

<u>PROJECT</u>

CURRENT ZONING: PROPOSED ZONING:

RS-1 (ONE-UNIT RESIDENTIAL) RS-2 (ONE-UNIT RESIDENTIAL)

CURRENT SITE AREA: PROPOSED SITE AREA:

6744 sf / 626.54 sm LOT A: 3372 sf / 313.27 sm LOT B: 3372 sf / 313.27 sm

FRONT LOT:

MIN. 32.81 ft / 10m (RS-1) MIN. 24.6 ft / 7.5m (RS-2)

RESIDENTIAL USE ZONE:

PRINCIPAL BUILDING: MIN. AREA 800 sf / 74.32 sm

GROSS FLOOR AREA: LOT A 0.5 x 3372 s

LOT A 0.5 x 3372 sf = 1686 sf* (156.63 sm) LOT B 0.5 x 3372 sf = 1686 sf* (156.63 sm)

* EXCLUDING BASEMENT

SECONDARY SUITE

NOT LESS THAN 400 sf, NO MORE THAN 969 sf

OR 40% OF GFA - 674 sf, WHICHEVER IS LESSER

LOT COVERAGE: MAX. 40% IF PRINCIPLE BUILDING + COACH HOUSE MAX. 30% PRINCIPLE BUILDING

PATIO / DECK: PATIO / DECK:

FRONT YARD SETBACK: 15 ft / 4.6 m

REAR YARD SETBACK: 26.2 ft / 8 m OR 0.35 x 134.88 ft = 47.21 ft

SIDE YARD SETBACK: 4 ft / 1.2 m (INTERIOR LOT LINE)

MAX. TOP OF PLATE: 26.2 ft / 8 m

MAX. OVERALL BLDG: 33.1 ft / 10.1 m

ACCESSORY BUILDINGS

REAR YARD SETBACK

FLOOR AREA: LESSER OF 0.1 x LOT AREA OR 600 sf / 55.7 sm

4 ft / 1.22 m

SET BACK FROM PB: 10 ft / 3.048 m

SIDE YARD SETBACK: 2 ft / 0.61 m (INTERIOR LOT LINE)

MAX. HEIGHT: 12 ft / 3.658 m

ENERGY EFFICIENCY REQUIREMENTS

PROJECT TO PURSURE STEP 3 ENERGY CODE; ALL MECHANICAL SYSTEMS IN THE BUILDING SHALL BE CLASSIFIED AS LOW CARBON ENERGY SYSTEMS.

LOT: 3 BLK: 212

DISTRICT LOT: 544

PLAN: 2838

CIVIC ADDRESS: #453 WEST 24TH STREET NORTH VANCOUVER, B.C.

SITE PLAN
SCALE: 1:180

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	PLAN REVISIONS	2025/03/07	

RESIDENCE FOR: DENAA HOMES LTD 453 WEST 24TH STREET NORTH VANCOUVER, B.C.

PHONE:

DATE: March 11, 2025

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CITY MAP - NORTH VANCOUVER



453 WEST 24TH STREET - SUBJECT PROPERTY



WEST 24TH STREET EXISTING CONDITION - FACING EAST



453 WEST 24TH STREET - EXISTING LANE



WEST 24TH STREET EXISTING CONDITION - FACING WEST



AERIAL VIEW

SITE CONTEXT AND AMENITIES:

- THE SITE MEASURES 15.24m x 41.11m [50ft x 134.88ft], IS LOCATED ON THE SOUTH SIDE OF 400 BLOCK OF WEST 24TH STREET, IS BOUNDED BY SINGLE FAMILY HOUSING THE NORTH, SOUTH, EAST AND WEST.
- CLOSE TO TRANS CANADA HWY, WALKING DISTANCE TO SCHOOLS, PARKS, DAYCARES, AND SHOPPING CENTER.

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"LOT COVERAGE" MEANS THE HORIZONTAL AREA WITHIN THE VERTICAL PROJECTION OF THE OUTERMOST WALLS OF PRINCIPLE, ACCESSORY BUILDINGS AND ACCESSORY COACH HOUSE BUILDINGS ON A LOT, EXPRESSED AS A PERCENTAGE OF THE LOT AREA BUT EXCLUDING:

- (5) FOR ONE UNIT RESIDENTIAL USE AND TWO UNIT RESIDENTIAL USE LOT COVERAGE SHALL INCLUDE:
- (A) DECKS:

WEST 24TH STREET

LOT B

1071 SQ FT [99.5 sq m]

31.8%

[40.88 sq m]

EXCLUDE

LANE

LOTA

SOFT LANDSCAPING (SOD (TYPICAL)

1071 SQ FT

[99.5 sq m]

31.8%

SOFT LANDSCAPIN / SOD (TYPICAL)

[40.88 sq m]

EXCLUDE

(B) PORCHES; AND

862 SQ FT

[80.08 sa m]

TOTAL UPPER FLOOR

(C) BALCONIES GREATER THAN 1.0 METERS (3.28 FEET) ABOVE GRADE; BUT SHALL EXCLUDE ACCESSORY BUILDINGS SUBJECT TO SECTION 514(1)(b).

"GROSS FLOOR AREA (ONE-UNIT AND TWO-UNIT RESIDENTIAL)" MEANS THE TOTAL OF ALL THE FLOORS OF THE PRINCIPLE BUILDING ON A LOT, MEASURED TO THE EXTREME OUTER LIMITS OF THE BUILDING, INCLUDING ALL BASEMENTS, CELLARS, HABITABLE ROOMS, BATHROOMS, UTILITY ROOMS, FURNACE ROOMS, ATTACHED PARKING GARAGES AND CARPORTS, STORAGE AREAS, INTERNALLY ACCESSIBLE ATTIC SPACE, WORKSHOPS, HALLWAYS, LANDINGS, STAIRWELLS, MEZZANINES, BUT EXCLUDING:

- (4) ARCHITECTURAL FEATURES CONTAINING NO FLOOR AREA WHICH PERMITTED AS PROJECTIONS INTO REQUIRED YARDS;
- (5) BALCONIES AND PORCHES THAT ARE OPEN APPENDAGES TO THE PRINCIPLE BUILDING AND ARE AT LEAST 40% UNENCLOSED

WEST UNIT (LOT A)

971 SQ FT

[90.21 sq m]

BYLAW 509 (2) (c) NOTWITHSTANDING SUBSECTION 509(2)(a) AND (b): [BYLAW 8642, JULY 23, 2018] (i) BASEMENT (ONE-UNIT AND TWO-UNIT RESIDENTIALO MAY BE EXCLUDED FROM GROSS FLOOR AREA (ONE-UNIT AND TWO-UNIT RESIDENTIAL);

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EAST UNIT (LOT B)

971 SQ FT

[90.21 sq m]

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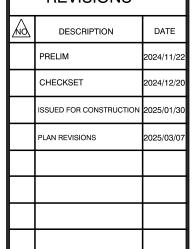
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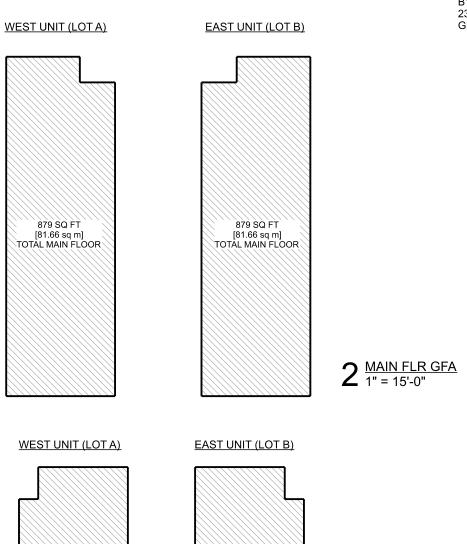
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862 SQ FT

[80.08 sa m]

TOTAL UPPER FLOOR

 $3^{\frac{\text{UPPER FLR GFA}}{1" = 15'-0"}}$

TOTAL BASEMENT TOTAL BASEMENT 301 SQ FT 301 SQ FT [27.96 sq m] [27.96 sq m] 670 SQ FT [62.25 sq ft] [62.25 sq m] SECONDARY SECONDARY SUITE SUITE

SECONDARY SUITE = 670 SQ FT

MAIN + UPPER = 1686 SQ FT SECONDARY SUITE = 674 SQ FT

1" = 20'-0"

LOT A - GROSS FLOOR AREA LOT A - GROSS FLOOR AREA

PROPOSED MAIN + UPPER = 1741 SQ FT SECONDARY SUITE = 670 SQ FT

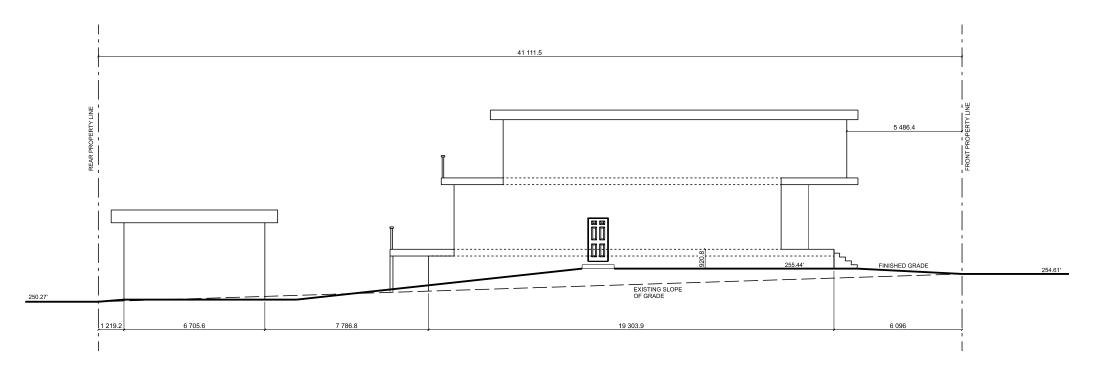
MAIN + UPPER = 1686 SQ FT SECONDARY SUITE = 674 SQ FT

