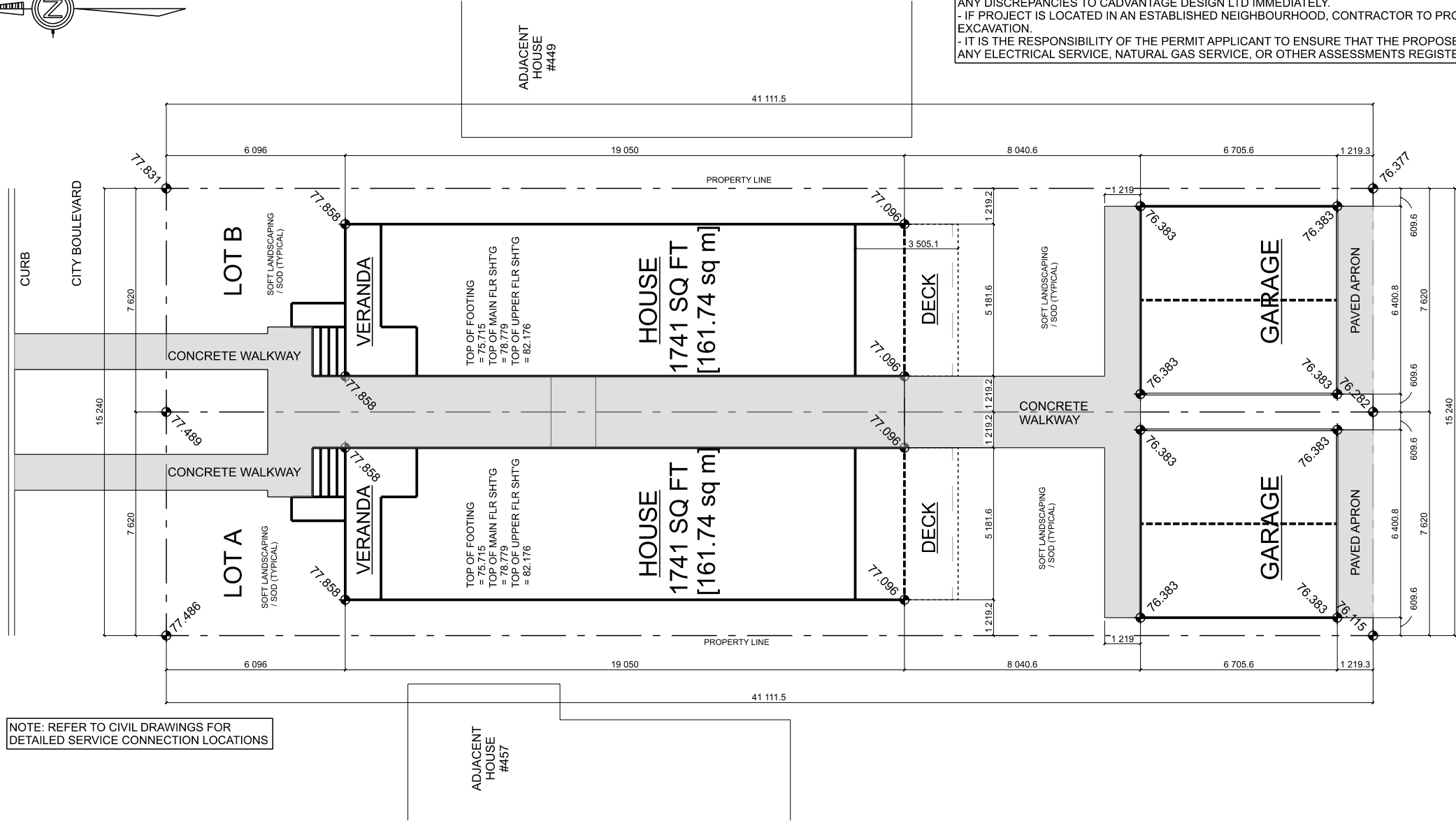


WEST 24TH STREET



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PHONE:

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### PROJECT

CURRENT ZONING: RS-1 (ONE-UNIT RESIDENTIAL)  
PROPOSED ZONING: RS-2 (ONE-UNIT RESIDENTIAL)

CURRENT SITE AREA: 6744 sf / 626.54 sm  
PROPOSED SITE AREA: LOT A: 3372 sf / 313.27 sm  
LOT B: 3372 sf / 313.27 sm

FRONT LOT: MIN. 32.81 ft / 10m (RS-1)  
MIN. 24.6 ft / 7.5m (RS-2)

### RESIDENTIAL USE ZONE:

PRINCIPAL BUILDING: MIN. AREA 800 sf / 74.32 sm

GROSS FLOOR AREA: LOT A 0.5 x 3372 sf = 1686 sf\* (156.63 sm)  
LOT B 0.5 x 3372 sf = 1686 sf\* (156.63 sm)  
\* EXCLUDING BASEMENT

SECONDARY SUITE  
NOT LESS THAN 400 sf, NO MORE THAN 969 sf  
OR 40% OF GFA - 674 sf, WHICHEVER IS LESSER

LOT COVERAGE: MAX. 40% IF PRINCIPLE BUILDING + COACH HOUSE  
MAX. 30% PRINCIPLE BUILDING

PATIO / DECK: PATIO / DECK:

FRONT YARD SETBACK: 15 ft / 4.6 m

REAR YARD SETBACK: 26.2 ft / 8 m OR 0.35 x 134.88 ft = 47.21 ft

SIDE YARD SETBACK: 4 ft / 1.2 m (INTERIOR LOT LINE)

MAX. TOP OF PLATE: 26.2 ft / 8 m

MAX. OVERALL BLDG: 33.1 ft / 10.1 m

### ACCESSORY BUILDINGS

FLOOR AREA: LESSER OF 0.1 x LOT AREA OR 600 sf / 55.7 sm

SET BACK FROM PB: 10 ft / 3.048 m

REAR YARD SETBACK: 4 ft / 1.22 m

SIDE YARD SETBACK: 2 ft / 0.61 m (INTERIOR LOT LINE)

MAX. HEIGHT: 12 ft / 3.658 m

### ENERGY EFFICIENCY REQUIREMENTS

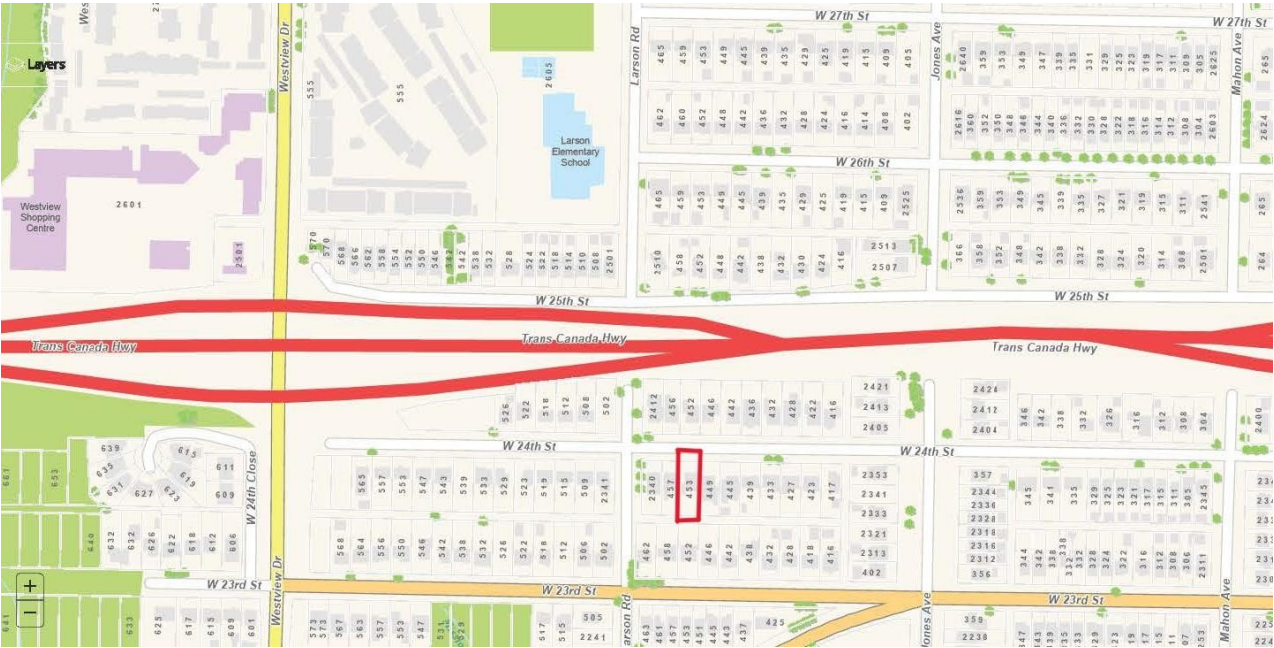
PROJECT TO PURSURE STEP 3 ENERGY CODE; ALL MECHANICAL SYSTEMS IN THE BUILDING SHALL BE CLASSIFIED AS LOW CARBON ENERGY SYSTEMS.

LOT: 3  
BLK: 212  
DISTRICT LOT: 544  
PLAN: 2838

CIVIC ADDRESS:  
#453 WEST 24TH STREET  
NORTH VANCOUVER, B.C.

SITE PLAN  
SCALE: 1:180





CITY MAP - NORTH VANCOUVER



453 WEST 24TH STREET - SUBJECT PROPERTY



453 WEST 24TH STREET - EXISTING LANE



WEST 24TH STREET EXISTING CONDITION - FACING EAST



WEST 24TH STREET EXISTING CONDITION - FACING WEST



AERIAL VIEW

SITE CONTEXT AND AMENITIES:

- THE SITE MEASURES 15.24m x 41.11m [50ft x 134.88ft], IS LOCATED ON THE SOUTH SIDE OF 400 BLOCK OF WEST 24TH STREET, IS BOUNDED BY SINGLE FAMILY HOUSING THE NORTH, SOUTH, EAST AND WEST.
- CLOSE TO TRANS CANADA HWY, WALKING DISTANCE TO SCHOOLS, PARKS, DAYCARES, AND SHOPPING CENTER.

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"LOT COVERAGE" MEANS THE HORIZONTAL AREA WITHIN THE VERTICAL PROJECTION OF THE OUTERMOST WALLS OF PRINCIPLE, ACCESSORY BUILDINGS AND ACCESSORY COACH HOUSE BUILDINGS ON A LOT, EXPRESSED AS A PERCENTAGE OF THE LOT AREA BUT EXCLUDING:

(5) FOR ONE UNIT RESIDENTIAL USE AND TWO UNIT RESIDENTIAL USE LOT COVERAGE SHALL INCLUDE:

(A) DECKS;

(B) PORCHES; AND

(C) BALCONIES GREATER THAN 1.0 METERS (3.28 FEET) ABOVE GRADE; BUT SHALL EXCLUDE ACCESSORY BUILDINGS SUBJECT TO SECTION 514(1)(b).

"GROSS FLOOR AREA (ONE-UNIT AND TWO-UNIT RESIDENTIAL)" MEANS THE TOTAL OF ALL THE FLOORS OF THE PRINCIPLE BUILDING ON A LOT, MEASURED TO THE EXTREME OUTER LIMITS OF THE BUILDING, INCLUDING ALL BASEMENTS, CELLARS, HABITABLE ROOMS, BATHROOMS, UTILITY ROOMS, FURNACE ROOMS, ATTACHED PARKING GARAGES AND CARPORTS, STORAGE AREAS, INTERNALLY ACCESSIBLE ATTIC SPACE, WORKSHOPS, HALLWAYS, LANDINGS, STAIRWELLS, MEZZANINES, BUT EXCLUDING:

(4) ARCHITECTURAL FEATURES CONTAINING NO FLOOR AREA WHICH PERMITTED AS PROJECTIONS INTO REQUIRED YARDS;

(5) BALCONIES AND PORCHES THAT ARE OPEN APPENDAGES TO THE PRINCIPLE BUILDING AND ARE AT LEAST 40% UNENCLOSED

BYLAW 509 (2) (c) NOTWITHSTANDING SUBSECTION 509(2)(a) AND (b): [BYLAW 8642, JULY 23, 2018] (i) BASEMENT (ONE-UNIT AND TWO-UNIT RESIDENTIAL) MAY BE EXCLUDED FROM GROSS FLOOR AREA (ONE-UNIT AND TWO-UNIT RESIDENTIAL);

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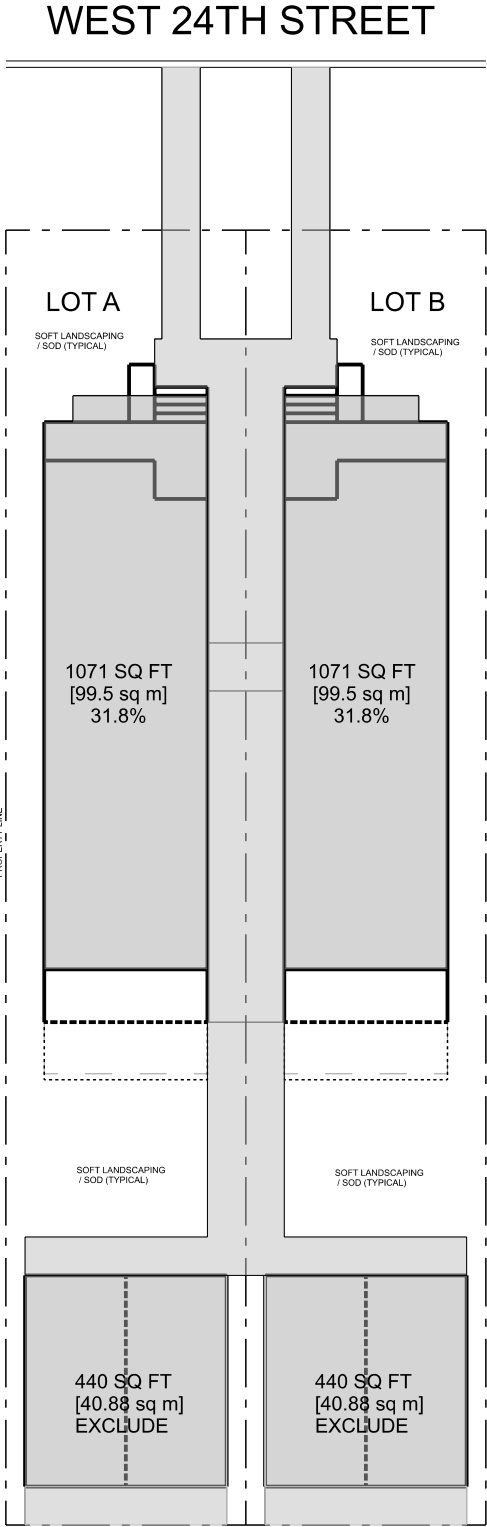
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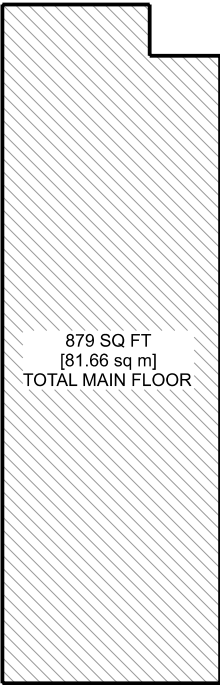
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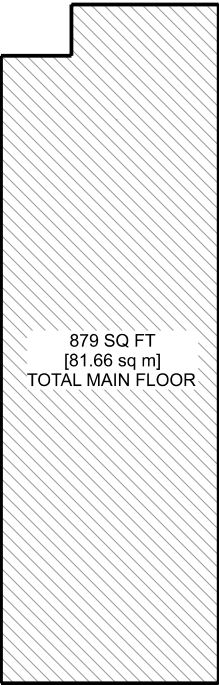
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WEST UNIT (LOT A)

