

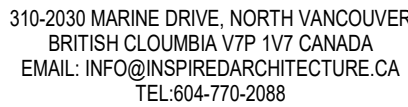
LOT 16 BLOCK 16 DISTRICT LOTS 273, NEW
WESTMINSTER DISTRICT PLAN 1063
PROPOSED LOTS A & B (PLAN EPP127829)
CIVIC ADDRESS:

ISSUED FOR PREDESIGN REVIEW
SEP 28, 2023

Number	Sheet Name	Current Revision	Current Revision Date
A01	COVER PAGE	1	2023-09-28
A02	CONTEXT PLAN	1	2023-09-28
A02-1	ACCESSIBILITY ANALYSIS	1	2023-09-28
A04	SITE PLAN	2	2024-07-16
A05	SITE LOT COVERAGE	2	2024-07-16
A06	RETAINING WALL- EAST & WEST ELEVATION	2	2024-07-16
A07	BLDG.A- ACCESSORY BUILDING	1	2023-09-28
A08	BLDG.B- ACCESSORY BUILDING	1	2023-09-28
A09	BLDG.A & B- BASEMENT FLOOR PLAN	1	2023-09-28
A10	BLDG.A&B LEVEL 1 FLOOR PLAN	2	2024-07-16
A11	BLDG.A&B-LEVEL 2 FLOOR PLAN	2	2024-07-16
A12	BLDG.A&B- ROOF PLAN	1	2023-09-28
A13	AREA OVERLAY BASEMENT	2	2024-07-16
A14	AREA OVERLAY FIRST FLOOR	2	2024-07-16
A15	AREA OVERLAY SECOND FLOOR	2	2024-07-16
A16	BLDG.A&B SOUTH AND NORTH ELEVATIONS	2	2024-07-16
A17	BLDG.A- EAST & WEST ELEVATIONS	2	2024-07-16
A18	BLDG.B EAST AND WEST ELEVATIONS	2	2024-07-16
A19	ELEVATIONS-EAST & WEST NEIGHBOUR OVERLAY	2	2024-07-16
A20	BLDG-B SECTIONS	1	2023-09-28
A21	BLDG- A SECTIONS	1	2023-09-28

ALL WORK AND MATERIAL SHALL COMPLY WITH 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE

A 3D architectural rendering of a modern, two-story house with a grey facade and large windows, set in a landscaped yard with green grass, trees, and a sidewalk. A person is walking a dog on the sidewalk, and another person is standing near the entrance. The house is surrounded by lush greenery and a clear blue sky.



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CONSULTANT			

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

DRAWING TITLE

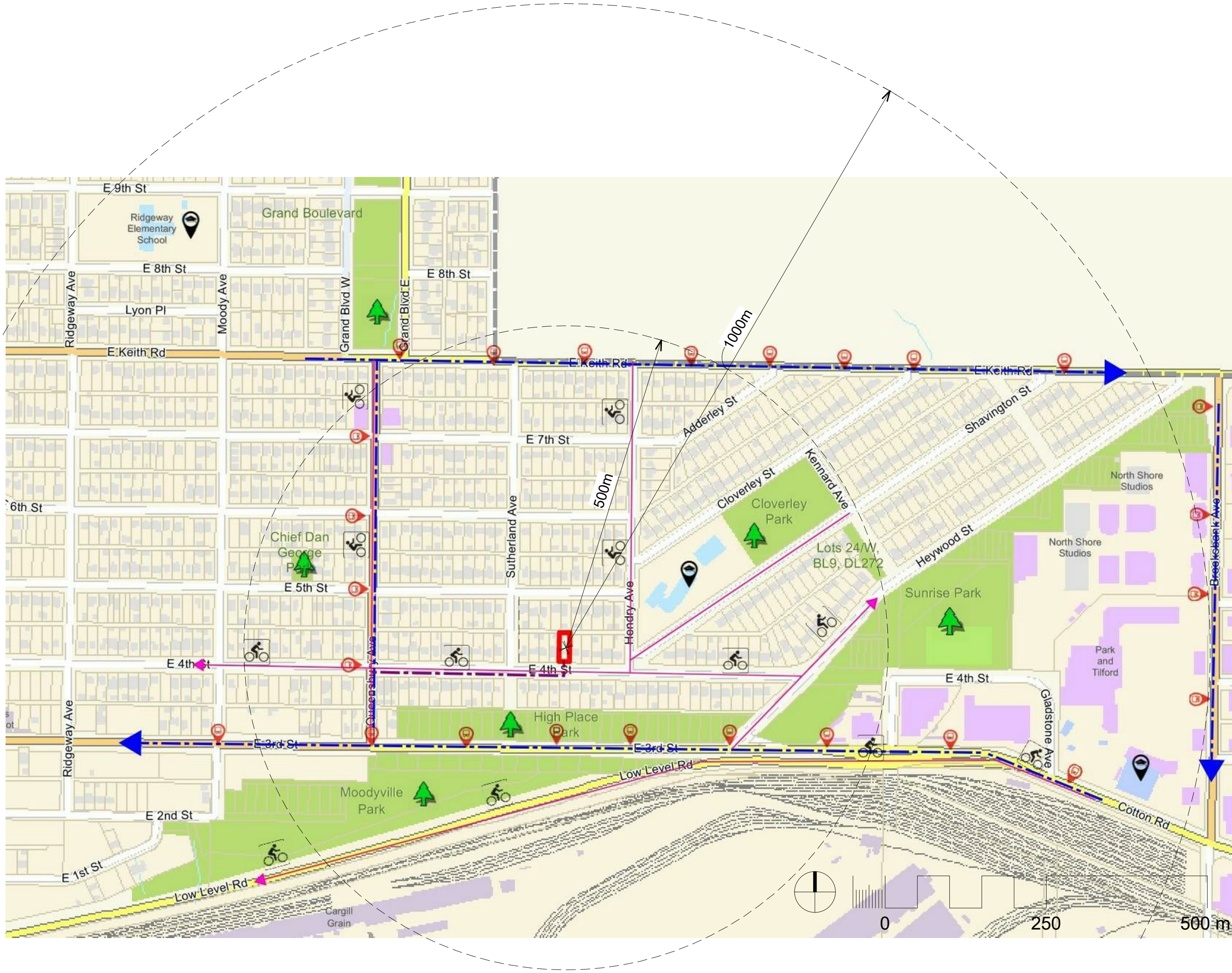
COVER PAGE

DRAWING ISSUE

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PROJECT NO. 23279	PLOT DATE JULY 28, 2023	DRAWN NM
	SCALE 1/4" = 1'-0"	REVIEWED AF
DRAWING NO. A01		REVISION 1

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① ACCESSIBILITY ANALYSIS
1 : 5000

-  SCHOOL
-  PARK
-  BIKE ROUTE
-  SHOPPING
-  BUS STOP
-  BUS ROUTE
-  PEDESTRIAN ROUTE

1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
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PROJECT

EAST 4TH SUBDIVISION

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VANCOUVER, B.C.

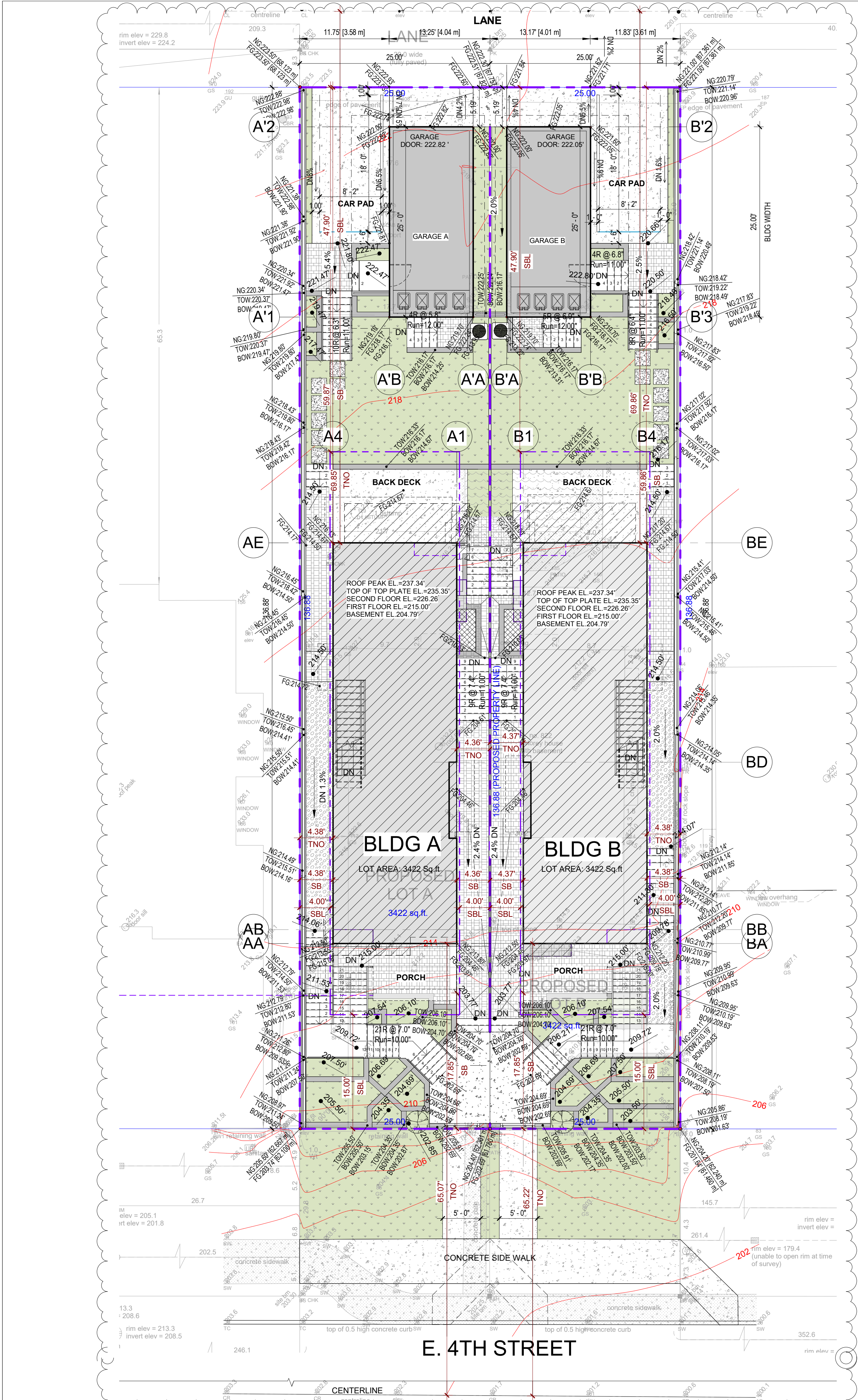
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ACCESSIBILITY ANALYSIS

DRAWING ISSUE

ISSUED FOR PREDESIGN
REVIEW

PROJECT NO.	PLOT DATE	DRAWN	Author
23279	JULY 28, 2023	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	
A02-1	1 : 5000	1	



Abbreviation LEGEND

Bottom of Wall	BOW
Carbon Monoxide detector	CO
Driveway Segment	DS
Electrical Fireplace	FP
Exhaust Fan	EF
Existing	EX
Fire Pit	FP
Floor Drain	FD
Gas Fireplace	GFP
High guard	HG
High Handrail	HH
Lot Width	LW
Lower Window Head	LWH
Property Line	PL
Proposed	PR
Ramp Segment	RS
Roof Drain	RD
Setback	SB
Setback line	SBL
Slope down	SDW
Slope up	SUP
Smoke Alarm	SA
To Cladding	TNO
To Foundation	TFND
To Nearest opening	TNO
To Road Center line	TRCL
Top of	TO
Top of Slab	TOS
Top of Wall	TOP
Trench Drain	TD
Under Side of	U/S
Upper Window Head	UWH

SITE PLAN LINE TYPES

PROPERTY LINE	---
SETBACK LINE	- - -
LEVEL 1 OUTLINE	---
LEVEL 2 OUTLINE	- - -
ROOF OUTLINE	---
ROOF OVERHANG OUTLINE	- - -
FENCE	- . - . -

SITE PLAN MATERIAL LEGEND

	RETAINING WALL
	CONCRETE SLAB / PAVER
	ASPHALT
	SAND
	GARDEN / LAWN
	LIGHTWELL
	GRAVEL

LOT "A" (WEST)

BUILDING ANALYSIS									
CIVIC ADDRESS:	822 EAST 4TH STREET, NORTH VANCOUVER, B.C.								
LEGAL DESCRIPTION:	LOT 16 BLOCK 16 DISTRICT LOT 273 PLAN 1063								
ZONE:	RS1-22								
LOT AREA:	3422								
LOT WIDTH	25								
USAGE	TWO-UNIT REIDENTIAL ZONE								
	ALLOWED			PROPOSED			COMMENTS		
	IMPERIAL	METRIC		IMPERIAL	METRIC				
FLOOR SPACE RATIO	1711	ft²	158.96	m²	1,699.41	ft²	157.88	m²	DECK AND COVERD PORCH NOT INCLUDED
FIRST FLOOR AREA	---	ft²		m²	843.25	ft²	78.34	m²	
UPPER FLOOR AREA	---	ft²		m²	846.53	ft²	78.65	m²	
BELOW GRADE FLOOR AREA	EXCLUDED	ft²		m²	845.83	ft²	78.58	m²	9.63 ft²countable FSR included
TOTAL LIVING SPACE					2535.61	ft²	235.57	m²	
PRINCIPAL BUILDING COVERAGE	30.00%	%	0.30	%	25.22%	%	25.22%	%	
COMBINED LOT COVERAGE	40.00%	%	0.40	%	39.92%	%	39.92%	%	INCLUDES ACCESSORY BUILDING,DECK ,AND COVERED PORCH
PORCHES	---	ft²		m²	108.24	ft²	10.06	m²	
DECKS	---	ft²		m²	0.00	ft²	0.00	m²	INCLUDES DECKS WITH 1m HIGH ABOVE GRADE
BALCONY	---	ft²		m²	205.25	ft²	19.07	m²	
APPENDAGE	---	ft²		m²	313.49	ft²	29.12	m²	
FRONT YARD	15	ft	4.57	m	17.85	ft	5.44	m	
SIDE YARD-EAST	4	ft	1.22	m	4.36	ft	1.33	m	
SIDE YARD-WEST	4	ft	1.22	m	4.38	ft	1.34	m	
REAR YARD	47.9	ft	14.60	m	59.87	ft	18.25	m	0.35 times the Lot Depth
ACCESSORY BUILDING	342	ft²	31.77	m²	275	ft²	25.55	m²	(0.1 times the Lot Area) EXCLUDING BASEMENT STORAGE
BLDG A AVERAGE FRONT	205	ft	62.48	m	203.21	ft	61.94	m	
BLDG A AVERAGE REAR	222.9	ft	67.94	m	223.00	ft	67.97	m	
REFERENCE GRADE	212.16	ft	64.67	m	212.16	ft	64.67	m	
MINIMUM FIRST STOREY LEVEL	214.66	ft	65.43	m	215.00	ft	65.53	m	
TOP PLATE	238.36	ft	72.65	m	235.35	ft	71.73	m	
ROOF RIDGE	245.16	ft	74.72	m	237.34	ft	72.34	m	

LOT "B" (WEST)

BUILDING ANALYSIS									
CIVIC ADDRESS:	822 EAST 4TH STREET, NORTH VANCOUVER, B.C.								
LEGAL DESCRIPTION:	LOT 16 BLOCK 16 DISTRICT LOT 273 PLAN 1063								
ZONE:	RS1 TO RS2								
LOT AREA:	3422								
LOT WIDTH	25								
USAGE	TWO-UNIT REIDENTIAL ZONE								
	ALLOWED			PROPOSED					
	IMPERIAL		METRIC	IMPERIAL		METRIC	COMMENTS		
FLOOR SPACE RATIO	1711	ft²	158.96	m²	1,709.97	ft²	158.86	m²	DECK AND COVERED PORCH NOT INCLUDED
FIRST FLOOR AREA	---	ft²	---	m²	843.20	ft²	78.34	m²	
UPPER FLOOR AREA	---	ft²	---	m²	857.14	ft²	79.63	m²	
BELOW GRADE FLOOR AREA	EXCLUDED	ft²	---	m²	845.90	ft²	78.59	m²	9.63 ft²countable FSR included
TOTAL LIVING SPACE				2546.24	ft²	236.55			
PRINCIPAL BUILDING COVERAGE	30.00%	%	30.00%	m²	25.52%	%	25.52%	m²	
COMBINED LOT COVERAGE	40.00%	%	40.00%	m²	39.97%	%	39.97%	m²	INDLUDES ACCESSORY BUILDING,DECK, AND COVERED PORCH
PORCHES	---	ft²	---	m²	108.24	ft²	10.06	m²	
DECK	---	ft²	---	m²	0.00	ft²	0.00	m²	INCLUDES DECKS WITH 1m HIGH ABOVE EXISTING GRADE
BALCONY	---	ft²	---	m²	199.91	ft²	18.57	m²	
APPENDAGE	---	ft²	---	m²	308.15	ft²	28.63	m²	
PATIO				m²	0.00		0.00	m²	
FRONT YARD	15	ft	4.57	m	17.85	ft	5.44	m	
SIDE YARD-EAST	4	ft	1.22	m	4.38	ft	1.34	m	
SIDE YARD-WEST	4	ft	1.22	m	4.37	ft	1.33	m	
REAR YARD	47.9	ft	14.60	m	59.86	ft	18.25	m	0.35 times the lot depth
ACCESSORY BUILDING	342	ft²	31.77	m	275.00	ft²	25.55	m²	(0.1 times the Lot Area) EXCLUDING BASEMENT STORAGE
BLDG B AVERAGE FRONT	204.3	ft	62.27	m	202.16	ft	61.62	m	
BLDG B AVERAGE REAR	221.65	ft	67.56	m	221.75	ft	67.59	m	
REFERENCE GRADE	211.24	ft	64.39	m	211.24	ft	64.39	m	
MINIMUM FIRST STOREY LEVEL	213.74	ft	65.15	m	215.00	ft	65.53	m	
TOP PLATE	237.44	ft	72.37	m	235.35	ft	71.73	m	
ROOF RIDGE	244.24	ft	74.44	m	237.34	ft	72.34	m	