MAIN + UPPER = 1741 SQ FT

PROPOSED

 $4^{\frac{\text{BASEMENT GFA}}{1"=15'-0"}}$

LOT COVERAGE



PROFILE SCALE: 1" = 15'-0"

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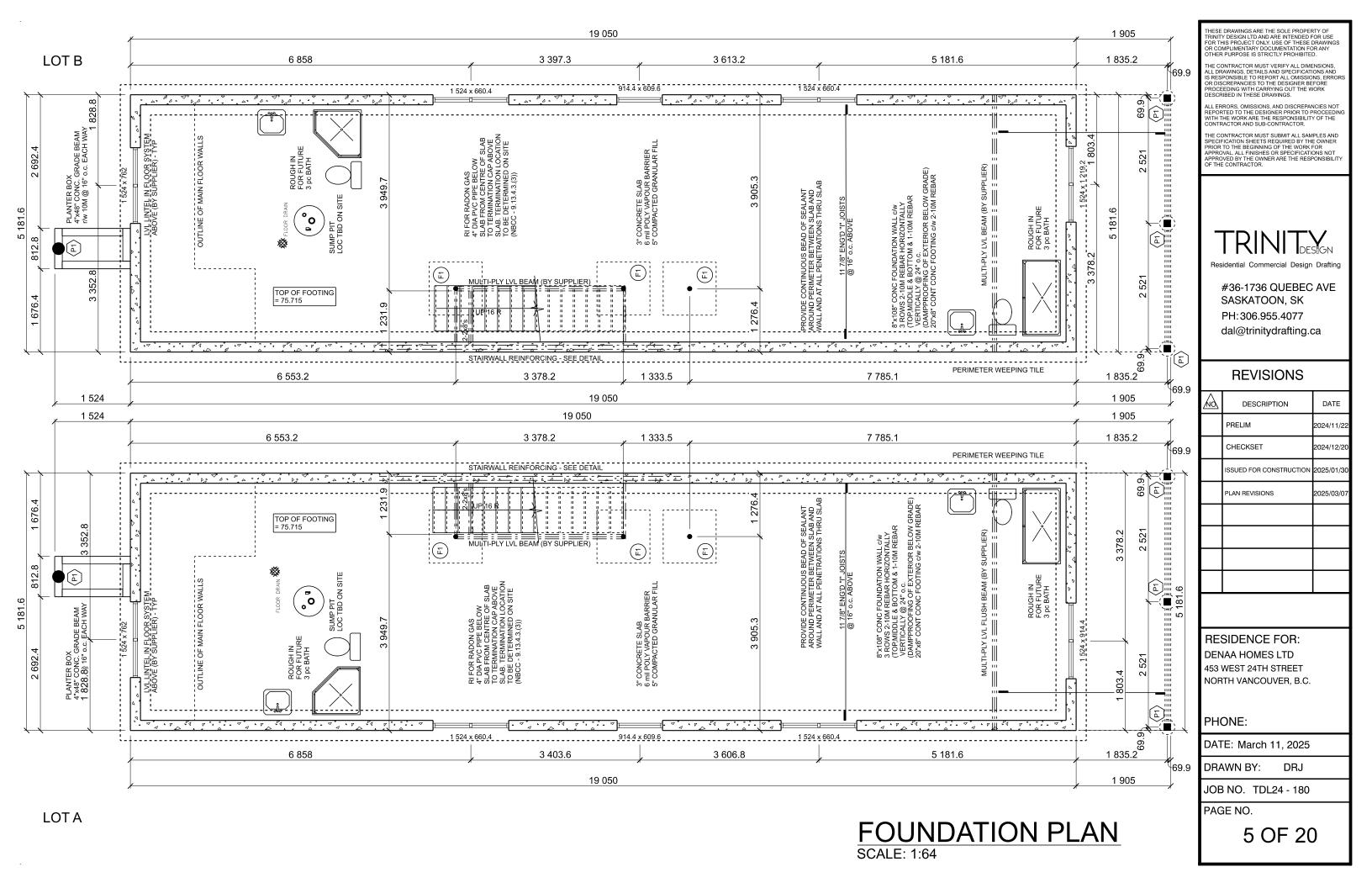
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ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE.

ALL POLY TO CONFORM TO CAN\CGSB-51.34-M86

WEEPING TILE TO BE CONNECTED DIRECTLY TO SUMP PIT WHICH SHALL DISCHARGE INTO STORM SEWER OR TO A SPLASH PAD AT THE SURFACE WHERE CONNECTION TO STORM SEWER IS NOT POSSIBLE. SPLASH PAD SHALL BE LOCATED A MIN. OF 7' (2 100 mm) FROM SIDE PROPERTY LINE.

STRUCTURAL NOTES

- CONCRETE:
 PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH CAN/CSA A23.1
 - UNLESS NOTED OTHERWISE BELOW, CONCRETE TO HAVE
- MINIMUM COMPRESSIVE STRENGTH OF 25MPA (2 TO 4" SLUMP, 4-7% AIR ENTRAINMENT, MAXIMUM AGGREGATE SIZE 3/4", TYPE HS CEMENT). SLABS TO BE MINIMUM 30MPA, NATURAL AIR
- WHEN OUTSIDE AIR TEMPERATURE DROPS BELOW +5 DEGREES C (OR CAN BE REASONABLY EXPECTED TO DO SO) PROVIDE EFFECTIVE MEANS TO MAINTAIN CONCRETE CURING TEMPERATURE ABOVE +10 DEGREES C FOR AT LEAST 72 HOURS

- REINFORCING STEEL:
 -ALL REINFORCING STEEL TO CSA G30.18, GRADE 400
 -EXTEND GRADE BEAM AND WALL REINFORCING AROUND CORNERS
 OR USE CORNER BARS
- MINIMUM SPLICE FOR 10M AND 15M BARS TO BE 18" AND 28",

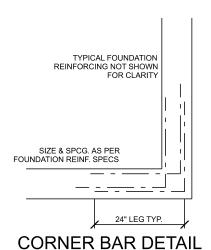
GRADE BEAM

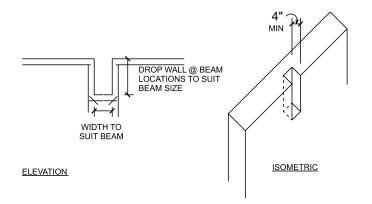
- CONCRETE PROPERTIES: MIN. 25MPA, TYPE HS CEMENT
- 4" POLYSTYRENE VOID FORM BETWEEN PILES
- MIN. 16" OF GRADE BEAM TO REMAIN AT DOOR CUT OUTS - 2-15M TOP AND BOTTOM BENEATH ALL CUT OUTS AND EXTEND
- 18" PAST ADJACENT PILES
- DOWEL GRADE BEAM TO HOUSE FOUNDATION WALL W/ 2-15M X 48" TOP AND BOTTOM. INSTALL DOWELS W EPOXY HILTI HIT-HY150
- REINFORCING SPLICES IN GRADE BEAM TOP BARS TO BE LOCATED AT MID-SPAN BETWEEN PILES. SPLICES IN GRADE BEAM BOTTOM BARS TO BE LOCATED DIRECTLY ABOVE PILES.

- CONCRETE PROPERTIES: MIN. 20MPA, TYPE HS CEMENT
- PILE REINFORCING TO BE FULL HEIGHT AND CONTINUOUS. EXTEND TO TOP BARS OF GRADE BEAM
- IF THE PILES ARE PLACED IN FILL MATERIAL MORE THAN 6ET IN
- DEPTH, THE PILE SHOULD BE LENGTHENED BY THE FILL DEPTH THAT IS GREATER THAN 6FT
- PILE REINFORCING TO BE CONTINUOUS FULL HEIGHT & EXTEND TO TOP BARS OF GRADE BEAM

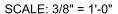
PILE SCHEDULE				
PILE	DIA	DEPTH	REINFORCING	
(P1)	10" (250)	12'-0" (3 600)	2 - 15M REBAR	
P2	10" (250)	15'-0" (4 500)	2 - 15M REBAR	

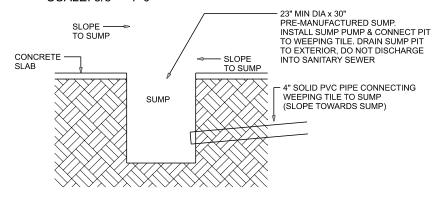
PAD FOOTING SCHEDULE			
FTG	SIZE	REINFORCING	
(F1)	42"x42"x10"	6 - 15M REBAR EACH WAY	

