



DRAWING INDEX

R.1 SITE CONTEXT
 R.2 PROJECT RATIONALE
 R.3 COLOUR & MATERIAL PALETTES

ARCHITECTURAL DRAWINGS

A-01 SITE PLAN FOR BOTH LOTS / PROJECT ZONING SUMMARY
 A-02 FLOOR PLANS - BASEMENT BOTH LOTS
 A-03 FLOOR PLANS – MAIN BOTH LOTS
 A-04 FLOOR PLANS – UPPER BOTH LOTS
 A-05 ROOF PLANS – BOTH LOTS
 A-06 ELEVATIONS FRONT & REAR (LOT A)
 A-07 ELEVATIONS SIDES (LOT A)
 A-08 BUILDING SECTIONS (LOT A)
 A-09 ELEVATIONS FRONT & REAR (LOT B)
 A-10 ELEVATIONS SIDES (LOT B)
 A-11 BUILDING SECTIONS (LOT B)
 A-12 GARAGES BOTH (LOT B)
 A-13 STREET ELEVATION

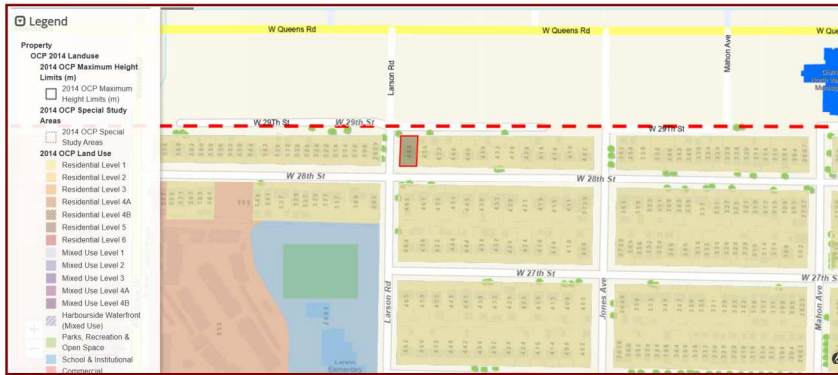
SUBDIVISION & REZONING APPLICATION
HOMES ON TWENTY-EIGHT STREET
464 WEST 28TH STREET, NORTH VANCOUVER

Legal Address: Lot:1; Block:242; DL:544; Plan:2838
 PID: 013-387-651

OWNERS: GRANDVIEW CONSTRUCTION LTD.

APPLICANT: VERNACULAR STUDIO INC.

ISSUED FOR: REZONING & SUBDIVISION OCTOBER 1st, 2024



OCP MAP, CITY OF NORTH VANCOUVER OCP MAP.



BIRD'S EYE VIEW VIEWING NORTH

Site context and Amenities

The site measures 17.8 m. x 31.7 m. [58 ft X 105 ft.], located on north of 400 block of 28th Street, bounded with single family housing to the north, south, east, and west.
 The property is in the Westview neighbourhood and two blocks west of Westview Avenue, transit corridor, walking distance to Larson elementary schools, daycare, parks, shopping area and close to Trans Canada HWY.

Topography

The site slopes 6%, (2.0 m. [6.6 feet]) from northwest to southwest over its depth and 3% [1.0 m.3.3 feet] from northeast to southeast, 7% from east to west along 29th Street, and 13% along 28th Street.



SOUTH WEST CORNER OF LARSON AVE. & 28TH ST.



464 WEST 28TH - SUBJECT PROPERTY



456 WEST 28TH - EASTERLY NEIGHBOUR



464 WEST 28TH - SOUTH WEST CORNER OF LARSON



WEST 29TH STREET, BEHIND SUBJECT PROPERTY - VIEWING WEST



NORTH WEST CORNER SUBJECT PROPERTY - VIEWING SOUTH



LARSON & 29TH - VIEWING SOUTH



LARSON STREET - SIDE VIEW OF THE SUBJECT PROPERTY

PROJECT RATIONALE

SUBJECT SITE AND NEIGHBOURHOOD

The site spans 17.80 m x 31.80 m (58.50' x 104.50') and is on the 400 block of West 28th Street, which is nestled between Chesterfield Ave. and Mahon Ave. It is surrounded by single-family residences on all sides—north, east, south, and west. The property is within walking distance of schools, daycares, and parks, and is located just two blocks from Ridgeway Drive, the transit corridor, and the Trans-Canada Highway.

TOPOGRAPHY

The site has a slope of 6% (2.0 m / 6.6 feet) from northwest to southwest across its depth and 3% (1.0 m / 3.3 feet) from northeast to southeast. Additionally, there is a slope of 7% from east to west along 29th Street and 13% along 28th Street.

LAND USE

The land use designation in the 2014 Official Community Plan (OCP) is Residential Level 1, Single-Family. We plan to maintain the existing OCP designation while applying for a rezoning and subdivision of 245 West 27th Street, transitioning from a Single-Family lot (RS1) to a Single-Family lot (RS2). This change will facilitate the construction of two Single-Family houses, each with an accessory secondary suite.

PROPOSED INTENT

We believe that addressing housing challenges can be achieved through small lot subdivisions, offering flexible and relatively affordable housing solutions for young families, professionals, downsizers, and empty-nesters who wish to remain in their community. In the next phase of the rezoning and subdivision permitting process, our application will align with all regional requirements and the sustainability goals of the City of North Vancouver.

AFFORDABILITY

As land prices rise, both the developing community and the City of North Vancouver face significant pressure to enhance housing affordability. This proposal aims to subdivide a 50-foot wide lot into two smaller lots to build two new single-family houses, each featuring a Secondary Suite. These Secondary Suites are intended to provide two ground-oriented rental units in the area, serving as a "mortgage helper" for the homeowners.

BACKGROUND

In 2016, we designed our first narrow lot application at 1413-1417 Mahon Ave, followed by a rezoning and subdivision application for 525 East 5th Street in 2017. Both projects have been completed successfully. Currently, there are two ongoing projects at 416-418 East 16th St. and 1740-1742 Bewicke Ave., along with another at 646-648 East 4th Street, and 11 additional projects in the development application stage.

SITING OF THE HOUSES

In response to the site conditions, current market trends, and client preferences, we propose constructing two modern-style houses that are harmonious in design, massing, and architectural materials. On Lot A (the western parcel), there are four large trees along the west property line. We intend to preserve three of these trees while proposing the removal of one located in the southwest corner of the property. Given the extensive tree protection zone, we plan to position the house towards the rear, facing 29th Street.

ARCHITECTURAL DESIGN

The proposed houses will feature a modern architectural style with sloped roofs for Lot A and flat roofs for Lot B, creating distinct yet complementary designs. The material palette will include a mix of fiber cement boards and vertical composite fiber cement (refer to the material palette).

Key design features include:

- Two distinct modern homes tailored to site conditions.
- Three bedrooms and a Secondary Suite in each house.
- Enhanced outdoor living spaces in rear yards and south-facing patios for each basement suite.
- Flexible floor plans to accommodate the needs of growing families.

MATERIALITY

For wall cladding, both houses will utilize fiber cement siding, fiber cement boards, and natural cedar strips as accents for front entrances. Painted fiber cement boards will be used for soffits and fascia's (color palettes are presented on pages A-07 of this package).

AFFORDABILITY

To enhance affordability, our approach focuses on constructing smaller homes and gently increasing density within the existing residential zoning, particularly in low- and medium-density areas. An increasing number of small single-family houses, duplexes, triplexes, and infill units provide alternative solutions for relative affordability within the current zoning and OCP. Following discussions with the Planning Department and addressing their concerns regarding rezoning, we maintain that this housing form is a viable typology in North Vancouver, offering more affordable options compared to larger single-family homes on standard 50-foot wide lots. The inclusion of a Secondary Suite further assists homeowners in offsetting their mortgage payments or accommodating extended family.

SUSTAINABILITY

This proposal seeks to increase density within the existing RS1 zoning, which currently has low density. The owners aim to construct two new single-family homes with minimal disruption to existing density. Through a gentle densification approach, the proposal will add two relatively affordable rental suites alongside an additional small home within the municipal infrastructure. Our application aims to incorporate the following sustainable components:

- Compliance with Step 3 energy code or the most current CNV requirements.
- Installation of "Energy Star" windows and doors.
- Double or triple-pane windows based on energy requirements.
- "Energy Star" appliances in the new infill unit.
- Pre-wired garages for electric vehicles.
- Dual-flush toilets and low-flow fixtures.
- Use of low VOC-emitting paint and flooring materials.
- Hot water piping meeting minimum insulation standards.
- Installation of heat recovery ventilators.
- Planting of indigenous plant materials with low water requirements.
- Implementation of a stormwater management system.
- Provision of bicycle storage.

ACTIVE LIFESTYLE

- Provision of bicycle storage.
- Outdoor patios for both the principal house and the secondary suites to facilitate residents' outdoor activities.

LANDSCAPE DESIGN

The landscape design will feature a significant percentage of native and drought-resistant plant species in the front and rear yards.



