



**CITY OF NORTH VANCOUVER
EAST 1ST RESIDENTIAL TOWNHOUSES
REISSUED FOR DEVELOPMENT
PERMIT
APRIL 29, 2025**

Inspired Architecture

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REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
9	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
8	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
7	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
6	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF



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CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

COVER PAGE

DRAWING ISSUE

**REISSUED FOR
DEVELOPMENT PERMIT**

PROJECT NO.	PLOT DATE	DRAWN	SG
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0001	1/4" = 1'-0"		9

ACC	ACCESSIBLE	GB	GRAB BAR
ACFL	ACCESS FLOOR	GBN	GARBAGE BIN
ACT	ACOUSTICAL CEILING TILE	GC	GENERAL CONTRACTOR
AD	AREA DRAIN	GL	GLASS / GLAZING
ADJ	ADJACENT	GRD	GROUND
AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
ALUM	ALUMINIUM	GWG	GEORGIAN WIRE GLASS
ANNP	ANNUNCIATOR PANEL	GYP	GYPSUM
ANOD	ANODIZED		
APPROX	APPROXIMATE	HB	HOSE BIB
ARCH	ARCHITECTURAL	HC	HOLLOW CORE
AUTO	AUTOMATIC	H/C	HANDICAP
AVB	AIR VAPOUR BARRIER	HCW	HOLLOW CORE WOOD
AVM	AIR VAPOUR MOISTURE BARRIER	HD	HANGAR DOOR
		HDR	HEADER
B	BASE	HDWD	HARDWOOD
BF	BIFOLD DOOR	HDWR	HARDWARE
BLDG	BUILDING	HM	HOLLOW METAL
BM	BEAM	HO	HONEY-COMB
B/O	BOTTOM OF	HOR	HORIZONTAL
BOL	BOLLARD	HR	HOUR
BUR	BUILT UP ROOFING	HSKG	HOUSEKEEPING
		HSS	HOLLOW STEEL SECTION
CAB	CABINET	HT	HEIGHT
CB	CATCH BASIN	HVAC	HEATING / VENTING / AIR CONDITIONING
CD	COILING DOOR	HVY	HEAVY
CG	CORNER GUARD	HW	HOT WATER
CIP	CAST IN PLACE		
CJ	CONTROL JOINT	ID	INSIDE DIAMETER
CL	CENTRE LINE	INFO	INFORMATION
CLG	CEILING	INSUL	INSULATION
CLR	CLEARANCE	INT	INTERIOR
CMP	COMPOSITE METAL PANEL	IMP	INSULATED METAL PANEL
CMU	CONCRETE MASONRY UNIT	ISO	POLYISOCYANURATE
COL	COLUMN		
COM	CUSTOMERS OWN MATERIAL	JAN	JANITOR CLOSET
CONC	CONCRETE		
CONST	CONSTRUCTION	KIT	KITCHEN
CONT	CONTINUOUS		
CORR	CORRIDOR	L	LENGTH
CPT	CARPET	LAV	LAVATORY
CPT-T	CARPET TILE	LINO	LINOLEUM
CS	COUNTER SHUTTER	LL	LIVE LOAD
CT	CERAMIC TILE	LVR	LOUVER
CW	CURTAIN WALL		
CW	COMPLETE WITH	m	METER
		MATL	MATERIAL
DCRON	DURACRON	MAX	MAXIMUM
DD	DOUBLE SWING DOOR	MECH	MECHANICAL
DEG	DEGREES	MED	MEDIUM
DEMO	DEMOLITION	MEL	MELAMINE
DF	DRINKING FOUNTAIN	MEP	MECHANICAL, ELECTRICAL AND PLUMBING
DIA	DIAMETER	MEZZ	MEZZANINE
DIM	DIMENSION	MF	MINERAL FIBRE
DL	DEAD LOAD	MFR	MANUFACTURER
DN	DOWN	MH	MANHOLE
DNAR	DURANAR	MIN	MINIMUM
DP	DEPTH	MISC	MISCELLANEOUS
DR	DOOR	MLDG	MOULDING
DW	DISH WASHER	MLWK	MILLWORK
DWG	DRAWING	mm	MILLIMETER
		MP	METAL PANEL
EA	EACH	MTD	MOUNTED
EJ	EXPANSION JOINT	MTL	METAL
EL	ELEVATION		
ELEC	ELECTRICAL	N/A	NOT APPLICABLE
ELEV	ELEVATOR	NF	NO FRAME (FRAMELESS)
EP	ELECTRICAL PANEL	NIC	NOT IN CONTRACT
EPDM	ETHYLENE PROPYLENEDIENE M-CLASS (ROOFING)	No.	NUMBER
EPX	EPOXY	NTS	NOT TO SCALE
EQ	EQUAL		
ES	EMERGENCY SHOWER	O/C	ON CENTRE
EXIST	EXISTING	OD	OUTSIDE DIAMETER
EXP	EXPOSED	OH	OVERHEAD DOOR
EXP-S	EXPOSED STRUCTURE	O/H	OVERHEAD
EXT	EXTERIOR	OPNG	OPENING
EWS	EYE WASH STATION	OPP	OPPOSITE
		OS	OWNER SUPPLIED
F	FRAME	OWSJ	OPEN WEB STEEL JOIST
FAAP	FIRE ALARM ANNUNCIATOR PANEL		
FAB	FABRIC	P	PAINT (colour)
FC	FLASH COVE	PC	POWDER COAT
FD	FLOOR DRAIN	P.CONC	POLISHED CONCRETE
FDN	FOUNDATION	PD	PLANTER DRAIN
FE	FIRE EXTINGUISHER	PERP	PERPENDICULAR
FFE	FINISH FLOOR ELEVATION	PH	PHASE
FF&E	FURNITURE FIXTURES & EQUIPMENT	PL	PROPERTY LINE
FHC	FIRE HOSE CABINET	PLAM	PLASTIC LAMINATE
FLR	FLOOR	PLYWD	PLYWOOD
F/O	FACE OF	PO	POLYSTYRENE
FOC	FACE OF CONCRETE	POLY	POLYETHYLENE
FOG	FACE OF GLAZING	POLY-U	POLYURETHANE
FOS	FACE OF STUD	PREFAB	PREFABRICATED
FP	FRAME PROTECTION	PREFIN	PREFINISHED
FRR	FIRE RESISTANCE RATING	PS	PRESSED STEEL
FT	FOOT/FEET	PSFR	PRESSED STEEL FRAME
		PT	PRESSURE TREATED
G ()	GLASS (type)	PTD	PAINTED
GA	GAUGE		
GALV	GALVANIZED	QT	QUARRY TILE

R	RADIUS
R/A	RETURN AIR
RB	RUBBER BASE
RCP	REFLECTED CEILING BASE
RD	ROOF DRAIN
RE	REVOLVING DOOR
REINF	REINFORCED
REF	REFERENCE
REFR	REFRIGERATOR
REQD	REQUIRED
RES	RESILIENT FLOORING
REV	REVISION
RM	ROOM
RO	ROLLING DOOR
RR	RAPID ROLL DOOR
RSF	RESILIENT SHEET FLOORING
RUB	RUBBER
RWL	RAINWATER LEADER

S/A	SUPPLY AIR
SAM	SELF-ADHERED MEMBRANE
SC	SOLID CORE
SCW	SOLID CORE WOOD
SD	SINGLE SWING DOOR
SF	SQUARE FEET
SFL	SAFETY FLOOR
SG	STRUCTURAL GLAZING
SHT	SHEET
SIA	SIAMESE CONNECTION
SIM	SIMILAR
SL	SLIDING DOOR
SMC	STEEL METAL CARRIER
SOG	SLAB ON GRADE
SP	STAND PIPE
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
SSM	SOLID SURFACING MATERIAL
ST	STONE
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED

TBD	TO BE DETERMINED
TD	TRENCH DRAIN
TEL	TELEPHONE
TEMP	TEMPORARY
TERR	TERRAZZO
T/O	TOP OF
TOC	TOP OF CURB
TOF	TOP OF FLOOR
TOS	TOP OF STEEL
TPO	THERMOPLASTIC POLYOLEFIN
TS	TRANSITION STRIP
TSG	TEMPERED SAFETY GLASS
TYP	TYPICAL

U/G	UNDER GROUND
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE

V	VENEER
VB	VAPOUR BARRIER
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD

W	WIDTH
WC	WALL COVERING
W/C	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WP	WATERPROOF
WPR	WALL PROTECTION
WRM	WASHROOM
WV	WOOD VENEER

X-HVY	EXTRA HEAVY
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Sheet Number	Sheet Name	Revision	Date
A0001	COVER PAGE	9	2025-04-29
A0002	DRAWING LIST ABBREVIATION	5	2025-04-15
A0003	AREA SCHEDULES & ANALYSIS	10	2025-04-15
A0004	AREA CATEGORY LIVING SPACE SCHEDULE	9	2025-04-15
A0004.1	AREA CATEGORY- OUTDOOR SPACE SCHEDULE	6	2025-04-15
A0005	CONTEX PLAN-ACCESSIBILITY ANALYSIS	1	2025-04-29
A0006	CONTEX PLAN-USE ANALYSIS	1	2025-04-29
A0007	STREETSCAPE VIEW	1	2025-04-29
A0008	CONTEXT ELEVATION	2	2023-05-02
A0009	3D VIEW-1	1	2025-04-29
A0010	3D VIEW-2	1	2025-04-29
A0011	3D VIEW-3	1	2025-04-29
A0012	SHADOW STUDY- 10 AM	2	2023-05-02
A0013	SHADOW STUDY- 12 PM	2	2023-05-02
A0014	SHADOW STUDY-2 PM	2	2023-05-02
A0101	SITE PLAN	12	2025-04-29
A0102	SITE PLAN - GRADING	7	2025-04-29
A0201	BLDG-A&B CELLAR	11	2025-04-29
A0201.1	BLDG-A&B CELLAR-DIM	3	2025-04-15
A0202	BLDG-A&B LEVEL 1	10	2025-04-29
A0202.2	BLDG-A&B LEVEL 1-DIM	3	2025-04-15
A0203	BLDG-A&B LEVEL 2	8	2025-04-15
A0203.1	BLDG-A&B LEVEL 2-DIM	3	2025-04-15
A0204	BLDG-A&B LEVEL 3	7	2025-04-15
A0204.1	BLDG-A&B LEVEL 3-DIM	3	2025-04-15
A0205	BLDG-A&B ROOF	7	2025-04-15
A0220	BLDG-A&B CELLAR AREA OVERLAY	6	2025-04-15
A0221	BLDG-A&B LEVEL 1 AREA OVERLAY	6	2025-04-15
A0222	BLDG-A&B LEVEL 2 OVERLAY	5	2025-04-15
A0223	BLDG-A&B LEVEL 3 AREA OVERLAY	5	2025-04-15
A0224	BLDG-A&B ROOF OVERLAY	4	2025-04-15
A0401	BLDG A-ELEVATIONS-SOUTH & NORTH	8	2025-04-29
A0402	BLDG-B-ELEVATION-SOUTH & NORTH	9	2025-04-15
A0403	BLDG-A&B-ELEVATION-EAST	9	2025-04-29
A0404	BLDG-A&B-ELEVATION-WEST	9	2025-04-29
A0501	BLDG A&B-SECTIONS	8	2025-04-15
A0502	BLDG A&B-SECTIONS	7	2025-04-29
A0503	ACCESSORY BUILDINGS SECTION	8	2025-04-29
A0510	BLDG A-TYPICAL UNIT 3D SECTION	5	2025-04-15
A0511	BLDG B-TYPICAL UNIT 3D SECTION	5	2025-04-15
A1601	3D VIEWS	6	2025-04-15
Grand total: 41			

REV	DATE	DESCRIPTION	BY
5	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
4	2025-01-08	ISSUED FOR 66% BP PROGRESS REVIEW	AF
3	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

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PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

**DRAWING LIST
ABBREVIATION**

DRAWING ISSUE

**ISSUED FOR 99% BP
PROGRESS REVIEW**

PROJECT NO.	20236	PLOT DATE	APRIL 29, 2025	DRAWN	AF
		SCALE		REVIEWED	SG
DRAWING NO.	A0002			REVISION	5

BLDG A&B-AREA CATEGORY SCHEDULE (OUTDOOR SPACE)

Table with 8 columns: Level, Mark, Dimension X, Dimension Y, Area, Gross Area Category, Description, Area Category. Includes categories: Patio, Service, Garage, Porch, Sun Deck, Roo Deck.

BLDG A&B-AREA CATEGORY SCHEDULE (OUTDOOR SPACE)

Table with 8 columns: Level, Mark, Dimension X, Dimension Y, Area, Gross Area Category, Description, Area Category. Includes categories: Patio, Porch, Balcony, Sun Deck, Covered Deck, Roof Deck.

Empty table grid.

Revision table with columns: REV, YYYY-MM-DD, REVISION / DRAWING ISSUE, REVIEW.

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PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
AREA CATEGORY- OUTDOOR
SPACE SCHEDULE

DRAWING ISSUE
REISSUED FOR
DEVELOPMENT PERMIT

Project information table with columns: PROJECT NO., PLOT DATE, DRAWN, REVIEWED, CHECKER, REVISION.



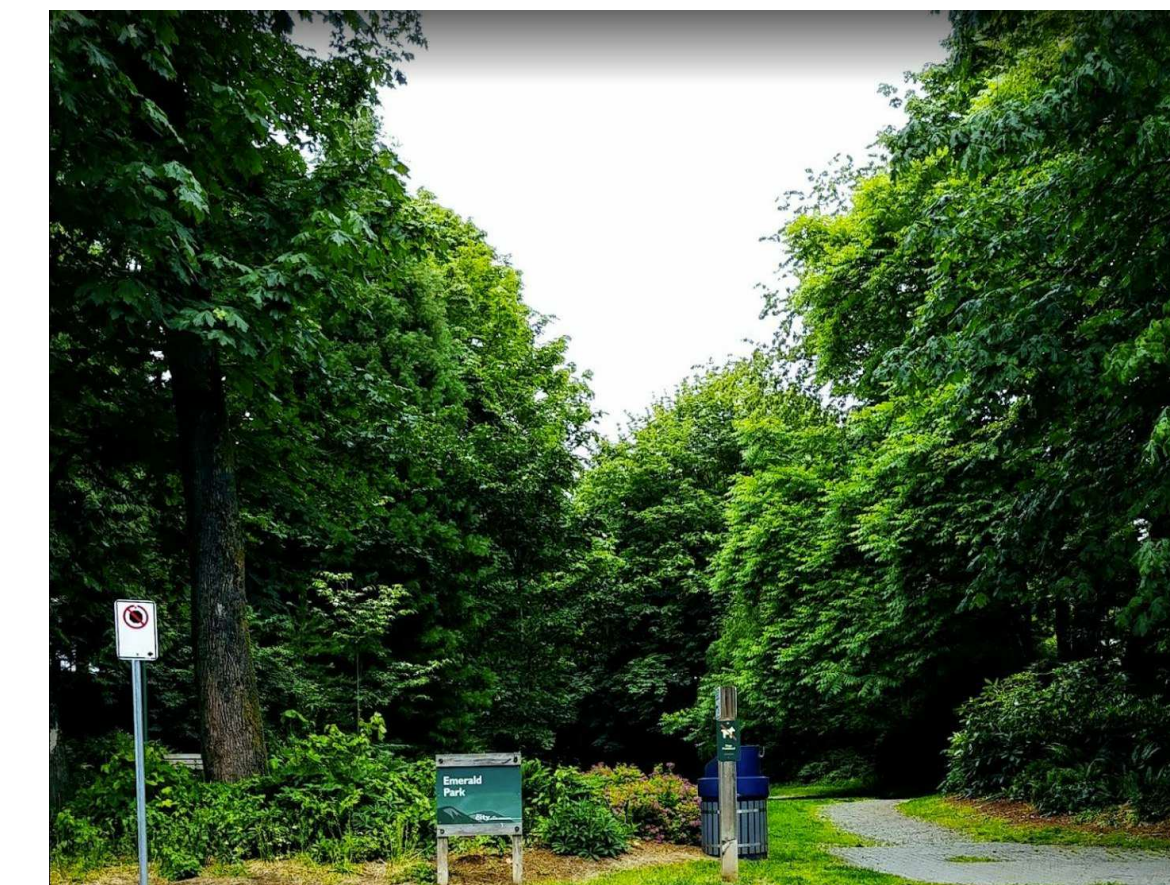
LOCAL RESTAURANT



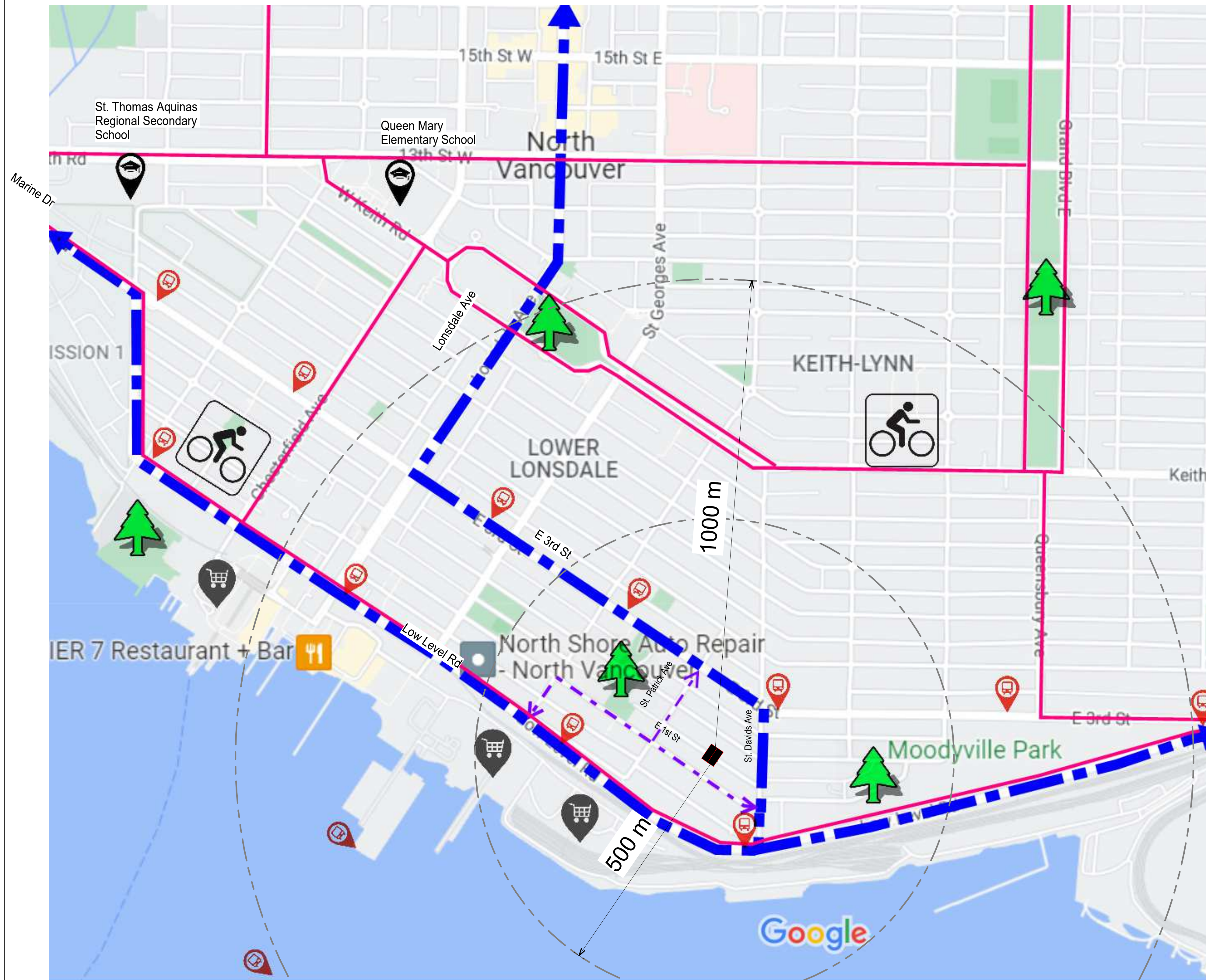
QUEEN MARY ELEMENTARY SCHOOL







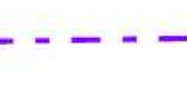


LOCAL MARKET



EMERALD PARK



-  Subject Project
-  Park
-  Bike Route
-  Market
-  Bus Stop
-  Vehicle's Accessibility In District
-  Pedestrian's Accessibility In District

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT			
EAST 1ST STREET			
452,454,456,458 EAST 1ST STREET NORTH VANCOUVER BC.			

DRAWING TITLE			
CONTEX PLAN-ACCESSIBILITY ANALYSIS			
DRAWING ISSUE			
REISSUED FOR DEVELOPMENT PERMIT			

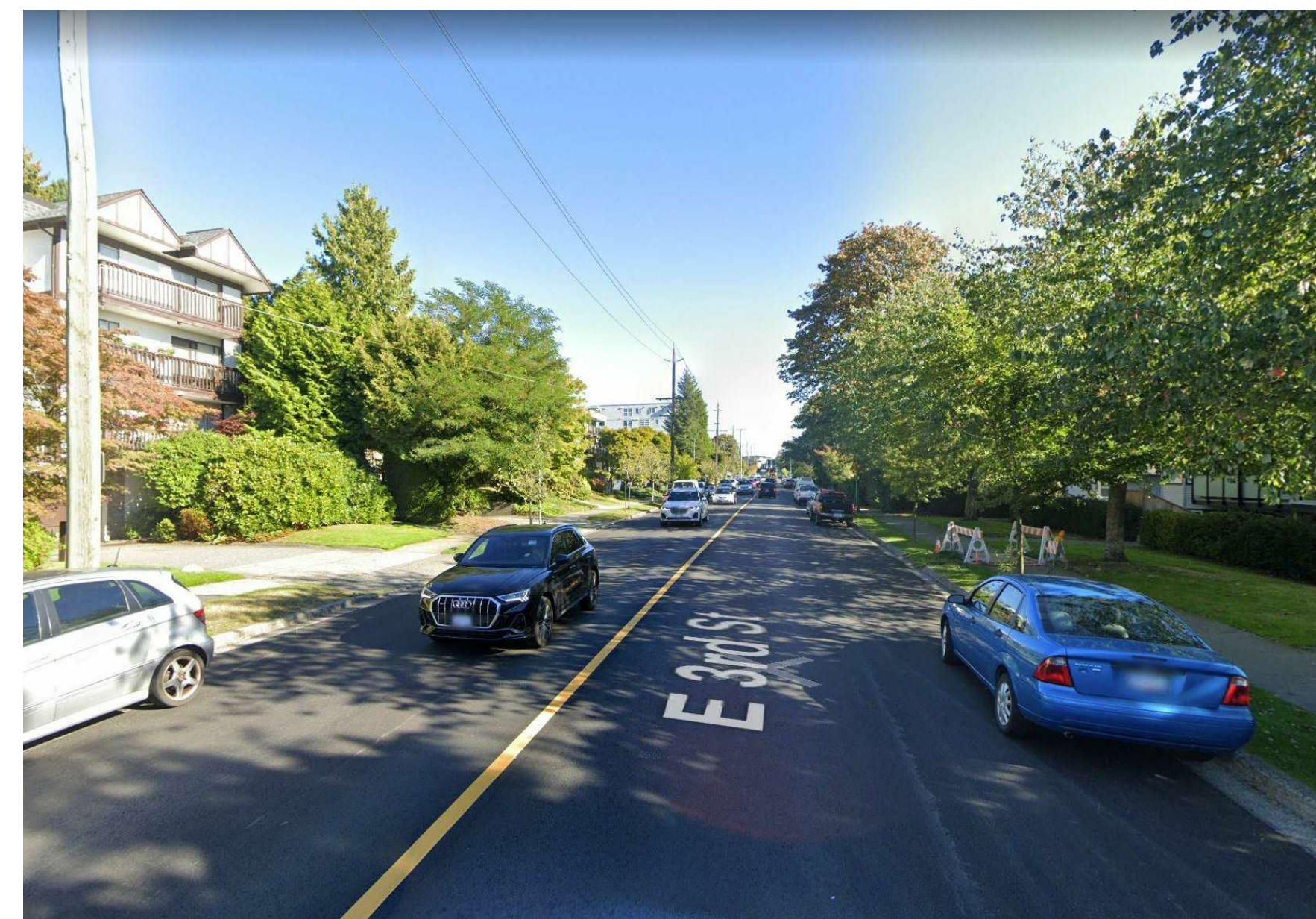
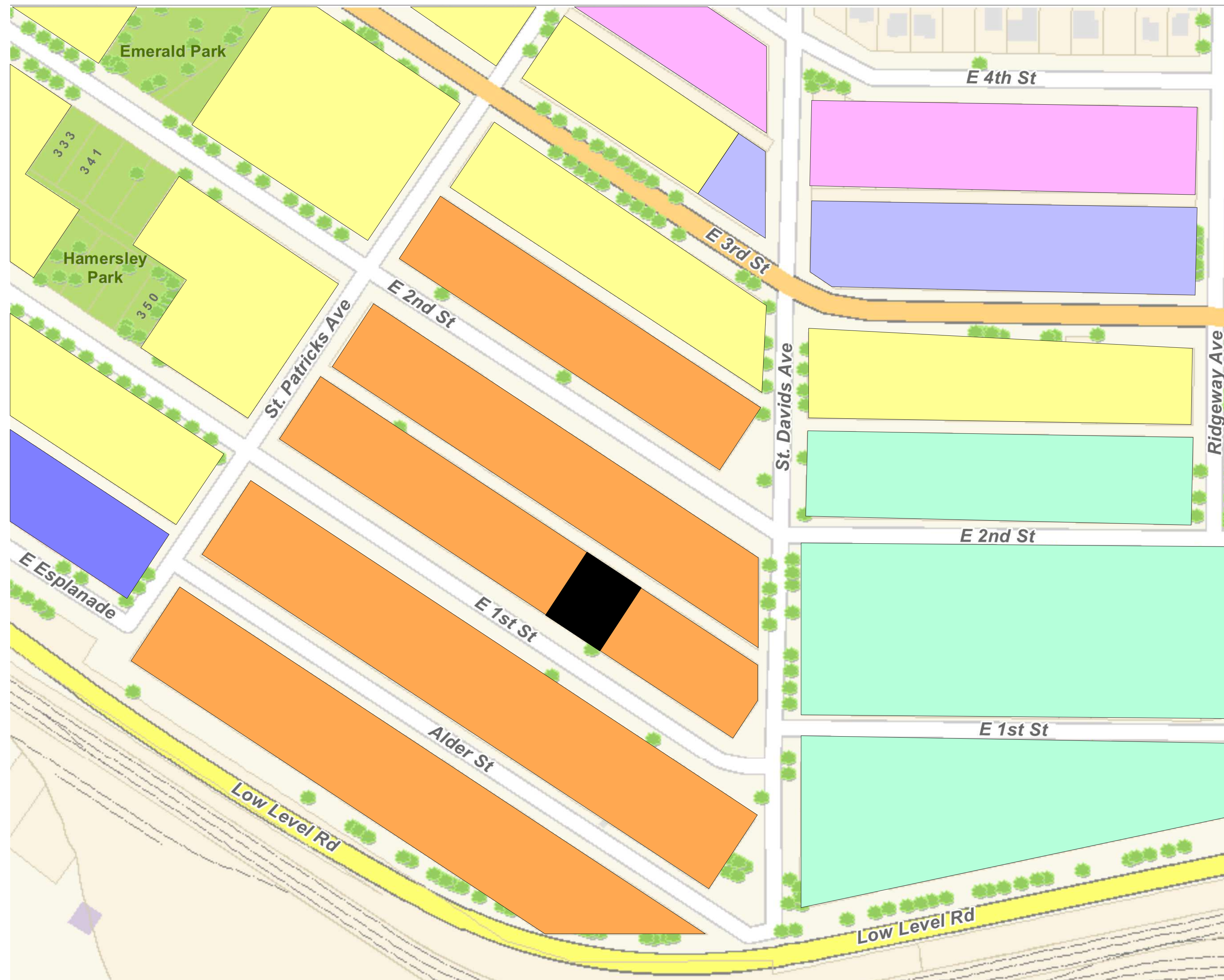
PROJECT NO.	PLOT DATE	DRAWN	SG
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0005	As indicated		1



ADJACENT MULTIFAMILY



COMMERCIAL HIGHRISES



ADJACENT STREET

- Subject Project
- Residential Level 4A
- Mixed Employment
- Residential Level 5
- Residential Level 4B
- Mixed use Level 2
- Residential Level 2

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT

EAST 1ST STREET

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NORTH VANCOUVER BC.