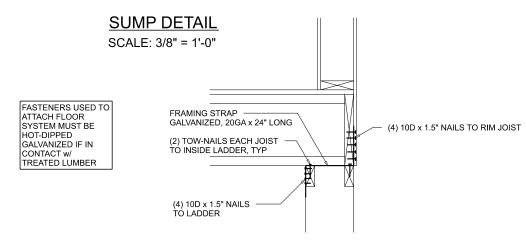




BEAM POCKET DETAIL

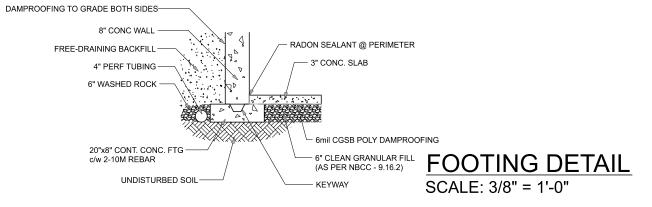


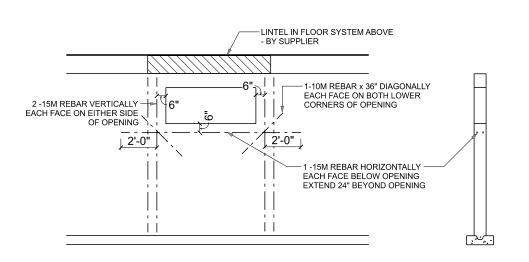




FRAMING STRAP DETAIL

SCALE: 3/4" = 1'-0"



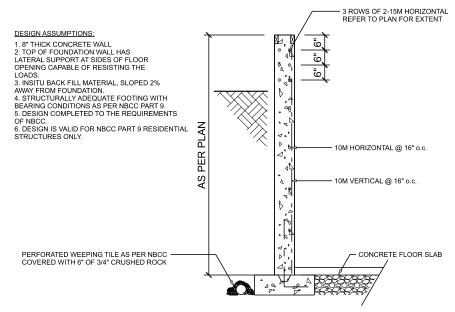


REINFORCING DETAIL - FOUNDATION WALL OPENINGS

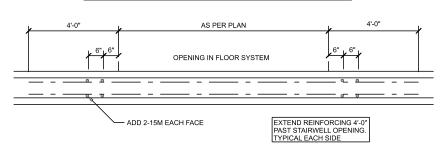
DESIGN ASSUMPTIONS

- 1. 25 MPa, TYPE HS CEMENT
- MINIMUM CONCRETE COVER OF 1"
 AND A MAXIMUM COVER OF 2".
- 3. BOTH FACES MEANS ONE (OR TWO) BAR(S) ADJACENT TO INSIDE FACE AND ONE (OR TWO) BAR(S) ADJACENT

REINFORCING DETAIL HAS BEEN DESIGNED ASSUMING LATERAL SUPPORT IS PROVIDED AT THE TOP OF THE WALLS ADJACENT TO THE STAIRWELL AND BOTTOM OF THE WALLS. CONTRACTOR AND SUPPLIER TO ENSURE THAT THE FLOOR STRUCTURE PROVIDES ADEQUATE LATERAL SUPPORT AS PER



STAIRWALL REINF. DETAIL



STAIRWALL REINF. PLAN

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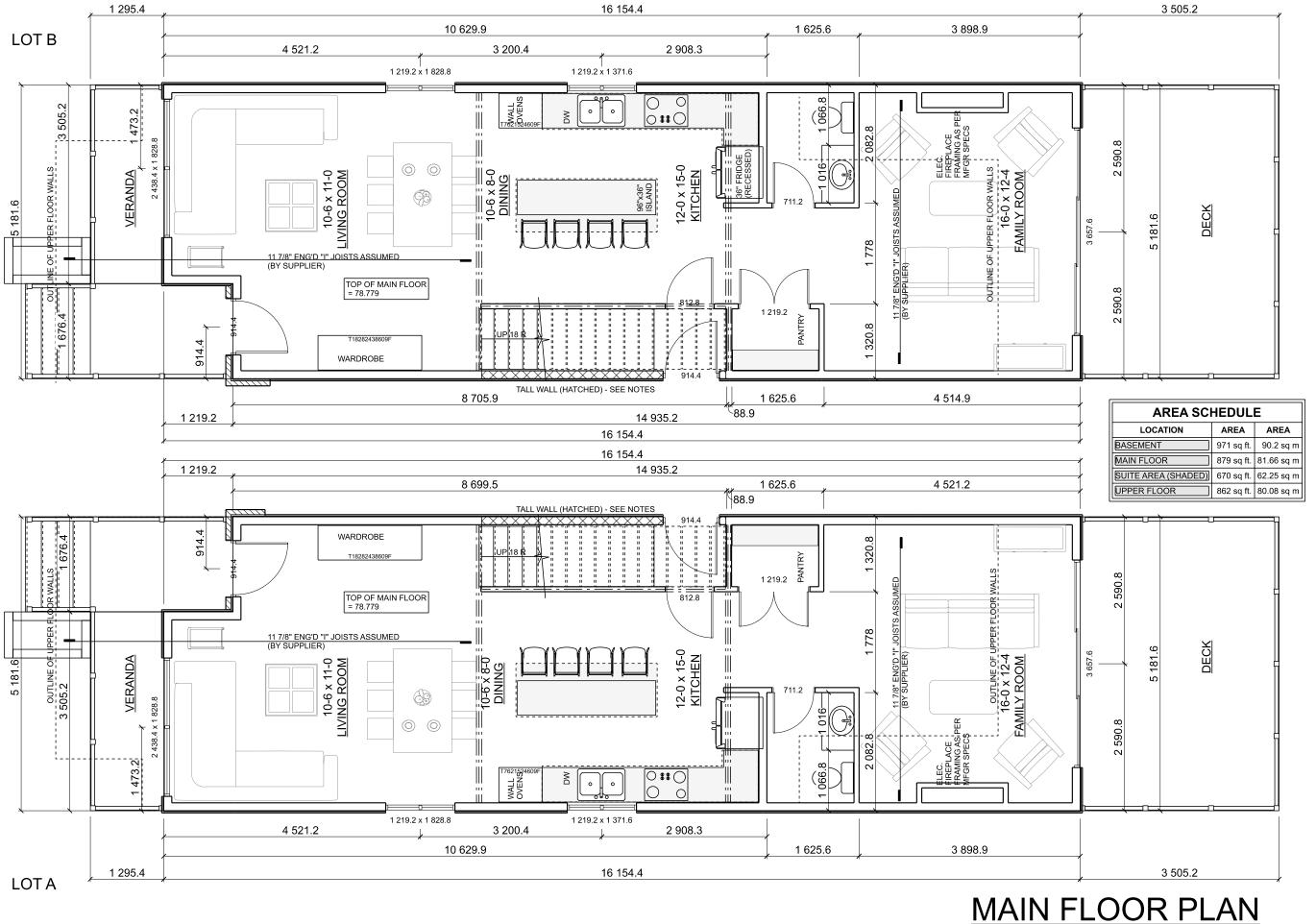
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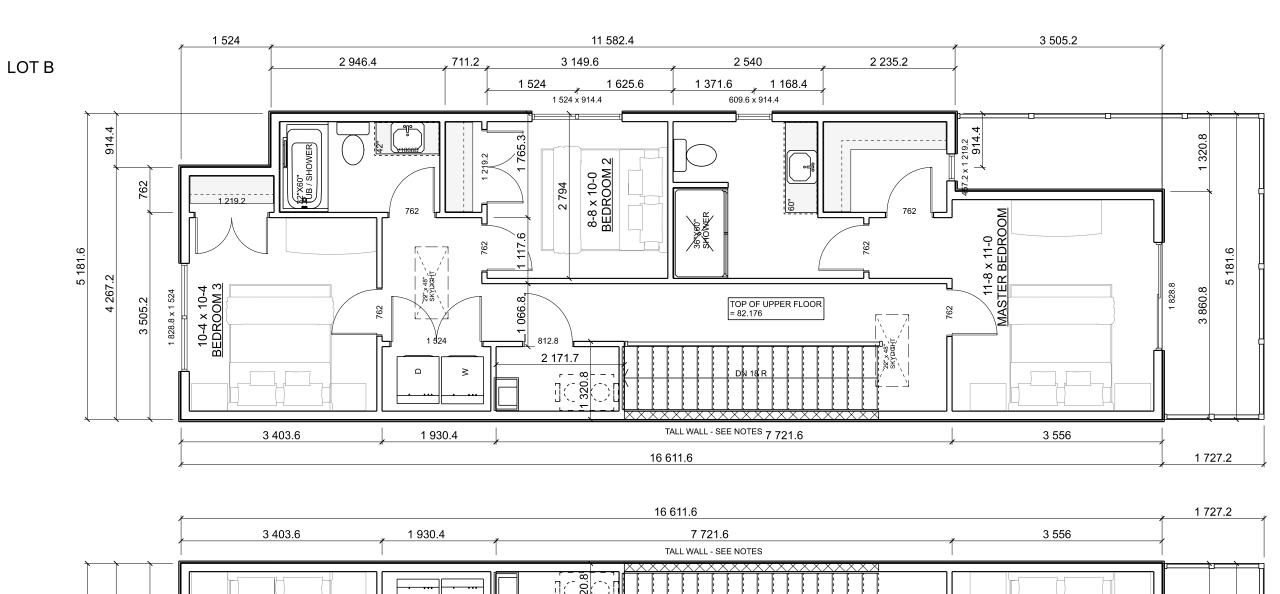
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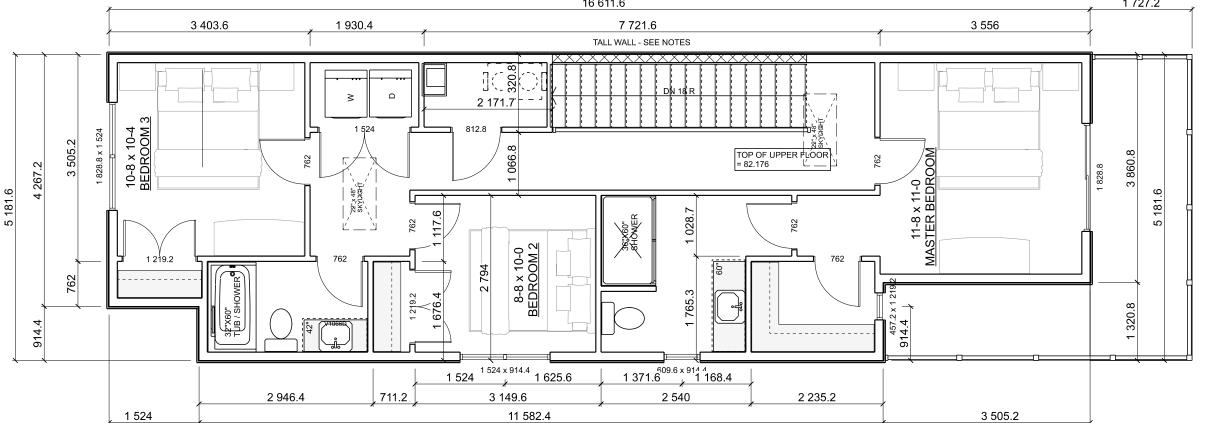
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SCALE: 1:64

