



**STREET ELEVATION**

**SUBDIVISION & REZONING APPLICATION**  
**HOMES ON SIXTH**  
**844 EAST 6TH STREET, NORTH VANCOUVER**

**Legal Address: LOT 12, BLOCK 6, DL. 273, PLAN 1063**  
**PID: 014-878-275**

**OWNERS: RUDNER CONSTRUCTION**

**APPLICANT: VERNACULAR STUDIO INC.**

**ISSUED FOR: SUBDIVISION & REZONING July 1, 2024**

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844 EAST 6TH STREET, NORTH VANCOUVER  
LOT 12, BLOCK 6, DL, 273, PLAN 1063  
PID: 014-878-275

PROJECT SYNOPSIS

Current Lot Area: 15.24 M x 41.65 = 634.74 SM [50’ X 136.65’ = 6,832.50 SF]  
Current Zoning: RS1  
Proposed Zoning: RS2 (with minimum lot size relaxation)  
As minimum lot size is 334.45 SM (3,600 SF) lot area. Ref. Bylaw 506 (1)d

Proposed FSR: 0.50 FOR EACH LOT

Subdivision: From ONE LOT INTO TWO LOTS OF 7.62 M. (25 FT.) WIDE

Lot A (WEST)

Lot Area: 7.62 M X 41.65 M = 317.38 SM  
25.0’ X 136.65’= 3,416.25 SF

FSR Allowed (0.50): 317.38 X 0.5 = 158.69 SM [1,708.12 SF]  
FSR Proposed: 158.58 SM [1,707.0 SF]  
Lot Coverage Allowed: 30% 95.21 SM [1,024.83 SF]  
Lot Coverage Proposed: 30% 95.21 SM [1,024.83 SF]

FLOOR AREA (FSR CALCULATION)	
Main Floor	77.57 SM [849.0 SF]
Upper	80.91 SM [858.0 SF]
Basement	(77.57 SM [849.0 SF])
Total FSR	158.58 SM [1,707.0 SF]

SETBACKS:	ALLOWED	PROPOSED
FRONT:	4.57 M [15.0’]	4.57 M [15.0’]
REAR @35% LOT DEPTH:	14.57 M [47.80’]	20.26 M [66.48’]
EAST SIDE:	1.2 M [4.0’]	1.2 M [4.0’]
WEST SIDE:	1.2 M [4.0’]	1.2 M [4.0’]
HOUSE TO GARAGE:	3.0 M. [10.0’]	9.93 M [32.58’]

Accessory Building:10%	31.73 SM [341.53 SF]	31.21 SM [336.0 SF]
Parking:	2	2
SECONDARY SUITE: 40%	63.43 SM [682.80 SM]	34% 53.79 SM (579.0 SF)
PARKING:	One CAR PAD ALLOCATED FOR EACH DWELLING UNIT	
BIKE:	2 ENCLOSED	

Lot B (EAST)

Lot Area: 7.62 M X 41.65 M = 317.38 SM  
25.0’ X 136.65’= 3,416.25 SF

FSR Allowed (0.50): 317.38 X 0.5 = 158.69 SM [1,708.12 SF]  
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PROJECT:

844 EAST 6TH STREET,  
NORTH VANCOUVER

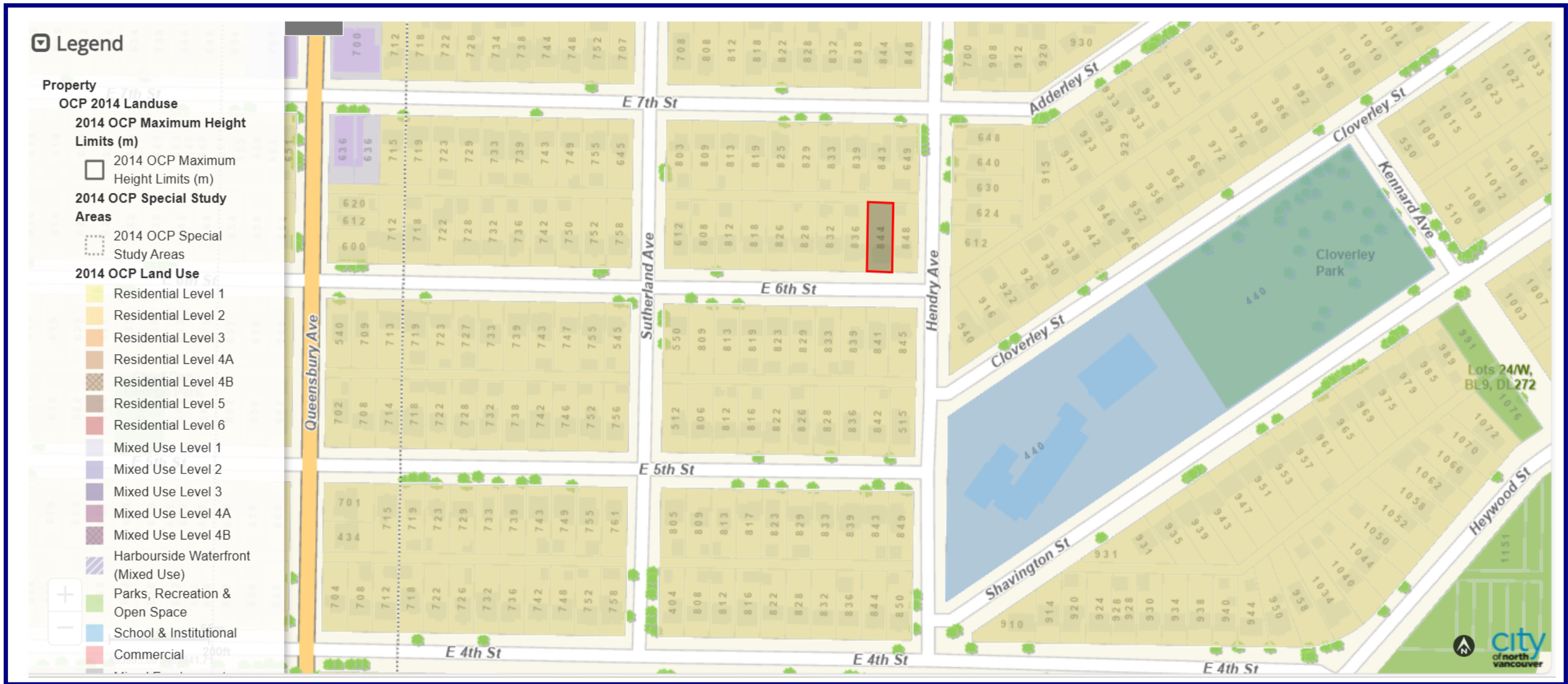
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PROJECT SUMMARY /  
ZONING SUMMARY

DATE: DRAWING NO. :

JULY 4TH, 2024 R.01





OCP MAP, CITY OF NORTH VANCOUVER OCP MAP, 2023



BIRD'S EYE VIEW - CITY OF NORTH VANCOUVER'S GEO MAP, 2023



836 EAST EAST 6TH - SINGLE-FAMILY (WEST OF SUBJECT PROPERTY)



844 EAST EAST 6TH - SUBJECT PROPERTY



848 EAST 6TH - EAST OF SUBJECT SITE



EAST 6TH STREET PUBLIC REALM (SIDEWALK AND 17.5' WIDE BOULEVARD)