2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

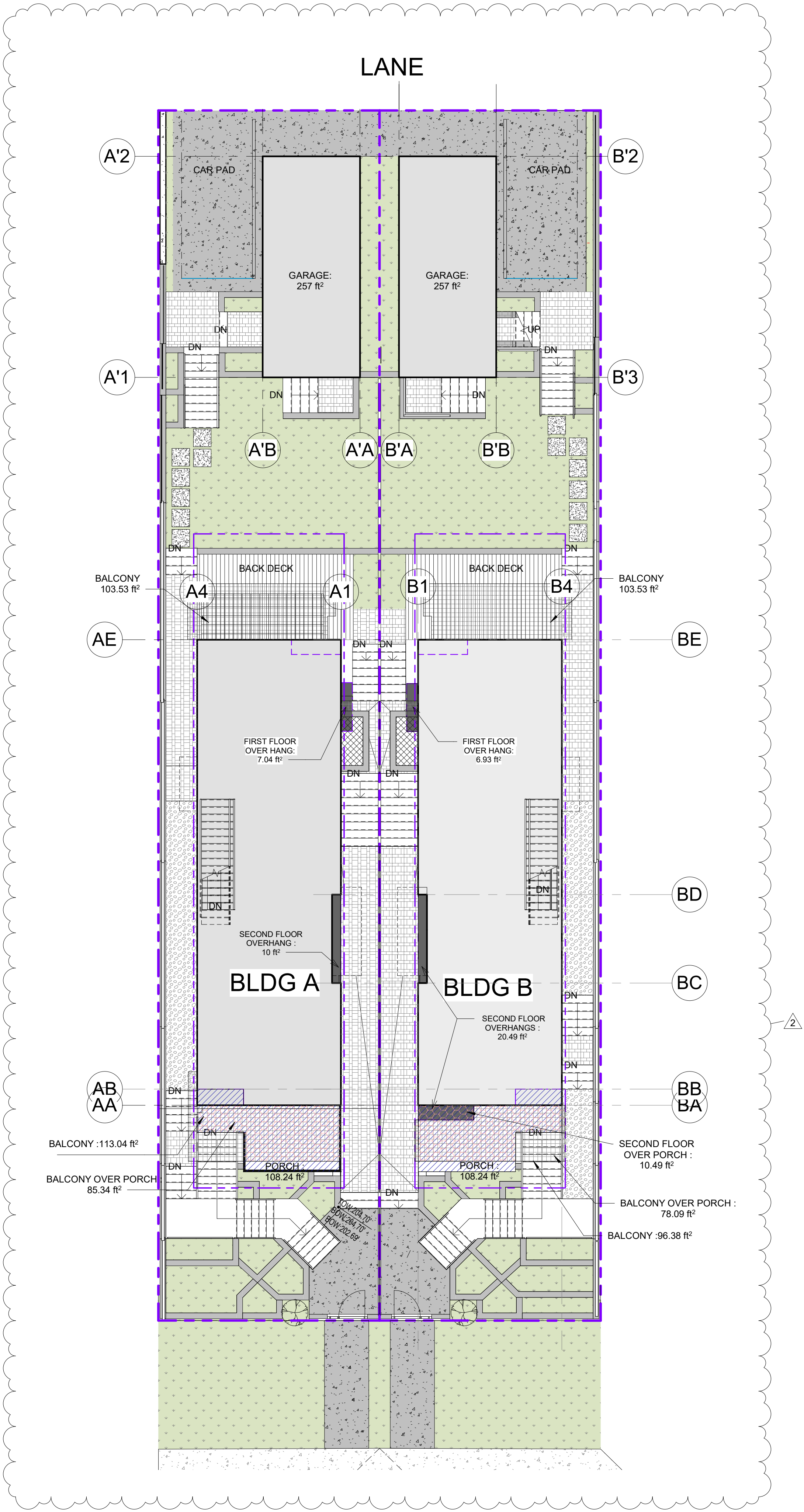
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SITE PLAN

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	NM
23279	JULY 28, 2023	REVIEWED	AF
DRAWING NO.	SCALE	As indicated	REVISION
		A04	2



SITE PLAN- LOT COVERAGE LEGEND

- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- DOUBLE COUNT DEDUCTION
- PRINCIPAL OR ACCESSORY BUILDING
- OVERHANGS
- FRONT & BACK DECK
- FRONT PORCH
- DECK OVER LINING SPACE
- LIGHTWELL
- BALCONY
- CONCRETE WALL
- LOT COVERAGE
1/4" = 1'-0"

LOT COVERAGE AREA BREAKDOWN BUILDING A (NEW)

Lot Area (Sq.ft)	3422			
	Allowed		Provided	
	%	Area ft²	%	Area ft²
Principal building lot coverage	30.00%	1026.6	25.22%	862.87
Appendage coverage			6.67%	228.15
Accessory Building coverage			8.04%	275.00
Combined Lot coverage	40.00%	1368.8	39.92%	1,366.02

Principal Building	AREA
Building Footprint	845.83 ft²
First floor Overhangs	7.04 ft²
Second floor Overhangs	10.00 ft²
Total Principal Building	862.87 ft²
Accessory Building	AREA
Porches	108.24 ft²
Decks(Including decks with 1 m Height above Grade)	0.00 ft²
Balcony	205.25 ft²
Double count deduction, second Floor Overhang Over Porch & Deck	0.00 ft²
Double count deduction, second Floor Balcony Projections Over Porch & Deck	-85.34 ft²
Double Count deduction, Deck Over Living Space	0.00 ft²
Total Appendage	228.15 ft²
Accessory Building	AREA
Accessory Building	275.00 ft²
Exclusions	AREA
GRAND TOTAL	1,366.02 ft²

Calculation Note:
The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

LOT COVERAGE AREA BREAKDOWN BUILDING B (NEW)

Lot Area (sq.ft)	3422			
	Allowed		Provided	
	%	Area ft²	%	Area ft²
Principal Building lot coverage	30.00%	1026.6	25.52%	873.32
Appendage coverage			6.42%	219.57
Accessory Building coverage			8.04%	275.00
Combined Lot coverage	40.00%	1368.8	39.97%	1,367.89

Principal Building	AREA
Building Footprint	845.90 ft²
First floor Overhangs	6.93 ft²
Second floor Overhangs	20.49 ft²
Total Principal Building	873.32 ft²
Accessory Building	AREA
Porches	108.24 ft²
Decks(Including Decks with 1 m Height Above Grade)	0.00 ft²
Balcony	199.91 ft²
Double count deduction, second Floor Overhang Over Porch & Deck	-10.49 ft²
Double count deduction, second Floor Balcony Projections Over Porch & Deck	-78.09 ft²
Double Count deduction, Deck Over Living Space	0.00 ft²
Total Appendage	219.57 ft²
Accessory Building	AREA
Accessory Building	275.00 ft²
Exclusions	
GRAND TOTAL	1,367.89 ft²

Calculation Note:
The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

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1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

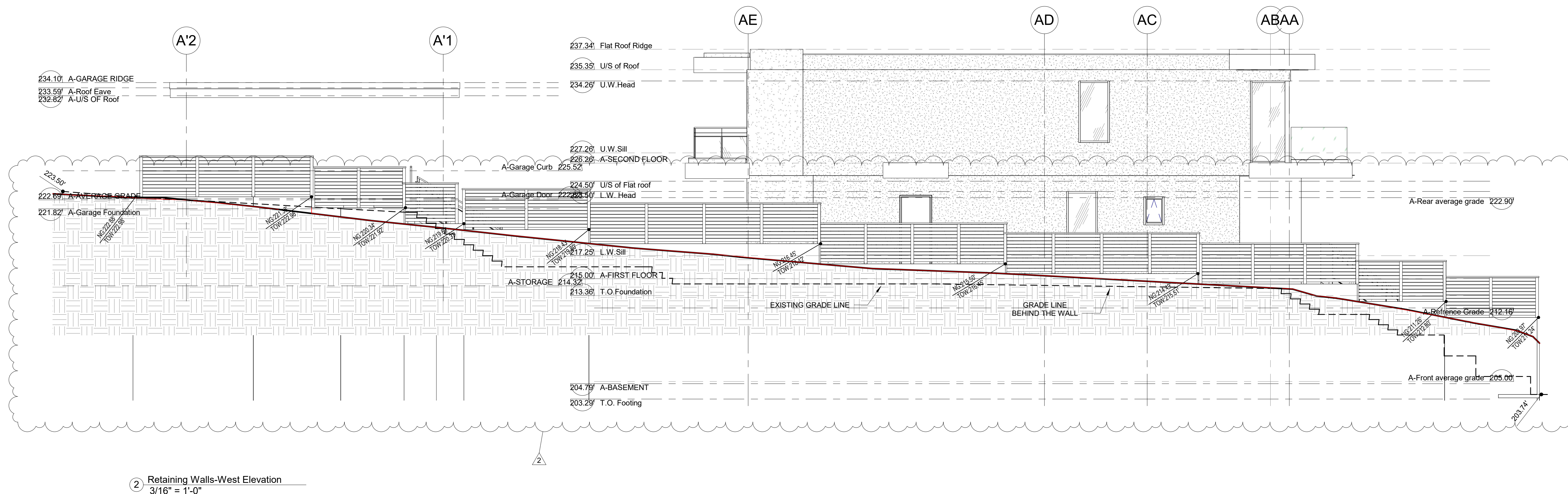
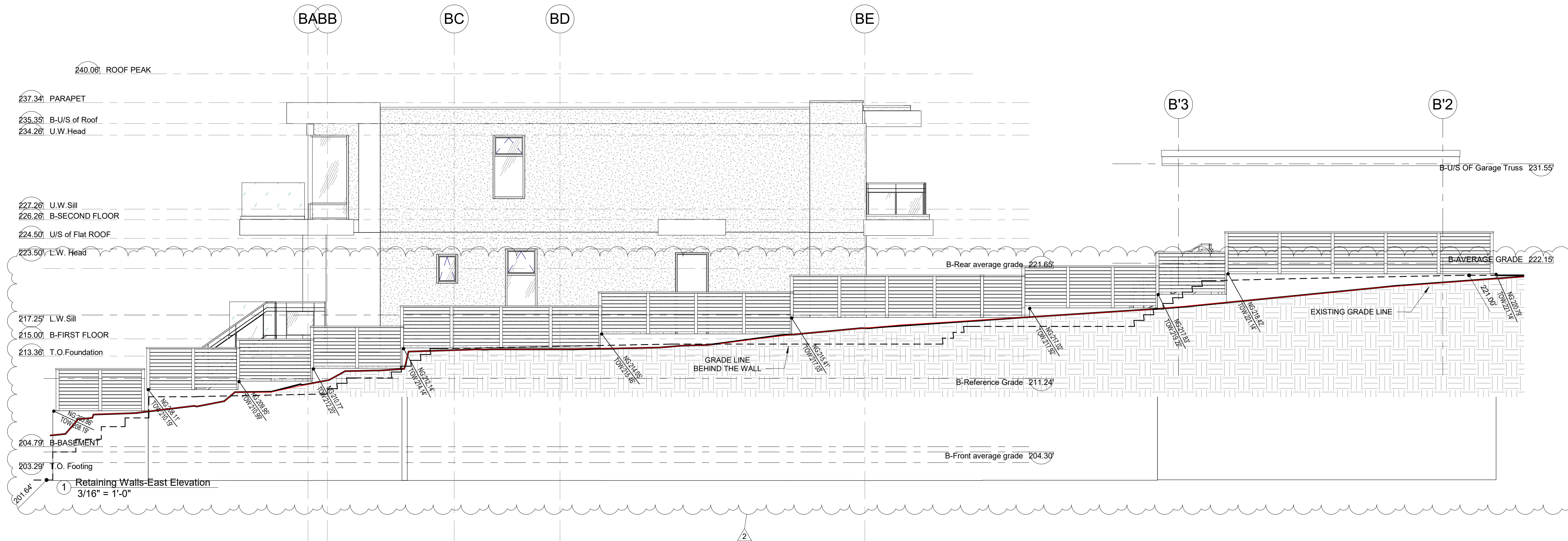
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SITE LOT COVERAGE

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	Author
23279	SCALE	As indicated	REVIEWED	Checker
DRAWING NO.	A05			REVISION



PROJECT

EAST 4TH SUBDIVISION

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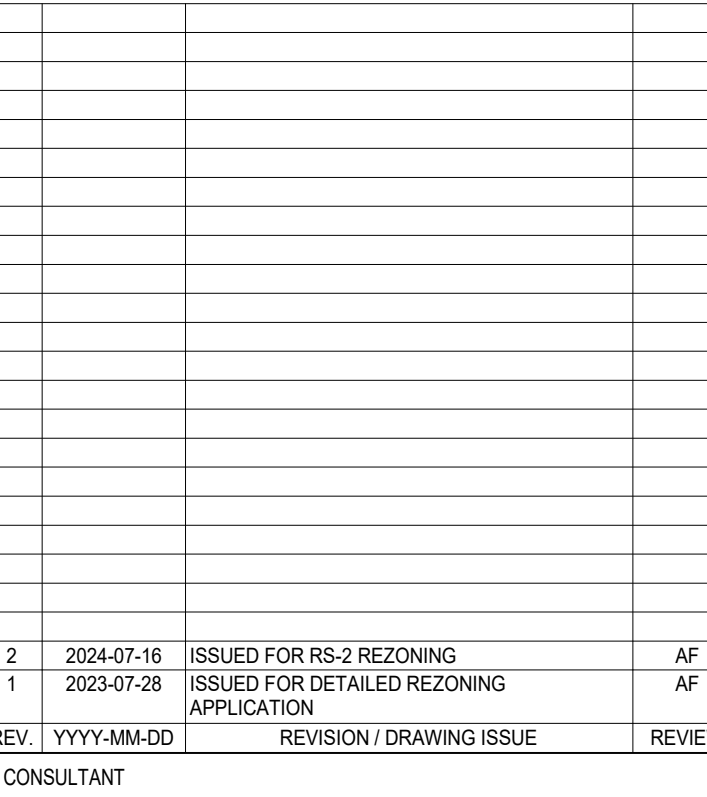
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RETAINING WALL- EAST &
WEST ELEVATION

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN
23279	JULY 28, 2023	Author
	SCALE	REVIEWED
	3/16" = 1'-0"	Checker
DRAWING NO.	REVISION	
	A06	
	2	



A07	2
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2	2024-07-16	ISSUED FOR RS-2 REZONING APPLICATION	AF
1	2023-07-28	ISSUED FOR DETAILED REZONING APPLICATION	AF
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PROJECT
EAST 4TH STREET
822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE
B- ACCESSORY BUILDING

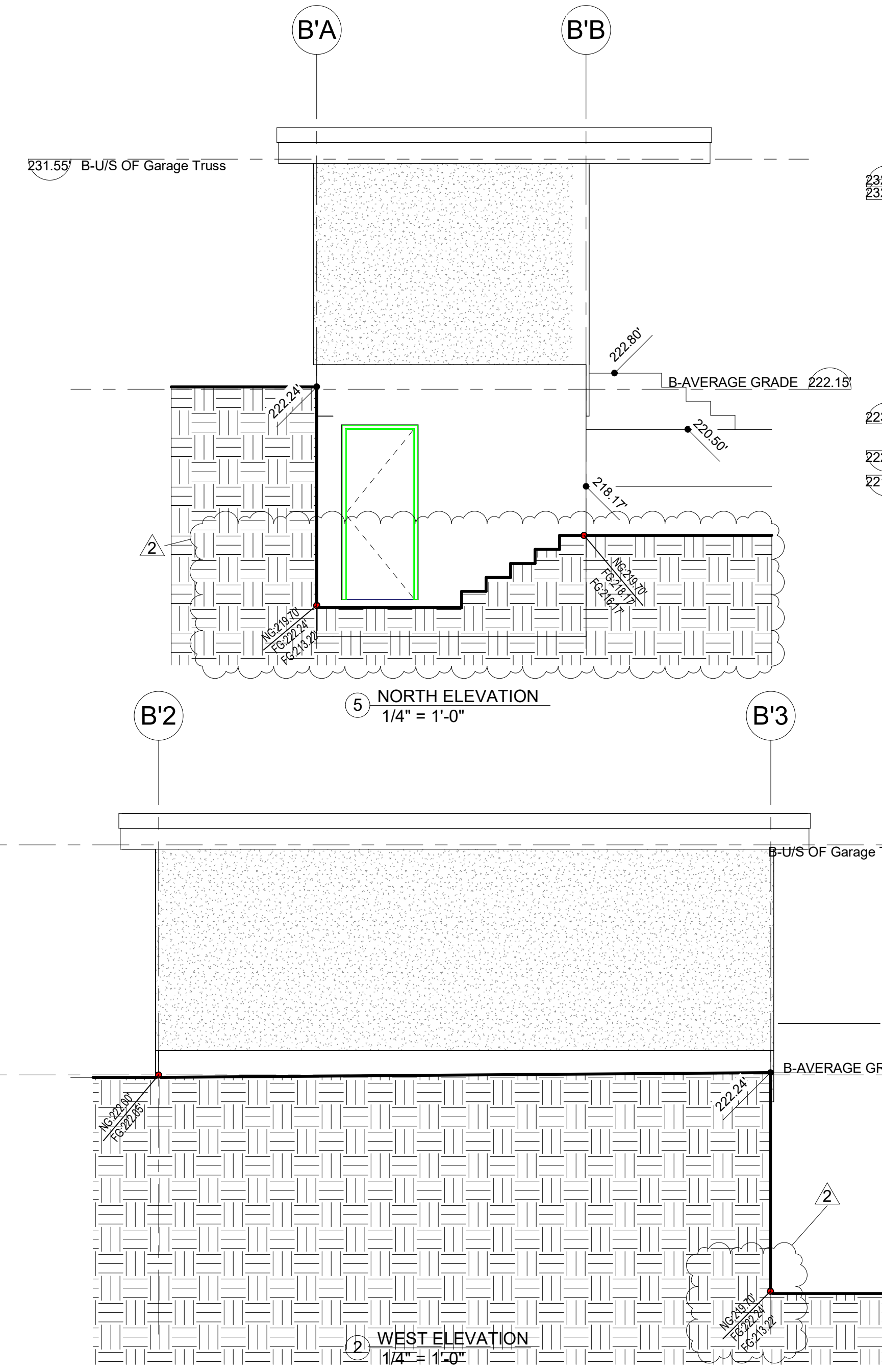
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ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	SG
21261	JULY 28, 2022	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	2
	1/4" = 1'-0"		

