

DESIGN RATIONALE

Relationship to context

The mixed-use residential/ commercial proposal will replace the former low-density service commercial within the Marine Drive Frequent Transit Development Area. The proposed development provides lot-line to lot-line commercial units, a community amenity in the form of a daycare, and new opportunities for home ownership along the Marine Drive corridor with access to public transit. Redevelopment of this site will play a vital role in enhancing the pedestrian-friendly, and streetscape within a transit-supportive environment.

Building Massing / Materials

Building on previous successful collaborations between Polygon Homes and Shift Architecture, the proposed development seeks to enrich the community by supporting and enhancing the existing urban fabric. The architecture of the development intentionally seeks to create forms which embody a strong base, middle and top. Given the overall scale of the project, the architectural massing of the project also seeks to reduce the scale of the project into smaller, more easily understood components that serve to enliven the existing urban composition. This approach is consistent on all facades of the development.

Cladding is chosen to enhance the massing: the commercial base of the development is rendered in a rich ironspot brick. A filagree of decorative painted structural columns serve to define individual storefronts, while supporting complementary opportunities for signage above the continuous glazing of the commercial frontage.

The lighter, painted cementitious cladding of the residential levels counters the deeper brick base of the commercial level. The middle or "body" of the architecture is defined by frames and shrouds which gather balconies while subdividing and articulating the massing. The exterior faces of these frames and shrouds are clad in a prefinished metal while their interior faces feature wood-like cladding. The soffits of the balconies are gathered by frames also clad in wood-like material as are the soffits of the shroud elements, creating a cohesive element to the project.

A decorative perforated metal screen on the South elevation reinforces the datum line created at the upper level and further defines the head of the building. Glass and aluminum guards are utilized for most balconies while perforated metal screen is utilized within the guards at level five, to the West of the residential entry. The resulting architecture of the project is well-defined, current, and significant.

Indoor and Outdoor Amenities

Indoor and outdoor amenities have been provided for the residents of the development at grade at the northeast corner of the building and site. The north facing amenity room features near floor to ceiling glazing and a direct connection to the residential outdoor amenity to the north. A deep sheltering overhang offers protection from the elements while extending opportunities for activities and gathering to spill outdoors during inclement weather. In tandem, the ground oriented amenity and the exterior amenity will create a social focus for the residents while establishing a strong sense of community within the development.

Public Amenities

A diverse array of public amenities surround the site and are accessible to future residents and business owners of the development. Mosquito Creek Park, Haywood Park, and Spirit trail leading to Lonsdale Quay to the East and Ambleside to West are at walking and cycling distance. Shopping, restaurants, cafes, outdoor events, galleries, farmers markets, walk-in clinics encircle the site and create a healthy, vibrant and sustainable neighborhood.

The commercial amenities of the development will provide commercial services, local employment and a community hub.

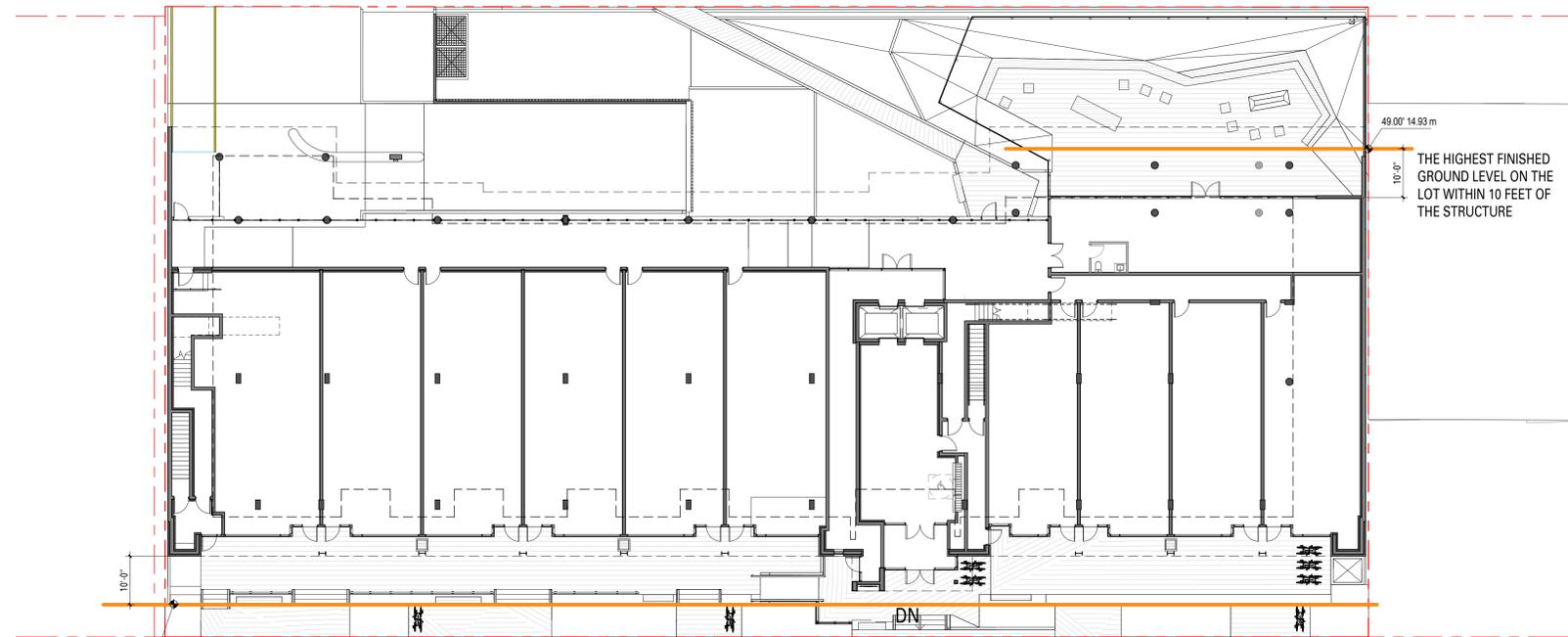
Crime prevention through environmental design

The mixed-use function of the building inherently facilitates crime prevention, adding eyes on the street at different times of the day. Light fixtures through out the landscaping, particularly at the lane, create a safer environment at night.

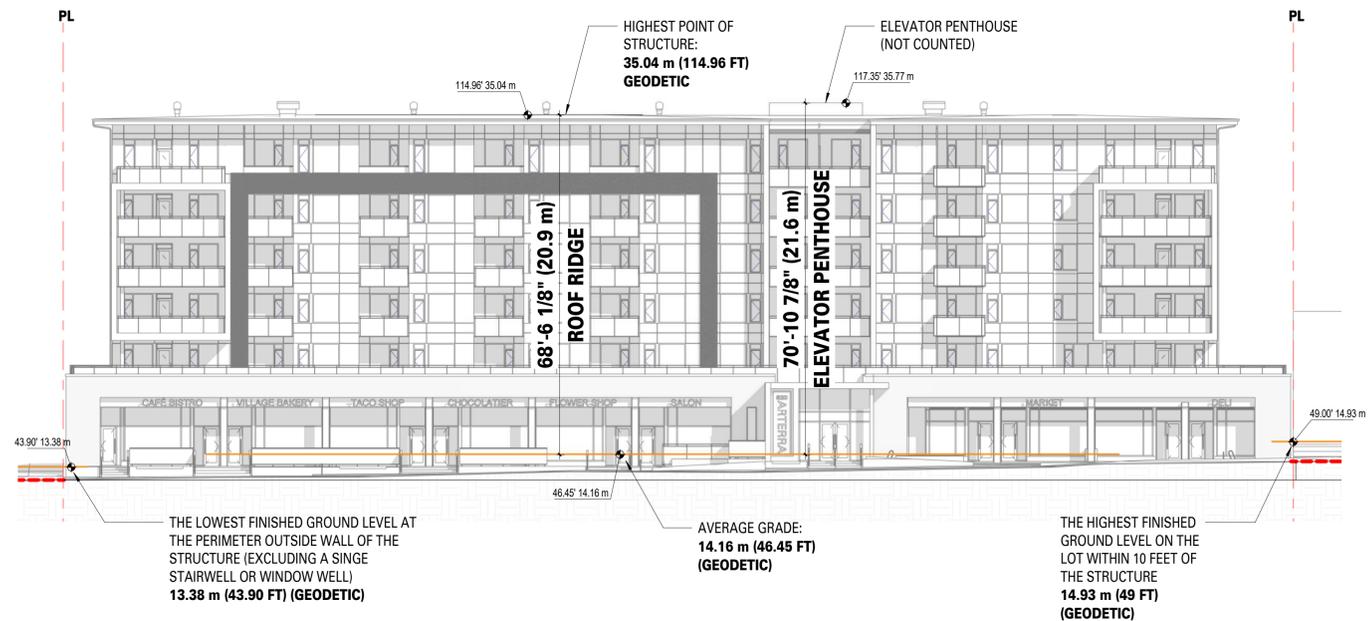
The combination of daycare and landscaped area to the North activates the laneway while still maintaining privacy and security. The open concept of the commercial platform in the front and the secured underground parkade meet CPTED requirements by maximizing openness and visibility through the floor area.

Open space and Landscape treatment

The open area in front of the CRUs is set back from 15th street west. The border of the CRU platform gradually steps up with a few low rising stairs and is accentuated with different paving materials, planters and linear stepped seating and benches. This differentiation is soft and gradual and designed to create an inviting and vibrant podium for pedestrian, shoppers and local community to rest, sit, eat, relax, shop and enjoy the local businesses.



43.90' 13.38 m
 49.00' 14.93 m
 10'-0"
 THE LOWEST FINISHED GROUND LEVEL AT THE PERIMETER OUTSIDE WALL OF THE STRUCTURE (EXCLUDING A SINGLE STAIRWELL OR WINDOW WELL)
 AVERAGE GRADE CALCULATIONS
 THE HIGHEST FINISHED GROUND LEVEL ON THE LOT WITHIN 10 FEET OF THE STRUCTURE



SOUTH ELEVATION (BUILDING HEIGHT CALCS)
 1/16" = 1'-0"

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
B	04/04/22	RE-ISSUED FOR RZ/DP
C	01/12/21	RE-ISSUED FOR RZ/DP



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
DESIGN RATIONALE

Drawn By
 Reviewed by

Author
 Approver

Project Number
2003

Plot Date
 2021/01/22

Issue Date
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Scale
1/16" = 1'-0"

Issue/Revision
C

Sheet Number

A0.01a



1. 15TH STREET W, LOOKING NORTH - PROJECT SIDE OF STREET



2. 15TH STREET W, LOOKING SOUTH



3. LOOKING EAST AT SITE



4. AT LANE LOOKING NORTH



5. AT LANE LOOKING SOUTH - PROJECT SIDE OF LANE

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PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
CONTEXT IMAGES

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2003

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A0.03b



VIEW FROM SOUTH- 15TH STREET



VIEW FROM SW CORNER- 15TH STREET



PERSPECTIVE VIEW FROM SE- 15TH STREET

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
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PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
PERSPECTIVES

Drawn By
Reviewed by

Author
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Project Number
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PERSPECTIVE VIEW FROM SOUTH- 15TH STREET



PERSPECTIVE VIEW- CRUs



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PERSPECTIVES

Drawn By
Reviewed by

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Approver

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2003

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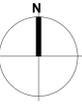
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04/04/22

Scale
C

Issue/Revision

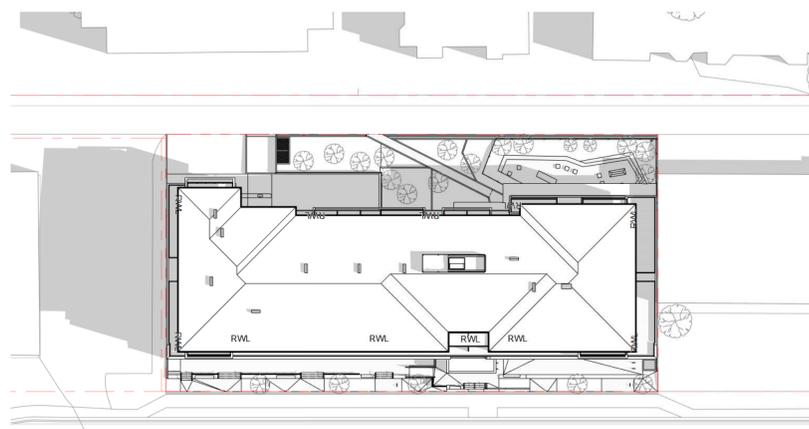
Sheet Number

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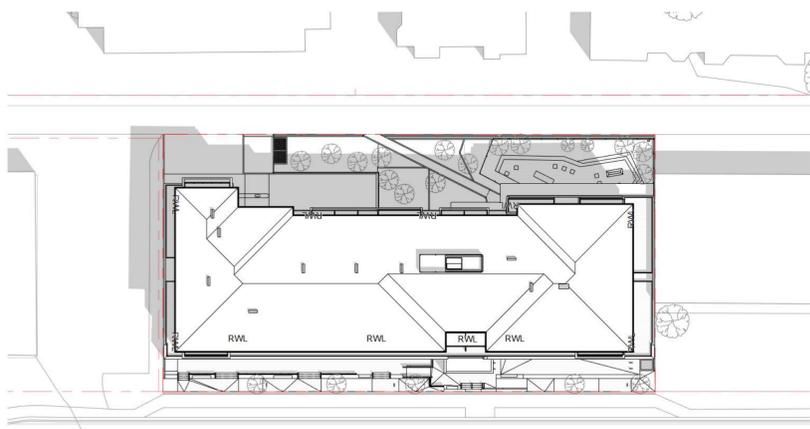


