

LOT DESCRIPTION

LOT: PROPOSED "A"
 BLOCK: 8
 DISTRICT LOTS: 273
 PLAN: 1063
 P.I.D.: 014-876-566
 CIVIC ADDRESS: 642 EAST 6th STREET, NORTH VANCOUVER, B.C.

ZONING DESCRIPTION

ZONE: R52
 GROUND SNOW LOAD: 3.0 KPA
 LOT DEPTH: 136.500'
 LOT WIDTH: 25.00'
 LOT AREA: 3,420.10 FT²

SETBACKS

FRONT: 20.00'
 REAR: 64.29'
 WEST SIDE: 4.00'
 EAST SIDE: 4.00'
 GARAGE SIDE: 4.00'
 GARAGE: 5.00'

BUILDING HEIGHT: 27.75'
 T.O.P HEIGHT: 25.91'
 GARAGE HT: 0.00'

PRINCIPLE COVE MAX: 1,026.00 FT²
 PRINCIPLE COVE PROP: 1,019 FT²
 BUILDING COVE MAX: 1,368.00 FT²
 BUILDING COVE PROP: 1,320.00 FT²

MAX FSR CALCULATION: 1,710.00 FT²

	PROP	DEDUCTION	TOTAL
BASEMENT	855.0	855.0	0.0
MAIN FLOOR	855.0	0.0	855.0
UPPER FLOOR	855.0	0.0	855.0
VERANDA	0.0	0.0	0.0
GARAGE	0.0	0.0	0.0

TOTAL FSR PROPOSED: 1,710.0

HEIGHT ENVELOPE:

AVG. FRONT POINTS:
 $(247.60 + 248.20) / 2 = 247.90'$
 AVG. REAR POINTS:
 $(255.20 + 255.80) / 2 = 255.50'$

REFERENCE GRADE :
 $247.90' + (255.50' - 247.90') * 0.4 = 250.94'$

- GENERAL NOTES**
- THIS BUILDING IS DESIGNED UNDER PART 9 OF THE BRITISH COLUMBIA BUILDING CODE 2018, EDITION GROUP C OCCUPANCY.
 - ALL DRAWINGS MUST BE APPROVED BY MUNICIPAL AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.
 - BUILDER IS TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK.
 - DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
 - DIMENSIONS ARE TAKEN TO FACE OF STUD AND CONCRETE OF EXTERIOR WALLS AND TO CENTER OF STUDS OF INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - STARTING WORK SHALL IMPLY ACCEPTANCE AND SHALL MEAN ACCEPTANCE OF ALL DIMENSIONS AND REQUIREMENTS.
 - STRUCTURAL MEMBERS AND THEIR CONNECTIONS SHOWN ON THE DRAWINGS REQUIRE DESIGN AND FIELD REVIEW BY A STRUCTURAL ENGINEER AT THE DISCRETION OF THE LOCAL BUILDING AUTHORITY EXCEPT AS PROVIDED IN PART 9 OF B.C.B.C. 2018.
 - OWNER SHALL BE RESPONSIBLE FOR PRE-WIRE OF ALARM, INTERCOM & EXTERIOR LIGHTING SYSTEMS.
 - SURVEY INFORMATION IS SUPPLIED BY OTHERS. IN EVENT OF DISCREPANCY BETWEEN THESE DRAWINGS AND THE INFORMATION PROVIDED BY THE SURVEYOR, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - HARD WIRED C.O. AND S.A. DETECTORS ARE REQUIRED IN EACH BEDROOM OR WITHIN 15' OF BEDROOM DOORS AND 45' OF ANY OTHER POINT. AT LEAST ONE ON EACH FLOOR.
 - ONE HARD WIRED SMOKE ALARM REQD PER FLOOR, ALL SMOKE ALARMS TO BE INTERCONNECTED.
 - FURNACE AND LAUNDRY ROOM DOOR WIDTH OF 2'-8" MIN.
 - THICKEN SLAB AT GARAGE ENTRY TO 1" BELOW GRADE (FROST LEVEL).
 - FUMEPROOF WALLS AND CEILINGS OF THE GARAGE IF ATTACHED TO LIVING SPACE.
 - PROVIDE MASONRY/VEENER WALL FLASHING, WALL TIES, AND WEEP HOLES AS PER #9.20.5.
 - ALL DIMENSIONS SHOWN ON THE SITE PLAN AND THE LOCATION OF ANY EASEMENTS OR RIGHT-OF-WAYS ARE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.
 - GRADE IS TO SLOPE A MINIMUM OF 2% AWAY FROM THE STRUCTURE.
 - ANY RETAINING WALLS REQUIRED ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDER.
 - THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SITE CONDITIONS.
 - THE TOPSOIL AND ALL ORGANICS IN ALL UNEXCAVATED AREAS UNDER THE BUILDING SHALL BE REMOVED.
 - THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
 - EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER.
 - INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROF. ENGINEER.
 - GEOTECHNICAL ENGINEER IS TO CERTIFY A SAFE SITE FOR WORKERS.
 - FOOTINGS ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER TO SUIT ACTUAL SOIL CONDITIONS, ASSUMING A SOIL BEARING CAPACITY OF 2000 P.S.F.
 - FOOTINGS SHALL BE PLACED ON UNDISTURBED SOLID BEARING SOIL, FREE OF ORGANIC MATERIAL, AND SOLID IN COMPOSITION, AT AN ELEVATION BELOW THE FROST LINE.
 - PROVIDE 2 COATS OF ASPHALT DAMPROOFING TO EXTERNAL SIDE OF FOUNDATION OR USE APPROVED WATERPROOF SYSTEM AS PER #9.13.2.
 - CONCRETE SHALL CONFORM TO SECTION 9.3.1. OF THE BCBC 2018.
 - ALL LOAD BEARING WOOD MEMBERS TO BE D, FIR #2 OR BETTER UNO.
 - USE PRESSURE TREATED WOOD AT ALL CONTACTS WITH CONCRETE.
 - FLOOR JOISTS SHALL HAVE NOT LESS 38MM (1 1/2") OF ENDING BEARING.
 - ROOF AND FLOOR TRUSS SYSTEMS TO BE ENGINEERED BY OTHERS.
 - CROSS BRIDGING REQUIRED @ 7'-0" O/C MAXIMUM FOR FLOOR AND ROOF JOISTS.
 - UNIFORMLY DISTRIBUTE VENTILATION OF FLAT ROOFS OR VAULTED CEILINGS TO 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWO WAYS.
 - MIN. 2X2 CROSS PURLINS FOR FLAT ROOFS, VAULTED CEILINGS, AND DECKS OVER LIVING AREAS TO CONFORM TO #9.19.1.3.
 - PROVIDE MIN. 2 1/2" CLEARANCE BETWEEN ROOF SHEATHING AND INSULATION #9.19.1.3.
 - PROVIDE MIN. 1" CLEARANCE BETWEEN INSULATION AND TOP OF ROOF JOISTS.
 - HANDRAIL TO BE BETWEEN 32" TO 38" FROM A LINE MEASURED VERTICALLY THROUGH NOSING.
 - PRIMARY STAIR MINIMUM WIDTH 2'-10".
 - HANDRAIL AS A GUARD IS TO BE BETWEEN 36" AND 38".
 - GUARDRAILS TO BE A MINIMUM 42" EXTERIOR AND 36" INTERIOR IN HEIGHT.
 - ALL GLASS GUARDS TO HAVE TOP CAP UNLESS APPROVED BY PROF. ENGINEER.
 - PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES.
 - PROVIDE FLASHING AT ALL WALL-ROOF JUNCTIONS, INCLUDING PARAPETS FOR SOLID GUARDS ON DECKS.
 - RAINSCREEN ASSEMBLY REQD FOR ALL BUILDINGS.
 - THE WINDOW HEAD FLASHING MUST BE PLACED SO THAT THE END DAMS RUN PAST OUTER EDGES OF THE WINDOWS.
 - TWO LAYERS OF 30-MINUTE BUILDING PAPER 1/2 LAPPED MUST BE UNDER ALL CLADDING.
 - A THROUGH WALL FLASHING IS REQD AT ALL HORIZONTAL EXPANSION JOINTS, BUILDING BAND TRIMS, AND BELOW THE GABLE END LOUVER VENTS.
 - PROVIDE 8" CLEARANCE BETWEEN GRADE AND SIDING.
 - ALL BALCONY AND CLERK MEMBRANES SHALL BE 2-PLY SBS OR FULLY REINFORCED LIQUID APPLIED MEMBRANES 110 MIL (MIN).