SUBJECT PROPERTY'S REAR VIEW FROM THE LANE



EAST 6TH STREET EXISTING STREET CONDITION - VIEWING EAST



EAST 6TH STREET EXISTING STREET CONDITION - VIEWING WEST



EAST 6TH STREET EXISTING LANE CONDITION - VIEWING EAST

PROJECT:

844 EAST 6TH STREET,  
NORTH VANCOUVER

DRAWING TITLE:

SITE CONTEXT

DATE:

JULY 1, 2024

DRAWING NO. :

R.02



PROJECT RATIONALE

SUBJECT SITE AND NEIGHBOURHOOD

The site measures 15.24 M X 41.65 M (50’ X 136.68’), located on 800 block of East 6th Street between Queensbury Ave. and Hendrick Ave. with single Family housing to the north, east, south, and west.

The property is a walking distance from schools, daycares, parks, Moddyville Neighbourhood, shopping area, 4 blocks to 3rd Street rapid transit route and minutes drive to Trans-Canada Highway.

Topography

The site slopes 2.5 meters [8.2 feet] from north to south over its depth and 0.60 m. [ 2.0 feet] across its width from west to east.

LAND USE

The Land use designation of 2014 OCP is Residential Level 1. Our intent is to keep the OCP designation unchanged but to apply for a Rezoning and Subdivision of 352 West 15th Street from a Single-Family lot (RS1) to a Single-Family lot (RS2) to allow for construction of two Single-Family houses with an accessory secondary suite for each.

PROPOSED INTENT

We believe that some of the housing challenge can be met with the small lot subdivisions while providing a flexible and relatively affordable housing solution for young and professional families, the downsizers and emptynesters who desire to stay in their community.

In the next phase upon Rezoning and Subdivision permitting process our application will work to achieve all the regional requirements and goals of City of North Vancouver’s sustainable design policies.

AFFORDABILITY

As the price of land increases, the developing community and the City of North Vancouver are under tremendous pressure to make housing more affordable. This proposal intends to subdivide a 50 feet wide lot in to two smaller lots to construct two new single-Family houses each with a Secondary Suite. The Secondary Suites intend to provide two ground oriented rental units in the area as well as being a “mortgage helper” for the owners.

BACKGROUND

In 2016 we designed our first narrow lot application at 1413-1417 Mahon Ave. and in 2017 we submitted a Rezoning and Subdivision application for 523-525 East 5th Street. Both projects have been successfully completed. There currently two more projects under construction at 416-418 East 16th St., 1740-1742 Bewicke Ave. and 646-648 East 4th Street and 9 more in the development application stage.

ARCHITECTURAL DESIGN

In response to the on-site conditions, current market, and the clients wish we are proposing to create two Modern style houses harmonious with each other in style, massing and use of architectural materials. Hence, the homes were designed based upon the following criterion:

The Architectural style of the proposed houses of Modern on the exterior with sloped roofs and a mixture of fiber cement boards and vertical metal sidings (see material palette). We included some samples of narrow front houses done by our firm in the past in the previous page.

The design features include:

- Based on the Clients’ request we have created two identical Modern homes with yet identifiable facades by providing different colour and material palettes.
- provide three bedrooms and a Secondary suite for each house.
- maximize and enhance outdoor living spaces in the rear yards and a front south facing patio for each Basement Suite.
- create flexible floor plans that can accommodate the needs of future growth of families.

MATERIALITY

For wall cladding of both houses we are proposing to use fiber cement siding, fiber cement boards, natural cedar strips as accents for the front entrances. For soffits and Fascias painted fiber cement board is also proposed. (colour palettes are presented in page A-07 of this package)

AFFORDABILITY

In terms of affordability, all can be done at this time is to build smaller homes and gently increase the density within the current residential zonings such as in the low density and medium density areas. Increasing number of small Single-Family houses, duplex, triplex and Infill units are alternative approaches to provide “relative” affordability with the current zoning and OCP. Following meetings with the Planning department and hearing their concerns for the rezoning we still believe this housing form is a viable housing typology in the City of North Vancouver and can offer more affordable housing options compare to the larger Single-Family models on the typical 50’ wide lots. Adding a Secondary Suite further helps the owners to recover part of their mortgage or have an extended family member living with them.

SUSTAINABILITY

- The proposal seeks to increase the density within the existing RS1 zoning where the current density is low. The owners wish to construct two new Single-Family homes with minimum interruption on the existing density. As a gentle densification approach the proposal will add two “relatively” affordable rental suites and an additional small home within the municipal infrastructure.
- The application aims to achieve and incorporate following sustainable components:
- Achieve Step 4 energy code or as CNV most current requirements.
  - “Energy Star” windows and doors
  - Double or Triple pane windows based on Energy requirements.
  - “Energy Star” appliances shall be installed in the new Infill unit.
  - Garages to be pre-wired for electric vehicles.
  - Dual flush toilets and low flow fixtures shall be installed.
  - Low VOC emitting paint and flooring materials shall be specified.
  - Hot water piping shall meet minimum insulation requirements.
  - Heat recovery ventilators shall be installed.
  - Indigenous plant materials with low water requirements shall be planted.
  - Stormwater Management system for storm water
  - Bicycle storages

ACTIVE LIFESTYLE

- Provide bicycle storage.
- Provide outdoor patios for the principal house and the Secondary Suites for the residents’ outdoor activities.

LANDSCAPE DESIGN

- The Landscape design envisions featuring a good percentage of native and drought resistant species of plant material in the front and rear yards.



AERIAL VIEW OF THE SITE



PROPOSED HOUSES

PROJECT:

844 EAST 6TH STREET,  
NORTH VANCOUVER

DRAWING TITLE:

PROJECT RATIONALE

DATE: DRAWING NO. :

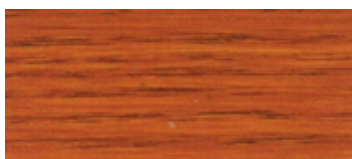
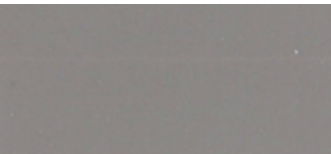
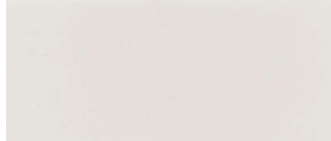
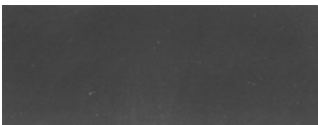

JULY 1, 2024

R.03





COLOUR PALETTES

- HOUSE A- MAIN HOUSE LONG BOARD-NATURAL CEDAR COLOUR
- HOUSE A- MAIN HOUSE and GARAGE – WHITE SOLID PAINT  
(Sea Haze –BM)
- HOUSE B- MAIN HOUSE and GARAGE –F/ CEMENT PANEL  
(Light Grey –BM)
- BOTH HOUSES - WINDOW SASH & STL. COLUMNS – Coated Dark Charcoal
- BOTH HOUSES – FASCIA, FLASHING – Dark Charcoal (to match Iron Mountain-B.M.)
- BM = BENJAMINE MOORE PAINT

