

CONTEXT MAP

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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

CONTEXT

Drawing **MAP**
Drawn By B.C. Date AUG. 2021

Scale
Project
ZEIDABBADI REZONING
OF 450 WEST 15th STREET
NORTH VANCOUVER

1
of 15

REVISIONS

Quality Residential Design



SOUTH SIDE OF WEST 15th ST.
LOOKING EAST



SOUTH SIDE OF WEST 15th ST.
LOOKING SOUTH EAST



SOUTH SIDE OF WEST 15th ST.
LOOKING SOUTH WEST



SOUTH SIDE OF WEST 15th ST.
LOOKING WEST



NORTH SIDE OF WEST 15th ST.
LOOKING WEST



NORTH SIDE OF WEST 15th ST.
LOOKING NORTH WEST



NORTH SIDE OF WEST 15th ST.
LOOKING NORTH EAST



NORTH SIDE OF WEST 15th ST.
LOOKING EAST



NORTH SIDE OF LANE
LOOKING EAST



NORTH SIDE OF LANE
LOOKING SOUTH



NORTH SIDE OF LANE
LOOKING WEST



SOUTH SIDE OF LANE
LOOKING WEST

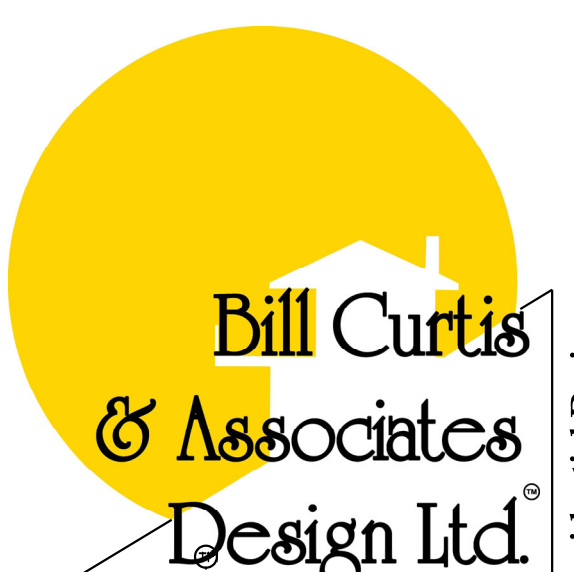


SOUTH SIDE OF LANE
LOOKING NORTH



SOUTH SIDE OF LANE
LOOKING EAST

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CONTEXT
PICTURES

Drawing
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Scale

Project
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OF 450 WEST 15th STREET
NORTH VANCOUVER

2 15
of

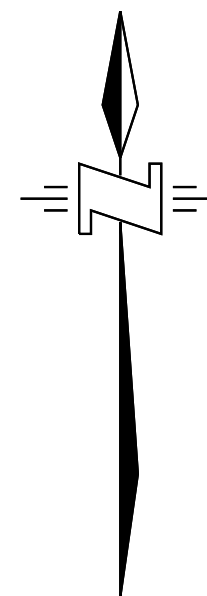
Quality Residential Design

LEGAL DESCRIPTION:

LOT 4 OF LOTS 7 AND 8 BLOCK 6
DISTRICT LOT 186
GROUP ONE NEW WESTMINSTER DISTRICT
PLAN 8864
P.I.D. 009-912-851

LEGEND:

- +12.34 DENOTES GROUND ELEVATION (TYPICAL)
- WATER VALVE
- CATCH BASIN
- MANHOLE
- SIGN
- INSPECTION CHAMBER
- POWER POLE
- FIRE HYDRANT



SITE DEVELOPMENT DATA

EXISTING ZONE : R5 1
PROPOSED ZONING: R5 2

WEST LOT

LOT AREA : ±3,180.9 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,134.28 SQUARE FEET (30%)
PROPOSED : 1,099.86 SQUARE FEET (29%)

FLOOR SPACE RATIO :

PERMITTED : 1,890.45 SQUARE FEET (50%)
PROPOSED : 1,890.40 SQUARE FEET (50%)

GARAGE:

AREA ALLOWED : 318 SQUARE FEET
AREA PROPOSED : 240 SQUARE FEET

PARKING:

REQUIRED : 2 STALLS
PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....222.46'
TOP OF UPPER FL. WALL.....216.88'
UPPER FLOOR.....207.8'
MAIN FLOOR.....196.96'
LOWER FLOOR.....187.04'

GARAGE:

ROOF RIDGE.....205.36'
TOP OF WALL.....201.85'
TOP OF SLAB.....193.35'
REFERENCE GRADE.....190.68'

SITE DEVELOPMENT DATA

EXISTING ZONE : R5 1
PROPOSED ZONING: R5 2

EAST LOT

LOT AREA : ±3,180.9 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,134.28 SQUARE FEET (30%)
PROPOSED : 1,101 SQUARE FEET (29%)

FLOOR SPACE RATIO :

PERMITTED : 1,890.45 SQUARE FEET (50%)
PROPOSED : 1,890.45 SQUARE FEET (50%)

GARAGE:

AREA ALLOWED : 318 SQUARE FEET
AREA PROPOSED : 240 SQUARE FEET

PARKING:

REQUIRED : 2 STALLS
PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....223.93'
TOP OF UPPER FL. WALL.....218.35'
UPPER FLOOR.....209.21'
MAIN FLOOR.....198.43'
LOWER FLOOR.....188.58'

GARAGE:

ROOF RIDGE.....206.66'
TOP OF WALL.....203.15'
TOP OF SLAB.....194.65'
REFERENCE GRADE.....192.15'

JUNE 2023 STAFF REVIEW COMMENTS

REVISIONS



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Drawing SITE PLAN

Drawn By B.C. Date AUG. 2021

Scale 1/8" = 1'-0"

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NORTH VANCOUVER

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of

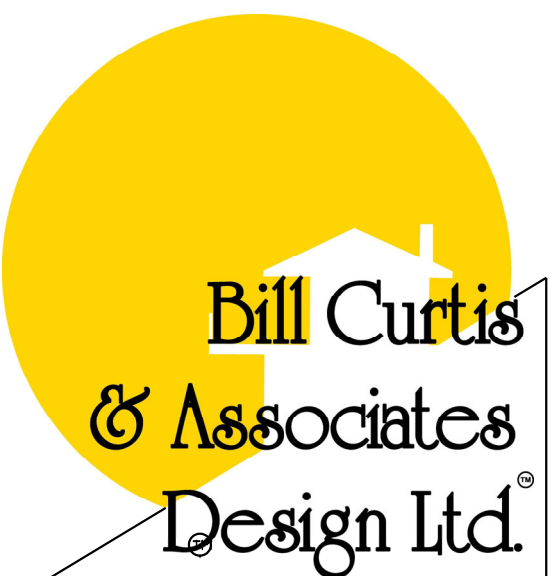
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STORM MH RIM: 181.0
N INV: 193.0
UNABLE TO MEASURE WEST
INVERT- WATER FILLED



SOUTH ELEVATION

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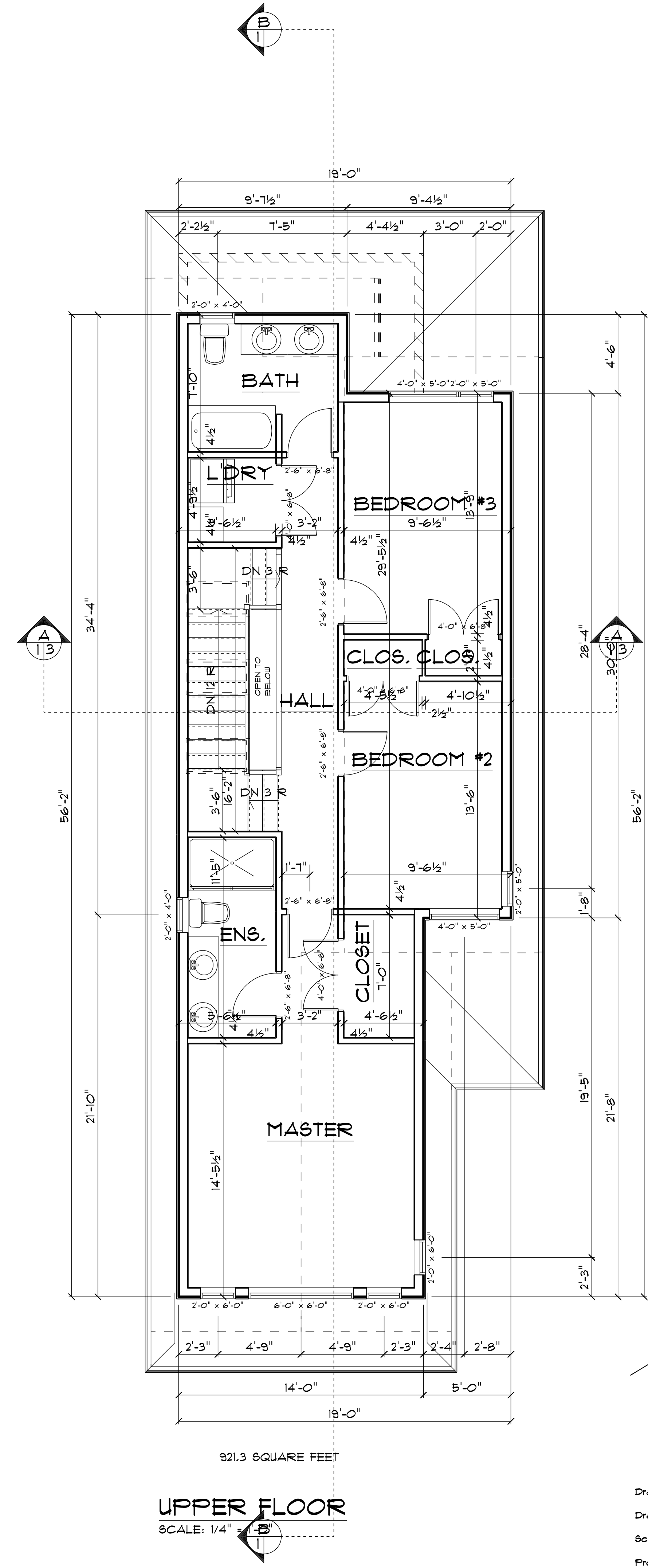
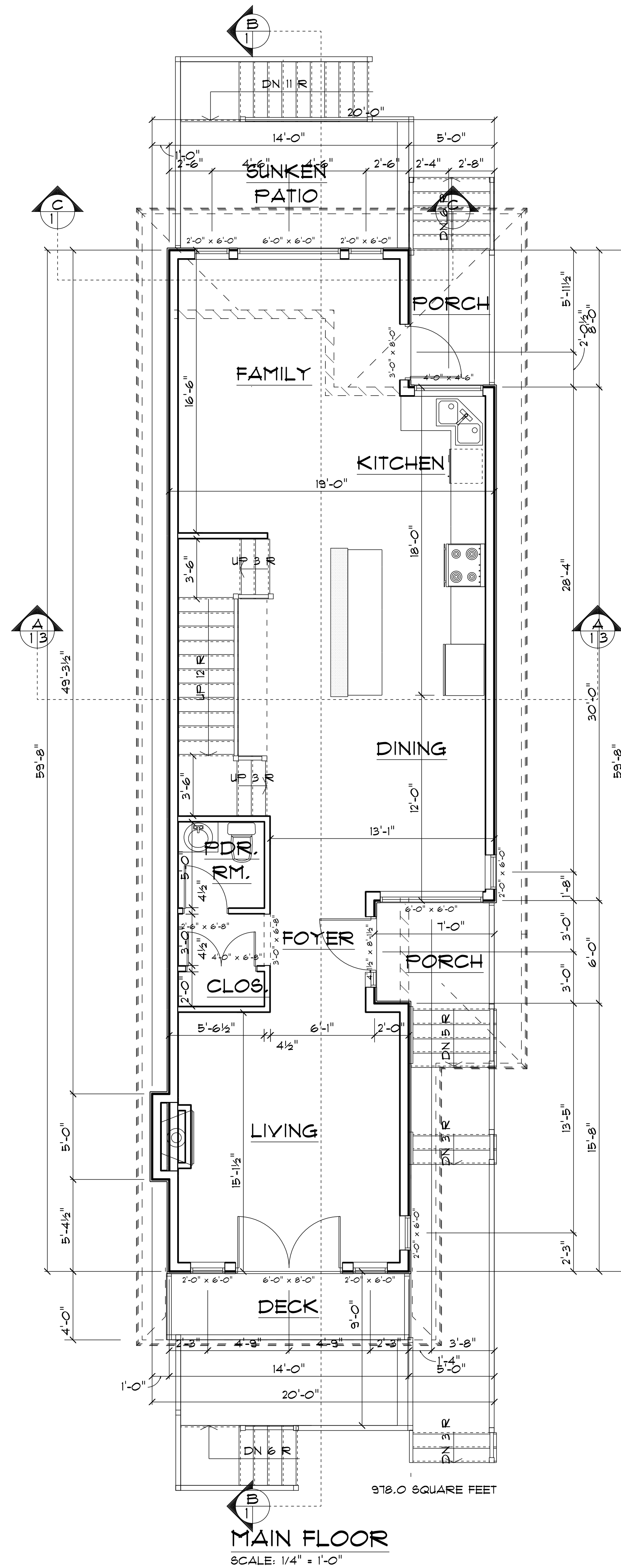
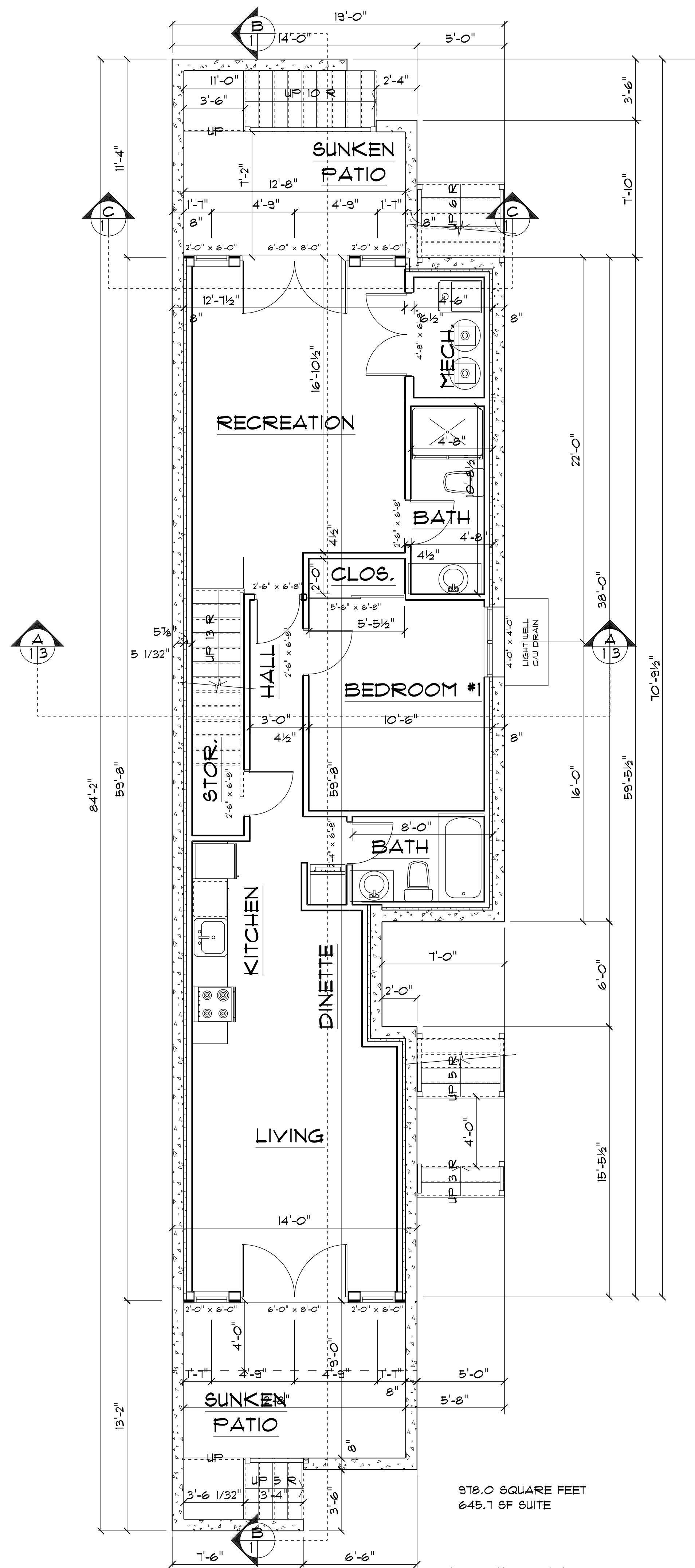
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Drawing **STREETSCAPE**

