822 EAST 4TH STREET NORTH VANCOUVER, BC

ISSUED FOR PREDESIGN REVIEW SEP 28, 2023

DRAWING LIST

Number	Sheet Name	Current Revision	Current Revision Date
A01	COVER PAGE	1	2023-09-28
A02	CONTEXT PLAN	1	2023-09-28
A02-1	ACCESSIBILITY ANALYSIS	1	2023-09-28
A04	SITE PLAN	2	2024-07-16
A05	SITE LOT COVERAGE	2	2024-07-16
A06	RETAINING WALL- EAST & WEST ELEVATION	2	2024-07-16
A07	BLDG.A- ACCESSORY BUILDING	1	2023-09-28
A08	BLDG.B- ACCESSORY BUILDING	1	2023-09-28
A09	BLDG.A & B- BASEMENT FLOOR PLAN	1	2023-09-28
A10	BLDG.A&B LEVEL 1 FLOOR PLAN	2	2024-07-16
A11	BLDG.A&B-LEVEL 2 FLOOR PLAN	2	2024-07-16
A12	BLDG.A&B- ROOF PLAN	1	2023-09-28
A13	AREA OVERLAY BASEMENT	2	2024-07-16
A14	AREA OVERLAY FIRST FLOOR	2	2024-07-16
A15	AREA OVERLAY SECOND FLOOR	2	2024-07-16
A16	BLDG.A&B SOUTH AND NORTH ELEVATIONS	2	2024-07-16
A17	BLDG.A- EAST & WEST ELEVATIONS	2	2024-07-16
A18	BLDG.B EAST AND WEST ELEVATIONS	2	2024-07-16
A19	ELEVATIONS-EAST & WEST NEIGHBOUR OVERLAY	2	2024-07-16
A20	BLDG-B SECTIONS	1	2023-09-28
A21	BLDG- A SECTIONS	1	2023-09-28

ALL WORK AND MATERIAL SHALL COMPLY WITH 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE

DIMENSIONS

Unless otherwise noted in drawings, all dimensions in this et to read as

- · To face of the stud for the interior walls.
- To face of the exterior plywood on the exterior walls. To face of the concrete walls.
- Exterior face of the plywood to be on the gridline. • Face of the foundation below to be aligned with face of the exterior

1. GEOTECHNICAL Engineer is to certify a site is safe for workers when the slope of the excavations exceeds 3/4 horizontal to one vertical or

excavation exceeds 48". 2. Inspections can only be done if site is posted as safe by Professional Engineer.

FOUNDATIONS

1. Exterior Strip footings are required to have a minimum width of 10" supporting 1 floor, 14" supporting 2 floors, & 18" supporting 3 floors.

- Refer to structural. 2. Interior Strip footings are required to have a minimum width of 8" supporting 1 floor, 14" supporting 2 floors, & 20" supporting 3 floors.
- 3. Footings are to extend 18" below grade minimum. 4. Foundation walls of basement below grade and crawl spaces must be
- insulated with R12 to 24" below grade. 5. Provide anchor bolts per structural drawings.
- 6. Anchor posts to footings to resist uplift.

Refer to structural.

1. Provide crawl space access of 2'-0" x 3'-0", min. 18" clearance and ventilate to 1/500th of area.

2. 2" concrete over 6 mil U.V. rated poly required.

VENTILATION 1. Unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. The vent area shall be not less than 1/150 of the insulated ceiling area, where the roof slope is less than 1 in 6. Venting is required

to be two-way. 2. Min. 2x2 cross-purlins to flat, vaulted ceilings, and decks over living areas to conform to BCBC 9.19.2.4) 3. Provide min. 2 1/2" clearance between roof sheathing and insulation

#9.19.1.3.1) Provide min. 1" clearance between insulation and top of 4. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% at the rooftop.

vaulted roofs in order to maintain airflow.

See BCBC 2012 Div. B Part 9 Sentence 9.19. 1. 2.

5. Provide attic access hatch of 2'-0" x 3'-0". 6. Attic hatches shall be weather stripped to maintain continuity of the air barrier. See BCBC 2012 9.19.2. & 9.25.3.3. & 9.36.2.21. 7. Submit Mechanical Ventilation/Air Conditioning design and letter of

supervision by Professional Engineer, certified HRV or HVAC Technician at frame and final inspection. 8. Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per BCBC 9.32.3.3. 9. • It is recommended that high-density batt insulation be used in

INSULATION REQUIREMENTS.

(Prescriptive path, effective values)

1. Insulation where subject to mechanical damage is to be covered as per #9.25.2.3.(7) with drywall or equivalent (e.g. Furring wall). 2. Minimum insulation values R15.8 walls, R26.5 for flat or vaulted ceilings, and R39.2 for attic spaces, R-11.3 foundation, R26.5 Floor over exterior space, R-25,6 floor over unheated space, R-14.4 Wall to unheated space, R11.1 Slab above frost line, R-13.2 Slab below

3. provide a thermal break at slab edge. 4. Provide insulation in a 4' perimeter under the slab with a thermal break at exterior walls.

5. Provide insulation under entire slab area and a thermal break at the exterior walls for slabs with radiant heating. 6-Refere to energy modeling summary sheet when building energy compliant with performance path. 7. Piping for any plumbing & mechanical systems must be located

within the thermal enclosure or are fully insulated to the required RSI value of the assembly they are in. 8. Foundation Wall insulation to wrap to edge of window/ framing on sides and bottom of well windows and doors

1. Straight stair: Rise min. 5" max. 7.87"

Run min. 8.25" max. 14" 2. Maximum 1" nosing on stair treads.

3. Minimum headroom is 6'-5" from a line through nosings, measured vertically. 4. Handrail to be between 32" to 38" from a line, measured vertically,

through nosing. 5. Winders to conform to 9.8.4.5. 6. Primary stair minimum width 2'-10".

7. Stairs 43" in width or greater require 2 handrails. 8. Handrail reqd. on interior stairs with three or more risers. Exterior stairs with four or more risers. 9. Handrail as a guard is to be minimum 36"- 38"high.

Exterior Stair Tread Finish shall be slip-resistant, or be provided with slip-resistant strips (max. 1mm above tread surface)

CHIMNEY & FIREPLACES 1. Provide minimum 2" clearance between chimney and combustible

2. Provide minimum 4" clearance between fireplace and combustible

3. Masonry fireplace hearths must conform to 9.22.5.1. 10. A bedroom window as egress must have unobstructed opening of

be operable from the inside without the use of keys, tools, or special

12. Window sill that extends to less than 1 m from the floor and is located at the second must be protected by guard.

GUARDRAILS

1. Guardrails to be a minimum 42" exterior and 36" interior height. 2. interior Guards: min 900mm (36") high;

Exterior guards: min 900mm (36") high where the vertical distance to finished grade is max 1800mm (6 ft.)

4. Handrails: Min 865mm and no more than 965mm high, measured vertically from the top of the handrail to a straight line drawn tangent to the tread nosings of the stairs. (See BCBC 9.8.7.4.)

5. Openings in guards shall be small enough to prevent the passage of a 100mm (4") dia. sphere (See BCBC 9.8.8.5.); 6. Guards must not facilitate climbing (See BCBC 9.8.8.6.(2) for further

clarification); 7. Every stair requires a handrail, except interior stairs with max. 2 risers, or exterior stairs with max. 3 risers See BCBC 2012 Div. B Part 9. 9.8.7.

8. All glass guards to have top cap unless approved by Prof. Engineer. 9. A minimum of 36" in height is permitted for decks within 5'-11" of

10. Guard required to all drops exceeding 24" where access is provided 11. Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

GLAZING

1. Contractor to double check provided window sizes with floor plan dimensions, window sill and head levels in elevation & sections prior

2. Except wired glass windows, all Windows, Doors, Skylights and Other Glazed Products shall comply with WDMA/CSA101/I.S.2/A440, "NAFS – North American Fenestration Standard/Specification for Windows, Doors, and Skylights. 3. Glass in entrance, shower and sliding doors, and windows within 8" of

floors and within 36" of deadbolts are all to be safety glass. 4. Sidelights 20"+ in width are to be safety glass. 5. Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.

6. The bottom of an operable window in a bedroom is not to exceed 4'11" above the floor, and have a min. opening width of 15" with an area of 3.75sf, unless the house is sprinklered. 7. Windows over stairs, ramps and landings that extend to less than 36"

above the surface shall be protected with guards or be non-operable

and designed to #4.1.5.15. 8. Window wells are to be 30" minimum width when required as a bedroom egress 9.9.10.1 9. Level 2 Bedroom windows as egress must have unobstructed

opening of not less than 1 m in height and 0.55 m in width, and sill height not more than 1.076 m above finish floor, and 7 m above adjacent round

not less than 0.35 m² in area with no dimension less than 380 mm, and maintain the required opening during an emergency without the need for 11. Where a protective enclosure is installed over a window well, it shall

4. For all tiled wall surfaces, Provide water resistant GWB "AQUABOARD" or approved equivalent.

MASONRY VENEER WALLS 1. Provide masonry/veneer wall flashing ties and weep holes as per

GARAGES 1. Doors between garage and dwelling are to be a self-closing and

weather-stripped solid core door with 30 min. FRR. 2. Thicken slab edge at garage entry to 18" below grade.

MOISTURE PROTECTION

1. Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%. 2. Provide flashing at all wall-roof junctions, including parapets for solid 3. Rainscreen assembly required for all buildings, with a minimum

capillary break of 3/4". 4. All platforms are roofs

5. All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks 6. Extend roof membrane 6" up wall at deck floor.

1. Cross bridging required @ 7'- 0" o.c. maximum for floor and roof joists. 4. For all tiled floor, install an additional layer of 3/8" exterior grade plywood on top of subfloor if concrete topping not provided. 5. 5/8" Drywall required to ceiling members at 24" o.c. 6. Provide minimum 8" clearance between grade and siding. 7. Damp-proofing slabs, including crawl spaces, are to be 6 mil "UV" poly.

8. Furnace and laundry room door width of 2'-8" min 9. N.R.P. hinges required for outswing exterior doors. 10. Hardwired and interconnected smoke alarms required on every floor level differing by 36", within 5 meters of bedroom doors, and within 15 meters of each other.

11. Hard wired **CARBON MONOXIDE** alarms must be installed within each bedroom or within 15' of each bedroom door. BCBC 9.32.4.2 12. A 5lb A.B.C. dry chemical fire extinguisher is required near the

13. Heating and air conditioning equipment must be secured to the building to resist overturning and displacement. 14. Solid Blocking shall be provided at exterior doors serving the dwelling unit and dwelling unit to garage doors Locate blocking at lock height between jamb and structural framing. 15. Factory-Built Fireplaces and their installation shall conform to CAN/ULC-S640-M, "Factory-Built Fireplaces" and be installed in

Waterproof Wall Finish: shall be provided as follows:

accordance with manufacturers specifications

1. Above the floor in shower stalls: min 1,8m (6 ft.) 2. Above the rims of bathtubs equipped w/ showers- min 1.2m (4 ft.) 3. Above the rims of bathtubs not equipped with showers: min 400mm (16") See BCBC 2012 Div. B Part 9 Sentence 9.29.2.

Solar Hot Water Ready: All new single family homes must comply with the provincial regulations as follows: 1. 2x2" (inside diameter) straight, continuous, conduit runs must be provided from the mechanical room to the attic or roof, be

capped/sealed at both ends and identified by markings that are permanent: or 2. 2 -3/4" type L copper pipes with 1/2" insulation that must be tested

200 psi after installation 3. 1 -1" electrical conduit raceway close to the 2" pipes. 4. Pipes must be ended in a workable and accessible area, ie.,

minimum 2' clearance from top of ceiling joist to underside of rafters. 5. One 9.3 m² (100 sq.ft.) of south facing roof, minimum of 2.7m (9 ft 6. Structural roof design of a load of 0.2kPa in addition to design loads required by the BCBC.

Principal Ventilation System Supply Air:

1. A principal ventilation system shall mechanically provide air to each bedroom and each floor without a bedroom. See BCBC 2012 Div. B Part9 Section 9.32.3.4. 2. HVAC equipment must be located within the thermal enclosure or designated to be installed outside the thermal enclosure.

Principal Ventilation System Exhaust Fan:

A principal system exhaust fan shall run continuously and provide a minimum airflow rate specified in Table 9.32.3.5. An exhaust fan shall be provided for every kitchen and bathroom. See BCBC 2012 Div. B Part 9 Section 9.32.3.5. & 9.32.3.6.

Water Conservation Plumbing Regulations: shall be provided as follows: Ultra low-flow toilets (4.8 L)

• Maximum flow rates of 8.3L/min for kitchen and lavatory faucets Maximum flow rates of 9.5L/min for shower heads See BCBC 2012 - Part 10. 10.3.1.1. & 10.3.1.2

Combustion Spillage Hazard

A large kitchen hood fan can upset the pressure balance in a house, resulting in carbon monoxide spillage from a fireplace, hot water tank or furnace, back into the house. Ensure that the kitchen fan output (CFM) does not exceed 'Box B' as indicated on the Mechanical Ventilation Checklist

Important Considerations for Secondary Suite Fire Separation

The fire separation consists of: Drywall supported on the ceiling; and • Wall framing protected between a layer of drywall on both sides. AVOID penetrating this drywall with holes larger than 5" diameter or 5" x 5"

AVOID locating bathtubs, showers, furnace room equipment, electrical panels, washer shut off boxes and back-to-back outlets, in or adjacent to, the fire separation wall. Bathroom fans must be housed in a 5-sided, tightly fitted, drywall box.

Architecture

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2023-09-28 ISSUED FOR PREDESIGN REVIEW REV. YYYY-MM-DD REVISION / DRAWING ISSUE REVIEW CONSULTANT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

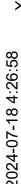
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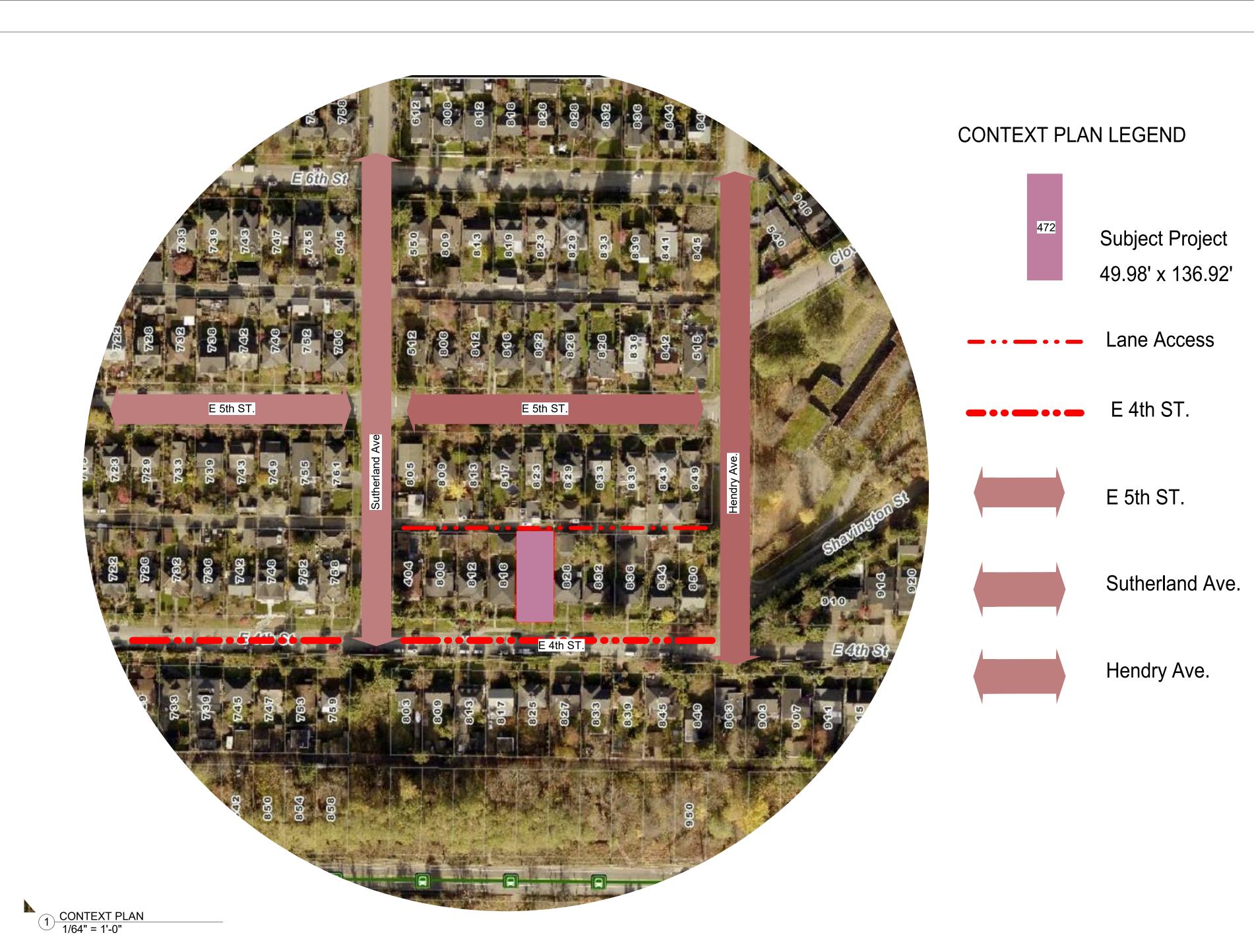
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PROJECT NO. | PLOT DATE JULY 28, 2023 23279 SCALE REVIEWED 1/4" = 1'-0"



