

LEGAL DESCRIPTION:

PLAN FOR LOT 12 BLOCK 15 DISTRICT LOT
273 PLAN 1063

CIVIC ADDRESS :

842 EAST 5TH STREET NORTH VANCOUVER, BC

P.I.D: 014-872-641 (EXISTING LOT 12)

ISSUED FOR RS-2 REZONING APPLICATION
MAY 15, 2024

DRAWING LIST

Table with 4 columns: Number, Sheet Name, Current Revision, Current Revision Date. Lists drawing sheets A01 through A20.



GENERAL NOTES:

ALL WORK AND MATERIAL SHALL COMPLY WITH 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE.

DIMENSIONS

Unless otherwise noted in drawings, all dimensions in this et to read as follows:
• To face of the stud for the interior walls.
• To face of the exterior plywood on the exterior walls.
• To face of the concrete walls.
• Exterior face of the plywood to be on the gridline.
• Face of the foundation below to be aligned with face of the exterior plywood.

EXCAVATIONS

1. GEOTECHNICAL Engineer is to certify a site is safe for workers when the slope of the excavations exceeds 3/4 horizontal to one vertical or excavation exceeds 48".
2. Inspections can only be done if site is posted as safe by Professional Engineer.

FOUNDATIONS

1. Exterior Strip footings are required to have a minimum width of 10" supporting 1 floor, 14" supporting 2 floors, & 18" supporting 3 floors. Refer to structural.
2. Interior Strip footings are required to have a minimum width of 8" supporting 1 floor, 14" supporting 2 floors, & 20" supporting 3 floors. Refer to structural.
3. Footings are to extend 18" below grade minimum.
4. Foundation walls of basement below grade and crawl spaces must be insulated with R12 to 24" per structural drawings.
5. Provide anchor bolts per structural drawings.
6. Anchor posts to footings to resist uplift.

CRAWL SPACE

1. Provide crawl space access of 2'-0" x 3'-0", min. 18" clearance and ventilate to 1/500th of area.
2. 2" concrete over 6 mil UV . rated poly required.

VENTILATION

1. Unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. The vent area shall be not less than 1/150 of the insulated ceiling area, where the roof slope is less than 1 in 6. Venting is required to be two-way.
2. Min. 2x2 cross-purlins to flat, vaulted ceilings, and decks over living areas to conform to BCBC 9.19.2.4)
3. Provide min. 2 1/2" clearance between roof sheathing and insulation #9,19.1.3.1) Provide min. 1" clearance between insulation and top of roof joists.
4. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% at the rooftop.
5. Provide attic access hatch of 2'-0" x 3'-0".
6. Attic hatches shall be weather stripped to maintain continuity of the air barrier. See BCBC 2012 9.19.2. & 9.25.3.3. & 9.36.2.21.
7. Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Professional Engineer, certified HRV or HVAC Technician at frame and final inspection.
8. Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per BCBC 9.32.3.3.
9. It is recommended that high-density batt insulation be used in vaulted roofs in order to maintain airflow.
See BCBC 2012 Div. B Part 9 Sentence 9.19. 1. 2.

INSULATION REQUIREMENTS.

(Prescriptive path, effective values)
1. Insulation where subject to mechanical damage is to be covered as per #9.25.2.3. (7) with drywall or equivalent (e.g. Furring wall).
2. Minimum insulation values R15.8 walls, R20.5 for flat or vaulted ceilings, and R39.2 for attic spaces, R-11.3 foundation, R25.5 Floor over exterior space, R-25.8 floor over unheated space, R-14.4 Wall to unheated space, R11.1 Slab above frost line, R-13.2 Slab below frost line.
3. provide a thermal break at slab edge.
4. Provide insulation in a 4' perimeter under the slab with a thermal break at exterior walls.
5. Provide insulation under entire slab area and a thermal break at the exterior walls for slabs with radiant heating.
6-Refer to energy modeling summary sheet when building energy compliant with performance path.
7. Piping for any plumbing & mechanical systems must be located within the thermal enclosure or are fully insulated to the required RSI value of the assembly they are in.
8. Foundation Wall insulation to wrap to edge of window/ framing on sides and bottom of well windows and doors

9. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
10. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
11. Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

STAIRS

1. Straight stair: Rise min. 5" max. 7.87" Run min. 8.25" max. 14"
2. Maximum 1" nosing on stair treads.
3. Minimum headroom is 6'-5" from a line through nosings, measured vertically.
4. Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
5. Winders to conform to 9.8.4.5.
6. Primary stair minimum width 2'-10".
7. Stairs 43" in width or greater require 2 handrails.
8. Handrail reqd. on interior stairs with three or more risers.
9. Exterior stairs with four or more risers.
10. Handrail as a guard is to be minimum 36"- 38"high.

EXTERIOR STAIR TREAD FINISH

shall be slip-resistant, and be provided with slip-resistant strips (max. 1mm above tread surface)

CHIMNEY & FIREPLACES

1. Provide minimum 2" clearance between chimney and combustible framing.
2. Provide minimum 4" clearance between fireplace and combustible framing.
3. Masonry fireplace hearths must conform to 9.22.5.1.

GUARDRAILS

1. Guardrails to be a minimum 42" exterior and 36" interior height.
2. Interior Guards: min 900mm (36") high;
3. Exterior guards: min 900mm (36") high where the vertical distance to finished grade is max 1800mm (6 ft.)
4. Handrails: Min 865mm and no more than 965mm high, measured vertically from the top of the handrail to a straight line drawn tangent to the tread nosings of the stairs. (See BCBC 9.8.7.4.)
5. Openings in guards shall be small enough to prevent the passage of a 100mm (4") dia. sphere (See BCBC 9.8.8.5.);
6. Guards must not facilitate climbing (See BCBC 9.8.8.6.(2) for further clarification);
7. Every stair requires a handrail, except interior stairs with max. 2 risers, or exterior stairs with max. 3 risers See BCBC 2012 Div. B Part 9. 9.8.7. and 9.8.8.
8. All glass guards to have top cap unless approved by Prof. Engineer.
9. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
10. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
11. Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

GLAZING

1. Contractor to double check provided window sizes with floor plan dimensions, window sill and head levels in elevation & sections prior fabrication.
2. Except wired glass windows, all Windows, Doors, Skylights and Other Glazed Products shall comply with WDMA/CSA10111 S.2/A440, "NAFS – North American Fenestration Standard/Specification for Windows, Doors, and Skylights.
3. Glass in entrance, shower and sliding doors, and windows within 8" of floors and within 36" of deadbolts are all to be safety glass.
4. Sidelights 20" in width are to be safety glass.
5. Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
6. The bottom of an operable window in a bedroom is not to exceed 4'11" above the floor, and have a min. opening width of 15" with an area of 3.75sf, unless the house is sprinklered.
7. Windows over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-operable and designed to #4.1.5.15.
8. Window wells are to be 30" minimum width when required as a bedroom egress 9.9.10.1
9. Level 2 Bedroom windows as egress must have unobstructed opening of not less than 1 m in height and 0.55 m in width, and sill height not more than 1.076 m above finish floor, and 7 m above adjacent round level 9.9.9.1
10. A bedroom window as egress must have unobstructed opening of not less than 0.35 m² in area with no dimension less than 380 mm, and maintain the required opening during an emergency without the need for additional support.
11. Where a protective enclosure is installed over a window well, it shall be operable from the inside without the use of keys, tools, or special knowledge.
12. Window sill that extends to less than 1 m from the floor and is located at the second must be protected by guard.

MASONRY VENEER WALLS

1. Provide masonry/veneer wall flashing ties and weep holes as per 9.20.

GARAGES

1. Doors between garage and dwelling are to be a self-closing and weather-stripped solid core door with 30 min. FRR.
2. Thicken slab edge at garage entry to 18" below grade.

MOISTURE PROTECTION

1. Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
2. Provide flashing at all wall-roof junctions, including parapets for solid guards on decks.
3. Rainscreen assembly required for all buildings, with a minimum capillary break of 3/4".
4. All platforms are roofs
5. All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks
6. Extend roof membrane 6" up wall at deck floor.

MISCELLANEOUS

1. Cross bridging required @ 7'-0" o.c. maximum for floor and roof joists.
4. For all tiled floor, install an additional layer of 3/8" exterior grade plywood on top of subfloor if concrete topping not provided.
5. 5/8" Drywall required to ceiling members at 24" o.c.
6. Provide minimum 8" clearance between grade and siding.
7. Damp-proofing slabs, including crawl spaces, are to be 6 mil "UV" poly.
8. Furnace and laundry room door width of 2'-8" min
9. N.R.P. hinges required for outswinging exterior doors.
10. Hardwired and interconnected smoke alarms required on every floor level differing by 36", within 5 meters of bedroom doors, and within 15 meters of each other.
11. Hard wired CARBON MONOXIDE alarms must be installed within each bedroom or within 15' of each bedroom door.
BCBC 9.32.4.2
12. A 5lb A.B.C. dry chemical fire extinguisher is required near the kitchen.
13. Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.
14. Solid Blocking shall be provided at exterior doors serving the dwelling unit and dwelling unit to garage doors. Locate blocking at lock height between jamb and structural framing.
15. Factory-Built Fireplaces and their installation shall conform to CAN/ULC-S640-M, "Factory-Built Fireplaces" and be installed in accordance with manufacturers specifications

Waterproof Wall Finish:

shall be provided as follows:
1. Above the floor in shower stalls: min 1.8m (6 ft.)
2. Above the rims of bathtubs equipped w/ showers- min 1.2m (4 ft.)
3. Above the rims of bathtubs not equipped with showers: min 400mm (16")
See BCBC 2012 Div. B Part 9 Sentence 9.29.2.
4. For all tiled wall surfaces, Provide water resistant GWB "AQUABOARD" or approved equivalent.

Solar Hot Water Ready:

All new single family homes must comply with the provincial regulations as follows:
1. 2x2" (inside diameter) straight, continuous, conduit runs must be provided from the mechanical room to the attic or roof, be capped/sealed at both ends and identified by markings that are permanent; or
2. 2 -3/4" type L copper pipes with 1/2" insulation that must be tested 200 psi after installation.
3. 1 -1" electrical conduit raceway close to the 2" pipes.
4. Pipes must be ended in a workable and accessible area, ie., minimum 2' clearance from top of ceiling joist to underside of rafters.
5. One 9.3 m² (100 sq.ft.) of south facing roof, minimum of 2.7m (9 ft dimension).
6. Structural roof design of a load of 0.2kPa in addition to design loads required by the BCBC.

Principal Ventilation System Supply Air:

1. A principal ventilation system shall mechanically provide air to each bedroom and each floor without a bedroom. See BCBC 2012 Div. B Part 9 Section 9.32.3.4.
2. HVAC equipment must be located within the thermal enclosure or designated to be installed outside the thermal enclosure.

Principal Ventilation System Exhaust Fan:

A principal system exhaust fan shall run continuously and provide a minimum airflow rate specified in Table 9.32.3.5.
An exhaust fan shall be provided for every kitchen and bathroom. See BCBC 2012 Div. B Part 9 Section 9.32.3.5. & 9.32.3.6.

Water Conservation Plumbing Regulations:

shall be provided as follows:
• Ultra low-flow toilets (4.8 L)
• Maximum flow rates of 8.3L/min for kitchen and lavatory faucets
• Maximum flow rates of 9.5L/min for shower heads
See BCBC 2012 - Part 10. 10.3.1.1. & 10.3.1.2

Combustion Spillage Hazard

A large kitchen hood fan can upset the pressure balance in a house, resulting in carbon monoxide spillage from a fireplace, hot water tank or furnace, back into the house. Ensure that the kitchen fan output (CFM) does not exceed 'Box B' as indicated on the Mechanical Ventilation Checklist

Important Considerations for Secondary Suite Fire Separation

The fire separation consists of:
• Drywall supported on the ceiling; and
• Wall framing protected between a layer of drywall on both sides. AVOID penetrating this drywall with holes larger than 5" diameter or 5" x 5" square. AVOID locating bathtubs, showers, furnace room equipment, electrical panels, washer shut off boxes and back-to-back outlets, in or adjacent to, the fire separation wall. Bathroom fans must be housed in a 5-sided, tightly fitted, drywall box.

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EAST 5TH SUBDIVISION

842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

COVER PAGE

ISSUED FOR RS-2 REZONING

Table with 4 columns: PROJECT NO., PLOT DATE, DRAWN, and NM. Values: 23285, MAY 15, 2024, DRAWN, NM.

Table with 4 columns: DRAWING NO., SCALE, REVIEWED, and AF. Values: A01, 1/4" = 1'-0", REVIEWED, AF.

Table with 4 columns: DRAWING NO., SCALE, REVIEWED, and AF. Values: A01, 1/4" = 1'-0", REVIEWED, AF.