Drawn By B.C. Date AUG. 2021

Scale

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REVISIONS

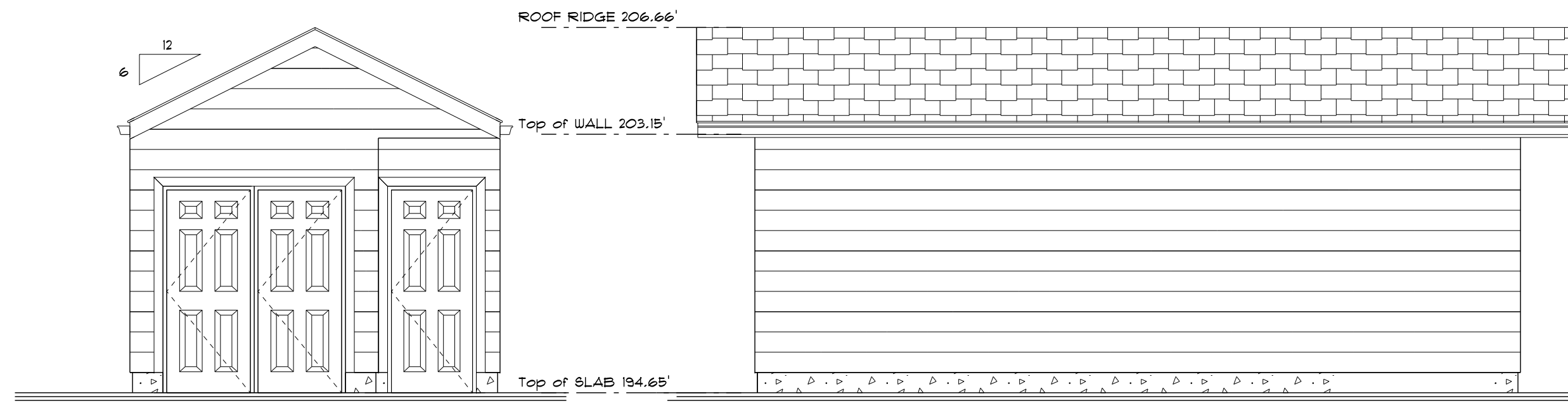
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EAST LOT
FLOOR PLANS

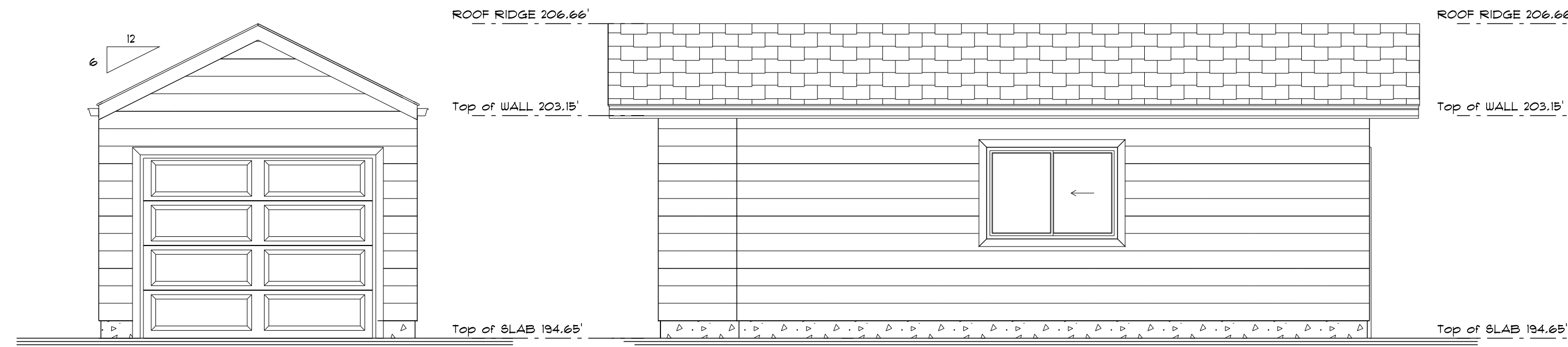
Drawing
Drawn By B.C. Date AUG. 2021
Scale 1/4" = 1'-0"

Project
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OF 450 WEST 15th STREET
NORTH VANCOUVER**

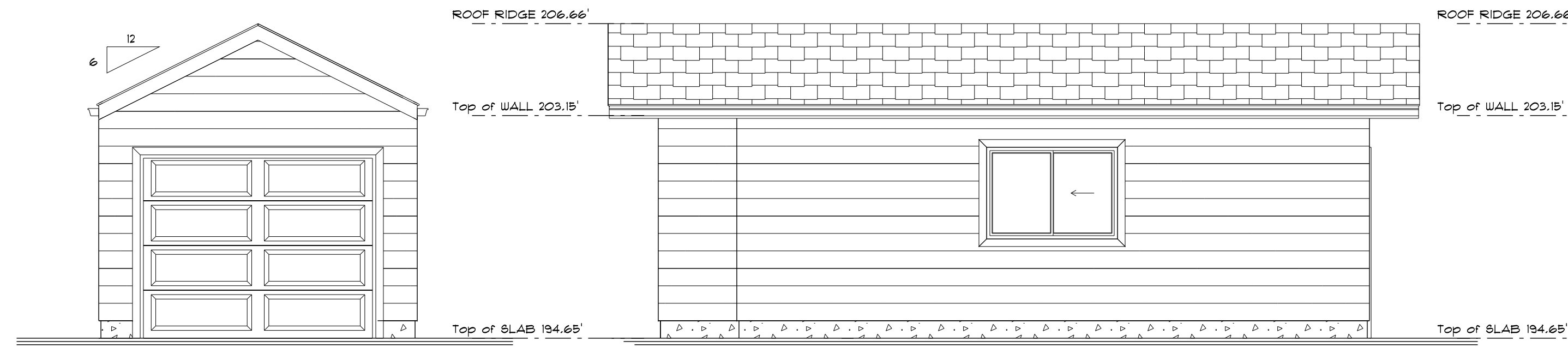
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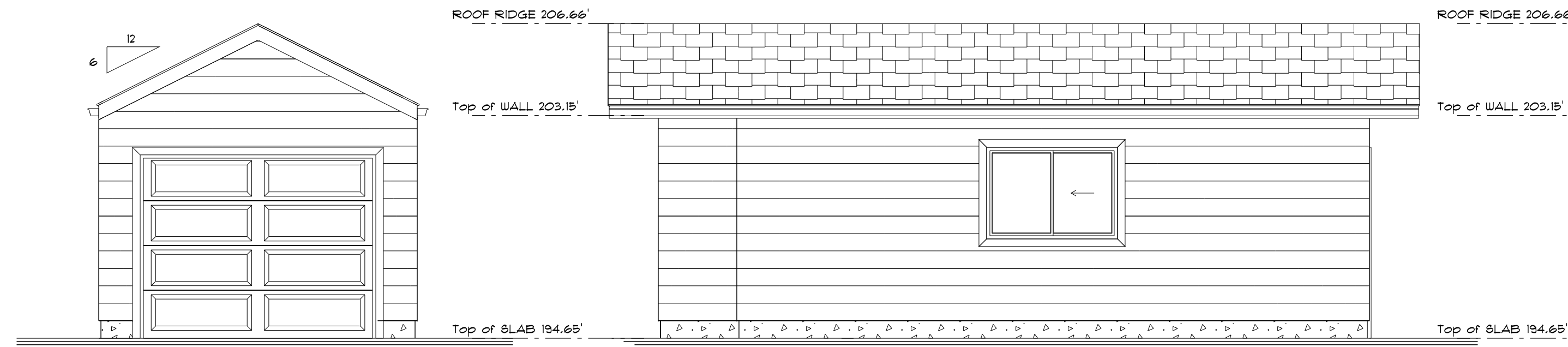
GARAGE SOUTH ELEVATION



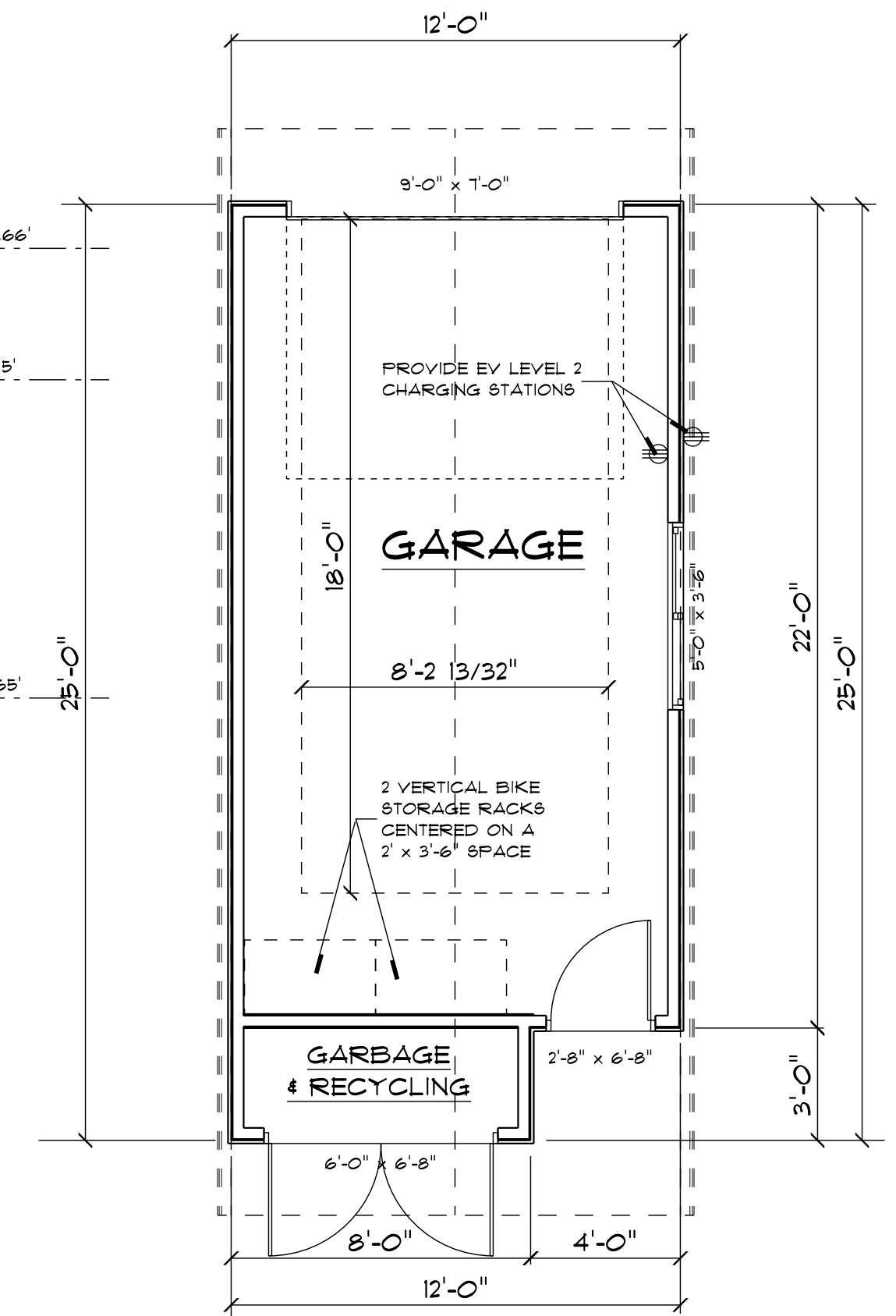
GARAGE WEST ELEVATION



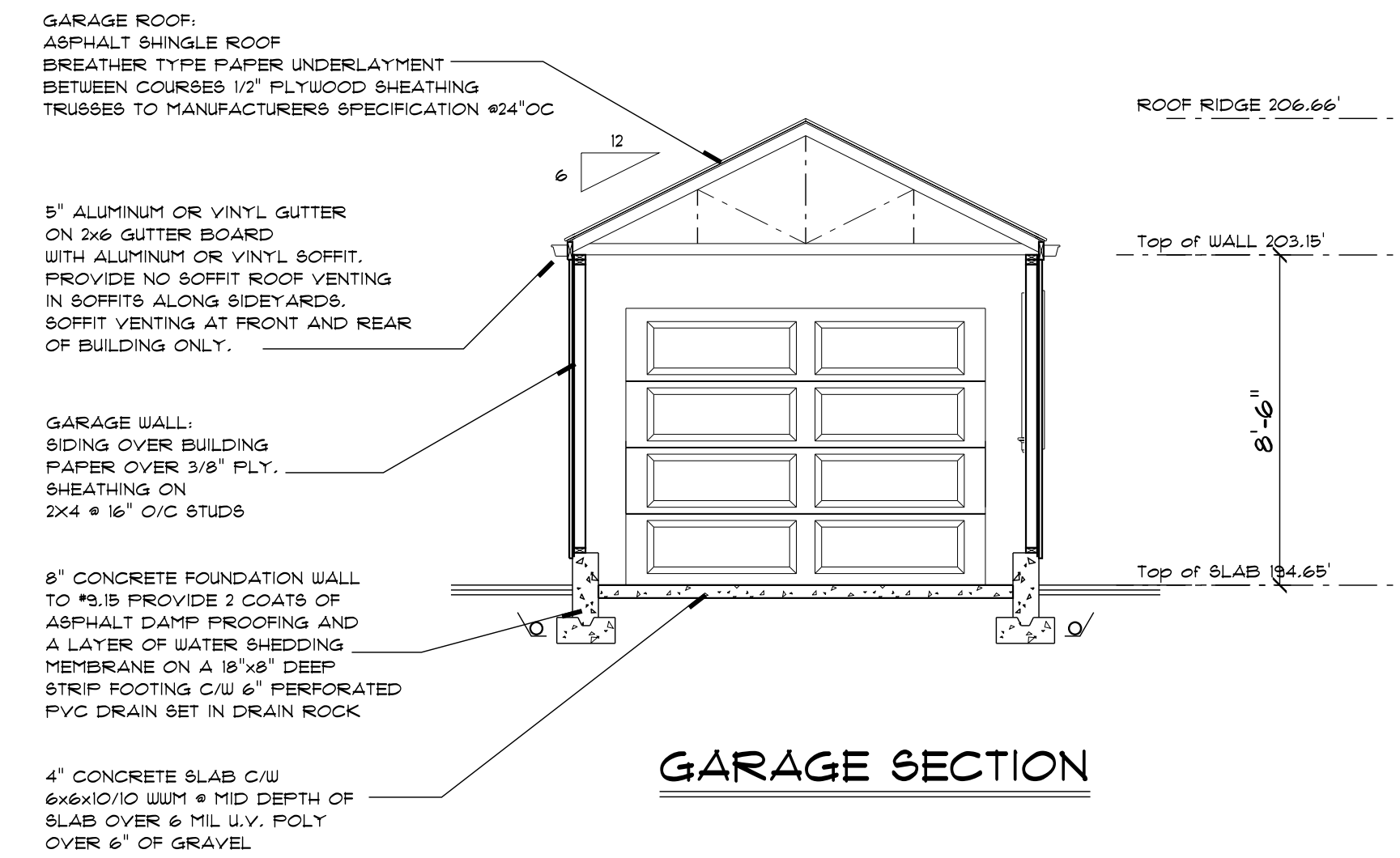
GARAGE NORTH ELEVATION



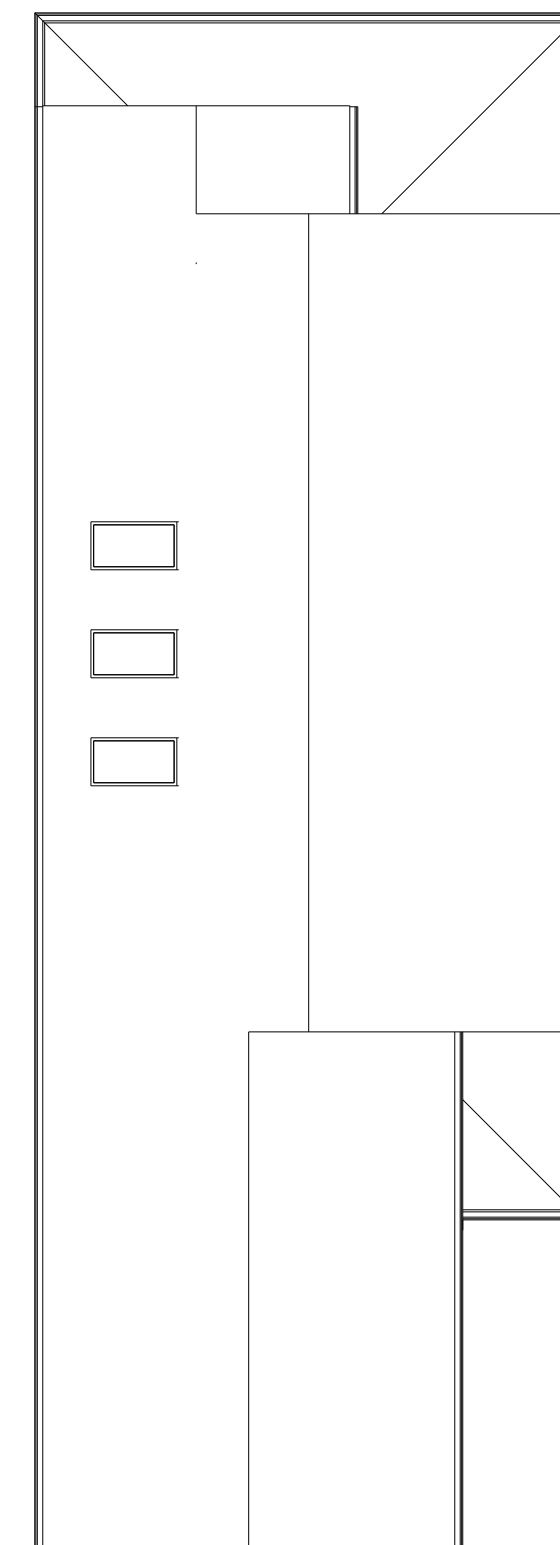
GARAGE EAST ELEVATION



GARAGE PLAN

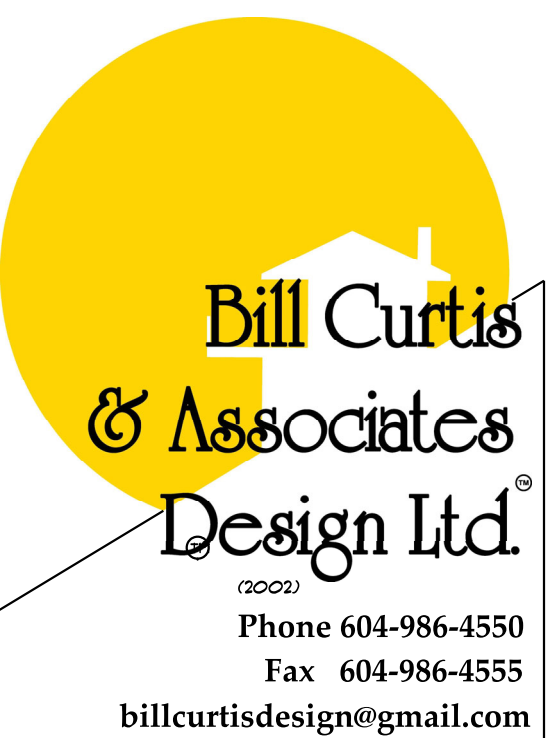


GARAGE SECTION



ROOF PLAN
SCALE: 1/8" = 1'-0"