NOTH WEST 4TH ST. VIEW





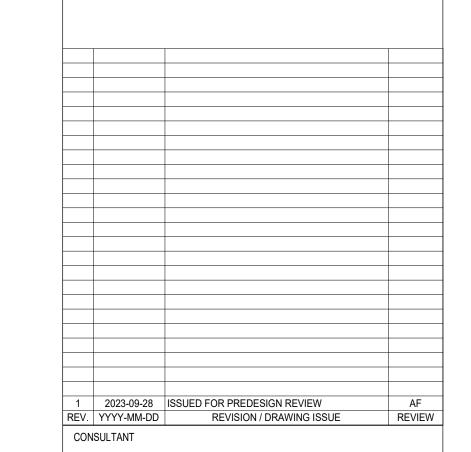


SOUTH EAST LANE VIEW



ZONING LEGEND

NORTH EAST VIEW



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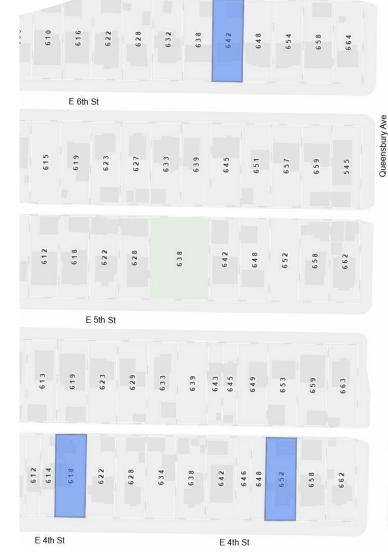
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CONTEXT PLAN

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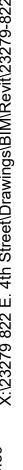
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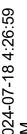


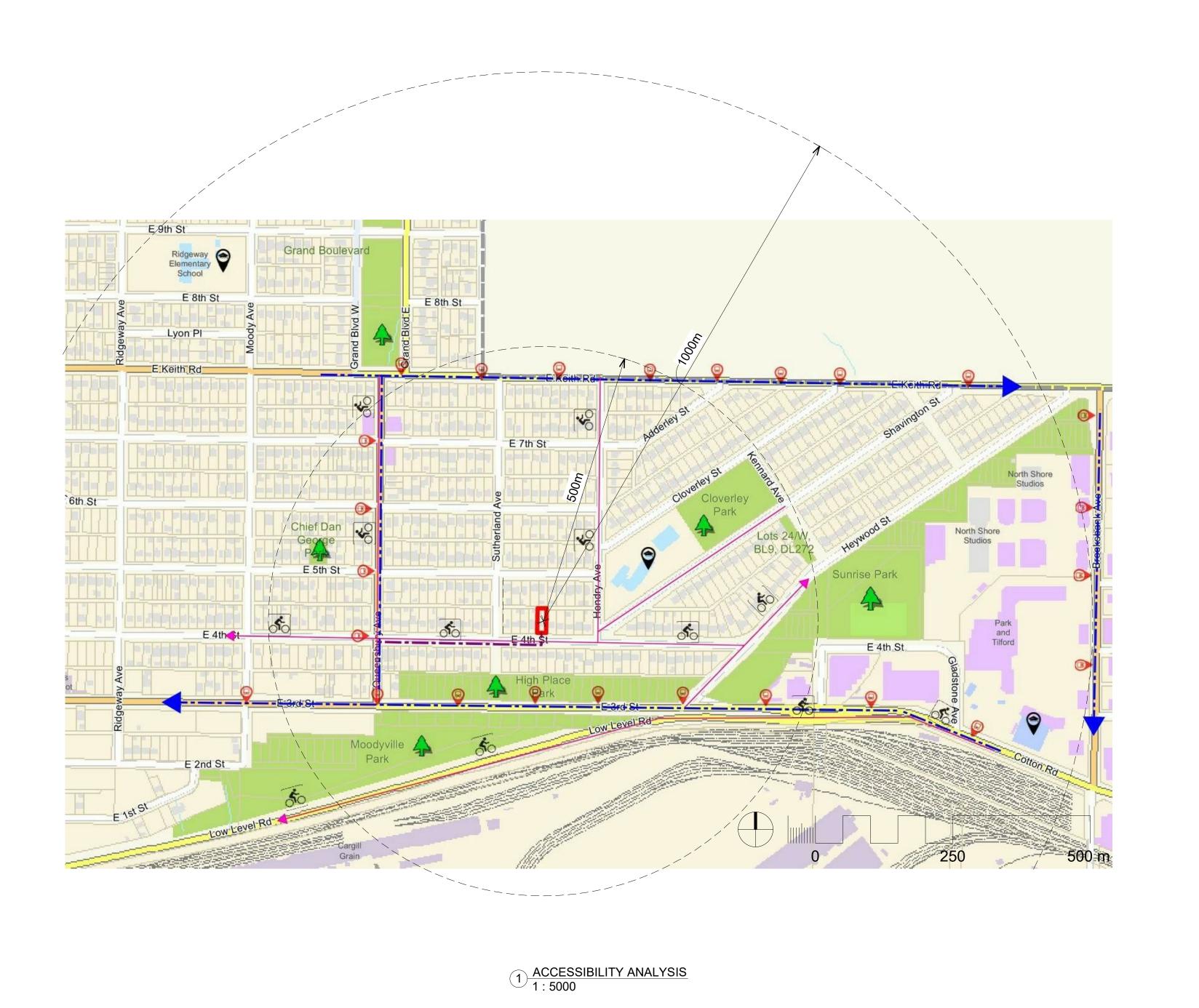
Subject Project

Similar Subdivision & Rezoning Development

Development permit- coach house









SCHOOL



PARK



BIKE ROUTE









PEDESTRIAN ROUTE



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EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

ACCESSIBILITY ANALYSIS

DRAWING ISSUE

ISSUED FOR PREDESIGN **REVIEW**

23279

DRAWING NO.

JULY 28, 2023 1:5000 REVIEWED

A02-1

Checker

location, finished color) - 1/2" P.T. vertical strapping @ 24" O.C. (drainage cavity), - 2 layers 30 minute building paper installed shingle style, lapped and staggered. - 1/2" exterior grade plywood (refer to structural), - 2 x 6 wood studs (refer to structural for spacing) cavity filled with R-24 HD batt insulation or approved equal. - 6 mils polyethylene air/vapour barrier sealed at penetrations and perimeter. - 1/2 " GWB

W1a Exterior Wall - "RAIN SCREEN" Un-Insulated

Same as W1 except - Remove insulation from the wall cavity

- Finish as per ID schedule

Fire rating not required

W1b Exterior Wall - "RAIN SCREEN" fireplace

Required rating: 45 min. Provided rating: 45min. as per BCBC table 9.10.3.1.A wall type Same as W1 except: - Replace 1/2" GWB with 1/2" TYPE X GWB

W2 Exterior Wall, concrete at basement

Fire rating not required Nominal RSI Value 4.23 (R-24) Provide effective RSI value 3.74 (R-21.2) Two layers damproofing from bottom of foundation up to

• Delta MS drainage structure, to extend at base also cover the top of the footing Cast in place concrete wall (refer to structural) 2" Continuouds XPS insulation 2x4 studs @ 24" O.C., foam sill gasket under floor

 6 mil. polyethylene vapour barrier. • 1/2" GWB Finish as per ID schedule

W3 Interior Wall, bearing and non-bearing

plate, cavity filled with R-14 Batt insulation

Fire rating not required - Finish as per ID schedule - 1/2" GWB - 2 x 6 studs @ 400mm or 600mm O.C (refer to structural for

- 1/2" plywood shea hing only where noted as shear wall on structural drawing - 1/2" GWB - Finish as per ID schedule

W3a Interior Wall, bearing and non-bearing

Required rating: 30 min. Provided rating: 45 min. as per BCB Table 9.10.3.1.A wall type SAME AS W3 except: - Replace 1/2" GWB with 1/2" Type "X" GWB
- Fill wall cavity with roll erul wool insulation

W3b Interior Wall - fire separation Wall, between garages

Provided rating: 1 hr.as per BCBC table 9.10.3.1.A wall type

- Finish as per ID schedule - 1/2" GWB Type "X"

- Two rows 2 x 4 wood stud @ 600 O.C. maximum (refer to structural for spacing) 25 mm apart, fill wall cavity with mineral - 1/2" plywood sheathing only where noted as shear wall on structural drawings - 1/2" GWB Type "X" - Finish as per ID schedule

W4 Interior Wall, bearing and non-bearing

Fire rating not required

- Finish as per ID schedule - 1/2" GWB

- 2 x 4 wood stud (refer to structural for spacing) - 1/2" plywood sheathing only where noted as shear wall on structural drawings - 1/2" GWB - Finish as per ID schedule

W4a Interior Wall, bearing and non-bearing

Provided rating: 1 HR. as per BCBC table 9.10.3.1.A wall type

SAME AS W4 except: - Replace 1/2" GWB with 5/8" Type "X" GWB - Fill wall cavity with mineral wool insulation

W5 Exterior Wall, concrete Un-Insulated

Fire rating not required

- Two layers damproofing from bottom of foundation up to grade - Delta MS drainage structure, to extend at base also cover the top of the footing - 6" Cast in place concrete wall (refer to structural) -- Finish as per ID schedule

W6 Exterior Wall, concrete Un-Insulated

Fire rating not required

- Two lavers damproofing from bottom of foundation up to grade - Delta MS drainage structure, to extend at base also cover the top of the footing - 8" Cast in place concrete wall (refer to structural) - Finish as per ID schedule

FW Interior Furring Fire rating not required - 1/2" Air Gap - 2 x 3 wood st. d @ 16" O.C.

FLOOR ASSEMBLY

- 1/2" GW 3 - Finish as per ID schedule

F1 Floors within units

- Floor finish as per ID schedule - 1 1/2" concrete topping (radiant heat floor) - 5/8" T&G plywood sub-floor - 11 7/8" TJI Floor joists as per eng.spec. cavity filled with batt insulation(R12 min.) - 1/2" Drywall ceiling, - Floor finish as per ID schedule

F1a Floors over Basement

Required rating: 30 min. Provided rating: 45 min. fire-resistance rating required per BCBC table 9.10.3.1.B wall type F17d Required STC: 50 STC 51 Provided as per BCBC table 9.10.3.1.B wall type F17d

- Floor finish as per ID schedule - 1 1/2" concrete topping - 5/8" T&G plywood sub-floor - 6 mils polyethylene vapour barrier (sealed at penetrations and on perimeter - 11 7/8" TJI Floor joists spaced not more than 600mm O.C. (refer to structural) cavity filled with mineral wool insulation. - 2 layers of 5/8" type X GWB - Floor finish as per ID schedule

F2 Floor above Exterior space Nominal RSI Value 8.1 (R-46)

Provided effective RSI value 7.26 (R-41.2) Floor finish as per ID schedule • 1 1/2" concrete topping (radiant heat floor) 5/8" T&G plywood sub-floor

• 11 7/8" TJI Floor joists as per eng.spec. cavity filled with 2 lb. ccSPF insulation (CAN/ULC S705.2) insulation (R-46 min.) 1/2" Exterior grade plywood

1x4 Wood soffit, stained

2x3 Furring as required.

F3 Slab on grade Nominal RSI Value 2.64 (R-15)

Provided effective RSI value 2.84 (R-16.1) Floor finish as per ID schedule • 4" concrete topping (radiant heating floor) • 6 mils polyethylene vapour barrier (sealed on perimeter) 3.5" (R-15) continues XPS insulation

3" gravel (see structural) Compacted soil (refer to GEOTECHNICAL)

F4 Porch · Floor finish as per ID. schedule • Removable 24"x24" Concrete Or Stone Pavers

6" compacted sand (see structural)

on Adjustable Pedestals Floor Finish as per ID Schedule · Liquid applied traffic membrane. ** • 4" concrete slab on grade (see structural) sloped towards drain or garage door (see plan)

 Compacted soil (Refer to GEOTECHNICAL) ** Provide 2 ply SBS membrane when living space below

F5 Slab on grade-Garage

 Floor finish as per ID schedule • 6" concrete slab on grade (see structural) sloped towards garage door (see plan)

 12" compacted sand (see structural) Compacted soil (Refer to GEOTECHNICAL)

F6 Deck

• Fluid applied vinyl decking membrane with anti-slip topcoat. Colour to

be confirmed with Architect. 5/8" exterior grade plywood

• 2x10 Treated wood joists @16" O.C., on 6x6 post support (refer to structural) joist sloped to edges@ 2% Min.

ROOF ASSEMBLY

R1 Sloped or flat insulated Roof Rafter

Nominal RSI Value 8.45 (R-48) Provided effective RSI value 6.96 (R-39.5)

- 2 Ply SBS Membrane - Exterior grade 5/8" plywood sub-floor sloped 2% min. for drainage c/w h clip connectors.(see structural) - Wood sleepers, sloped 2% min, to drain @ 16" o.c. - 9 1/2" TJI Roof joists 16" O.C. cavity filled with 2 lb. ccSPF insulation (CAN/ULC S705.2) insulation (R-48 min.) - 1/2" GWB ceiling - Finish as per ID schedule

Note for use of spray foam:

 5/8" GWB ceiling Finish as per ID schedule

Moisture in any form such as misture in the wood structure and plywood or excessive humidity (> 85% R.H.), rain, fog, or ice will react chemically and will adversely affect the system performance and corresponding physical properties. Always check the moisture level prior work commence.

R1a Un-insulated Roof with attic-Garage

• Fiber glass Shingles, Weathered Wood, "Papco" 30 year or approved equivalent 15 Lbs felt underlay 30 Lbs felt underlay at eaves 26 Gauge metal at valleys + wall flashing • 5/8" plywood sheathing with H clip connectors.(see structural)

R2 Roof overhang with horizontal / sloped soffit.

- Pre-finished metal flashing at premeter and over facia board. - 2 Ply SBS Membrane - Exterior grade 5/8" plywood sub-floor sloped 2% min. for drainage c/w h clip connectors.(see structural) - Wood sleepers, sloped 2% min. to drain @ 16" o.c. - 11 7/8" TJI Roof joists @ 16" O.C. - 1x3 strapping soffit substrate @ 16" o.c. - 1x4 wood soffit, Gray.

R3 Insulated Roof Deck

- Finish as per ID schedule

- 1x4 wood soffit, Gray.