AERIAL VIEW OF THE SITE



PROPOSED HOUSES



SOUTHWEST CORNER OF LOT-EXISTING TREES

Vernacular
studio



COPYRIGHT:

THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT:

464 WEST 28TH STREET,
NORTH VANCOUVER

DRAWING TITLE:

PROJECT RATIONALE

DATE:

OCT. 1, 2024

DRAWING NO.:







R.02



HOUSE A
[EAST]

HOUSE B
[EAST]

COLOUR PALETTES

-  HOUSE A EAST-THIN BRICK VENEER / LIGHT GREY (BM)
 -  HOUSE A EAST-THIN BRICK VENEER / DARK GREY (BM)
 -  HOUSE A- MAIN HOUSE and GARAGE – MED. GREY SOLID PAINT (BM)
 -  HOUSE B- MAIN HOUSE and GARAGE –F/ CEMENT PANEL (Light Grey to Off white –BM)
 -  BOTH HOUSES - WINDOW SASH & STL. COLUMNS – Coated Dark Charcoal
 -  BOTH HOUSES – FASCIA, FLASHING – Dark Charcoal (to match Iron Mountain-B.M.)
- BM = BENJAMINE MOORE PAINT

MATERIAL PALETTES

- 1 ROOF: 3 LAYERS APPROVED MEMBRANE
- 2 WIND. DOOR TRIMS: 1.5" X1.5" PAINTED TO MATCH WALLS
- 3 FASCIA BOARD: 2X8 OR 2X10 PAINTED COMBED CEDAR, DARK CHARCOAL
- 4 FLASHING ON FASCIA: PREPAINTED STEEL PROFILE TO MATCH FASCIA COLOUR
- 5 FASCIA + GUTTER: PRE-PAINTED ALUM. DARK CHARCOAL
- 6 WALL: FIBER CEMENT–WALL SHAKE PANELS
- 7 WALL CLADDING: FIBER CEMENT–WALL SIDING
- 8 WINDOW SASH: VINYL–DARK CHARCOAL
- 9 ENTRY DOORS: PAINTED FULL SANDBLASTED GLASS / FIBERGLASS FRAMED
- 10 SOFFITS: NATURAL CEDAR STAINED

PROJECT:

245 WEST 27TH STREET,
NORTH VANCOUVER

DRAWING TITLE:

COLOUR & MATERIAL PALETES

DATE:

AUGUST 25, 2023

DRAWING NO.:

R.04

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.



REVISION:	
6	
5	
4	
3	
2	
1	SUBDM/REV. SEP. 25, 2024
Rev.	Name for DATE

PROJECT: PREAPP

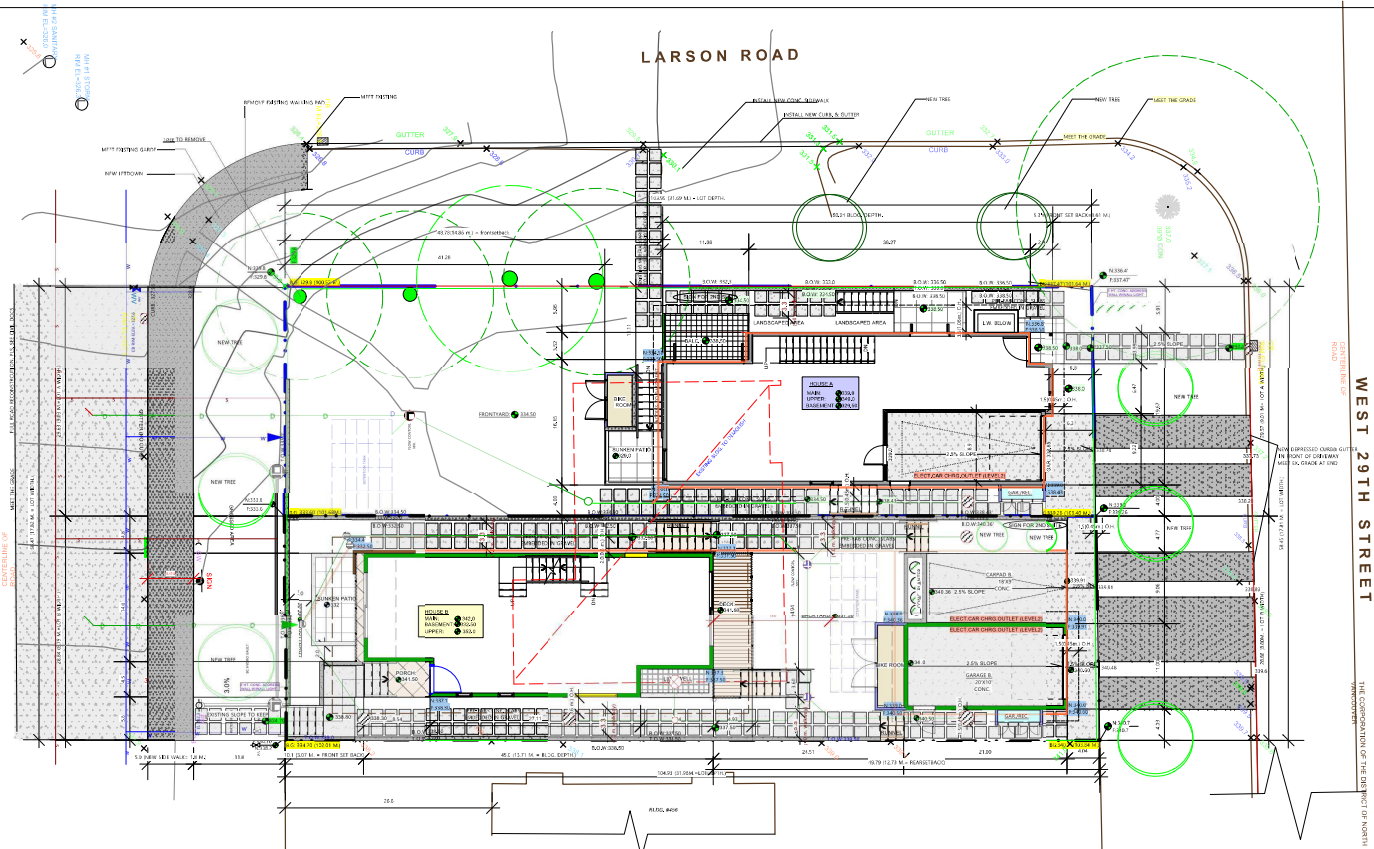
464 W 28TH

DRAWING TITLE:
SITE PLAN

DATE: DRAWING NO.:

DRAWN BY:
CHECKED BY:
-M.R.
-R.CH
SCALE: 1/16"

A-01



PROJECT SYNOPSIS

Current Lot Area: 17.82 M x 31.80 = 572.31 SM [58.47' X 104.80' = 6,160 SF]
 Current Zoning: RS1
 Proposed Zoning: RS2 (with minimum lot size relaxation)
 As minimum lot size is 334.45 SM (3,600 SF) lot area, Ref. Bylaw 506 1)d

Proposed FSR: 0.50 FOR EACH LOT

Subdivision: From ONE LOT INTO TWO LOTS OF 7.62 M. (25 FT.) WIDE

Lot A (WEST)

Lot Area: 9.03 X 31.76 = 286.60 SM
29,63' X 104.10' = 3,084 SF

FSR Allowed (0.50):	286.60 X 0.5 = 143.30 SM [1,543.54 SF]
FSR Proposed:	140.1 SM [1,507.0 SF]
Lot Coverage Allowed:	30% 85.98 SM [925.50 SF]
Lot Coverage Proposed:	30% 85.98 SM [925.50 SF]

FLOOR AREA (FSR CALCULATION)

Main Floor	68.47 SM [737.0 SF]
Upper	71.62 SM [771.0 SF]
Basement	(68.47 SM [737.0 SF])
Total FSR	140.10 SM [1,508.0 SF]

SETBACKS:	ALLOWED	PROPOSED
FRONT:	4.57 M [15.0']	14.86 M [48.78']
REAR @35% LOT DEPTH:	11.10 M [36.38']	1.61 M [5.30'] VARIANCE
EAST SIDE:	1.2 M [4.0']	1.2 M [4.0']
WEST SIDE 20% LOT W.:	1.8 M [5.9']	1.8 M [5.9']
HOUSE TO GARAGE:	3.0 M [10.0']	N/A

Accessory Building:10%	N/A	N/A
Parking:	2	1 VARIANCE
SECONDARY SUITE: 40%	57.36 SM [617.4 SF]	57.30 SM (616.8 SF)
PARKING:	ONE ENCLOSED GARAGE	
BIKE:	2 ENCLOSED	

Lot B (EAST)

Lot Area: 8.79 X 31.97 = 281.01 SM
28.84' X 104.93' = 3,026 SF

FSR Allowed (0.50):	281.01 X 0.5 = 140.60 SM [1,513 SF]
FSR Proposed:	140.37 SM [1,510 SF.]
Lot Coverage Allowed:	30% 84.30 SM [907.80 SF]
Lot Coverage Proposed:	30%

FLOOR AREA (FSR CALCULATION)

Main Floor	70.60 SM [760.0 SF]
Upper	69.67 SM [750.0 SF]
Basement	(70.60 SM [760.0 SF])
Total FSR	140.27 SM [1,510.0 SF]

SETBACKS:	ALLOWED	PROPOSED
FRONT:	4.57 M [15.0']	3.07 M [10.0'] VARIANCE
REAR @35% LOT DEPTH:	11.18 M [36.72']	12.73 M [49.79']
EAST SIDE:	1.2 M [4.0']	1.2 M [4.0']
WEST SIDE:	1.2 M [4.0']	1.4 M [4.7']
HOUSE TO GARAGE:	3.0 M [10.0']	7.47 M [24.51']

Accessory Building:10%	28.10 SM [302.4 SF]	18.60 SM [200.0 SF]
Parking:	2	2
SECONDARY SUITE: 40%	56.11 SM [604.0 SF]	56.11 SM (604.0 SF)
PARKING:	ONE CAR PAD ALLOCATED FOR EACH DWELLING UNIT	
BIKE:	2 ENCLOSED	



CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.



LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

6		
5		
4		
3		
2		
1	SUBDIVISION	SEP. 25, 2024
No.	Issue for	DATE

PROJECT: PREAPP

DRAWING TITLE:
BASEMENT FLOOR PLANS

DATE: _____ DRAWING NO. _____

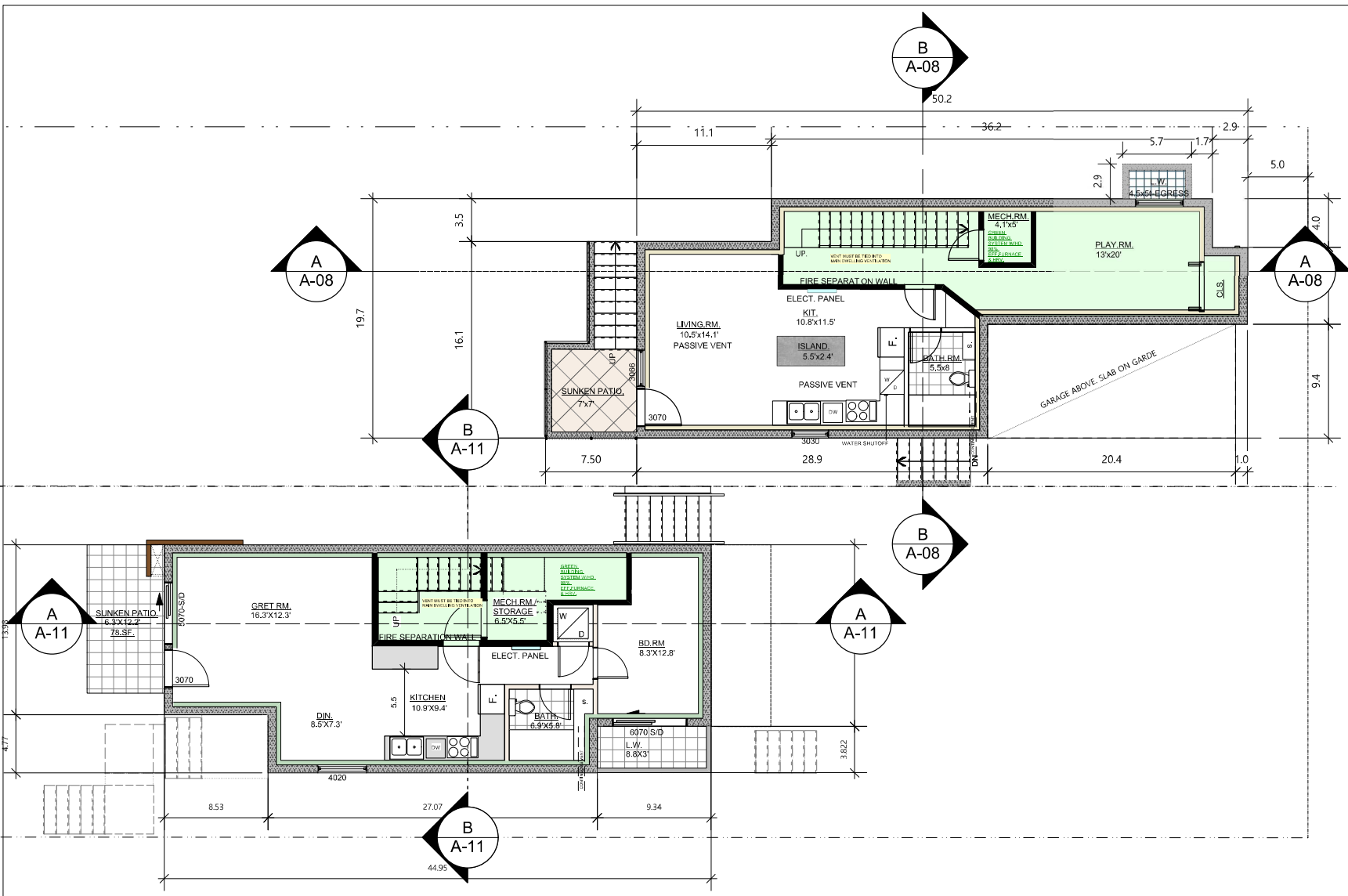
DRAWN BY: _____

CHECKED BY: _____

-M.R.
-R.CH

A-02

SCALE: 1/8"



1 HOUSE A - BASEMENT LEVEL: NET = 737.0 SF.
Scale: 1/8" = 1'-0"

2 HOUSE B - BASEMENT FLOOR PLAN - NET: 760 SF.
Scale: 1/8" = 1'-0"

SUITE : 616.8 S.F.

2 HOUSE B - BASEMENT FLOOR PLAN - NET: 760 SF.
Scale: 1/8" = 1'-0"
SUITE: 604.0 SF.

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.



LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6		
5		
4		
3		
2		
1	SUBD/REVZ	SEP. 25, 2024

PROJECT: PREAPP

464 W 28TH

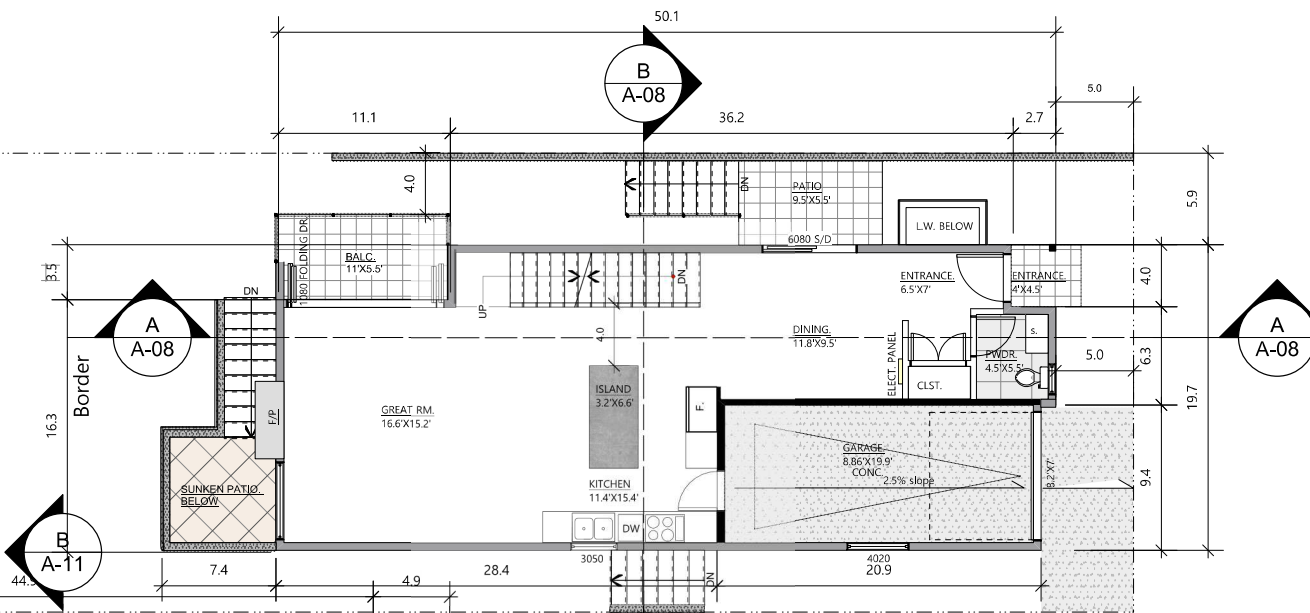
DRAWING TITLE:
MAIN FLOOR PLANS

DATE: DRAWING NO.:

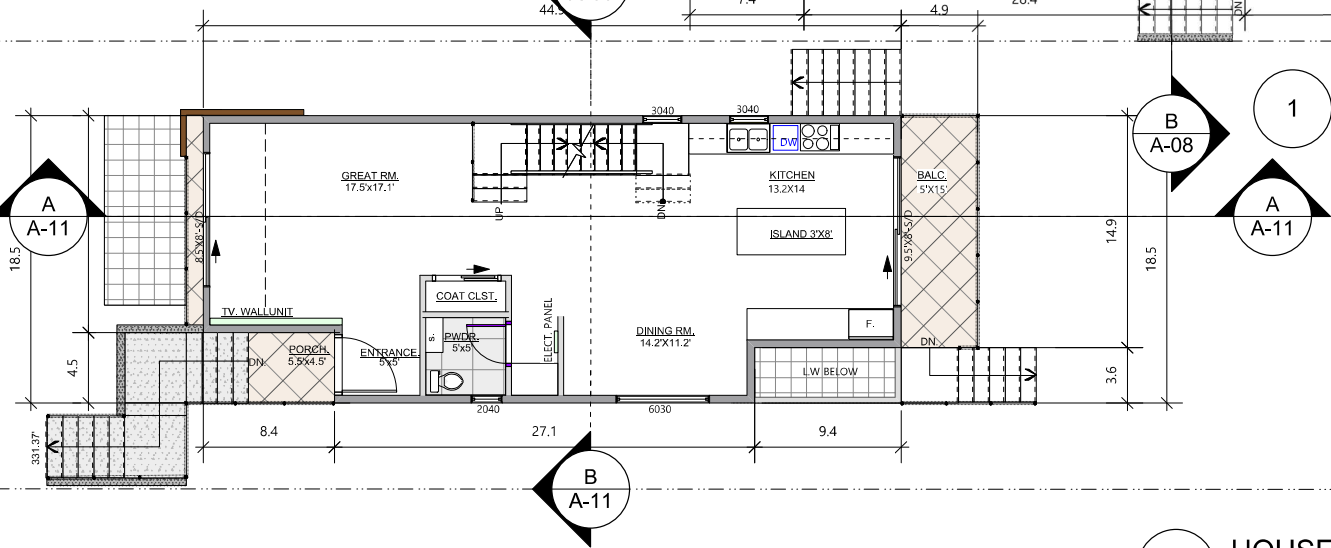
DRAWN BY:

CHECKED BY:
-M.R.
-R.CH

SCALE: 1/8" = 1'-0"
A-03



HOUSE A - MAIN LEVEL: 737.0 SF.
Scale: 1/8" = 1'-0"



HOUSE B - MAIN FLOOR PLAN - 760 SF.
Scale: 1/8" = 1'-0"

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.