DRAWING TITLE

CONTEX PLAN-USE ANALYSIS

DRAWING ISSUE

REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	SG
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
	1" = 400'-0"		

A0006

1



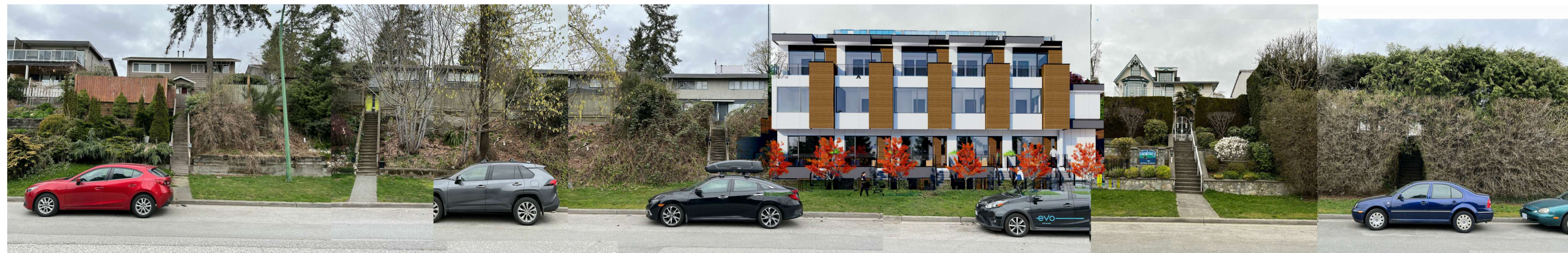
EXISTING STREETScape VIEW-NORTH1
 SCALE: 1 : 6



PROPOSED STREETScape VIEW-NORTH1
 SCALE: 1 : 6



EXISTING STREETScape VIEW-SOUTH1
 SCALE: 1 : 6



PROPOSED STREETScape VIEW- SOUTH1
 SCALE: 1 : 6

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
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PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
 NORTH VANCOUVER BC.

DRAWING TITLE

STREETScape VIEW

DRAWING ISSUE

REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	Checker
A0007	1 : 6		REVISION
			1



1
A0008
**BLDG-A ELEVATION_SOUTH C/W ADJACENT
CONTEXT**
SCALE: 1/8" = 1'-0"



2
A0008
**BLDG-B ELEVATION_NORTH -C/W ADJACENT
CONTEXT**
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

REV	DATE	DESCRIPTION	BY

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PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

CONTEXT ELEVATION

DRAWING ISSUE

REISSUED FOR ADP REVIEW

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	Checker
A0008	1/8" = 1'-0"		
			REVISION
			2

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3D VIEW-BLDG A SW CORNER



3D VIEW-BLDG A SE CORNER



3D VIEW-BLDG B NE CORNER



3D VIEW-BLDG B NW CORNER

NO.	DATE	DESCRIPTION	BY

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
3D VIEW-1

DRAWING ISSUE
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PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker
DRAWING NO.	A0009		1

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3D VIEW-BLDG A SOUTH ELEVATION



3D VIEW-BLDG B NORTH ELEVATION



3D VIEW-BLDG A NE CORNER



3D VIEW-BLDG B SE CORNER

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
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PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
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DRAWING TITLE
3D VIEW-2

DRAWING ISSUE
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20236	APRIL 29, 2025	REVIEWED	Checker
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A0010			1

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3D VIEW-BLDG A SW LOCK-OFF ENTRIES



3D VIEW-BLDG A SE LOCK-OFF ENTRIES



3D VIEW-BLDG B NE LOCK-OFF ENTRIES



3D VIEW-BLDG A&B COURTYARD

1	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
 NORTH VANCOUVER BC.

DRAWING TITLE

3D VIEW-3

DRAWING ISSUE

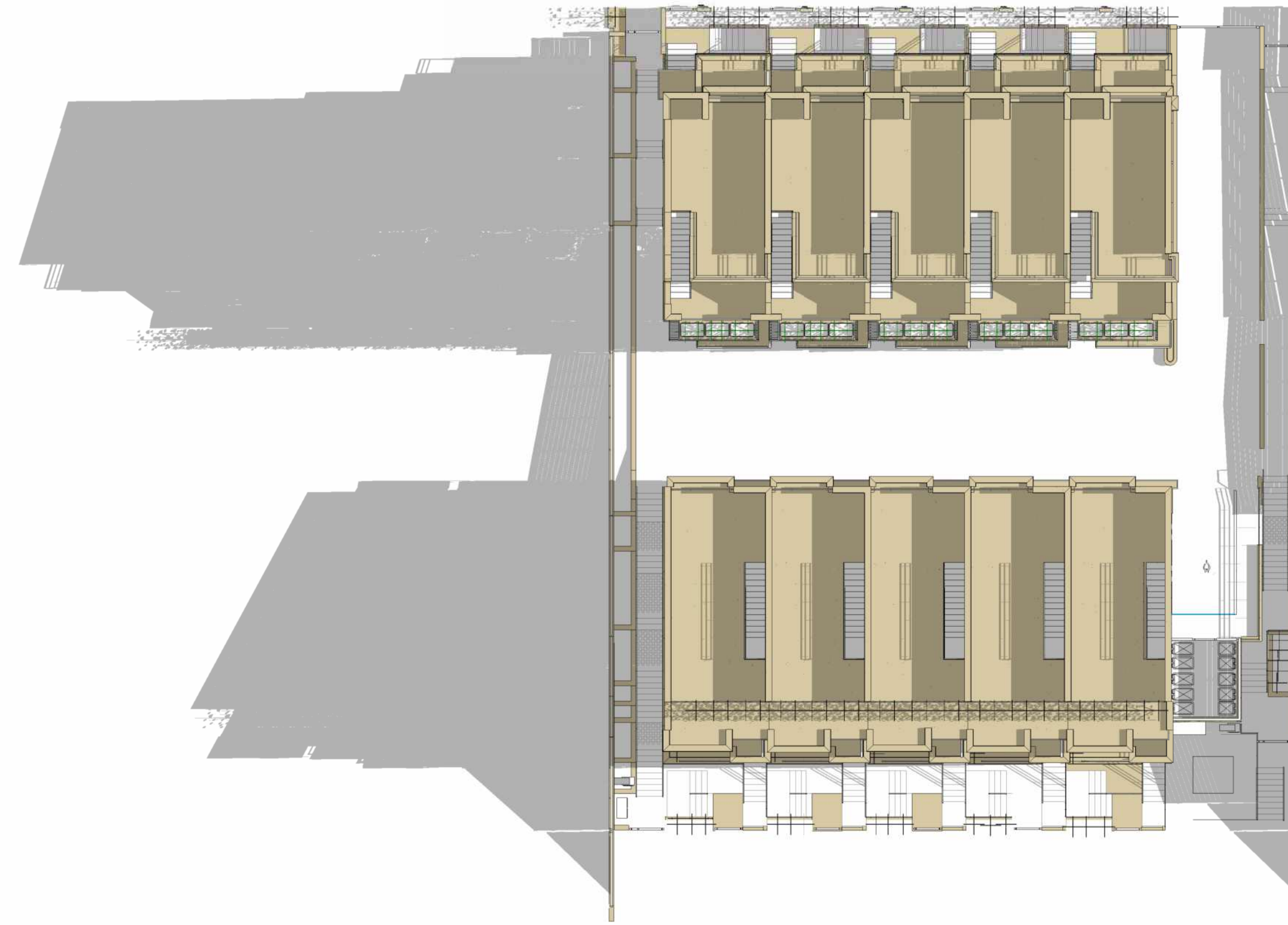
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	20236	PLOT DATE	APRIL 29, 2025	DRAWN	Author
DRAWING NO.	A0011	SCALE		REVIEWED	Checker
				REVISION	1

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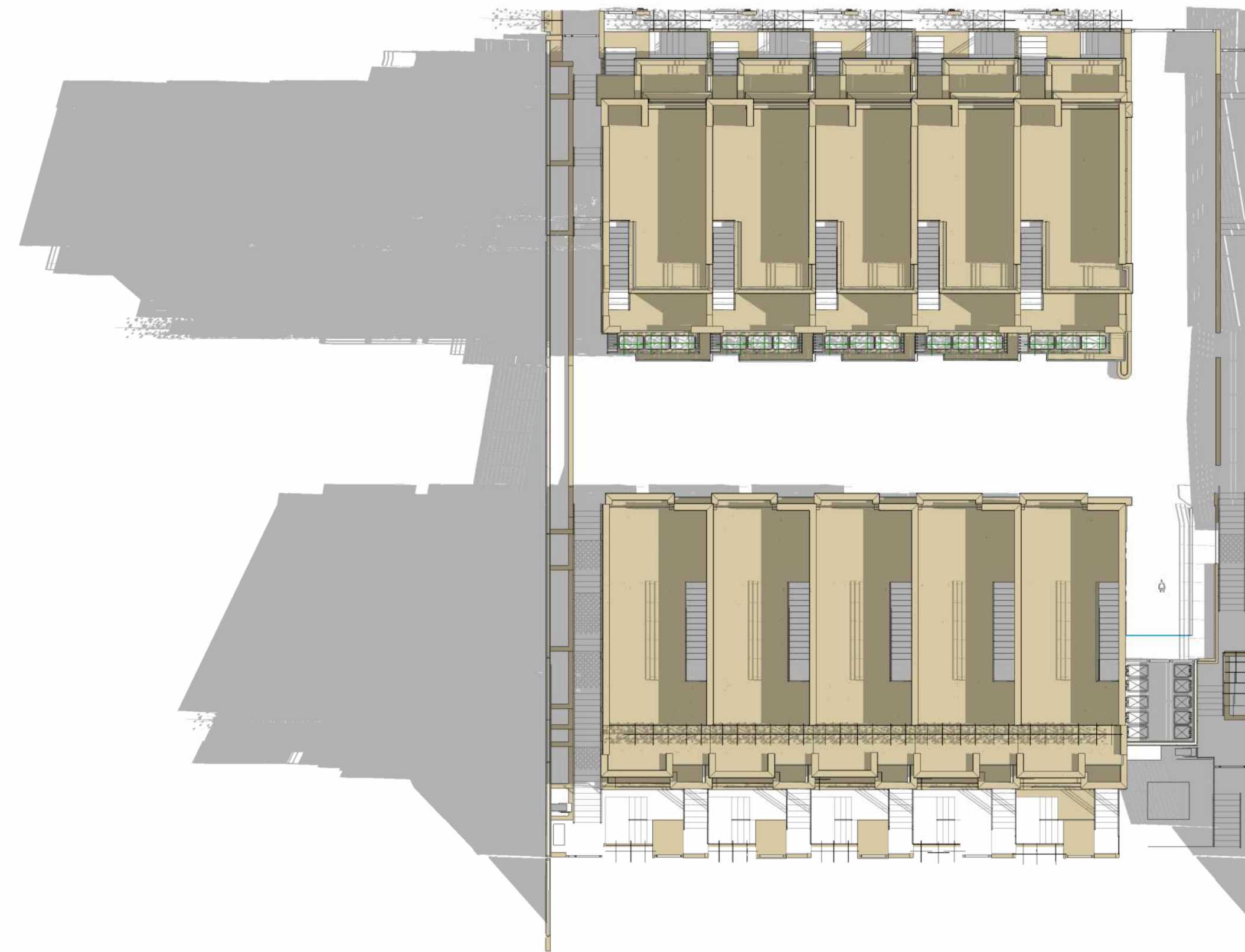
THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS TO VERIFY
DIMENSIONS AND DATA NOTED HEREIN PLANS, ELEVATIONS, SECTIONS AND
SCHEDULES WITH THE CONDITIONS ON SITE AND IS RESPONSIBLE FOR
REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR
ADJUSTMENT.



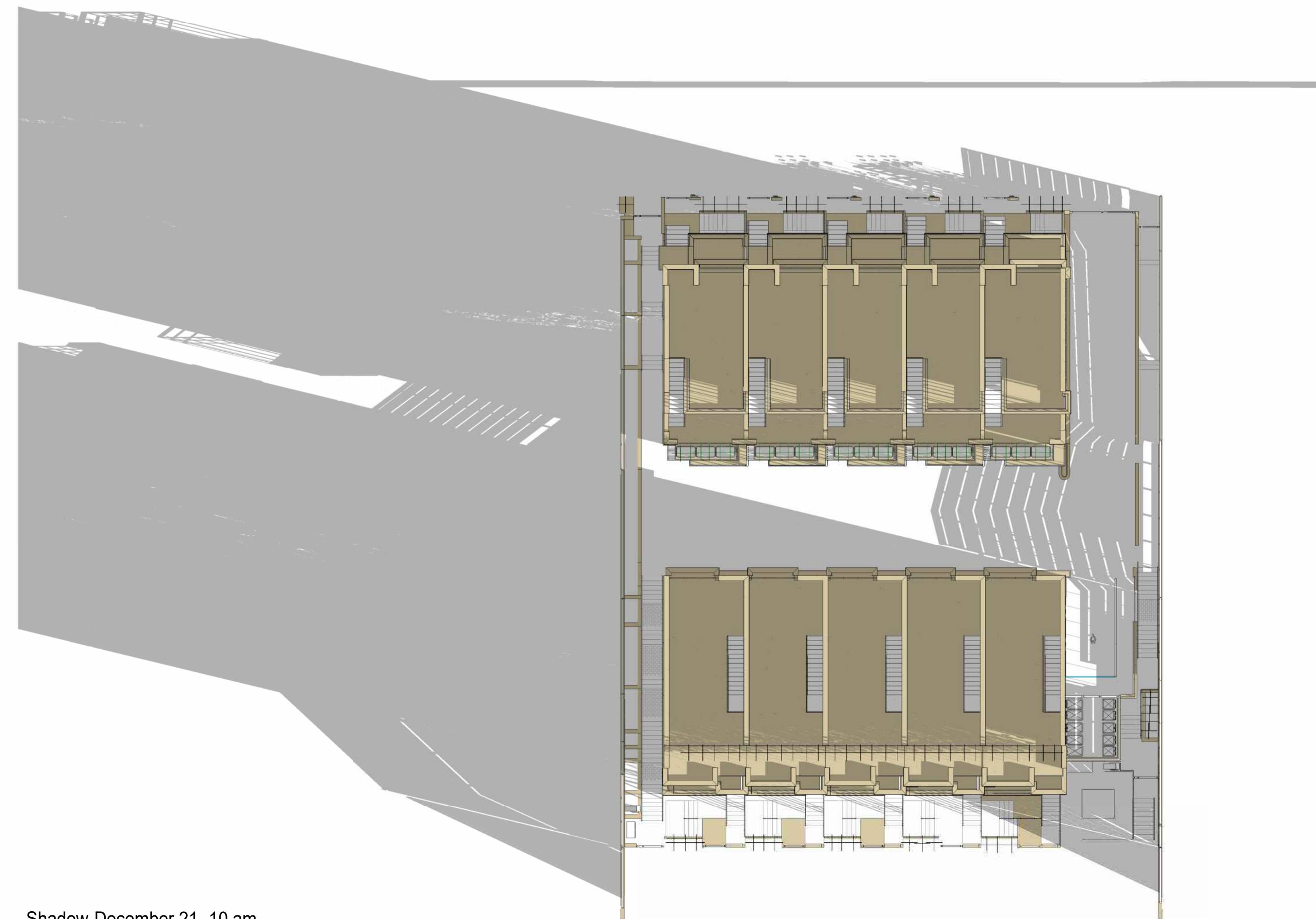
Shadow-March 21- 10 am
SCALE:



Shadow-June 21- 10 am
SCALE:



Shadow-September 21- 10 am
SCALE:



Shadow-December 21- 10 am
SCALE:

2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

SHADOW STUDY- 10 AM

DRAWING ISSUE

REISSUED FOR ADP REVIEW

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker

DRAWING NO.	2
A0012	2



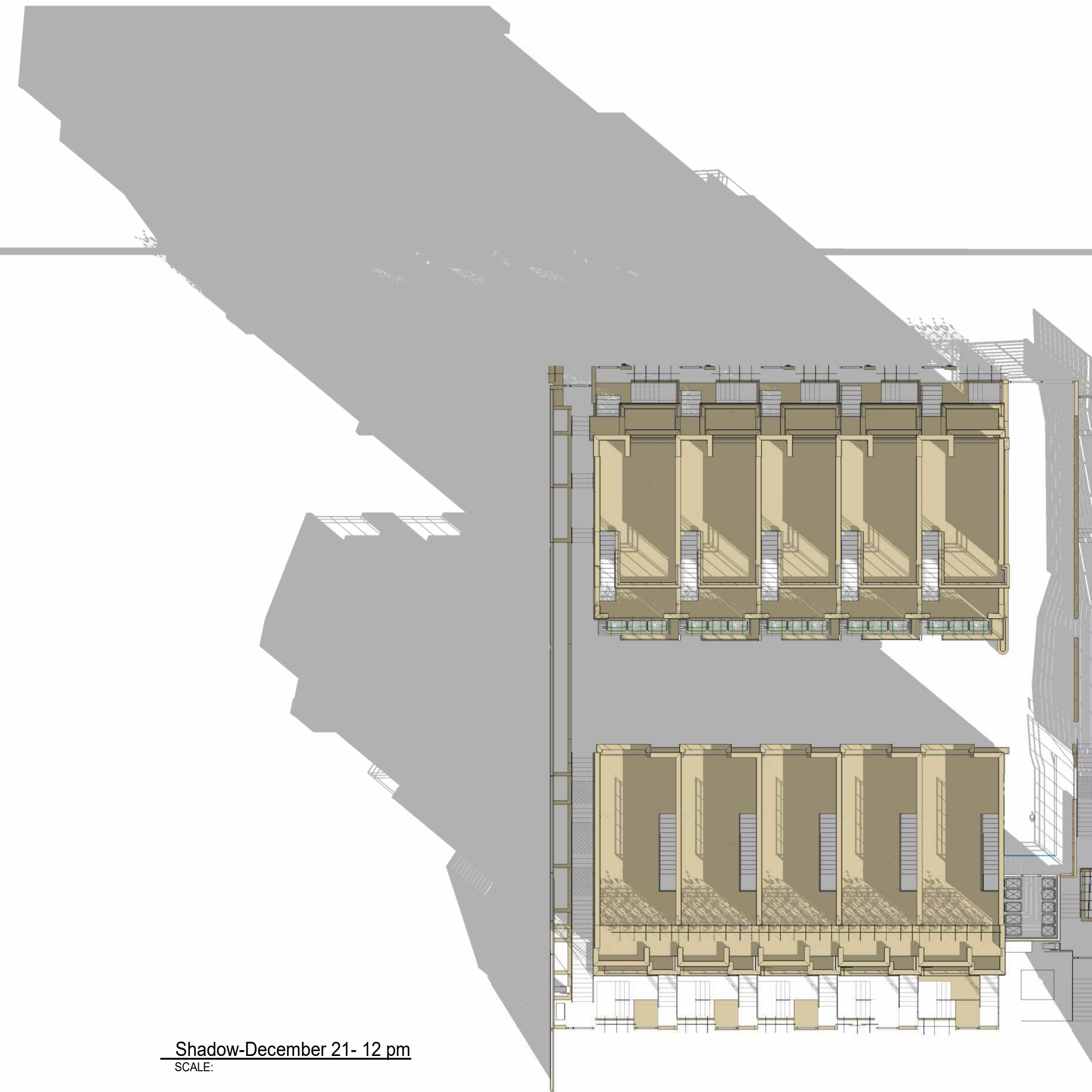
Shadow-March 21- 12 pm
SCALE:



Shadow-June 21- 12 pm
SCALE:



Shadow-September 21- 12 pm
SCALE:



Shadow-December 21- 12 pm
SCALE:

REV	DATE	DESCRIPTION	BY
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

REV	DATE	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

SHADOW STUDY- 12 PM

DRAWING ISSUE

REISSUED FOR ADP REVIEW

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025		

DRAWING NO.	SCALE	REVIEWED	Checker

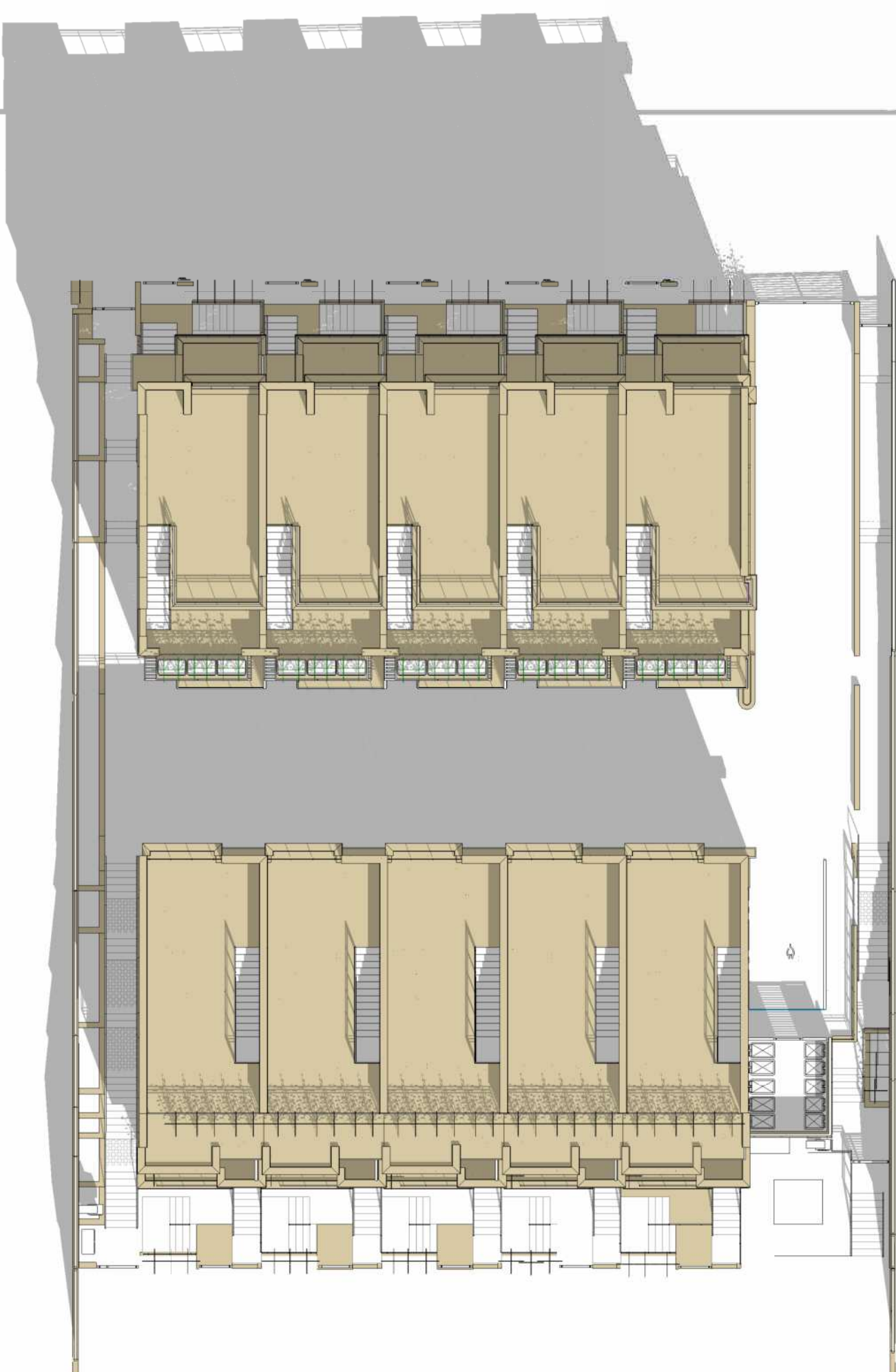
REVISION	
A0013	2

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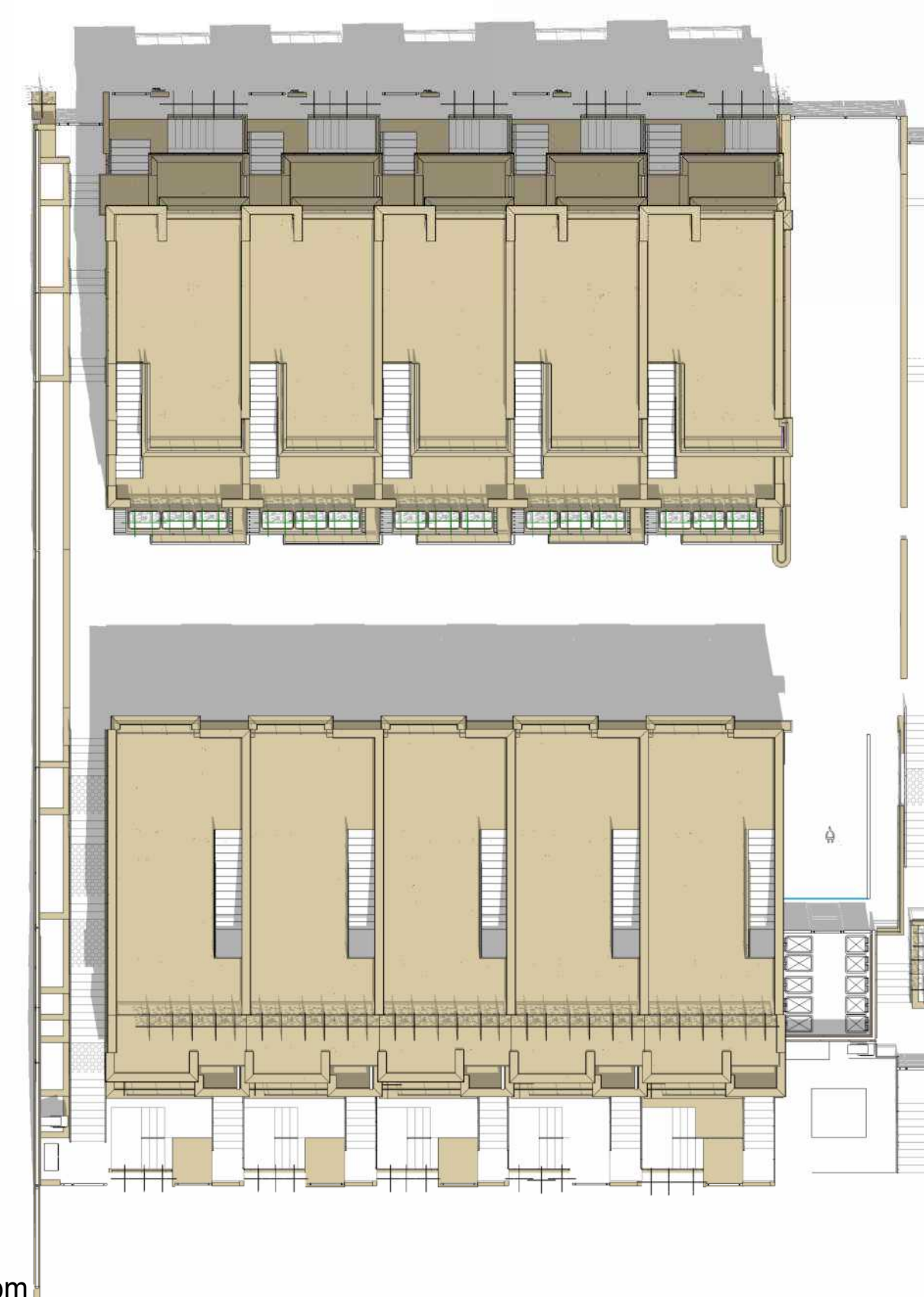
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Shadow-March 21- 2 pm
SCALE:



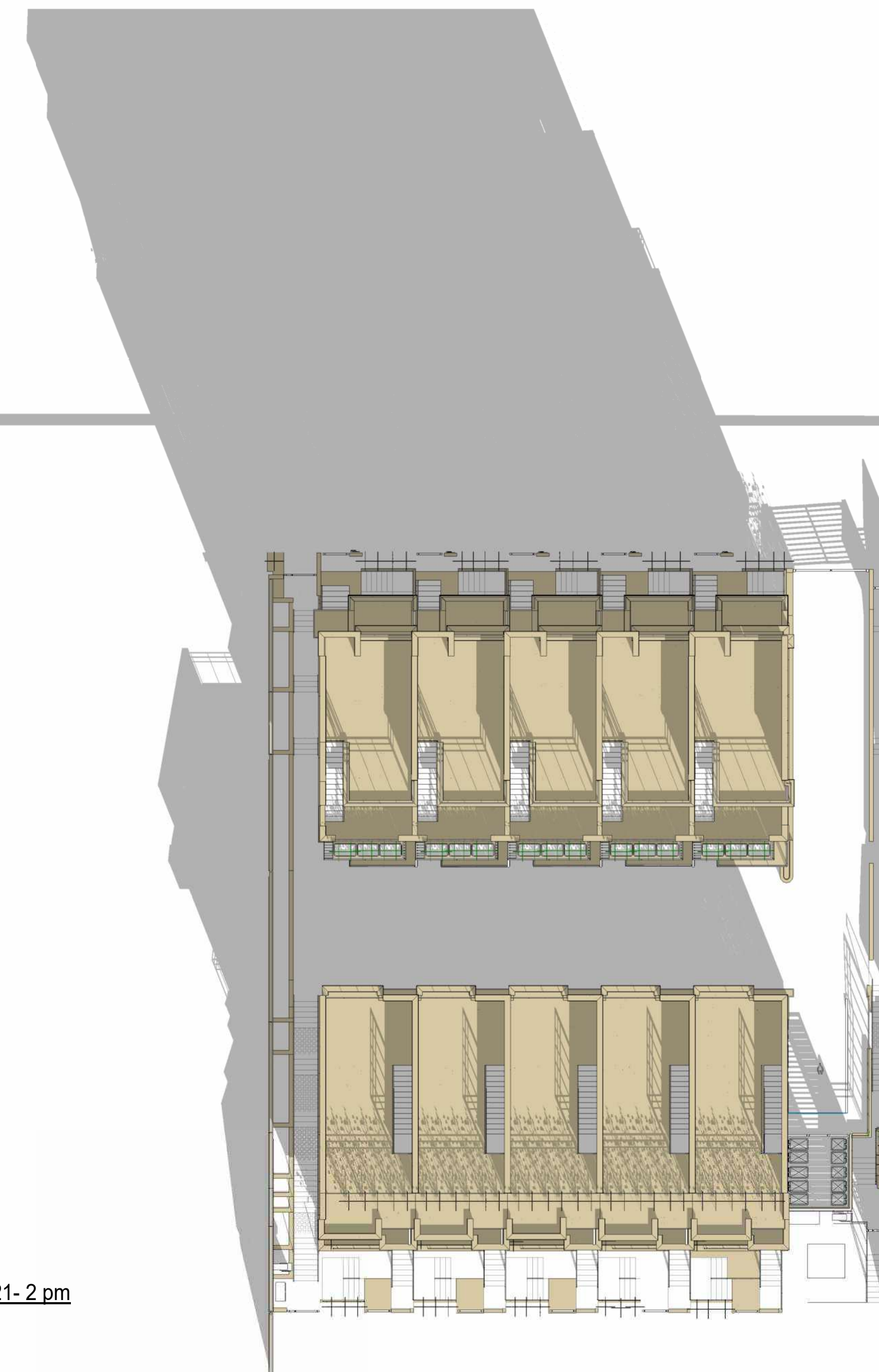
Shadow-June 21- 2 pm
SCALE:



Shadow-September 21- 2 pm
SCALE:



Shadow-December 21- 2 pm
SCALE:



2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT
PROJECT

EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

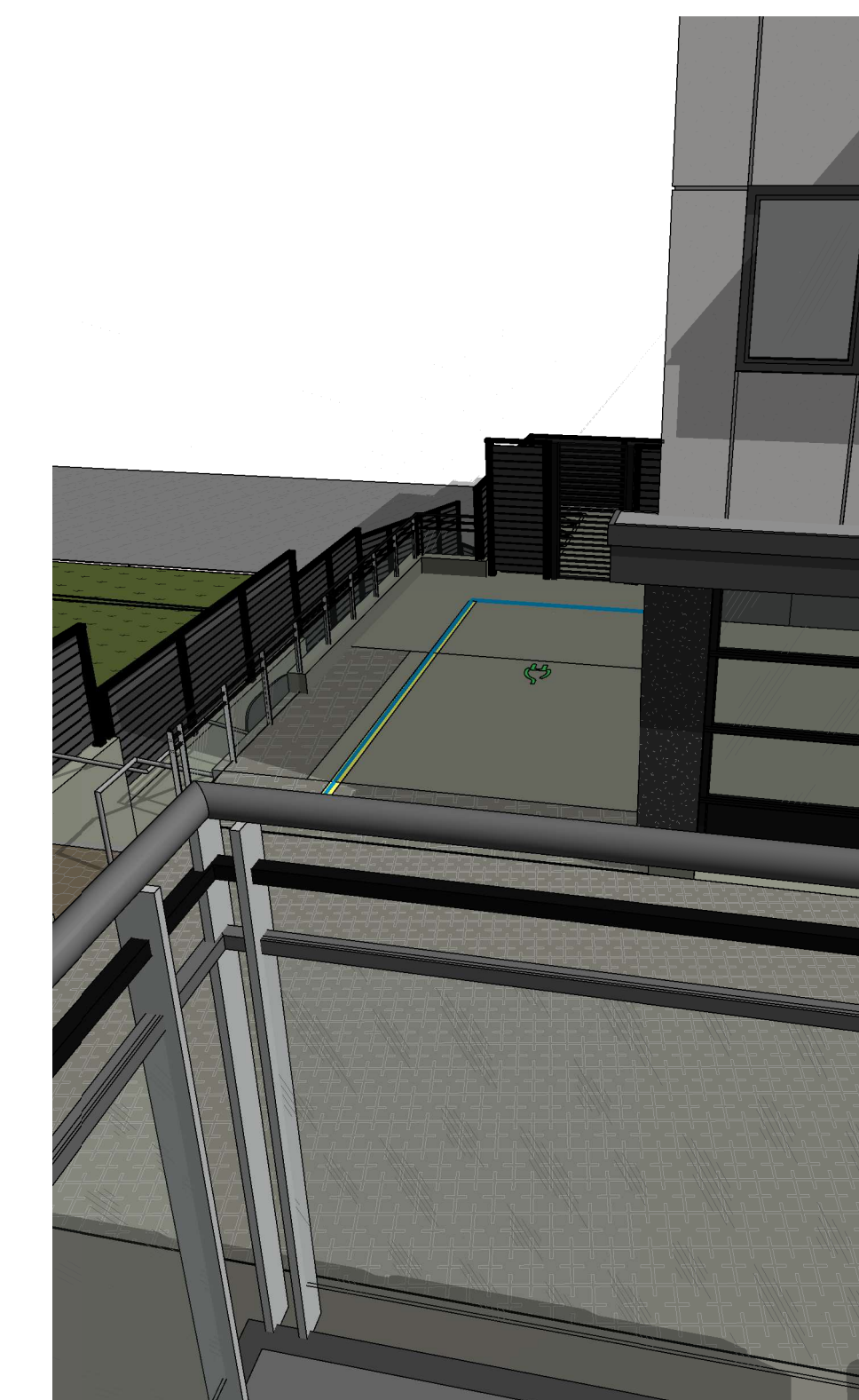
DRAWING TITLE
SHADOW STUDY-2 PM

DRAWING ISSUE
REISSUED FOR ADP REVIEW

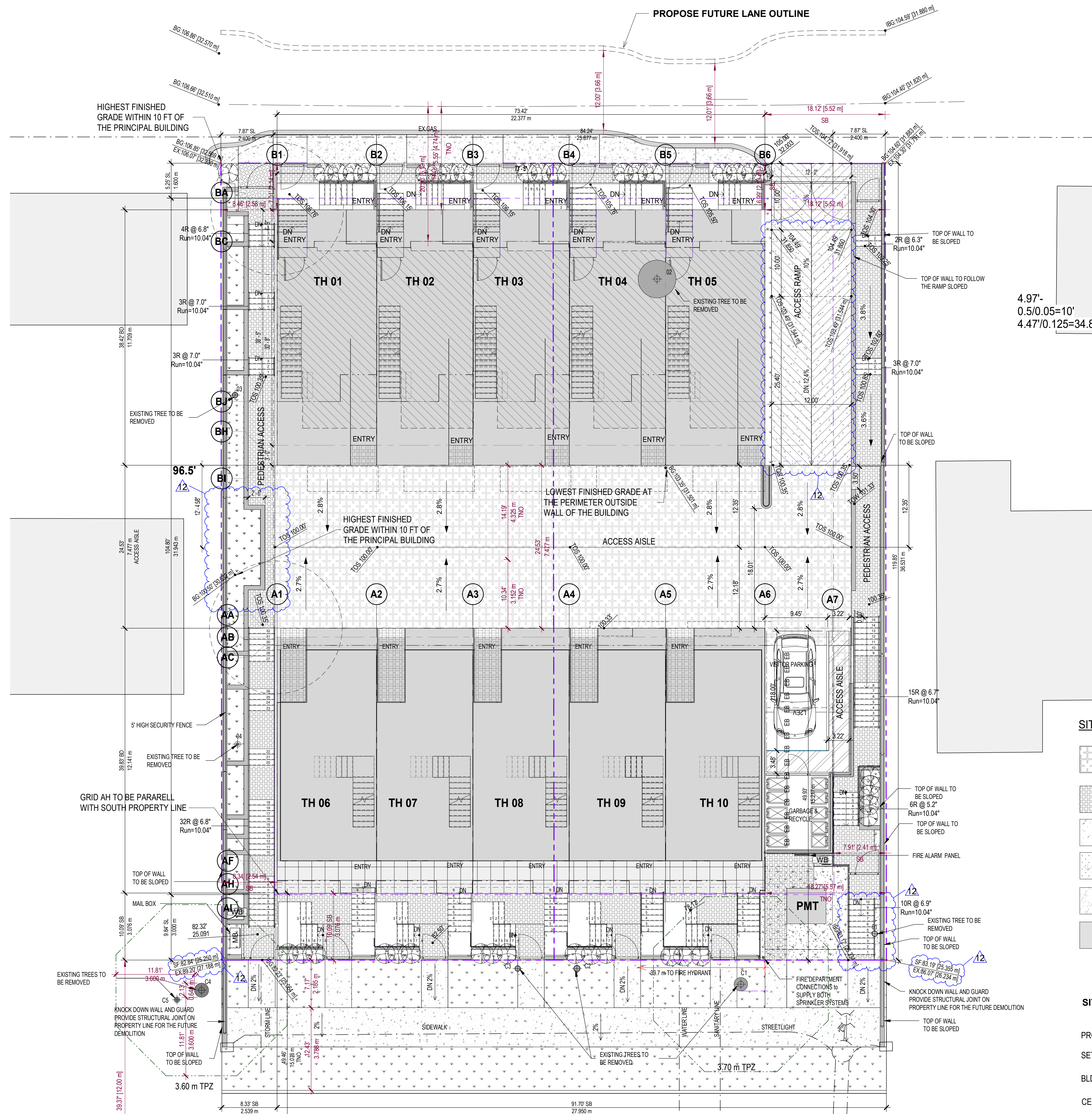
PROJECT NO.	20236	PLOT DATE	APRIL 29, 2025	DRAWN	Author
SCALE		REVIEWED		Checker	
DRAWING NO.	A0014	REVISION			2



3D View 16



3D-Garbage & Recycling from units above



4.97'-
0.5/0.05=10'
4.47/0.125=34.8'

SITE PLAN LEGEND

- PERMEABLE PAVER
- CONCRETE PAVER
- CONCRETE SLAB (GRAY)
- GARDEN/LAWN
- CONCRETE DRIVEWAY (GRAY)
- BUILDING FOOTPRINT (GRAY)

SITE PLAN LINE TYPES

- PROPERTY LINE
- SETBACK LINE
- BLDG FOOTPRINT
- CELLAR LEVEL OUTLINE
- BLDG LEVEL 2 OUTLINE
- BLDG LEVEL 3 OUTLINE
- UPPER ROOF OUTLINE

1 SITE PLAN
A0008 SCALE: 1/8" = 1'-0"

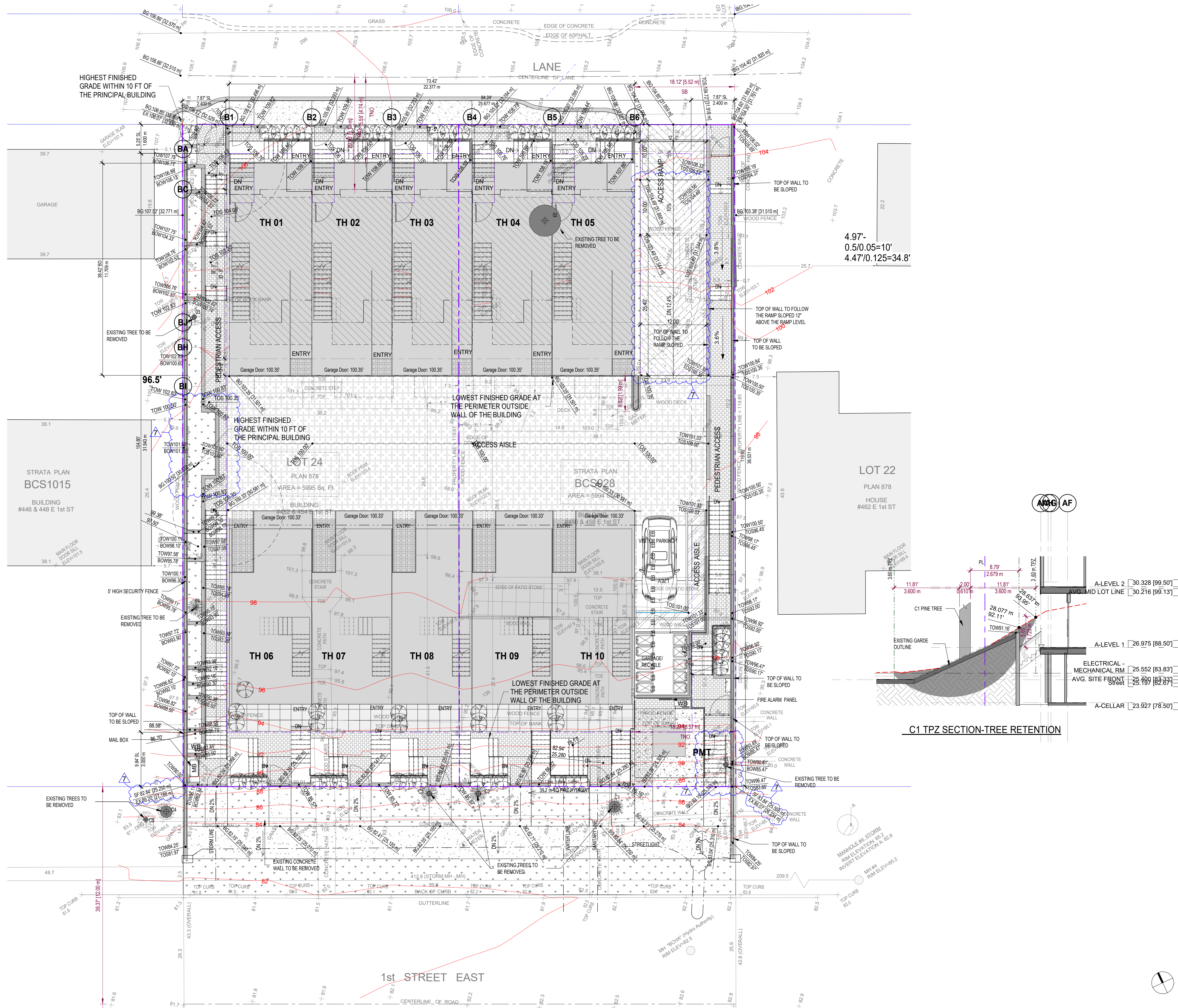
12	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
11	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
10	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
9	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
8	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
7	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
6	2023-08-18	REISSUED FOR DEVELOPMENT PERMIT	AF
5	2023-05-02	REISSUED FOR ADP REVIEW	AF
4	2022-09-08	REISSUED FOR DEVELOPMENT PERMIT	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

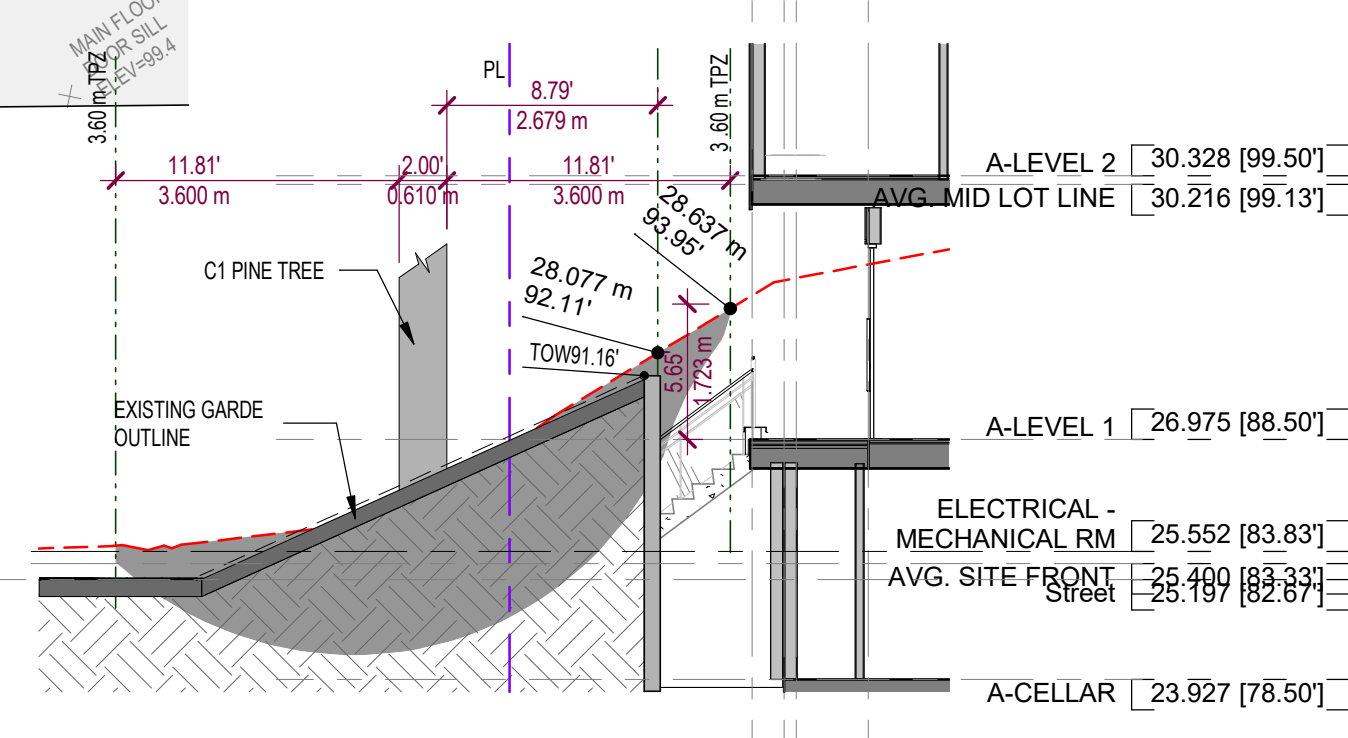
DRAWING TITLE
SITE PLAN
DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	MT
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0101	As indicated		

C:\Revit\Projects\20236 East 1st Street-BLDG-A&B-CD_amir_farbehri.rvt
2025-04-29 12:45:37 PM



4.97'-
0.5/0.05=10'
4.47/0.125=34.8'



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
7	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
6	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
5	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
4	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
3	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
2	2023-08-18	REISSUED FOR DEVELOPMENT PERMIT	AF
1	2023-05-02	REISSUED FOR ADP REVIEW	AF

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

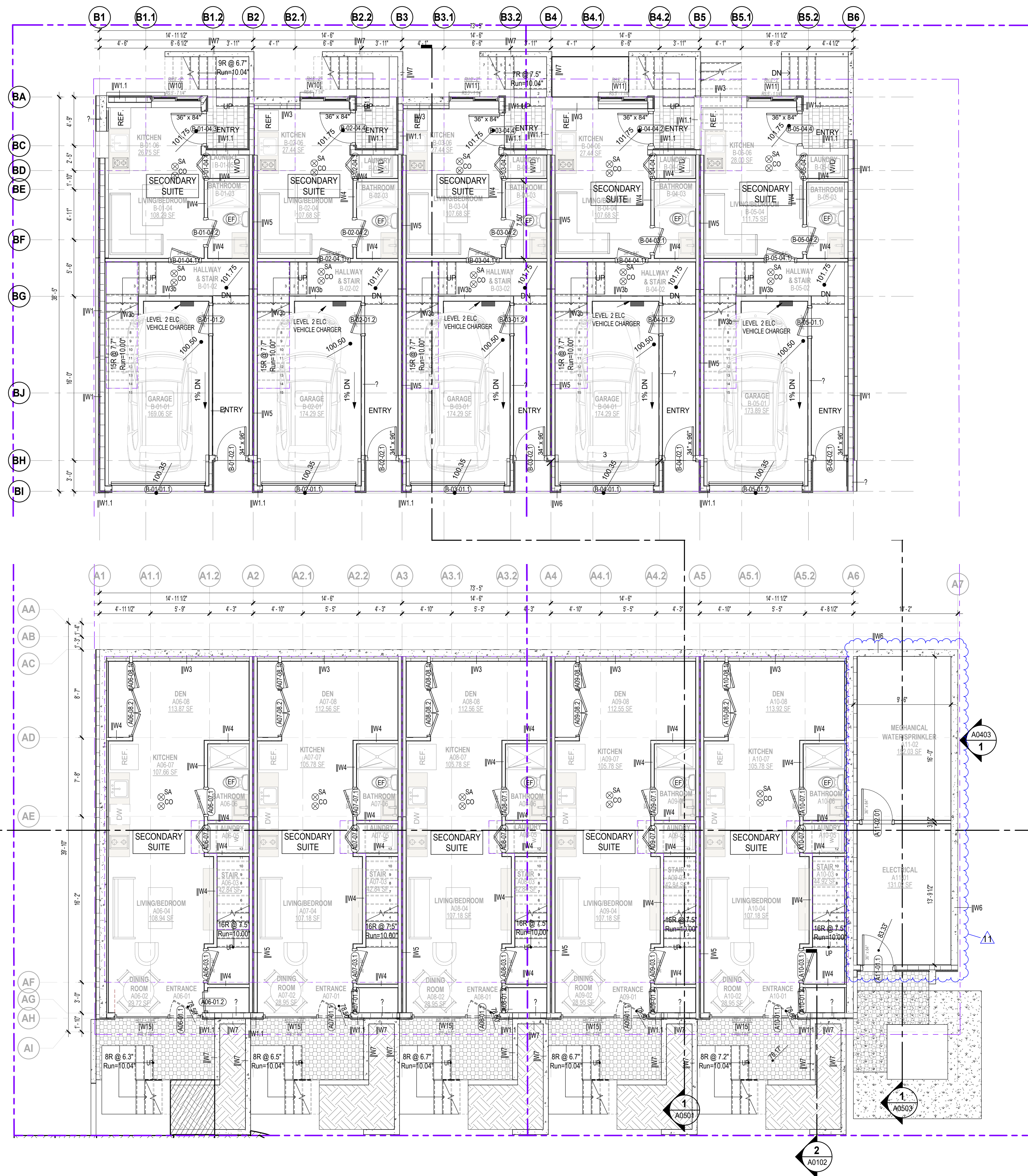
DRAWING TITLE

SITE PLAN - GRADING

DRAWING ISSUE

REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker
DRAWING NO.	SCALE	1/8" = 1'-0"	REVISION
A0102			7



