# PASSIVE HOUSE TOWNHOME DEVELOPMENT 427-429-433-435 East 3rd Street, North Vancouver, B.C.



ABBF	<b>REVIATIONS LEGE</b>	ND						PROJECT / CONSULTA	NT TEAM				
A.F.F. A.B. ALUM.	ABOVE FINISHED FLOOR AIR BARRIER ALUMINIUM	MTL. N/A N.I.C.	METAL NOT APPLICABLE NOT IN CONTRACT	ENCL. EQ. EXT.	ENCLOSURE EQUAL EXTERIOR	SM S.S. STR.	SQUARE METERS STAINLESS STEEL STAIR	ARCHITECT	INTERIOR DESIGNER	MECH. / ELEC. / PASSIVE HOUSE ENGINEER	BUILDING ENVELOPE CONSULTANT	CIVIL ENGINEER	ARBORIST
B/S BD. B.O.S. B.O.W. BLDG.	BASEMENT BOARD BOTTOM OF SLAB BOTTOM OF WALL BUILDING	N.T.S. O.C. OPG. P-¢-S PLYWD.	NOT TO SCALE ON CENTRE OPENING PEEL & STICK PLYWOOD	F.D. FDN FIN. FLR. FTG.	FLOOR DRAIN FOUNDATION FINISH FLOOR FOOTING	STD. T.O. T.O.C. T.O.F. T.O.P.	STANDARD TOP OF TOP OF CURB TOP OF FLOOR TOP OF PARAPET	BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC	BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC	ZENON MANAGEMENT 3578 WEST 28TH AVENUE VANCOUVER, BC	RDH BUILDING SCIENCE 4333 STILL CREEK DRIVE #400 BURNABY, BC	CREUS ENGINEERING 610-EAST TOWER 221 ESPLANADE WEST NORTH VANCOUVER, BC	ACER TREE S 1401 CROWN NORTH VANC
C.B. C.I.P. CLKG. CLG.	CATCH BASIN CAST-IN-PLACE CAULKING CEILING	PREFIN. P.T. P/L R.	PRE-FINISHED PRESSURE TREATED PROPERTY LINE RADIUS	GA. GL. GR. GWB	GAUGE GLASS GRADE GYPSUM WALLBOARD	T.O.W. T TYP. U/G	TOP OF WALL TREAD TYPICAL UNDERGROUND	604.662.8544	604.662.8544	778.686.5030	604.873.1181	604.897.9070	604.990.8070
C/L C/W CONC.	CENTRE LINE COMPLETE WITH CONCRETE	R R.W.L. REQ'D	RISER RAIN WATER LEADER REQUIRED	H/C HT. HORIZ.	HANDICAPPED HEIGHT HORIZONTAL	U/S UNO U/F	UNDERSIDE UNLESS NOTED OTHERWISE UPPER FLOOR	LAND SURVEYOR	LANDSCAPE ARCHITECT	CODE CONSULTANT	GEOTECHNICAL ENGINEER	STRUCTURAL ENGINEER	
CONT. CJ CORR. DIA. DN	CONTINUOUS CONTROL JOINT CORRIDOR DIAMETER DOWN	REV R ∉ S RM. R.D. R.O.	REVISION ROD & SHELF ROOM ROOF DRAIN ROUGH OPENING	H.B. HR. HWH LIN. MAX.	HOSE BIB HOUR HOT WATER HEATER LINEN MAXIMUM	V.B. VERT. W.C. W/D WD.	VAPOUR BARRIER VERTICAL WATER CLOSET [TOILET] WASHER/ DRYER WOOD	BENNETT LAND SURVEYING LTD. #201-275 FELL AVENUE NORTH VANCOUVER, BC	PMG LANDSCAPE ARCHITECTS 4185 STILL CREEK DR. C100 BURNABY, BC	CFT ENGINEERING INC. 500-1901 ROSSER AVENUE BURNABY, BC	JECTH CONSULTANTS INC. 122-3823 HENNING DRIVE BURNABY, BC	WEILER SMITH BOWERS 3855 HENNING DRIVE #118 BURNABY, BC	
DWGS DW ELECT. ELEV	DRAWINGS DISHWASHER ELECTRICAL ELEVATION	STL. STRUCT. SPEC SF	STEEL STRUCTURAL SPECIFICATION SQUARE FEET	MECH. MEZZ. MIN. MISC.	MECHANICAL MEZZANINE MINIMUM MISCELLANEOUS	WD.           W.I.C.           W/           W.P.           WR	WALK-IN CLOSET WITH WATERPROOF WASHROOM	604.980.4868	604.294.0011	604.684.2384	604.299.6617	604.294.3753	

# **OFO** studio architects

#### ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

#### (Formerly **BESHARAT FRIARS** ARCHITECTS)

600 - 355 Burrard Street T 604 662 8544 Vancouver, BC V6C 2G8 **F** 604 662 4060 www.bfastudioarchitects.com

A001 PROJECT STATISTICS A003 AVERAGE BUILDING GRADES & MAXIMUM HEIGHT CALCULATION A100 CONTEXT PLAN A101 CONTEXT PHOTOGRAPHS A102 CONTEXT STREETSCAPE A103 CONTEXT SIMILAR PROJECTS A104 3D MODEL A200 FIRE ACCESS PLAN / BCBC SUMMARY A201 LEVEL P1 FLOOR PLAN A202 LEVEL 1 FLOOR PLAN / SITE PLAN A203 LEVEL 2 FLOOR PLAN A205 LEVEL 4 PLAN A206 LEVEL ROOF PLAN A206 LEVEL ROOF PLAN A206 LEVEL ROOF PLAN A301 BLOCK A - LEVEL 1 FLOOR PLANS A303 BLOCK A - LEVEL 2 FLOOR PLANS A303 BLOCK A - LEVEL 2 FLOOR PLANS A303 BLOCK A - LEVEL 2 FLOOR PLANS A304 BLOCK A - LEVEL 2 FLOOR PLANS A305 BLOCK A - LEVEL 2 FLOOR PLANS A305 BLOCK A - LEVEL 2 FLOOR PLAN A306 BLOCK B & C - LEVEL 1 FLOOR PLAN A307 BLOCK A - LEVEL 2 FLOOR PLAN A308 BLOCK B & C - LEVEL 1 FLOOR PLAN A308 BLOCK B & C - LEVEL 1 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A308 BLOCK B & C - LEVEL 4 FLOOR PLAN A508 WALL SECTION A504 WILDING SECTION A504 WILDING SECTION A505 WALL SECTIONS A506 WALL SECTIONS A506 WALL SECTIONS A507 WALL SECTIONS A507 WALL SECTIONS A508 WALL SECTIONS A508 WALL SECTIONS A508 WALL SECTIONS A508 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A507 WALL SECTIONS A508 WALL SECTIONS A508 WALL SECTIONS A508 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A508 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A509 WALL SECTIONS A508 WALL SECTIONS A509 WALL SECTIONS
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<ul> <li>A402 ELEVATIONS - BLOCK B &amp; C</li> <li>A403 ELEVATIONS - BLOCK A, B &amp; C</li> <li>A404 UNPROTECTED OPENINGS</li> <li>A405 UNPROTECTED OPENINGS</li> <li>A406 REFLECTED ELEVATIONS &amp; ARTICULATED FACADE CALCULATIONS</li> <li>A407 MATERIAL BOARD</li> <li>A501 BUILDING SECTION</li> <li>A502 BUILDING SECTION</li> <li>A503 BUILDING SECTION</li> <li>A504 BUILDING SECTION</li> <li>A505 WALL SECTIONS</li> <li>A506 WALL SECTIONS</li> <li>A507 WALL SECTIONS</li> <li>A508 WALL SECTIONS</li> <li>A509 WALL SECTIONS</li> <li>A701 WALL SCHEDULE</li> <li>O01 LEVEL 1 AREA OVERLAY</li> <li>O02 LEVEL 2 AREA OVERLAY</li> <li>O03 LEVEL 3 AREA OVERLAY</li> <li>O04 LEVEL 4 AREA OVERLAY</li> <li>SA01 SHADOW ANALYSIS</li> <li>SA02 SHADOW ANALYSIS</li> </ul>
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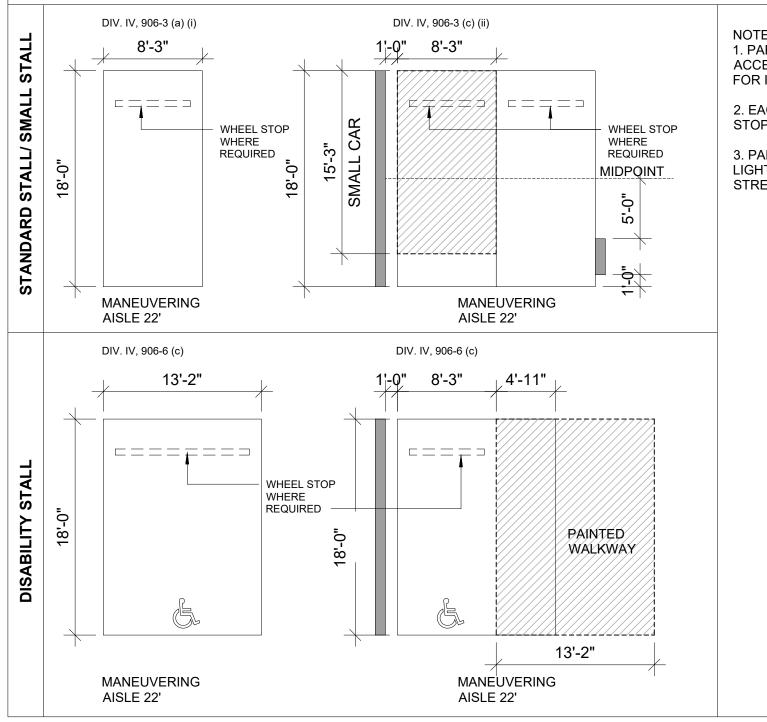
#### **RE-ISSUED FOR DP** DESIGN DEVELOPMENT 05 MAY 2021

EE SERVICES LTD. )WN STREET /ANCOUVER, BC

PROJECT INFORMATION / ZONING DATA									
PROJECT DESCRIPTION / USE	4 STOREY, 15 UN	ITS RESIDENTIA	L TOWNHO	MES, INCLUD	ING ONE LEVE	L OF UNDERG	ROUND PARKI	NG	
LEGAL DESCRIPTION	LOT 6 BLOCK 14	4 PLAN 878 & S	TRATA PLAN	BCS3650 B0	OTH OF DISTRIC	CT LOT 274 G	ROUP 1 NEW V	VESTMINSTER	DISTRICT
CIVIC ADDRESS PRESENT	427, 429, 433, 43	35 EAST 3RD ST	REET, NORTI	H VANCOUVI	ER, BC				
CIVIC ADDRESS FUTURE	TBD								
TOTAL LOT AREA	11,946	SF	1,109.8	SM					
LOT SIZE (APPROXIMATE FRONTAGE)			FT	М					
	NORTH / EAST 3F	RD STREET	99.88	30.4					
	EAST		119.57	36.4					
	SOUTH / LANE		99.93	30.5					
	WEST		119.56	36.4					
OCP / AREA DESIGN GUIDELINES	MOODYVILLE EA	ST 3RD STREET	DEVELOPM	ENT PERMIT	AREA GUIDELIN	IES			
ZONING & DEVELOPMENT PERMIT	RM-2 MEDIUM E	DENSITY APART	MENT RESID	ENTIAL 2					
PROPOSED NUMBER OF RESIDENTIAL UNITS	15								
	F	REQUIRED / ALI	LOWED			PRO	POSED		
			SF	SM			SF	SM	
DENSITY / GROSS BUILDING AREA			19,114	1776			19,114	1776	REFER TO DETAILED CALCU
	FAR	1.60				1.60	,		
SITE COVERAGE			60.0%	MAX.		50.7%			
AVERAGE GRADE - BLOCK A					139.36	FT	42.48	М	
AVERAGE GRADE - BLOCK B/C					134.39	FT	40.96	М	ALL HEIGHT AND AVERAGE
BUILDING HEIGHT - BLOCK A	188.57	FT	57.48	M	183.33	FT	55.88	М	GEODETIC VALUES
BUILDING HEIGHT BLOCK B/C	183.60	FT	55.96	М	182.33	FT	55.57	М	
NUMBER OF STOREY		4					4		
BUILDING SETBACKS									
NORTH / EAST 3RD STREET	9.06	FT	2.8	М	9.06	FT	2.8	М	AS PER SUBSECTION 411 (1) (B)
EAST	7.90	FT	2.4	М	7.90	FT	2.4	М	ZONE RM-2, SUBSECTION 572
SOUTH / LANE	5.20	FT	1.6	М	7.71	FT	2.4	М	NORTH, EAST & WEST SETBACK
WEST	7.90	FT	2.4	М	7.90	FT	2.4	М	SITING EXCEMPTION
MINIMUM DWELLING UNIT SIZE		MIN. AREA	400	37			496	46	
ACCESSORY LOCK-OFF UNIT			285.0	26.0		1	412	38	
OFF-STREET PARKING	16	STALLS			16	STALLS			REFER TO A002 FOR DETAI
BICYCLE STORAGE	SECURED		23				23		1.5 SPACE/ DWELLING UNIT. F
GARBAGE / RECYCLING / STORAGE			118.4	11.00			156	14.49	5.23 SF/ DWELLING UNIT (
NOTES: 1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING 2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE 3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH TH	CE WITH THE METH			of North VA	NCOUVER BYLA	WS			

#### PARKING STALL DIMENSIONS

FOR DETAILED INFORMATION, REFER TO CITY OF NORTH VANCOUVER ZONING BYLAW, DIVISION IV: PARKING AND LOADING STANDARDS



NOTE: 1. PARKING SPACES DELINEATED BY PAINTED SOLID LINES OR OTHER ACCEPTABLE PAVEMENT MARKING DEVICE FOR EACH PARKING; AND NUMBERED FOR IDENTIFICATION

2. EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS OF NOT LESS THAN 6" IN HEIGHT

3. PARKING AREA LIGHTING SHALL BE ILLUMINATED ONLY WITH SHIELDED LIGHTING SO THAT GLARE DOES NOT IMPACT MOTORISTS ON ADJACENT STREETS OR LANES

NOTES
LCULATIONS ON A002
AGE GRADE INFORMATION IS PROVIDED AS
) (B) FOR 3RD STREET SETBACK
572 (8) (A) (ii) & (iii) -FOR OTHER SETBACKS. ACKS SUBJECT TO SUBSECTION 410 (2) (A), 9.8"
TAILED CALCULATION
IT. REFER TO A002 FOR DETAILS
IT OR A MINIMUM OF 118.4SF

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architect	5
ECO-REGIONAL ARCHITECTURE +	
(Formerly BESHARAT FRIARS ARCH	
600 - 355 Burrard Street	T 604 662 8544
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REVISIONS	
NO. DESCRIPTION	DATE 16 DEC 2019
ISSUED FOR DP	12 JUN 2020
REISSUED FOR DP	09 MAR 2021
REISSUED FOR DP	05 MAY 2021
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AREA CALCULATIONS SUM	IMARY / SF														
	A	B	С	D	E	F=D+E	G	Н	I	J	K=G+H+I+(J)	L=F-K	М		
					CIRCULATION /ELEVATORS/		BEYOND 6.5 INCHES MAX. 10 INCHES EXTERIOR WALL	GREEN BLDG MAX. 15 SF HRV PER UNIT	ACCESSORY LOCK-OFF DWELLING	+ ACCESS FROM	TOTAL		ΤΟΤΑΙ		
_EVEL	OF FLOORS	SUB TOTAL	LEVEL (SF)	RESIDENTIAL	STAIR/ /M&E CLOSETS(SF)	TOTAL AREA / FLOOR (SF)					EXCLUSIONS		TOTAL GROSS (SM)	NOTES	
_EVEL PARKING			9,330	AREA (SF)	0103113(3P)	NA	(SF)	(SF)	(SF) NA	(SF)	(SF)	(3F) N/			
LEVEL PARKING	1	0	9,330	5,113	187	5,300	416		151	108	749	4,551	423		
_EVEL 2	1	5	0	5,934	0	5,934	408	-	0	0	408	5,526	513		
LEVEL 3	1	12	0	5.776	0	5,776	417	- 225	0	0	400	5,359	498		
_EVEL 4	1	12	0	3,725	0	3,725	428	-	0	0	428	3,297	306		
			0	0,120	0	0,720			0			0,201	000		
ΓΟΤΑL		15	9,330	20,548	187	20,735	1,669	225	151	108	2,153	18,582	1,726		
SITE AREA:		11,946	,	,		,	,				,	,	,		
TOTAL GROSS:		18,582		1.56											
PARKING/P1		9,330		9,330											
MAXIMUM GFA		19,114		1.60											
DIFFERENCE		532	SF												
I. ALL AREAS AND CALC	ULATIONS ARE	APPRO	XIMATE. & MAY E	BE ADJUSTED DU	RING WORKING DR	AWINGS	1	L	1	1	1	1	1		
2. VALUES LISTED IN AB	OVE AREA CAL	CULATIC	ONS ARE DETERM	MINED IN GENER	AL ACCORDANCE V	MTH THE METHO		RED IN CITY OF NO	ORTH VANCOU	VER BYLAWS					
3. VALUES LISTED IN BUI	ILDING CODE D	ATA SHE		INED IN ACCORE	DANCE WITH THE M	IETHODOLOGY RI	EQUIRED IN BCB	C 2018							
. WALL THICKNESS EXC	LUSION AREAS	S ARE AP	PROXIMATE ANI	D WILL BE ADJUS	TED BASED ON FI	NAL WALL ASSEN	IBLIES								

RESIDENTIAL UNIT SU	IMMARY						T T				OFF STREET PARKING SUMMARY			
				ROOF	UNIT AREA							RATE/REQUIR	RED/BYLAW	PROVIDED
UNIT TYPE	(SF)	(SF)	(SF)	(SF)	(SF)	(SM)		%	OUTDOOR SPACE /UNIT (SF) (REQ. 107.6 SF per TH & 53.8 SF per Unit)	NOTES	TOWNHOMES (TOTAL:15)	1.05	16	14
BLOCK A							<u> </u>	70		HOTEO	VISITORS	0.10	2	2
A1 - 1 BR	496	0	0	0	496	46.1	3	20	130		TOTAL		16	16
A2 - STUDIO LOCKOUT UN		0	0	0	412	38.3	0	0		PART OF ONE A1 UNIT	STANDARD	13		11
A3 - 3 BR + FLEX	95	608	610	343	1656	153.8	3	20			SMALL CAR-MAXIMUM 35% (6 STALLS)			2
A4 - 3 BR + FLEX		654	657	374	1780	165.4	1	20	127		DISABILITY	1		1
SUB-TOTAL							7	47			VISITORS	1		1
							•	<u> </u>			VISITOR DISABILITY	1		1
BLOCK B											TOTAL	16	)	16
B1 - 2BR + FLEX	370	370	334	242	1316	122.3	3	20	110					
B2 - 3BR + FLEX	171	600	562	347	1680	156.1	1	7	110					
SUB-TOTAL							4	27			OFF STREET BICYCLE PARKING			
											III # UNITS	SECURED RATIO	SECURED REQUIR	
BLOCK C			1				1 1		L		TOWNHOUSES 15	1.5 / UNIT	22.5	23
C1 - 3 BR + FLEX	410	420	420	325	1575	146.3	3	20	110		TOTAL 15		23	23
C2 - 1BR + FLEX		408	408	280	1328	123.4	1	7	110					
SUB-TOTAL							4	27						
TOTAL							15	100						
TOTAL STUDIO							0			PART OF ONE A1 UNIT				
TOTAL 1 BEDROOM							4							
TOTAL TH 2 BEDROOM							3							
TOTAL TH 3 BEDROOM							8							
TOTAL							15							
NOTE:														

OFF STREET PARKING SUMMARY			
	RATE/REQUIRED	)/BYLAW	PROVIDED
TOWNHOMES (TOTAL:15)	1.05	16	14
VISITORS	0.10	2	2
TOTAL		16	16
STANDARD	13		11
SMALL CAR-MAXIMUM 35% (6 STALLS)	10		2
DISABILITY	1		1
VISITORS	1		1
VISITOR DISABILITY	1		1
TOTAL	16		16

# **bfq** studio architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

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REVISIONS	
NO. DESCRIPTION	DATE
ISSUED FOR PRE-CONSULTATION	16 DEC 2019
ISSUED FOR DP	12 JUN 2020
REISSUED FOR DP	09 MAR 2021
REISSUED FOR DP	05 MAY 2021

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NAM (Moodyville) Development Ltd.

19465

427-429-433-435 E 3rd Street, North Vancouver, B.C.

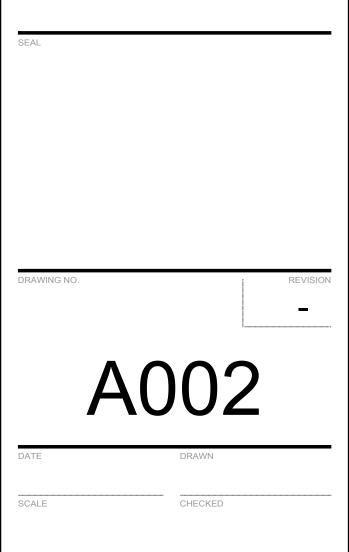
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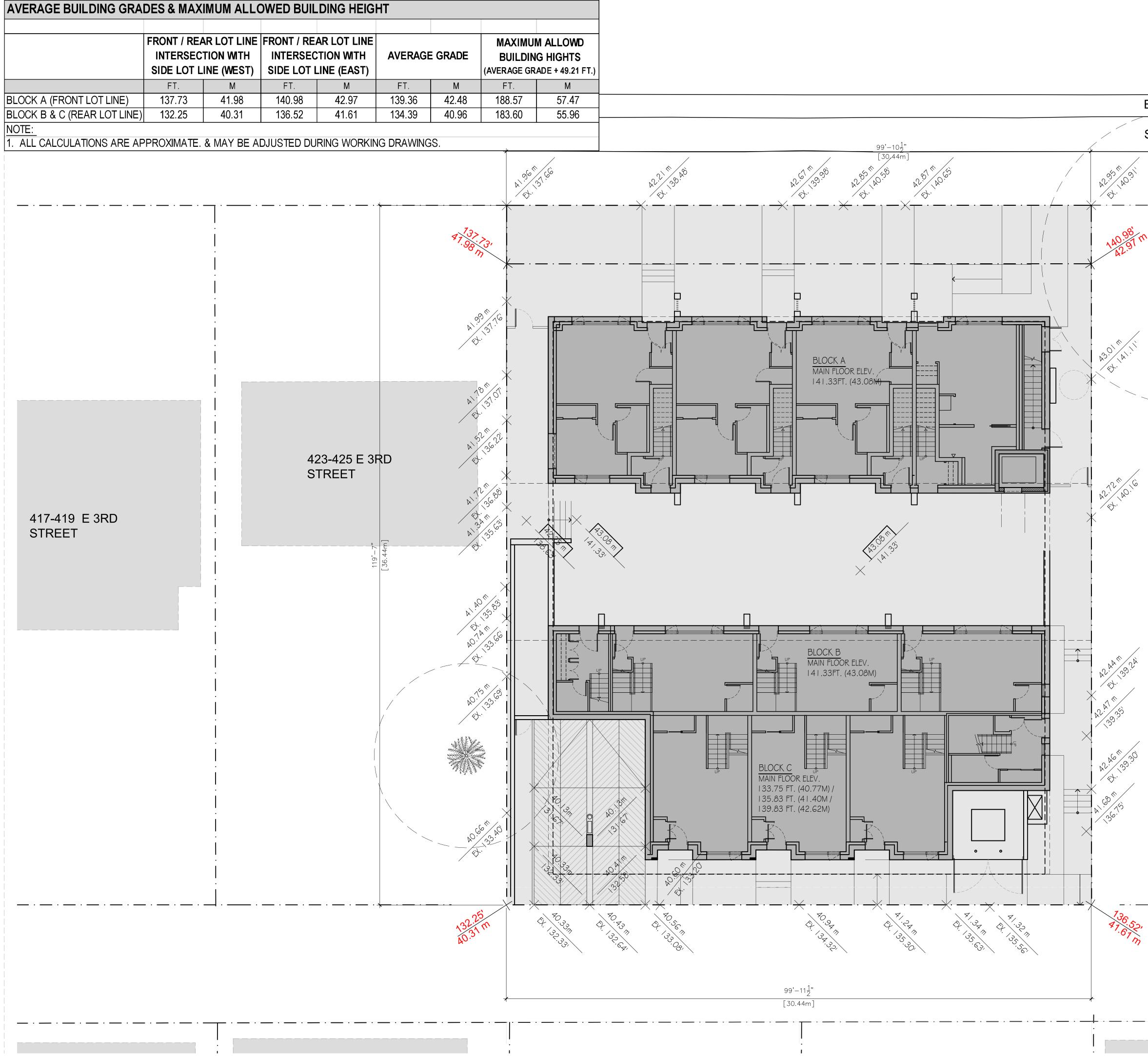
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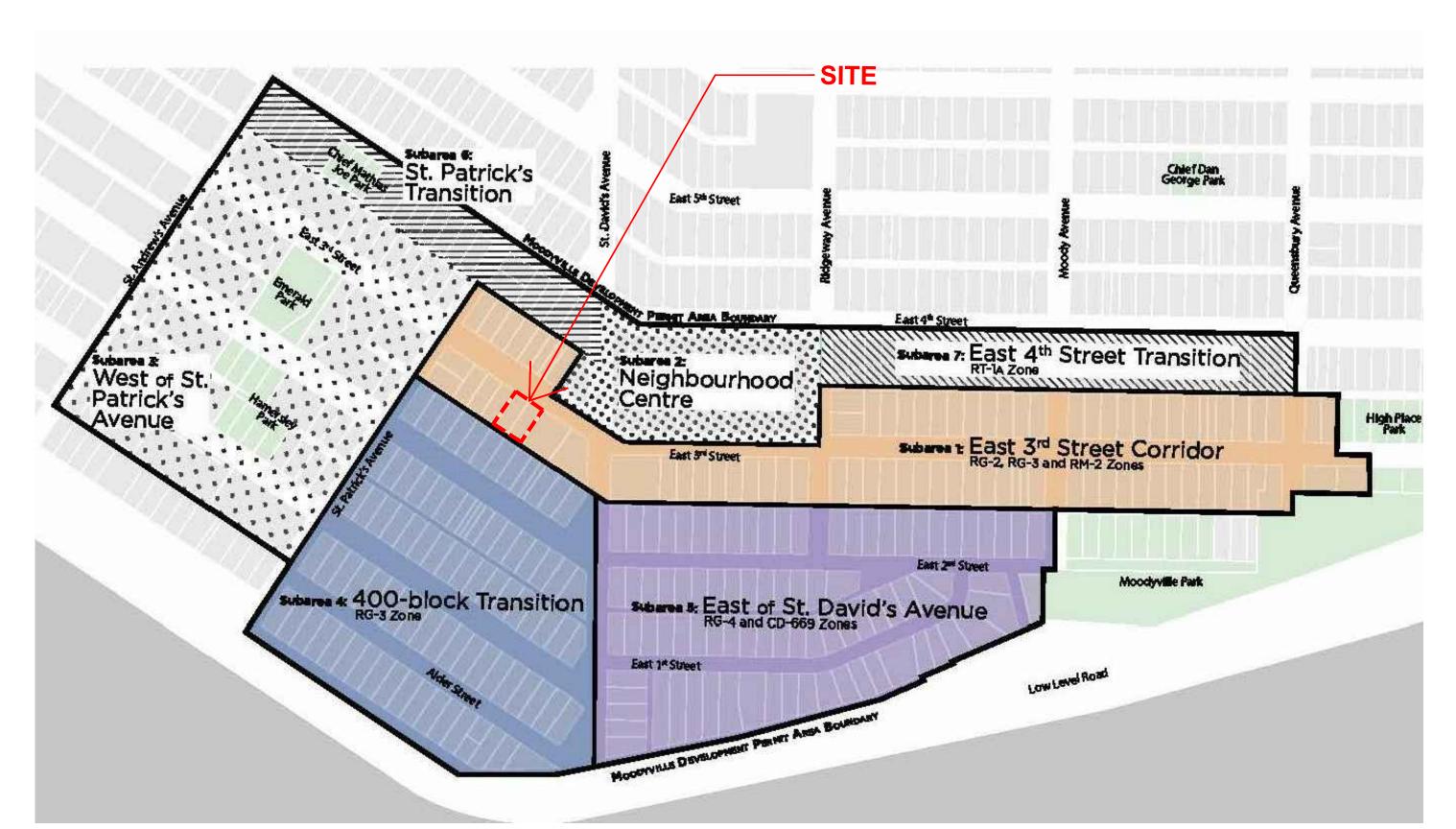
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#### PROJECT STATISTICS





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## NEIGHBOURHOOD SUBAREAS



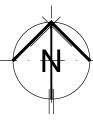
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CONTEXT PLAN



NO. DESCRIPTION	DATE
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ISSUED FOR DP	12 JUN 2020
REISSUED FOR DP	09 MAR 2021
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#### NAM (Moodyville) Development Ltd.