MATERIAL PALETTES

- 1) Roof: 3 LAYERS OF APPROVED MEMBRANE
- 2) Wind. door trims: 1.5” X1.5” PAINTED TO MATCH WALLS
- 3) Fascia board: 2X8 OR 2X10 PAINTED CEDAR, Dark Charcoal
- 4) Flashing on Fascia: PREPAINTED STEEL PROFILE TO MATCH FASCIA COLOUR
- 5) Fascia + Gutter: PRE-PAINTED ALUM. DARK CHARCOAL
- 6) Wall panels FIBER CEMENT PANELS
- 7) Long board siding3.5” WIDE METAL LONG BOARDS [NATURAL CEDAR COLOUR]
- 8) Wall cladding: FIBER CEMENT
- 9) Window sash: VINYL - DARK CHARCOAL
- 10) Entry Doors: SOLID CORE FIBERGLASS PANEL
- 11) Soffits: T&G CEDAR [NATURAL CEDAR STAIN]

PROJECT:

844 EAST 6TH STREET,  
NORTH VANCOUVER

DRAWING TITLE:

CLOUR & MATERIAL  
PALETTES

DATE:

July 1, 2024

DRAWING NO. :

R.04



HOUSE # 836

844 E 6TH - HOUSE A

844 E 6TH - HOUSE B

HOUSE # 848

6.2

5.7

EAST 6TH STREET ELEVATION

PROJECT:

844 EAST 6TH STREET,  
NORTH VANCOUVER

DRAWING TITLE:

STREET ELEVATION

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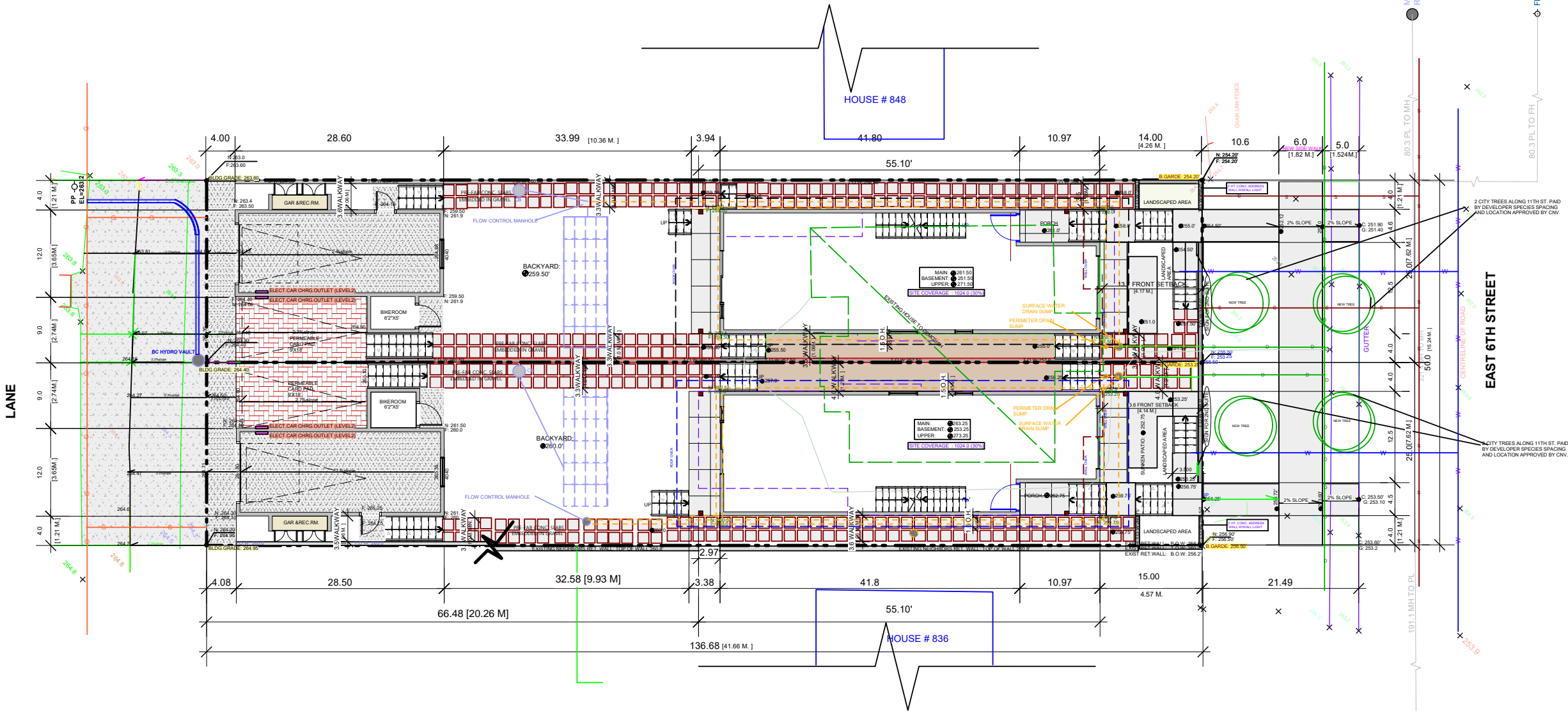
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LEGEND

- NEW TREE
- Existing trees to be removed
- Existing trees to be retained
- Proposed Tree Planting (Deciduous/Coniferous)
- Mixed Plantings of Shrubs, Perennials and Groundcovers
- Broom finish conc. paving w/corbelles
- Tree Protection Fence
- PRE-FAB CONC. SLABS EMBEDDED IN GRAVEL
- GRAVEL
- LAWN
- PERENNIAL FLOWER BED
- GROUND COVER -- SALAL @ 3" O.C.



LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

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844 EAST 6TH ST.  
NORTH VANCOUVER