MUNICIPAL STAMP

NOTES

REVISION	No.	DESCRIPTION	DATE	BY

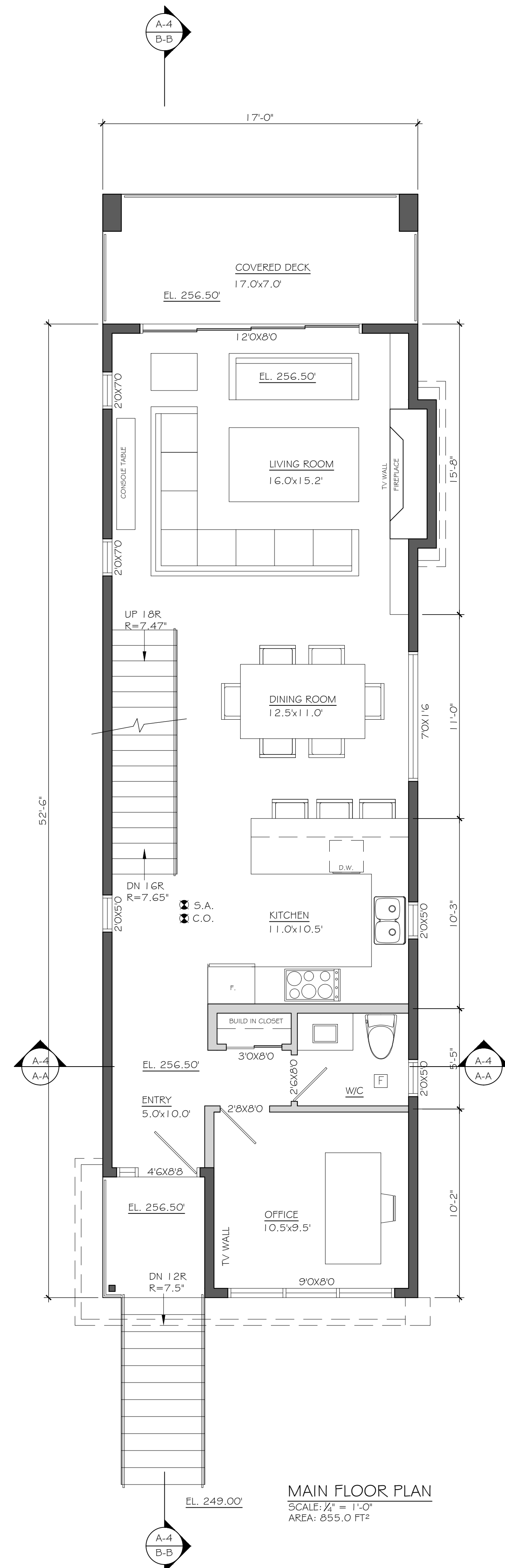
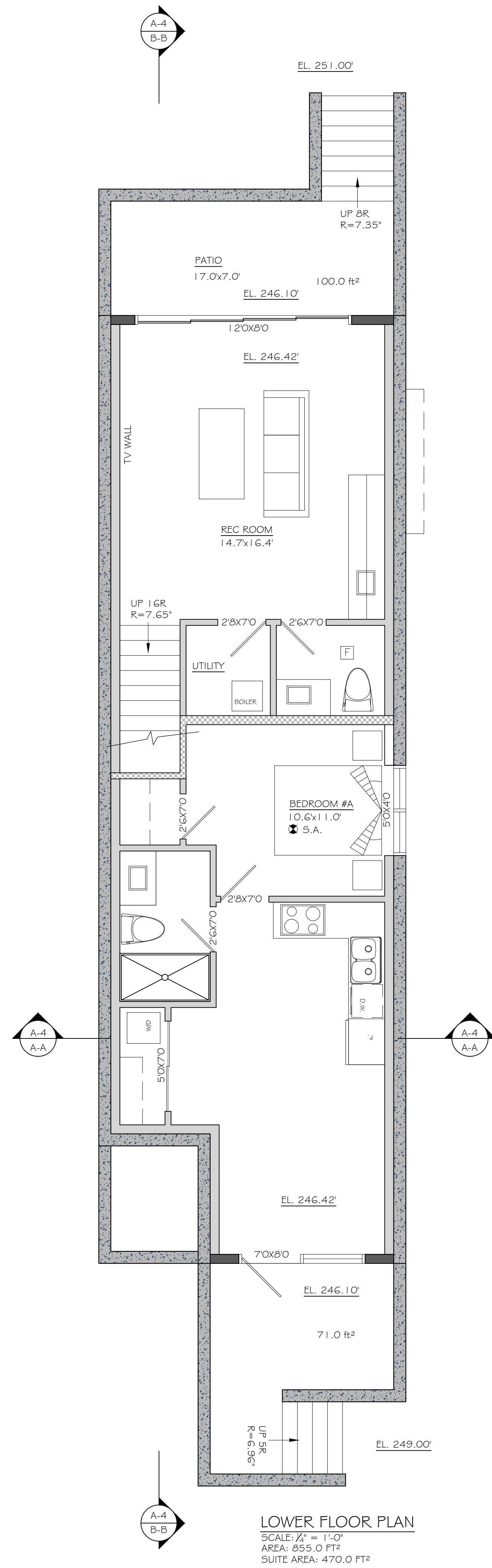
TERMS & CONDITIONS
 ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO OWNER BY CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR DRAWINGS AND SPECIFICATIONS AND THE SEALS ARE THE PROPERTY OF THE DESIGNER. NO PLAN OR PART THEREOF SHALL BE COPIED.

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 604-767-7400
 DRAWN BY: SOHEL M.
 PROJECT No: BLD-0146

VELA HOMES
 A Design Build Company

PROJECT DESCRIPTION: LOT A - 642 E 6th STREET
 SHEET TITLE: SITE PLAN & GENERAL NOTES

DATE: JUNE 12th, 2023
 SCALE: 1/8" = 1'-0"
 DWG No.: A.1 OF A.7



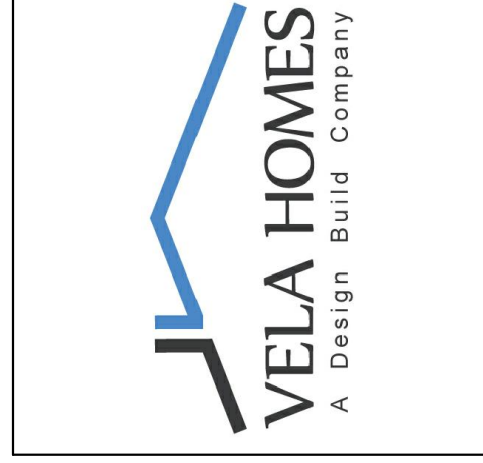
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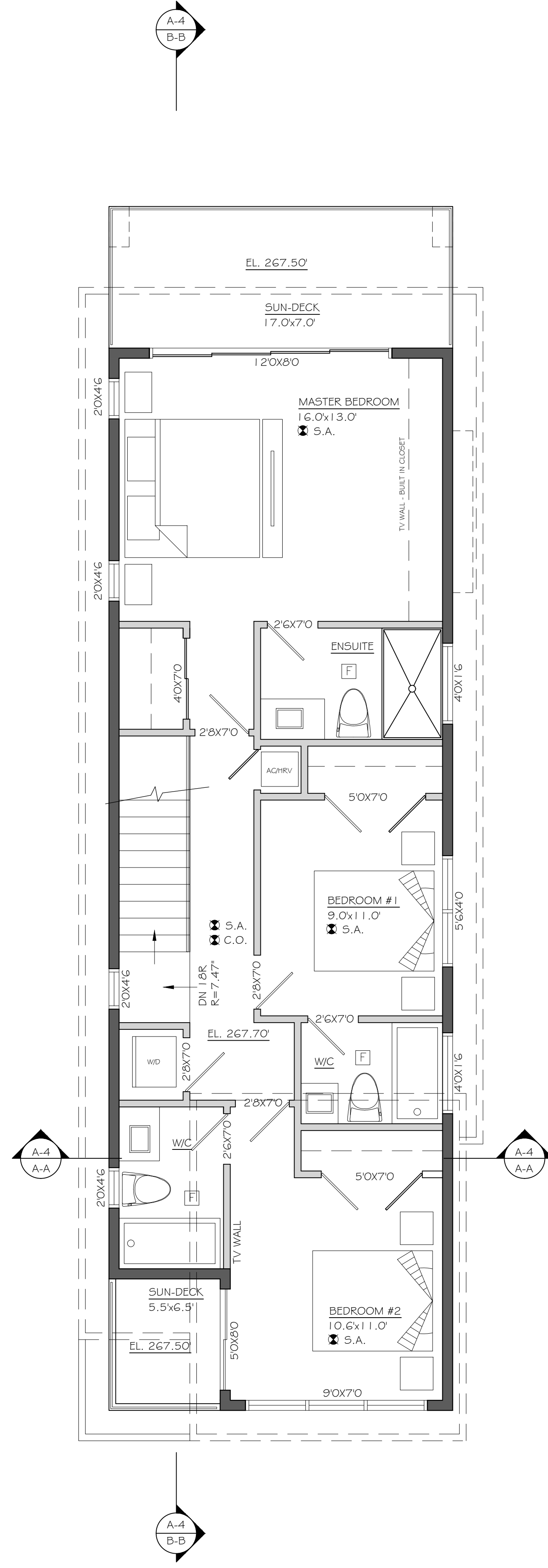
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 DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO OWNER OR CONTRACTOR THROUGH THE USE OF THESE DRAWINGS ON PLANS OR SPECIFICATIONS THAT ARE NOT IDENTICAL TO THE ORIGINAL DRAWINGS AND SPECIFICATIONS AND THE DESIGNER SHALL BE LIABLE FOR THE DESIGNER'S NEGLIGENCE AND/OR NEGLIGENCE OF THE DESIGNER. NO PLAN OR PART THEREOF SHALL BE COPIED.