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427-429-433-435 E 3rd Street, North Vancouver, B.C.

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EAST 3rd STREET (SOUTH)

SAINT PATRICKS AVENUE



EAST 3rd STREET (NORTH)



LANE (SOUTH)

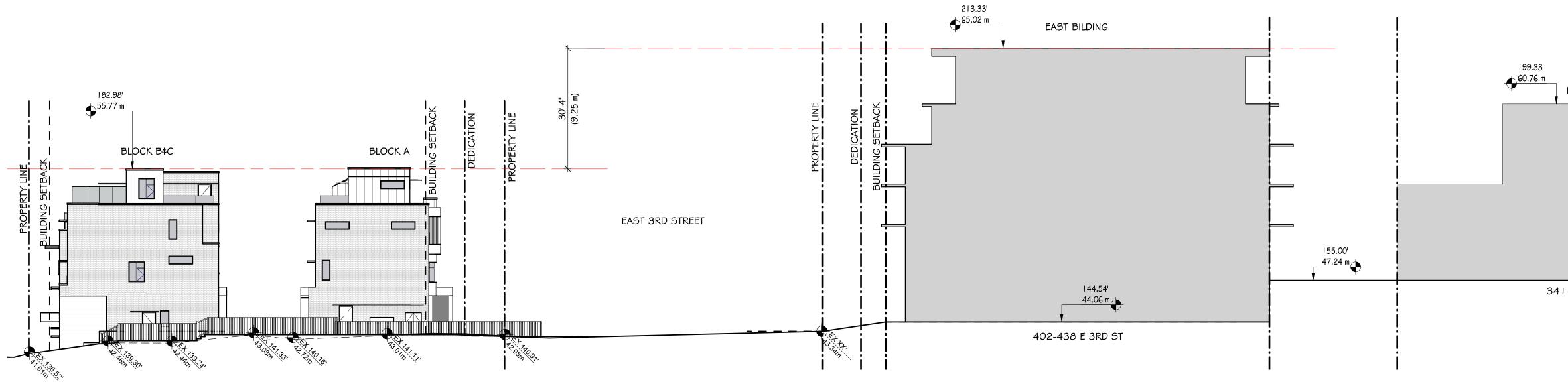
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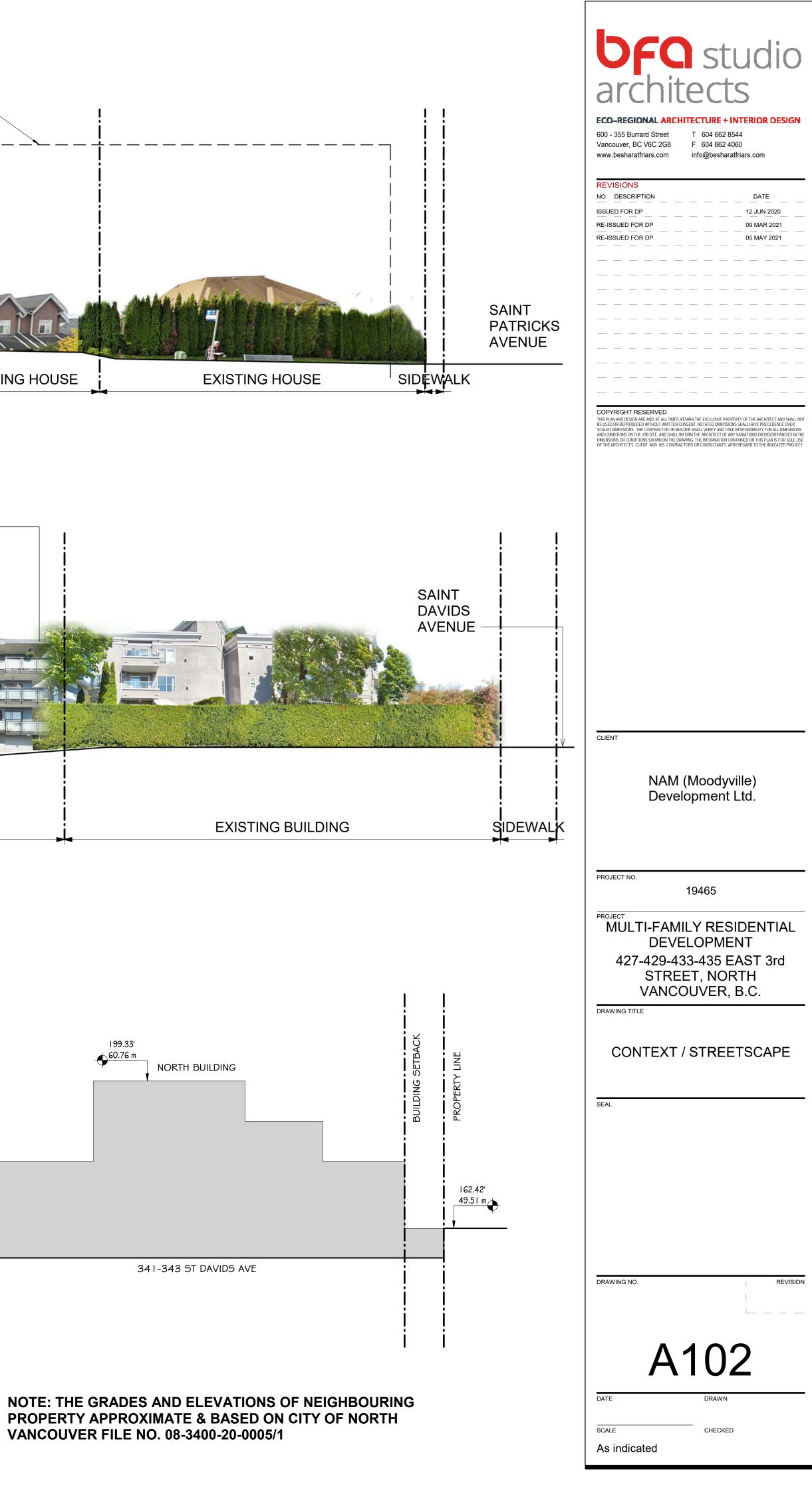
NORTH STREETSCAPE ALONG EAST 3RD



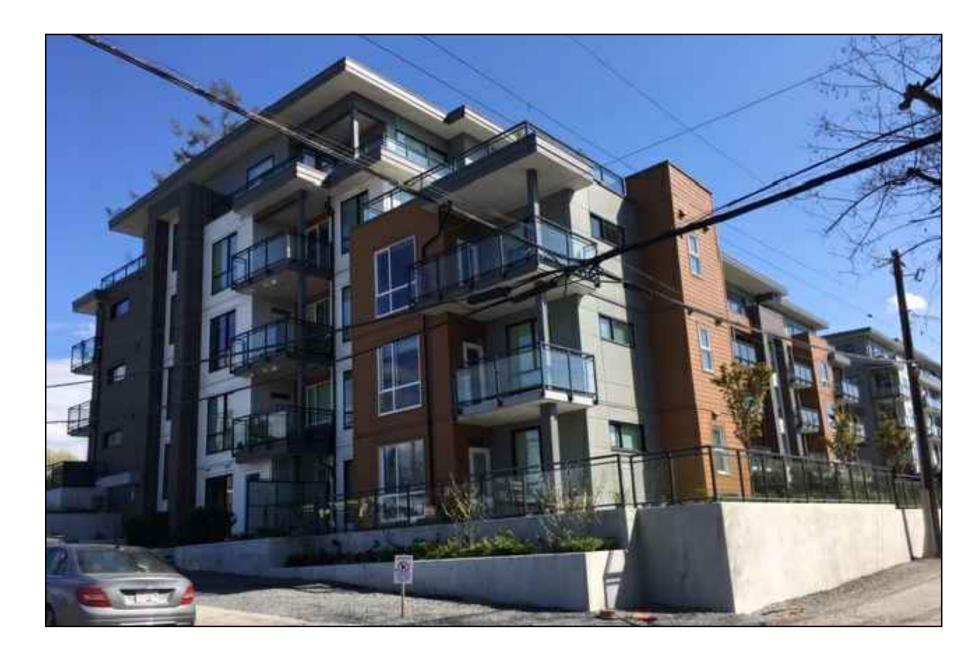
# SOUTH STREETSCAPE ALONG LANE



HEIGHT COMPARISON DIAGRAM









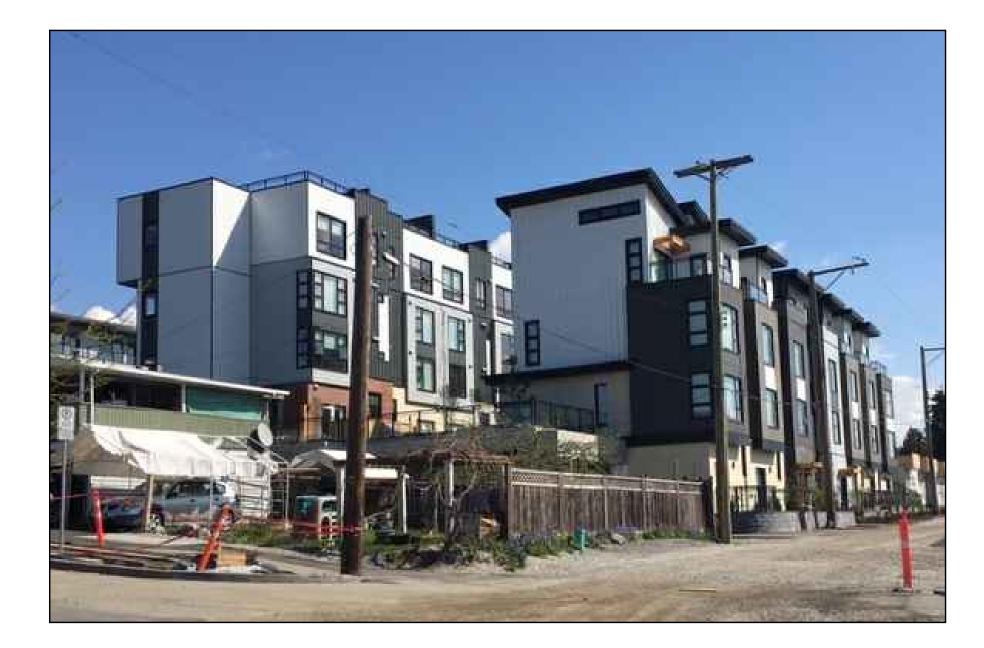


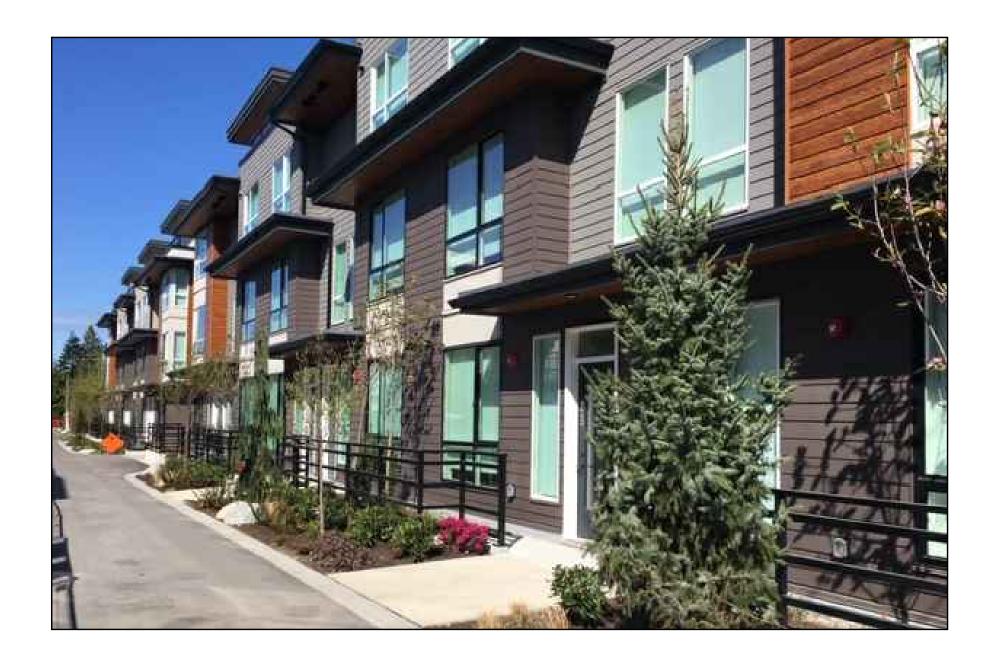












# **bfg** studio architects ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

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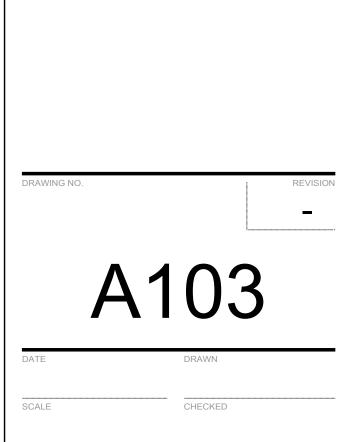
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PROJECT NO.

PROJECT

427-429-433-435 E 3rd Street, North Vancouver, B.C.

#### CONTEXT SIMILAR PROJECTS





BLOCK A - NORTH-EAST/ EAST 3RD STREET ELEVATION



BLOCK B&C - SOUTH-EAST/ LANE ELEVATION

BLOCK A - NORTH-WEST/ EAST 3RD STREET ELEVATION

**BLOCK B&C - SOUTH-WEST LANE ELEVATION** 

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BLOCK A&B - VIEW FROM INTERNAL COURTYARD



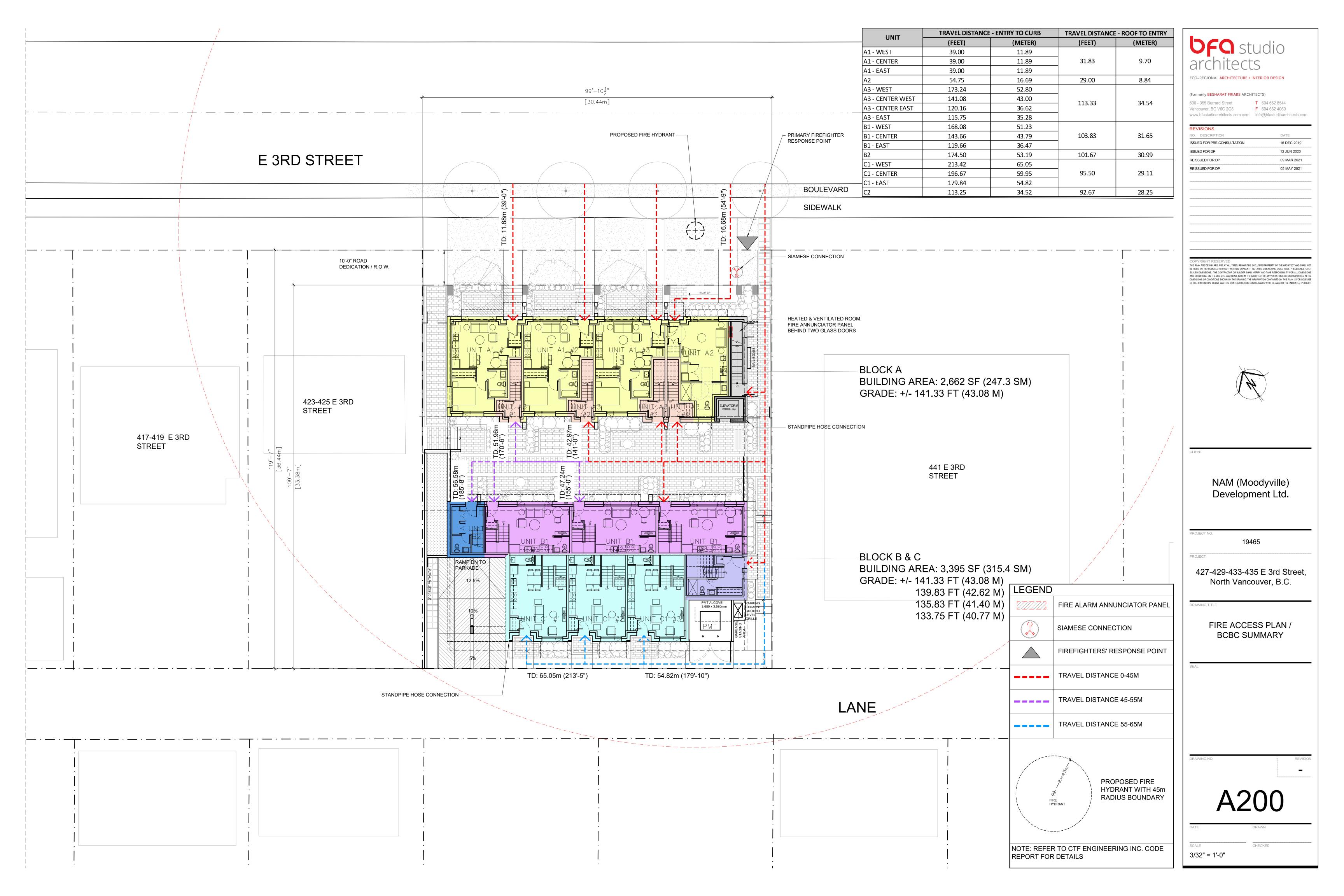
**BLOCK A - SOUTH ELEVATION** 

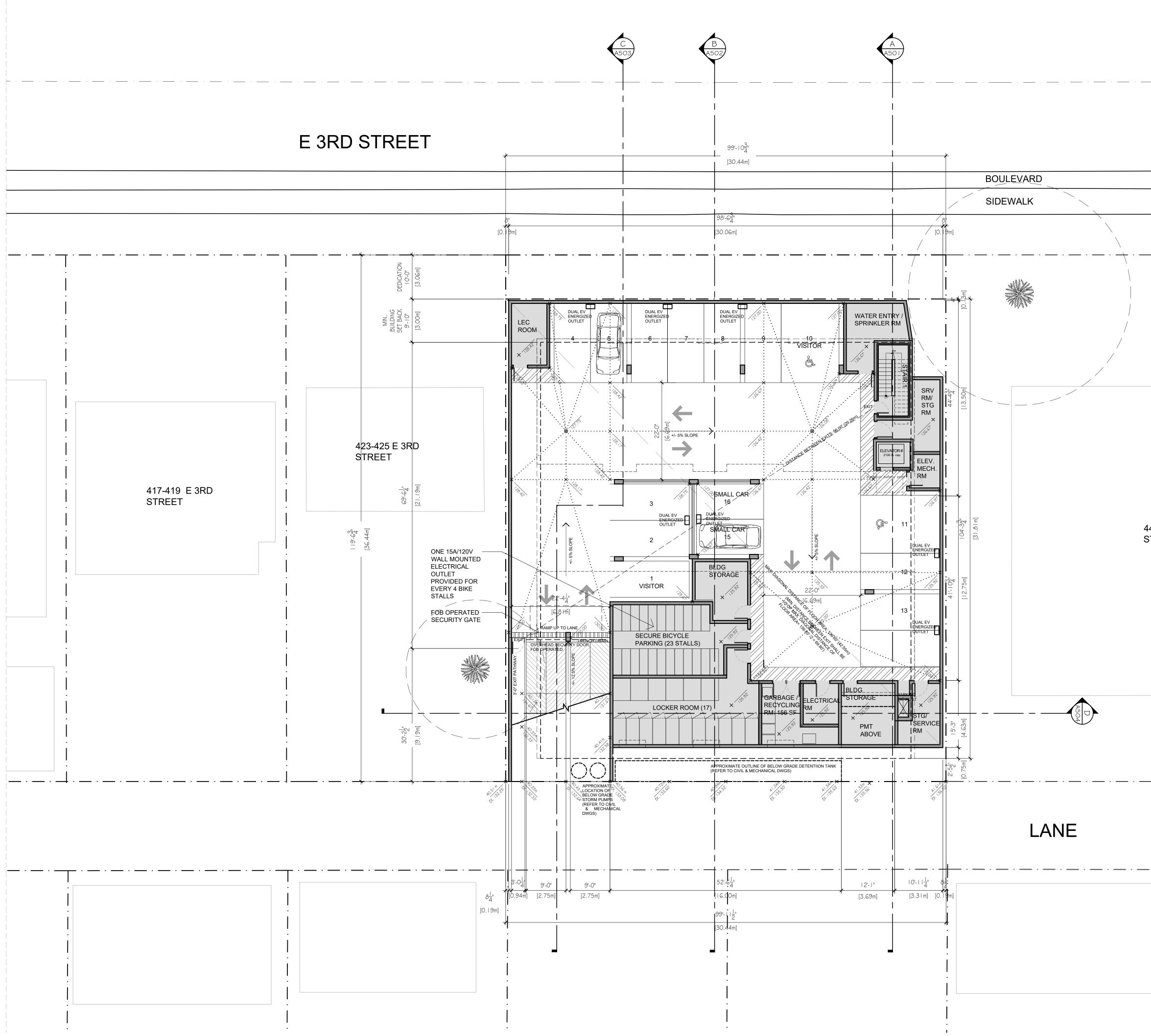


**BLOCK B - NORTH ELEVATION** 

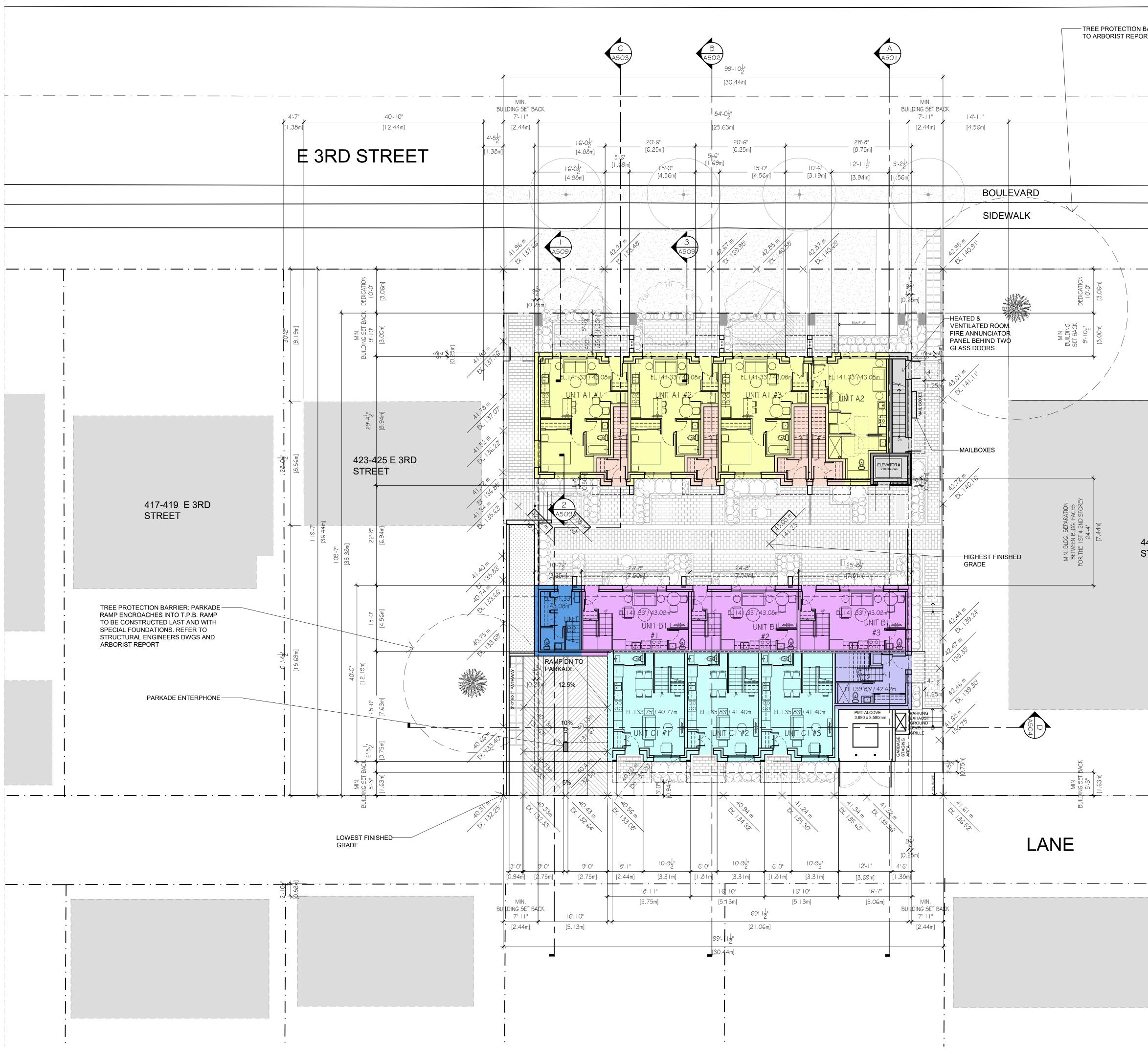
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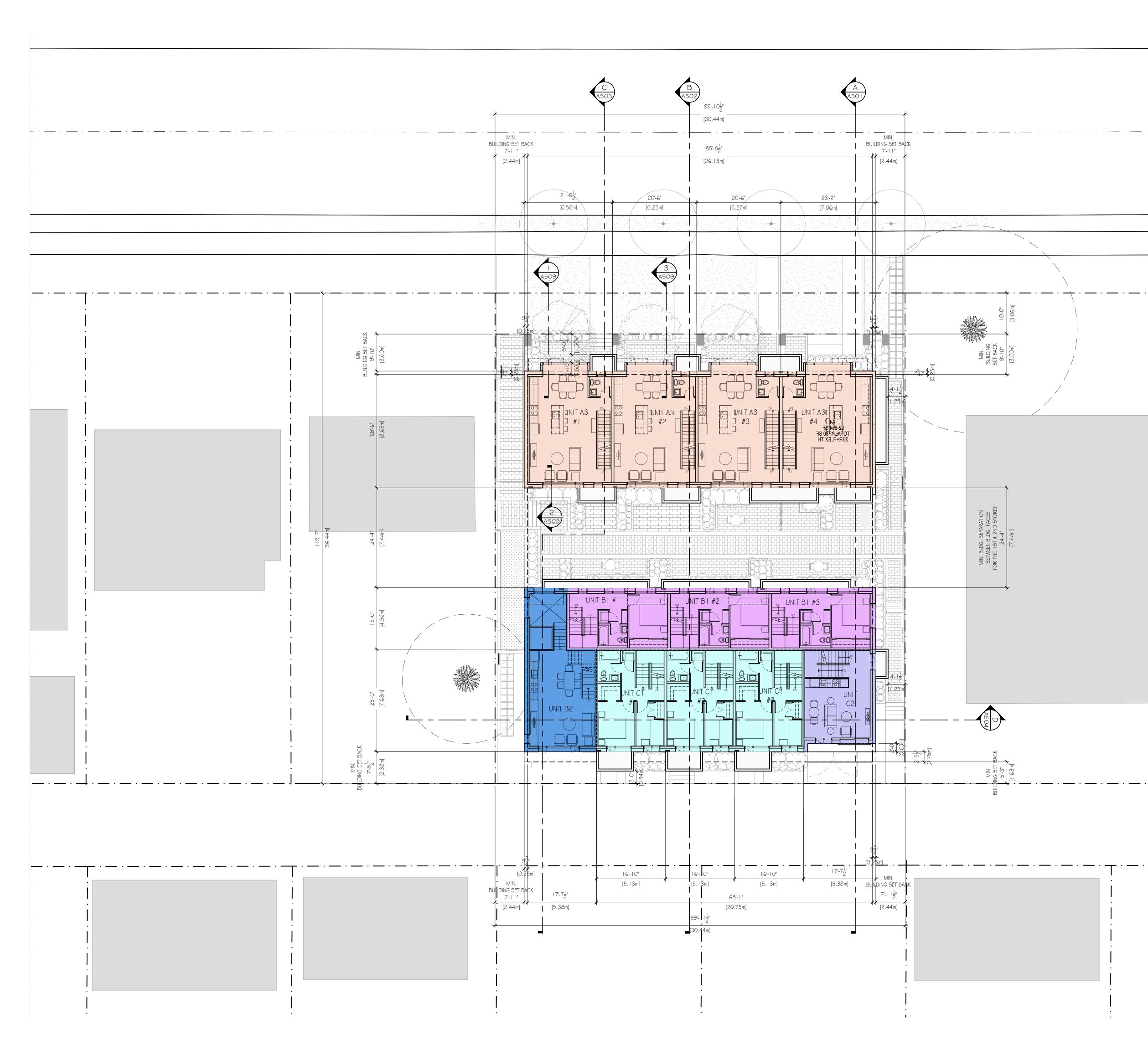




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		(Formerly BESHARAT FRIARS ARCHITECTS) 600 - 355 Burrard Street T 604 662 8544 Vancouver, BC V6C 2G8 F 604 662 4060 www.bfastudioarchitects.com.com info@bfastudioarchitects.com
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### NAM (Moodyville) Development Ltd.