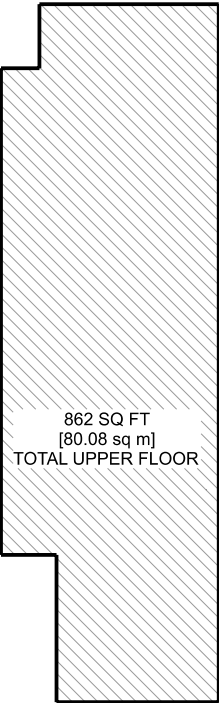


EAST UNIT (LOT B)

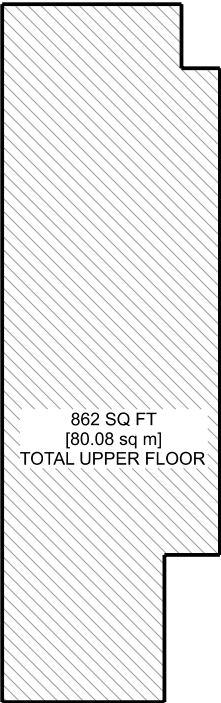


2 MAIN FLR GFA 1" = 15'-0"

WEST UNIT (LOT A)

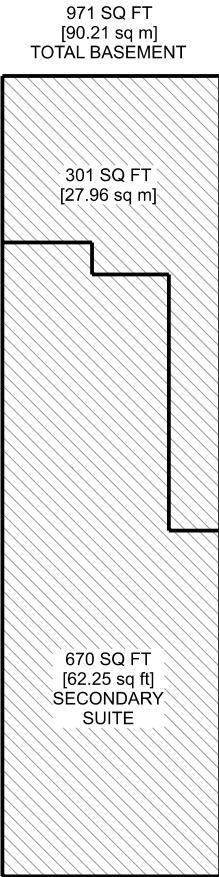


EAST UNIT (LOT B)

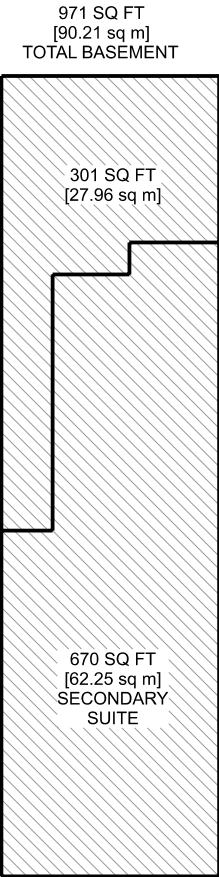


3 UPPER FLR GFA 1" = 15'-0"

WEST UNIT (LOT A)



EAST UNIT (LOT B)



4 BASEMENT GFA 1" = 15'-0"

LOT A - GROSS FLOOR AREA

PROPOSED  
MAIN + UPPER = 1741 SQ FT  
SECONDARY SUITE = 670 SQ FT

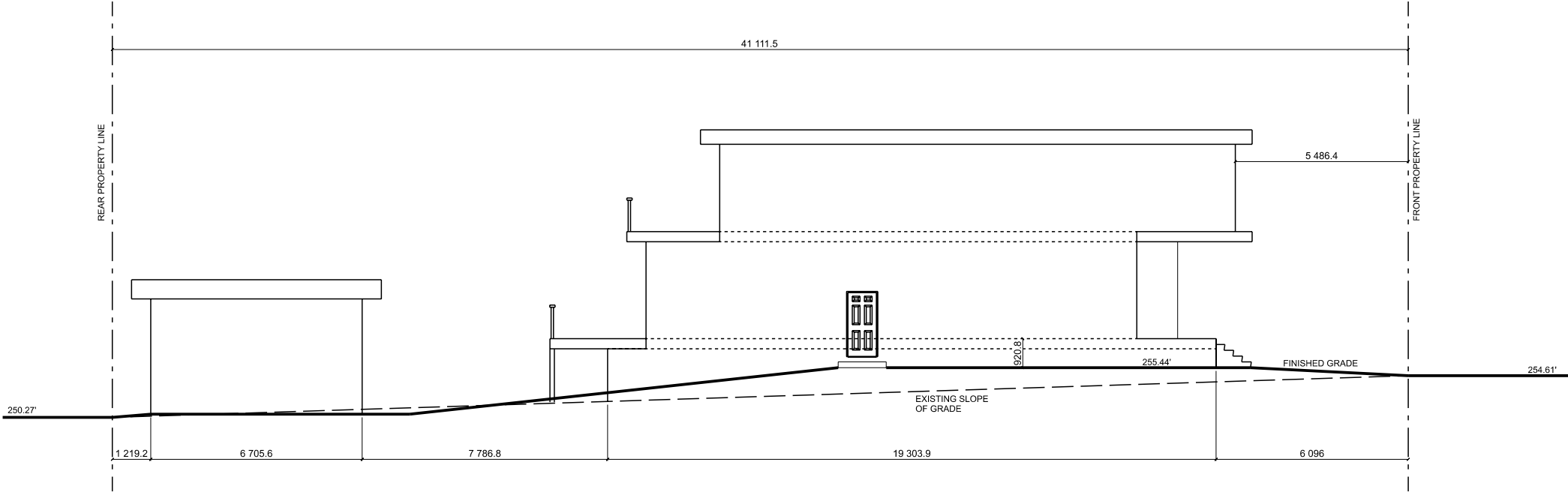
ALLOWED  
MAIN + UPPER = 1686 SQ FT  
SECONDARY SUITE = 674 SQ FT

LOT A - GROSS FLOOR AREA

PROPOSED  
MAIN + UPPER = 1741 SQ FT  
SECONDARY SUITE = 670 SQ FT

ALLOWED  
MAIN + UPPER = 1686 SQ FT  
SECONDARY SUITE = 674 SQ FT





PROFILE  
SCALE: 1" = 15'-0"

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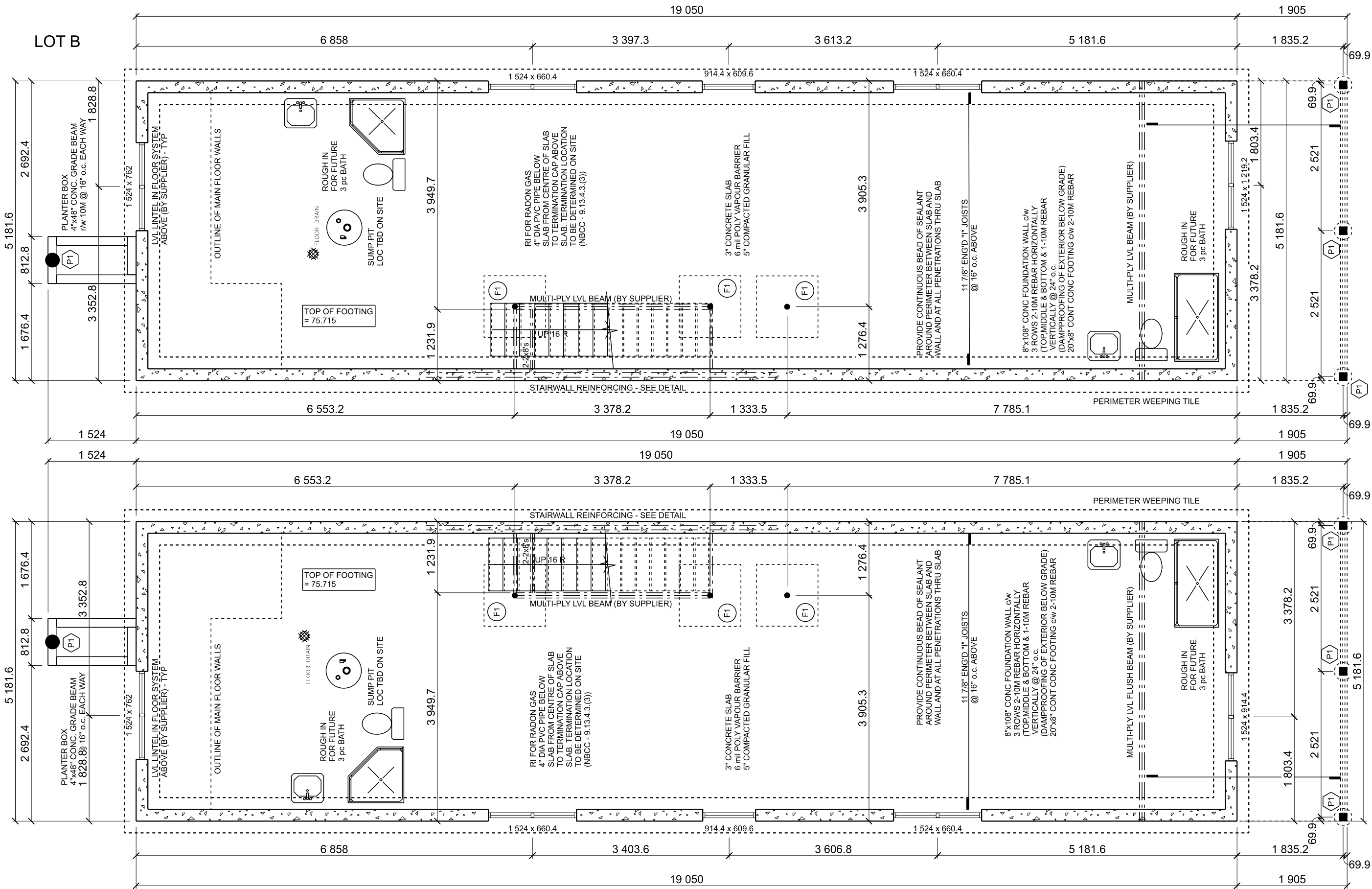
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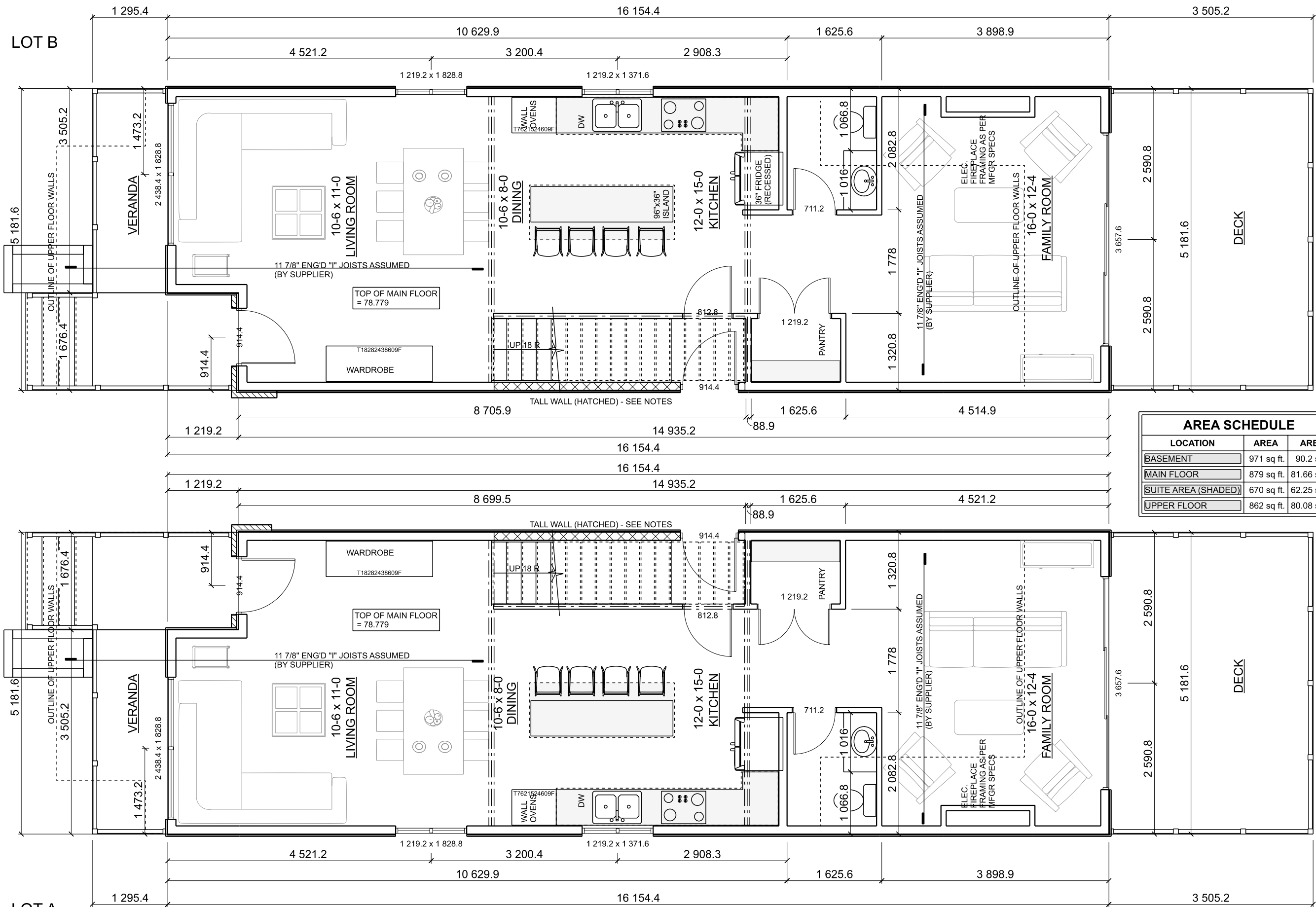
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AREA SCHEDULE		
LOCATION	AREA	AREA
BASEMENT	971 sq ft.	90.2 sq m
MAIN FLOOR	879 sq ft.	81.66 sq m
SUITE AREA (SHADED)	670 sq ft.	62.25 sq m
UPPER FLOOR	862 sq ft.	80.08 sq m