Nominal RSI Value 8.1 (R-46) Provided effective RSI value 7.14 (R-40.5)

- 2x4 Composite decking on Exterior grade Sleepers - Pressuer treated wood sleepers for slope @ 16" o.c. - 2 Ply SBS Membrane - Exterior grade 5/8" plywood sub-floor sloped 2% min. for drainage c/w h clip connectors.(see structural) - Wood sleepers for slope @ 16" o.c. - 2x4 strapping for cross-ventilation @ 16" o.c. - 11 7/8" TJI Roof joists 16" O.C. cavity filled with 2 lb. ccSPF insulation (CAN/ULC S705.2) insulation (R-46 min.) - 1/2" GWB ceiling

R4 Skirt Roof

- Pre-finished metal flashing at premeter and over facia board. - 2 Ply SBS Membrane - Exterior grade 5/8" plywood sub-floor sloped 2% min. for drainage c/w h clip connectors.(see structural) - Wood sleepers, sloped 2% min. to drain @ 16" o.c. - 11 7/8" TJI Roof joists 16" O.C. - 1x3 strapping soffit substrate @ 16" o.c.

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Specific Building Code section 9.36 Requirements

- Ducts located outside the thermal enclosure are sealed and insulated to the

- Dampers are installed at air inlets and exhausts where required. - Piping for heating or cooling systems is located within the thermal enclosure or

are fully insulated. - HVAC equipment is located within thermal enclosure or designated to be

- Indoor pools are covered or have an HRV/dehumidifier.

determined in Tables 9.36.3.10. and 9.36.4.2.

- Effective insulation of foundations meet the requirements of Table 9.36.2.8.A or B for the correct climate zone.

exterior wall insulation requirements.

installed outside of thermal enclosure.

- Temperature controls are installed on heating and cooling equipment.

- HVAC and SWH equipment meet minimum performance requirements

- Service water heating pipes are insulated at the inlet and outlet of storage tanks.

- Service water heaters have temperature controls.

PROJECT NO. PLOT DATE

23279

DRAWING NO.

DRAWING TITLE

ISSUED FOR PREDESIGN

1 2023-09-28 ISSUED FOR PREDESIGN REVIEW

REV. YYYY-MM-DD

CONSULTANT

REVISION / DRAWING ISSUE

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH

VANCOUVER, B.C.

ASSEMBLY

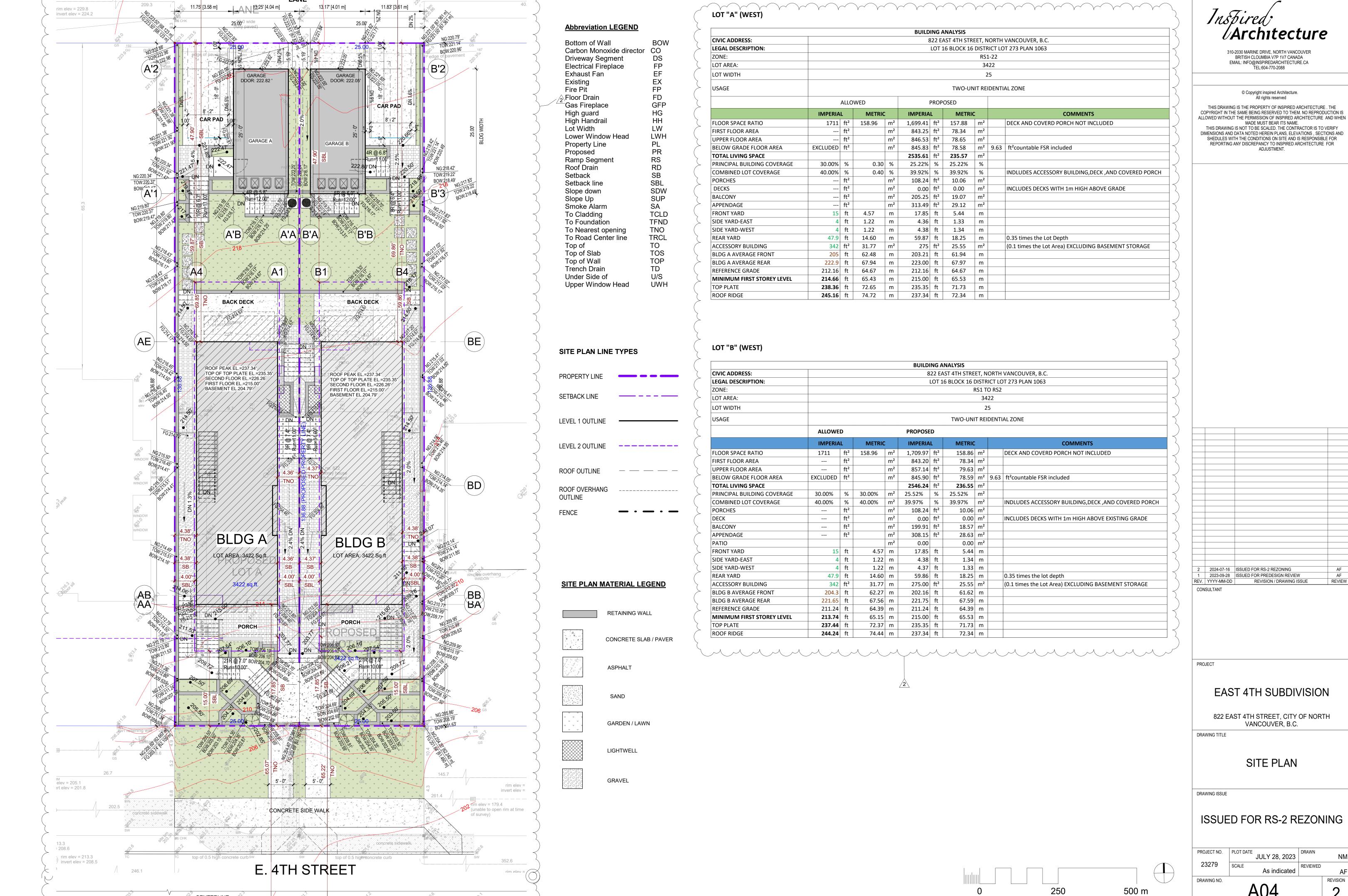
REVIEW

SCALE 1/4" = 1'-0"

JULY 28, 2023

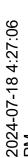
REVISION

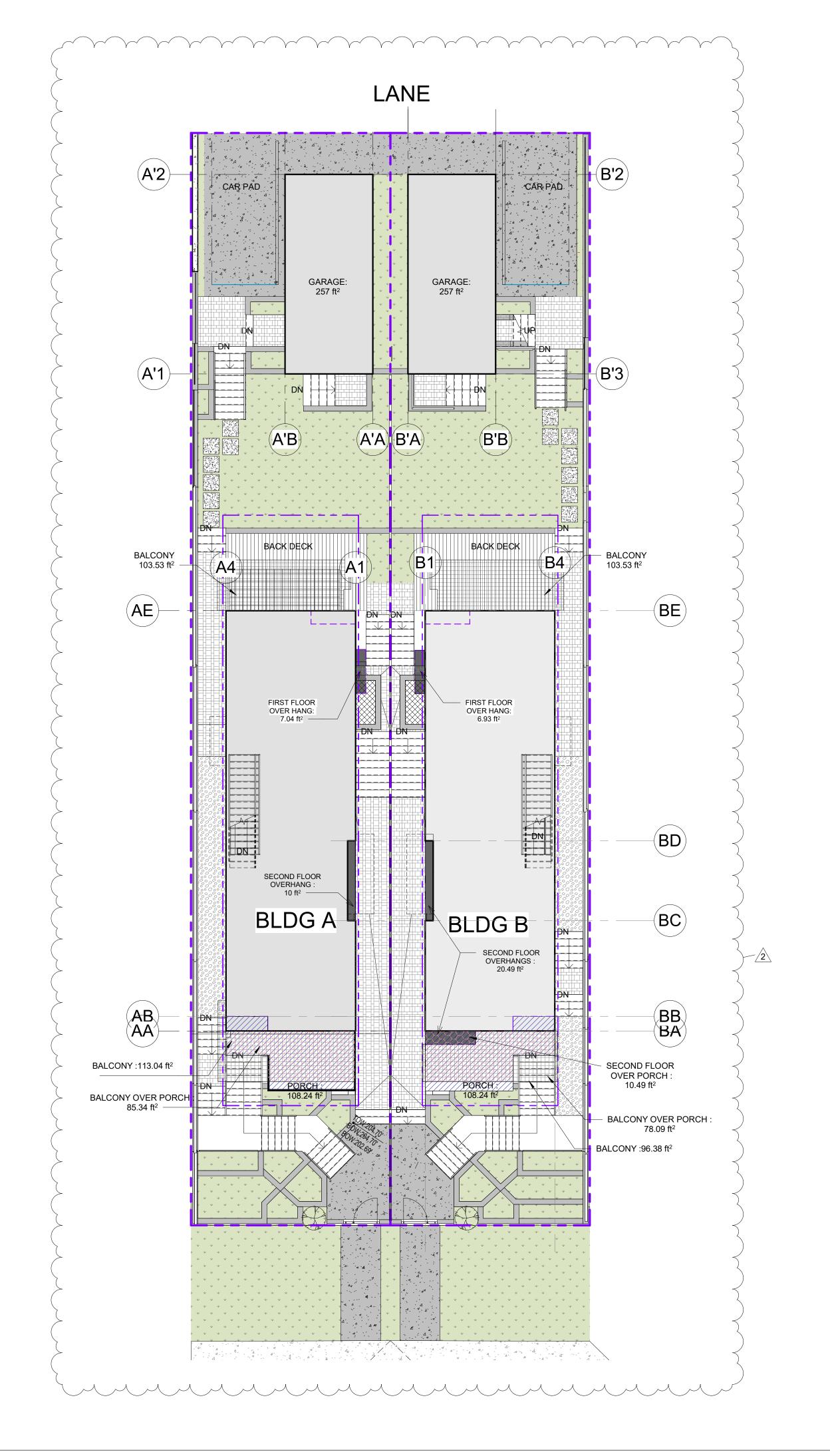
REVIEWED



CENTERLINE

A04





SITE PLAN- LOT COVERAGE LEGEND

LAWN GARDEN CONCRETE PAVER

CONCRETE SLAB

PAVERS ON PADSTALL

PEA GRAVEL

ASPHALT

PRINCIPAL OR ACCESSORY BUILDING

DOUBLE COUNT DIDUCTION

OVERHANGS

FRONT & BACK DECK

FRONT PORCH

DECK OVER LINING SPACE

LIGHTWELL

BALCONY

CONCRETE WALL

LOT COVERAGE

1/4" = 1'-0"

LOT COVERAGE AREA BREAKDOWN BUILDING A (NEW)

	3422	2	
Al	lowed	Pro	vided
%	Area ft ²	%	Area ft ²
30.00%	1026.6	25.22%	862.87
		6.67%	228.15
		8.04%	275.00
40.00%	1368.8	39.92%	1,366.02
	% 30.00%	Allowed % Area ft² 30.00% 1026.6	% Area ft² % 30.00% 1026.6 25.22% 6.67% 8.04%

Principal Building	AREA	4	
Building Footprint	845.83	ft²	
First floor Overhangs	7.04 ft ²		
Second floor Overhangs	10.00 ft ²		
Total Principal Building	862.87 ft ²		
Accessory Building	AREA	4	
Porches	108.24	ft²	
Decks(Including decks with 1 m Height above Grade)	0.00	ft²	
Balcony	205.25	ft²	
Double count deduction, second Floor Overhang Over Porch & Deck	0.00	ft²	
Double count deduction, second Floor Balcony Projections Over Porch & Deck	-85.34	ft²	
Double Count deduction, Deck Over Living Space	0.00	ft²	
Total Appendage	228.15	ft²	
Accessory Building	AREA	4	
Accessory Building	275.00	ft²	
Exclusions	AREA	4	
GRAND TOTAL	1,366.02	ft²	

The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

LOT COVERAGE AREA BREAKDOWN BUILDING B (NEW)

Lot Area (sq.ft)	3422						
	Α	llowed	Pro	vided			
	%	Area ft²	%	Area ft²			
Principal Building lot coverage	30.00%	1026.6	25.52%	873.32			
Appendage coverage			6.42%	219.57			
Accessory Building coverage			8.04%	275.00			
Combined Lot coverage	40.00%	1368.8	39.97%	1,367.89			

Principal Building		AREA
Building Footprint	845.90	ft²
First floor Overhangs	6.93	ft²
Second floor Overhangs	20.49	ft²
Total Principal Building	873.32	ft²
Accessory Building		AREA
Porches	108.24	ft²
Decks(Including Decks with 1 m Height Above Grade)	0.00	ft²
Balcony	199.91	ft²
Double count deduction, second Floor Overhang Over Porch & Deck	-10.49	ft²
Double count deduction, second Floor Balcony Projections Over Porch & Deck	-78.09	ft²
Double Count deduction, Deck Over Living Space	0.00	ft²
Total Appendage	219.57	ft²
Accessory Building		AREA
Accessory Building	275.00	ft²
Exclusions		
GRAND TOTAL	1,367.89	ft²

Calculation Note:

The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

Inspured: Architecture

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1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
ΞV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CON	SULTANT		

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DRAWING TITLE

SITE LOT COVERAGE

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

23279 SCALE

DRAWING NO.