2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
CONTEXT PLAN

DRAWING ISSUE
RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/64" = 1'-0"	REVIEWED	AF
DRAWING NO.	A02		REVISION	2



SOUTH WEST LANE VIEW



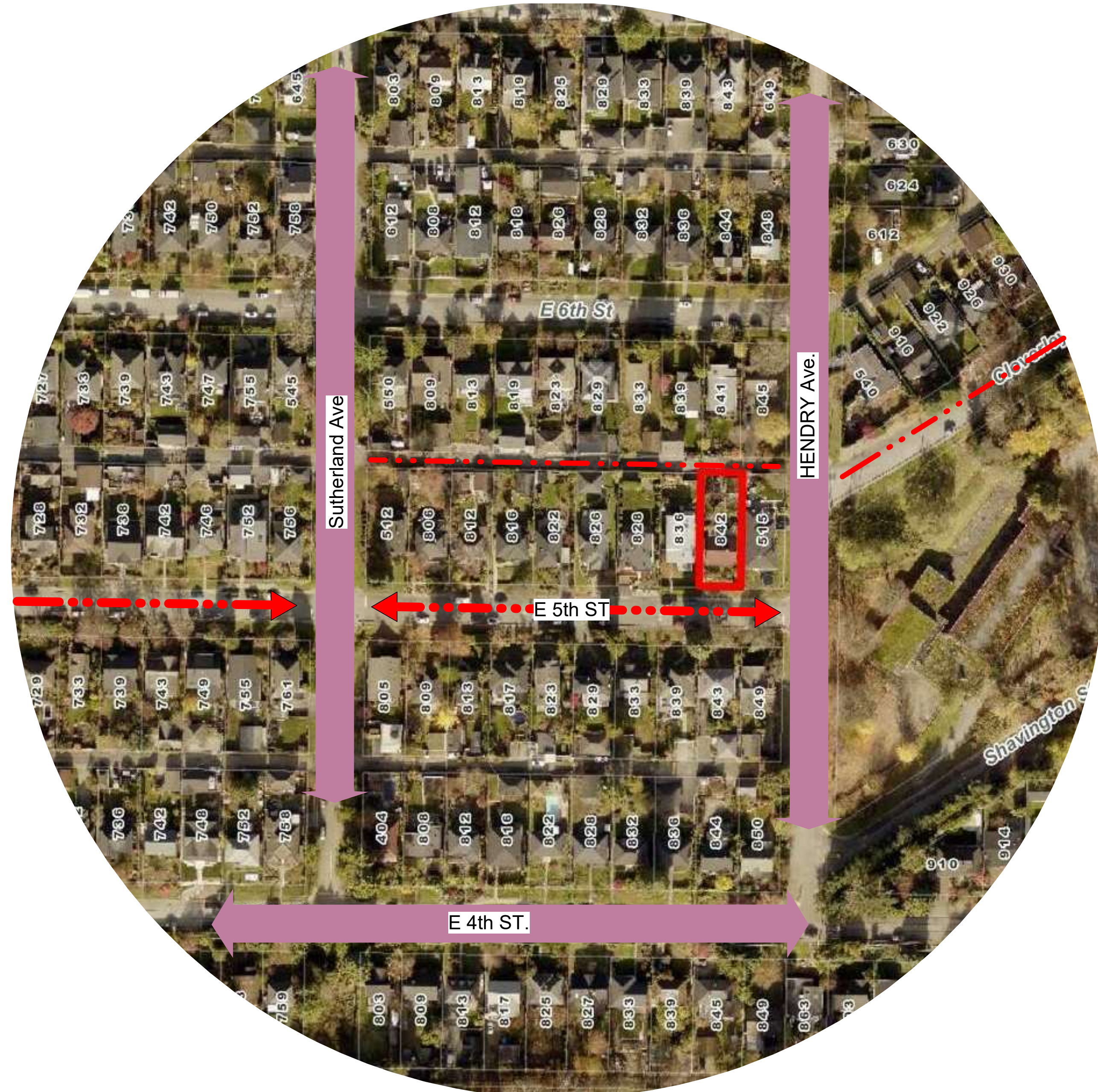
SOUTH EAST LANE VIEW



NORTH EAST 5TH VIEW

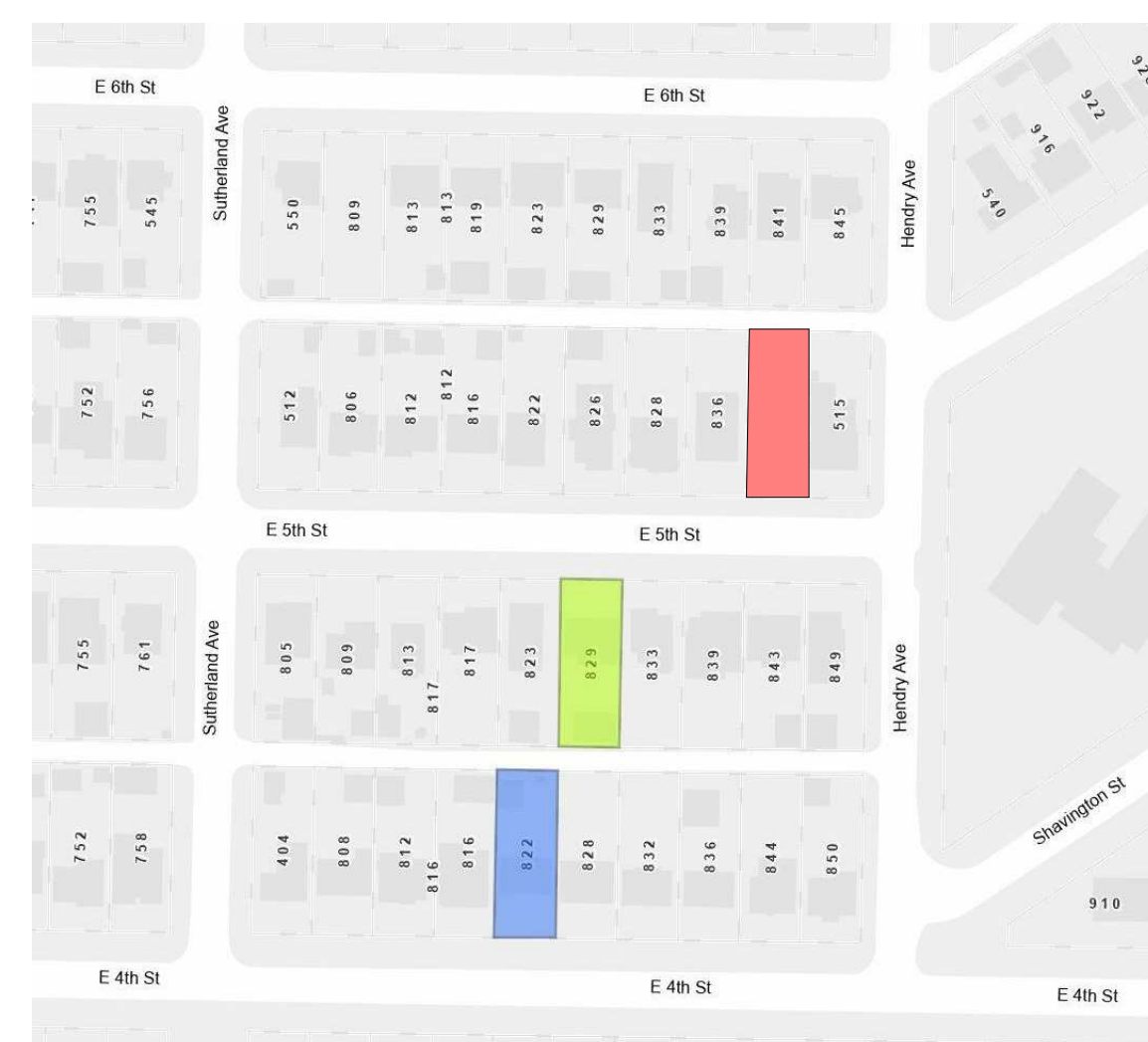
CONTEXT PLAN LEGEND

- 842 Subject Project
50' x 136.59'
- . - . - . Lane Access
- . . . - . E 4th ST.
- ⇄ E 5TH ST
- ⇄ HENDRY AVE
- ⇄ SUTHERLAND AVE



1 CONTEXT PLAN
1/64" = 1'-0"

CURRENT DEVELOPMENT APPLICATION



ZONING LEGEND

- SUBJECT PROJECT
- DEVELOPMENT PERMIT -COACH HOUSE
- RS1- RS2 REZONING

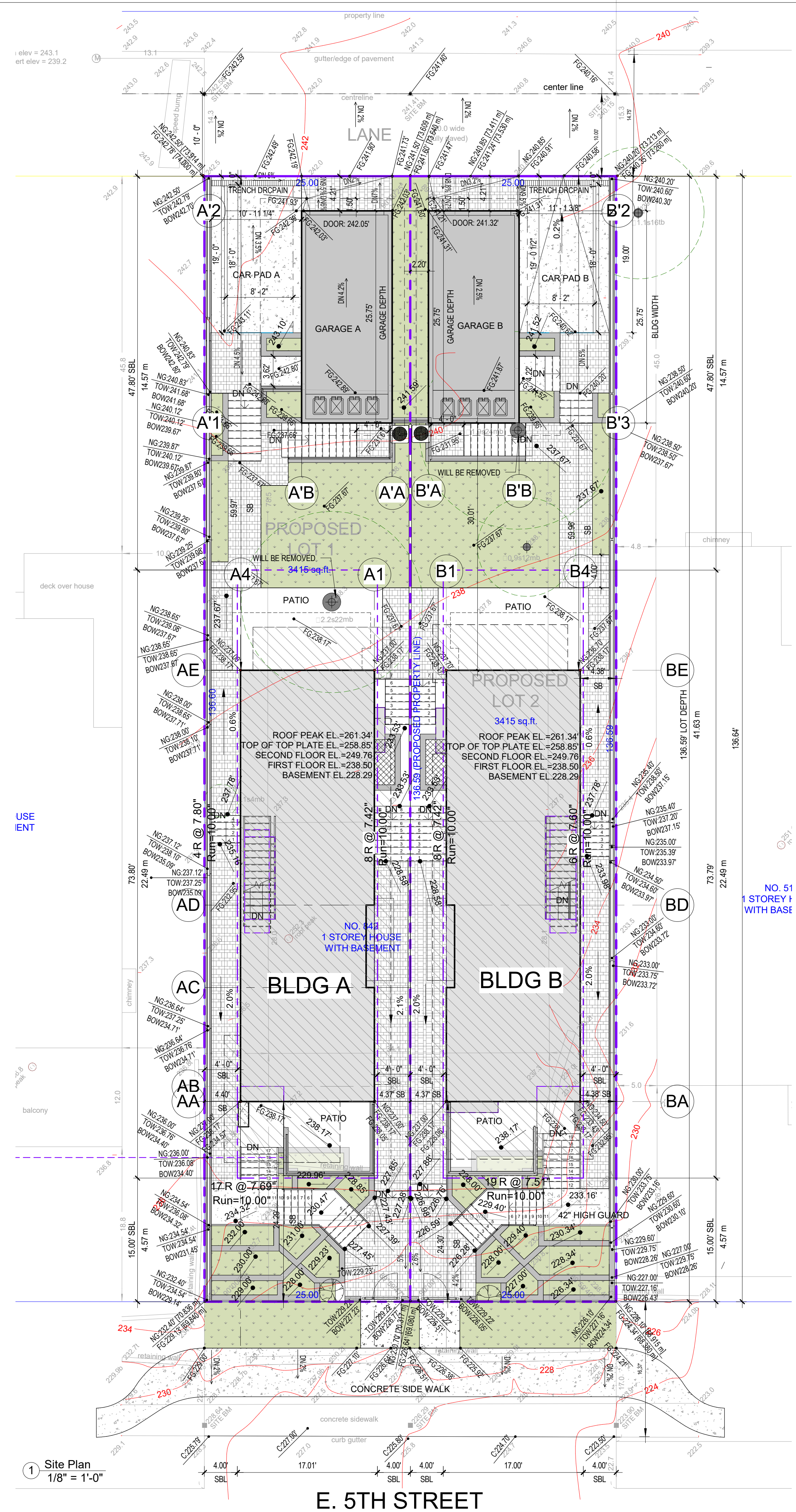


NORTH WEST 5TH ST VIEW



NORTH 5TH ST. VIEW

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LOT "A" (WEST)

BUILDING ANALYSIS					
CIVIC ADDRESS:	842 EAST 5TH STREET, NORTH VANCOUVER, B.C.				
LEGAL DESCRIPTION:	LOT 12 BLOCK 15 DISTRICT LOT 273 PLAN 1063				
ZONE:	RS1 TO RS2				
LOT AREA:	3415				
LOT WIDTH:	25				
USAGE:	TWO-UNIT REIDENTIAL ZONE				
	ALLOWED	UNIT	PROPOSED	UNIT	COMMENTS
FLOOR SPACE RATIO	1707.5	ft ²	1,688.29	ft ²	DECK AND COVERED PORCH NOT INCLUDED
FIRST FLOOR AREA	---	ft ²	837.87	ft ²	
UPPER FLOOR AREA	---	ft ²	850.42	ft ²	
BELOW GRADE FLOOR AREA	FSR	ft ²	9.60	ft ²	
BELOW GRADE FLOOR AREA	EXCLUDED	ft ²	830.80	ft ²	
TOTAL LIVING SPACE		ft ²	2528.69	ft ²	
PRINCIPAL BUILDING COVERAGE	---	%	29.99%	%	
COMBINED LOT COVERAGE	---	%	46.58%	%	INCLUDES ACCESSORY BUILDING, DECK, AND COVERED...
COVERED PORCH	---	ft ²	0.00	ft ²	
COVERED BACK DECK	---	ft ²	0.00	ft ²	
BALCONY	---	ft ²	166.60	ft ²	
VERANDA	---	ft ²	166.60	ft ²	
FRONT YARD	15	ft	24.29	ft	
SIDE YARD-EAST	4	ft	4.36	ft	
SIDE YARD-WEST	4	ft	4.4	ft	
REAR YARD	47.8	ft	59.97	ft	0.35 TIMES THE LOT DEPTH
ACCESSORY BUILDING	600	ft ²	566.5	ft ²	ACCESSORY GARAGE & STORAGE
BLDG A AVERAGE FRONT	231.55	ft	227.88	ft	
BLDG A AVERAGE REAR	242	ft	242.19	ft	
REFERENCE GRADE	235.73	ft	235.73	ft	
MINIMUM FIRST STOREY LEVEL	238.23	ft	238.23	ft	
TOP PLATE	261.93	ft	258.85	ft	
ROOF RIDGE	268.73	ft	261.61	ft	

LOT "B" (EAST)

BUILDING ANALYSIS					
CIVIC ADDRESS:	842 EAST 5TH STREET, NORTH VANCOUVER, B.C.				
LEGAL DESCRIPTION:	LOT 12 BLOCK 15 DISTRICT LOT 273 PLAN 1063				
ZONE:	RS1 TO RS2				
LOT AREA:	3415				
LOT WIDTH:	25				
USAGE:	TWO-UNIT REIDENTIAL ZONE				
	ALLOWED	UNIT	PROPOSED	UNIT	COMMENTS
FLOOR SPACE RATIO	1707.5	ft ²	1,706.14	ft ²	DECK AND COVERED PORCH NOT INCLUDED
FIRST FLOOR AREA	---	ft ²	837.73	ft ²	
UPPER FLOOR AREA	---	ft ²	858.81	ft ²	
BELOW GRADE FLOOR AREA	FSR	ft ²	9.6	ft ²	
BELOW GRADE FLOOR AREA	EXCLUDED	ft ²	830.80	ft ²	
TOTAL LIVING SPACE		ft ²	2536.94	ft ²	
PRINCIPAL BUILDING COVERAGE	---	%	29.71%	%	
COMBINED LOT COVERAGE	---	%	46.30%	%	INCLUDES ACCESSORY BUILDING, DECK, AND COVERED PORCH
PORCHES	---	ft ²	0.00	ft ²	
BACK DECK	---	ft ²	0.00	ft ²	
BALCONY	---	ft ²	149.00	ft ²	
VERANDA	---	ft ²	149.00	ft ²	
FRONT YARD	15	ft	24.3	ft	
SIDE YARD-EAST	4	ft	4.38	ft	
SIDE YARD-WEST	4	ft	4.37	ft	
REAR YARD	47.8	ft	59.96	ft	0.35 TIMES THE LOT DEPTH
ACCESSORY BUILDING	600	ft ²	566.5	ft ²	ACCESSORY GARAGE & STORAGE
BLDG B AVERAGE FRONT	228.4	ft	225.49	ft	
BLDG B AVERAGE REAR	240.85	ft	240.97	ft	
REFERENCE GRADE	233.38	ft	233.38	ft	
MINIMUM FIRST STOREY LEVEL	235.88	ft	238.50	ft	
TOP PLATE	259.58	ft	258.85	ft	
ROOF RIDGE	266.38	ft	260.84	ft	

