UNANIMOUSLY

9. Discussion and Direction on Grant Applications for New Child Care Spaces – File: 10-4750-15-0001/1

Report: Community Planner, October 9, 2019

Moved by Councillor Girard, seconded by Councillor Bell

PURSUANT to the report of the Community Planner, dated October 9, 2019, entitled “Discussion and Direction on Grant Applications for New Child Care Spaces”:

Continued...

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION) – Continued

9. Discussion and Direction on Grant Applications for New Child Care Spaces
– File: 10-4750-15-0001/1 – Continued

THAT staff be directed to prepare an application to the Child Care BC New Spaces Fund for Mahon Park and return to Council for review and endorsement prior to submitting the application;

AND THAT the report of the Community Planner, dated October 9, 2019, entitled “Discussion and Direction on Grant Applications for New Child Care Spaces”, remain in the Closed Session.

CARRIED UNANIMOUSLY

10. Land Matter – File: 08-3360-20-0454/1

Report: Director, Community and Partnership Engagement, October 16, 2019

Moved by Councillor McIlroy, seconded by Councillor Hu

PURSUANT to the report of the Director, Community and Partnership Engagement, dated October 16, 2019 regarding a land matter:

THAT the action taken by the Committee of the Whole, Closed Session, be ratified;

AND THAT the wording of the recommendation and the report of the Director, Community and Partnership Engagement, dated October 16, 2019, remain in the Closed session.

CARRIED UNANIMOUSLY

ADJOURN

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 9:01 pm.

“Certified Correct by the City Clerk”

CITY CLERK

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8736

Financial Plan for the Years 2019 to 2028

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Financial Plan for the Years 2019 to 2028 Bylaw, 2019, No. 8703, Amendment Bylaw, 2019, No. 8736**” (Revised Financial Plan).
2. Schedule “A” attached hereto is the Financial Plan of The Corporation of the City of North Vancouver for the period commencing January 1, 2019, and ending December 31, 2028.

READ a first time on the 22nd day of October, 2019.

READ a second time on the 22nd day of October, 2019.

READ a third time on the 22nd day of October, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

**SCHEDULE "A" TO BYLAW NO. 8736
CITY OF NORTH VANCOUVER FINANCIAL PLAN
FOR THE YEARS 2019 – 2028**

(1) 2019 – 2028 Financial Plan (000's)

For the year ended December 31	2019	2020	2021	2022	2023	2024-2028
Revenue						
Property Value Tax	62,599	64,531	66,518	68,560	70,658	364,070
Parcel Taxes	3,162	3,624	4,041	4,250	4,469	25,866
Revenue from Fees and Services	36,213	37,888	40,711	44,068	47,029	269,626
Revenue from Other Sources	3,970	3,718	3,417	3,451	3,486	17,605
	105,944	109,761	114,687	120,329	125,642	677,167
Transfers						
Collections for Other Governments	49,561	50,552	51,563	52,594	53,646	273,595
Transfer from Reserves	66,790	103,292	37,776	44,421	125,837	114,223
Proceeds from Debt	-	90,000	-	-	-	-
External Contributions	20,408	10,437	7,896	2,781	1,497	6,901
Depreciation	15,100	15,402	15,710	16,024	16,344	83,355
	151,859	269,683	112,945	115,820	197,324	478,074
Total Revenues	257,803	379,444	227,632	236,149	322,966	1,155,241
Expenditures						
Operating Expenses						
General Government	21,092	21,629	22,170	22,724	23,292	119,370
Transportation and Transit	6,032	6,183	6,338	6,496	6,658	34,120
Health, Social Services, Housing	2,821	2,892	2,964	3,038	3,114	15,960
Development Services	5,798	5,943	6,092	6,244	6,400	32,800
Protective Services	27,246	27,927	28,625	29,341	30,075	154,135
Parks, Recreation and Culture	20,581	20,968	21,492	22,029	22,580	115,725
Water	10,337	11,830	12,864	14,011	15,286	88,615
Sewer	9,272	12,752	14,892	17,410	18,232	106,471
Solid Waste	4,396	2,528	1,759	1,750	1,891	10,326
	107,575	112,652	117,196	123,043	127,528	677,522
Capital Expenditures	78,817	195,109	38,114	36,327	27,595	90,570
Transfers						
Collections for Other Governments	49,561	50,552	51,563	52,594	53,646	273,595
Equity	9,424	9,549	9,788	10,033	10,284	52,705
Reserves	12,426	11,582	10,971	14,152	13,913	60,849
Debt Repayment	-	-	-	-	90,000	-
	71,411	71,683	72,322	76,779	167,843	387,149
Total Expenses	257,803	379,444	227,632	236,149	322,966	1,155,241

**SCHEDULE "A" TO BYLAW NO. 8736
CITY OF NORTH VANCOUVER FINANCIAL PLAN
FOR THE YEARS 2019 – 2028**

(2) Revenue Proportions by Funding Source

(Excluding Transfers from Reserves and Collections for Other Agencies)

	(000's)									
	2019	%	2020	%	2021	%	2022	%	2023	%
Property Value Tax	62,599	59	64,531	59	66,518	58	68,560	57	70,658	56
Parcel Taxes	3,162	3	3,624	3	4,041	4	4,250	4	4,469	4
Revenue from Fees	36,213	34	37,888	35	40,711	35	44,068	36	47,029	37
Revenue from other Sources	3,970	4	3,718	3	3,417	3	3,451	3	3,486	3
Total Revenues	105,944	100	109,761	100	114,687	100	120,329	100	125,642	100

Background: Property Taxes are the City's major source of revenue. The City's reliance on property tax as a source of revenue has increased gradually over the past several years. This is partially due to the lack of access to other types of revenues. Where feasible, the City charges user fees for services, however this is not possible for many services. In preparing the 2018 Financial Plan, the City's goal has been to maintain the current percentage of revenue coming from property taxes; however the City continues to rely heavily on this source of revenue to fund a large portion of City services and infrastructure.

Policy: Under Council's direction, the City will continue to look for ways to reduce the overall percentage of revenue that comes from property tax, by pursuing alternate revenue sources, and remains committed to charging user fees for services where feasible.

(3) Distribution of Property Taxes among the Property Classes

Property Class and Description		Tax Allocation %	
		2017	2018
1	Residential	56.32%	56.60%
2	Utilities	0.95%	1.07%
4	Major Industry - Capped	6.97%	6.95%
4	Major Industry - Non capped	0.68%	0.67%
5	Light Industry	0.81%	0.89%
6	Business	34.24%	33.78%
8	Recreation/Non-Profit	0.03%	0.04%

Background: In 2008 City Council adopted a Long Term Property Tax Strategy which will shift taxes from the business and light industrial tax classes, to the residential tax class. The goal of this policy was to move the City's tax rates and tax rate multiples to a competitive position within the Metro Vancouver Region, while maintaining principles of fairness and equity.

Adjusting down the ratio of the business tax rate to the residential rate (i.e. the tax multiple) continues to be a challenge based on the continued extraordinary growth in the residential sector.

Policy: The City will continue to review the distribution of property tax among the various property classes and consider other measures as a gauge of success.

**SCHEDULE “A” TO BYLAW NO. 8736
CITY OF NORTH VANCOUVER FINANCIAL PLAN
FOR THE YEARS 2019 – 2028**




(4) Use of Permissive Tax Exemptions

Background: Council currently allows permissive tax exemptions to organizations within the City, based on eligibility criteria as defined under the Community Charter. This includes religious institutions, not for profit societies, service organizations and providers of social housing whose services and programs align with the City’s goals and objectives.

Policy: The City has adopted a policy along with a set of criteria which are based on linking taxation exemptions to desired community outcomes for the services provided. All existing permissive tax exemptions are reviewed each year and staff will continue to work with all organizations who receive a Permissive Tax Exemption to ensure that their services align with the goals and objectives of the City.

Council will continue to carefully consider the total amount of permissive exemptions granted each year, when reviewing the annual Property Tax Exemption bylaw, giving consideration to the equity of shifting the exempted tax burden to other property owners in the City.



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Chris French, Planning Assistant – Transportation

Subject: CYCLING WITHOUT AGE UPDATE

Date: October 16, 2019 File No: 16-8330-05-0001/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planning Assistant – Transportation, dated October 16, 2019, entitled "Cycling Without Age Update":

THAT Council direct staff to make the necessary arrangements to allow Cycling Without Age trishaws to use designated on- and off-street bicycle routes and other multi-use paths identified in the report;

ATTACHMENTS:

1. Council Motion - "Cycling Without Age North Shore", June 17, 2019 (Document [#1837251](#))
2. Map - Non-Navigable Segment of the Green Necklace (Document [#1837275](#))
3. Map - Alternative Route Options (Document [#1837272](#))

PURPOSE

The purpose of this report is to provide recommendations in response to requests made by the Cycling Without Age North Shore delegation to Council on June 17, 2019.

BACKGROUND

On June 17, 2019, Cycling Without Age, a non-profit international volunteer organization that takes seniors out for rides on electric-assist trishaws, made a delegation to Council, asking that the City support the operation of their North Shore chapter and requested the following: (1) assistance in securing spaces to store their trishaws, and (2) classification of trishaws as a mobility aid so that they may use sidewalks as alternatives to steeper portions of the Green Necklace. Council adopted a motion to direct staff to explore these requests (Attachment 1).

DISCUSSION

Locations for operating bases to store trishaws

Staff have secured a location underneath Fen Burdett Stadium at Mahon Park for Cycling Without Age North Shore to store their trishaws. This space is located along the Green Necklace in Central Lonsdale, providing easy access to other multi-use paths and bike routes across the North Shore, including Upper and Lower Lonsdale. The City will enter into a formal license agreement with Cycling Without Age for an initial 2 year period that will specify roles and responsibilities. Staff will continue to reach out to other organizations in the City that may have space suitable for storing trishaws.

Operations and routing

Trishaws used by Cycling Without Age are three-wheeled electric-assisted bicycles that can carry two passengers in a seated position in the front, while an operator pedals and steers in the back (Figure 1). The trishaw's dimensions are 1.07 m wide, 2.44 m long, and weigh approximately 100 kg.

Cycling Without Age have communicated that they intend to operate on routes in the City that primarily use the Green Necklace and Spirit Trail. Route planning has identified that the grade on a 40-metre section of the Green Necklace between Wagg Creek Park and Chesterfield Avenue is too steep to allow trishaws to traverse safely (Attachment 1). Despite staff design efforts, this is the only section of the Green Necklace that exceeds an accessible grade due to the street context. The long-term objective is to reduce the grade through adjustments to the right-of-way.

The Cycling Without Age trishaws can operate counter-clockwise on the Green Necklace to avoid ascending the grade approaching Chesterfield Avenue from Wagg Creek Park. This would ensure the entire trip is taken on an All Ages and Ability (AAA) route. If clockwise travel is desired, staff have identified a series of alternative routes to



Figure 1: Cycling Without Age Trishaw (Chilliwack Progress, April 2019)

navigate around the steep section of the Green Necklace, using local roads, trails in parks and designated cycling routes (see Attachment 2). It is recommended that staff continue to work with Cycling Without Age to make any required changes to these routes, where appropriate and with available resources, to facilitate their use. Staff are also currently working on identifying priority corridors for AAA cycling and active transportation infrastructure that, when implemented, will provide additional route options that are protected and separated from traffic.

Classification of trishaws as mobility aids

Staff have investigated the merits of permitting trishaws to use sidewalks by classifying them as mobility aids. This would enable a broader network to create more off-road travel options for users. The City's "Street and Traffic Bylaw, 1991, No. 6234" (herein referred to as the "Street and Traffic Bylaw") indicates that sidewalks are intended for the use of pedestrians only. Pedestrians, although not defined in the Street and Traffic Bylaw, commonly refer to persons travelling by foot or using a mobility aid. The term "mobility aid" is not defined in the Street and Traffic Bylaw, but is defined in the BC Motor Vehicle Act as follows:

"Mobility Aid" means a device, including a manual wheelchair, electric wheelchair and scooter, that is used to facilitate the transport, in a normally seated orientation, of a person with a physical disability. (BC Motor Vehicle Act Regulations, Division 44).

It is staff's interpretation that a trishaw would not be considered a mobility aid under the BC Motor Vehicle Act and would, instead, be considered a "cycle" under the Street and Traffic Bylaw:

"Cycle" means a device having any number of wheels that is propelled by human power and on which a person may ride but does not include a play vehicle. (City's Street and Traffic Bylaw, 1991, No. 6234).

Cycles are not permitted on sidewalks under the Street and Traffic Bylaw. Permitting trishaws to operate on sidewalks may create hazard to other pedestrians and create conflicts with other members of the public with mobility aids. This is of particular concern as many older sidewalk segments in the City are narrow or in some locations incomplete.

Based on the above assessment, it is recommended that trishaws not be permitted to use sidewalks in the City and not be classified as mobility aids in order to maintain consistency with the Motor Vehicle Act. This recommendation is in keeping with other BC jurisdictions, including the City of Vernon, City of Penticton and City of Victoria, where Cycling Without Age have other operating chapters.

In light of this assessment, staff also recommend that the Street and Traffic Bylaw be reviewed and updated to include definitions for terms like pedestrian, mobility aid, motor assisted cycle, and similar terms, to ensure clarity around the meaning and requirements for these modes into the future.

FINANCIAL IMPLICATIONS

The operating base/storage facility identified at Fen Burdett Stadium at Mahon Park is managed by the City's Department of Engineering, Parks & Environment and has been offered as in-kind support to Cycling Without Age for their use. Additional staff time may be required by:

- Engineering, Parks and Environment to facilitate one of the alternate clockwise routes through Wagg Creek Park, shown in Attachment 2, by removing obstacles such as vertical bollards.
- Transportation Planning to continue working and communicating with Cycling Without Age.

INTER-DEPARTMENTAL IMPLICATIONS

This report has been compiled in coordination with the Department of Engineering, Parks & Environment, and Department of Community & Partner Engagement.


CORPORATE PLAN AND/OR POLICY IMPLICATIONS

Enabling and supporting the operations of Cycling Without Age, where feasible, is in keeping with the goals and objectives of the Official Community Plan 2014, including:

Objective 2.1.7 – Work with partners to encourage and promote the numerous benefits of active transportation, including health, social and economic benefits, especially amongst young people;

Objective 2.3.2 – Accommodate the transportation needs of all users, including those with limited mobility and disabilities.

RESPECTFULLY SUBMITTED:


Chris French
Planning Assistant – Transportation

**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER, CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, JUNE 17, 2019**

DELEGATION

Ian Rose-Innes, Director, Cycling Without Age North Shore, and Annwen Loverin, Executive Director, Silver Harbour Centre

Re: Trishaw as a Mobility Aid

Ian Rose-Innes, Director, Cycling Without Age North Shore, and Annwen Loverin, Executive Director, Silver Harbour Centre, provided a PowerPoint presentation regarding potential use of trishaws as mobility aids on the North Shore.

CORRESPONDENCE

6. Ian Rose-Innes, Director, Cycling Without Age North Shore, April 11, 2019
– File: 01-0230-0054/2019

Re: Trishaw as a Mobility Aid

Moved by Councillor Valente, seconded by Councillor Back

THAT the correspondence from Ian Rose-Innes, Director, Cycling Without Age North Shore, dated April 11, 2019, regarding “Trishaw as a Mobility Aid”, be received with thanks;

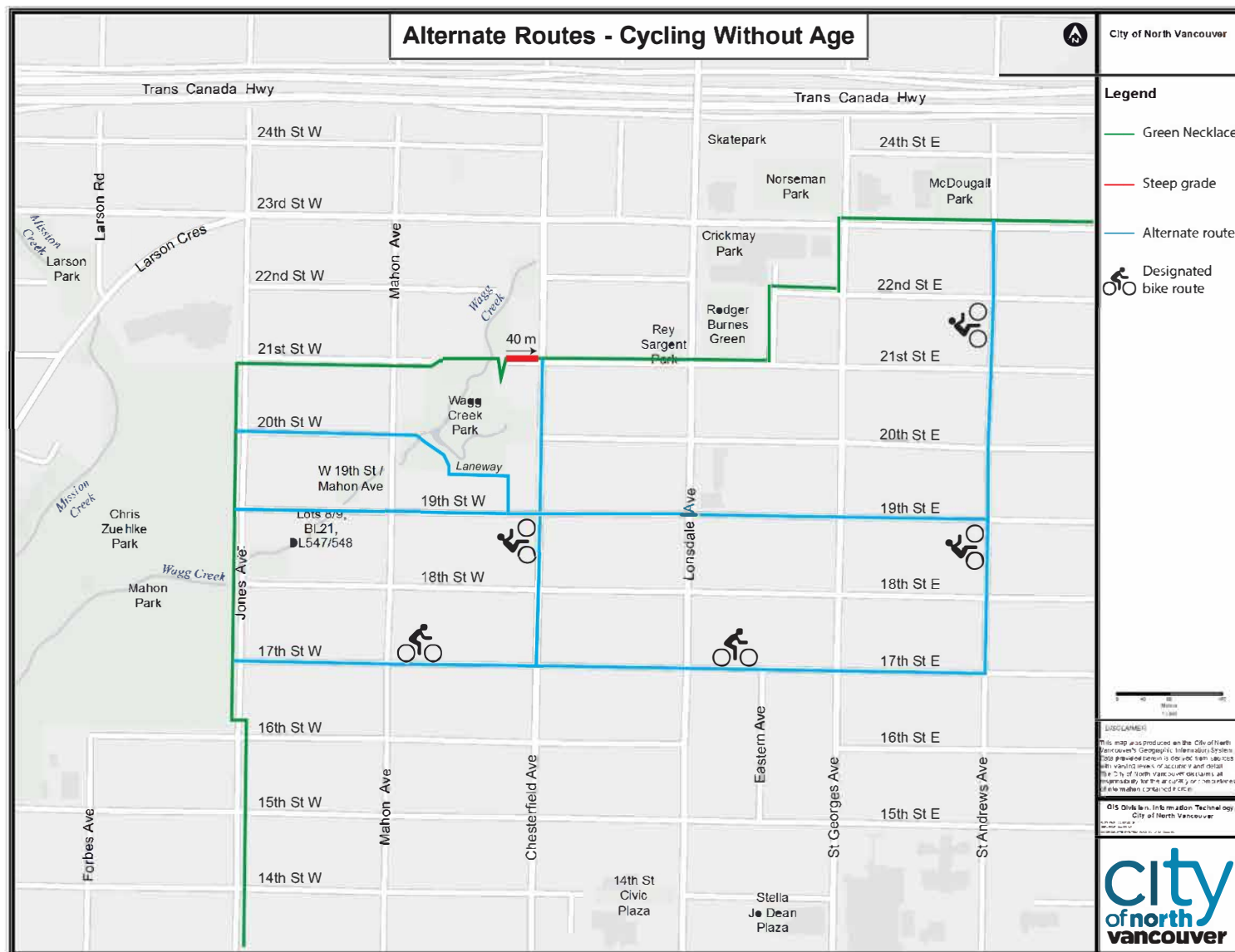
THAT staff identify sites suitable as operating bases for Cycling Without Age North Shore in Upper and Lower Lonsdale;

THAT staff investigate the classification of Cycling Without Age trishaws as mobility aids to allow them to traverse sidewalks;

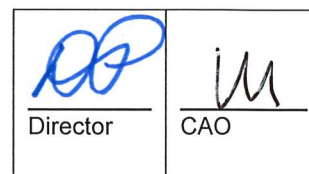
AND THAT staff investigate a route to allow trishaws to navigate around steep sections of the Green Necklace.

CARRIED UNANIMOUSLY





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The Corporation of **THE CITY OF NORTH VANCOUVER**
ENGINEERING, PARKS AND ENVIRONMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Brian Willock, Manager, Engineering Planning and Design

SUBJECT: FUNDING REALLOCATION: WATERMAIN AND SANITARY SEWER
REPLACEMENT 100 BLOCK EAST 15TH STREET

Date: October 24, 2019 File No: 11-5600-01-0001/2019

The following is a suggested recommendation only. Please refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Manager, Engineering Planning and Design, dated October 23, 2019, entitled "Funding Reallocation for Watermain and Sanitary Sewer Replacement 100 Block East 15th Street":

THAT \$228,000 of funding approved in the 2018 Water Utility Capital Plan for watermain replacement on the 1000 Block Heywood Street be reallocated to fund watermain replacement on the 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT \$47,000 of funding from Project 56100 Surplus from Completed Water Projects be reallocated to fund watermain replacement on the 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT \$155,000 of funding approved in the 2019 Sewer Utility Capital Plan for sanitary sewer replacement on St. Davids Avenue between East 1st Street and East 3rd Street be reallocated to fund sanitary sewer replacement on 100 Block East 15th Street between Lonsdale Avenue and St. Georges Avenue;

THAT the watermain replacement on 1000 Block Heywood Street be included for consideration in a future Water Utility Capital Plan;

AND THAT \$155,000 of funding for sanitary sewer replacement on St. Davids Avenue between East 1st Street and East 3rd Street be included for consideration in the 2020 Sewer Utility Capital Plan.

DISCUSSION:

Construction of underground utilities including sanitary sewer and district energy is currently underway on the 100 block East 15th Street as part of the off-site requirements for the development at 1441 St. Georges Avenue. Staff are proposing to take advantage of the current road closure to upgrade the existing 1948 cast iron watermain as well as to upgrade the 1953 sanitary sewer as part of a single coordinated project.

The primary benefit of proceeding with the water and sewer upgrades at this time will be to complete all necessary upgrades at one time to reduce the overall duration of utility construction on this block. There will also be efficiencies in completing all of the sewer and water upgrades with a single contractor.

Watermain Replacement:

Watermain replacement was not required as part of the off-site works for the development of 1441 St. Georges Avenue, however recent pressure tests indicate a low residual water pressure during a simulated fire flow scenario. There have also been two watermain breaks nearby on the 1500 block of Eastern Avenue involving the same vintage of pipe.

Staff propose to fund the project on East 15th Street by drawing on available surplus funding from completed water projects and by deferring a watermain project on Heywood Street which was included in the 2018 Water Utility Capital Plan. This project was postponed in 2018 to avoid adding another construction project to a neighbourhood already struggling with traffic and construction impacts resulting from several years of work on East Keith Road.

The Heywood Avenue watermain was constructed in 1961 using a thin-wall cast iron pipe that does not perform well over the long term and has a history of watermain breaks. Most locations in the City where this type of pipe was installed have already been replaced. While it is prudent to replace this watermain in the near future, it is not urgent and can be planned for replacement when it better coordinates with other projects and conditions in the surrounding neighbourhood.

Sanitary Sewer Replacement:

The offsite requirements for 1441 St. Georges Avenue included a sanitary sewer upgrade between St. Georges Avenue and Eastern Avenue at the developers cost, as well as a cost share with the City for upgrading the sanitary sewer through the intersection of St. Georges Avenue as well as between Eastern Avenue and Lonsdale Avenue. The City's share of the funding for this work was planned to be included in the 2020 Sewer Utility Capital Plan, however construction of the cost-share segment of work is imminent so the City's share of funding needs to be allocated for the work to continue.

The 2019 Sewer Utility Capital Plan included funding to upgrade the sanitary sewer on St. Davids Avenue between East 1st Street and East 3rd Street. This project is not planned to start until the spring of 2020, therefore the funding can be reallocated to fund the City's share of the project on 100 block East 15th Street. The funding required to replenish the

project on St. Davids Avenue can be included for consideration as part of the 2020 Sewer Utility Capital Plan.

FINANCIAL IMPLICATIONS:

A transfer of \$228,000 is proposed from the 2018 Heywood Avenue watermain project to the 2019 East 15th Street watermain project. This transfer will not result in any change to the current water utility rate. The Heywood Avenue project will be added back into the 10 year asset renewal plan.

The 2019 St. Davids Avenue: East 1st to East 3rd Streets sewer project currently has funding of \$305,000. A transfer of \$155,000 is proposed from the 2019 St. Davids Avenue; East 1st to East 3rd Streets sanitary sewer project to the 2019 East 15th Street sanitary sewer upgrade project. This transfer will not result in any change to the current sewer utility rate. A request to replenish the \$155,000 back into the St. Davids Avenue project will be included in the 2020 Sewer Utility Capital Plan.

INTER-DEPARTMENTAL IMPLICATIONS:

Finance and Engineering, Parks and Environment staff coordinated to identify the proposed funding reallocation.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS:

The City's Official Community Plan speaks strongly to providing resilient and sustainable infrastructure and infrastructure services. The guiding principles of the Plan outline infrastructure as:

- Durable and Timeless: The City will create a financially sustainable legacy of sustainable and durable infrastructure and deliver thoughtful, responsive services.

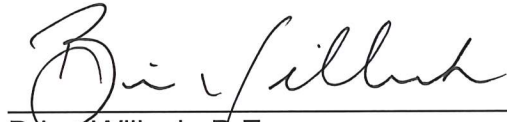
Chapter 8 of the Plan: Municipal Services and Infrastructure involves a number of key objectives around responsible asset management:

- 8.2.1 Maintain or improve service levels related to water supply, sewers, transportation, communication and energy infrastructure;
- 8.2.2 Identify and monitor the condition of our infrastructure on a regular basis in order to identify the remaining operational life of individual elements, and to identify and rectify weaknesses before failure, thereby optimizing capital and maintenance program expenditures; and,
- 8.2.3 Integrate the servicing of areas where growth is concentrated with asset replacement plans.

STRATEGIC PLAN IMPLICATIONS:


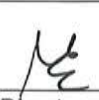

Timely replacement of water and sewer system infrastructure contributes to a City for People by supporting health and well-being by providing reliable and resilient service to manage the community's liquid waste, deliver high quality potable water, and ensuring adequate water supply for firefighting needs.

RESPECTFULLY SUBMITTED:

A handwritten signature in black ink, appearing to read "Brian Willock", written over a horizontal line.

Brian Willock, P.Eng.,
Manager, Engineering Planning and
Design



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emily Macdonald, Planner 1

Subject: REZONING APPLICATION: 730 WESTMORELAND CRESCENT
(WESTMORELAND HOLDINGS LTD. / BILL CURTIS & ASSOCIATES
DESIGN LTD.)

Date: September 25, 2019 File No: 08-3360-20-0459/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated September 25, 2019, entitled "Rezoning Application: 730 Westmoreland Crescent (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent) be considered and referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS:

1. Context Map (Doc# [1823430](#))
2. Architectural and Landscape Plans (east lot), dated April 2019 (Doc# [1820242](#))
3. Architectural and Landscape Plans (west lot), dated April 2019 (Doc# [1820243](#))
4. Public Consultation Summary (Doc# [1823446](#))
5. Summary of revisions (Doc# [1748697](#))
6. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Doc# [1824317](#))

PROJECT DESCRIPTION

The proposal includes the subdivision of a 933 square metre (10,050 sq. ft.) lot located at 730 Westmoreland Crescent into two lots with a frontage of 9.97m (32.7 feet) each. One new single-family dwelling with suite is proposed on each of the proposed new lots. Two parking spaces are proposed for each lot in the form of surface parking, accessed from the rear lane for the west lot and from Alden Lane for the east lot.

The current Zone (RS-1) requires a minimum frontage of 10 metres (32.8 feet). The proposed Zone (RS-2) requires a minimum lot frontage of 7.5 metres (24.6 feet). The requested changes to the zoning by-law to permit this development are identified in Table 1 below. The proposed development would comply with all requirements of the RS-2 Zone. No variances are being requested.

Table 1. Requested Changes to the Zoning By-law

	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RS-1	RS-2

POLICY FRAMEWORK

The subject site is designated “Residential Level 1 (Low Density)” or ‘R1’ within the Official Community Plan. This designation permits ground-oriented housing with non-strata uses and includes secondary suites and coach houses.

Metro 2040	
Goal 1 Create a Compact Urban Area	The proposal presents a form of intensification that is appropriately scaled to the surrounding neighbourhood, and contributes to a compact urban area.
Goal 2 Support a Sustainable Economy	Proposed rental suites provide housing forms that can support a diversity of income levels and ensure people live close to where they work.
Goal 4 Develop Complete Communities	The proposed development provides a diversity of housing stock that will promote the ability to age-in-place allowing people to stay in their neighbourhood throughout all of their lifecycles.
Goal 5 Support Sustainable Transportation Choices	The site is located within a 15-minute walk of the Marine Drive commercial area and rapid transit routes.

Official Community Plan	
Policy 1.3.1 Ensure that new development is compatible with the established urban form of the City, reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods	The proposed development on the site is appropriately scaled to the neighbourhood.
Policy 1.3.5 Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings	The proposed design is appropriate in character and quality for a Residential Level 1 neighbourhood.
Policy 1.3.6 Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner	Design and materials are consistent with those found in the local context. Landscaping includes primarily native plant species.
Policy 1.5.1 Provide opportunities for a range of housing densities, diversified in type, size and location.	The proposed development includes two rental suites which provide a smaller and more affordable housing form.
Housing Action Plan	
Action #5 To increase rental options in lower density areas to support renters and provide homeowners with additional rental income, while retaining neighbourhood scale and character.	The proposed development creates two new principal units of modest size with rental suites. Rental income will help to make the houses more affordable for owners and the rental units will increase the supply of units available in an area that is walkable and well-served by transit and retail.
Sustainable Development Guidelines	
Natural Systems The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.	The proposed landscaping is primarily permeable and parking is provided in the form of permeable surface parking. The majority of plants included in the landscape plan are native species.