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LOT A

UPPER FLOOR PLAN

SCALE: 1:64

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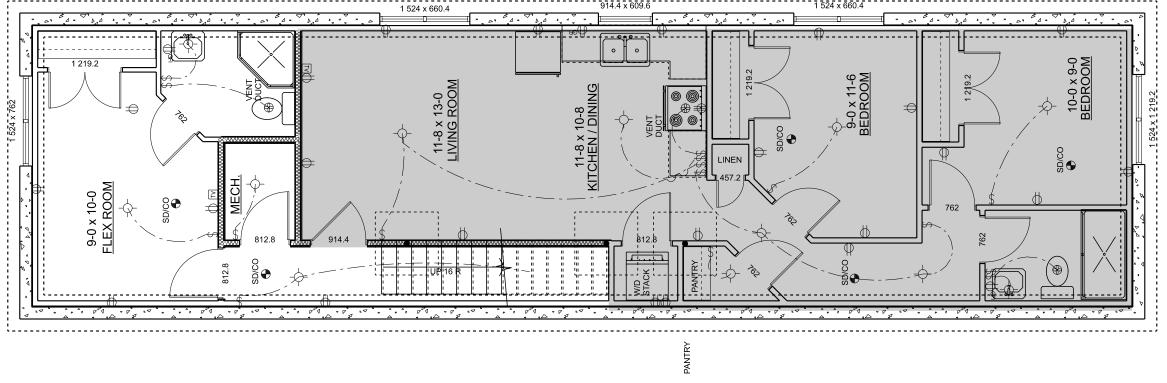
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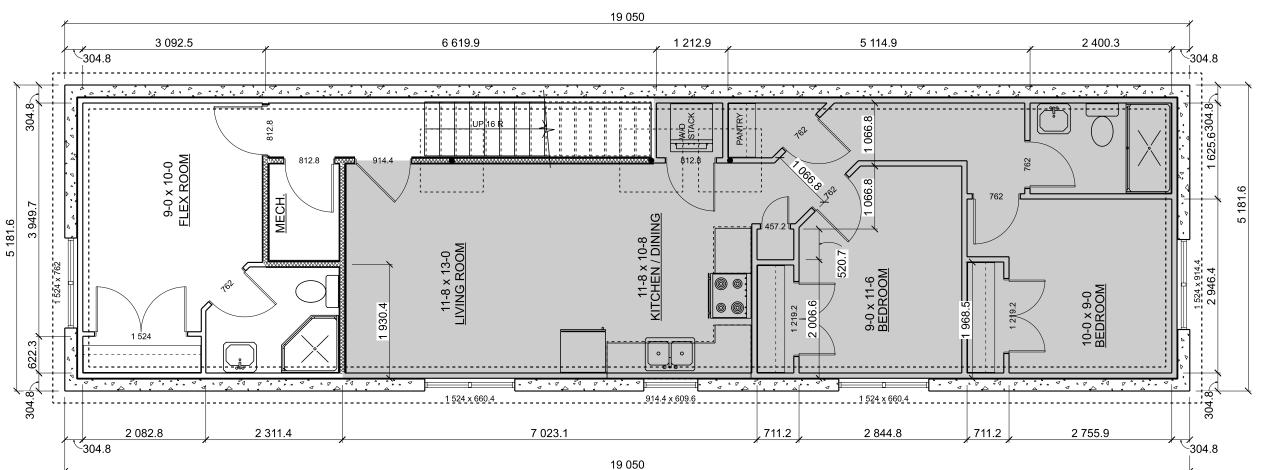
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BASEMENT PLAN

SCALE: 1:64 SUITE AREA (SHADED) = 670 SQ FT [62.25 sq m] THESE DRAWINGS ARE THE SOLE PROPERTY OF TRINITY DESIGN LTD AND ARE INTENDED FOR USE FOR THIS PROJECT ONLY. USE OF THESE DRAWINGS OR COMPLIMENTARY DOCUMENTATION FOR ANY OTHER PURPOSE IS STRICTLY PROPUBITED.

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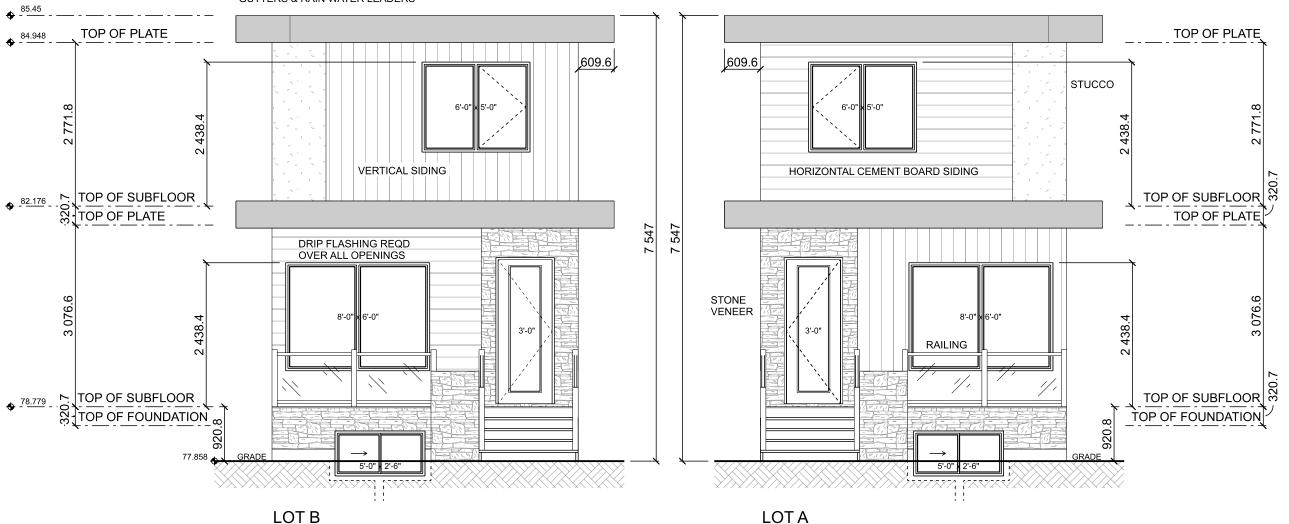
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ALUMINUM FASCIA, SOFFIT, GUTTERS & RAIN WATER LEADERS



NORTH ELEVATION SCALE: 1:64

Structural Notes:

- All construction to meet or exceed local & National Building Codes
- Drawings may be scaled for approximate dimensions only. Dimensions and notes as shown will govern.
- General Contractor to verify all dimensions and elevations prior to commencement of work. All discrepancies are to be reported to designer immediately.
- Engineered floor joists, trusses, and LVL beams and lintels are to be engineered by a Professional Engineer licensed to practice in Saskatchewan
- All lintels to be 2 ply 2x10 S-P-F unless noted otherwise. Lintels longer than 6'-0" are to be engineered by a Professional Engineer licensed to practice in Saskatchewan.
- Total number of ply in a wood column are to be no less than the number of ply of the beam it is supporting.
- Built-up columns shall be nailed with min 3" nails @ 12" o.c.
- 2-2x blocking shall be used in floor framing at all point load locations.
- All lumber to be S-P-F #2 or better and fasteners must meet and be installed as per the NBCC.

Exterior Notes

- Provide pre-finished flashing over all exterior windows and doors.
- Secure exterior door until completion or deck or temporary stairs are in place.
- Exterior doors to be c/w dead bolts to provide resistance to forced entry into the home.
- All windows less than 2m (6'-6") to grade are to comply with CAN/CSA-A440-M for resistance to forced entry.
- Window sizes shown are approximate. Contractor shall verify rough opening sizes with the window supplier.
- All bedrooms must have an openable window with an unobstructed opening of at least 3.76 Sq Ft (0.35m2) with no dimension less than 15.2" (380mm). Awning windows do not meet the requirements for egress.
- All stairs, handrails & guards are to comply with the NBCC, 9.8.7 & 9.8.8.
- Guardrails must be a minimum height of 3'-0"(900mm) for decks more than 2'-0"(600mm) from the ground & 3'-6"(1070mm) for decks more than 6'-0"(1.8m) above grade, with no more than 4"(100mm) space between vertical members.