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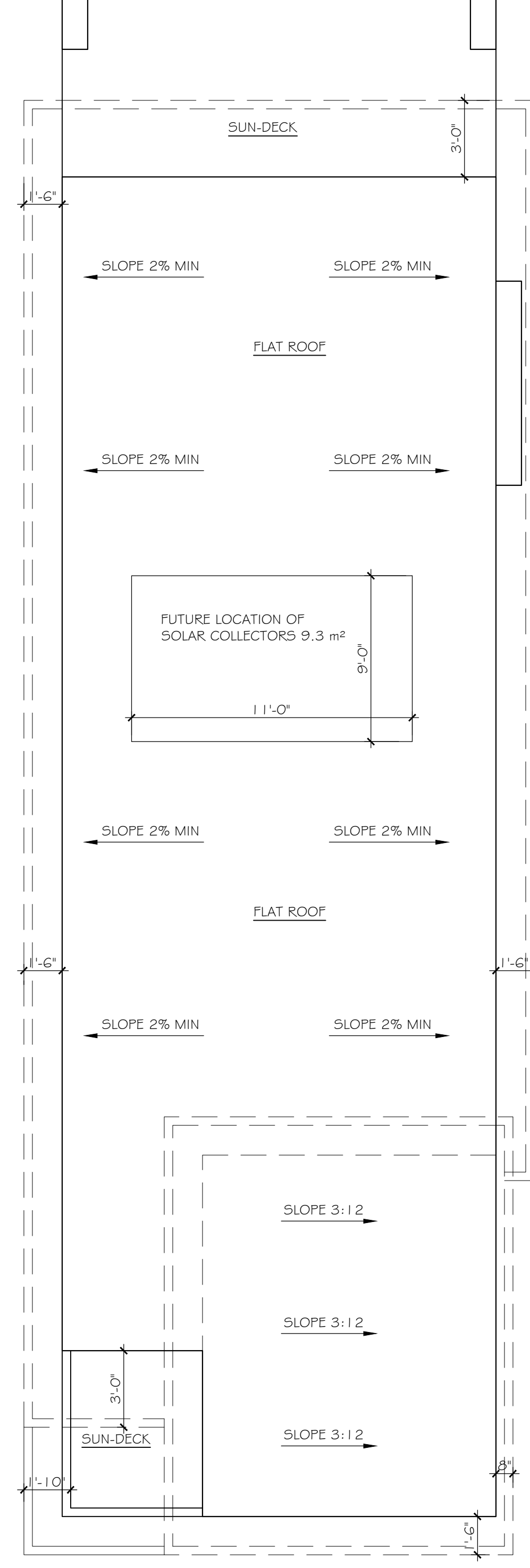


PROJECT INFORMATION
LOT A - 642 E 6th STREET
 SHEET TITLE
LOWER FLOOR PLAN # MAIN FLOOR PLAN

DATE
 JUNE 12th, 2023
 SCALE
 1/4" = 1'-0"
 DWG No.
 A.2 OF A.7



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 855.0 FT²



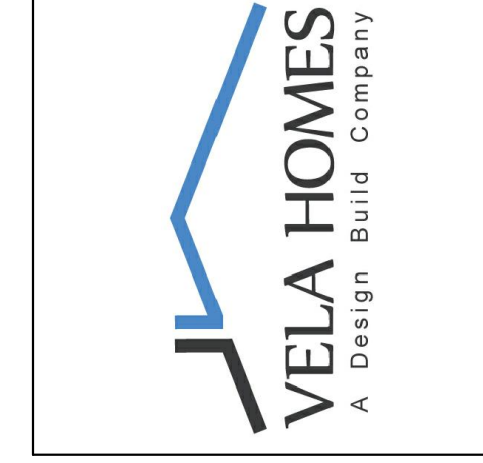
ROOF PLAN
SCALE: 1/4" = 1'-0"

DATE
JUNE 12th, 2023
SCALE
1/4" = 1'-0"

DWG. No.
A.3 OF A.7

PROJECT INFORMATION
LOT A - 642 E 6th STREET

SHEET TITLE
UPPER FLOOR PLAN &
ROOF PLAN



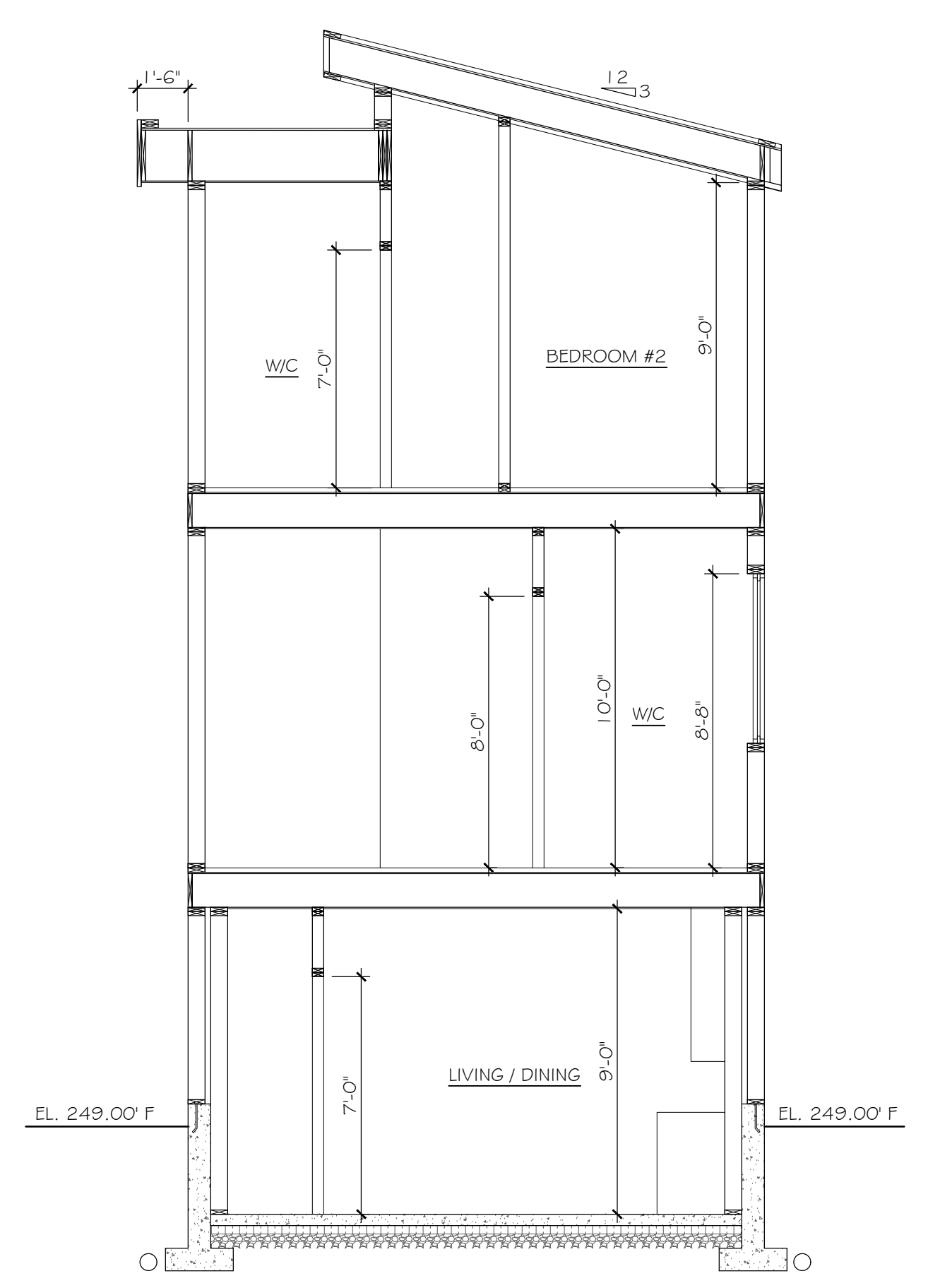
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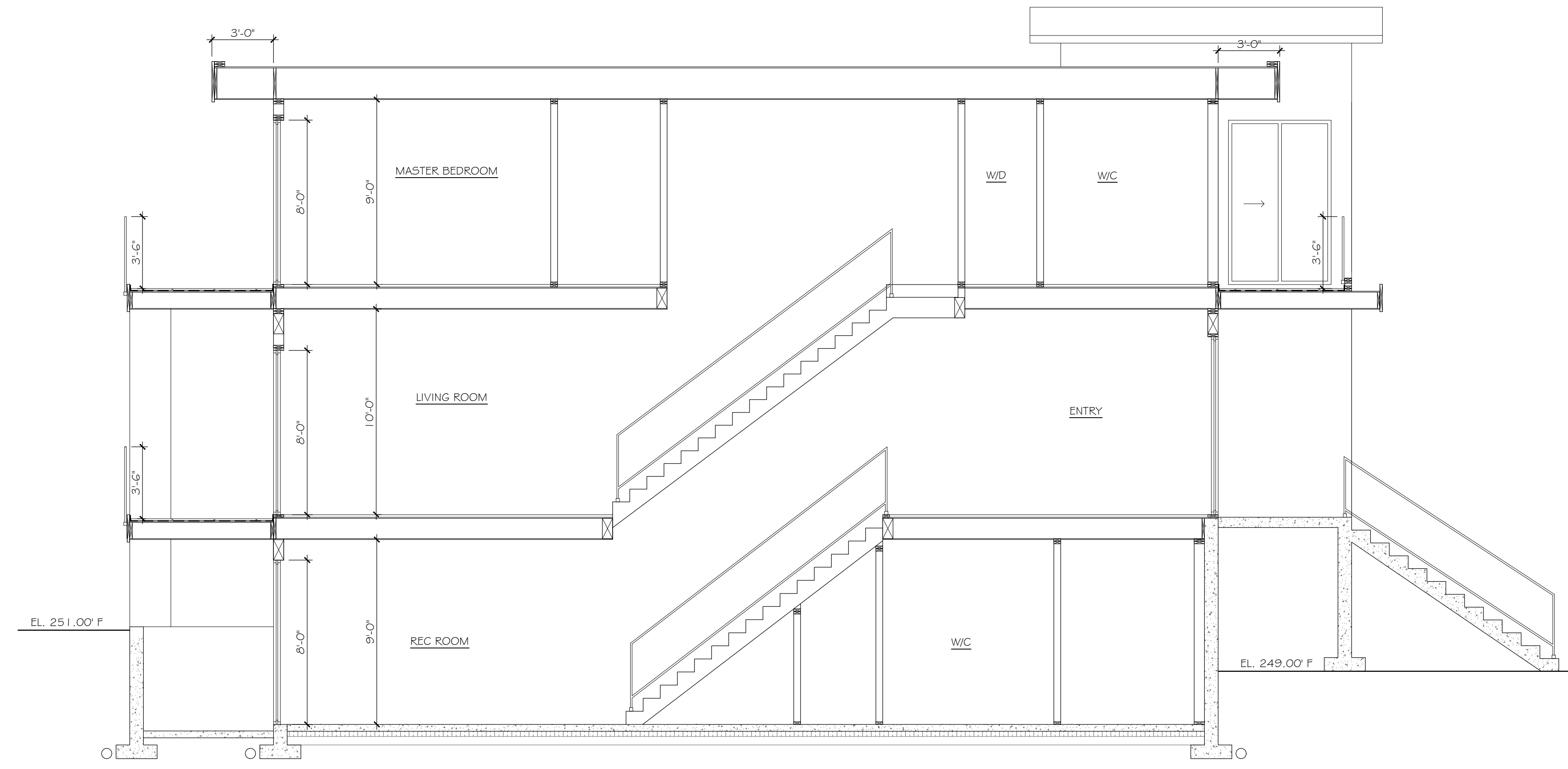
REVISION	DESCRIPTION	DATE	BY