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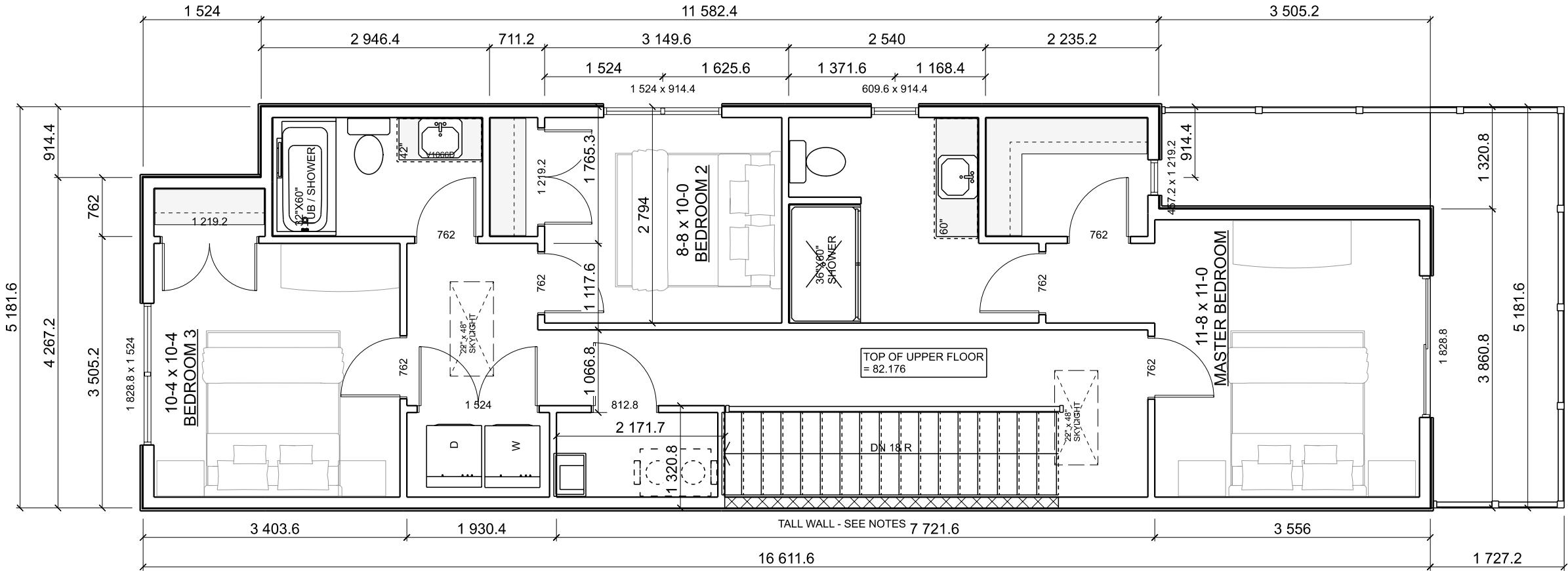
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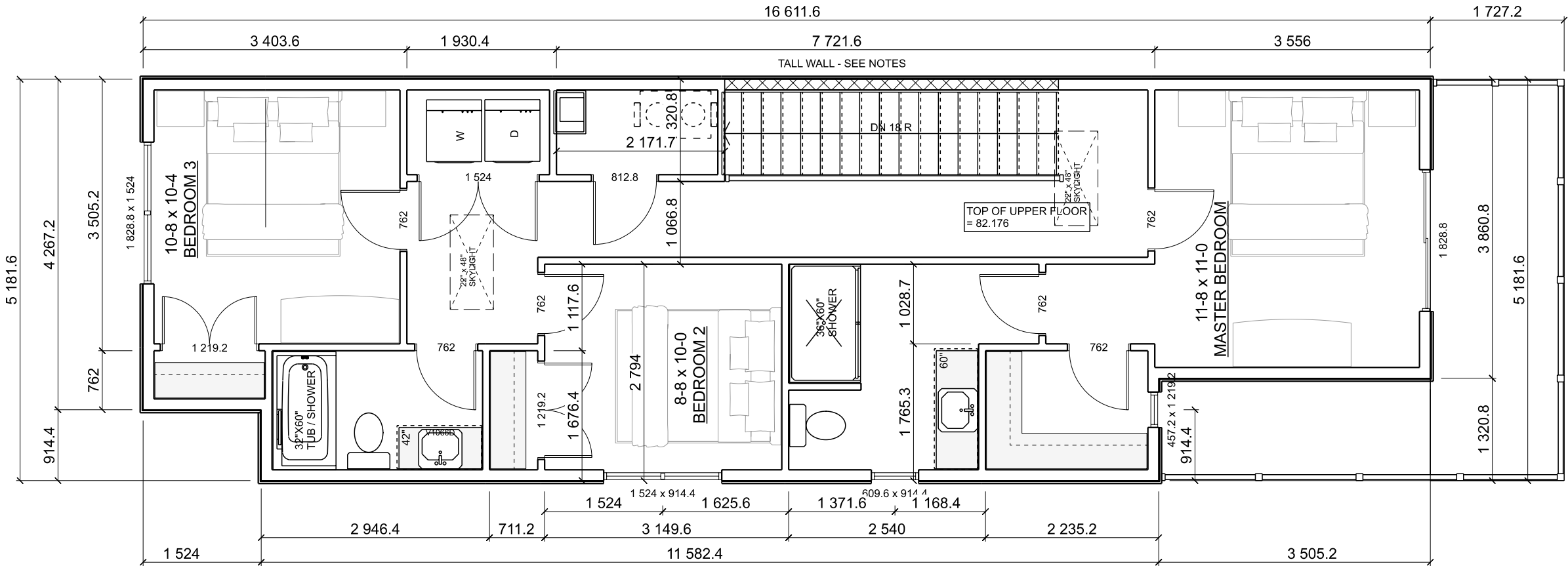
MAIN FLOOR PLAN  
SCALE: 1:64



LOT B



LOT A



UPPER FLOOR PLAN  
SCALE: 1:64

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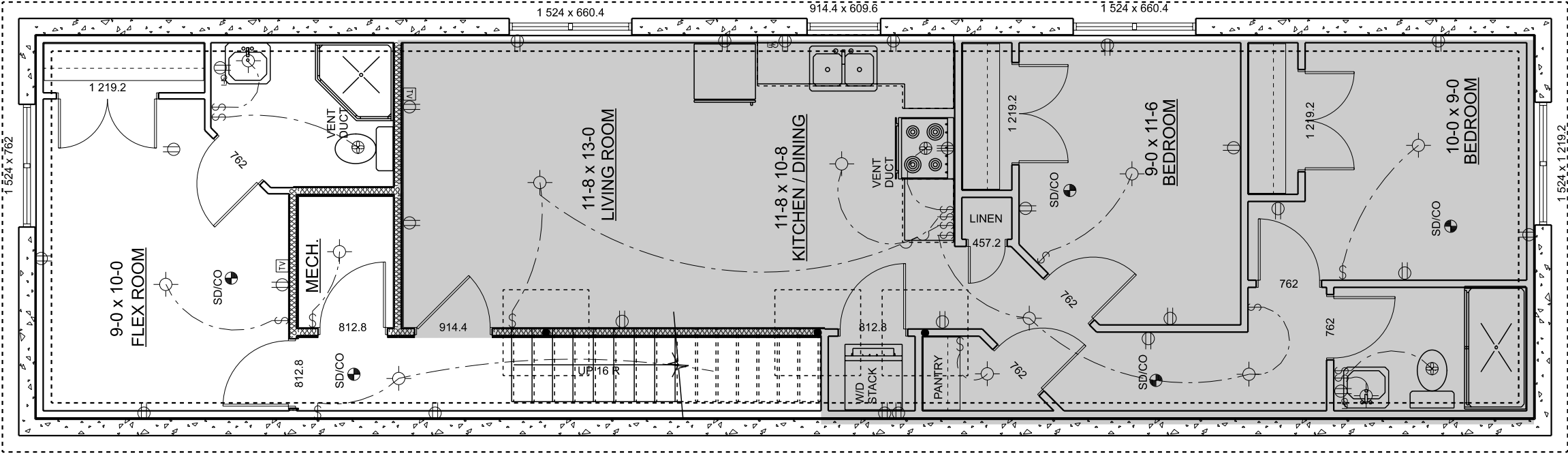
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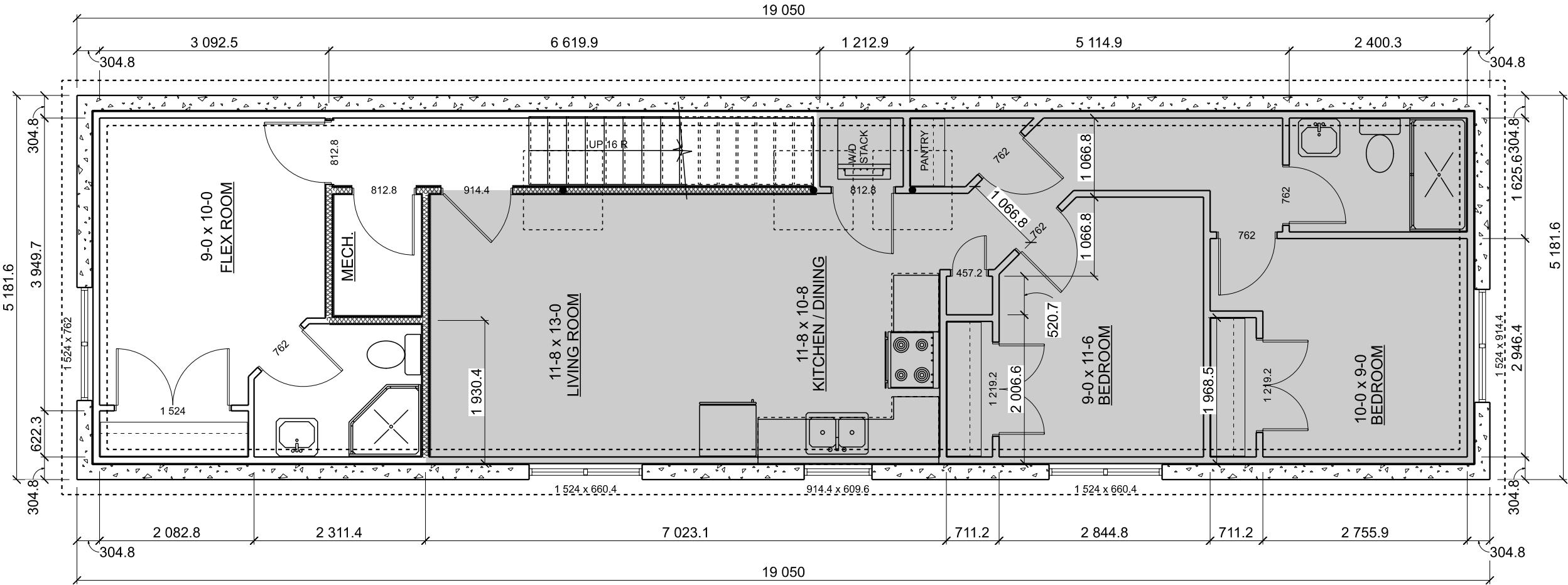
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LOT B



PANTRY



LOTA

# BASEMENT PLAN

SCALE: 1:64  
SUITE AREA (SHADED) = 670 SQ FT [62.25 sq m]

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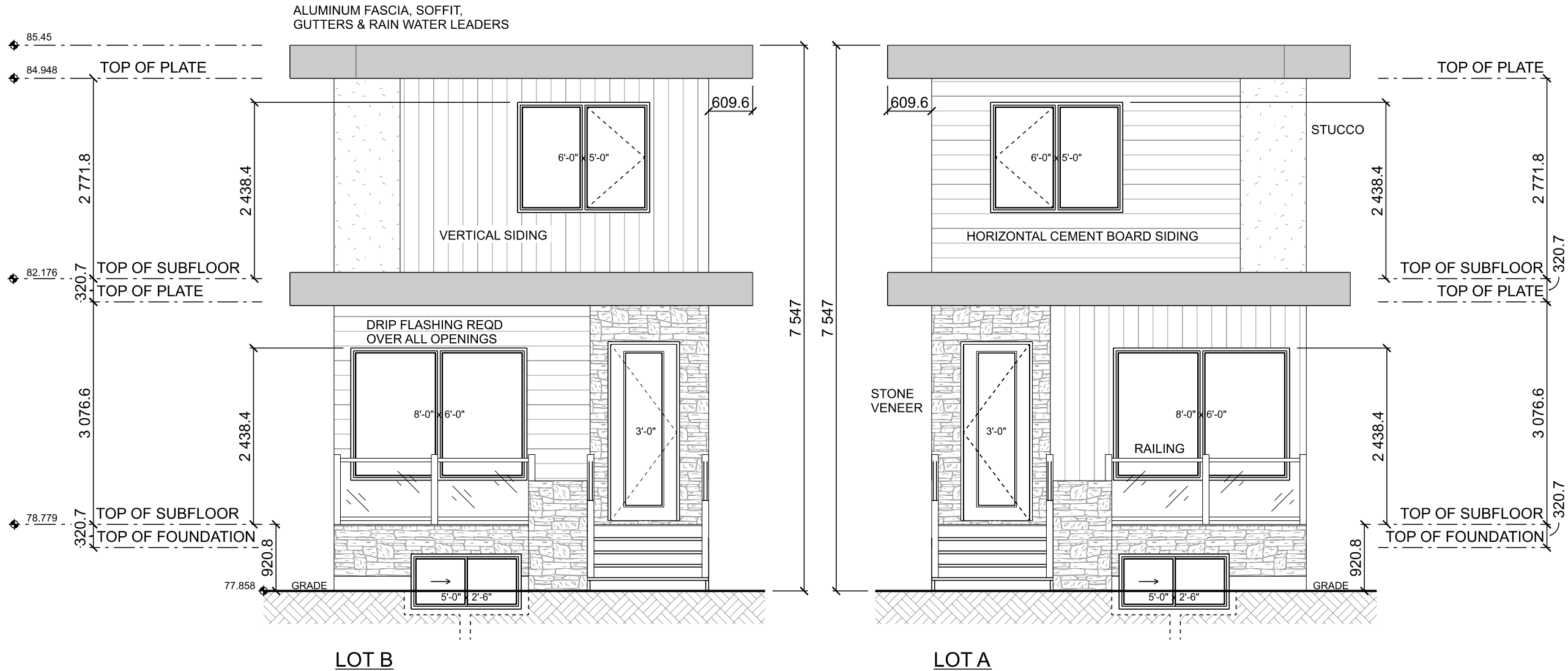
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# NORTH ELEVATION

SCALE: 1:64

## Structural Notes:

- All construction to meet or exceed local & National Building Codes
- Drawings may be scaled for approximate dimensions only. Dimensions and notes as shown will govern.
- General Contractor to verify all dimensions and elevations prior to commencement of work. All discrepancies are to be reported to designer immediately.
- Engineered floor joists, trusses, and LVL beams and lintels are to be engineered by a Professional Engineer licensed to practice in Saskatchewan.
- All lintels to be 2 ply 2x10 S-P-F unless noted otherwise. Lintels longer than 6'-0" are to be engineered by a Professional Engineer licensed to practice in Saskatchewan.
- Total number of ply in a wood column are to be no less than the number of ply of the beam it is supporting.
- Built-up columns shall be nailed with min 3" nails @ 12" o.c.
- 2-2x blocking shall be used in floor framing at all point load locations.
- All lumber to be S-P-F #2 or better and fasteners must meet and be installed as per the NBCC.

## Exterior Notes:

- Provide pre-finished flashing over all exterior windows and doors.
- Secure exterior door until completion or deck or temporary stairs are in place.
- Exterior doors to be c/w dead bolts to provide resistance to forced entry into the home.
- All windows less than 2m (6'-6") to grade are to comply with CAN/CSA-A440-M for resistance to forced entry.
- Window sizes shown are approximate. Contractor shall verify rough opening sizes with the window supplier.
- All bedrooms must have an openable window with an unobstructed opening of at least 3.76 Sq Ft (0.35m2) with no dimension less than 15.2" (380mm). Awning windows do not meet the requirements for egress.
- All stairs, handrails & guards are to comply with the NBCC, 9.8.7 & 9.8.8.
- Guardrails must be a minimum height of 3'-0"(900mm) for decks more than 2'-0"(600mm) from the ground & 3'-6"(1070mm) for decks more than 6'-0"(1.8m) above grade, with no more than 4"(100mm) space between vertical members.