REVISIONS



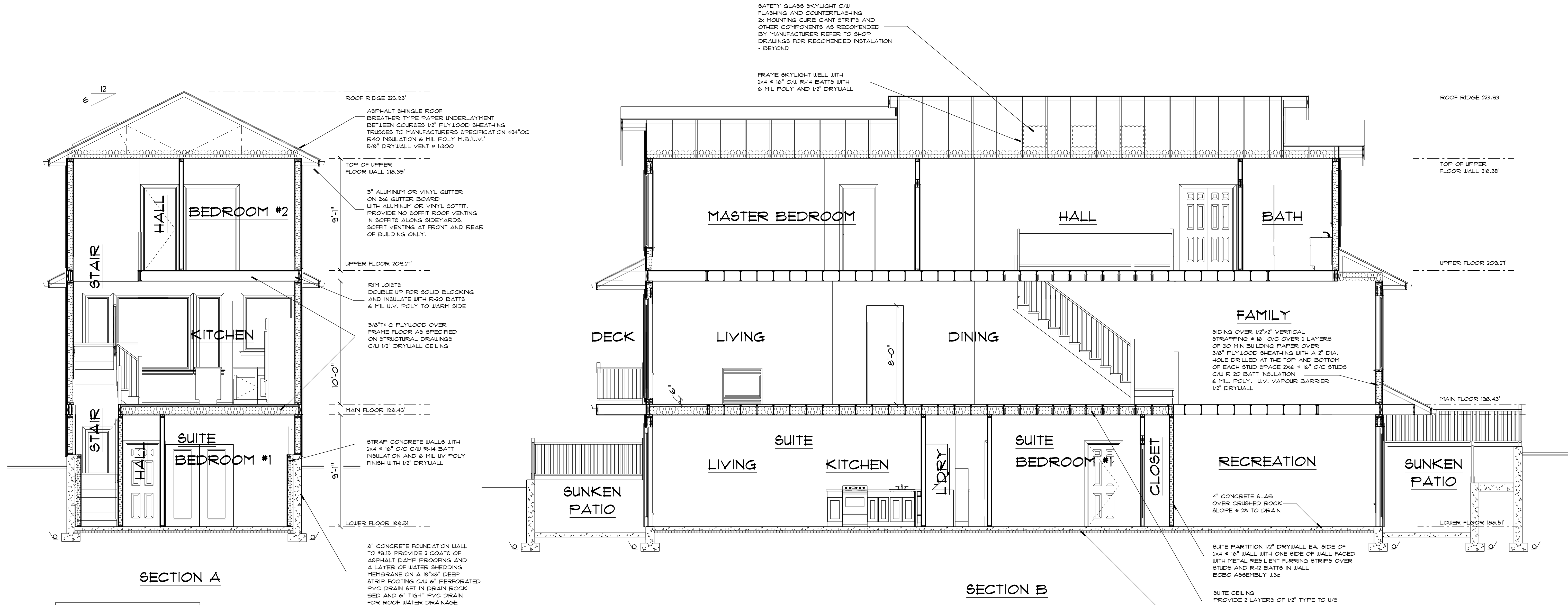
Harbourfront Business Centre
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EAST LOT

Drawing **GARAGE PLAN**

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Scale 1/4" : 1'-0" OR AS NOTED

Project
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NORTH VANCOUVER



Construction Notes

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General Conditions:

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
- All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings to find an unknown dimension contact the designer.
- The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with
The British Columbia Building Code 2018 (BCBC).

Foundations:

- Concrete shall be 32 mpa (3,000 psi) at 28 days.
- Footings shall extend a minimum of 18" below grade and to solid bearing.
- Pin foundations to rock as described in structural drawings.
- Provide a minimum of 2 coats of asphalt waterproofing or an approved waterproofing membrane over the exterior face of foundation walls.
- Provide 1/2" anchor bolts @ 6" o/c or anchor straps @ 4" o/c maximum spacing.
- Anchor posts to footings with pinned anchor saddles embedded in footings.
- Provide a damp proofing felt or equal between plates and concrete foundations where there is potential for contact or provide pressure treated plate.
- Provide a non-binding agent between the tops of foundations and concrete slabs to prevent bonding.
- Provide a minimum 6 mil u.v. layer of poly under concrete slabs and skim coats.
- Fill under concrete slabs and skims to be non organic.

Framing:

- All framing is to be to * 9.33 BCBC.
- All load bearing lumber to be Douglas Fir #2 or better.
- Limits are to be 2x10 DF#2 or better.
- All deck framing is to be pressure treated.
- Glulam, parallel truss and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof and floor trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.
- Cross bridge floor and roof joists @ 1" O/C maximum.

Stairs:

- Straight stair: Rise min. 4.92" max. 7.81"
Run min. 8.21" max. 13.98"
Tread min. 9.25" max. 13.98"
- All treads to have a 1" nosing.
- Minimum headroom is 6'-8" measured vertically from an imaginary line connecting the stair nosings.
- Handrail height is to be between 32" and 38" measured as clear height over stairs.
- Winders to conform to *9.8.4.5.
- Minimum stair width is 2'-10".
- Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stair.
- A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
- No member facilitating climbing above 4" to 36" from the deck or stair surface is permitted in the handrail assembly.
- The maximum opening size within the balustrade width is 4".

Guardrails:

- Guardrail height is 36" where the vertical distance to grade is 5'-11" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
- All guards to have a cap unless engineer approved.
- A guard is required where there is a slope of 24" or more.
- A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

Safety Glass:

- Glass within 36" of a door shall be safety glass.
- Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
- Windows in walls enclosing showers or bathtubs shall be safety glass and located above the waterproof finish height.
- Mirrored doors are to be safety glass and blocked with solid material.
- Glass within 8" of the floor is to be safety glass.

Cladding:

- Cladding shall conform to *9.21 BCBC.
- All flashing shall conform to *9.21.3.1 BCBC and installed to conform with *9.21.3.8 BCBC.
- All cladding shall conform to Section *9.21.4 BCBC.

Fireplaces and Chimneys:

- Fireplaces and chimneys shall conform to *9.21 and *9.22.
- Provide 2" clearance between chimney and combustible framing.
- Masonry hearths shall conform to *9.22.5.1.
- Provide fuelinlets to *9.21.3. Flue sizes to 9.21.2.5a & b.
- Provide clearouts to *9.21.4.1.
- Provide 4" firebrick lining to firebox.
- Provide dampers.
- Factory built fireplaces and chimneys shall be installed to manufacturers specifications and to meet UL listing requirements.
- Provide non combustible protection under non combustible hearth.
- Fireplaces to have light fitting doors and outside combustion air supplied directly to the firebox.

Miscellaneous:

- Heating system: Principle residence, Air source Heat Pump, output 21500 BTU/hr, HSPF 9.9
Backup: Baseboard, output 21500 BTU/hr
Cooling: Air source Heat Pump, output 21500 BTU/hr, SEER 13
Suite, Electric Baseboard
Water Heating: Electric Storage Tank 80 gal. 0.81 EF

- Provide for fiberglass window frames with thermal glazing in sealed units providing a minimum 1/2" airspace.
- Glass in doors and windows to be double glazed unless otherwise specified.
- Provide thermally broken frames in all skylights.
- Hard wire smoke alarm in bedroom area and on all floors to conform to *9.10.18 BCBC.
- Provide carbon monoxide detectors within 16.4' of a bedroom door or in the bedroom and conform to *9.32.4.2 BCBC.
- Waterproof wall finishes in shower and bathtub enclosures and apply over a moisture resistant backing.
- Provide insulation blocks to allow for adequate ventilation at restricted locations.
- Finish grades are to direct water away from the building and to conform to *9.9.1.4 BCBC.
- Provide hard wired C.O. detectors in each bedroom within 16' (5 Metres) of bedroom door in conformance with *9.32.4.2.

SAFETY GLASS SKYLIGHT C/W
FLASHING AND COUNTERFLASHING
2x MOUNTING CURB CANT STRIPS AND
OTHER COMPONENTS AS RECOMMENDED
BY MANUFACTURER REFER TO SHOP
DRAWINGS FOR RECOMMENDED INSTALLATION
- BEYOND

FRAME SKYLIGHT WELL WITH
2x4 @ 16" C/W R-14 BATTS WITH
6 MIL POLY AND 1/2" DRYWALL

SECTION B

Energy Efficiency:

- All heating, ventilation and insulation components are to conform to regulations outlined in section *9.10.
- All habitable spaces are to achieve Step Code 3 performance.
- Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
- Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

Ventilation:

- Principle ventilation: HRV 59 CFM 65% SER
Secondary ventilation: Bathroom exhaust fan Passive intake, 30 CFM
- Provide exhaust fans that provide half an air change an hour located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be mechanically vented from all kitchens, bathrooms and laundry rooms.
- Air to be ducted to a centrally located and continuously running 2 speed exhaust fan (speed controlled from sources).
- Duct systems shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trade.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Provide sealed or lapped joints at least 4" wide at framing members, furring or blocking.
- Provide vapour barrier protection at the inside of box joists.
- Holes through vapour barriers for mechanical and electrical services shall be sealed to retain the integrity of the air envelope.
- Vapour proof electrical boxes are recommended for exterior walls.
- Attic access hatches are to be weathertipped and have an air barrier.
- Uniformly ventilate roof space at a 1:300 ratio of the insulated floor area.
Ventilation ratio is to be 1:150 in conditions where the roof slope is 2:12 or less.
- Provide a minimum of 25% of the required ventilation area at the roof ridge.
- All ducts intended for the discharge of air to the outdoors shall be equipped with a motorized, gravity or spring operated backflow damper.
- All ducts and plenums carrying conditioned air and located within the plane of insulation shall have all joints sealed against air infiltration and exfiltration with sealants or gaskets made from liquids, mastics, or heat applied materials.
- Ventilate attics @ 1:300 ratio of insulated ceiling area. Ventilate flat roofs @ 1:150 ratio.
- Roof vents are to be uniformly distributed with a minimum of 25% at the base and 25% at the roof stop.
- Submit mechanical ventilation/air conditioning design and letter of supervision by a Professional Engineer certified HRAI or HVAC Technician at frame and final inspection.
- Heat Recovery Ventilators are to be installed to manufacturers specifications.

Dwelling Security:

- Main entrance doors without sidelights are to be equipped with a door viewer.
- Doorframes in exterior openings are to be solid blocked at the lock height so that the door frame will resist spreading by force to *9.6.6 BCBC and *9.3.1.4 BCBC.
- Exterior doors shall be provided with a 5 pin cylinder deadbolt lock with a 1" throw to *9.6.6 BCBC.
- Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
- Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the sash lock of the door handle.

Vapour Barrier:

- Where an interior floor wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
- Provide vapour barrier protection to the inside of insulation on the inside of box joist or as rigid foam insulation.
- Clearance between chimneys or vents to be sealed with non-combustible insulation.

Moisture Protection:

- Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building at 6% minimum.
- Provide flashing at all wall - roof junctions, including parapets for guards on decks.
- Reinforced assembly required for all buildings with a minimum capillary break of 3/8".
- All platforms are roofs.
- All roofs must slope 1 in 80 away from walls including parapet walls surrounding decks. Ensure adequate drainage from those enclosed deck areas with roof scuppers and or drains.
- 6" clearance required from deck membrane and floor.
- All window and door head flashings (with a 4" high back leg) must be placed so that no end or clime run past outer edges of by 3/8" where there is wood trim to allow for rod and caulk between the frame and trim.
- All exterior fasteners shall be approved hot dipped galvanized.
- All horizontal vinyl 1/2" trim shall be perforated @ 3/16" holes @ 16" O/C.
- All exterior doors shall be set into 2" continuous beads of urethane caulk at the sill and 2" up the jamb. The doorframe brick molds must also be back caulked.
- All wood cladding products are to be back primed.
- A through wall flashing is required at all horizontal expansion joints, building board trim, and below the gable and lower vents. All through wall flashings must have a 4" high back leg. All horizontal laps must be 6" minimum and caulked.
- All wall vents shall be back caulked at the top and side flanges to a piece of 2x2 60 minute flashing paper placed behind the vent. Place the field paper over the top and side flanges only lap the bottom of the 2x2 flashing paper over the field paper (shingle style) and provide a flashing c/s and down over all vents. Caulk the sides of the vents to the cladding.
- All vents must be approved before installing.
- All exterior hose bibs are to be placed through a 1/4" hole in the centre of a 12"x12" piece of EPDM roofing lapped shingle style into the building paper.
- All penetrations must have an approved vinyl trim kit.
- All exterior structural wood shall be pressure treated.

REVISIONS

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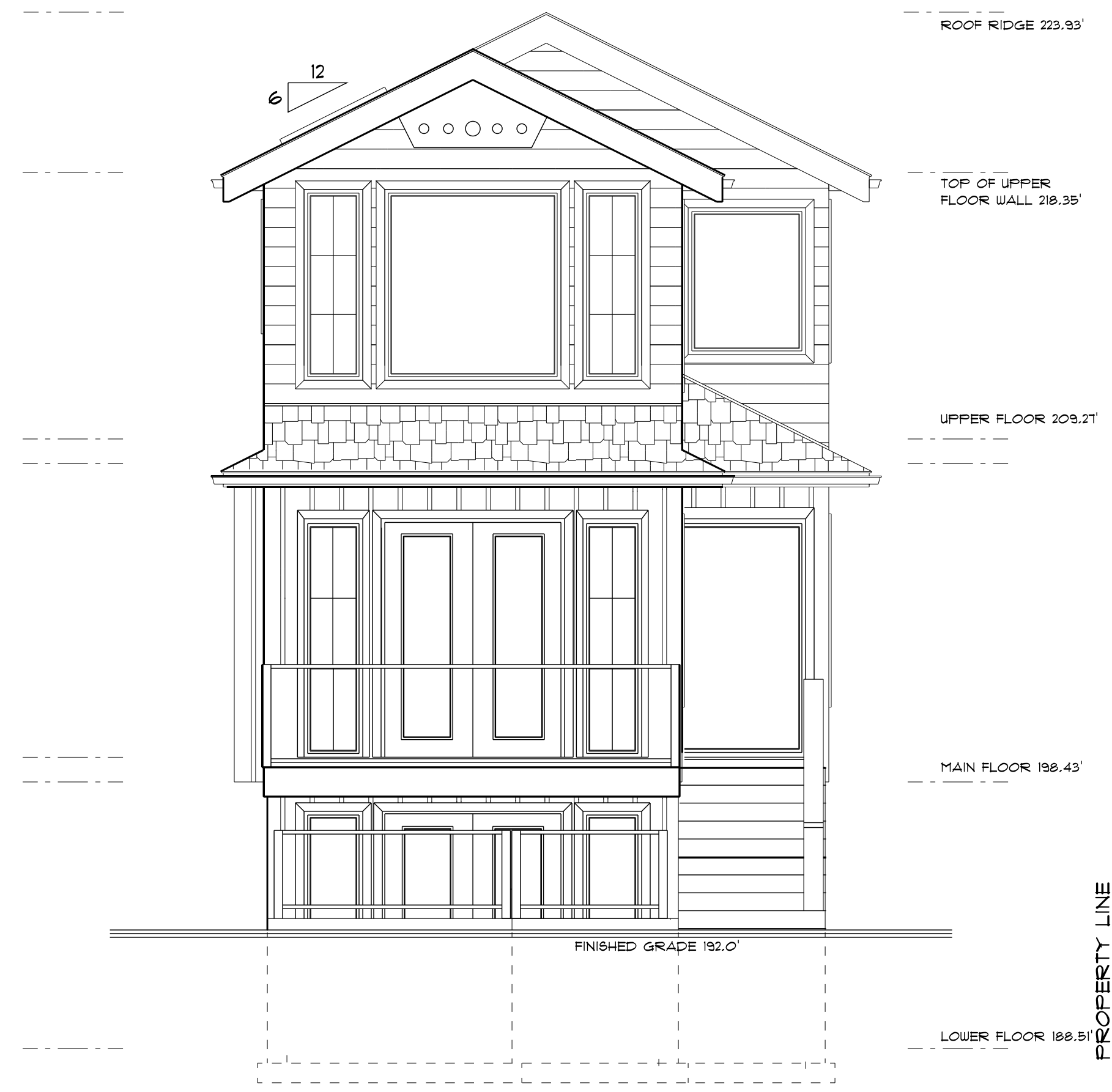
EAST LOT
SECTIONS