LEGEND:

- FINISH ELEV.
- ⊙ POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:	DATE	ISSUE FOR
5		
4		
3		
2		
1	SUBDI/REZ.	SEP. 25, 2024
No.	Issue for	DATE

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:

UPPER FLOOR PLANS

DATE: DRAWING NO.:

DRAWN BY:

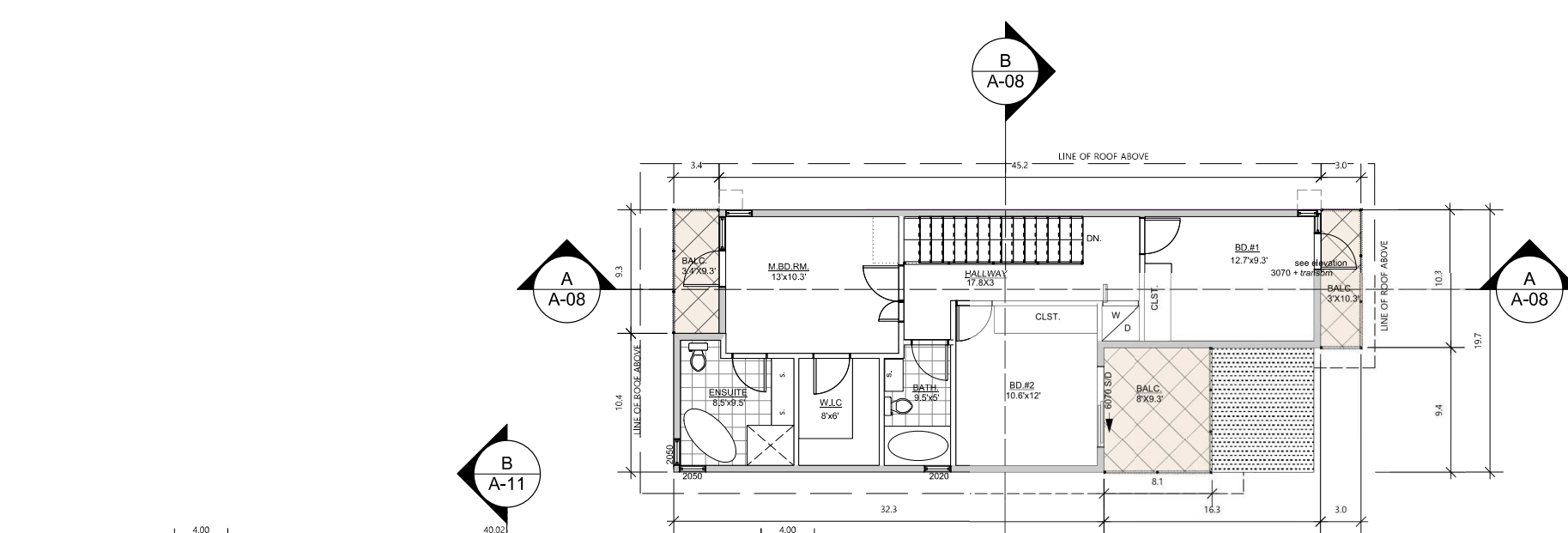
CHECKED BY:

-M.R.

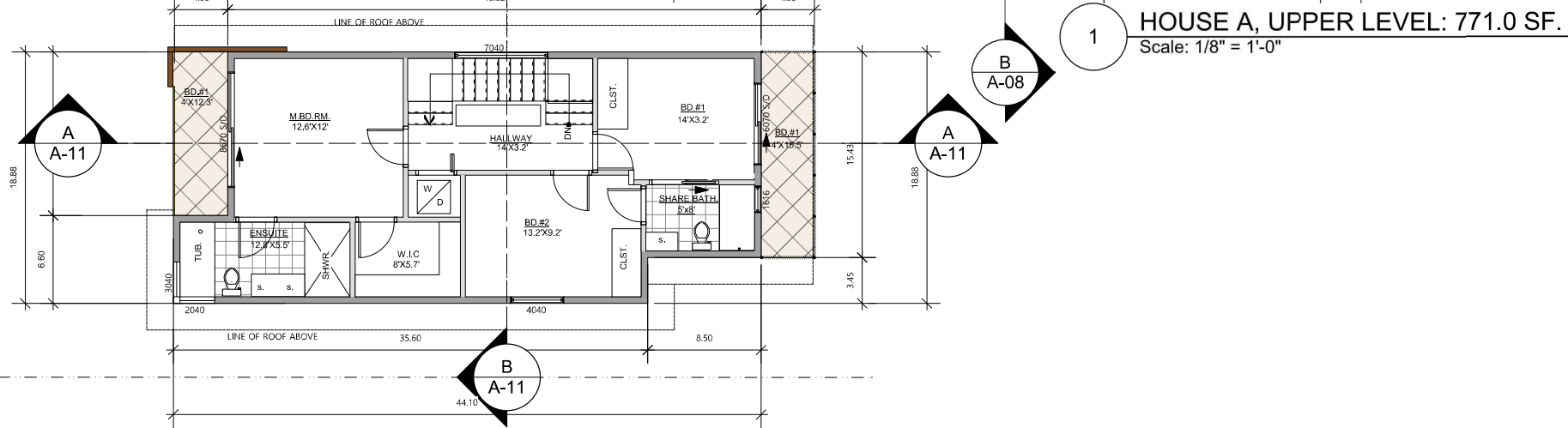
-R.CH

SCALE: 1/8"

A-04



1 HOUSE A, UPPER LEVEL: 771.0 SF.
Scale: 1/8" = 1'-0"



2 HOUSE B- UPPER FLOOR PLAN -750.0 SF.
Scale: 1/8" = 1'-0"

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REPRODUCED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.



LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:		
5		
4		
3		
2		
1	SUBDIV/REVZ	SEP. 25, 2024
No.	Issue for	DATE

PROJECT: PREAPP

464 W 28TH

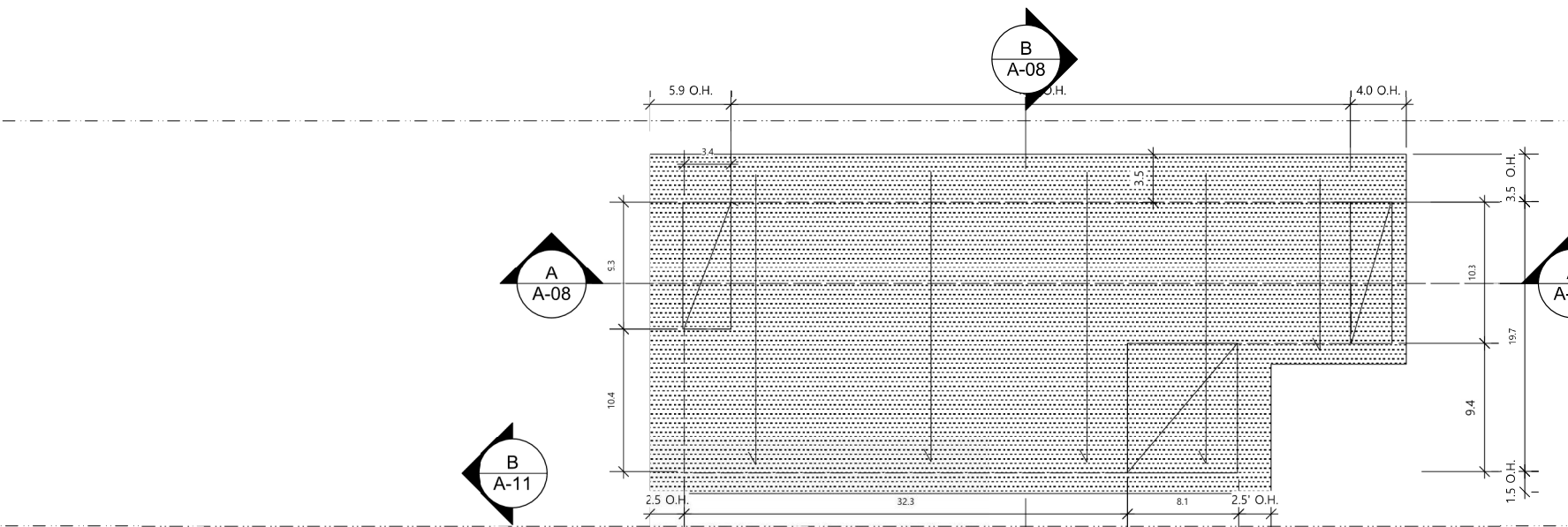
DRAWING TITLE:
ROOF PLANS

DATE: DRAWING NO.