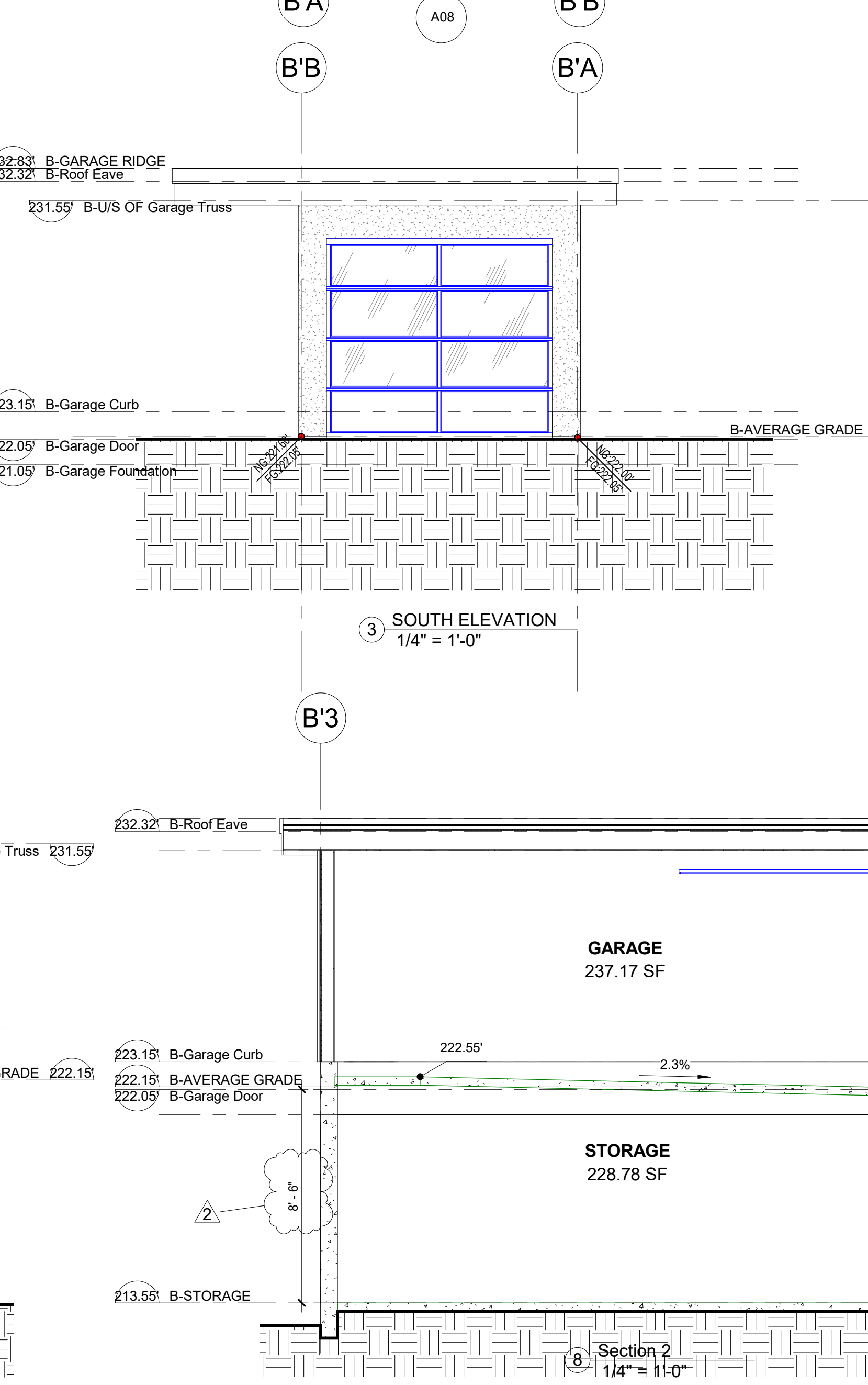
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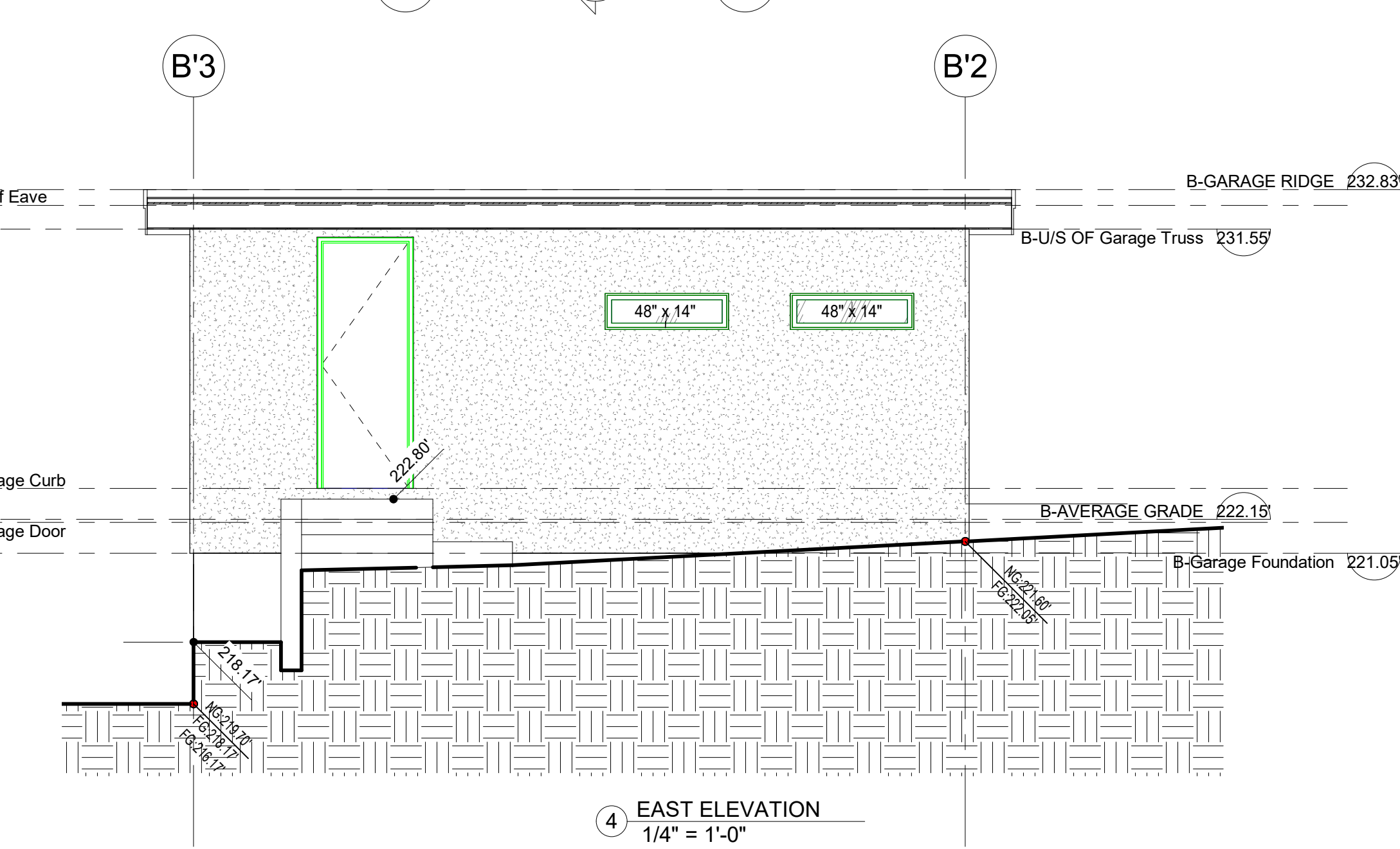
9 GARAGE BASEMENT
1/4" = 1'-0"



6 B-Garage Plan
1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

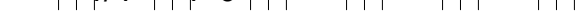


4 EAST ELEVATION
1/4" = 1'-0"

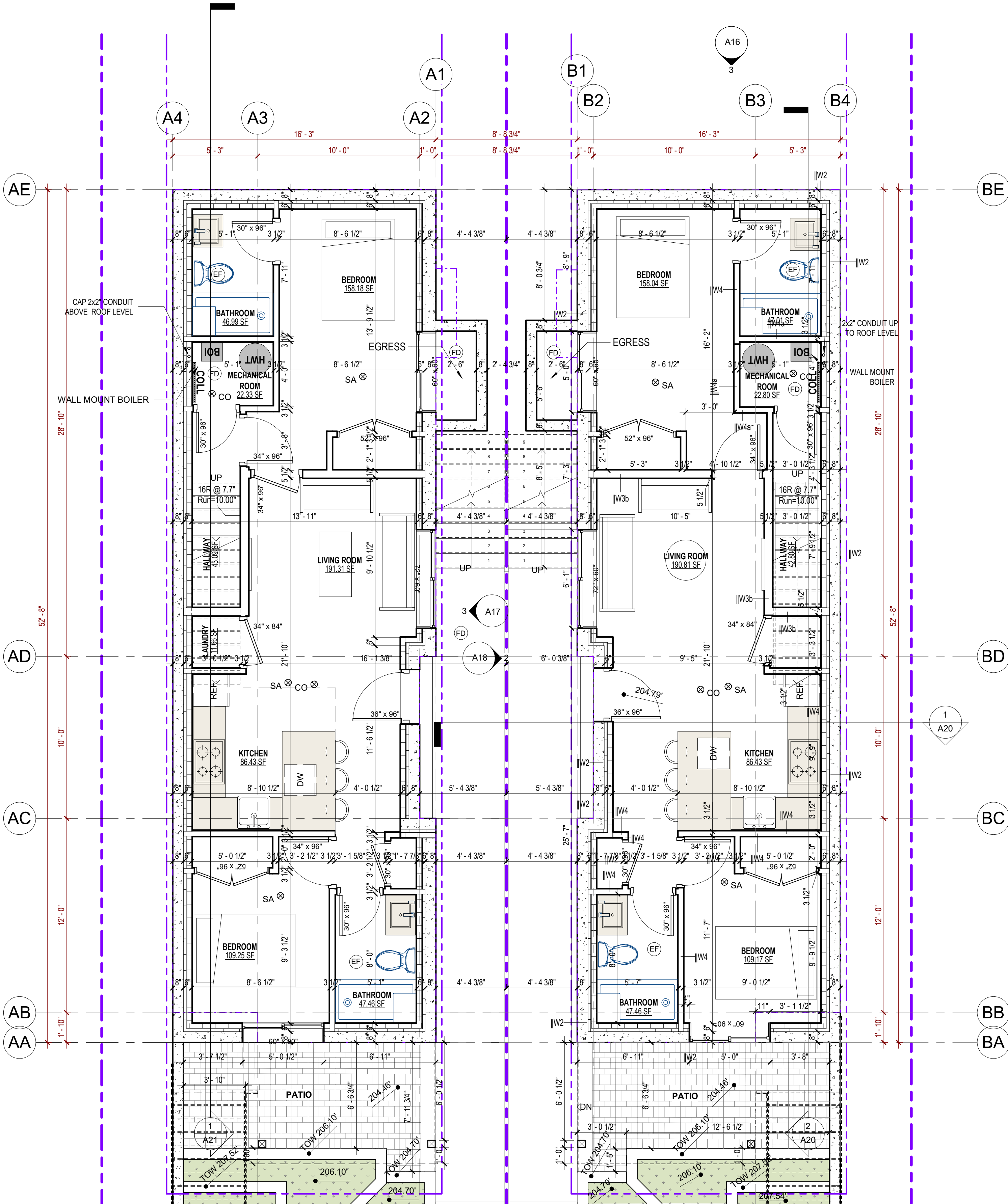
8 Section 2
1/4" = 1'-0"



7 Section 1
1/4" = 1'-0"



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Architecture

310-2030 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7P 1V7 CANADA
EMAIL: INFO@INSPIREDARCHITECTURE.CA
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1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
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CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

DRAWING TITLE

BLDG.A & B- BASEMENT
FLOOR PLAN

DRAWING ISSUE

ISSUED FOR PREDESIGN
REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
23279	JULY 28, 2023	REVIEWED	AF
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A09

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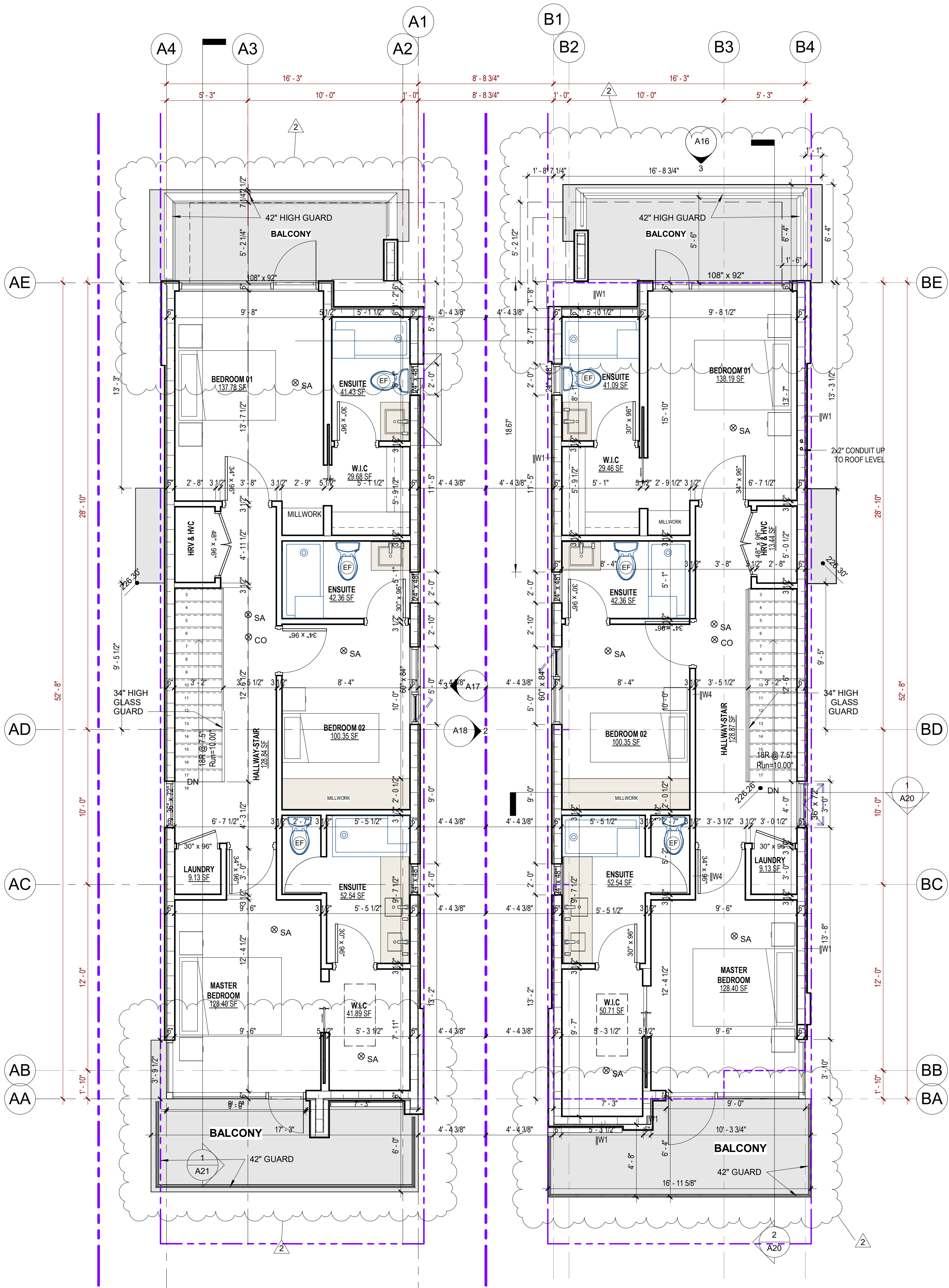
BLDG.A&B LEVEL 1 FLOOR
PLAN

ISSUED FOR RS-2 REZONING

PROJECT NO. 23279	PLOT DATE JULY 28, 2023	DRAWN NM
	SCALE 1/4" = 1'-0"	REVIEWED AF
DRAWING NO.		REVISION

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2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
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EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG.A&B-LEVEL 2 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	DRAWN	NM
23279	JULY 28, 2023	REVIEWED	AF
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A11			2

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THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS, SECTIONS AND SCHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR ADJUSTMENT.