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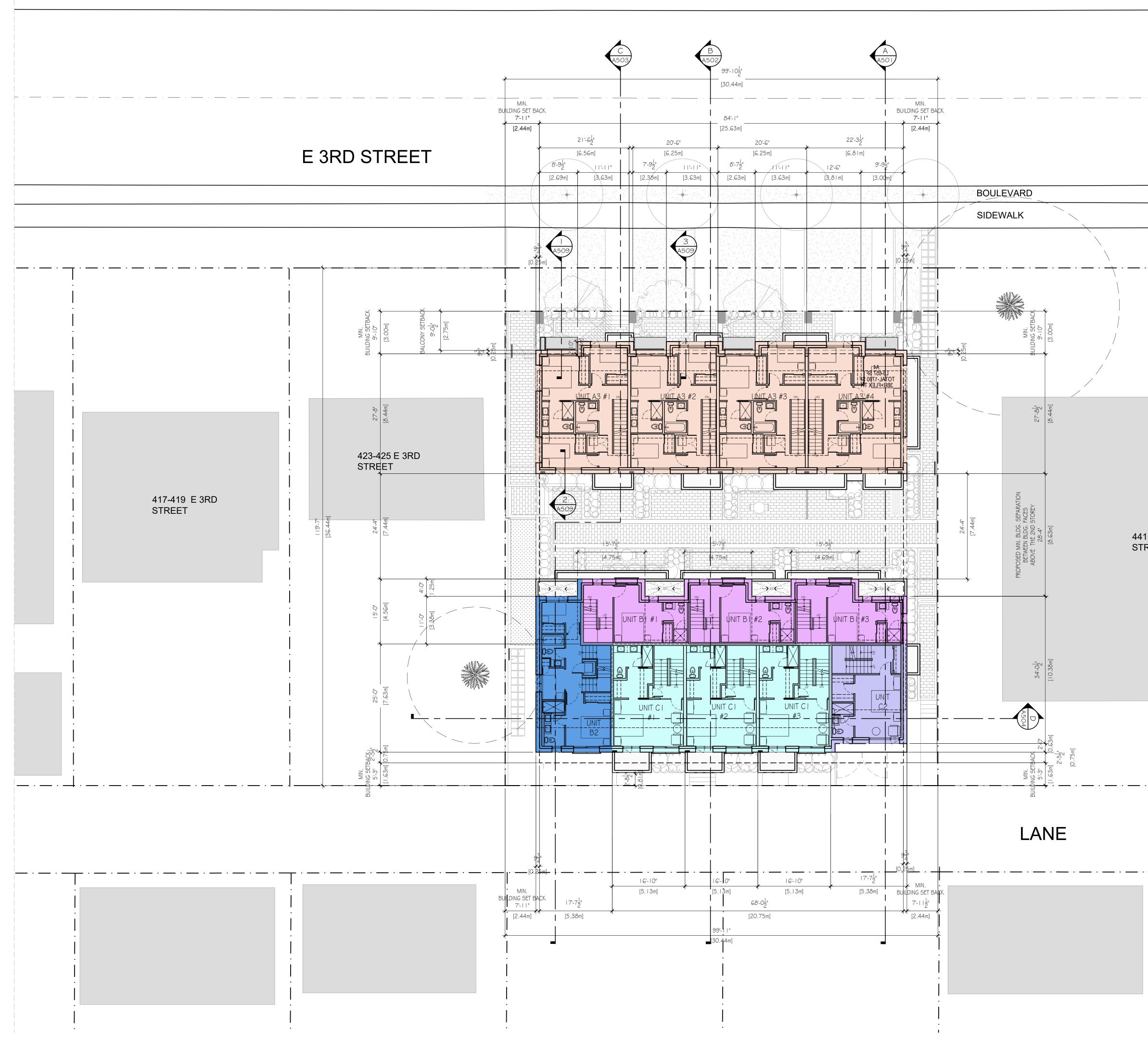
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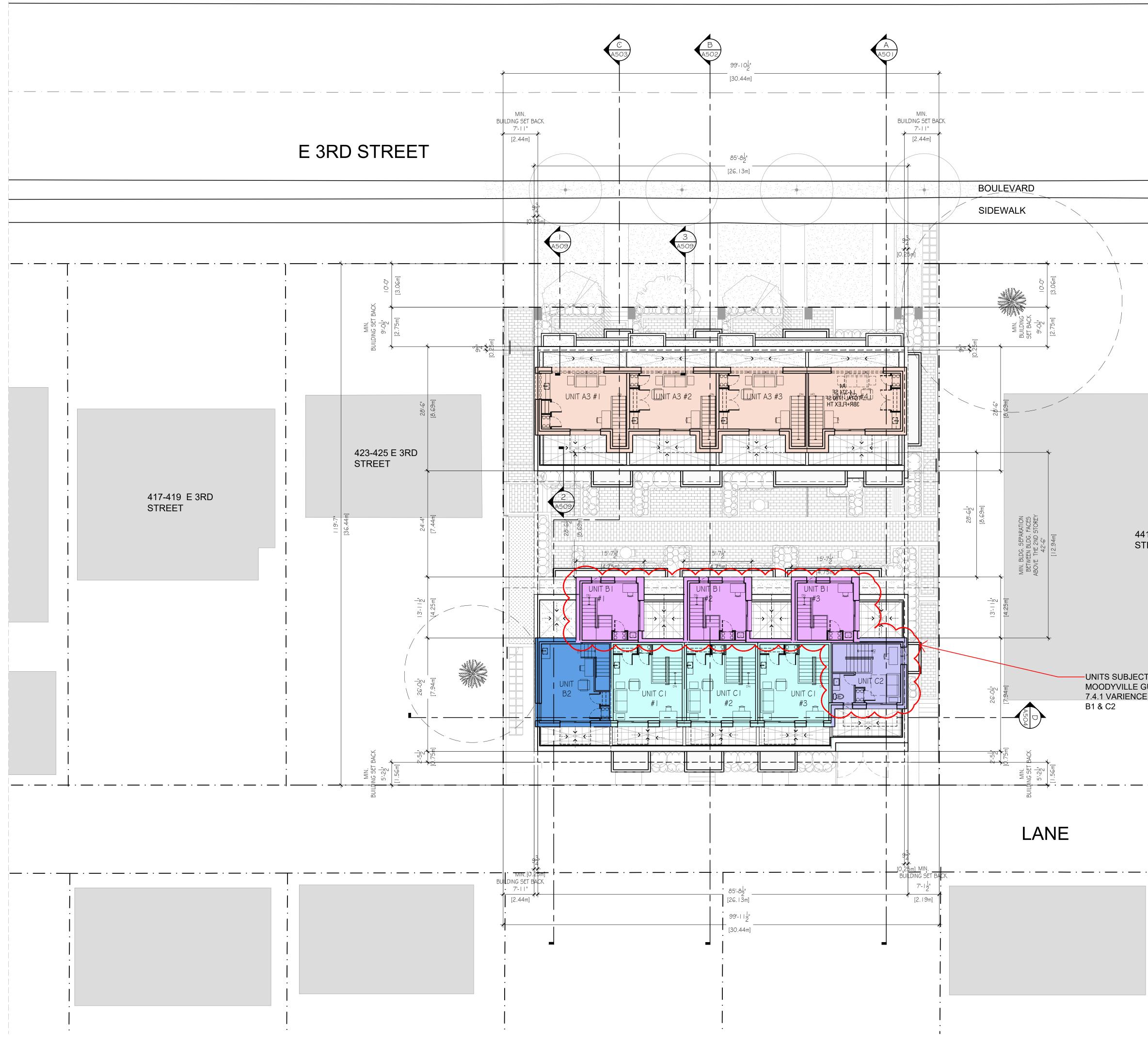
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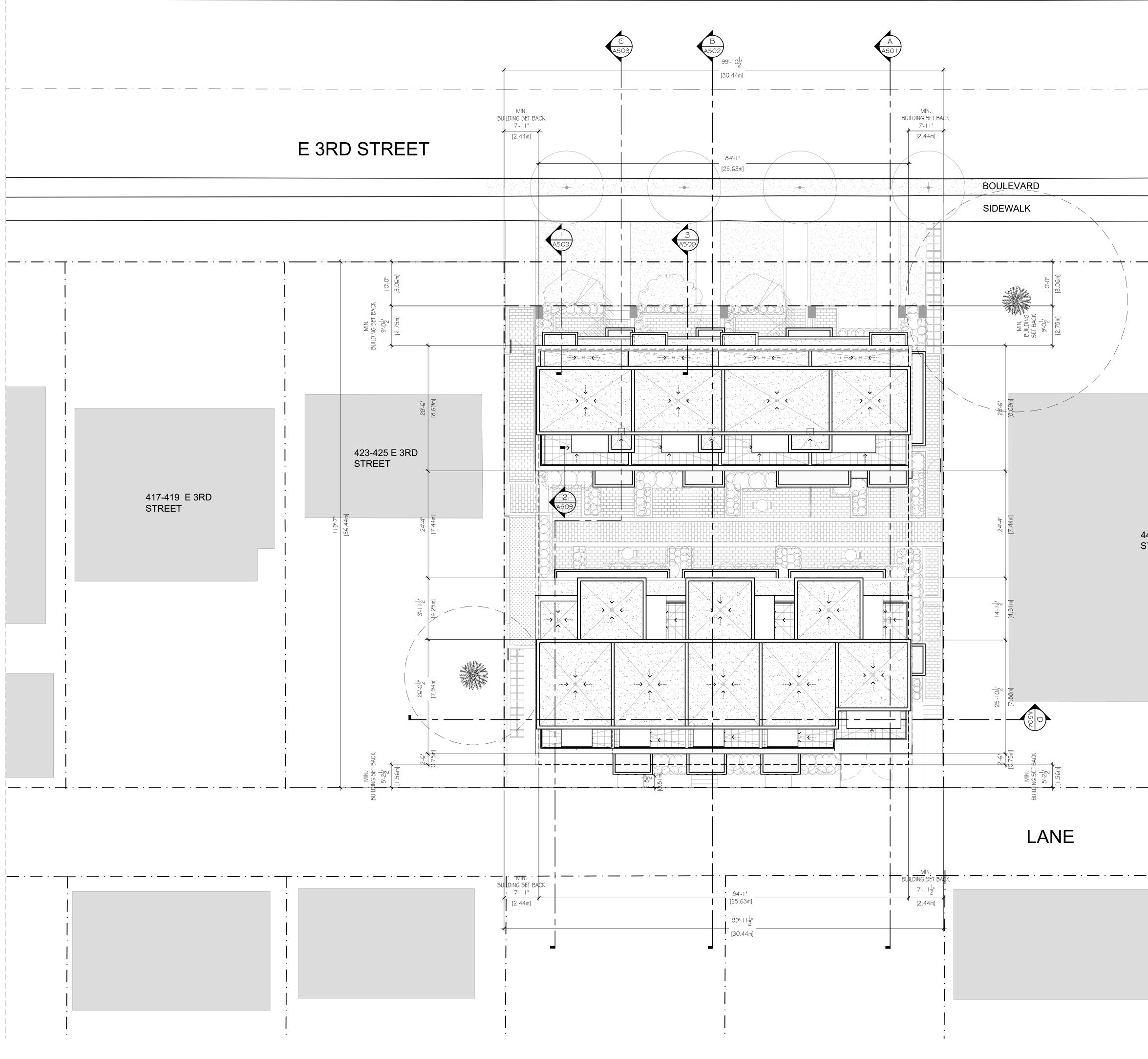




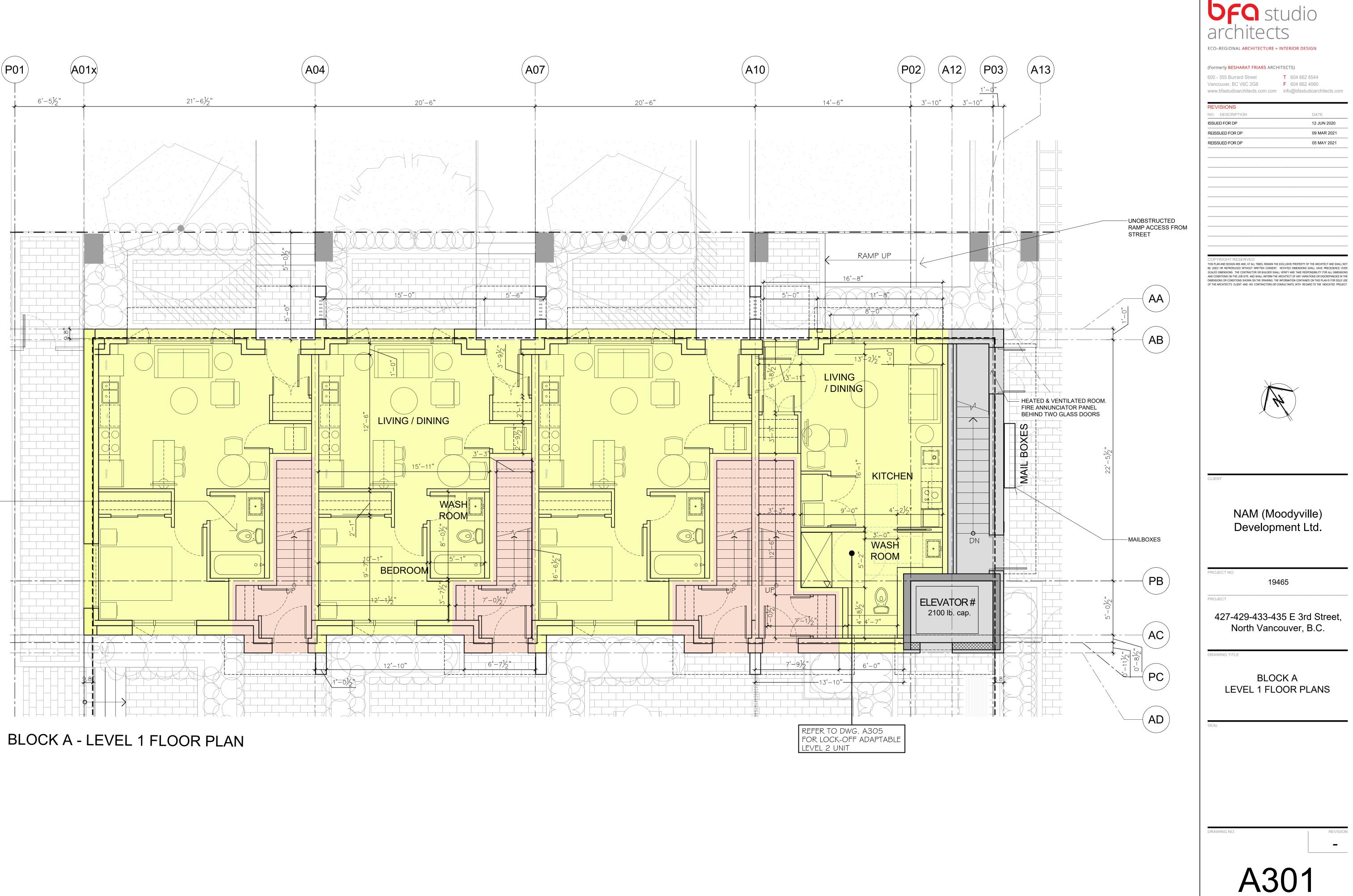
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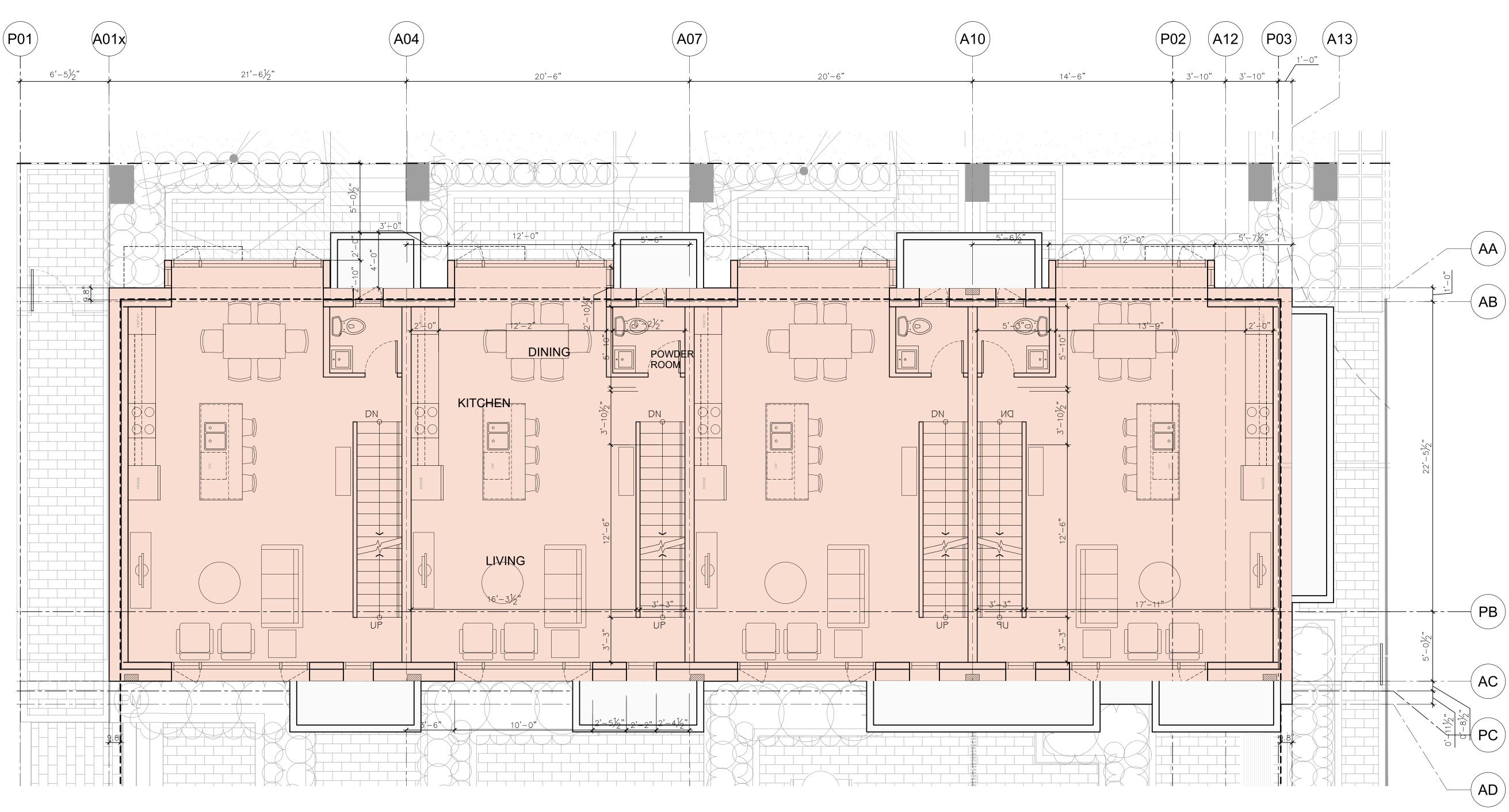
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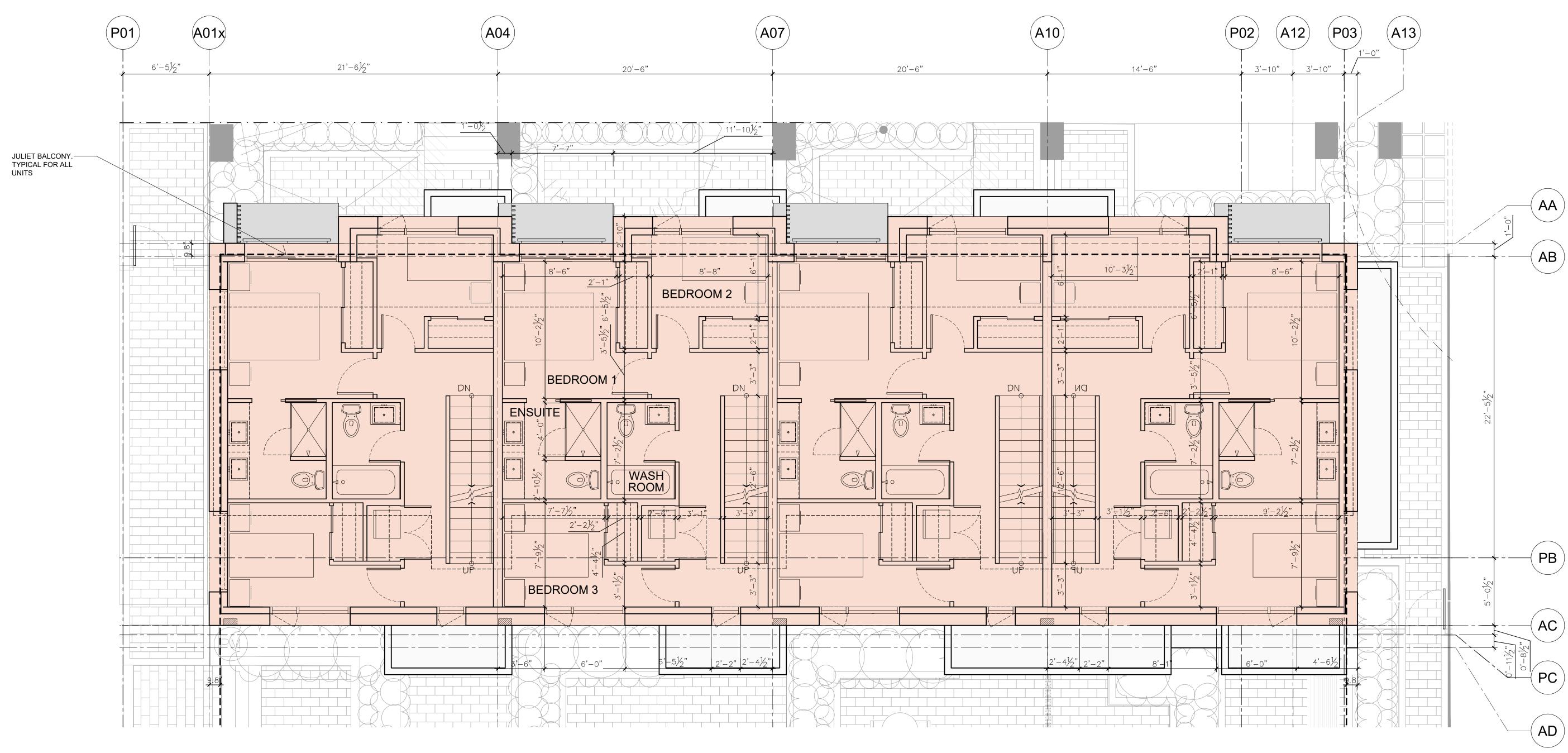
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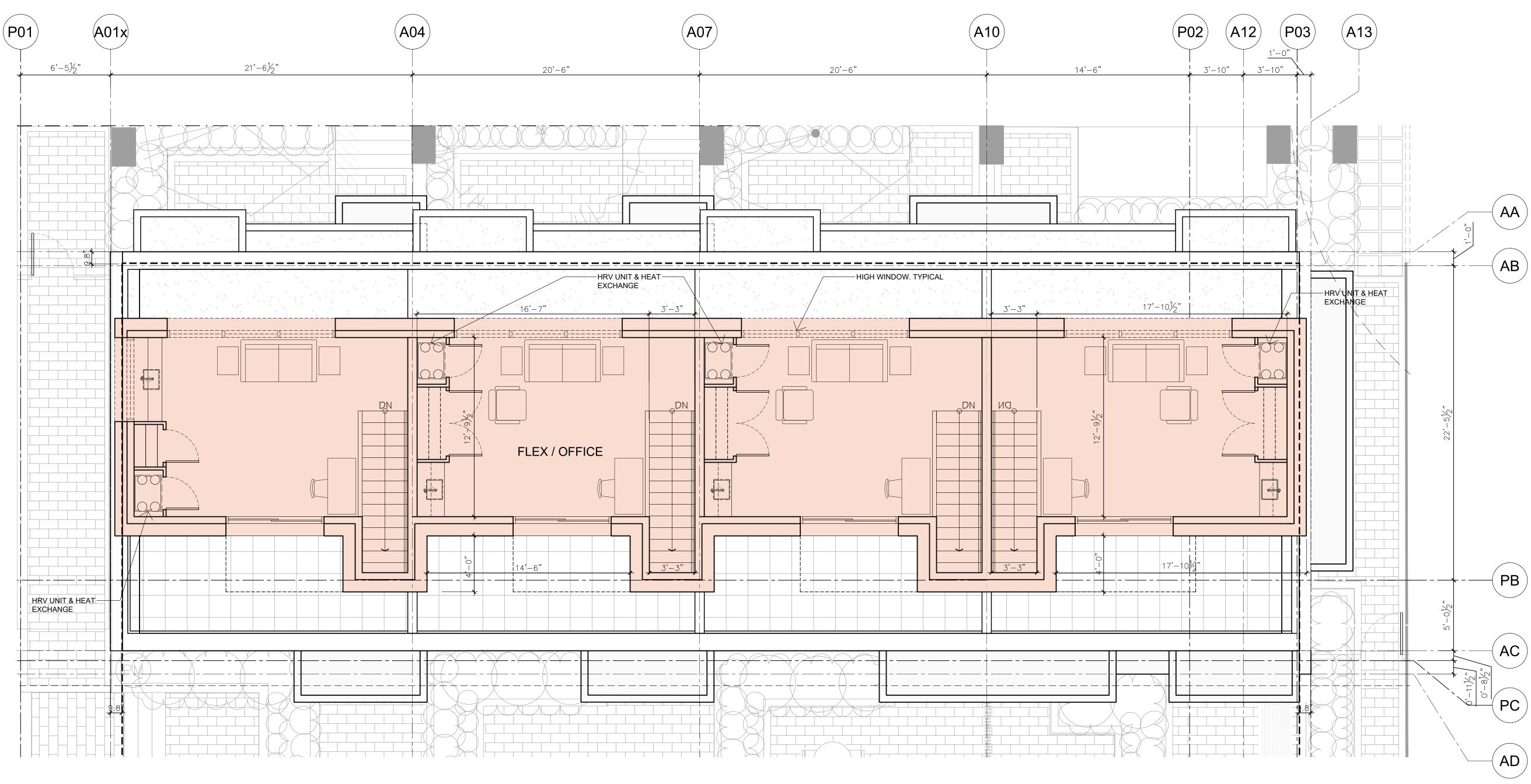
BLOCK A - LEVEL 2 FLOOR PLAN