A05

JULY 28, 2023

REVISION

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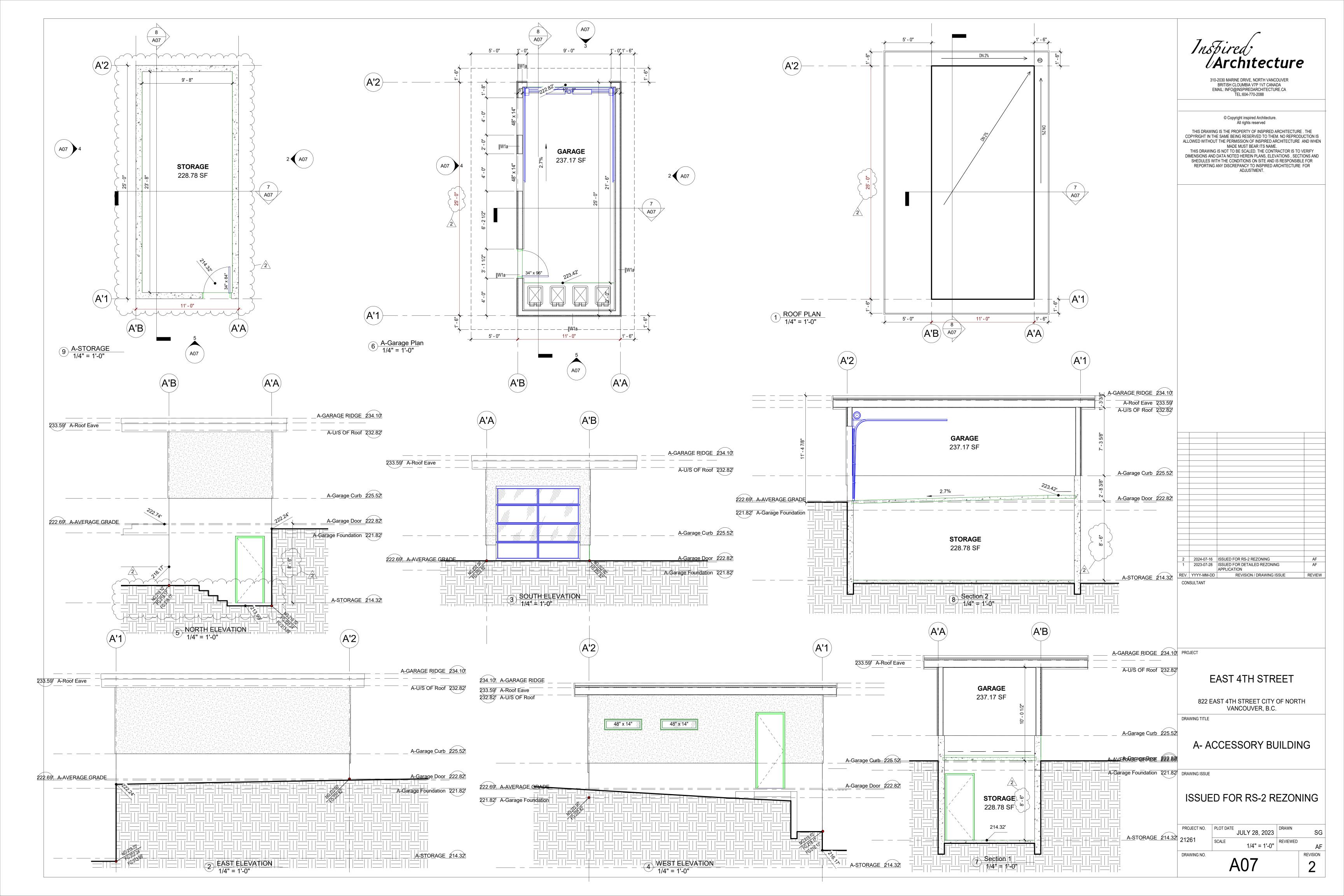
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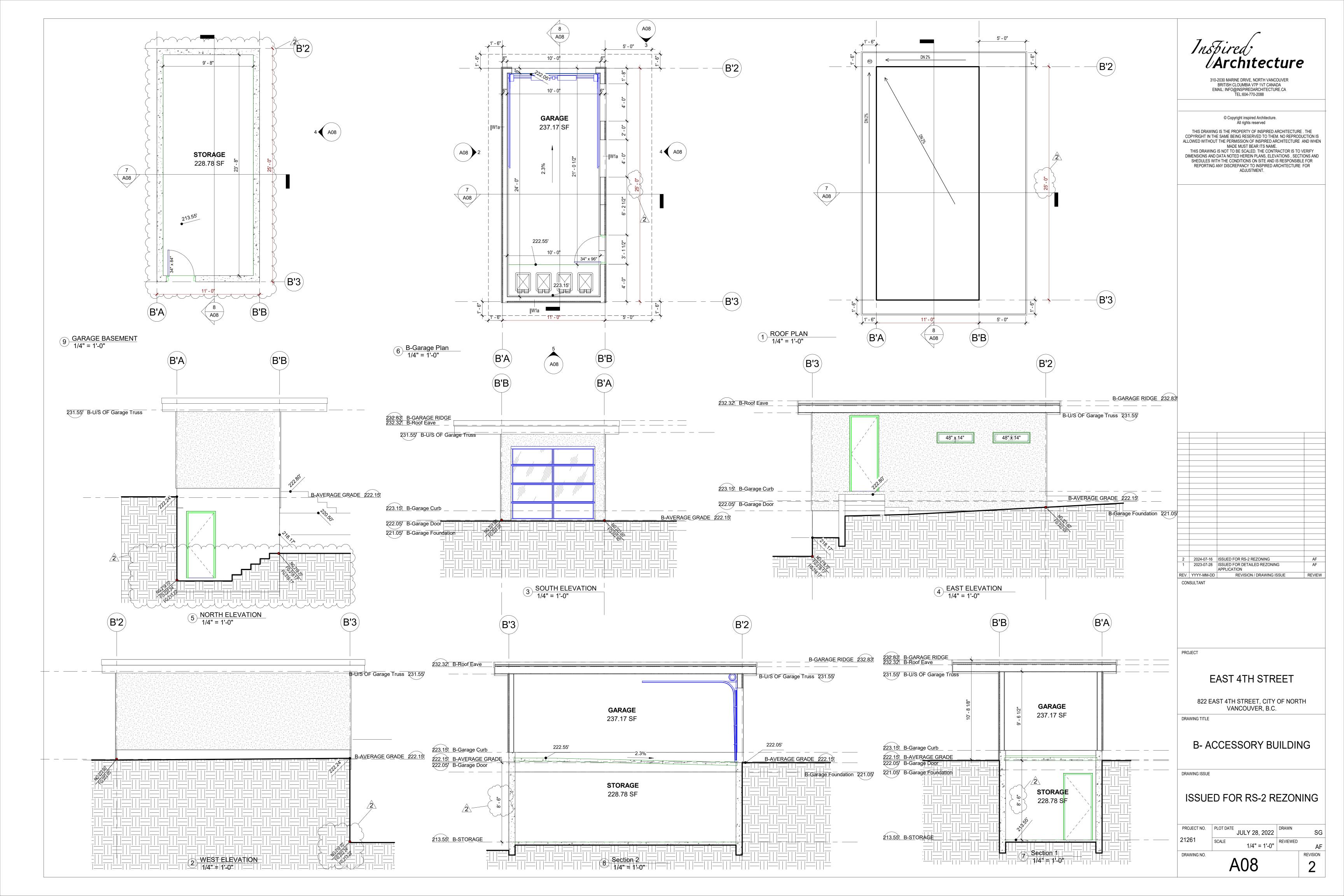
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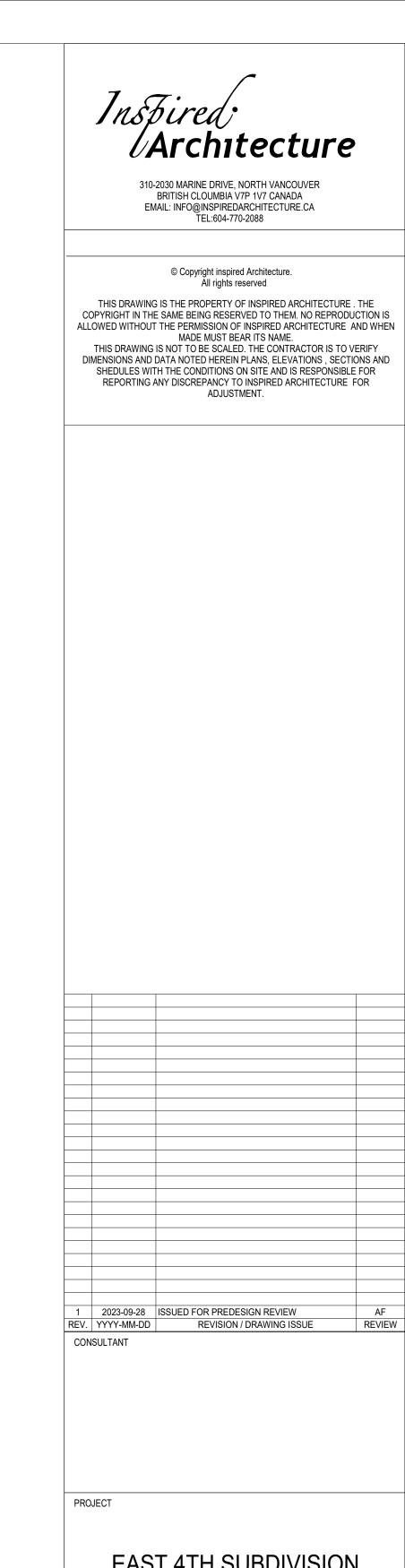
240.06 ROOF PEAK

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A06







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REVIEW

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DRAWING TITLE

BLDG.A & B- BASEMENT FLOOR PLAN

DRAWING ISSUE

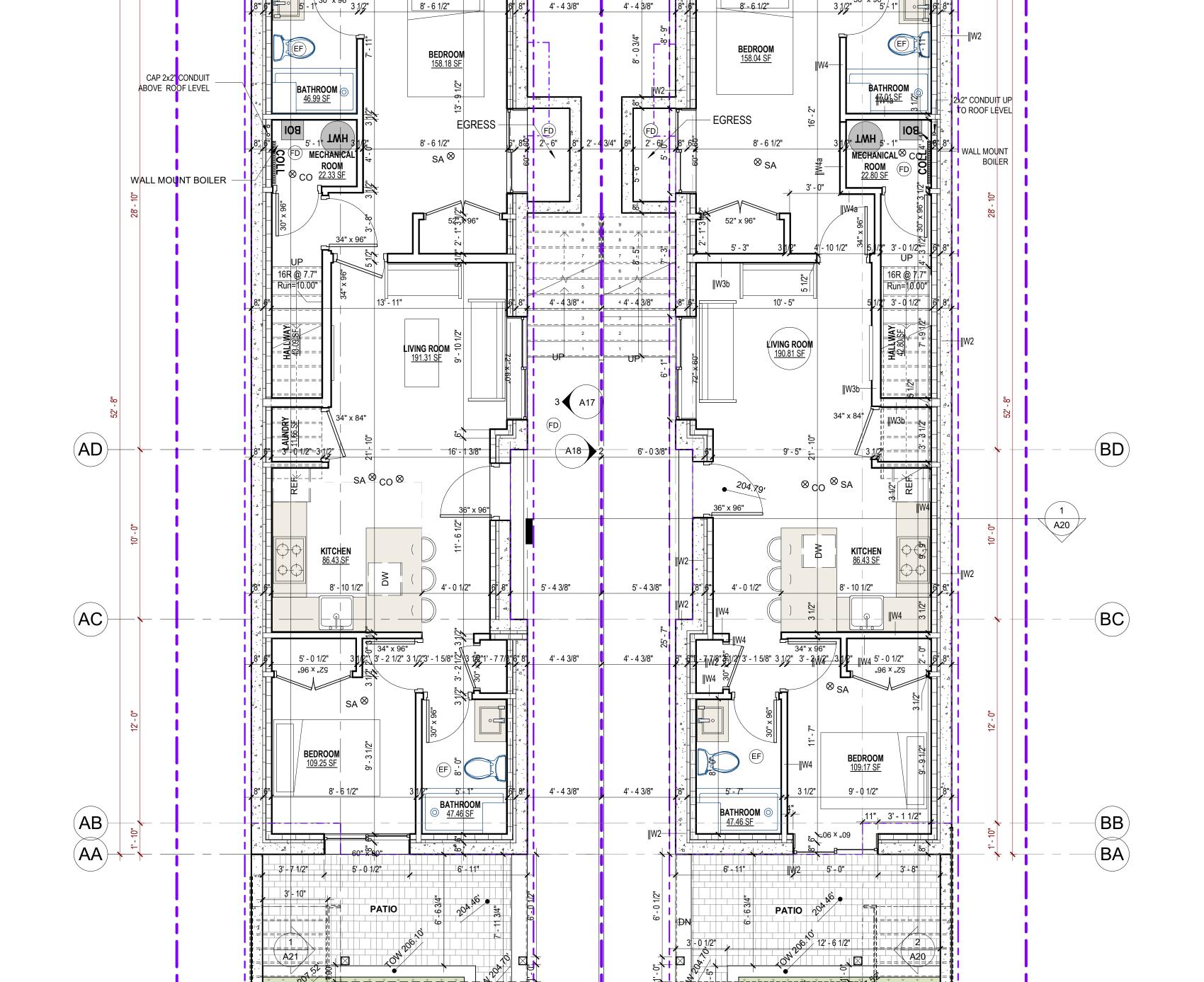
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JULY 28, 2023 DRAWN 1/4" = 1'-0" REVIEWED 23279

REVISION

A09

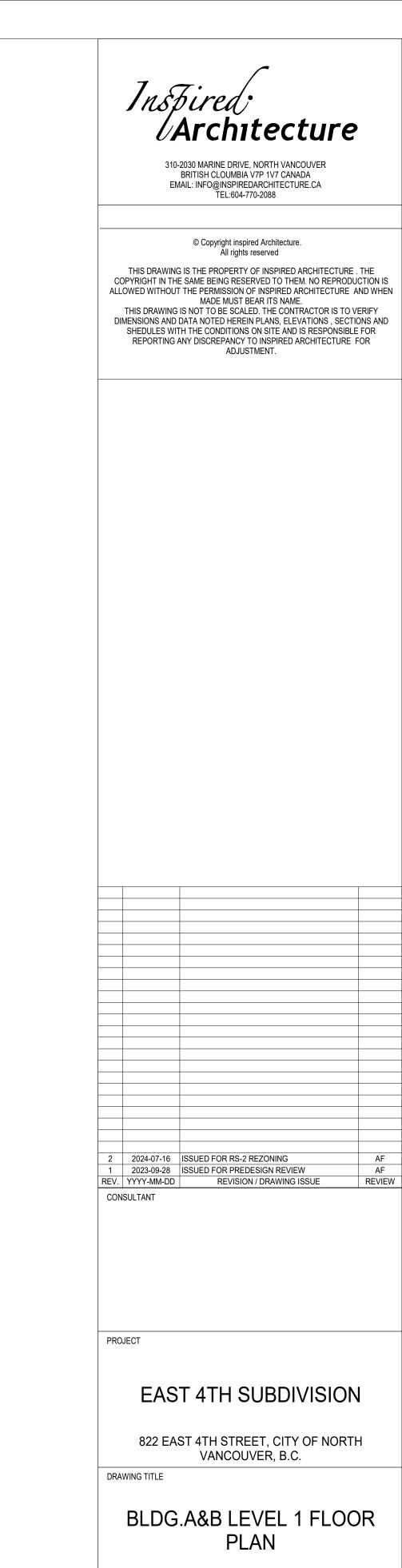


10' - 0"

AE

16' - 3"

BE



8' - 8 3/4"

--- 4'-4-3/8" -

4' - 4 3/8"

4' - 4 3/8"

4' - 4 3/8"

BACK DECK

14' - 2 7/8"

్తు.34" HUGH GLASS GUARD —

LIVING ROOM 173.90 SF

112 1/2"_{-%"}122"

FRONT PORCH

2 A20

BC

BB BA

BACK DECK

FAMILY ROOM 197.84 SF

FRIDGE

··· CO⊗

8' - 7"

- 34" HUGH GLASS GUARD

LIVING ROOM 174.15 SF

FRONT PORCH

AB

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BLDG.A&B LEVEL 1 FLOOR PLAN

DRAWING ISSUE

JULY 28, 2023 REVIEWED

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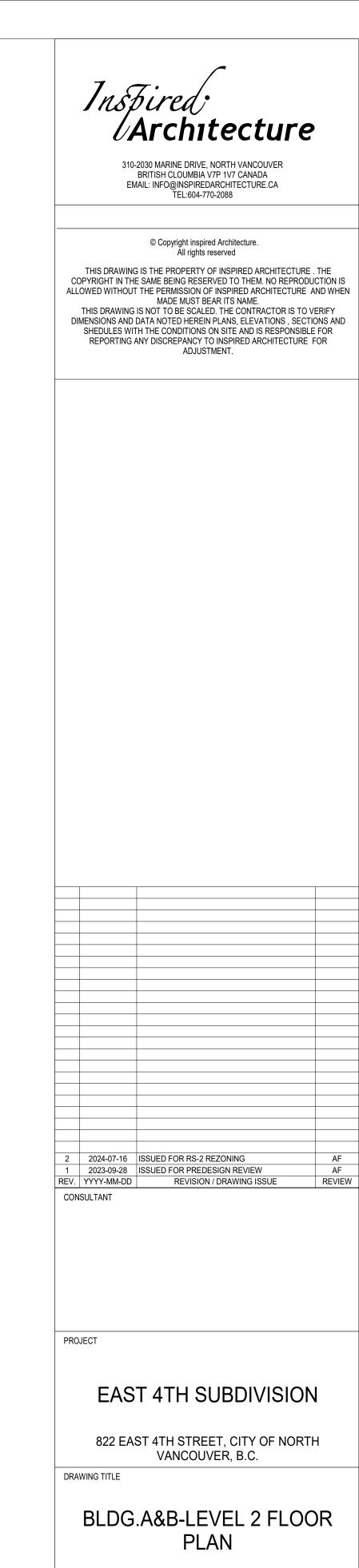
A10