- Interior Notes
- Room sizes shown on plan are approximate. Actual sizes may vary with final construction.
- Mirrored glass doors are not permitted on any walk-in closet doors.
- All stairs, handrails & guards are to comply with the NBCC, 9.8.7 & 9.8.8.
- Interior guards must be provided where a difference in floor elevations exceeds 2'-0"(600mm). A minimum height of 3'-0"(900mm) for guards, including landings over stairs & above stair nosings, with no more than 4"(100mm) space between vertical members.
- Provide safety glass around all tub & shower enclosures, entrance doors, sidelights and guards.
- Provide water resistant flooring in all bathrooms.
- Provide waterproof wall finish in accordance to NBCC 9.29.2.
- All attic access shown to be no less than 22"(550mm) x 30"(762mm), c/w weatherstripping where appropriate.

- All smoke and CO alarms are to be interconnected and permanently wired to an electrical circuit in accordance with NBCC - 9.10.19.4(1)
- HVAC contractor shall locate and install a principle exhaust fan in accordance with section 9.32.3.4 of the NBCC.
- Make-up air is required for any appliances that exhaust more than 75L/s (160CFM) in order to prevent depressurization.
- All Carbon Monoxide detectors to conform to CAN/CSA-6.19 Residential Carbon Monoxide Alarming Devices.

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NORTH VANCOUVER, B.C.

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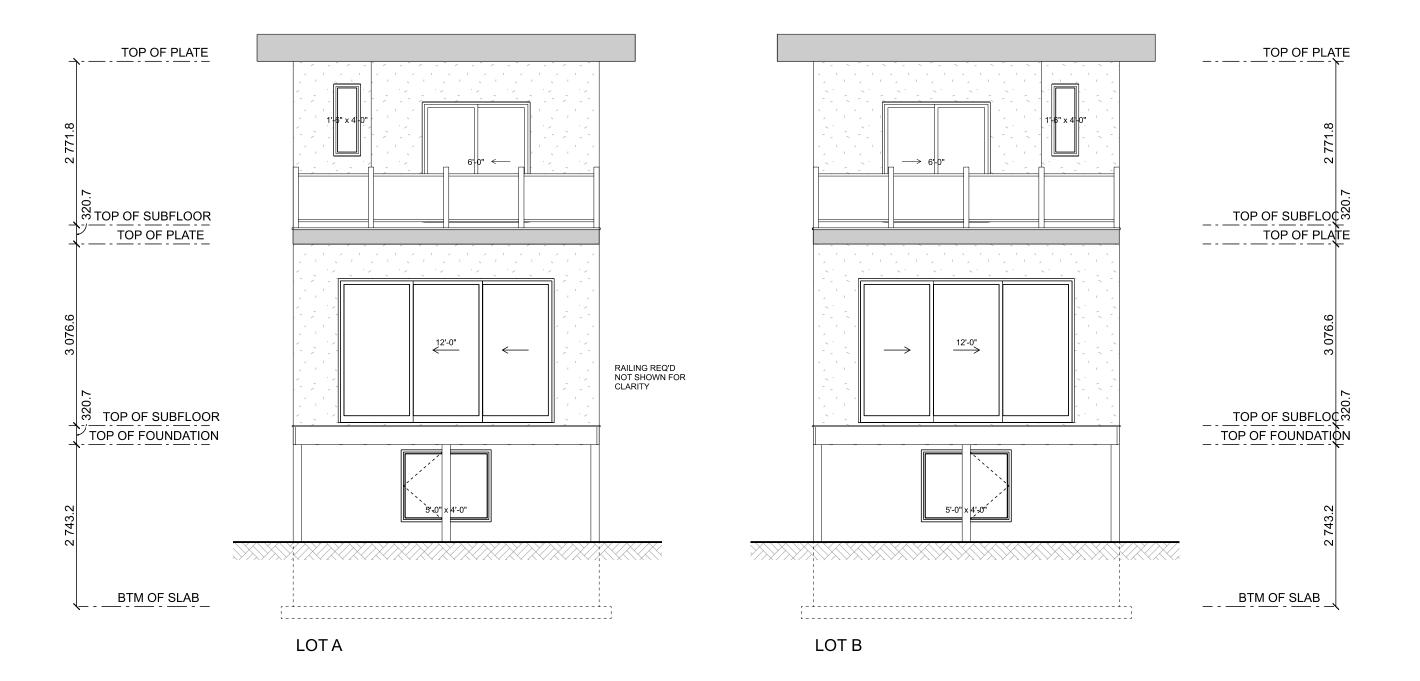
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SOUTH ELEVATION

SCALE: 1:64

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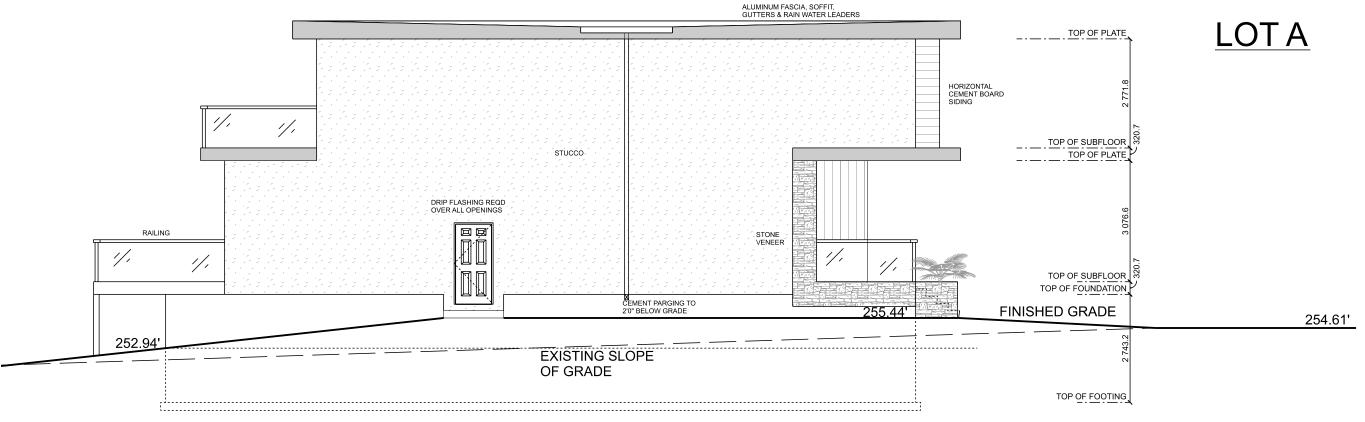
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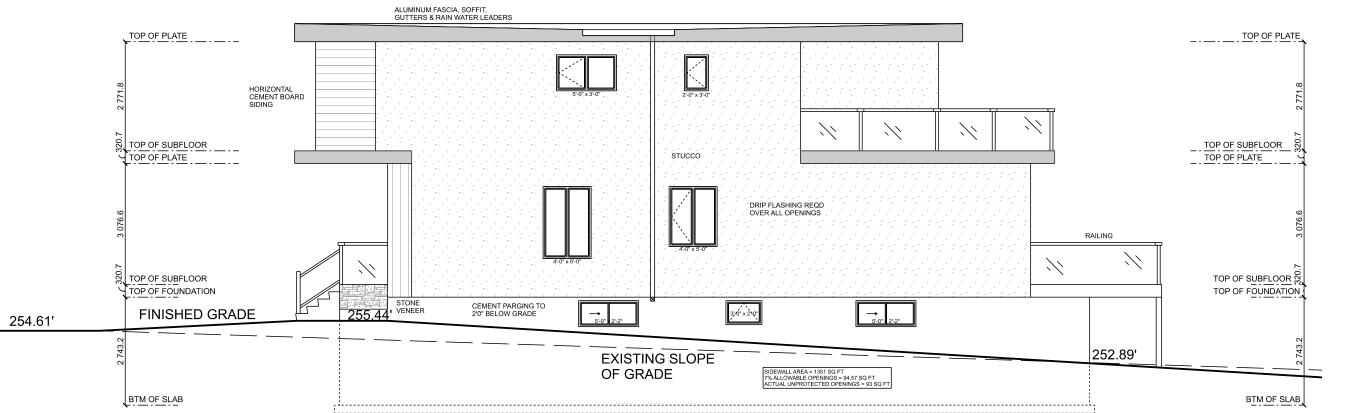
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EAST ELEVATION