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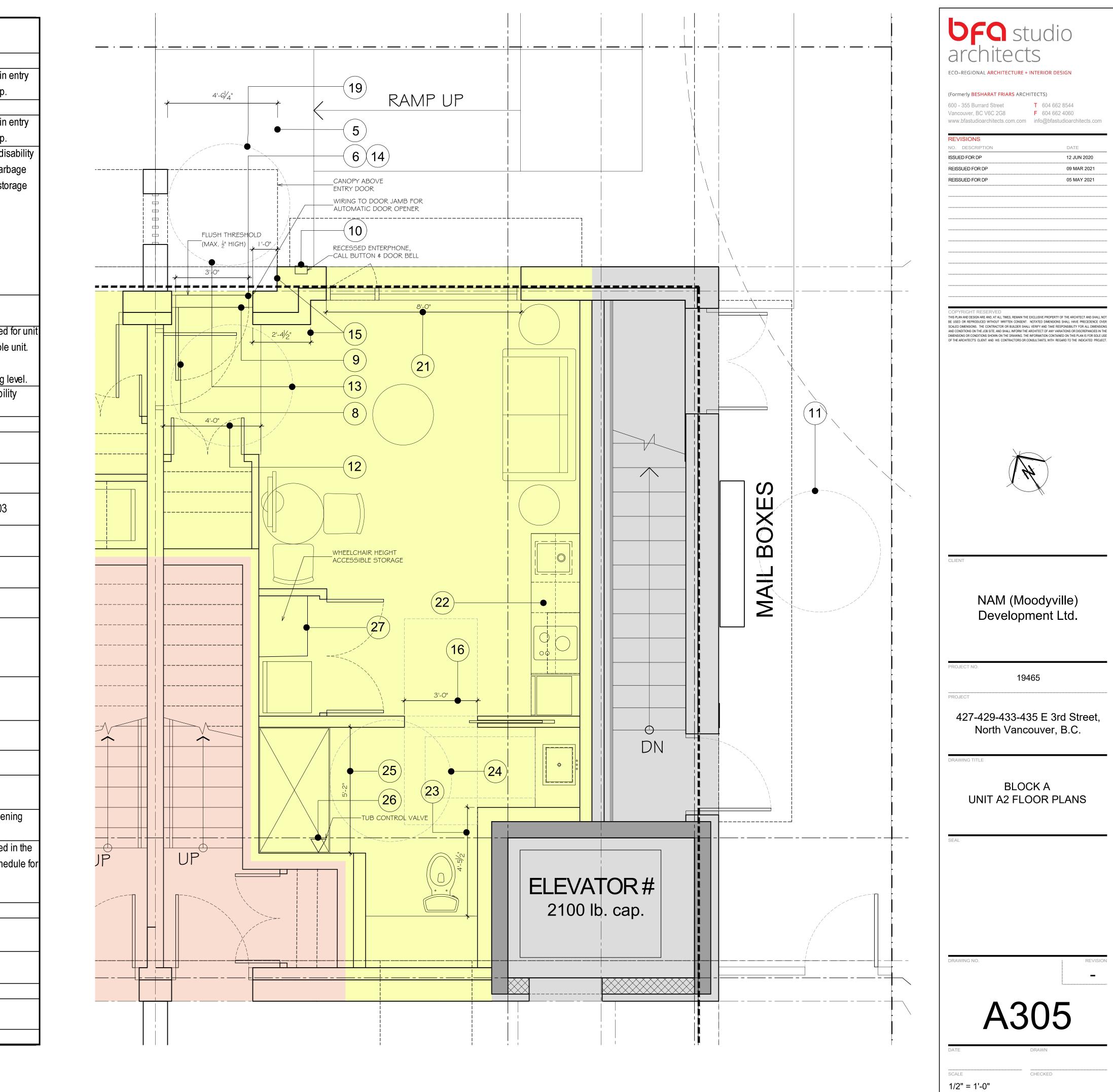
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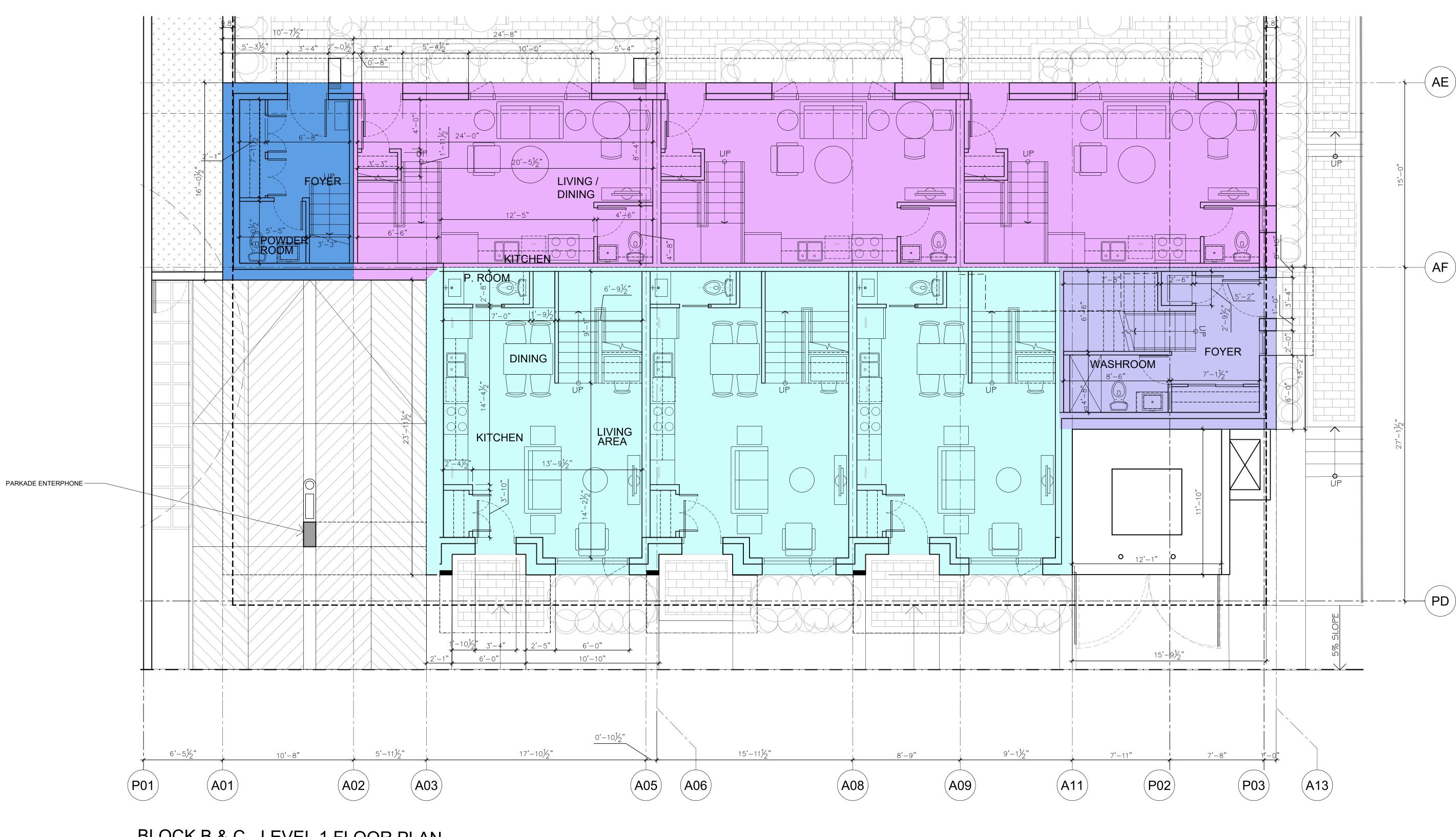


BLOCK A - LEVEL 4 FLOOR PLAN

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600 - 355 Burrard Street Vancouver, BC V6C 2G8	
www.bfastudioarchitects.com.com	info@bfastudioarchitects.com
REVISIONS NO. DESCRIPTION	DATE
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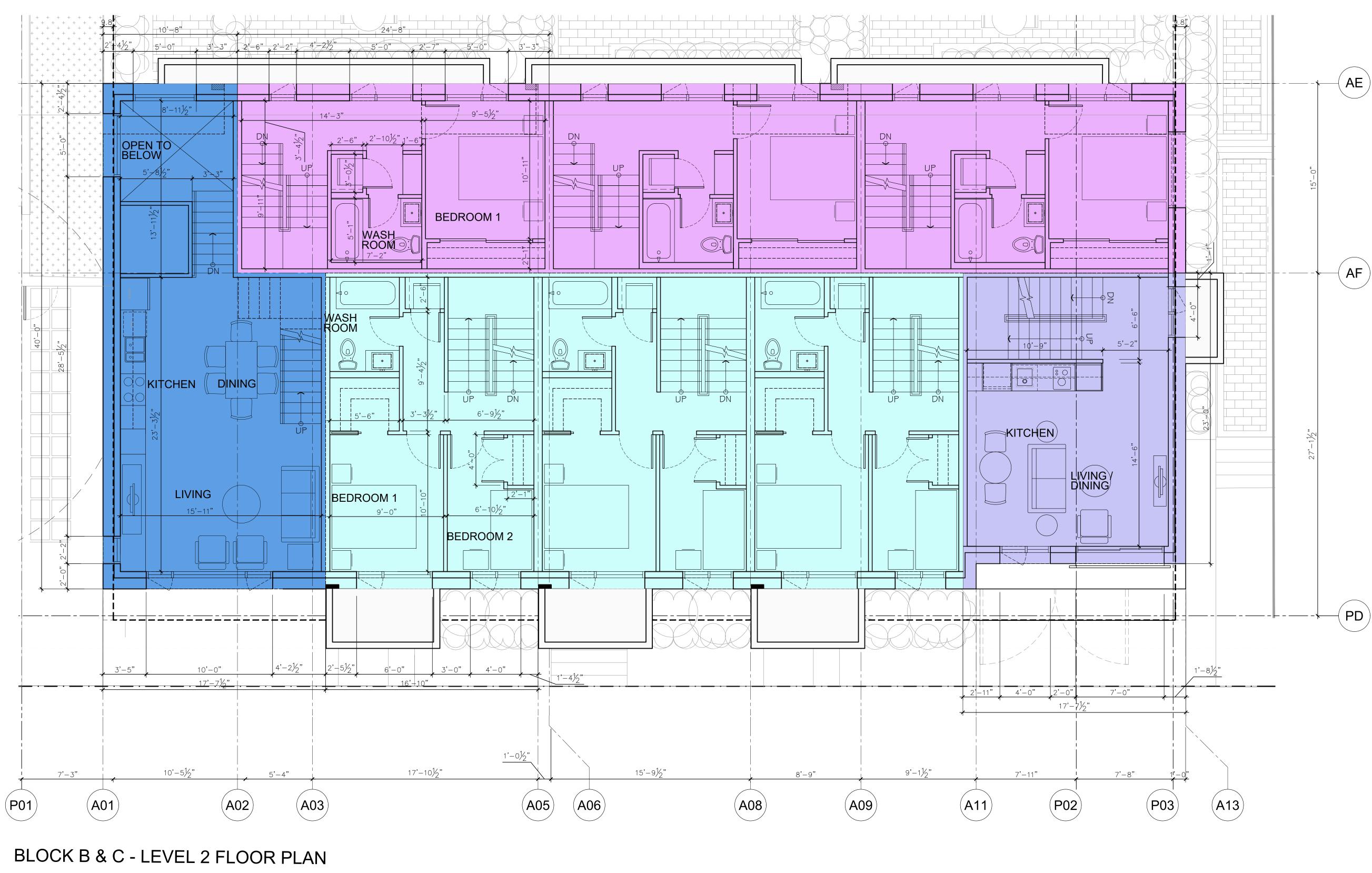
	ļ	ADAPTABLE DESIGN GUIDELINES DESIGN ELEMENTS	
-		LEVEL TWO REQUIRED	PROVIDED
1	BUILDING ACCESS	Outside stairs - maximum degree of colour	Access to the adaptable unit main
2	BUILDING ACCESS	Curb cuts have factile and visual cues	from the street/sidewalks by ramp.
		Unobstructed access to main building entrances	Access to the adaptable unit main
3	BUILDING ACCESS	from street/sidewalks	from the street/sidewalks by ramp.
4	BUILDING ACCESS	<ul> <li>Unobstructed internal access:</li> <li>from parking levels containing accessible parking (5' or 1520 mm corridors; 2' or 610 mm clear wall space adjacent to door latch)</li> <li>garbage and recycling receptacles and storarge lockers</li> <li>no stairs within building circulating including corridors on residential levels</li> <li>accessible storage lockers for each unit</li> </ul>	Refer to the parking plan for the dis access to accessible parking, gark and recycling receptacles, and sto lockers.
5	BUILDING ACCESS	Canopy over main building entrances (3' or 915 mm) and enterphone	YES
6	BUILDING ACCESS	Provide automatic door opener for at least one building entry door at ground level as well as underground parkade level where disability parking is provided	Automatic door opener is provided entry door of the lock-off adaptable Refer to the parking plan for the automatic door opener at parking l
7	<b>BUILDING ACCESS</b>	Disability parking provided in accordance with	Refer to parking plan for disabili
8	BUILDING ACCESS	zoning bylaw figure 9-4 as attached 3' or 915 mm building and suite entry doors	parking YES
9	BUILDING ACCESS	Flush thresholds throughout the building	YES
10	BUILDING ACCESS	(maximum 1/2" or 13 mm height) Accessible building enterphone, call buttons and, where provided, suite door bells	YES
11	COMMON AREAS	Accessible mailboxes for all AD Level 2 units, and 5' or 1520 mm turning radius in front	YES & REFER TO A403
12	CIRCULATION	Corridors minimum 4' or 1220 mm wide (except for services access areas)	YES
13	CIRCULATION	Provide 5' or 1520 mm turning radius inside and outside the entry corridor of each dwelling unit	YES
14	SUITE CIRCULATION	Provide wiring for an automatic door opener for the suite entry door	YES
15	SUITE CIRCULATION	Provide 2' or 610 mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)	YES
16	DOORS	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860 mm clear opening	YES
17	PATIOS & BALCONIES	Minimum one door 2'-10" or 860 mm clear door opening	N/A
18	PATIOS & BALCONIES	Minimum one patio or balcony doorsill with maximum 1/2" or 13 mm threshold	N/A
19	PATIOS & BALCONIES	Minimum 5' or 1520 mm turning radius on patio / balcony	YES
20	WINDOWS	Opening mechanism maximum 46" or 1168 mm above floor (provide notation on window schedule)	Refer to window schedule for open mechanism height
21	WINDOWS	Provide minimum 6'-0" or 1800 mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750 mm above the floor	6'-0" horizontal window is provided living room. Refer to window scheo window sill height
22	KITCHEN	Continuous counter between sink and stove	YES
23	MIN. ONE BATHROOM	Toilet located adjacent to wall (min 3' or 915 mm length)	YES
24	MIN. ONE BATHROOM	Provide turning radius within bathroom (may result from removal of vanity cabinet)	YES
25	MIN. ONE BATHROOM	3' or 915 mm clearance along full length of tub	YES
26	MIN. ONE BATHROOM	Tub control valve placed at outer edge of tub, with tub spout remaining in central position	YES
27	MIN. ONE BATHROOM	Accessible storage	YES



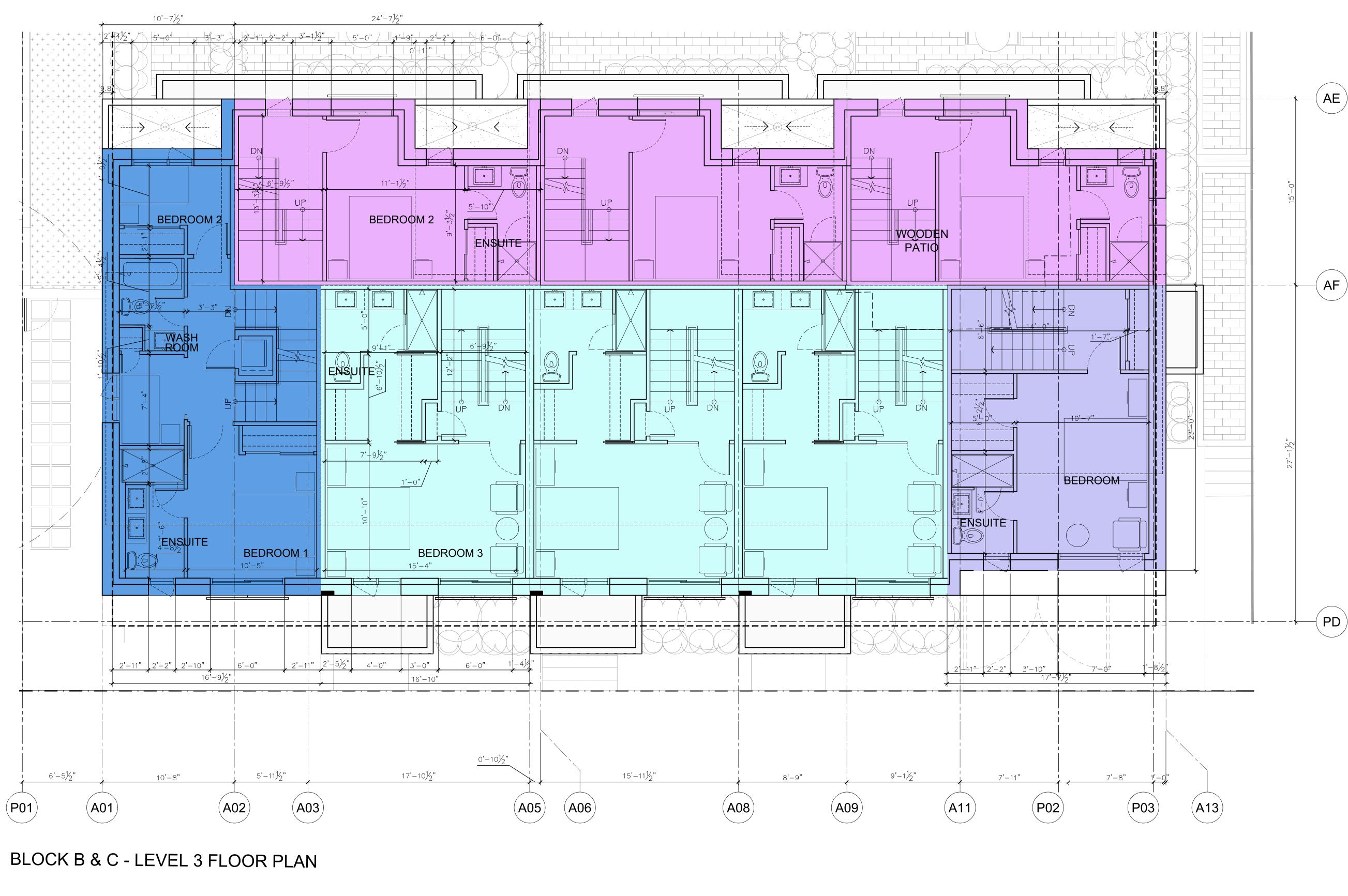


# BLOCK B & C - LEVEL 1 FLOOR PLAN

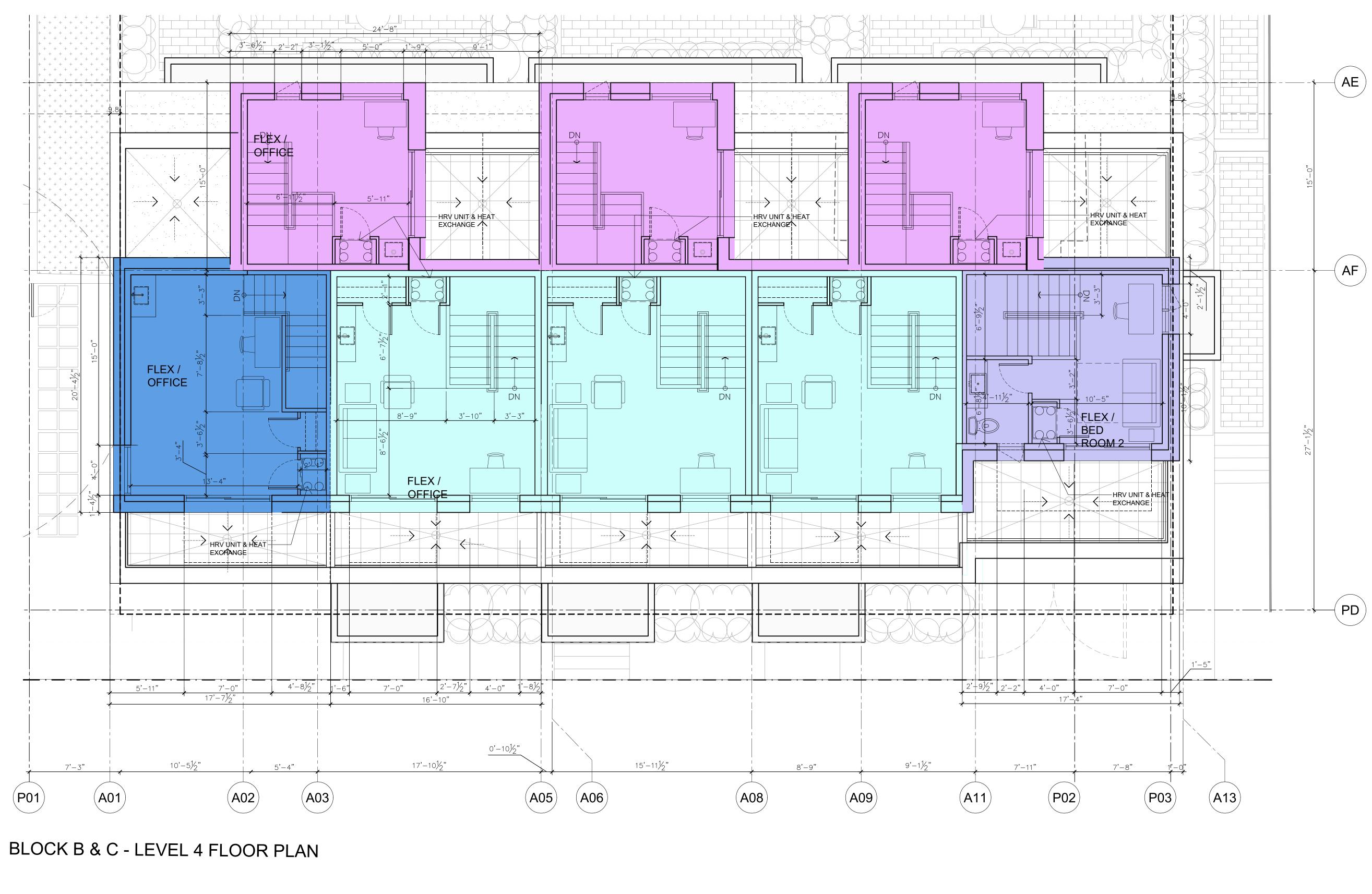
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BR1	STANDARD FACE BRICK, PATTERN: TBD	TO MATCH ASPEN; MISSION; MUTUAL MATERIALS	DR2	FIRE RATED EXTERIOR METAL SINGLE DOOR - SIDE EXIT	COLOUR: TO MATCH MC1
CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH SATIN WHITE 9291, SWISS PEARL OR SIMILAR	DR3	ALUMINUM FRAME SLIDING GLASS DOUBLE DOOR	FRAME: TO MATCH MC1, GLASS: CLEAR
MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH LUX DARK ZINC OR SIMILAR	GU1	CLEAR SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLA
MC2	VERTICAL TRELLIS - WOOD PATTERN MATERIAL	TO MATCH LUX LIGHT ASH OR SIMILAR	GU2	SAFETY FRITTED GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLA
MC3	ALUMINUM HORIZONTAL SHADING DEVICE	TO MATCH MC1	FL1	PREFINISHED METAL FLASHING	COLOUR: TO MATCH CP1
WW1	ALUMINUM WINDOW SYSTEM	FRAME: TO MATCH STARLINE IRON MOUNTAIN GREY, GLASS: CLEAR	SF1	WOOD SOFFIT	YELLOW CEDAR
DR1	FIRE RATED EXTERIOR WOOD SINGLE DOOR - MAIN ENTRY	COLOUR: NATURAL WOOD	CC1	ARCHITECTURAL CONCRETE	