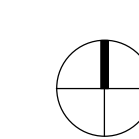
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
11	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
10	2025-04-15	ISSUED FOR 66% BP PROGRESS REVIEW	AF
9	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
8	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
7	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
6	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
5	2023-05-02	REISSUED FOR ADP REVIEW	AF
4	2022-09-08	REISSUED FOR DEVELOPMENT PERMIT	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

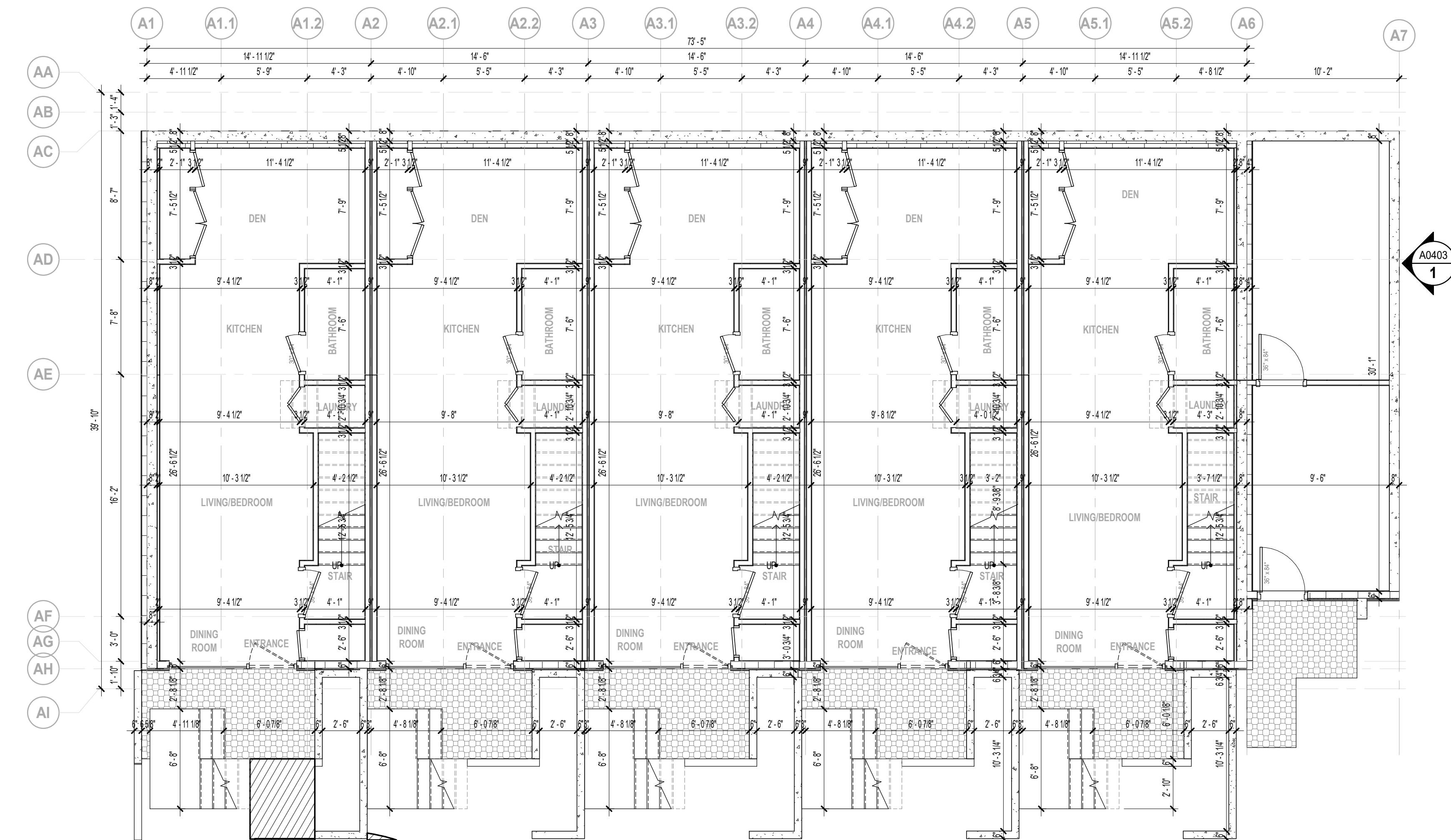
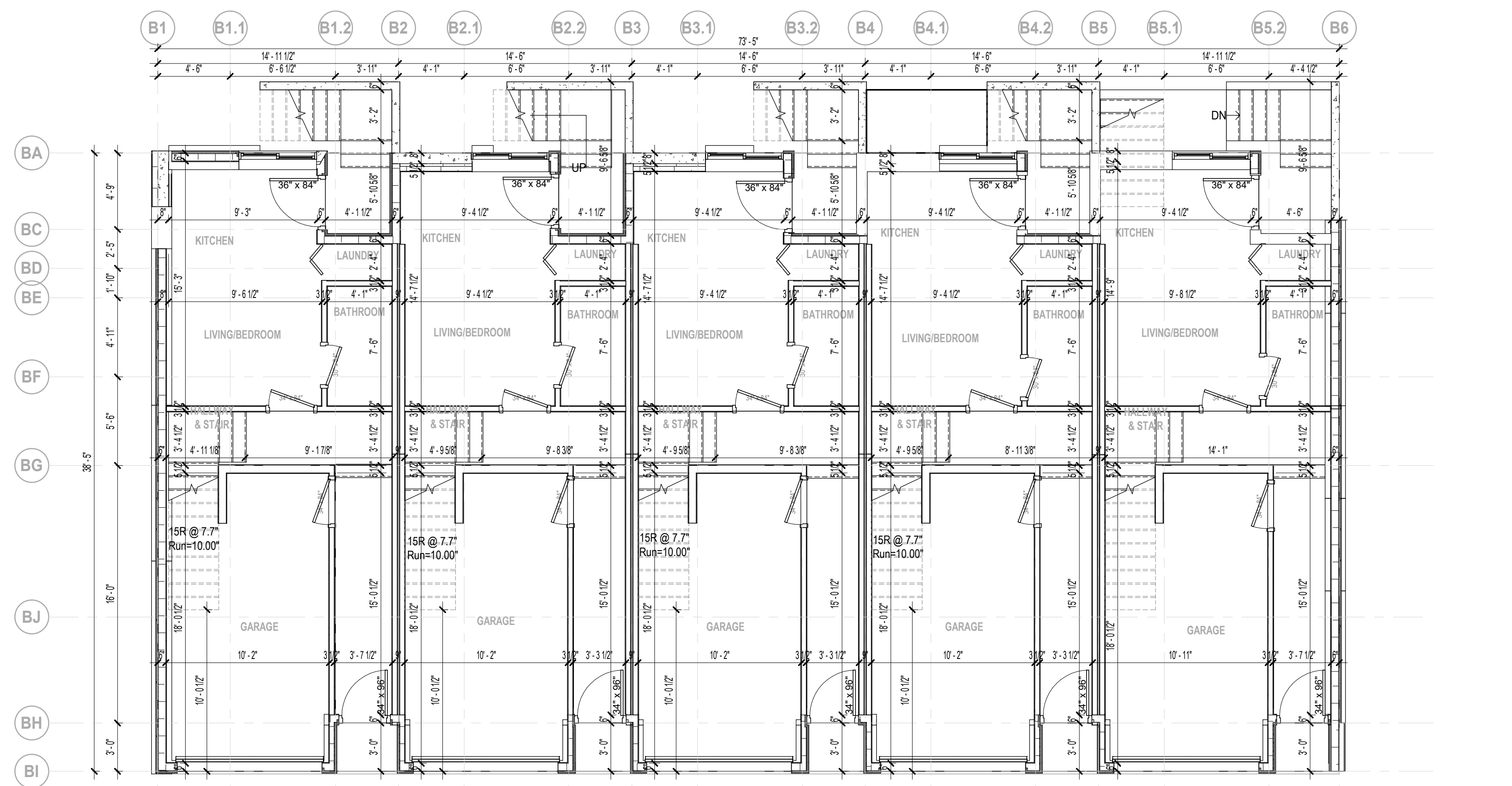
PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B CELLAR

DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0201	3/16" = 1'-0"		11





REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
2	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
1	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF

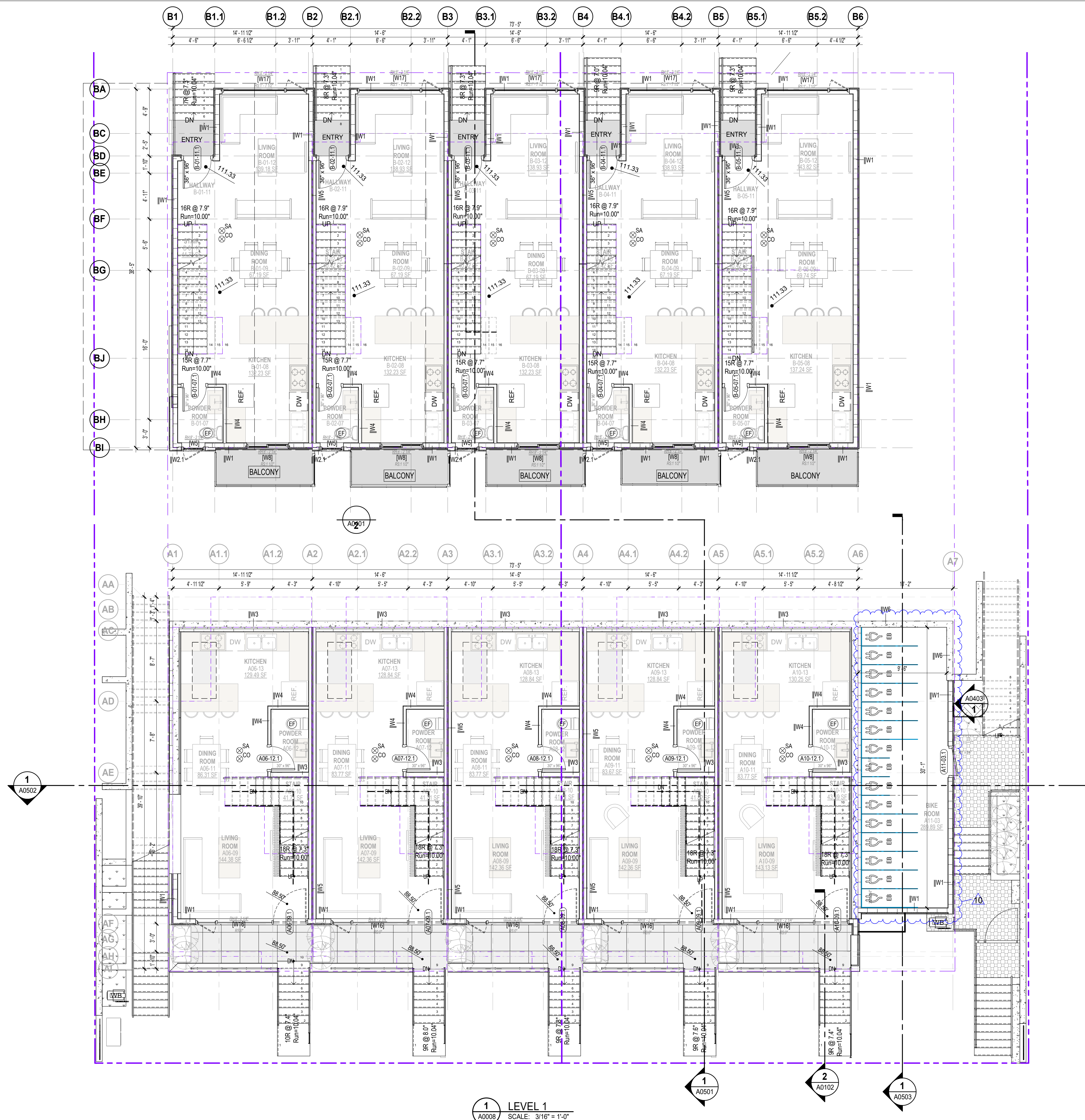
CONSULTANT

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B CELLAR-DIM

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0201.1	3/16" = 1'-0"		
		REVISION	3



1 LEVEL 1
SCALE: 3/16" = 1'-0"

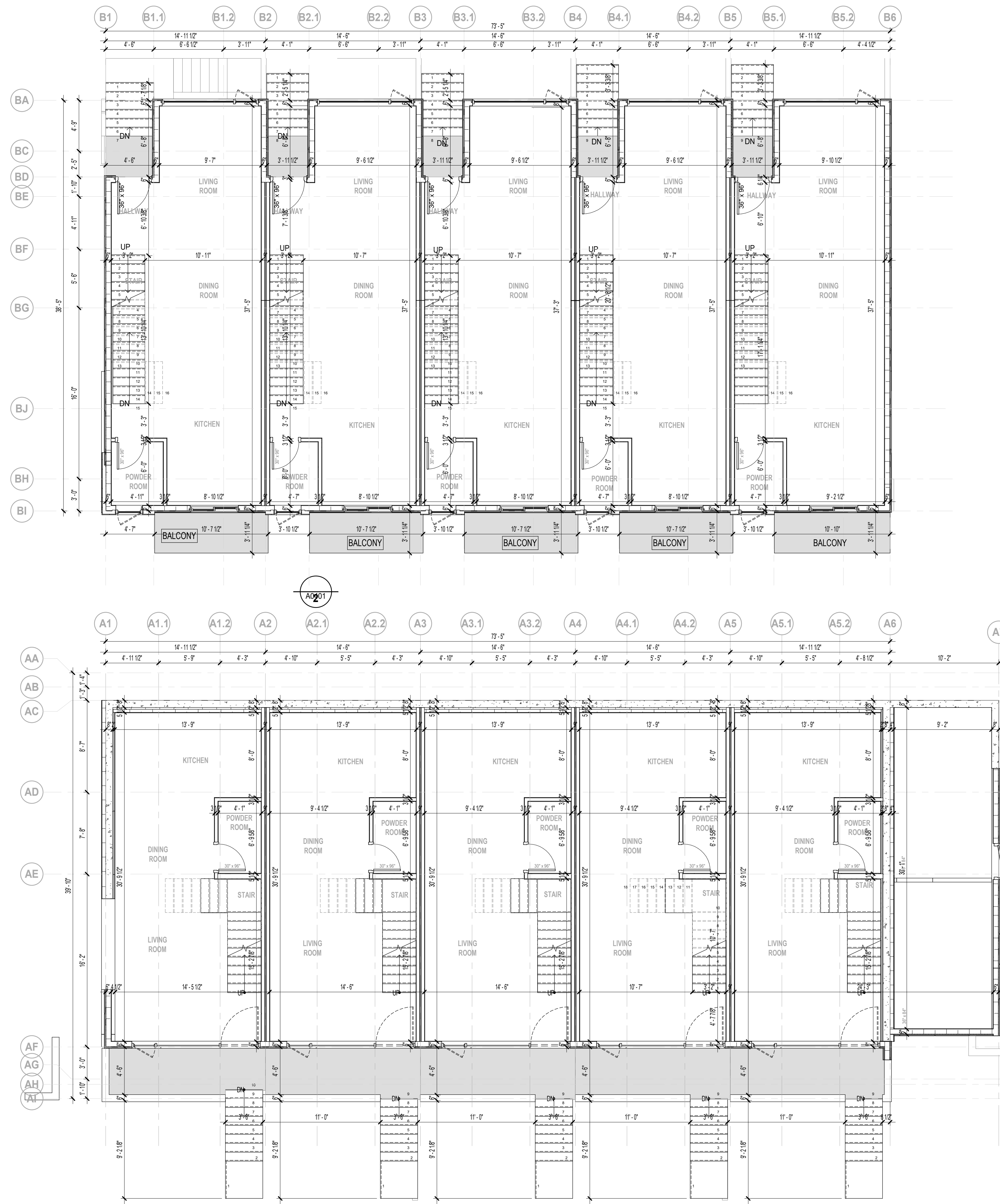
REV.	DATE	DESCRIPTION	BY
10	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
9	2025-04-15	ISSUED FOR 90% BP PROGRESS REVIEW	AF
8	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
7	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
6	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B LEVEL 1

DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0202	3/16" = 1'-0"		
		REVISION	10



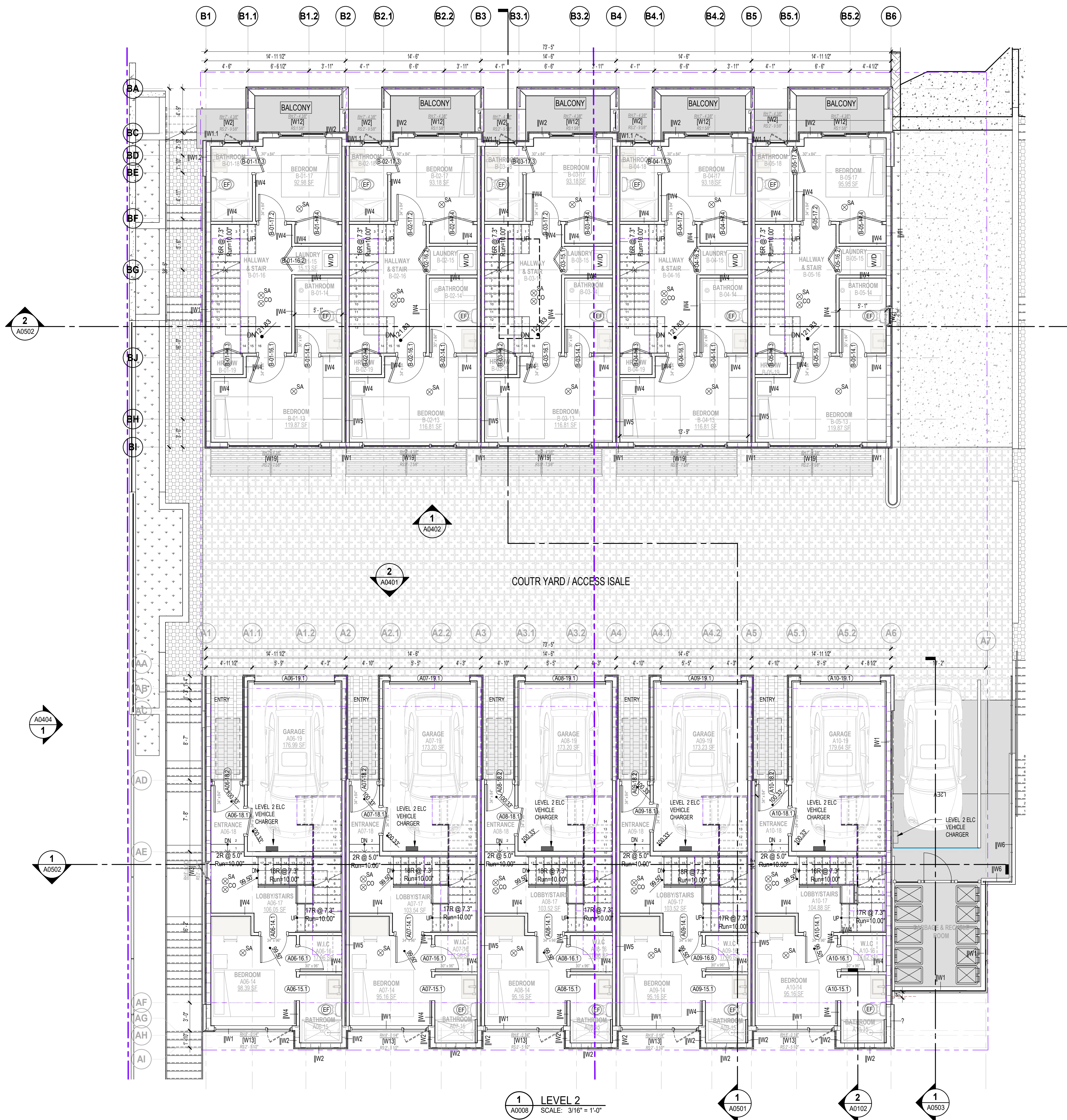
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
2	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
1	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B LEVEL 1-DIM

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0202.2	3/16" = 1'-0"		
		REVISION	3



1 LEVEL 2
SCALE: 3/16" = 1'-0"

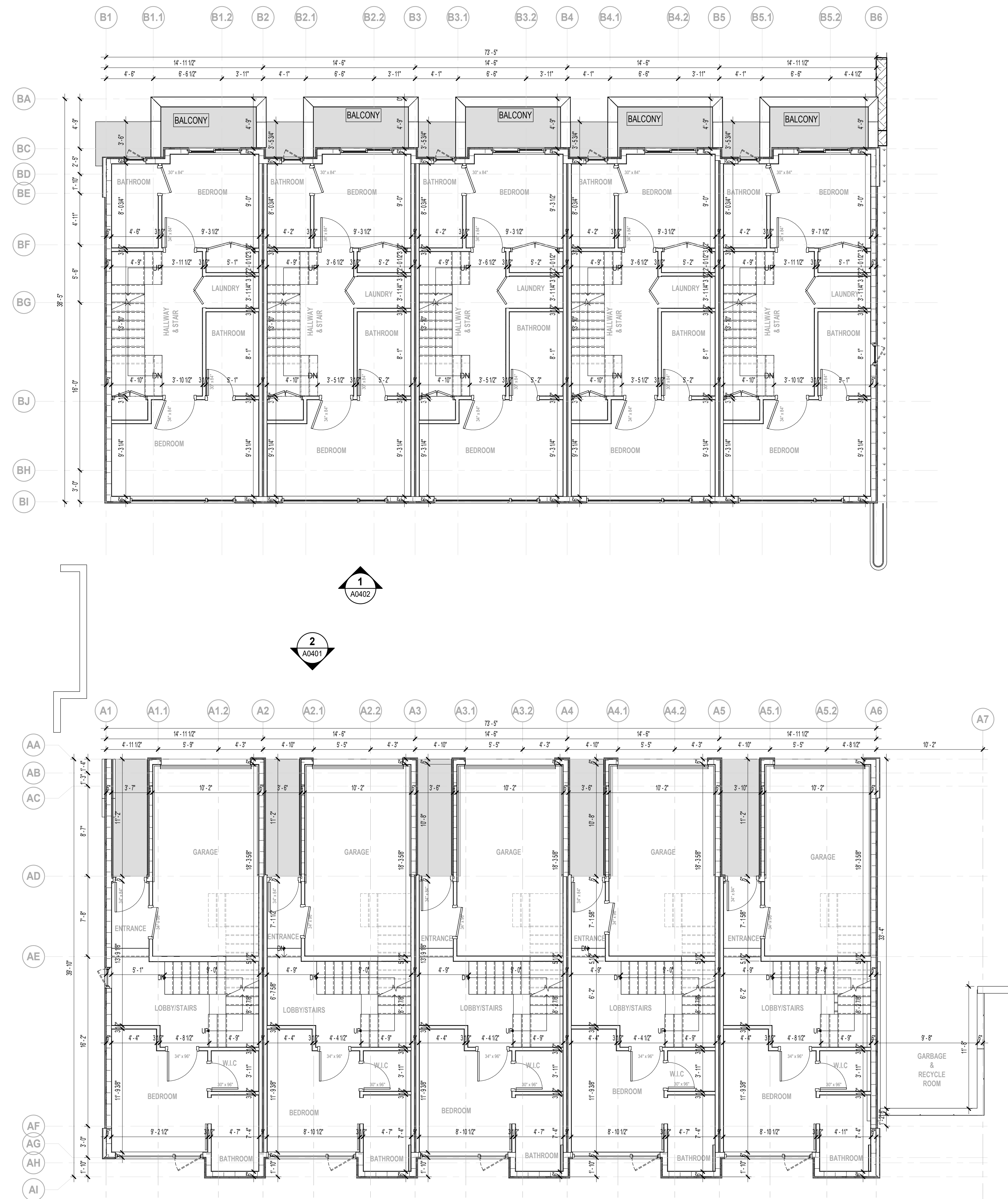
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
8	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
7	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
6	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B LEVEL 2

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	20236	PLOT DATE	APRIL 29, 2025	DRAWN	NM
DRAWING NO.	A0203	SCALE	3/16" = 1'-0"	REVIEWED	AF
				REVISION	8