REVISION

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ISSUED FOR RS-2 REZONING

23279 SCALE



BLDG.A&B-LEVEL 2 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

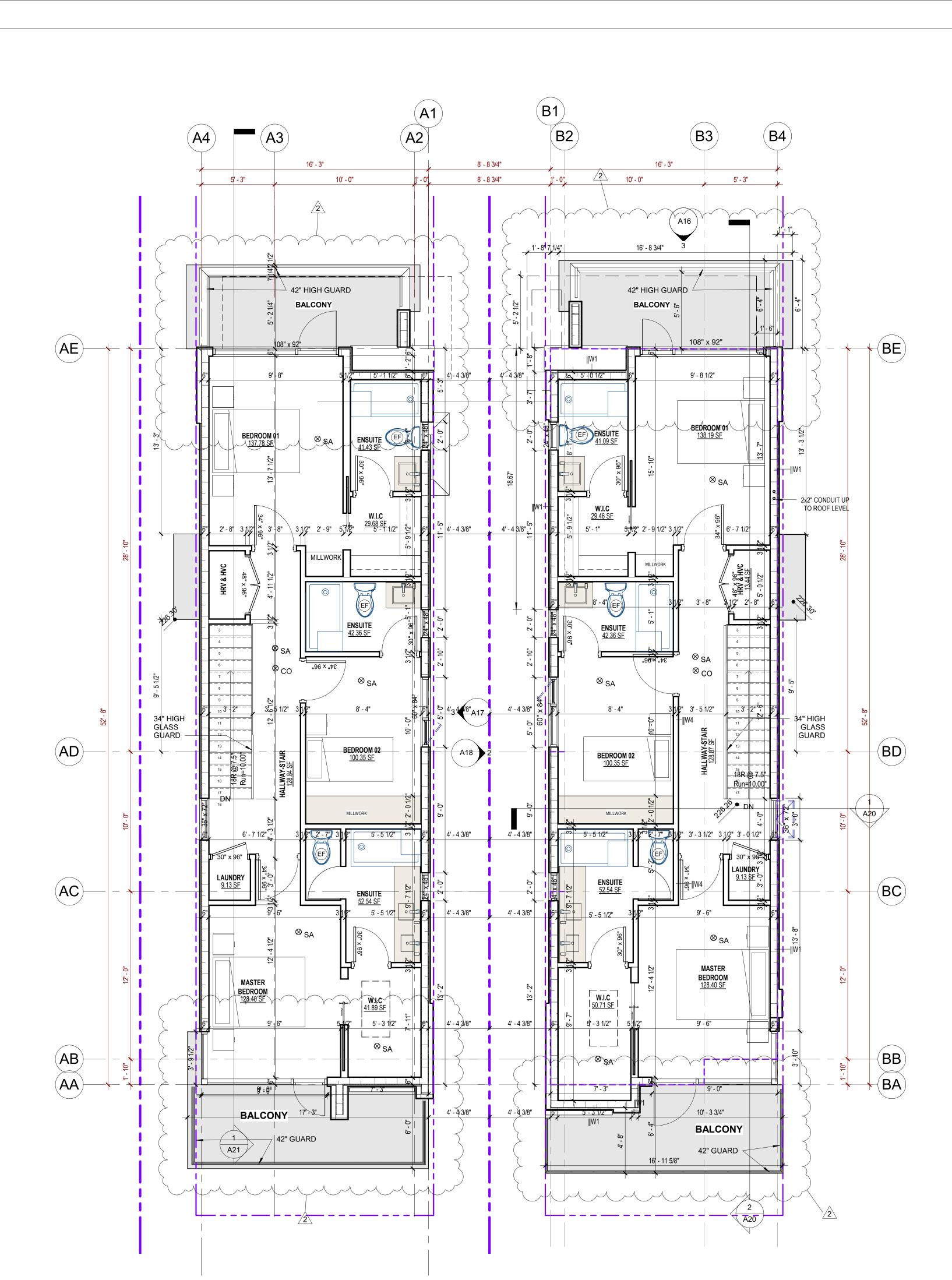
JULY 28, 2023 DRAWN 23279

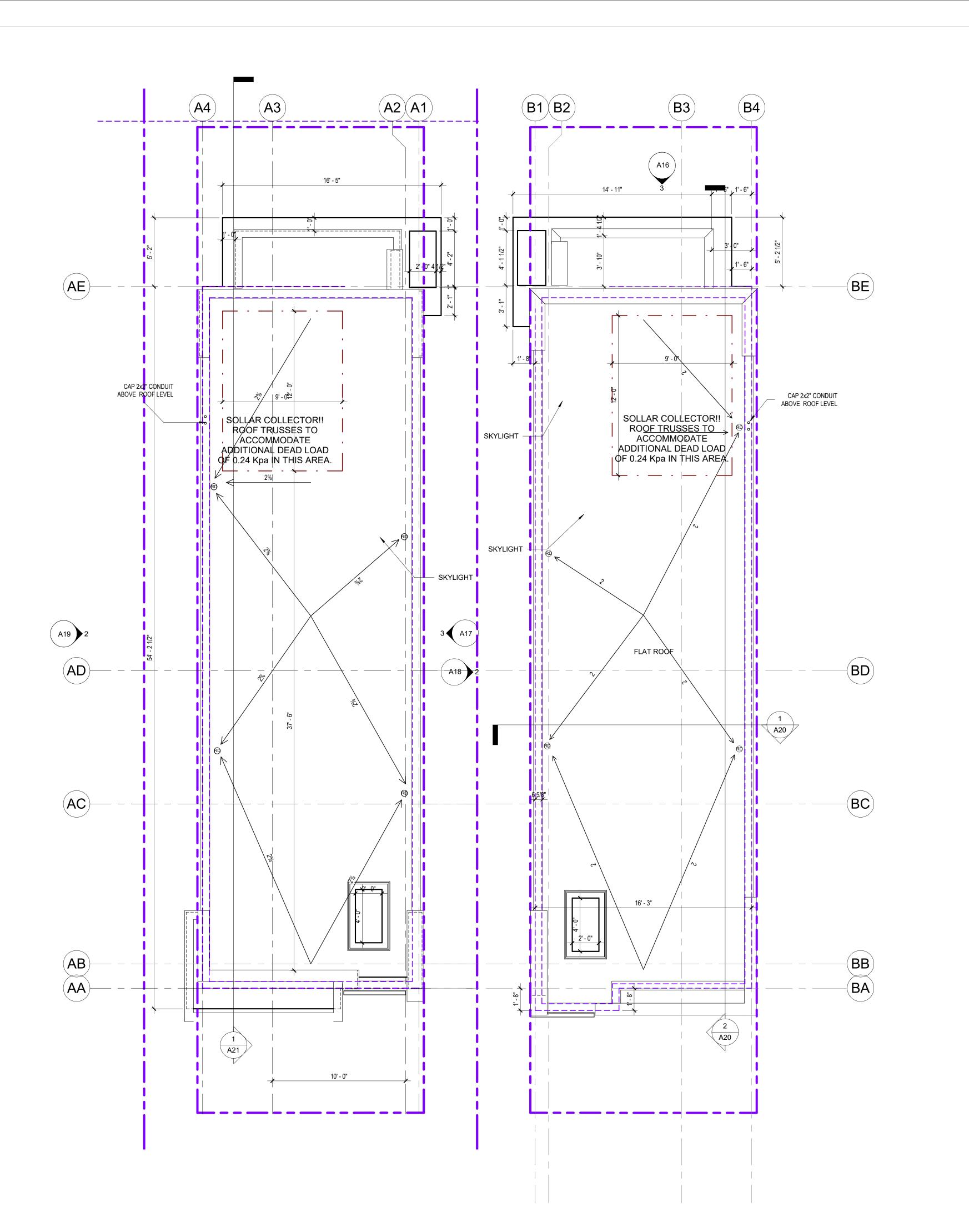
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A11

REVISION

REVIEWED







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DRAWING TITLE

BLDG.A&B-ROOF PLAN

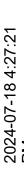
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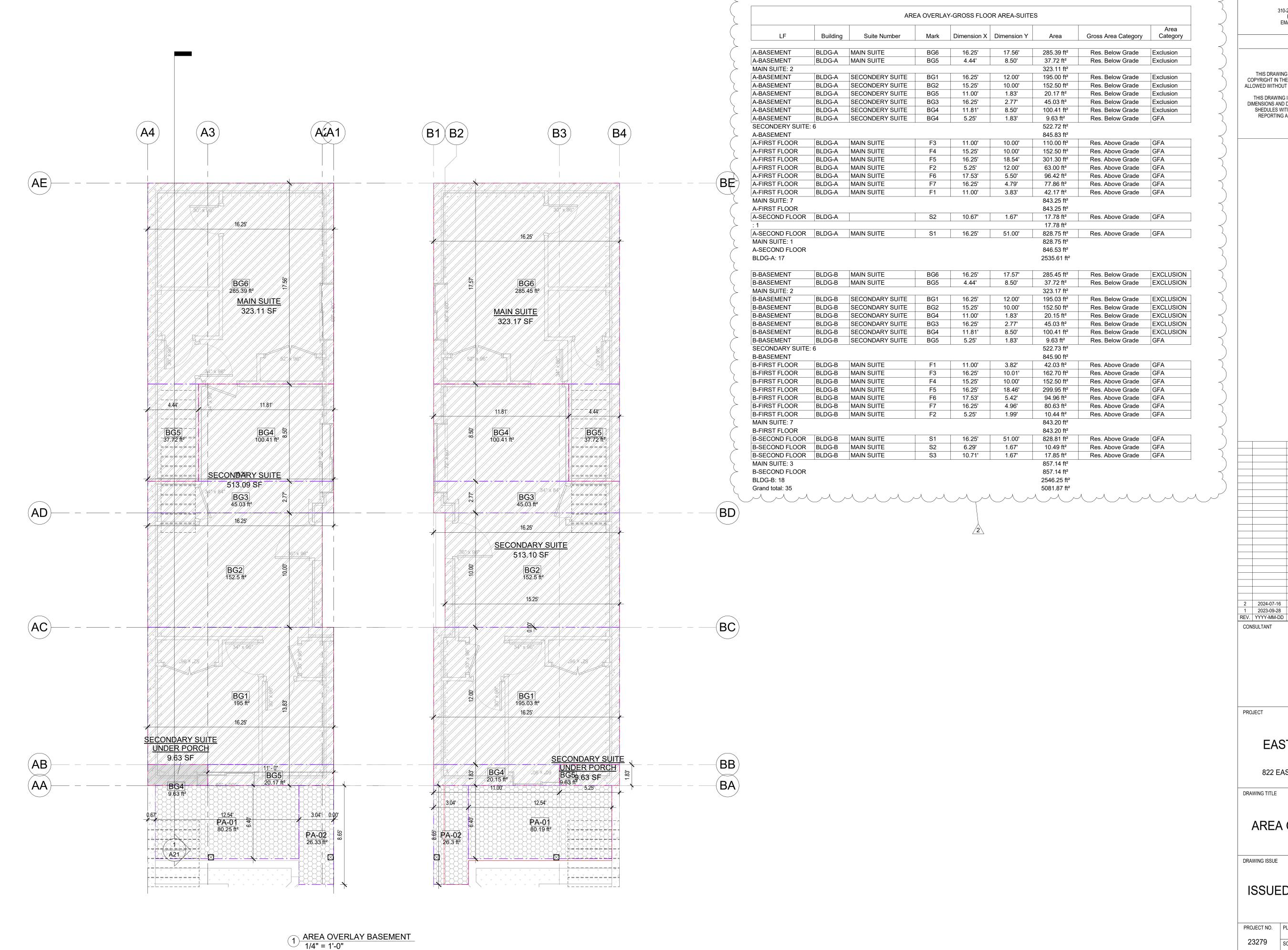
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JULY 28, 2023 DRAWN 1/4" = 1'-0" REVIEWED 23279

DRAWING NO.

A12





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AREA OVERLAY BASEMENT

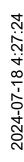
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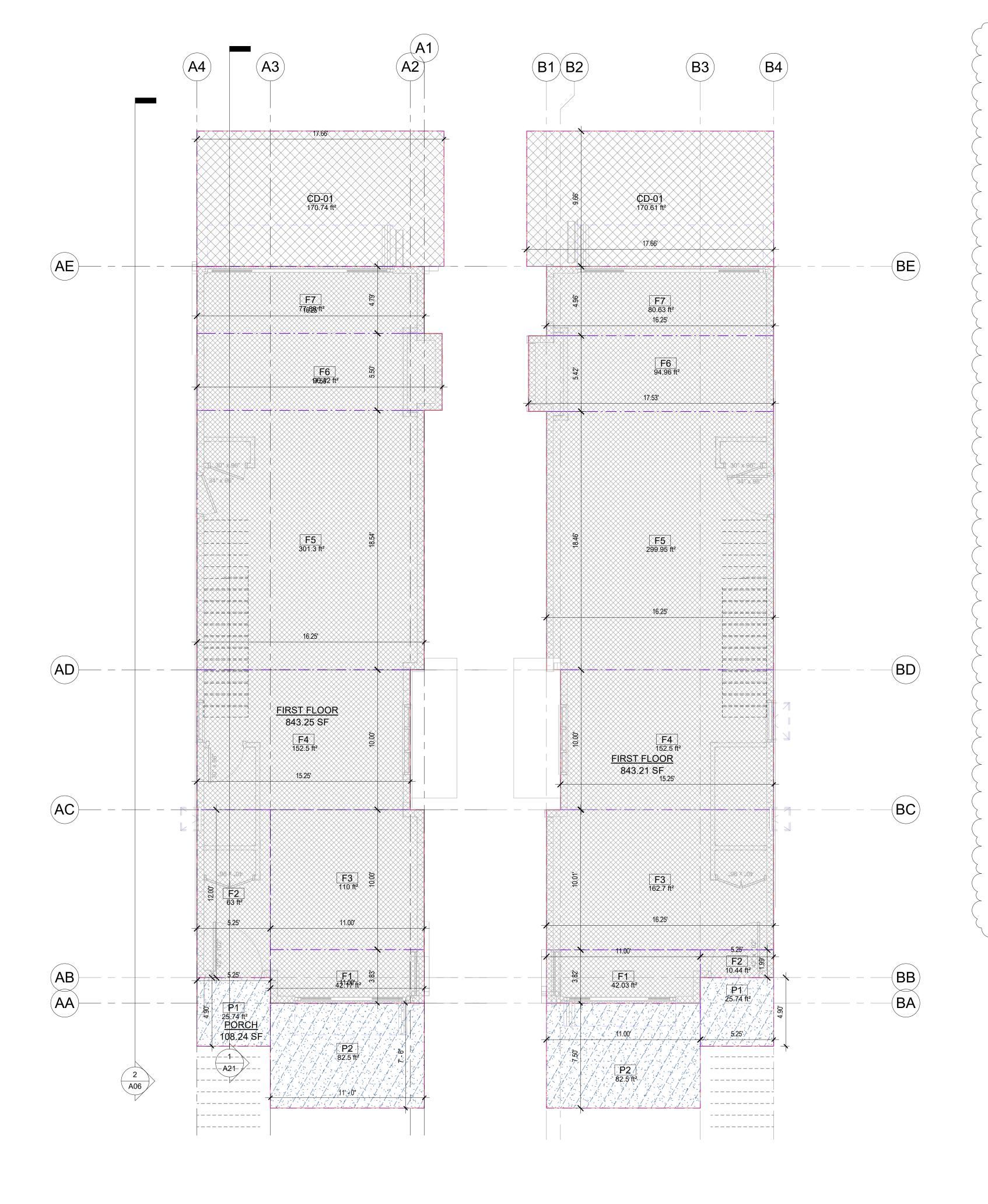
JULY 28, 2023 DRAWN
3279 SCALE 1/4" = 1'-0" REVIEWED Checker

DRAWING NO.