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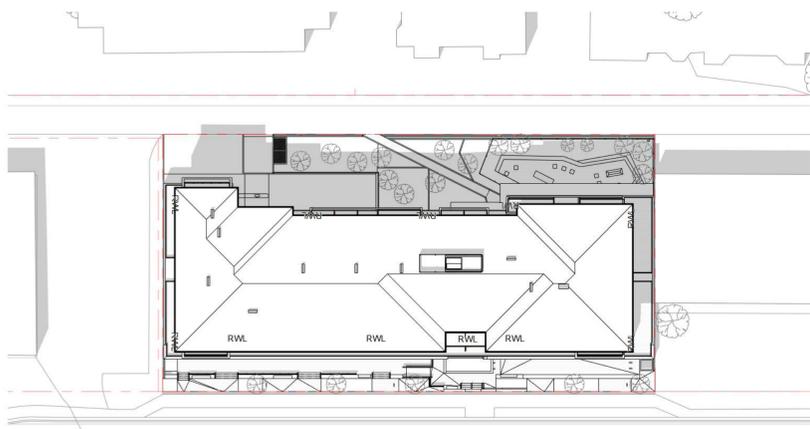
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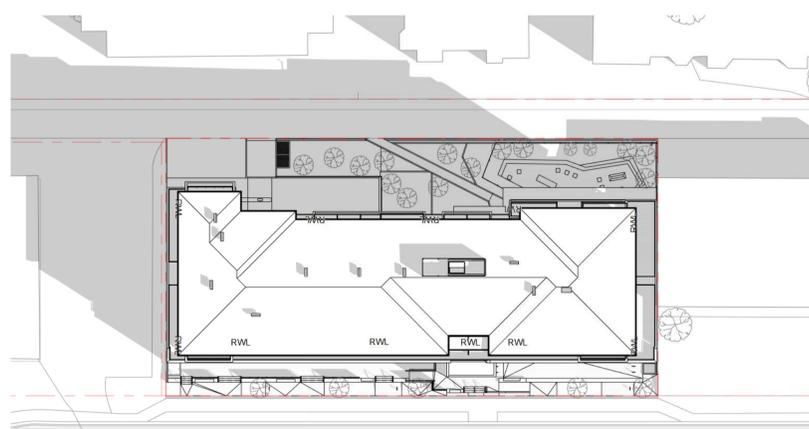
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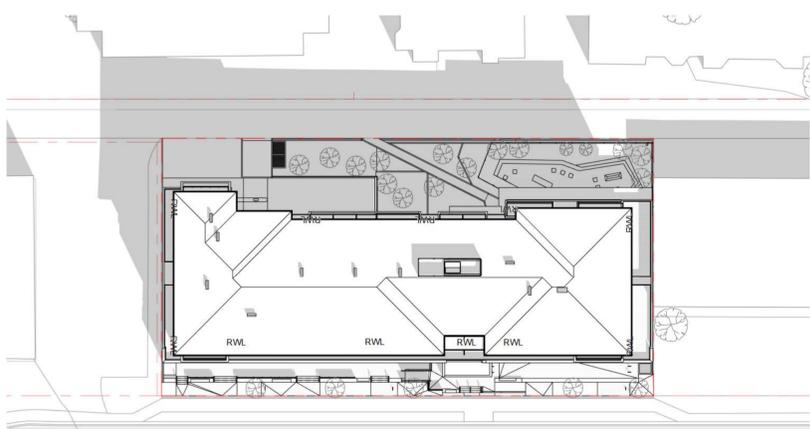
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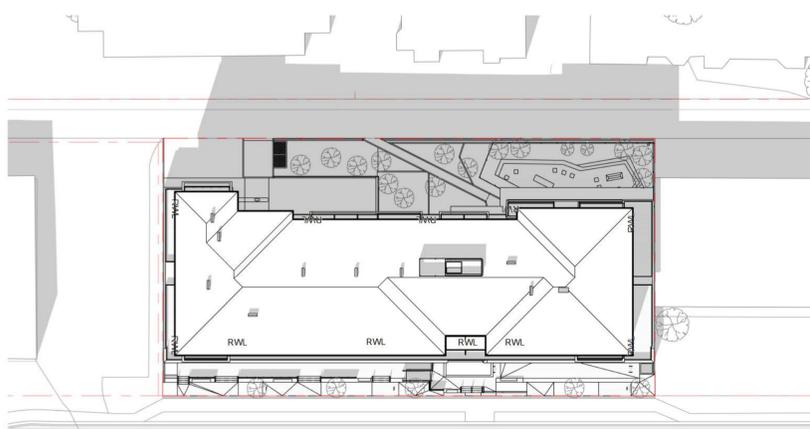
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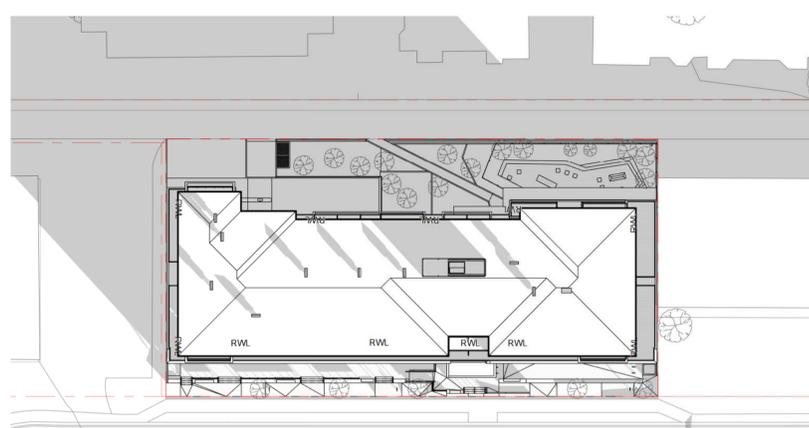
SHADOW STUDY - SEPT / MARCH 21st (10am)



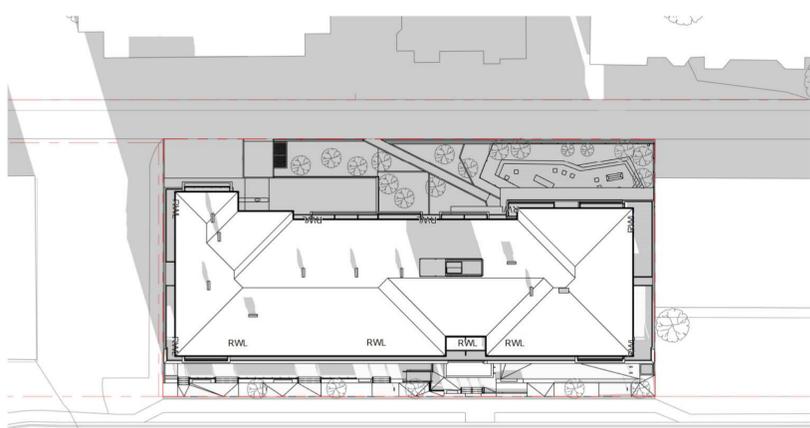
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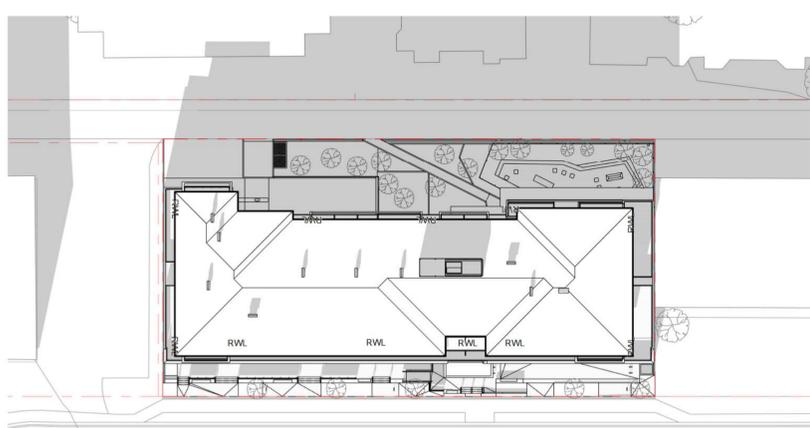
SHADOW STUDY - SEPT / MARCH 21st (2pm)



SHADOW STUDY - DECEMBER 21st (10am)



SHADOW STUDY - DECEMBER 21st (12pm)



SHADOW STUDY - DECEMBER 21st (2pm)



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
SHADOW STUDIES

Drawn By: LC
Reviewed by: Approver

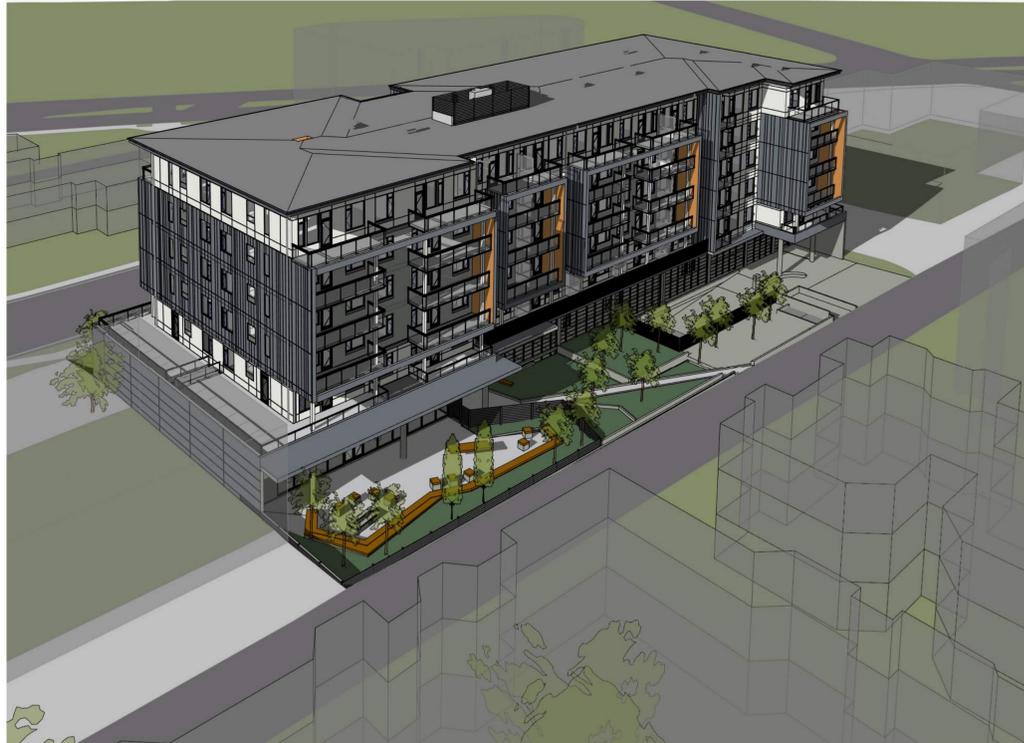
Project Number
2003

Plot Date: 2021/01/22
Issue Date: 04/04/22

Scale: 1" = 40'-0"
Issue/Revision: **C**

Sheet Number

A0.05



1 AERIAL FROM NE



2 AERIAL FROM NW



3 AERIAL FROM SE



4 AERIAL FROM SW

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PH NV 15

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Client/Owner
Polygon Development 237 Ltd.

Sheet Title
AERIAL VIEWS

Drawn By
Reviewed by

Author
Approver

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Plot Date
2021/01/22

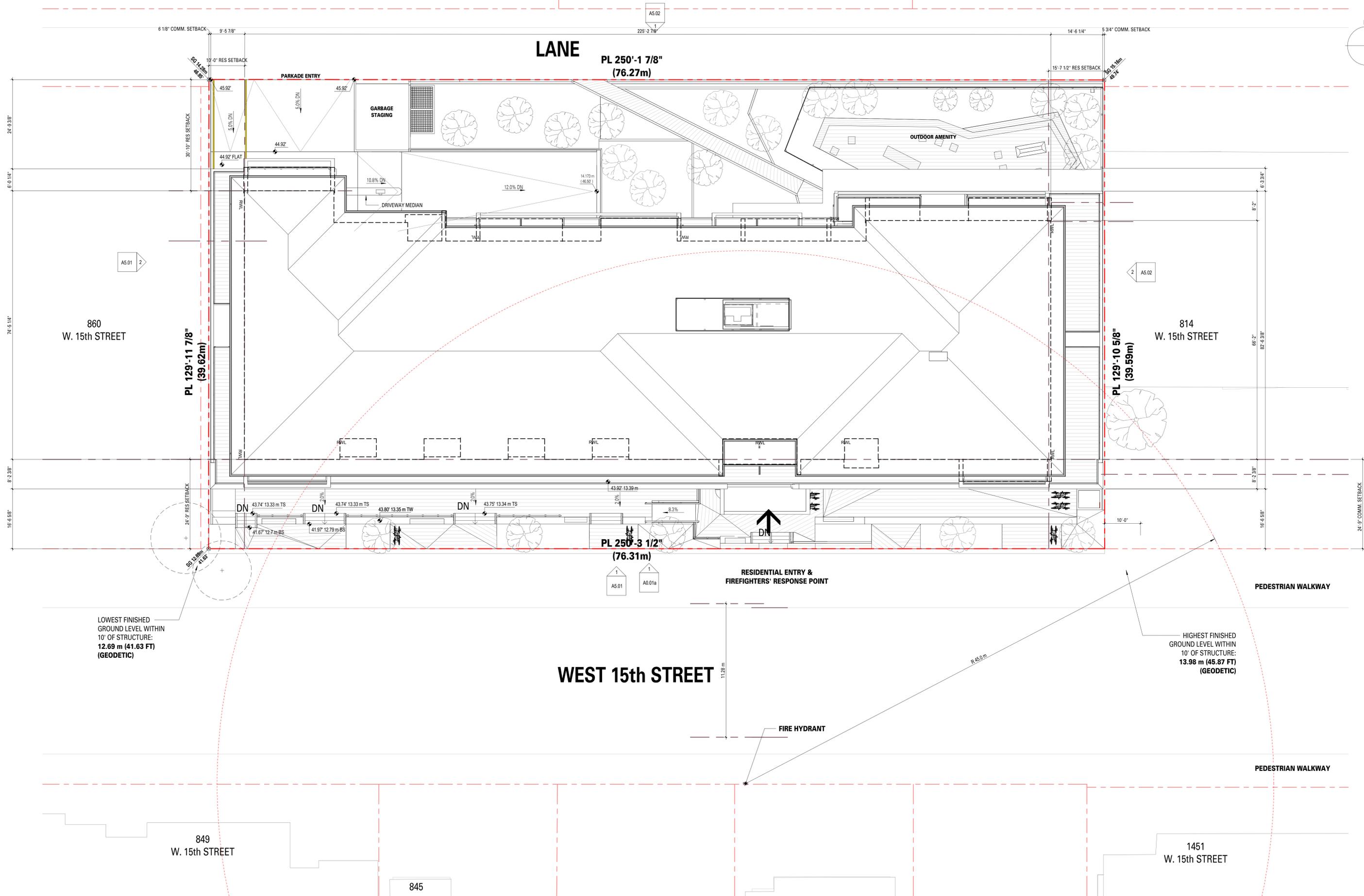
Issue Date
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Scale

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C

Sheet Number

A0.05a



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6

POLYGON
Client/Owner
Polygon Development 237 Ltd.