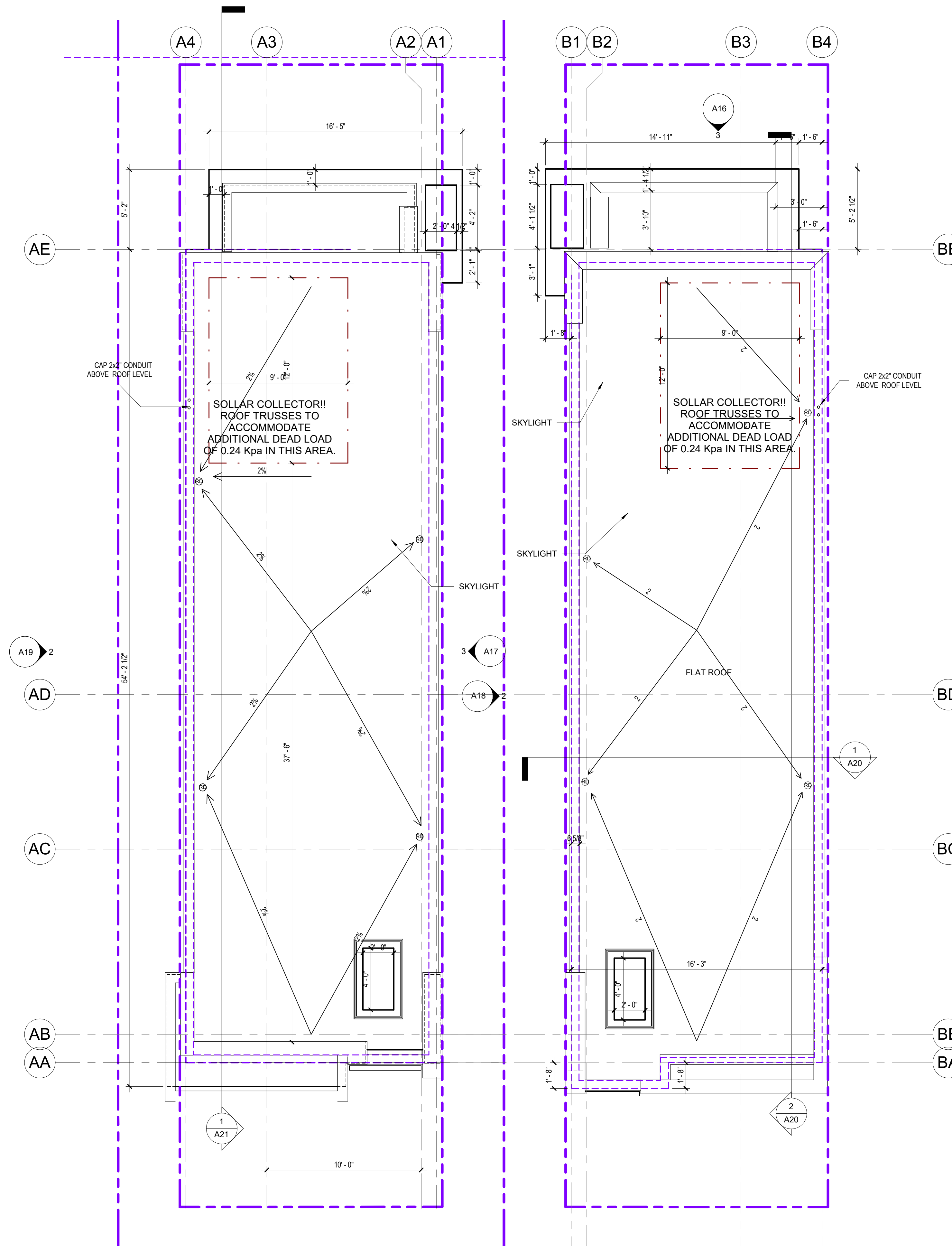
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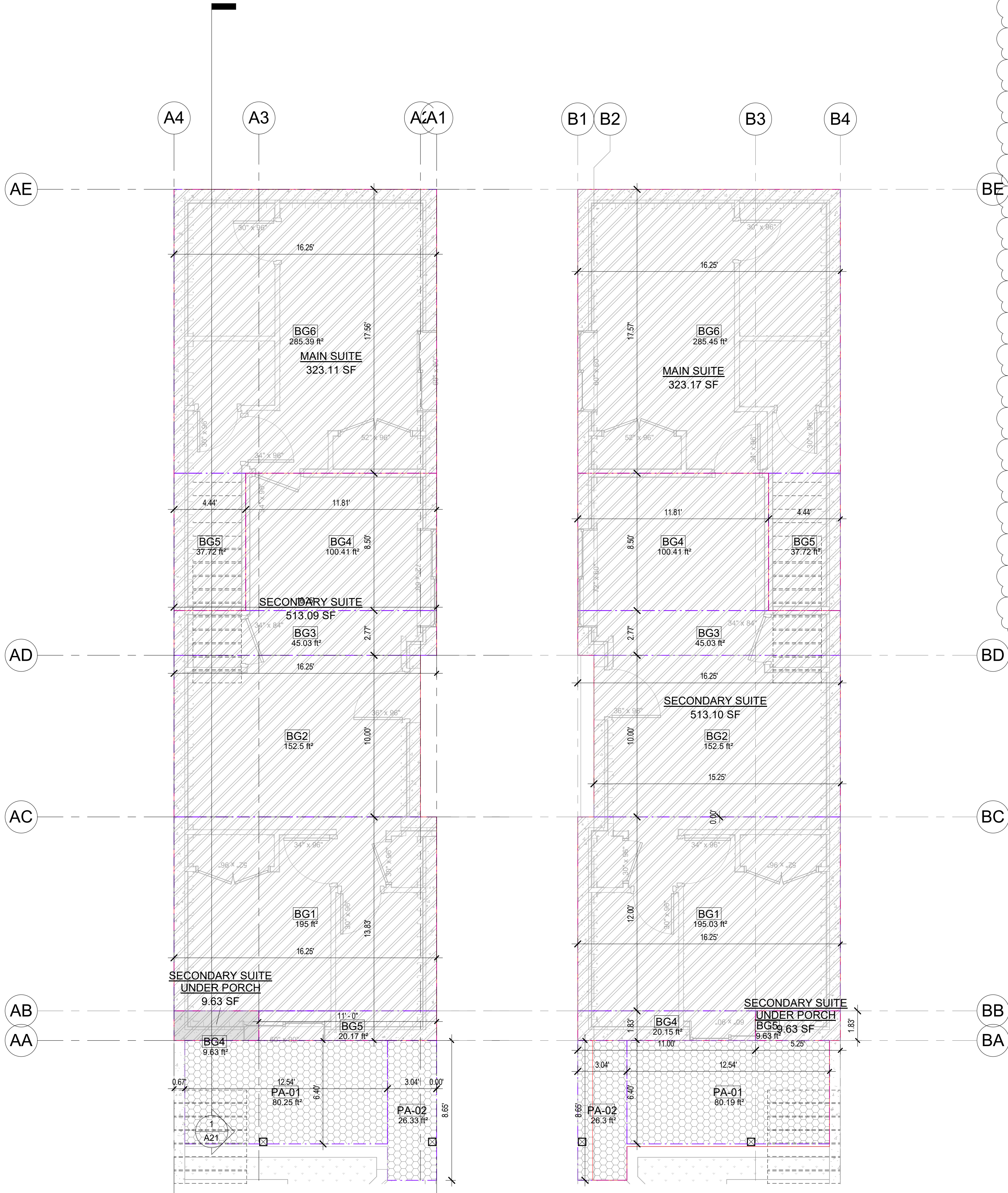
822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

ISSUED FOR PREDESIGN
REVIEW

PROJECT NO. 23279	PLOT DATE JULY 28, 2023	DRAWN NM	
	SCALE 1/4" = 1'-0"	REVIEWED AF	
DRAWING NO.			REVISION

REVISION
1





1 AREA OVERLAY BASEMENT
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA-SUITES								
LF	Building	Suite Number	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-BASEMENT	BLDG-A	MAIN SUITE	BG6	16.25'	17.56'	285.39 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	MAIN SUITE	BG5	4.44'	8.50'	37.72 ft²	Res. Below Grade	Exclusion
MAIN SUITE: 2						323.11 ft²		
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG1	16.25'	12.00'	195.00 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG2	15.25'	10.00'	152.50 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG5	11.00'	1.83'	20.17 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG3	16.25'	2.77'	45.03 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG4	11.81'	8.50'	100.41 ft²	Res. Below Grade	Exclusion
A-BASEMENT	BLDG-A	SECONDARY SUITE	BG4	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
SECONDARY SUITE: 6						522.72 ft²		
A-BASEMENT						845.83 ft²		
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F3	11.00'	10.00'	110.00 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F4	15.25'	10.00'	152.50 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F5	16.25'	18.54'	301.30 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F2	5.25'	12.00'	63.00 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F6	17.53'	5.50'	96.42 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F7	16.25'	4.79'	77.86 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	MAIN SUITE	F1	11.00'	3.83'	42.17 ft²	Res. Above Grade	GFA
MAIN SUITE: 7						843.25 ft²		
A-FIRST FLOOR						843.25 ft²		
A-SECOND FLOOR	BLDG-A		S2	10.67'	1.67'	17.78 ft²	Res. Above Grade	GFA
: 1						17.78 ft²		
A-SECOND FLOOR	BLDG-A	MAIN SUITE	S1	16.25'	51.00'	828.75 ft²	Res. Above Grade	GFA
MAIN SUITE: 1						828.75 ft²		
A-SECOND FLOOR						846.53 ft²		
BLDG-A: 17						2535.61 ft²		
B-BASEMENT	BLDG-B	MAIN SUITE	BG6	16.25'	17.57'	285.45 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	MAIN SUITE	BG5	4.44'	8.50'	37.72 ft²	Res. Below Grade	EXCLUSION
MAIN SUITE: 2						323.17 ft²		
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG1	16.25'	12.00'	195.03 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG2	15.25'	10.00'	152.50 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG4	11.00'	1.83'	20.15 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG3	16.25'	2.77'	45.03 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG4	11.81'	8.50'	100.41 ft²	Res. Below Grade	EXCLUSION
B-BASEMENT	BLDG-B	SECONDARY SUITE	BG5	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
SECONDARY SUITE: 6						522.73 ft²		
B-BASEMENT						845.90 ft²		
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F1	11.00'	3.82'	42.03 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F3	16.25'	10.01'	162.70 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F4	15.25'	10.00'	152.50 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F5	16.25'	18.46'	299.95 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F6	17.53'	5.42'	94.96 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F7	16.25'	4.96'	80.63 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	MAIN SUITE	F2	5.25'	1.99'	10.44 ft²	Res. Above Grade	GFA
MAIN SUITE: 7						843.20 ft²		
B-FIRST FLOOR						843.20 ft²		
B-SECOND FLOOR	BLDG-B	MAIN SUITE	S1	16.25'	51.00'	828.81 ft²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	MAIN SUITE	S2	6.29'	1.67'	10.49 ft²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	MAIN SUITE	S3	10.71'	1.67'	17.85 ft²	Res. Above Grade	GFA
MAIN SUITE: 3						857.14 ft²		
B-SECOND FLOOR						857.14 ft²		
BLDG-B: 18						2546.25 ft²		
Grand total: 35						5081.87 ft²		

2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

DRAWING TITLE

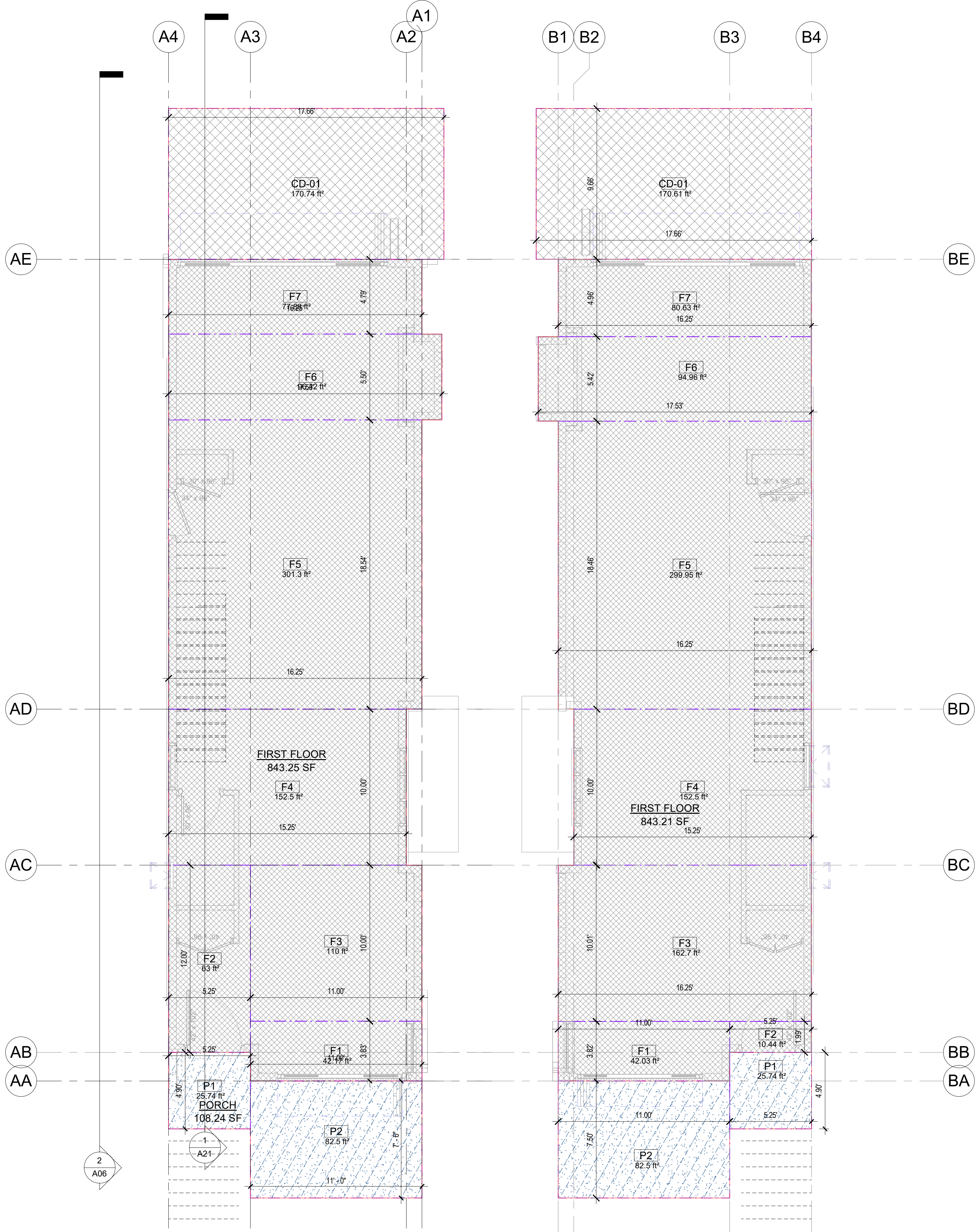
AREA OVERLAY BASEMENT

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	Author
23279	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.	A13			REVISION

2



2 AREA OVERLAY FIRST FLOOR
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA-GFA							
ML	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-BASEMENT	BLDG-A	BG4	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
A-FIRST FLOOR	BLDG-A	F1	11.00'	3.83'	42.17 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F2	5.25'	12.00'	63.00 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F3	11.00'	10.00'	110.00 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F4	15.25'	10.00'	152.50 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F5	16.25'	18.54'	301.30 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F6	17.53'	5.50'	96.42 ft²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F7	16.25'	4.79'	77.86 ft²	Res. Above Grade	GFA
					843.25 ft²		
A-SECOND FLOOR	BLDG-A	S1	16.25'	51.00'	828.75 ft²	Res. Above Grade	GFA
A-SECOND FLOOR	BLDG-A	S2	10.67'	1.67'	17.78 ft²	Res. Above Grade	GFA
BLDG-A: 10					846.53 ft²		
					1699.41 ft²		
B-BASEMENT	BLDG-B	BG5	5.25'	1.83'	9.63 ft²	Res. Below Grade	GFA
B-FIRST FLOOR	BLDG-B	F1	11.00'	3.82'	42.03 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F2	5.25'	1.99'	10.44 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F3	16.25'	10.01'	162.70 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F4	15.25'	10.00'	152.50 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F5	16.25'	18.46'	299.35 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F6	17.53'	5.42'	94.96 ft²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F7	16.25'	4.96'	80.63 ft²	Res. Above Grade	GFA
					843.20 ft²		
B-SECOND FLOOR	BLDG-B	S1	16.25'	51.00'	828.81 ft²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	S2	6.29'	1.67'	10.49 ft²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	S3	10.71'	1.67'	17.85 ft²	Res. Above Grade	GFA
BLDG-B: 11					857.14 ft²		
Grand total: 21					1709.97 ft²		
					3409.38 ft²		