Abbreviation LEGEND

- Bottom of Wall BOW
- Carbon Monoxide detector CO
- Driveway Segment DS
- Electrical Fireplace FP
- Exhaust Fan EF
- Existing EX
- Fire Pit FP
- Floor Drain FD
- Gas Fireplace GFP
- High guard HG
- High Handrail HH
- Lot Width LW
- Lower Window Head LWLH
- Property Line PL
- Proposed PR
- Ramp Segment RS
- Roof Drain RD
- Setback SB
- Setback line SBL
- Slope down SDW
- Slope Up SUP
- Smoke Alarm SA
- To Cladding TCLD
- To Foundation TFND
- To Nearest opening TNO
- To Road Center line TRCL
- Top of Top of Slab TOS
- Top of Wall TOP
- Trench Drain TD
- Under Side of U/S
- Upper Window Head UWH

SITE PLAN MATERIAL LEGEND

- RETAINING WALL
- CONCRETE SLAB / PAVER
- ASPHALT
- SAND
- GARDEN / LAWN
- LIGHTWELL

SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- LEVEL 1 OUTLINE
- LEVEL 2 OUTLINE
- ROOF OUTLINE
- ROOF OVERHANG OUTLINE
- FENCE

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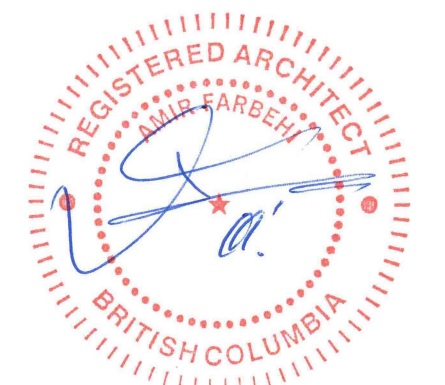
2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
SITE PLAN

DRAWING ISSUE
RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	NM
23285	MAY 15, 2024	REVIEWED	AF
DRAWING NO.	SCALE	As indicated	REVISION
		A04	2



1	2024-05-15	ISSUED FOR RS-2 REZONING	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
SITE PLAN ENLARGE GRADE

DRAWING ISSUE
RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	Author
23285	MAY 15, 2024	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	1
	1/4" = 1'-0"		

SITE PLAN MATERIAL LEGEND

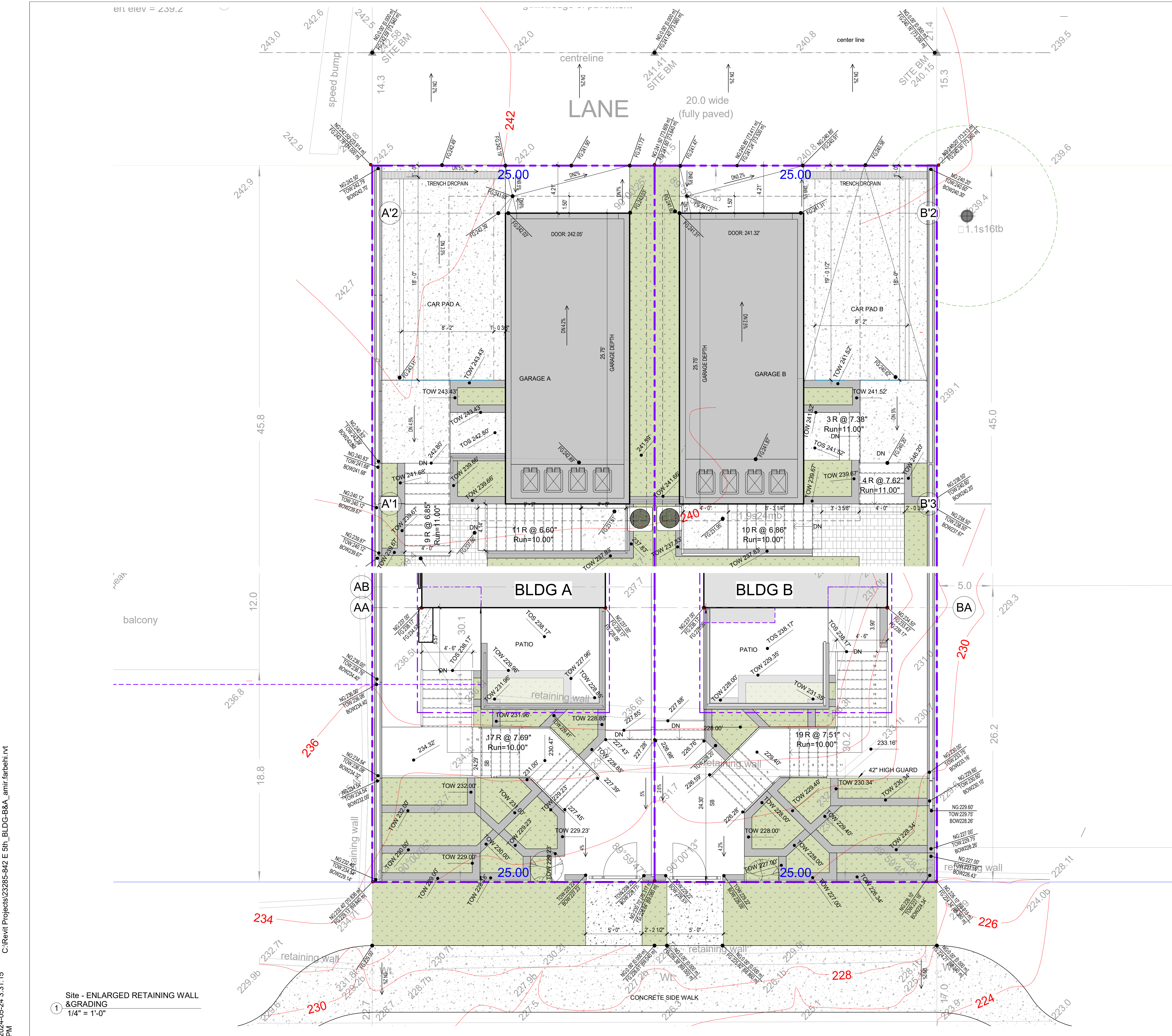
- RETAINING WALL
- CONCRETE SLAB / PAVER
- ASPHALT
- SAND
- GARDEN / LAWN
- LIGHTWELL

○ SITE PLAN MATERIAL LEGEND
1/4" = 1'-0"

SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- LEVEL 1 OUTLINE
- LEVEL 2 OUTLINE
- ROOF OUTLINE
- ROOF OVERHANG OUTLINE
- FENCE

○ SITE PLAN LINE TYPES
1/4" = 1'-0"



Site - ENLARGED RETAINING WALL & GRADING
1/4" = 1'-0"

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LOT COVERAGE AREA BREAKDOWN

Lot Area	3415			
	%	Area ft ²	%	Area ft ²
Principal building lot coverage	35.00%	1195.25	29.98%	1,023.94
Combined Lot coverage	N/A	N/A	46.57%	1,590.44

Principal Building	AREA
Building Footprint	840.40 ft ²
First Floor overhangs	6.94 ft ²
Second Floor overhangs	10.00 ft ²
Front Porches (Including Slab With 3' Height Above Existing)	0.00 ft ²
Back Decks (Including Slab With 3' Height Above Existing)	0.00 ft ²
Front Decks (Including Slab With 3' Height Above Existing)	0.00 ft ²
Balcony	166.60 ft ²
Double count deduction, Deck Over Living Space	0.00 ft ²
Double count deduction, Second Floor Balcony Projections Over Deck	0.00 ft ²
Double count deduction, Second Floor Overhang over Deck and Porch	0.00 ft ²
Architectural Ornament	0.00 ft ²
Total Decks, Balconies, Porches, etc.	166.60 ft²
Principal Building Total	1,023.94 ft²
Accessory Building	AREA
Accessory Building (MAX 880 ft ²)	566.50 ft ²
Exclusions	AREA
Second Floor Projections Over the Deck	0.00 ft ²
GRAND TOTAL	1,590.44 ft²

Calculation Note:
The provided lot coverage calculation excludes the access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

LOT COVERAGE AREA BREAKDOWN

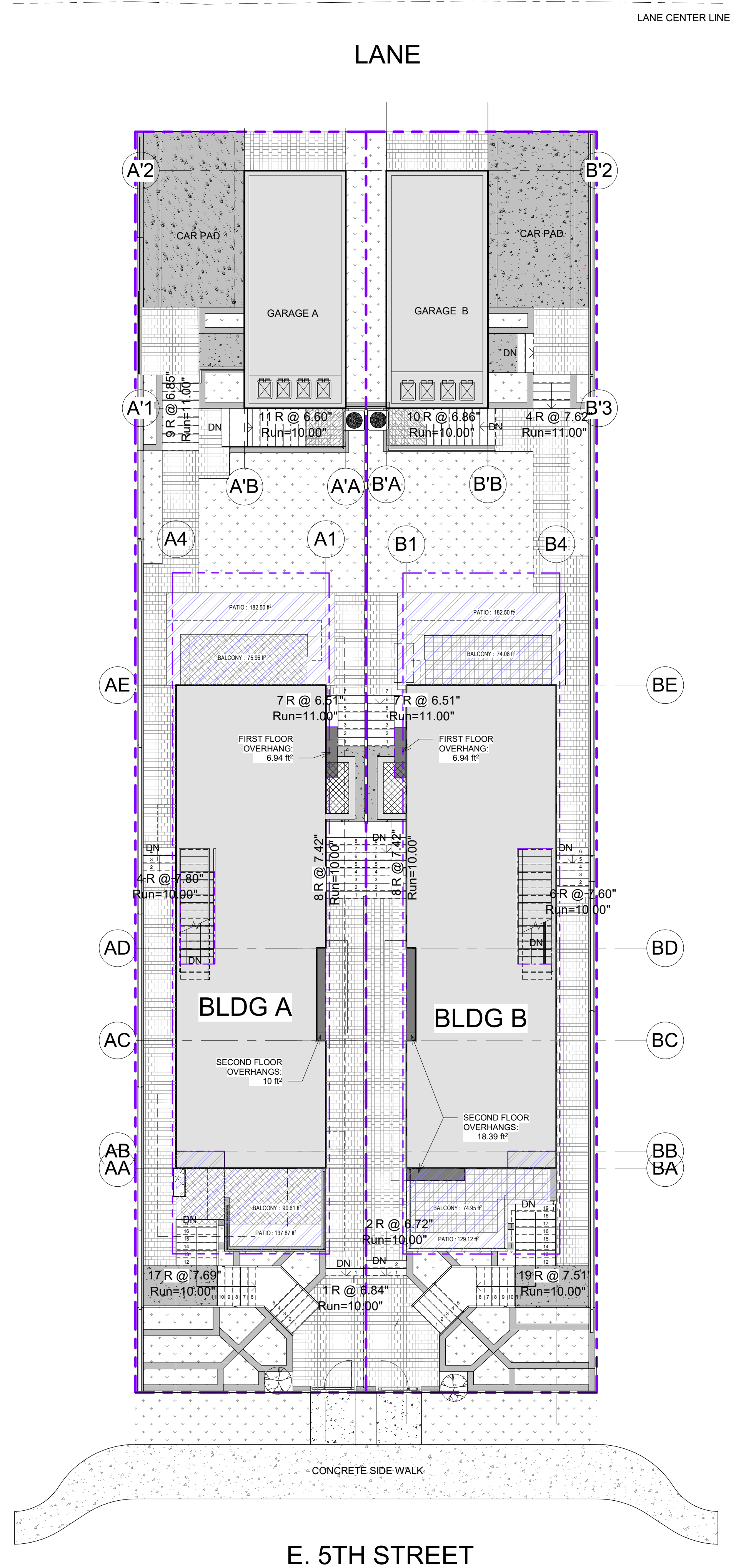
Lot Area	3415			
	%	Area ft ²	%	Area ft ²
Principal building lot coverage	35.00%	1195.25	29.71%	1,014.73
Combined Lot coverage	N/A	N/A	46.30%	1,581.23

Principal Building	AREA
Building Footprint	840.40 ft ²
First Floor overhangs	6.94 ft ²
Second Floor overhangs	18.39 ft ²
Front Porches (Including Slab With 3' Height Above Existing)	0.00 ft ²
Back Decks (Including Slab With 3' Height Above Existing)	0.00 ft ²
Front Decks (Including Slab With 3' Height Above Existing)	0.00 ft ²
Balcony	149.00 ft ²
Double count deduction, Deck Over Living Space	0.00 ft ²
Double count deduction, Second Floor Balcony Projections Over Deck	0.00 ft ²
Double count deduction, Second Floor Overhang over Deck and Porch	0.00 ft ²
Architectural Ornament	0.00 ft ²
Total Decks, Balconies, Porches, etc.	149.00 ft²
Principal Building Total	1,014.73 ft²
Accessory Building	AREA
Accessory Building Garage & Storage (MAX 880 ft ²)	566.50 ft ²
Exclusions	AREA
Second Floor Projections Over the Deck	0.00 ft ²
GRAND TOTAL	1,581.23 ft²

Calculation Note:
The provided lot coverage calculation excludes the access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

SITE PLAN- LOT COVERAGE LEGEND

- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- DOUBLE COUNT DEDUCTION
- PRINCIPAL OR ACCESSORY BUILDING
- OVERHANGS
- FRONT & BACK DECK
- FRONT PORCH
- PATIO
- DECK OVER LINING SPACE
- LIGHTWELL
- BALCONY
- CONCRETE WALL
- LOT COVERAGE
1/4" = 1'-0"