PLANNING ANALYSIS

Site Context and Surrounding Use

The neighbourhood is made up of single-detached houses on lots of varying sizes, ranging from approximately 375 square metres (4,000 square feet) to 1,200 square metres (13,000 square feet). The age of houses ranges from the 1930s through to the 1970s with more recent redevelopments occurring in 2011, 2012 and 2014 through subdivisions of properties on the south side of Westmoreland Crescent. The majority of lot frontages on the south side are 10 or 12 metres wide.

The site is located between the Lucas Centre and Mosquito Creek and is approximately a 15-minute walk from Marine Drive commercial area and transit routes.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	2212 Edgemont Boulevard	Single-family dwelling	RS-1
	2233 / 2235 Alden Lane	Single-family dwelling with detached secondary suite	CD-532
South	739 Westmoreland Cres.	Single-family dwelling with suite	RS-1
	735 Westmoreland Cres.	Single-family dwelling with suite	RS-1
	727 Westmoreland Cres.	Single-family dwelling	RS-1
	723 Westmoreland Cres.	Single-family dwelling	RS-1
	721 Westmoreland Cres.	Single-family dwelling	RS-1
East	720 Westmoreland Cres.	Single-family dwelling	RS-1
	714 Westmoreland Cres.	Single-family dwelling with coach house	RS-1
West	744 Westmoreland Cres.	Single-family dwelling	RS-1
	734 Westmoreland Cres.	Single-family dwelling	RS-1

Use

The policy framework applicable to the subject site supports the proposed development. The site is located within reasonable proximity to transit, recreation facilities, commercial areas and schools. Additionally, the units will support affordable homeownership through the inclusion of rental suites and will provide rental housing stock.

Intensity

The existing lot has a frontage that is slightly short of the minimum lot width that would allow for subdivision without a rezoning. The proposed rezoning would allow for the subdivision of the existing lot, creating two new lots of 9.97m (32.7 ft.) width. The design shows that the new lots can accommodate the proposed principal dwellings and suites with required parking. The proposed density is consistent with the Official Community Plan at 0.5 FSR and is similar to surrounding properties.

Form

The proposed form of the development complies with the RS-2 Zone requirements and is appropriate in character for the low-density residential context. The massing is consistent with the form of other properties along Westmoreland Crescent.

COMMUNITY CONSULTATION

A Developer's Information Session was held on May 23rd, 2018. There were 27 people in attendance. The majority of those who spoke at the session were opposed to the proposed development. Concerns raised by attendees included:

- Building design was modern and did not fit the character of the neighbourhood
- Proposed lots were narrow and out of character with the neighbourhood
- The buildings were too narrow and would not be very livable for the occupants
- The design presented a high blank wall along the Alden Lane elevation
- Increased demand for parking in the neighbourhood
- Concerns that other properties would also subdivide and redevelop as a result of approval of this application

Nineteen comment forms were submitted. Of those, four were in favour of the proposal and fifteen were opposed. The applicant has summarized the attendees concerns in the Public Consultation Summary (Attachment #4).

Since the initial application, the applicant has revised the proposed design to address some of the concerns heard at the Developer's Information Session, including:

- Original modern design was changed to incorporate more traditional features including a sloped roof and traditional-style windows.
- More windows were added to the east elevation along Alden Lane

Additional revisions were made to the proposed design to respond to changes in the RS-2 Zone requirements that were adopted in July 2018 as part of the Livability study. These changes meant that a variance to height was no longer required. The list of revisions is included in this report (Attachment #5).

Given that a number of neighbours have expressed concerns regarding the proposed development, staff are recommending that a Public Hearing be scheduled. Should Council wish to waive the Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716"
(Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730
Westmoreland Crescent) be considered and that the Public Hearing be waived;

CONCLUSION

This application represents good planning and is supported by Council's policy framework. The subject site's proximity to existing commercial areas and transit make it an appropriate site for moderate densification. The project would result in a net increase of three units (one principal and two accessory units) while maintaining the development form of the surrounding properties (single-family dwellings). The proposed parking is one space per unit, which is adequate for this site, given its location and proximity to the Marine Drive corridor.

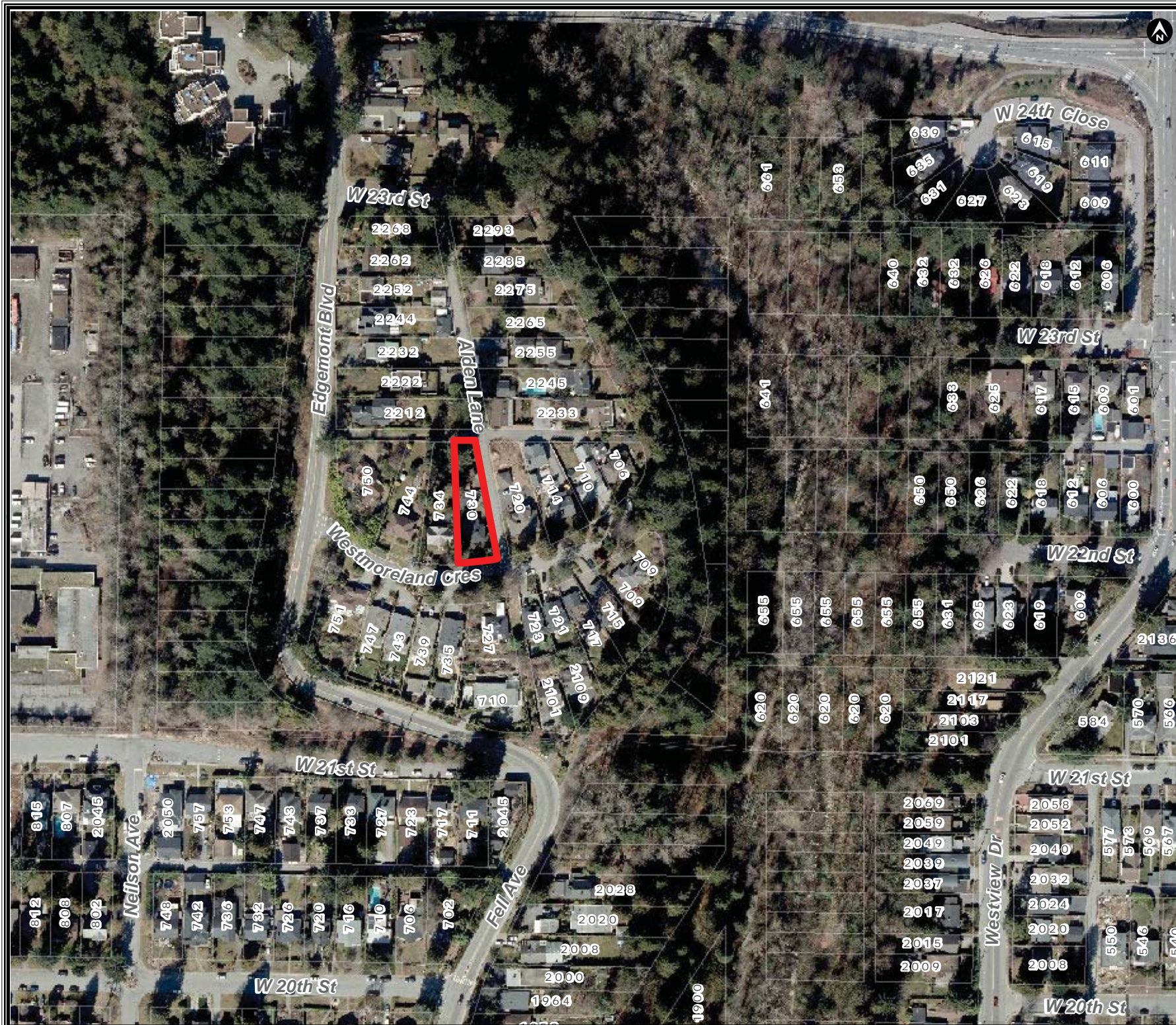
RESPECTFULLY SUBMITTED:



Emily Macdonald
Planner 1

Legend

-  Subject Site
-  Legal_Parcels
- Aerial 2019



DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

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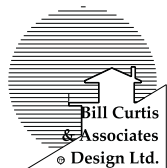
Quality Residential Design

Drawing SITE PLAN
Drawn By BC Date DEC. 2018
SCALE: 1/8" = 1'-0"
Project
DAVENPORT RES. AT
130 WESTMORELAND CR.
NORTH VANCOUVER



STREETSCAPE

REVISIONS



Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

STREETSCAPE

Drawing
Drawn By B.C. Date DEC. 2018
Scale 1/4" = 1'-0"

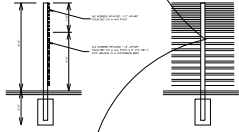
Project
DAVENPORT RES. AT
132 WESTMORELAND CR.
NORTH VANCOUVER

8 of 8

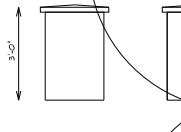
NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR DUE TO ANY DISCREPANCIES OR OMISSIONS IN PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ORAL CONTACT WITH THESE CHANGES SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE MODIFICATIONS.

LEGAL DESCRIPTION:

LOT 43, BLOCK 7
DISTRICT LOT 552
PLAN 4687
PID 011-399/104



6' FENCE DETAIL
SCALE: 1/2" = 1'-0"



ENTRY GATE DETAIL
SCALE: 1/2" = 1'-0"

PLANT LIST

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT	ORIGIN
V	1	VINE MAPLE	ACER CIRCINATUM	4 M (13')	NATIVE
Ca	0	CRAB APPLE	MALUS CORALICOLA	2 M (6.6')	NATIVE
R	4	RED ODER DOGWOOD	CORNUS SERICEA	4.5 M (15')	NATIVE
M	24	MOUNTAIN SPIRAEA	SPIRAEA BENSUIANA	4.5 M (15')	NATIVE
P	4	PLANTAIN LILY	LILY-SPHODRUM VILGANS	4.5 M (15')	NATIVE
Y	4	YAMFLOWER	DIAMANTHUS TRILOBATUS	4.5 M (15')	NATIVE
SF	23	SHOVED PERS	POLYSTICHUM MUNITUM	0'	NATIVE
B	4	BLUEBERRY	CHAMOMILLA POLYPODIUM	0'	NATIVE
C	15	COMMON CAMAS	CAMASSIA QUAMASH	2 M (6.6')	NATIVE

SYMBOL	DESCRIPTION
○	WALL MOUNTED
○	LANDSCAPE LIGHT

CONSULT AN ARBORIST AND HAND DIG AS DIRECTED IN CLOSE PROXIMITY TO EXISTING TREES ON ADJACENT PROPERTY

DWELLING HOUSE No. 734
MAIN FLOOR EL. 261.2 (DOOR SILL)

ELEVATIONS

ELEVATIONS ARE TO GEODETIC DATUM (VD289VRD).

BENCH MARK USED: CONTROL MONUMENT 874 3677 LOCATED NEAR THE INTERSECTION OF EDMONTON BOULEVARD AND WESTMORELAND CRESCENT (ELEVATION 246.66 FEET (GEODETIC DATUM))

BENCH MARK SET: TOP OF ARROWHEAD NUT ON FIRE HYDRANT LOCATED ON WESTMORELAND CRESCENT IN FRONT OF DWELLING HOUSE No. 730. ELEVATION 255.12 FEET

HOBBES, WINTER & MacDONALD,
B.C. LAND SURVEYORS,
113-428 HARBOURSIDE DRIVE,
NORTH VANCOUVER, B.C. V7P 3R6,
TEL: 604-966-1371 FAX: 604-966-6304
EMAIL: admin@hwmnsurveys.com

No. 730 WESTMORELAND CRESCENT
FR 2638 p.57-62 M 3302-27 NVC

WESTMORELAND CRESCENT

NOTE:
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BLACKTOP TO PROPERTY LINE AT DEVELOPER'S COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS.

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MAY, 2010: RESPONSE TO TEAM REVIEW
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REVISIONS

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Design Ltd.
(2003)
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Fax 604-966-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

Drawing SITE PLAN
Drawn By BC Date DEC. 2018

SCALE: 1/8" = 1'-0"

Project DAVENPORT RESID. AT
132 WESTMORELAND CR.
NORTH VANCOUVER

Quality Residential Design

SITE PLAN OF LOT 43,
BLOCK 7, DISTRICT LOT 552, PLAN 4687
P.I.D. 011-399-104

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REM
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SITE DEVELOPMENT DATA LOT 1	
EXISTING ZONE :	R61
PROPOSED ZONING :	R62
LOT AREA :	5,060.0 SQUARE FEET
SITE COVERAGE :	
PERMITTED :	1,519.0 SQUARE FEET (30%)
PROPOSED :	1,431.4 SQUARE FEET (28.4%)
FLOOR SPACE RATIO :	
PERMITTED :	2,518.0 SQUARE FEET (30% + 1,000)
PROPOSED :	2,502.8 SQUARE FEET (29.7% + 1,000)
PARKING:	
REQUIRED :	2 STALLS
PROVIDED :	2 STALLS
ELEVATIONS:	
ROOF RIDGE.....	285.48'
TOP OF UPPER FL. WALL.....	280.39'
TOP OF UPPER FLOOR.....	272.21'
TOP OF MAIN FLOOR.....	262.06'
TOP OF CELLAR FLOOR.....	251.85'
REFERENCE GRADE.....	254.5'

ELEVATIONS

ELEVATIONS ARE TO GEODETIC DATUM (CD2008/09).

BENCH MARK USED: CONTROL MONUMENT 6th 3077 LOCATED NEAR THE INTERSECTION OF
EDGEWORTH BOULEVARD AND WESTMORELAND CRESCENT
ELEVATION 246.66 FEET (GEODETIC DATUM)

BENCH MARK SET: TOP OF ANCHORHEAD NUT ON FIRE HYDRANT LOCATED ON
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ELEVATION 255.12 FEET

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HOBBS, WINTER & MACDONALD,
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No. 730 WESTMORELAND CRESCENT
PB 2636 p.57-62 M 3302-27 NVC

WESTMORELAND CRESCENT

NOTE

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ALL WARRING OF SIDEWALKS OR WALKWAYS MUST
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BLACKTOP TO PROPERTY LINE
AT DEVELOPERS COST AND TO
CITY OF NORTH VANCOUVER
ENGINEERING STANDARDS

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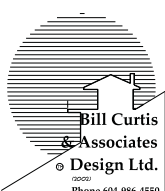
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THE CONTRACTOR MUST BE ON SITE FOR INSPECTIONS.
THE 24 HOUR INSPECTION NUMBER IS 604-980-4320

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THE DEVELOPERS COST FOR FUTURE WATER
USE METERING PROGRAMS.

NO FENCING, OR PLANTING EXCEEDING 3 IN HEIGHT
AT MATURITY IS PERMITTED WITHIN 15' (4.57 M) OF A
LANE, LANE OR LANE-STREET RIGHT OF WAY INTERSECTION

NO LANDSCAPING OR STRUCTURAL ELEMENT
PERMITTED WITHIN THE SIDEWALK ROW
ALL UTILITY WARES/ACCESS POINTS SHOULD BE
PLACED NORTH OF THE 6.50 (2.0 M) SIDEWALK
WITHIN THE UTILITIES BUFFER



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SITE PLAN

Drawing: DAVENPORT RESID. AT
1732 WESTMORELAND CR.
NORTH VANCOUVER

Scale: 1/8" = 1'-0"

18
of

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

General Conditions:

1. The **generator** contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
2. All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
3. Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings, to find or unknown dimension obtain the designer.
4. The designer shall not be responsible for any costs incurred to the owner or generator contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with
The British Columbia Building Code 2012 (BCBC).

Foundations

1. Concrete shall be 30 days (3000 psi) at 28 days.
2. Footings shall extend a minimum of 18" below grade and to solid bearing.
3. Fit foundations to rock, as described in structural drawings.
4. Provide a minimum of 2 coats of asphalt driveway or an approved waterproofing membrane over the exterior face of foundation wall.
5. Provide 15" rebar, bottom bars 4 # 4 and/or anchor rods 4 # 4, max. max. spacing.
6. Anchor posts to footings with pinned anchor saddles embedded in footings.
7. Provide a damp proofing or equal barrier plus concrete and concrete foundation where there is potential for contact or provide pressure treated piers.
8. Provide waterproofing agent between the tops of foundations and concrete slabs to prevent leakage.
9. Provide a minimum of 4" wall, layer of poly under concrete slabs and slab coats.
10. Fill under concrete slabs and skirts to the soil organic.

Frasing:

1. All framing is to be to * S33 BOBG.
2. All load bearing lumber to be Douglas Fir #2 or better.
3. Lintels are to be 2x10 DFG or better.
4. All clock framing is to be pressure treated.
5. Gullies, drains, microns and other manufactured items are to be engineer designed and the general contractor will provide certificates of manufacture as required before installation.
6. Roof and floor joists are to be engineer designed and shop drawings showing true layout and details are to be provided to the building inspector as required.
7. Cross bridge floor and roofer joists 4" T.C.C. minimum.

Bulmer

1. Single start Rise min. 4.58" max. 7.87"
Run min. 8.27" max. 13.96"
Lead min. 0.35" max. 0.58"
2. All leads in 1/2" (7.5 mm)
3. Helical threads are 45° measured vertically from an imaginary line connecting the start points.
4. Helical leads are 1° to 36° measured as clear height over starts.
5. Leads to conform to M5.8x3.5
6. Helical start is 45°
7. Curved starts must be greater than 45° in width require a handle on both sides of the start.
8. A handle is required for interior starts with more than 2 ribs and for exterior starts with more than 3 ribs.
9. No ribbed fastening extending above 4° to 36° from the peak or start surface is permitted in the design.
10. The minimum opening size within the clearance width is 4°.

Guardrails:

1. Guardrail height is 36" where the vertical distance to grade is 5'4" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
2. All guards to have a cap unless engineer approved.
3. A guard is required where there is a drop of 34" or more.
4. A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

Safety Glass

1. Glass within 36" of a door shall be safety glass.
2. Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
3. Unlabeled (in walls enclosing showers or bathtubs) shall be safety glass and located above the waterproof finish height.
4. Mirrored doors are to be safety glass and blocked with solid material.

Cladding:

1. Cladding shall conform to #3.21 BCBC
2. All flashing shall conform to #3.21.3.1 BCBC and installed to conform with #3.21.3.8 BCBC
3. All cladding shall conform to Section #3.21.4 BCBC

Fireplaces and Chimneys:

1. Fireplaces and chimneys shall conform to NFPA 211.
2. Provide 2" clearance between chimney and combustible framing.
3. Masonry hearths shall conform to NFPA 211.3.
4. Provide flue liners to NFPA 211.5. Flue sizes to NFPA 211.5.10.
5. Provide chimney to NFPA 211.6.7.
6. Provide 4" fireproof lining to fireplace.
7. Provide dampers.
8. Factory built fireplaces and chimneys shall be installed to manufacturer's specifications and to meet UL listing requirements.
9. Provide 18" non-combustible clearance under non-combustible hearth.
11. Fireplaces to have tight fitting doors and outside combustion air supplied directly to the fireplace.

Dualing Security:

1. **Exit entrance doors** without daylight are to be equipped with a door viewer.
2. **Doorframes** in exterior openings are to be sealed completely at the lock height so that the door frame will resist spreading by force to ≥ 5.0 kN QSG and ≥ 3.0 kN QSG.
3. **Exterior doors** will not be considered as a self-closing fire-rated lock with a 1" view to ≥ 5.0 kN QSG.
4. **Exterior sliding windows** shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
5. **Sliding glass doors** shall be equipped with sliding pin locks into the door frame to supplement the lock edge of the door handle.

Moisture Protection

Ventilation:

[illegible]

Vapour Barriers:

1. Where an interior frame wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
2. Provide vapour barrier protection to the inside of insulation in the inside of door joint or at rigid foam insulation.
3. Clearance between chimneys or vents to be sealed with non-combustible insulation.

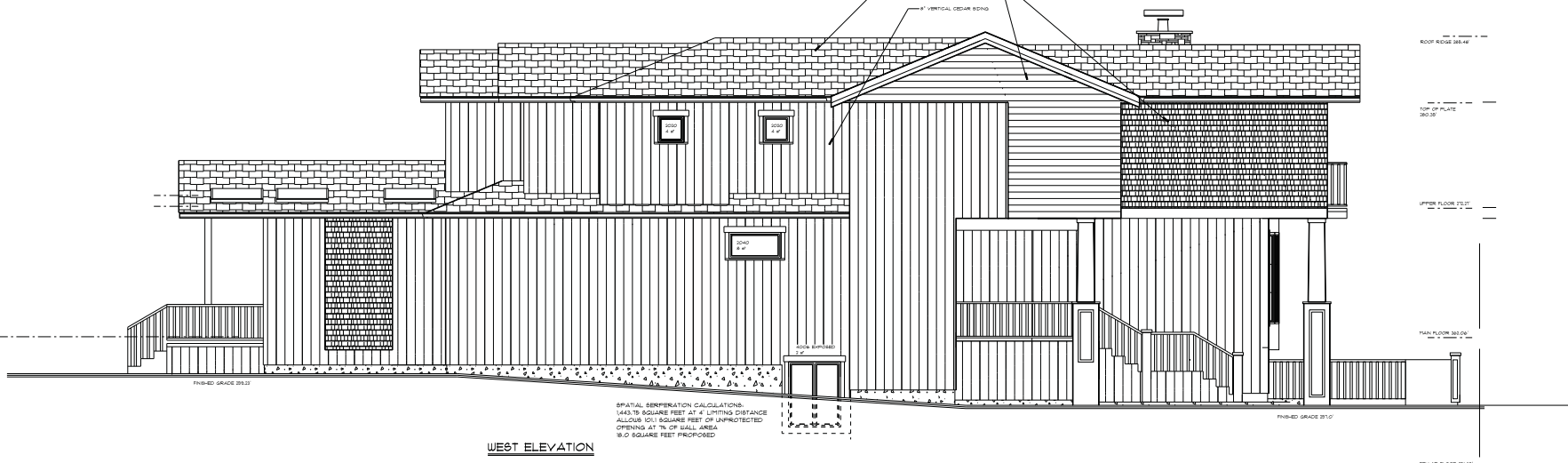
Masorny Vaseer Walla:

1. Provide 1" airspace between frame walls and masonry.

Micallensoua:

1. Heating system: Principle, components, and what does it need to heat.
2. Provide for floor/ceiling window frames with thermal gelling in sealed units to provide a minimum U25 envelope.
3. Glass in doors and windows to be double glazed unless otherwise specified.
4. Provide thermal break frames in all glazing.
5. Hard wall window frame to be insulated with an R-value to conform to 0.10 U25 BCBCB.
6. Provide thermal break/insulation in window and all of the bedroom door and in the bedroom and conform to 0.10 U25 BCBCB.
7. Provide thermal break frames in shower and bathroom enclosures and apply over a minimum thermal break/insulation to allow for adequate ventilation in restricted locations.
8. Finish glazing to be double unit, away from the building and to conform to 0.10 U25 BCBCB.
9. Provide hard wall window frame in each bedroom with an R-value of 0.10 U25 BCBCB.

SOUTH ELEVATION



WEST ELEVATION

[illegible]

ELEVATIONS

Drawing

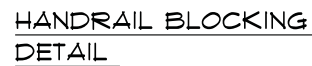
Drawn By B.C. Date DEC. 2018

Scale 1/4" = 1'-0"

Project

**DAYENPORT RES. AT
132 WESTMORELAND CR.
NORTH VANCOUVER**

Quality Residential Design



SPATIAL BERPERATION CALCULATIONS:
1575.5 SQUARE FEET AT 4' LIMITING DISTANCE
ALLOWS 82.3 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
29.5 SQUARE FEET PROPOSED

NOTE:

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THIS CONTRACT WILL BE VOID IF THE GENERAL CONTRACTOR PROVIDES CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Drawing

Drawn By B.C. Date DEC. 2018

Scale 1/4" = 1'-0"

Project
DAVENPORT RES. AT
732 WESTMORELAND CR.
NORTH VANCOUVER

REVISIONS



**Bill Curtis
& Associates
Design Ltd.**

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Fax 604-986-4555
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ELEVATIONS

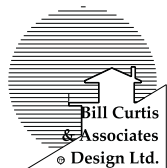
78

Quality Residential Design



STREETSCAPE

REVISIONS



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STREETSCAPE

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Drawn By B.C. Date DEC. 2018
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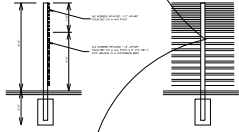
Project
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132 WESTMORELAND CR.
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8 of 8

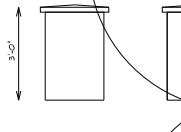
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ORAL CONTACT WITH THESE CHANGES SHALL CONSTITUTE CONCLUSIVE
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LEGAL DESCRIPTION:

LOT 43, BLOCK 7
DISTRICT LOT 552
PLAN 4687
PID 011-399/104



6' FENCE DETAIL
SCALE: 1/2" = 1'-0"



ENTRY GATE DETAIL
SCALE: 1/2" = 1'-0"

PLANT LIST

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT	ORIGIN
V	1	VINE MAPLE	ACER CIRCINATUM	4 M (13')	NATIVE
Ca	0	CRAB APPLE	MALUS CORALICOLA	2 M (6.6')	NATIVE
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Y	4	YAMFLOWER	DIANTHUS BARBATA	4.5 M (15')	NATIVE
SF	23	SHOVED PEEN	POLYSTICHUM MUNITUM	0'	NATIVE
B	4	BLUEBERRY	CHAMOMILLA POLYPODIUM	0'	NATIVE
C	15	COMMON CAMAS	CAMASSIA QUAMASH	2 M (6.6')	NATIVE

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○	WALL MOUNTED
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DWELLING HOUSE No. 734
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FR 2638 p.57-62 M 3302-27 NVC

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Drawing SITE PLAN

Drawn By BC Date DEC. 2018

SCALE: 1/8" = 1'-0"

Project DAVENPORT RESID. AT
132 WESTMORELAND CR.
NORTH VANCOUVER

Quality Residential Design

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e-mail billcurtisdesign@gmail.com

May 28, 2018

City of North Vancouver
141 West 14th Street
North Vancouver, BC V7M 1H9
Attention Ms. Emily MacDonald
Planning Department

Regarding 730 Westmoreland crescent DIS held May 23rd, 2018
at Westview Elementary School Library from 7:00 to 9:00 PM.

There was a very strong response to the proposal with 27 people attending plus the applicant, the designer, and Emily MacDonald representing the City. 15 felt strongly enough to fill out a comment sheet regarding their support or opposition to the proposal.

There was a common criticism that this proposal would result in more building area being allowed when there would not be any more allowed then if only one home were built. No extra building area would be permitted nor is being applied for. In fact the individual house sizes are smaller than the maximum allowed. The application included an appeal for a variance in height that was recommended by staff to allow more natural light into the suites proposed. The increased height exacerbated the narrow building frontage creating a bulkier looking building in appearance and further reducing the light to the neighboring house west of the lot.

Parking was another common complaint. Added to the extra cars envisioned by neighbors the neighborhood is located on a narrow street, a lane, and on the buffer of the Car2go and Evo car share parking areas. The result has been that many of these drivers leave their car in the neighborhood and walking the remaining distance to their homes resulting in the loss of even more parking.

No mention was made of the improvements made to the neighborhood as part of earlier development that included significant improvements to Westmoreland Crescent.

There was strong support for the project from other long time residents of the neighborhood. They saw the benefits being the creation of more affordable housing forms and a compliment to the neighborhood with more families and further enhancement to the public areas of Westmoreland.

Thank you for your consideration,

Bill Curtis

RECEIVED

JUN - 6 2018

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

Bill Curtis & Associates Design Ltd.

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5th Floor, 224 West Esplanade
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February 5, 2019

City of North Vancouver
141 West 14th Street
North Vancouver, B.C.
Planning Department
Attention Ms. Emily MacDonald

Regarding 730 Westmoreland Crescent

Dear Emily,

Thank you for your guidance through this project.

The attached revisions were done to accommodate concerns expressed by neighbors and to comply with the most recent amendments to the City RS1 zoning bylaw.

Those revisions include:

- 1) Raising both homes 2' to facilitate more natural daylight into the suites of each house and to conform with the new zoning requirements.
- 2) Redesigning the architecture to reflect the traditional character of the original homes in the neighborhood.
- 3) Reorienting the suite of the westerly house to the front of the lower floor to accommodate more natural light reaching the suite. The easterly lot suite is maintained at the rear of the building to minimize the street side grade alteration, provide for a softer transition in streetscape and to take advantage of Alden Lane. The lane location allows for a greater opportunity to capitalize on "side" windows. In response to a loss of privacy along the lane a landscape screen has been added along the east property line of the eastern lot.
- 4) By providing alternate sunken patio locations and the unique lane elevation the two homes have a greater sense of individual identity adding to the fabric of the neighborhood.
- 5) There is an opportunity to raise both homes a few feet higher and still conform with zoning. We elected not to do that because of the potential domineering impact on the lower existing homes and to develop a more consistent streetscape.

Thank you again, and for your consideration,

Bill Curtis

REVISED

FEB - 6 2019

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

The background image shows a waterfront scene with a concrete pier and metal railings in the foreground. In the water, there are several wooden pilings. A white boat is visible in the distance under a blue sky with light clouds.