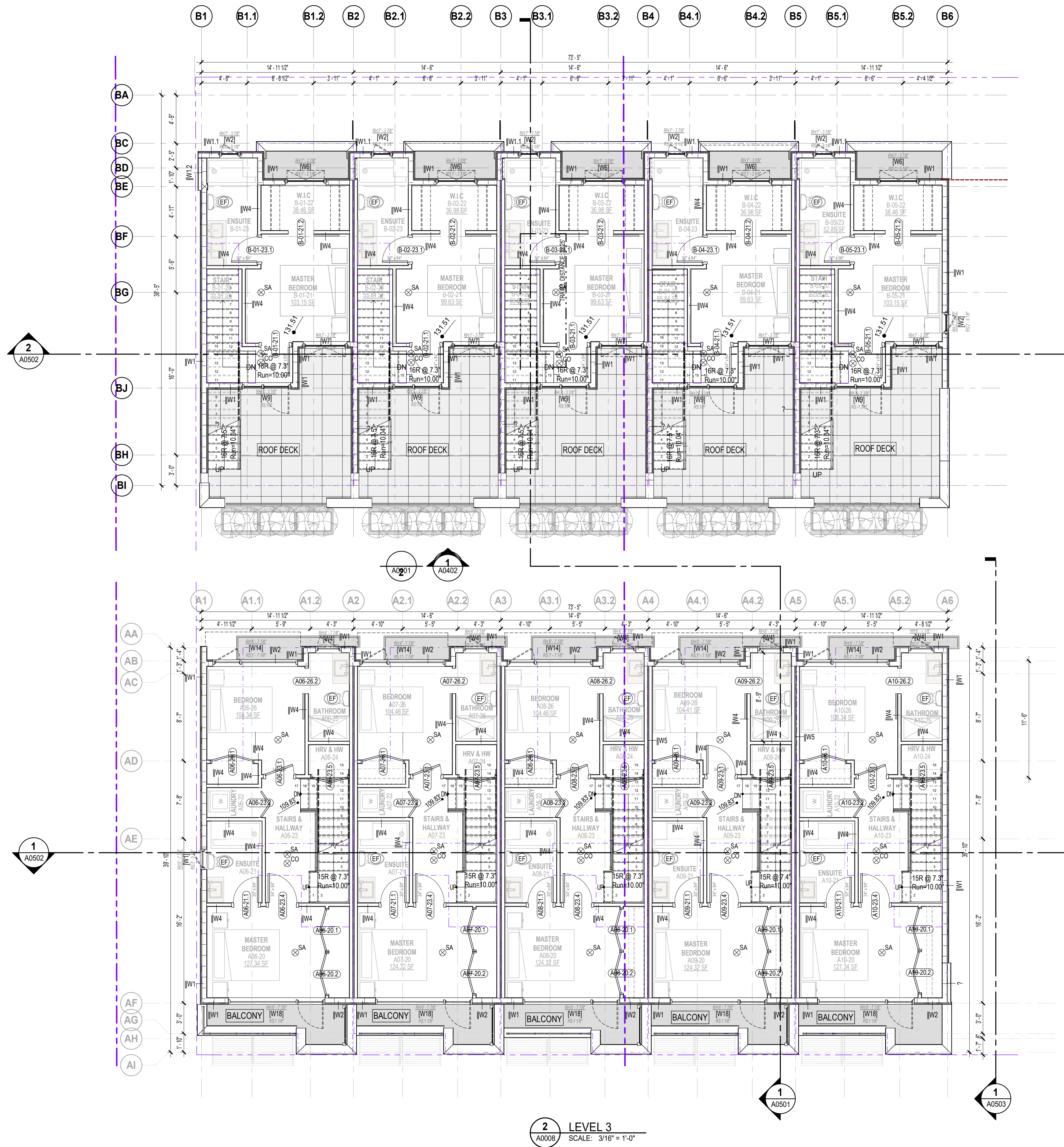
3	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
2	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
1	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B LEVEL 2-DIM

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0203.1	3/16" = 1'-0"		3



2 LEVEL 3
A0008 SCALE: 3/16" = 1'-0"

REV	DATE	DESCRIPTION	BY
7	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
6	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
5	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

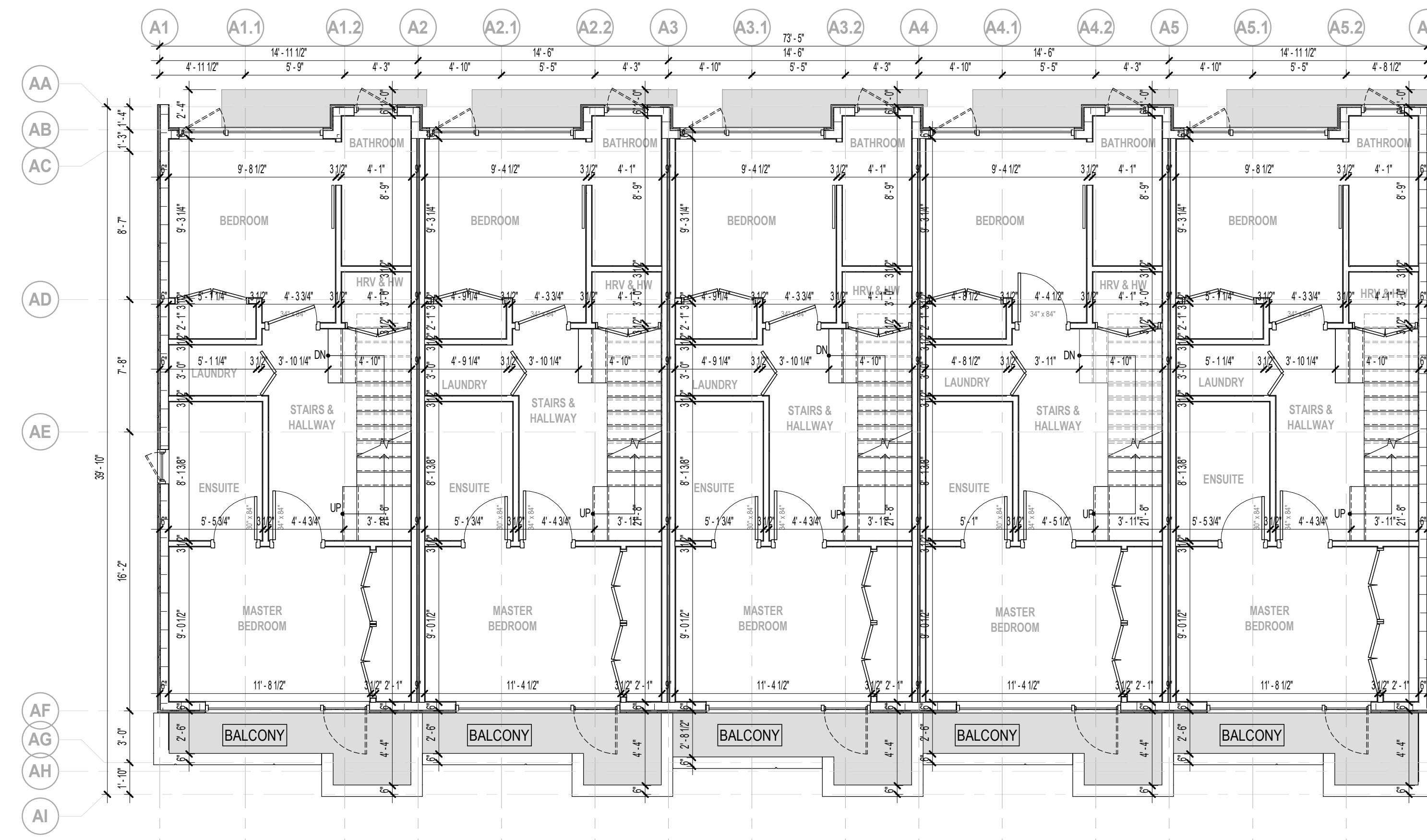
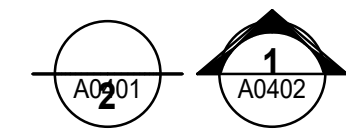
DRAWING TITLE
BLDG-A&B LEVEL 3

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0204	3/16" = 1'-0"		7

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3	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
2	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
1	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

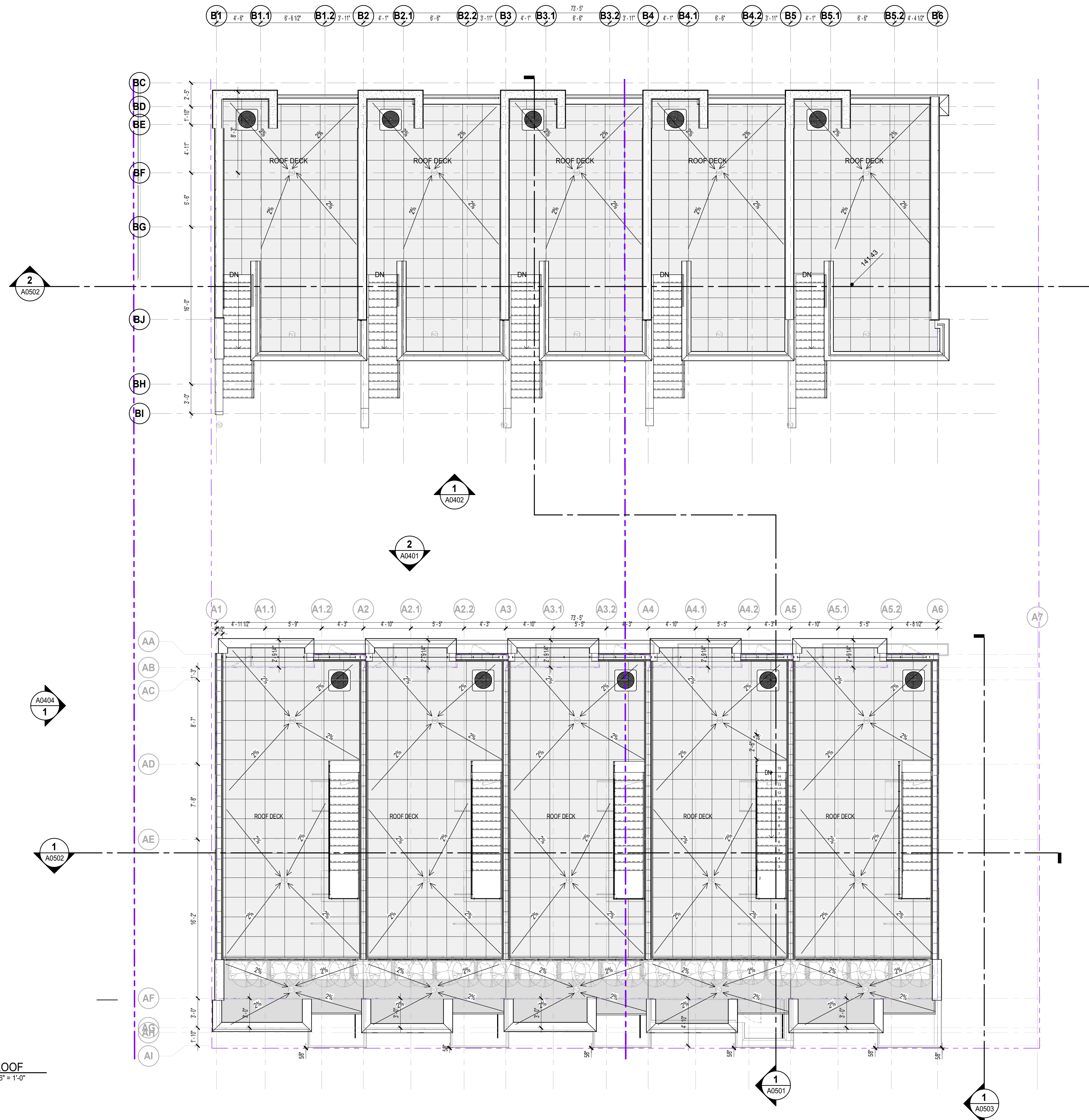
DRAWING TITLE

BLDG-A&B LEVEL 3-DIM

DRAWING ISSUE

ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0204.1	3/16" = 1'-0"		3



REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
7	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
6	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
5	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

BLDG-A&B ROOF

DRAWING ISSUE

ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	20236	PLOT DATE	APRIL 29, 2025	DRAWN	NM
SCALE	3/16" = 1'-0"	REVIEWED	AF		
DRAWING NO.	A0205	REVISION			7

BLDG B - AREA OVERLAY-GROSS FLOOR AREA (CELLAR)

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Below Grade							
B-CELLAR	L-01-01	4.54	1.81	8.23 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-01-02	14.96	8.46	126.51 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-01-03	5.92	3.23	19.12 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-01-04	5.92	3.96	23.42 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-02-01	4.54	1.81	8.23 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-02-02	14.50	8.46	122.64 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-02-03	5.92	3.23	19.12 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-02-04	5.92	3.96	23.42 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-03-01	4.54	1.81	8.23 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-03-02	14.50	8.71	126.26 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-03-03	5.92	3.23	19.12 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-03-04	5.92	3.96	23.42 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-04-01	4.54	1.81	8.23 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-04-02	14.50	8.46	122.64 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-04-03	5.92	3.23	19.12 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-04-04	5.92	3.96	23.42 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-05-01	4.54	1.81	8.23 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-05-02	14.96	8.46	126.51 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-05-03	5.92	3.23	19.12 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	L-05-04	5.92	3.96	23.42 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-01-00	16.00	4.15	66.33 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-01-01	14.96	3.77	56.39 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-02-00	16.00	3.79	60.67 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-02-01	14.50	3.77	54.66 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-03-00	16.00	3.79	60.67 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-03-01	14.50	3.52	51.03 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-04-00	16.00	3.81	61.00 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-04-01	14.50	3.77	54.66 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-05-00	16.00	4.27	68.33 ft²	Below Grade	Living Space	Exclusion
B-CELLAR	M-05-01	14.96	3.77	56.39 ft²	Below Grade	Living Space	Exclusion
Exclusion: 30				1469.37 ft²			
B-CELLAR	L-01-05	4.50	7.19	32.35 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-02-05	4.04	1.81	7.33 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-02-06	4.25	4.54	19.30 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-02-07	4.46	0.83	3.72 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-03-05	4.04	1.81	7.33 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-03-06	4.21	4.54	19.11 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-03-07	4.46	0.83	3.72 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-04-05	4.04	1.81	7.33 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-04-06	4.21	4.54	19.11 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-04-07	4.46	0.83	3.72 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-05-05	4.04	1.81	7.33 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-05-06	4.21	4.54	19.11 ft²	Below Grade	Living Space	FSR
B-CELLAR	L-05-07	4.46	0.83	3.72 ft²	Below Grade	Living Space	FSR
FSR: 13				153.19 ft²			
Garage							
B-CELLAR	G-01-01	10.81	6.33	68.48 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-01-02	10.81	9.67	104.52 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-02-01	10.71	6.33	67.82 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-02-02	10.71	9.67	103.51 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-03-01	10.71	6.33	67.82 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-03-02	10.71	9.67	103.51 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-04-01	10.69	6.33	67.69 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-04-02	10.69	9.67	103.31 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-05-01	10.69	6.33	67.69 ft²	Garage	Other Exclusion	Exclusion
B-CELLAR	G-05-02	10.69	9.67	103.31 ft²	Garage	Other Exclusion	Exclusion
Exclusion: 10				857.67 ft²			
Patio							
B-CELLAR	P-01-02	4.33	4.54	19.68 ft²	Patio	Veranda	Exclusion
B-CELLAR	P-02-02	4.38	4.54	19.87 ft²	Patio	Veranda	Exclusion
B-CELLAR	P-03-02	4.38	4.54	19.87 ft²	Patio	Veranda	Exclusion
B-CELLAR	P-04-02	4.38	4.54	19.87 ft²	Patio	Veranda	Exclusion
B-CELLAR	P-05-02	5.00	4.54	22.71 ft²	Patio	Veranda	Exclusion
Exclusion: 5				102.00 ft²			
Porch							
B-CELLAR	P-01-01	3.00	4.00	12.00 ft²	Porch	Veranda	Exclusion
B-CELLAR	P-02-01	3.00	3.67	11.00 ft²	Porch	Veranda	Exclusion
B-CELLAR	P-03-01	3.00	3.67	11.00 ft²	Porch	Veranda	Exclusion
B-CELLAR	P-04-01	3.00	3.71	11.13 ft²	Porch	Veranda	Exclusion
B-CELLAR	P-05-01	3.00	4.08	12.25 ft²	Porch	Veranda	Exclusion
Exclusion: 5				57.38 ft²			
				2639.60 ft²			

BLDG B - LEVEL 1 AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Above Grade							
B-LEVEL 1	M-01-02	14.96	31.25	467.45 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-01-03	10.58	7.17	75.85 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-02-02	14.50	31.25	453.13 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-02-03	10.54	7.17	75.55 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-03-02	14.50	31.25	453.13 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-03-03	10.54	7.17	75.55 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-04-02	14.50	31.25	453.13 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-04-03	10.54	7.17	75.55 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-05-02	14.96	31.23	467.11 ft²	Above Grade	Living Space	FSR
B-LEVEL 1	M-05-03	10.88	7.19	78.19 ft²	Above Grade	Living Space	FSR
FSR: 10				2674.61 ft²			
Balcony							
B-LEVEL 1	B-01-01	10.63	3.94	41.83 ft²	Balcony	Veranda	Exclusion
B-LEVEL 1	B-02-01	10.63	3.94	41.83 ft²	Balcony	Veranda	Exclusion
B-LEVEL 1	B-03-01	10.63	3.94	41.83 ft²	Balcony	Veranda	Exclusion
B-LEVEL 1	B-04-01	10.63	3.94	41.83 ft²	Balcony	Veranda	Exclusion
B-LEVEL 1	B-05-01	11.18	3.94	44.00 ft²	Balcony	Veranda	Exclusion
Exclusion: 5				211.33 ft²			
Porch							
B-LEVEL 1	P-01-03	4.50	4.48	20.15 ft²	Porch	Veranda	Exclusion
B-LEVEL 1	P-02-03	3.96	4.48	17.72 ft²	Porch	Veranda	Exclusion
B-LEVEL 1	P-03-03	3.96	4.48	17.72 ft²	Porch	Veranda	Exclusion
B-LEVEL 1	P-04-03	3.96	4.48	17.72 ft²	Porch	Veranda	Exclusion
B-LEVEL 1	P-05-03	3.96	4.50	17.81 ft²	Porch	Veranda	Exclusion
Exclusion: 5				91.13 ft²			
				2977.06 ft²			

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
6	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
5	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
4	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
3	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

BLDG-A&B CELLAR AREA OVERLAY

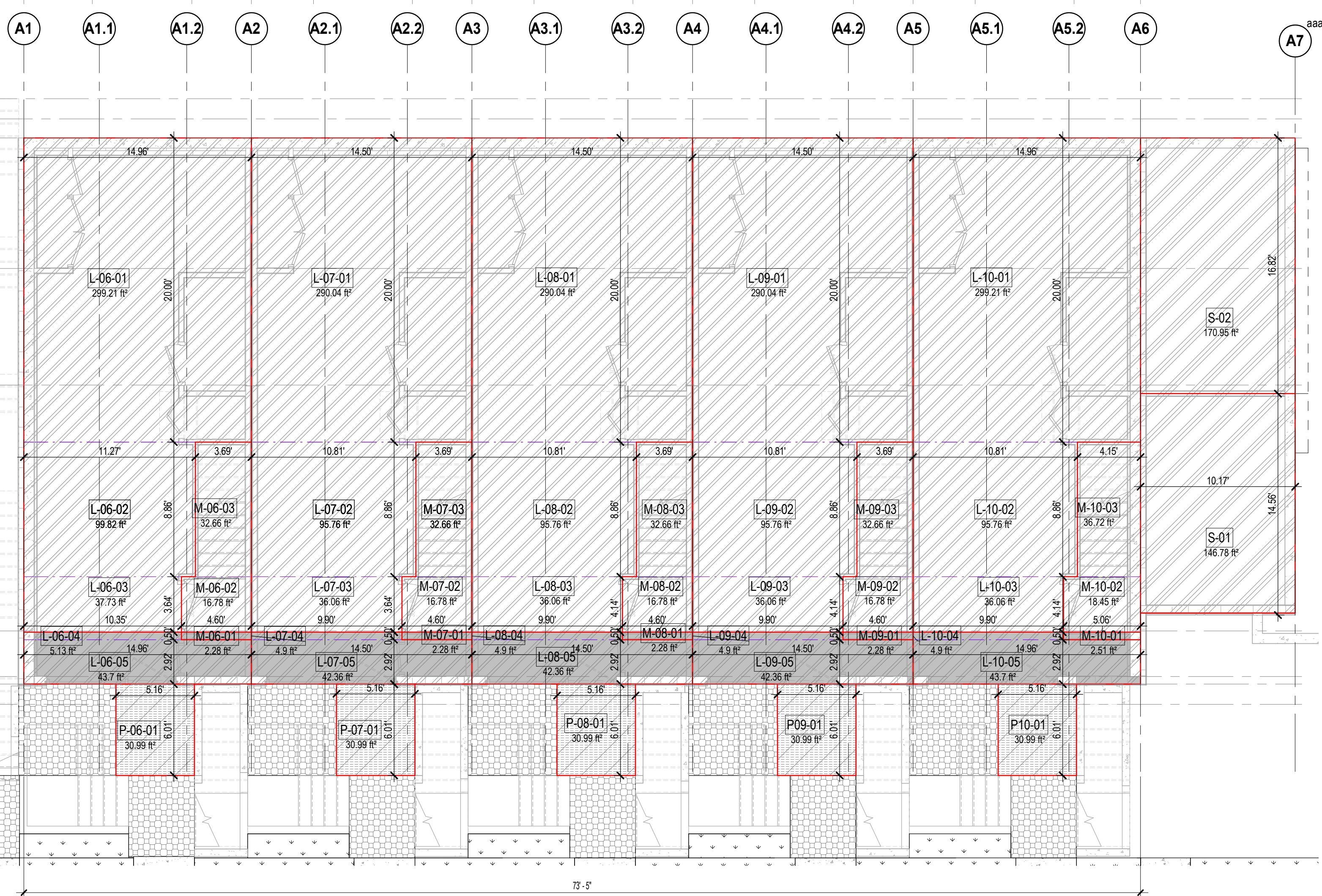
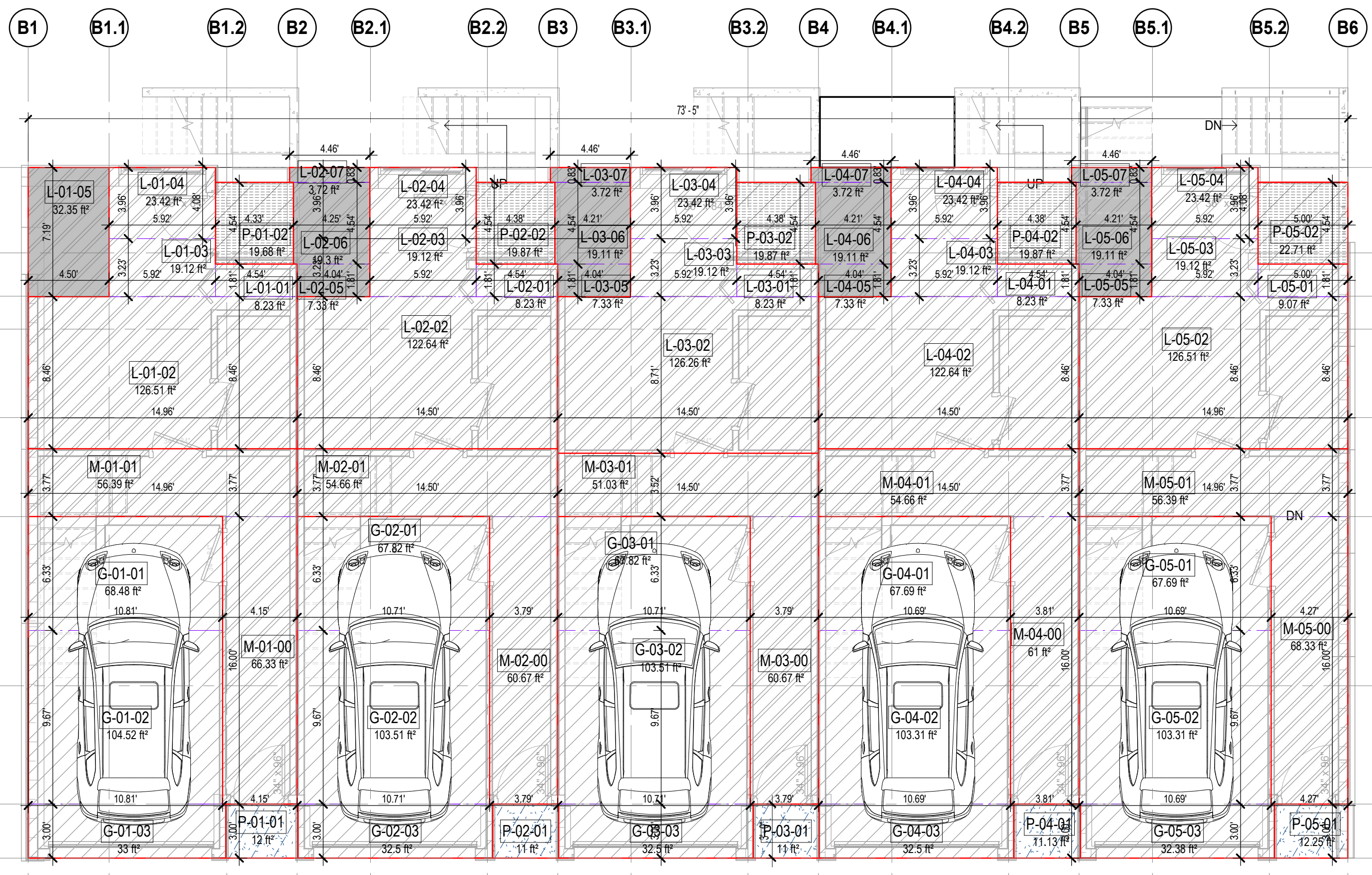
DRAWING ISSUE