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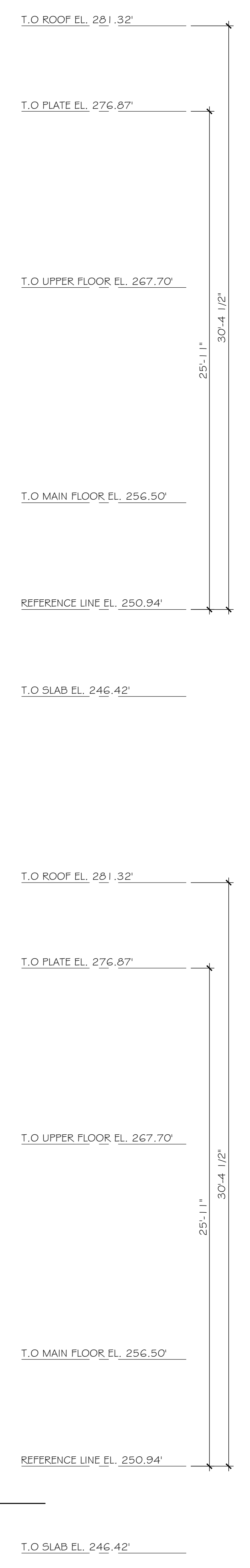
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SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"