Public Hearing

730 Westmoreland Crescent

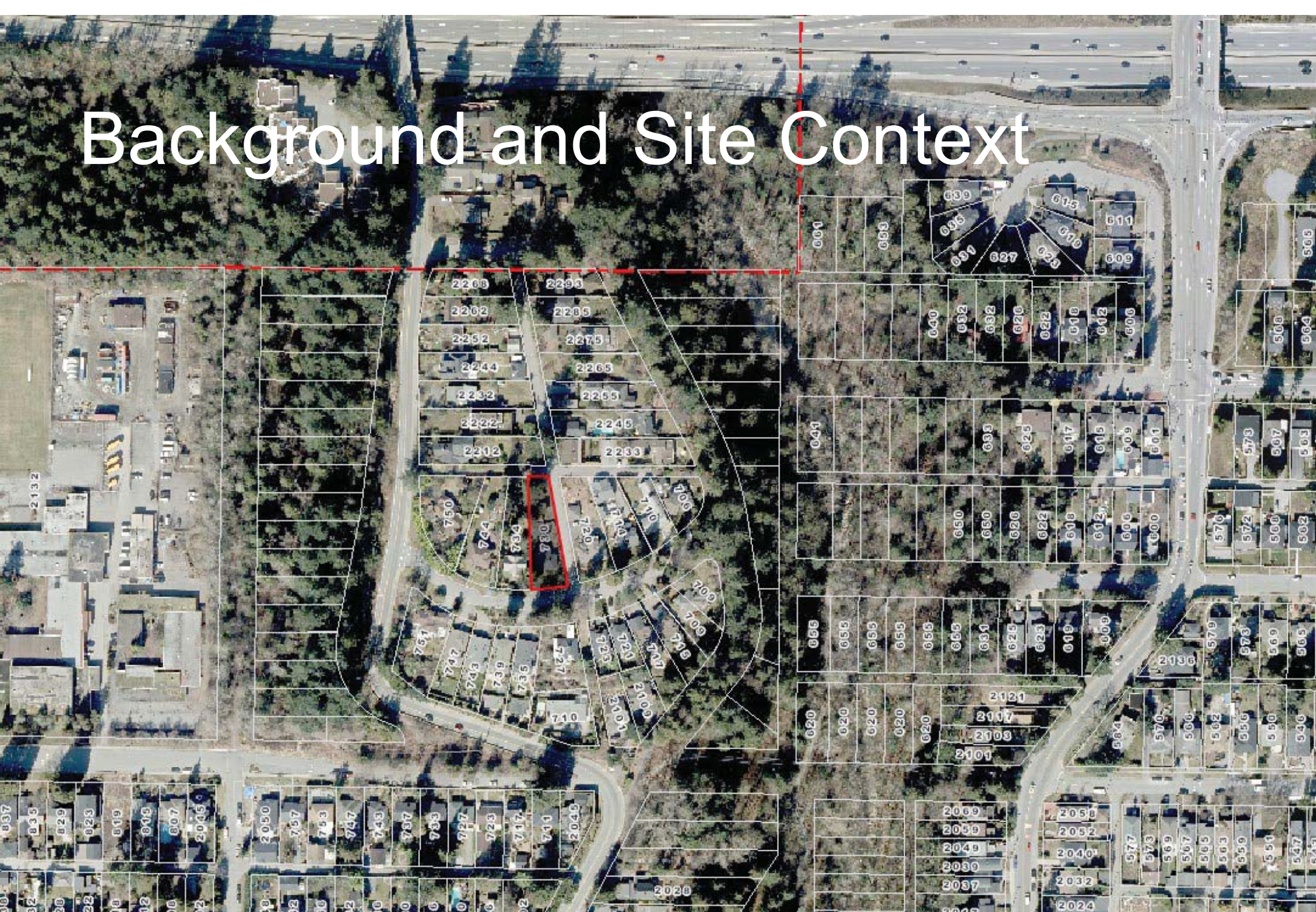
Zoning Amendment Bylaw 8716

Staff Presentation
Presented October 28, 2019
Planning Department

Background and Site Context



Background and Site Context



Neighbourhood Character (west)



Neighbourhood Character (southwest)



Neighbourhood Character (east)



Neighbourhood Character (southeast)



Project Description



Project Description

West lot – Elevations



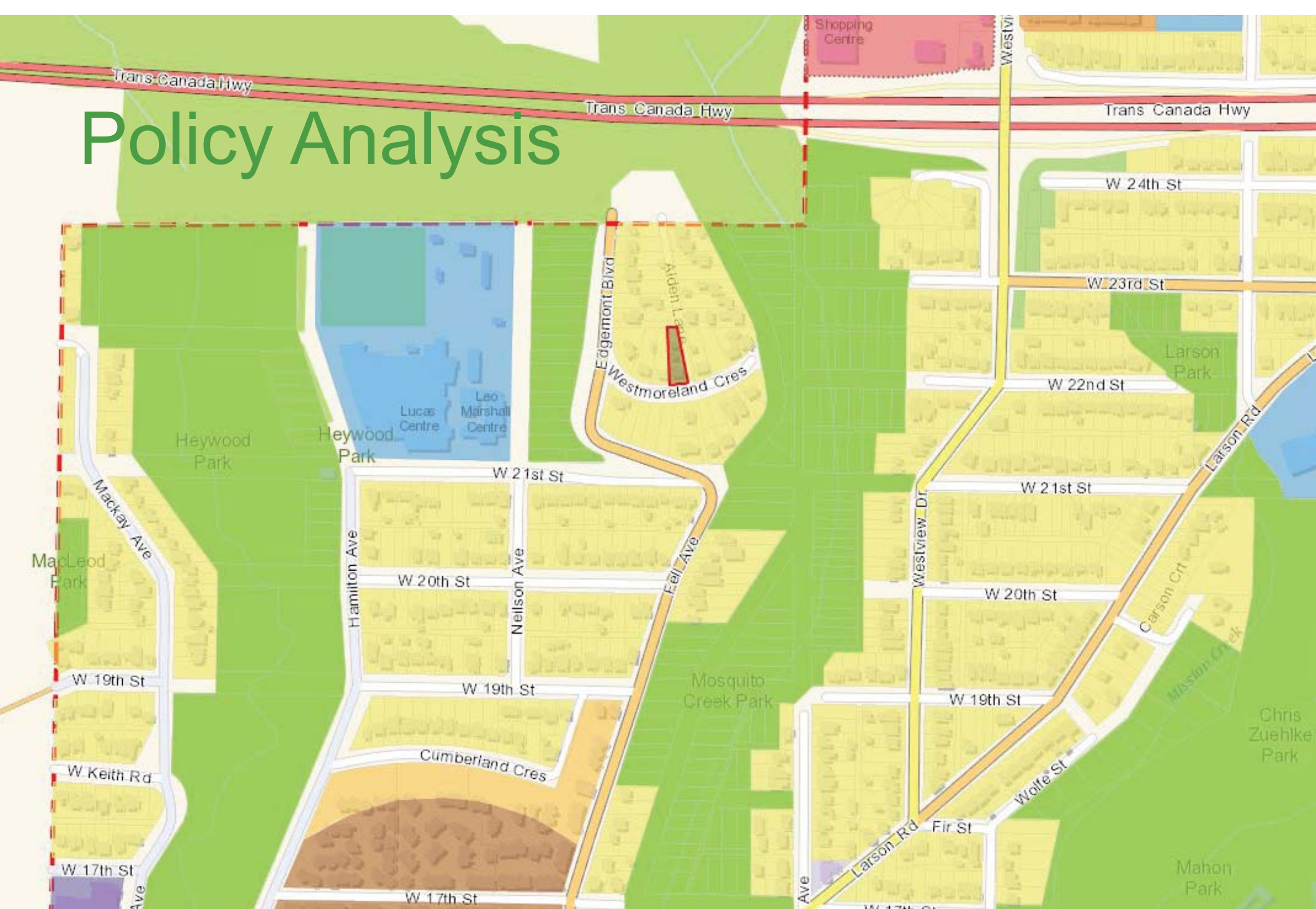
East Lot - Elevations



Site Plan



Policy Analysis



Policy Analysis

- Metro 2040 Goals
- Official Community Plan
- Housing Action Plan
- Sustainable Development Guidelines

Consultation and Feedback

- Topics/concerns
 - Modern design of (then) proposed building
 - Narrow lots leading to un-livable design, out of character with neighbourhood
 - Blank wall along Alden Lane
 - Parking
 - Potential triggering of more redevelopment in neighbourhood

Recommendation

- Proposal complies with Official Community Plan Residential Level 1 designation
- Achieves several Metro 2040 Goals and is supported by a number of City of North Vancouver policies



Thank you.

730 Westmoreland



NORTH SIDE OF WESTMORELAND



LOOKING WEST ALONG WESTMORELAND



SOUTH SIDE OF WESTMORELAND



LOOKING EAST ALONG WESTMORELAND

[illegible]

CONTEXT PICTURES

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Source: May 2004. Note: Data for 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683,

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Circumstance	Justified (%)	Not justified (%)
Self-defense	85	15
To protect others	75	25
To protect property	65	35
To protect the community	55	45
To protect the environment	45	55

DAYENPORT RES. AT

730 WESTMORELAND C.

SITE PLAN OF LOT 43, 39
BLOCK 7, DISTRICT LOT 562, PLAN 4687
P.I.D. 015-309-104

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Figure 1

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WESTMORELAND CRESCENT

Die Entwicklung der Wirtschaft in der Bundesrepublik Deutschland ist in den letzten Jahren durch die Integration in die Weltwirtschaft und die Öffnung des Marktes für internationale Investitionen und den Kapitalverkehr gekennzeichnet.

Die Studierenden der Wirtschaftsinformatik
werden durch die Teilnahme an
dieser Veranstaltung zu einer
aktiven Auseinandersetzung mit
den Themen der Wirtschaftsinformatik
angeregt und befähigt.



Axiom Associates
Design Ltd.

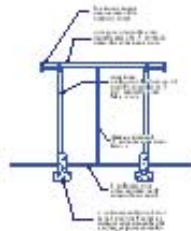
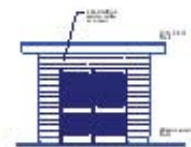
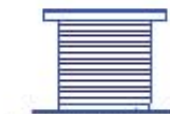
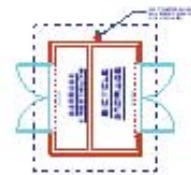
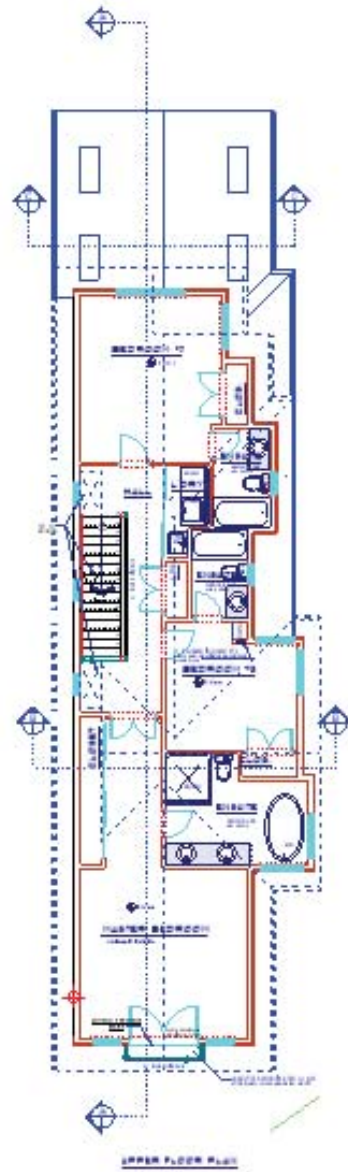
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Health Economics 20: 179-181

Page 10 of 10

Answer: $x^2 + 2x + 1$

DAVENPORT RES. 21
180 BERTHOLED CR.
NORTH VANCOUVER



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North Vancouver, BC V7N 1A3
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(779) 444-1770

UPPER FL. ROOF
1/2" = 1'-0" Scale

DAVENPORT RES. AT
140 WEST HOLLAND DR.
NORTH VANCOUVER

732 Westmoreland



NORTH SIDE OF WESTMORELAND



LOOKING WEST ALONG WESTMORELAND



SOUTH SIDE OF WESTMORELAND



LOOKING EAST ALONG WESTMORELAND

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CONTEXT PICTURES

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Source: May 2004. Note: Data for 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683,

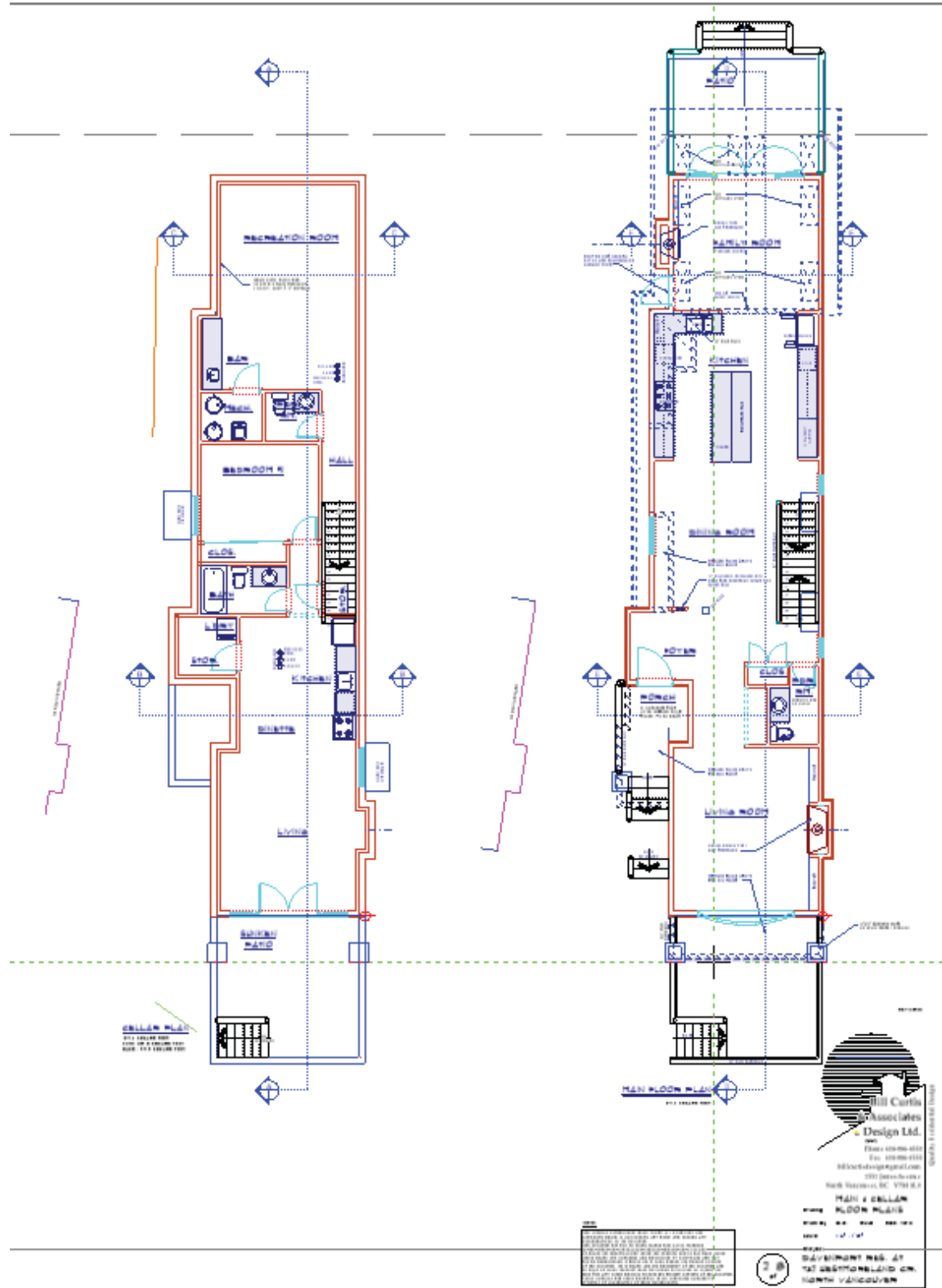
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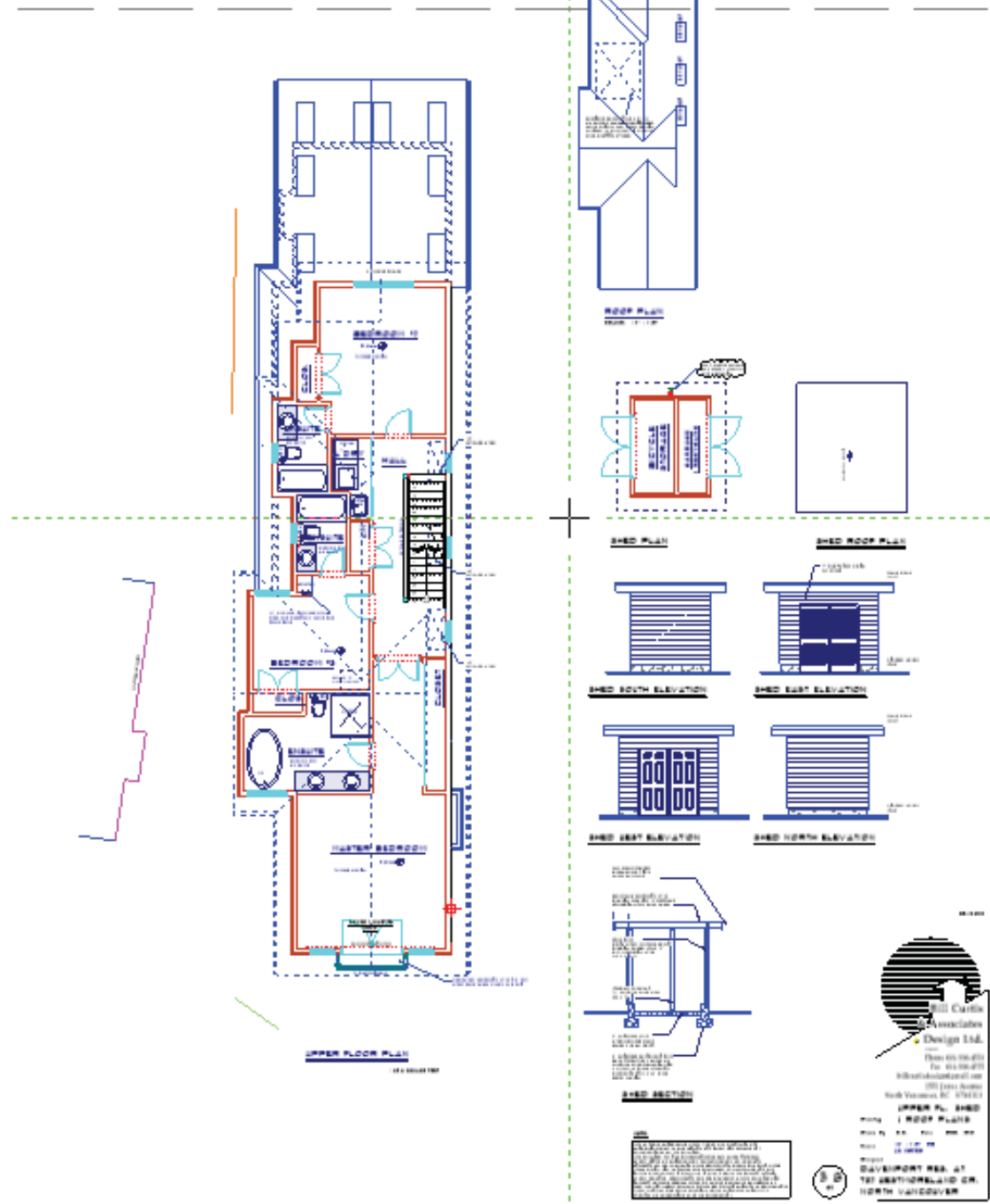
Circumstance	All respondents (%)	Police officers (%)	Non-police officers (%)
Self-defense	~98	~98	~98
To protect others	~72	~88	~78
To stop a crime	~75	~85	~80
To punish someone	~70	~85	~78
To show authority	~65	~60	~75

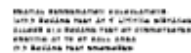
DAYENPORT RES. AT

730 WESTMORELAND C

NORTH VANCOUVER







Fax 804-596-4999

design@zmail.com

1551 James Avenue

Weymouth, BC V7M 3L9

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ELEVATIONS

Year	1990	1991	1992	1993	1994
1990	100	100	100	100	100
1991	100	100	100	100	100
1992	100	100	100	100	100
1993	100	100	100	100	100
1994	100	100	100	100	100

Printed on: 08/01/2019 10:00:00 AM

Basic $1.4^2 = 1.96$

May 2004

DAVENPORT REG. AT

732 WEATHRELAND CRE.

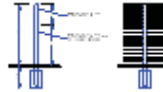
102 WEST HORNBEAN CRL.
NORTH VANCOUVER

NORTH VANCOUVER

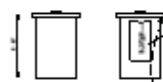
LEGAL DESCRIPTION

LOT 43, BLOCK 7
DISTRICT LOT 152
PLAN 8057
P23 011-055-104

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FENCE DETAIL



ENTRY GATE DETAIL

PLANT LIST

NO.	PLANT NAME	QUANTITY	REMARKS
1	SPRING BURNING BUSH	10	10' x 10' x 10'
2	SPRING BURNING BUSH	10	10' x 10' x 10'
3	SPRING BURNING BUSH	10	10' x 10' x 10'
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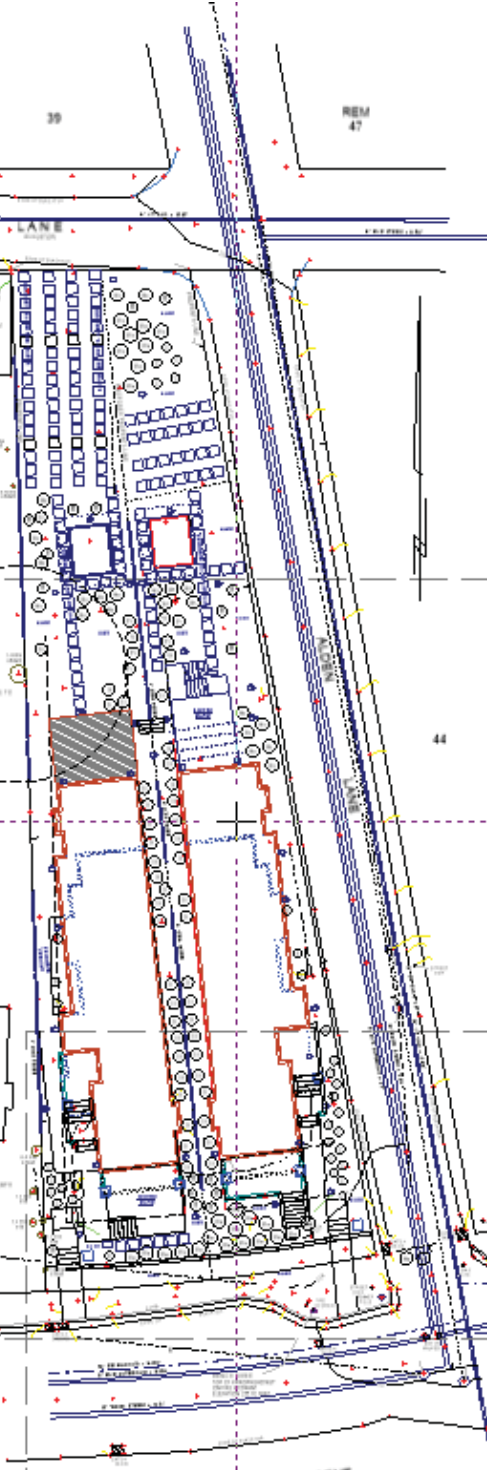


NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S PLANTING STANDARDS.
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Website: www.billcurrie.com

From: Rick White <>
Sent: October-21-19 2:21 PM
To: Submissions
Subject: rezoning application for 730 westmoreland cr.

dear councillors,

my name is rick white. my wife sally and i have been the owners of 734 westmoreland cr. next door to the subject property for 42 yrs. the application to re-zone dose not address any of the issues brought forth at the information meeting last year. staff or counsel chose not to proceed with a public hearing for re-zoning following that meeting. none of our objections or concerns expressed at that time have remedied. i will outline them again for you.

there is a premium enjoyed by all to retaining SR1 zoning. density is satisfied by the thousands of new homes either built or in the process of being built along transportation corridors. the new houses do not in anyway conform to the streetscape we currently enjoy. they are too high, too close, too many and with no yards for children. the new lots would be approx. 32' X 200' X 17'. i know of no other lots like this. they do not conform to our neighborhood.

the two houses would be approx. 20' wide, 30' high, and 70' long. nothing like them can be seen in this area. they do not resemble the scale or character of houses on the north side of Westmoreland Cres. new houses on the south side of the street can barely be seen from the road because they are built down a steep hillside.

westmoreland has welcomed 8 new houses, 3 coachhouses and 2 suites over the last 5 years we are slammed. our little deadend crescent is less than 200 meters long. parking on the south side is restricted week days 7am to 5pm except for 4 spaces. this is the only street parking for 11 houses 2 coachhouses and 2 suites on the southside of the road. there is almost no unused parking on the northside of the street. allowing for only 1 car per new living unit is not enough considering we are 1.5km - 2km to nearest transit lines. no one is walking it. it is most likely 3 nor 4 new car will be fighting for street parking pitting neighbour against neighbour. not good. what about visitability? visitability is extremely important to neighbourhoods far from bus lines. we are a very tiny neighbourhood and have no room for 4 new residences were there is only 1 now. there is no parking in Alden Lane due to its narrowness which can block firetrucks, ambulances and garbage trucks. there is no parking on lower edgemont. these are the only two streets that give access to westmoreland. there are no other streets in this area.

from a personal point of view we have much to lose. all of the sunlight from our eastern windows and most of the daylight will be gone. we will face a wall 30' high and 70' long only 4' from our property line along which mature[70 years old] trees grow. we have a dogwood, 7 cedars, and a holly tree that may be damaged or lost. currently birds of every discription live and visit here all day every day . loss of habitat could be monumental. the shadow cast by the 30' X 70' wall of the new house will diminish our enjoyment of our property and it's value.

in conclusion i ask you, if you would not save our tiny unique street and neighbour hood from re-zoning overreach which street / neighbourhood would you save? please support all of us who live here and say no to this re-zoing application.

thank you for your consideration of our many concerns.
rick & sally
734 westmoreland, north vancouver

From: michelle p <>
Sent: October-22-19 12:14 PM
To: Submissions
Cc: Emily Macdonald; billcurtisdesign
Subject: Re: Rezoning Application for 730 Westmoreland Cres

To Whom it may concern,

I am writing today concerning the rezoning application for 730 Westmoreland to be on the agenda of the October 28th public hearing meeting. Also known as the Zoning Amendment Bylaw No. 8716.

I live "on the hill" of Westmoreland Cres and Alden lane. My husband and I have lived here for 7 years with our 2 amazing children, aged 5 & 7. We bought here because it seemed like the right fit to raise our family, an isolated, quiet hill with a good family feeling.

Up until now, I have been very much in support of residential development that fits in the neighborhood and makes sense for our unique hamlet.

- In 2014, a lot down the road was subdivided and became 721 & 723. Both are single family homes **without** basement suites. Each house has 2 parking spots in their driveways, on their lot.
- In 2017, our neighbour at 714 approached the neighbours and asked for support in creating a coach house behind the 1950 house that she grew up in, and still lives in. We supported this because it makes sense for the neighbourhood. There is a parking spot at the rear of the lot for the tenant to park off the street.

Both of the projects are densification that fit within RS-1 zoning. Both made sense for the neighbourhood because they retained the neighbourhood scale and character. And both aligned with the OCP.

Our neighbourhood is a unique hamlet in that:

- We are land locked from the east by Mosquito Creek, from the north by Highway 1, by the south by the Fell Ave hill and by the west, Edgemont blvd that steeply drops off to the Lucas Centre lands. There is no parking on Fell Ave, Edgemont blvd or Alden Lane. We have also been limited by parking on 23rd because sometimes there are as many as 10-15 EVO and Car2gos parked.
- We are located 1.2 km up a steep hill from transit making us very car dependent. Not one single person on the street of Westmoreland relies on the bus for commuting as it is 1.2 km away or walks to Marine drive for things such as groceries. It is inconvenient due to the steep hill and a far distance to travel with bags.

I am concerned if this rezoning is allowed to moved forward:

- This could mean 4+ adults could live in each dwelling. Each lot only allows for 2 parking spots. This would mean 4+ more cars on the street.
- On our street, we have about 9 or 10 parking spots that are unrestricted on the north side. We have 3 spots that are "no parking from Mon-Fri 7am-5pm". Many of these are often taken up. One

point that is made in the “**Zoning Bylaw Livability Review for One-Unit and Two-Unit Residential Uses**” is “*Encourage visitability and accessibility in single family and duplex developments;*” Our neighbourhood will not be “*visitable*” or “*accessible*” if our guests have nowhere to park.