## Interior Notes:

- Room sizes shown on plan are approximate. Actual sizes may vary with final construction.
- Mirrored glass doors are not permitted on any walk-in closet doors.
- All stairs, handrails & guards are to comply with the NBCC, 9.8.7 & 9.8.8.
- Interior guards must be provided where a difference in floor elevations exceeds 2'-0"(600mm). A minimum height of 3'-0"(900mm) for guards, including landings over stairs & above stair nosings, with no more than 4"(100mm) space between vertical members.
- Provide safety glass around all tub & shower enclosures, entrance doors, sidelights and guards.
- Provide water resistant flooring in all bathrooms.
- Provide waterproof wall finish in accordance to NBCC 9.29.2.
- All attic access shown to be no less than 22"(550mm) x 30"(762mm), c/w weatherstripping where appropriate.

- All smoke and CO alarms are to be interconnected and permanently wired to an electrical circuit in accordance with NBCC - 9.10.19.4(1)
- HVAC contractor shall locate and install a principle exhaust fan in accordance with section 9.32.3.4 of the NBCC.
- Make-up air is required for any appliances that exhaust more than 75L/s (160CFM) in order to prevent depressurization.
- All Carbon Monoxide detectors to conform to CAN/CSA-6.19 Residential Carbon Monoxide Alarming Devices.

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PHONE:

DATE: March 11, 2025

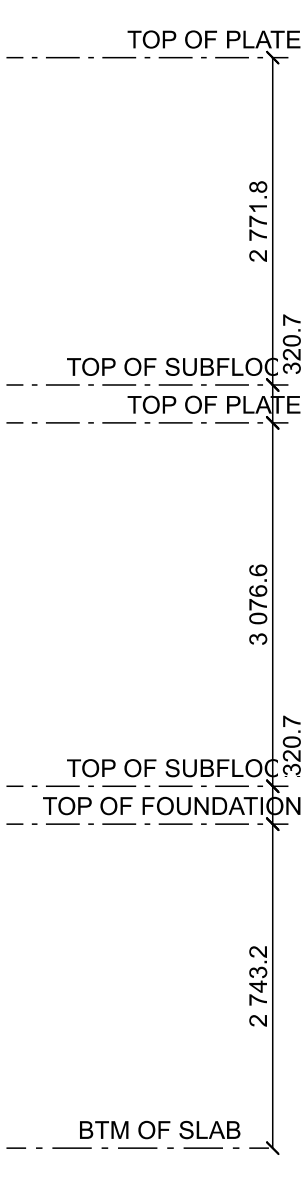
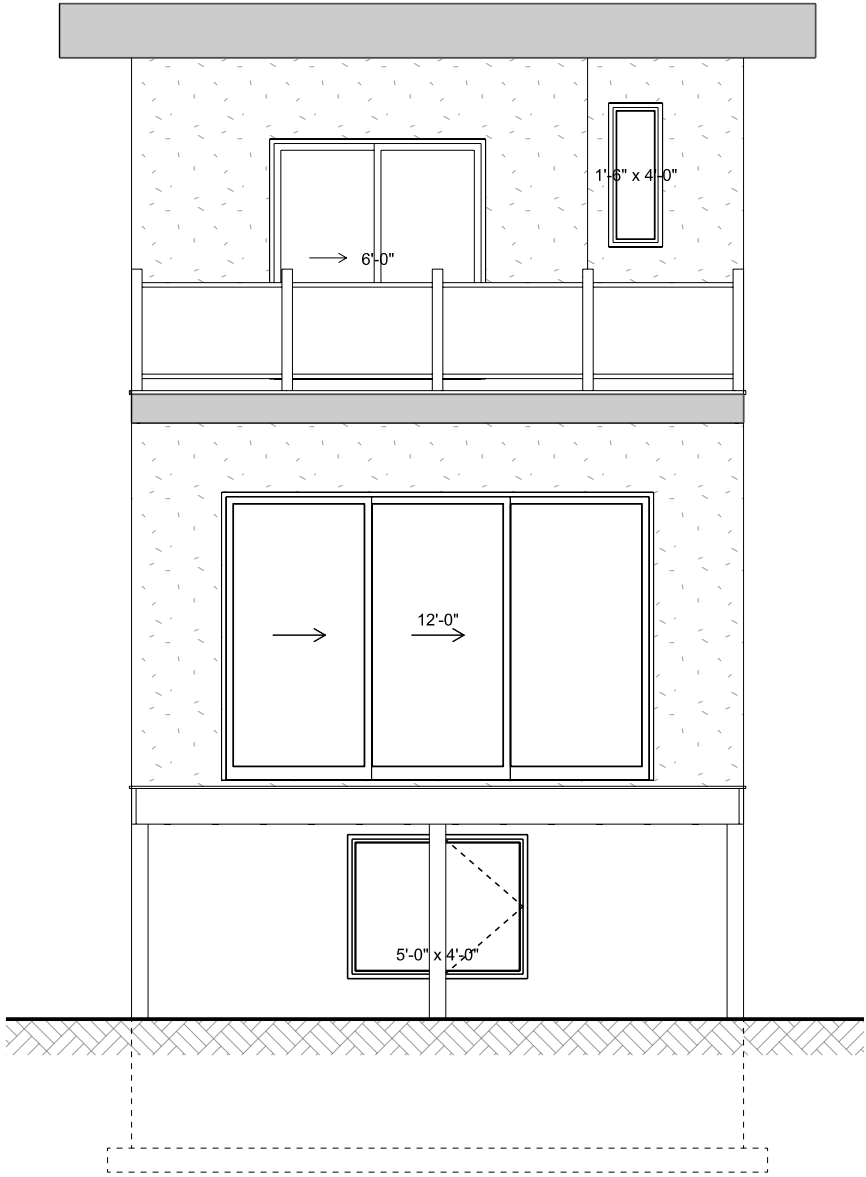
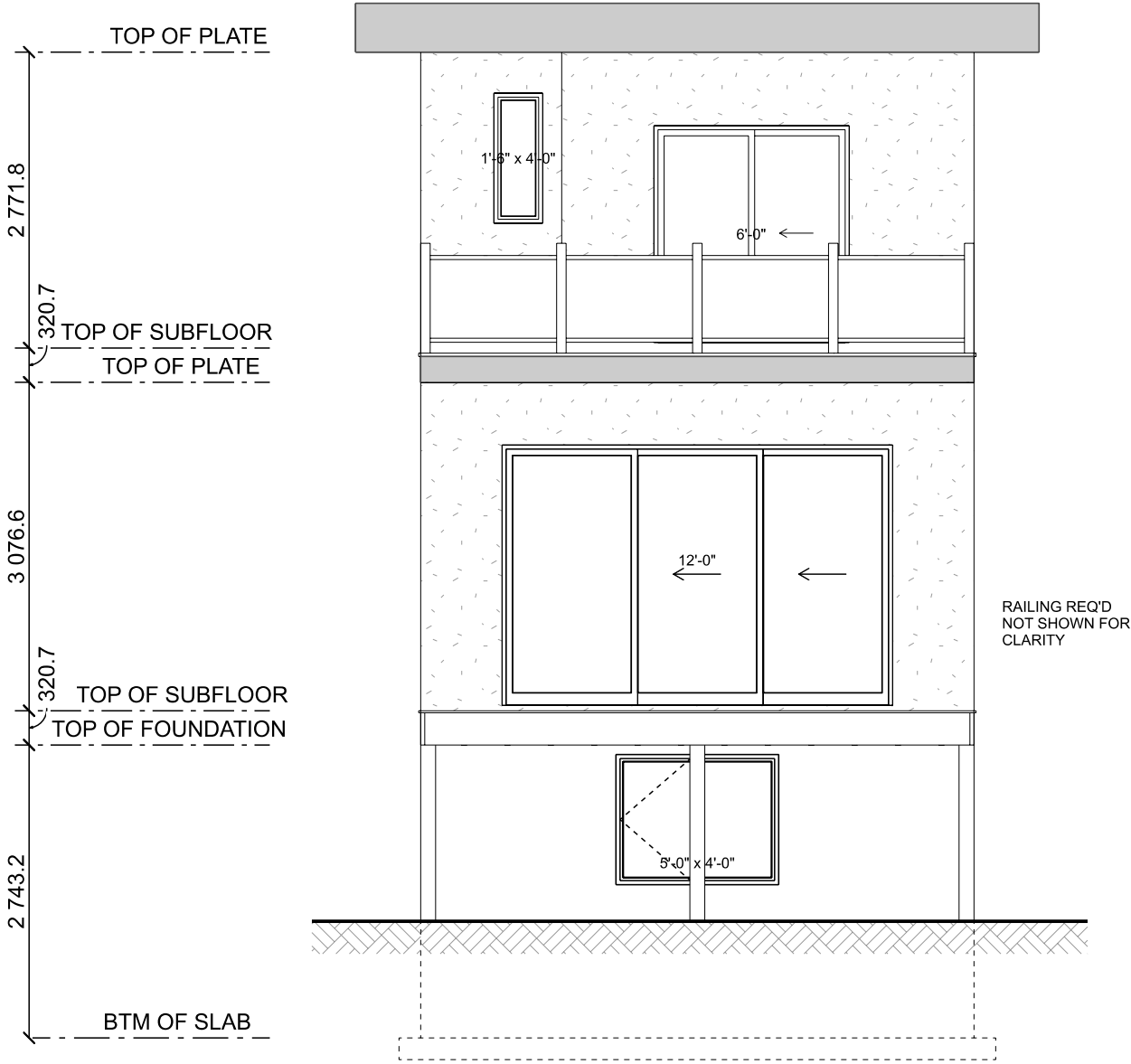
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# SOUTH ELEVATION

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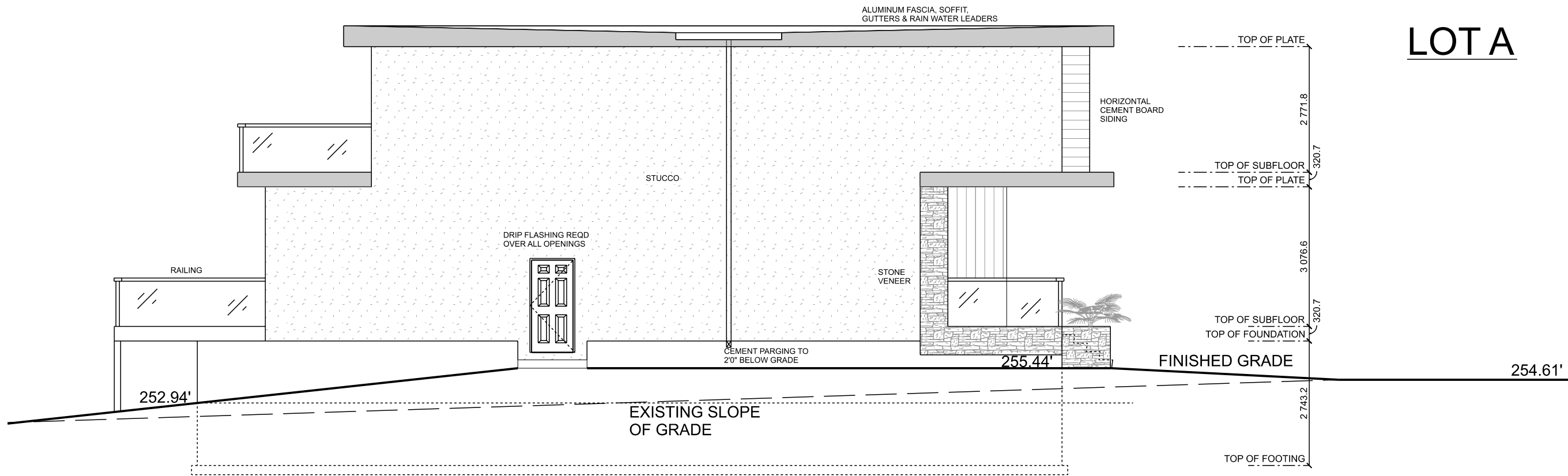
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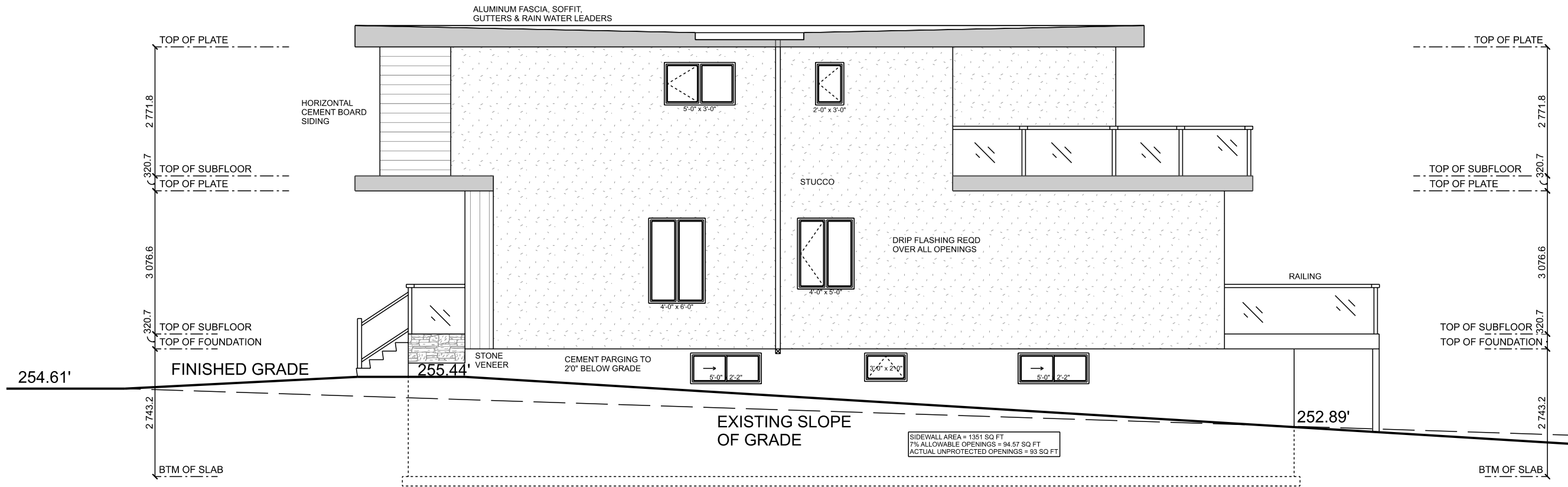
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EAST ELEVATION  
SCALE: 1:96