SITE PLAN

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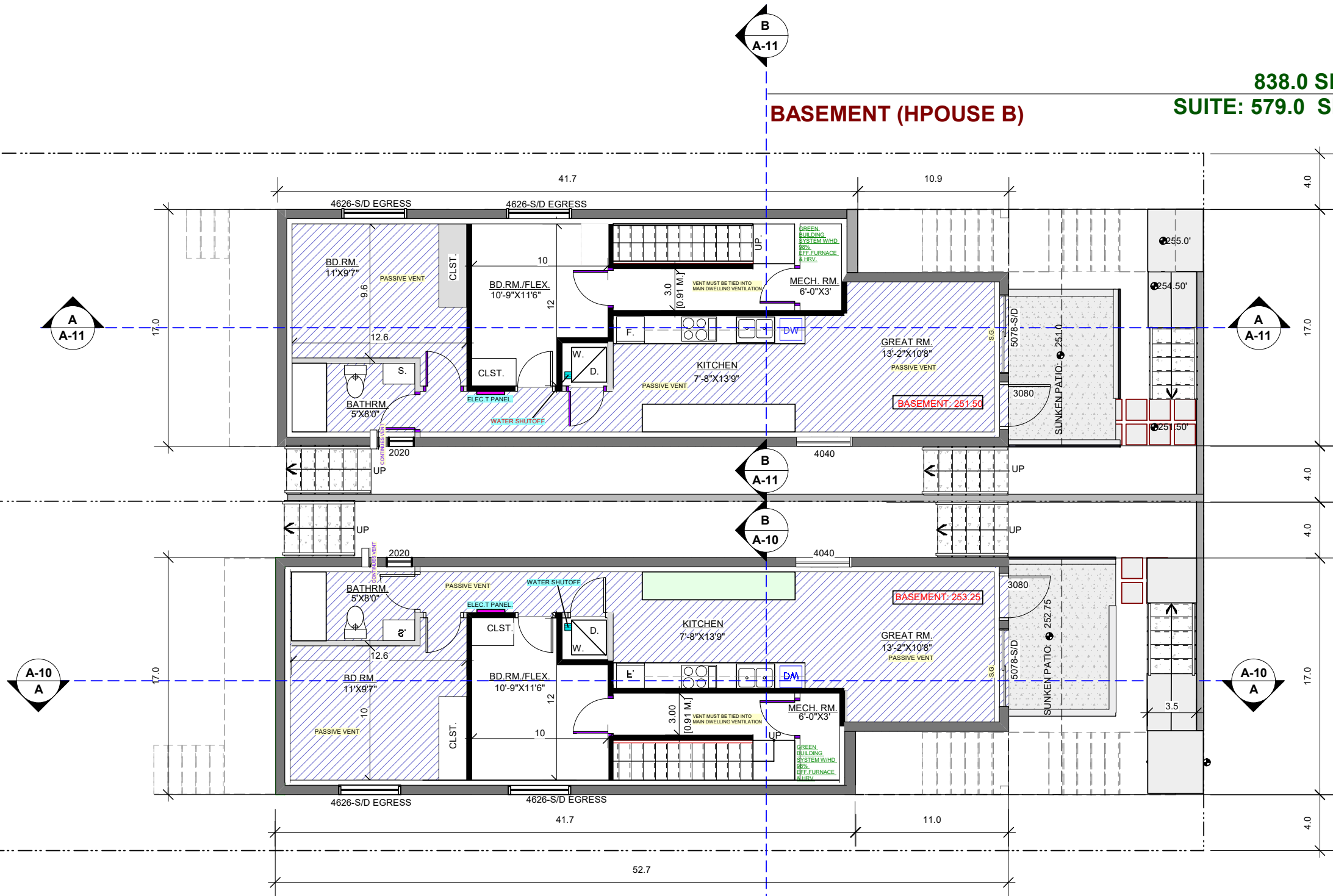
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A-01

838.0 SF.  
SUITE: 579.0 SF.

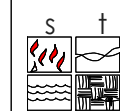
BASEMENT (HPOUSE B)



849.0 SF.  
SUITE: 579.0 SF.

BASEMENT (HPOUSE A)

Vernacular



300 - 120 LONSDALE AVE.  
NORTH VANCOUVER, B.C.  
V7M 2E8  
PHONE: (604) 960-6862  
VERNACULARSTUDIO.COM

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DIMENSIONS AND LEVELS PRIOR TO  
COMMENCEMENT OF WORK. ALL  
ERRORS AND OMISSIONS SHALL BE REPORTED  
IMMEDIATELY TO VERNACULAR STUDIO INC.



LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

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844 EAST 6TH ST.  
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BASEMENT FLOOR

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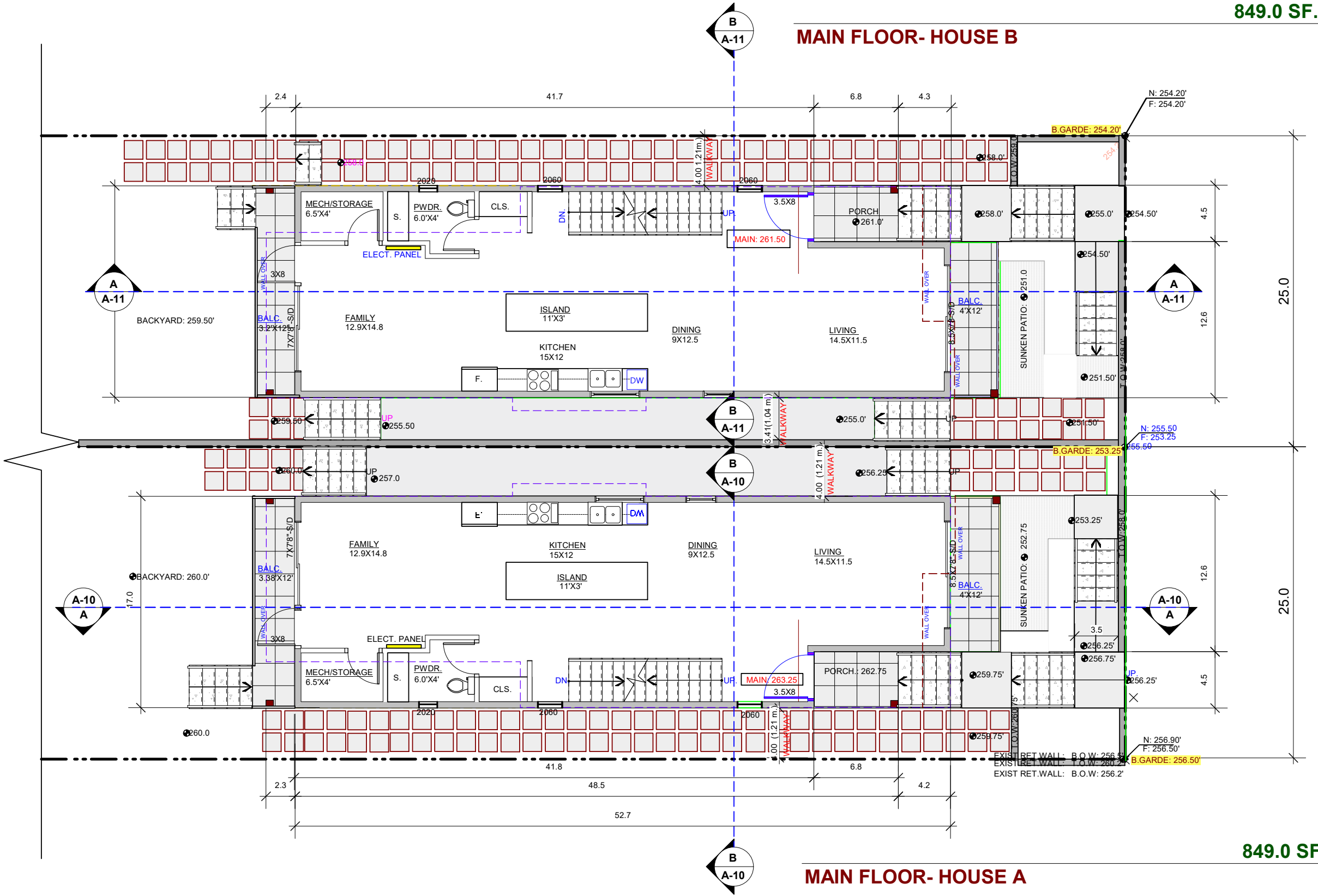
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A-02