- This would be precedent setting. If this is allowed, there would be 10 other houses that could qualify for the same RS-2 subdivision. That could mean as many as 40 more cars on the street that has only 9 spots. This is not sustainable and this application does not “represent good planning” as stated in the report presented to the council on October 7th, 2019. It would be short sighted to allow this to proceed. The report states that 1 spot per unit is adequate given our location and proximity to Marine drive. This is simply not true.
- Our safety will be compromised. We already have firetrucks come around on a regular basis to check to see if they can make the turn from Westmoreland Cres to Alden Lane because it is already a challenge. We need to ensure that fire and other service trucks are able make that turn and in a timely manner. Forcing more cars to park on the street will complicate that.
- That the safety of our neighbourhood children would be compromised. They love to get out on the street for ball hockey games, tennis matches, bike riding, etc. We cannot afford more cars and more traffic that would compromise their safety.
- The site plan shows no trees to remain on this site. According to the “*wildlife notes in the property report: “Maturing trees and shrubs provide habitat for some breeding, migrating, and resident songbirds.”*” This does not fall withing Sustainable Development Guidelines as stated in the Rezoning application report.

The Rezoning Application report presented to the City’s council at the October 7th meeting misrepresented me as part of this neighbourhood. I stated all of the points above very clearly and it was not conveyed adequately to you. I am very disappointed to hear that I was made to look that my concerns were trivial, such as the appearance of the structures, when really I was most concerned about the safety and precedent setting of our neighbourhood. And Bill Curtis’ letter dated February 5th states that he addressed the concerns of the neighbours, this is not true.

Thank you for time to read my letter. I look forward to being at the council meeting on October 28th.

Respectfully,
Michelle Meredith
747 Westmoreland Cres.

From: Core Control Physio <>
Sent: October-22-19 12:53 PM
To: Submissions; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica McIlroy (Councillor); Tony Valente (Councillor); Emily Macdonald
Subject: 730 Westmoreland Crescent Zoning

I am writing to communicate my opposition to the application for a zoning variance at 730 Westmoreland Crescent. The application is to rezone the property; and increase density from one unit to four, with only one parking space per unit. It does not meet the frontage requirements, and the lot is pie-shaped, with a significantly smaller rear measurement, making it a non-ideal lot for a rezoning exception to your rules. As our neighbourhood is geographically unique and isolated, this rezoning and densification without adequate/realistic parking is inappropriate in this unique neighbourhood.

The report made to council by your staff on October 7, 2019 grossly misrepresented the neighbourhood and the relevant concerns of homeowners. Having attended the meeting during which the information was gathered, I was shocked to read the report, as were many homeowners who attended.

My concerns are as follows:

- **Inadequate parking plans** for the units within a geographically constrained neighbourhood WITHOUT access to public transit (closest bus stop is more than 1km away, down an incredibly steep hill). The three streets in our neighbourhood are geographically bound by Highway 1, Mosquito Creek ravine, McKay ravine, and a very long steep hill on the south side. One of the three streets is not a legal width street, but a NARROW LANE, which cannot support on-street parking. We already struggle when having guests over, as there is inadequate parking at present, with nowhere to expand public or guest parking. Adding three additional units AT A TIGHT CORNER LOT bordering a narrow laneway without adequate parking will further stress this issue.
- **Neighbourhood safety** is a significant concern as our neighbourhood is already identified by emergency services as a poor access neighbourhood. Fire trucks regularly test access in our neighbourhood to ensure they can safely navigate our narrow lane. Street cleaning trucks regularly omit cleaning parts of our neighbourhood due to challenging access related to on-street parking narrowing access as cars already have to park in precarious locations narrowing streets.
- **Precedence of rezoning** lots will lead to numerous other lots being similarly rezoned, and in this geographically restricted area, this cannot be sustained.

Our neighbourhood has supported numerous development projects. A neighbour recently built a coach house, on a well-planned portion of their lot, with solid parking plans. This received no resistance. I am not opposed to thoughtful densification, but feel strongly that this project, given its aggressive conversion from one unit to four, on a triangular lot (tiny rear measurements), with only

one parking space per unit, and with parking spaces accessing a narrow lane on a very tight corner is not an appropriate place for this volume of densification.

Our neighbourhood is very unique in its geographic limitations. I ask that you take the time to drive through prior to this vote to see the physical constraints, narrow lane, and rear lot limitations at the proposed site.

This is not a simple case of NIMBY, but rather a case of concerned homeowners fighting to maintain a safe and visitable neighbourhood; many of us feel that both safety and visitability are limited already, and this project would have a significant impact.

Thank you for your time, and please come drive through.

Marnie Giblin
706 Westmoreland Cr.
North Vancouver

Kamila and Kostas Panagiotopoulos
735 Westmoreland Cres.
North Vancouver, BC
V7P 2G8

Oct. 22, 2019

Re: Development/ Rezoning Application at 730 Westmoreland Crescent, North Vancouver, BC (REZ2018-00007)

To Whom it may concern,

We are writing this letter due to our serious concerns with the development/rezoning application for 730 Westmoreland Crescent in North Vancouver. This lot currently has a single house on it, but the current owner wants to build two houses each with an additional suite. If this application goes through, this could mean that four separate families could potentially live on this single lot.

Our neighbourhood is very unique due to the surrounding area and this development could potentially become quite chaotic for our street. We live on a small street with no through road and only a narrow lane connecting Westmoreland Cres. to 23rd St. On the north side, our neighbourhood is bordered by the highway, and we are bordered by Edgemont Blvd on the west side. Mosquito Creek borders our neighbourhood on the east side. The south side of our neighbourhood drops off steeply as Edgemont Blvd. becomes Fell Ave. These borders make our neighbourhood quite isolated with limited routes for entry and exit.

We are also very far from any transit system, and we all rely on our vehicles for transportation. The nearest bus stops are over one kilometer away. There are already several vehicles parked on our street and absolutely no room for the additional number of vehicles that may arise from four more dwellings on one lot. Fire trucks, garbage trucks and other large vehicles coming to our area already experience a difficult time maneuvering around the narrow neighbourhood streets. There is no parking allowed on Edgemont Blvd. or Alden Lane (the lane connecting Westmoreland to 23rd St.). There is also no parking on a large section of the south side of Westmoreland Cres. itself.

If this development goes through, we are setting a precedent for additional lots to become subdivided in a similar fashion. There are several other lots that could potentially be divided in a similar way. At this time, due to the significant limitations in space, even one subdivided lot would have a significant impact to our neighbourhood. In our opinion, further subdivisions to other lots would be catastrophic.

We have been living in this wonderful neighbourhood for over eight years and we have been very supportive of past developments. For example, in 2014, one lot was subdivided to become two separate homes (721 and 723 Westmoreland) and we had no concerns with this development because there were only two single family dwellings created. In addition, we were very supportive when the owners of 714 Westmoreland decided to add a coach house to their lot in 2017. In the last nine years, we have already seen two larger lots create six different homes. Our constrained neighbourhood has already been quite saturated with development and could not really absorb such an increase in density.

We are very supportive of increased density in North Vancouver, but these developments should occur in more appropriate neighbourhoods that have wider streets, accessible parking and nearby transit. A development that creates four dwellings on one lot is highly unsuitable for our distinctive neighbourhood.

Thank-you for taking into account our concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kostas and Kamila Panagiotopoulos', written in a cursive style.

Kostas and Kamila Panagiotopoulos

735 Westmoreland Cres.

North Vancouver, BC



NOTICE OF PUBLIC HEARING

WHO: Bill Curtis & Associates Design Ltd.
WHAT: Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716
WHERE: 730 Westmoreland Crescent
WHEN: Monday, October 28, 2019 at 6:00 pm
Council Chamber, City Hall
141 West 14th Street, North Vancouver

Notice is hereby given that Council will consider:

Zoning Amendment Bylaw, 2019, No. 8716

to rezone the subject property from RS-1 (One-Unit Residential 1) to RS-2 (One-Unit Residential 2) to allow for a subdivision to create 2 lots with a front width of 9.97 metres (32.7 feet). The proposal includes 2 single family dwellings with suites. A total of 4 surface parking spaces are proposed, 2 with access from the rear lane for the west lot and 2 with access from Alden Lane for the east lot.



All persons who believe they may be affected by the proposal will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk, at input@cnv.org, or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, October 28, 2019, to ensure their availability to Council at the Public Hearing. Once the Public Hearing has concluded, no further information or submissions can be considered by Council.

The proposed Zoning Amendment Bylaw and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from October 18, 2019, and online at cnv.org/PublicHearings.

Please direct any inquiries to **Emily Macdonald**, Planner, at emacdonald@cnv.org or **604-982-3904**.

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T 604 985 7761 / F 604 985 9417 / CNV.ORG



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8716

A Bylaw to amend "Zoning Bylaw, 1995, No. 6700"

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as "**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716**" (**Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent**).
2. Division VI: Zoning Map of Document "A" of "Zoning Bylaw, 1995, No. 6700" is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of RS-2 (One-Unit Residential 2 Zone):

Lots	Block	D.L.	Plan	
43	7	552	4687	from RS-1

READ a first time on the 7th day of October, 2019.

READ a second time on the 7th day of October, 2019.

RECEIVED APPROVAL FROM THE
MINISTRY OF TRANSPORTATION ON THE
<> DAY OF <>, 2019.

READ a third time on the <> day of <>, 2019.



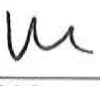
ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Mike Friesen, Planner 2

Subject: REZONING APPLICATION: 339 EAST 13TH STREET (HEARTH
ARCHITECTURAL INC., CD-720)

Date: September 25, 2019 File No: 08-3360-20-0453/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled
"Rezoning Application: 339 East 13th Street (Hearth Architectural Inc., CD-720)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717"
(Hearth Architectural Inc., 339 East 13th Street, CD-720) be considered and
referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government
Act*.

ATTACHMENTS

1. Context Map (Doc# [1828508](#))
2. Condensed Architectural and Landscape Plans, dated May 2019 (Doc# [1828568](#))
3. Developer Information Session Summary (Doc# [1830780](#))
4. Zoning Amendment Bylaw No. 8717 (Doc# [1828584](#))

PROJECT DESCRIPTION

The project, located at 339 East 13th Street, consists of one two storey, duplex building and one infill building, with a three car garage and one additional unenclosed parking space; no accessory dwelling units are being proposed. The subject site currently hosts a single family dwelling, constructed in 1928, that will be demolished. The requested changes to the Zoning Bylaw to permit this development are identified in Table 1 below. Additionally, Attachment #4 has the amending bylaw with the proposed changes.

Table 1. Requested Changes to the Zoning By-law

Consideration	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RT-1	CD-720
502: Uses in Two-Unit Residential Zones	Maximum of two principal dwelling units and two accessory dwelling units (total of four)	Permit three principal dwelling units only
509A 1: Principal Buildings	Limited to 1 per lot	Permit a 2nd principal building to accommodate the infill unit
509A 2: Gross Floor Area	Shall not exceed the lesser of 0.35 times the Lot Area plus 92.9 square metres (1000 square feet) or 0.5 times the Lot Area	Shall not exceed 0.5 times the Lot Area
509A 3: Lot Coverage	Shall not exceed a Lot Coverage of 35%	Shall not exceed a Lot Coverage of 40%
509A 5 B: Rear Lot Line Setback	15.7 metres (51.52 feet)	Reduced to 11 metres (36 feet) to accommodate the infill unit
509A 4 C: Building Height	Elevation principal buildings must be 0.76 metres (2.5 feet) above reference grade	Requirement eliminated for infill building in order to permit better response to natural topography.
514 5 C: Accessory Building siting	Accessory buildings must be sited a minimum of 6.1 metres (20') from a principal building	Reduced to 8' to accommodate the infill unit
Energy Performance	Building Code Minimum	Minimum of Step 3 of the BC Building Code Step Code

POLICY FRAMEWORK

The subject site is designated Residential Level 2 (R-2) within the Official Community Plan. This designation permits a range of ground-oriented housing in areas located between detached residential and more intensive residential or mixed-use areas. Duplexes with secondary suites, triplexes, and row homes are permitted in this designation.

Metro 2040	
Goal 1 Create a Compact Urban Area	Intensifying this site with infill that is consistent and scaled to the surrounding neighbourhood, will ensure the highest and best use of the land promoting a compact urban area.

<p><i>Goal 2</i> Support a Sustainable Economy</p>	<p>Infill on this site promotes housing forms that can support a diversity of income levels and ensure people live close to where they work.</p>
<p><i>Goal 4</i> Develop Complete Communities</p>	<p>The proposed development ensures the neighbourhood will have a diversity of housing stock that will promote the ability to age-in-place allowing people to stay in their neighbourhood throughout all of their lifecycles.</p>
<p><i>Goal 5</i> Support Sustainable Transportation Choices</p>	<p>Intensification of this site will support future transit investments along Lonsdale Avenue and is adjacent to a proposed AAA-Bike Facility along East 13th Street. The site is proximate to community and commercial amenities and is well situated to provide the occupants with a variety of transportation choices across the North Shore and the greater region.</p>

Official Community Plan	
<p><i>Policy 1.1.2</i> Align growth with the development community amenities and infrastructure</p>	<p>Intensification of the site supports the Central Lonsdale Area and future rapid transit infrastructure and community amenity investment.</p>
<p><i>Policy 1.3.1</i> Ensure that new development is compatible with the established urban form of the City, reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods</p>	<p>The proposed development on the site is appropriately scaled to the neighbourhood and supports the primacy of the Lonsdale Regional City Centre. The duplex form of the front units will be consistent with the neighbourhood that has recently seen several new duplexes constructed and the infill unit has been oriented to minimize impact on existing neighbours.</p>
<p><i>Policy 1.3.5</i> Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings</p>	<p>The proposed building is consistent with the neighbourhood character, while landscape elements have been revised in order to improve privacy for adjacent properties. The materiality and scale of the new dwelling is consistent with the surrounding neighbourhood.</p>
<p><i>Policy 1.3.6</i> Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner</p>	<p>The proposed architecture and building materials of the new dwelling are consistent with the surrounding urban form and the local context.</p>

<p><i>Policy 1.3.9</i> Explore ways to activate laneways in the City including opportunities for varied uses, pedestrian and cycling activity as well as storm water management and urban agriculture.</p>	<p>The development presents an attractive landscape element along the rear lane while accommodating required parking. Connection from the street to the lane is supported by a common rear yard that promotes natural surveillance and will support future activation of the laneway.</p>
<p><i>Policy 1.5.1</i> Provide opportunities for a range of housing densities, diversified in type, size and location.</p>	<p>The proposed infill development provides a smaller housing form that assists in units for a broader range of incomes. This form will help to provide more diverse housing in a neighbourhood that is accessible to the City's Lonsdale core area. Due to a lack of space to achieve Zoning Bylaw requirements for parking, the applicants cannot integrate accessory dwelling units into their proposed development.</p>
<p>Housing Action Plan</p>	
<p><i>Action #6</i> To increase the diversity of homeownership options in lower density neighbourhoods.</p>	<p>By splitting the density between three primary dwelling units (as opposed to a duplex that splits density between 2 units), the project reduces the size and the cost of the new, family friendly (3+ bedrooms) units.</p>
<p>Sustainable Development Guidelines</p>	
<p><i>Natural Systems</i> The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</p>	<p>The project is proposing a common garden plot as a central feature of the landscape plan.</p> <p>A rainwater garden will help to reduce impact on City infrastructure while supporting on-site vegetation.</p> <p>All trees that are being removed to support redevelopment are being replaced on-site.</p>
<p><i>Physical Structures/Infrastructure</i> The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable</p>	<p>The project will achieve Step 3 of the BC Building Code Step Code, one step greater than the requirements required at the time of application.</p> <p>The project will provide a statutory right-of-way along the East 13th Street frontage of their property to support the ongoing development of the City's active transportation network.</p>

buildings, provision of a range of housing types and adequate community amenities.	
--	--

PLANNING ANALYSIS

Site Context

The surrounding land uses are identified in Table 2 below.

Table 2. Surrounding Uses

Direction	Address	Description	Zoning
North (across East 13th Street)	336, 342 E 13th Street	Single family dwellings	RS-1
North (across East 13th Street)	318-332 E 13th Street	Lions Gate Hospital Hospice Care and Accessory Uses	CD-551
East	345 East 13th Street	Duplex Dwelling	RT-1
South	332, 336, 340 East 12th Street	Duplex dwelling	RT-1
West	333 East 13th Street	Single Family Dwelling	RT-1

Generally, the surrounding neighbourhood is made up of duplexes and single family homes. The area was a part of the City's Duplex Development Permit Area - when that policy was still in effect - and many of the surrounding homes have been redeveloped over the past decade.

The subject site is located approximately 350 metres away from Lonsdale Avenue and has direct access to two proposed AAA cycling routes (East 13th Street and St. Andrews Avenue).

Use

The policy framework applicable to the subject site supports the proposed three dwellings as residential use. The site is located in close proximity to transit as well as Central Lonsdale's commercial and social amenities. Additionally, the units will provide greater diversity of housing stock in the area, potentially providing an alternative to traditional duplex development.

Intensity

The proposed intensification on the site is appropriate for the neighbourhood given the surrounding density and the land use designation. The Residential Level 2 designation

permits the development of triplexes, and the proposal builds off of the City's coach house policy to develop a site plan for multiple buildings on a single site.

In response to community concerns regarding the potential for accessory dwelling units, the design was amended to create an open connection between storeys in order to reduce the likelihood of suites. Additionally, the original application proposed similar development for the two properties to the east (345 & 349 East 13th Street); in response to neighbourhood concerns regarding the proposed number of units, the applicant chose to proceed with duplex development on those properties and reduce the scope of the project only to 339 East 13th Street. The proposal provides four parking spaces on-site to serve the three principal units - three in a garage and one outdoor visitor space - which is greater than the required bylaw minimum but inadequate to support multiple accessory dwelling units on site.

With regard to environmental standards, the proposed development will achieve Step 3 of the BC Building Code Step Code. Level 2 electric vehicle charging capacity will be provided for each of the parking spaces. Storm water will be addressed through a rain garden, as well as retention tanks to mitigate more significant storm events.

Form

The urban form proposed for the site satisfies the policy intent of ensuring new development is consistent with the character of the surrounding neighbourhood. The form of the development will conform generally to the attached drawings (Attachment 2: Condensed Architectural and Landscape Plans, dated May 2019). From the street the project resembles a traditional duplex development, with massing that is sympathetic to neighbouring units, and exhibits architectural details and materials that are reminiscent of traditional North Vancouver houses. The infill unit conforms to the changing grade and utilizes landscape features - common garden plots, new tree plantings - to provide opportunities for future residents to interact, while ensuring privacy for the proposed units as well as neighbours. The orientation of units and landscape treatment approaching the lane will support passive surveillance of public areas as well as future activation of the lane. The front duplex building conforms to setbacks and heights stipulated by the Two-Unit Residential 1 (RT-1) zone, the variances identified above provided to support a livable and contextually sensitive infill unit. The site's four parking spaces are accessed via the lane.

COMMUNITY CONSULTATION

A Developer Information Session (DIS) was held June 12, 2018 at St. Andrew's United Church, located several blocks from the proposed development location. Eight members of the public attended the session and three comment forms were received. The applicant has provided a summary of the event (Attachment 3: Developer Information Session Summary)

The development information session uncovered two primary concerns:

1. General concerns regarding density (number of families, having appropriate parking, etc.) and development (concerns regarding the construction period); and
2. The removal of trees and the subsequent reduction in privacy and changes in character associated with that removal.

Significant amendments to the design were undertaken in response to the neighbourhood concerns. Foremost among them a reduction in scope of the project from three lots - each containing a duplex plus infill unit - to a single duplex plus infill lot with the remaining properties undertaking traditional duplex development consistent with existing zoning. In response to concerns regarding the conversion of basements to accessory dwelling units, the applicant integrated an "open to below" void with the central staircase that creates a direct connection between each of the floors and significantly reduces the feasibility of developing illegal suites.

With regard to the removal of trees, the applicant has revised their landscape plan in order to address the concerns. The removal of trees is often required in order to develop a property, whether due to the new placement of buildings or landscape features, the potential interference with the provision of services, or due to the impacts of construction. The applicant has provided an arborist report that outlines the health and possibility for retention of the various trees and bushes on the property. The report does not recommend the preservation of any of the trees, however, in order to address concerns regarding privacy and overlook, as well as to promote the retention of the City's sylvan character, the proposed project will replace all of the trees that are removed with new trees; special attention was paid to providing new trees along the western property line in order to respect the privacy of the adjacent residents.

ADVISORY BODY INPUT

The application was directed to the Advisory Design Panel on two separate occasions: June 20th and October 17th, 2018. On the second occasion, the Panel recommended the approval of the project subject to addressing the following issues to the satisfaction of the Development Planner assigned to the file:

- Further exploration of the usefulness of the space between the two infill units on the west side;
- Consider the potential for the duplex units' living room access to the front porch and front lawns;
- Utilize these changes to help define variation amongst the street frontage;
- Consider front verandas for more interface with the street and pedestrians;
- Reconsider the 13th streetscape interface in consideration of accommodating future street designs like a bike lane;
- Break down the overall massing of the roofscape for the duplexes by potentially adding ceiling height in the bedrooms and expressing that on the exterior;

- Ensure adequate lighting on address posts and paths for visibility and CPTED impacts;
- Investigate the potential for skylights or windows over the generous three storey stairwells in the duplexes to bring natural light into the units;
- Consider increasing the use of pavers for permeability and esthetics;
- Applicant to review response to Step Code 3 requirements overall with durability of the exterior cladding; and
- Consider the use of a more natural material palette.

Many of the comments are no longer applicable considering the reduction in scope of the project from three lots to one, however staff can confirm the items suggested by the Panel were investigated and addressed to staff satisfaction.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS

Although the application was submitted well in advance of the endorsement of Council's Strategic Plan, the plan is consistent with the priorities identified by Council.

Council Strategic Plan	
A City for People	Shared food production spaces in landscape plan; gentle density to support a range of housing options along the housing continuum.
A Liveable City	Rain garden to support on-site retention and use of rainwater; replacement of removed trees; step 3 of the BCBC Step Code; electric vehicle charging stations.
A Vibrant City	Common gardening and food production area to support neighbour interaction; architectural form that is responsive to existing neighbourhood character.
A Connected City	Proximity to major transit routes and planned investments; proximity to planned and existing AAA cycling network infrastructure; near to shops and services of the Lonsdale City Centre.
A Prosperous City	Location of additional density supports the viability of the Lonsdale commercial core and the ongoing development of Lonsdale Avenue as a high street.

CONCLUSION

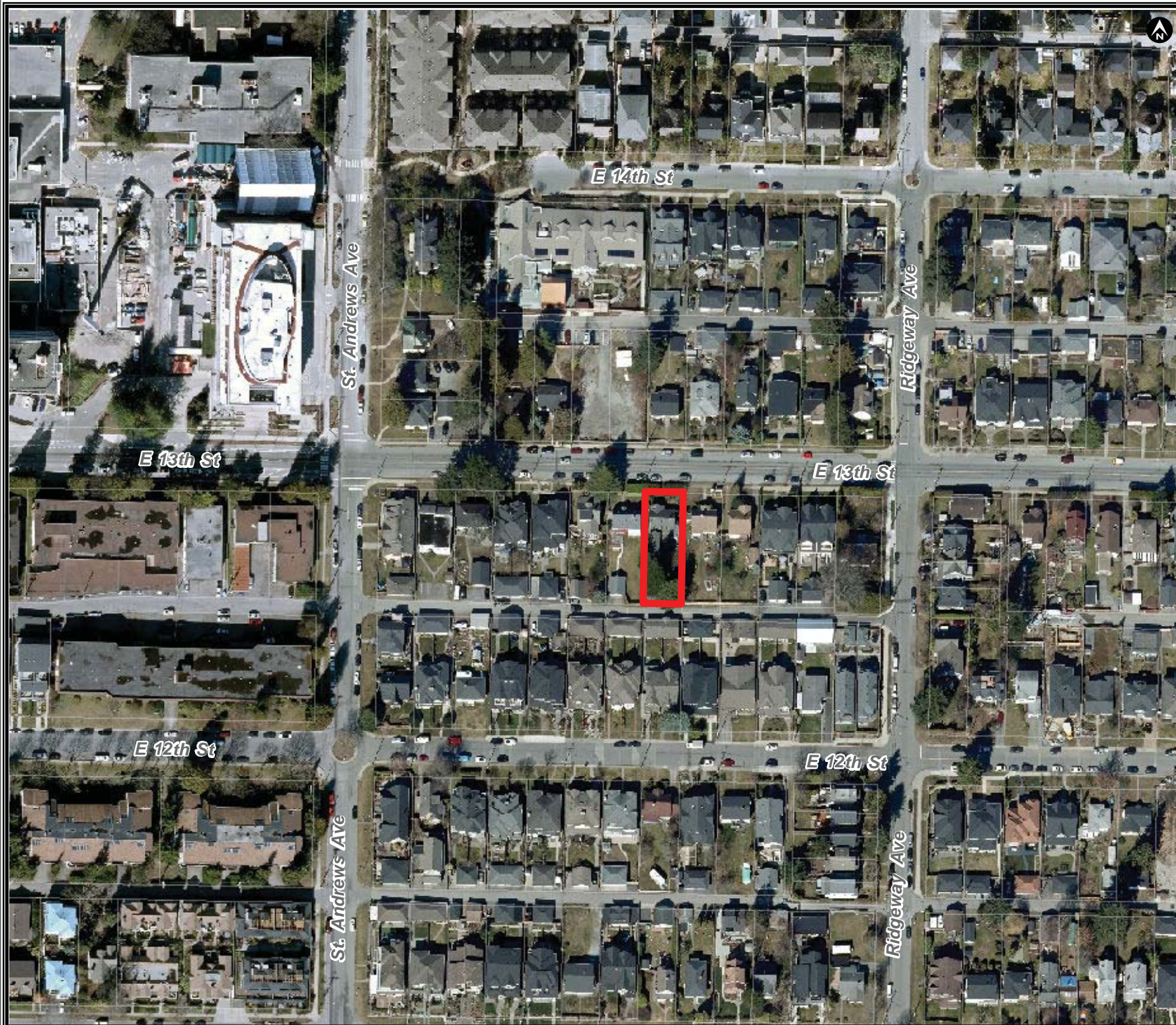
The proposed application represents an appropriate development for the land use designation and a design that is responsive to the site's context. Gentle intensification – including the development of infill units – adjacent to the Lonsdale Core will support transportation infrastructure improvements and enhanced amenities in the area. The requested zoning change and development proposal are consistent with the Region's and the City's planning policies. Overall, the application looks to implement a development that fits the surrounding neighbourhood character and provides increased density in an appropriate location.