1 Site Plan-Lot Coverage
1/8" = 1'-0"

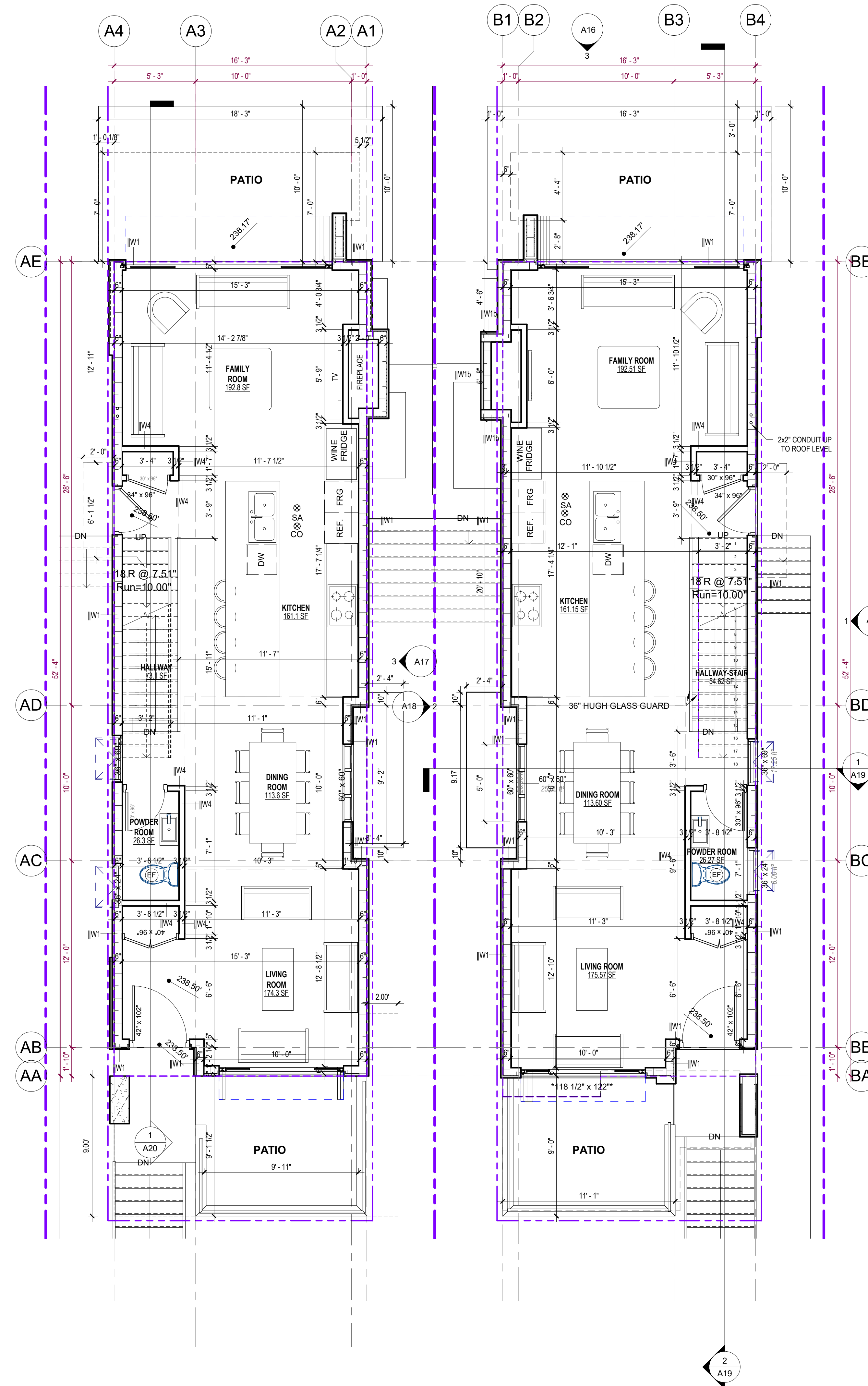
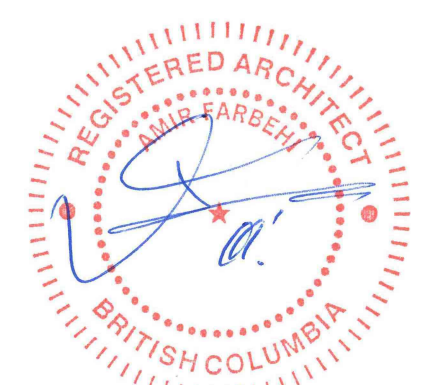
1	2024-05-15	ISSUED FOR RS-2 REZONING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
SITE PLAN - LOT COVERAGE

DRAWING ISSUE
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	NM
23285	MAY 15, 2024	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	1
	As indicated	A06	



01-BLDG B-FIRST FLOOR
1/4" = 1'-0"

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

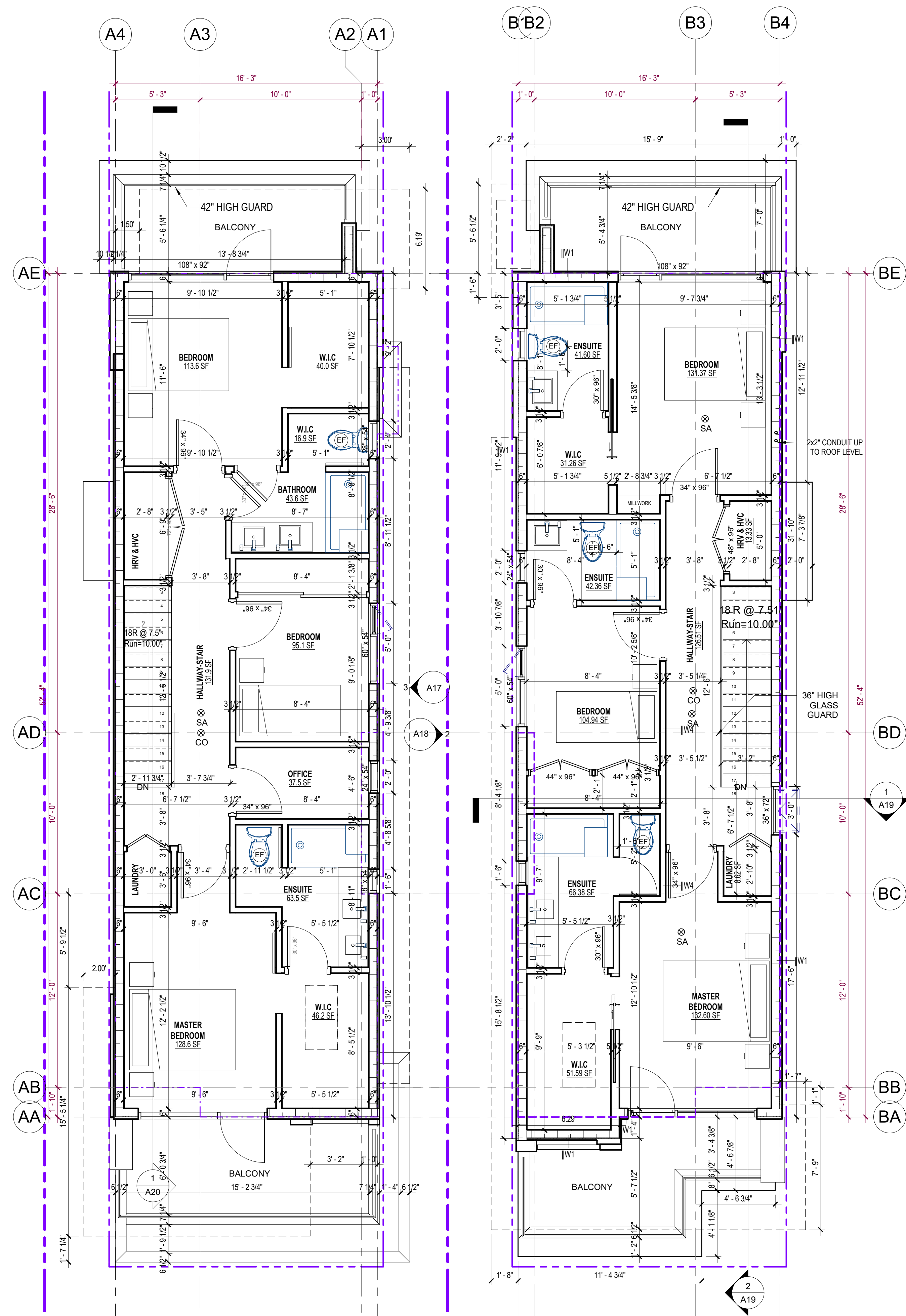
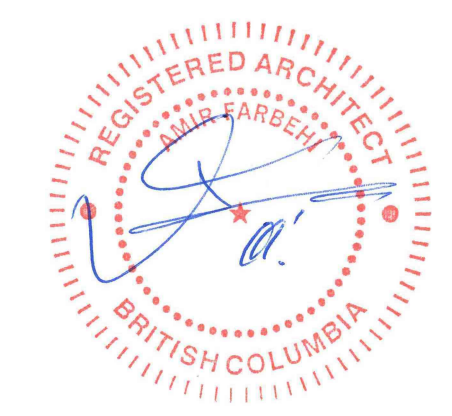
PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
BLDG.A&B LEVEL 1 FLOOR PLAN

DRAWING ISSUE
RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A10		REVISION	2

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REV	DATE	DESCRIPTION	BY
2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

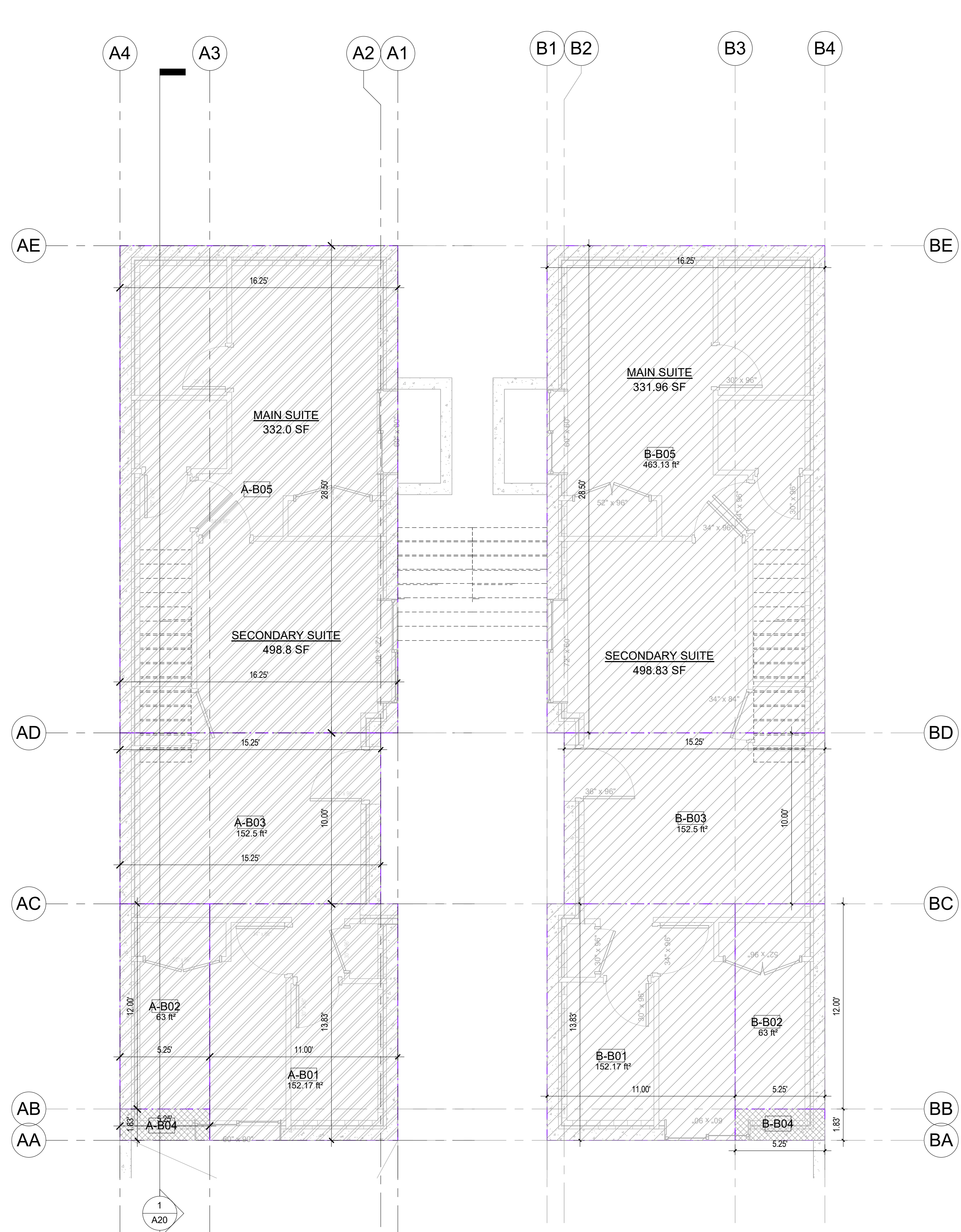
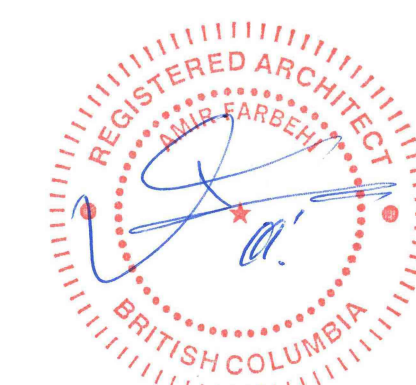
PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
BLDG.A&B-LEVEL 2 FLOOR PLAN

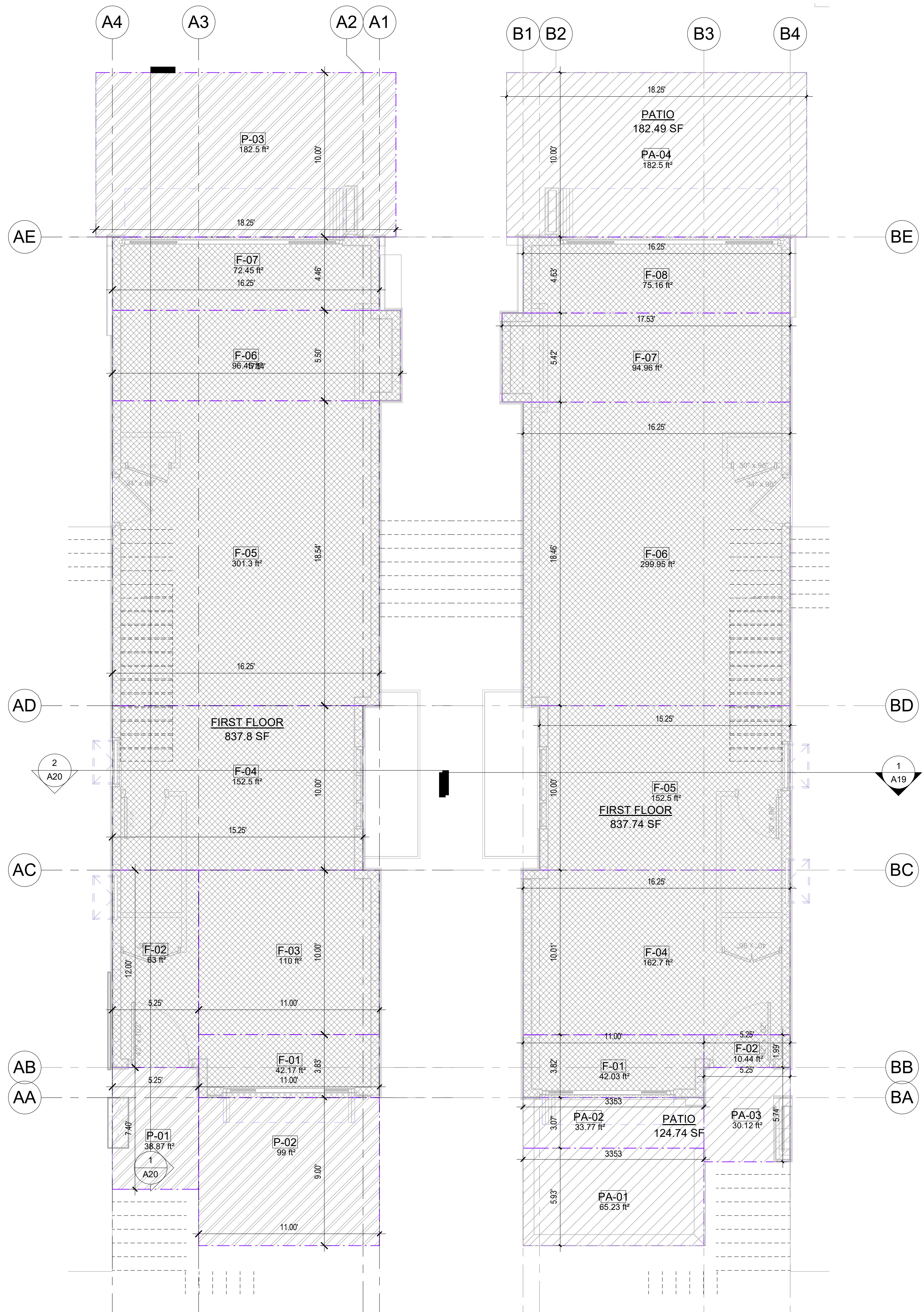
DRAWING ISSUE
RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	NM
23285	MAY 15, 2024		
DRAWING NO.	SCALE	REVIEWED	AF
A11	1/4" = 1'-0"		
			2