SCALE: 1:96



WEST ELEVATION

SCALE: 1:96

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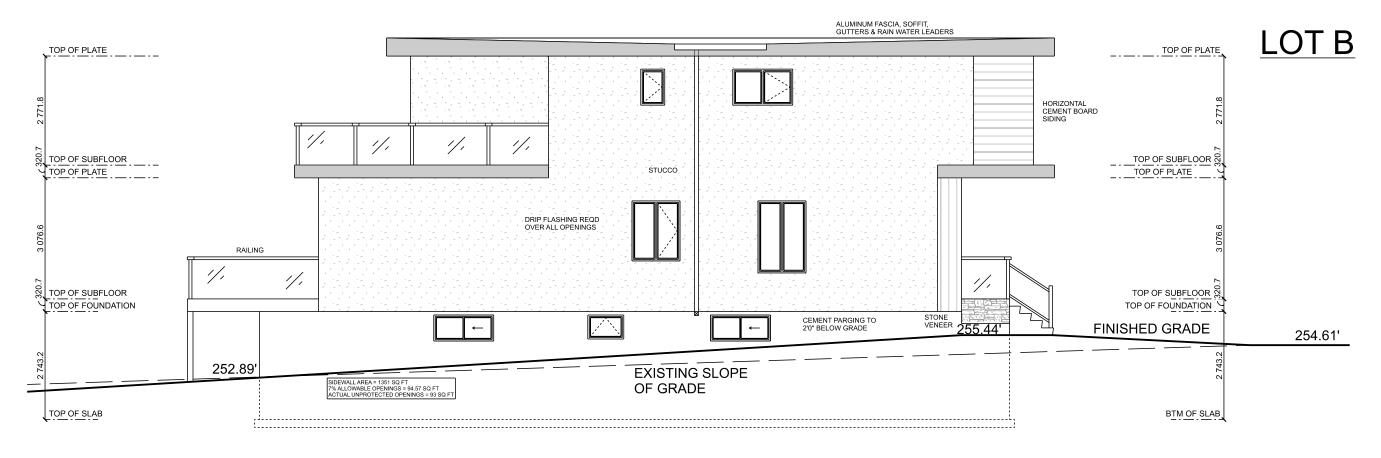
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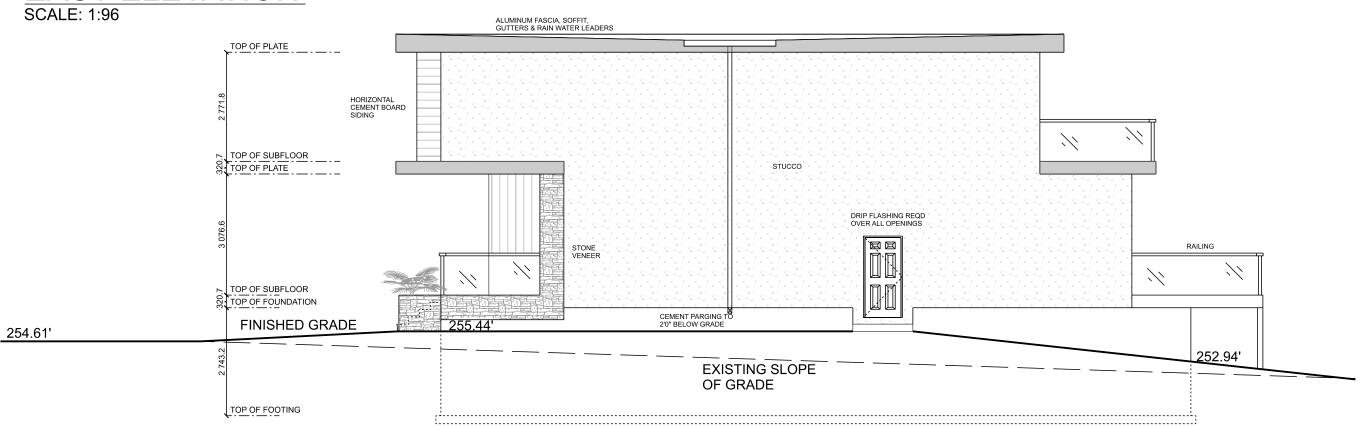
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EAST ELEVATION



WEST ELEVATION

SCALE: 1:96

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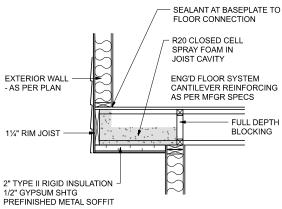
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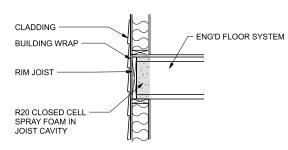
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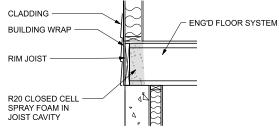
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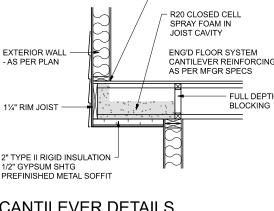
CANTILEVER DETAILS

SCALE: 1:32





JOIST INSULATION DETAIL SCALE: 1:32



TOP OF PLATE

TOP OF SUBFLOOR

TOP OF SUBFLOOR

BTM OF SLAB

OP OF FOUNDATION

TOP OF PLATE

MAIN ROOF

SBS ROOFING 3BS NOOFING 3/4" (19) PLYWOOD ROOF STHG c/w H-CLIPS PRE-ENG'D TRUSSES @ 24" (610) o.c. TRUSS STRAPPING - # OF ROWS PER MANUFACTURERS RECOMMENDATIONS INSULATION STOPS AT EAVES R40 (RSI 7.05) CLOSED CELL SPRAY FOAM INSULATION TO UNDERSIDE OF ROOF SHEATHING 1/2" (13) CD DRYWALL

<u>EAVE</u>

SBS ROOFING EAVE PROTECTION CONT ROOF EDGE DRIP CAP PLYWOOD ROOF SHEATHING PREFINISHED METAL SOFFIT FASCIA AND EAVESTROUGH

EXTERIOR WALL

STUCCO METAL LATH FASTENED TO STUDS BUILDING PAPER 3/8" (9.5) OSB WALL STHG 2x6 (38x140) SPF STUDS @ 16" (406) o.c. R20 (RSI 3.5) BATT INSULATION 6 miL (.15) CGSB POLY V.B. 1/2" (13) DRYWALL

INTERIOR WALL

1/2" (13) DRYWALL 2x4 (38x89) SPF STUDS AT 16" (406) o.c. 1/2" (13) DRYWALL

5 **FOUNDATION WALL**

CEMENT PARGING ABOVE GRADE 8"x108" (200x2740) CONC FOUNDATION WALL c/w 3 ROWS 2-10M REBAR HORIZONTALLY (TOP,MIDDLE & BOTTOM & 1-15M REBAR VERTICALLY @ 24" o.c. (DAMPPROOFING OF EXTERIOR BELOW GRADE) 20"x8" (500x200) CONT CONC FOOTING c/w 2-10M REBÁR

FROST WALL: DAMPPROOFING TO INTERIOR FACE OF FOUNDATION WALL 2x4 (38x89) SPF STUD WALL AT 16" (406) o.c. R12 (RSI 2.1) BATT INSULATION 6 mil (.15) CGSB POLY V.B. 1/2" (13) DRYWALL

MAIN FLOOR

 $\langle 9 \rangle$

FLOOR COVERING 3/8" (9.5) UNDERLAY IN LINO AREAS 3/4" (19) T & G OSB FLOOR SHEATHING **ENGINEERED "I" FLOOR JOISTS** @ 16" (406) o.c. MAX.

CONC SLAB - HOUSE 3" (76) CONCRETE SLAB

6 mil (.15) CGSB POLY V.B 6" (150) MIN CLEAN GRANULAR FILL

UPPER FLOOR over UNCONDITIONED SPACE

 $\langle 10 \rangle$

CROSS SECTION A
SCALE: 1:96

 $\langle 10 \rangle$

FLOOR COVERING 3/8" (9.5) UNDERLAY IN LINO AREAS 3/4" (19) T & G FLOOR SHEATHING GLÙEĎ AND SCREWED TO ENGINEERED "I" FLOOR JOISTS @ 16" (406) o.c. MAX. 6 mil (0.15) CGSB POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS, BELOW FLOOR SHEATHING R28 (RSI 4.9) CLOSED CELL SPRAY FOAM INSULATION IN JOIST CAVITY PREFINISHED METAL SOFFIT

DECK/VERANDAH FLOOR

4

国耳

WATERPROOF DECK MEMBRANE 3/4" (19) PLYWOOD SHEATHING 2x10 (38x235) #2 FLOOR JOISTS @ 16" (406) o.c. 2x10 (38x235) BLOCKING OR 2x2 (19x19) CROSS BRIDGING @ 7'-0" (2134) MAX. BTWN JOISTS 3-2x10 (38x235) B.U. BEAM on 6v6 (140x140) CCA POSTS on CONCRETE PILES - SIZE & DEPTH PER SCHEDULE

DECK/VERANDAH FLOOR ABOVE LIVING SPACE

WATERPROOF DECK MEMBRANE 3/4" (19) PLYWOOD SHEATHING 2x10 (38x235) #2 FLOOR JOISTS @ 16" (406) o.c. 2x10 (38x235) BLOCKING OR 2x2 (19x19) CROSS BRIDGING @ 7'-0" (2134) MAX. BTWN JOISTS R40 (RSI 7.05) CLOSED CELL SPRAY FOAM INSULATION TO UNDERSIDE OF DECK SHEATHING 1/2" (13) CD DRYWALL

ALL POLY TO CONFORM TO CAN/CGSB 51.34-M STANDARD PARTY WALL - HOUSE & SUITE

 $\langle 10 \rangle$

4" (102)WEEPING TILE c/w 6" (152) CRUSHED ROCK OVER

WALL ASSEMBLY NBCC - 9.11.2.1.2 1/2" (13) GYPSUM BOARD RESILIENT METAL CHANNELS 2x6 (38x140) SPF STUDS EACH SPACED 24" (610) o.c. on 2x6 (38x140) SPF TOP AND BOTTOM PLATES 6" (150) BATT INSULATION (ROXUL SAFF'N'SOUND OR FOUAL) 1/2" (13) GYPSUM BOARD

MAIN FLOOR over SUITE & MECHANICAL ROOM FLOOR ASSEMBLY

NBCC - 9.11.2.1.2

EXISTING FLOOR JOISTS & SHTG 6" (150) THICK BATT INSULATION ("ROXUL SAFE 'N SOUND (tm)" STONE WOOL INSULATION or EQUAL) BETWEEN JOISTS RESILIANT METAL CHANNELS @ 24" (610) o.c. 1/2" (13) GYPSUM BOARD - TAPED & MUDDED FOR SMOKE BARRIER (NBCC 9.10.10.4(2)(b)(i))