Sheet Title
SITE PLAN

Drawn By: LC
Reviewed by: Approver

Project Number
2003

Plot Date: 2021/01/22
Issue Date: 04/04/22

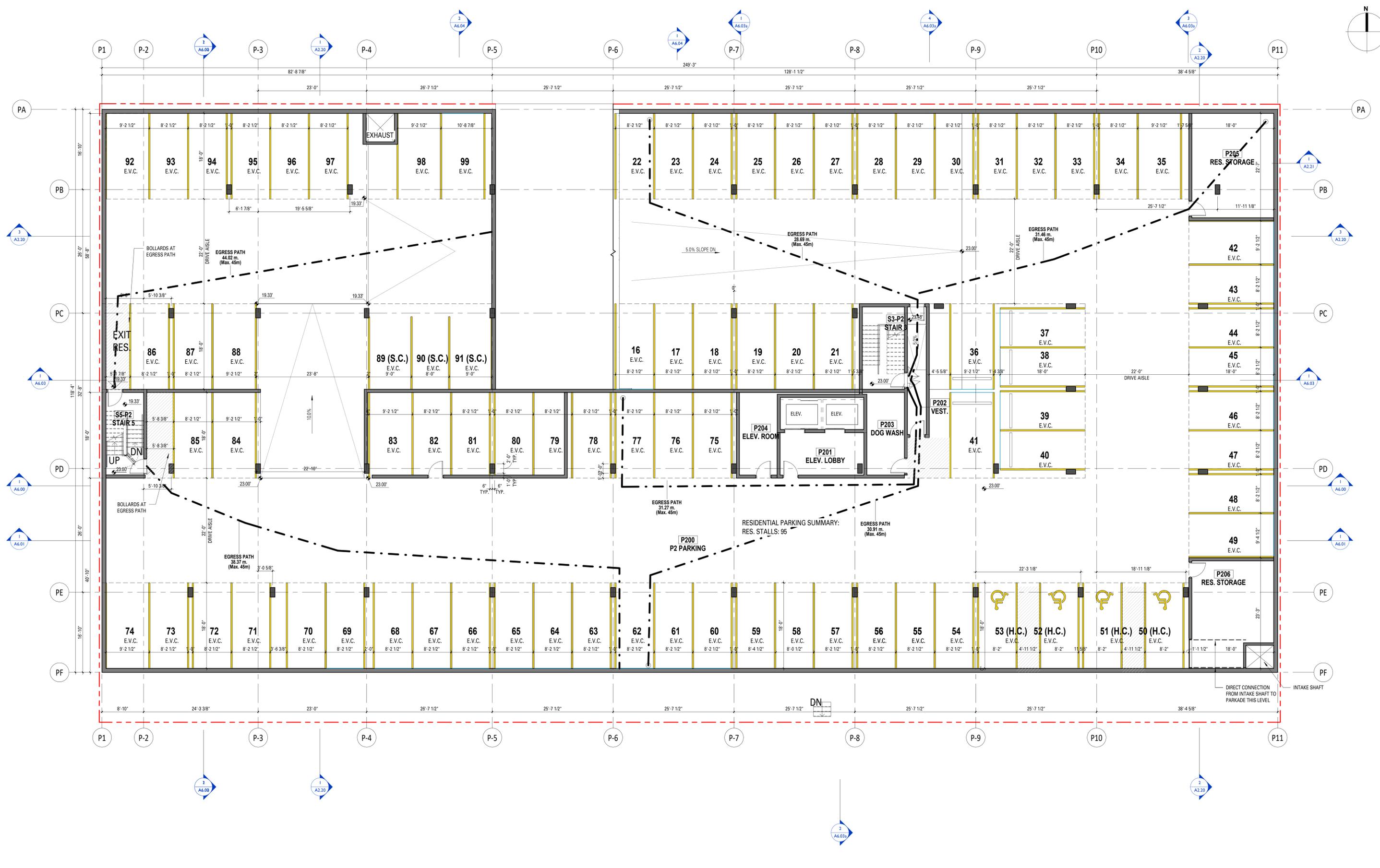
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Sheet Number

A1.00

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
LEVEL P2 PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
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2021/01/22

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Scale
1/8" = 1'-0"

Issue/Revision
C

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A2.01

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
LEVEL 2 PLAN

Drawn By
Reviewed by

Author
Approver

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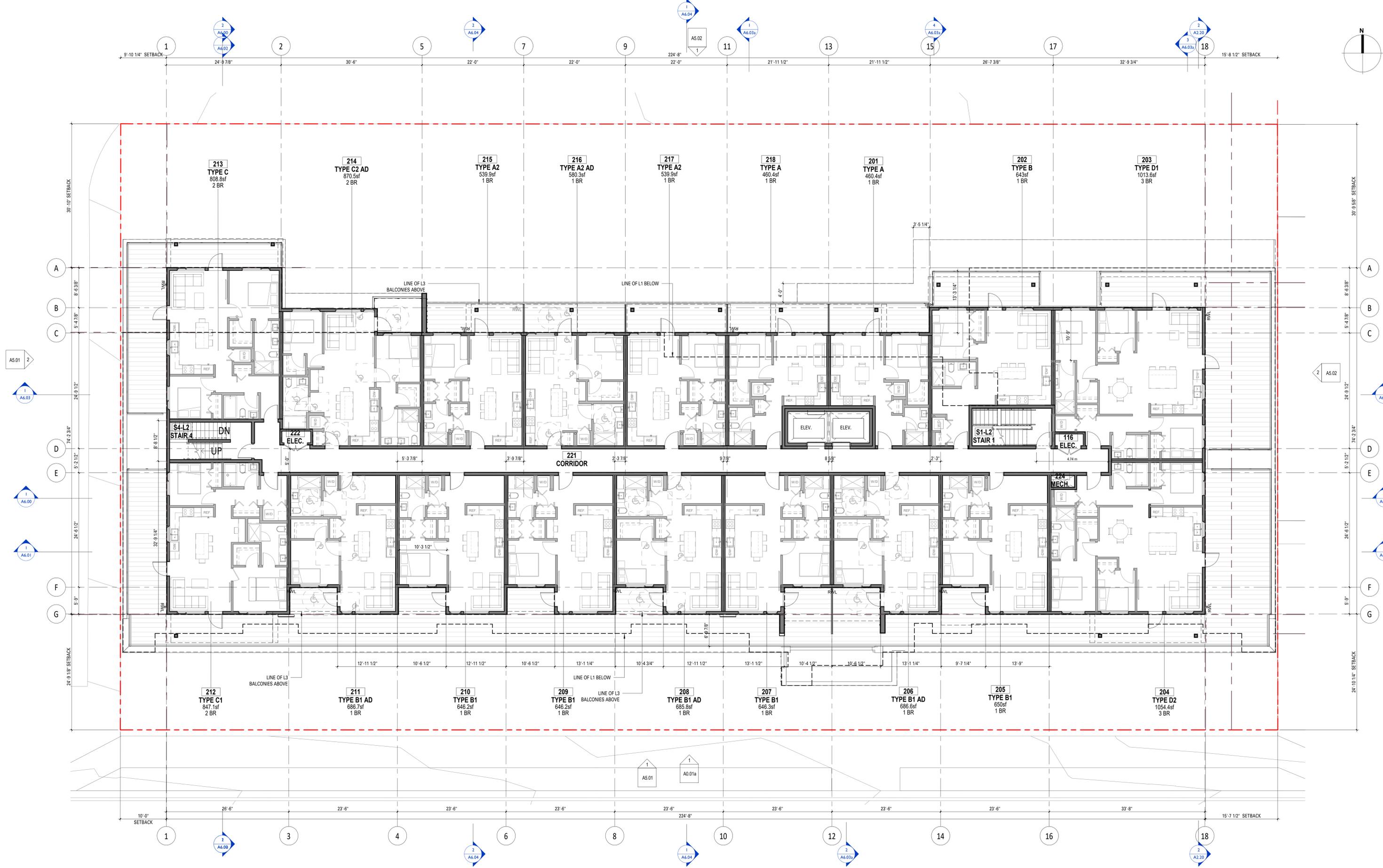
Issue Date
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Scale
1/8" = 1'-0"

Issue/Revision
C

Sheet Number

A2.04



No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
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820 W 15th St, North Vancouver BC V7P 1M6



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Polygon Development 237 Ltd.

Sheet Title
LEVEL 3 PLAN - TYPICAL

Drawn By: [Blank] Author: [Blank]
Reviewed by: [Blank] Approver: [Blank]

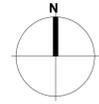
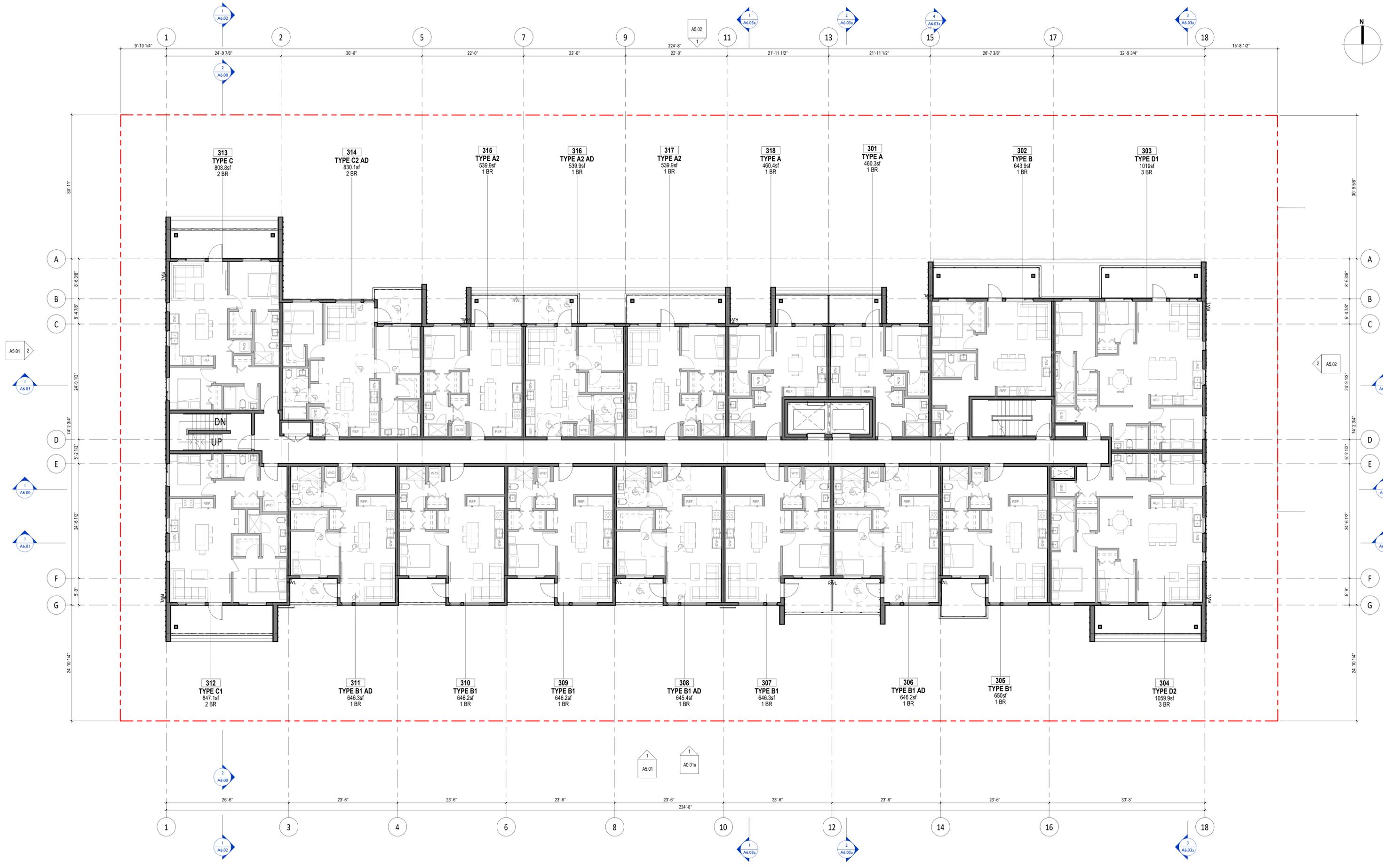
Project Number
2003