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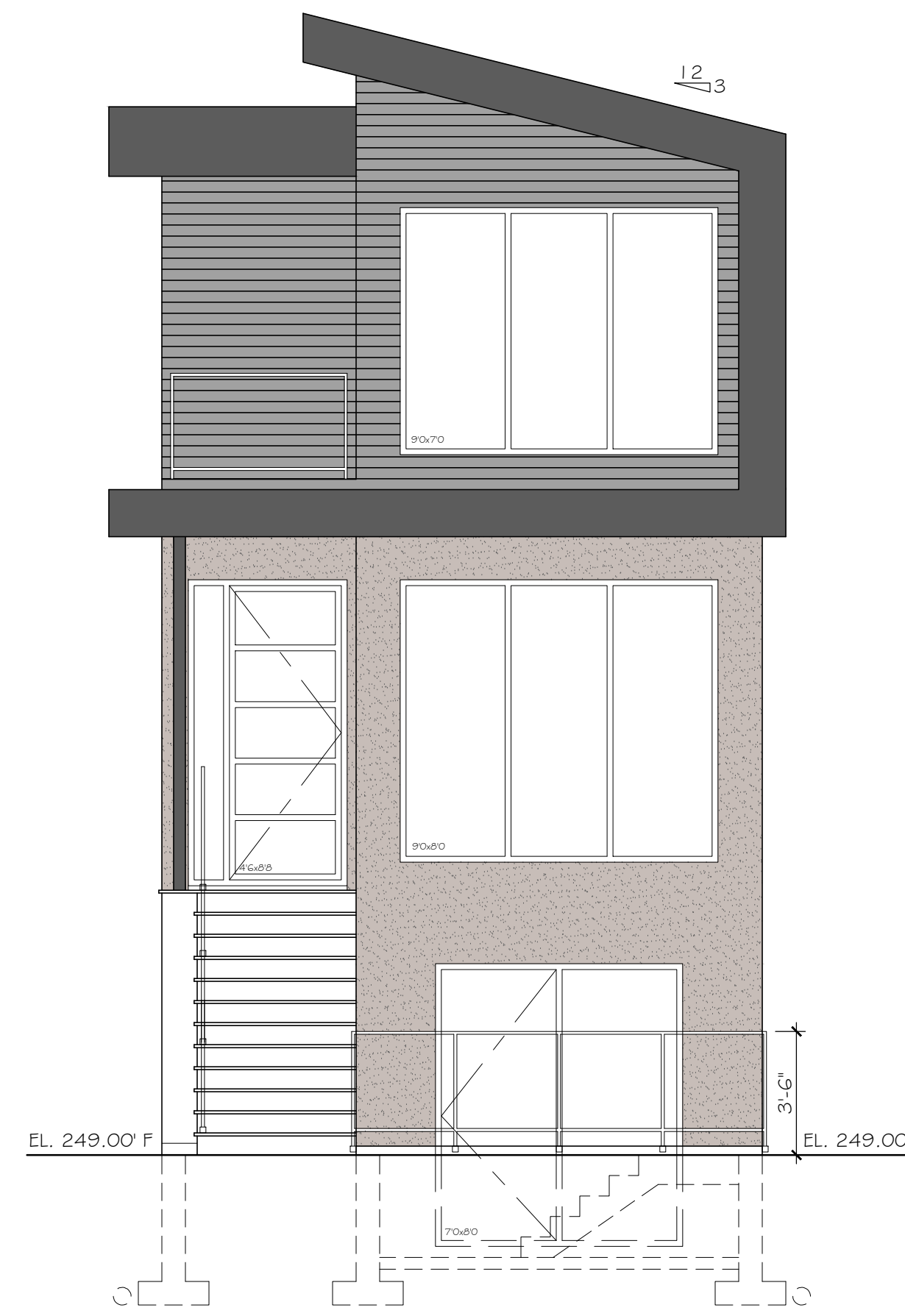
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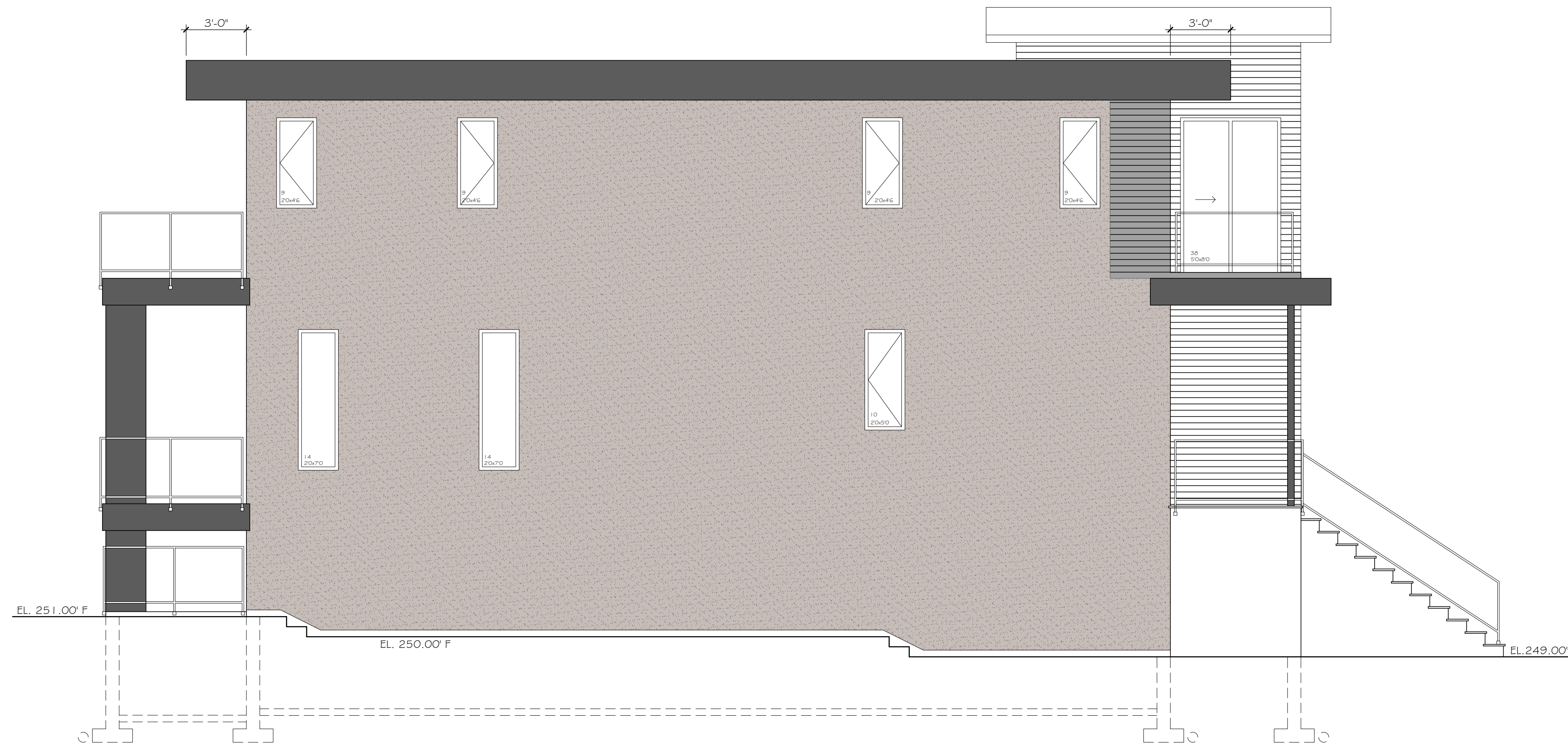


PROJECT INFORMATION
LOT A - 642 E 6th STREET
 SHEET TITLE
SECTIONS & ASSEMBLIES

DATE
 JUNE 12th, 2023
 SCALE
 1/4" = 1'-0"
 DWG No.
 A.4 OF A.7



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



LIMITED DISTANCE: 4'-0"
EXPOSED AREA: 1,239.0 FT²
MAX UPO: 87.0 FT²
PROP UPO: 74.0 FT²
PART 9 BCBC

WEST ELEVATION
SCALE: 1/4" = 1'-0"

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NOTES

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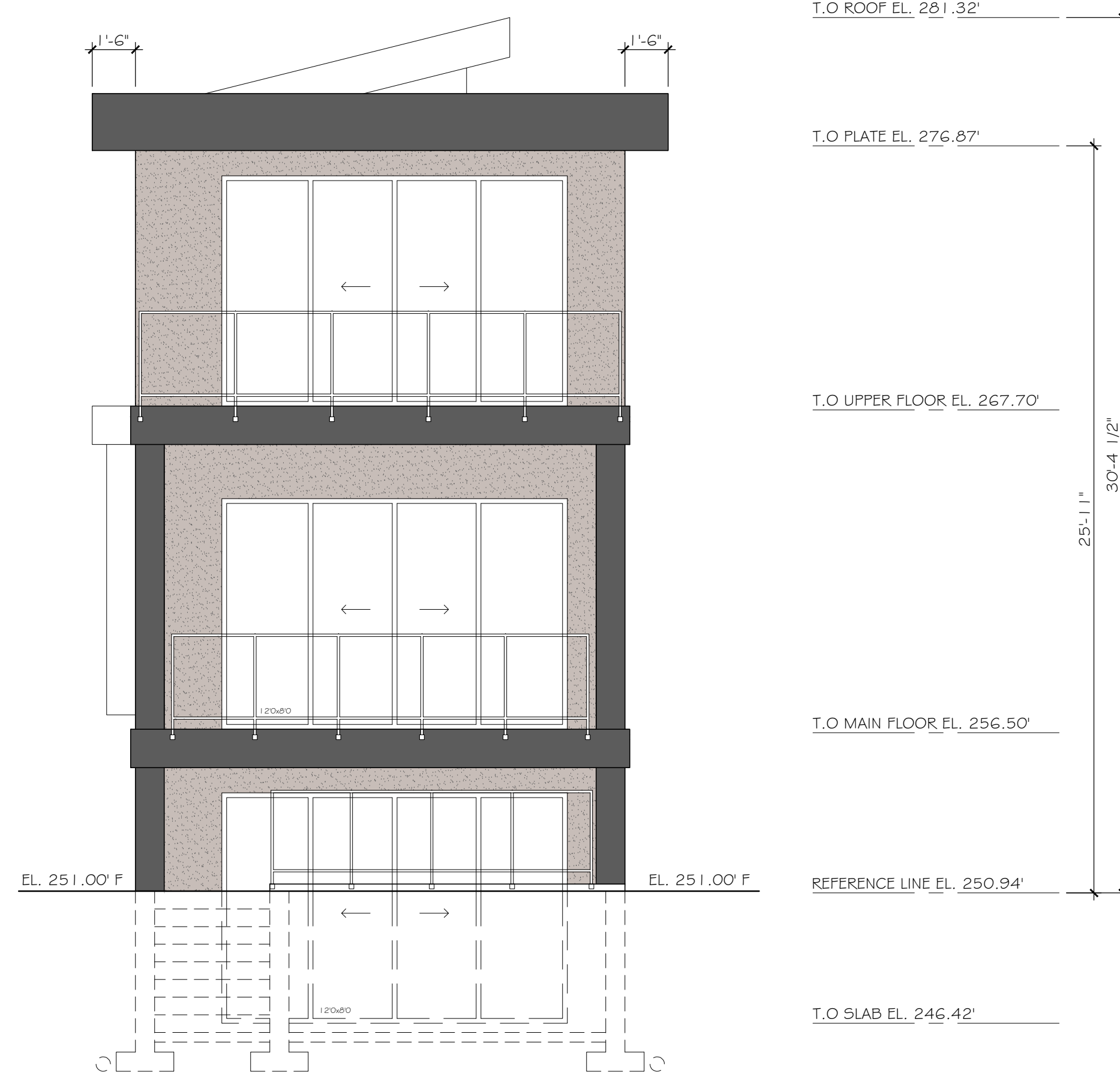
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PROJECT No: BLD-0146