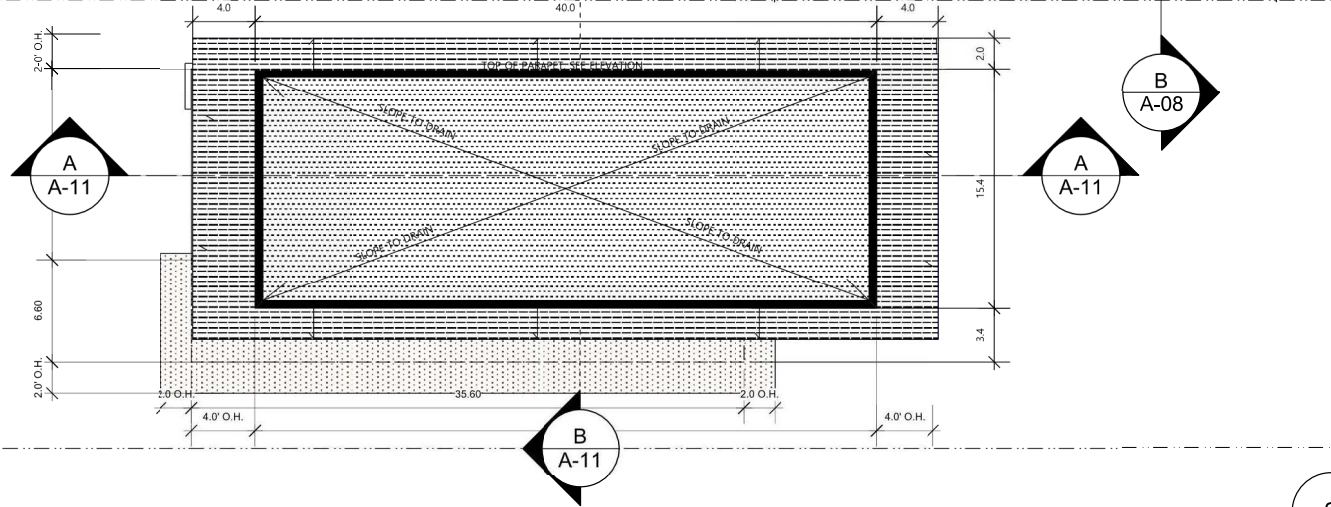
DRAWN BY:

CHECKED BY:
-M.R.
-R.CH

SCALE: 1/8" **A-05**



1 HOUSE A, ROOF PLAN
Scale: 1/8" = 1'-0"



2 HOUSE B, ROOF PLAN
Scale: 1/8" = 1'-0"

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REPRODUCED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- ⊙ FINISH ELEV.
- ⊙ POWER VENT
- ⊕ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

NO.	ISSUE FOR	DATE
1	SUBDIV/REZ.	SEP. 25, 2024
2		
3		
4		
5		
6		

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:
**HOUSE A,
NORTH & SOUTH
ELEVATIONS**

DATE: DRAWING NO.:

DRAWN BY:

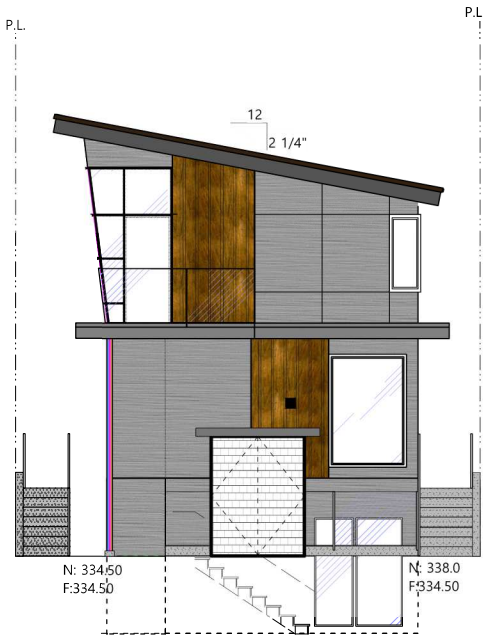
CHECKED BY:

-M.R.

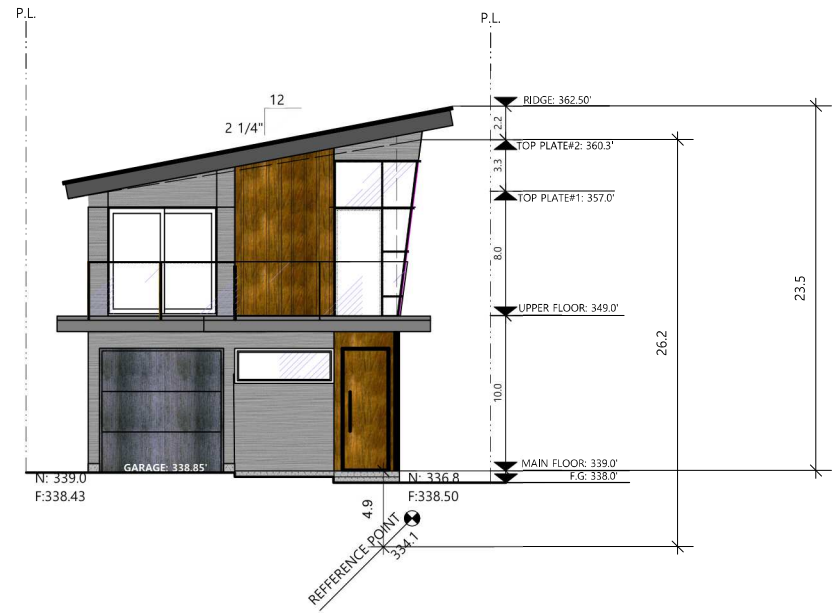
-R.CH

SCALE: 1/8"