849.0 SF.

MAIN FLOOR- HOUSE B



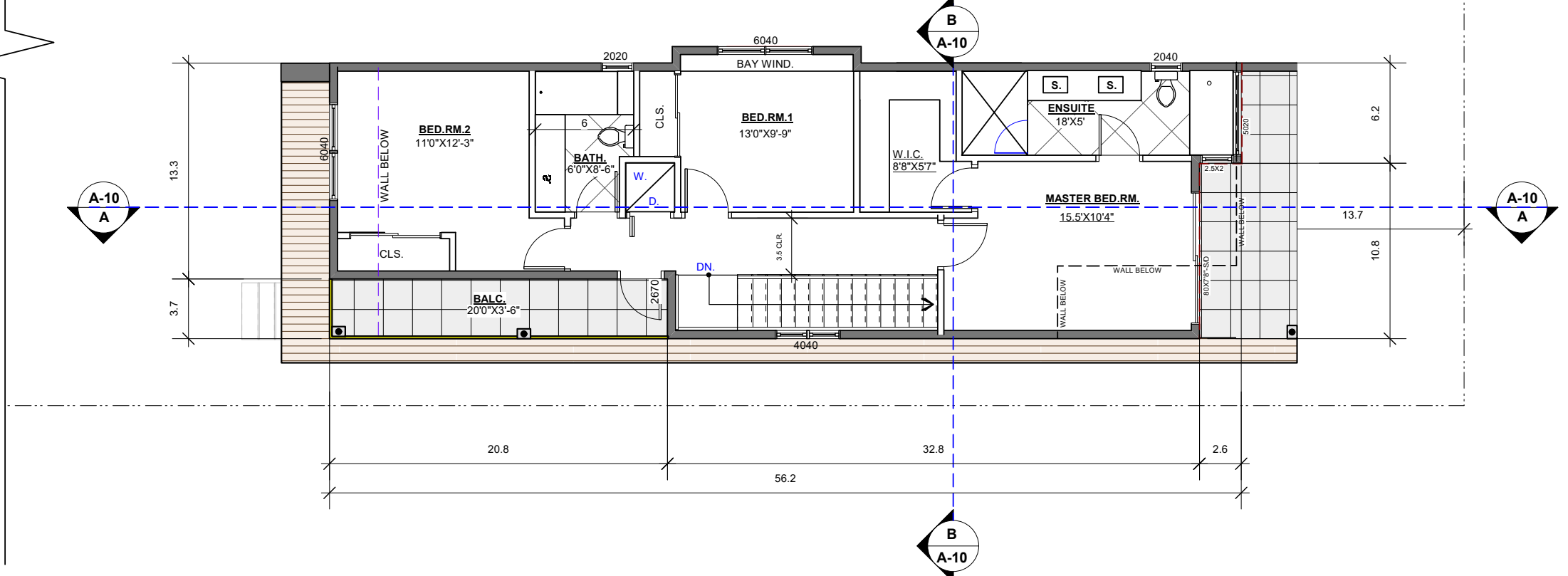
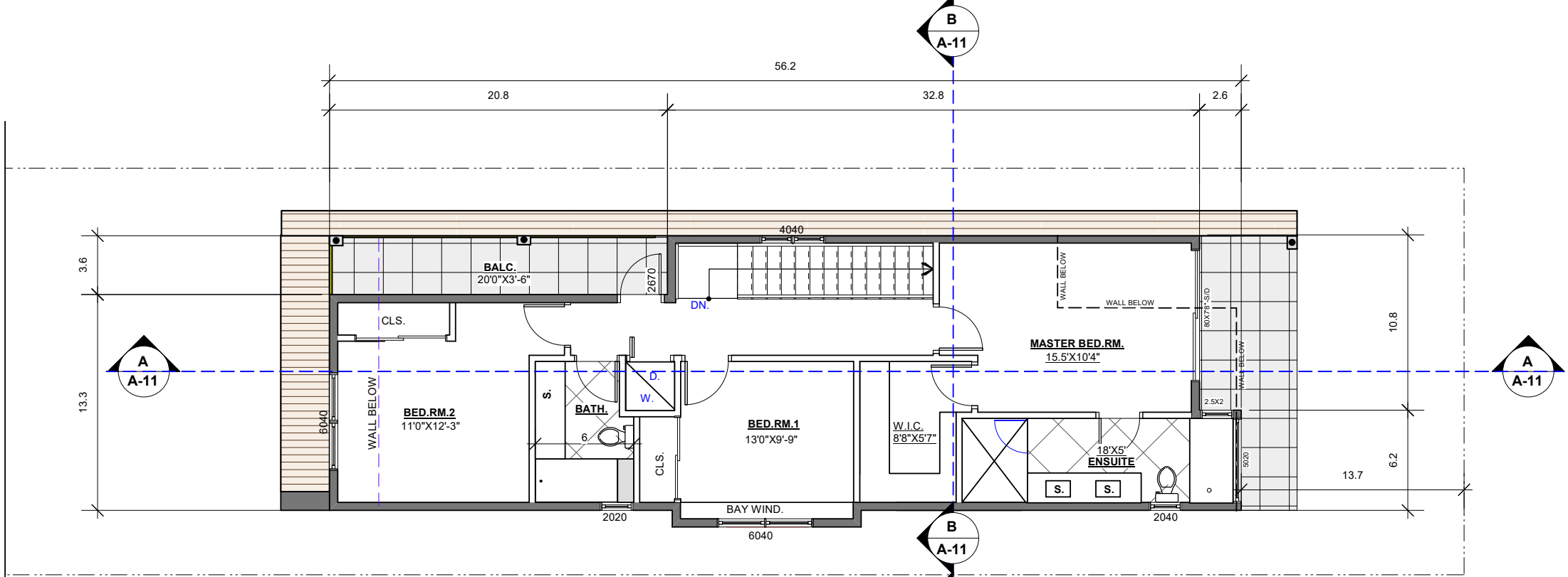
849.0 SF.