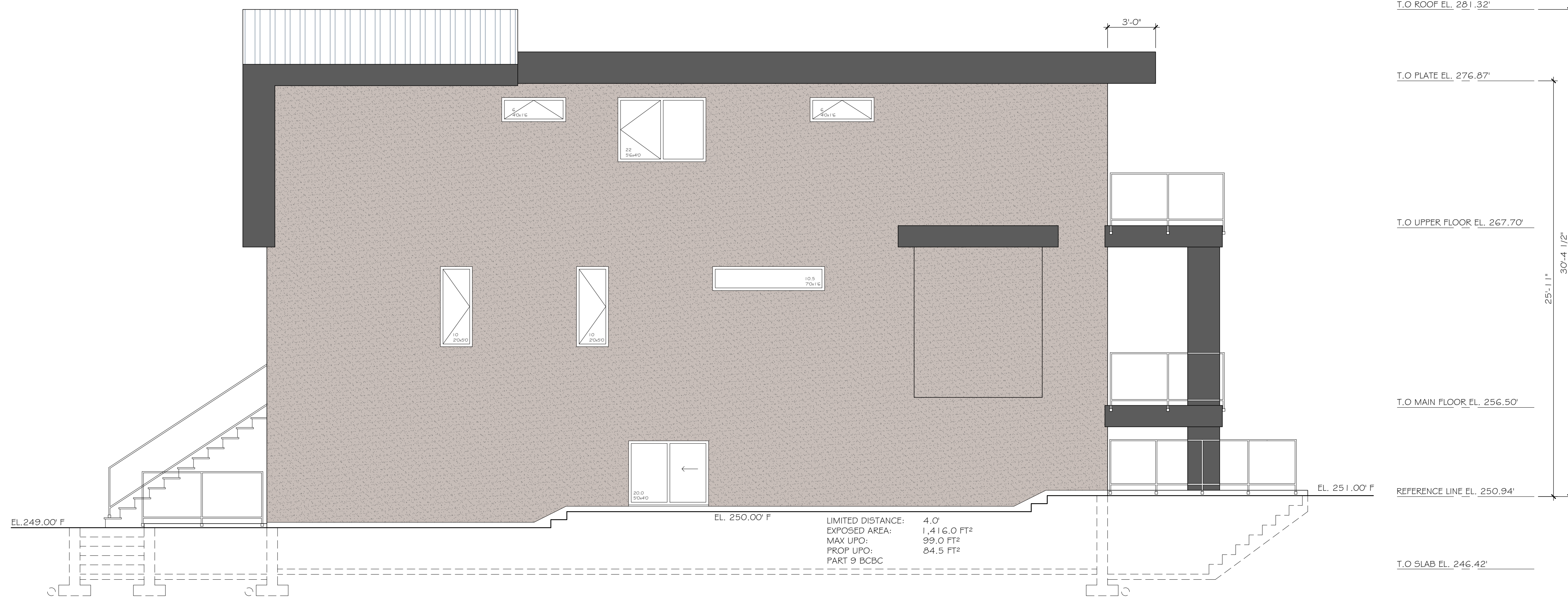


PROJECT INFORMATION
LOT A - 642 E 6th STREET
SHEET TITLE
ELEVATIONS

DATE
JUNE 12th, 2023
SCALE
1/4" = 1'-0"
DWG No.
A.5 OF A.7



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

LIMITED DISTANCE: 4.0'
EXPOSED AREA: 1,416.0 FT²
MAX UPO: 99.0 FT²
PROP UPO: 84.5 FT²
PART 9 BCBC

T.O ROOF EL. 281.32'
T.O PLATE EL. 276.87'
T.O UPPER FLOOR EL. 267.70'
T.O MAIN FLOOR EL. 256.50'
REFERENCE LINE EL. 250.94'
T.O SLAB EL. 246.42'

25'-1 1/2"
30'-4 1/2"

T.O ROOF EL. 281.32'
T.O PLATE EL. 276.87'
T.O UPPER FLOOR EL. 267.70'
T.O MAIN FLOOR EL. 256.50'
REFERENCE LINE EL. 250.94'
T.O SLAB EL. 246.42'

25'-1 1/2"
30'-4 1/2"

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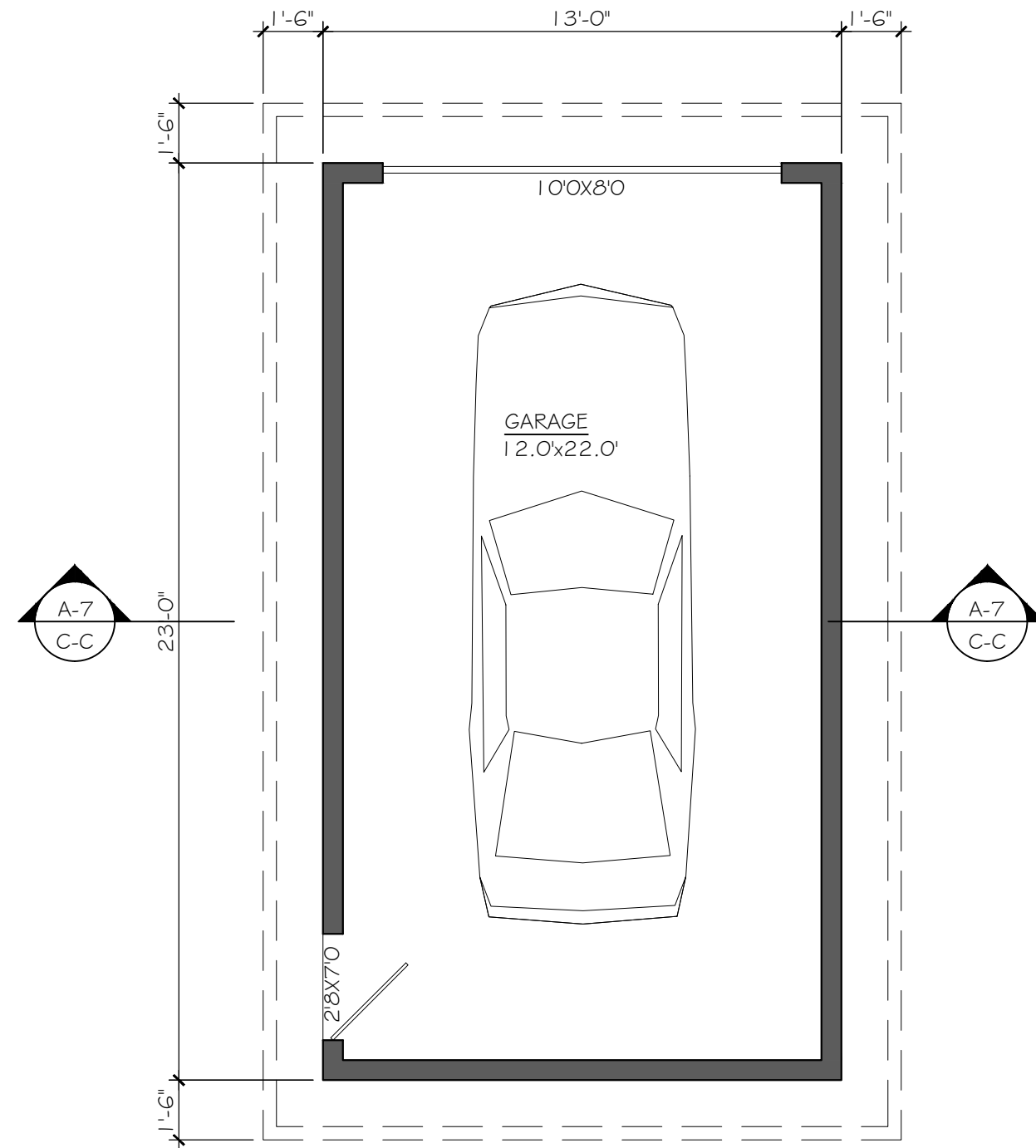
PROJECT INFORMATION
LOT A - 642 E 6th STREET