ISSUED FOR 99% BP PROGRESS REVIEW

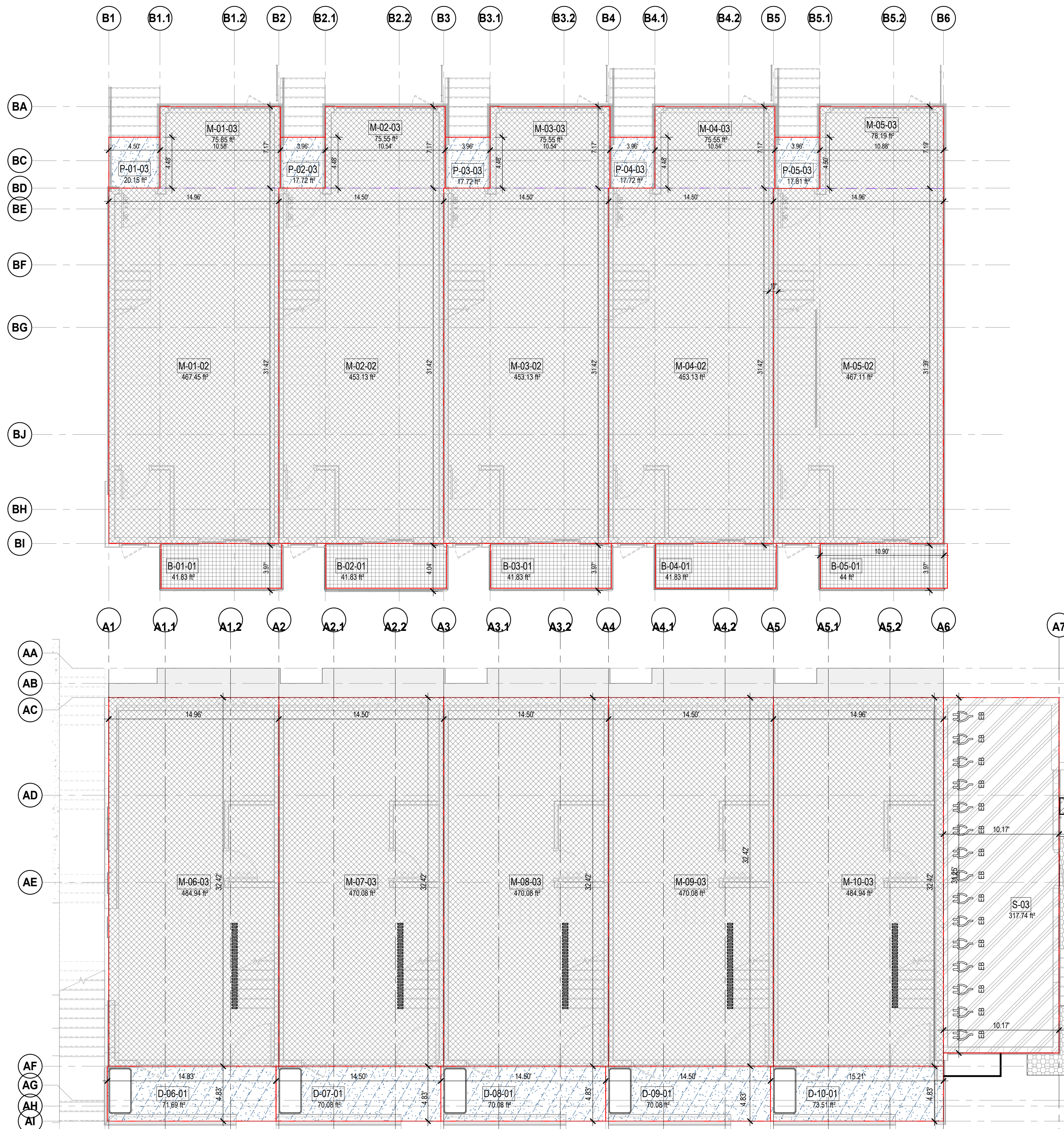
PROJECT NO. 20236 PLOT DATE APRIL 29, 2025 DRAWN NM

SCALE 3/16" = 1'-0" REVIEWED AF

DRAWING NO. **A0220** REVISION **6**



1 CELLAR OVERLAY
SCALE: 3/16" = 1'-0"



BLDG A -AREA OVERLAY-GROSS FLOOR AREA (CELLAR)

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Below Grade							
A-CELLAR	L-06-01	14.96	20.00	299.21 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-06-02	11.27	8.86	99.82 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-06-03	10.35	3.64	37.73 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-07-01	14.50	20.00	290.04 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-07-02	10.81	8.86	95.76 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-07-03	9.90	3.64	36.06 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-08-01	14.50	20.00	290.04 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-08-02	10.81	8.86	95.76 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-08-03	9.90	3.64	36.06 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-09-01	14.50	20.00	290.04 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-09-02	10.81	8.86	95.76 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-09-03	9.90	3.64	36.06 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-10-01	14.96	20.00	299.21 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-10-02	10.81	8.86	95.76 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	L-10-03	9.90	3.64	36.06 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-06-02	4.60	3.64	16.78 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-06-03	3.69	8.86	32.66 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-07-02	4.60	3.64	16.78 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-07-03	3.69	8.86	32.66 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-08-02	4.60	3.64	16.78 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-08-03	3.69	8.86	32.66 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-09-02	4.60	3.64	16.78 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-09-03	3.69	8.86	32.66 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-10-02	5.06	3.64	18.45 ft²	Below Grade	Living Space	Exclusion
A-CELLAR	M-10-03	4.15	8.86	36.72 ft²	Below Grade	Living Space	Exclusion
Exclusion: 25				2386.24 ft²			
A-CELLAR	L-06-04	10.35	0.50	5.13 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-06-05	14.96	2.92	43.70 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-07-04	9.90	0.50	4.90 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-07-05	14.50	2.92	42.36 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-08-04	9.90	0.50	4.90 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-08-05	14.50	2.92	42.36 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-09-04	9.90	0.50	4.90 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-09-05	14.50	2.92	42.36 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-10-04	9.90	0.50	4.90 ft²	Below Grade	Living Space	FSR
A-CELLAR	L-10-05	14.96	2.92	43.70 ft²	Below Grade	Living Space	FSR
A-CELLAR	M-06-01	4.60	0.50	2.28 ft²	Below Grade	Living Space	FSR
A-CELLAR	M-07-01	4.60	0.50	2.28 ft²	Below Grade	Living Space	FSR
A-CELLAR	M-08-01	4.60	0.50	2.28 ft²	Below Grade	Living Space	FSR
A-CELLAR	M-09-01	4.60	0.50	2.28 ft²	Below Grade	Living Space	FSR
A-CELLAR	M-10-01	5.06	0.50	2.51 ft²	Below Grade	Living Space	FSR
FSR: 15				250.84 ft²			
Patio							
A-CELLAR	P09-01	5.16	6.01	30.99 ft²	Patio	Other Exclusion	Exclusion
A-CELLAR	P10-01	5.16	6.01	30.99 ft²	Patio	Other Exclusion	Exclusion
A-CELLAR	P-06-01	5.16	6.01	30.99 ft²	Patio	Other Exclusion	Exclusion
A-CELLAR	P-07-01	5.16	6.01	30.99 ft²	Patio	Other Exclusion	Exclusion
A-CELLAR	P-08-01	5.16	6.01	30.99 ft²	Patio	Other Exclusion	Exclusion
Exclusion: 5				154.94 ft²			
Service							
A-CELLAR	S-01	10.17	14.44	146.78 ft²	Service	Other Exclusion	Exclusion
A-CELLAR	S-02	10.17	16.82	170.95 ft²	Service	Other Exclusion	Exclusion
Exclusion: 2				317.74 ft²			

BLDG A -LEVEL 1 AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Porch							
A-LEVEL 1	D-10-01	15.21	4.83	73.51 ft²	Porch	Veranda	Exclusion
A-LEVEL 1	D-09-01	14.50	4.83	70.08 ft²	Porch	Veranda	Exclusion
A-LEVEL 1	D-08-01	14.50	4.83	70.08 ft²	Porch	Veranda	Exclusion
A-LEVEL 1	D-07-01	14.50	4.83	70.08 ft²	Porch	Veranda	Exclusion
A-LEVEL 1	D-06-01	14.83	4.83	71.69 ft²	Porch	Veranda	Exclusion
Exclusion: 5				355.45 ft²			
Above Grade							
A-LEVEL 1	M-06-03	14.96	32.42	484.94 ft²	Above Grade	Living Space	FSR
A-LEVEL 1	M-07-03	14.50	32.42	470.08 ft²	Above Grade	Living Space	FSR
A-LEVEL 1	M-08-03	14.50	32.42	470.08 ft²	Above Grade	Living Space	FSR
A-LEVEL 1	M-09-03	14.50	32.42	470.08 ft²	Above Grade	Living Space	FSR
A-LEVEL 1	M-10-03	14.96	32.42	484.94 ft²	Above Grade	Living Space	FSR
FSR: 5				2380.12 ft²			

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
6	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
5	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
4	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
3	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

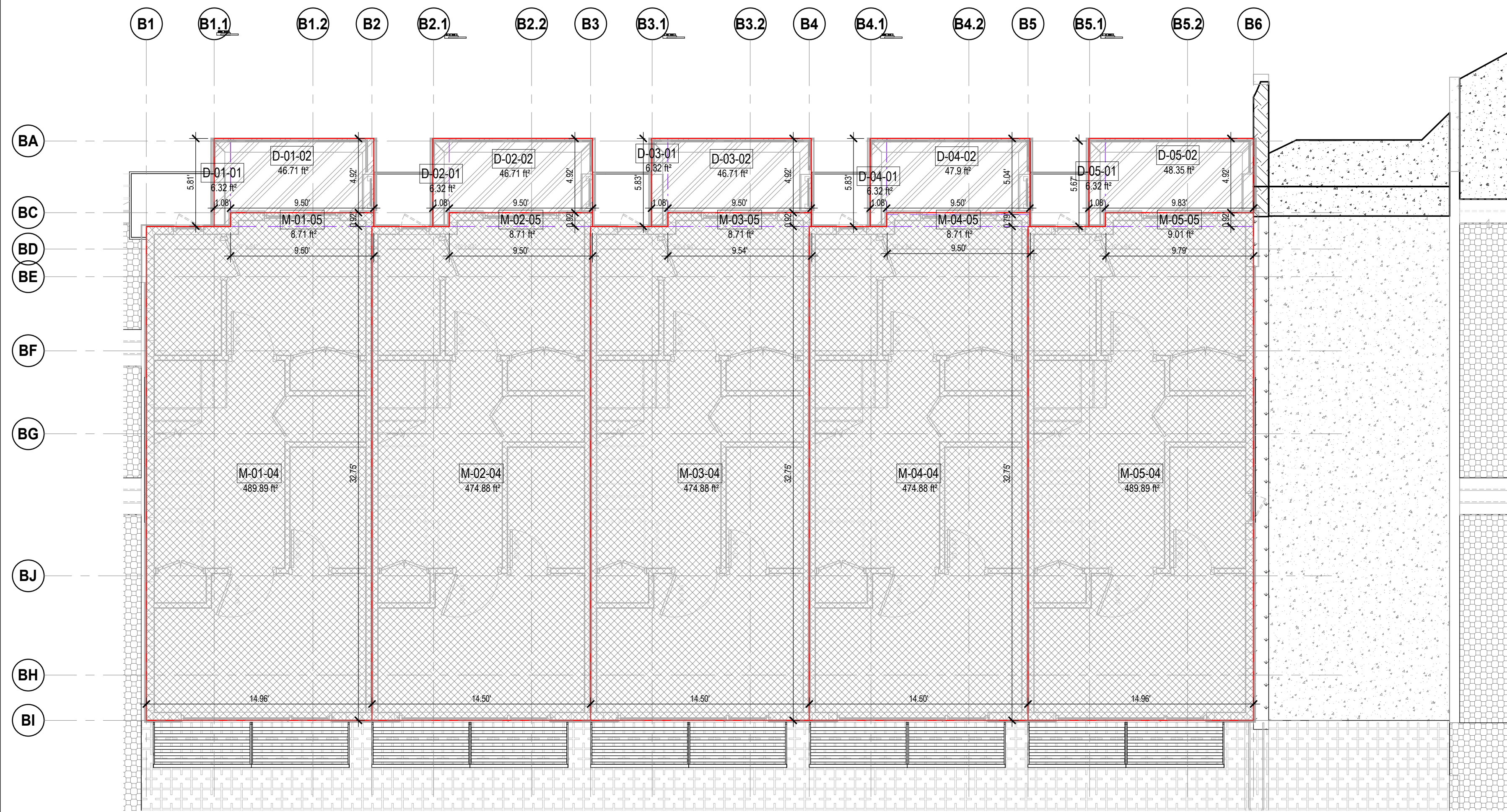
CONSULTANT

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B LEVEL 1 AREA OVERLAY

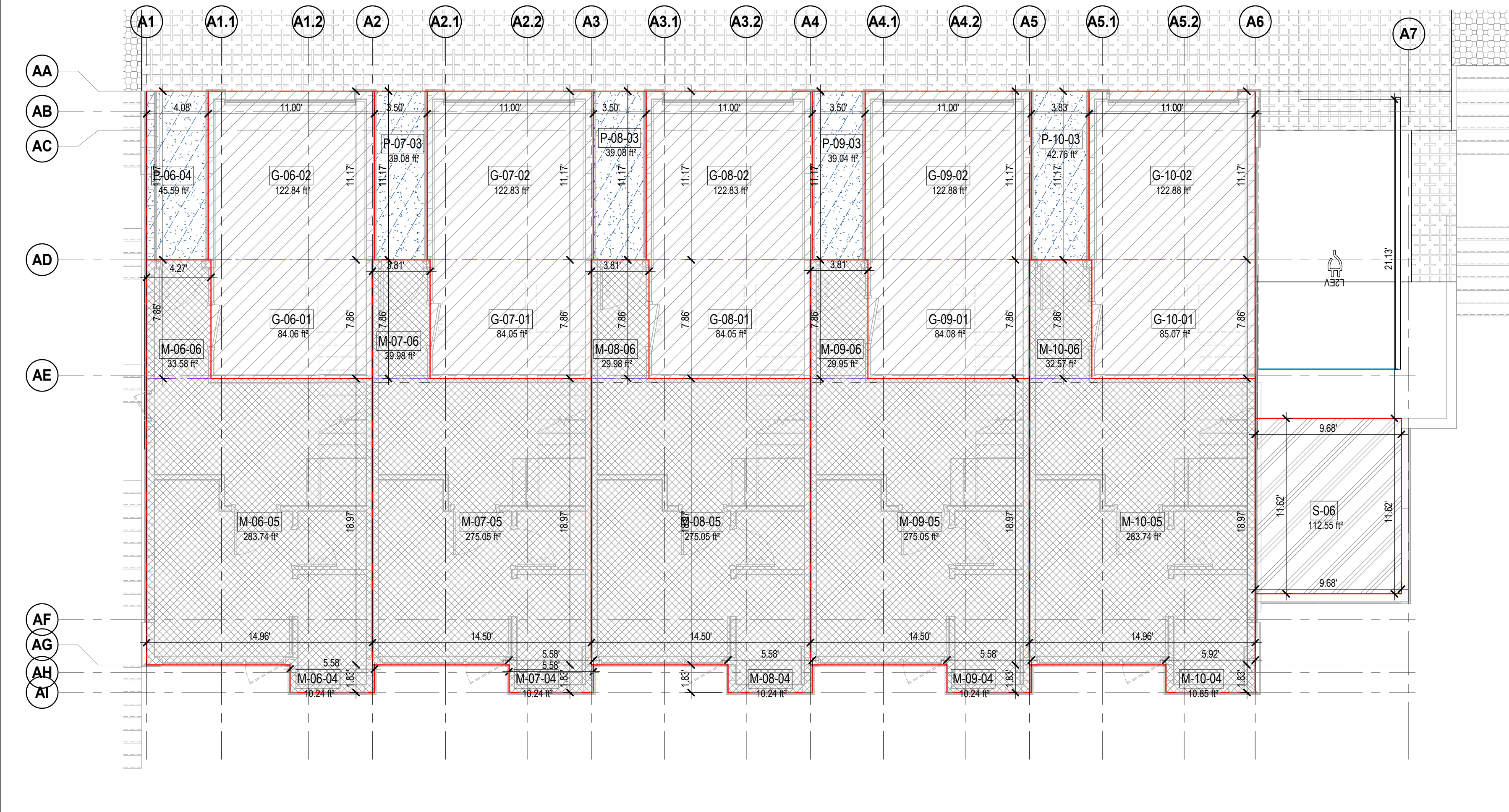
DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0221	3/16" = 1'-0"		
		REVISION	6



BLDG B - LEVEL 2 AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Sun Deck							
B-LEVEL 2	D-01-01	1.08	5.83	6.32 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-01-02	9.50	4.92	46.71 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-02-01	1.08	5.83	6.32 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-02-02	9.50	4.92	46.71 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-03-01	1.08	5.83	6.32 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-03-02	9.50	4.92	46.71 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-04-01	1.08	5.83	6.32 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-04-02	9.50	5.04	47.90 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-05-01	1.08	5.83	6.32 ft²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 2	D-05-02	9.83	4.92	48.35 ft²	Sun Deck	Other Exclusion	Exclusion
Exclusion: 10				267.97 ft²			
Above Grade							
B-LEVEL 2	M-01-05	9.50	0.92	8.71 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-01-04	14.96	32.75	489.89 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-02-05	9.50	0.92	8.71 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-02-04	14.50	32.75	474.88 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-03-05	9.50	0.92	8.71 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-03-04	14.50	32.75	474.88 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-04-05	9.50	0.92	8.71 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-04-04	14.50	32.75	474.88 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-05-05	9.83	0.92	9.01 ft²	Above Grade	Living Space	FSR
B-LEVEL 2	M-05-04	14.96	32.75	489.89 ft²	Above Grade	Living Space	FSR
FSR: 10				2448.24 ft²			



BLDG A - LEVEL 2 AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Above Grade							
A-LEVEL 2	M-06-04	5.58	1.83	10.24 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-06-05	14.96	18.97	283.74 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-06-06	4.27	7.86	33.58 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-07-04	5.58	1.83	10.24 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-07-05	14.50	18.97	275.05 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-07-06	3.81	7.86	29.98 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-08-04	5.58	1.83	10.24 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-08-05	14.50	18.97	275.05 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-08-06	3.81	7.86	29.98 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-09-04	5.58	1.83	10.24 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-09-05	14.50	18.97	275.05 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-09-06	3.81	7.86	29.95 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-10-04	5.92	1.83	10.85 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-10-05	14.96	18.97	283.74 ft²	Above Grade	Living Space	FSR
A-LEVEL 2	M-10-06	4.14	7.86	32.57 ft²	Above Grade	Living Space	FSR
FSR: 15				1600.49 ft²			
Service							
A-GARAGE DOOR	S-06	9.68	11.62	112.55 ft²	Service	Other Exclusion	Exclusion
Exclusion: 1				112.55 ft²			
Porch							
A-GARAGE DOOR	P-06-04	4.08	11.17	45.59 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-07-03	3.50	11.17	39.08 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-08-03	3.50	11.17	39.08 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-09-03	3.50	11.17	39.04 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-10-03	3.83	11.17	42.76 ft²	Porch	Veranda	Exclusion
Exclusion: 5				205.56 ft²			
Garage							
A-GARAGE DOOR	G-06-01	10.69	7.86	84.06 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-06-02	11.00	11.17	122.84 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-07-01	10.69	7.86	84.05 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-07-02	11.00	11.17	122.83 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-08-01	10.69	7.86	84.05 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-08-02	11.00	11.17	122.83 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-09-01	10.69	7.86	84.08 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-09-02	11.00	11.17	122.88 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-10-01	10.82	7.86	85.07 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-10-02	11.00	11.17	122.88 ft²	Garage	Other Exclusion	Exclusion
Exclusion: 10				1035.58 ft²			

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Service							
A-GARAGE DOOR	S-06	9.68	11.62	112.55 ft²	Service	Other Exclusion	Exclusion
Exclusion: 1				112.55 ft²			
Porch							
A-GARAGE DOOR	P-06-04	4.08	11.17	45.59 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-07-03	3.50	11.17	39.08 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-08-03	3.50	11.17	39.08 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-09-03	3.50	11.17	39.04 ft²	Porch	Veranda	Exclusion
A-GARAGE DOOR	P-10-03	3.83	11.17	42.76 ft²	Porch	Veranda	Exclusion
Exclusion: 5				205.56 ft²			
Garage							
A-GARAGE DOOR	G-06-01	10.69	7.86	84.06 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-06-02	11.00	11.17	122.84 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-07-01	10.69	7.86	84.05 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-07-02	11.00	11.17	122.83 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-08-01	10.69	7.86	84.05 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-08-02	11.00	11.17	122.83 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-09-01	10.69	7.86	84.08 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-09-02	11.00	11.17	122.88 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-10-01	10.82	7.86	85.07 ft²	Garage	Other Exclusion	Exclusion
A-GARAGE DOOR	G-10-02	11.00	11.17	122.88 ft²	Garage	Other Exclusion	Exclusion
Exclusion: 10				1035.58 ft²			

5	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
4	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
3	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

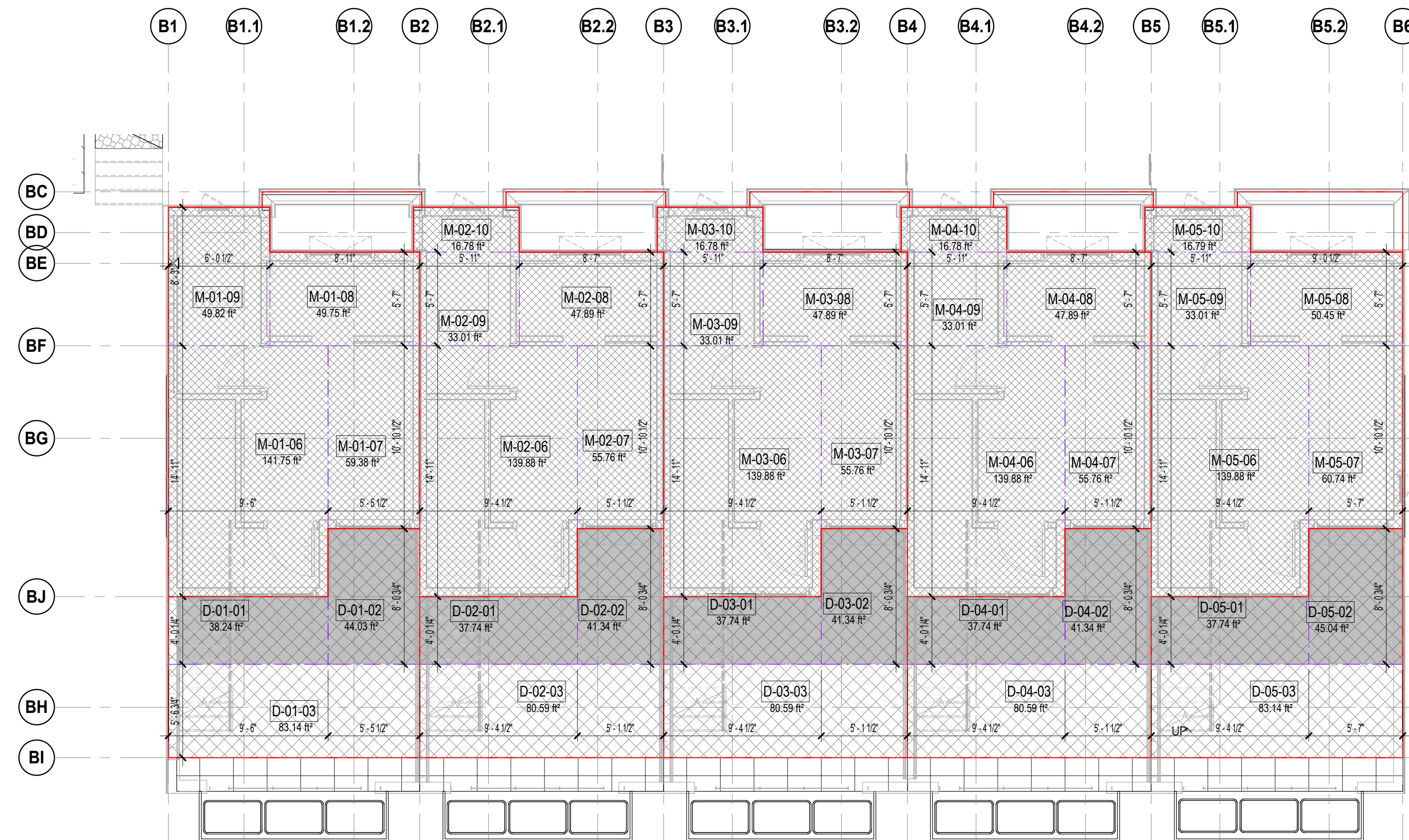
DRAWING TITLE

BLDG-A&B LEVEL 2 OVERLAY

DRAWING ISSUE

ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	5
A0222	3/16" = 1'-0"		

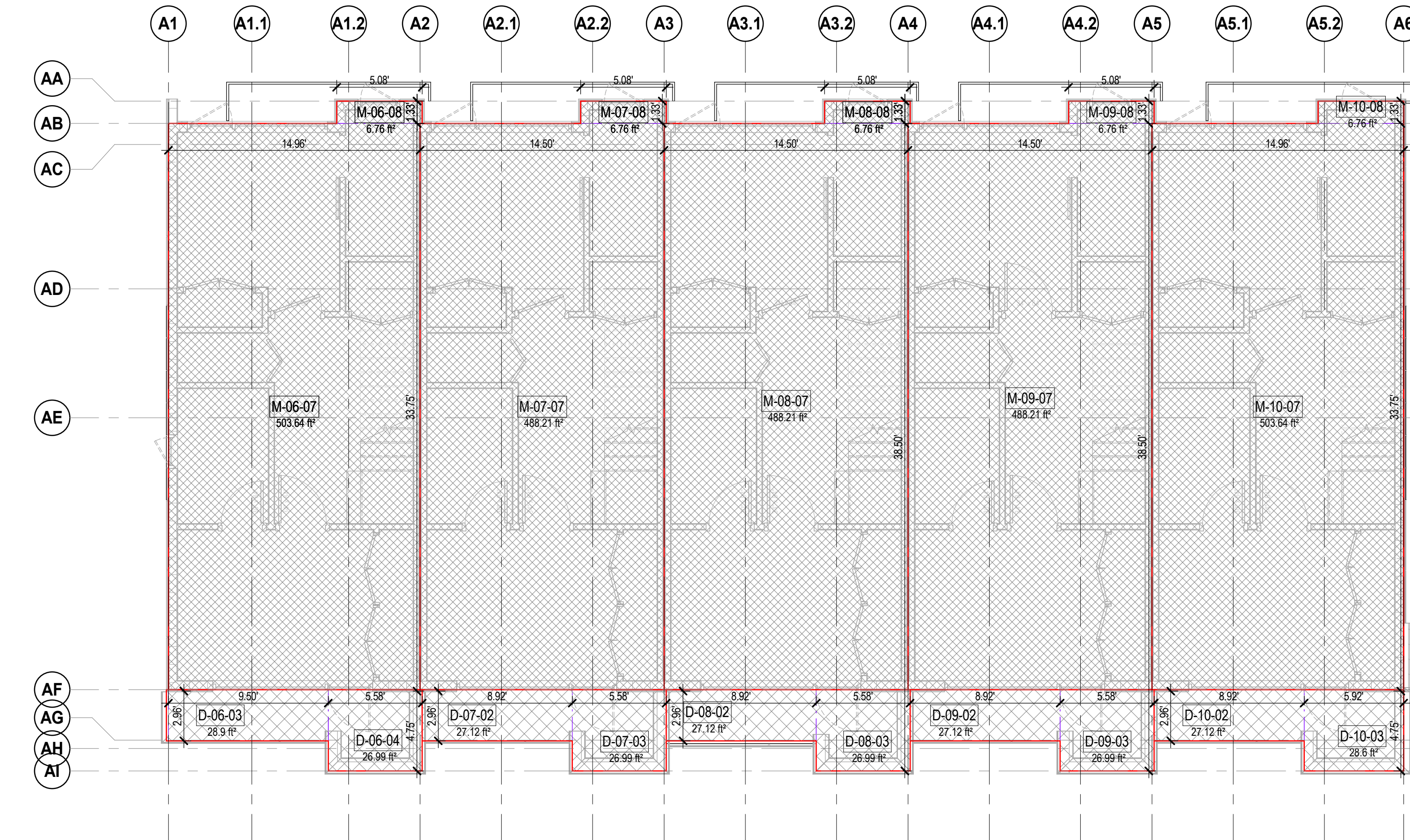


BLDG B - LEVEL 3 AREA OVERLAY-GROSS FLOOR AREA

ml	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Sun Deck							
B-LEVEL 3	D-05-03	14.96	5.56	83.14 ft ²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 3	D-04-03	14.50	5.56	80.59 ft ²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 3	D-03-03	14.50	5.56	80.59 ft ²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 3	D-02-03	14.50	5.56	80.59 ft ²	Sun Deck	Other Exclusion	Exclusion
B-LEVEL 3	D-01-03	14.96	5.56	83.14 ft ²	Sun Deck	Other Exclusion	Exclusion
				408.05 ft ²			