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Scale 1/4" = 1'-0"

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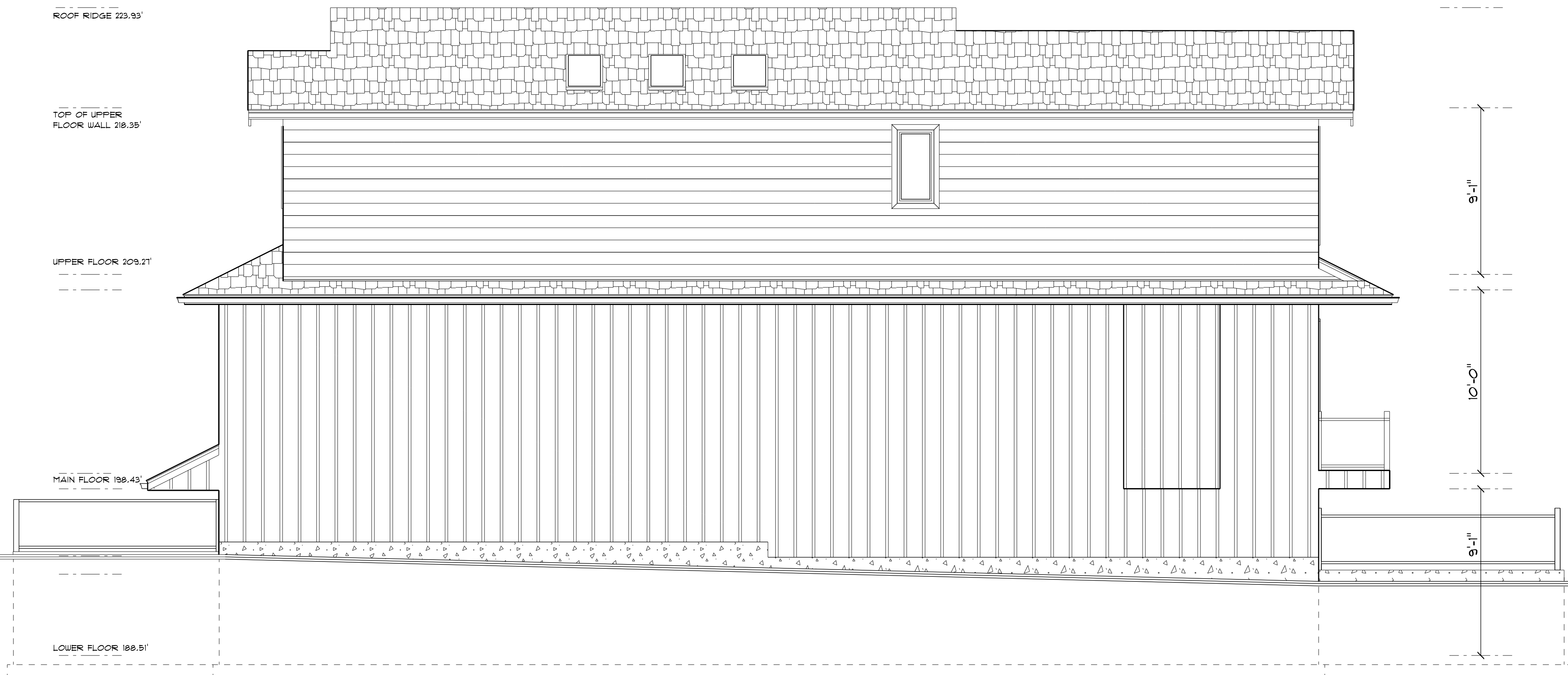
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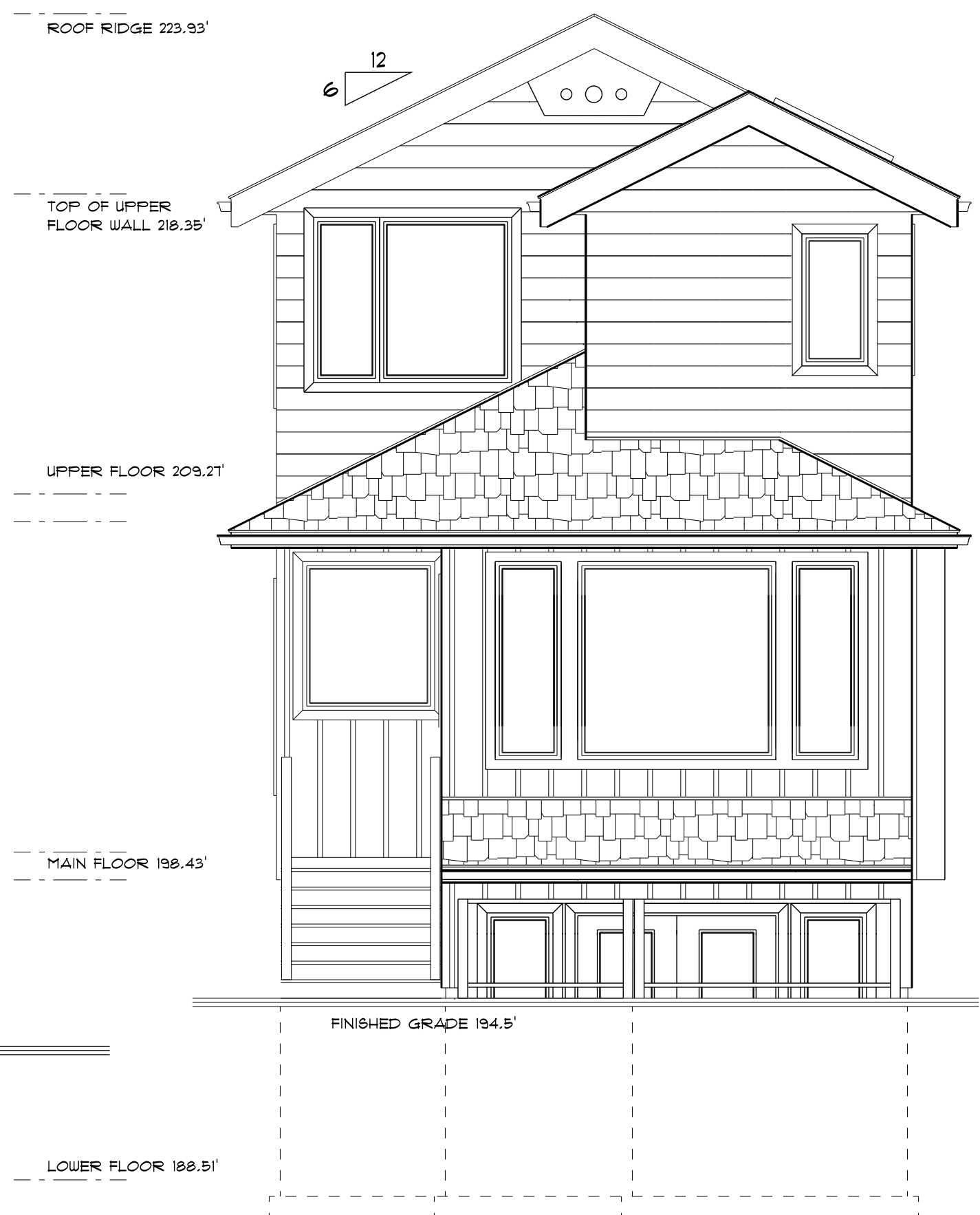
SOUTH ELEVATION



EAST ELEVATION



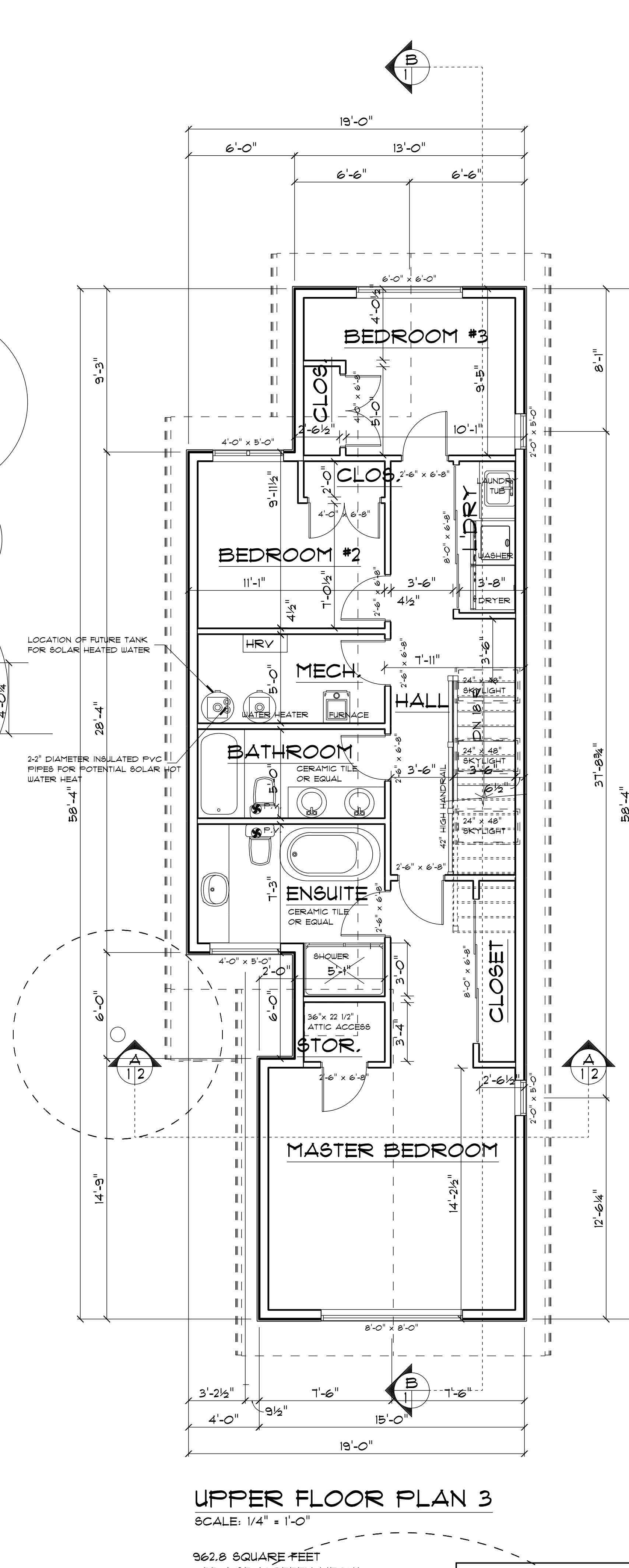
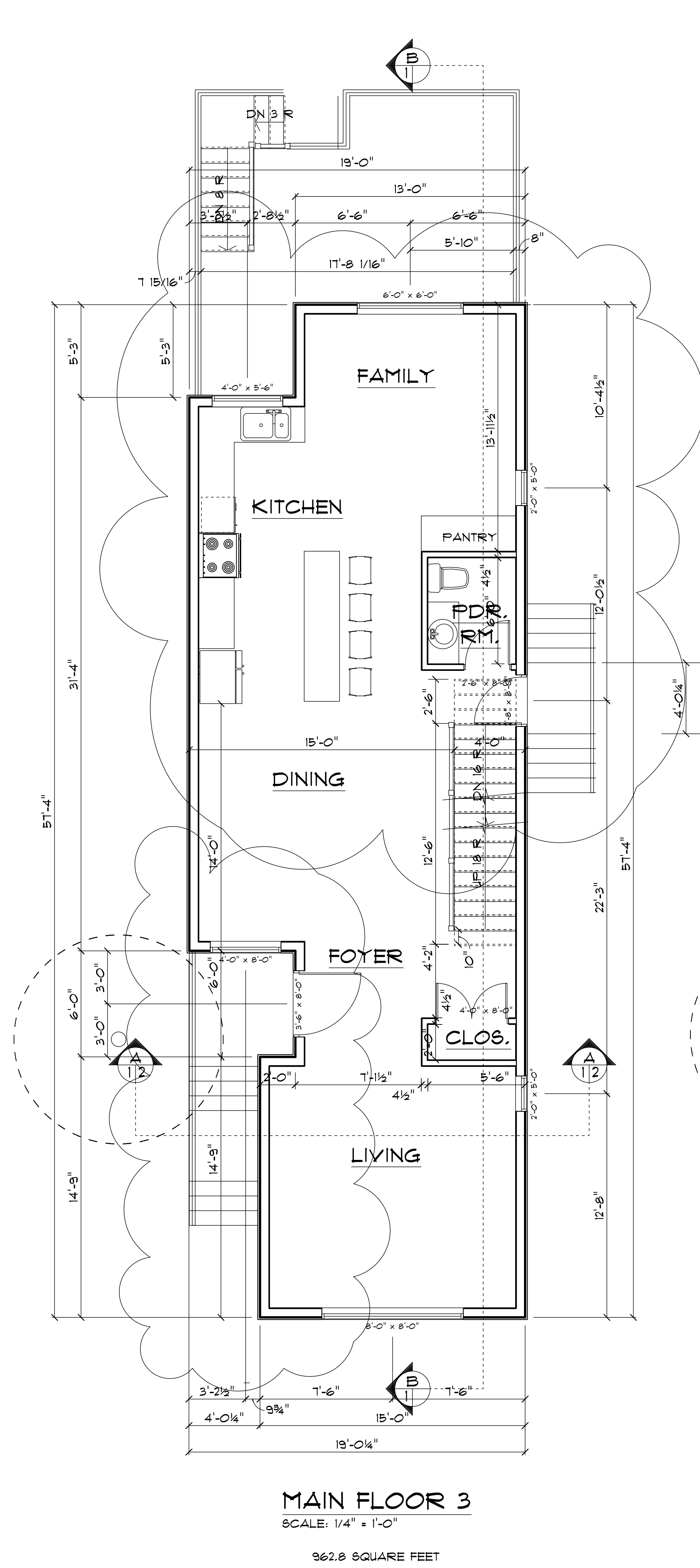
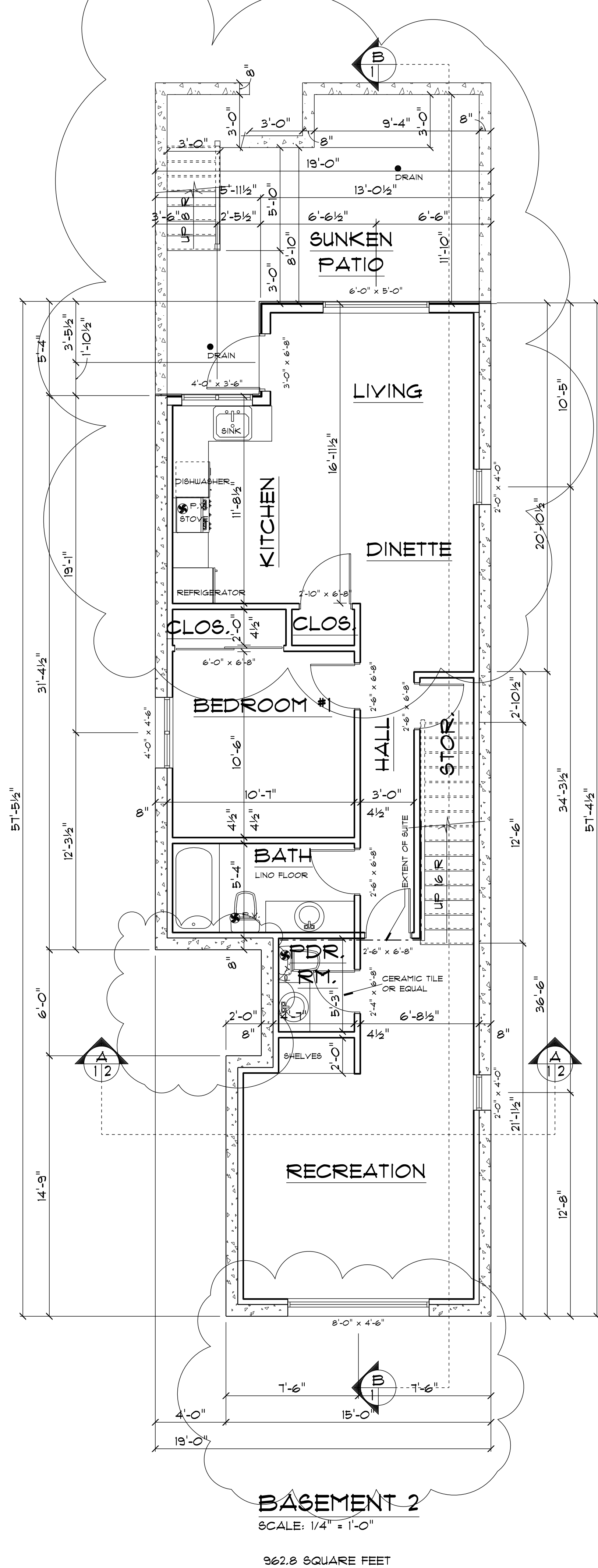
WEST ELEVATION



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ELEVATIONS
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JUNE 2023 STAFF REVIEW COMMENTS