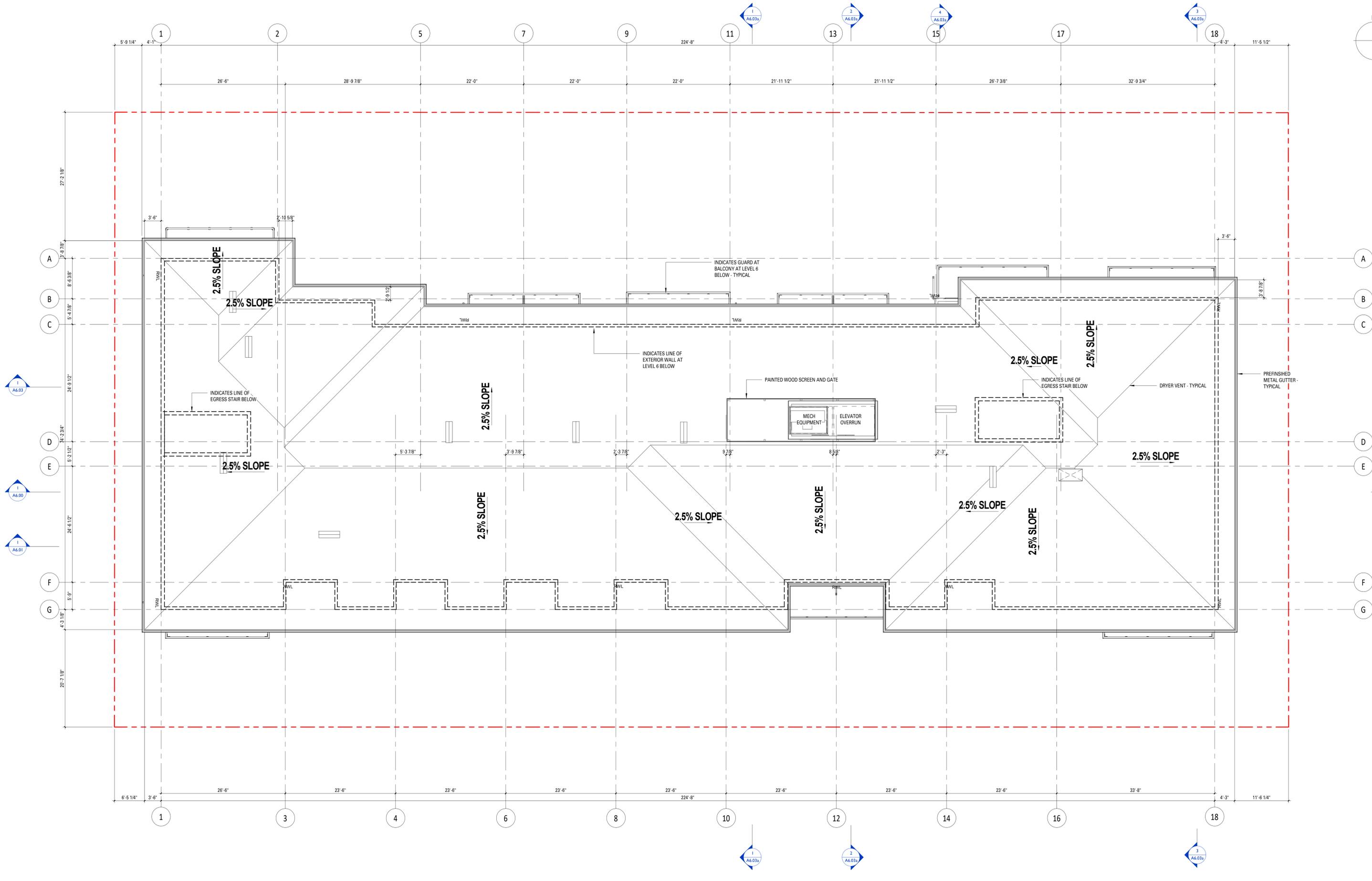
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Scale: 1/8" = 1'-0" Issue/Revision: **C**

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A2.05





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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6

POLYGON
Clients/Owner
Polygon Development 237 Ltd.

Sheet Title
ROOF PLAN

Drawn By
Reviewed by

Author
Approver

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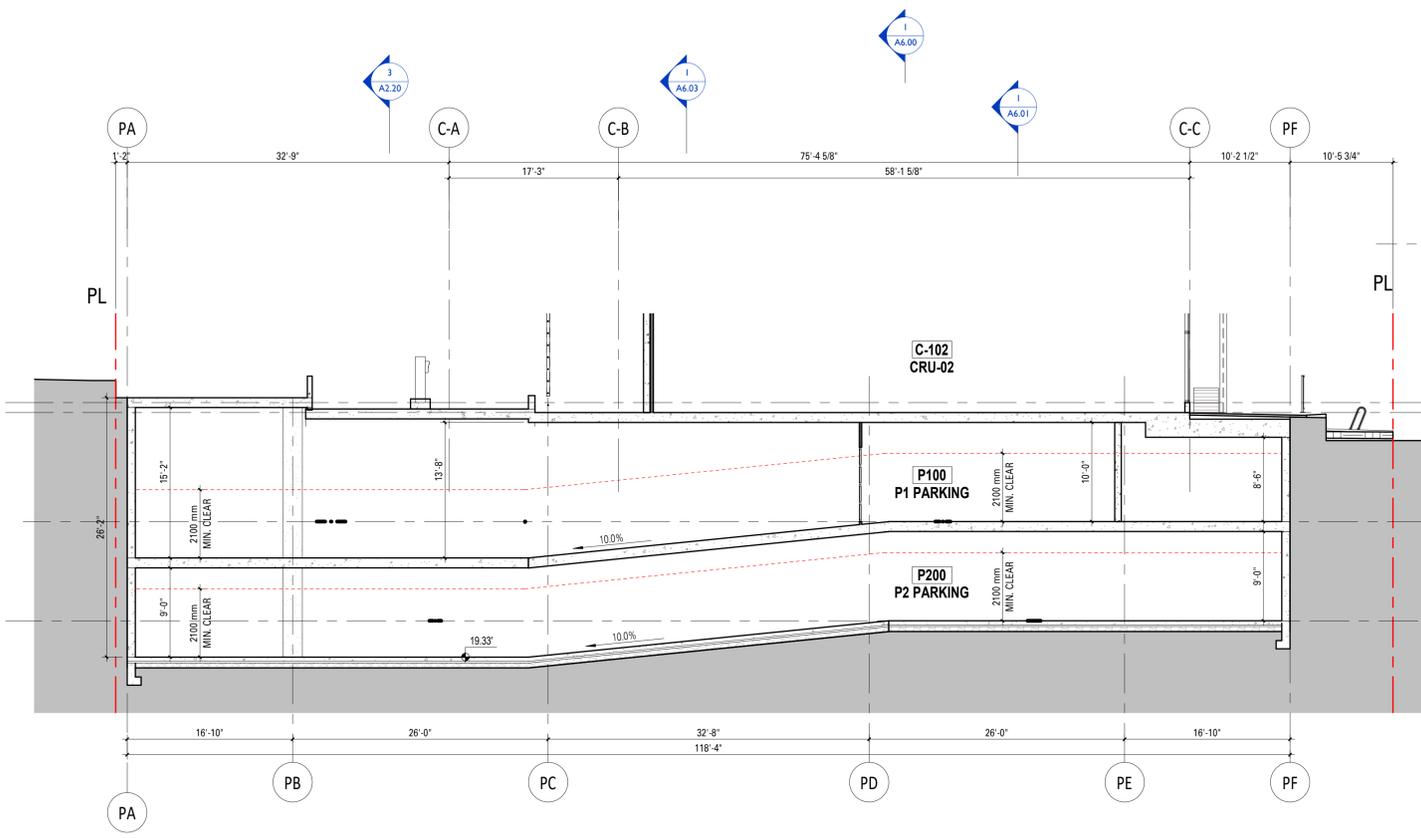
Scale
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Issue/Revision
C

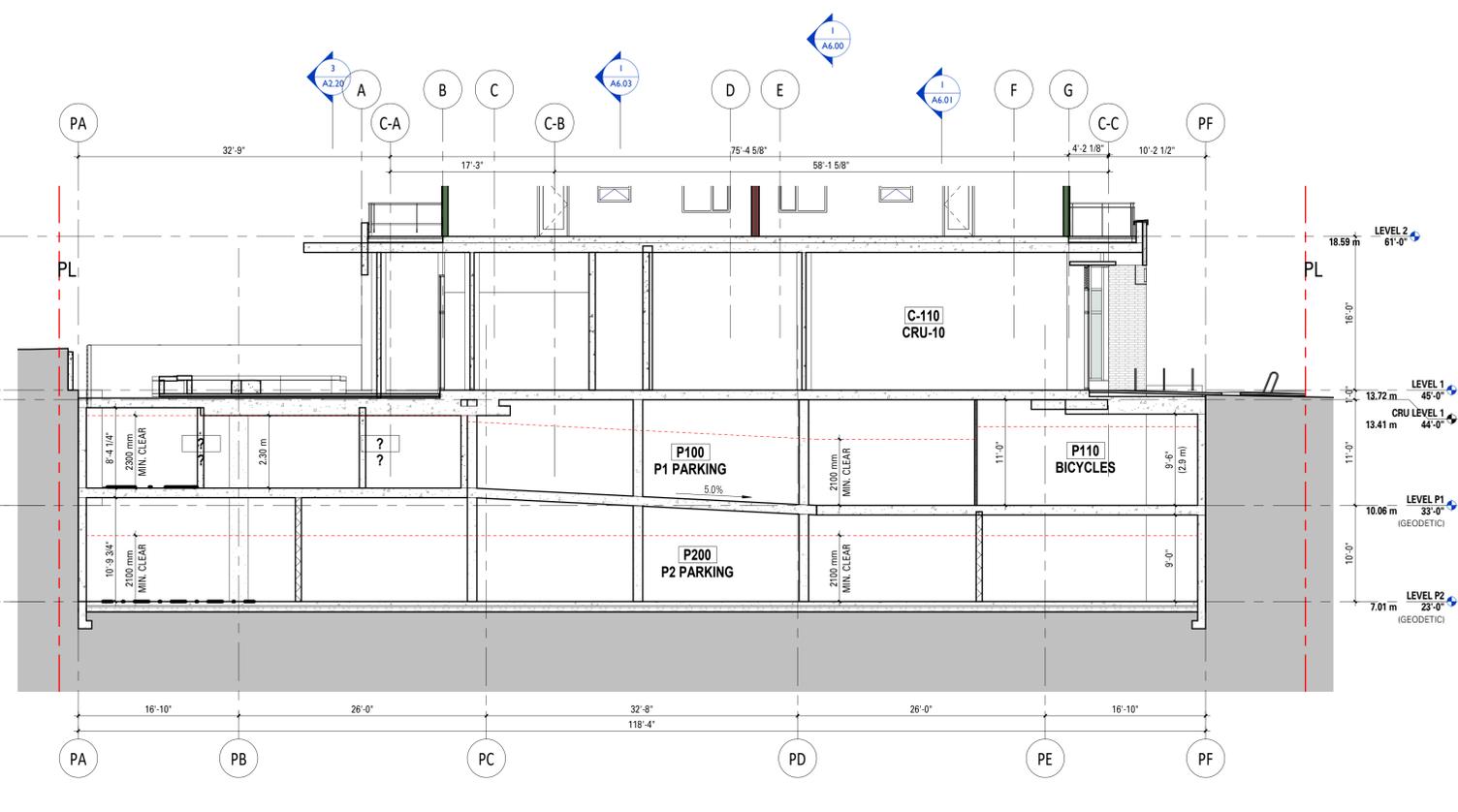
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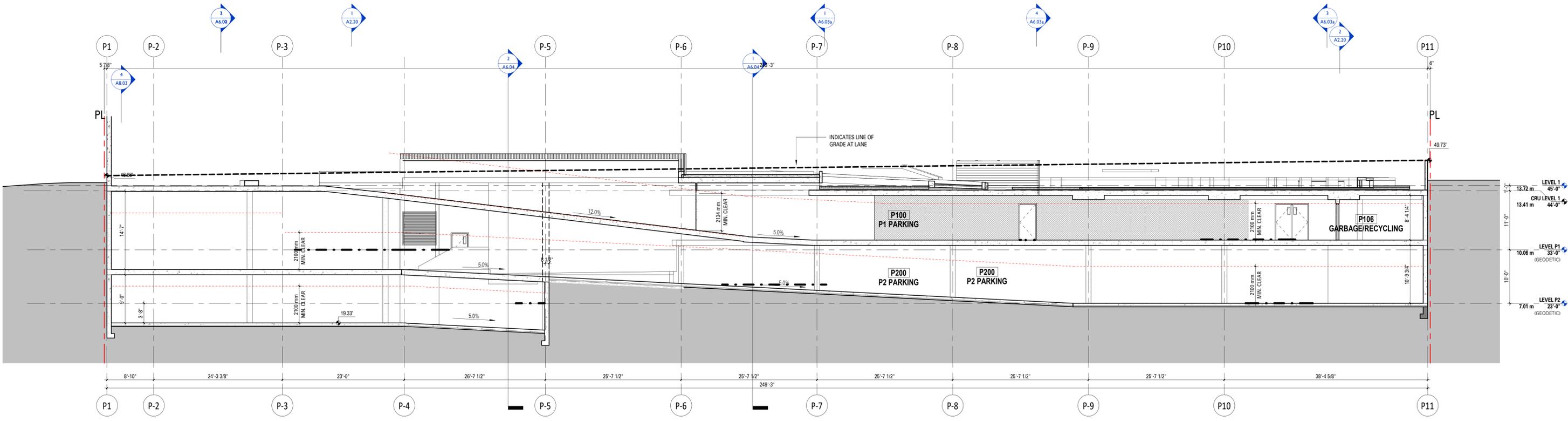
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A	26/01/21	ISSUED FOR RZ/DP
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B	01/12/21	RE-ISSUED FOR RZ/DP