AREA OVERLAY-APPENDAGE & EXCLUSION							
Level	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-Garage Door	BLDG A	G-01	25.00'	11.00'	275.00 ft²	Garage	Exclusion
A-STORAGE	BLDG A	ST-01	11.00'	25.00'	275.00 ft²	SERVICE/STORAGE	Exclusion
BLDG A: 2					275.00 ft²		
					550.00 ft²		
B-Garage Door	BLDG B	G-02	25.00'	11.00'	275.00 ft²	Garage	Exclusion
B-STORAGE	BLDG B	ST-02	11.00'	25.00'	275.00 ft²	SERVICE/STORAGE	Exclusion
BLDG B: 2					275.00 ft²		
					550.00 ft²		
A-BASEMENT	BLDG-A	PA-01	12.54'	6.40'	80.25 ft²	Patio	EXCLUSION
A-BASEMENT	BLDG-A	PA-02	3.04'	8.65'	26.33 ft²	Patio	EXCLUSION
					106.59 ft²		
A-FIRST FLOOR	BLDG-A	CD-01	17.66'	9.67'	170.74 ft²	Covered Deck	EXCLUSION
					170.74 ft²		
A-FIRST FLOOR	BLDG-A	P1	5.25'	4.90'	25.74 ft²	Porch	APPENDAGE
A-FIRST FLOOR	BLDG-A	P2	11.00'	7.50'	82.50 ft²	Porch	APPENDAGE
					108.24 ft²		
A-SECOND FLOOR	BLDG-A	B1	15.80'	2.67'	42.14 ft²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B2	16.71'	3.33'	55.70 ft²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B3	1.00'	3.79'	3.79 ft²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B4	17.25'	6.00'	103.50 ft²	Balcony	APPENDAGE
					205.13 ft²		
BLDG-A: 9					590.71 ft²		
B-BASEMENT	BLDG-B	PA-01	12.54'	6.40'	80.19 ft²	Patio	EXCLUSION
B-BASEMENT	BLDG-B	PA-02	3.04'	8.65'	26.30 ft²	Patio	EXCLUSION
					106.49 ft²		
B-FIRST FLOOR	BLDG-B	CD-01	17.66'	9.66'	170.61 ft²	Covered Deck	EXCLUSION
					170.61 ft²		
B-FIRST FLOOR	BLDG-B	P1	5.25'	4.90'	25.74 ft²	Porch	APPENDAGE
B-FIRST FLOOR	BLDG-B	P2	11.00'	7.50'	82.50 ft²	Porch	APPENDAGE
					108.24 ft²		
B-SECOND FLOOR	BLDG-B	B1	15.82'	2.67'	42.19 ft²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B2	16.73'	3.67'	61.34 ft²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B3	6.66'	4.67'	31.07 ft²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B4	10.31'	6.33'	65.31 ft²	Balcony	APPENDAGE
					199.91 ft²		
BLDG-B: 9					585.25 ft²		
Grand total: 22					2275.96 ft²		

2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

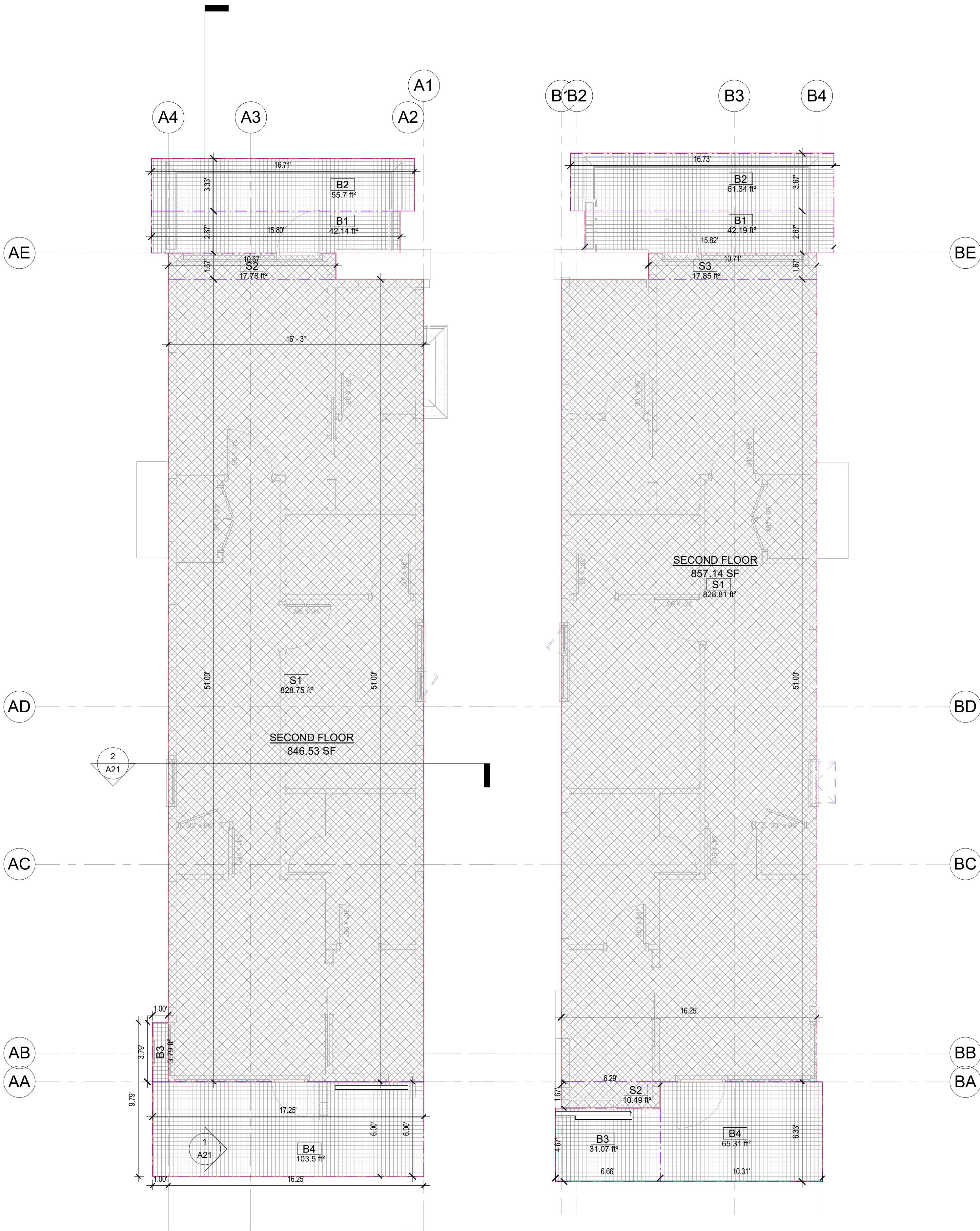
DRAWING TITLE

AREA OVERLAY FIRST FLOOR

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A14			REVISION



AREA OVERLAY SECOND FLOOR
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA-GFA							
ML	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-BASEMENT	BLDG-A	BG4	5.25'	1.83'	9.63 ft ²	Res. Below Grade	GFA
A-FIRST FLOOR	BLDG-A	F1	11.00'	3.83'	42.17 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F2	5.25'	12.00'	63.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F3	11.00'	10.00'	110.00 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F4	15.25'	10.00'	152.50 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F5	16.25'	18.54'	301.30 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F6	17.53'	5.50'	96.42 ft ²	Res. Above Grade	GFA
A-FIRST FLOOR	BLDG-A	F7	16.25'	4.79'	77.86 ft ²	Res. Above Grade	GFA
A-SECOND FLOOR	BLDG-A	S1	16.25'	51.00'	828.75 ft ²	Res. Above Grade	GFA
A-SECOND FLOOR	BLDG-A	S2	10.67'	1.67'	17.78 ft ²	Res. Above Grade	GFA
BLDG-A: 10					843.25 ft ²		
B-BASEMENT	BLDG-B	BG5	5.25'	1.83'	9.63 ft ²	Res. Below Grade	GFA
B-FIRST FLOOR	BLDG-B	F1	11.00'	3.82'	42.03 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F2	5.25'	1.99'	10.44 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F3	16.25'	10.01'	162.70 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F4	15.25'	10.00'	152.50 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F5	16.25'	18.46'	299.95 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F6	17.53'	5.42'	94.96 ft ²	Res. Above Grade	GFA
B-FIRST FLOOR	BLDG-B	F7	16.25'	4.96'	80.63 ft ²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	S1	16.25'	51.00'	828.81 ft ²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	S2	6.29'	1.67'	10.49 ft ²	Res. Above Grade	GFA
B-SECOND FLOOR	BLDG-B	S3	10.71'	1.67'	17.85 ft ²	Res. Above Grade	GFA
BLDG-B: 11					857.14 ft ²		
Grand total: 21					1709.97 ft ²		
					3409.38 ft ²		

AREA OVERLAY-APPENDAGE & EXCLUSION							
Level	Building	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
A-Garage Door	BLDG A	G-01	25.00'	11.00'	275.00 ft ²	Garage	Exclusion
A-STORAGE	BLDG A	ST-01	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion
BLDG A: 2					275.00 ft ²		
B-Garage Door	BLDG B	G-02	25.00'	11.00'	275.00 ft ²	Garage	Exclusion
B-STORAGE	BLDG B	ST-02	11.00'	25.00'	275.00 ft ²	SERVICE/STORAGE	Exclusion
BLDG B: 2					275.00 ft ²		
A-BASEMENT	BLDG-A	PA-01	12.54'	6.40'	80.25 ft ²	Patio	EXCLUSION
A-BASEMENT	BLDG-A	PA-02	3.04'	8.65'	26.33 ft ²	Patio	EXCLUSION
A-FIRST FLOOR	BLDG-A	CD-01	17.66'	9.67'	170.74 ft ²	Covered Deck	EXCLUSION
A-FIRST FLOOR	BLDG-A	P1	5.25'	4.90'	25.74 ft ²	Porch	APPENDAGE
A-FIRST FLOOR	BLDG-A	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE
A-SECOND FLOOR	BLDG-A	B1	15.80'	2.67'	42.14 ft ²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B2	16.71'	3.33'	55.70 ft ²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B3	1.00'	3.79'	3.79 ft ²	Balcony	APPENDAGE
A-SECOND FLOOR	BLDG-A	B4	17.25'	6.00'	103.50 ft ²	Balcony	APPENDAGE
BLDG-A: 9					205.13 ft ²		
					590.71 ft ²		
B-BASEMENT	BLDG-B	PA-01	12.54'	6.40'	80.19 ft ²	Patio	EXCLUSION
B-BASEMENT	BLDG-B	PA-02	3.04'	8.65'	26.30 ft ²	Patio	EXCLUSION
B-FIRST FLOOR	BLDG-B	CD-01	17.66'	9.66'	170.61 ft ²	Covered Deck	EXCLUSION
B-FIRST FLOOR	BLDG-B	P1	5.25'	4.90'	25.74 ft ²	Porch	APPENDAGE
B-FIRST FLOOR	BLDG-B	P2	11.00'	7.50'	82.50 ft ²	Porch	APPENDAGE
B-SECOND FLOOR	BLDG-B	B1	15.82'	2.67'	42.19 ft ²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B2	16.73'	3.67'	61.34 ft ²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B3	6.66'	4.67'	31.07 ft ²	Balcony	APPENDAGE
B-SECOND FLOOR	BLDG-B	B4	10.31'	6.33'	65.31 ft ²	Balcony	APPENDAGE
BLDG-B: 9					199.91 ft ²		
Grand total: 22					585.25 ft ²		
					2275.96 ft ²		

2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
VANCOUVER, B.C.

DRAWING TITLE

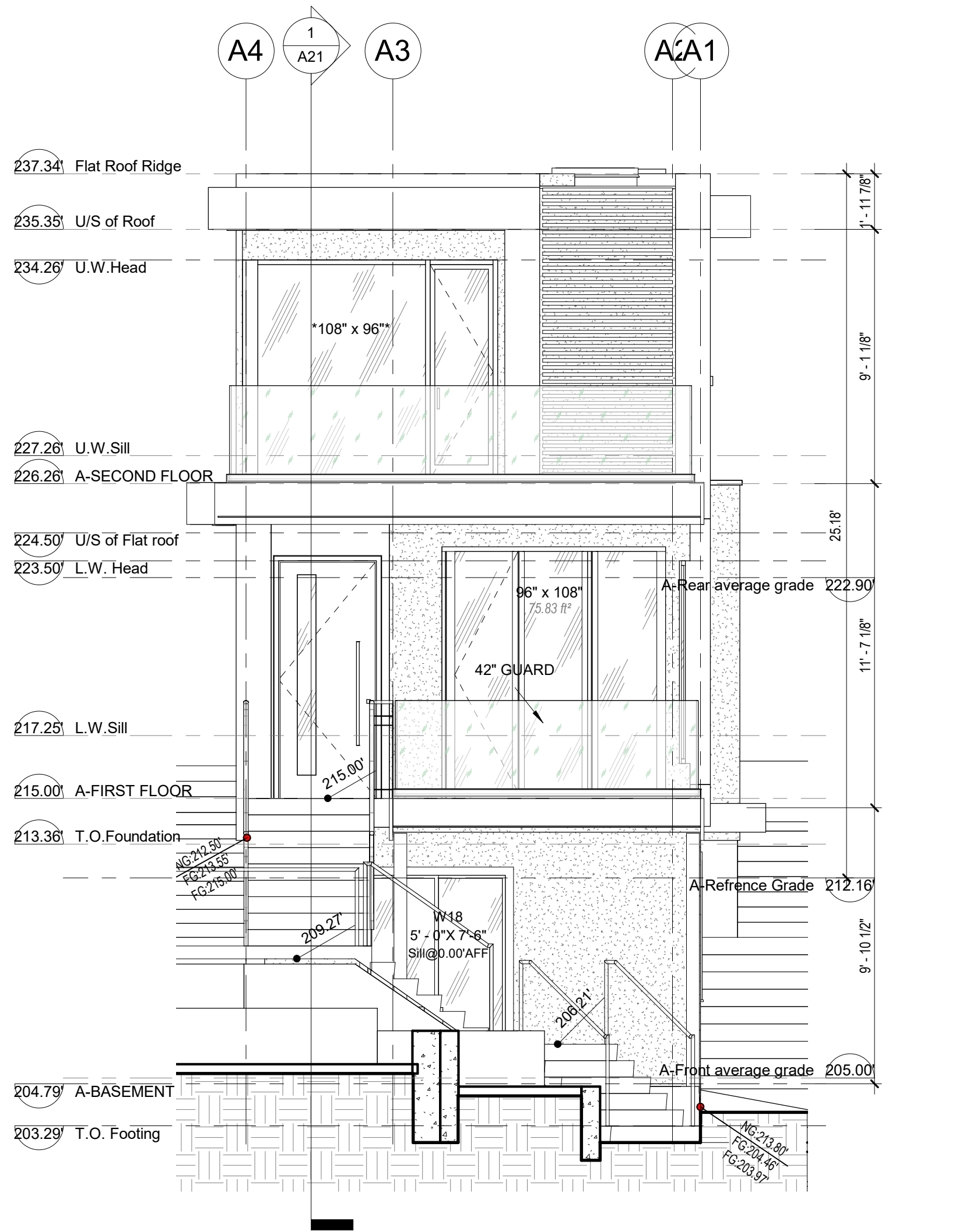
AREA OVERLAY SECOND
FLOOR

DRAWING ISSUE

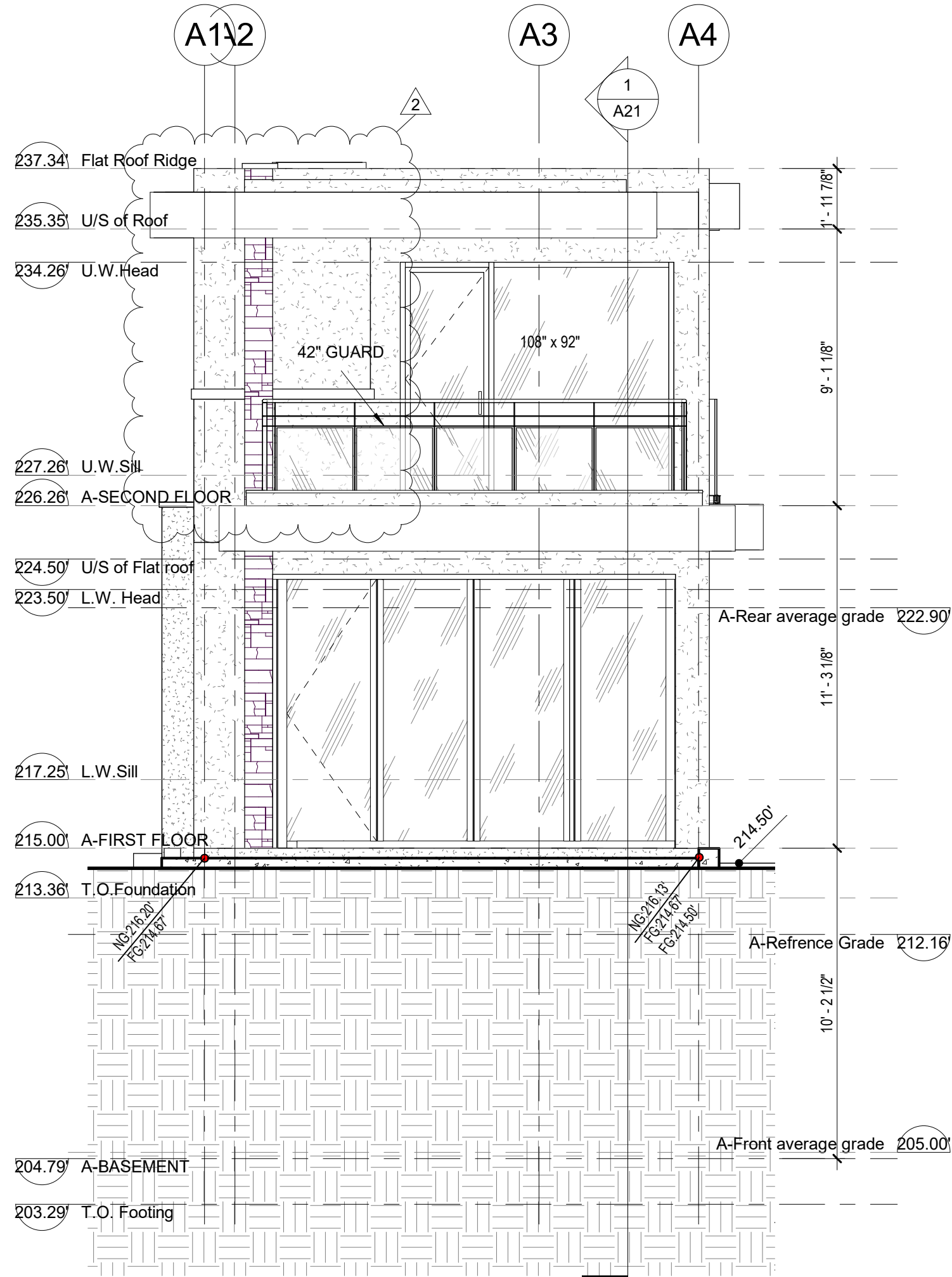
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A15		REVISION	2