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1 AREA OVERLAY BASEMENT
1/4" = 1'-0"



2 AREA OVERLAY FIRST FLOOR
1/4" = 1'-0"

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

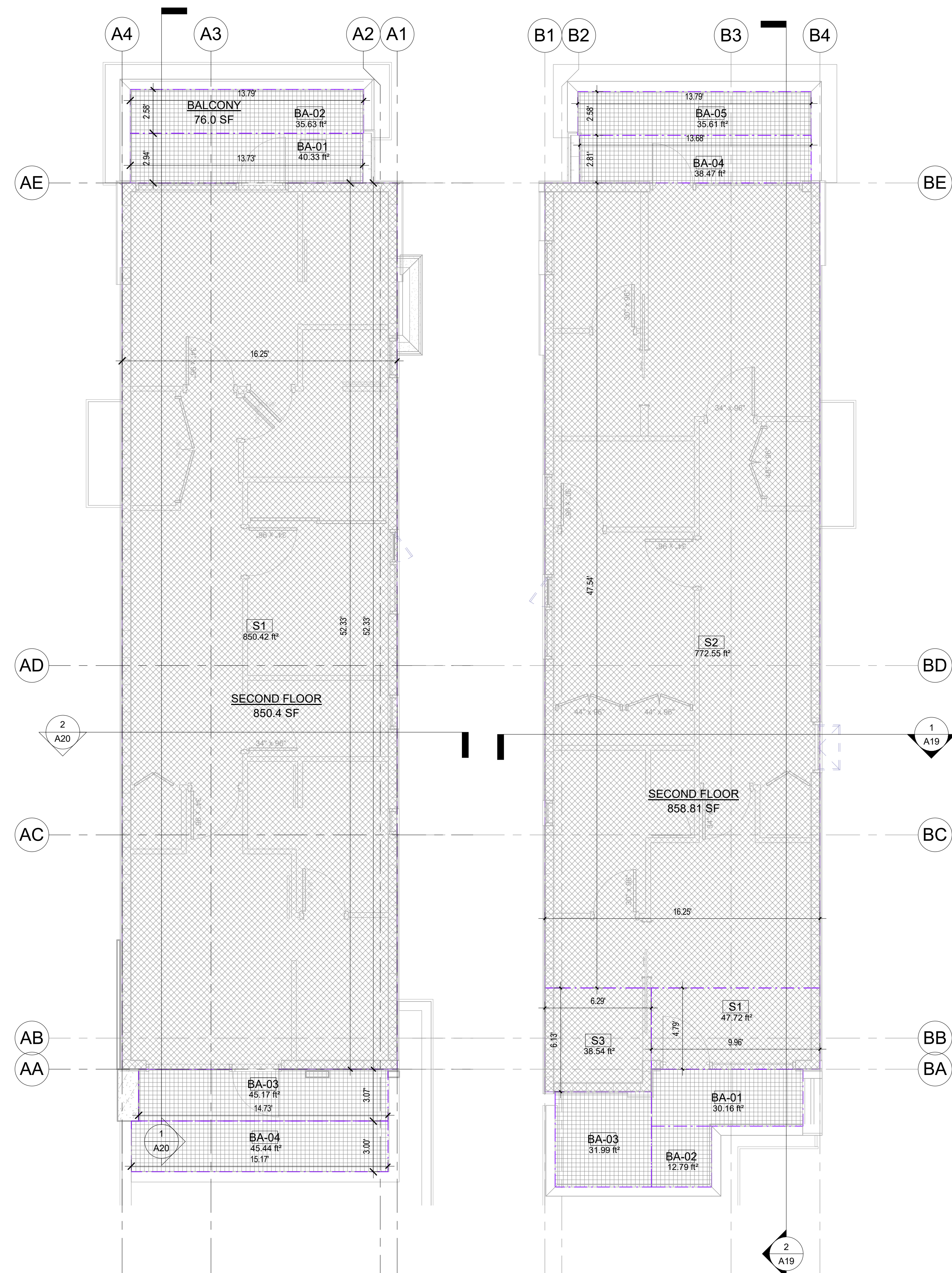
PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
AREA OVERLAY BASEMENT & FIRST FLOOR

DRAWING ISSUE
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF

DRAWING NO. **A13** REVISION **2**



1 AREA OVERLAY SECOND FLOOR
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA					
ML	Mark	Dimension X	Dimension Y	Area	Gross Area Category
A-BASEMENT	A-B04	5.25'	1.83'	9.63 ft ²	Gross Area
A-BASEMENT: 1					
A-FIRST FLOOR	F-01	11.00'	3.83'	42.17 ft ²	Gross Area
A-FIRST FLOOR	F-02	5.25'	12.00'	63.00 ft ²	Gross Area
A-FIRST FLOOR	F-03	11.00'	10.00'	110.00 ft ²	Gross Area
A-FIRST FLOOR	F-04	15.25'	10.00'	152.50 ft ²	Gross Area
A-FIRST FLOOR	F-05	16.25'	18.54'	301.30 ft ²	Gross Area
A-FIRST FLOOR	F-06	17.54'	5.50'	96.45 ft ²	Gross Area
A-FIRST FLOOR	F-07	16.25'	4.46'	72.45 ft ²	Gross Area
A-FIRST FLOOR: 7					
A-SECOND FLOOR	S1	16.25'	52.33'	850.42 ft ²	Gross Area
A-SECOND FLOOR: 1					
B-BASEMENT	B-B04	5.25'	1.83'	9.63 ft ²	Gross Area
B-BASEMENT: 1					
B-FIRST FLOOR	F-01	11.00'	3.82'	42.03 ft ²	Gross Area
B-FIRST FLOOR	F-02	5.25'	1.99'	10.44 ft ²	Gross Area
B-FIRST FLOOR	F-04	16.25'	10.01'	162.70 ft ²	Gross Area
B-FIRST FLOOR	F-05	15.25'	10.00'	152.50 ft ²	Gross Area
B-FIRST FLOOR	F-06	16.25'	18.46'	299.95 ft ²	Gross Area
B-FIRST FLOOR	F-07	17.53'	5.42'	94.96 ft ²	Gross Area
B-FIRST FLOOR	F-08	16.25'	4.63'	75.16 ft ²	Gross Area
B-FIRST FLOOR: 7					
B-SECOND FLOOR	S1	9.96'	4.79'	47.72 ft ²	Gross Area
B-SECOND FLOOR	S2	16.25'	47.54'	772.55 ft ²	Gross Area
B-SECOND FLOOR	S3	6.29'	6.13'	38.54 ft ²	Gross Area
B-SECOND FLOOR: 3					
Grand total: 20				3404.07 ft ²	

AREA OVERLAY-OTHER EXCLUSIONS					
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category
A-BASEMENT	A-B01	11.00'	13.83'	152.2 ft ²	Below Grade
A-BASEMENT	A-B02	5.25'	12.00'	63.0 ft ²	Below Grade
A-BASEMENT	A-B03	15.25'	10.00'	152.5 ft ²	Below Grade
A-BASEMENT	A-B05	16.25'	28.50'	463.1 ft ²	Below Grade
B-BASEMENT	B-B01	11.00'	13.83'	152.2 ft ²	Below Grade
B-BASEMENT	B-B02	5.25'	12.00'	63.0 ft ²	Below Grade
B-BASEMENT	B-B03	15.25'	10.00'	152.5 ft ²	Below Grade
B-BASEMENT	B-B05	16.25'	28.50'	463.1 ft ²	Below Grade
Below Grade: 8					
A-Garage Door	A-G1	25.75'	11.00'	283.3 ft ²	Garage
B-Garage Door	B-G1	25.75'	11.00'	283.3 ft ²	Garage
Garage: 2					
A-FIRST FLOOR	P-01	5.25'	7.40'	38.9 ft ²	PATIO
A-FIRST FLOOR	P-02	11.00'	9.00'	99.0 ft ²	PATIO
A-FIRST FLOOR	P-03	18.25'	10.00'	182.5 ft ²	PATIO
B-FIRST FLOOR	PA-01	11.00'	5.93'	65.2 ft ²	PATIO
B-FIRST FLOOR	PA-02	11.00'	3.07'	33.8 ft ²	PATIO
B-FIRST FLOOR	PA-03	5.25'	5.74'	30.1 ft ²	PATIO
B-FIRST FLOOR	PA-04	18.25'	10.00'	182.5 ft ²	PATIO
PATIO: 7					
A-Garage Basement	A-S1	11.00'	25.75'	283.3 ft ²	STORAGE
B-Garage Basement	B-S1	11.00'	25.75'	283.3 ft ²	STORAGE
STORAGE: 2					
Grand total: 19				3426.6 ft ²	

AREA OVERLAY-VERANDA & BALCONIES						
Level	Mark	Dimension X	Dimension Y	Dimension R	Area	Gross Area Category
A-SECOND FLOOR	BA-01	13.73'	2.94'		40.3 ft ²	Balcony
B-SECOND FLOOR	BA-01	8.96'	3.37'		30.2 ft ²	Balcony
A-SECOND FLOOR	BA-02	13.79'	2.58'		35.6 ft ²	Balcony
B-SECOND FLOOR	BA-02	3.56'	3.59'		12.8 ft ²	Balcony
A-SECOND FLOOR	BA-03	14.73'	3.07'		45.2 ft ²	Balcony
B-SECOND FLOOR	BA-03	5.69'	5.63'		32.0 ft ²	Balcony
A-SECOND FLOOR	BA-04	15.17'	3.00'		45.4 ft ²	Balcony
B-SECOND FLOOR	BA-04	13.68'	2.81'		38.5 ft ²	Balcony
B-SECOND FLOOR	BA-05	13.79'	2.58'		35.6 ft ²	Balcony
Balcony: 9						
Grand total: 9					315.6 ft ²	

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

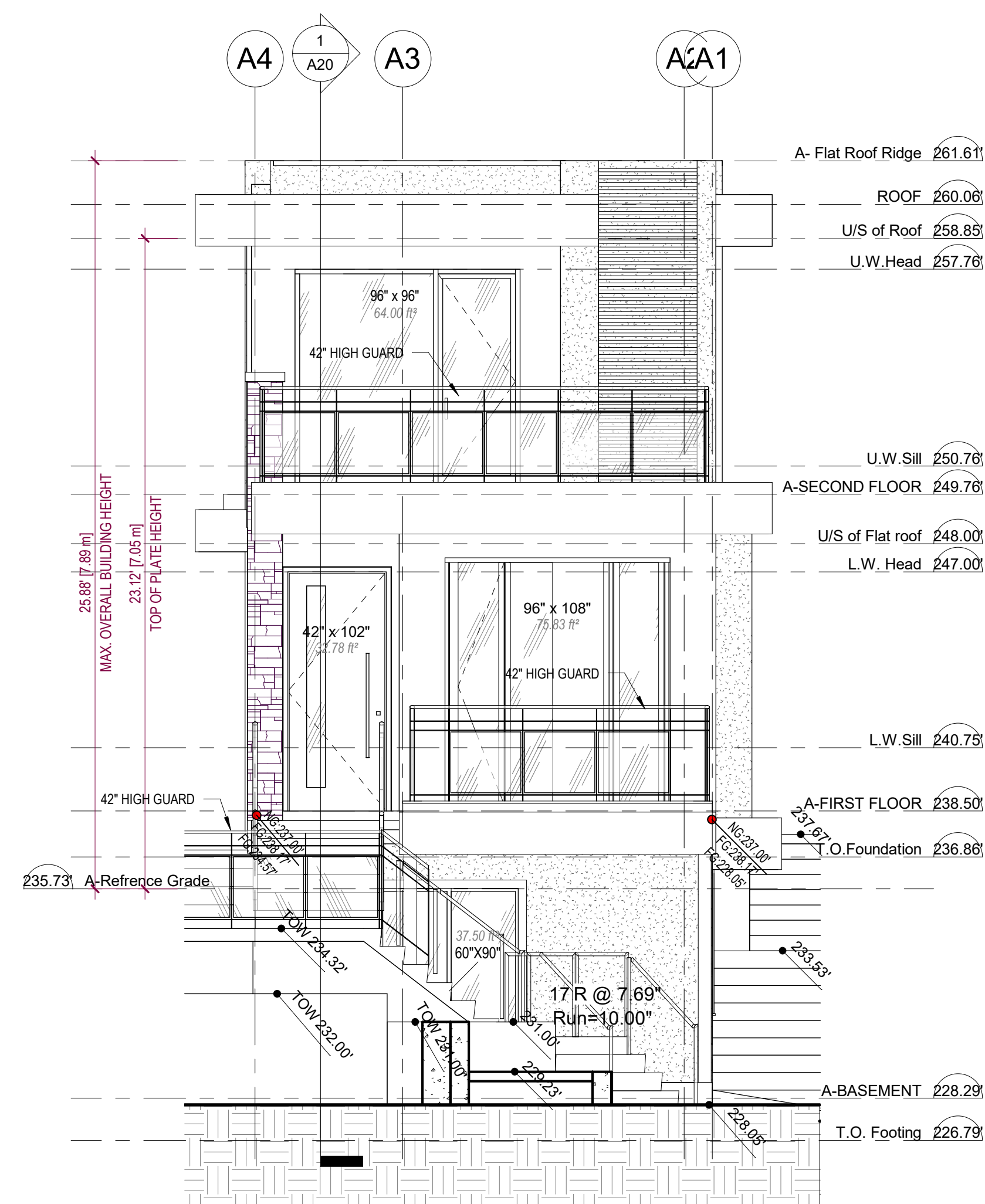
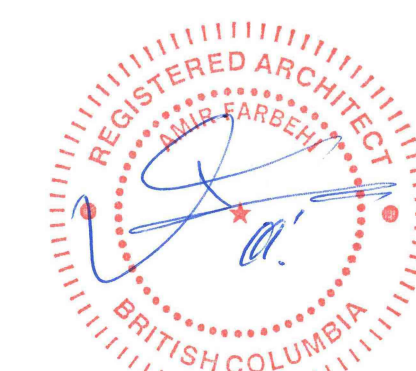
PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
AREA OVERLAY SECOND FLOOR