WEST ELEVATION  
SCALE: 1:96

LOT A

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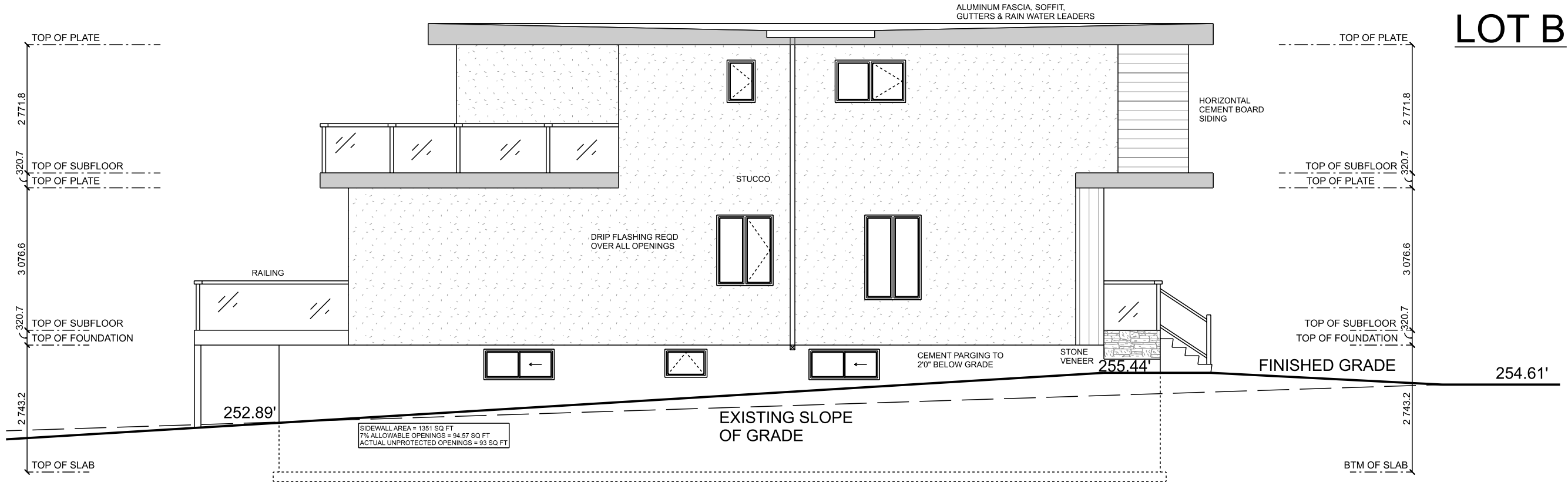
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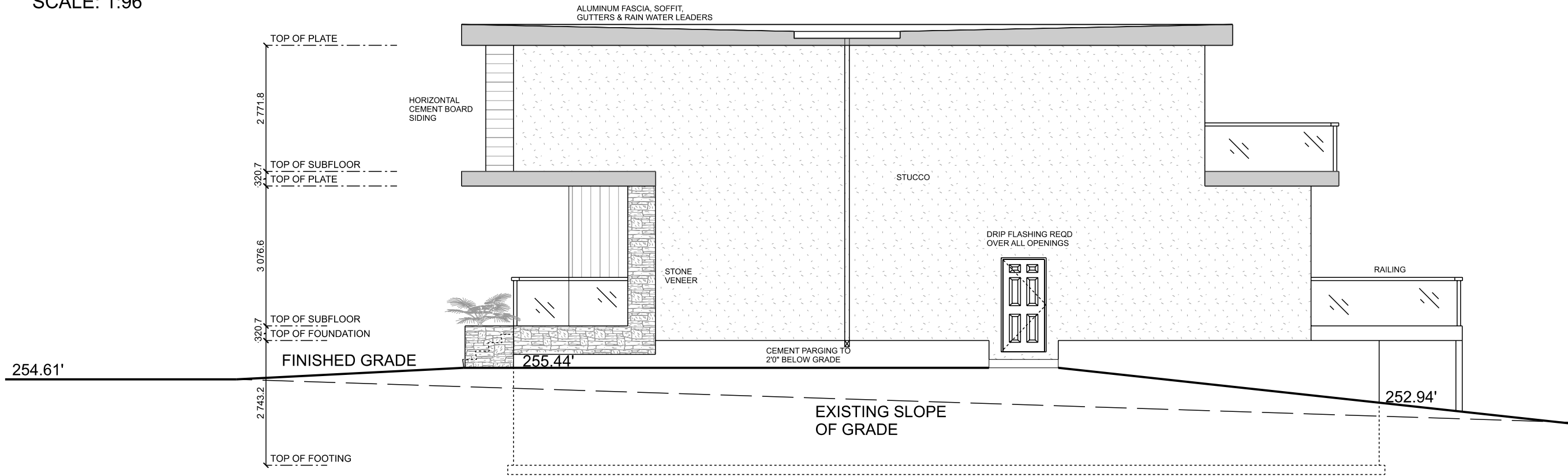
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## EAST ELEVATION

SCALE: 1:96



## WEST ELEVATION

SCALE: 1:96

LOT B

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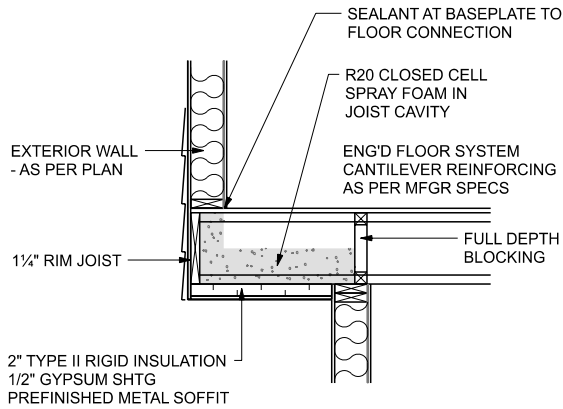
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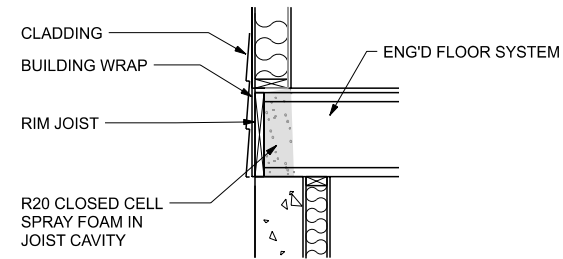
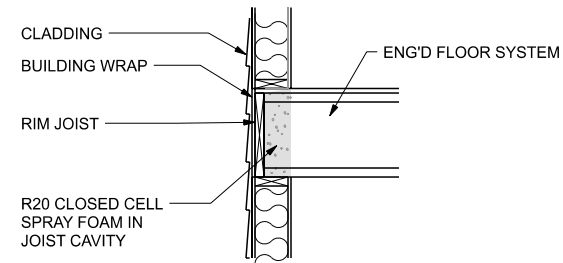
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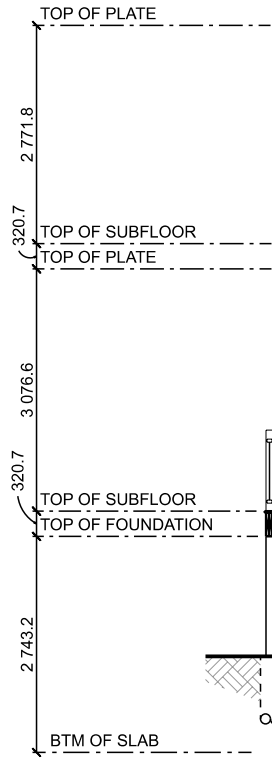
CANTILEVER DETAILS

SCALE: 1:32



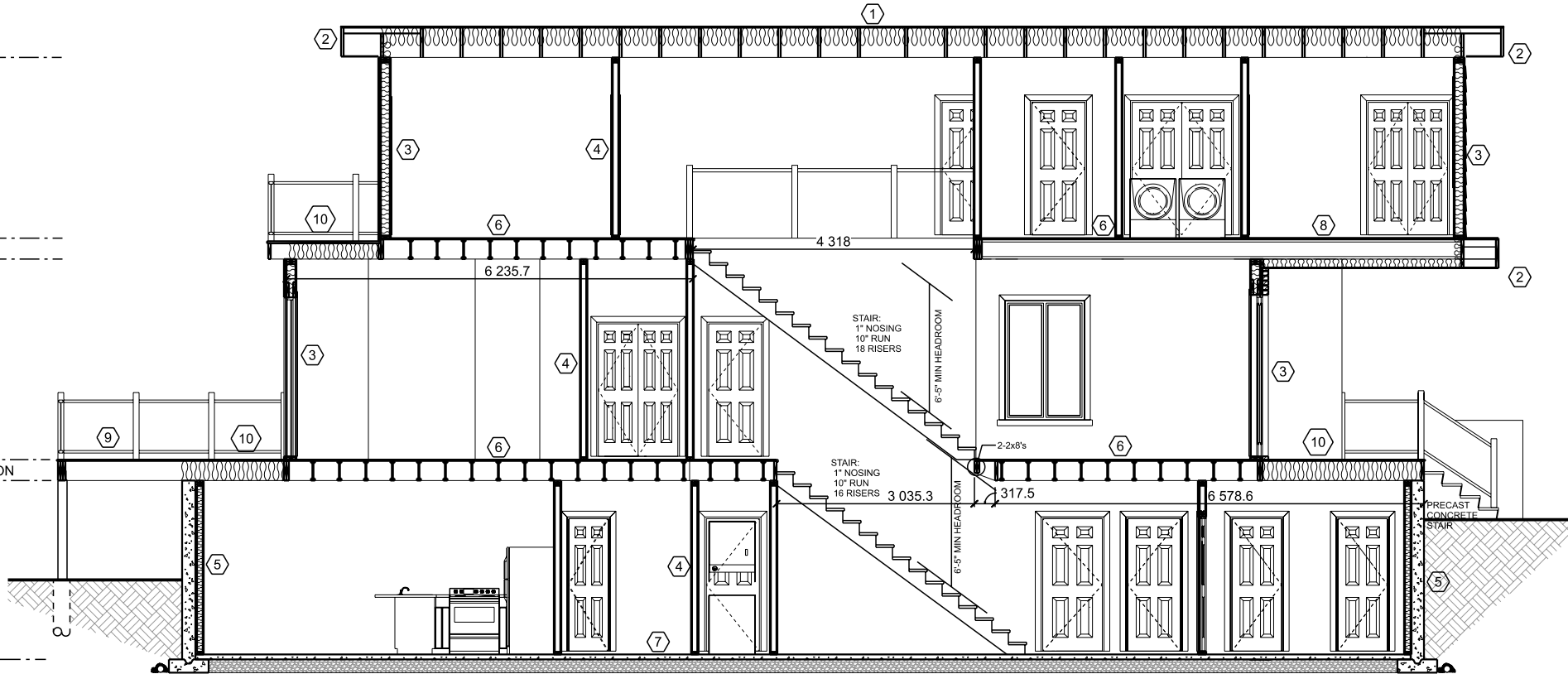
JOIST INSULATION DETAIL

SCALE: 1:32



CROSS SECTION A

SCALE: 1:96



- 1 MAIN ROOF
- SBS ROOFING  
3/4" (19) PLYWOOD ROOF STHG c/w H-CLIPS  
PRE-ENG'D TRUSSES @ 24" (610) o.c.  
TRUSS STRAPPING - # OF ROWS PER  
MANUFACTURERS RECOMMENDATIONS  
INSULATION STOPS AT EAVES  
R40 (RSI 7.05) CLOSED CELL SPRAY FOAM  
INSULATION TO UNDERSIDE OF ROOF  
SHEATHING  
1/2" (13) CD DRYWALL

- 2 EAVE
- SBS ROOFING  
EAVE PROTECTION  
CONT ROOF EDGE DRIP CAP  
PLYWOOD ROOF SHEATHING  
PREFINISHED METAL SOFFIT,  
FASCIA AND EAVESTROUGH

- 3 EXTERIOR WALL
- STUCCO  
METAL LATH FASTENED TO STUDS  
BUILDING PAPER  
3/8" (9.5) OSB WALL STHG  
2x6 (38x140) SPF STUDS  
@ 16" (406) o.c.  
R20 (RSI 3.5) BATT INSULATION  
6 mil (.15) CGSB POLY V.B.  
1/2" (13) DRYWALL

- 4 INTERIOR WALL
- 1/2" (13) DRYWALL  
2x4 (38x89) SPF STUDS  
AT 16" (406) o.c.  
1/2" (13) DRYWALL

- 5 FOUNDATION WALL
- CEMENT PARGING ABOVE GRADE  
8"x108" (200x2740) CONC FOUNDATION WALL  
c/w 3 ROWS 2-10M REBAR HORIZONTALLY  
(TOP,MIDDLE & BOTTOM & 1-15M REBAR  
VERTICALLY @ 24" o.c.  
(DAMPPROOFING OF EXTERIOR BELOW GRADE)  
20"x8" (500x200) CONT CONC FOOTING  
c/w 2-10M REBAR  
FROST WALL:  
DAMPPROOFING TO INTERIOR FACE  
OF FOUNDATION WALL  
1/2" (13) MIN AIR SPACE  
2x4 (38x89) SPF STUD WALL AT  
16" (406) o.c.  
R12 (RSI 2.1) BATT INSULATION  
6 mil (.15) CGSB POLY V.B.  
1/2" (13) DRYWALL

- 6 MAIN FLOOR
- FLOOR COVERING  
3/8" (9.5) UNDERLAY IN LINO AREAS  
3/4" (19) T & G OSB FLOOR SHEATHING  
GLUED AND SCREWED TO  
ENGINEERED "I" FLOOR JOISTS  
@ 16" (406) o.c. MAX.

- 7 CONC SLAB - HOUSE
- 3" (76) CONCRETE SLAB  
6 mil (.15) CGSB POLY V.B.  
6" (150) MIN CLEAN GRANULAR FILL

- 8 UPPER FLOOR over UNCONDITIONED SPACE
- FLOOR COVERING  
3/8" (9.5) UNDERLAY IN LINO AREAS  
3/4" (19) T & G FLOOR SHEATHING  
GLUED AND SCREWED TO  
ENGINEERED "I" FLOOR JOISTS @ 16"  
(406) o.c. MAX.  
6 mil (0.15) CGSB POLY VAPOUR BARRIER  
ON TOP OF FLOOR JOISTS, BELOW FLOOR  
SHEATHING  
R28 (RSI 4.9) CLOSED CELL SPRAY FOAM  
INSULATION IN JOIST CAVITY  
PREFINISHED METAL SOFFIT

- 9 DECK/VERANDAH FLOOR
- WATERPROOF DECK MEMBRANE  
3/4" (19) PLYWOOD SHEATHING  
2x10 (38x235) #2 FLOOR JOISTS @ 16" (406) o.c.  
2x10 (38x235) BLOCKING OR 2x2 (19x19) CROSS  
BRIDGING @ 7'-0" (2134) MAX. BTWN JOISTS  
3-2x10 (38x235) B.U. BEAM on  
6x6 (140x140) CCA POSTS on  
CONCRETE PILES - SIZE & DEPTH PER SCHEDULE

- 10 DECK/VERANDAH FLOOR ABOVE LIVING SPACE
- WATERPROOF DECK MEMBRANE  
3/4" (19) PLYWOOD SHEATHING  
2x10 (38x235) #2 FLOOR JOISTS @ 16" (406) o.c.  
2x10 (38x235) BLOCKING OR 2x2 (19x19) CROSS  
BRIDGING @ 7'-0" (2134) MAX. BTWN JOISTS  
R40 (RSI 7.05) CLOSED CELL SPRAY FOAM  
INSULATION TO UNDERSIDE OF DECK  
SHEATHING  
1/2" (13) CD DRYWALL

ALL POLY TO CONFORM TO  
CAN/CSB 51.34-M STANDARD

- PARTY WALL - HOUSE & SUITE
- WALL ASSEMBLY  
NBCC - 9.11.2.1.2  
1/2" (13) GYPSUM BOARD  
RESILIENT METAL CHANNELS  
2x6 (38x140) SPF STUDS  
EACH SPACED 24" (610) o.c. on  
2x6 (38x140) SPF TOP AND BOTTOM PLATES  
6" (150) BATT INSULATION  
(ROXUL SAFE'N'SOUND OR EQUAL)  
1/2" (13) GYPSUM BOARD

MAIN FLOOR over SUITE & MECHANICAL ROOM

- FLOOR ASSEMBLY  
NBCC - 9.11.2.1.2

- EXISTING FLOOR JOISTS & SHTG  
6" (150) THICK BATT INSULATION  
("ROXUL SAFE 'N SOUND (tm)" STONE  
WOOL INSULATION or EQUAL) BETWEEN JOISTS  
RESILIENT METAL CHANNELS  
@ 24" (610) o.c.  
1/2" (13) GYPSUM BOARD - TAPED & MUDDED  
FOR SMOKE BARRIER  
(NBCC 9.10.10.4(2)(b)(i)).