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 ABOVE ENTRY - SURFACE MOUNT

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GLASS:TEMPERED CLEAR GLASS
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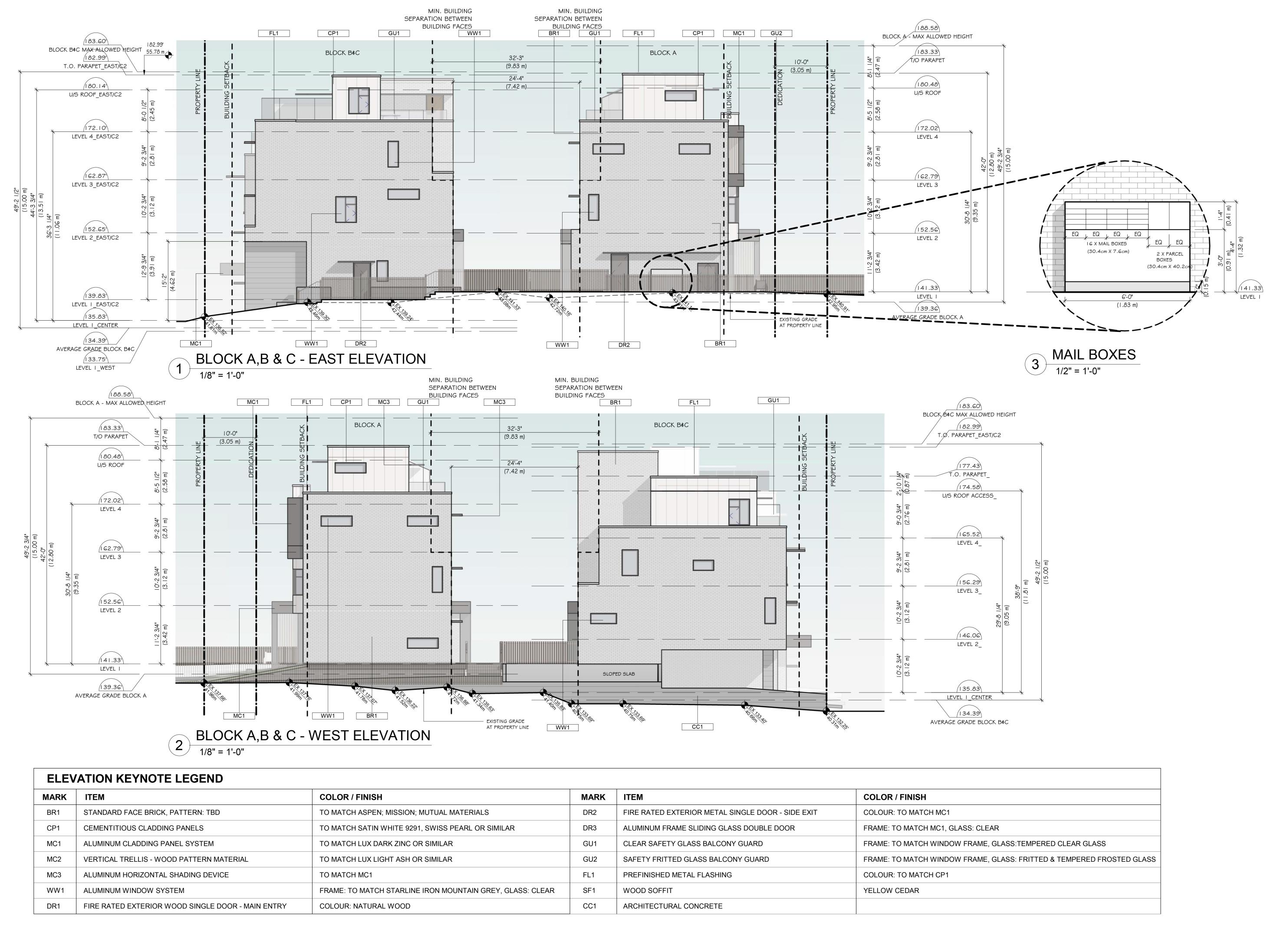
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CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH SATIN WHITE 9291, SWISS PEARL OR SIMILAR	DR3	ALUMINUM FRAME SLIDING GLASS DOUBLE DOOR	FRAME: TO MATCH MC1, GLASS: CLEAR
MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH LUX DARK ZINC OR SIMILAR	GU1	CLEAR SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLA
MC2	VERTICAL TRELLIS - WOOD PATTERN MATERIAL	TO MATCH LUX LIGHT ASH OR SIMILAR	GU2	SAFETY FRITTED GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLA
MC3	ALUMINUM HORIZONTAL SHADING DEVICE	TO MATCH MC1	FL1	PREFINISHED METAL FLASHING	COLOUR: TO MATCH CP1
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DR1	FIRE RATED EXTERIOR WOOD SINGLE DOOR - MAIN ENTRY	COLOUR: NATURAL WOOD	CC1	ARCHITECTURAL CONCRETE	

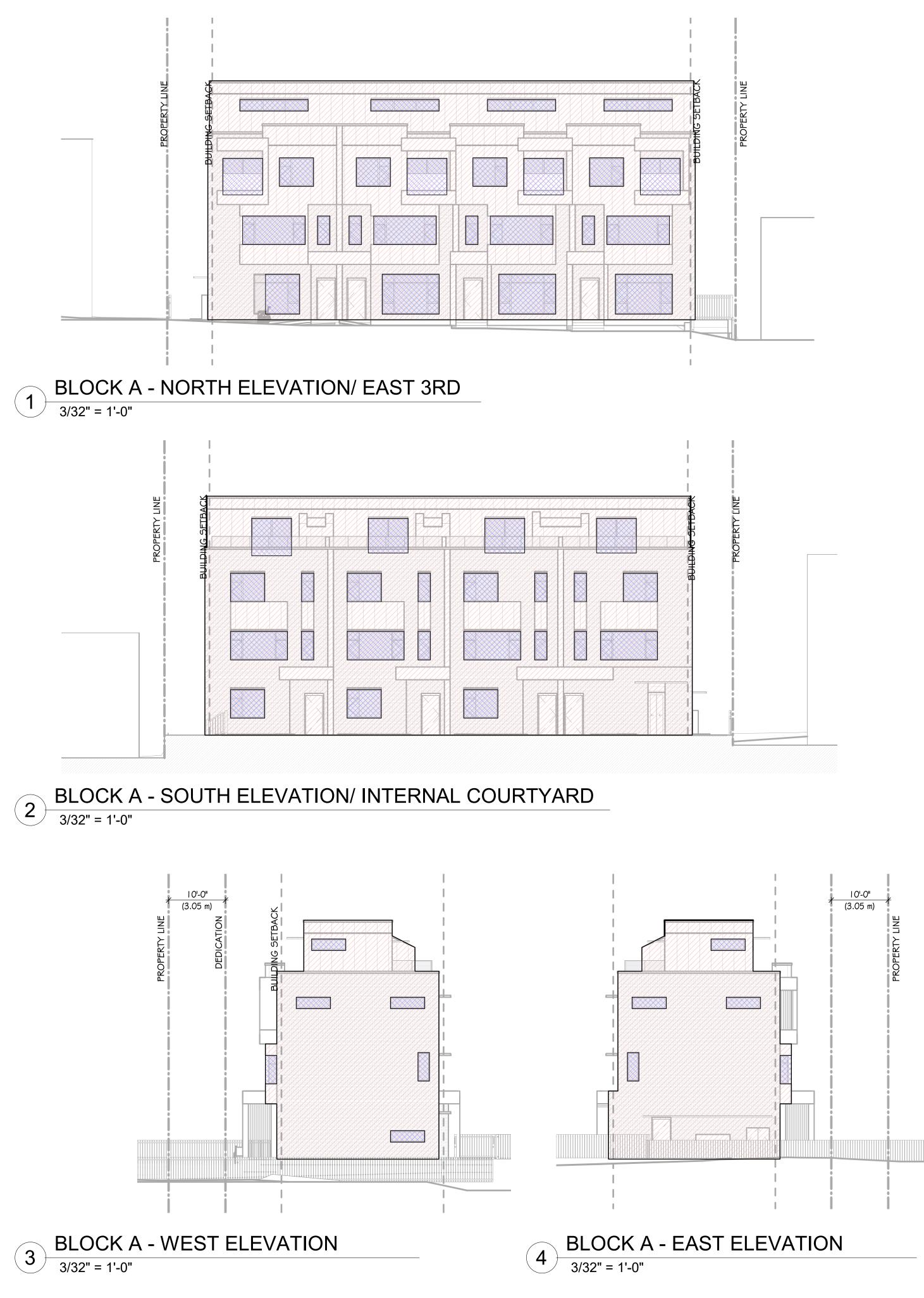
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<b>bfa</b> studio architects
COLLECTION       COLLECTION         600 - 355 Burrard Street       T         600 - 602 8544       F         604 662 4060       info@besharatfriars.com
REVISIONS         NO. DESCRIPTION       DATE         ISSUED FOR DP       12 JUN 2020         RE-ISSUED FOR DP       09 MAR 2021         RE-ISSUED FOR DP       05 MAY 2021         ISSUED FOR DP       05 MAY 2021
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CLIENT NAM (Moodyville) Development Ltd.
PROJECT NO. 19465
MULTI-FAMILY RESIDENTIAL DEVELOPMENT 427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.
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EAST	1142.4	106.1	7.1	2.2	20%	228.5	21.2	56.0	5.2	18.05%
SOUTH (COURTYARD)	3592.9	333.8	12.2	3.7	27%	970.1	90.1	670.6	62.3	1
WEST	1122.5	104.3	7.1	2.2	20%	224.5	20.9	68.0	6.3	1

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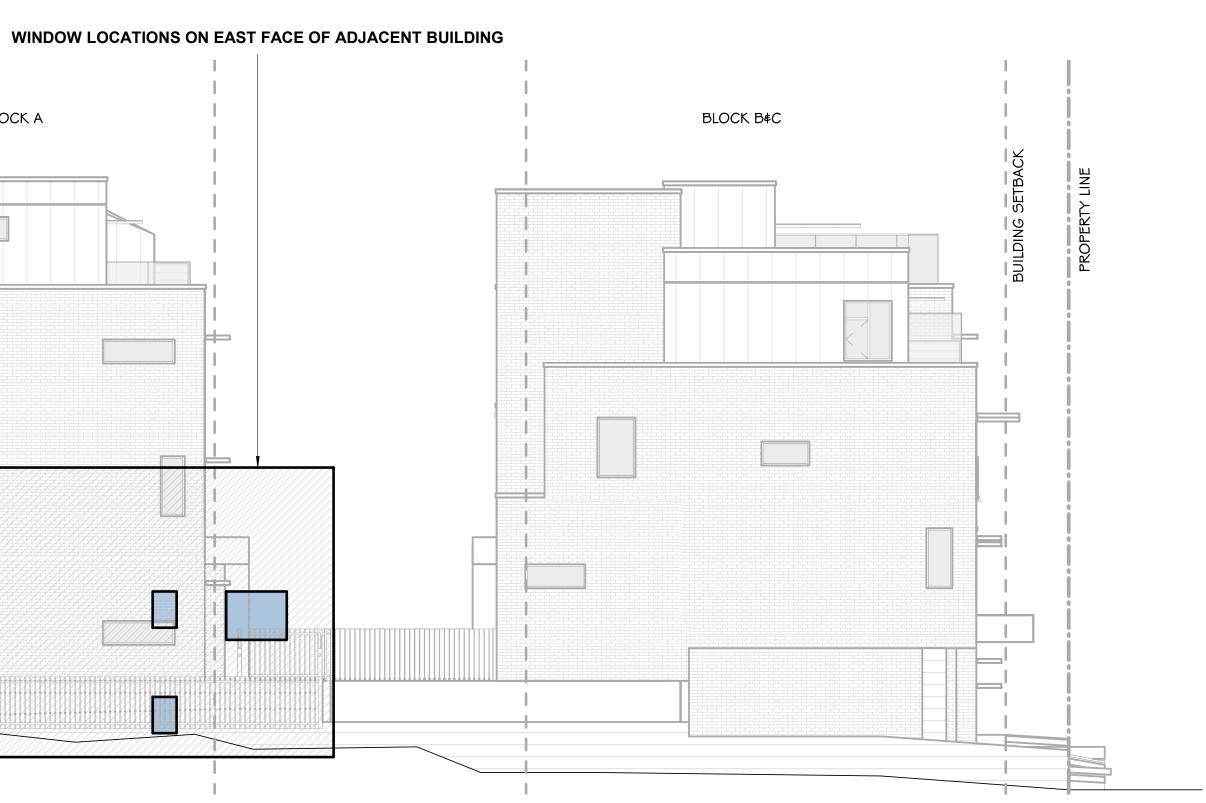


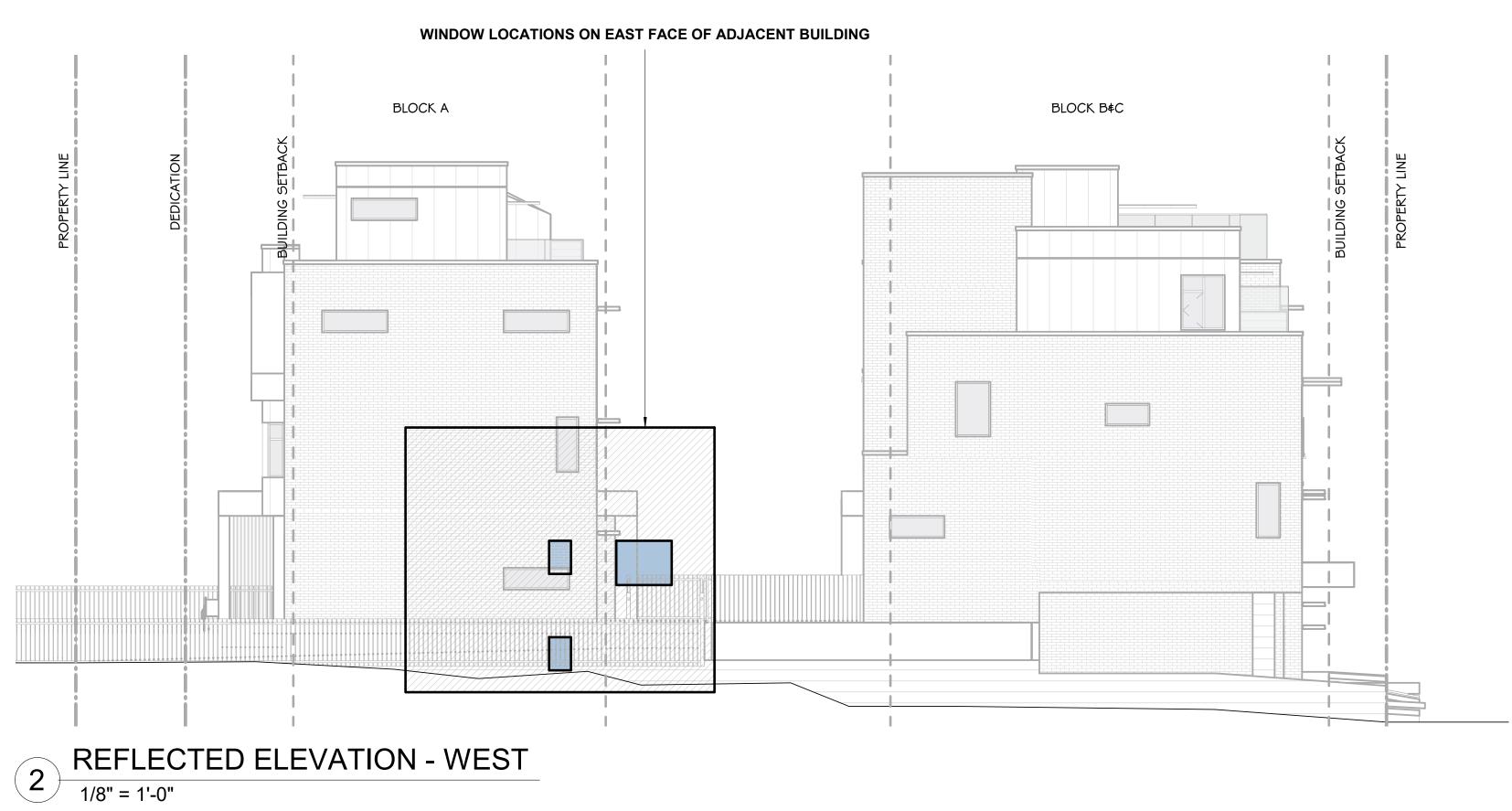
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NORTH (COURTYARD)	3331.4	309.5	12.2	3.7	27%	899.5	83.6	542.5	50.4	
EAST	1245.0	115.7	7.1	2.2	20%	249.0	23.1	70.7	6.6	16.98%
SOUTH	3612.5	335.6	17.8	5.4	45%	1618.4	150.4	903.6	83.9	
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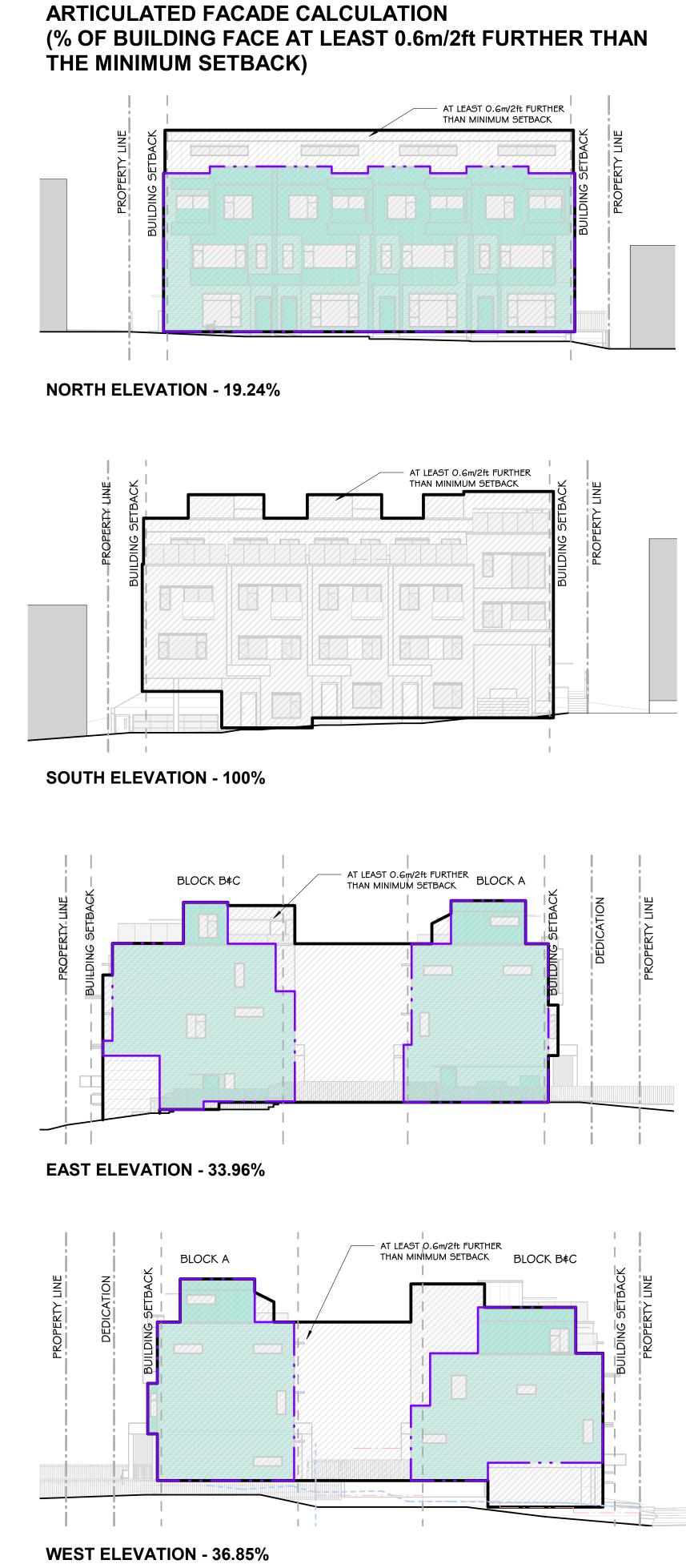


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**CP1 - CEMENTITIOUS CLADDING PANEL** 