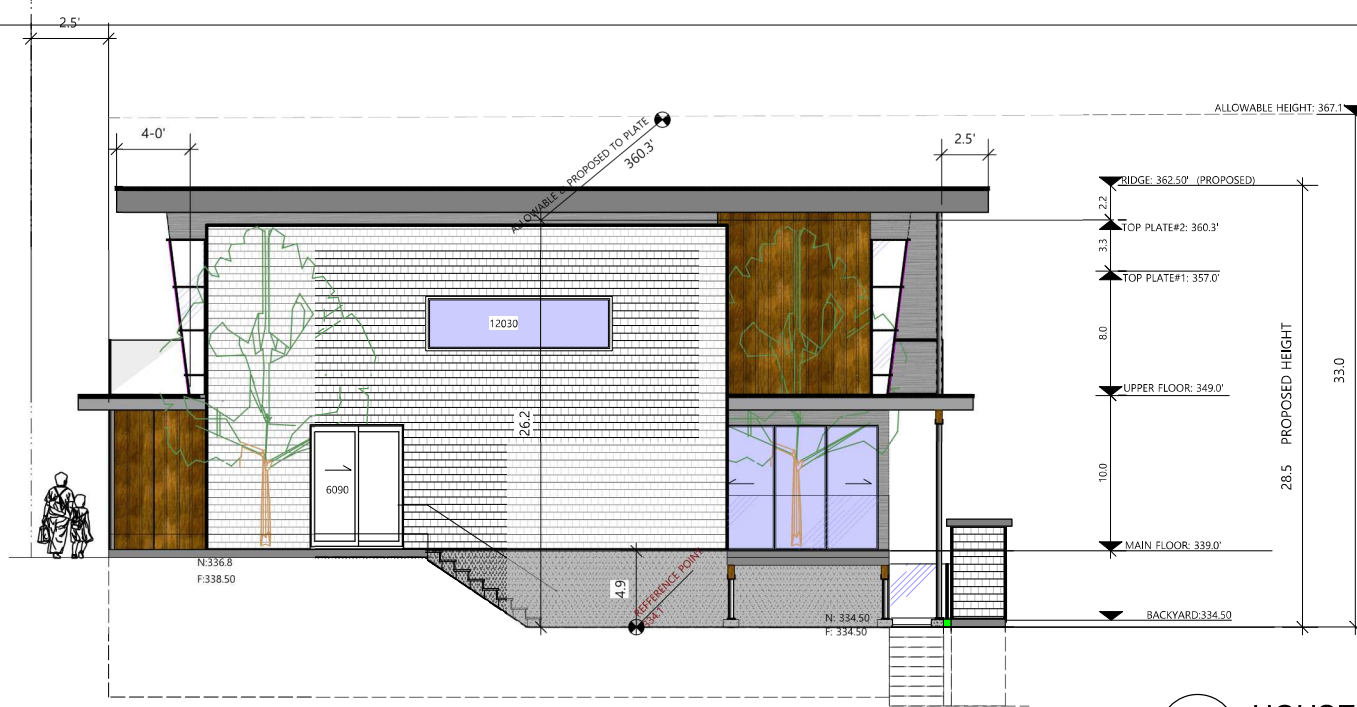
A-06



1 HOUSE A- SOUTH ELEVATION
Scale: 1/8" = 1'-0"

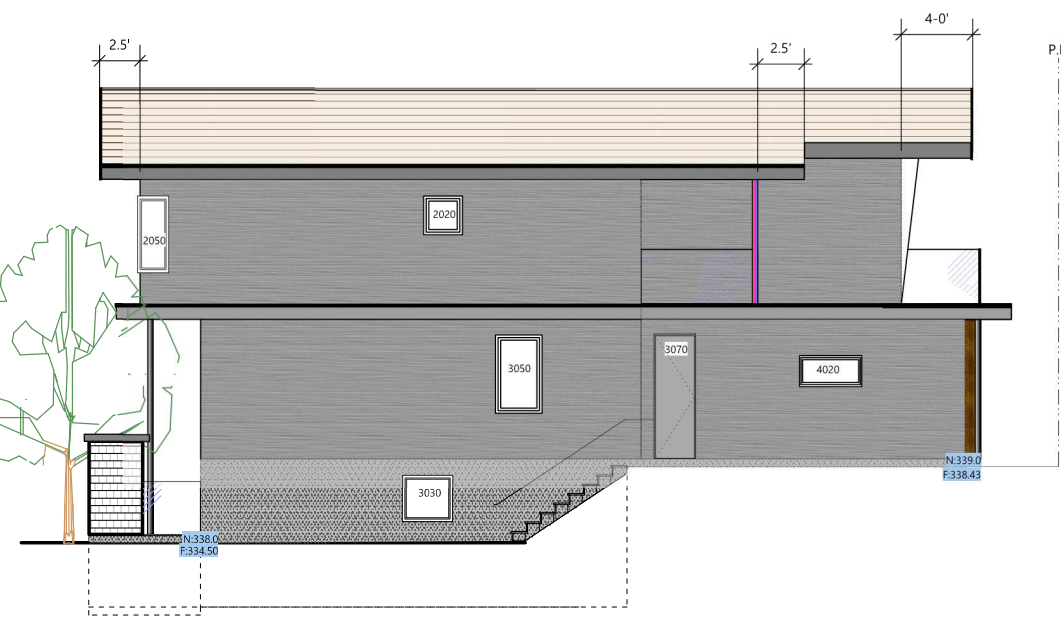


2 HOUSE A- NORTH ELEVATION
Scale: 1/8" = 1'-0"



HOUSE A HEIGHT CALCULATION:
 AVE. Front: $329.8 + 333.6 / 2 = 331.7$
 AVE. Rear: $336.4 + 339.0 / 2 = 337.7$
 REFERENCE POINT : $331.7 + (337.7 - 331.7 \times 0.4)$
REFERENCE POINT: 334.1
 ALLOWABLE TOP PLATE: $334.1 + 26.2 = 360.3$
 ALLOWABLE HEIGHT: $334.1 + 33 = 367.1$

1 HOUSE A- WEST ELEVATION
 Scale: $1/8" = 1'-0"$



UNPROTECTED OPENINGS EAST ELEVATION
 WALL AREA=1033.0 SQ. FT.
 LIMITING DISTANCE=4' (1.21 M)
 PERMITTED U.P.O.(7%)=72.31 SQ.FT
 PROPOSED=67.0 SQ. FT.

2 HOUSE A- EAST ELEVATION
 Scale: $1/8" = 1'-0"$



CONSULTANTS:

COPYRIGHT:
 THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
 THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue for	DATE
6		
5		
4		
3		
2		
1	SUBDIV/REV.	SEP. 25, 2024

PROJECT: PREAPP

464 W 28TH

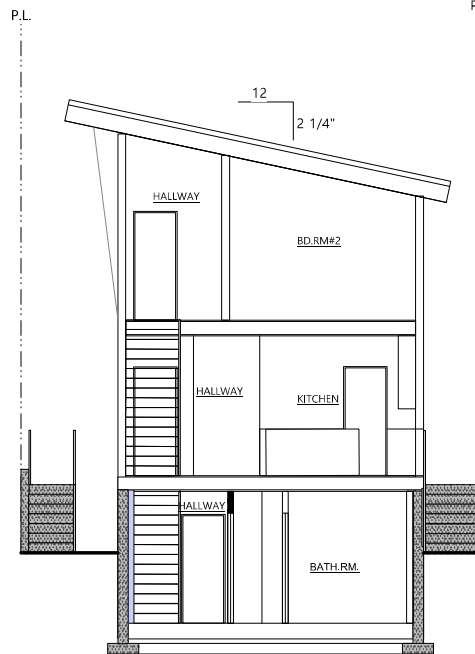
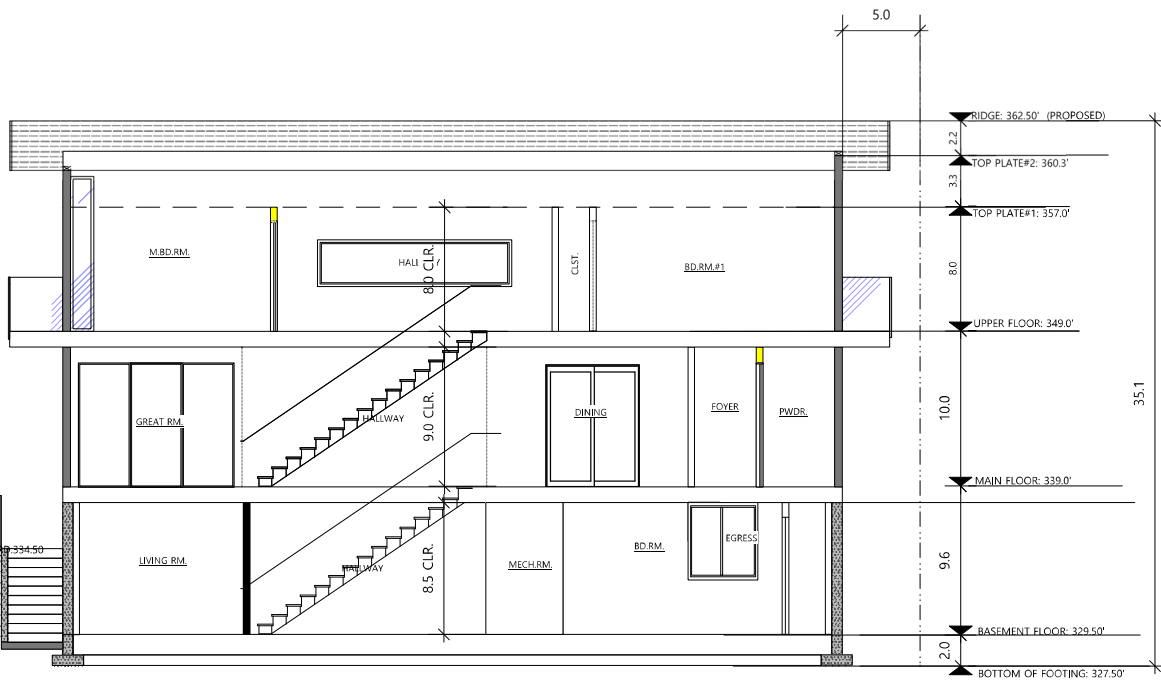
DRAWING TITLE:
 HOUSE A,
 EAST & WEST
 ELEVATIONS

DATE: **DRAWING NO.:**

DRAWN BY:

CHECKED BY:
 -M.R.
 -R.CH

SCALE: 1/8" **A-07**



1 HOUSE A, SECTION BB
Scale: 1/8" = 1'-0"

1 HOUSE A, SECTION AA
Scale: 1/8" = 1'-0"

Vernacular
STUDIO

300-120 Lonsdale Ave
North Vancouver, B.C.
V7M 2E8
Phone: (604)990-6662
Web: vernaculardev.com

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

No.	Issue No.	DATE
6		
5		
4		
3		
2		
1	SUBDIV/REV.	SEP, 23, 2024

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:
HOUSE A, SECTIONS

DATE: DRAWING NO.:

DRAWN BY:

CHECKED BY:
-M.R.
-R.CH

SCALE: 1/8"

A-08

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

REV.	DATE	DESCRIPTION
8		
5		
4		
3		
2		
1		

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:
**HOUSE B,
NORTH & SOUTH
ELEVATIONS**

DATE: DRAWING NO.:

DRAWN BY:

CHECKED BY:

-M.R.

-R.CH

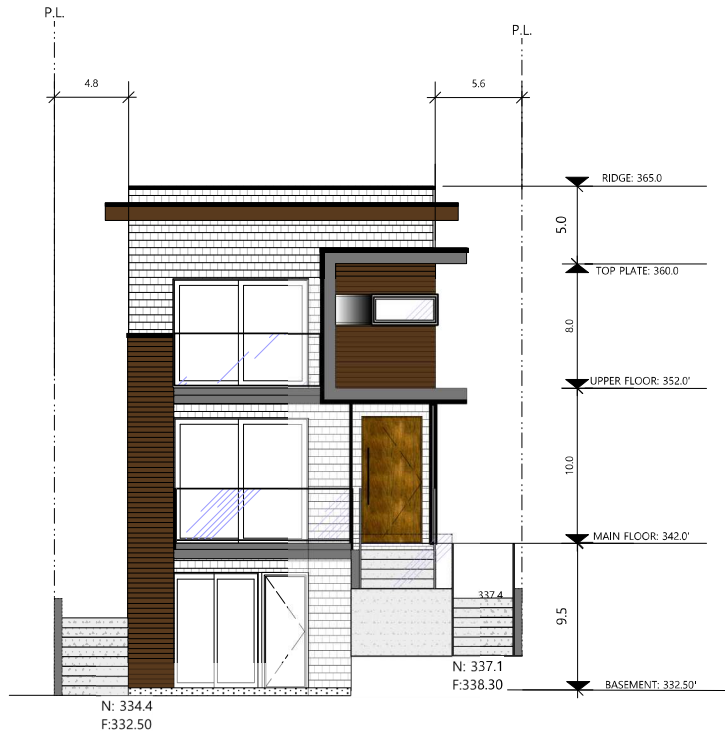
SCALE: 1/8"

A-09

HOUSE B. HEIGHT CALCULATION:
FRONTAVE.: $338.2+333.6/2=335.9$
REAR AVE.: $340.7+339.0/2=339.8$
REFERENCE POINT: $335.9+(339.8-335.9 \times 0.4)$
REFERENCE POINT: 337.4
ALLOWABLE TOP PLATE: $337.4+26.2=363.6'$
ALLOWABLE RIDGE: $337.4+33=370.4'$