MAIN FLOOR- HOUSE A



858.0 SF.

UPPER FLOOR- HOUSE B



858.0 SF.

UPPER FLOOR- HOUSE A



LEGEND:

- FINISH ELEV.
- POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

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844 EAST 6TH ST.  
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UPPER FLOOR

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A-04



$$= 259.28' + 33' = 292.28'$$
$$= 258\ 21' + 33 = 291\ 21'$$

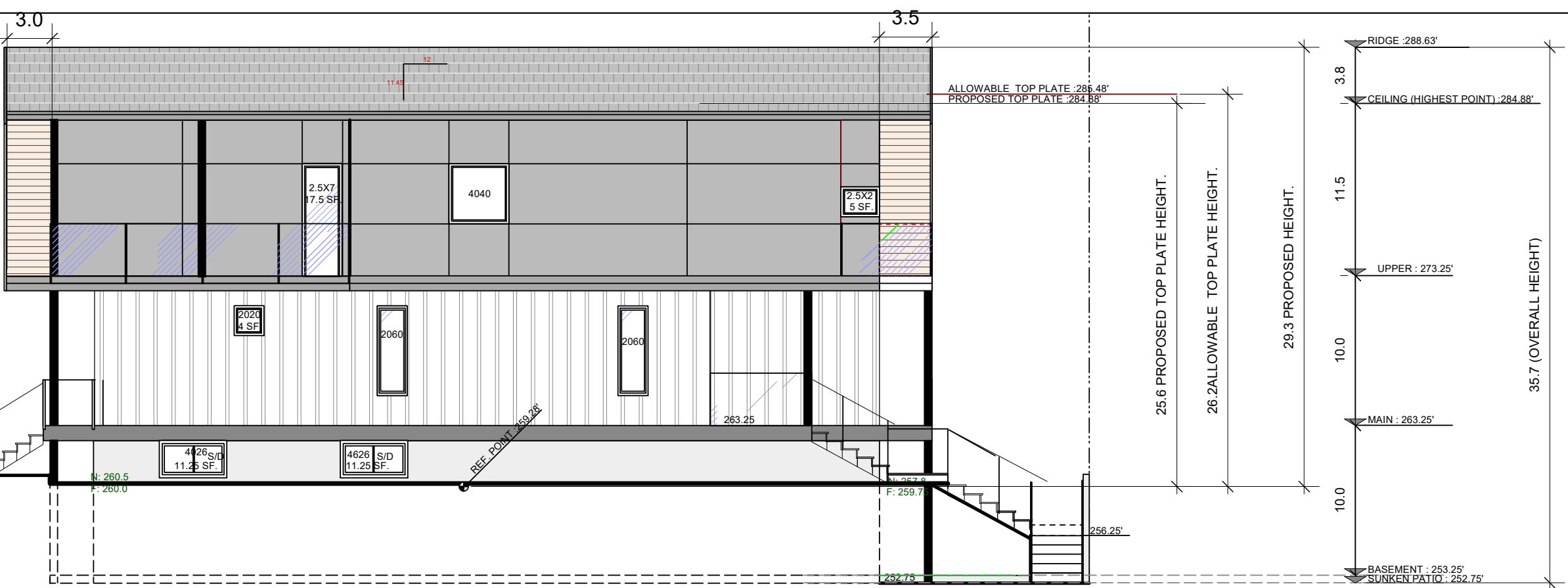





UNPROTECTED OPENINGS  
WEST ELEVATION

WALL AREA=1328.0 SQ.FT  
LIMITING DISTANCE=4'0" (1.21 M)  
PERMITTED U.P.O.( 7%)=92.96 SQ.FT  
PROPOSED=90.50 SQ. FT.

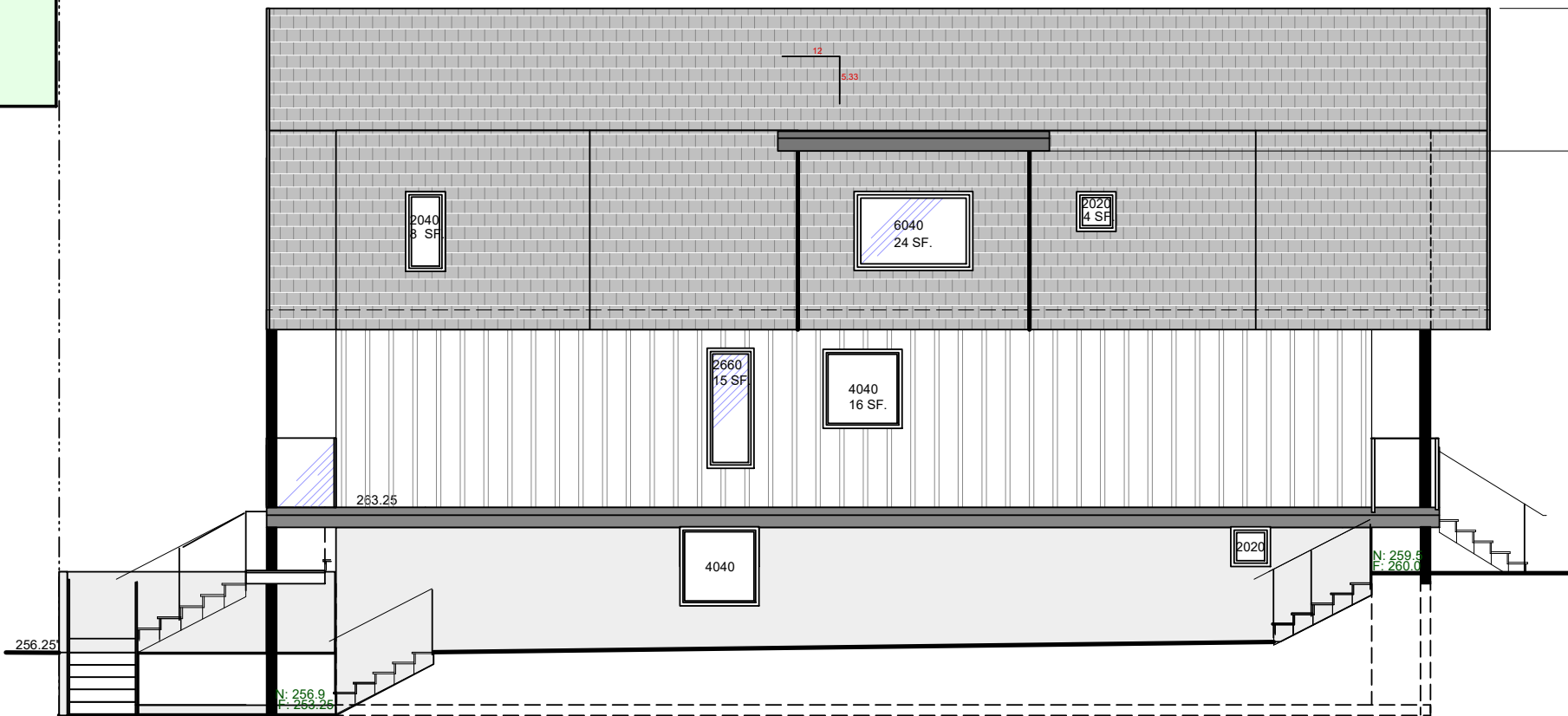
BACKYARD:  
260.0'



WEST ELEVATION-HOUSE A

UNPROTECTED OPENINGS  
EAST ELEVATION

WALL AREA=1409.0 SQ.FT  
LIMITING DISTANCE=4'0" (1.21 M)  
PERMITTED U.P.O.( 7%)=98.63 SQ.FT  
PROPOSED=85.0 SQ. FT.