1 PARKADE ENTRY RAMP N/S
A2.01 1/8" = 1'-0"



2 PARKADE SECTION N/S
A2.01 1/8" = 1'-0"



3 PARKADE ENTRY RAMP E/W
A2.01 1/8" = 1'-0"



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
PARKING SECTIONS

Drawn By: LC
Reviewed by: Approver

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A	26/01/21	ISSUED FOR RZ/DP
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No.	Date	Revision Notes



1 SOUTH ELEVATION
A1.00 1/8" = 1'-0"



2 WEST ELEVATION
A1.00 1/8" = 1'-0"

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'PEPPERCORN - 7674' - REGENT GREY
CL-02	CORRUGATED METAL SIDING - SHERWIN WILLIAMS 'WALL STREET - 7665' - CHARCOAL
CL-03	CEMENTITIOUS CLADDING PANEL - ARCHITIC WHITE
CL-04	CEMENTITIOUS CLADDING PANEL - NIGHT GRAY
CL-06	TONGUE & GROOVE CORRUGATED PVC PLANK SOFFIT & WALL - 'PINE ZEBRAWOOD'
CO-01	ARCHITECTURAL CONCRETE - ELASTOMERIC PAINT - TO MATCH BM SEA HAZE - 2137-50
DW-01	VINYL WINDOW C/W LOW-E DOUBLE GLAZING - BLACK
FIN-02	PAINTED METAL FASCIA TO MATCH STANDING SEAM CLADDING (CL-01)
FIN-03	PAINTED METAL GUTTER TO MATCH STANDING SEAM CLADDING (CL-01)
FIN-04	PAINTED METAL RWL TO MATCH STANDING SEAM CLADDING (CL-01)
MA-01	BRICK VENEER - NORMAN MODULE, 1/3 BOND - CLINKER MORA BLACK
MM-01	METAL SCREEN - SHERWIN WILLIAMS 'PEPPERCORN - 7674'
MM-08	GALVANIZED & PAINTED STEEL COLUMNS & BEAMS - COLOUR TO MATCH BM 2129-10 MIDNIGHT DREAM
PS-01	PRIVACY SCREEN (ALUMINUM & TRANSLUCENT GLASS) - BM BENJAMIN MOORE 2129-10 MIDNIGHT DREAM
PS-02	PAINTED WOOD MECHANICAL SCREEN - NIGHT GRAY
RG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - BM 'BLACK PANTHER' 2125-10
RG-02	GUARDRAIL (ALUMINUM) - POWDER COAT - BM 'BLACK PANTHER' 2125-10

<p>CL-01</p> <p>OC 16072 CHARCOAL</p>	<p>CL-02</p> <p>OC 16082 REGENT GREY</p>	<p>CL-03</p> <p>SMOOTH ARCHITIC WHITE</p>	<p>CL-04</p> <p>SMOOTH NIGHT GRAY</p>	<p>CL-05</p> <p>SMOOTH GREY SLATE</p>
<p>CO-01</p> <p>ELASTOMERIC PAINT BM SEA HAZE 2137-50</p>	<p>MA-01</p> <p>IXL MANGANESE IRONSPOT</p>	<p>MM-01/ RG-01/ RG-02/ RG-04/ TMP-03</p> <p>PAINTED TO MATCH SHERWIN WILLIAMS 'PEPPERCORN - 7674'</p>	<p>RG-03</p> <p>POWDER COAT TO MATCH BM 'DISTANT GREY' OC-068</p>	<p>CL-06</p> <p>'PINE ZEBRAWOOD'</p>
<p>TMP-01</p> <p>MAKIN METAL 'STONE GREY'</p>	<p>TMP-02</p> <p>MAKIN METAL 'WEATHERED ZINC'</p>	<p>TMP-04</p> <p>RAL 'BLACK GREY' 7021</p>	<p>VEN-01</p> <p>VEN CAP PREMIX</p>	



Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
ELEVATIONS

Drawn By
Reviewed by

Author
Approver

Project Number
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04/04/22

Scale
As indicated

Issue/Revision
C

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A5.01

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No.	Date	Revision Notes



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING CW FLASHINGS - SHERWIN WILLIAMS 'PEPPERCORN - 7674' - REGENT GREY
CL-02	CORRUGATED METAL SIDING - SHERWIN WILLIAMS 'WALL STREET - 7665' - CHARCOAL
CL-03	CEMENTITIOUS CLADDING PANEL - ARCHTIC WHITE
CL-04	CEMENTITIOUS CLADDING PANEL - NIGHT GRAY
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DW-01	VINYL WINDOW CW LOW-E DOUBLE GLAZING - BLACK
FIN-02	PAINTED METAL FASCIA TO MATCH STANDING SEAM CLADDING (CL-01)
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FIN-04	PAINTED METAL RWL TO MATCH STANDING SEAM CLADDING (CL-01)
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MM-01	METAL SCREEN - SHERWIN WILLIAMS 'PEPPERCORN- 7674'
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RG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - BM 'BLACK PANTHER' 2125-10
RG-02	GUARDRAIL (ALUMINUM) - POWDER COAT - BM 'BLACK PANTHER' 2125-10



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
ELEVATIONS

Drawn By
Reviewed By

Project Number
2003

Plot Date
2021/01/22

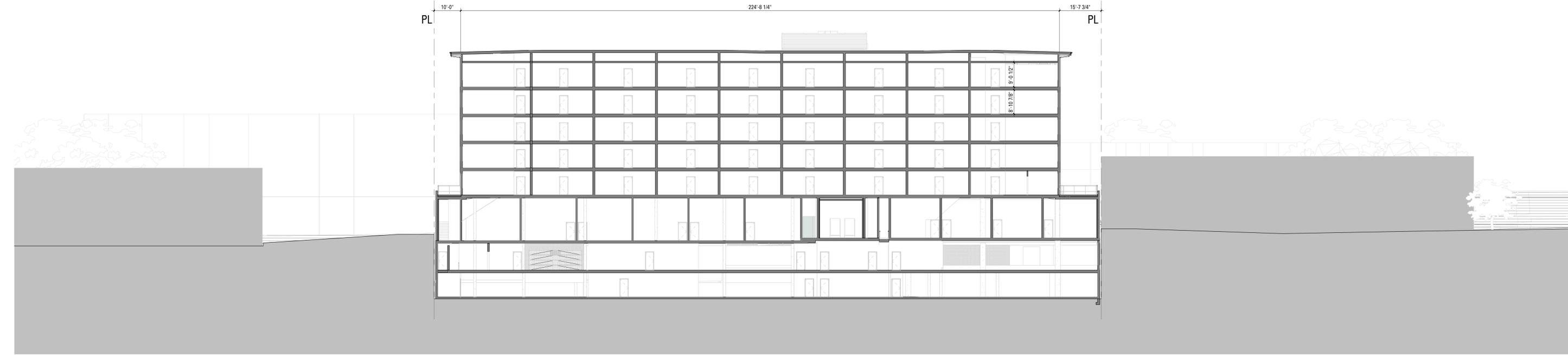
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Issue/Revision
C

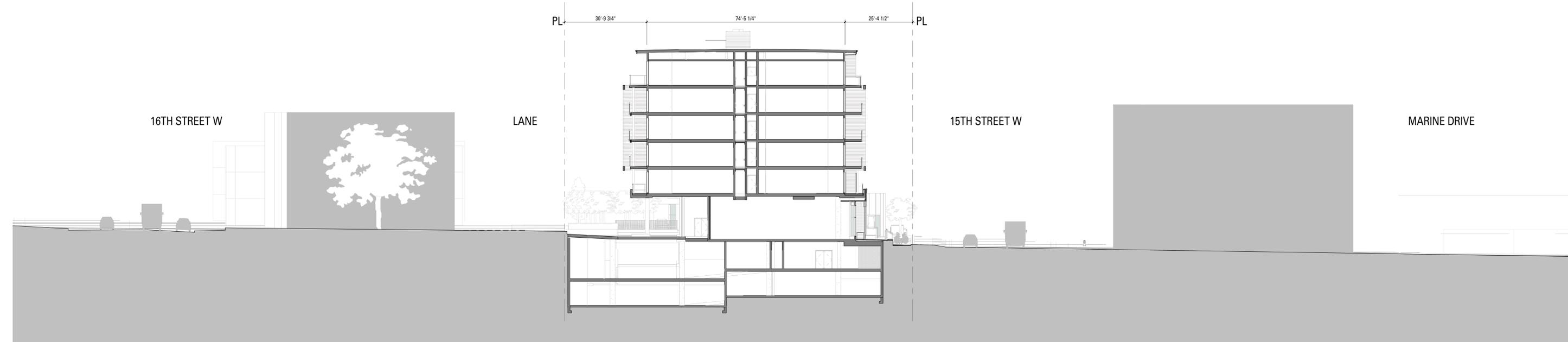
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A5.02

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



E-W SITE SECTION



N-S SITE SECTION



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



POLYGON

Client/Owner
Polygon Development 237 Ltd.

Sheet Title
SITE SECTIONS

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

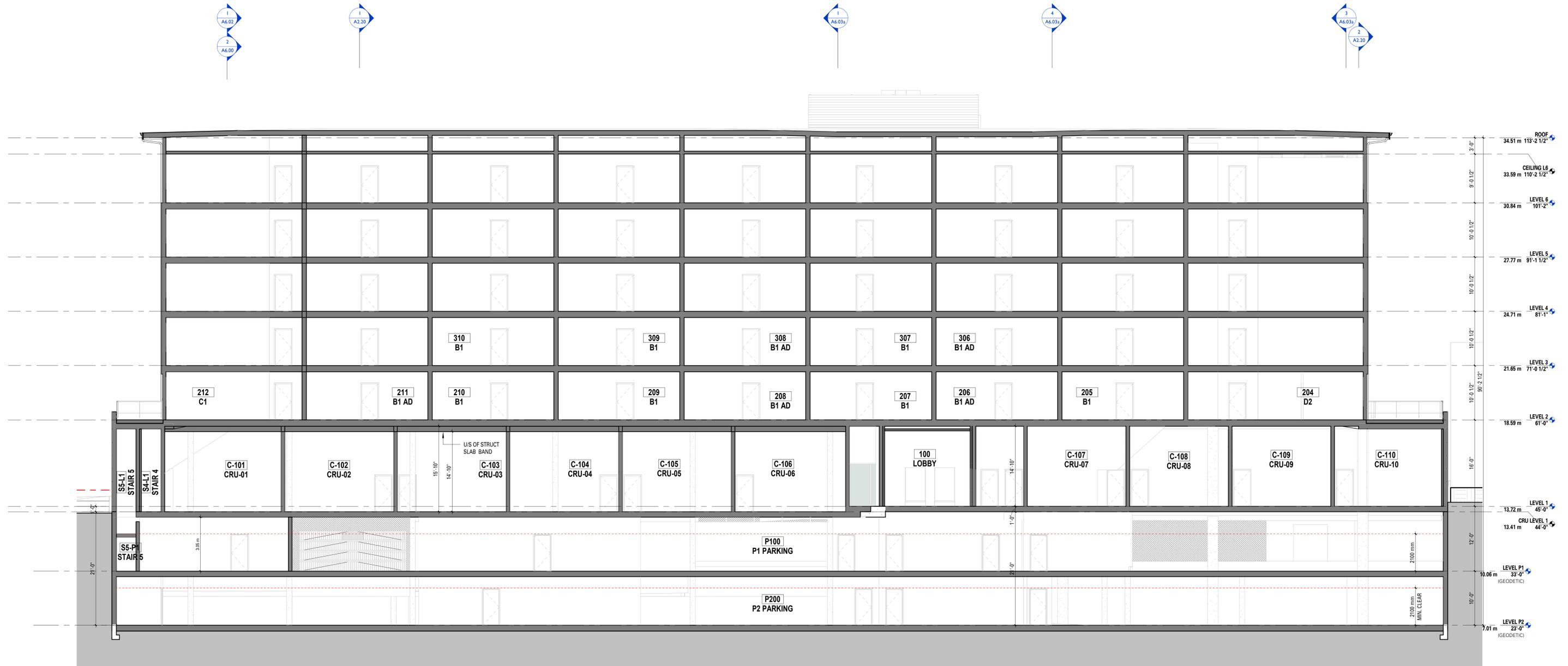
Scale
1/16" = 1'-0"