SHEET TITLE
ELEVATIONS

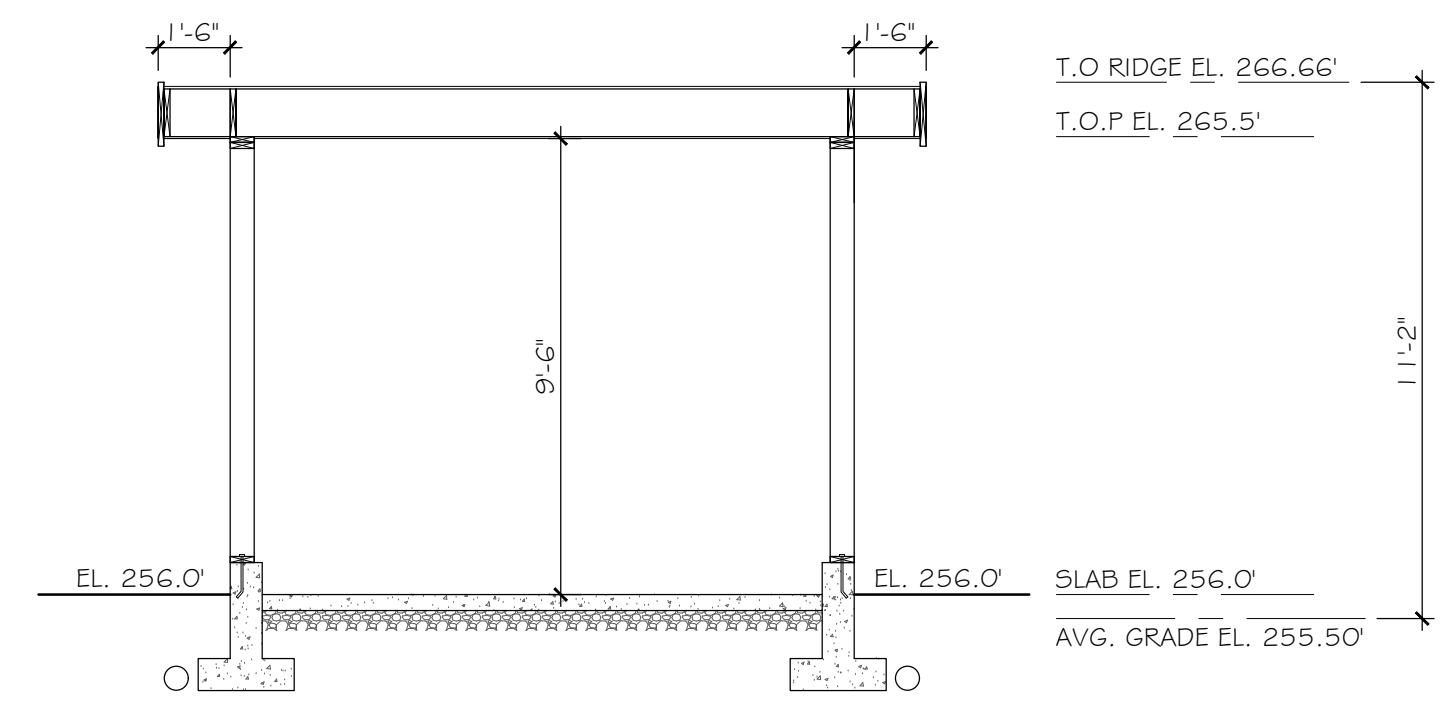
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SCALE
1/4" = 1'-0"

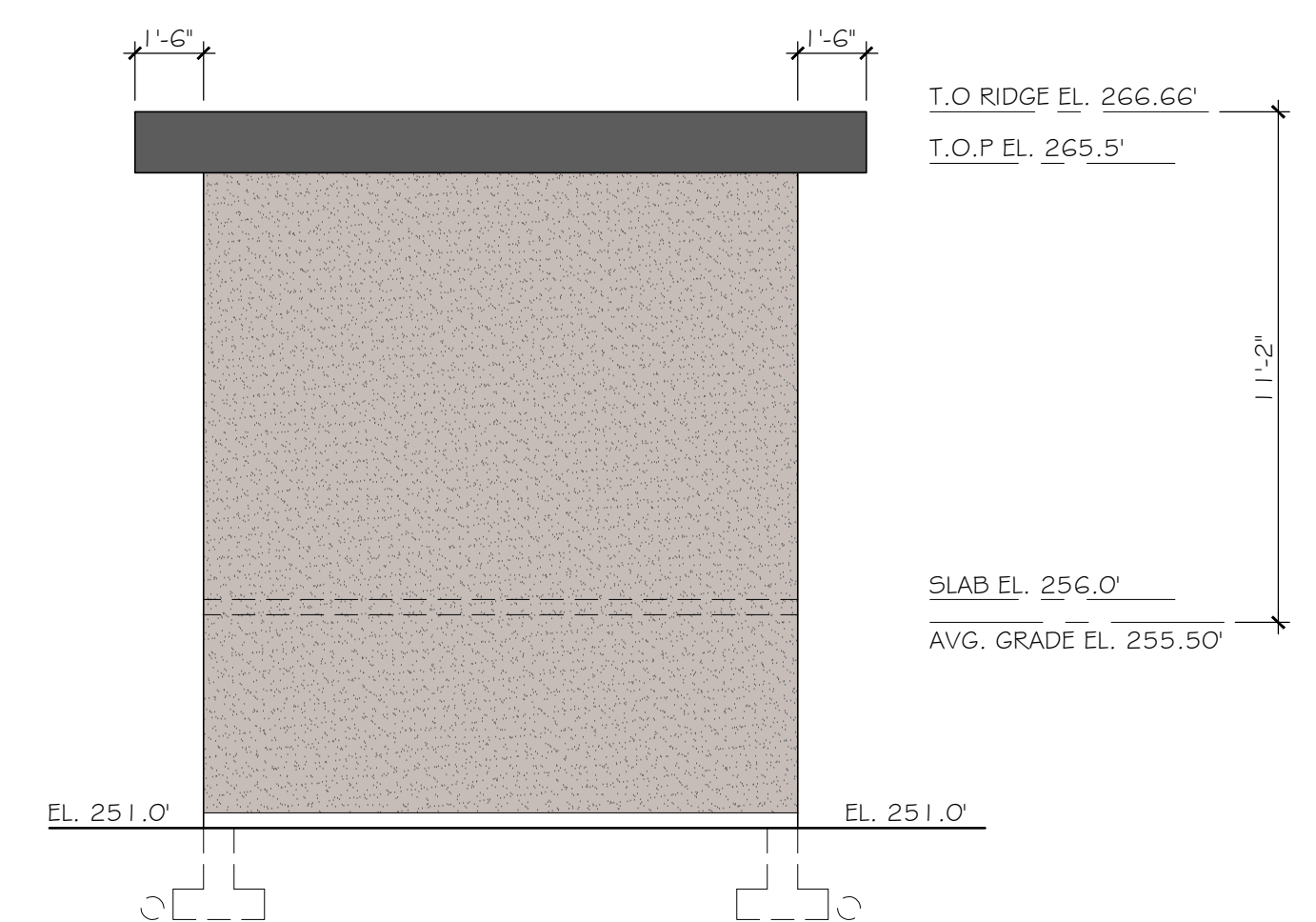
DWG No.
A.GOF A.7



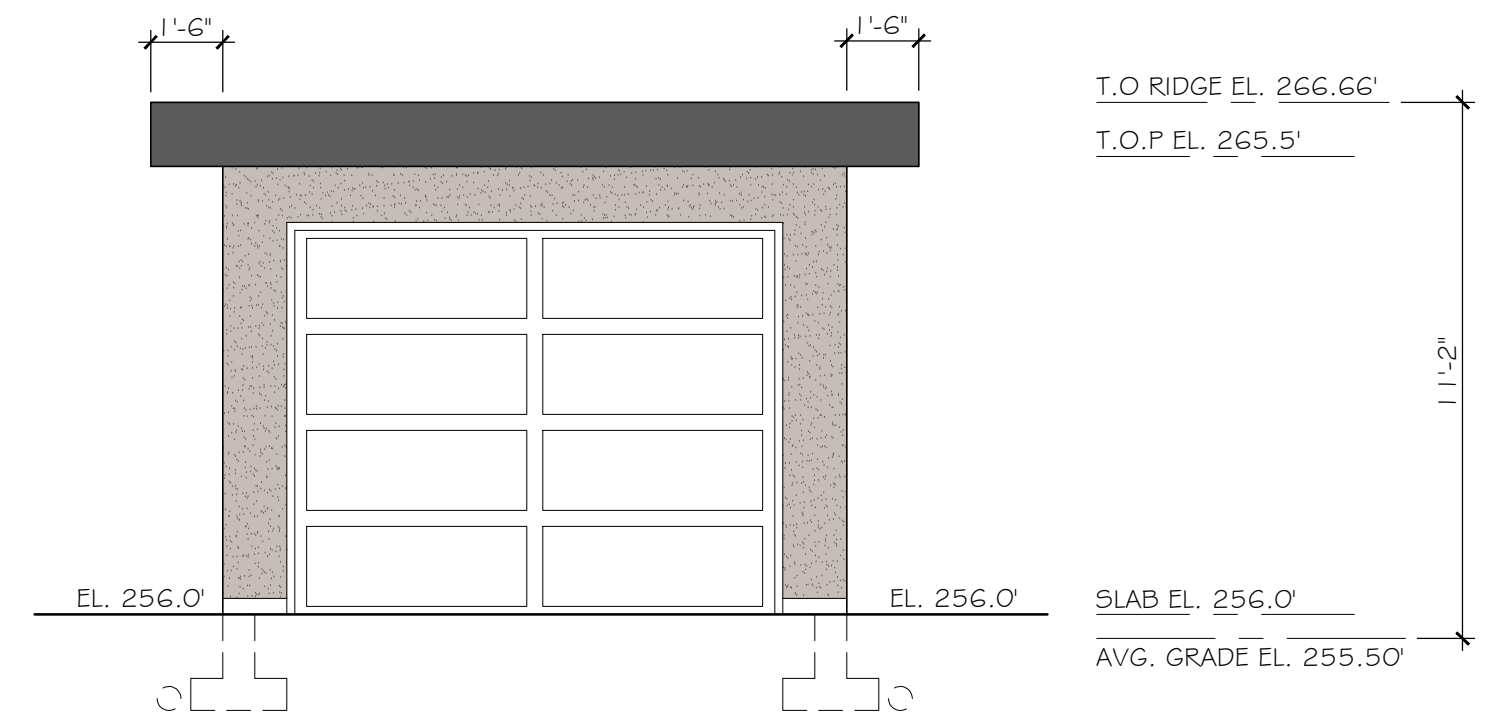
GARAGE PLAN
SCALE: 1/4" = 1'-0"
AREA: 299.0 FT²