REVISIONS



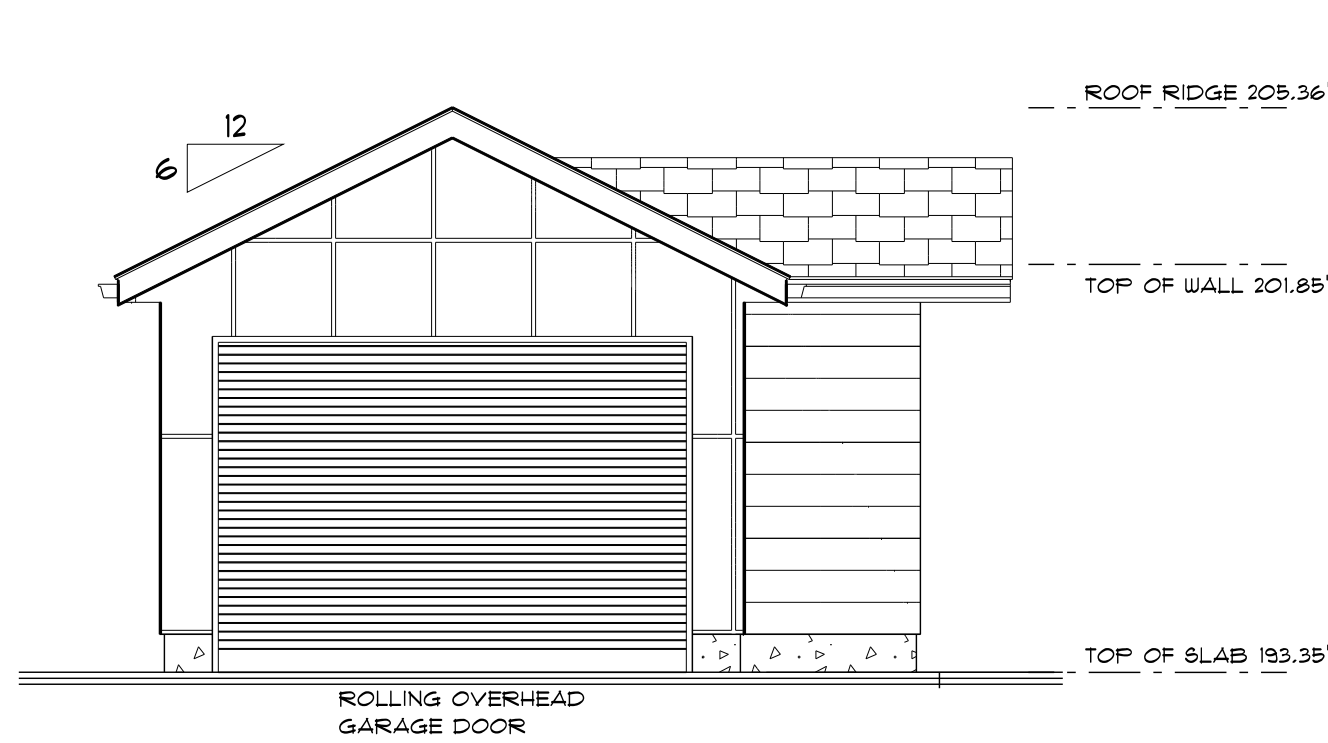
Harbourfront Business Centre
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WEST LOT

Drawing **FLOOR PLANS**

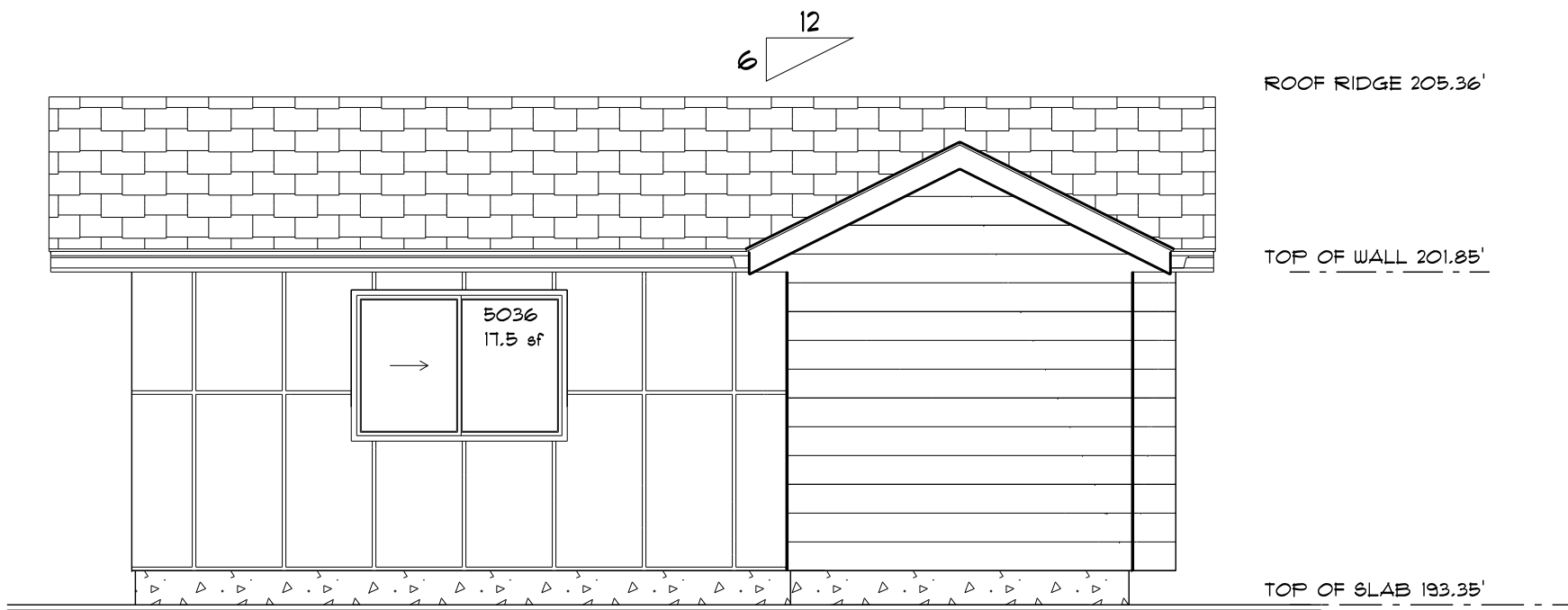
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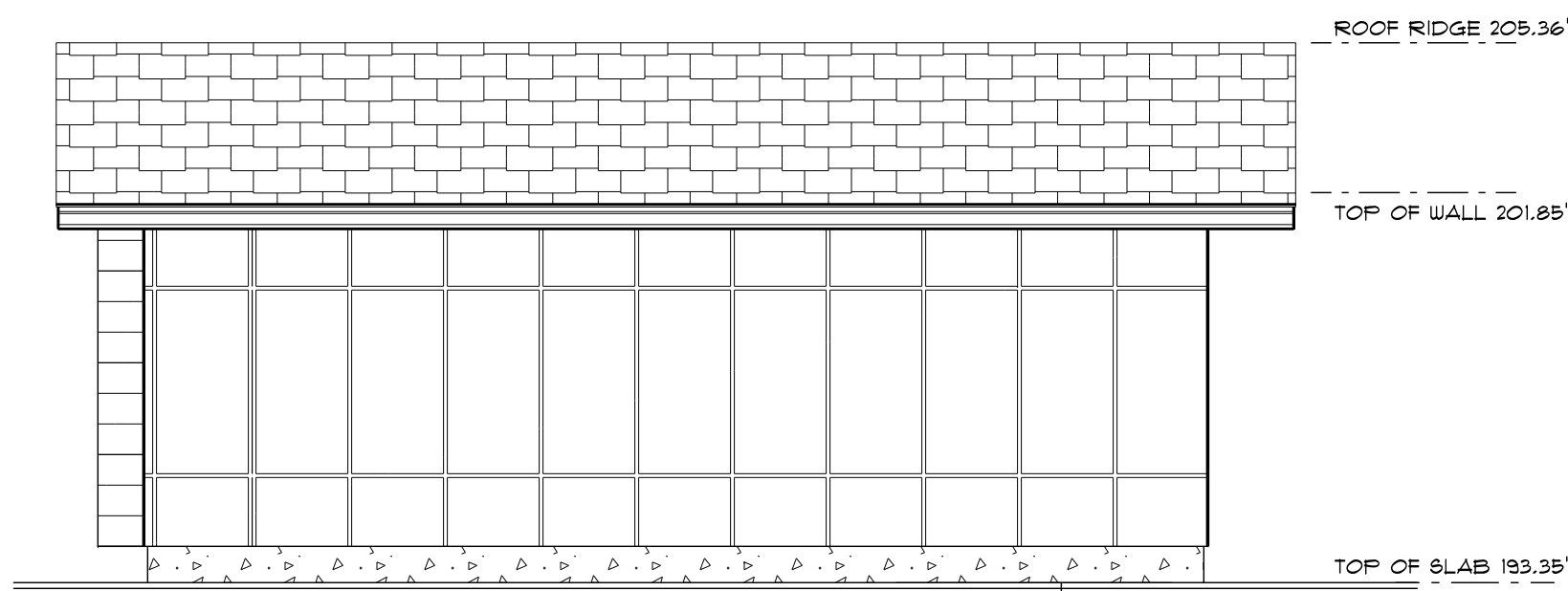
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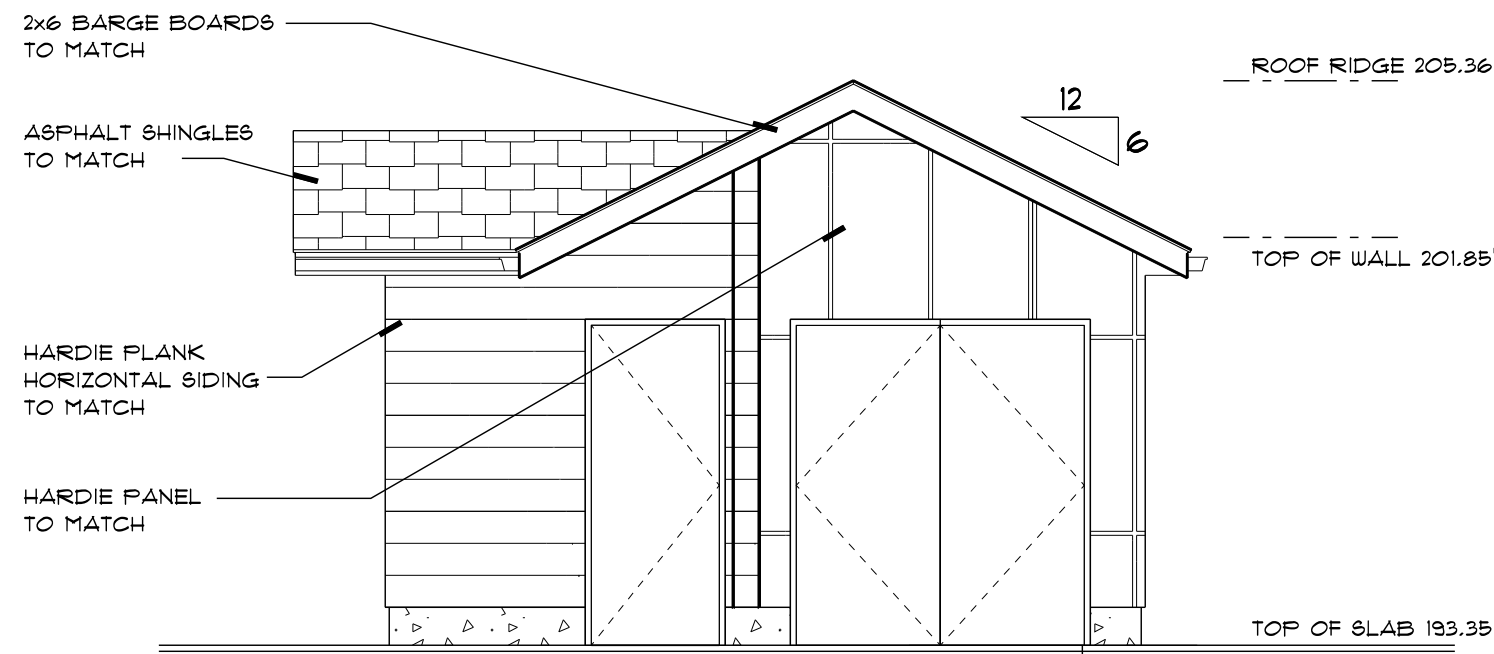
GARAGE NORTH ELEVATION



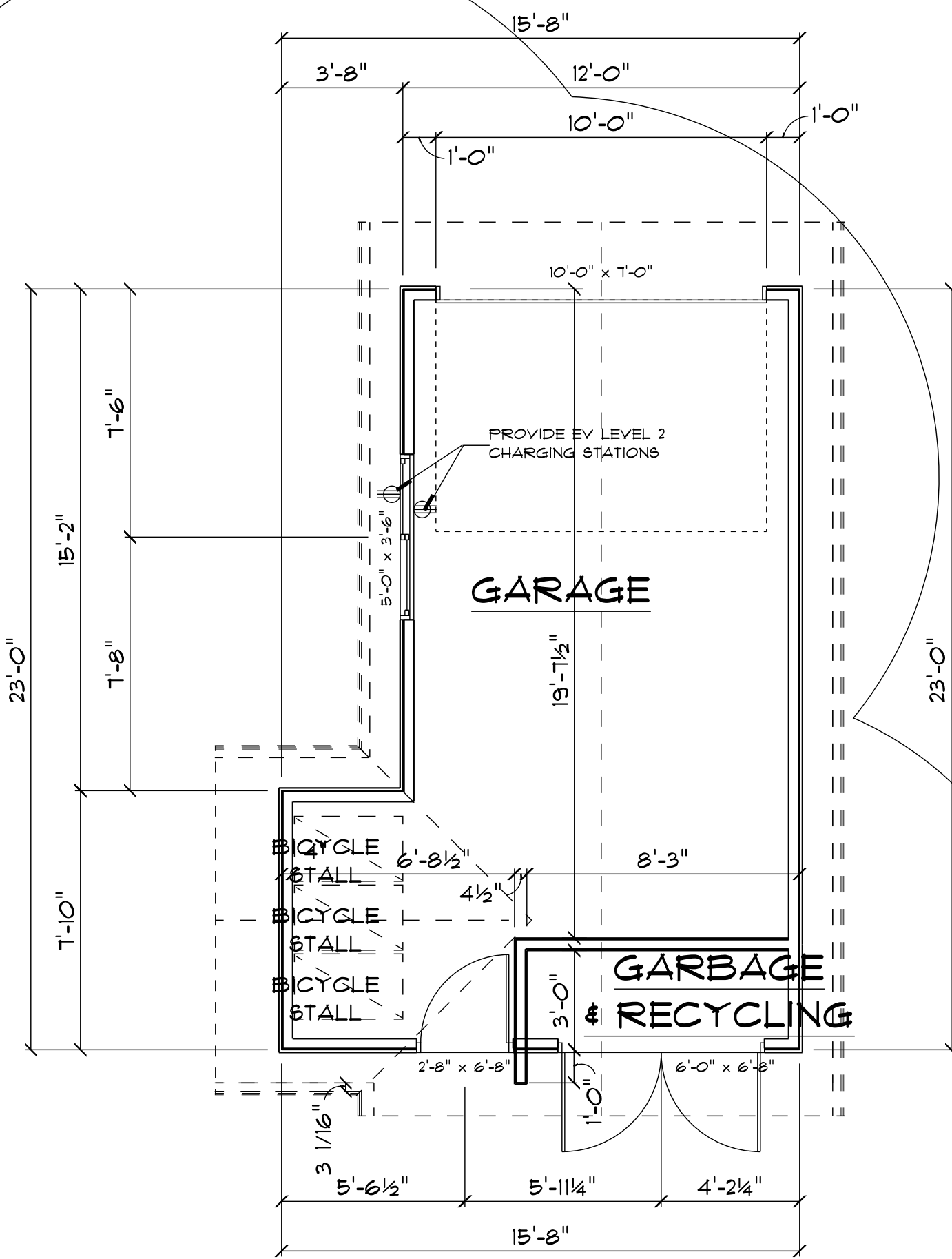
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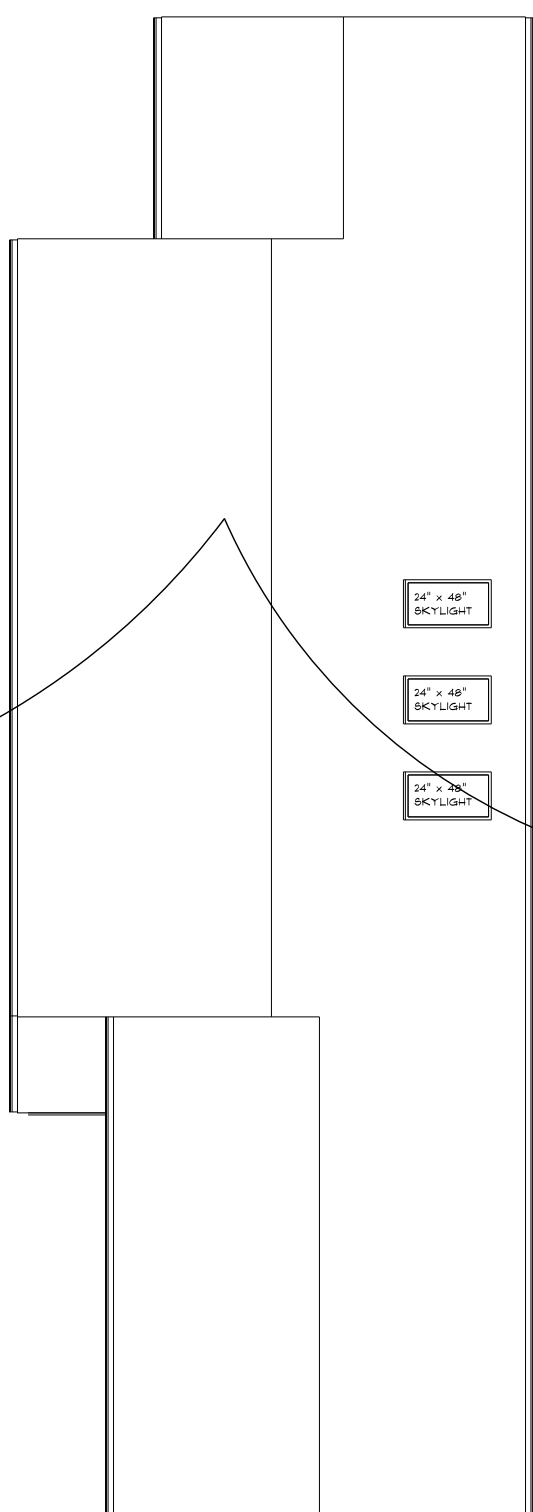
GARAGE EAST ELEVATION