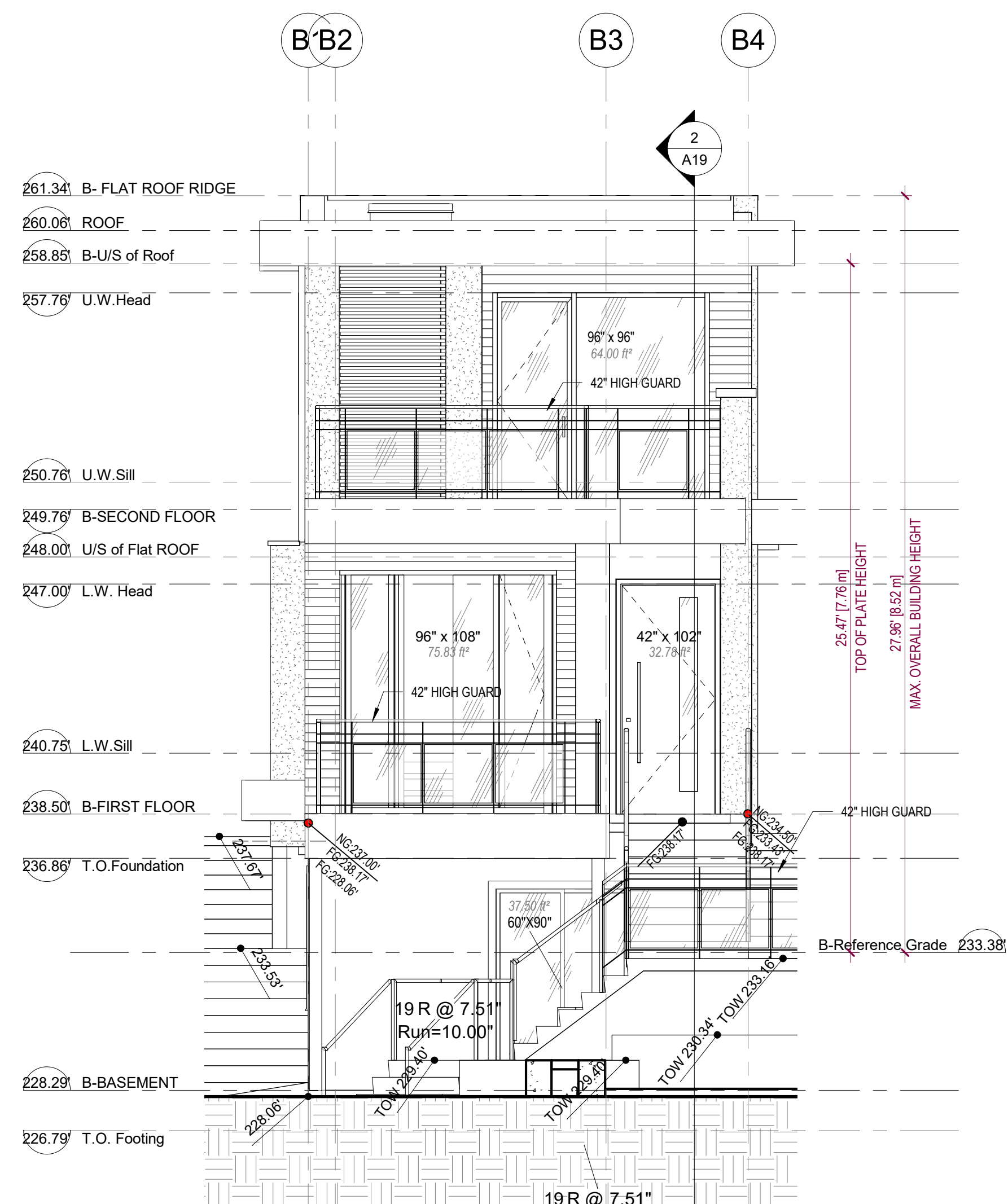
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RSSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A14		REVISION	2

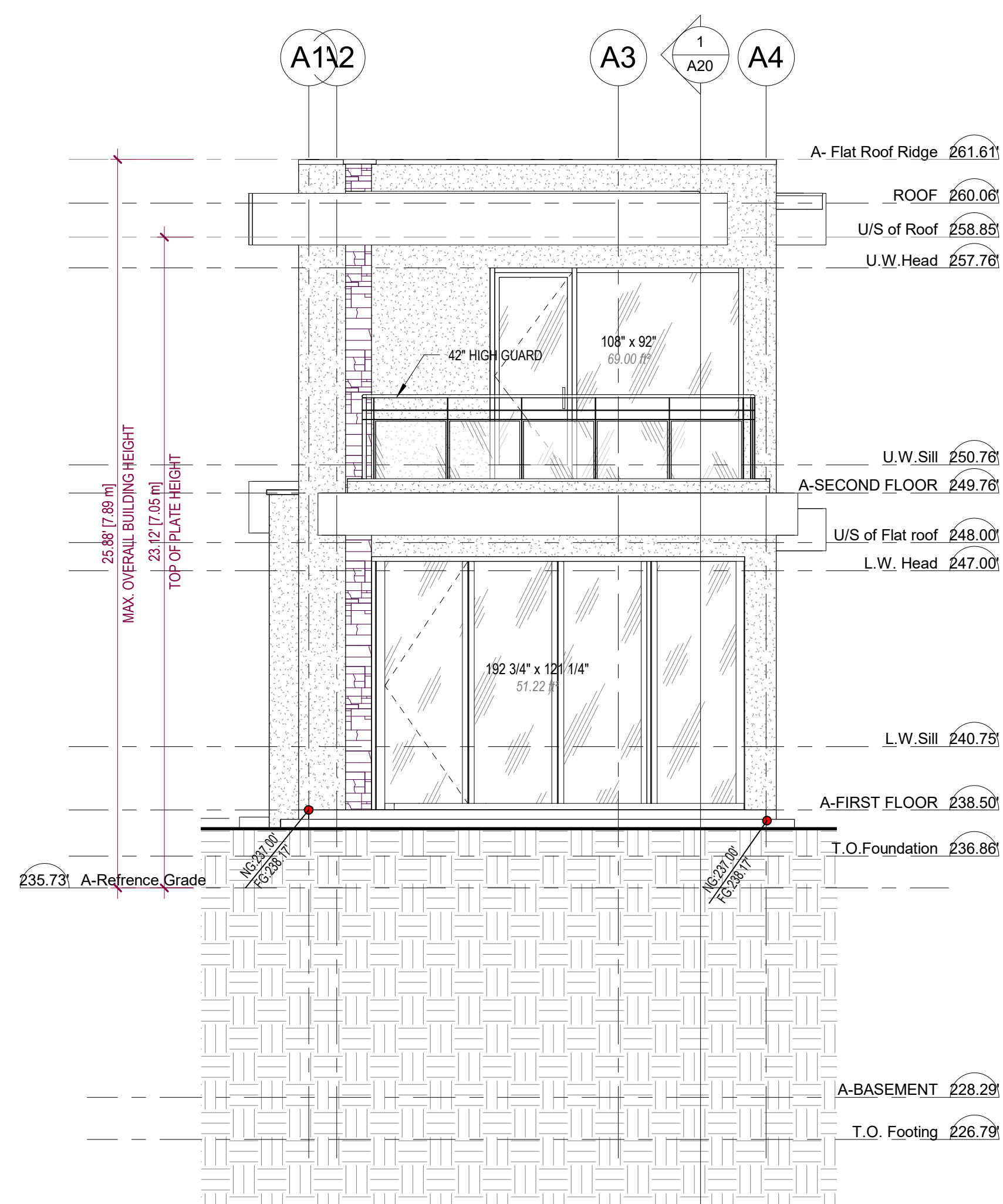
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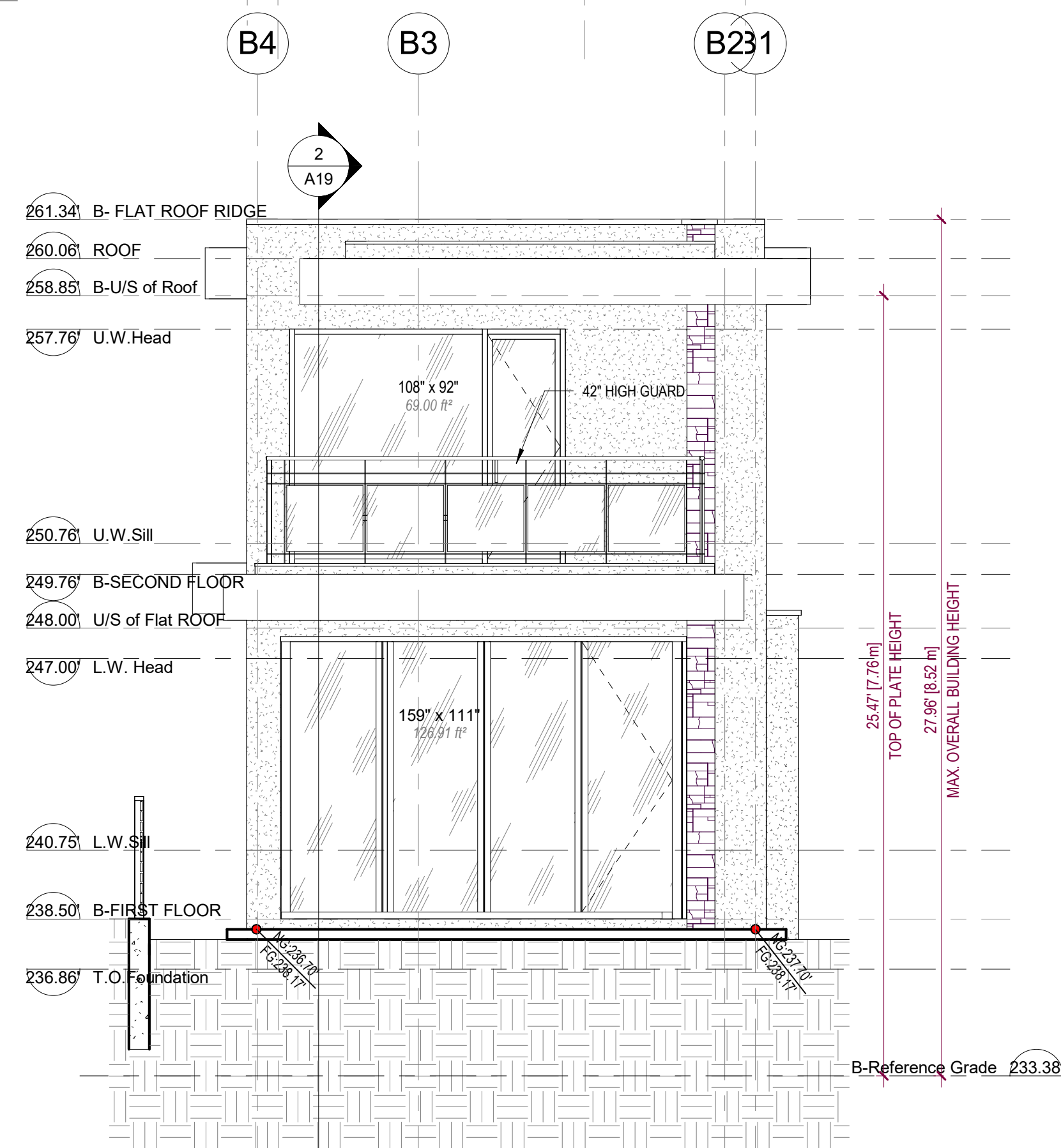
4 BLDG A-North Elevation
1/4" = 1'-0"



2 BLDG B-North Elevation
1/4" = 1'-0"



1 BLDG A-South Elevation
1/4" = 1'-0"



3 BLDG B-South Elevation
1/4" = 1'-0"

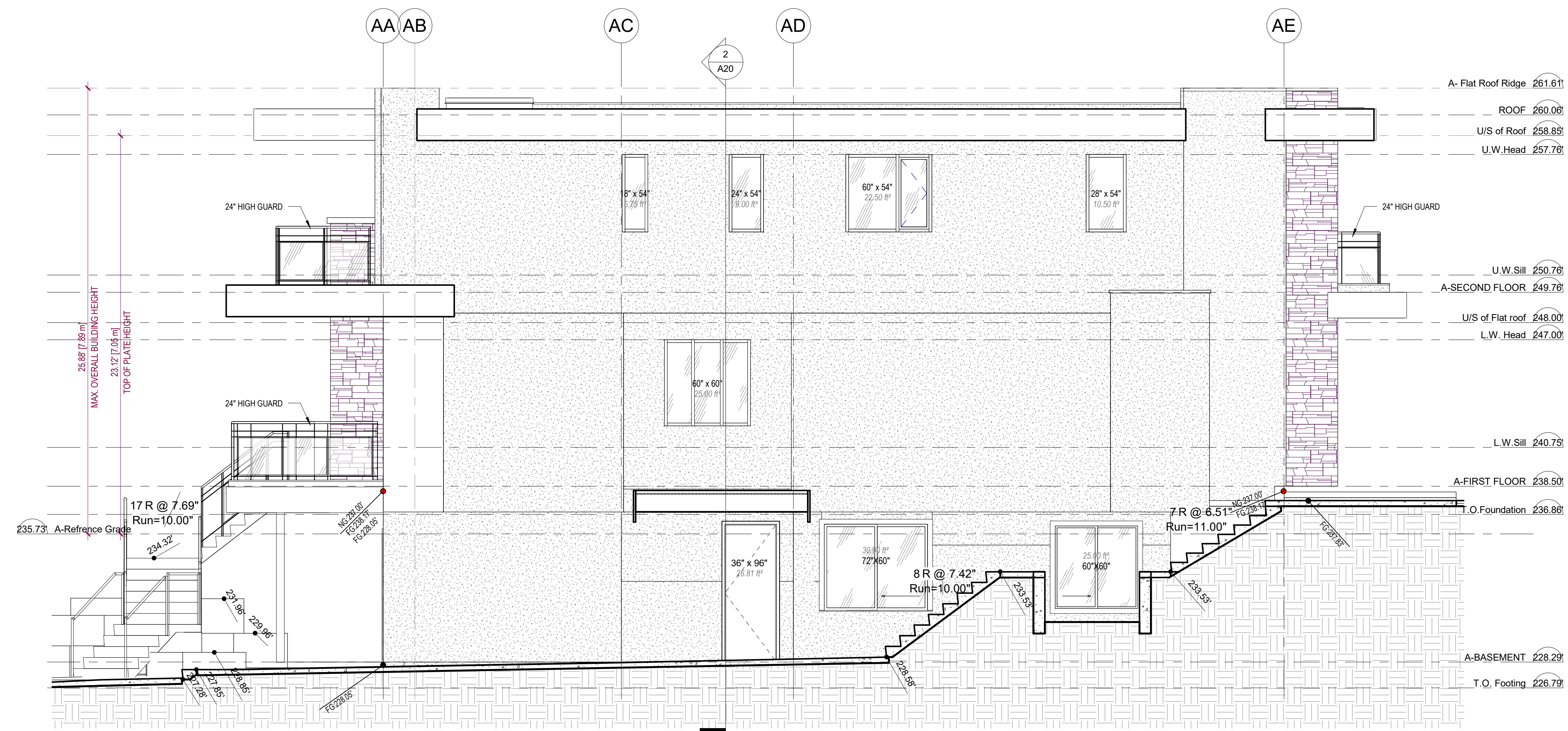
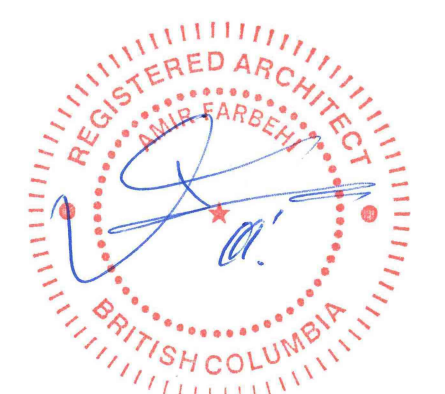
2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