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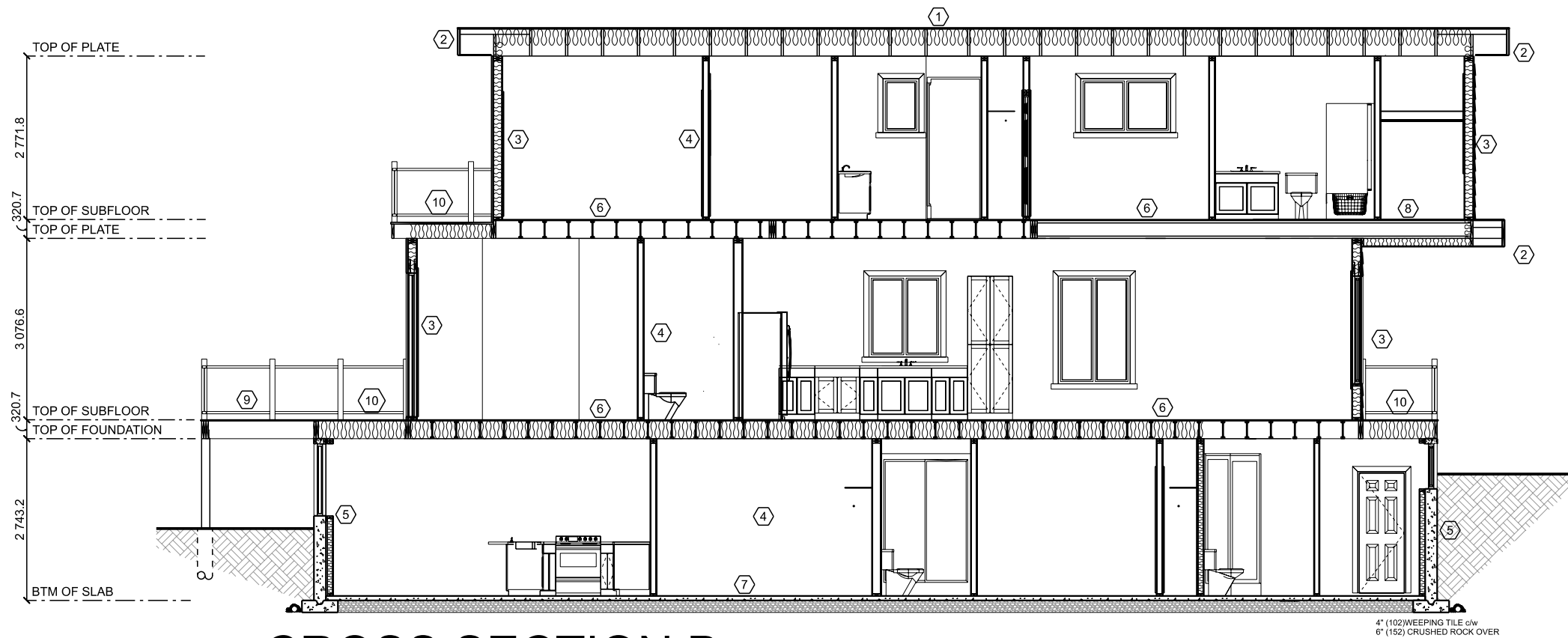
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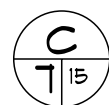
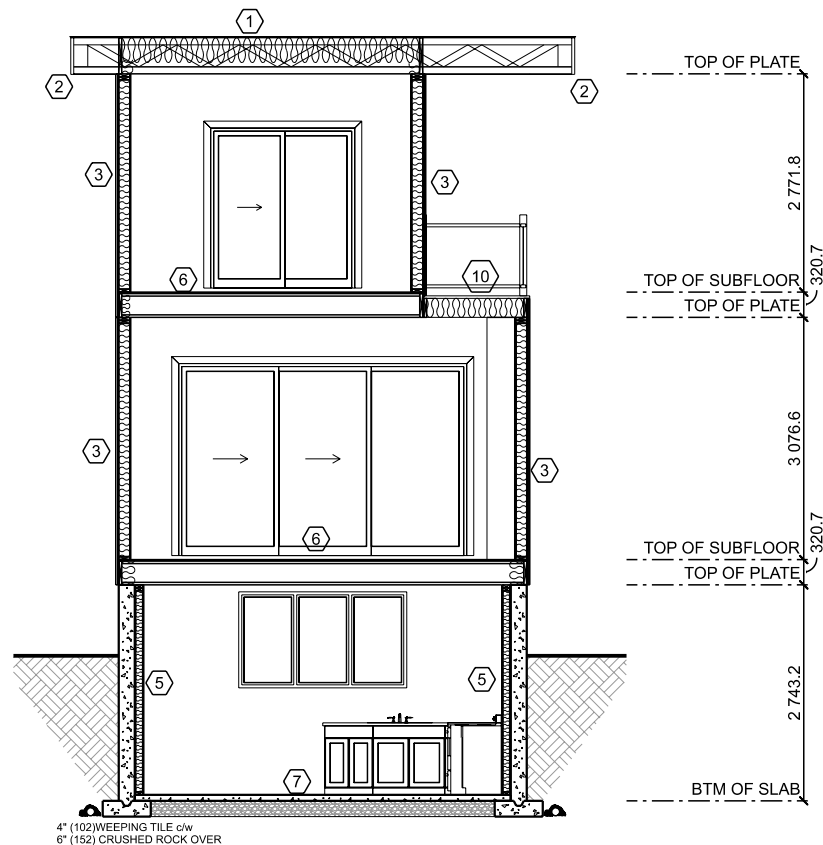
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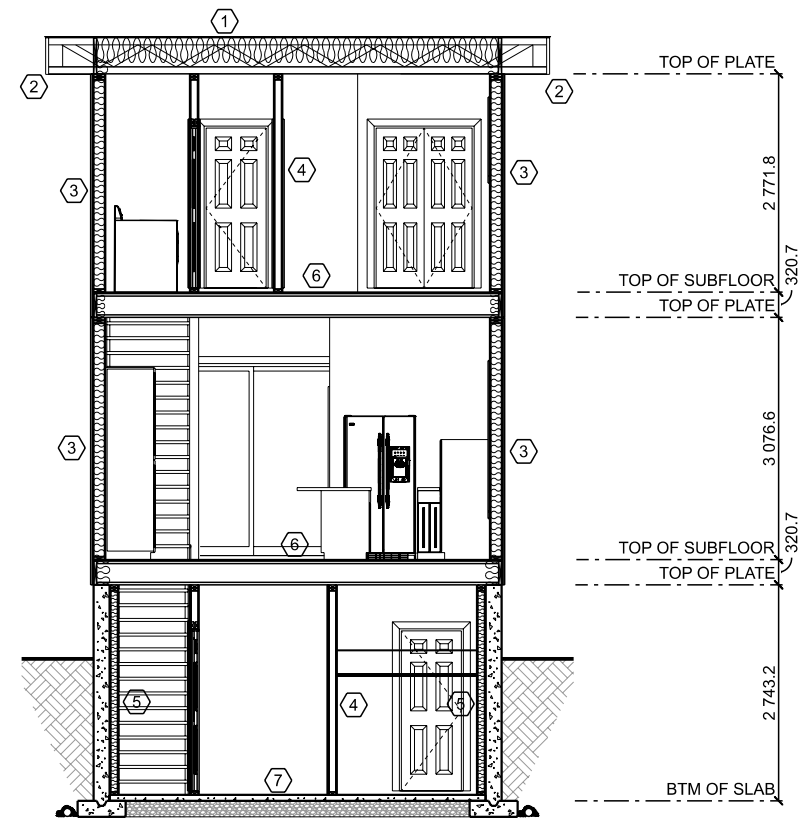




**CROSS SECTION B**  
SCALE: 1:96



**CROSS SECTION C**  
SCALE: 1:96



**CROSS SECTION D**  
SCALE: 1:96

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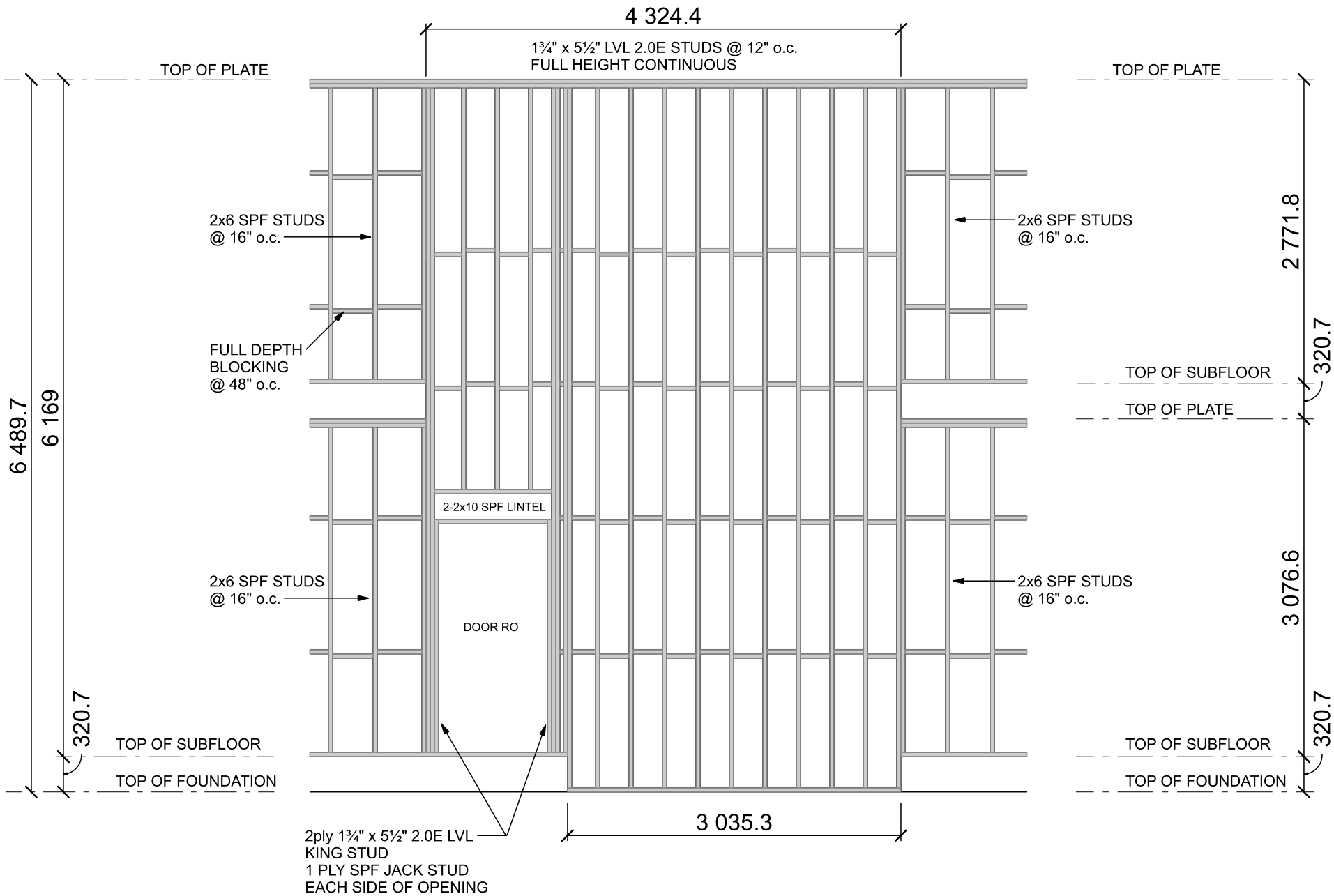
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- FRAMING NOTES FOR STAIR WALL
1. TALL WALLS TO BE FRAMED 1 3/4" x 5 1/2" LVL 2.0E FULL HEIGHT STUDS @ 12" o.c.
  2. FULL HEIGHT 2-PLY 1 3/4" x 5 1/2" 2.0E LVL KING STUDS REQUIRED BOTH SIDES OF OPENINGS IN ADDITION TO REQUIRED JACK STUDS c/w A35 SIMPSON STRONG-TIE FRAMING CLIPS (1/OPENING)
  3. CONTRACTOR TO INSTALL ALL LINTELS, JACK STUDS, & CRIPPLES AS REQUIRED. DESIGN BY OTHERS.
  4. BLOCKING @ 48" o.c. & AT ALL PANEL JOINTS
  5. HURRICANE CLIPS or SIMPSON L 50 CLIPS REQUIRED AT TRUSS TO WALL CONNECTION
  6. STUDS REQUIRE MINIMUM OF 4-3 1/4" NAILS IN EACH STUD, END NAILED
  7. MIN 1 1/2" (38) RIM BOARD REQUIRED UNDER TALL WALLS. ATTACH BOTTOM PLATE TO RIM BOARD WITH 4 - 3 1/4" (83) NAILS PER JOIST SPACE.