RESPECTFULLY SUBMITTED:



Mike Friesen
Planner 2


MF/eb



City of North Vancouver

Context Map 339 E 13th St

Legend

 Subject Site

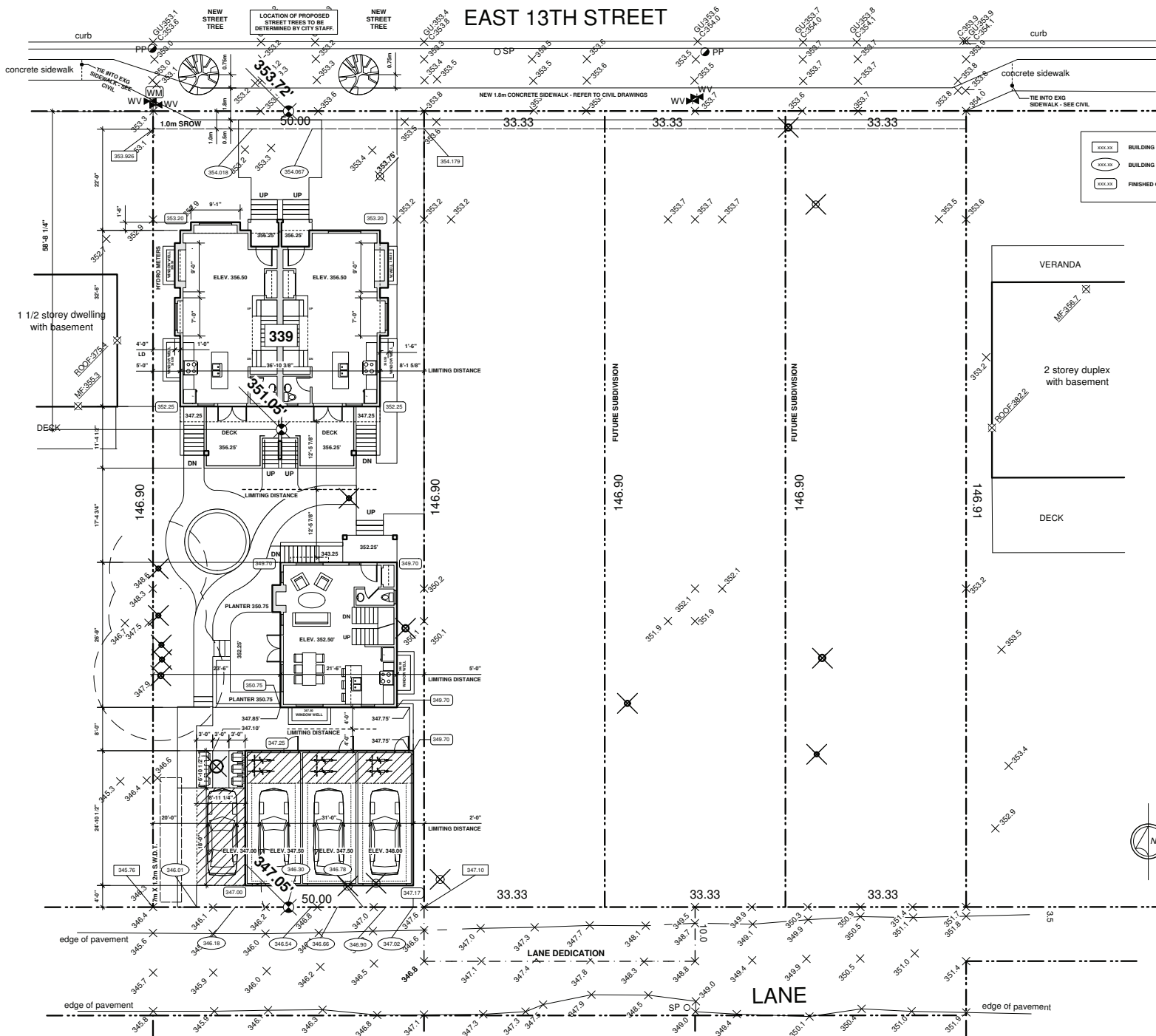


DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

city
of north
vancouver



224 - 2323 Quebec Street
Vancouver BC V5T 4S7
Tel 604.266.4877 Fax 604.266.4879

www.HEARTHworks.ca

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the Builder to pay very close attention to actual site dimensions, personnel and conditions which may vary from those shown on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions

No.	Date	Details	By
1	NOV 15 2017	ISSUED FOR DISC.	VJM
2	NOV 17 2017	ISSUED FOR PRELIMINARY COORD.	VJM
3	NOV 20 2017	ISSUED FOR PRELIMINARY COORD.	VJM
4	DEC 19 2017	ISSUED FOR RZ	VJM
5	JAN 11 2018	re-ISSUED FOR RZ	VJM
6	APR 04 2018	re-ISSUED FOR RZ	VJM
7	JUN 13 2018	ISSUED FOR ADP	VJM
8	JUL 5 2018	COORD	VJM
9	AUG 24 2018	COORD	VJM
10	OCT 3 2018	re-ISSUED FOR ADP	VJM
11	DEC 6 2018	ISSUED FOR CLIENT	VJM
12	DEC 11 2018	ISSUED FOR COORD	VJM
13	JAN 07 2019	re-ISSUED FOR RZ	VJM
14	JAN 25 2019	re-ISSUED FOR RZ	VJM
15	MAY 7 2019	ISSUED FOR COORD	VJM
16	MAY 23 2019	re-ISSUED FOR RZ	VJM

Project

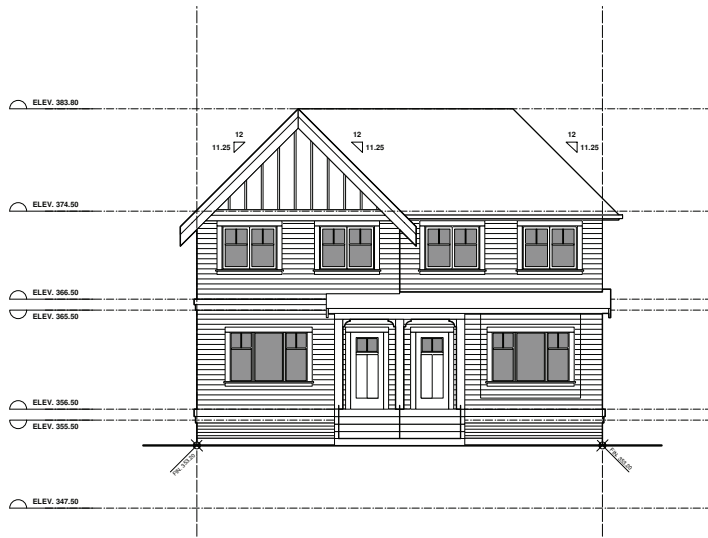
Cobblestone Fina Development Group

339 East 13th Street
City of North Vancouver BC

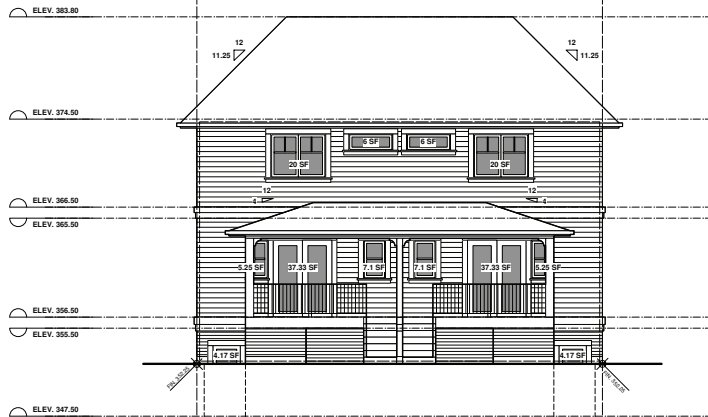
Drawing Title

SITE PLAN

Date	OCT 19 2017	Project No.	1803
Scale	SCALE 1/8"=1'-0"	Drawing No.	A1.1
Drawn By	HAI	Approved By	VJM

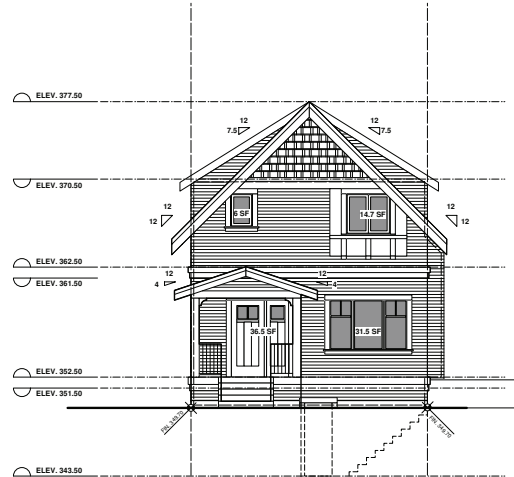


NORTH ELEVATION DUPLEX

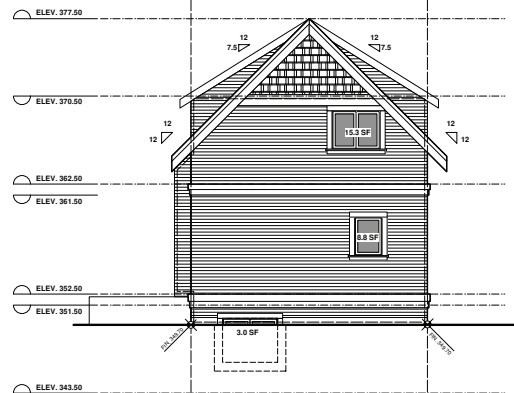


SOUTH ELEVATION DUPLEX

Limiting Distance			
	Lower from Tally	Specific from Site	Upper from Tally
	2	3.81	4
	40	11.00%	30.01%
	50	13.00%	28.20%
	100	8.00%	17.18%
Exposing Building Face			
		Specific from Site	
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	30.01%	28.79%	20.29%
Proposed Unprotected Openings	In AREA		16.38
As a percentage:	7.42		9.74%



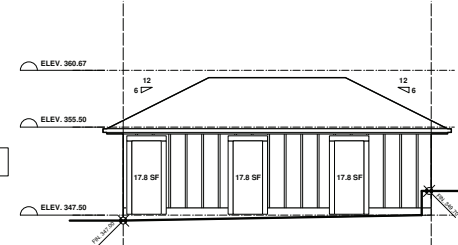
NORTH ELEVATION INFILL



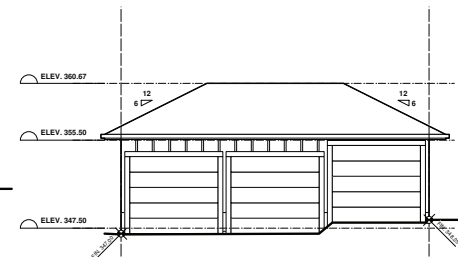
SOUTH ELEVATION INFILL

Limiting Distance			
	Lower from Tally	Specific from Site	Upper from Tally
	2	1.29	4
	40	7.00%	7.06%
	50	7.00%	7.06%
Exposing Building Face			
		Specific from Site	
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	7.06%	7.06%	7.06%
Proposed Unprotected Openings	In AREA		3.06
As a percentage:	2.5		6.62%

MATERIALS LIST
 ROOF: LAMINATED ASPHALT SHINGLES - BLACK
 CLADDING 1: CEMENT BOARD SHINGLES - PAINT FINISH
 CLADDING 2: CEMENT BOARD - BOARD AND BATTEN - PAINT FINISH
 CLADDING 3: CEMENT BOARD - HORIZONTAL SIDING 3 1/2" EXPOSURE - PAINT FINISH
 CLADDING 4: CEMENT BOARD - HORIZONTAL SIDING 6" EXPOSURE - PAINT FINISH
 WINDOWS: VINYL WINDOWS - WHITE FRAME
 TRIM: S3S OR COMB FACED MATERIAL - PAINT FINISH
 ENTRY DOORS: WOOD GRAIN DOORS - PAINT FINISH



NORTH ELEVATION GARAGE



SOUTH ELEVATION GARAGE

Limiting Distance			
	Lower from Tally	Specific from Site	Upper from Tally
	2	1.29	4
	40	7.00%	7.06%
	50	7.00%	7.06%
Exposing Building Face			
		Specific from Site	
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	In AREA		16.38
Proposed Unprotected Openings	As a percentage:		6.62%

224 - 2323 Quebec Street
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9	AUG 24 2018	COORD	VJM
10	OCT 3 2018	re-ISSUED FOR ADP	VJM
11	DEC 6 2018	ISSUED FOR CLIENT	VJM
12	DEC 11 2018	ISSUED FOR COORD	VJM
13	JAN 07 2019	re-ISSUED FOR RZ	VJM
14	JAN 25 2019	re-ISSUED FOR RZ	VJM
15	MAY 7 2019	ISSUED FOR COORD	VJM
16	MAY 23 2019	re-ISSUED FOR RZ	VJM

Project

Cobblestone Fina Development Group

339 East 13th Street
 City of North Vancouver BC

Drawing Title

NORTH AND SOUTH ELEVATIONS

Date

OCT 19 2017

Project No.

1803

Scale

SCALE 3/16"=1'-0"

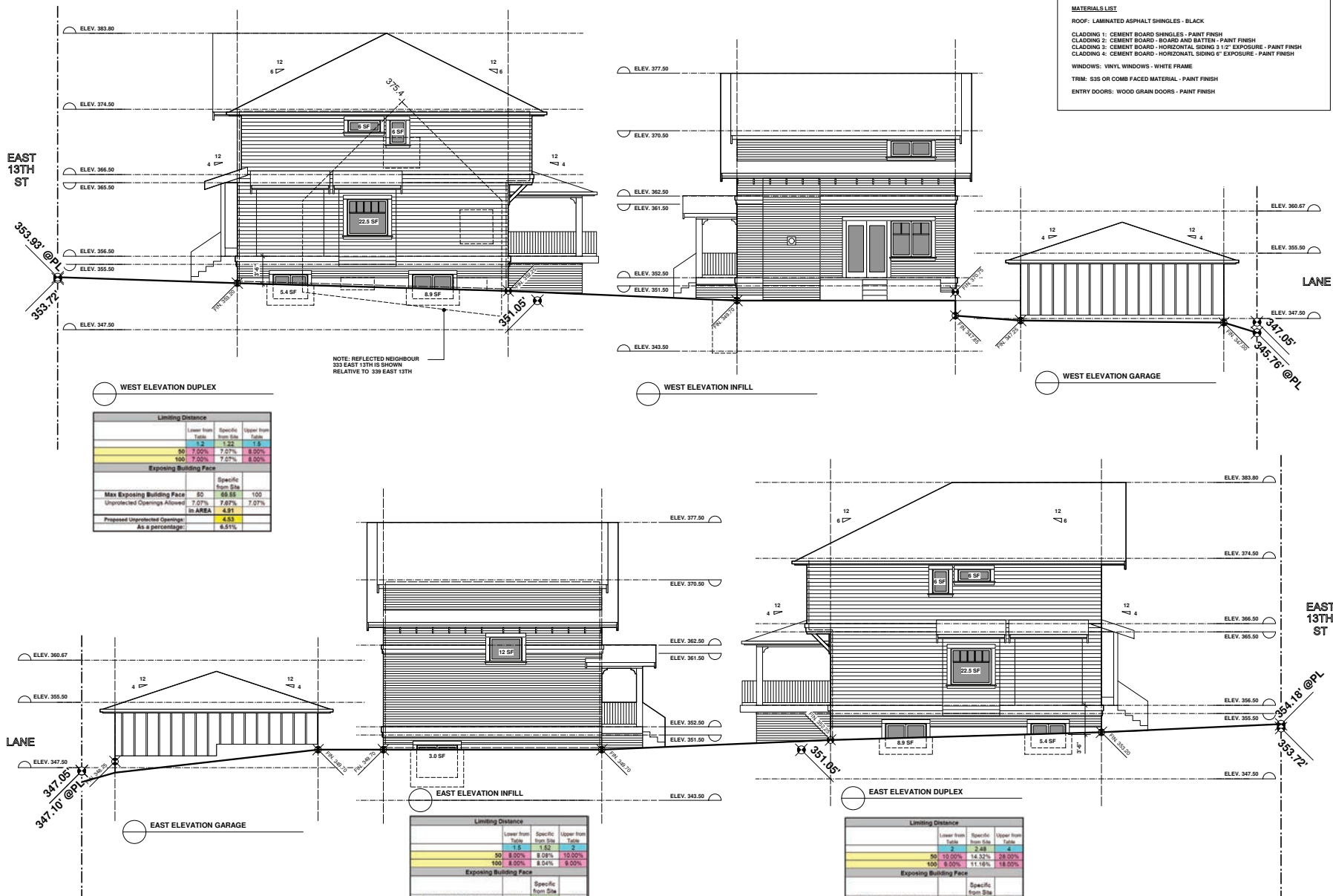
Drawn By

HAI

Approved By

VJM

A3.2



HEARTH architectural

224 - 2323 Quebec Street
Vancouver BC V5T 4S7
Tel 604.296.4877 Fax 604.296.4879

www.HEARTHworks.ca

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, general notes and conditions which may vary from those shown on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions

No.	Date	Details	By
1	NOV 15 2017	ISSUED FOR DISC.	VJM
2	NOV 17 2017	ISSUED FOR PRELIMINARY COORD.	VJM
3	NOV 20 2017	ISSUED FOR PRELIMINARY COORD.	VJM
4	DEC 19 2017	ISSUED FOR RZ	VJM
5	JAN 11 2018	re-ISSUED FOR RZ	VJM
6	APR 04 2018	re-ISSUED FOR RZ	VJM
7	JUN 13 2018	ISSUED FOR ADP	VJM
8	JUL 5 2018	COORD	VJM
9	AUG 24 2018	COORD	VJM
10	OCT 3 2018	re-ISSUED FOR ADP	VJM
11	DEC 6 2018	ISSUED FOR CLIENT	VJM
12	DEC 11 2018	ISSUED FOR COORD	VJM
13	JAN 07 2019	re-ISSUED FOR RZ	VJM
14	JAN 25 2019	re-ISSUED FOR RZ	VJM
15	MAY 7 2019	ISSUED FOR COORD	VJM
16	MAY 23 2019	re-ISSUED FOR RZ	VJM

Project

Cobblestone Fina Development Group
339 East 13th Street
City of North Vancouver BC

Drawing Title

WEST AND EAST ELEVATIONS

Date

OCT 19 2017

Project No.

1803

Scale

SCALE 3/16"=1'-0"

Drawing No.

A3.4

Drawn By

HAI

Approved By

VJM

Mike Friesen MCP, Planner
Planning and Development
City of North Vancouver
BC V7M 1H9

September 25, 2019

Re: 339 345 349 Eat 13th Street – Developer Information Session Report

Dear Mr. Friesen,

The purpose of this letter is to frame and summarize the developer information session (DIS) we hosted on June 12, 2018 for the above captioned project. This letter will also explain how we reacted to some of the concerns and criticism with our design and design approach.

The Session was held at St. Andrews Church at 1044 St. Georges Avenue in the City of North Vancouver. This location was chosen because of the proximity to the subject property to hopefully encourage those with an interest to be able to walk conveniently to our location. As per the City requirements this session was advertised and neighbours in the vicinity were notified. The event was held between 6-8 pm. Salient architectural panels of the plans, elevations, landscape material and contextual information were set up around the church hall facility.

In attendance were the developers (two persons who were not formally identified, but filtered through the exhibits and spoke to people generally). As you know, you attended on behalf of the Planning Department, while I attended as the architect of record. In general, the DIS was sparsely attended, which was not surprising given the scale of the proposal and the number of recent duplexes in the neighbourhood. We actively encouraged all those who attended to sign in and ideally to comment, so that their voices may be heard.

In the end, eight individuals signed in, representing only six households. All of the households represented were in the 300 block of either East 12th or East 13th Streets. All guests had arrived by 7:00 pm. Because we were limited to three response sheets, I can identify the concerns or accolades (if any) on each.

1. Against proposal. This individual encouraged us to only develop duplex density – with no infill units.
2. Partial support. Concerns about density and parking, conversions of basements to illegal suites.
3. “Maybe” support. Concerns about parking and conversions of basements to illegal suites.

After receiving this information, we attempted to integrate these comments into our further design development. These comments were instrumental in the reallocation of our unit density within the proposal. In fact, the proposal morphed into a 4-lot subdivision consisting of three duplexes to the east, with the only large, remaining lot (339) requesting a duplex plus infill.

At 339, while we have still allowed for basement access to the infill and the duplex building, in order to mitigate concerns about illegal conversions of basement suites, we purposefully designed all stairs as interconnected and with open to below features that would make conversion more impractical. We did opt to keep the full in ground basements as originally proposed given the smaller size of the units in order to increase liveability.

Please let me know if we can provide any more information.

Best regards,


2019-09-25
Joe Muego Architect AIBC
Principal Architect, Hearth Architectural Inc.

VHM/tbm

The background of the slide is a photograph of a waterfront scene. In the foreground, there is a wooden pier with metal railings extending into the water. In the background, a large white ferry with a blue stripe is visible on the water. The sky is blue with some light clouds.

339 East 13th Street Public Hearing

Zoning Amendment Bylaw No.8717 (CD-720)

October 28th, 2019
Planning & Development Department

Project Description

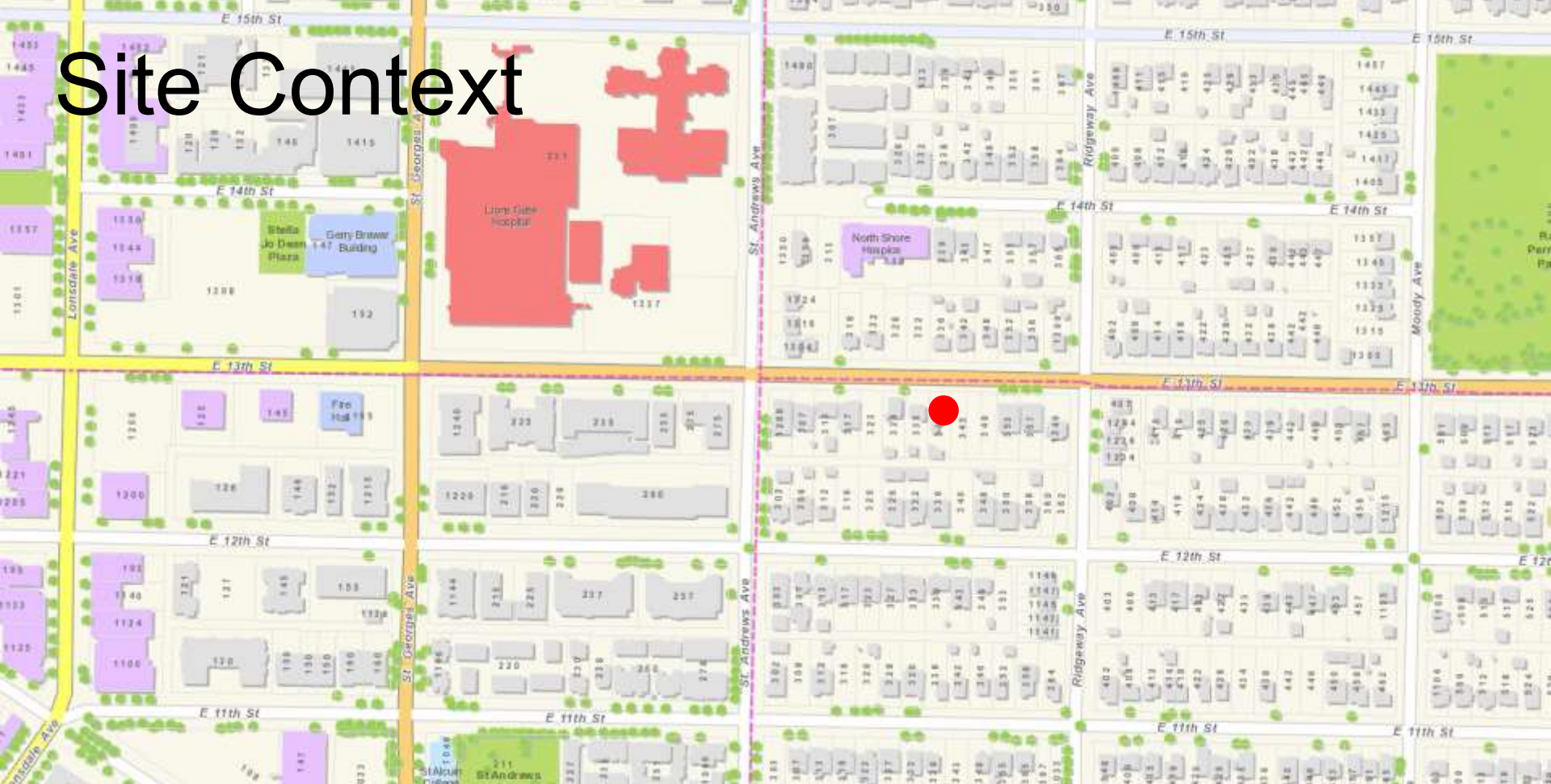
- **3 Unit Residential Development**
 - Duplex plus infill typology
 - No suites proposed
- **0.5 FSR**
 - 341 m² (3673 sq.ft.) of residential gross floor area
- **4 Parking Spaces Accessible from Rear Lane**
 - 1.33 spaces per unit
- **Energy Performance: Step 3 of BC Building Code Step Code**
- **Common Landscape Area**

Application

Zoning Bylaw Amendment to permit:

- Three principal dwelling units on the site
- A second principal building to accommodate the proposed infill unit
- 0.5 FSR of developable floor area
- Lot coverage of 40%
- Reducing rear lot line setback to 11 m (36') to accommodate the proposed infill unit
- Lowering the first floor of the infill building to better respond to natural topography
- Reducing accessory building setback to 2.4 m (8') to accommodate the proposed infill unit
- Requiring a minimum energy performance of Step 3 of the BC Building Code Step Code