MC1 - ALUMINUM CLADDING PANEL SYSTEM

**BR1 - STANDARD FACE BRICK** 

SF1 - WOOD SOFFIT



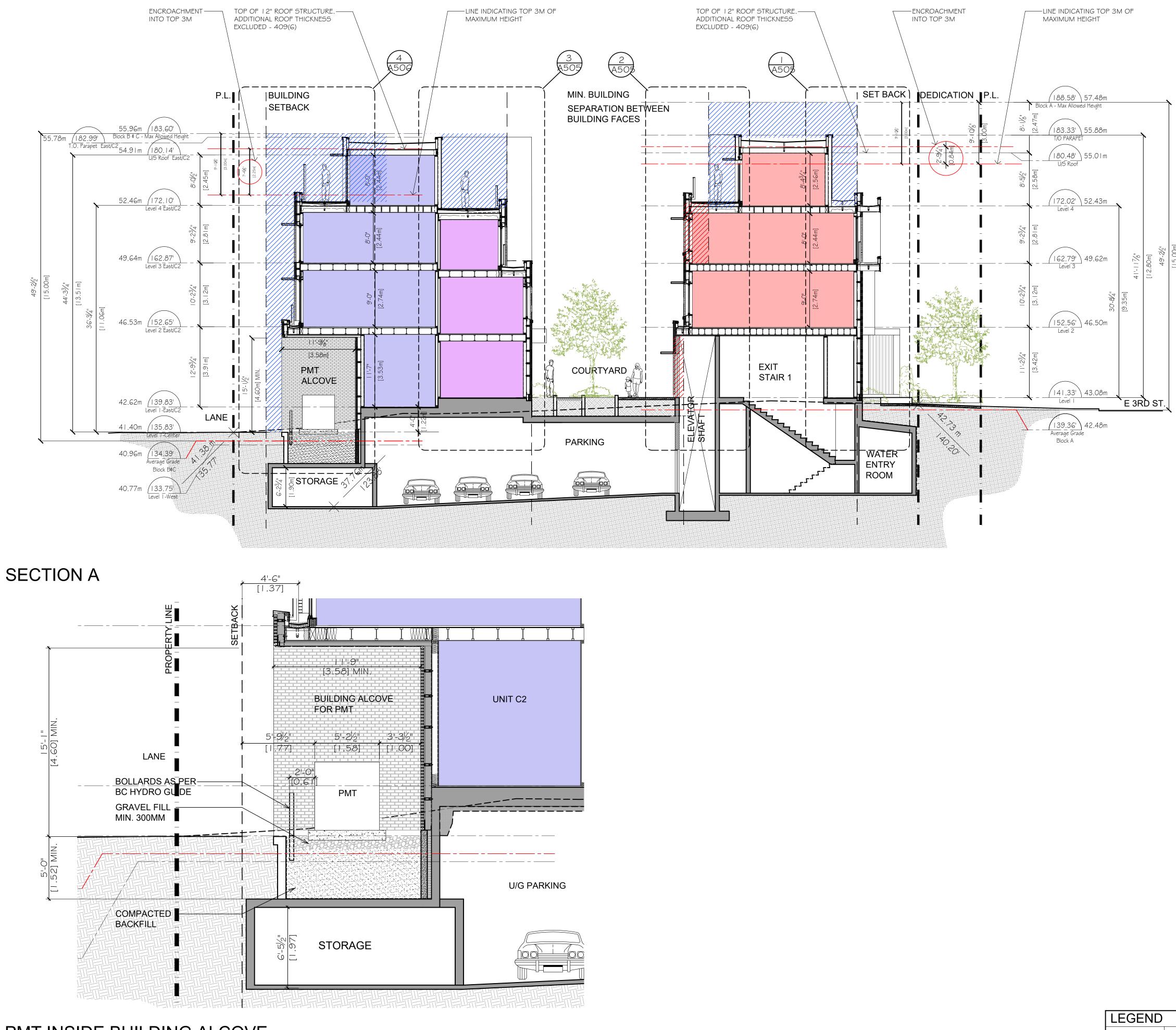
## WW1 - VINYL WINDOW FRAME

#### GU1 - CLEAR SAFETY GLASS BALCONY GUARD

#### GU2 - SAFETY FRITTED GLASS BALCONY GUARD

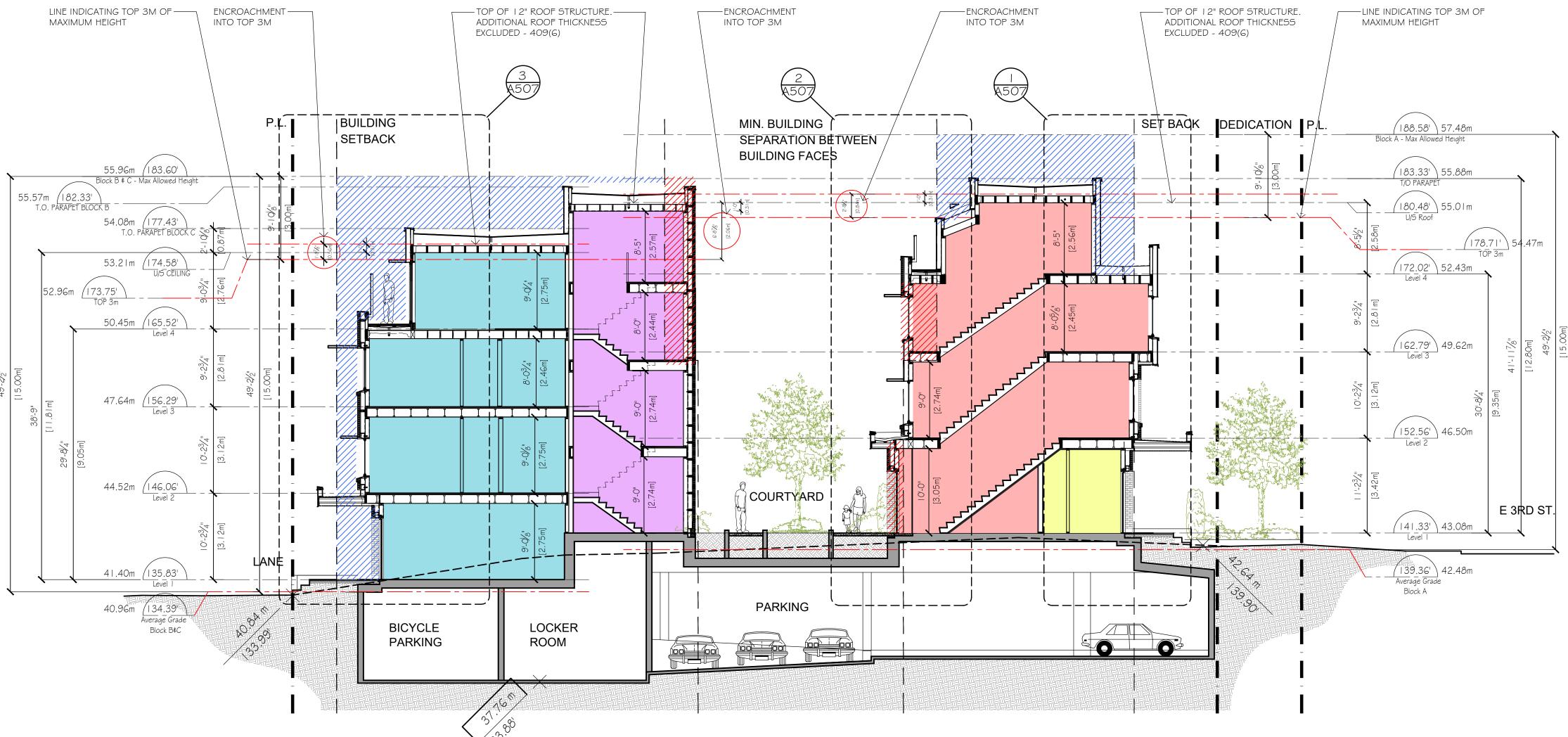
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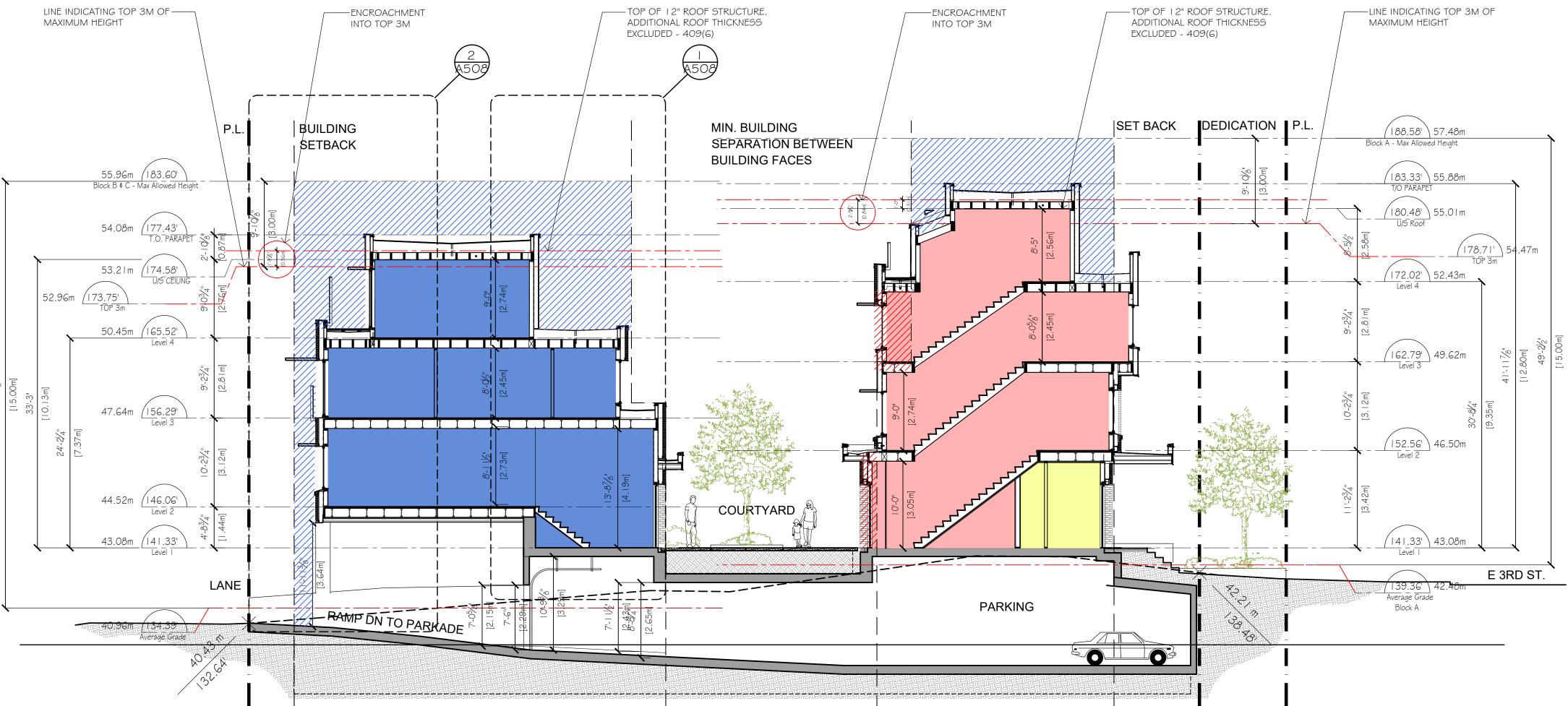
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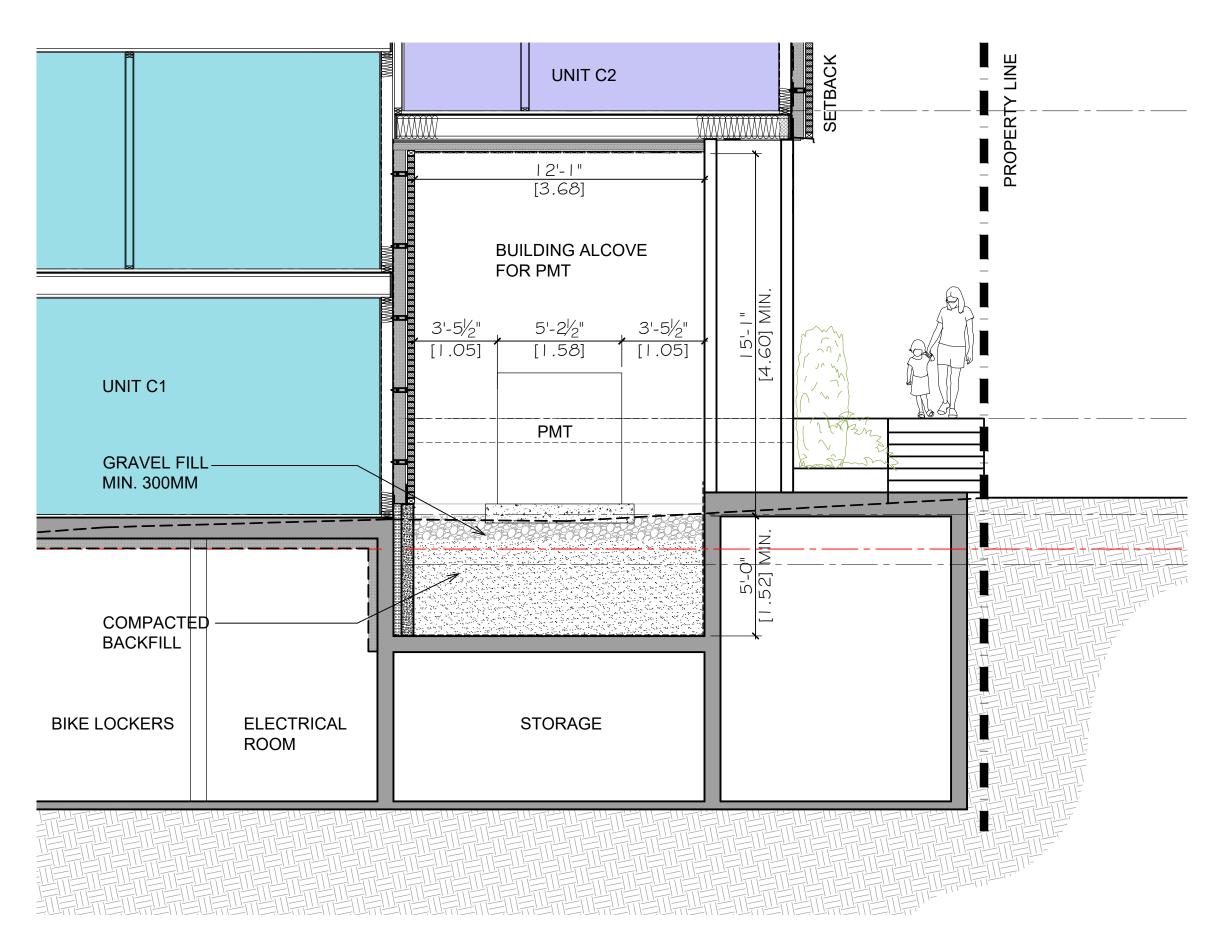


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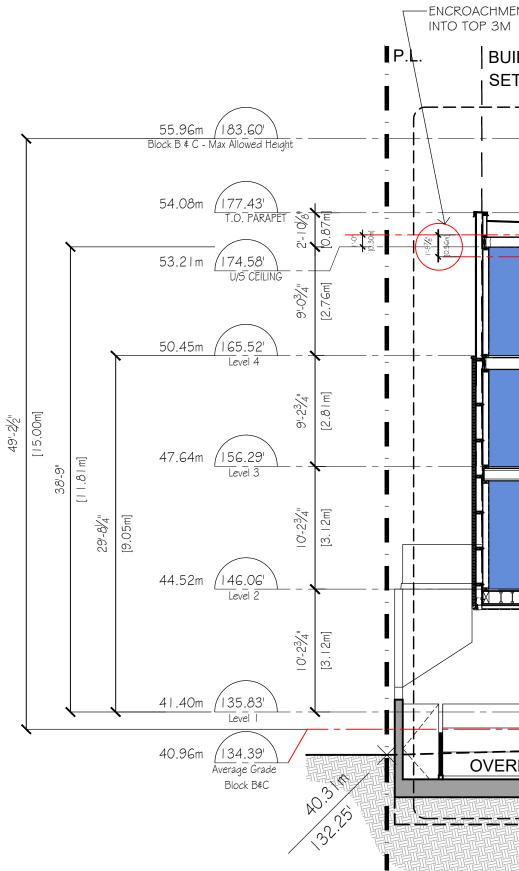
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# PMT INSIDE BUILDING ALCOVE (SCALE: 1/4" = 1'-0")

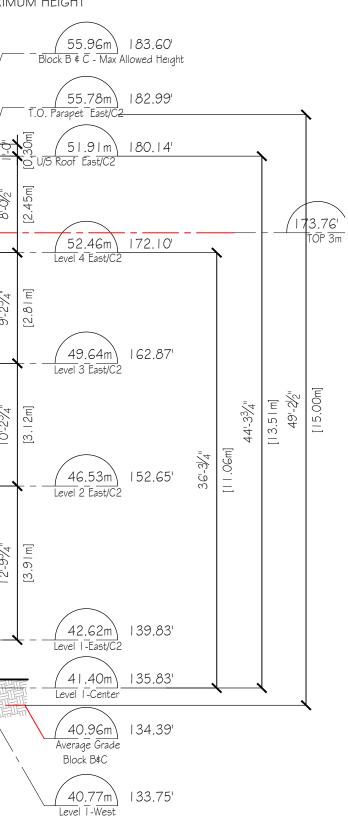


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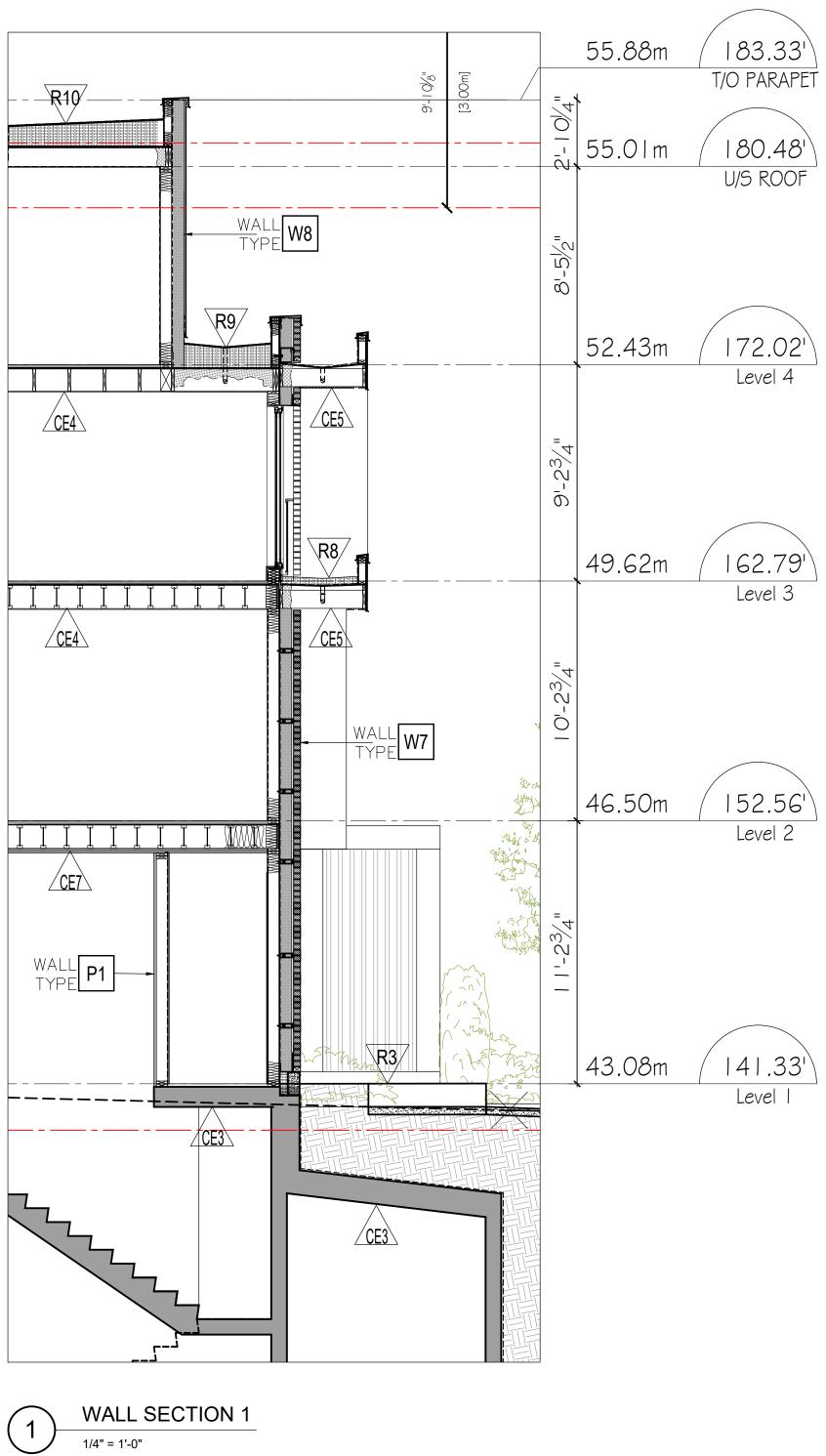


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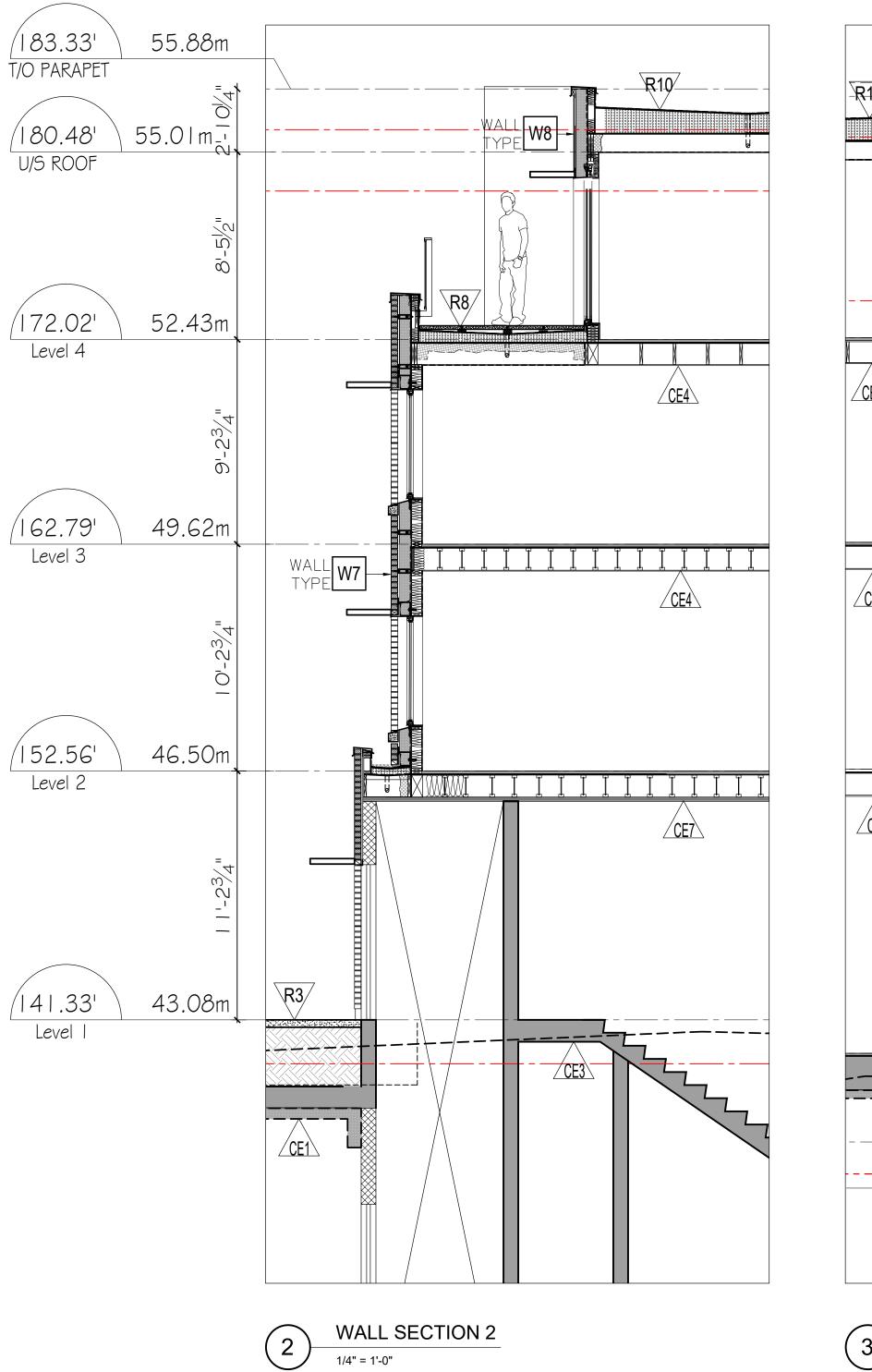


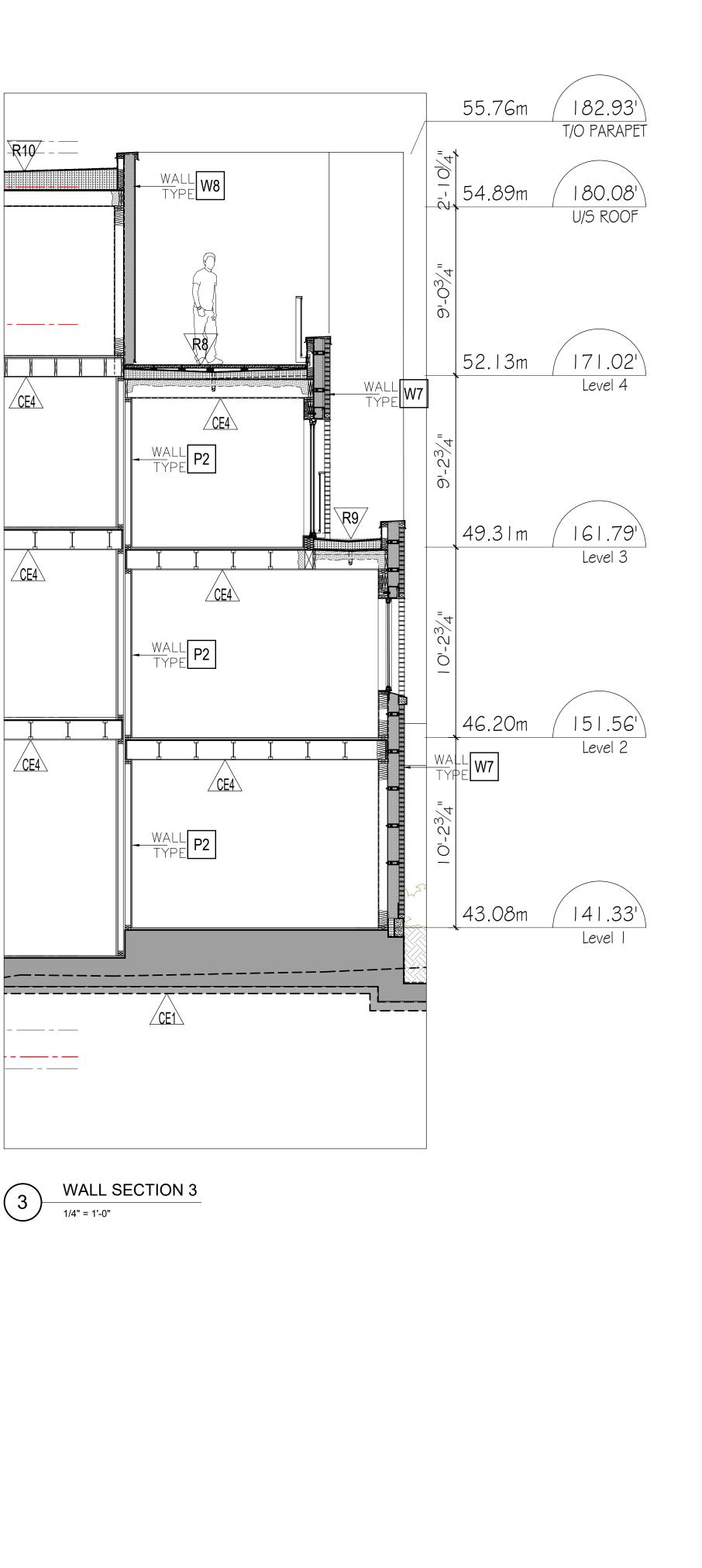


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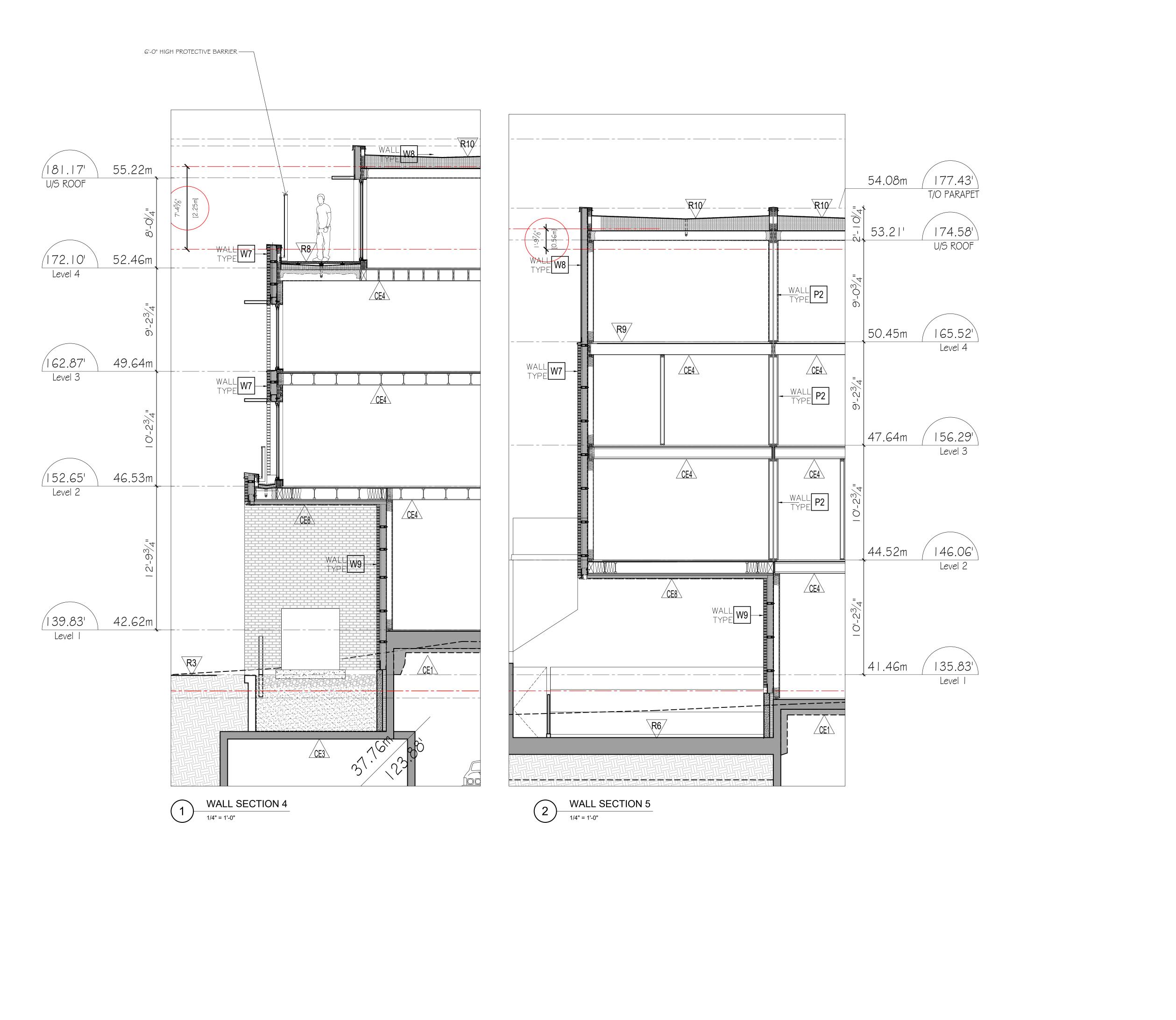