GARAGE SOUTH ELEVATION

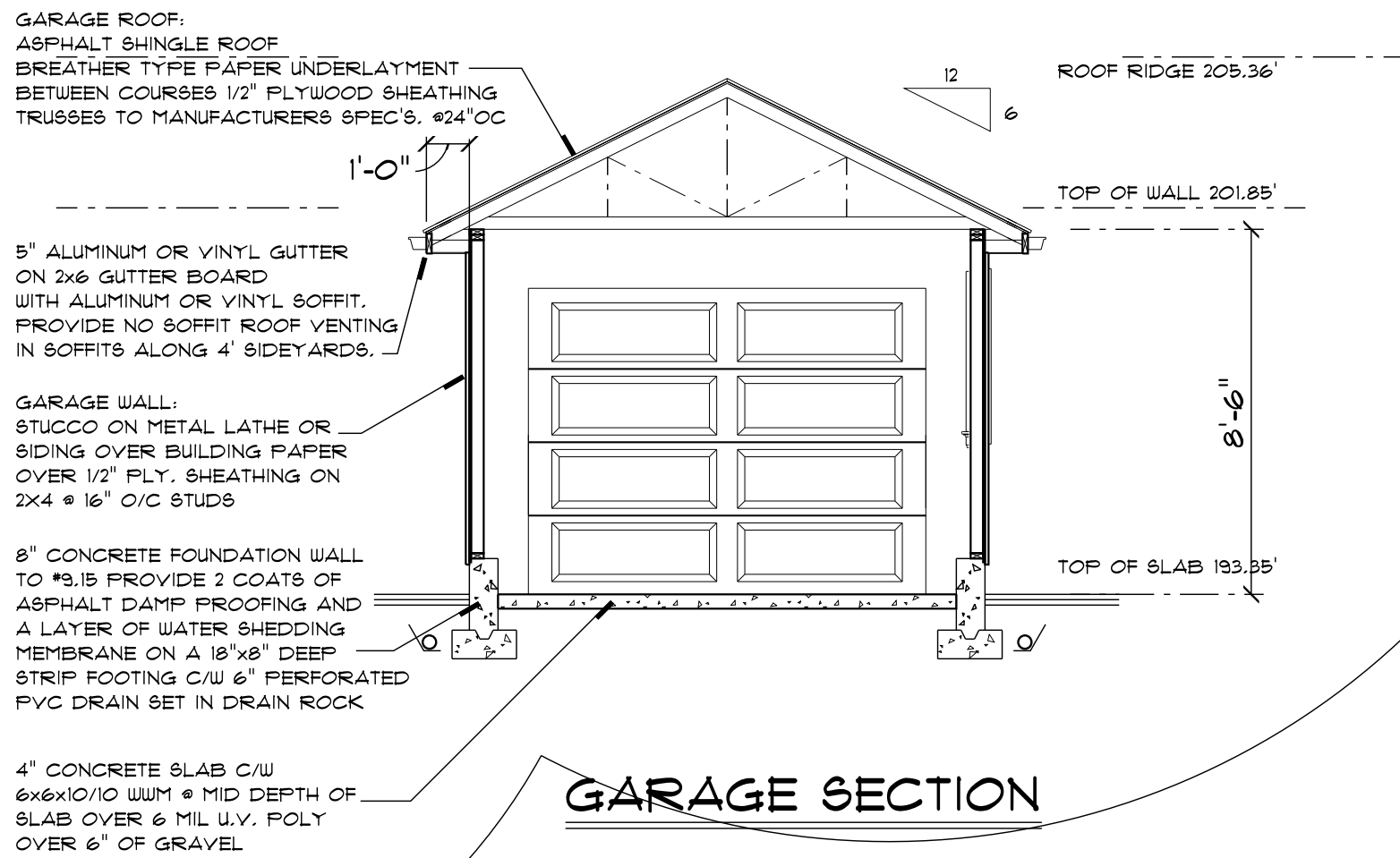


GARAGE PLAN



ROOF PLAN

SCALE: 1/8" = 1'-0"

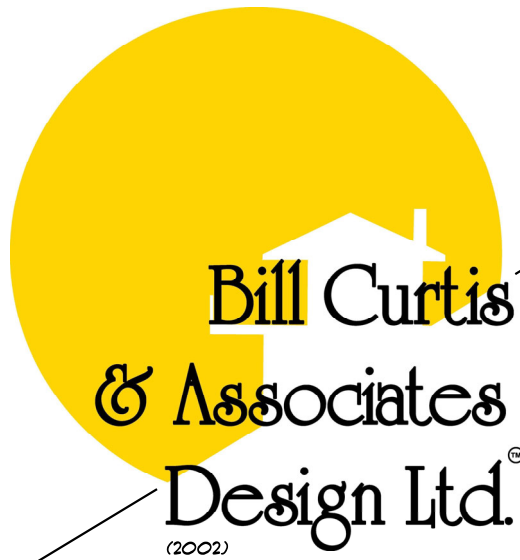


GARAGE SECTION

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JUNE 2023 STAFF REVIEW COMMENTS

REVISIONS



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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6
WEST LOT

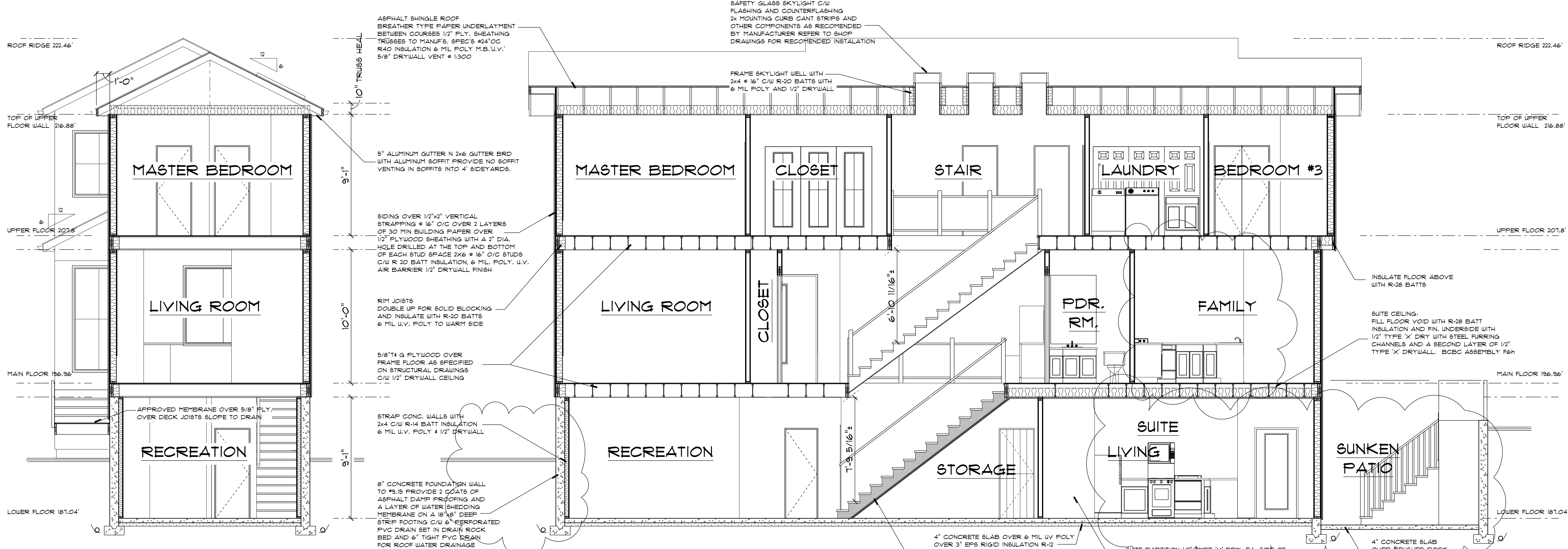
Drawing GARAGE PLAN

Drawn By B.C. Date AUG. 2021

Scale 1/4" = 1'-0" OR AS NOTED

Project
ZEIDABADI REZONING
OF 450 WEST 15th STREET
NORTH VANCOUVER

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of



SECTION A

SECTION B

Construction Notes

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General Conditions:

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
- All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings, to find an unknown dimension contact the designer.
- The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with
The British Columbia Building Code 2018 (BCBC).

Foundations:

- Concrete shall be 32 mpa (3,000 psi) at 28 days.
- Footings shall extend a minimum of 18" below grade and to solid bearing.
- Fin foundations to rock as described in structural drawings.
- Provide a minimum of 2 coats of asphalt waterproofing or an approved waterproofing membrane over the exterior face of foundation walls.
- Provide 1/2" anchor bolts @ 6" o/c or anchor straps @ 4" o/c maximum spacing.
- Anchor posts to footings with pinned anchor saddles embedded in footings.
- Provide a damp proofing felt or equal between plates and concrete foundations where there is potential for contact or provide pressure treated plate.
- provide a non-binding agent between the tops of foundations and concrete slabs to prevent bonding.
- Provide a minimum 6 mil u.v. layer of poly under concrete slabs and skin coats.
- Fill under concrete slabs and skins is to be non organic.

Framing:

- All framing is to be to * 9.23 BCBC.
- All load bearing lumber to be Douglas Fir #2 or better.
- Limits are to be 20x10 DPM or better.
- All deck framing is to be pressure treated.
- Glulam, param, micro-lam and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof and floor trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.
- Cross bridge floor and roof joists * 1" O/C maximum.

Stairs:

- Straight stair: Rise min. 4.92" max. 7.61"
Run min. 8.27" max. 13.98"
Tread min. 9.25" max. 13.98"
- All treads to have a 1" nosing.
- Minimum headroom is 6'-5" measured vertically from an imaginary line connecting the stair nosings.
- Handrail height is to be between 32" and 38" measured as clear height over stairs.
- Winders to conform to *9.8.4.5.
- Minimum stair width is 2'-10".
- Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stair.
- A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
- No member facilitating climbing above 4" to 36" from the deck or stair surface is permitted in the handrail assembly.
- The maximum opening size within the balustrade width is 4".

Guardrails:

- Guardrail height is 36" where the vertical distance to grade is 5'-11" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
- All guards to have a cap unless engineer approved.
- A guard is required where there is a drop of 34" or more.
- A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

Safety Glass:

- Glass within 36" of a door shall be safety glass.
- Glass in exterior doors, showers, french and sliding doors shall be safety glass.
- Windows in walls enclosing showers or bathrooms shall be safety glass and located above the waterproof finish height.
- Mirrored doors are to be safety glass and blocked with solid material.
- Glass within 8" of the floor is to be safety glass.

Cladding:

- Cladding shall conform to *9.21 BCBC.
- All flashing shall conform to *9.21.3.1 BCBC and installed to conform with *9.21.3.8 BCBC.
- All cladding shall conform to Section *9.21.4 BCBC.

Fireplaces and Chimneys:

- Fireplaces and chimneys shall conform to *9.21 and *9.22.
- Provide 2" clearance between chimney and combustible framing.
- Masonry hearth shall conform to *9.22.5.1.
- Provide flue liners to *9.21.3. Flue sizes to 9.21.2.5a & b.
- Provide cleanouts to *9.21.4.1.
- Provide 4" firebrick lining to firebox.
- Provide dampers.
- Factory built fireplaces and chimneys shall be installed to manufacturers specifications and to meet ULC listing requirements.
- Provide non combustible protection under non combustible hearth.
- Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

Dwelling Security:

- Main entrance doors without sidelights are to be equipped with a door viewer.
- Doorframes in exterior openings are to be solid blocked at the lock height so that the door frame will resist spreading by force to * 9.6.6 BCBC and *9.8.14 BCBC.
- Exterior doors shall be provided with a 5 pin cylinder deadbolt lock with a 1" throw to * 9.6.6 BCBC.
- Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
- Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the ash lock of the door handle.

Miscellaneous:

- Heating system: Principle residence: Air Source Heat Pump, output 21,500 BTU/hr, HSPF 5.9
Backup: Baseboard, output 21,500 BTU/hr
Cooling: Air Source Heat Pump, output 21,500 BTU/hr, SEER 13
Suite, Electric Baseboard
Water Heat: Electric Tank 80 USG EF 0.87
- Provide for fiberglass window frames with thermal glazing in sealed units providing a minimum 1/2" airspace.
- Glass in doors and windows to be double glazed unless otherwise specified.
- Provide thermally broken frames in all skylights.
- Hard wire smoke alarm in bedroom area and on all floors to conform to *9.10.18 BCBC.
- Provide carbon monoxide detectors within 16' of a bedroom door or in the bedroom and conform to *9.32.4.2 BCBC.
- Waterproof wall finishes in shower and bathtub enclosures and apply over a moisture resistant backing.
- Provide insulation blocks to allow for adequate ventilation at restricted locations.
- Finish grades are to direct water away from the building and to conform to *9.9.14 BCBC.
- Provide hard wired C.O. detectors in each bedroom within 16' (5 Metres) of bedroom door in conformance with *9.32.4.2.

Energy Efficiency:

- All heating, ventilation and insulation components are to conform to regulations outlined in section *9.36.
- All habitable spaces are to achieve Step Code 3 performance.
- Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
- Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

Ventilation:

- Principle ventilation: HRV 59 CFM 65% SER
Secondary ventilation: Bathroom exhaust fan passive inlets, 30 CFM
- Provide exhaust fans that provide half an air change an hour located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be mechanically vented from all kitchens, bathrooms and laundry rooms.
- Air to be ducted to a centrally located and continuously running 2 speed exhaust fan (speed controlled from sources).
- Duct systems shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trade.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Provide sealed or lapped joints at least 4" wide at framing members, furring or blocking.
- Provide vapour barrier protection at the inside of box joints.
- Holes through vapour barriers for mechanical and electrical services shall be sealed to retain the integrity of the air envelope.
- Vapour proof electrical boxes are recommended for exterior walls.
- Attic access hatches are to be weathertipped and have an air barrier.
- Uniformly ventilate roof space at a 1:500 ratio of the insulated floor area. Ventilation ratio is to be 1:500 in conditions where the roof slope is 2/12 or less.
- Provide a minimum of 25% of the required ventilation area at the roof ridge.
- All ducts intended for the discharge of air to the outdoors shall be equipped with a motorized, gravity or spring operated backflow damper.
- Uniformly ventilate roof space at a 1:500 ratio of the insulated floor area. Ventilation ratio is to be 1:500 in conditions where the roof slope is 2/12 or less.
- All ducts and plenums carrying conditioned air and located within the plane of insulation shall have all joints sealed against air infiltration and exfiltration with sealants or gaskets made from liquids, mastics or heat applied materials.
- Ventilate attics @ 1:500 ratio of insulated ceiling area. Ventilate flat roofs @ 1:500 ratio.
- Roof vents are to be uniformly distributed with a minimum of 25% at the base and 25% at the roof stop.
- Submit mechanical ventilation/ air conditioning design and letter of supervision by a Professional Engineer certified HRAI or HVAC Technician at frame and final inspection.
- Heat Recovery Ventilators are to be installed to manufacturers specifications.

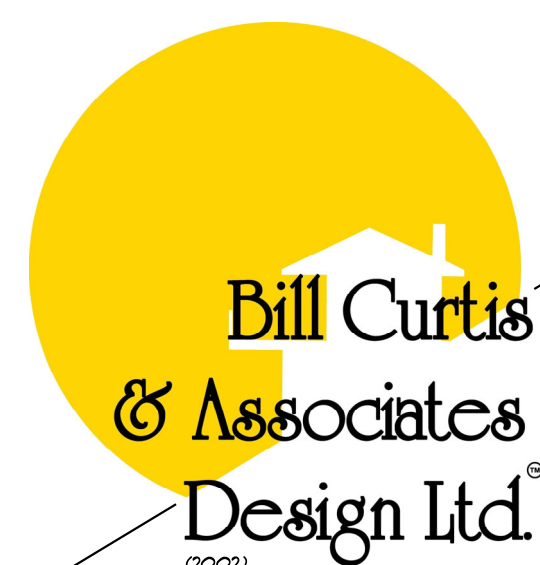
Vapour Barrier:

- Where an interior frame wall meets a ceiling required to have vapour protection on an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
- Provide vapour barrier protection to the inside of insulation on the inside of box joint or as rigid foam insulation.
- Clearance between chimneys or vents to be sealed with non-combustible insulation.