Site Context

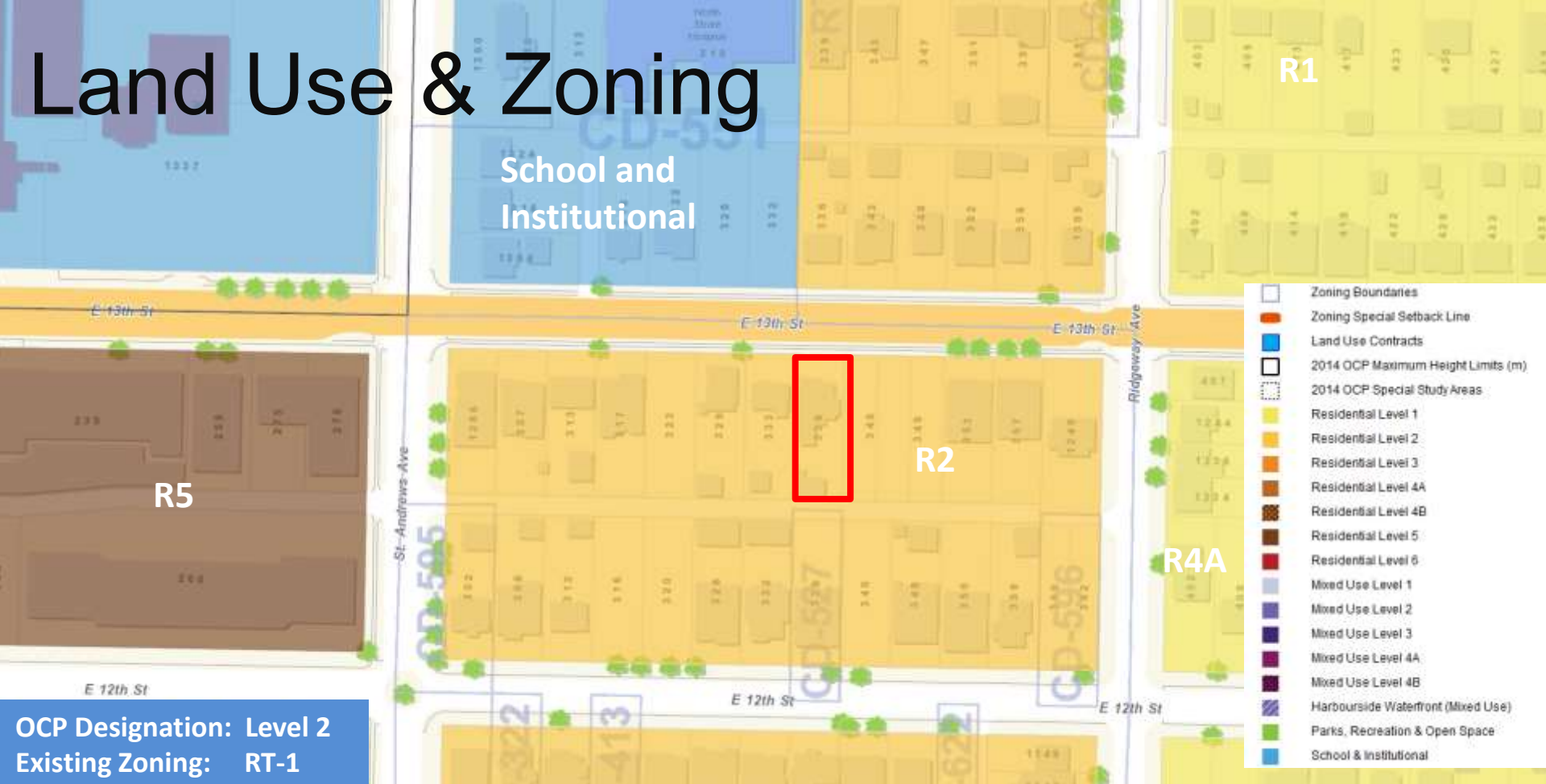


Site Context



Land Use & Zoning

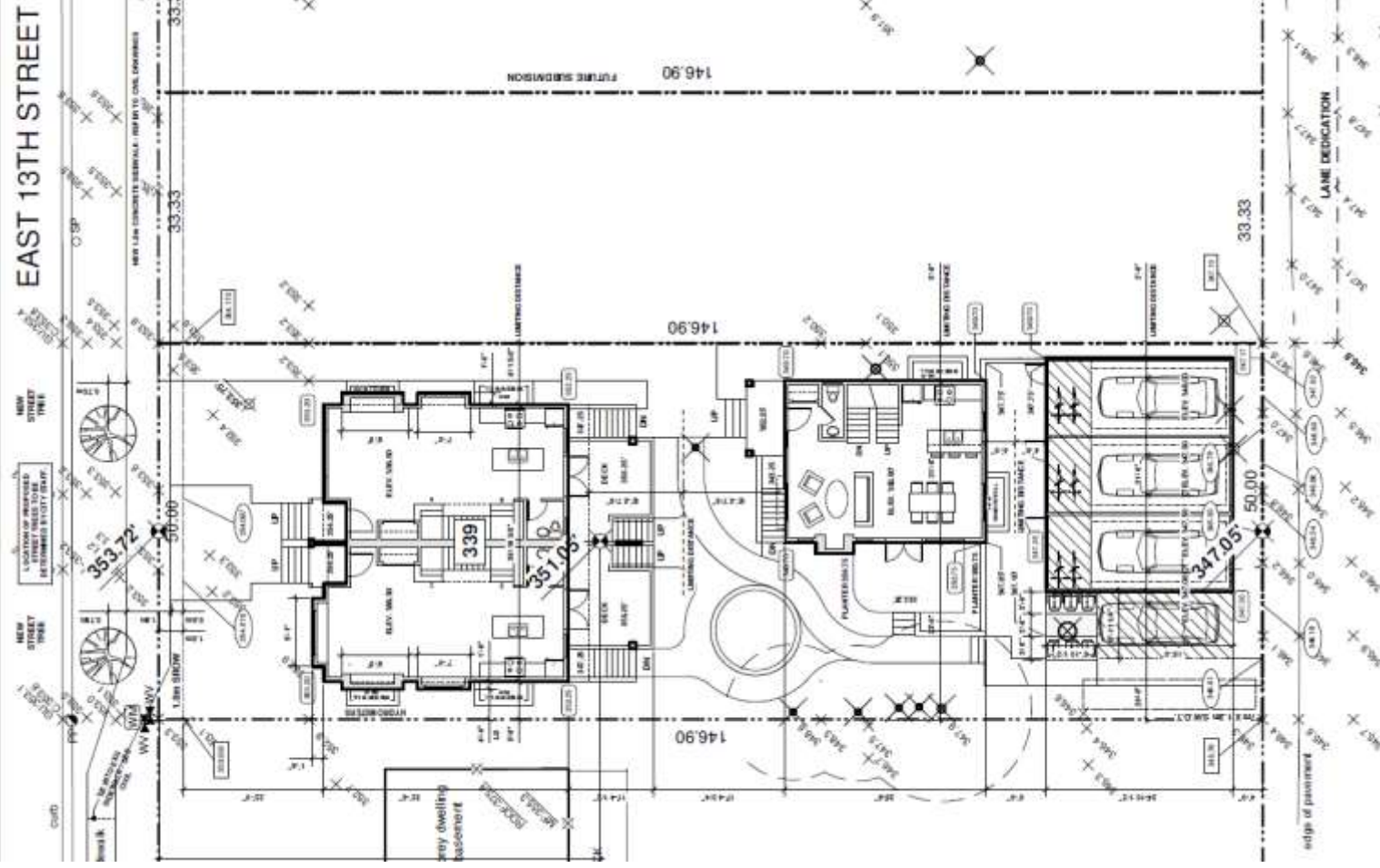
School and
Institutional

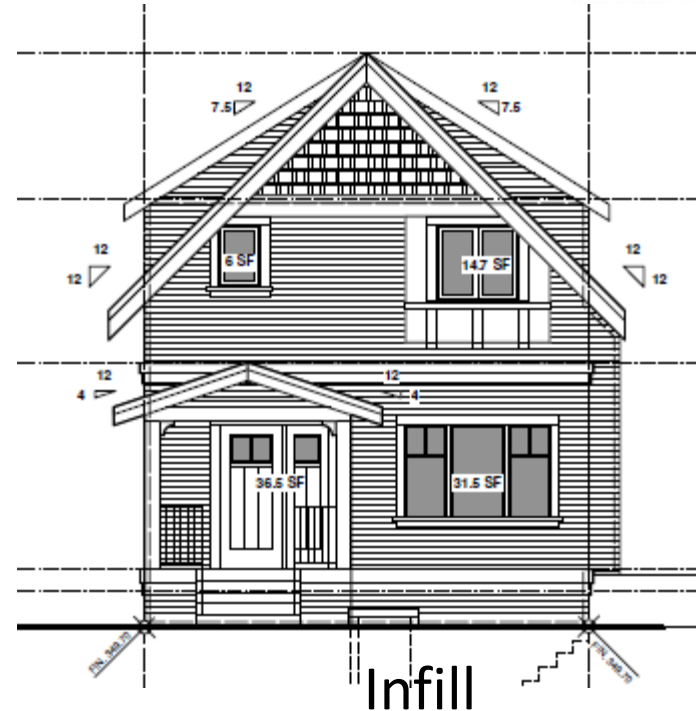
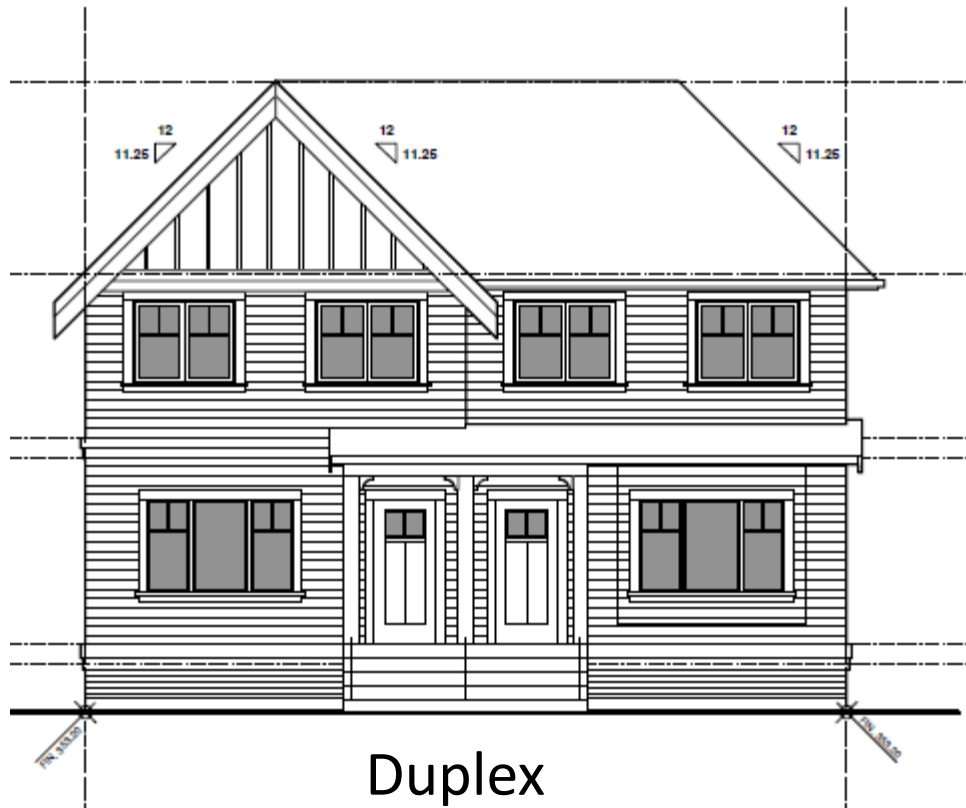


OCP Designation: Level 2
Existing Zoning: RT-1

Council Policy

- Official Community Plan
- Housing Action Plan
- Sustainable Design Guidelines





Building Elevations from the North



Community Consultation

Developer Information Session

- Items raised by the Community:
 - Density of project (i.e. suites, parking)
 - Removal of trees
- Response by the applicant
 - Reducing the scope of the project
 - Architectural design features to reduce likelihood of secondary suites
 - Revised landscape plan



Recommendation

- Conforms to the policies of the City's Official Community Plan and Metro 2040
- Responds to the City's Housing Action Plan and Sustainable Development Guidelines
- Consistent with the priorities described in Council's Strategic Plan



Thank you.

Rezoning for
339 East 13th Street
City of North Vancouver



Official Community Plan Context



Zoning Bylaw Context



Figure Ground Context

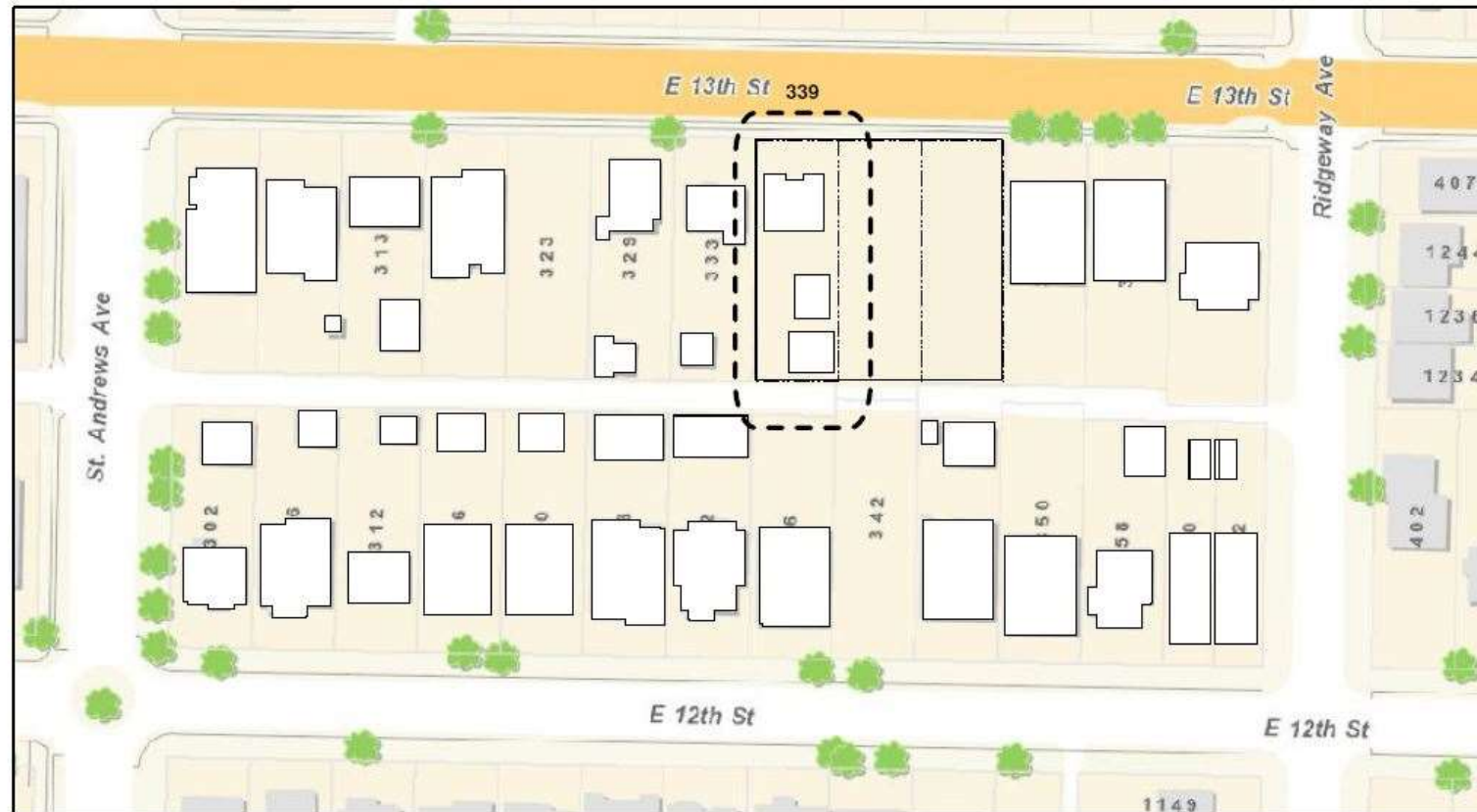








FIGURE GROUND CONTEXT

NOT TO SCALE

Streetscape

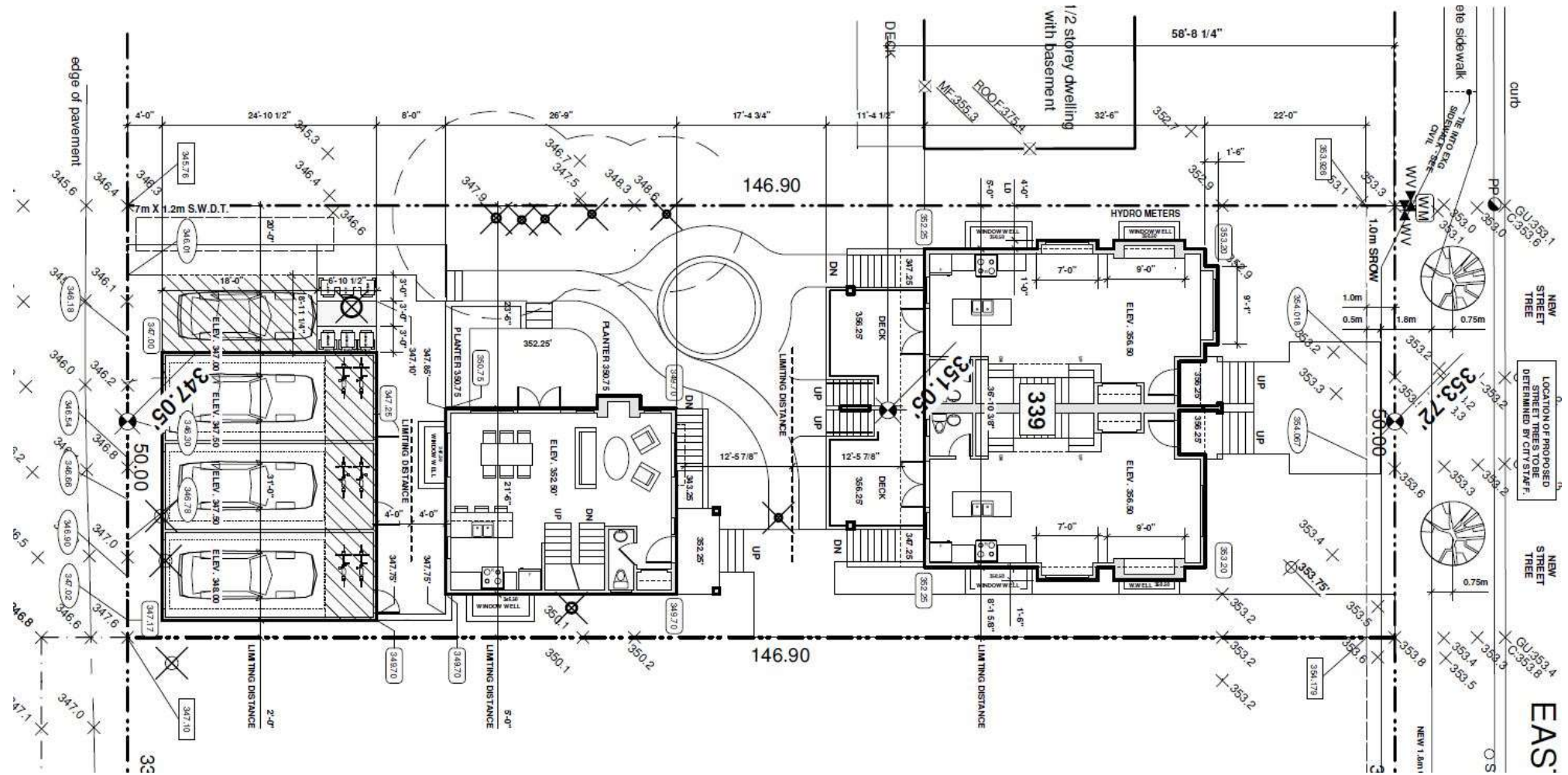
BUILT 1922 SINGLE FAMILY	BUILT 2010 TWO FAMILY	BUILT 2009 TWO FAMILY	BUILT 1928 SINGLE FAMILY	BUILT 1930 SINGLE FAMILY	BUILT 1929 SINGLE FAMILY	BUILT 1949 SINGLE FAMILY	BUILT 1928 SINGLE FAMILY	BUILT 1919 SINGLE FAMILY	BUILT 2003 TWO FAMILY	BUILT 1954 SINGLE FAMILY	BUILT 1977 TWO FAMILY	BUILT 2009 TWO FAMILY
												