A13

3





2 AREA OVERLAY FIRST FLOOR 1/4" = 1'-0"

ML	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-BASEMENT	BLDG-A	BG4	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
					9.63 ft ²		
A-FIRST FLOOR	BLDG-A	F1	11.00'	3.83'	42.17 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F2	5.25'	12.00'	63.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F3	11.00'	10.00'	110.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F4	15.25'	10.00'	152.50 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F5	16.25'	18.54'	301.30 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F6	17.53'	5.50'	96.42 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F7	16.25'	4.79'	77.86 ft²	Res. Above Grade	GFA
					843.25 ft ²		
A-SECOND FLOOR	BLDG-A	S1	16.25'	51.00'	828.75 ft ²	Res. Above Grade	GFA
A-SECOND FLOOR	BLDG-A	S2	10.67'	1.67'	17.78 ft²	Res. Above Grade	GFA
					846.53 ft ²		
DI DO A 40							
BLDG-A: 10					1699.41 ft²		
B-BASEMENT	BLDG-B	BG5	5.25'	1.83'	1699.41 ft² 9.63 ft²	Res. Below Grade	GFA
	BLDG-B	BG5	5.25'	1.83'		Res. Below Grade	GFA
B-BASEMENT	BLDG-B	BG5 F1	5.25'	1.83' 3.82'	9.63 ft ²	Res. Below Grade Res. Above Grade	GFA GFA
B-BASEMENT B-FIRST FLOOR					9.63 ft ² 9.63 ft ²		
	BLDG-B	F1	11.00'	3.82'	9.63 ft ² 9.63 ft ² 42.03 ft ²	Res. Above Grade	GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B	F1 F2	11.00' 5.25'	3.82' 1.99'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ²	Res. Above Grade Res. Above Grade	GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B	F1 F2 F3	11.00' 5.25' 16.25'	3.82' 1.99' 10.01'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ²	Res. Above Grade Res. Above Grade Res. Above Grade	GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4	11.00' 5.25' 16.25' 15.25'	3.82' 1.99' 10.01' 10.00'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ²	Res. Above Grade Res. Above Grade Res. Above Grade Res. Above Grade	GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5	11.00' 5.25' 16.25' 15.25' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6	11.00' 5.25' 16.25' 15.25' 16.25' 17.53'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6	11.00' 5.25' 16.25' 15.25' 16.25' 17.53'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ² 80.63 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6 F7	11.00' 5.25' 16.25' 15.25' 16.25' 17.53' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42' 4.96'	9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ² 80.63 ft ² 843.20 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA GFA

1709.97 ft²

3409.38 ft²

BLDG-B: 11

Grand total: 21

				PENDAGE & EXCLUS						
Level	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category			
A-Garage Door	BLDG A	G-01	25.00'	11.00'	275.00 ft ²	Garage	Exclusion			
					275.00 ft ²					
A-STORAGE	BLDG A	ST-01	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion			
					275.00 ft ²					
BLDG A: 2					550.00 ft ²					
B-Garage Door	BLDG B	G-02	25.00'	11.00'	275.00 ft²	Garage	Exclusion			
					275.00 ft ²					
B-STORAGE	BLDG B	ST-02	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion			
					275.00 ft ²					
BLDG B: 2					550.00 ft ²					
A-BASEMENT	BLDG-A	PA-01	12.54'	6.40'	80.25 ft²	Patio	EXCLUSION			
A-BASEMENT	BLDG-A	PA-02	3.04'	8.65'	26.33 ft²	Patio	EXCLUSION			
					106.59 ft²					
A-FIRST FLOOR	BLDG-A	CD-01	17.66'	9.67'	170.74 ft²	Covered Deck	EXCLUSION			
	170.74 ft²									
A-FIRST FLOOR	BLDG-A	P1	5.25'	4.90'	25.74 ft ²	Porch	APPENDAGE			
A-FIRST FLOOR	BLDG-A	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE			
	<u> </u>			•	108.24 ft²		'			
A-SECOND FLOOR	BLDG-A	B1	15.80'	2.67'	42.14 ft ²	Balcony	APPENDAGE			
A-SECOND FLOOR	BLDG-A	B2	16.71'	3.33'	55.70 ft ²	Balcony	APPENDAGE			
A-SECOND FLOOR	BLDG-A	B3	1.00'	3.79'	3.79 ft ²	Balcony	APPENDAGE			
A-SECOND FLOOR	BLDG-A	B4	17.25'	6.00'	103.50 ft ²	Balcony	APPENDAGE			
					205.13 ft ²					
BLDG-A: 9					590.71 ft ²					
B-BASEMENT	BLDG-B	PA-01	12.54'	6.40'	80.19 ft²	Patio	EXCLUSION			
B-BASEMENT	BLDG-B	PA-02	3.04'	8.65'	26.30 ft ²	Patio	EXCLUSION			
		-	-	-	106.49 ft ²					
B-FIRST FLOOR	BLDG-B	CD-01	17.66'	9.66'	170.61 ft²	Covered Deck	EXCLUSION			
	<u> </u>				170.61 ft²		'			
B-FIRST FLOOR	BLDG-B	P1	5.25'	4.90'	25.74 ft ²	Porch	APPENDAGE			
B-FIRST FLOOR	BLDG-B	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE			
			<u> </u>		108.24 ft ²					
B-SECOND FLOOR	BLDG-B	B1	15.82'	2.67'	42.19 ft ²	Balcony	APPENDAGE			
B-SECOND FLOOR	BLDG-B	B2	16.73'	3.67'	61.34 ft ²	Balcony	APPENDAGE			
B-SECOND FLOOR	BLDG-B	B3	6.66'	4.67'	31.07 ft ²	Balcony	APPENDAGE			
B-SECOND FLOOR	BLDG-B	B4	10.31'	6.33'	65.31 ft ²	Balcony	APPENDAGE			
					199.91 ft²					
BLDG-B: 9					585.25 ft ²					

Inspired: Architecture

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REVIEW

2 2024-07-16 ISSUED FOR RS-2 REZONING
1 2023-09-28 ISSUED FOR PREDESIGN REVIEW
REV. YYYY-MM-DD REVISION / DRAWING ISSUE

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

CONSULTANT

AREA OVERLAY FIRST FLOOR

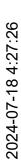
DRAWING ISSUE

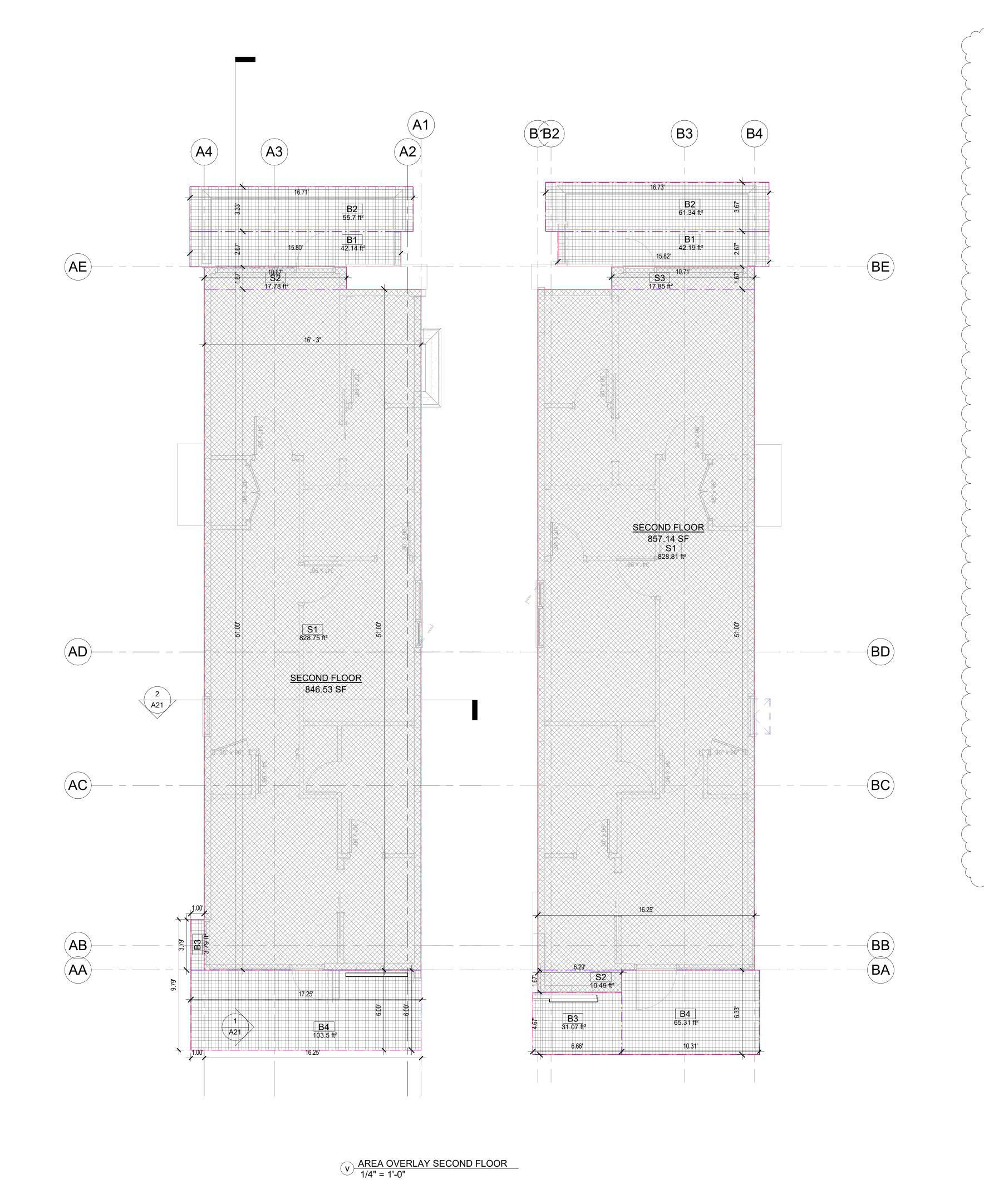
ISSUED FOR RS-2 REZONING

JULY 28, 2023 DRAWN PROJECT NO. PLOT DATE 23279 REVIEWED SCALE 1/4" = 1'-0"

DRAWING NO.

A14





ML	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-BASEMENT	BLDG-A	BG4	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
					9.63 ft ²		
A-FIRST FLOOR	BLDG-A	F1	11.00'	3.83'	42.17 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F2	5.25'	12.00'	63.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F3	11.00'	10.00'	110.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F4	15.25'	10.00'	152.50 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F5	16.25'	18.54'	301.30 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F6	17.53'	5.50'	96.42 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F7	16.25'	4.79'	77.86 ft ²	Res. Above Grade	GFA
	•				843.25 ft ²		•
A-SECOND FLOOR	BLDG-A	S1	16.25'	51.00'	828.75 ft ²	Res. Above Grade	GFA
A-SECOND FLOOR	BLDG-A	S2	10.67'	1.67'	17.78 ft ²	Res. Above Grade	GFA
BLDG-A: 10					846.53 ft ² 1699.41 ft ²		
BLDG-A: 10 B-BASEMENT	BLDG-B	BG5	5.25'	1.83'		Res. Below Grade	GFA
	BLDG-B	BG5	5.25'	1.83'	1699.41 ft²	Res. Below Grade	GFA
B-BASEMENT	BLDG-B	BG5	5.25'	1.83'	1699.41 ft² 9.63 ft²	Res. Below Grade Res. Above Grade	GFA GFA
B-BASEMENT B-FIRST FLOOR		1			1699.41 ft² 9.63 ft² 9.63 ft²		
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR	BLDG-B	F1	11.00'	3.82'	9.63 ft ² 9.63 ft ² 42.03 ft ²	Res. Above Grade	GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B	F1 F2	11.00' 5.25'	3.82' 1.99'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ²	Res. Above Grade Res. Above Grade	GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B	F1 F2 F3	11.00' 5.25' 16.25'	3.82' 1.99' 10.01'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ²	Res. Above Grade Res. Above Grade Res. Above Grade	GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4	11.00' 5.25' 16.25' 15.25'	3.82' 1.99' 10.01' 10.00'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ²	Res. Above Grade Res. Above Grade Res. Above Grade Res. Above Grade	GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5	11.00' 5.25' 16.25' 15.25' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ²	Res. Above Grade	GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6	11.00' 5.25' 16.25' 15.25' 16.25' 17.53'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6	11.00' 5.25' 16.25' 15.25' 16.25' 17.53'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ² 80.63 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6 F7	11.00' 5.25' 16.25' 15.25' 16.25' 17.53' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42' 4.96'	9.63 ft ² 9.63 ft ² 9.63 ft ² 42.03 ft ² 10.44 ft ² 162.70 ft ² 152.50 ft ² 299.95 ft ² 94.96 ft ² 80.63 ft ² 843.20 ft ²	Res. Above Grade	GFA GFA GFA GFA GFA GFA
	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6 F7	11.00' 5.25' 16.25' 15.25' 16.25' 17.53' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42' 4.96'	9.63 ft² 9.63 ft² 9.63 ft² 42.03 ft² 10.44 ft² 162.70 ft² 152.50 ft² 299.95 ft² 94.96 ft² 80.63 ft² 843.20 ft² 828.81 ft²	Res. Above Grade	GFA GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6 F7	11.00' 5.25' 16.25' 15.25' 16.25' 16.25' 17.53' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42' 4.96' 51.00'	9.63 ft² 9.63 ft² 9.63 ft² 42.03 ft² 10.44 ft² 162.70 ft² 152.50 ft² 299.95 ft² 94.96 ft² 80.63 ft² 843.20 ft² 828.81 ft² 10.49 ft²	Res. Above Grade	GFA GFA GFA GFA GFA GFA GFA GFA
B-BASEMENT B-FIRST FLOOR	BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B BLDG-B	F1 F2 F3 F4 F5 F6 F7	11.00' 5.25' 16.25' 15.25' 16.25' 16.25' 17.53' 16.25'	3.82' 1.99' 10.01' 10.00' 18.46' 5.42' 4.96' 51.00'	9.63 ft² 9.63 ft² 9.63 ft² 42.03 ft² 10.44 ft² 162.70 ft² 152.50 ft² 299.95 ft² 94.96 ft² 80.63 ft² 843.20 ft² 828.81 ft² 10.49 ft² 17.85 ft²	Res. Above Grade	GFA GFA GFA GFA GFA GFA GFA GFA

Level	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category		
A-Garage Door	BLDG A	G-01	25.00'	11.00'	275.00 ft²	Garage	Exclusion		
, Courage Book	1525071	0 0.	20.00	11.00	275.00 ft ²	- Carago	Exclusion		
A-STORAGE	BLDG A	ST-01	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion		
710101010	5250 X	0.0.	11.00	20.00	275.00 ft ²	02.11102/01010102	Exclusion		
BLDG A: 2					550.00 ft ²				
DED 0 7 1. 2					000.00 10				
B-Garage Door	BLDG B	G-02	25.00'	11.00'	275.00 ft ²	Garage	Exclusion		
`		1			275.00 ft ²				
B-STORAGE	BLDG B	ST-02	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion		
		1	-	1	275.00 ft ²				
BLDG B: 2					550.00 ft ²				
A-BASEMENT	BLDG-A	PA-01	12.54'	6.40'	80.25 ft ²	Patio	EXCLUSION		
A-BASEMENT	BLDG-A	PA-02	3.04'	8.65'	26.33 ft ²	Patio	EXCLUSION		
					106.59 ft ²				
A-FIRST FLOOR	BLDG-A	CD-01	17.66'	9.67'	170.74 ft ²	Covered Deck	EXCLUSION		
	170.74 ft²								
A-FIRST FLOOR	BLDG-A	P1	5.25'	4.90'	25.74 ft ²	Porch	APPENDAGE		
A-FIRST FLOOR	BLDG-A	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE		
					108.24 ft ²				
A-SECOND FLOOR	BLDG-A	B1	15.80'	2.67'	42.14 ft ²	Balcony	APPENDAGE		
A-SECOND FLOOR	BLDG-A	B2	16.71'	3.33'	55.70 ft ²	Balcony	APPENDAGE		
A-SECOND FLOOR	BLDG-A	B3	1.00'	3.79'	3.79 ft ²	Balcony	APPENDAGE		
A-SECOND FLOOR	BLDG-A	B4	17.25'	6.00'	103.50 ft ²	Balcony	APPENDAGE		
					205.13 ft ²				
BLDG-A: 9					590.71 ft ²				
B-BASEMENT	BLDG-B	PA-01	12.54'	6.40'	80.19 ft²	Patio	EXCLUSION		
B-BASEMENT	BLDG-B BLDG-B	PA-01 PA-02	3.04'	8.65'	26.30 ft ²	Patio	EXCLUSION		
D-DAGLIVILINI	DLDG-D	FA-02	3.04	0.03	106.49 ft ²	Fallo	LACLUSION		
B-FIRST FLOOR	BLDG-B	CD-01	17.66'	9.66'	170.61 ft²	Covered Deck	EXCLUSION		
D-I IKOT I LOOK	DLDO-D	CD-01	17.00	9.00	170.61 ft²	Covered Deck	LXCLOSION		
B-FIRST FLOOR	BLDG-B	P1	5.25'	4.90'	25.74 ft²	Porch	APPENDAGE		
B-FIRST FLOOR	BLDG-B	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE		
2	D2D0 D		11.00	7.50	108.24 ft²	1 01011	, LIND/ (OL		
B-SECOND FLOOR	BLDG-B	B1	15.82'	2.67'	42.19 ft²	Balcony	APPENDAGE		
B-SECOND FLOOR	BLDG-B	B2	16.73'	3.67'	61.34 ft²	Balcony	APPENDAGE		
B-SECOND FLOOR	BLDG-B	B3	6.66'	4.67'	31.07 ft ²	Balcony	APPENDAGE		
B-SECOND FLOOR	BLDG-B	B4	10.31'	6.33'	65.31 ft²	Balcony	APPENDAGE		
	22232		10.01	3.30	199.91 ft²	Baicony	, LIND, IOL		
BLDG-B: 9					585.25 ft²				
2220 5.0					000.20 10				

Grand total: 22

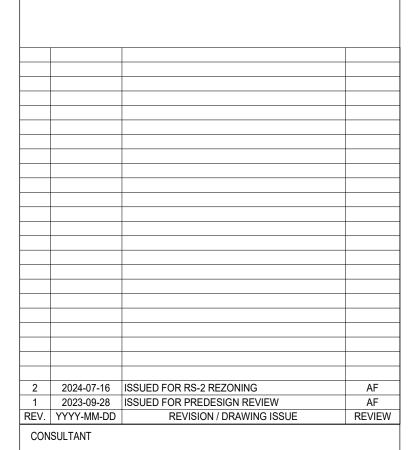
2275.96 ft²



310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088

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EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

AREA OVERLAY SECOND FLOOR

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

23279

JULY 28, 2023 DRAWN REVIEWED

DRAWING NO.