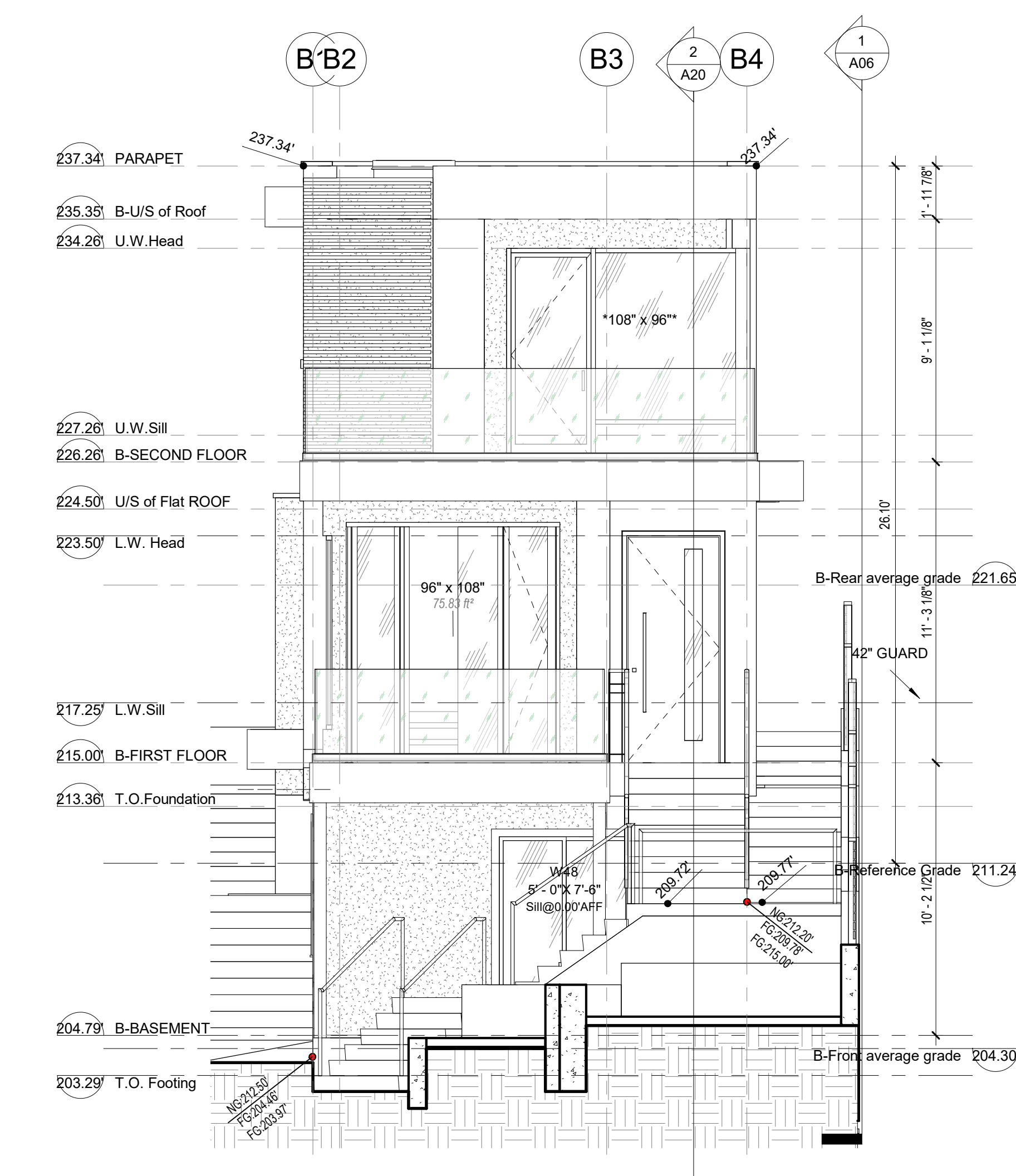
4 BLDG.A-South Elevation1
1/4" = 1'-0"



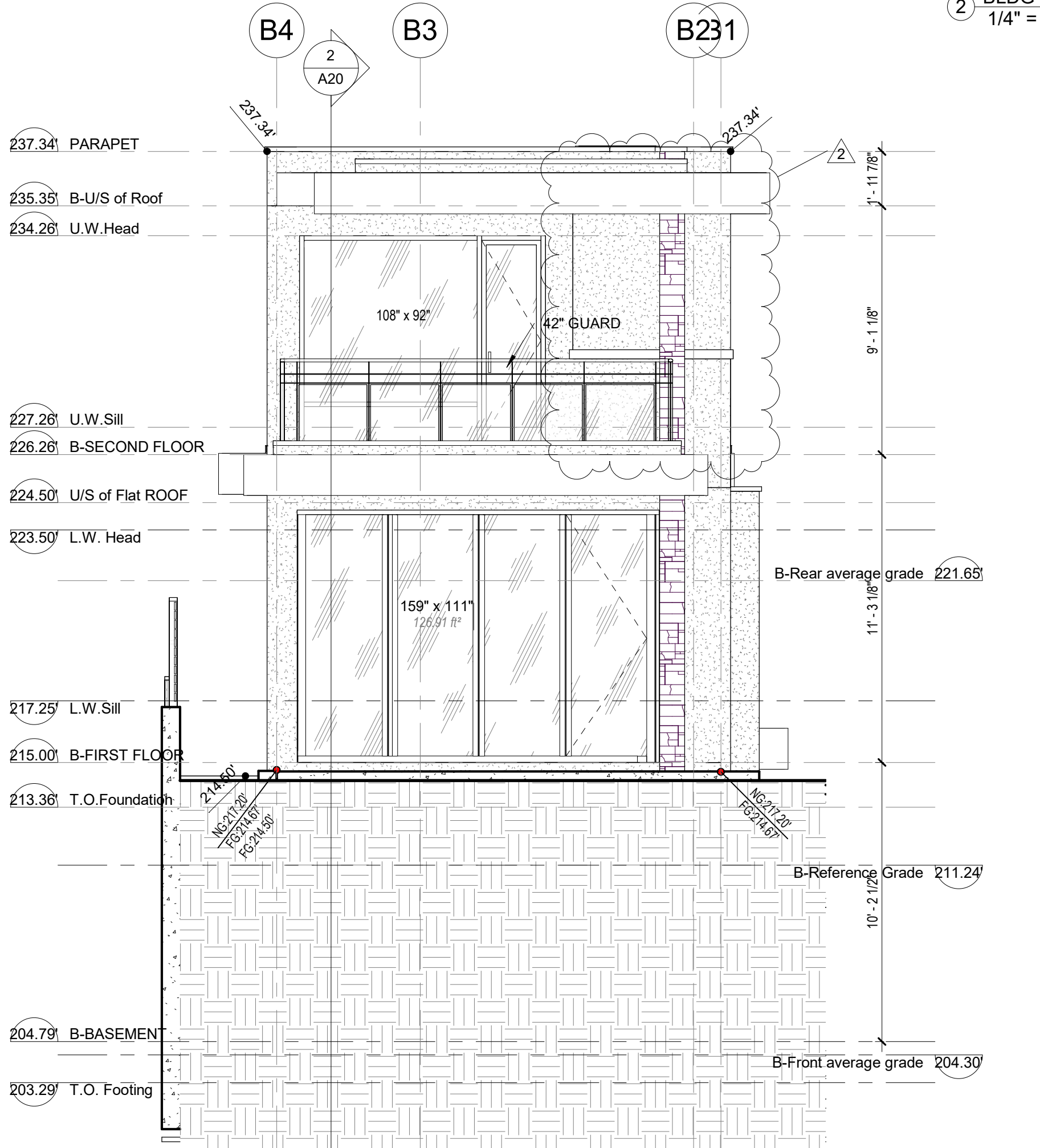
1 BLDG.A-North Elevation
1/4" = 1'-0"



2 BLDG B-South Elevation1
1/4" = 1'-0"



3 BLDG B-North Elevation
1/4" = 1'-0"



SPATIAL SEPARATION SCHEDULE BLDG A						SPRINKLERED BUILDING:		NO	
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE									
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²			
NORTH	336.17	31.23	69.85	21.29	191.34	17.78	502.06	46.64	38.11%
SOUTH	495.01	45.99	65.07	19.83	221.29	20.56	495.01	45.99	44.70%

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE									
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²			
EAST	1507.25	140.03	4.36	1.33	99.03	9.20	1507.25	140.03	6.57%
WEST	1106.79	102.82	4.38	1.34	72.43	6.73	1106.79	102.82	7.00%

9.10.14.5.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

SPATIAL SEPARATION SCHEDULE BLDG B					SPRINKLERED BUILDING:		NO			
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED	
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	336.17	31.23	69.86	21.29	191.34	17.78	336.17	31.23	100.00%	56.92%
SOUTH	495.01	45.99	65.22	19.88	221.29	20.56	495.01	45.99	100.00%	44.70%

SPATIAL SEPARATION SCHEDULE										
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1139.08	105.82	4.38	1.34	76.95	7.15	1139.08	105.82	7.00%	6.76%
WEST	1507.81	140.08	4.37	1.33	103.13	9.58	1507.81	140.08	7.00%	6.84%

9.10.14.5.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG.A&B SOUTH AND NORTH ELEVATIONS

DRAWING ISSUE

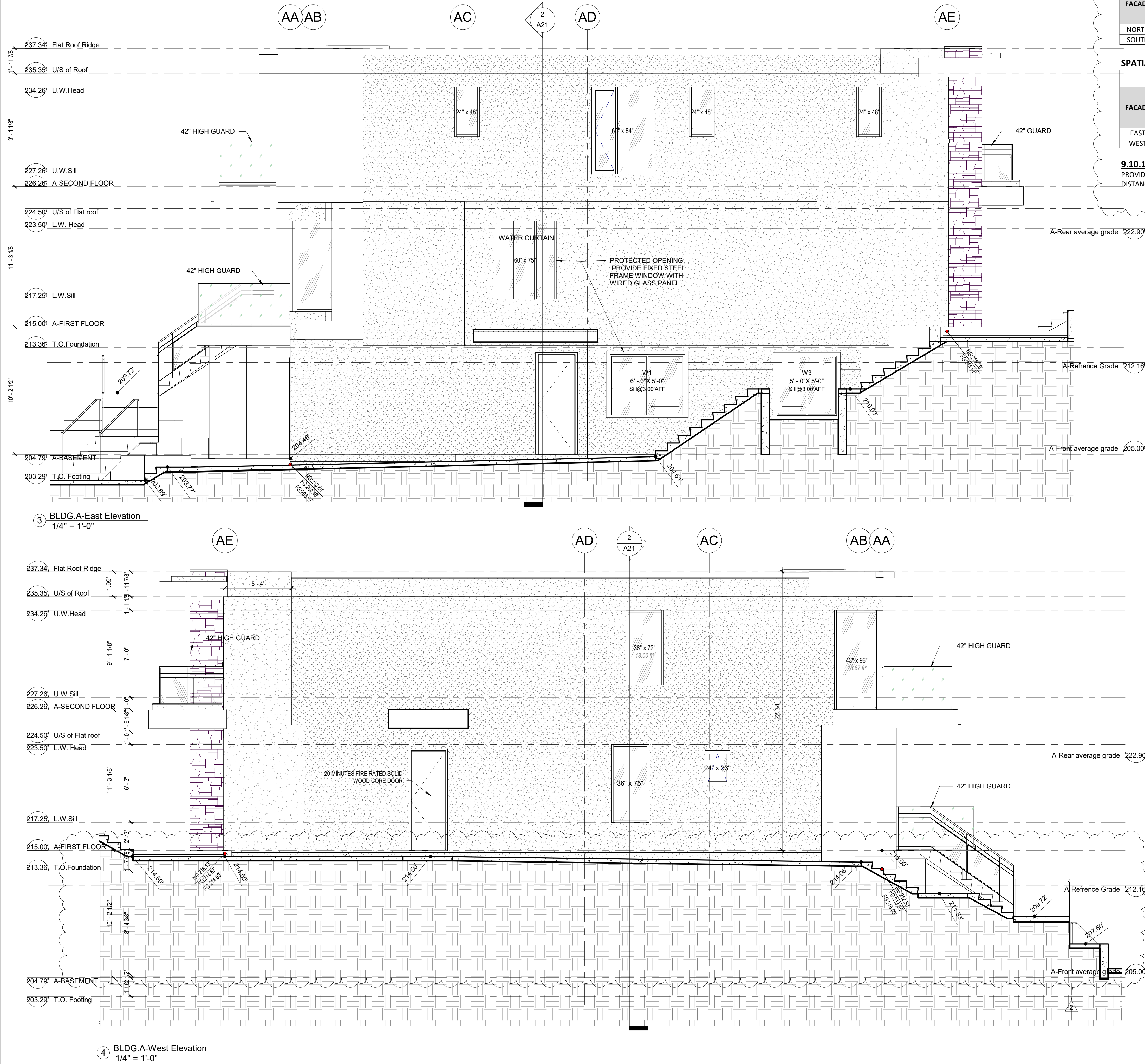
ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	1/4" = 1'-0"	REVIEWED	Checker
DRAWING NO.			REVISION	

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SPATIAL SEPARATION SCHEDULE BLDG A

SPRINKLERED BUILDING: NO

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	336.17	31.23	69.85	21.29	191.34	17.78	502.06	46.64	100.00%	38.11%
SOUTH	495.01	45.99	65.07	19.83	221.29	20.56	495.01	45.99	100.00%	44.70%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1507.25	140.03	4.36	1.33	99.03	9.20	1507.25	140.03	7.00%	6.57%
WEST	1106.79	102.82	4.38	1.34	72.43	6.73	1106.79	102.82	7.00%	6.54%

9.10.14.5.11) PROJECTION OF SOFFITS:

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

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2	2024-07-16	ISSUED FOR RS-2 REZONING	AF
1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH VANCOUVER, B.C.

DRAWING TITLE

BLDG.A- EAST & WEST ELEVATIONS

DRAWING ISSUE

ISSUED FOR RS-2 REZONING

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	1/4" = 1'-0"	REVIEWED	AF
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PROJECT

EAST 4TH SUBDIVISION

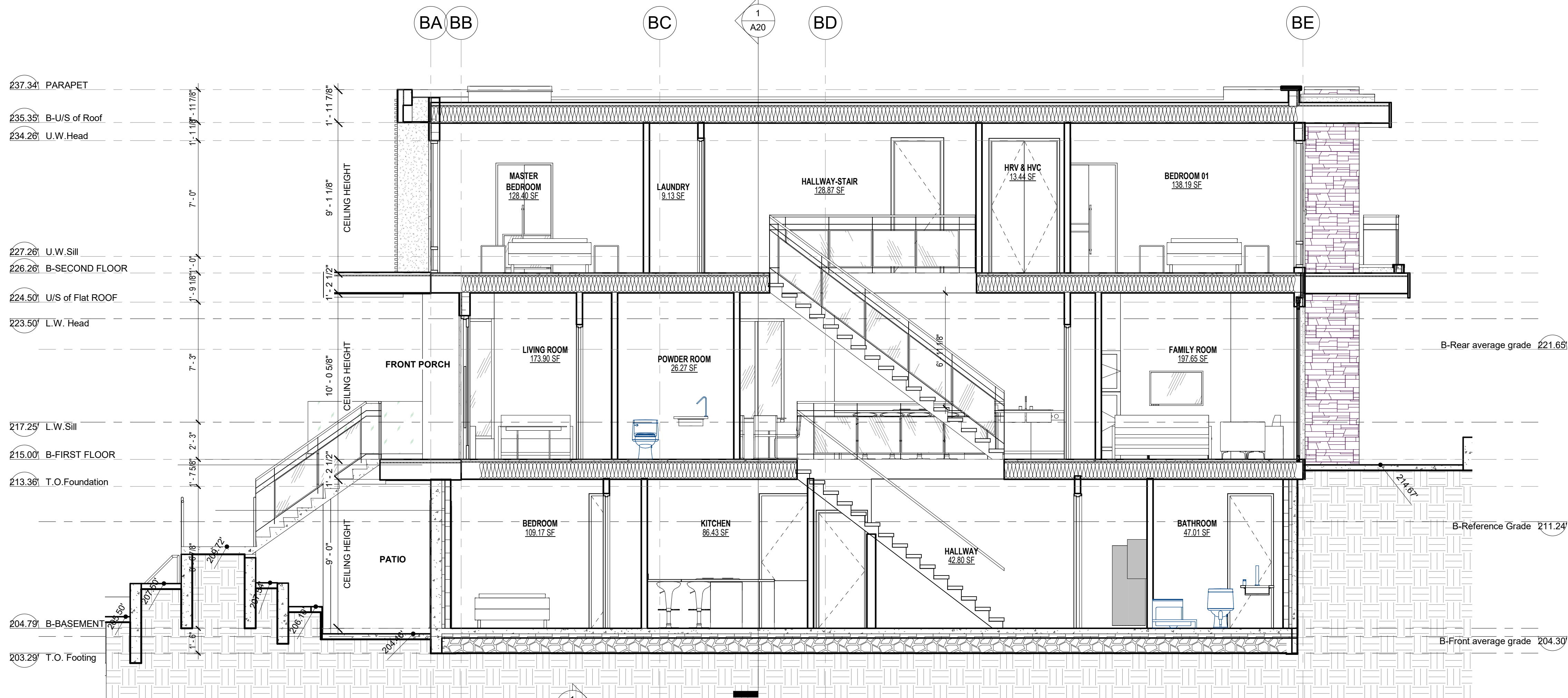
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DRAWING ISSUE