1249 RIDGEWAY	357	353	349	345	339	333	329	323	317	313	301	1288 ST ANDREWS

 EXISTING STREETScape PHOTOS
 NOT TO SCALE

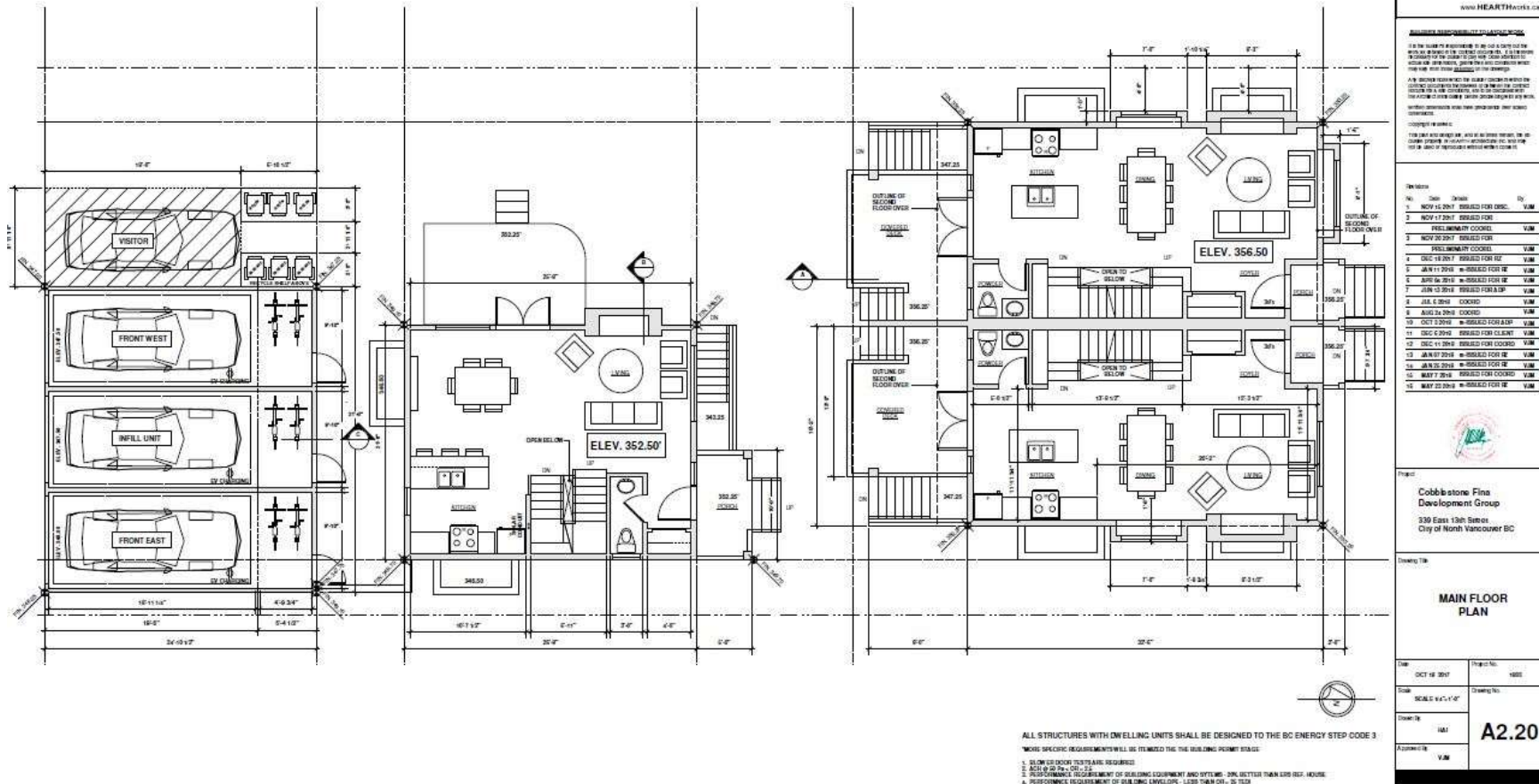
SUBJECT LOT

LOOKING SOUTH EAST 13TH STREET

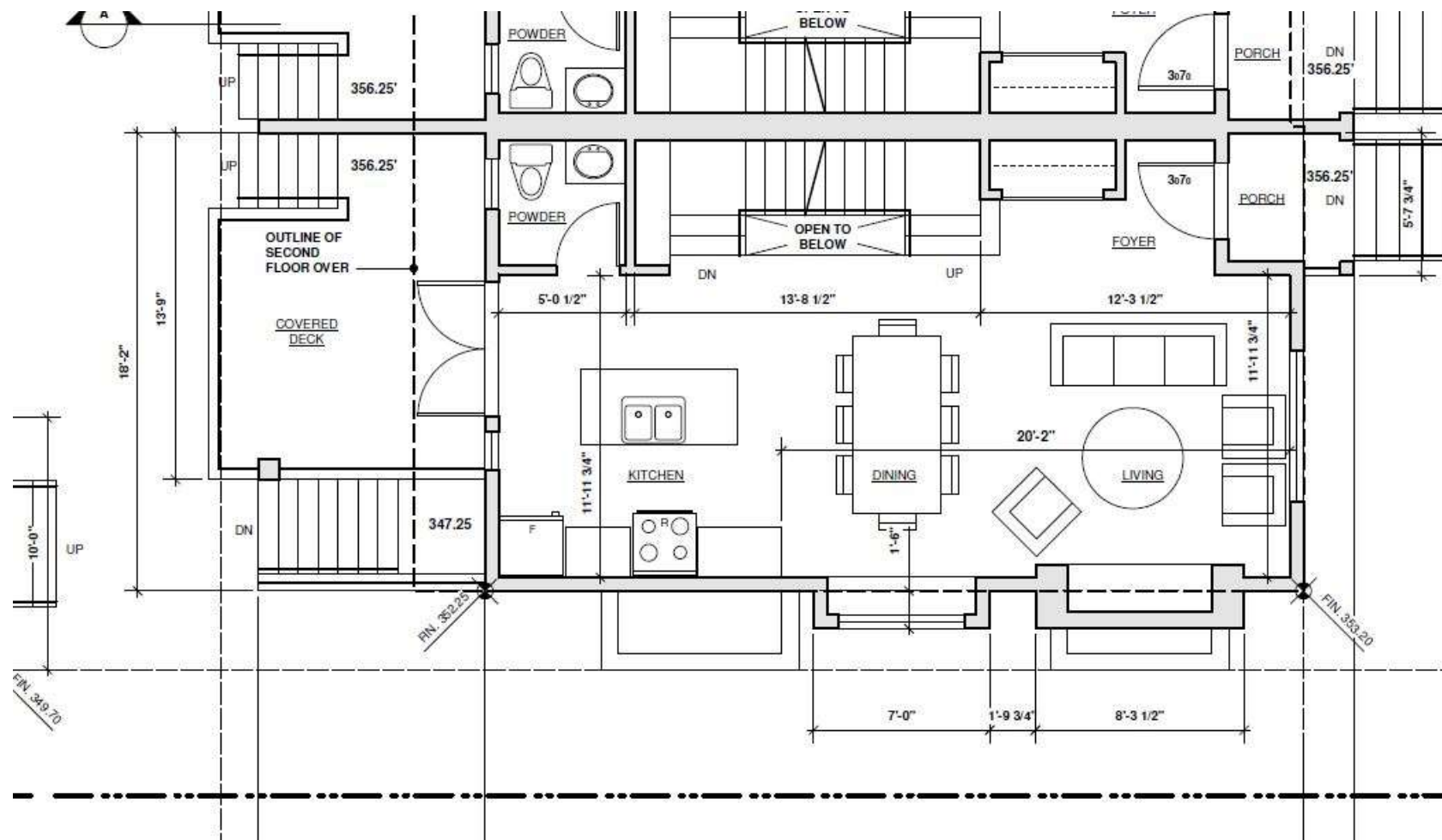
Proposed Site Plan



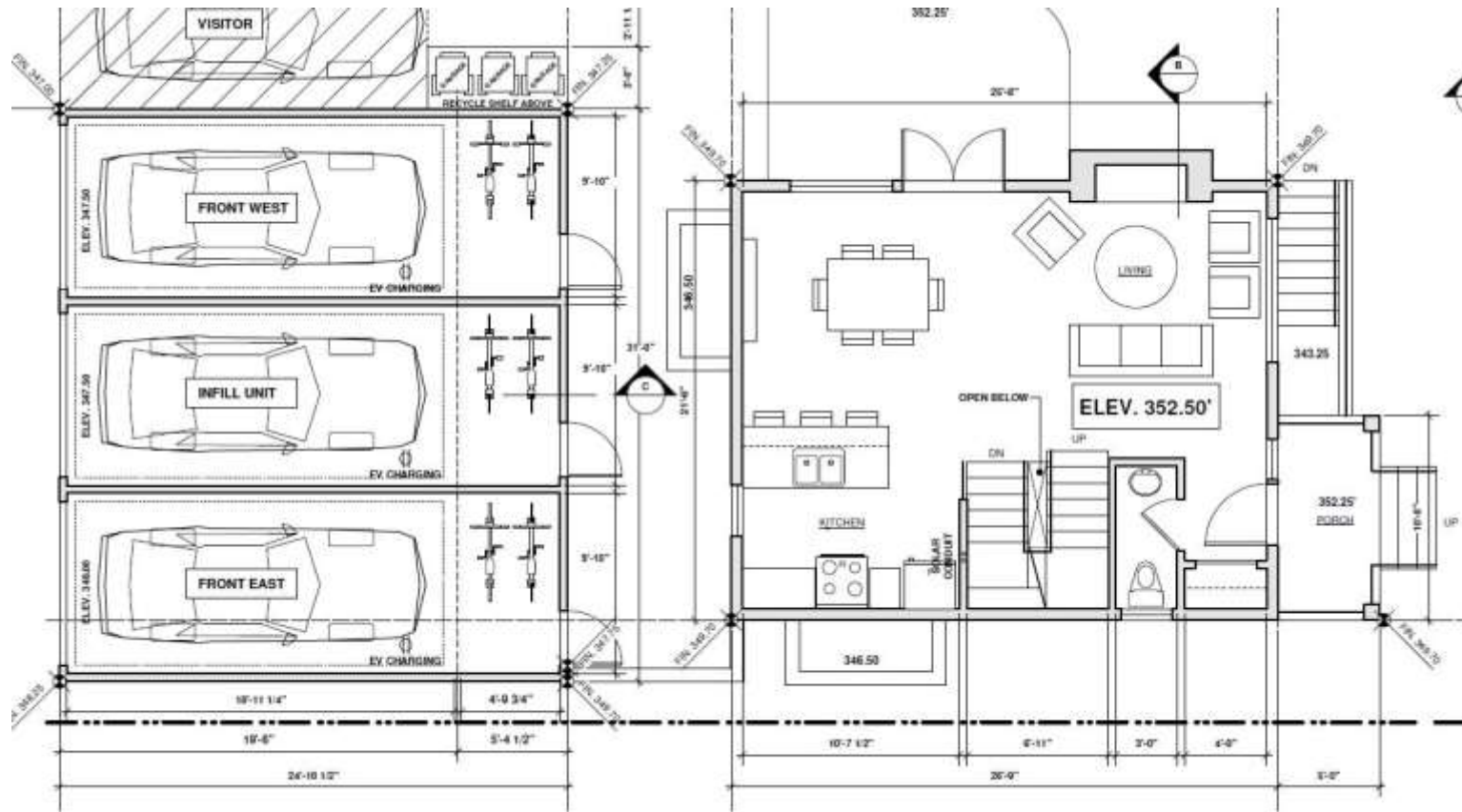
Proposed Main Floor Plan - Overall



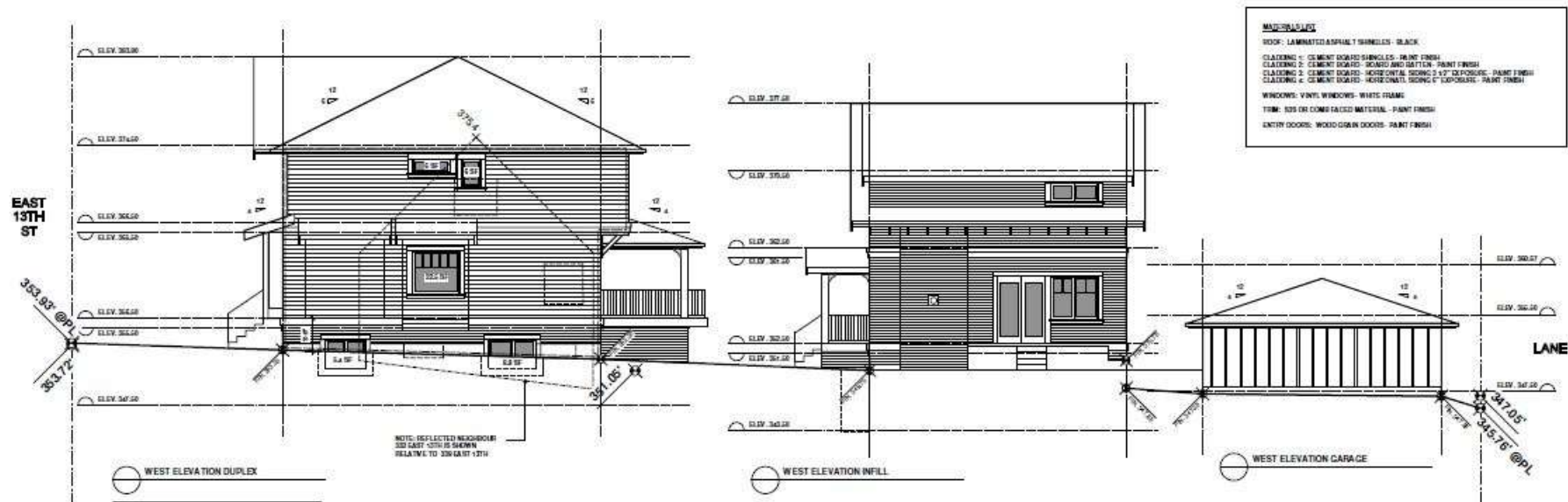
Plan Detail



Plan Detail



Overall Site Section / Elevation



Proposed Character Sketches

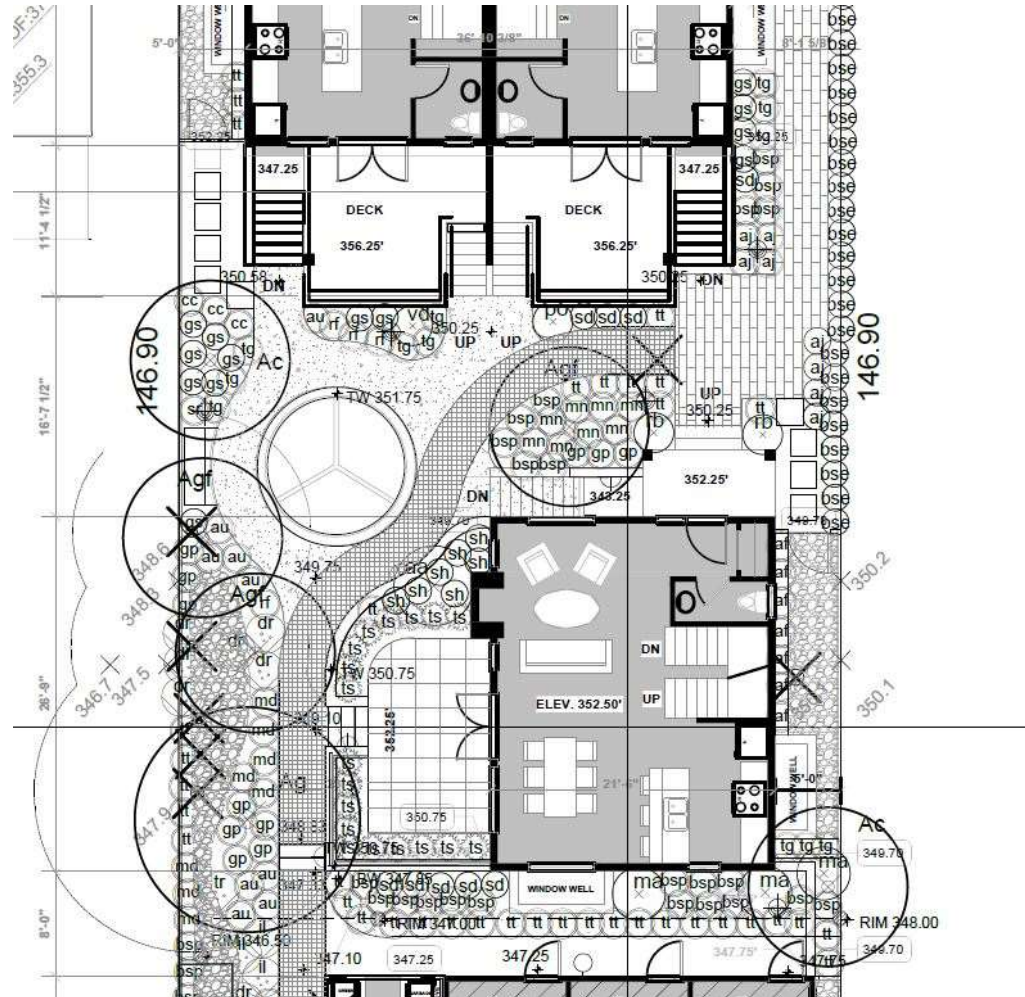


Landscape – Original Scheme

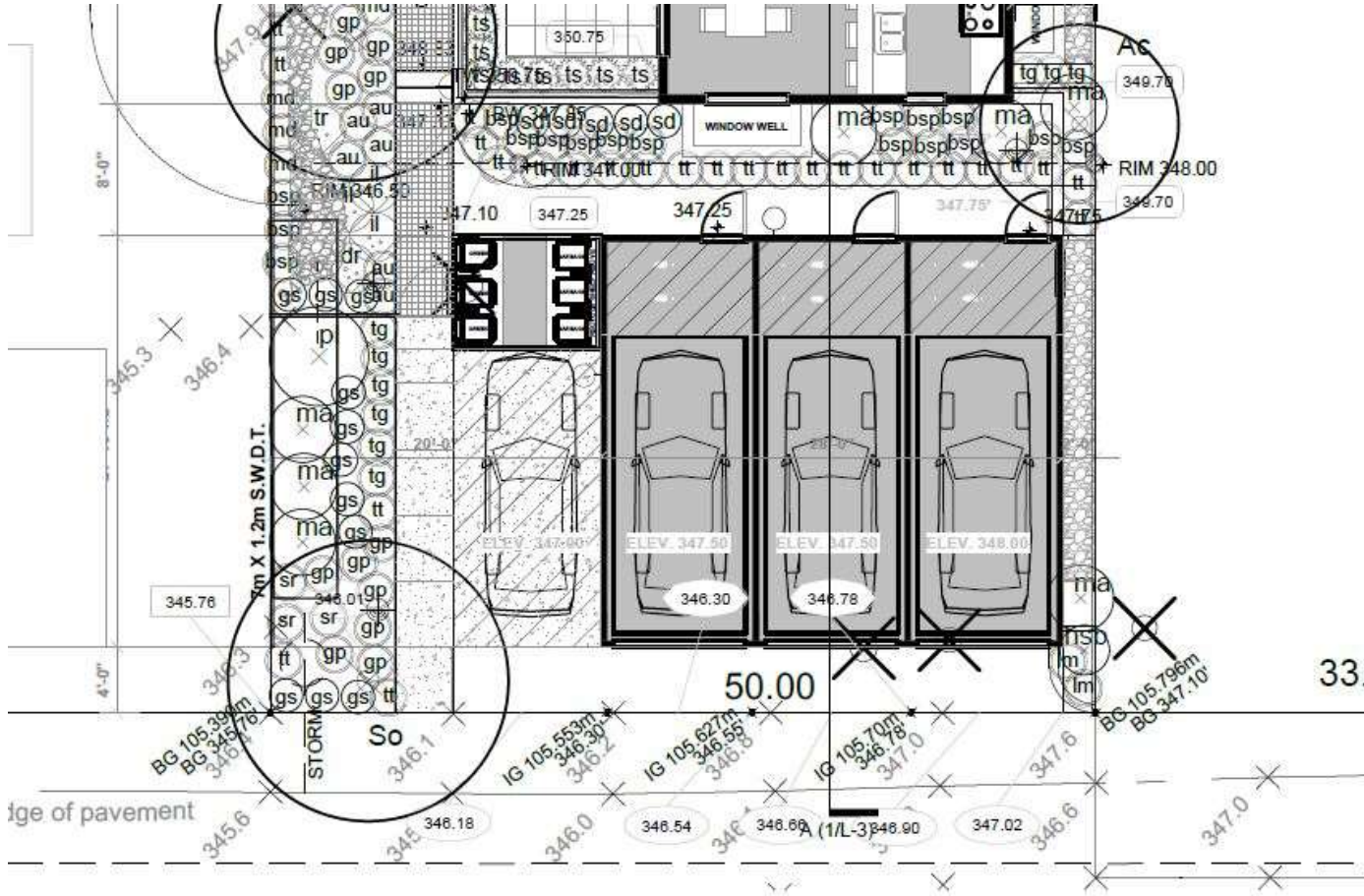


[illegible]

Landscape – Detail



Landscape – Detail





NOTICE OF PUBLIC HEARING

WHO: Hearth Architectural Inc.
WHAT: Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717 (CD-720)
WHERE: 339 East 13th Street
WHEN: Monday, October 28, 2019 at 6:00 pm
Council Chamber, City Hall
141 West 14th Street, North Vancouver

Notice is hereby given that Council will consider:

Zoning Amendment Bylaw, 2019, No. 8717

to rezone the subject property from a Two-Unit Residential 1 (RT-1) Zone to a Comprehensive Development 720 (CD-720) Zone to permit the development of 3 units, consisting of a duplex plus infill building. The permitted density is 0.5 times the lot area (FSR) and the permitted maximum building height of the structures is 10.1 metres (33.1 feet). The proposed development includes 4 parking spaces.



All persons who believe they may be affected by the proposal will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk, at input@cnv.org, or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, October 28, 2019, to ensure their availability to Council at the Public Hearing. Once the Public Hearing has concluded, no further information or submissions can be considered by Council.

The proposed Zoning Amendment Bylaw and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from October 18, 2019, and online at cnv.org/PublicHearings.

Please direct any inquiries to **Mike Friesen**, Planner, at mfriesen@cnv.org or **604-990-4206**.

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T 604 985 7761 / F 604 985 9417 / CNV.ORG



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8717

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717**” (Hearth Architectural Inc., 339 East 13th Street, CD-720).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-720 (Comprehensive Development 720 Zone):

Lots	Block	D.L.	Plan	
8	76	550	1450	from RT-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-719 Comprehensive Development 719 Zone”:

“CD-720 Comprehensive Development 720 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-719 Comprehensive Development 719 Zone”:

“CD-720 Comprehensive Development 720 Zone”

In the CD-720 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) Two Principal Buildings shall be permitted on one Lot;
- (2) Three primary dwelling units shall be permitted on the Lot;
- (3) The Principal Buildings shall not exceed a combined Gross Floor Area of 0.50 times the lot area;
- (4) The Principal Buildings shall not exceed a Lot Coverage of 40 percent;
- (5) Principal Buildings shall be sited as in the RT-1 zone, except that:
 - (a) the Principal Buildings shall be sited not less than 11 metres (36 feet) from the rear lot line;

- (6) Section 509A (4) (c) shall not apply to the southernmost Principal Building;
- (7) Accessory Buildings shall not be sited less than 2.4 metres (8 feet) from a Principal Building;
- (8) Principal Buildings shall achieve a minimum of Step 3 of the BC Building Code Step Code;
- (9) All exterior finishes, design and landscaping shall be approved by the Advisory Design Panel.

READ a first time on the 7th day of October,
2019.

READ a second time on the 7th day of October,
2019.




READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



 Division Manager	 Director	 CAO
--	---	--

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: TEMPORARY USE PERMIT – 658 EAST 3RD STREET – TEMPORARY
SALES CENTRE

Date: September 25, 2019 File No: 09-4520-20-0005/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated September 25, 2019, entitled "Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre":

THAT Temporary Use Permit No. TUP2019-00001 to permit a sales centre at 658 East 3rd Street for a three year term be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a Public Meeting be scheduled.

ATTACHMENTS:

1. Context Map (doc#[1818420](#))
2. Architectural and Landscape Plans, dated April 2019 (doc#[1818425](#))
3. Temporary Use Permit No. 2019-00001 (doc#[1818405](#))

PROJECT DESCRIPTION

The application is a request to place a one storey modular building approximately 185 square meters (2,000 square feet) in size. Four off-street parking stalls are provided on site and accessed off the rear lane. When the use is completed, the modular building will be taken off the site and the site reclaimed. The building is to be used as a sales centre for the applicant's development projects directly across East 3rd Street to the south. The single detached house on the property has been removed and the lot currently sits vacant. Table 1 below illustrates this request.

Table 1. Request for 658 East 3rd Street

	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RG-3	RG-3/TUP

POLICY FRAMEWORK

The subject site has a land use designation in the Official Community Plan (OCP) of Residential Level 4A (R4A), which allows for a range of housing types such as townhouses, row houses and garden apartments that is close to transit. The Zoning Bylaw lists the subject site as Ground-Orientated Residential 3 (RG-3) that permits a range of ground-orientated housing types including townhouses.

The Temporary Use Permit (TUP) is required given the use of a sales centre is not a permitted use in the RG-3 Zone, and the commercial nature of a sales centre being within a residential area. The OCP does allow a TUP to be issued as outlined in the table below.

Table 2. Temporary Use Permits

Official Community Plan	
Policy 2.7 Temporary Use Permits	<p>The OCP grants the ability for Temporary Use Permits (TUP) to be issued for short-term uses to site-specific locations that are otherwise not permitted under current zoning.</p> <p>The OCP designates all areas of the City to be a TUP area where TUP's can be granted, should the temporary use be in the interest of the public in general.</p> <p>Temporary Use Permits are good for three years when approved by Council and can only be renewed by Council once for a another three year term. The permit can not exceed the combined six year term.</p>

PLANNING ANALYSIS

Site Context

The subject site is located one lot west of the property at the north west corner of East 3rd Street and Moody Avenue (Attachment #1), and is within the Moodyville Development Permit area. The area surrounding the subject site has seen active redevelopment in the past several months as the implementation of the Moodyville Design Guidelines is underway. The subject site and the immediate lots adjacent to it is one of the remaining single detached lots that have not been subject to redevelopment.

The buildings and uses immediately surrounding the subject site are described in Table 2 below.

Table 3. Surrounding Uses

Direction	Address	Description	Zoning
North (across lane)	553 – 563 East 4 th Street	Single Detached Dwellings	Two-Unit Residential 1 (RT-1)
South (across East 3 rd Street)	649 East 3 rd Street	40 unit townhouses	Medium Density Apartment Residential 2 (RM-2)
East	652 East 3 rd Street	Single Detached Dwelling	Ground-Orientated Residential 3 (RG-3)
West	311 Moody Avenue	Single Detached Dwelling	Ground-Orientated Residential 3 (RG-3)

Land Use

The proposed modular building would be placed within the site in accordance with the RG-3 Zoning of the Zoning Bylaw, and would be within the maximum allowable building height of the zone.

Four off-street parking stalls are proposed to be accessed off of the rear lane, along with bike racks for short term bike parking. The proposed number of off-street parking stalls and short term bike parking is in conformance with commercial parking requirements normally required for such a use.

Hours of operation of the proposed sales centre is included in the Permit to help mitigation of the use onto neighbouring residential properties.

The TUP is supported as the location is directly across the street from the development sites, and it gives the land short term flexibility to support the buildout of the Moodyville neighbourhood.

Should the proposed TUP be issued, a Building Permit is required before the modular building can be placed on the property.

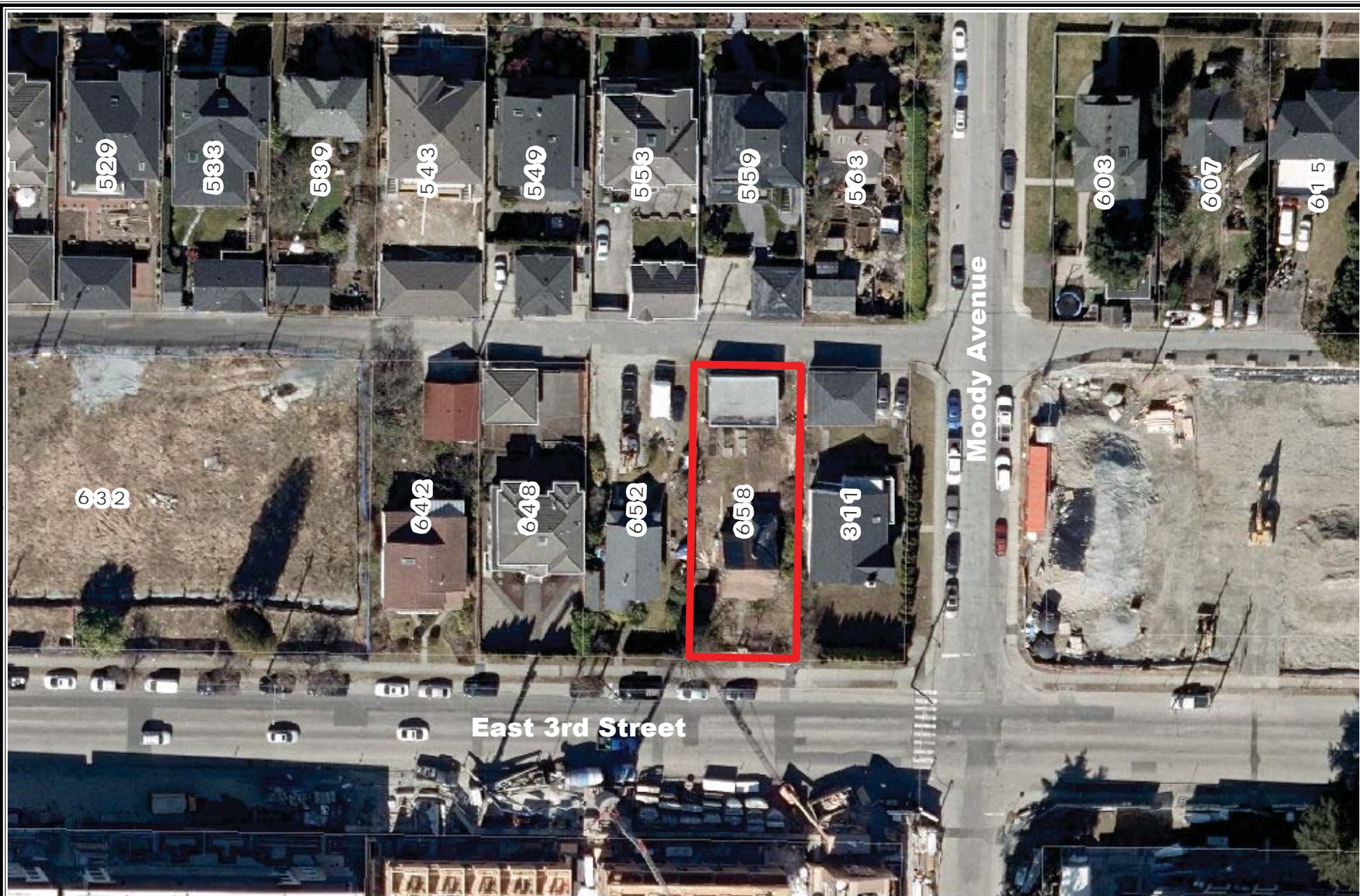
CONCLUSION

The proposed TUP represents good planning as it provides short-term flexibility to a site to support the build-out of the Moodyville area. It is anticipated that the location across from the applicant's development sites will have a minimal impact on neighbouring properties.

RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



CONTEXT PLAN



DRAWING LIST

A101 Site Plan
A401 Sections + Elevations

BUILDING CODE ANALYSIS

Relevant Code: BC BC 2012
 Tenant Occupancy & Type: Group D Personal & Business
 Subject Property Floor Area: 185.5 m² (1,997 sq. ft.)
 Occupant Load: 20 People
 Occupant Load / Person: 9.30 m² / Person
 Number of Exits: 2
 Max. allowable Travel Distance to single exit: 40 m
 Building Height: 1 Storey
 Fire Protection: Not required
 Fire Alarm Required: Not required
 Exit Sign Required: Yes
 Emergency Lighting Required: Yes
 Construction Type: Combustible

LEGAL ADDRESS

Lot 15, Block 22, District Lot 273, Plan 1063

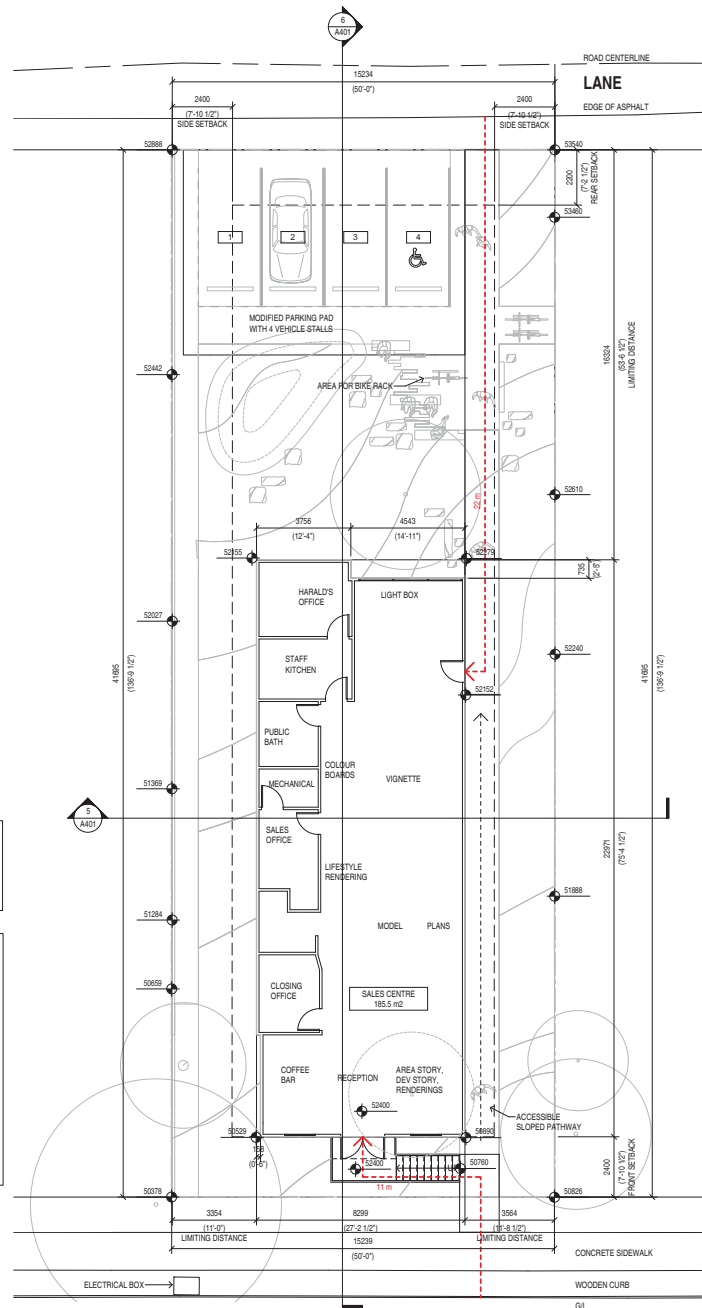
CIVIC ADDRESS

658 E 3rd Street, North Vancouver, BC, V7L 1G7

PROJECT DATA

SITE AREA: 635.3m² (3838ft²)
 ZONING: RG-3
 GROSS FLOOR AREA: 0.5
 BUILDING HEIGHT: 12m (39.4 ft.)
 LOT COVERAGE: 60%
 SETBACKS:
 FRONT: 2.4m (7.83 ft.)
 EAST SIDE: 2.4m (7.83 ft.)
 WEST SIDE: 2.4m (7.83 ft.)
 REAR: 2.2m (7.17 ft.)

PARKING: 4
 BICYCLE PARKING: 3



1 Site Plan
1:100

EAST 3RD STREET

SHAPE
Architecture Inc

534 WEST PENDER STREET
VANCOUVER, BC CANADA
V6B 1V9
604.687.4437
info@shapearchitecture.ca
www.shapearchitecture.ca

PLOT INFO.
PLOT STAMP LOCATION

NOTES

NO DESCRIPTION

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Temporary Use Permit	190507

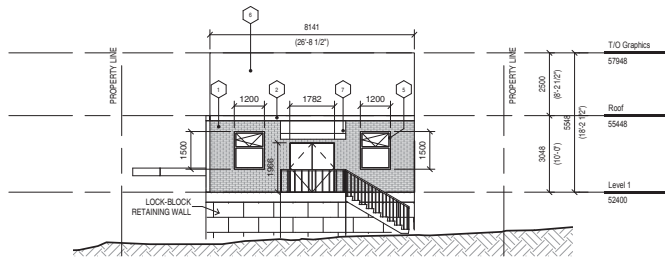
Morrison on the Park Sales Centre

658 E 3rd St, North Vancouver, BC

Site Plan

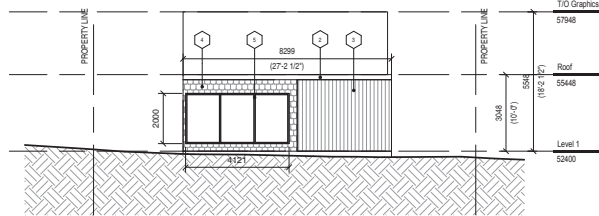
DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815

A101



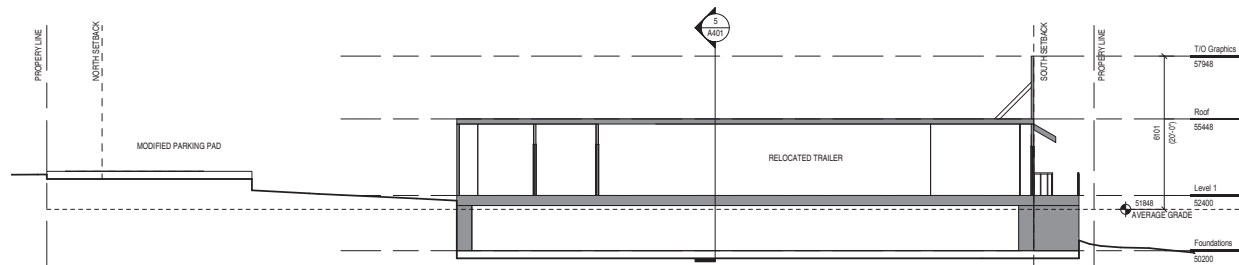
1 South
1:100

45.16 m² = AREA OF EXPOSED BUILDING FACE
7.32 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
18.2 % = PROPOSED OPENING
8.5 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING

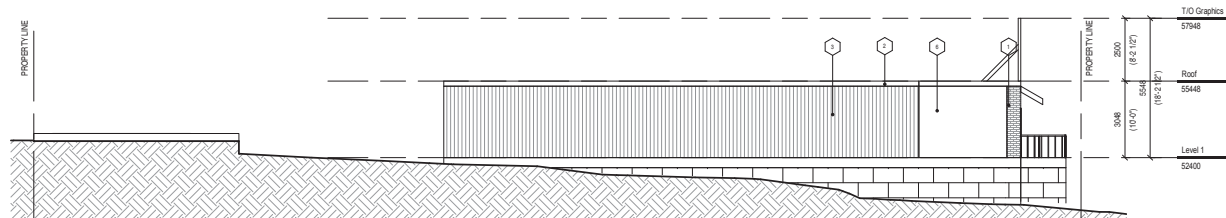


2 North
1:100

24.8 m² = AREA OF EXPOSED BUILDING FACE
8.24 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
33.2 % = PROPOSED OPENING
16.32 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING

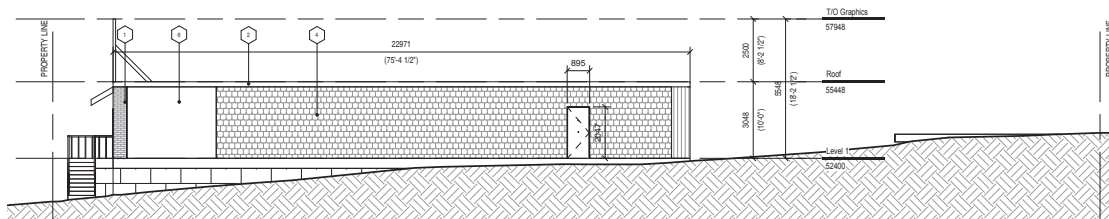


6 Section B
1:100



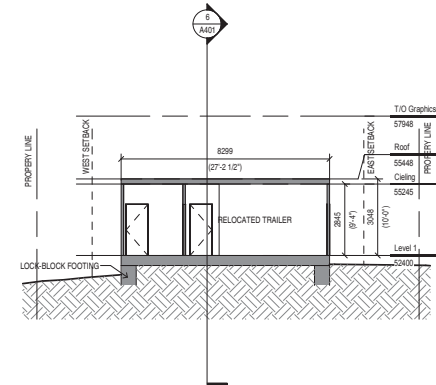
3 West
1:100

89.78 m² = AREA OF EXPOSED BUILDING FACE
0 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
0 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING



4 East
1:100

89.78 m² = AREA OF EXPOSED BUILDING FACE
1.96 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
2.8 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING



5 Section A
1:100

NO	DESCRIPTION
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MATERIAL LEGEND	
1.	GREY BRICK - WESTPORT USED
2.	WOOD TONED NON-COMBUSTIBLE TRIM
3.	HARDIE SIDING - IRON GRAY
4.	HARDIE SHINGLES - LIGHT WEST
5.	BLACK MULLIONS AND DOOR
6.	NON-COMBUSTIBLE GRAPHICS
7.	CANOPY - BLACK

ISSUED / REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Temporary Use Permit	190507

Morrison on the Park Sales Centre

658 E 3rd St, North Vancouver, BC

Sections + Elevations

DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815

MORRISON ON THE PARK SALES CENTRE

ISSUED FOR TEMPORARY USE PERMIT

**CLIENT:
CREO DEVELOPMENT LTD**

HARALD SINOW
harald@creodevelopments.ca
778.938.6227

**ARCHITECTURAL DRAWING CONSULTANTS:
SHAPE ARCHITECTURE**

ALEC SMITH
a.smyth@shapearchitecture.ca
604.687.4457

BEN FISHER
b.fisher@shapearchitecture.ca
604.687.4457 ext.111

**LANDSCAPE ARCHITECT:
ENNS GAUTHIER LANDSCAPE ARCHITECTS**

MIKE ENNS
mike@ennsgauthier.com
604.763.2886

JAZMIN CEDENO
jazmin@ennsgauthier.com
778.710.1819

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LAYOUT PLAN
L2.0	MATERIALS PLAN
L3.0	GRADING PLAN
L4.0	LIGHTING PLAN
L5.0	PLANT LIST



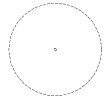
A Issue for Temporary Use Permit 19-05-01

Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

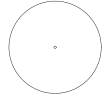
Creo Development
19101
19-05-01

L0.0
COVER SHEET

LEGEND



TREE TO REMOVE



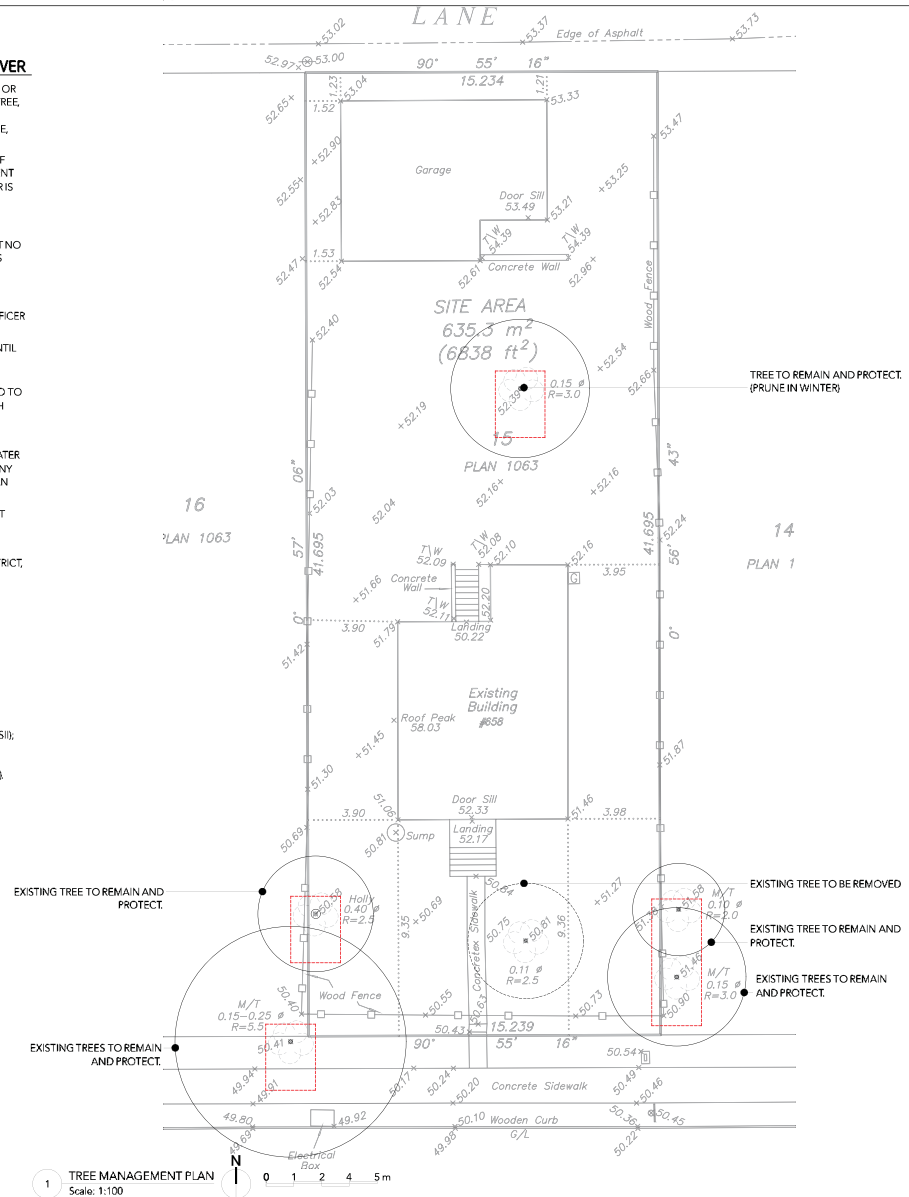
TREE TO REMAIN AND PROTECT AS PER CITY OF NORTH VANCOUVER STANDARDS.