A15

237.34 PARAPET

235.35\ B-U/S of Roof

108" x/96"

234.26 U.W.Head

AZA1

A21

108" x 96";//

237.34 Flat Roof Ridge

235.35 U/S of Roof

234.26 U.W.Head

SPATIAL SEPARATION SCHEDULE BLDG A

SPRINKLERED BUILDING: NO

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE EXPOSING BUILDING CLOSEST WALL WITH WINDOW AREA /COMPARTMENT MAX. % % FACADE ALLOWED PROVIDED 21.29 | 191.34 | 17.78 | 502.06 | 46.64 | 100.00% | 38.11% NORTH 336.17 69.85
 SOUTH
 495.01
 45.99
 65.07
 19.83
 221.29
 20.56
 495.01
 45.99
 100.00%
 44.70%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOV	V AREA	FACE SE /COMPAI		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1507.25	140.03	4.36	1.33	99.03	9.20	1507.25	140.03	7.00%	6.57%
WEST	1106.79	102.82	4.38	1.34	72.43	6.73	1106.79	102.82	7.00%	6.54%

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE

SEPARATION SCHEDULE BLDG B	SPRINKLERED BUILDING: 1

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	336.17	31.23	69.86	21.29	191.34	17.78	336.17	31.23	100.00%	56.92%
SOUTH	495.01	45.99	65.22	19.88	221.29	20.56	495.01	45.99	100.00%	44.70%

9.10.15.4 G	LAZED OF	PENING IN	EXPOSING	BUILDING	FACE

FACADE	EXPOSING FACE		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1139.08	105.82	4.38	1.34	76.95	7.15	1139.08	105.82	7.00%	6.76%
WEST	1507.81	140.08	4.37	1.33	103.13	9.58	1507.81	140.08	7.00%	6.84%

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE

2024-07-16 ISSUED FOR RS-2 REZONING 2023-09-28 ISSUED FOR PREDESIGN REVIEW REVISION / DRAWING ISSUE REV. YYYY-MM-DD CONSULTANT

Inspired: Architecture

310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088

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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG.A&B SOUTH AND NORTH ELEVATIONS

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO. PLOT DATE JULY 28, 2023 23279

1/4" = 1'-0" DRAWING NO.

A16

REVIEWED

Checker

REVISION

3 BLDG B-North Elevation 1/4" = 1'-0"

1 BLDG.A-North Elevation 1/4" = 1'-0"

Instired: Architecture

SPRINKLERED BUILDING: NO

/COMPARTMENT MAX. % %

ALLOWED PROVIDED

SPATIAL SEPARATION SCHEDULE BLDG A

FACE AREA

FACADE

EXPOSING BUILDING LIMITING DISTANCE TO

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

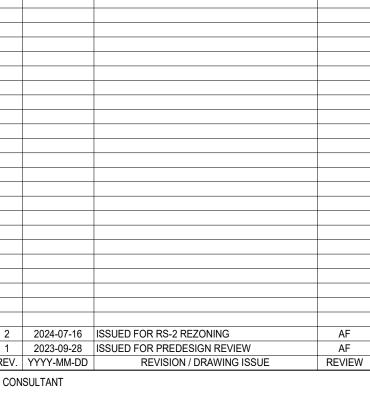
CLOSEST WALL WITH | WINDOW AREA

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EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG.A- EAST & WEST **ELEVATIONS**

DRAWING ISSUE

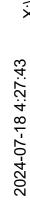
ISSUED FOR RS-2 REZONING

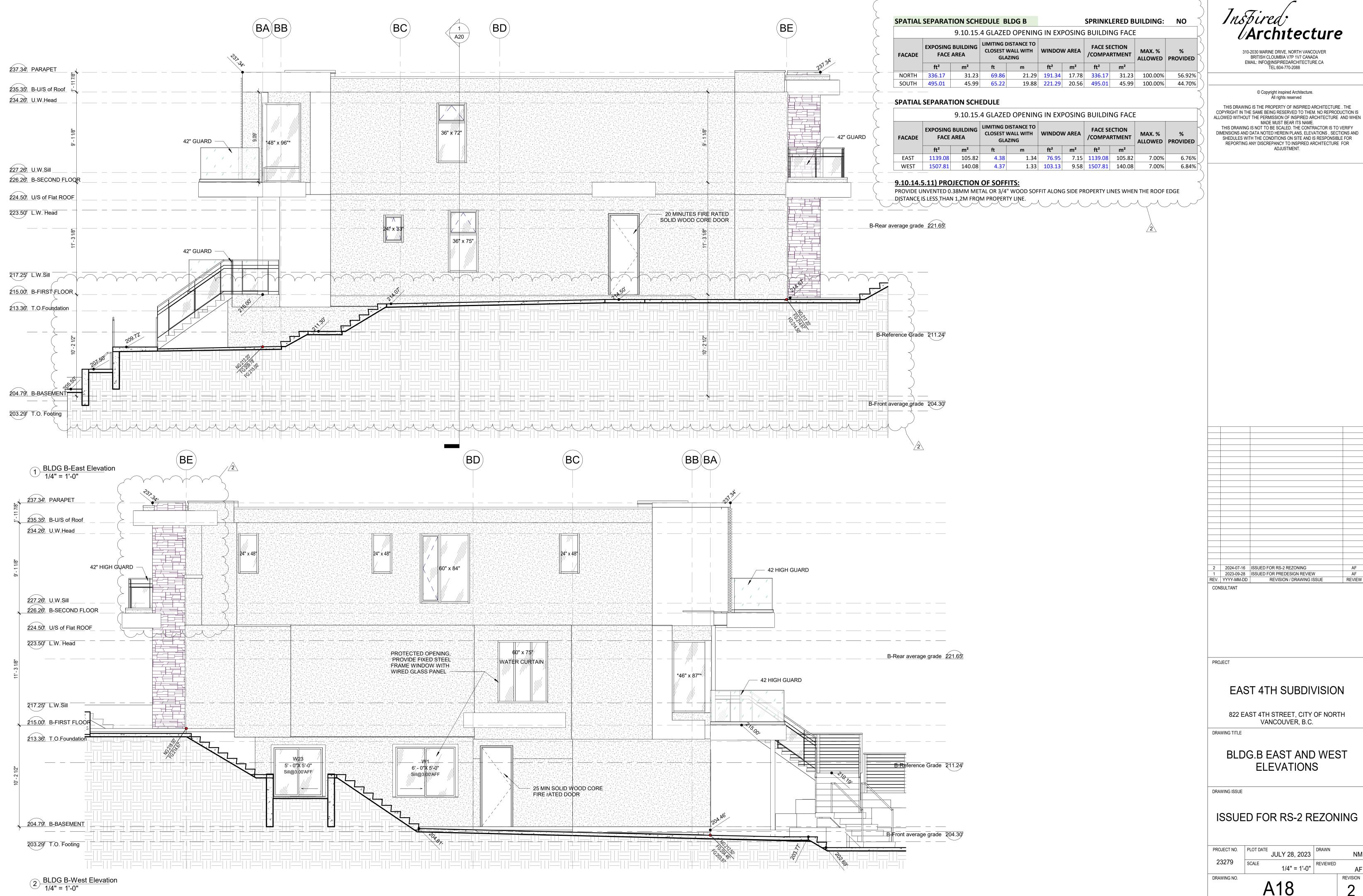
JULY 28, 2023 23279 REVIEWED

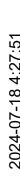
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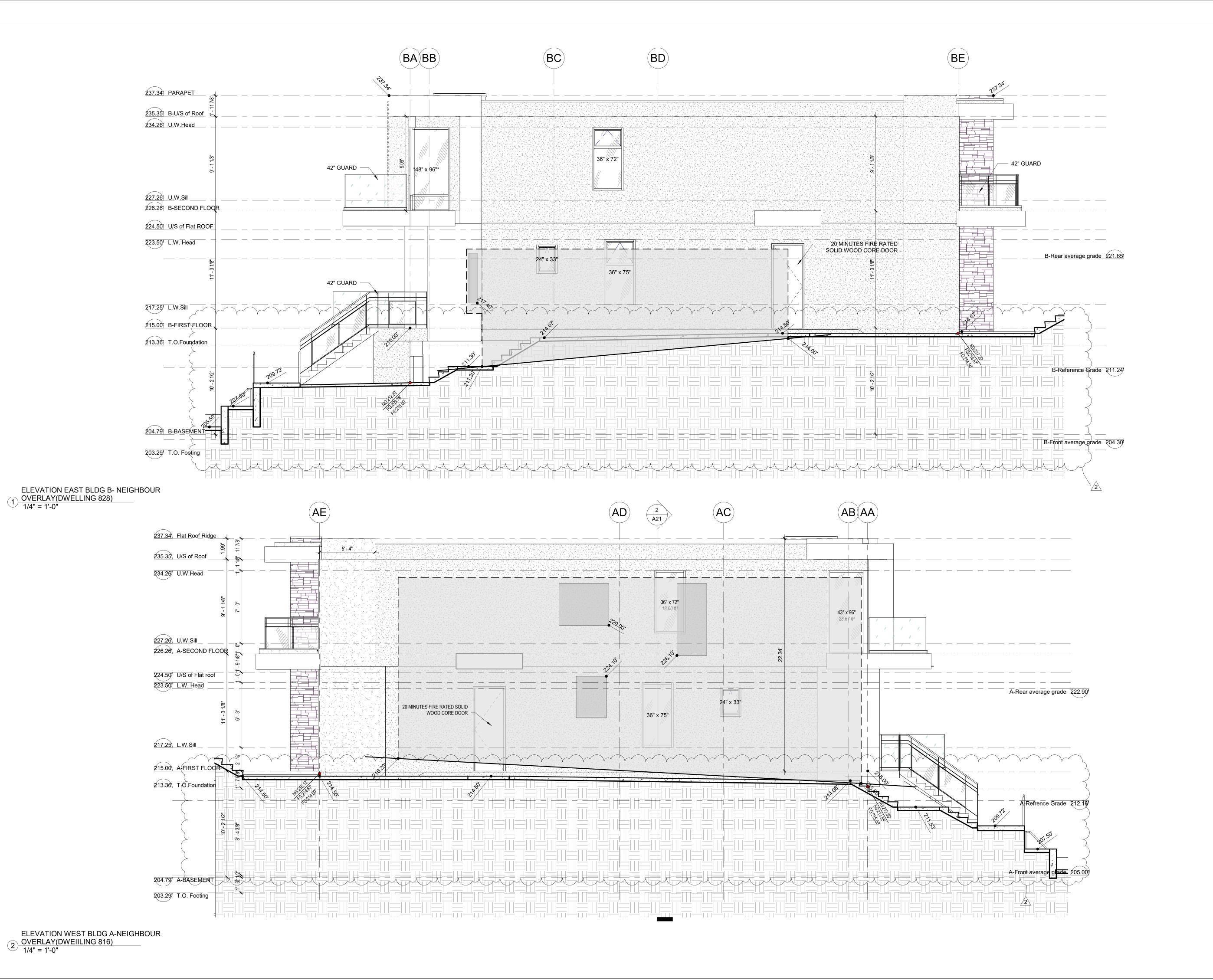
A17









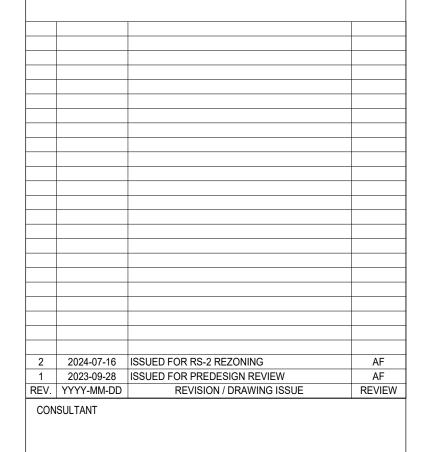




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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

ELEVATIONS-EAST & WEST NEIGHBOUR OVERLAY

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

JULY 28, 2023 23279 REVIEWED

DRAWING NO.

REVISION

Checker

A19

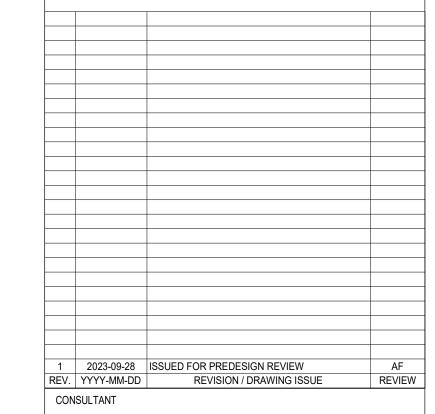




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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG-B SECTIONS

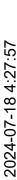
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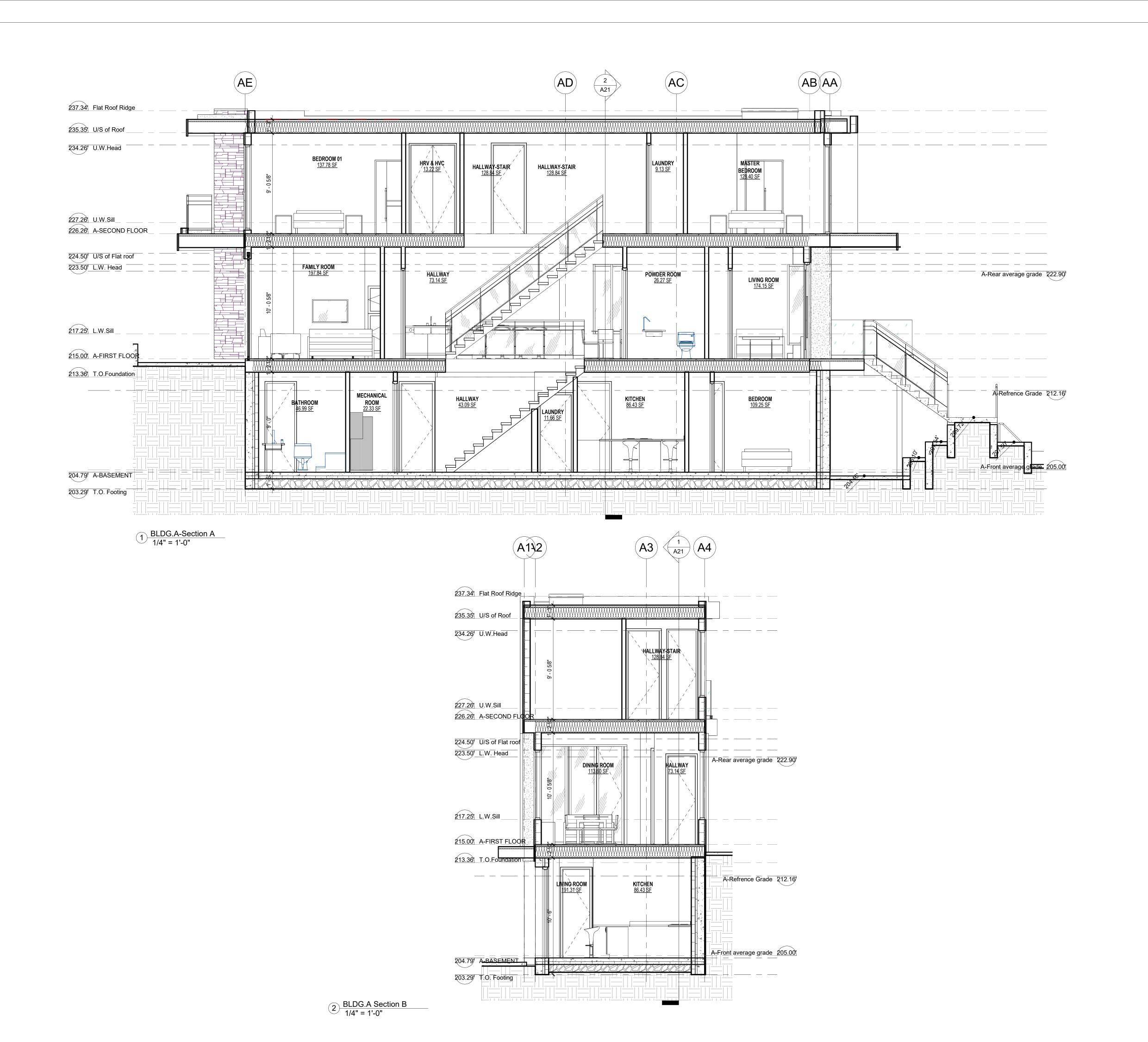
ISSUED FOR PREDESIGN **REVIEW**

PROJECT NO. PLOT DATE JULY 28, 2023 DRAWN 1/4" = 1'-0" REVIEWED 23279 SCALE

DRAWING NO.