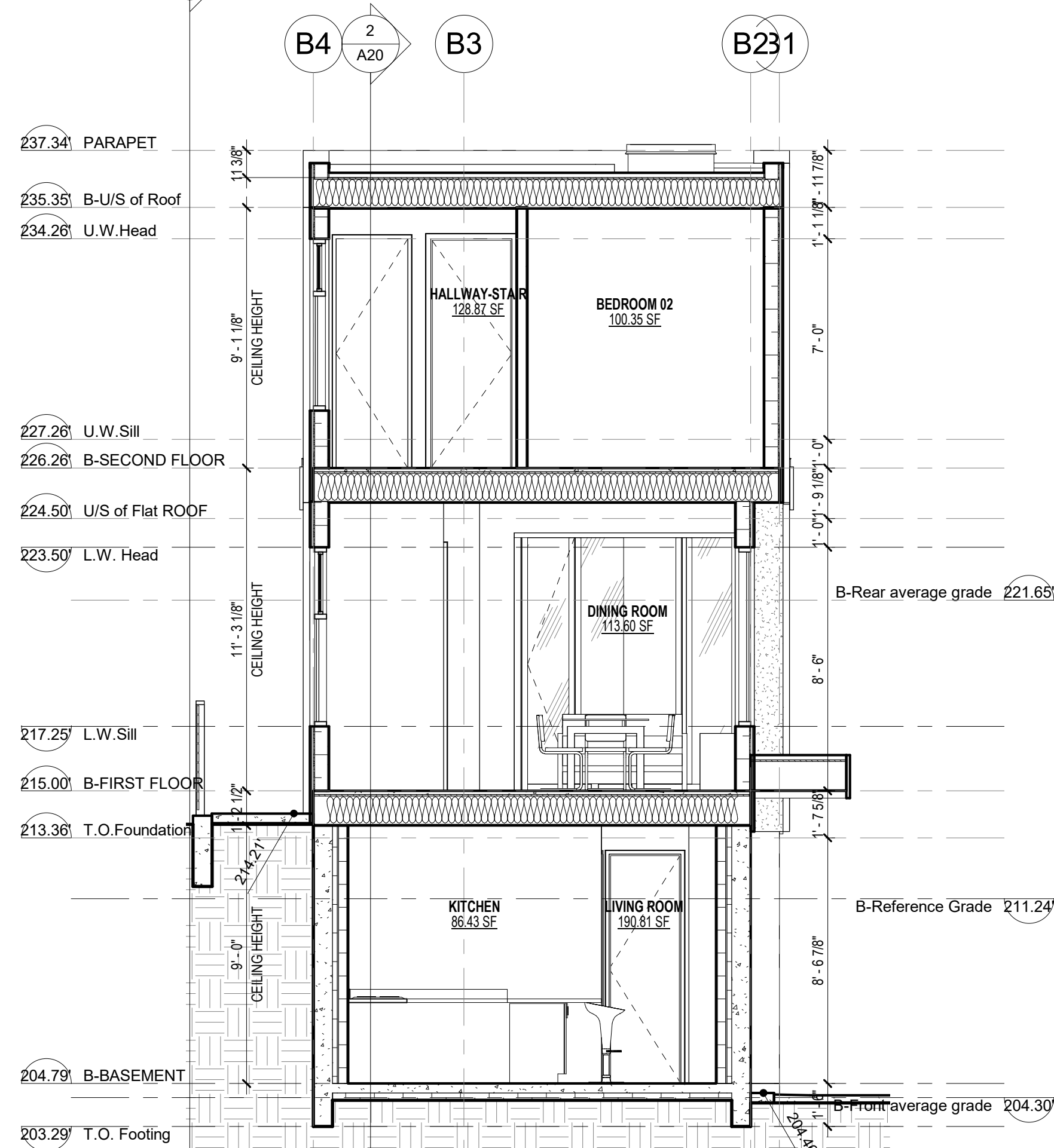
ISSUED FOR RS-2 REZONING

PROJECT NO. 23279	PLOT DATE JULY 28, 2023	DRAWN Author
	SCALE 1/4" = 1'-0"	REVIEWED Checker
DRAWING NO. A19		REVISION 2

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2 BLDG.B-Section A
1/4" = 1'-0"



1 BLDG B-Section B
1/4" = 1'-0"

Inspired
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PROJECT

EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
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DRAWING TITLE

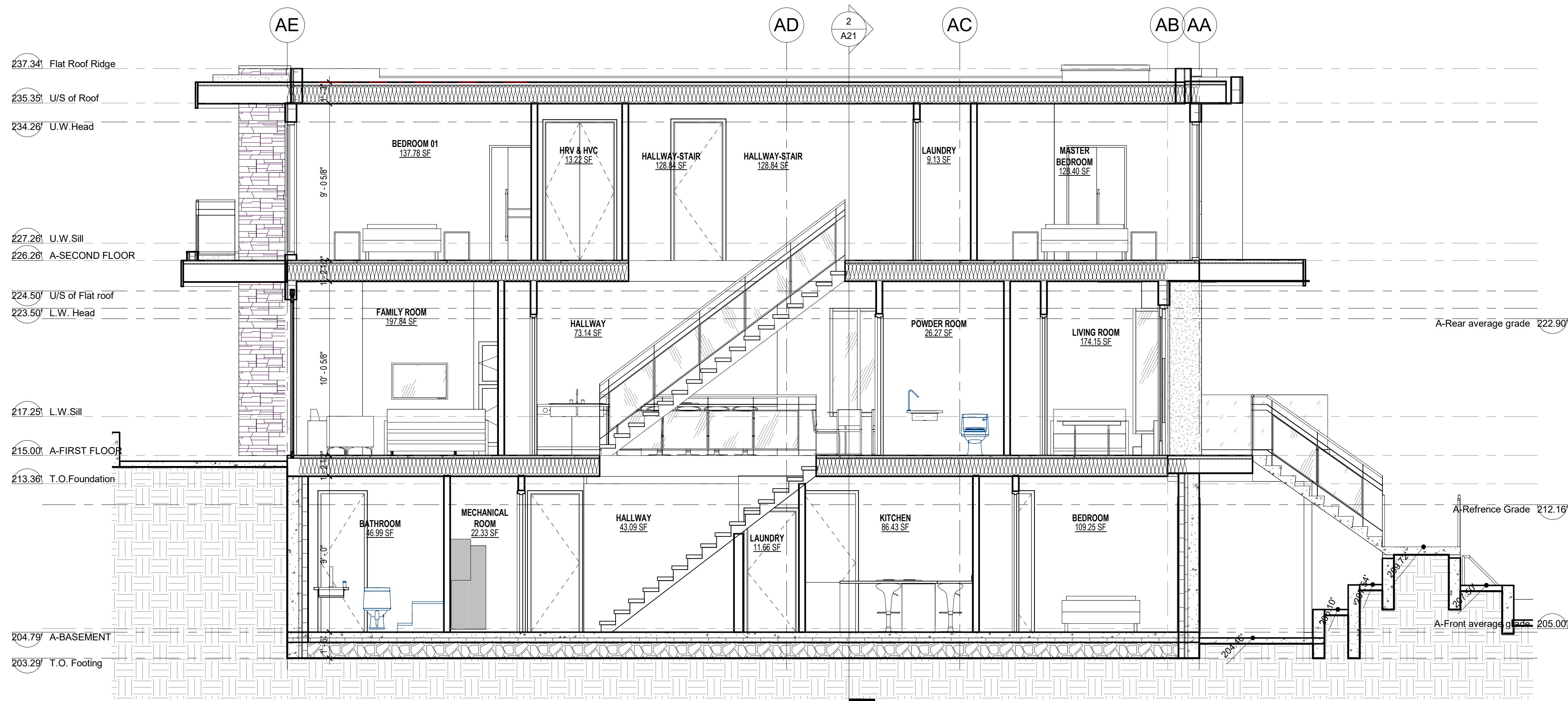
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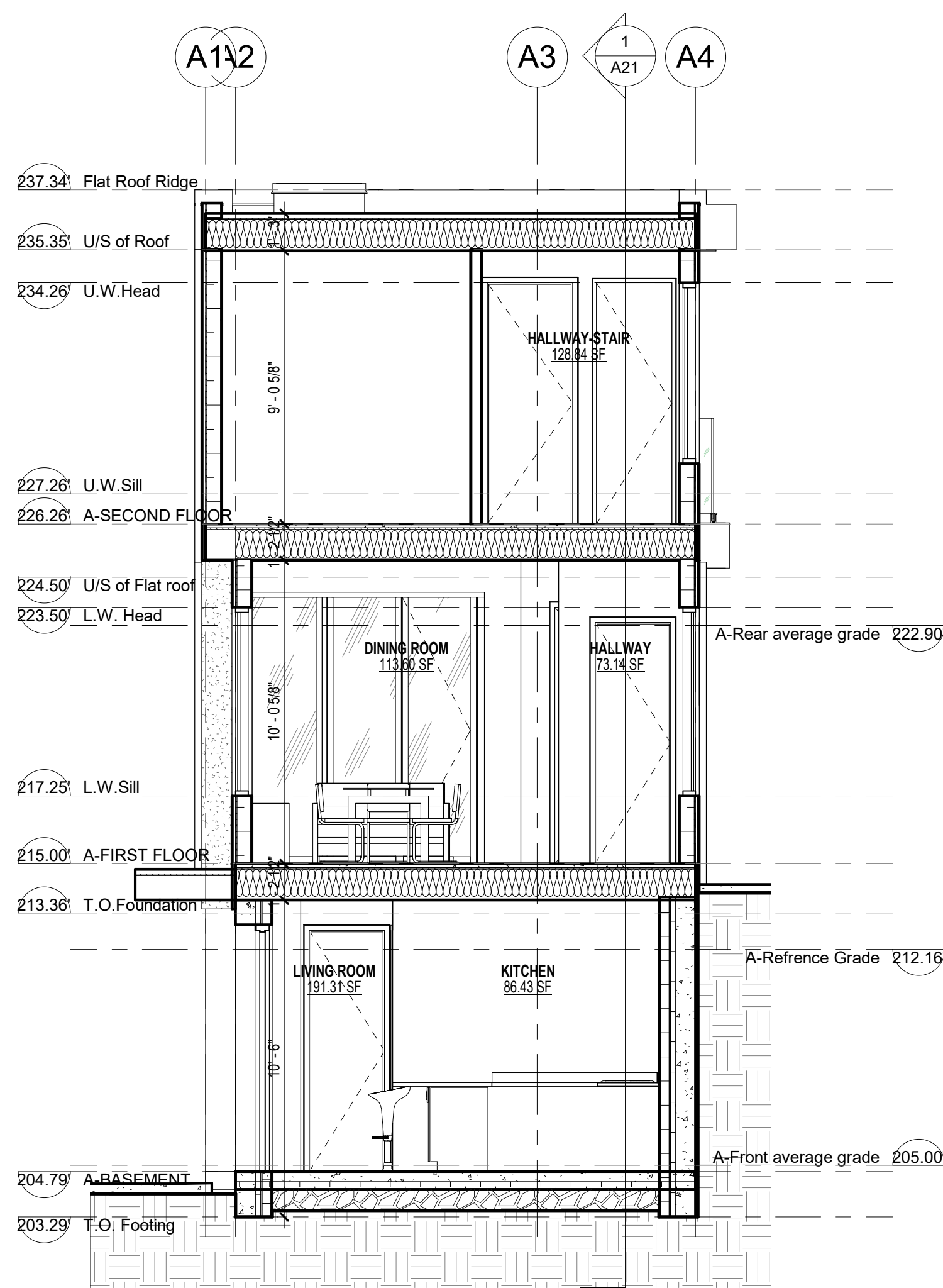
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PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	1/4" = 1'-0"	REVIEWED	AF
DRAWING NO.	A20			REVISION

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1 BLDG.A-Section A
1/4" = 1'-0"



2 BLDG.A Section B
1/4" = 1'-0"

1	2023-09-28	ISSUED FOR PREDESIGN REVIEW	AF
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EAST 4TH SUBDIVISION

822 EAST 4TH STREET, CITY OF NORTH
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BLDG- A SECTIONS

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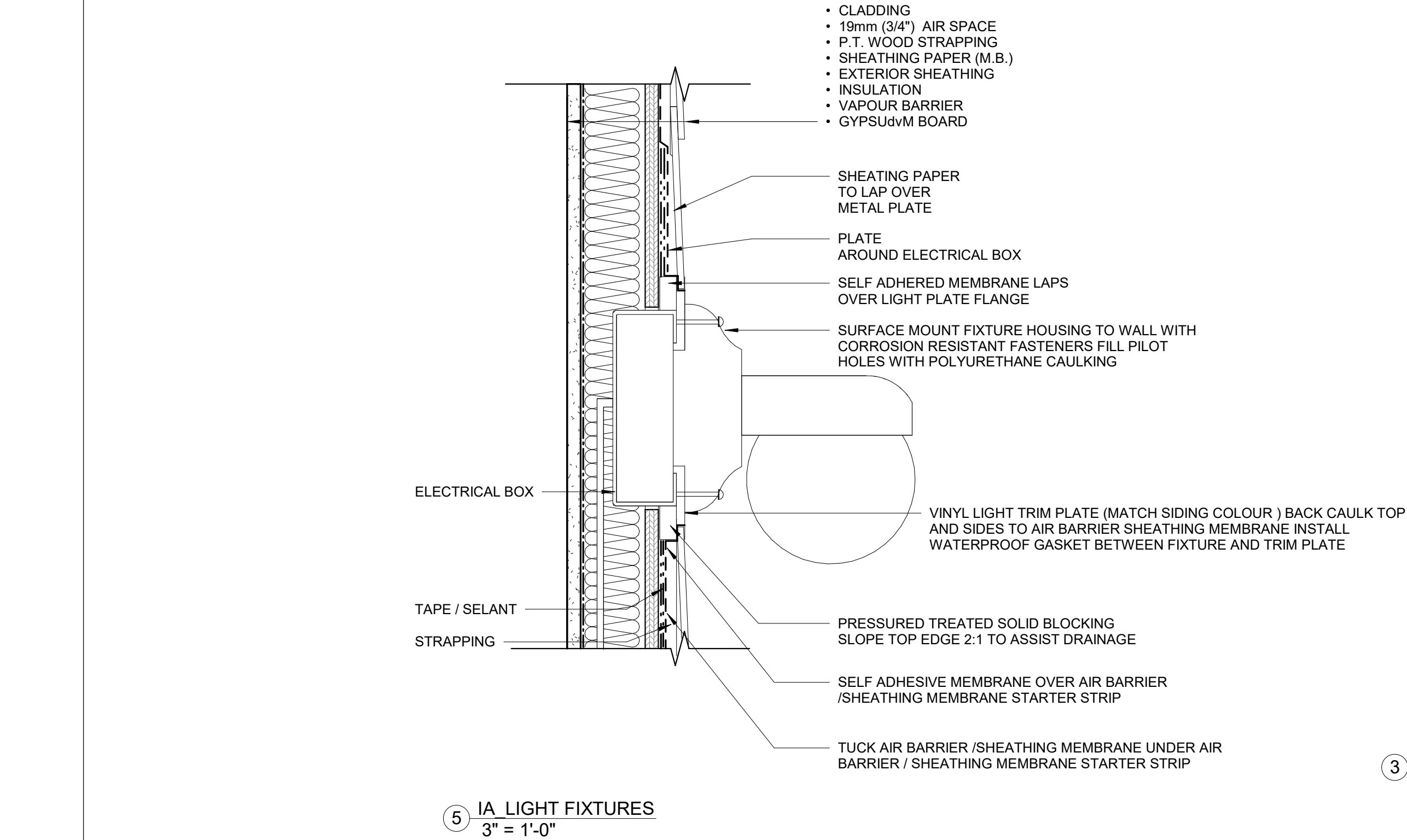
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PROJECT NO.	PLOT DATE	DRAWN	NM
23279	JULY 28, 2023	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION

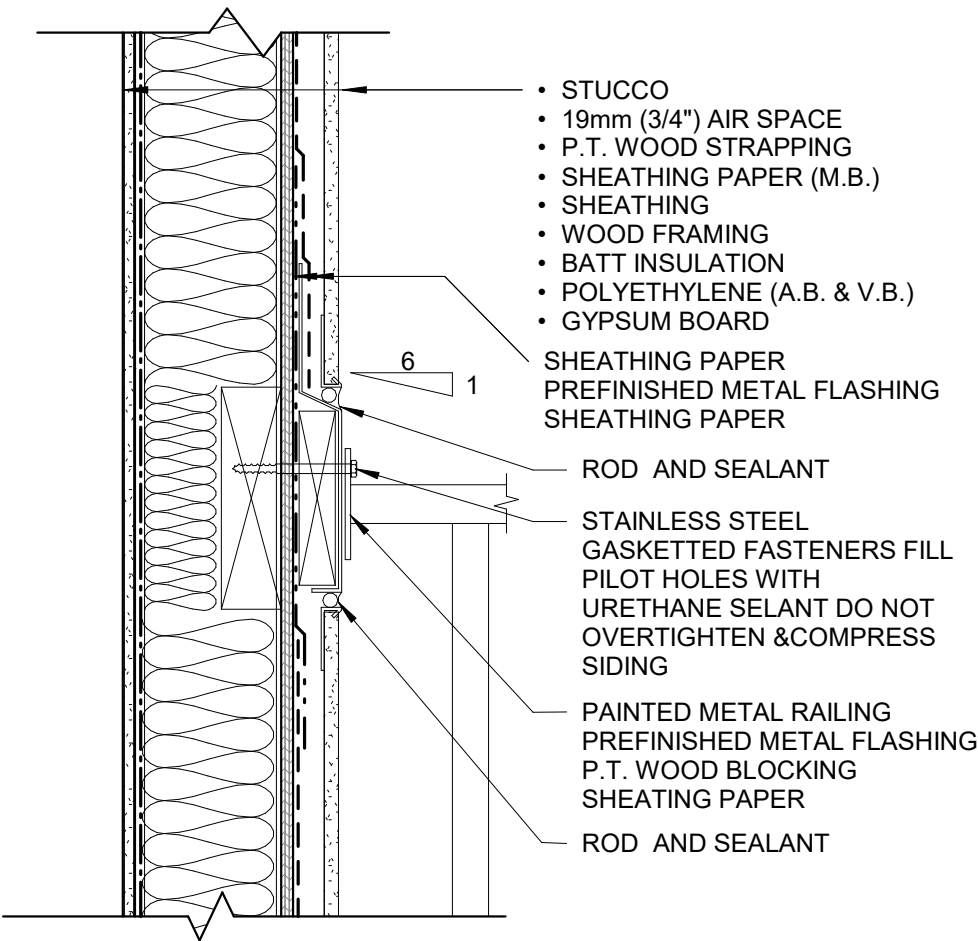
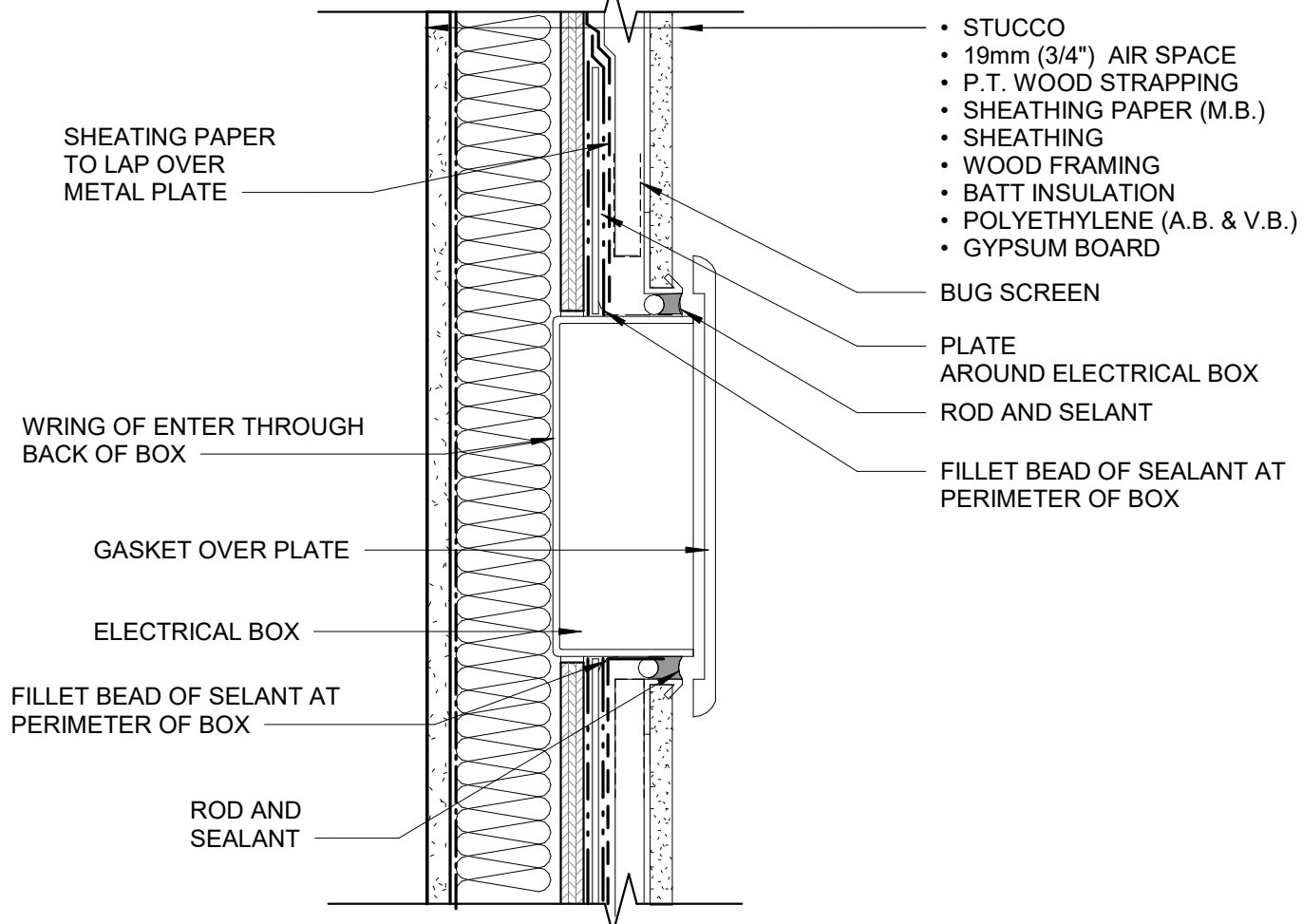
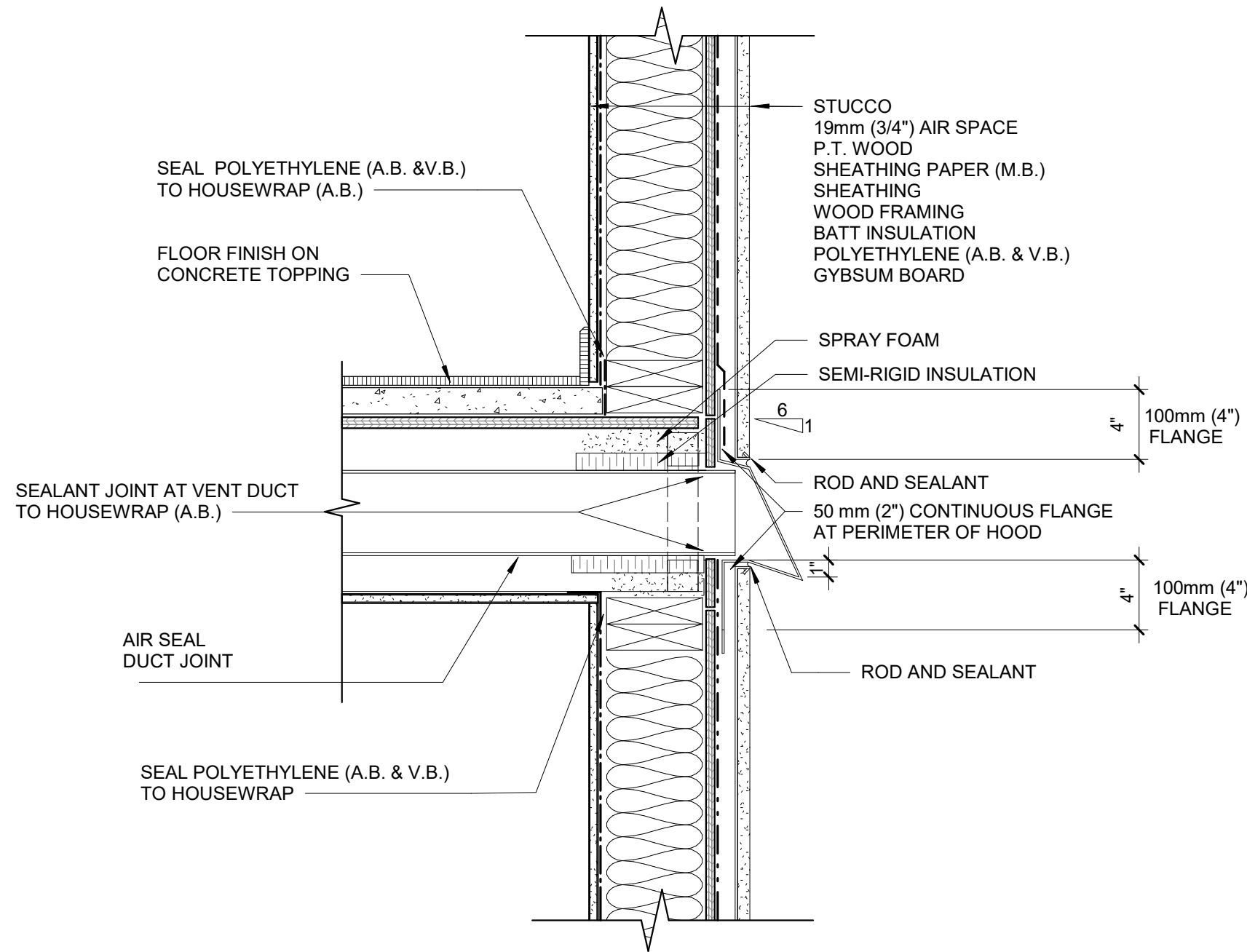
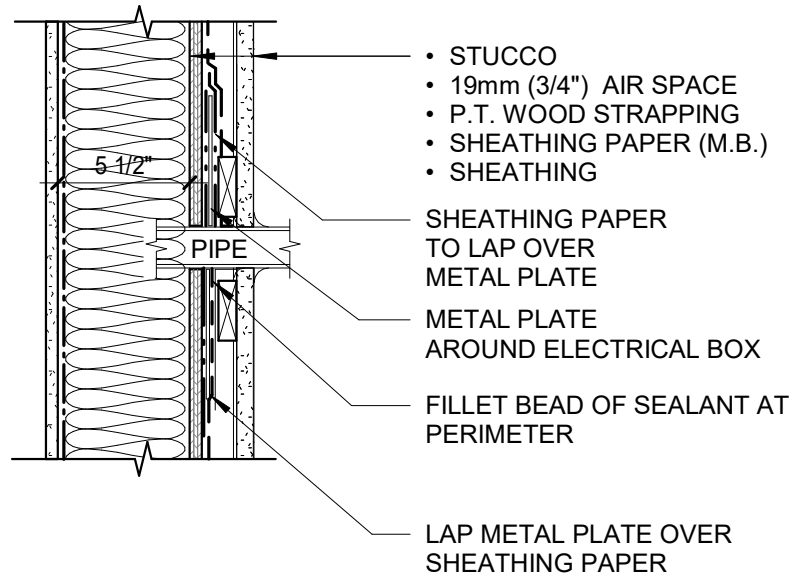
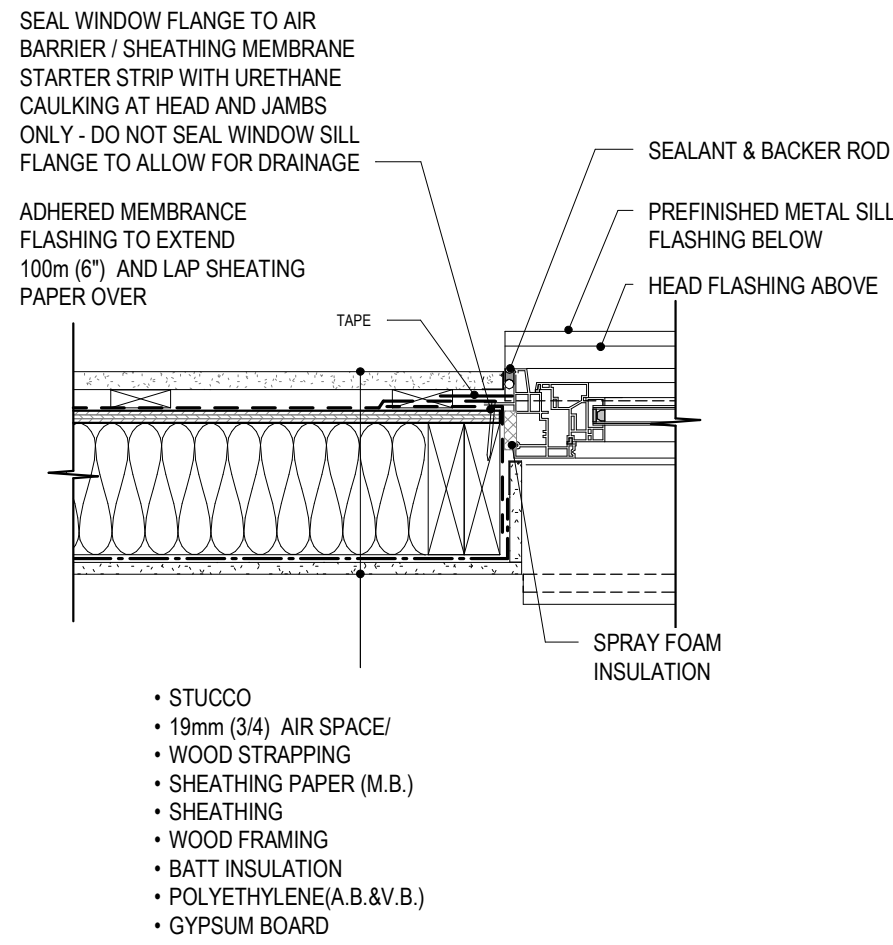
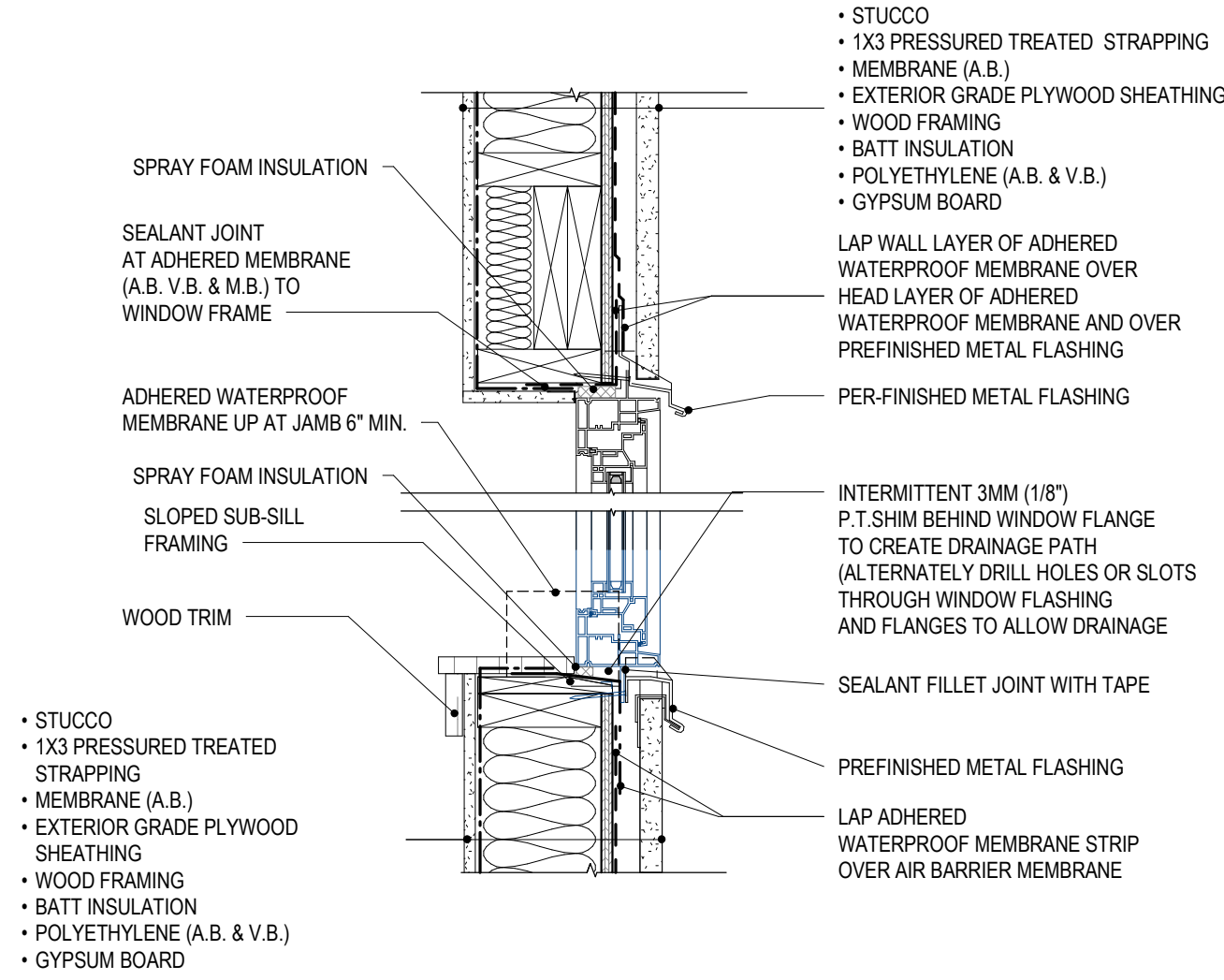
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3 IA SECTION DETAIL-WINDOW SILL
STUCCO FINISHING
1 1/2" = 1'-0"



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STANDARD DETAILS

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ISSUED FOR PREDESIGN REVIEW

PROJECT NO.	PLOT DATE	JULY 28, 2023	DRAWN	NM
23279	SCALE	As indicated	REVIEWED	AF
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