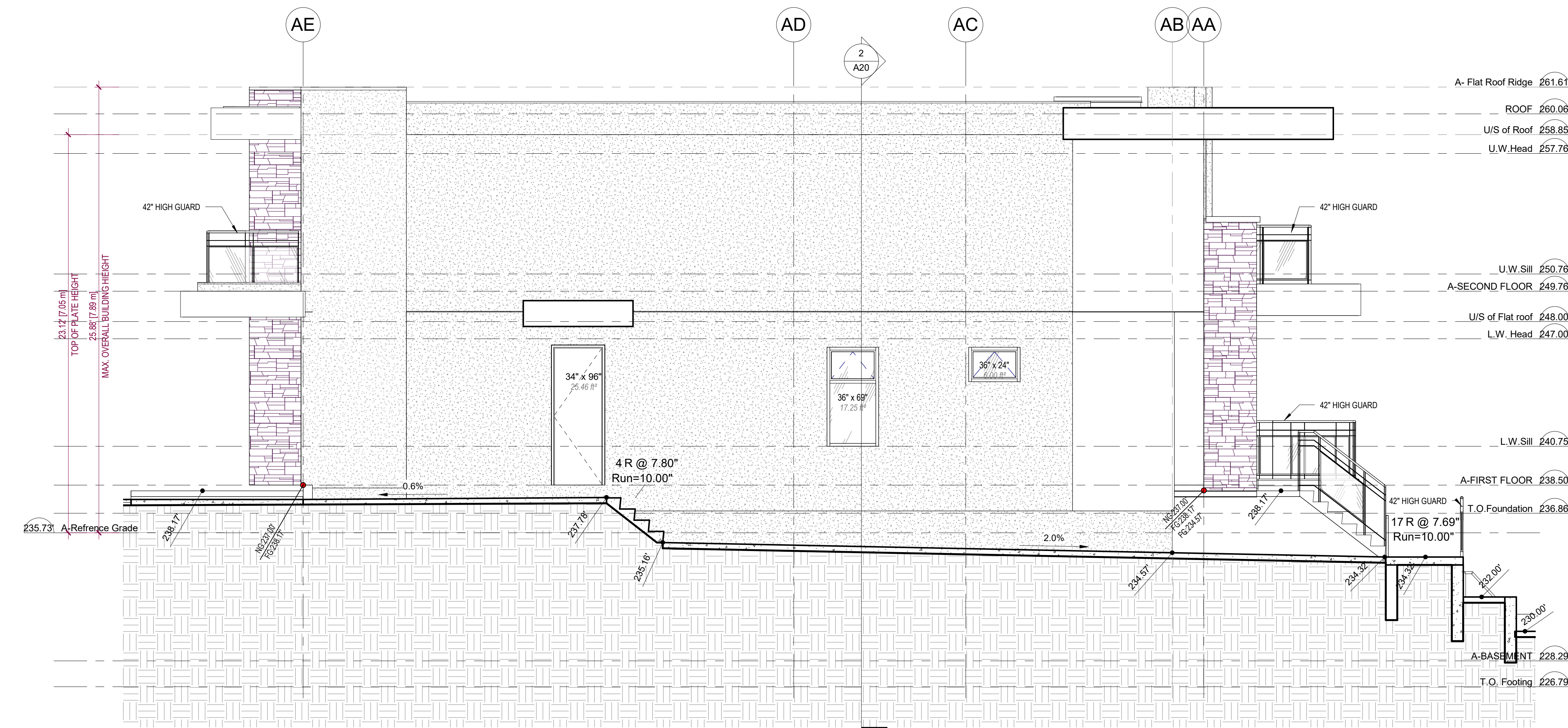
DRAWING TITLE
BLDG.A&B SOUTH AND NORTH ELEVATIONS

DRAWING ISSUE
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.	A16		REVISION	2



3 BLDG A-East Elevation
1/4" = 1'-0"



4 BLDG A-West Elevation
1/4" = 1'-0"

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

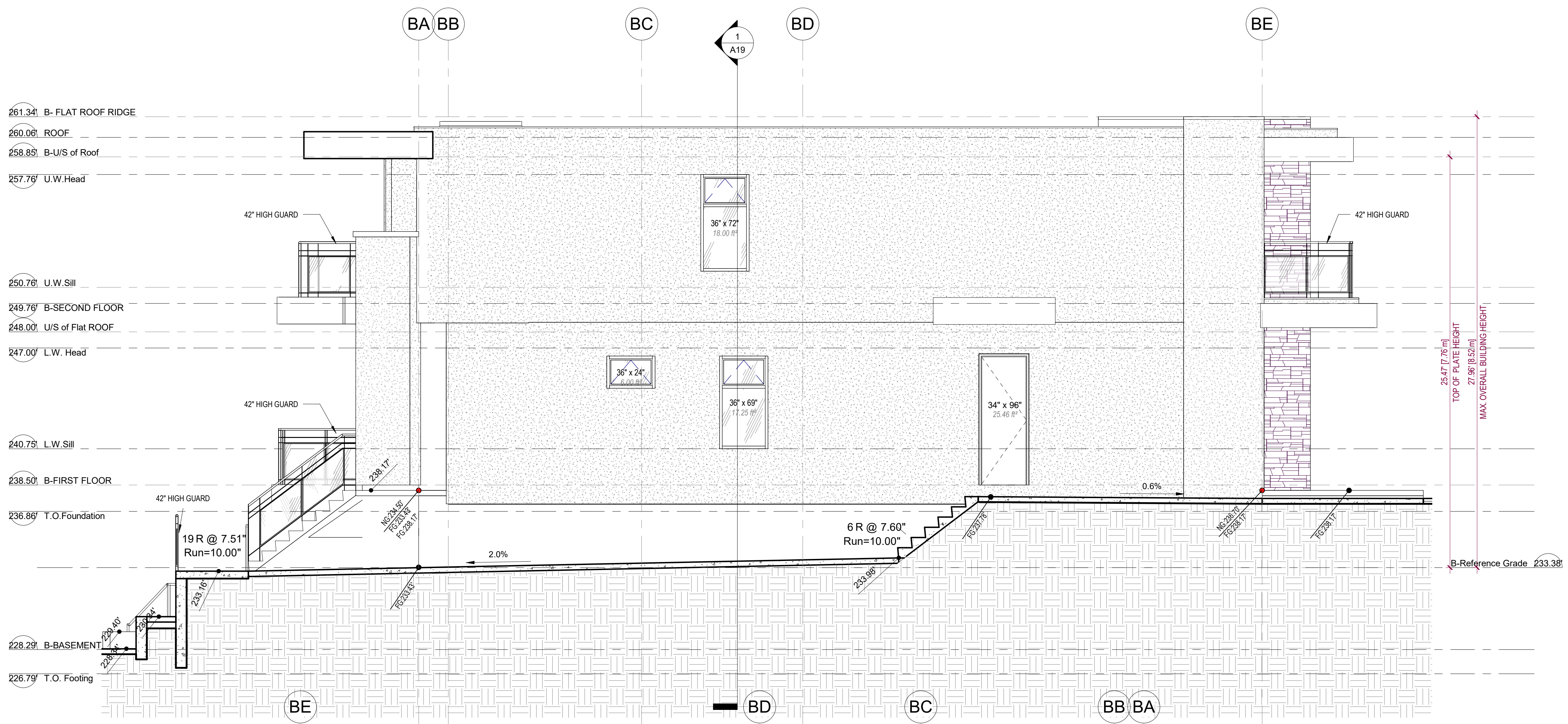
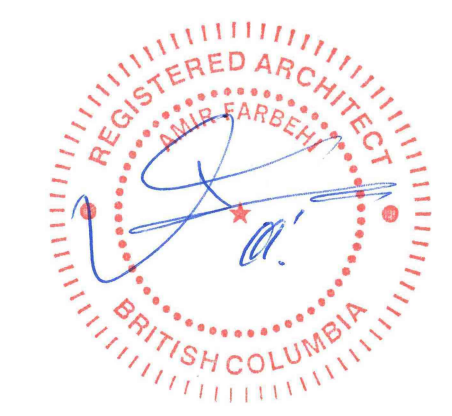
PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.
DRAWING TITLE
BLDG.A- EAST & WEST ELEVATIONS

DRAWING ISSUE
ISSUED FOR RS-2 REZONING

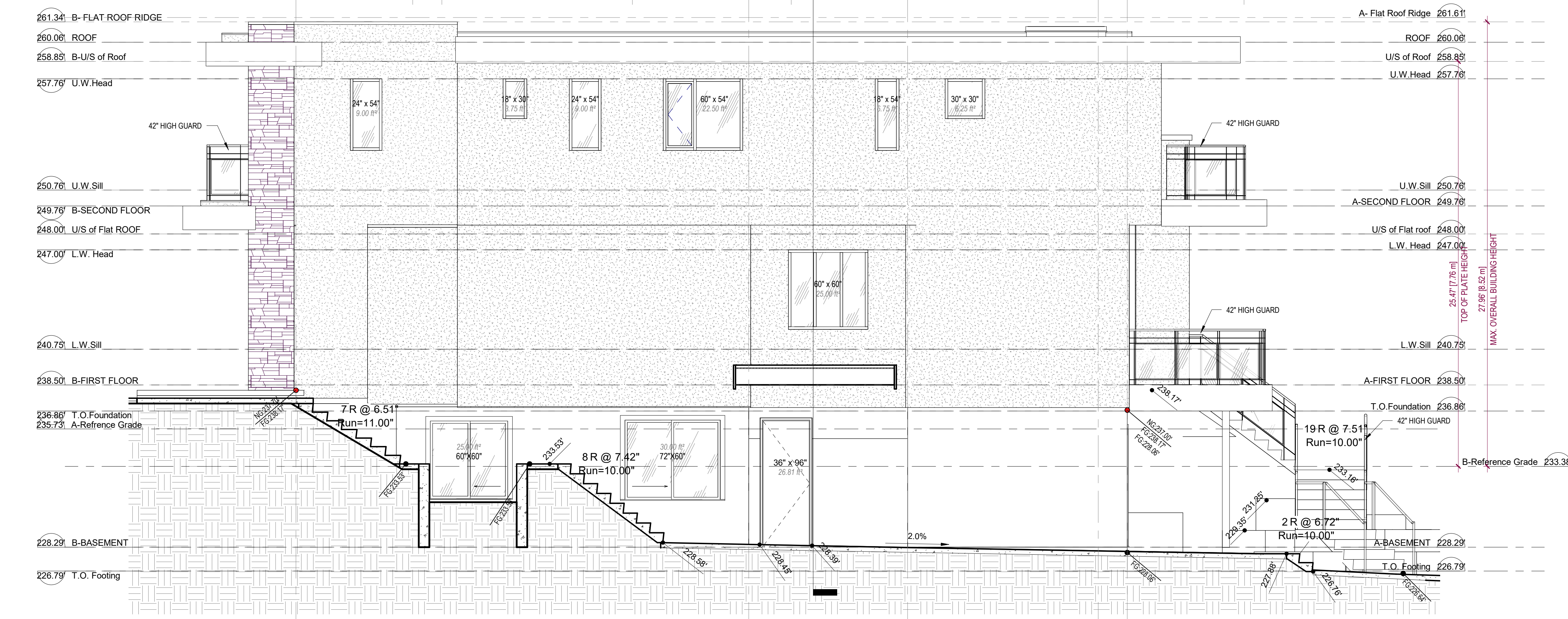
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23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A17		REVISION	2

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1 BLDG B-East Elevation
1/4" = 1'-0"



2 BLDG B-West Elevation
1/4" = 1'-0"

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 5TH SUBDIVISION
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