Issue/Revision
C

Sheet Number

A6.00

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



1 TYPICAL E-W SECTION AT BUILDING
A1.01 1/8" = 1'-0"



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
BUILDING SECTIONS

Drawn By: Author
Reviewed by: Approver

Project Number
2003

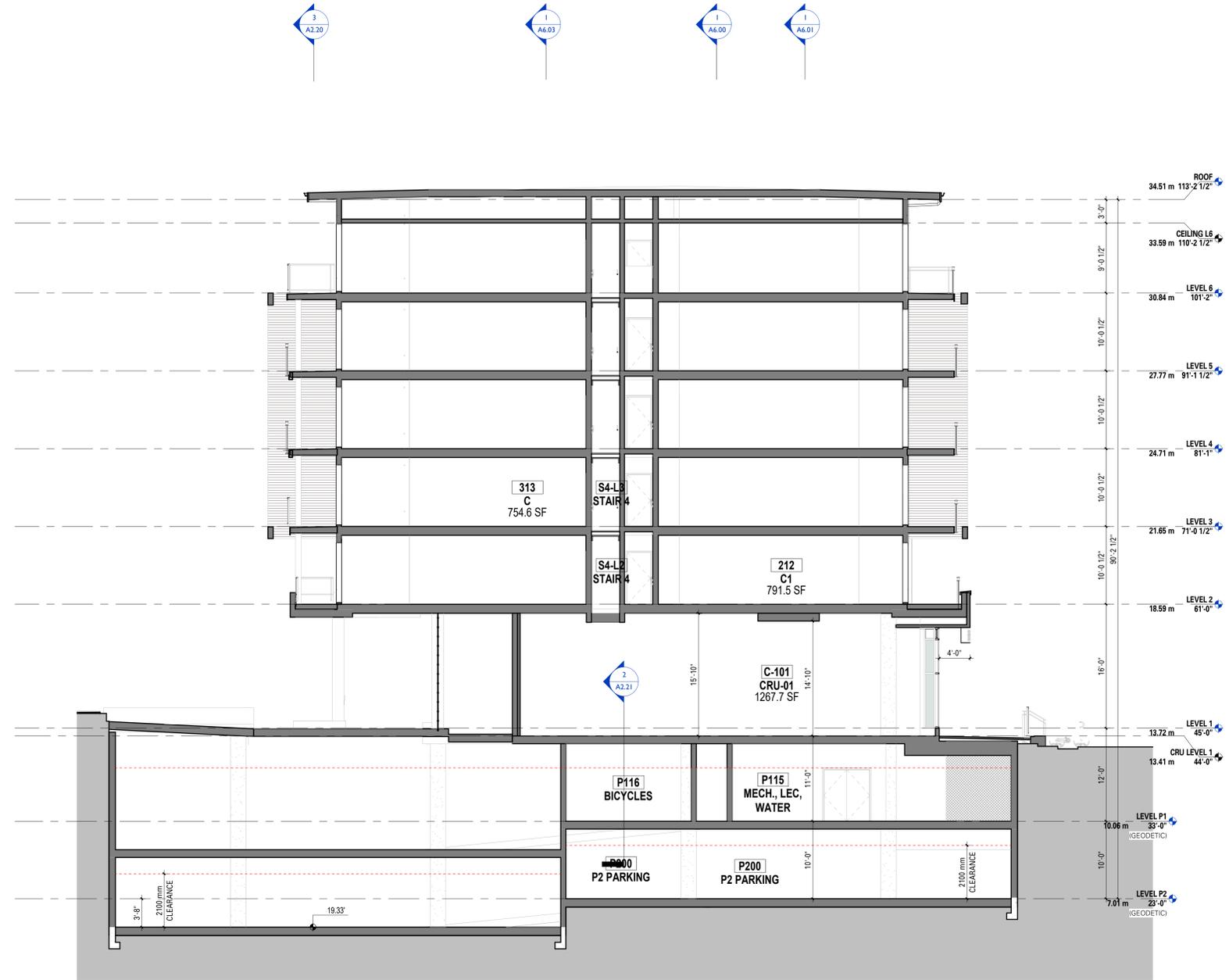
Plot Date: 2021/01/22 Issue Date: 04/04/22

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Sheet Number

A6.01

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



1 TYPICAL N-S SECTION AT BUILDING
A1.01 1/8" = 1'-0"



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
BUILDING SECTIONS

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

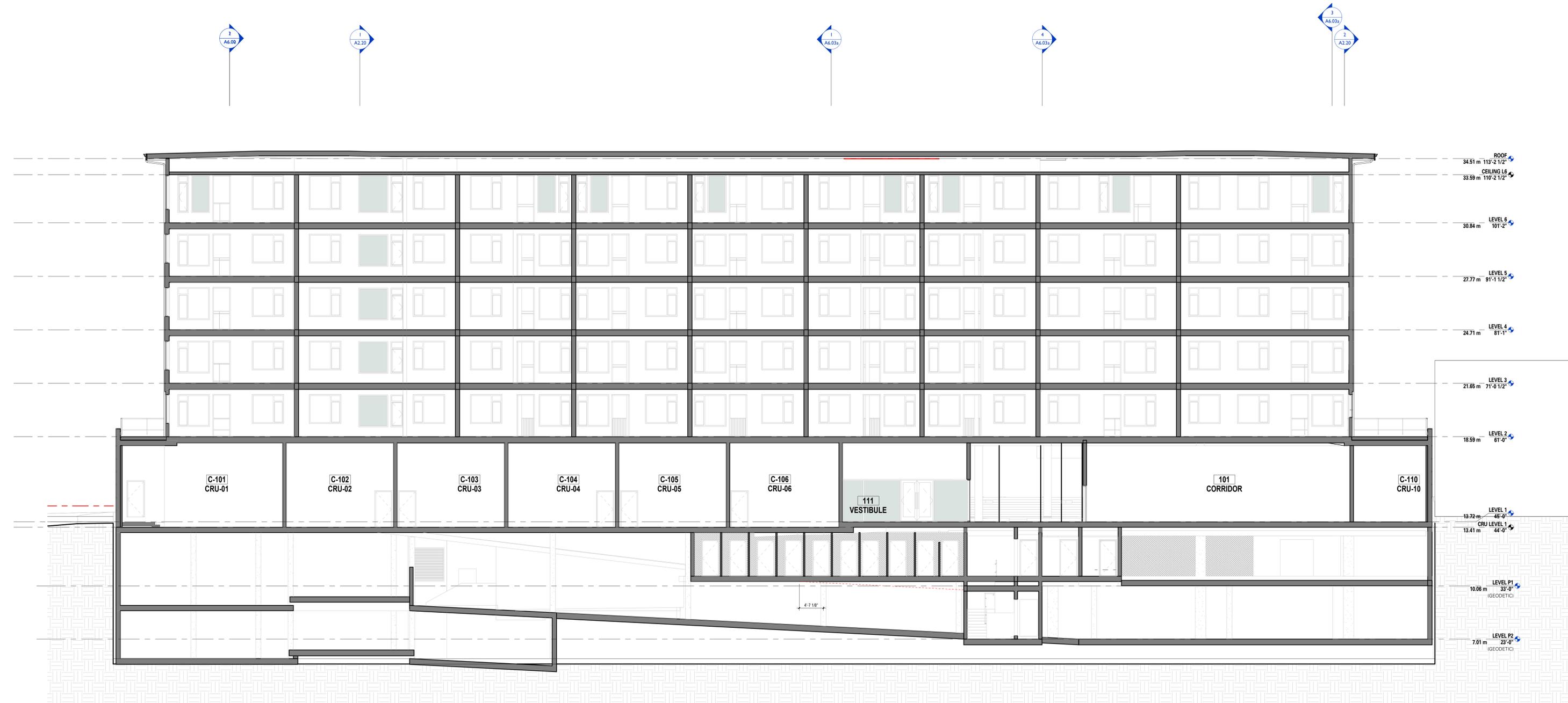
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Issue/Revision
C

Sheet Number

A6.02

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



1 E-W SECTION AT DAYCARE & CORRIDOR 101
A1.01 1/8" = 1'-0"



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
BUILDING SECTIONS

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

Scale
1/8" = 1'-0"

Issue/Revision
C

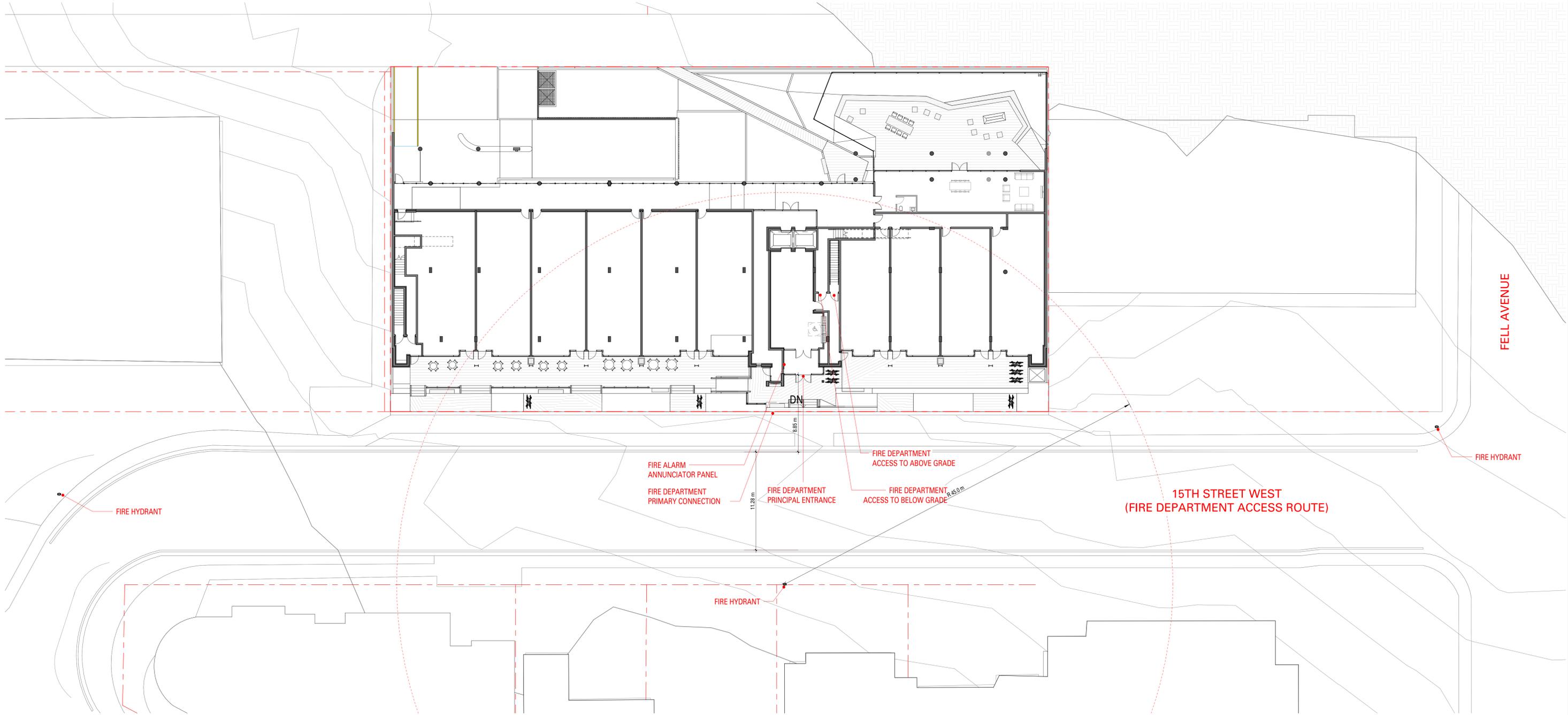
Sheet Number

A6.03



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No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
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No.	Date	Revision Notes



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FIRE DEPARTMENT ACCESS PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

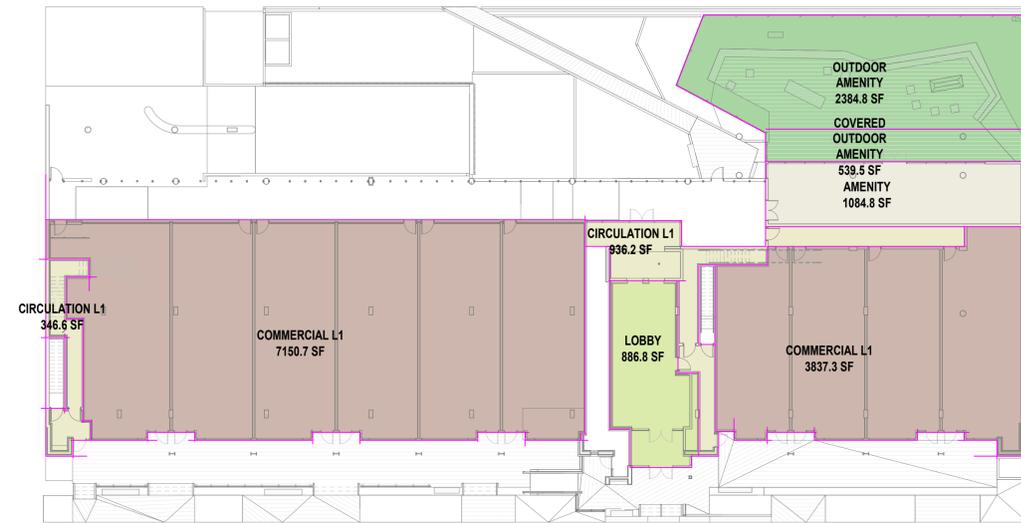
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Issue/Revision
C

Sheet Number

A9.01

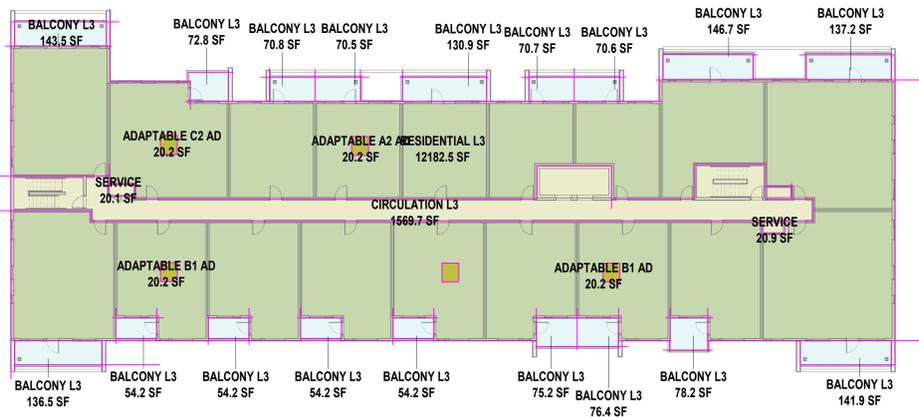
No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