# STAIR WALL FRAMING

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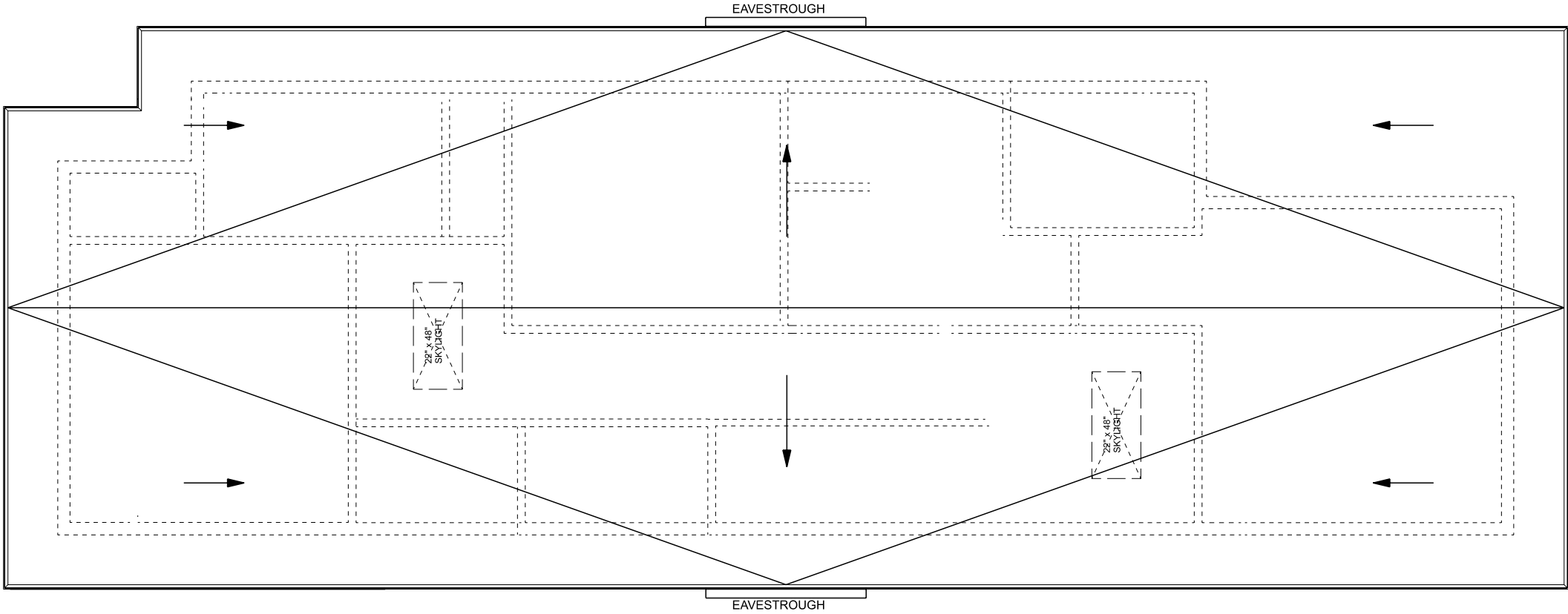
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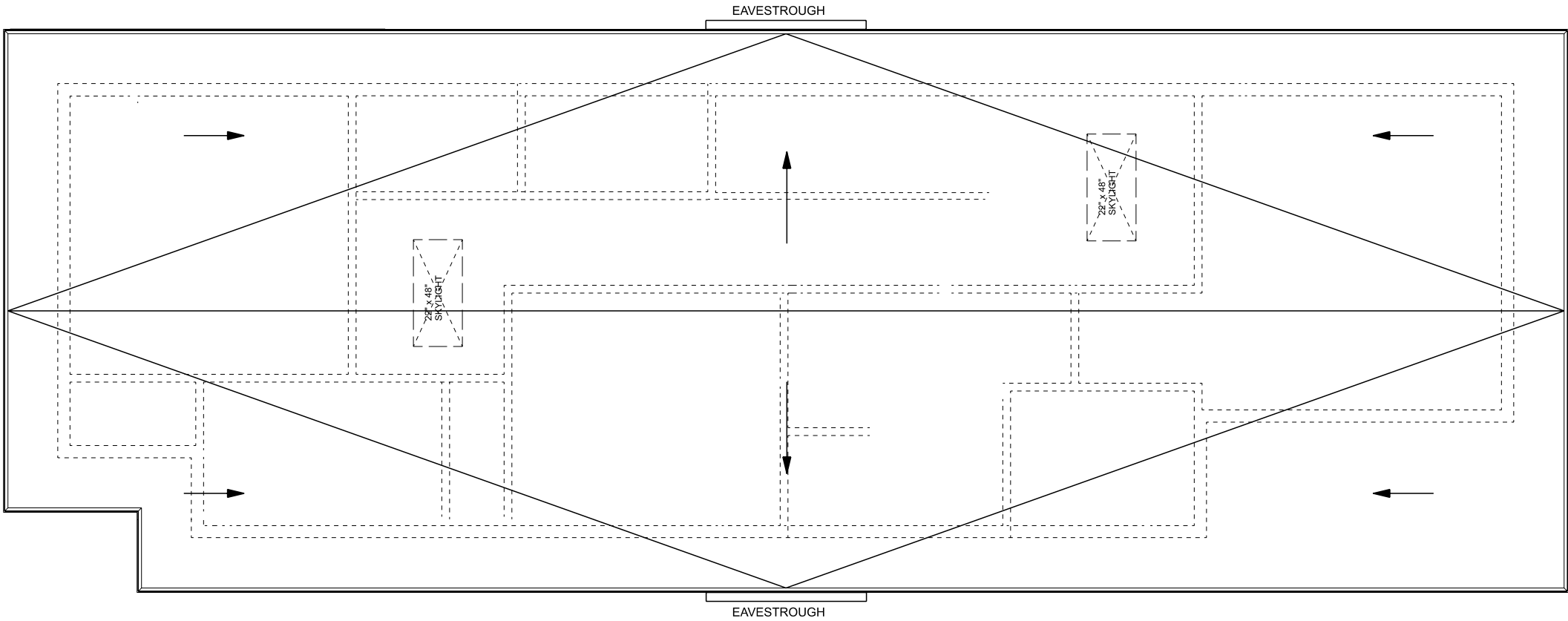
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LOT B



LOT A



# ROOF PLAN

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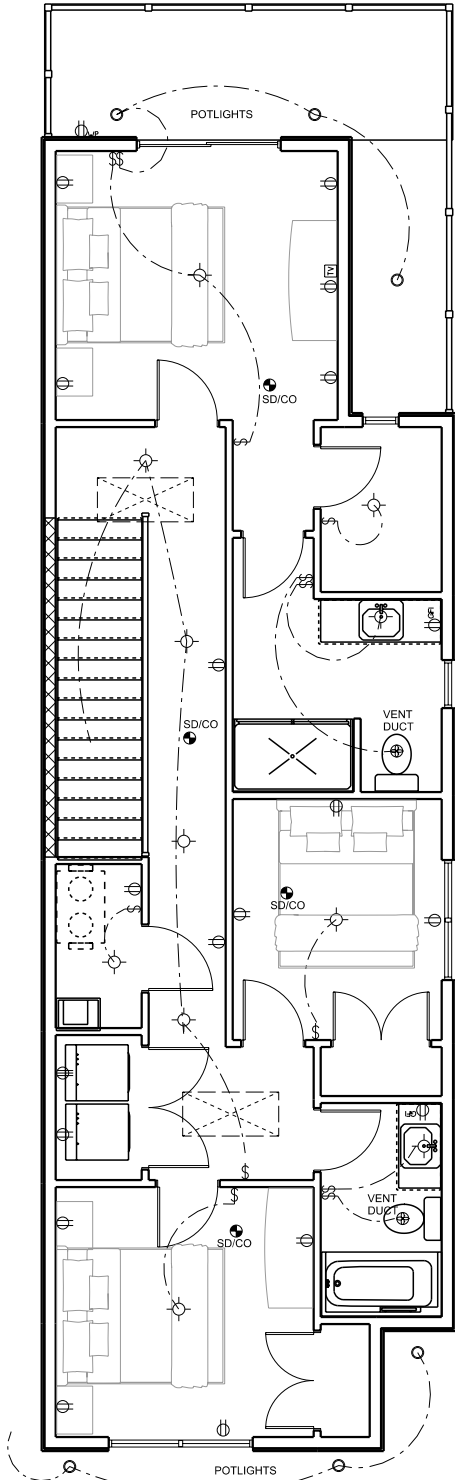
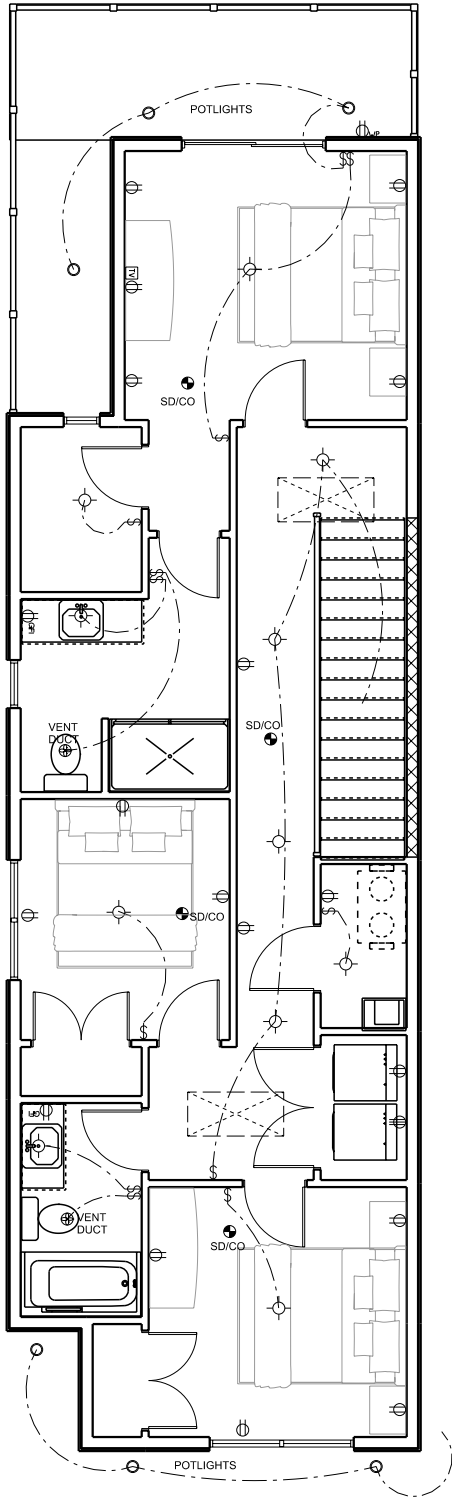
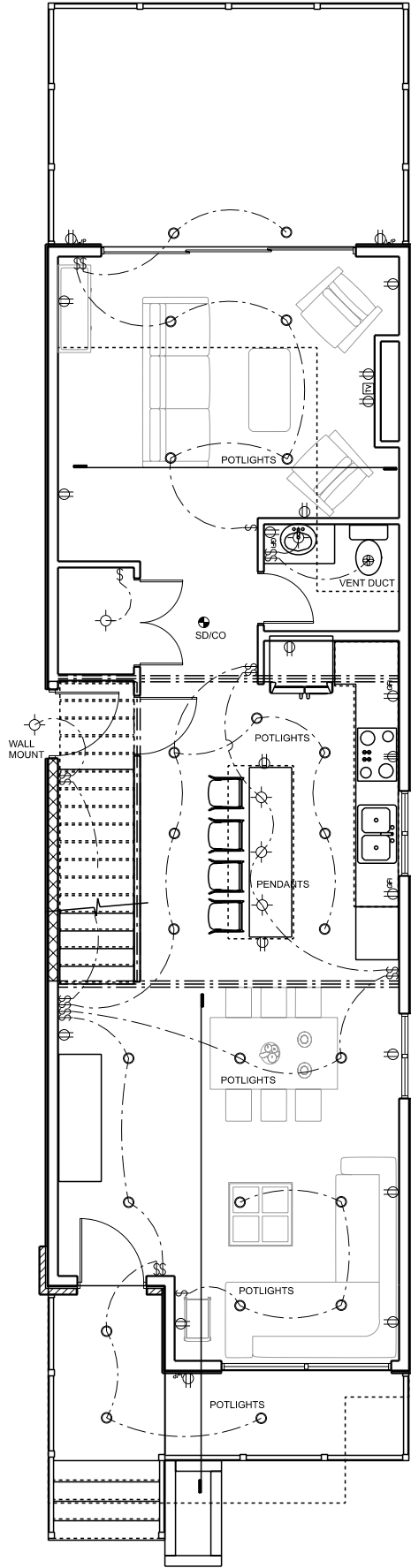
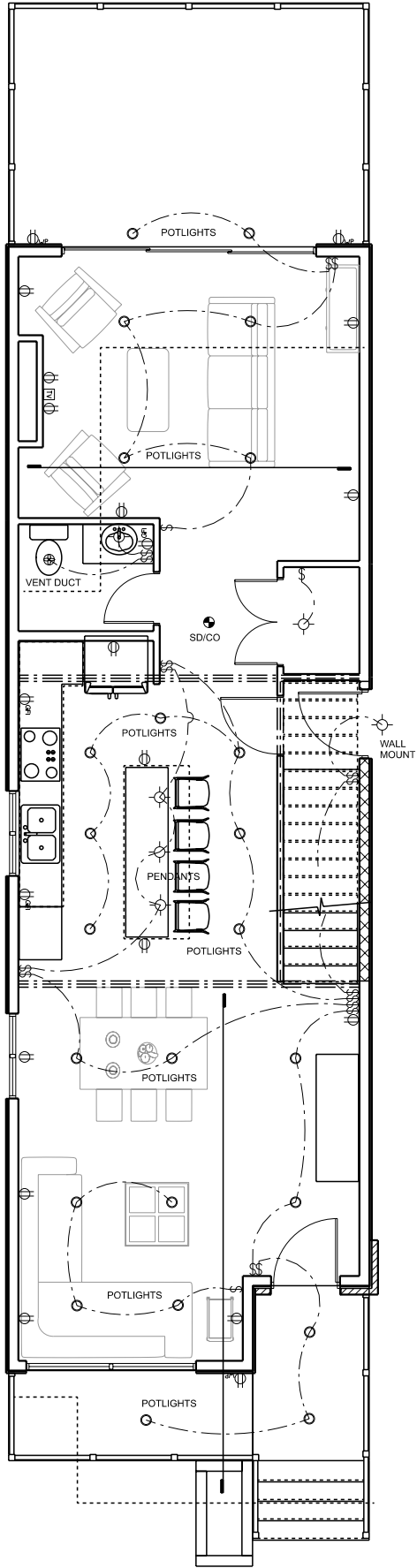
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ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
cable tv outlet	TV
potlight	○
fan	⊕
light	⊙
outlet	⦶
outlet 220v	⦶
outlet gfi	⦶GFI
outlet wp	⦶WP
smoke/CO detector	⦶
switch	\$
switch double	\$\$



MAIN FLOOR PLAN - ELECTRICAL  
SCALE: 1:96

UPPER FLOOR PLAN - ELECTRICAL  
SCALE: 1:96

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	ISSUED FOR CONSTRUCTION	2025/01/30
	PLAN REVISIONS	2025/03/07

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DENAA HOMES LTD  
453 WEST 24TH STREET  
NORTH VANCOUVER, B.C.