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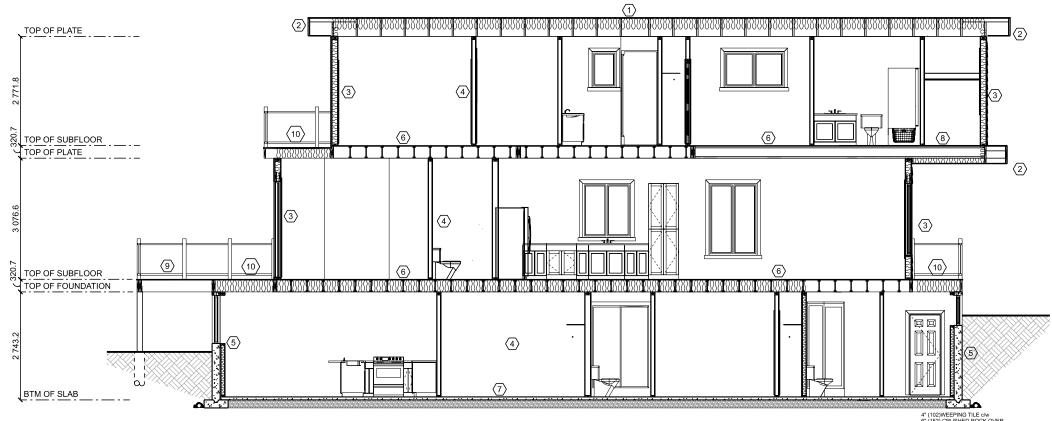
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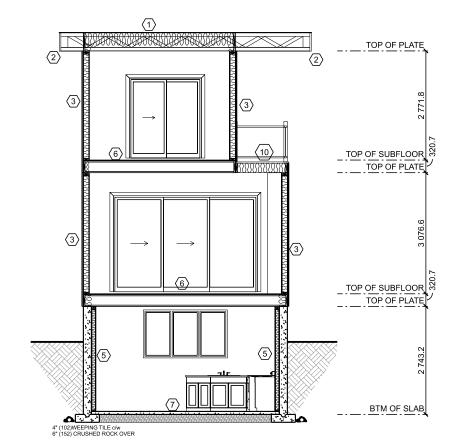
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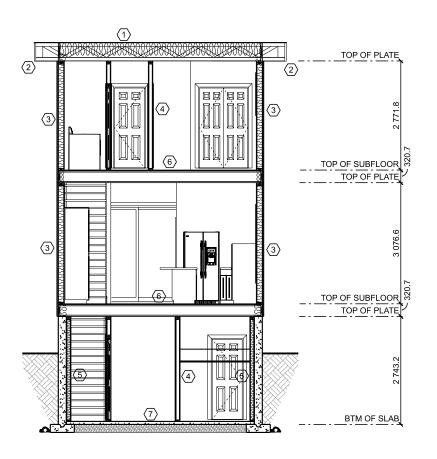


CROSS SECTION B

SCALE: 1:96









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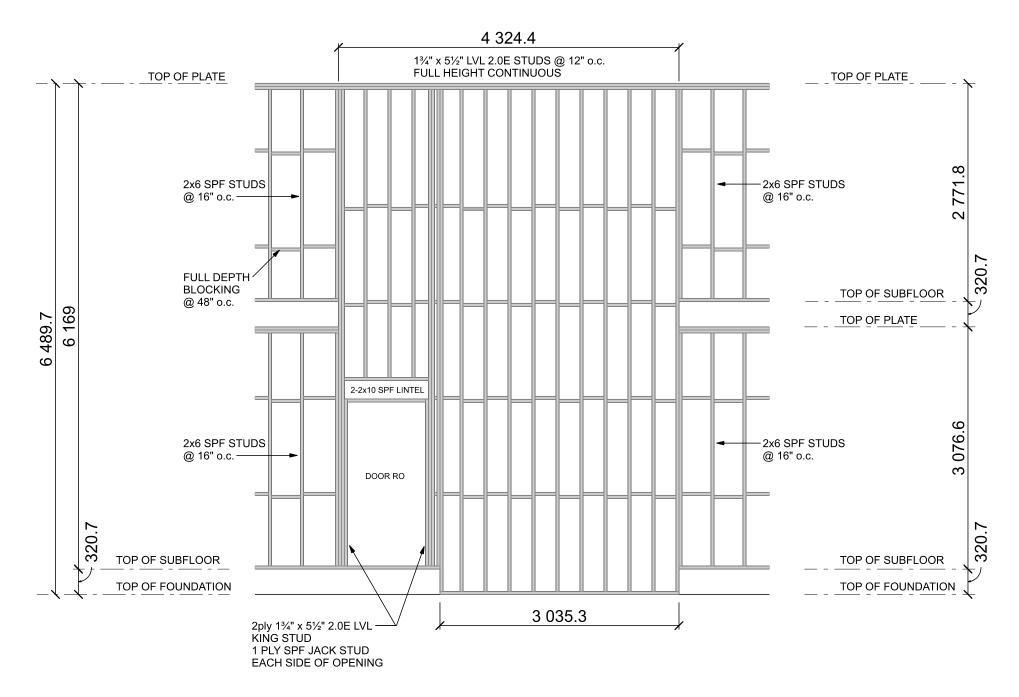
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STAIR WALL FRAMING
SCALE: 1:48

FRAMING NOTES FOR STAIR WALL

1. TALL WALLS TO BE FRAMED 13/4" x 51/2" LVL 2.0E FULL HEIGHT STUDS @ 12" o.c.

2. FULL HEIGHT 2-PLY 1¾" x 5½" 2.0E LVL KING STUDS REQUIRED BOTH SIDES OF OPENINGS IN ADDITION TO REQUIRED JACK STUDS c/w A35 SIMPSON STRONG-TIE FRAMING CLIPS (1/OPENING)

3. CONTRACTOR TO INSTALL ALL LINTELS, JACK STUDS, & CRIPPLES AS REQUIRED. DESIGN BY OTHERS.

4. BLOCKING @ 48" o.c. & AT ALL PANEL JOINTS

5. HURRICANE CLIPS or SIMPSON L 50 CLIPS REQUIRED AT TRUSS TO WALL CONNECTION

6. STUDS REQUIRE MINIMUM OF 4-3 1/4" NAILS IN EACH STUD, END NAILED

7. MIN 1 1/2" (38) RIM BOARD REQUIRED UNDER TALL WALLS. ATTACH BOTTOM PLATE TO RIM BOARD WITH 4 - 3 1/4" (83) NAILS PER JOIST SPACE.

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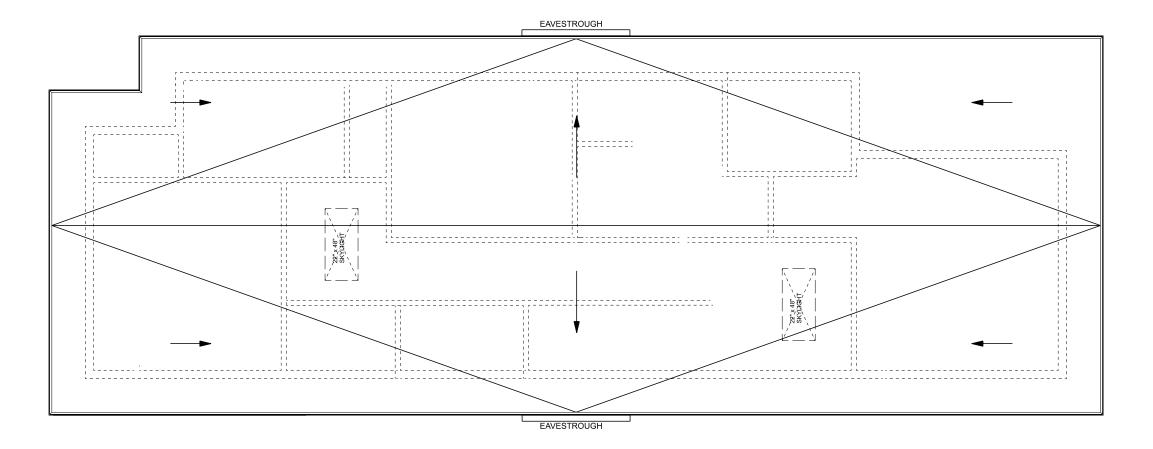
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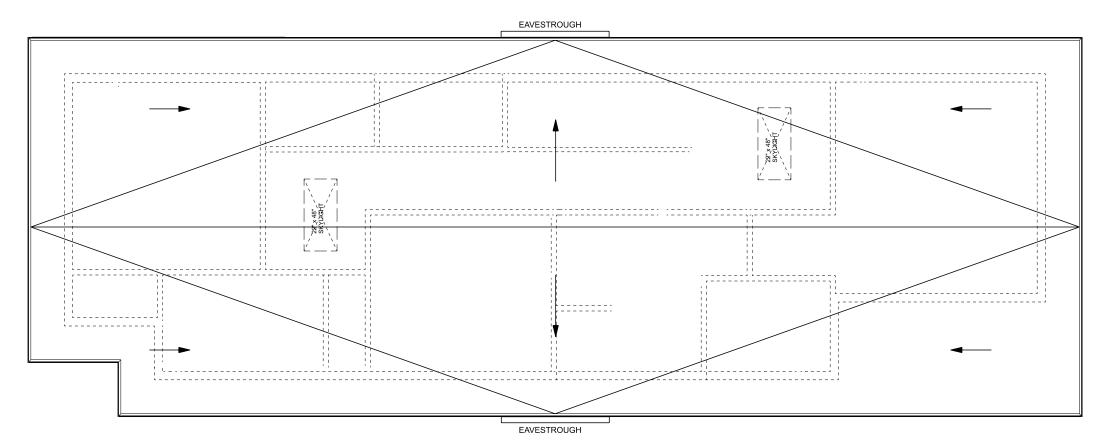
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LOT B