TREE PROTECTION BARRIER AS PER CITY OF NORTH VANCOUVER TREE PROTECTION BYLAW.

TYPICAL TREE PROTECTION FOR NORTH VANCOUVER

1. INSTALL A TREE PROTECTION BARRIER AROUND ANY RETAINED TREE OR GROUP OF RETAINED TREES AT THE DRIP LINE OF THE OUTERMOST TREE, THE OUTSIDE BOUNDARY OF THE CRITICAL ROOT ZONE OF THE OUTERMOST TREE, OR 5M FROM THE STEM OF THE OUTERMOST TREE, WHICHEVER IS GREATEST.
2. ENSURE THAT SUCH TREE PROTECTION BARRIER IS CONSTRUCTED OF CHAIN LINK OR PLYWOOD FASTENED TO SOLID WOOD OR EQUIVALENT FRAMING WITH RAILINGS ALONG THE TOPS, SIDES AND BOTTOM, OR IS CONSTRUCTED OF MATERIALS OTHERWISE SATISFACTORY TO THE ENVIRONMENTAL PROTECTION OFFICER.
3. DISPLAY SIGNAGE INDICATING THAT THE AREA WITHIN THE TREE PROTECTION BARRIER IS A "PROTECTION ZONE," AND STATING THAT NO ENCROACHMENT, STORAGE OF MATERIALS OR DAMAGE TO TREES IS PERMITTED WITHIN THE "PROTECTION ZONE."
4. ARRANGE FOR INSPECTION BY THE ENVIRONMENTAL PROTECTION OFFICER BEFORE ANY WORK COMMENCES, AND REFRAIN FROM COMMENCING WORK UNTIL THE ENVIRONMENTAL PROTECTION OFFICER HAS APPROVED THE TREE PROTECTION BARRIER, AND
5. ENSURE THAT THE TREE PROTECTION BARRIER REMAINS IN PLACE UNTIL WRITTEN APPROVAL OF ITS REMOVAL IS RECEIVED FROM THE ENVIRONMENTAL PROTECTION OFFICER.
6. NO WORK IS PERMITTED WITHIN THE "PROTECTION ZONE" REFERRED TO IN SECTION 11(C) OF THE BYLAW 7671 EXCEPT IN ACCORDANCE WITH PLANS AND PROCEDURES AUTHORIZED BY A TREE PERMIT.
7. BYLAW APPLIES TO ALL PRIVATE PROPERTY AND CITY LANDS.
8. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE IF GREATER THAN 75CM (EXCEPT YEW GREATER THAN 25CM); HERITAGE TREES, ANY SIZE TREE ON STEEP SLOPES, WILDLIFE TREES, STUMPS GREATER THAN 1.5M, COVENANTED TREES, TREES ON CITY LAND
9. REPLACEMENT TREES ARE REQUIRED, UNLESS PROPERTY STILL HAS AT LEAST 20% TREE COVER
10. PROTECTED TREES INCLUDE:
11. ANY TREE ON LAND OWNED BY OR IN THE POSSESSION OF THE DISTRICT, INCLUDING, WITHOUT LIMITATION, A TREE IN A PARK OR ON A BOULEVARD, ROAD OR LANE ALLOWANCE,
12. ANY TREE WITHIN A PROTECTED AREA,
13. ANY TREE ON SLOPING TERRAIN,
14. ANY REPLACEMENT TREE;
15. ANY RETAINED TREE;
16. ANY HERITAGE TREE;
17. ANY WILDLIFE TREE;
18. ANY TREE LOCATED ON WETLAND OR WATERFRONT;
19. ANY TREE OF THE FOLLOWING SPECIES: ARBUTUS (ARBUTUS MENZIESII); GARRY OAK (QUERCUS GARRYANA); OREGON ASH (FRAXINUS SP.); PACIFIC YEW (TAXUS BREVIFOLIA); WESTERN WHITE PINE (PINUS MONTICOLA); OR YELLOW CEDAR (CHAMAECYPARIS NOOTKATENSIS).



LANDSCAPE DESIGN RATIONALE

THE LANDSCAPE CONCEPT FOR THE SALES CENTRE FOCUSES ON A MAIN ENTRANCE/GATHERING SPACE ALONG AN EXISTING TREE USING MATERIALS AND PLANTING TO SHOWCASE THE EAST COAST LANDSCAPE.

RAINWATER MANAGEMENT IS TAKEN INTO CONSIDERATION THROUGHOUT THIS SITE AND BY CREATING A RIVER ROCK GARDEN FOR A PERMEABLE LANDSCAPE.

A WOODEN PATHWAY FLOATS ON TOP OF A SUCCESSION OF PERENNIALS AND GRASSES CREATING AN EXPERIENCE OF COLOR AND TEXTURE THROUGHOUT THE SITE.

THE MATERIALS AND PLANTING PALETTE REFLECT THE LANDSCAPE DESIGN FOR THE PROPOSED "MORRISON ON THE PARK" PROJECT.

KEY AREAS

- 1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH JAGGED EDGES, BIKE RACKS AND SIGNAGE.
- 2 "THE WEST COAST GARDEN": MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.
- 3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.
- 4 MAIN ENTRANCE: REFER TO ARCHITECTURAL DRAWINGS.
- 5 ACCESSIBLE SECONDARY ENTRANCE: WOOD PATHWAY TO ENTRANCE.
- 6 PRIVACY PLANTING AND SCREENS.



1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH JAGGED EDGES, BIKE RACKS AND SIGNAGE.



2 "THE WEST COAST GARDEN": PLANTED MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.



3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.



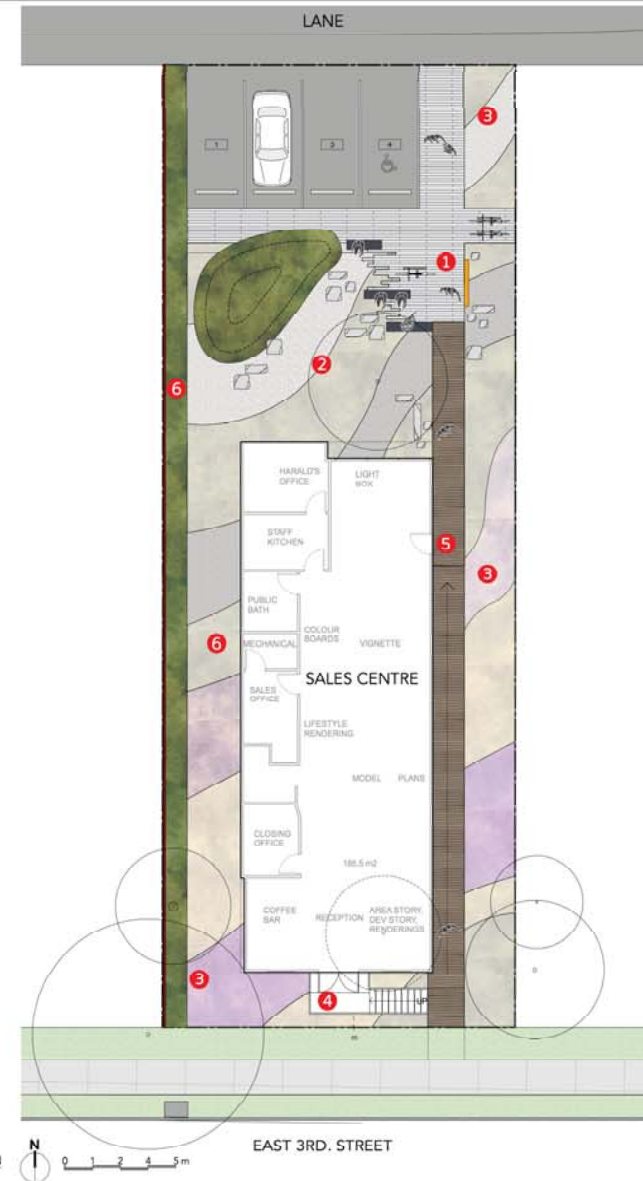
4 MAIN ENTRANCE: WOOD PATHWAY TO ENTRANCE. REFER TO ARCHITECTURAL DRAWINGS FOR ENTRANCE STAIRS.



5 ACCESSIBLE SECONDARY ENTRANCE: WOOD PATHWAY TO ENTRANCE.



6 PRIVACY PLANTING AND SCREENS.



1 LAYOUT PLAN
Scale: 1:100



EAST 3RD. STREET

MATERIALS LEGEND

SYMBOL	QTY	DESCRIPTION
	P1	PAVING TYPE 1 3 15/16" x 23 5/8" x 3 15/16" Theo Bloc pavers. Smooth finish. Colour: Grey Nickel.
	P2	THERMALLY MODIFIED WOOD PATHWAY Dimension varies c/w steel frame, surface mounted to paving.
	P3	RIVER ROCK 1 2" - 6" dia. washed river rock.
	P4	RIVER ROCK 2 2" dia. washed mexican river rock.
	P5	ASPHALT-See civil.
		PERENNIAL BED 18" min. soil depth for shrubs 3" min. soil depth for trees
		FOUNDATION/ HEDGE PLANTING 18" min. soil depth for shrubs 3" min. soil depth for trees
		MULCH Bark mulch as specified.
		GRANITE BOULDERS Sizes varies. Refer to layout plan for location and sizes.
		BASALT BOULDER BENCH Sawn top with chamfer edges. Natural, weathered appearance on all exposed sides. Sizes varies. Refer to layout plan for location and sizes. Supplier: Northwest Landscape Supply
		SIGNAGE- 6' HT. By owner
		U-BIKE RACK Madrax U-bike rack. Capacity 2 bikes. Surface mounted. 1 7/8" dia. tube. Powdercoated colour platinum. Supplier: Madrax

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

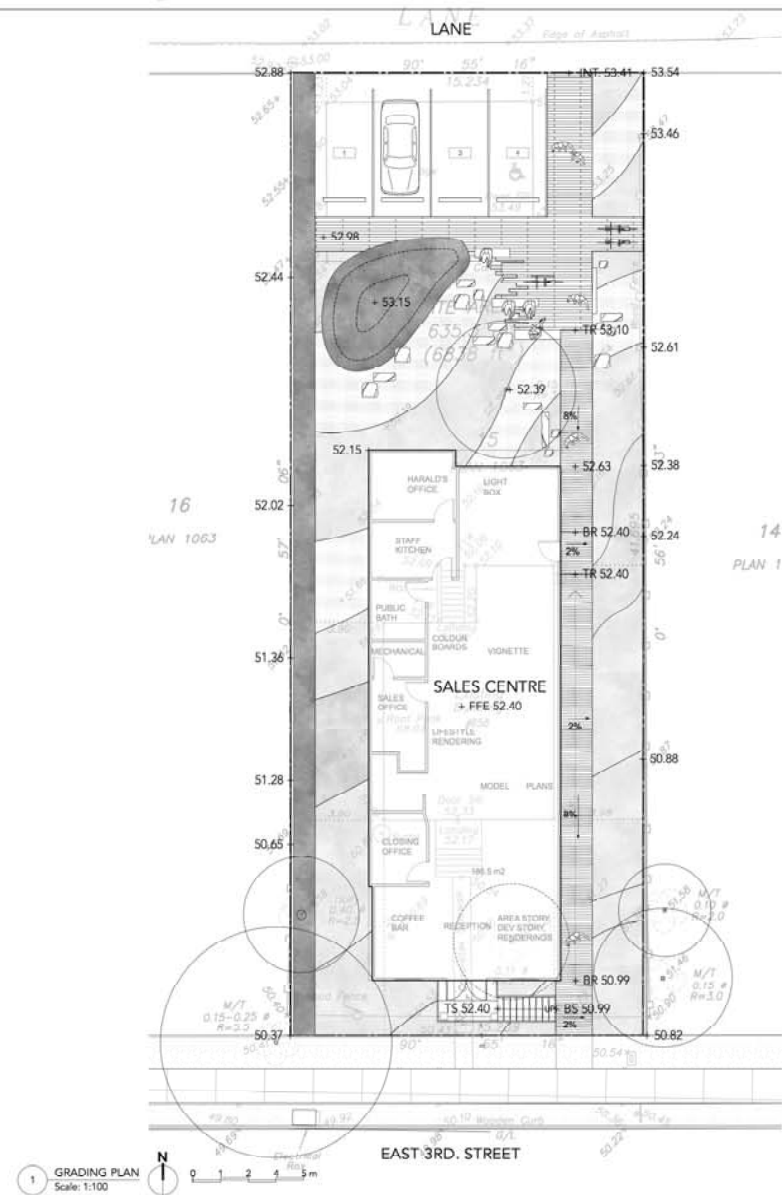


SYMBOL	DESCRIPTION
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EXISTING SPOT ELEVATION (AS PER SURVEY)	82.30
SLOPE DIRECTION (SEE ARCH.)	5%
PROPOSED SPOT ELEVATION	+83.27
FINISHED FLOOR ELEVATION (SEE ARCH.)	FFE 83.60
TOP OF RAMP (SEE ARCH.)	TR 82.75
BOTTOM OF RAMP (SEE ARCH.)	BR 82.75

ALL UTILITIES TO BE STAKED OUT BY A

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING OF PROJECT. LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK, PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING. SEE ARCHITECTURE DRAWINGS FOR FINAL RAMP/PATHWAY GRADES, AND FOR CODE COMPLIANCE.



Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

Creo Development
19101
19-05-01

A Issue for Temporary Use Permit 19-05-01

L3.0

GRADING PLAN

LIGHTING LEGEND

QTY	TYPE	MANUFACTURER	DESCRIPTION
3	Path Light	BK Lighting	Glow Star Series Style K (BZW) stake mounted
27	Spot Flood	BK Lighting	Nite Star LED Floodlight with 12" power pipe stake. Model # NS-LED-E22-A9-BLP-9-11-B/PP-S-12-B (Requires remote magnetic transformer)
11' lin. ft.	LED Strip	Bruck	Orion Belt narrow beam spread LED's mounted underneath wood pathway.



A Type A-BK Lighting Path Light



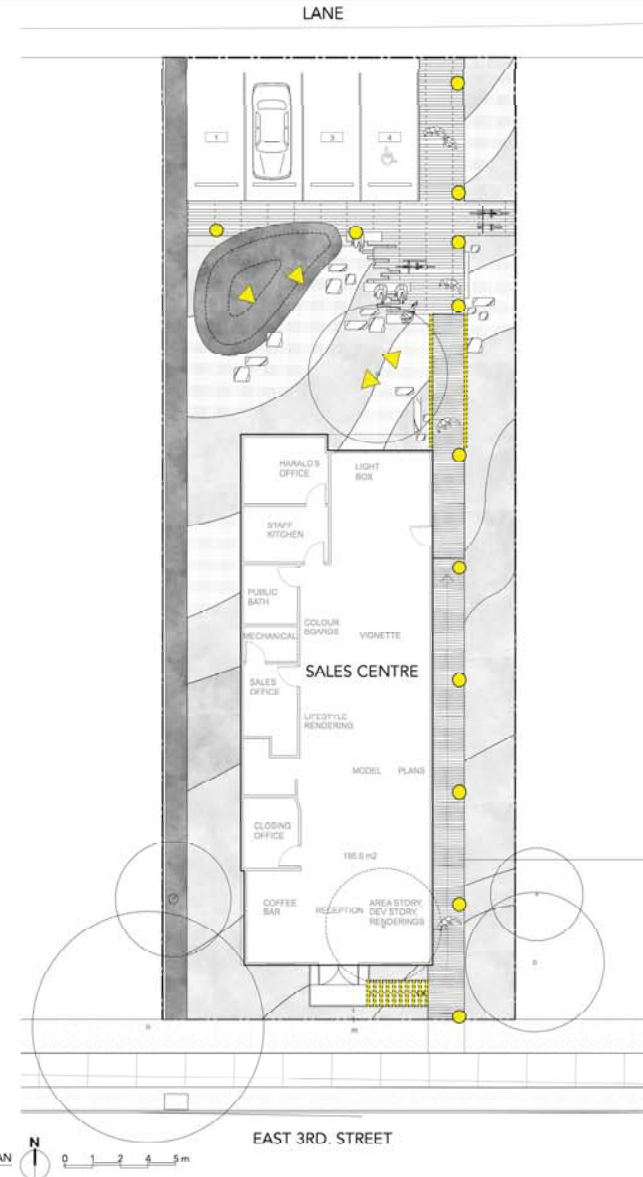
B Type B-BK Lighting Spot Flood



C Type C-Bruck LED Strip

GENERAL LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN, PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS OF FIXTURES RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE FLAGGED LAYOUT OF THE FIXTURES AND ELECTRICAL SYSTEM PRIOR TO TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SIX FEET PRIOR TO RAVING. SIX FEET MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
8. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, AND ASSOCIATED FEES REQUIRED TO INSTALL THE SYSTEMS INCLUDING ALL ELECTRICAL CONDUIT, LIGHT FIXTURES, WIRE, PANELS, JUNCTION BOXES AND NECESSARY EQUIPMENT FOR THE COMPLETION OF THE WORK.
9. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES, COMMUNICATIONS PROVIDERS AND OTHERS TO IDENTIFY AND MARK LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN THE SCOPE OF WORK. KNOWN UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE: ELECTRICAL, STORM SEWER, WATER, AND SANITARY SEWER.
10. VERIFY IN FIELD, ALL LOCATIONS OF FIXTURES, ELECTRICAL LINES OR OTHER LIGHTING SYSTEM ELEMENTS WITHIN THE DRIP LINE OF ANY EXISTING TREES. NOTIFY LANDSCAPE ARCHITECT OF SUCH OCCURRENCES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE WITHIN THE DRIPLINE OF ANY TREE, REFER TO SPECIFICATIONS.
11. ELECTRICAL CONDUIT LAYOUT IS DIAGRAMMATIC ON DOCUMENTS. ADJUST LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE MINIMAL IMPACT TO IN PLACE AND FUTURE ELEMENTS. AVOID INSTALLATIONS UNDER TREES.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ELECTRIC POWER, AND PROPOSED CONNECTIONS AND METERS IN THE FIELD FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, AND PHOTO CELL CONTACTORS FOR ACTIVATION OF LIGHTING CIRCUITS.
14. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS AND ASTRONOMIC TIME CLOCK FOR DE-ACTIVATION ON LIGHTING CIRCUITS.
15. THE LIGHTING SYSTEM SHALL BE PHOTOCELL ON, TIMER OFF.



PLANTING LIST

Botanical Name Common Name

SHRUBS

Arbutus unedo 'Compacta' Compact Strawberry Bush
Ribes sanguineum Red Flowering Currant
Rosa nutkana Nootka Rose

ORNAMENTAL GRASSES, PERENNIALS, AND FERNS

Calamagrostis x scutiflora 'Karl Foerster' Foerster's Feather Reed Grass
Carex testacea 'Prairie Fire' Orange New Zealand Sedge
Festuca 'Idahoensis' Idaho fescue
Stipa tenuissima Mexican Feather Grass
Blechnum spicant Deer Fern
Euphorbia characias subsp. wulfenii Spurge
Gaultheria shallon Salal
Hemerocallis x 'Stella d'Oro' Daylily
Lavandula angustifolia 'Hidcote' Hidcote Lavender
Polystichum munitum Western sword fern
Rubus hirta 'Goldsturm' Black-eyed Susan

SHRUBS



Arbutus unedo 'Compacta'
Compact Strawberry Bush



Ribes sanguineum
Flowering Currant



Rosa nutkana
Nootka Rose

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Feather Reed Grass



Stipa tenuissima
Mexican Feather Grass



Gaultheria shallon
Salal



Hemerocallis 'Stella d'Oro'
Stella d'Oro Daylily



Lavandula angustifolia
English Lavender



Polystichum munitum
Western Sword Fern



Carex testacea 'Prairie Fire'
New Zealand Hair Sedge



Euphorbia characias subsp. wulfenii
Mediterranean Spurge



Rubus hirta 'Goldsturm'
Black-eyed Susans



Festuca 'Idahoensis'
Idaho Fescue



Blechnum spicant
Deer Fern

NOTE: Irrigation to be done manually. Location of hosebills by contractor.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
TEMPORARY USE PERMIT

Permit No. TUP2019-00001

File: 09-4520-20-0005/2019

Issued to owner(s): **1072555 B.C. Ltd., Inc. No. BC1072555**

Respecting the lands located at **658 East 3rd Street**, North Vancouver, BC, legally described as:

LOT 15 BLOCK 22 DL 273 PLAN 1063 PID: 015-013-073

(the “**Lands**”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Temporary Use Permit is issued pursuant to Section 493 of the *Local Government Act*.
-

Bylaws Supplemented or Varied:

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” Ground-Orientated Residential 3 (RG-3) Zone are hereby varied as follows:
 - A. This permit temporarily allows the Lands to be used for the purposes described below:
 - i. To permit Creo Developments Ltd. to install and occupy a trailer up to a maximum of 185.0 square metres (2,000 square feet) for the purpose of a temporary sales centre (business office).
-

Special Terms and Conditions of Use:

3. Hours of operation shall be limited to:
 - 11:00 am to 6:00 pm Sunday to Thursday;
 - Closed Friday; and
 - Any special event may exceed closing hours listed in this permit but not beyond two hours.

General Terms and Conditions:

4. This Temporary Use Permit is issued by the City of North Vancouver subject to compliance with all the applicable bylaws of the City except as specifically varied or supplemented by this Permit. No variances other than those specifically set out in this permit are implied or to be construed.
5. The Lands shall be used in accordance with the terms and conditions of this Permit. All terms and conditions are subject to any changes required by the Building Inspector or other officials of the City where such specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted through the issuance of this Temporary Use Permit.
6. This Permit expires: three years from date of issuance.
7. The Permit holder acknowledges that a Building Permit or other City Permits and Licenses may be required. This is not a Building Permit.
8. Nothing in this Permit shall in any way relieve Land Owner/Business Owners obligation to ensure that the use complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.

9. Nothing in this Permit shall in any way relieve the Land Owner/Business Owners obligation to comply with regulations for construction of structures or provision of on-site services pursuant to the Health Act, the Fire Services Act, the Electrical Energy Inspection Act, and any other provincial statutes.
-

Authorized by Council: _____
Year / Month / Day

Expiry Date: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla Graham, City Clerk

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Temporary Use Permit No. TUP2019-00001.

Notice filed the _____ day of _____, 20_____.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 658 East 3rd Street

Architect	Sheet Name	Sheet No.	Date	CityDocs File Number
Shape Architecture	Site Plan	A101	May 7, 2019	1818425
Shape Architecture	Sections + Elevations	A401	May 7, 2019	1818425
Enns Gauthier Landscape Architecture	Cover Sheet	L0.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Tree Management Plan	L0.1	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Layout Plan	L1.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Materials Plan	L2.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Grading Plan	L3.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Lighting Plan	L4.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Plant List	L5.0	May 1, 2019	1818425



Temporary Use Permit

658 East 3rd Street

Presented October 28, 2019

Planning and Development Department

Policy Framework

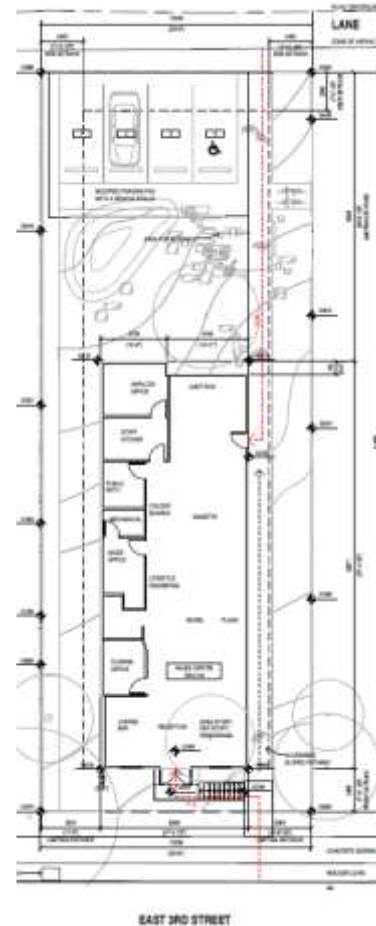
- The Official Community Plan supports Temporary Use Permits (TUP) to be used anywhere in the City.
- The TUP is a tool to allow short term land use flexibility to allow uses not permitted under existing Zoning.
- The TUP is good for three years, with the option to renew for a second three year period.

Context Map



Proposal

- Single storey structure.
- Four parking stalls at the back of the site, accessed from the lane.
- Landscaped.
- Setbacks meet current RG-3 Zoning.
- Hours of operation
 - 11:00 am to 6:00 pm Sunday to Thursday.
 - Closed Friday.





Thank you.

From: Manjeet Sandhu <>
Sent: October-21-19 3:14 PM
To: Submissions
Subject: Zoning amendment bylaw,2019,no.8717 at 658 east 3rd st.

I Manjeet Sandhu resident of 311 moody ave north van.

Requesting to city council pls do not allow this commercial trailer in residential area.

We already going through a difficult time as a huge construction from long time around

I am surprise Don bell is supporting this as he promised during election will keep control on too much changes in city.Pls do not allow I will appreciate.

Thanks
Manjeet Sandhu
311 Moody Avenue
North Vancouver



NOTICE OF PUBLIC MEETING

WHO: Shape Architecture Inc.

WHAT: Temporary Use Permit No. TUP2019-00001

WHERE: 658 East 3rd Street

WHEN: Monday, October 28, 2019 at 6:00 pm
Council Chamber, City Hall
141 West 14th Street, North Vancouver

Notice is hereby given that Council will consider:

Temporary Use Permit No. TUP2019-00001

to permit a single-storey sales centre, 185.8 sq.m. (2000 sq. ft.), with 4 parking stalls to be accessed off the rear lane.

All persons who believe they may be affected by the proposal will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk, at input@cnv.org, or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, October 28, 2019, to ensure their availability to Council at the Public Meeting.



The proposed Temporary Use Permit and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from October 18, 2019, and online at cnv.org/PublicMeetings.

Please direct any inquiries to **David Johnson**, Development Planner, at djohnson@cnv.org or **604-990-4219**.

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T 604 985 7761 / F 604 985 9417 / CNV.ORG



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-

Authorized by Council: _____
Year / Month / Day

Expiry Date: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla Graham, City Clerk

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Temporary Use Permit No. TUP2019-00001.

Notice filed the _____ day of _____, 20_____.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 658 East 3rd Street

Architect	Sheet Name	Sheet No.	Date	CityDocs File Number
Shape Architecture	Site Plan	A101	May 7, 2019	1818425
Shape Architecture	Sections + Elevations	A401	May 7, 2019	1818425
Enns Gauthier Landscape Architecture	Cover Sheet	L0.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Tree Management Plan	L0.1	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Layout Plan	L1.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Materials Plan	L2.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Grading Plan	L3.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Lighting Plan	L4.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Plant List	L5.0	May 1, 2019	1818425