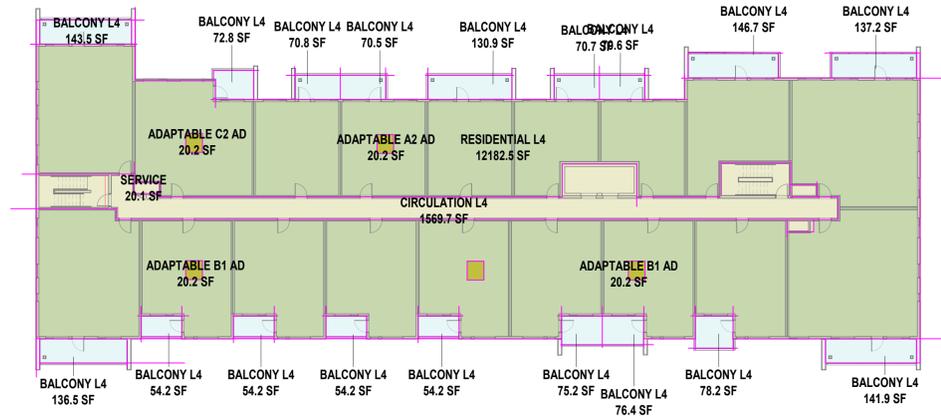
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1" = 20'-0"



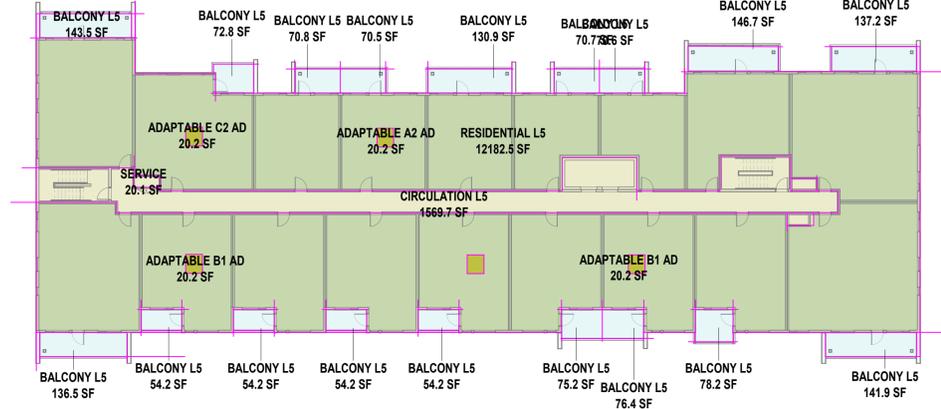
2 FSR OVERLAYS - LEVEL 2
1" = 20'-0"



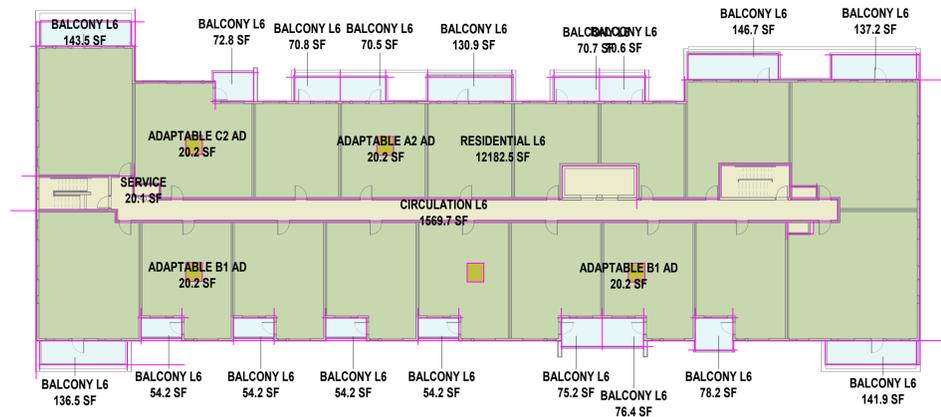
3 FSR OVERLAYS - LEVEL 3
1" = 20'-0"



4 FSR OVERLAYS - LEVEL 4
1" = 20'-0"



5 FSR OVERLAYS - LEVEL 5
1" = 20'-0"



6 FSR OVERLAYS - LEVEL 6
1" = 20'-0"

GROSS FLOOR AREA LEVEL 1

AMENITY	1084.8 SF
CIRCULATION	1282.8 SF
COMMERCIAL	10988.1 SF
LOBBY	886.8 SF
TOTAL:	14242.5 SF

GROSS FLOOR AREA LEVEL 2

ADAPTABLE	101.2 SF
CIRCULATION	1630.3 SF
RESIDENTIAL	12156.5 SF
TOTAL:	13888 SF

GROSS FLOOR AREA LEVEL 3

ADAPTABLE	101.2 SF
CIRCULATION	1631.4 SF
RESIDENTIAL	12182.5 SF
TOTAL:	13915.1 SF

GROSS FLOOR AREA LEVEL 4

ADAPTABLE	101.2 SF
CIRCULATION	1631.4 SF
RESIDENTIAL	12182.5 SF
TOTAL:	13915.1 SF

GROSS FLOOR AREA LEVEL 5

ADAPTABLE	101.2 SF
CIRCULATION	1631.4 SF
RESIDENTIAL	12182.5 SF
TOTAL:	13915.1 SF

GROSS FLOOR AREA LEVEL 6

ADAPTABLE	101.2 SF
CIRCULATION	1631.4 SF
RESIDENTIAL	12182.5 SF
TOTAL:	13915.1 SF

GROSS FLOOR AREA TOTAL

LEVEL 1	14242.5 SF
LEVEL 2	13888 SF
LEVEL 3	13915.1 SF
LEVEL 4	13915.1 SF
LEVEL 5	13915.1 SF
LEVEL 6	13915.1 SF
TOTAL:	83790.8 SF

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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAYS

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

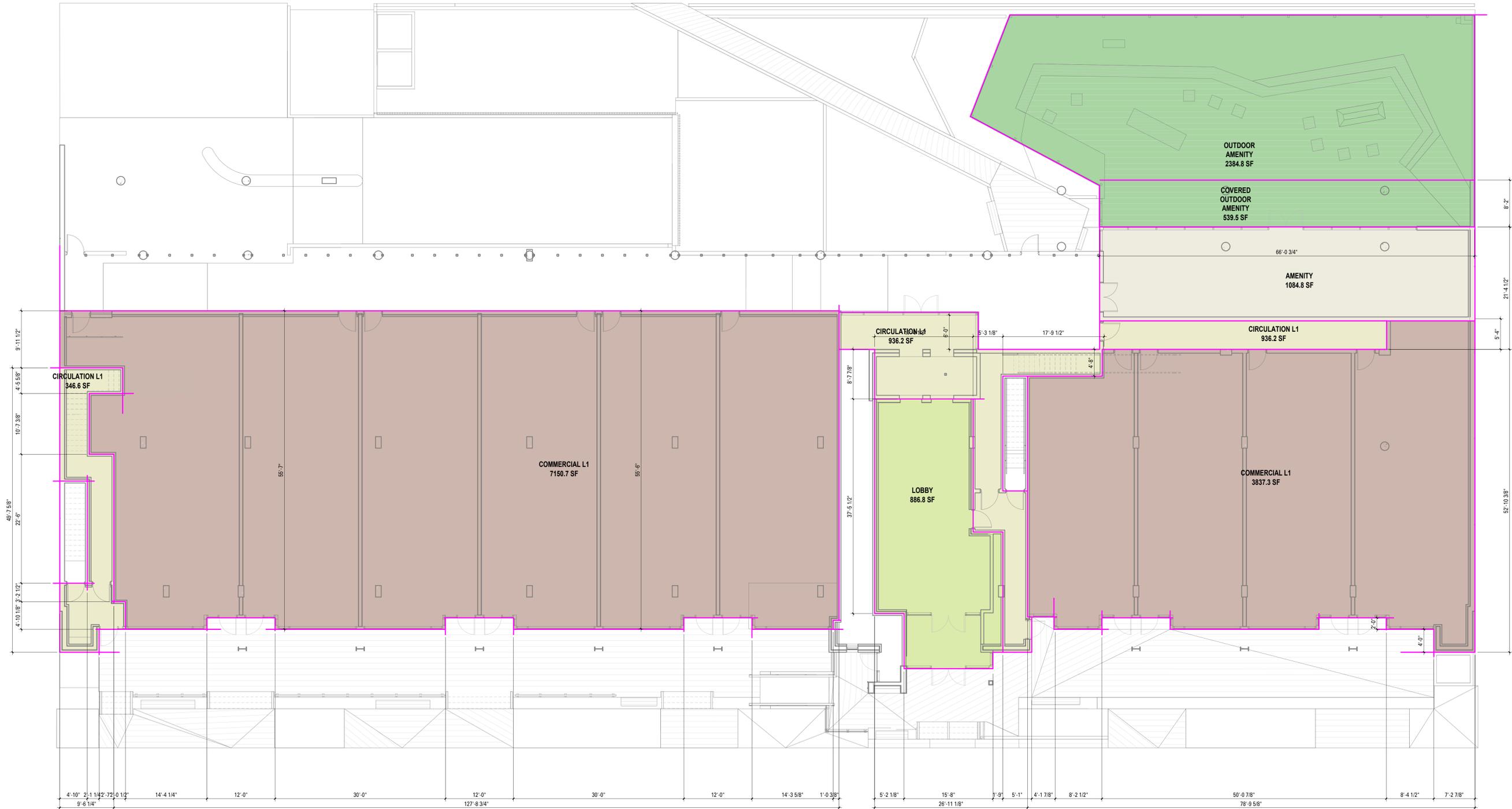
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Issue/Revision
C

Sheet Number

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP

No.	Date	Revision Notes



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L1

Drawn By: Author
Reviewed by: Approver

Project Number
2003

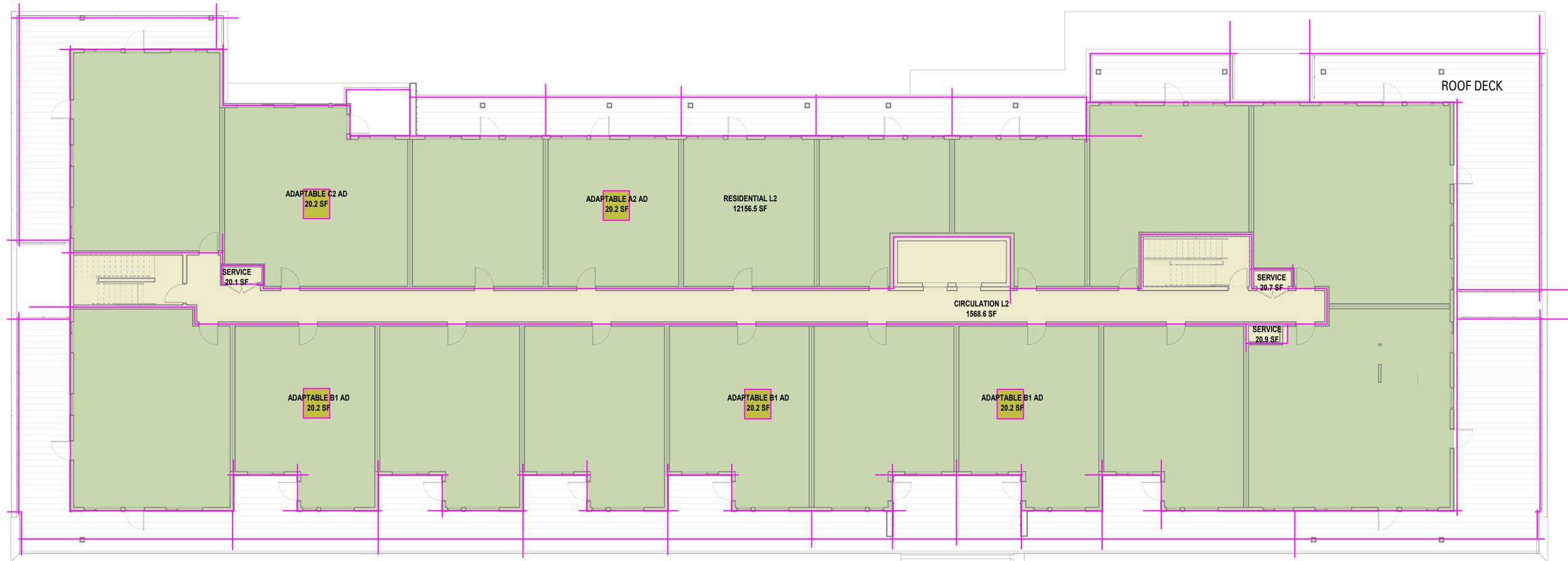
Plot Date: 2021/01/22
Issue Date: 04/04/22