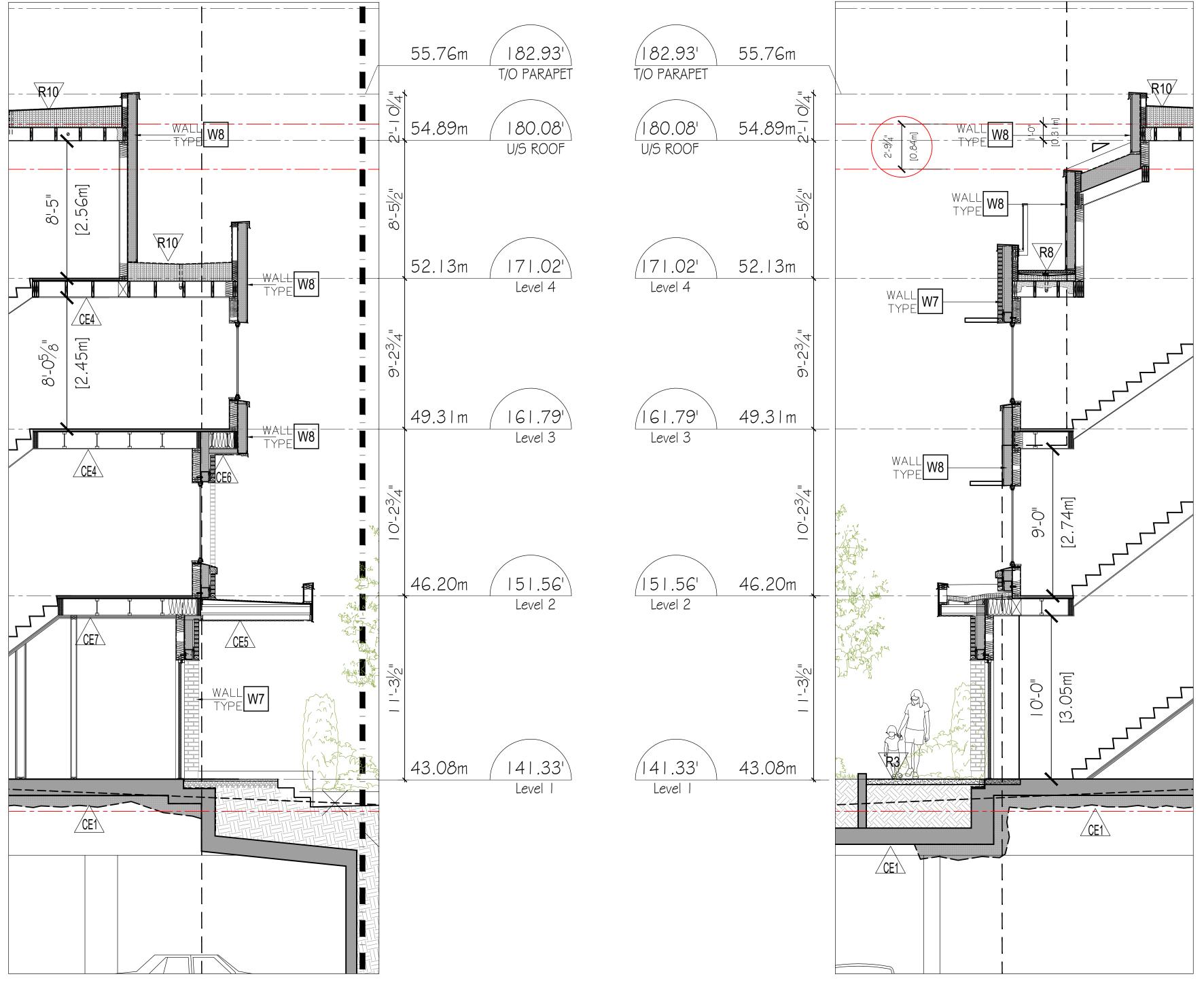




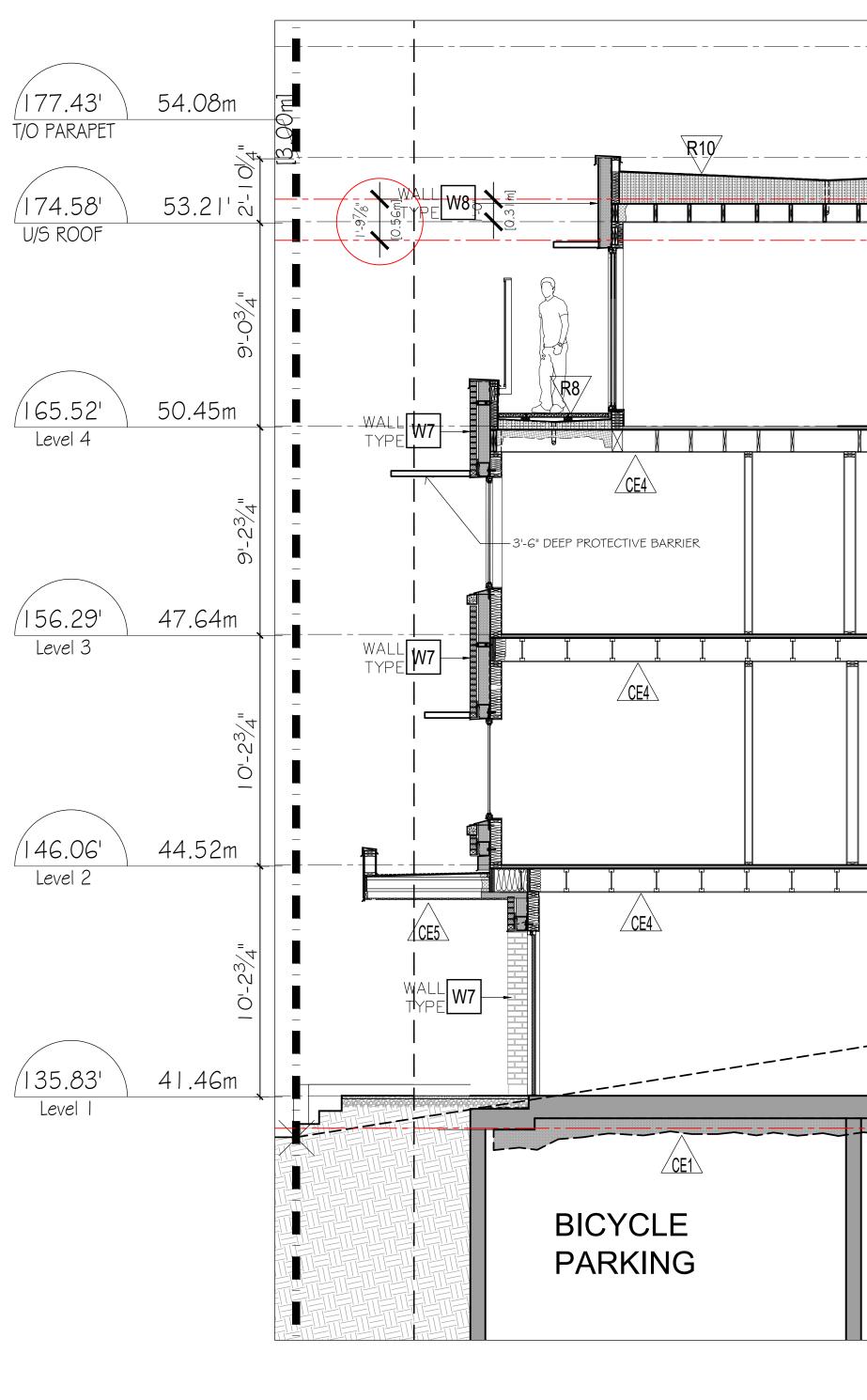
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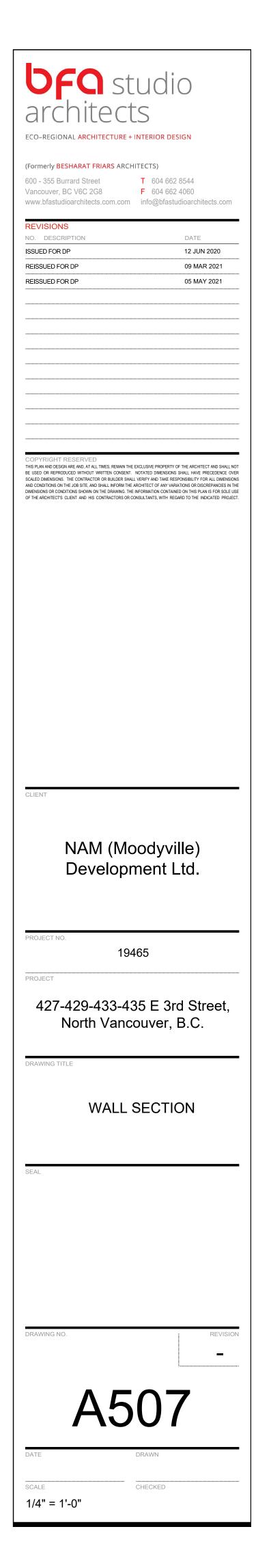


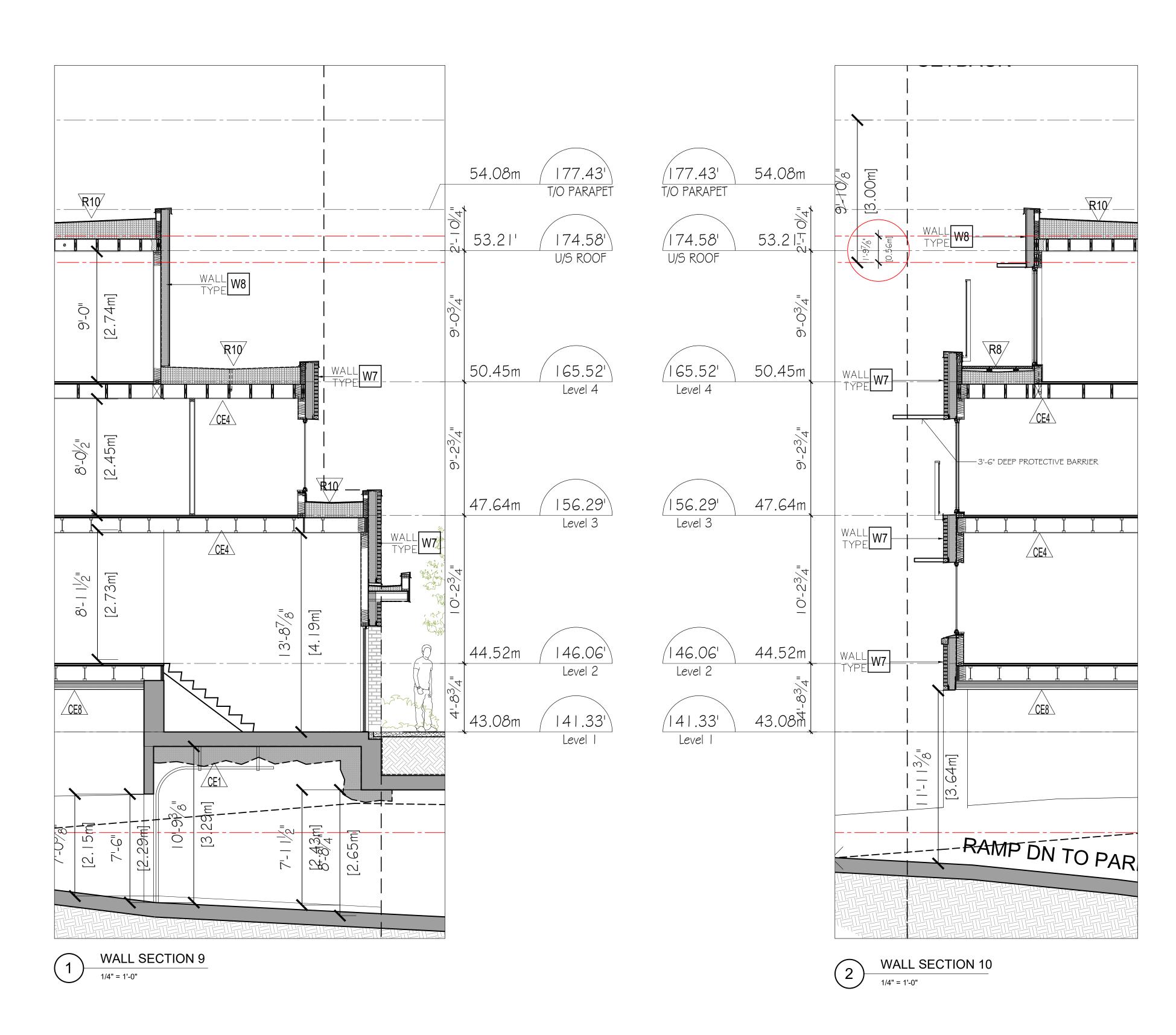
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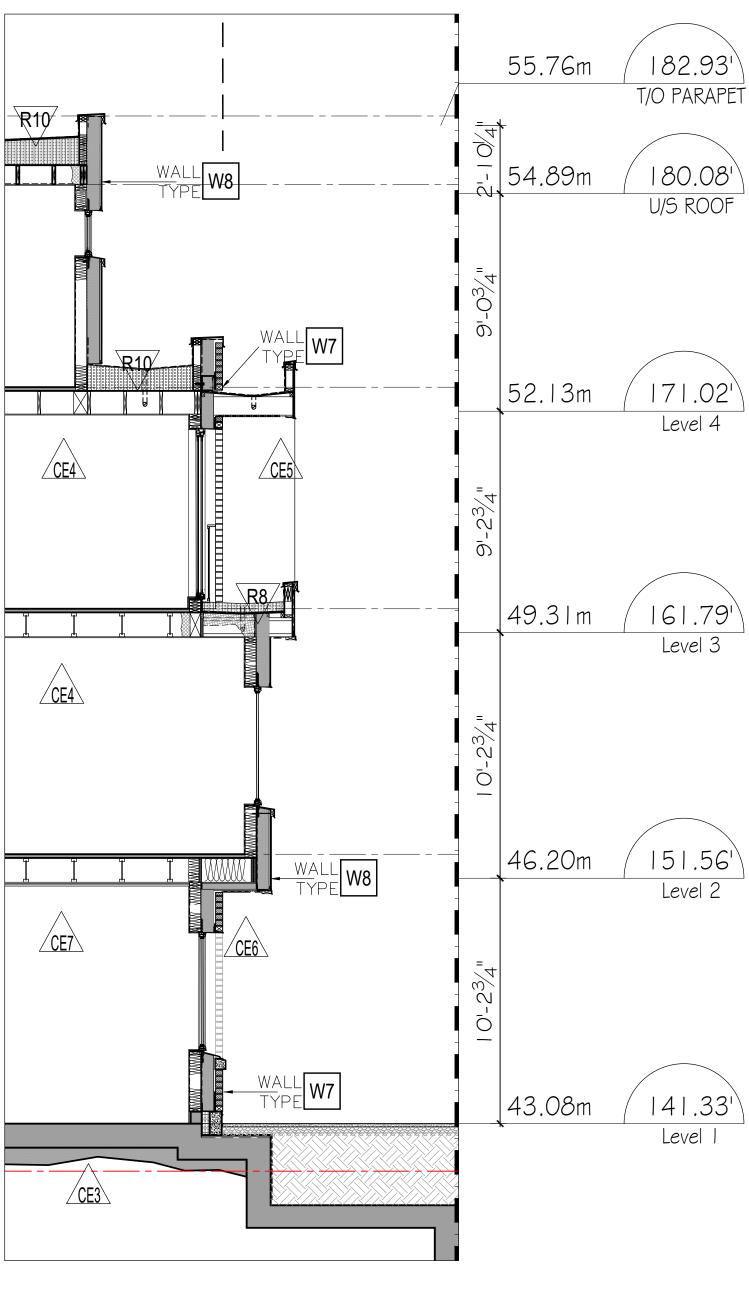
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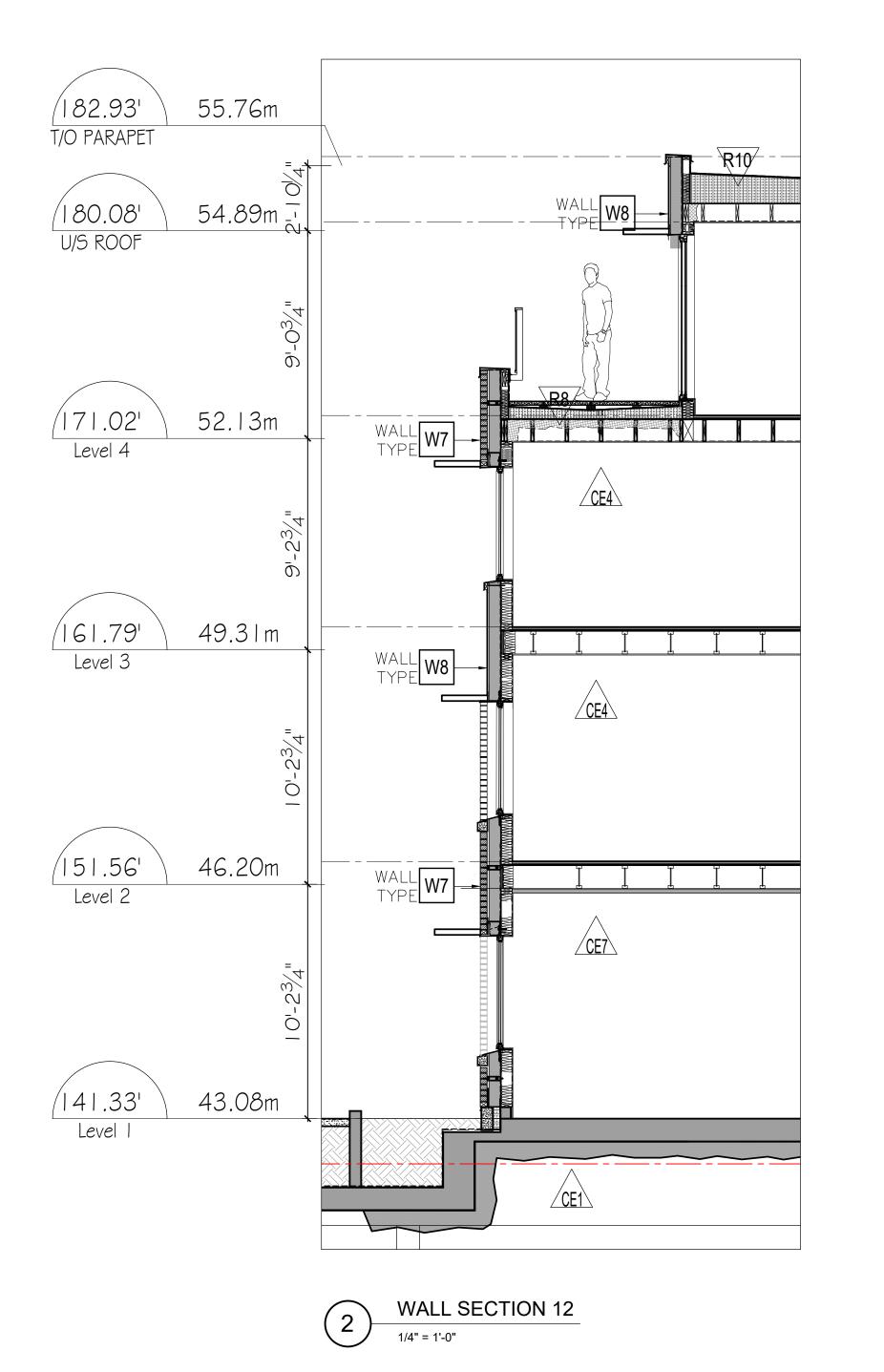


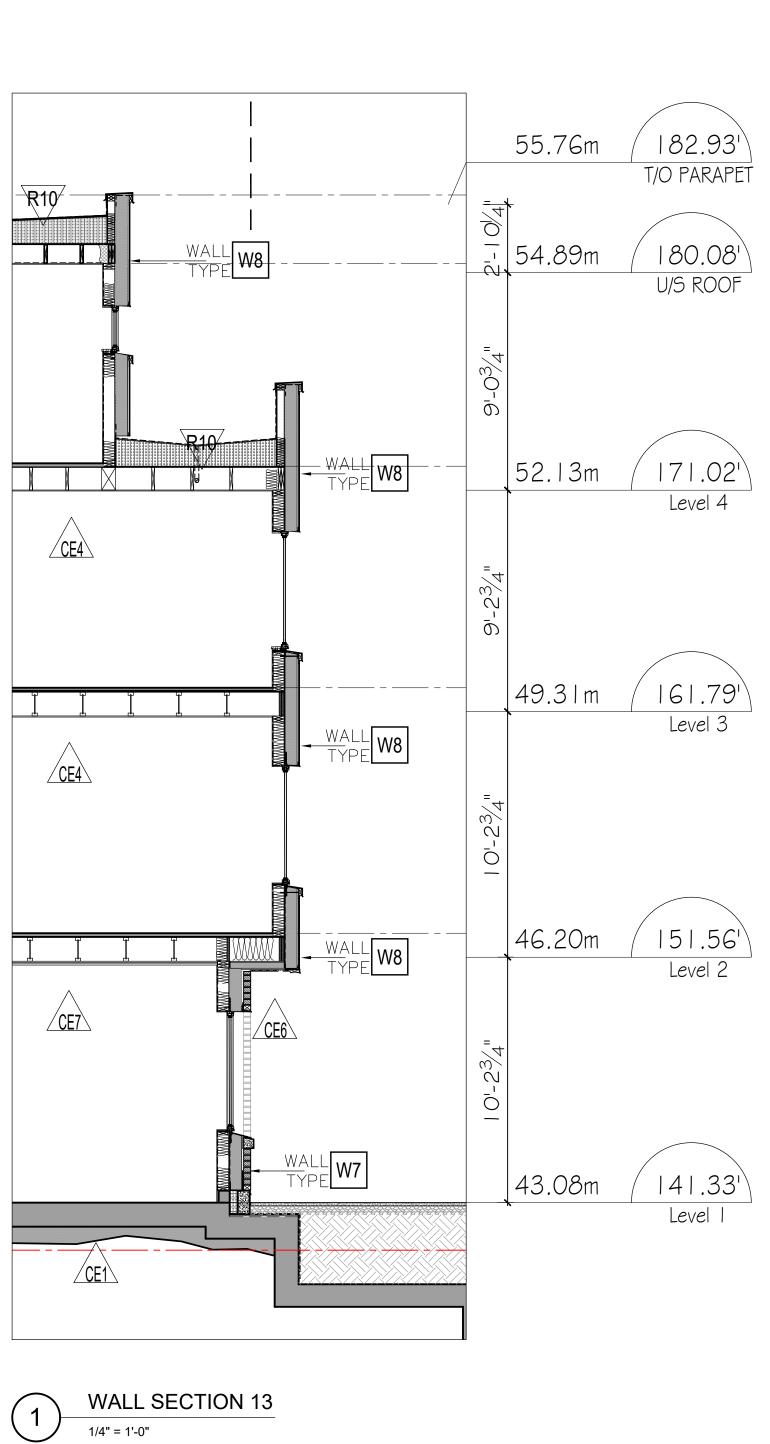
<b>bfg</b> studio architects ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
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### EXTERIOR WALL & FOUNDA TYPICAL FOU • ACCEPTABLE · A CONT. GEOCO Δ POLYOLEFIN I 90 MIL FLUID COMPONENT, REINFORCED F SUPPLIERSTRUCTURAL PAINT ON EXP FOUNDATION (blind-formed SHOT-CRETE STRUCTURAL Δ CONT. COMP( . 🗸 FLUID-APPLIED ASPHALT EMU • CONT. GEOCO STRUCTURAL PAINT ON EXP **FOUNDATION** (blind-formed SHOT-CRETES STRUCTURAL CONT. GEOCO Δ · A . 🏹 FLUID-APPLIE ASPHALT EMU • CONT. GEOCO STRUCTURAL DETAILS • 2" OF 2LB. PC [VAPOUR BAR • 3-5/8" 25 ga. I/2" GYPSUM EXPOSED ARC (INSULATED) 2 COATS OF THICKNESS -(CLOVERDALE • MIN. 8" ARCHI STRUCT. DWG • 2-1/2" OF 2LE RIG.25) [VAP 3-5/8" 25 ga. 1/2" GYPSUM E "INTERIOR" I (eg. PARKADE MIN. I HR. FIRE-R $\frac{1}{1}$ No. W415 • 5/8" TYPE 'X' ( 6" 25ga. STL. R20 BATT INSI 6 MIL POLY VA • 5/8" TYPE 'X' ( "INTERIOR" II W6 . <u>A</u>. A (eg. PARKADI 2 HR. FIRE RESIS ASSEMBLY No.U9 PAINT FINISH CONCRETE WA [AIR BARRIER] 2-1/2" OF CON R16.25) [VAP 3-5/8" 25 ga. \_\_\_\_ CONC./CMŬ • 1/2" GYPSUM 1 FURRED-OUT WG MIN. 2 HR. FIRE RE DIVISION B-APPEND • PAINT FINISH, REINFORCED N (REFER TO STR I - 1/2" RIGID XF [VAPOUR BAR 'TYVEK COMM BARRIER] • 2X4 STUDS O • 5/8" TYPE 'X' G • FACE BRICK; f • STAINLESS S SYSTEM W7 7 0 0 0 0 0 0 0 0 0 • MIN. I" AIR S • 6" ROXUL 'CAV (NON-COMBU CONTINUOUS ½" EXTERIOR I 2XG STUDS @ \* \* \* \* \* \* \* • NOM. R 22 B 6 MIL POLY V ● /⁄2" G.W.B. FRAMED WAL W8 →• <sup>5</sup><sub>16</sub>" HARDI-PAN IX3 BORATE-T WITH MAX. SP RECOMMEND 6" ROXUL 'CA\ \* \* \* \* \* \* \* (NON-COMBU CONTINUOUS ½" EXTERIOR I 2X6 STUDS ( • NOM. R 22 B • 6 MIL POLY \ ● /⁄2" G.W.B. FRAMED WALL 2 HR. FIRE RESI W9 FACE BRICK; STAINLESS STAINL JOS 55 5 00 • MIN. I" AIR S MIN. L'AIR SF G" ROXUL 'CAV (NON-COMBUS' CONTINUOUS ' 5/8" EXTERIOR 2XG STUDS @ NOM. R 22 BA $\Omega \cap \cap \cap \cap \Omega$ - 6 MIL POLY V • 2 LAYERS OF