EAST ELEVATION - HOUSE A

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

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844 EAST 6TH ST.  
NORTH VANCOUVER

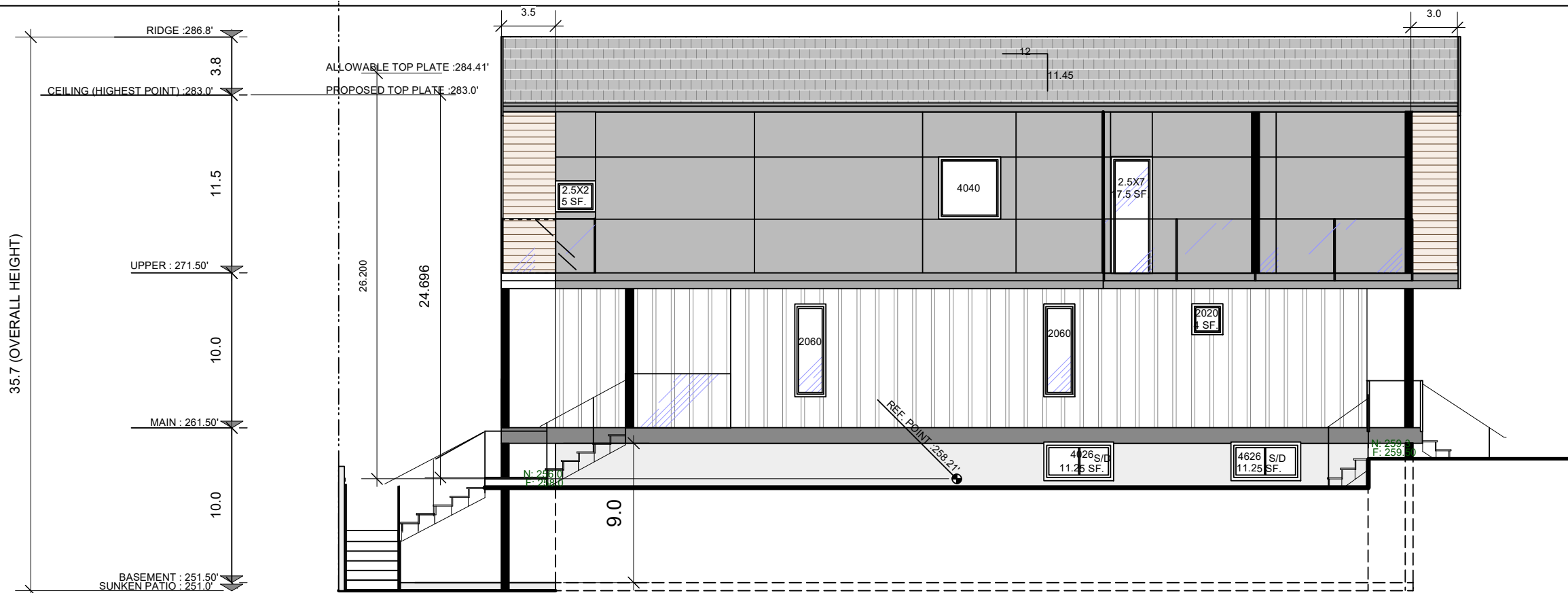
EAST & WEST  
ELEVATIONS  
HOUSE A

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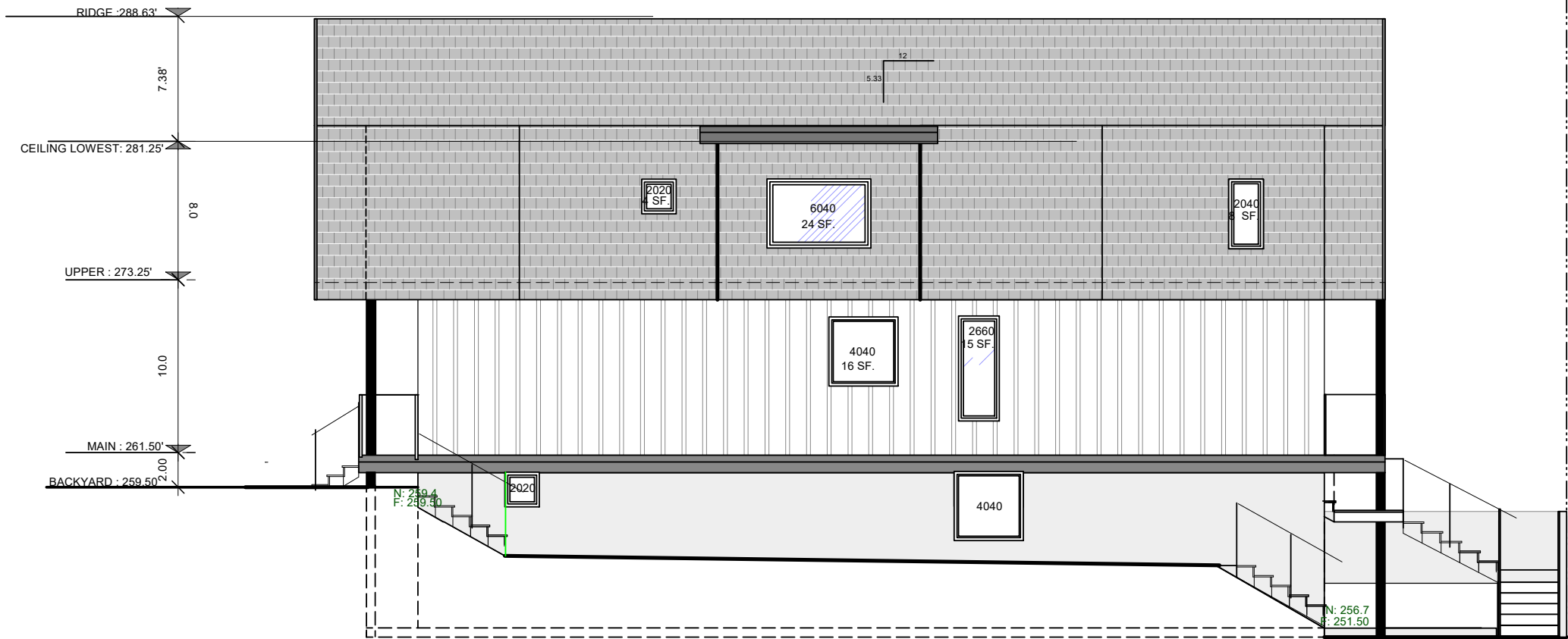
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**UNPROTECTED OPENINGS  
EAST ELEVATION**

WALL AREA=1328.0 SQ.FT  
LIMITING DISTANCE=4'0" (1.21 M)  
PERMITTED U.P.O.( 7%)=92.96 SQ.FT  
PROPOSED=90.50 SQ. FT.

**EAST ELEVATION -HOUSE B**



**UNPROTECTED OPENINGS  
WEST ELEVATION**

WALL AREA=1409.0 SQ.FT  
LIMITING DISTANCE=4'0" (1.21 M)  
PERMITTED U.P.O.( 7%)=98.63 SQ.FT  
PROPOSED=85.0 SQ. FT.