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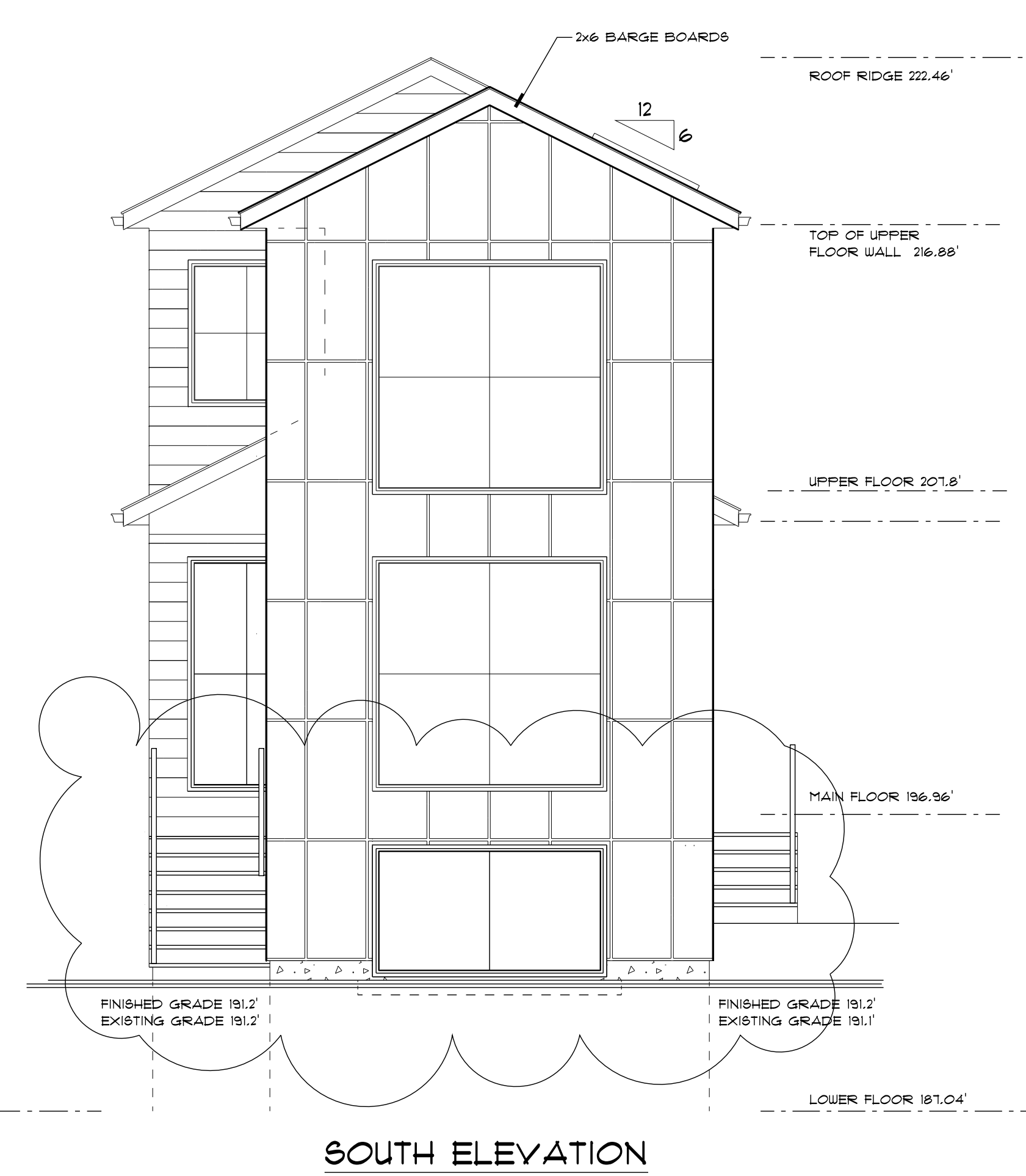
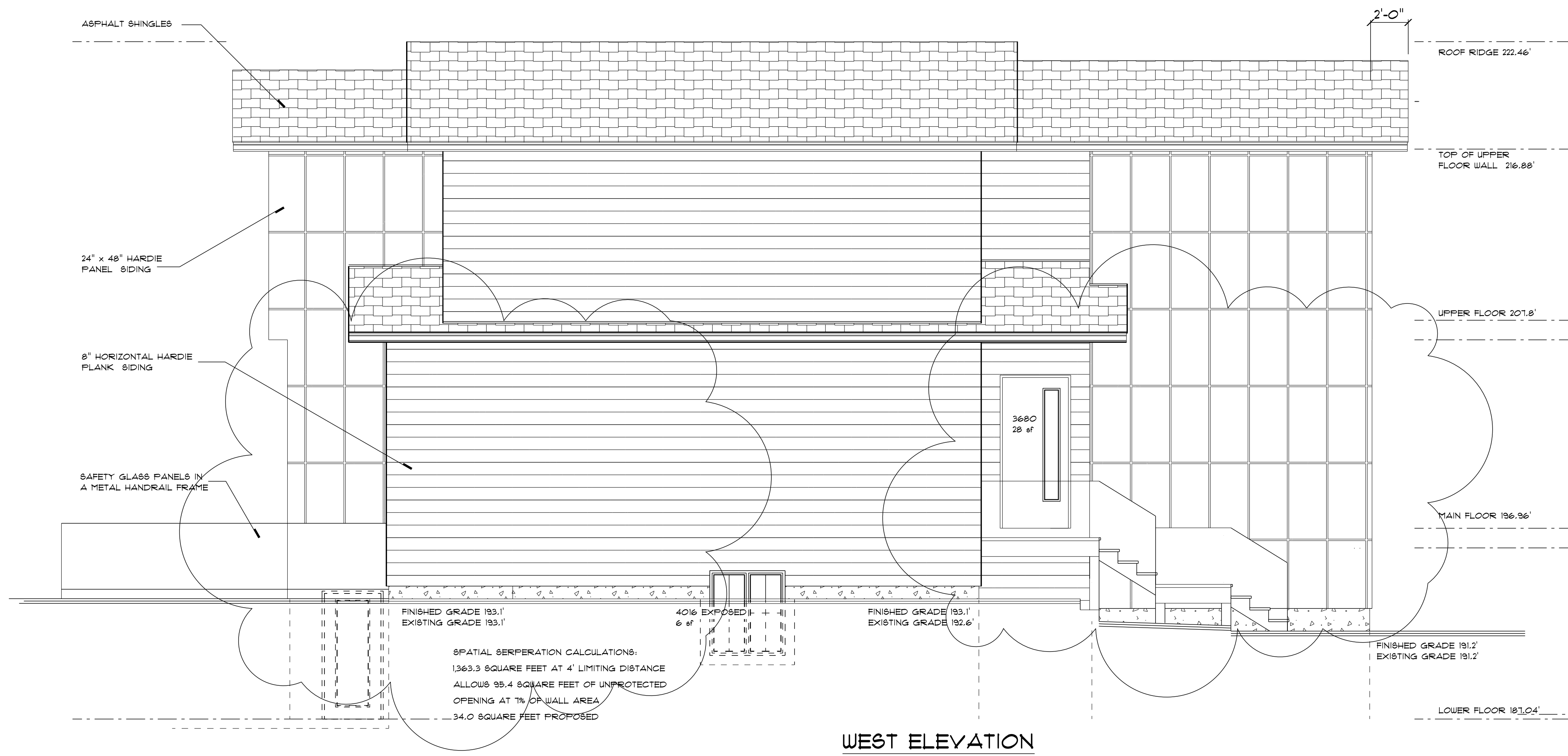
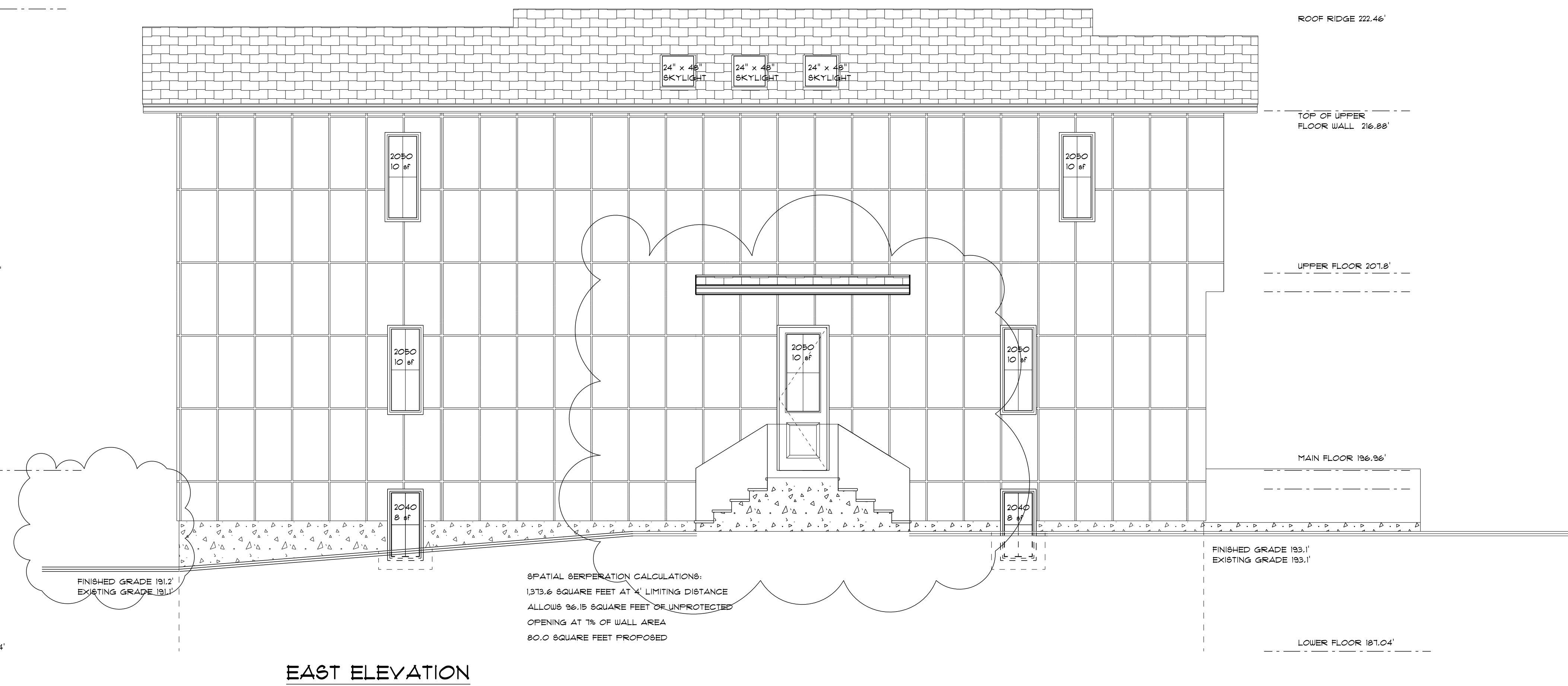
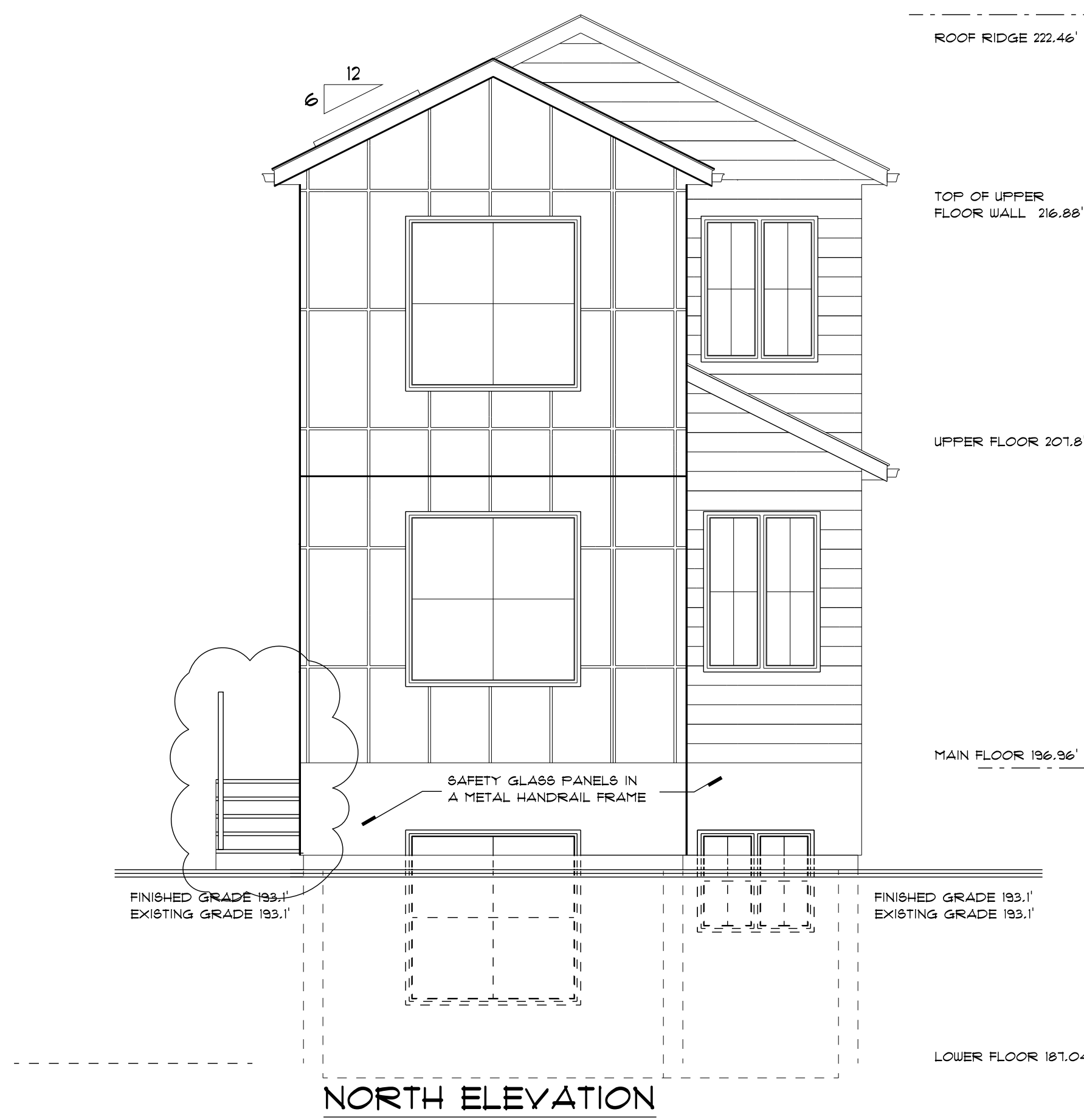
WEST LOT
SECTIONS

Drawn By B.C. Date AUG. 2021

Scale 1/4" = 1'-0"

Project
ZEIDABADI REZONING
OF 450 WEST 15th STREET
NORTH VANCOUVER

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WEST LOT
ELEVATIONS
Drawn By B.C. Date AUG. 2021
Scale 1/4" = 1'-0"
Project
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OF 450 WEST 15th STREET
NORTH VANCOUVER

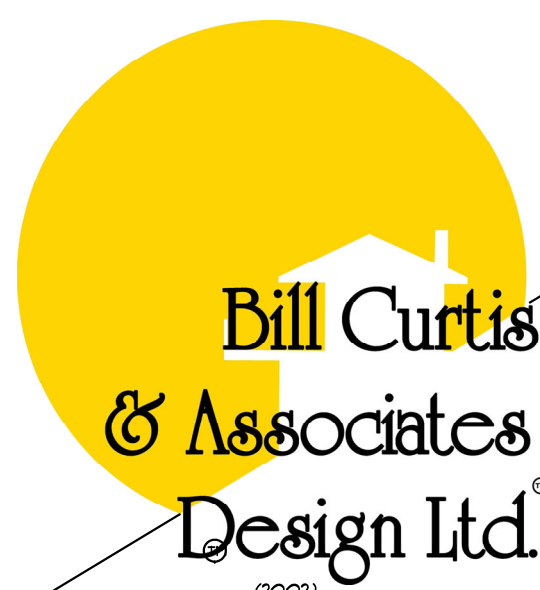
Quality Residential Design



EAST ELEVATION



WEST ELEVATION



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Harbourfront Business Centre
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EAST LOT