A20



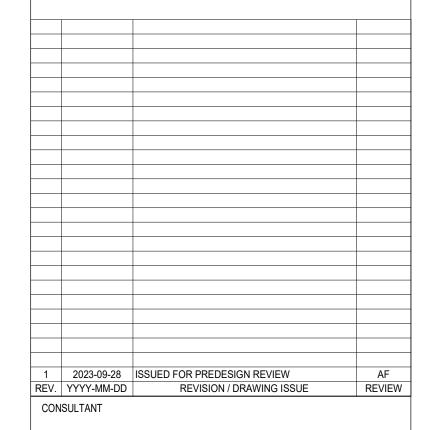




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PROJE

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

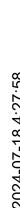
BLDG- A SECTIONS

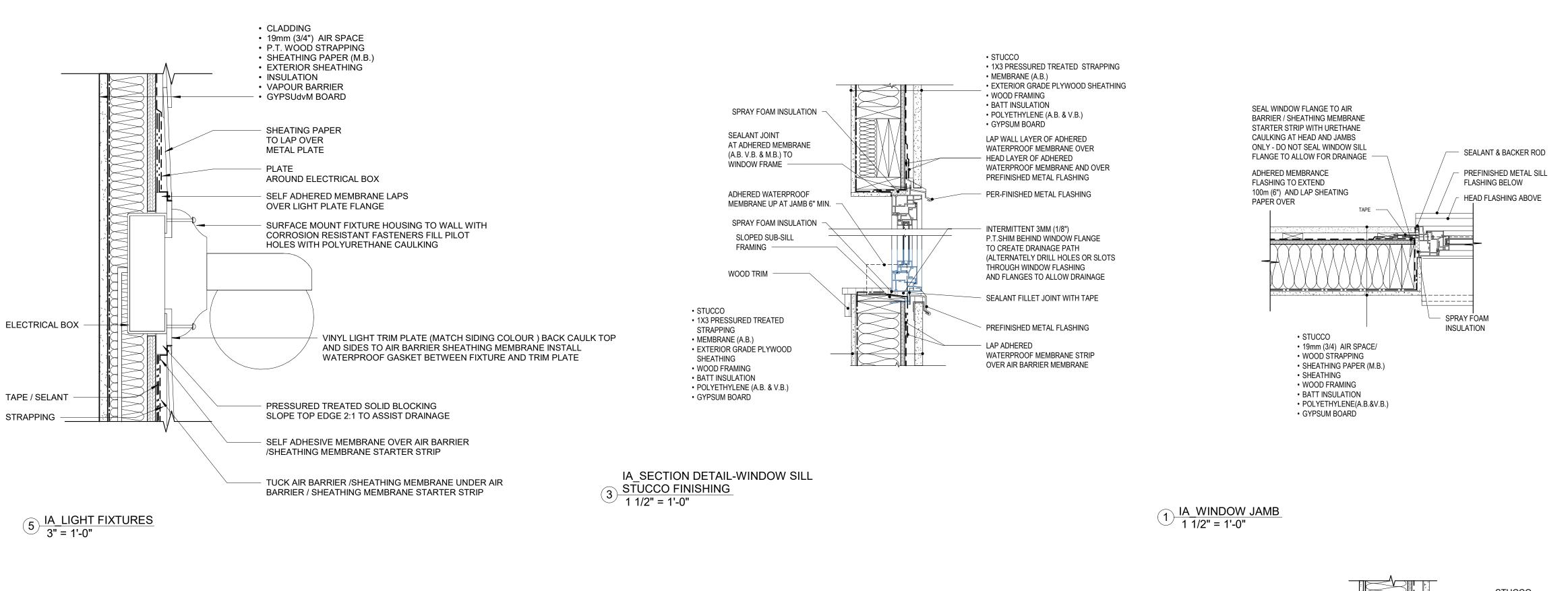
DRAWING ISSUE

ISSUED FOR PREDESIGN REVIEW

PROJECT NO. | PLOT DATE | JULY 28, 2023 | DRAWN | NM |
23279 | SCALE | 1/4" = 1'-0" | REVIEWED | AF |
DRAWING NO. | REVISION

A21





STUCCO

SEAL POLYETHYLENE (A.B. &V.B.)

SEAL POLYETHYLENE (A.B. & V.B.)
TO HOUSEWRAP

IA_EXHAUST VENT-sealed polyethylene

TO HOUSEWRAP (A.B.)

FLOOR FINISH ON

SEALANT JOINT AT VENT DUCT

AIR SEAL DUCT JOINT

TO HOUSEWRAP (A.B.)

CONCRETE TOPPING

P.T. WOOD

SHEATHING

WOOD FRAMING

BATT INSULATION

GYBSUM BOARD

ROD AND SEALANT

SPRAY FOAM

19mm (3/4") AIR SPACE

SHEATHING PAPER (M.B.)

POLYETHYLENE (A.B. & V.B.)

SEMI-RIGID INSULATION

AT PERIMETER OF HOOD

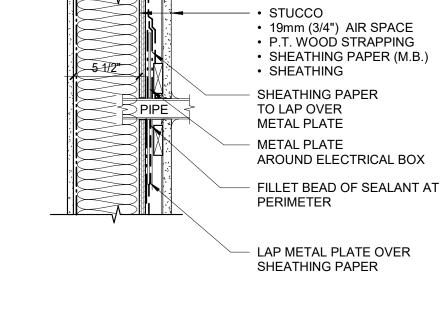
ROD AND SEALANT

50 mm (2") CONTINUOUS FLANGE

FLANGÈ

100mm (4")

FLANGE



• 19mm (3/4") AIR SPACE

P.T. WOOD STRAPPING

SHEATHING

WOOD FRAMING

BATT INSULATION

GYPSUM BOARD

SHEATHING PAPER

SHEATHING PAPER

ROD AND SEALANT

STAINLESS STEEL

PILOT HOLES WITH

SHEATHING PAPER (M.B.)

POLYETHYLENE (A.B. & V.B.)

PREFINISHED METAL FLASHING

GASKETTED FASTENERS FILL

URETHANE SELANT DO NOT

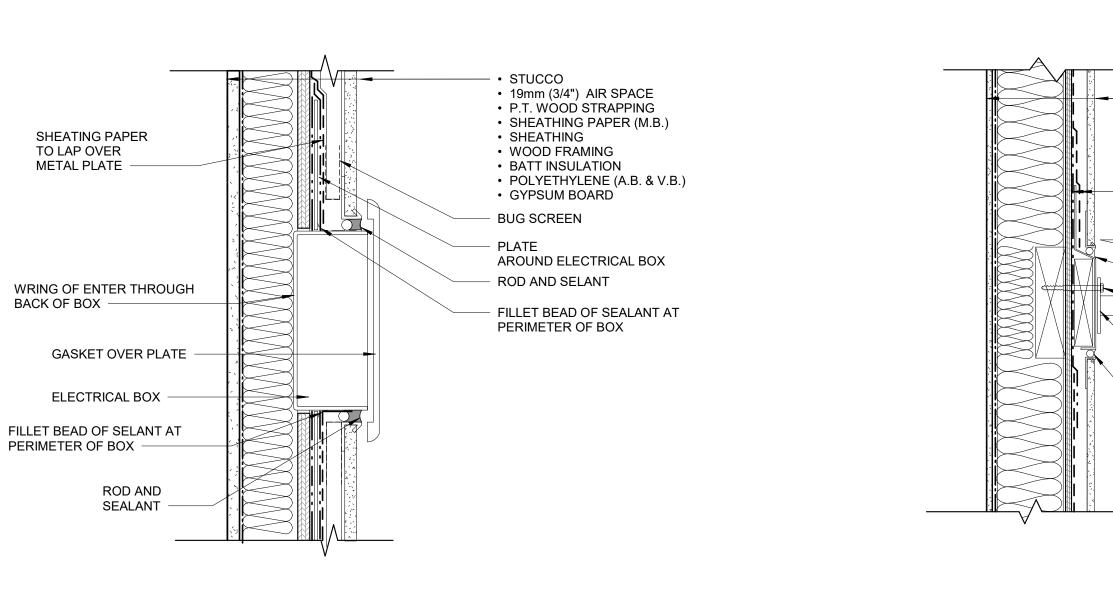
OVERTIGHTEN &COMPRESS

PAINTED METAL RAILING
PREFINISHED METAL FLASHING

P.T. WOOD BLOCKING

SHEATING PAPER

ROD AND SEALANT



6 IA_ELECTRICAL FIXTURES
3" = 1'-0"

4 IA_RAILING ATTACHMENT AT WALL
1 1/2" = 1'-0"

2 IA-PENETRATION PIPES 1 1/2" = 1'-0"



310-2030 MARINE DRIVE, NORTH VANCOUVER BRITISH CLOUMBIA V7P 1V7 CANADA EMAIL: INFO@INSPIREDARCHITECTURE.CA TEL:604-770-2088

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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

STANDARD DETAILS

DRAWING ISSUE

ISSUED FOR PREDESIGN REVIEW

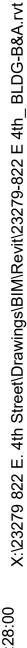
PROJECT NO. PLOT DATE JULY 28, 2023 DRAWN

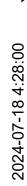
23279 SCALE As indicated REVIEWED

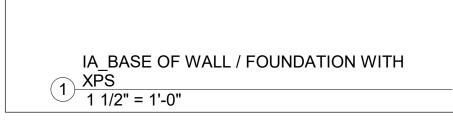
DRAWING NO.

REVISION

024-07-18 4 M







IA_DOOR SILL /DECK OVER LIVING

MIN. 10mm (3/8) GAP

MIN. 6mm (1/4") GAP BETWEEN SLAB AND

CONCRETE SLAB (A.B.)

POLYETHYLENE

UNDISTURBED SOIL

(M.B. & V.B.)

GRAVEL

FOUNDATION WALL FILLED WITH

AND POLYETHYLENE AGAINST WALL

POLYETHYLENE (V.B. & M.B.)

ASPHALT-IMPREGNATED FIBREBOARD

DRAINAGE PIPE WITH

் FILTER CLOTH WRAP ्रै 🔩

INU

PLASTIC DRAINAGE COMPOSITE

CONCRETE FOUNDATION WALL (A.B.)

EXTEND DAMPROOFING TO EDGE OF

FOOTING AND UNDER WALL

2" CONTINUOUS XPS INSULATION

DAMPROOFING

WOOD STUDS WITH

POLYETHYLENE (V.B.) GYPSUM BOARD

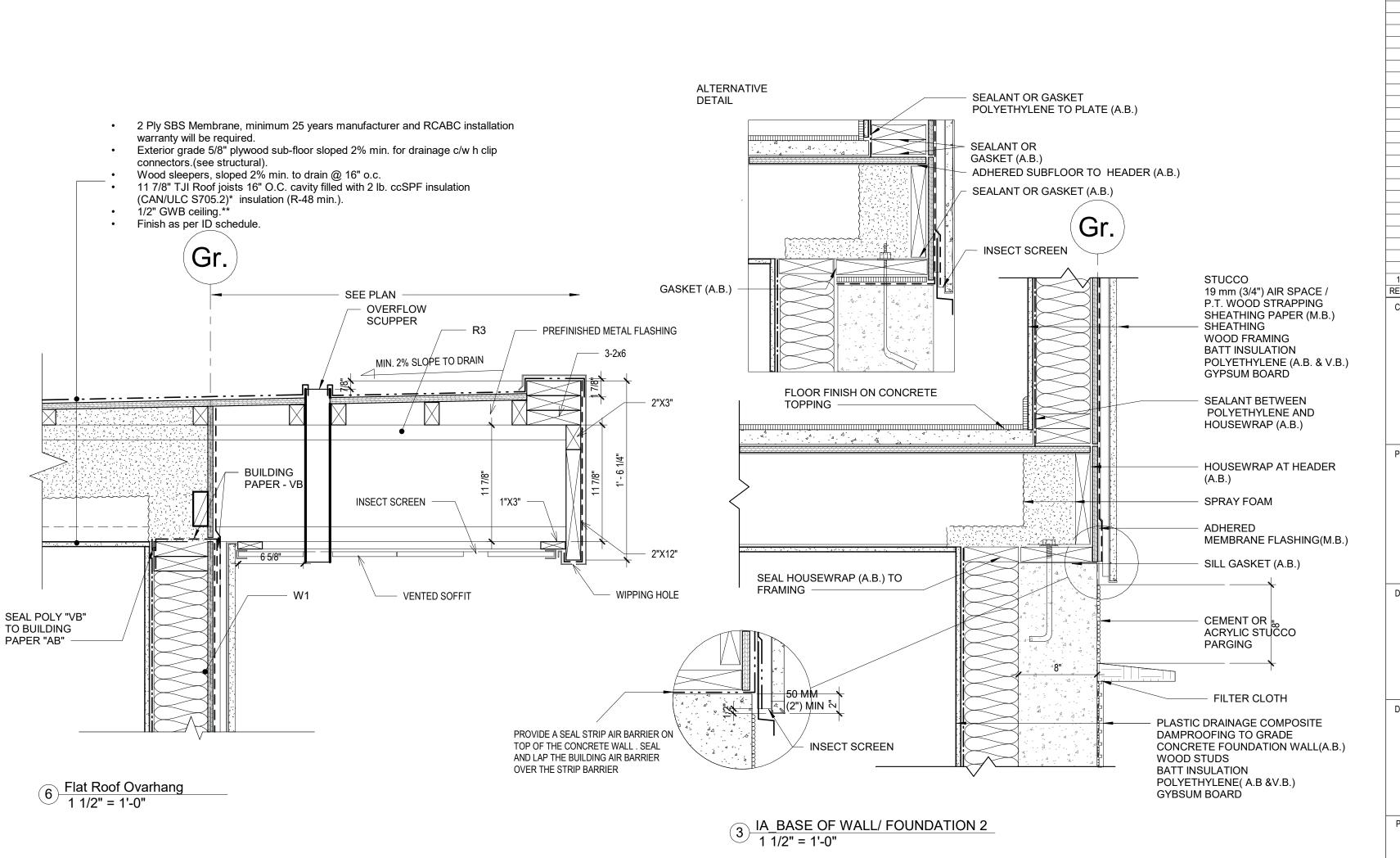
P.T. SILL PLATE BATT INSULATION



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2023-09-28 ISSUED FOR PREDESIGN REVIEW REVISION / DRAWING ISSUE REV. YYYY-MM-DD REVIEW CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

SECTION DETAILS

DRAWING ISSUE

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PROJECT NO. PLOT DATE JULY 28, 2023 23279 SCALE REVIEWED 1 1/2" = 1'-0" REVISION DRAWING NO.