LOT A

ROOF PLAN SCALE: 1:64

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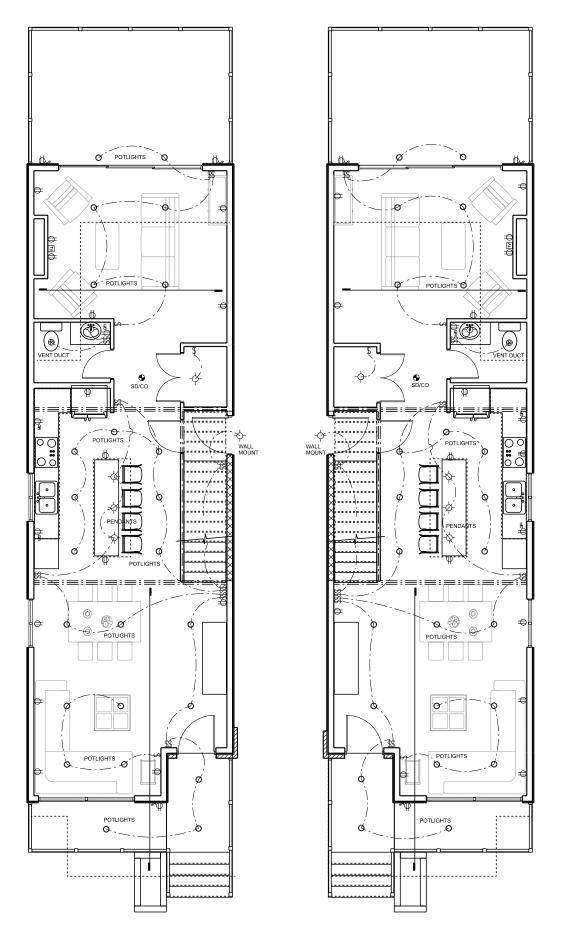
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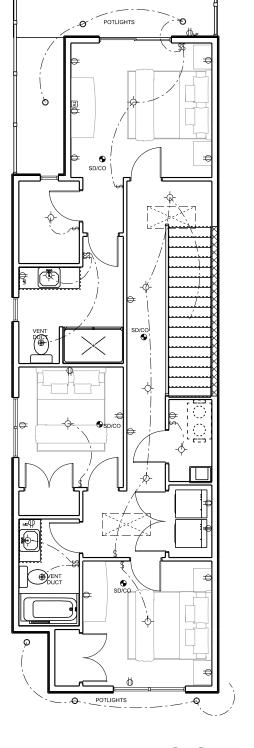
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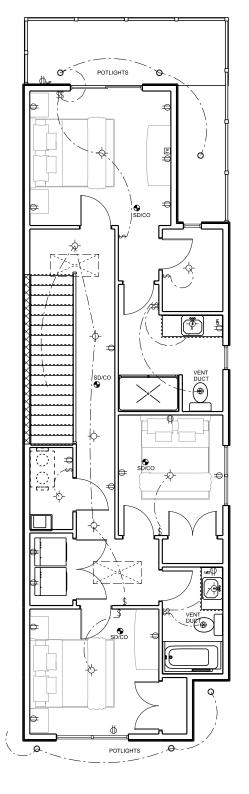
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ELECTRICAL LEGEND		
ELECTRICAL	SYMBOL	
cable tv outlet	TV	
potlight	0	
fan	₩	
light	-	
outlet	Ф	
outlet 220v	•	
outlet gfi	∯a=i	
outlet wp	∰w _P	
smoke/CO detector	•	
switch	\$	
switch double	\$\$	



MAIN FLOOR PLAN - ELECTRICAL SCALE: 1:96





UPPER FLOOR PLAN - ELECTRICAL SCALE: 1:96

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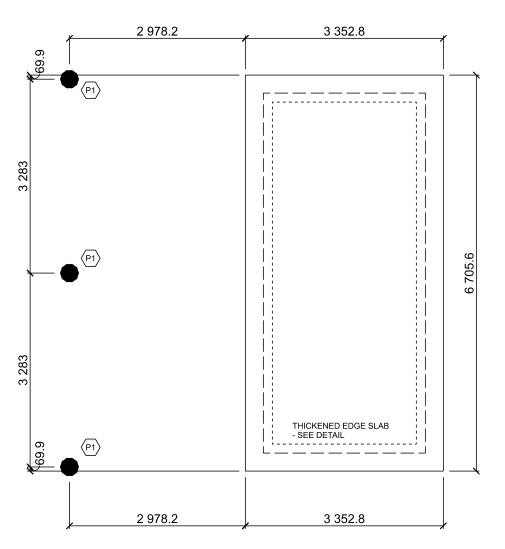
DATE: March 11, 2025

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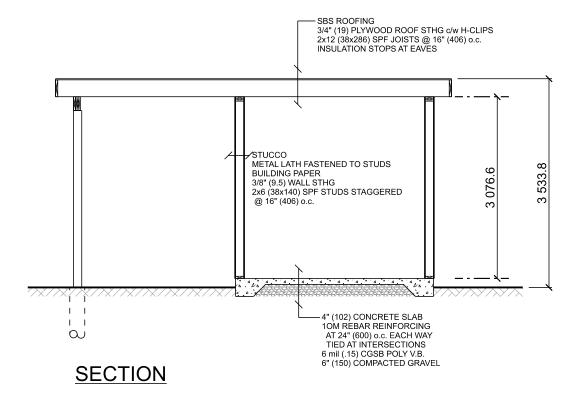
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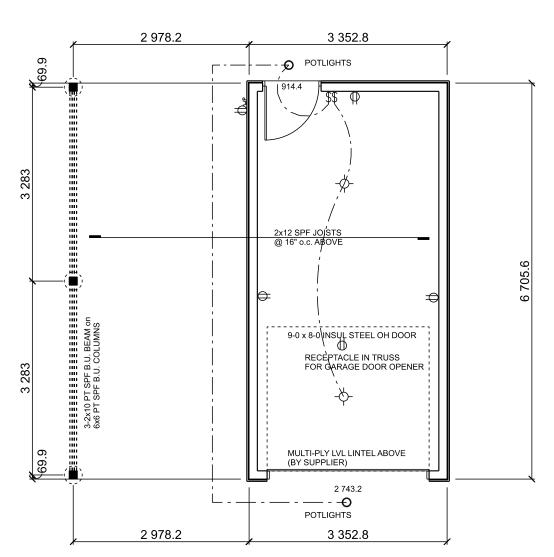
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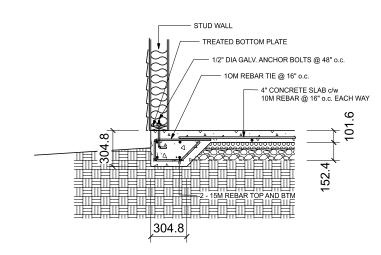


FOUNDATION PLAN





FLOOR PLAN



A THICKENED EDGE DETAIL
SCALE: 1:32

GARAGE_FLOOR PLANS

SCALE: 1:64

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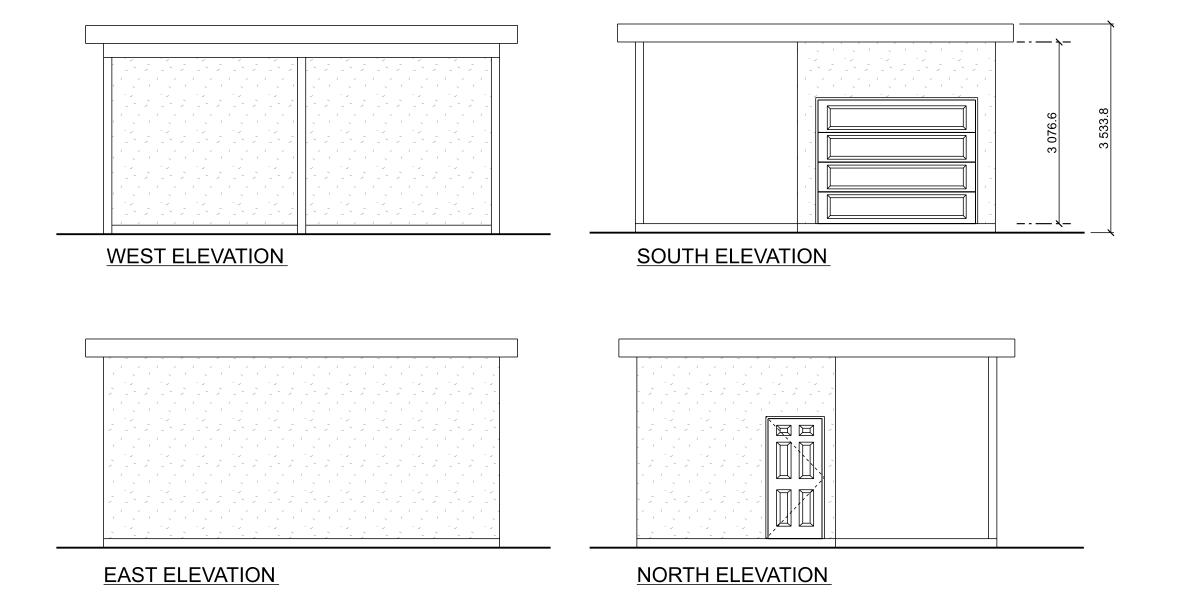
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GARAGE ELEVATIONS

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