Drawing **REFLECTED WIN'S.**

Drawn By B.C. Date AUG. 2021

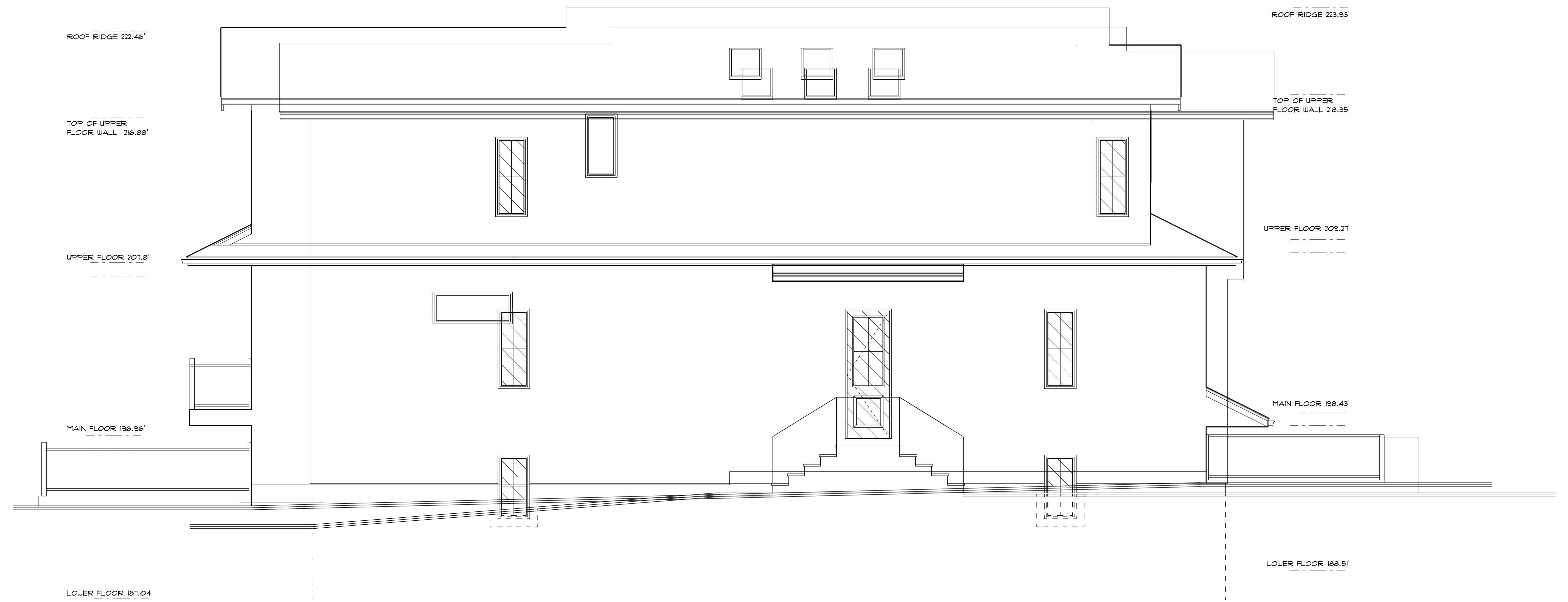
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Project
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NORTH VANCOUVER**

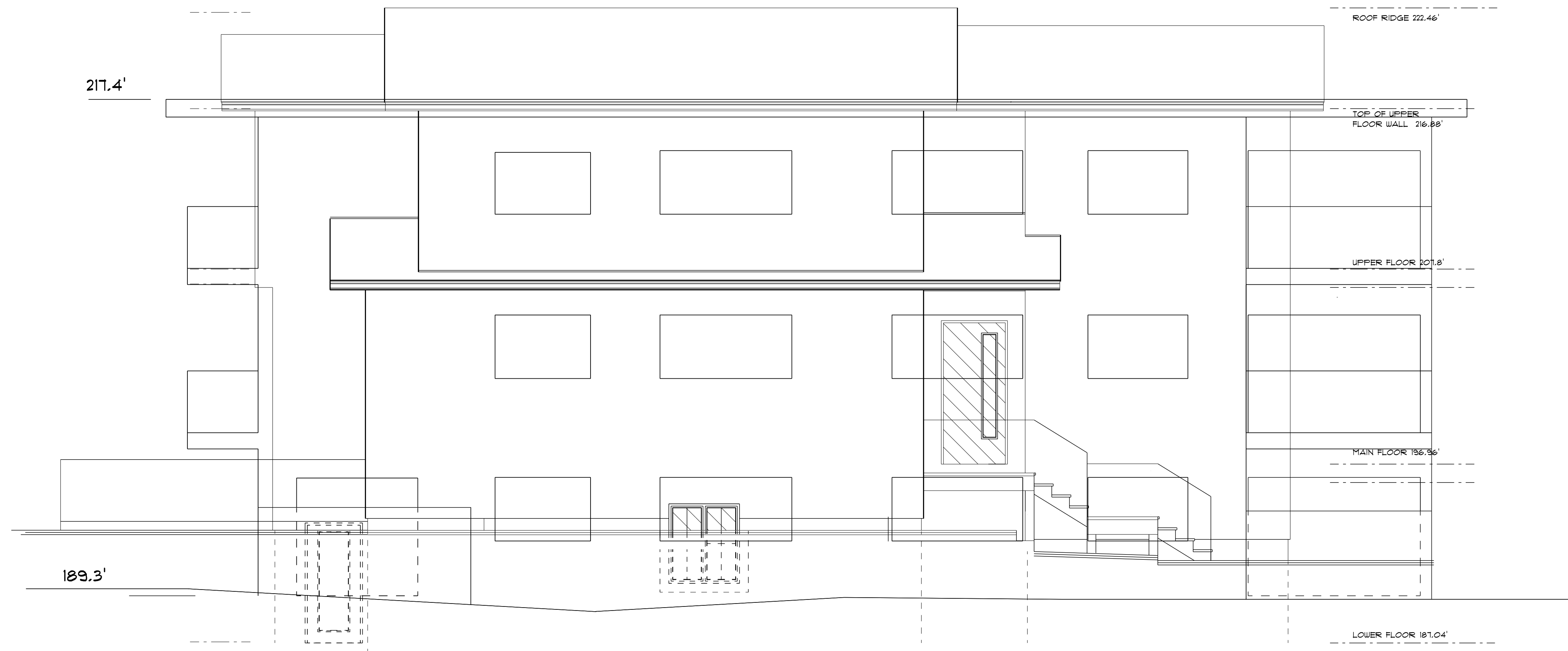
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Quality Residential Design



EAST ELEVATION



WEST ELEVATION

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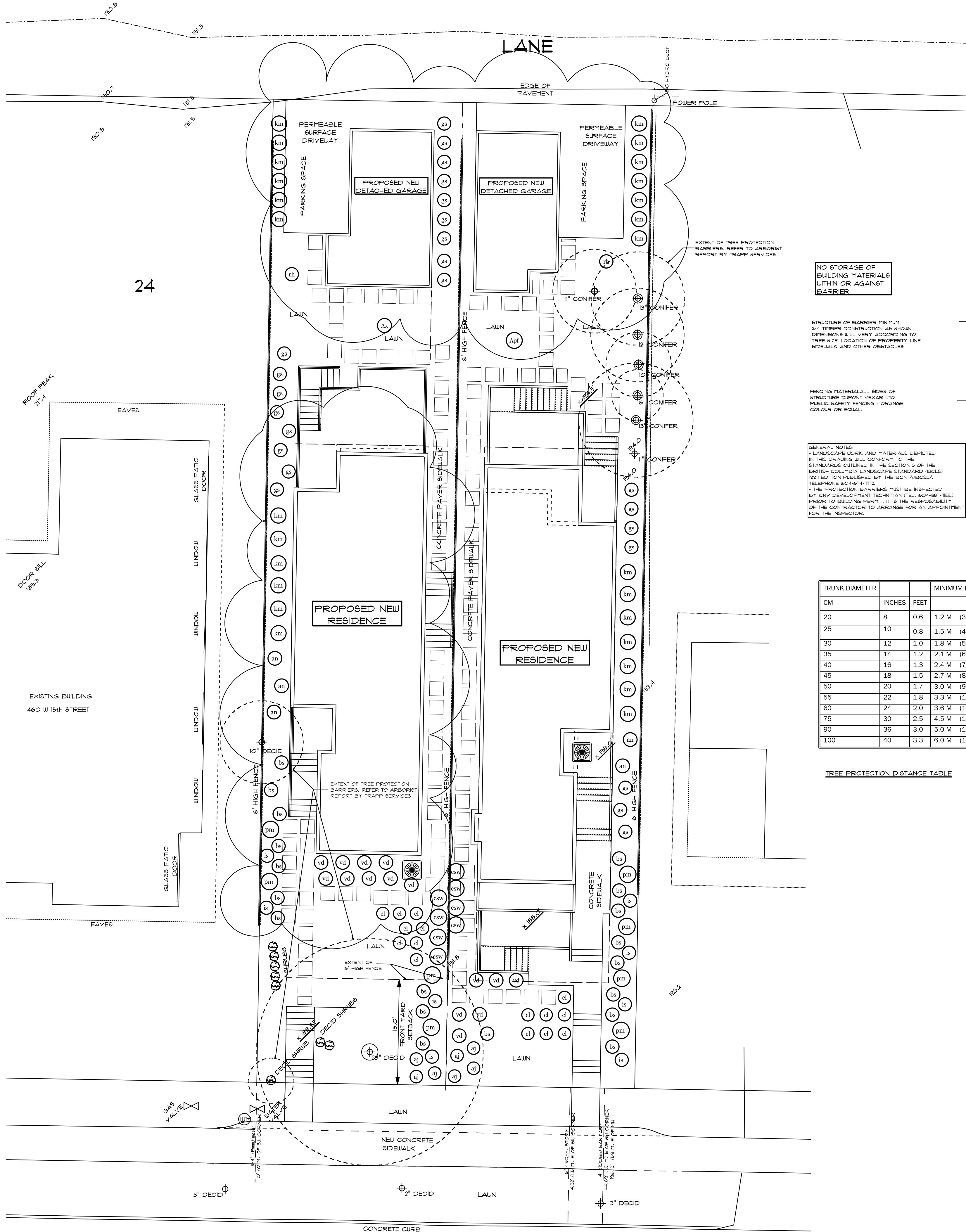
Harbourfront Business Centre
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North Vancouver, BC V7M 3M6
WEST LOT

Drawing **REFLECTED WIN'S.**
Drawn By B.C. Date AUG. 2021

Scale

Project
**ZEIDABBADI REZONING
OF 450 WEST 15th STREET
NORTH VANCOUVER**

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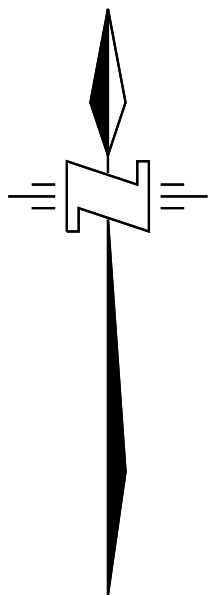


LEGAL DESCRIPTION:

LOT A OF LOTS 7 AND 8 BLOCK 6
DISTRICT LOT 186
GROUP ONE NEW WESTMINSTER DISTRICT
PLAN 8864
P.I.D. 009-912-851

LEGEND:

- +0.34 DENOTES GROUND ELEVATION (TYPICAL)
- WATER VALVE
- CATCH BASIN
- MANHOLE
- SIGN
- INSPECTION CHAMBER
- FLOWER POLE
- FIRE HYDRANT

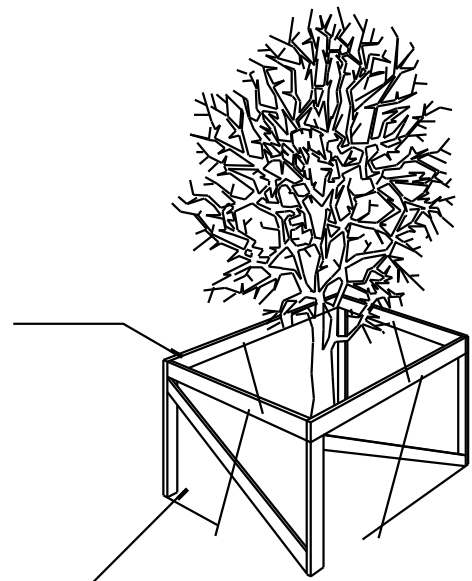


NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST BARRIER

STRUCTURE OF BARRIER MINIMUM 24" THICK CONSTRUCTION AS SHOWN. DIMENSIONS WILL VARY ACCORDING TO TREE SIZE, LOCATION OF PROPERTY LINE, SIDEWALK AND OTHER OBSTACLES.

FENCING MATERIAL ALL SIDES OF STRUCTURE DURING YEAR 1-20 PUBLIC SAFETY FENCING - ORANGE COLOUR OR EQUAL.

GENERAL NOTES:
- LANDSCAPE WORK AND MATERIALS DEPICTED IN THIS DRAWING WILL CONFORM TO THE STANDARDS OUTLINED IN THE SECTION 3 OF THE BRITISH COLUMBIA LANDSCAPE STANDARD (BCLS) 1991 EDITION PUBLISHED BY THE BCNTA/BCSLA. TELEPHONE 604-644-7410.
- THE PROTECTION BARRIERS MUST BE INSPECTED BY CIVIL DEVELOPMENT TECHNICIAN (TEL: 604-981-1885) PRIOR TO BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR AN APPOINTMENT FOR THE INSPECTOR.



PLANT LIST

| QTY. | BOTANICAL | COMMON | SIZE | SPACING | TYPE | NATIVE |
|------|------------------------------|------------------------------|---------------|----------|--------------|------------|
| 1 | ACER PALMATUM SHINDE SHOJO | SHINDO SHOJO JAPANESE MAPLE | 10', #125 POT | AS SHOWN | TREE | NON NATIVE |
| 1 | ACER PLATANOIDES | FASTIGIATE NORWAY MAPLE | 6 cm cal | AS SHOWN | TREE | NON NATIVE |
| 8 | CORNUS SERVICEA "WHITE GOLD" | VARIEGATED RED CEDAR DOGWOOD | #3 POT | AS SHOWN | SHRUB | NATIVE |
| 26 | KALMIA MICROPHILLA | MOUNTAIN LAUREL | #2 POT | AS SHOWN | SHRUB | NON NATIVE |
| 2 | RHOODODENDRON MACROPHYLLUM | PACIFIC RHOODODENDRON | #3 POT | AS SHOWN | SHRUB | NATIVE |
| 15 | VIBURNUM DAVIDII | DAVID'S VIBURNUM | #3 POT | AS SHOWN | SHRUB | NON NATIVE |
| 8 | ASTILBE JAPONICA | ASTILBE | #1 POT | AS SHOWN | PERENNIAL | NON NATIVE |
| 5 | CROCOSMIA "LUCIFER" | CROCOSMIA | #1 POT | AS SHOWN | PERENNIAL | NON NATIVE |
| 7 | IRIS SIBIRICA | SIBERIAN IRIS | #1 POT | AS SHOWN | PERENNIAL | NON NATIVE |
| 23 | GAULTHERIA SHALLON | SALAL | #1 POT | AS SHOWN | GROUND COVER | NATIVE |
| 5 | ATHYRIUM NIPONICUM "PICTUM" | PAINTED FERN | #2 POT | AS SHOWN | FERN | NATIVE |
| 18 | BLECHNUM SPICANT | DEER FERN | #2 POT | AS SHOWN | FERN | NATIVE |
| 6 | POLYSTICHUM MUNTUM | WESTERN SWORD FERN | #1 POT | AS SHOWN | FERN | NATIVE |

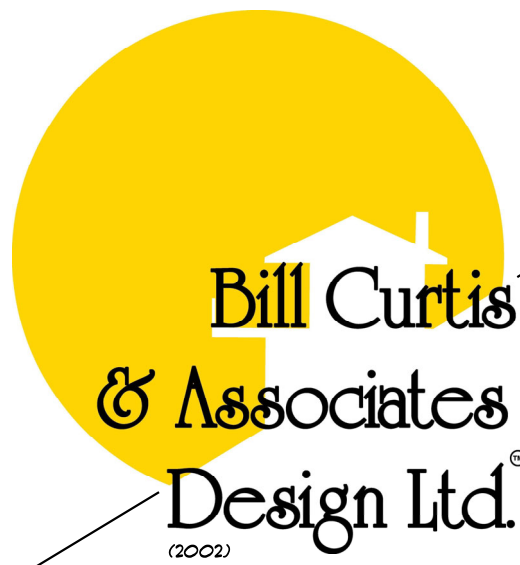
TREE PROTECTION DISTANCE TABLE

| TRUNK DIAMETER | CM | INCHES | FEET | MINIMUM DISTANCE TO TREE TRUNK |
|----------------|----|--------|----------------|--------------------------------|
| 20 | 8 | 0.6 | 1.2 M (3.93') | |
| 25 | 10 | 0.8 | 1.5 M (4.9') | |
| 30 | 12 | 1.0 | 1.8 M (5.91') | |
| 35 | 14 | 1.2 | 2.1 M (6.89') | |
| 40 | 16 | 1.3 | 2.4 M (7.87') | |
| 45 | 18 | 1.5 | 2.7 M (8.86') | |
| 50 | 20 | 1.7 | 3.0 M (9.84') | |
| 55 | 22 | 1.8 | 3.3 M (10.83') | |
| 60 | 24 | 2.0 | 3.6 M (11.81') | |
| 75 | 30 | 2.5 | 4.5 M (14.76') | |
| 90 | 36 | 3.0 | 5.0 M (16.40') | |
| 100 | 40 | 3.3 | 6.0 M (19.69') | |

NOTE:
REFER TO ARBORIST REPORT BY TRAPP ARBORIST SERVICES

JUNE 2025 STAFF REVIEW COMMENTS

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LANDSCAPE PLAN

Drawing

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Scale 1/8" = 1'-0"

Project
ZEIDABADI REZONING
OF 450 WEST 15th STREET
NORTH VANCOUVER

LANDSCAPE PLAN 2

SCALE: 1/8" = 1'-0"

WEST 15TH STREET

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