Scale: 1/8" = 1'-0"
Issue/Revision: **C**

Sheet Number

FSR 1.02

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L2

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

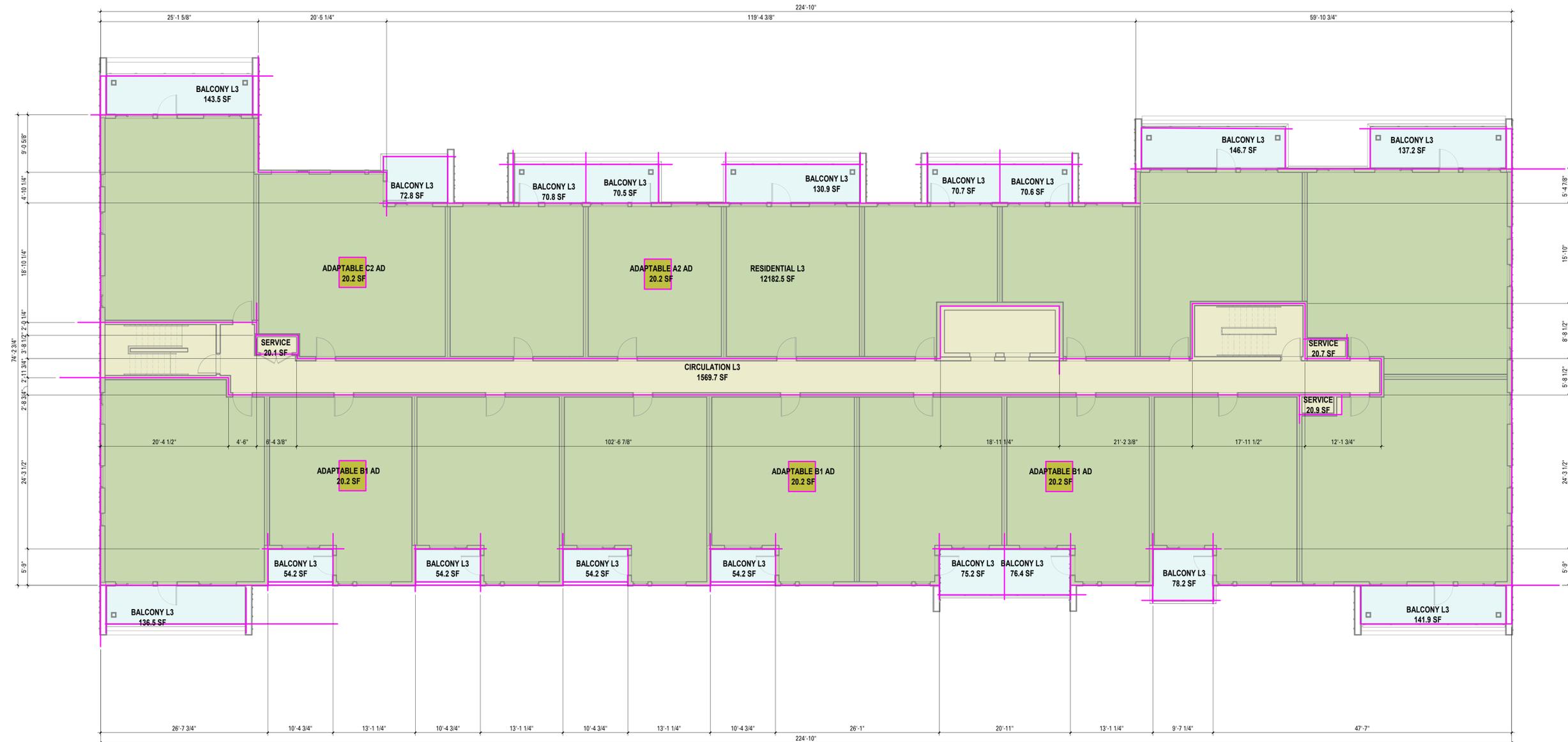
Scale
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Issue/Revision
C

Sheet Number

FSR 1.03

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



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Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



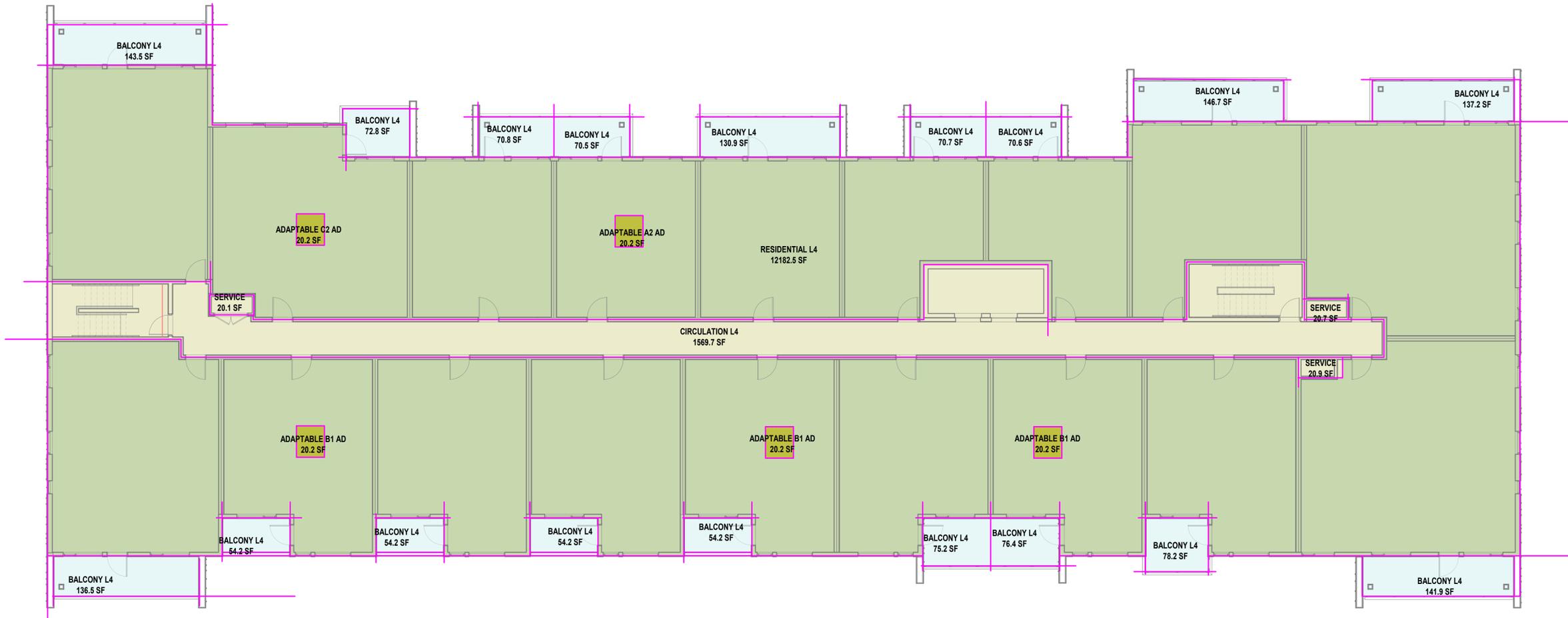
Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L3

Drawn By	Author
Reviewed by	Approver
Project Number	2003
Plot Date	Issue Date
2021/01/22	04/04/22
Scale	Issue/Revision
1/8" = 1'-0"	C
Sheet Number	

FSR 1.04

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP
No.	Date	Revision Notes



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L4

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

Scale
1/8" = 1'-0"

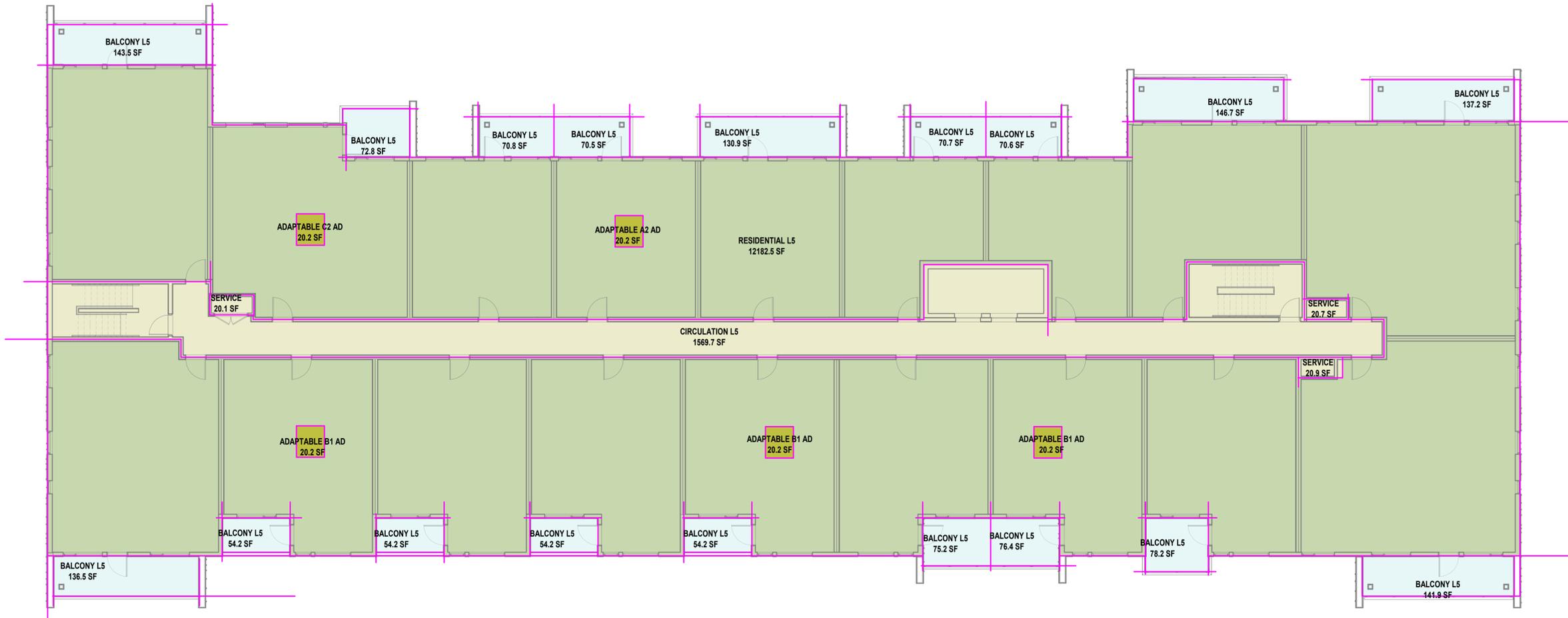
Issue/Revision
C

Sheet Number

FSR 1.05

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP

No.	Date	Revision Notes



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L5

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

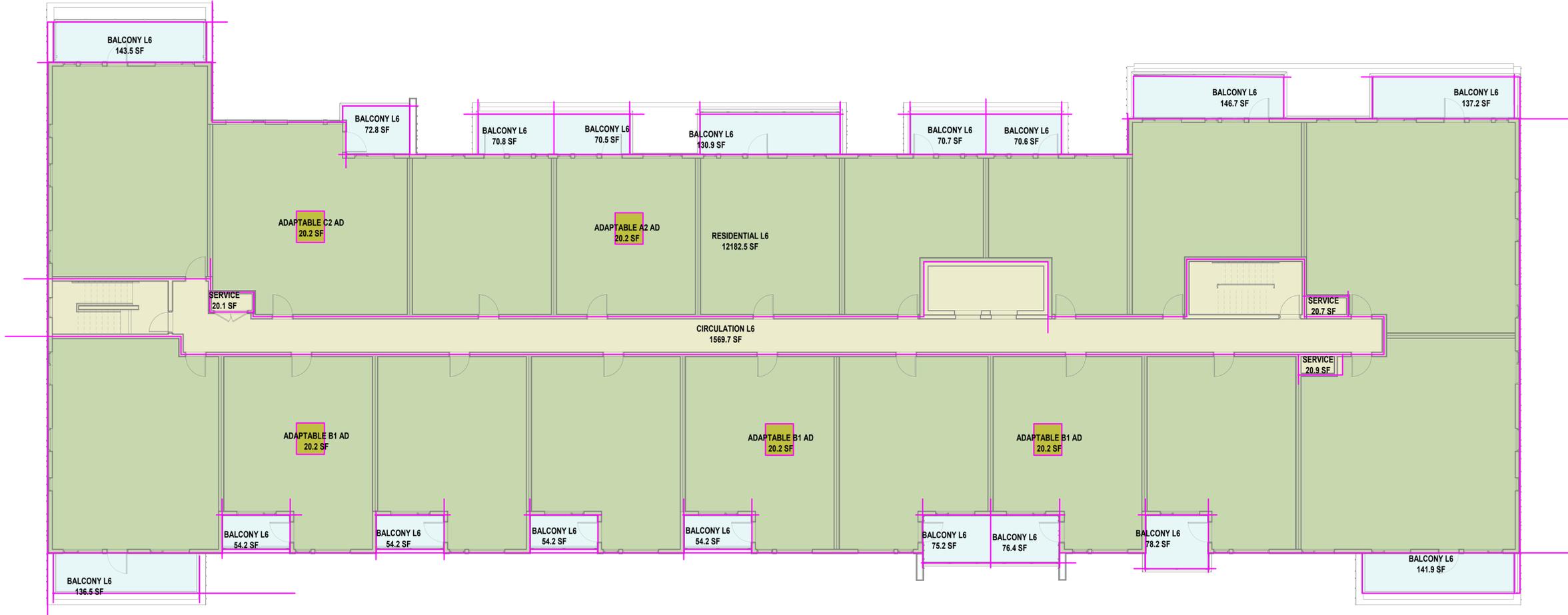
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Issue/Revision
C

Sheet Number

FSR 1.06

No.	Date	Revision Notes
A	26/01/21	ISSUED FOR RZ/DP
C	04/04/22	RE-ISSUED FOR RZ/DP
B	01/12/21	RE-ISSUED FOR RZ/DP



04 APR 2022- RE-ISSUED FOR RZ/DP

Project Title
PH NV 15

820 W 15th St, North Vancouver BC V7P 1M6



Client/Owner
Polygon Development 237 Ltd.

Sheet Title
FSR OVERLAY L6

Drawn By
Reviewed by

Author
Approver

Project Number
2003

Plot Date
2021/01/22

Issue Date
04/04/22

Scale
1/8" = 1'-0"

Issue/Revision
C

Sheet Number

FSR 1.07