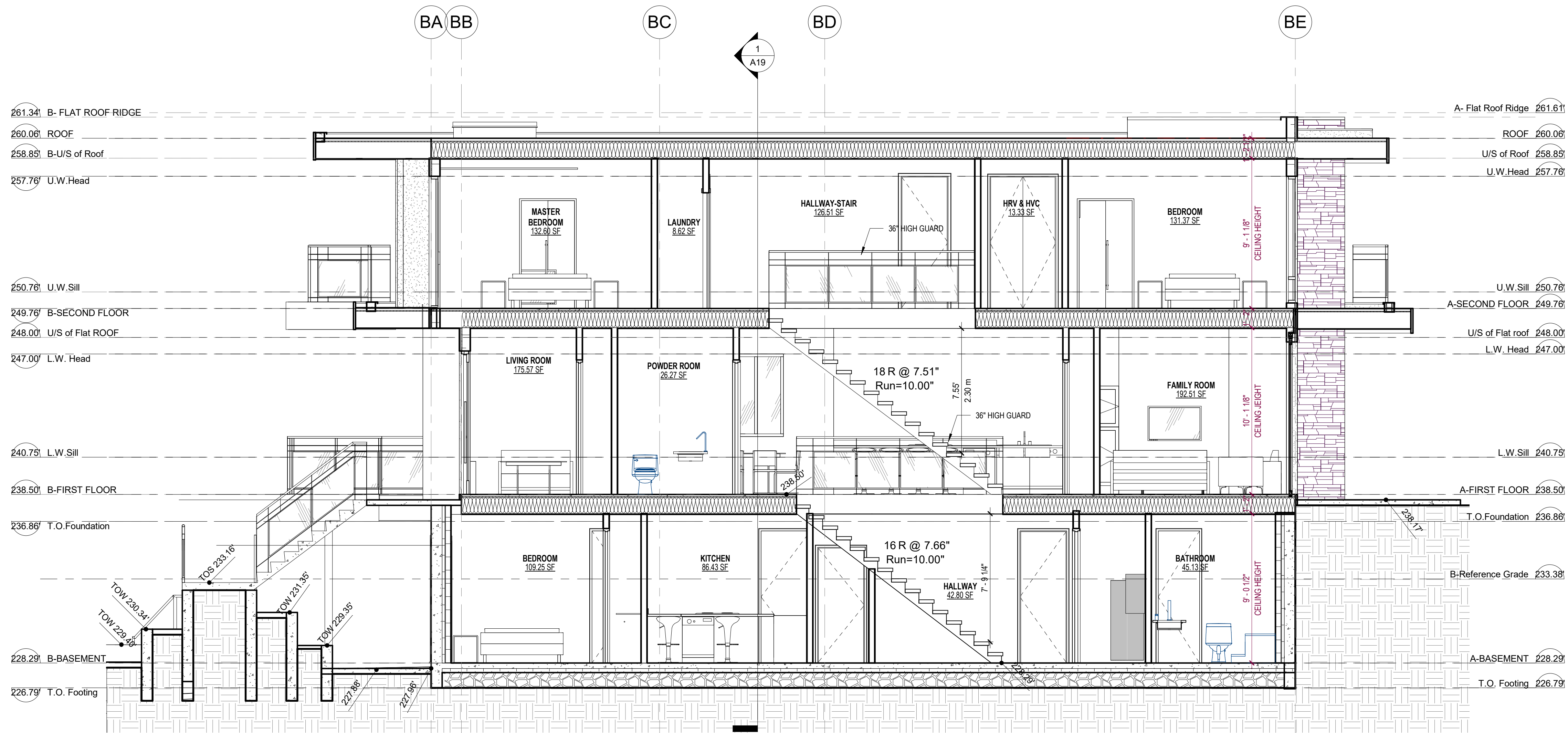
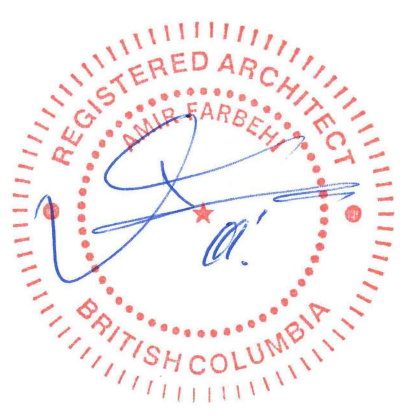
DRAWING TITLE
BLDG.B EAST AND WEST ELEVATIONS

DRAWING ISSUE
RSSUED FOR RS-2 REZONING

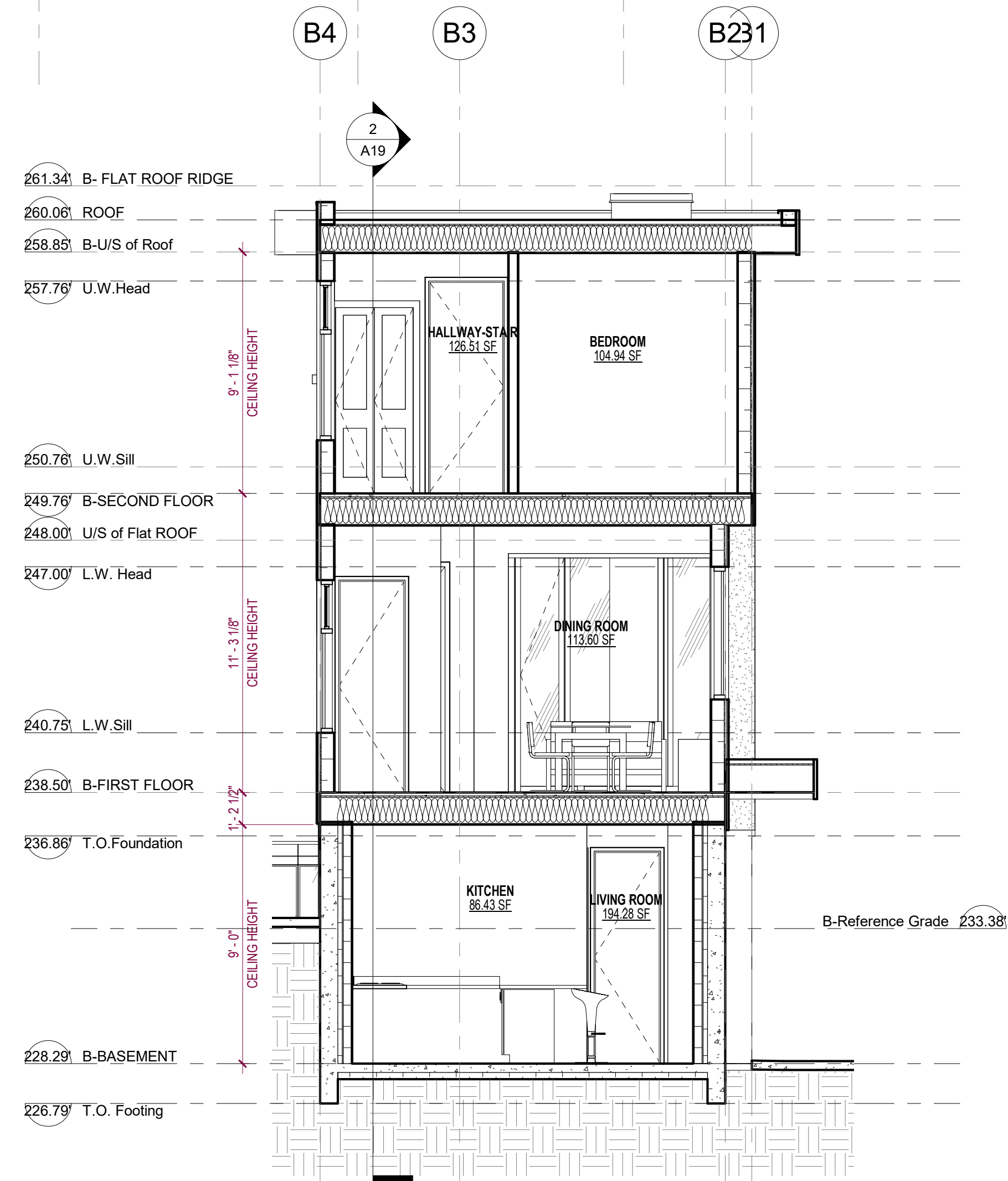
PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A18		REVISION	2

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1 BLDG. B-Section A
1/4" = 1'-0"



2 BLDG. B-Section B
1/4" = 1'-0"

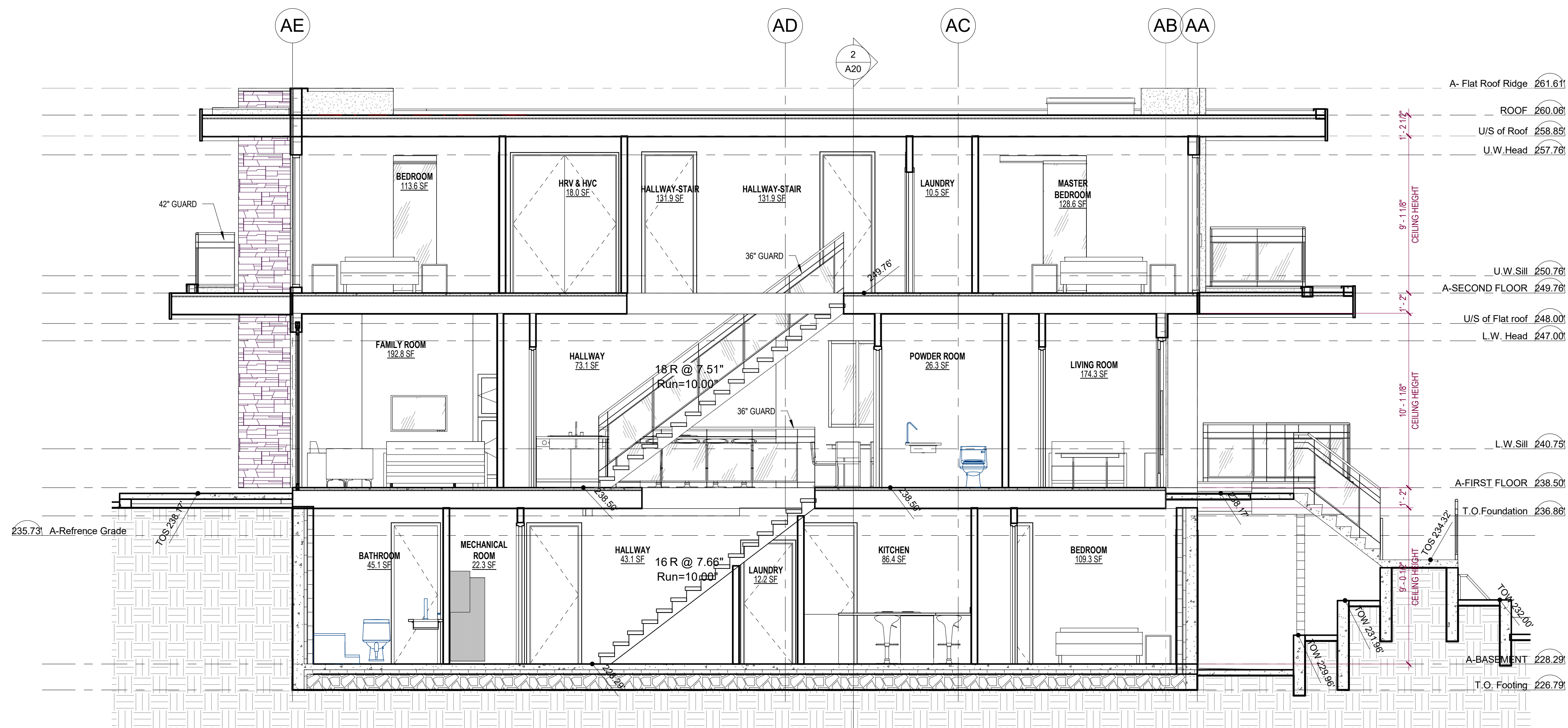
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF

PROJECT
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842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.

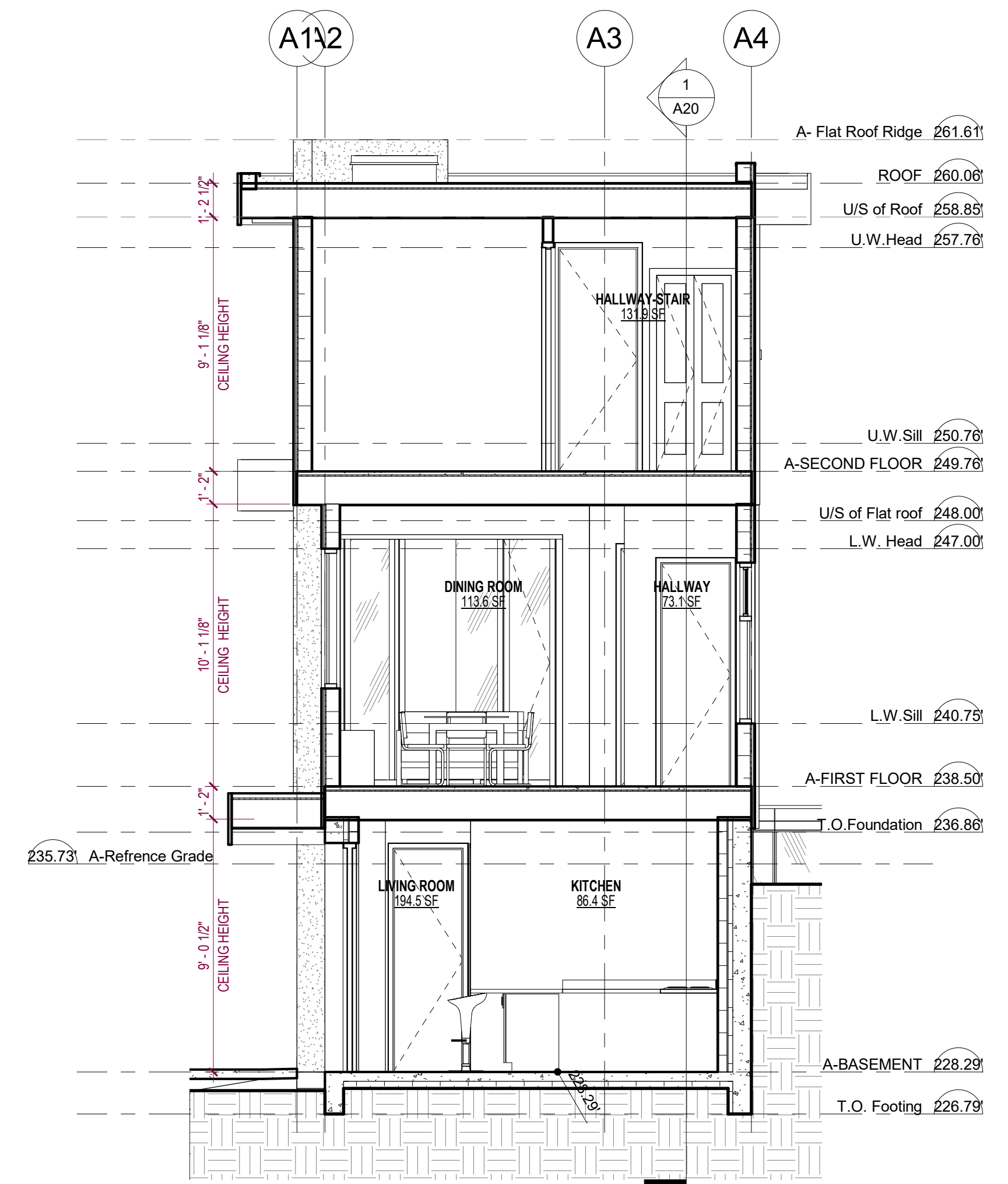
DRAWING TITLE
BLDG-B SECTIONS

DRAWING ISSUE
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A19		REVISION	2



1 BLDG.A Section A
1/4" = 1'-0"



2 BLDG.A Section B
1/4" = 1'-0"

2	2024-05-15	ISSUED FOR RS-2 REZONING	AF
1	2023-10-10	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT			
PROJECT			
EAST 5TH SUBDIVISION			
842 EAST 5TH STREET, CITY OF NORTH VANCOUVER, B.C.			
DRAWING TITLE			
BLDG- A SECTIONS			
DRAWING ISSUE			
RSSUED FOR RS-2 REZONING			

PROJECT NO.	PLOT DATE	MAY 15, 2024	DRAWN	NM
23285	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A20		REVISION	2