PHONE:

DATE: March 11, 2025

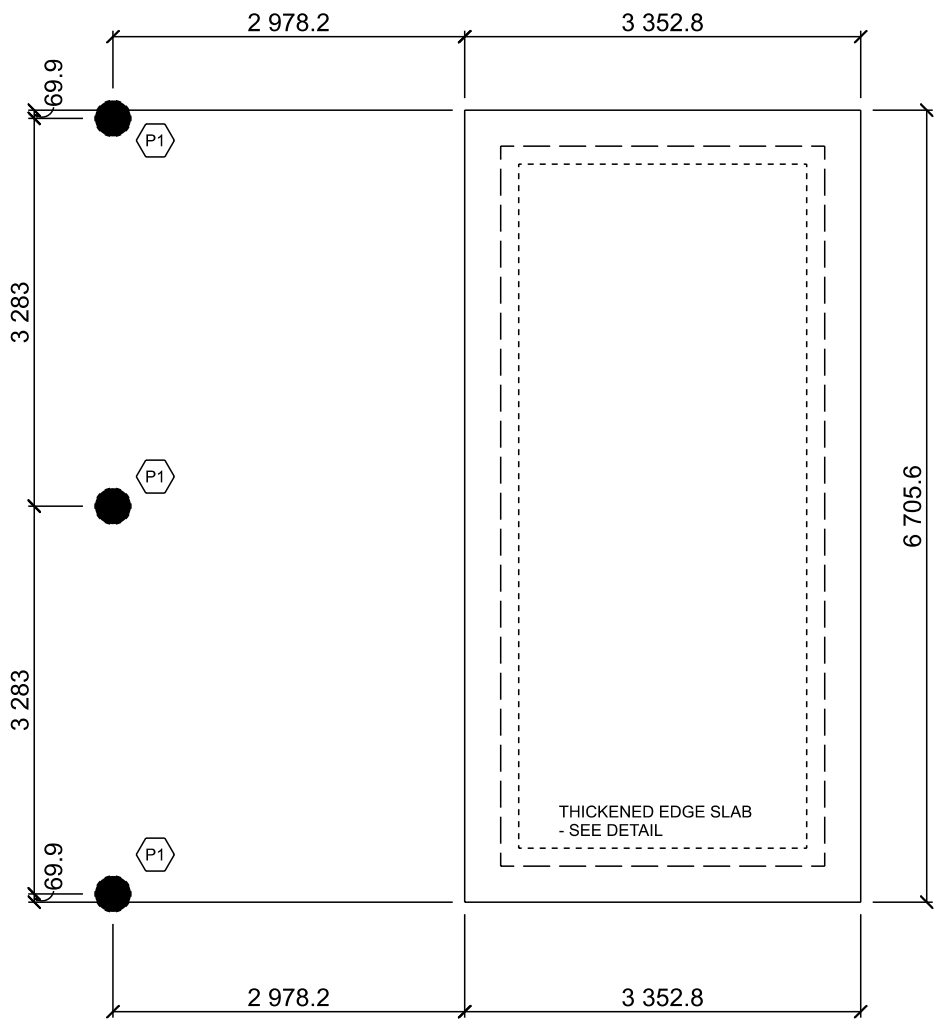
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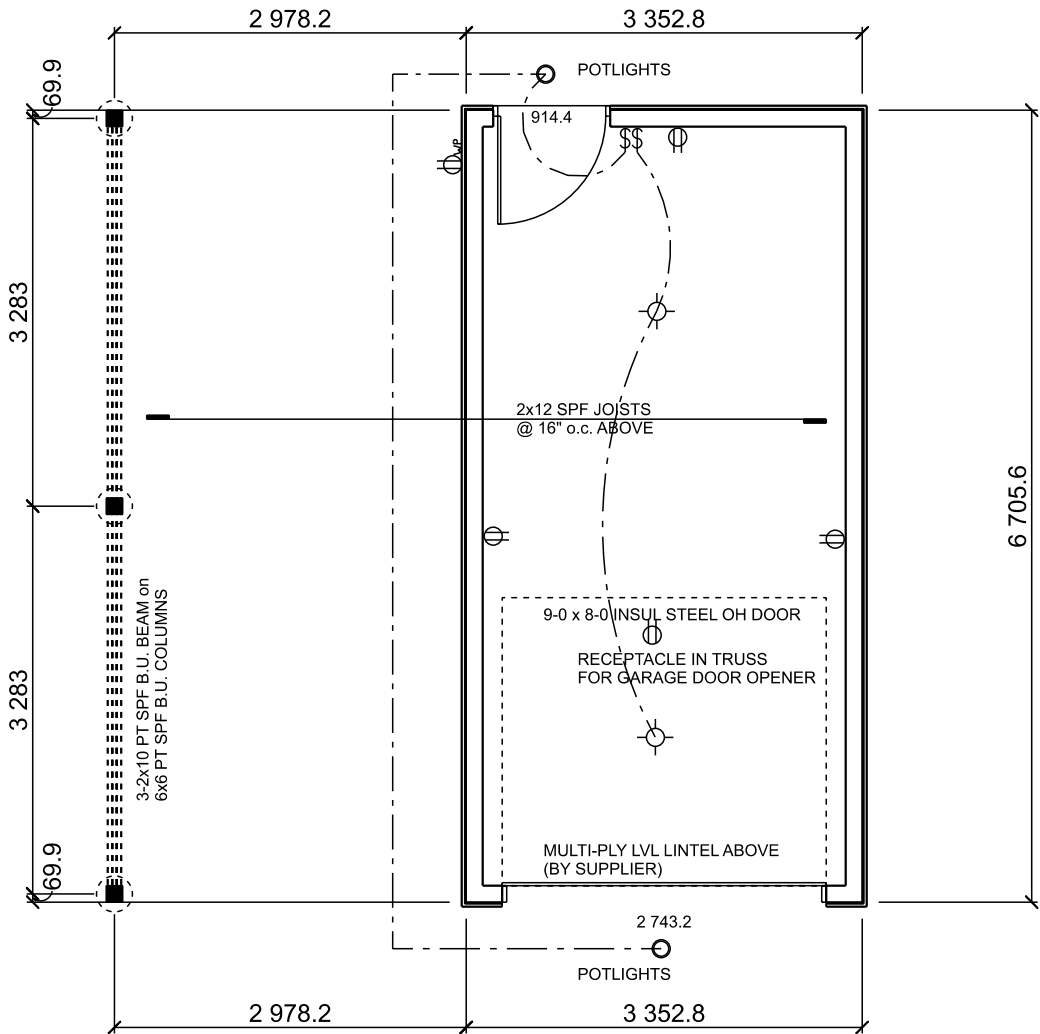
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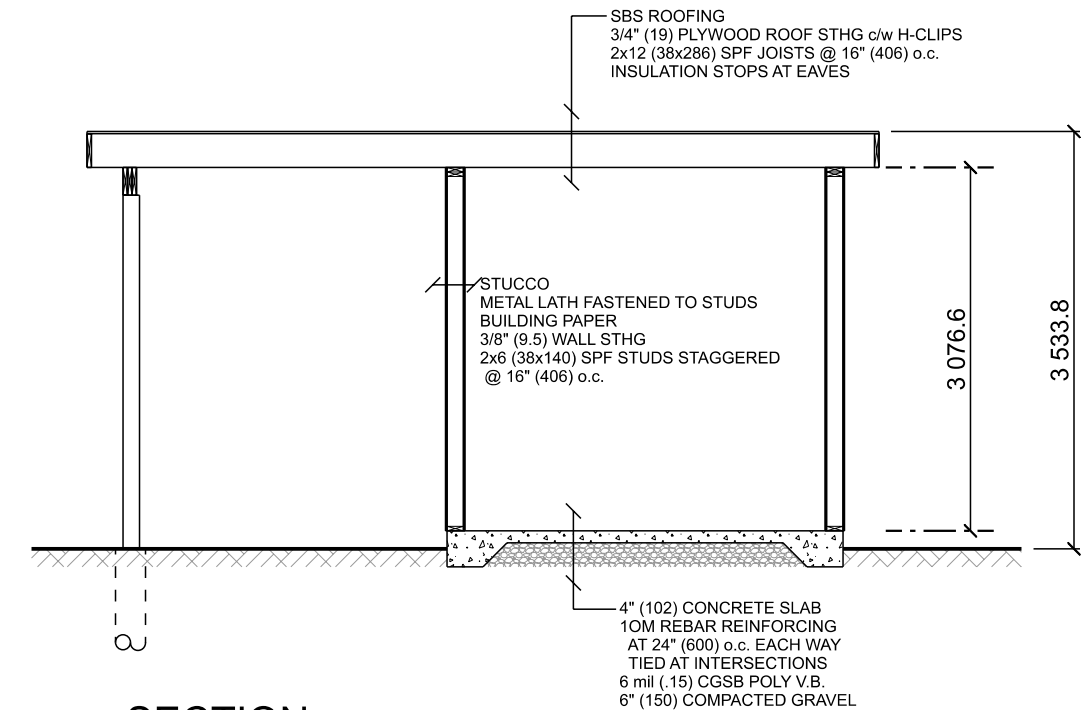




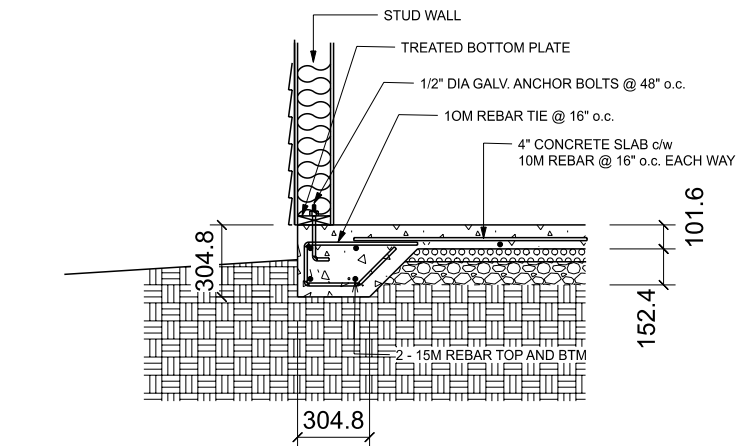
FOUNDATION PLAN



FLOOR PLAN



SECTION



A THICKENED EDGE DETAIL  
SCALE: 1:32

# GARAGE FLOOR PLANS

SCALE: 1:64

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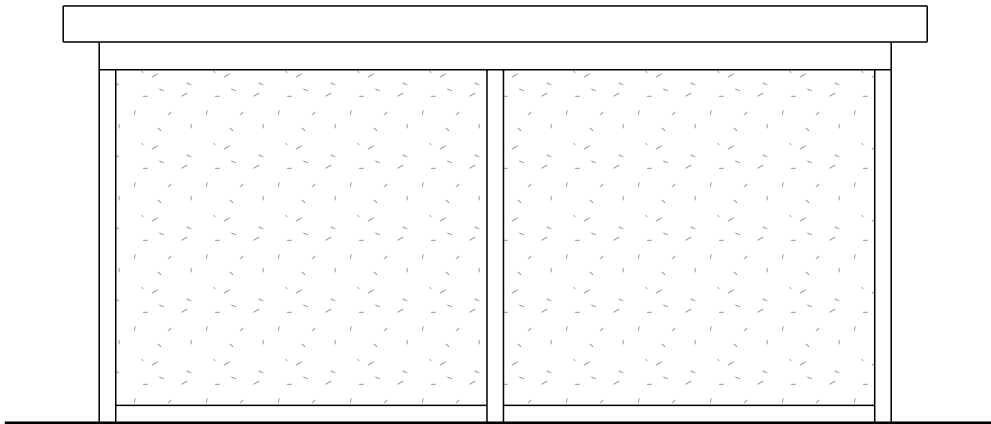
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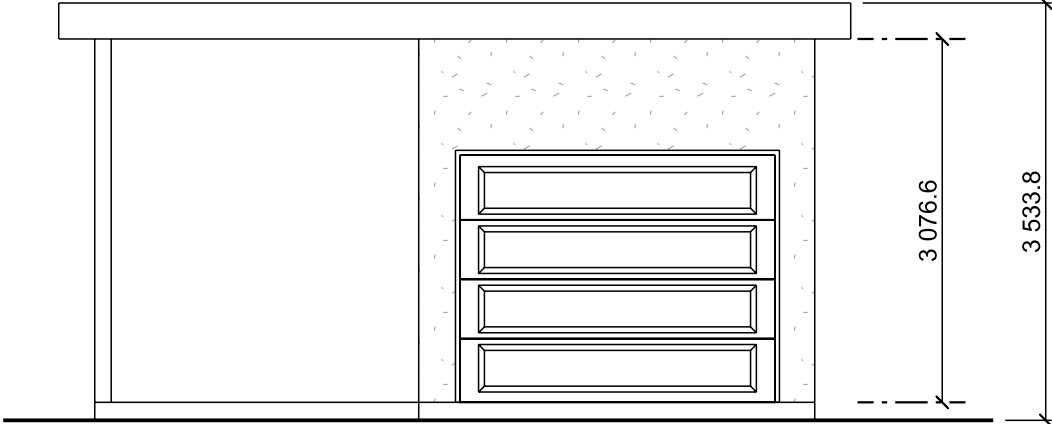
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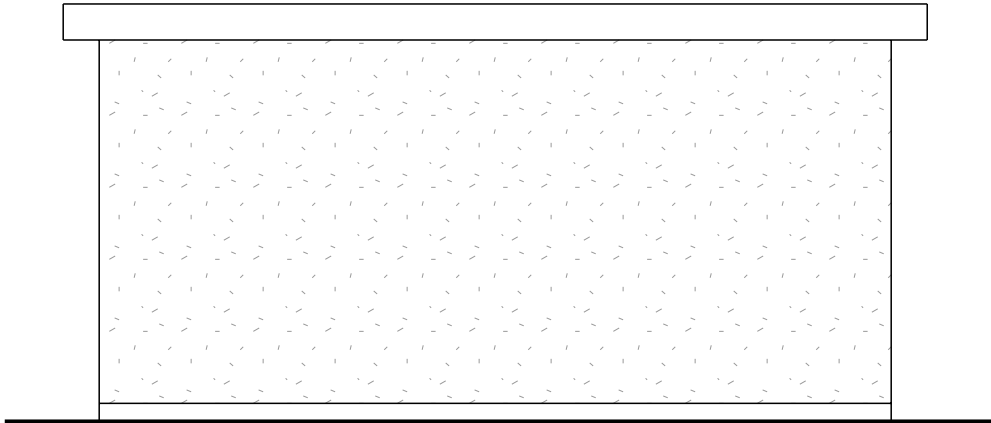




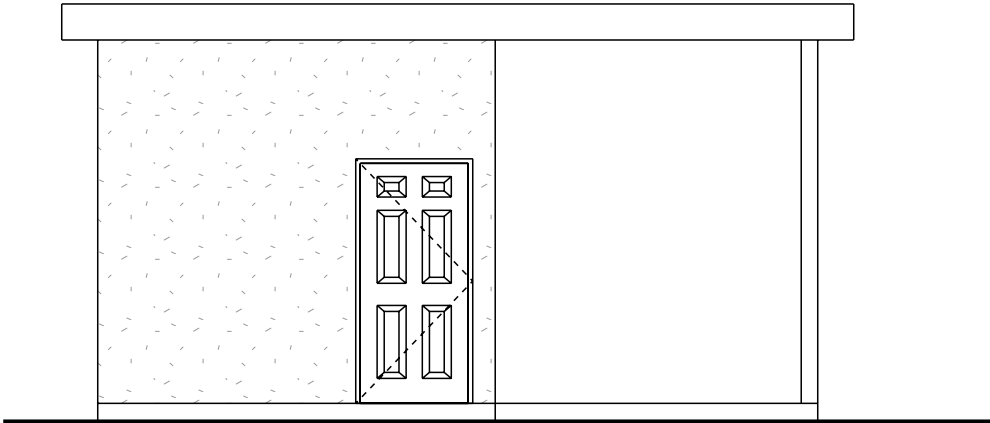
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

**GARAGE ELEVATIONS**  
SCALE: 1:64

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