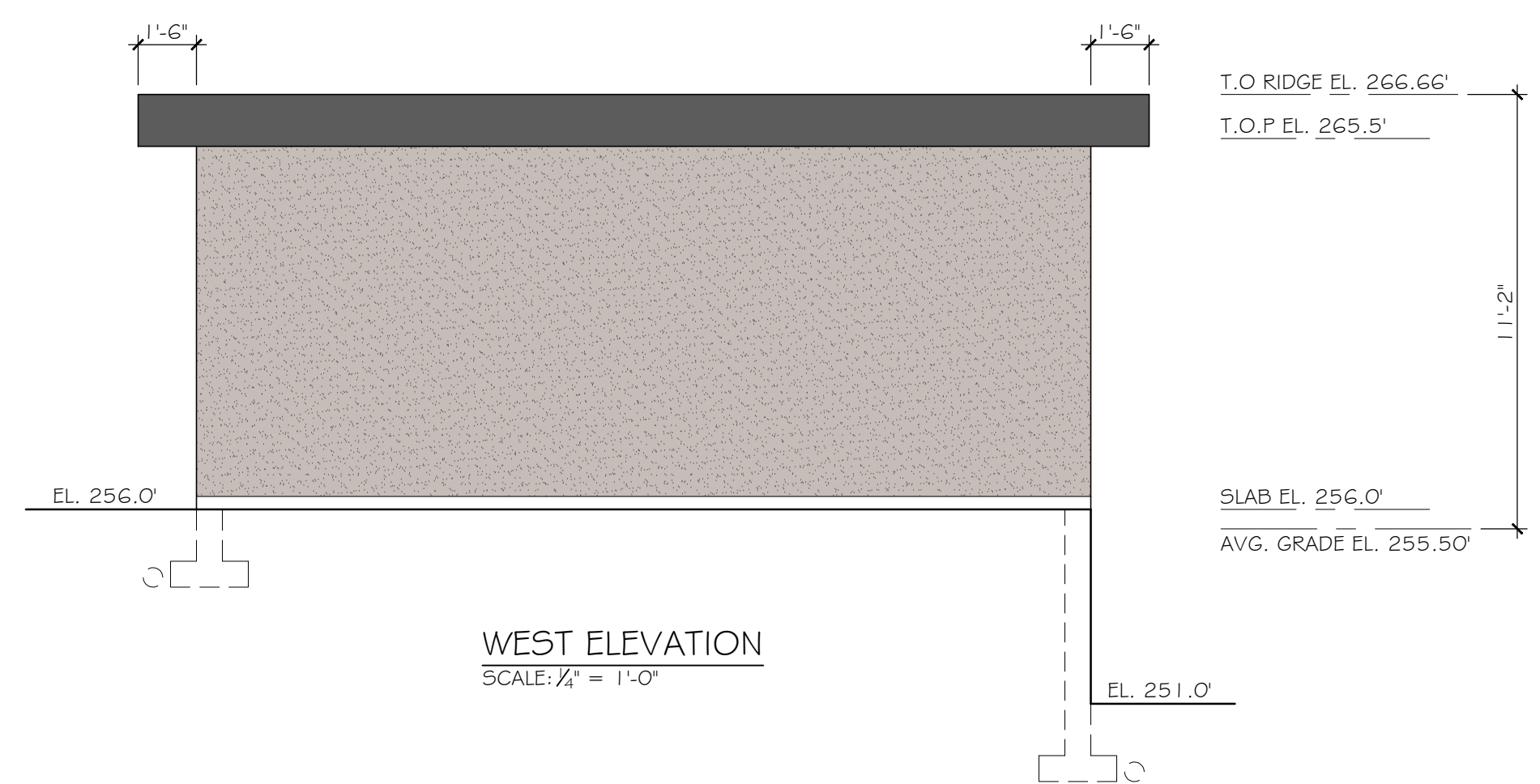
SECTION C-C
SCALE: 1/4" = 1'-0"



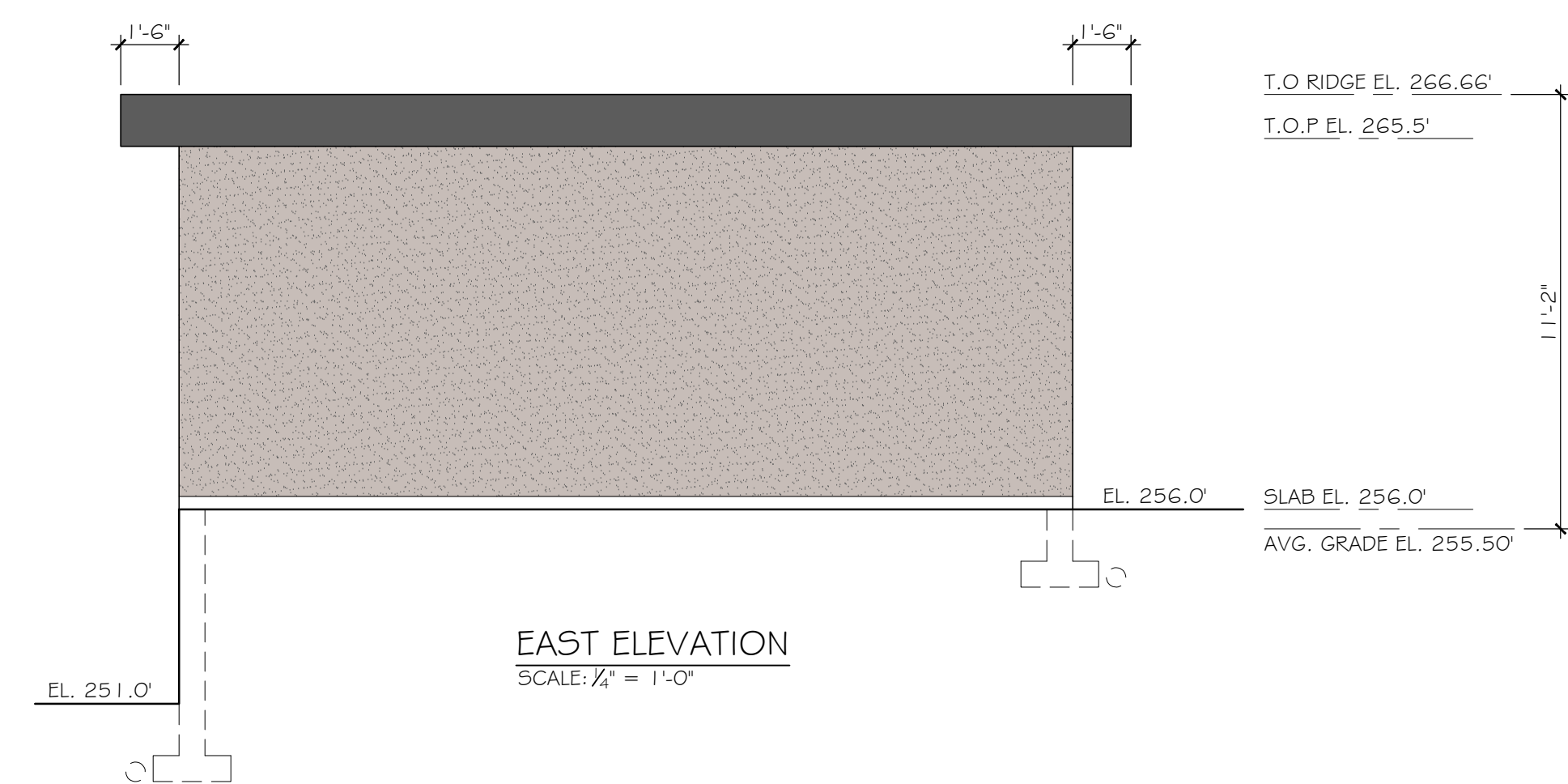
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

MUNICIPAL STAMP

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PROJECT INFORMATION
LOT A - 642 E 6th STREET

SHEET TITLE
PARKING STRUCTURE

DATE
JUNE 12th, 2023

SCALE
1/4" = 1'-0"

DWG. NO.
A.7 OF A.7