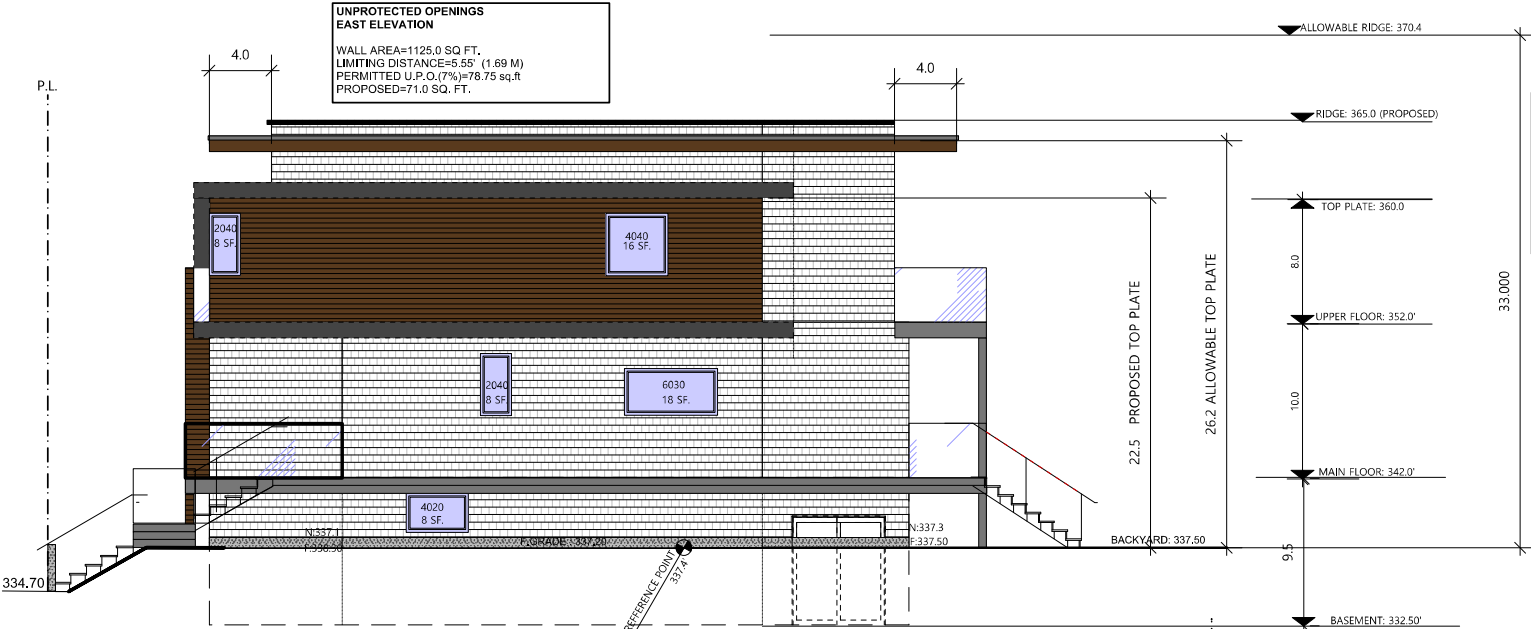


1 HOUSE B- NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 HOUSE B- SOUTH ELEVATION
Scale: 1/8" = 1'-0"

UNPROTECTED OPENINGS EAST ELEVATION
 WALL AREA=1125.0 SQ. FT.
 LIMITING DISTANCE=5.55' (1.69 M)
 PERMITTED U.P.O.(7%)=78.76 sq.ft
 PROPOSED=71.0 SQ. FT.



HOUSE B. HEIGHT CALCULATION:
 FRONTAVE.: $338.2+333.6/2=335.9$
 REAR AVE.: $340.7+339.0/2=339.8$
 REFERENCE POINT: $335.9+(339.8-335.9 \times 0.4)$
 REFERENCE POINT: 337.4
 ALLOWABLE TOP PLATE: $337.4+26.2=363.6'$
 ALLOWABLE RIDGE: $337.4+33=370.4'$

Vernacular
 STUDIO

300-120 Lonsdale Ave
 North Vancouver, B.C
 V7M 2E8
 Phone: (604)990-6662
 Web: vernaculardev.com

CONSULTANTS:

COPYRIGHT:
 THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
 THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

- LEGEND:**
- ⊕ FINISH ELEV.
 - ⊖ POWER VENT
 - ⊕ FLOOR DRAIN
 - ⊗ SMOKE ALARM

REVISION:

No.	DATE	REVISION
6		
5		
4		
3		
2		
1		

Subm/Rev: Issue For: DATE

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE: HOUSE B, EAST & WEST ELEVATIONS

DATE: **DRAWING NO.:**

DRAWN BY:

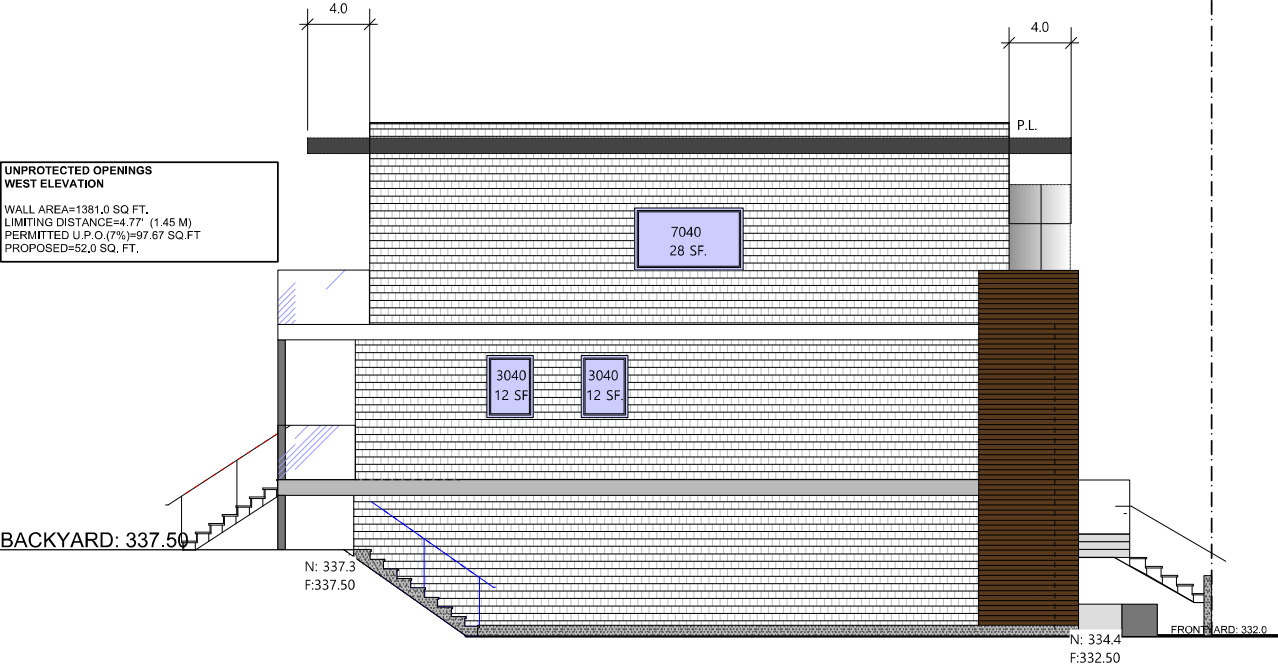
CHECKED BY: -M.R.

-R.CH

SCALE: 1/8"

A-10

1 HOUSE B, EAST ELEVATION
 Scale: 1/8" = 1'-0"



UNPROTECTED OPENINGS WEST ELEVATION
 WALL AREA=1381.0 SQ. FT.
 LIMITING DISTANCE=4.77' (1.45 M)
 PERMITTED U.P.O.(7%)=97.67 SQ.FT
 PROPOSED=52.0 SQ. FT.

2 HOUSE B, WEST ELEVATION
 Scale: 1/8" = 1'-0"

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- FINISH ELEV.
- POWER VENT
- FLOOR DRAIN
- SMOKE ALARM

REVISION:

8		
5		
4		
3		
2		
1	SUBDIV/REV.	SEP. 25, 2024
No.	Issued For	DATE

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:

HOUSE B, SECTIONS

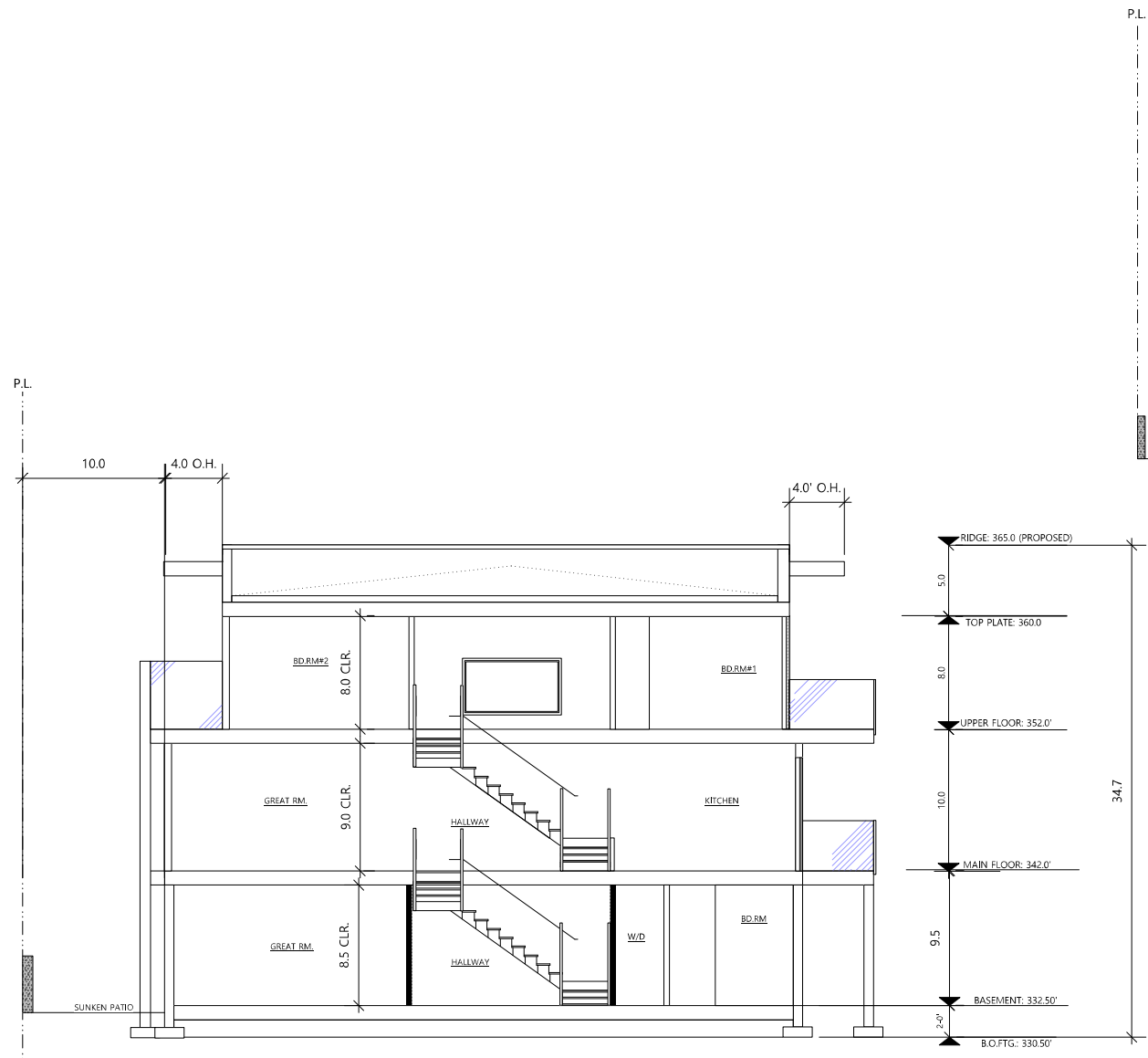
DATE: DRAWING NO.:

DRAWN BY:

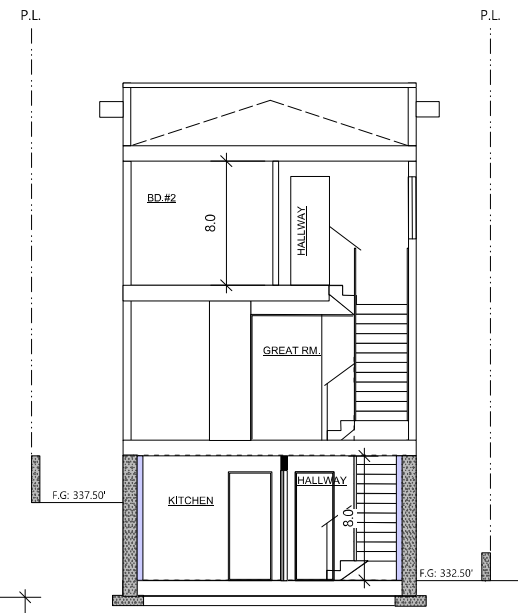
CHECKED BY:
-M.F.
-R.CH

SCALE: 1/8"

A-11



1 HOUSE B, SECTION AA
Scale: 1/8" = 1'-0"



1 HOUSE B, SECTION BB
Scale: 1/8" = 1'-0"

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REUSED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

LEGEND:

- ⊙ FINISH ELEV.
- ⊙ POWER VENT
- ⊙ FLOOR DRAIN
- ⊗ SMOKE ALARM

REVISION:

6		
5		
4		
3		
2		
1	SUBDIV/REVZ.	SEP. 25, 2024
No.	Issue for	DATE

PROJECT: PREAPP

464 W 28TH

DRAWING TITLE:
HOUSE B,
GARAGE PLAN,
ELEVATIONS & SECTION

DATE: _____ **DRAWING NO.:** _____

DRAWN BY: _____

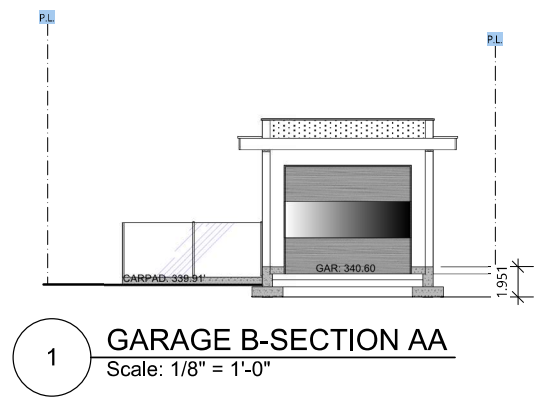
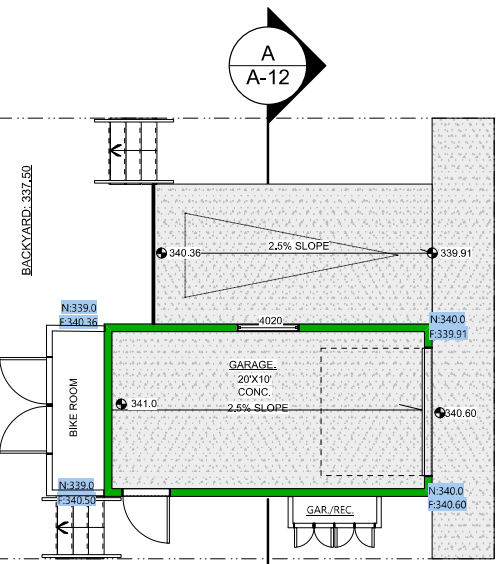
CHECKED BY: _____

-M.R.

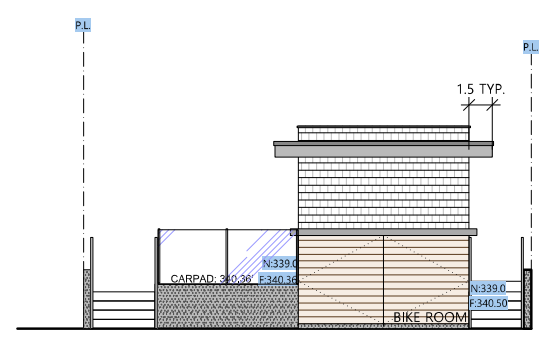
-R.CH

SCALE: 1/8"

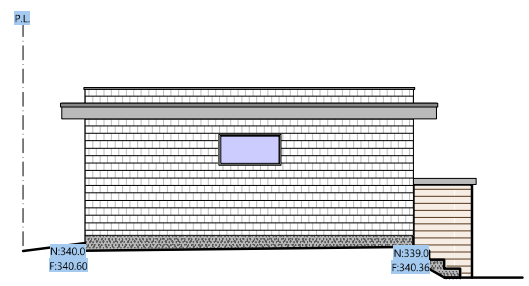
A-12



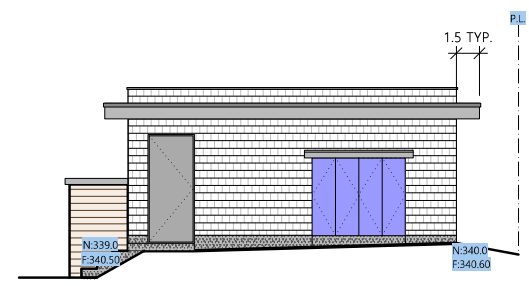
1 GARAGE B-SECTION AA
Scale: 1/8" = 1'-0"



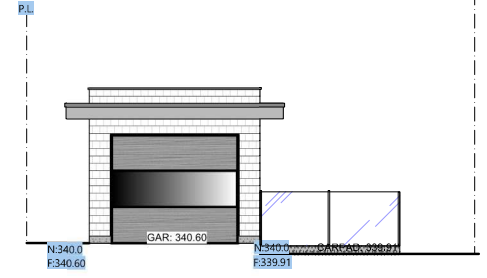
2 GARAGE B-SOUTH ELEVATION
Scale: 1/8" = 1'-0"



3 GARAGE B- WEST ELEVATION
Scale: 1/8" = 1'-0"



4 GARAGE B- EAST ELEVATION
Scale: 1/8" = 1'-0"



5 GARAGE B-NORTH ELEVATION
Scale: 1/8" = 1'-0"

Vernacular

STUDIO



300-120 Lonsdale Ave
North Vancouver, B.C.
V7M 2E8
Phone: (604)990-6662
Web: vernaculardev.com

CONSULTANTS:

COPYRIGHT:
THIS PLAN AND DESIGN ARE AND AT ALL TIMES THE EXCLUSIVE PROPERTY OF VERNACULAR STUDIO INC. AND MAY NOT BE REPRODUCED, REPRODUCED, AND REVISED WITHOUT PRIOR WRITTEN CONSENT.

GENERAL NOTES:
THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO VERNACULAR STUDIO INC.

REVISION:		
5		
4		
3		
2		
1	SUBDIV/REVZ.	SEP. 25, 2024
No.	Issue for	DATE

PROJECT: PREAPP

464 W 28TH. ST.

DRAWING TITLE:

STREET ELEVATION

DATE: DRAWING NO.

DRAWN BY:

CHECKED BY:

-M.R.
-R.CH

SCALE:

A-13

LARSON RD.



1 **STREET ELEVATION**
Scale: 1" = 10'-0"