Covered Deck							
B-LEVEL 3	D-05-02	5.58	8.07	45.04 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-05-01	9.38	4.03	37.74 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-04-02	5.13	8.07	41.34 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-04-01	9.38	4.03	37.74 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-03-02	5.13	8.07	41.34 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-03-01	9.38	4.03	37.74 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-02-02	5.13	8.07	41.34 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-02-01	9.38	4.03	37.74 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-01-02	5.46	8.07	44.03 ft ²	Covered Deck	Veranda	Exclusion
B-LEVEL 3	D-01-01	9.50	4.03	38.24 ft ²	Covered Deck	Veranda	Exclusion
				402.30 ft ²			

Above Grade							
B-LEVEL 3	M-05-06	9.38	14.92	139.88 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-05-07	5.58	10.88	60.74 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-05-08	9.04	5.58	50.45 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-05-09	5.92	5.58	33.01 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-04-06	9.38	14.92	139.88 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-04-07	5.13	10.88	55.76 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-04-08	8.58	5.58	47.89 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-04-09	5.92	5.58	33.01 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-03-06	9.38	14.92	139.88 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-03-07	5.13	10.88	55.76 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-03-08	8.58	5.58	47.89 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-03-09	5.92	5.58	33.01 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-02-06	9.38	14.92	139.88 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-02-07	5.13	10.88	55.76 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-02-08	8.58	5.58	47.89 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-02-09	5.92	5.58	33.01 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-01-06	9.50	14.92	141.75 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-01-07	5.46	10.88	59.38 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-01-08	8.92	5.58	49.75 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-01-09	6.04	8.25	49.82 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-05-10	6.30	2.67	16.79 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-04-10	6.29	2.67	16.78 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-03-10	6.29	2.67	16.78 ft ²	Above Grade	Living Space	FSR
B-LEVEL 3	M-02-10	6.29	2.67	16.78 ft ²	Above Grade	Living Space	FSR
				1481.51 ft ²			



BLDG A - LEVEL 3 AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Sun Deck							
A-LEVEL 3	D-06-03	9.50	3.04	28.90 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-06-04	5.58	4.83	26.99 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-07-02	8.92	3.04	27.12 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-07-03	5.58	4.83	26.99 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-08-02	8.92	3.04	27.12 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-08-03	5.58	4.83	26.99 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-09-02	8.92	3.04	27.12 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-09-03	5.58	4.83	26.99 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-10-02	8.92	3.04	27.12 ft ²	Sun Deck	Other Exclusion	Exclusion
A-LEVEL 3	D-10-03	5.92	4.83	28.60 ft ²	Sun Deck	Other Exclusion	Exclusion
				273.92 ft ²			

Above Grade							
A-LEVEL 3	M-06-07	14.96	33.67	503.64 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-06-08	5.08	1.33	6.76 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-07-07	14.50	33.67	488.21 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-07-08	5.08	1.33	6.76 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-08-07	14.50	33.67	488.21 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-08-08	5.08	1.33	6.76 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-09-07	14.50	33.67	488.21 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-09-08	5.08	1.33	6.76 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-10-07	14.96	33.67	503.64 ft ²	Above Grade	Living Space	FSR
A-LEVEL 3	M-10-08	5.08	1.33	6.76 ft ²	Above Grade	Living Space	FSR
				2505.71 ft ²			

1 LEVEL 3 OVERLAY
A0008 SCALE: 3/16" = 1'-0"

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

BLDG-A&B LEVEL 3 AREA
OVERLAY

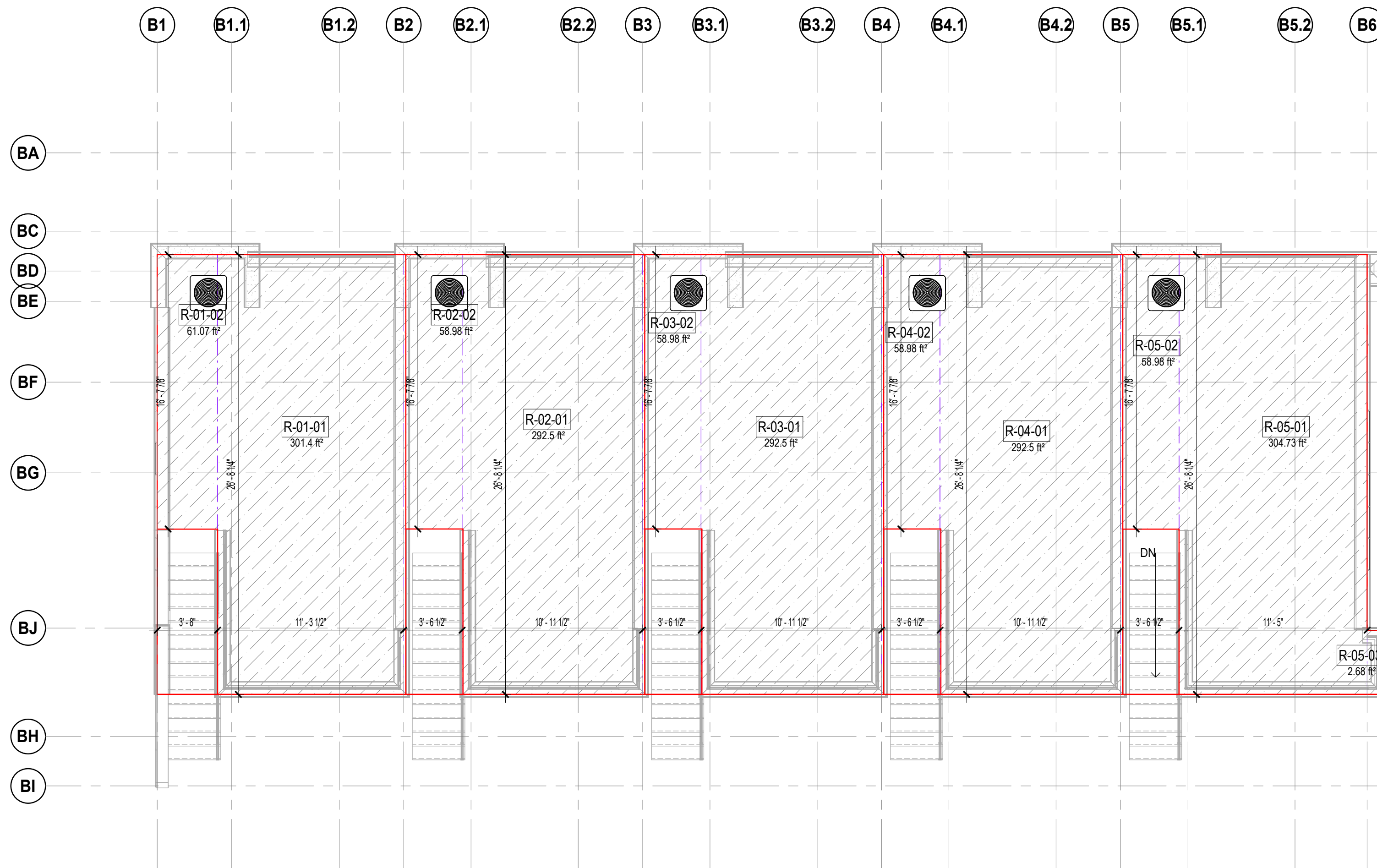
DRAWING ISSUE

ISSUED FOR 99% BP
PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0223	3/16" = 1'-0"		

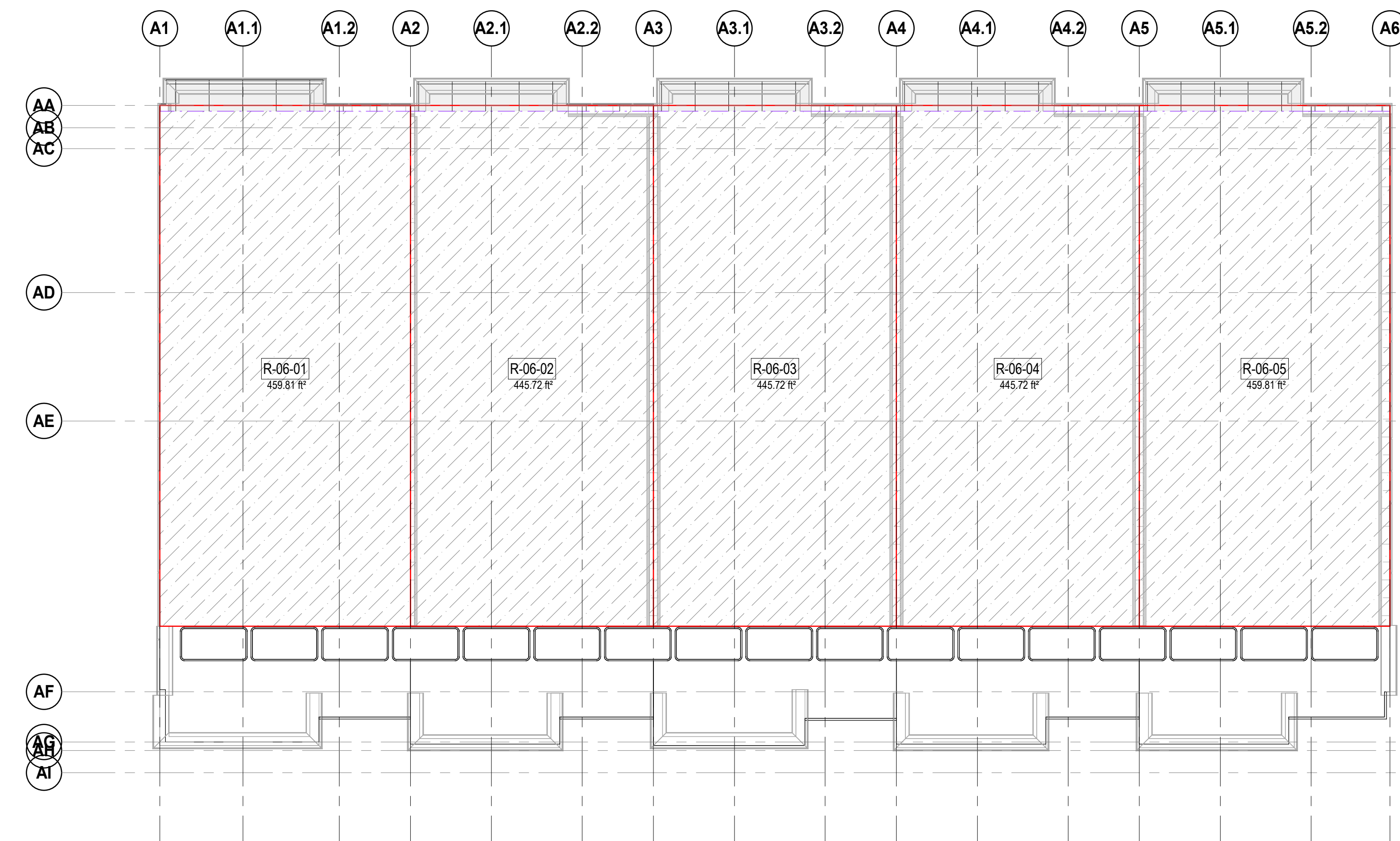
A0223

5



BLDG B -ROOF AREA OVERLAY-GROSS FLOOR AREA

ml	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Roof Deck							
B-ROOF	R-05-01	11.42	26.69	304.73 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-05-02	3.54	16.65	58.98 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-05-03	0.69	3.88	2.68 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-04-01	10.96	26.69	292.50 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-04-02	3.54	16.65	58.98 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-01-01	11.29	26.69	301.40 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-03-01	10.96	26.69	292.50 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-03-02	3.54	16.65	58.98 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-02-01	10.96	26.69	292.50 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-02-02	3.54	16.65	58.98 ft²	Roof Deck	Exclusion	Exclusion
B-ROOF	R-01-02	3.67	16.65	61.07 ft²	Roof Deck	Exclusion	Exclusion
Exclusion: 11				1783.31 ft²			



BLDG A -ROOF AREA OVERLAY-GROSS FLOOR AREA

Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Description	Area Category
Roof Deck							
A-ROOF	R-06-03	14.50	30.74	445.72 ft²	Roo Deck	Exclusion	Exclusion
A-ROOF	R-06-02	14.50	30.74	445.72 ft²	Roo Deck	Exclusion	Exclusion
A-ROOF	R-06-04	14.50	30.74	445.72 ft²	Roo Deck	Exclusion	Exclusion
A-ROOF	R-06-05	14.96	30.74	459.81 ft²	Roo Deck	Exclusion	Exclusion
A-ROOF	R-06-01	14.96	30.74	459.81 ft²	Roo Deck	Exclusion	Exclusion
Exclusion: 5				2256.78 ft²			

REV	DATE	DESCRIPTION	BY
4	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
3	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
2	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
1	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF

CONSULTANT

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B ROOF OVERLAY

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	NM
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0224	3/16" = 1'-0"		
REVISION	NO.	DESCRIPTION	DATE
	4		

MATERIAL LEGEND		
MT	Material Description	COLOUR
01	HARDIE PANEL & REVEAL	SMOOTH FINISH-ARCTIC WHITE
02	HARDIE PLANK LAP SIDING	WOOD STOCK BROWN, 7" EXPOSURES
03	HARDIE PANEL & REVEAL	SMOOTH FINISH-IRON GRAY
04	HARDIE PANEL & REVEAL	SMOOTH FINISH-LIGHT GRAY
05	HARDIE PANEL & REVEAL	SMOOTH FINISH-DARK GRAY
06	HARDIE PANEL & REVEAL	CONCRETE-LIGHT GRAY
07	CAST-IN-PLACE CONCRETE	GRAY
08	6X6 WOOD POST	CLADDIED, MATCH HARDIE SIDING
09	ALUMINUM FENCE	PER-FINISHED, DRAK GRAY & CHARCOAL
10	2 PIECE HARDIE FASCIA BOARD	IRON GRAY
11	PRE-FINISHED METAL FLASHING	WHITE
13	DOUBLE GLAZED PANEL	CLEAR
15	ALUMINUM GUARD & GLASS PANEL	ANODIZED, CHARCOAL
16	ENTRY DOOR PANEL	WOOD STAINED



1 BLDG-A ELEVATION SOUTH
SCALE: 3/16" = 1'-0"



2 BLDG-A ELEVATION NORTH
SCALE: 3/16" = 1'-0"

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
8	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
7	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
6	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
5	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG A-ELEVATIONS-SOUTH & NORTH

DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	MGH
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0401	3/16" = 1'-0"		
		REVISION	8



1 BLDG-B ELEVATION-SOUTH
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND		
MT	Material Description	COLOUR
01	HARDIE PANEL & REVEAL	SMOOTH FINISH-ARCTIC WHITE
02	HARDIEPLANK LAP SIDING	WOOD STOCK BROWN, 7" EXPOSURES
03	HARDIE PANEL & REVEAL	SMOOTH FINISH-IRON GRAY
04	HARDIE PANEL & REVEAL	SMOOTH FINISH-LIGHT GRAY
05	HARDIE PANEL & REVEAL	SMOOTH FINISH-DARK GRAY
06	HARDIE PANEL & REVEAL	CONCRETE-LIGHT GRAY
07	CAST-IN-PLACE CONCRETE	GRAY
08	6X6 WOOD POST	CLADDED, MATCH HARDIE SIDING
09	ALUMINUM FENCE	PER-FINISHED, DRAK GRAY & CHARCOAL
10	2 PIECE HARDIE FASCIA BOARD	IRON GRAY
11	PRE-FINISHED METAL FLASHING	WHITE
13	DOUBLE GLAZED PANEL	CLEAR
15	ALUMINUM GUARD & GLASS PANEL	ANODIZED, CHARCOAL
16	ENTRY DOOR PANEL	WOOD STAINED



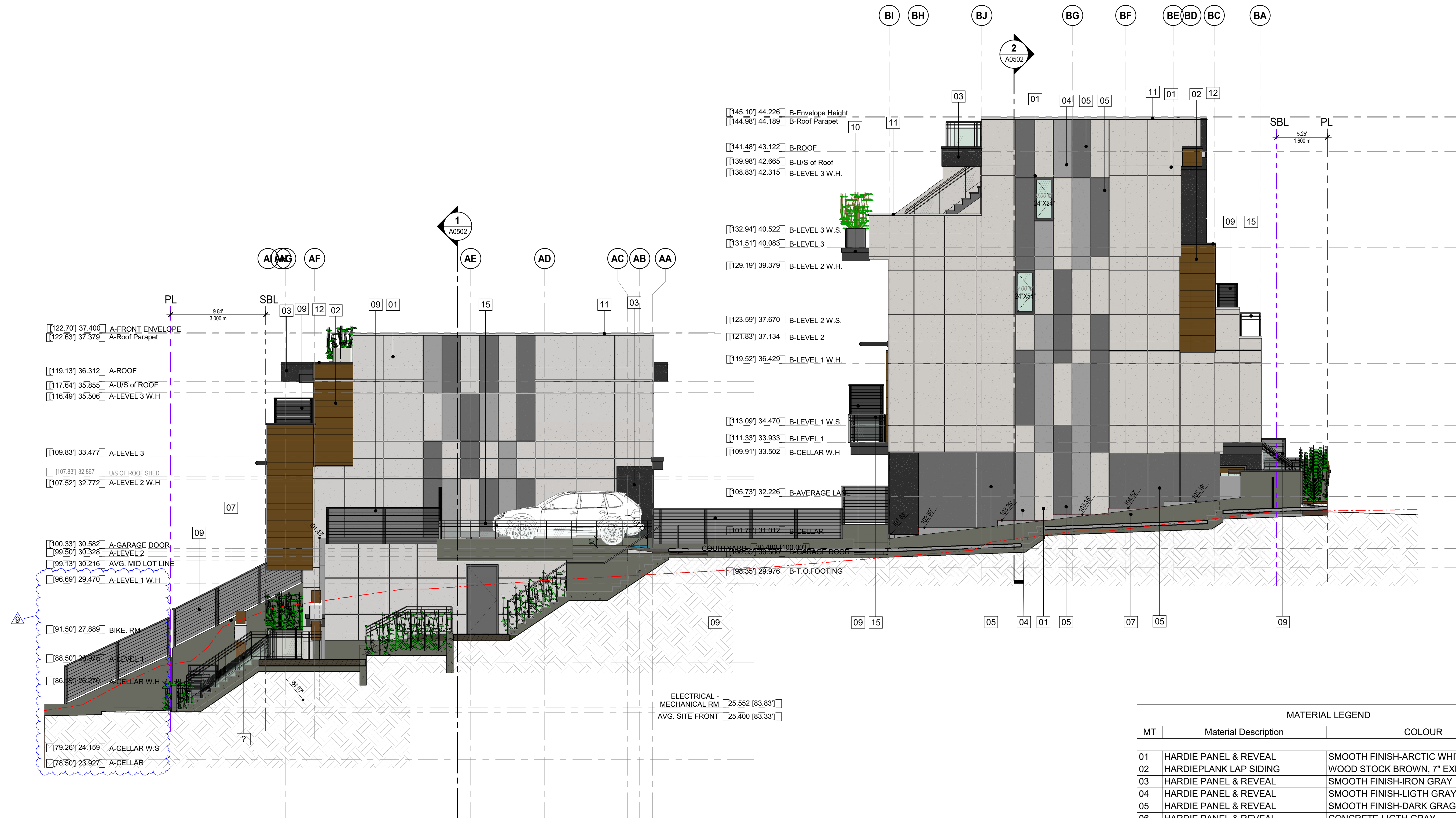
2 BLDG-B ELEVATION NORTH
SCALE: 3/16" = 1'-0"

REV.	DATE	DESCRIPTION	BY
9	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
8	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
7	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
6	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.
DRAWING TITLE
BLDG-B-ELEVATION-SOUTH & NORTH

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	9
A0402	3/16" = 1'-0"		



1
A0201
SIDE ELEVATION EAST
SCALE: 3/16" = 1'-0"

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
9	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
8	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
7	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
6	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

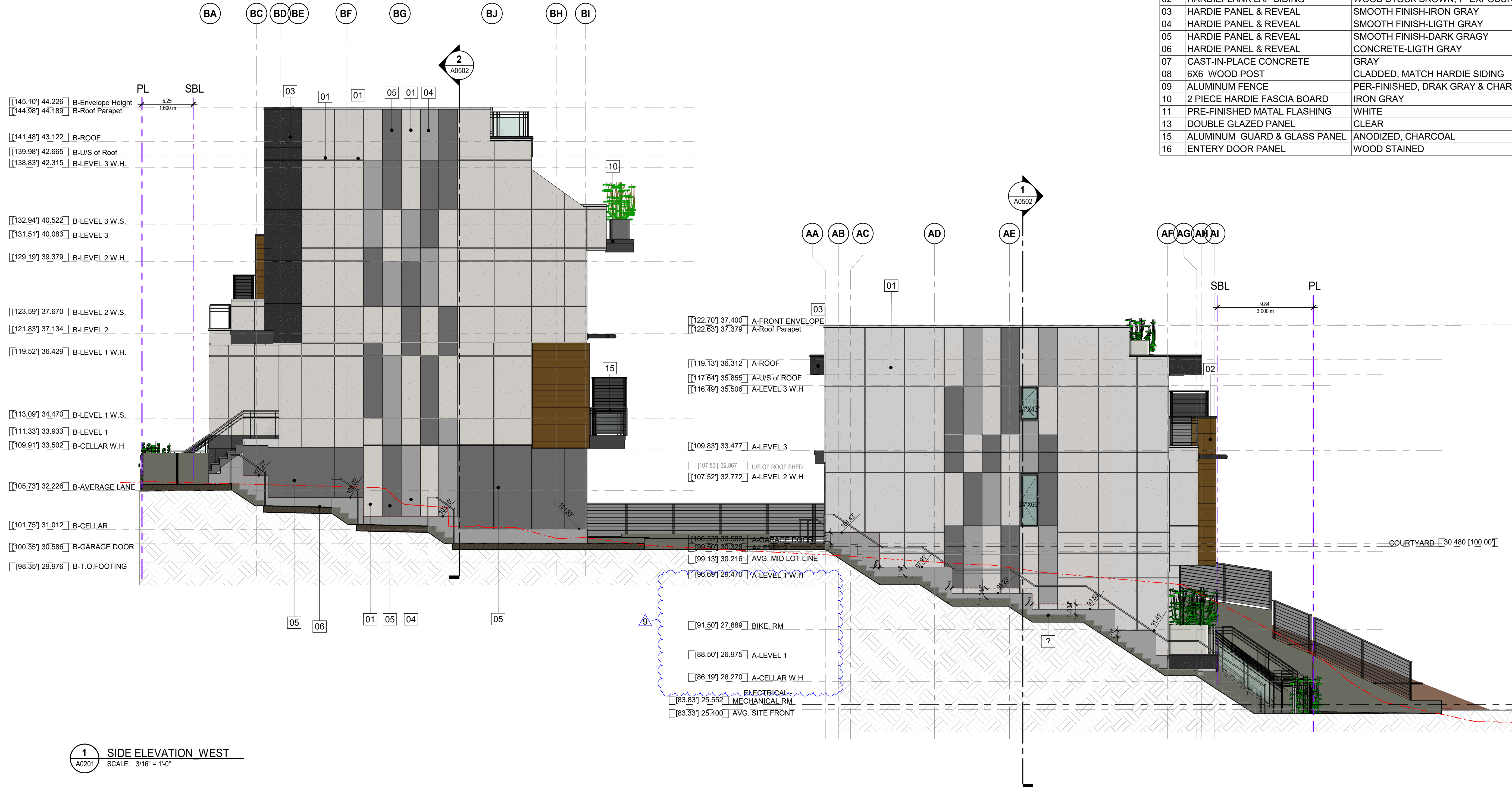
PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG-A&B-ELEVATION-EAST

DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	Checker
A0403	3/16" = 1'-0"		
		REVISION	9

MATERIAL LEGEND		
MT	Material Description	COLOUR
01	HARDIE PANEL & REVEAL	SMOOTH FINISH-ARCTIC WHITE
02	HARDIEPLANK LAP SIDING	WOOD STOCK BROWN, 7" EXPOSURES
03	HARDIE PANEL & REVEAL	SMOOTH FINISH-IRON GRAY
04	HARDIE PANEL & REVEAL	SMOOTH FINISH-LIGHT GRAY
05	HARDIE PANEL & REVEAL	SMOOTH FINISH-DARK GRAY
06	HARDIE PANEL & REVEAL	CONCRETE-LIGHT GRAY
07	CAST-IN-PLACE CONCRETE	GRAY
08	6X6 WOOD POST	CLADDED, MATCH HARDIE SIDING
09	ALUMINUM FENCE	PER-FINISHED, DARK GRAY & CHARCOAL
10	2 PIECE HARDIE FASCIA BOARD	IRON GRAY
11	PRE-FINISHED METAL FLASHING	WHITE
13	DOUBLE GLAZED PANEL	CLEAR
15	ALUMINUM GUARD & GLASS PANEL	ANODIZED, CHARCOAL
16	ENTRY DOOR PANEL	WOOD STAINED



1 SIDE ELEVATION WEST
SCALE: 3/16" = 1'-0"

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
9	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
8	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
7	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
6	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
5	2023-09-15	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