**WEST ELEVATION -HOUSE B**

**LEGEND:**

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

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**844 EAST 6TH ST.  
NORTH VANCOUVER**

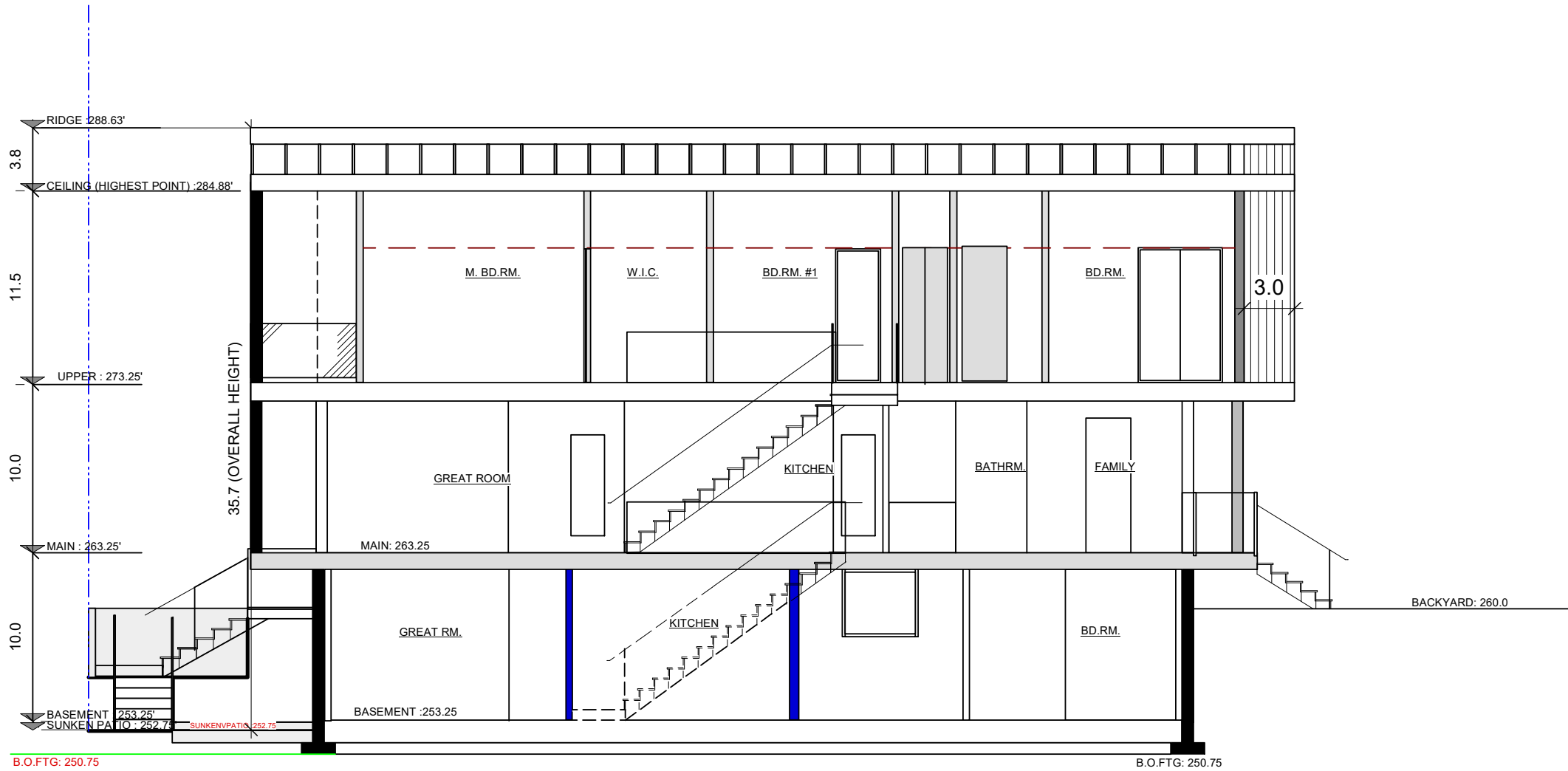
**EAST & WEST  
ELEVATIONS  
HOUSE B**

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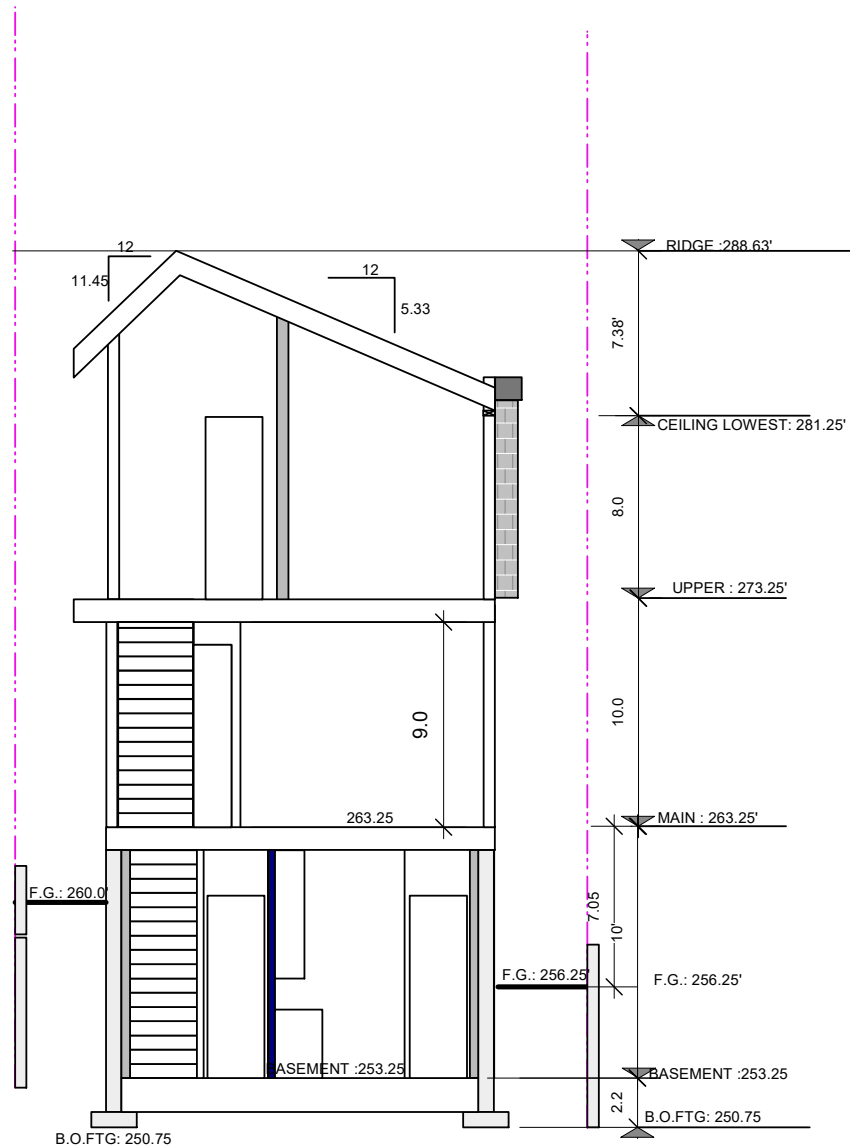
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**A-09**



SECTION BB - HOUSE A



SECTION AA - HOUSE A

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

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