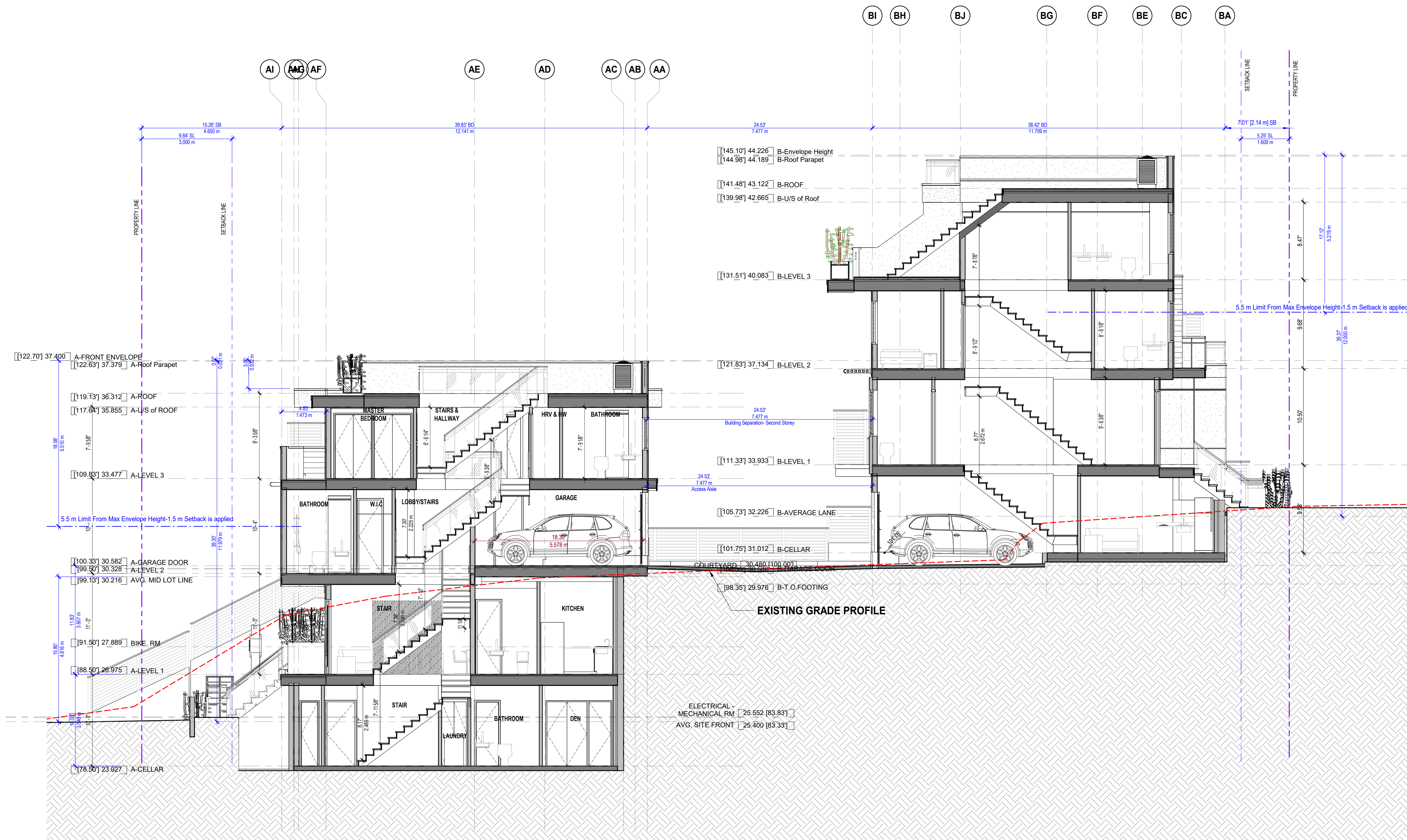
DRAWING TITLE

BLDG-A&B-ELEVATION-WEST

DRAWING ISSUE

REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	
A0404	3/16" = 1'-0"	9	



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
8	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
7	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
6	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
5	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
4	2023-05-02	REISSUED FOR ADP REVIEW	AF
3	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE
BLDG A&B-SECTIONS

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	MT
20236	APRIL 29, 2025		
SCALE	REVIEWED	AF	
3/16" = 1'-0"			
DRAWING NO.	REVISION	A0501	8

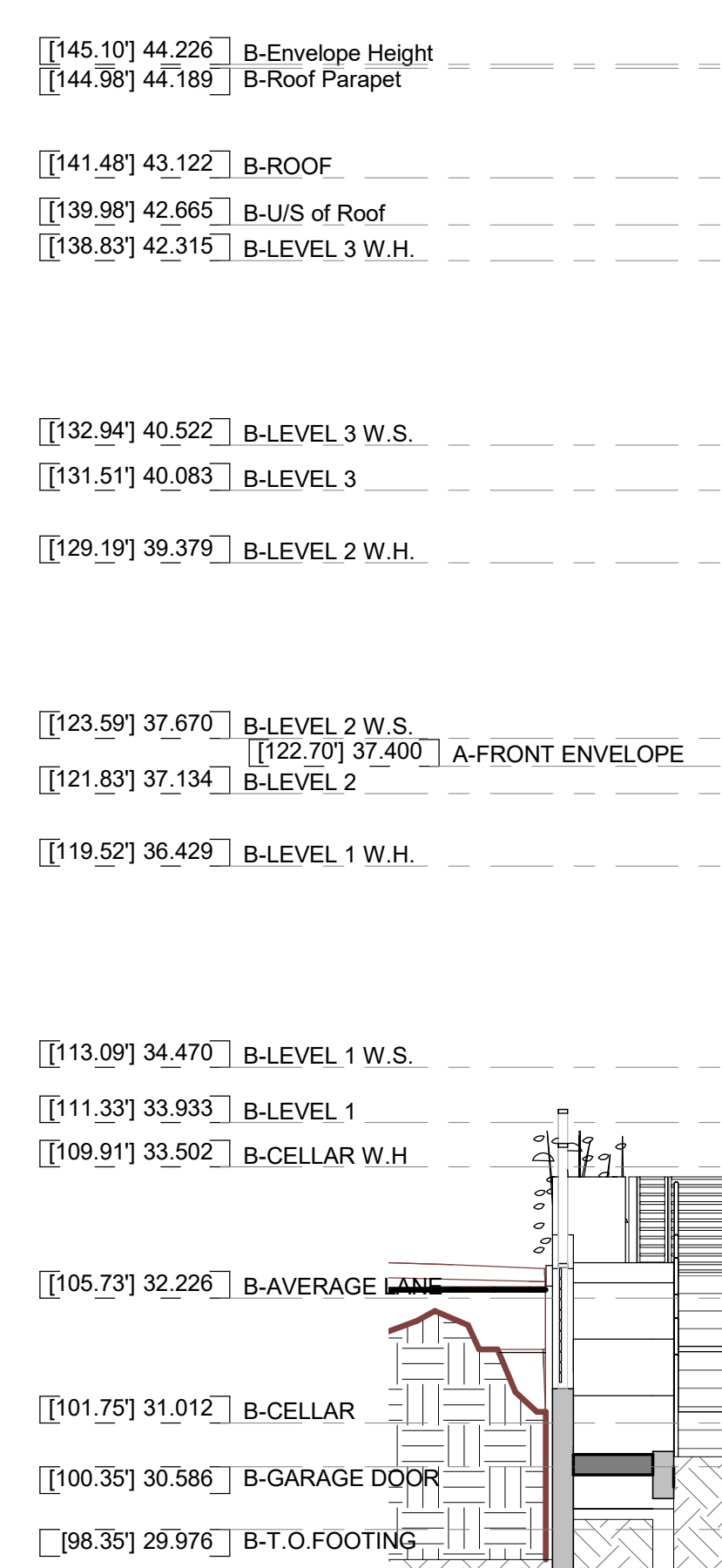
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1 BLDG A&B SECTION
A0201 SCALE: 3/16" = 1'-0"



1 BLDG.A Section B-B
SCALE: 3/16" = 1'-0"

B1 B1.1 B1.2 B2 B2.1 B2.2 B3 B3.1 B3.2 B4 B4.1 B4.2 B5 B5.1 B5.2 B6



2 BLDG.B Section B-B
SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
7	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
6	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
5	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
4	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
3	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
2	2023-05-02	REISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

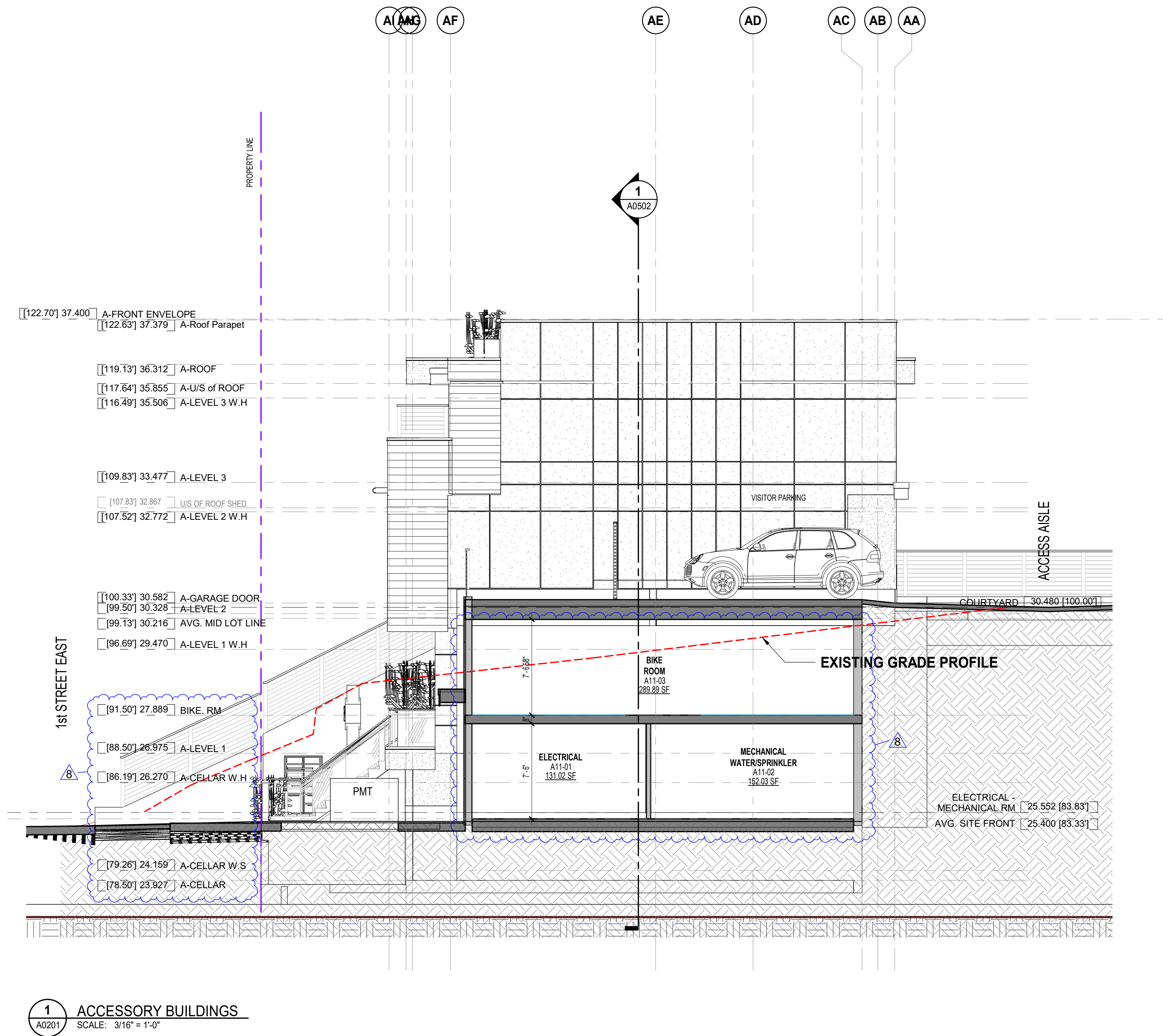
DRAWING TITLE
BLDG A&B-SECTIONS

DRAWING ISSUE
REISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	SG
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0502	3/16" = 1'-0"		7

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REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
8	2025-04-29	REISSUED FOR DEVELOPMENT PERMIT	AF
7	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
6	2025-01-06	ISSUED FOR 66% BP PROGRESS REVIEW	AF
5	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
4	2024-10-02	REISSUED FOR DEVELOPMENT PERMIT	AF
3	2023-05-02	REISSUED FOR ADP REVIEW	AF
2	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
1	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF

CONSULTANT			
PROJECT			
EAST 1ST STREET			
452,454,456,458 EAST 1ST STREET NORTH VANCOUVER BC.			
DRAWING TITLE			
ACCESSORY BUILDINGS SECTION			
DRAWING ISSUE			
REISSUED FOR DEVELOPMENT PERMIT			
PROJECT NO.	PLOT DATE	DRAWN	MT
20236	APRIL 29, 2025		
DRAWING NO.	SCALE	REVIEWED	AF
A0503	3/16" = 1'-0"		
			REVISION
			8

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5	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
4	2025-01-08	ISSUED FOR 66% BP PROGRESS REVIEW	AF
3	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
2	2023-05-02	ISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

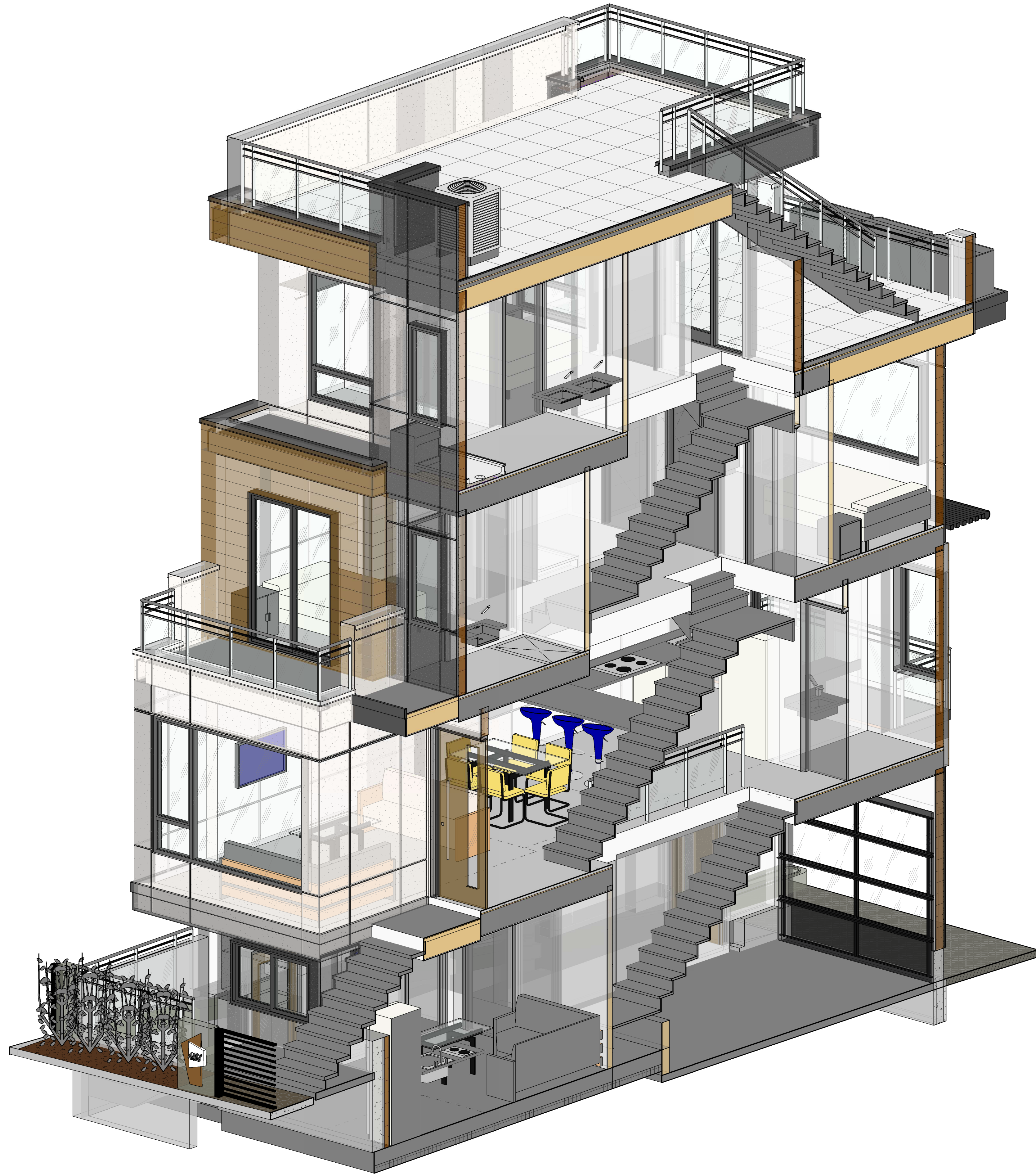
PROJECT
EAST 1ST STREET
 452,454,456,458 EAST 1ST STREET
 NORTH VANCOUVER BC.

DRAWING TITLE
BLDG A-TYPICAL UNIT 3D SECTION

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	MGH
20236	APRIL 29, 2025	REVIEWED	AF
DRAWING NO.	REVISION		
A0510	5		

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REV.	DATE	REVISION / DRAWING ISSUE	REVIEWER

REV.	DATE	REVISION / DRAWING ISSUE	REVIEWER
5	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
4	2025-01-08	ISSUED FOR 66% BP PROGRESS REVIEW	AF
3	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
2	2023-05-02	ISSUED FOR ADP REVIEW	AF
1	2022-07-27	ISSUED FOR DEVELOPMENT PERMIT	AF

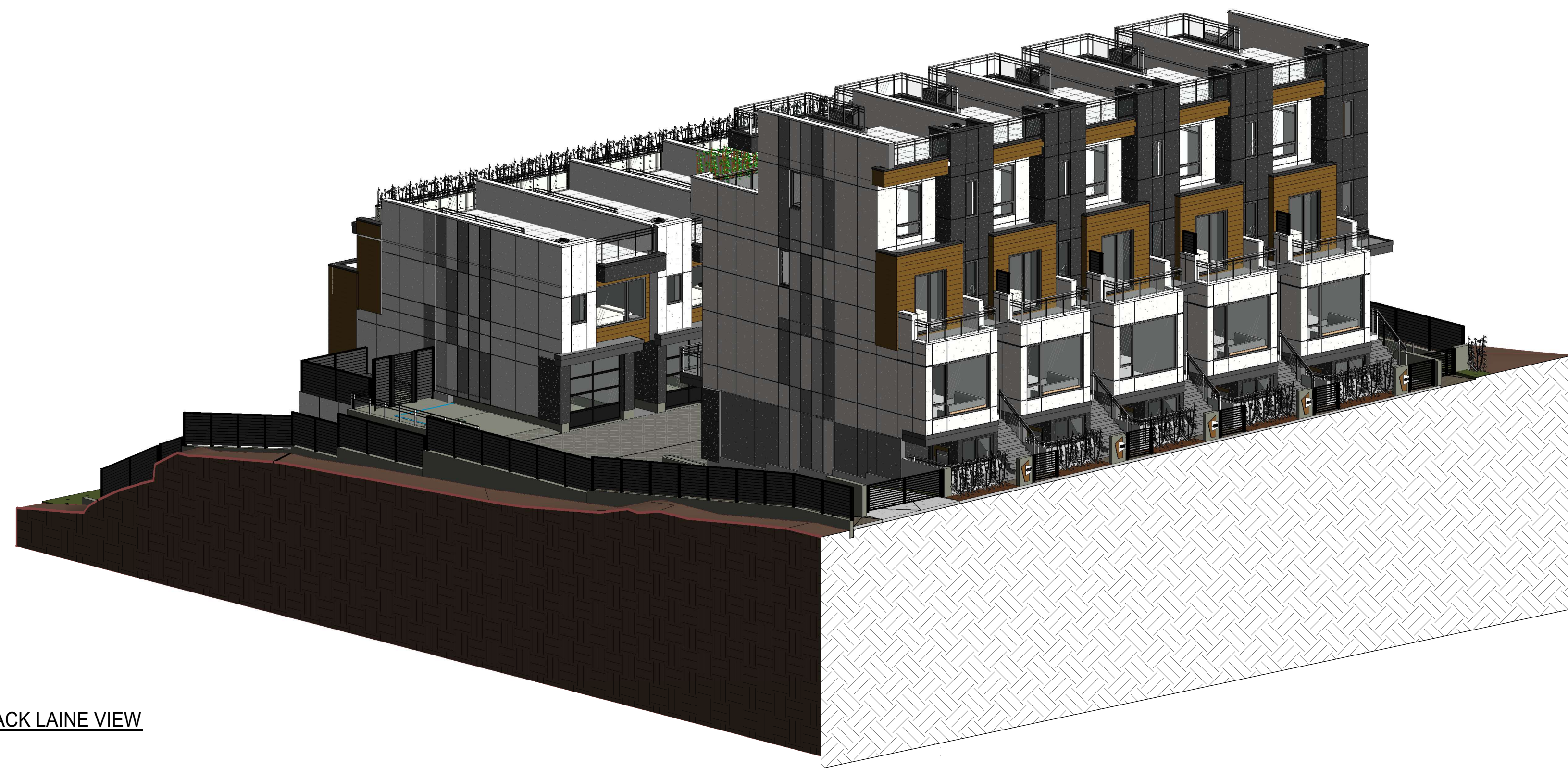
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PROJECT
EAST 1ST STREET
452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

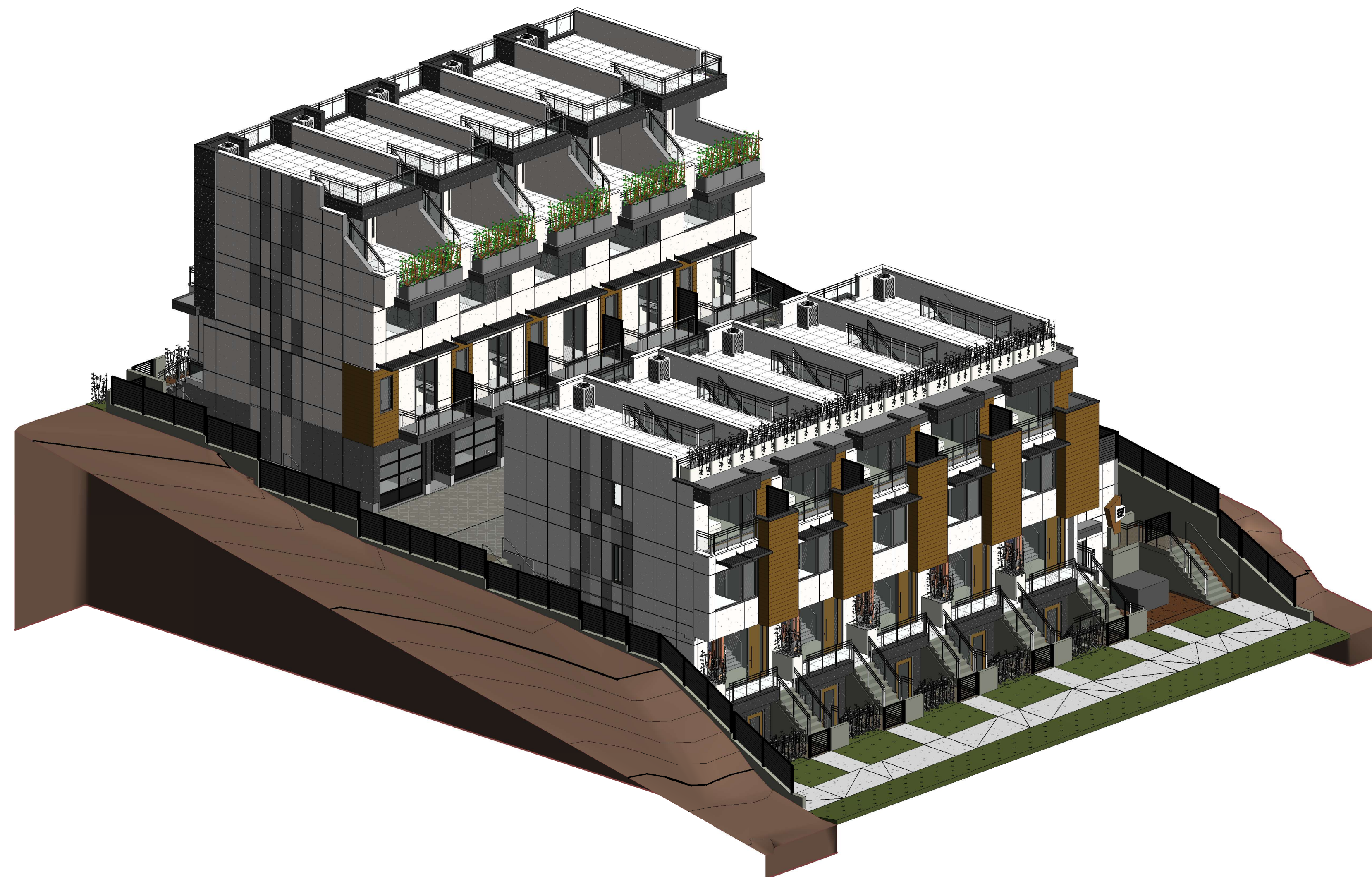
DRAWING TITLE
BLDG B-TYPICAL UNIT 3D SECTION

DRAWING ISSUE
ISSUED FOR 99% BP PROGRESS REVIEW

PROJECT NO.	PLOT DATE	DRAWN	AUTHOR
20236	APRIL 29, 2025		Author
DRAWING NO.	SCALE	REVIEWED	CHECKER
A0511			Checker
		REVISION	
		5	



2 3D-BACK LANE VIEW
A1601 SCALE:



1 3D-4TH STREET VIEW
A1601 SCALE:

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
6	2025-04-15	ISSUED FOR 99% BP PROGRESS REVIEW	AF
5	2025-01-06	ISSUED FOR 86% BP PROGRESS REVIEW	AF
4	2024-12-13	ISSUED FOR 33% BP PROGRESS REVIEW	AF
3	2023-05-02	REISSUED FOR ADP REVIEW	AF
2	2021-01-14	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
1	2020-09-16	SCHEMATIC DESIGN ISSUED FOR REVIEW	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

EAST 1ST STREET

452,454,456,458 EAST 1ST STREET
NORTH VANCOUVER BC.

DRAWING TITLE

3D VIEWS

DRAWING ISSUE

**ISSUED FOR 99% BP
PROGRESS REVIEW**

PROJECT NO.	PLOT DATE	DRAWN	Author
20236	APRIL 29, 2025	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	REVISION
A1601	1" = 1'-0"		6