ATION WALL SCHEDULE	ROOF & DECK	ASSEMBY SCHEDULE	CEILING/ FLOOR S
JNDATION WALL (not insulated) GRANULAR BACK-FILL COMPOSITE DRAIN MAT PROTECTION COURSE D-APPLIED, POLYMER-ENHANCED, SINGLE T, ASPHALT EMULSION WATERPROOFING MEMBRANE POLYESTER MESH AS REQUIRED BY MEMBRANE	RI	<ul> <li>NON-INSULATED BALLASTED ROOF</li> <li>MIN. 3" STONE BALLAST (MIN. 22 Ib/ SQ.FT.)</li> <li>CONT. FILTER FABRIC</li> <li>LOOSE-LAID 0.40" DRAINAGE MAT</li> <li>2 PLY MODIFIED SBS ROOF MEMBRANE</li> <li>CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL)</li> </ul>	
CONCRETE WALL; REFER TO STRUCT. DWGS. POSED CONC. WALL A WALL and not insulated) SHORING (REFER TO GEOTECHNICAL AND DWGS) POSITE DRAIN MAT ED, POLYMER-ENHANCED, SINGLE COMPONENT, ULSION WATERPROOFING MEMBRANE COMPOSITE PROTECTION COURSE CONCRETE WALL; REFER TO STRUCT. DWGS. POSED CONCRETE WALL	R2	<ul> <li>NON-INSULATED PLANTER ROOF</li> <li>PLANTING MEDIUM (MIN. I 8"- MAX. 36" DEPTH)</li> <li>CONT. FILTER FABRIC</li> <li>0.40" DRAINAGE MAT</li> <li>I 8 mil WOVEN POLYETHYLENE ROOT BARRIER MEMBRANE</li> <li>2 PLY MODIFIED SBS MEMBRANE</li> <li>CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN</li> <li>(REFER TO STRUCTURAL)</li> </ul>	
N WALL W/ INSULATION and insulated) SHORING (REFER TO GEOTECHNICAL AND DWGS) COMPOSITE DRAIN MAT D, POLYMER-ENHANCED, SINGLE COMPONENT, ULSION WATERPROOFING MEMBRANE COMPOSITE PROTECTION COURSE CONCRETE WALL; REFER TO STRUCT. DWGS.FOR	R3	<ul> <li>MIN. GOMM THICK P.C. CONCRETE PAVERS</li> <li>MIN. 1" PEA-GRAVEL FOR LEVELING</li> <li>CONT. FILTER FABRIC</li> <li>0.40" DRAINAGE MAT</li> <li>2 PLY MODIFIED SBS MEMBRANE</li> <li>CONCRETE SLAB, WITH TOP SURFACE SLOPED TO DRAIN</li> <li>(REFER TO STRUCTURAL)</li> </ul>	
COLYURETHANE SPRAY-FOAM INSULATION (NOM. R I 3) RRIER] a. STL. STUDS @ MAX. 24" O.C. I BD. [THERMAL BARRIER] RCHITECTURAL CONCRETE WALL ELASTOMERIC COATING ON PRIMER; MIN. DRY FILM TO MANUFACTURER'S RECOMMENDATIONS	R4	<ul> <li>INSULATED PEDESTRIAN TRAFFIC ROOF W/ PAVERS</li> <li>MIN. 60mm THICK P.C. CONCRETE PAVERS</li> <li>MIN. 1" PEA-GRAVEL FOR LEVELING</li> <li>0.40" DRAINAGE MAT</li> <li>G" TYPE 4 RIGID INSULATION (R30)</li> <li>0.40" DRAINAGE MAT</li> <li>MODIFIED 2 PLY SBS MEMBRANE</li> <li>CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN</li> <li>(REFER TO STRUCTURAL)</li> </ul>	
E "TOWERTHON", OR APPROVED ALTERNATE) HITECTURAL CONCRETE WALL [AIR BARRIER]; REFER TO GS. B. POLYURETHANE SPRAY-FOAM INSULATION (NOM. POUR BARRIER] A. STL. STUDS @ MAX. 24" O.C. BD. [THERMAL BARRIER] NSULATED WALL E SEPARATION)	R5 R6	<ul> <li>NON-INSULATED PEDESTRIAN TRAFFIC CONCRETE SLAB</li> <li>FLUID-APPLIED POLYURETHANE PEDESTRIAN TRAFFIC MEMBRANE</li> <li>CONCRETE SLAB (REFER TO STRUCTURAL)</li> <li>NON-INSULATED VEHICULAR TRAFFIC CONCRETE SLAB</li> <li>HEAVY-DUTY FLUID-APPLIED POLYURETHANE VEHICULAR TRAFFIC MEMBRANE</li> <li>CONCRETE SLAB (REFER TO STRUCTURAL)</li> </ul>	
RESISTANCE RATING BASED ON U.L.C. ASSEMBLY G.W.B. STUDS @ MAX. I G" O.C. SULATION /APOUR BARRIER ON WARM SIDE G.W.B. NSULATED WALL	R7	<ul> <li>PARKING SLAB WITH TOPPING SLAB</li> <li>+/- 3" CONC. TOPPING SLAB</li> <li>2 PLY MODIFIED SBS MEMBRANE</li> <li>SLOPED REINFORCED STRUCTURAL CONCRETE SLAB (REFER TO STRUCTURAL)</li> </ul>	
E SEPARATION) TANCE RATING BASED ON U.L.C. 205 I UNLESS NOTED OTHERWISE VALL (REFER TO STRUCT. DWGS.) OR NOM. 8" CMU V ONT. 2LB. POLYURETHANE SPRAY-FOAM (NOM. APOUR BARRIER] a. STL. STUDS @ MAX. 24" O.C., SPACED OFF WALL I BD. [THERMAL BARRIER]		<ul> <li>INSULATED DECK OVER INTERIOR SPACE</li> <li>PRECAST CONC. PAVERS ON RUBBER SHIMS</li> <li>0.40" DRAINAGE MAT to LEVEL</li> <li>TORCH-ON 2 PLY MODIFIED SBS ROOFING SYSTEM (MIN. 1 10 MIL) WITH CLASS 'A', 'B' OR 'C' CLASSIFICATION [AIR BARRIER]</li> <li><sup>1</sup>/<sub>4</sub>" ASPHALTIC COVER BD.; MECHANICALLY FASTENED</li> <li>6" TYPE 4 RIGID INSULATION (R30)</li> <li><sup>5</sup>/<sub>8</sub>" PLYWOOD DECK</li> <li>6" 2LB CLOSED CELL POLYURETHANE FOAM</li> <li>11-7/8" 'TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> <li>1 LAYER OF 1/2" GWB</li> </ul>	
STAIR WALL IN PARKADE ESISTANCE RATING BASED ON D-2.1 OF IDIX D, 2018 B.C.B.C. I, UNLESS NOTED OTHERWISE NORMAL WEIGHT CONCRETE WALL [AIR BARRIER] TRUCT. DWGS.) XPS INSULATION (NOMINAL R7.5) WITH TAPED JOINTS RRIER} MERCIAL' WRAP STRIP BEHIND WOOD STUDS [VAPOUR ON FLAT @ MAX. 24" OC. GWB.		<ul> <li>INSULATED ROOF OVER INTERIOR SPACE</li> <li>TORCH-ON 2 PLY MODIFIED SBS ROOFING SYSTEM W/ GRANULAR-FACE CAP SHEET TO CLASS 'A' CLASSIFICATION AS PER ULC-S I O7 [AIR BARRIER]</li> <li><sup>1</sup>/<sub>4</sub>" ASPHALTIC COVER BD.; MECHANICALLY FASTENED</li> <li>G" TYPE 4" RIGID INSULATION (R I 5)</li> <li><sup>5</sup>/<sub>8</sub>" PLYWOOD DECK</li> <li>G" 2LB CLOSED CELL POLYURETHANE FOAM</li> <li>I I -7/8" 'TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> <li>I LAYER OF 1/2" GWB</li> </ul>	
LL W/ BRICK VENEER ECON/ SAXON SIZE (NOM. 3 ½" X 3 ½" x 1 1 ½") STEEL ADJUSTABLE BRICK TIES W/ THERMAL CLIP SPACE AVITYROCK DD' SEMI-RIGID INSULATION USTIBLE) [R25.2 BASED ON R4.2 PER IN.] 5 VAPOUR-PERMEABLE AIR BARRIER MEMBRANE PLY SHEATHING @ MAX 1 G" O.C. (REFER TO STRUCT. DWGS) BATT INSULATION /APOUR BARRIER TO CAN/CGSB-51.34-M86		<ul> <li>TYPICAL ROOF ASSEMBLY (OVER HEATED SPACE)</li> <li>NO REQUIRED FIRE RESISTANCE RATING</li> <li>TORCH-ON 2 PLY MODIFIED SBS ROOFING SYSTEM W/ GRANULAR-FACE CAP SHEET TO CLASS 'A' CLASSIFICATION AS PER ULC-S I 07 [AIR BARRIER]</li> <li><sup>1</sup>/<sub>4</sub>" ASPHALTIC COVER BD.; MECHANICALLY FASTENED</li> <li>TAPERED TYPE 4 RIGID INSULATION TO CREATE DRAIN SLOPES; MIN. 12" THICK (RGO)</li> <li>SELF-ADHERED VAPOUR BARRIER MEMBRANE (SOPRAVAP'R OR APPROVED ALTERNATE)</li> <li>3/4" T&amp;G PLY DECKING</li> <li>2X 10 JOISTS SPACED AS PER STRUCT. DWGS. (MAX. 16" O.C.)</li> <li>I/2" GWB</li> </ul>	
NEL CLADDING -TREATED WD. OR $\frac{1}{2}$ " X 3" P.T. PLY STRAPPING SPACING AS PER CLADDING MANUFACTURER'S DATIONS, SECURED TO STUDS AVITYROCK DD' SEMI-RIGID INSULATION USTIBLE) [R25.2 BASED ON R4.2 PER IN.] 6 VAPOUR-PERMEABLE AIR BARRIER MEMBRANE PLY SHEATHING @ MAX 16" O.C. (REFER TO STRUCT. DWGS) BATT INSULATION /APOUR BARRIER TO CAN/CGSB-51.34-M86			
LL W/ BRICK VENEER (2HR RATED) SISTANCE RATING AS PER ULC DESIGN No. U371 ECON/ SAXON SIZE (NOM. 3½" X 3½" x 11½") DIEEL ADJUSTABLE BRICK TIES W/ THERMAL CLIP SYSTEM SPACE AVITYROCK DD' SEMI-RIGID INSULATION USTIBLE) [R25.2 BASED ON R4.2 PER IN.] 5 VAPOUR-PERMEABLE AIR BARRIER MEMBRANE OR GYPSUM SHEATHING @ MAX 16" O.C. (REFER TO STRUCT. DWGS) 3ATT INSULATION VAPOUR BARRIER TO CAN/CGSB-51.34-M86 5/8" G.W.B.			

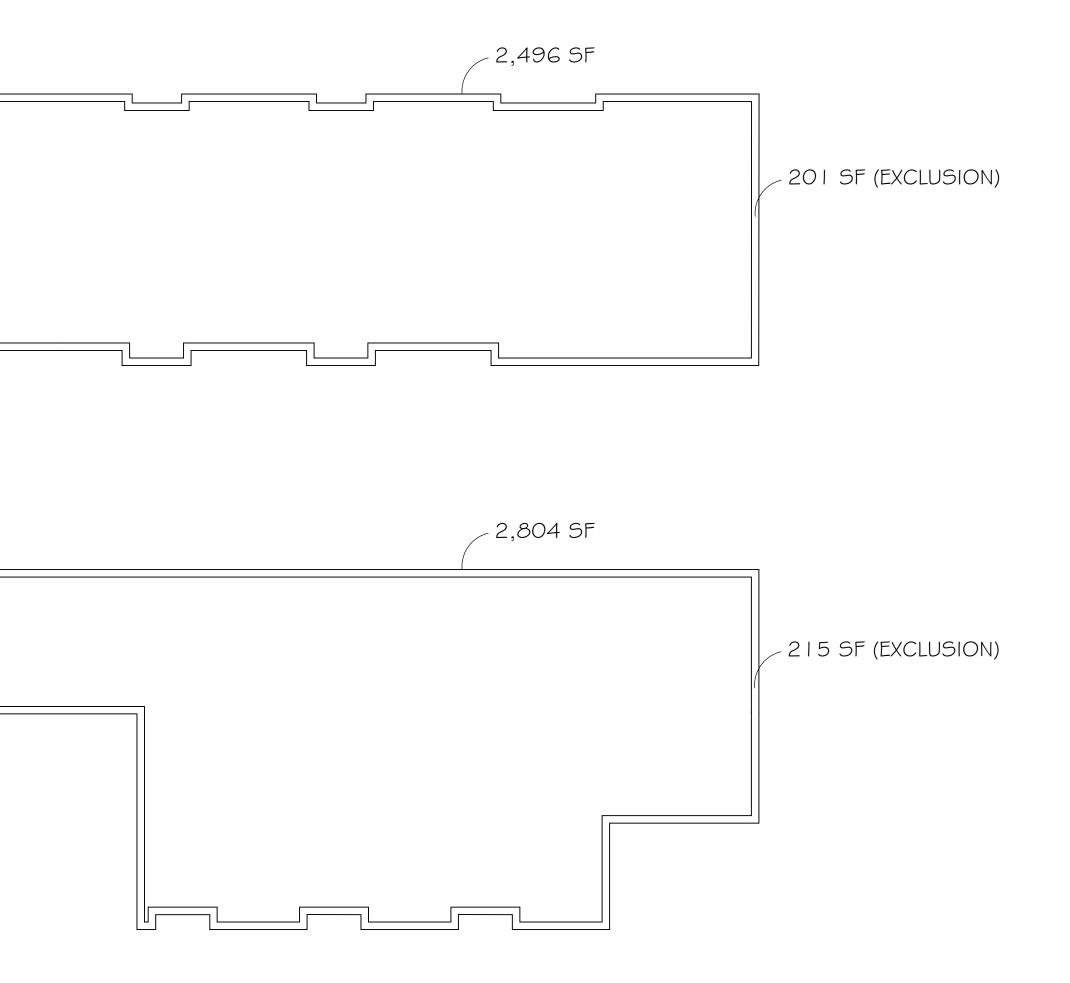
## SCHEDULE

	architects
INSULATED PARKADE CEILING AND EXPOSED CONC. SOFFITS	ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
MIN. 2 HR. FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B-APPENDIX D, 2018 B.C.B.C. (CONC. ONLY)	
FLOOR FINISH (SEE INTERIOR DESIGN PLANS)	(Formerly BESHARAT FRIARS ARCHITECTS) 600 - 355 Burrard Street T 604 662 8544
<ul> <li>I-I/2" GYPCRETE TOPPING (E.G. THERMA-FLOOR BY MAXXON)</li> <li><sup>1</sup>/<sub>4</sub>" SEPARATION BOARD</li> </ul>	Vancouver, BC V6C 2G8 <b>F</b> 604 662 4060 www.bfastudioarchitects.com.com info@bfastudioarchitects.com
<ul> <li>REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS. FOR THICKNESS) [AIR &amp; VAPOUR BARRIER]</li> </ul>	REVISIONS
<ul> <li>CONT. 5" NON-COMBUSTIBLE SPRAY-APPLIED INSULATION (NOM. R20); 'MONOGLASS' OR APPROVED ALTERNATE</li> </ul>	NO. DESCRIPTION DATE
PARKADE SLAB WITH VEHICULAR TRAFFIC	ISSUED FOR DP         12 JUN 2020
MEMBRANE MIN. 2 HR. FIRE RESISTANCE RATING BASED ON D-2.1 OF	REISSUED FOR DP 05 MAY 2021
<ul> <li>DIVISION B-APPENDIX D, 2018 B.C.B.C. (CONC. ONLY)</li> <li>2-COAT FLUID-APPLIED HEAVY-DUTY POLYURETHANE VEHICULAR</li> </ul>	
<ul><li>TRAFFIC MEMBRANE WITH PRIMER</li><li>REINFORCED CONC. SLAB (REFER TO STRUCT. DWGS.)</li></ul>	
PAINT FINISH	
CONCRETE SLAB ON GRADE	
<ul><li>NO REQUIRED FIRE RESISTANCE RATING</li><li>CONC. SEALER AND HARDENER, EXCEPT IN MECHANICAL ROOMS</li></ul>	
<ul> <li>PROVIDE EXPOSED POLYURETHANE TRAFFIC MEMBRANE</li> <li>REINFORCED CONC. SLAB (REFER TO STRUCT. DWGS.)</li> </ul>	
• AT HABITABLE SPACES ONLY, CONT. 6 MIL POLY DAMPPROOFING	
COMPACTED SUB-GRADE AS PER GEOTECHNICAL AND     STRUCTURAL ENGINEERS' RECOMMENDATIONS	COPYRIGHT RESERVED THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT
	BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. NOTATED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE LOB SITE, AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSION DESCRIPTION OF THE DIMENSION OF THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSION DESCRIPTION OF THE DIMENSION OF THE DIMENSIONS DIME
TYPICAL INTERIOR FLOOR ASSEMBLY	DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS, WITH REGARD TO THE INDICATED PROJECT.
<ul> <li>FINISH FLOORING</li> <li>1 - 1/2" GYPCRETE TOPPING</li> </ul>	
<ul> <li>3/4" T-\$=-G PLY SUB FLOOR AS PER STRUCT. DWGS.</li> <li>1 1-7/8" TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> </ul>	
<ul> <li>3 <sup>1</sup>/<sub>2</sub>" FIBREGLASS SOUND ATTENUATION BATTS</li> <li><sup>1</sup>/<sub>2</sub>" RESILIENT MTL. FURRING CHANNELS PERPENDICULAR TO</li> </ul>	
JOISTS AT MAX. 24" O.C. ■ 1 LAYER OF ½" GWB	
TYPICAL BALCONY ASSEMBLY (NOT APPLICABLE OVER HABITABLE SPACE)	
FLUID-APPLIED POLYURETHANE "PEDESTRIAN" DECK MEMBRANE	
<ul> <li><sup>3</sup>⁄<sub>4</sub> " T-¢-G PLY DECKING</li> <li>TAPERED SHIMS CUT FROM 2X4 (MIN. 1 ½" DEPTH)</li> </ul>	
<ul> <li>PERPENDICULAR TO JOISTS</li> <li>I 1-7/8" 'TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> </ul>	
<ul> <li>2x4 STUD FRAMING PERPENDICULAR TO JOISTS</li> <li>CEMENTITIOUS PANEL SOFFIT c/w PERFORATED STRIP VENT</li> </ul>	
INSULATED SOFFIT ASSEMBLY	
(OVER HABITABLE SPACE)	
FINISH FLOORING	
<ul> <li>1-1/2" GYPCRETE TOPPING</li> <li>3/4" T-\$=G PLY SUB FLOOR AS PER STRUCT. DWGS.</li> </ul>	CLIENT
<ul> <li>11-7/8" 'TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> <li>9-1/2" FIBREGLASS BATTS</li> </ul>	
<ul> <li><sup>1</sup>/<sub>2</sub>" DENSGLAS GOLD SHEATHING</li> <li>CONTINUOUS SELF-ADHERED VAPOUR-PERMEABLE AIR</li> <li>PARRIER MERANE</li> </ul>	NAM (Moodyville)
<ul> <li>BARRIER MEMBRANE</li> <li>3" ROXUL COMFORTBOARD 110 (NON-COMBUSTIBLE) [R12 BASED ON R4 PER IN.]</li> </ul>	Development Ltd.
<ul> <li>2x4 STUD FRAMING PERPENDICULAR TO JOISTS</li> <li>CEMENTITIOUS PANEL SOFFIT dw PERFORATED STRIP VENT</li> </ul>	
	PROJECT NO.
INSULATED SOFFIT ASSEMBLY (2HR RATED) (OVER HABITABLE SPACE)	19465
MIN. 2 HR. FIRE RESISTANCE RATING BASED ON INTERTEK WNR FCA 120-3	PROJECT
<ul> <li>FINISH FLOORING</li> <li>1 - 1/2" GYPCRETE TOPPING</li> </ul>	427-429-433-435 E 3rd Street,
<ul> <li>3/4" T-\$=G PLY SUB FLOOR AS PER STRUCT. DWGS.</li> <li>1 1 -7/8" TRUS-JOISTS' SPACED AS PER STRUCT. DWGS.</li> </ul>	North Vancouver, B.C.
<ul> <li>9-1/2" FIBREGLASS BATTS</li> <li>3 LAYERS OF <sup>5</sup>/<sub>8</sub>" TYPE 'C' GWB (WITH RESILIENT CHANNELS</li> </ul>	
<ul><li>BETWEEN I ST AND 2ND LAYER OF GWB</li><li>CONTINUOUS SELF-ADHERED VAPOUR-PERMEABLE AIR</li></ul>	DRAWING TITLE
<ul> <li>BARRIER MEMBRANE</li> <li>3" ROXUL COMFORTBOARD     0 (NON-COMBUSTIBLE)</li> </ul>	
<ul> <li>[R I 2 BASED ON R4 PER IN.]</li> <li>2x4 STUD FRAMING PERPENDICULAR TO JOISTS</li> <li>CEMENTITIOUS PANEL SOFFIT dw PERFORATED STRIP VENT</li> </ul>	WALL SCHEDULES
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	3/32" = 1'-0"

**bfG** studio

### LEVEL I AREA CALCULATION:

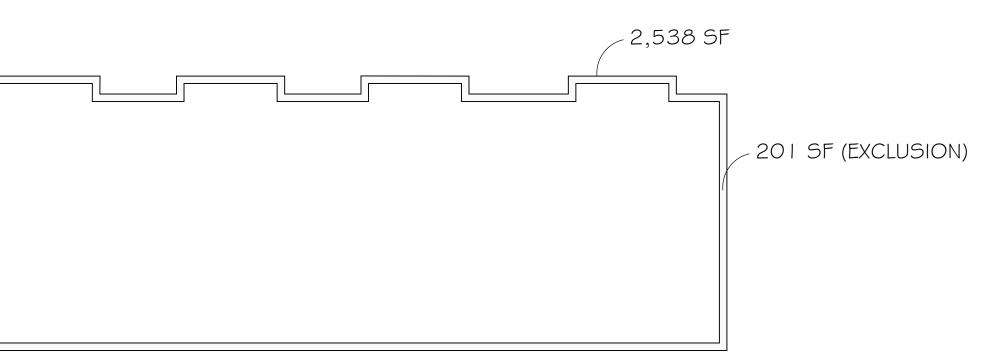
TOTAL GROSS FLOOR AREA	=	5,300 SF
WALL THICKNESS	=	416 SF
GREEN BUILDING	=	56.25 SF
ACCESSORY DWELLING	=	151 SF
ADAPTABLE DWELLING	=	108 SF
TOTAL EXCLUDED AREA	=	/ 0 / <u>1</u> = 0 / 0 /
TOTAL FSR	=	4,568.75 SF

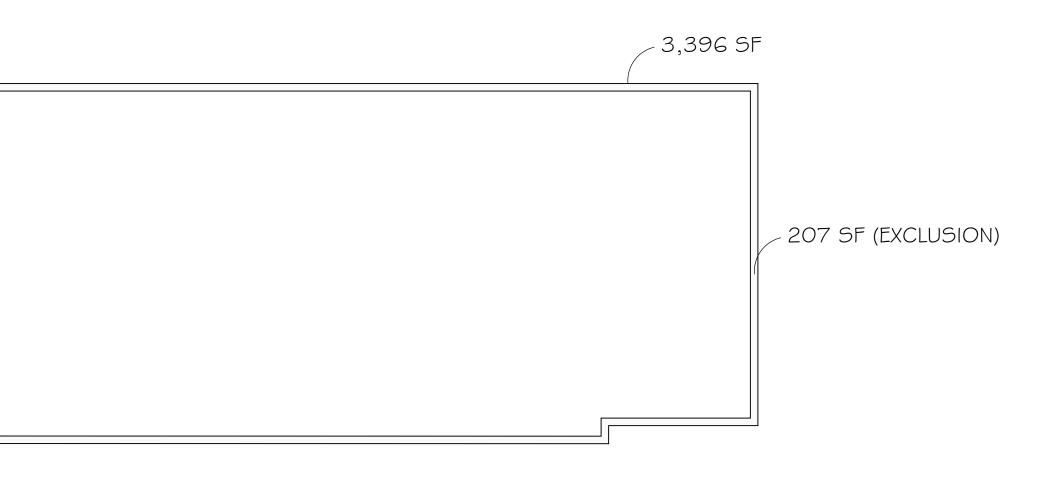


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ECO-REGIONAL ARCHITECTURE + INTERIOR DEST         (Formerly BESHARAT FRIARS ARCHITECTS)         600 - 355 Burrard Street       T         600 - 355 Burrard Street       T         600 - 355 Burrard Street       T         604 662       Vancouver, BC V6C 2G8         www.bfastudioarchitects.com.com       info@bfastu	8544 4060
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REISSUED FOR DP	05 MAY 2021
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### LEVEL 2 AREA CALCULATION:

TOTAL GROSS FLOOR AREA	=	5,934 SF
WALL THICKNESS	=	408 SF
GREEN BUILDING	=	56.25 SF
TOTAL EXCLUDED AREA	=	464.25 SF
TOTAL FSR	=	5,469.75 SF

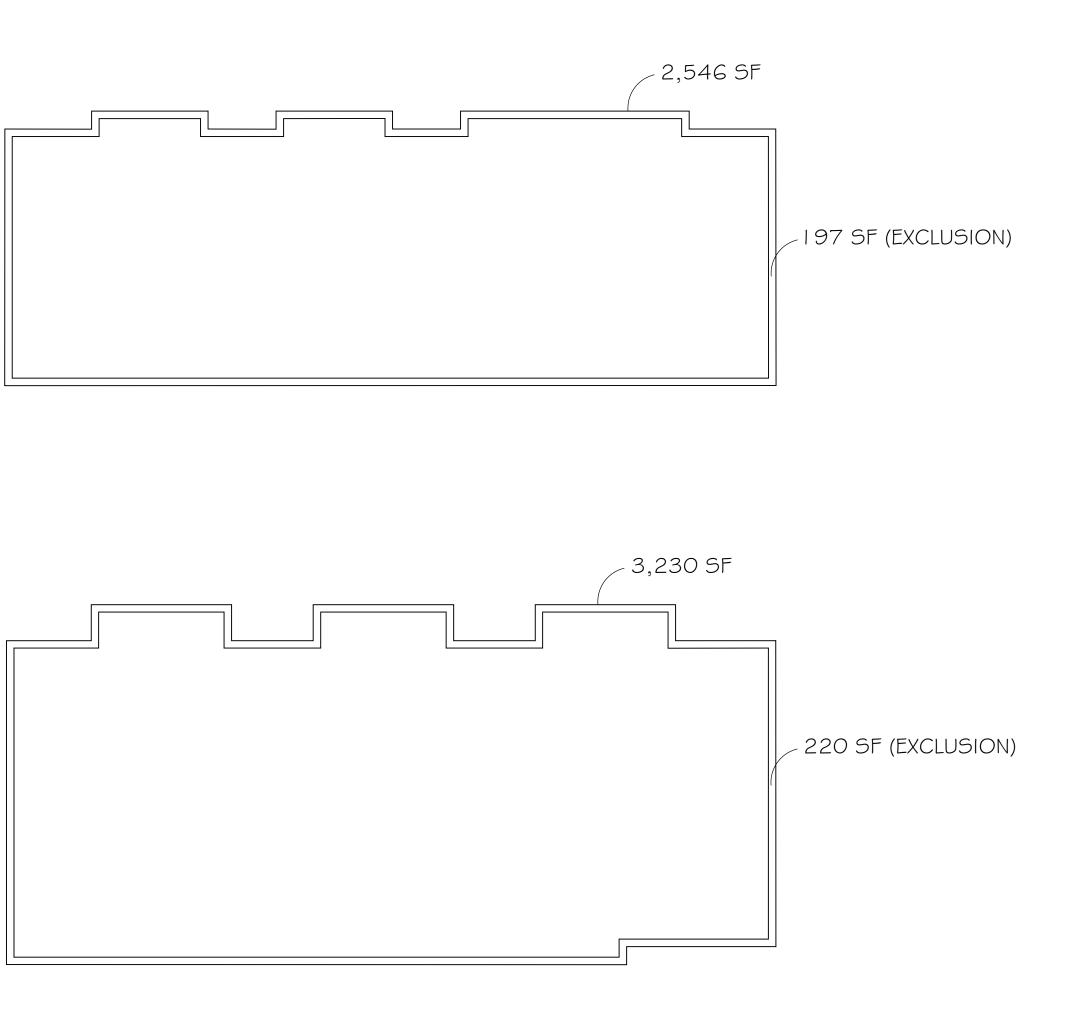




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### LEVEL 3 AREA CALCULATION:

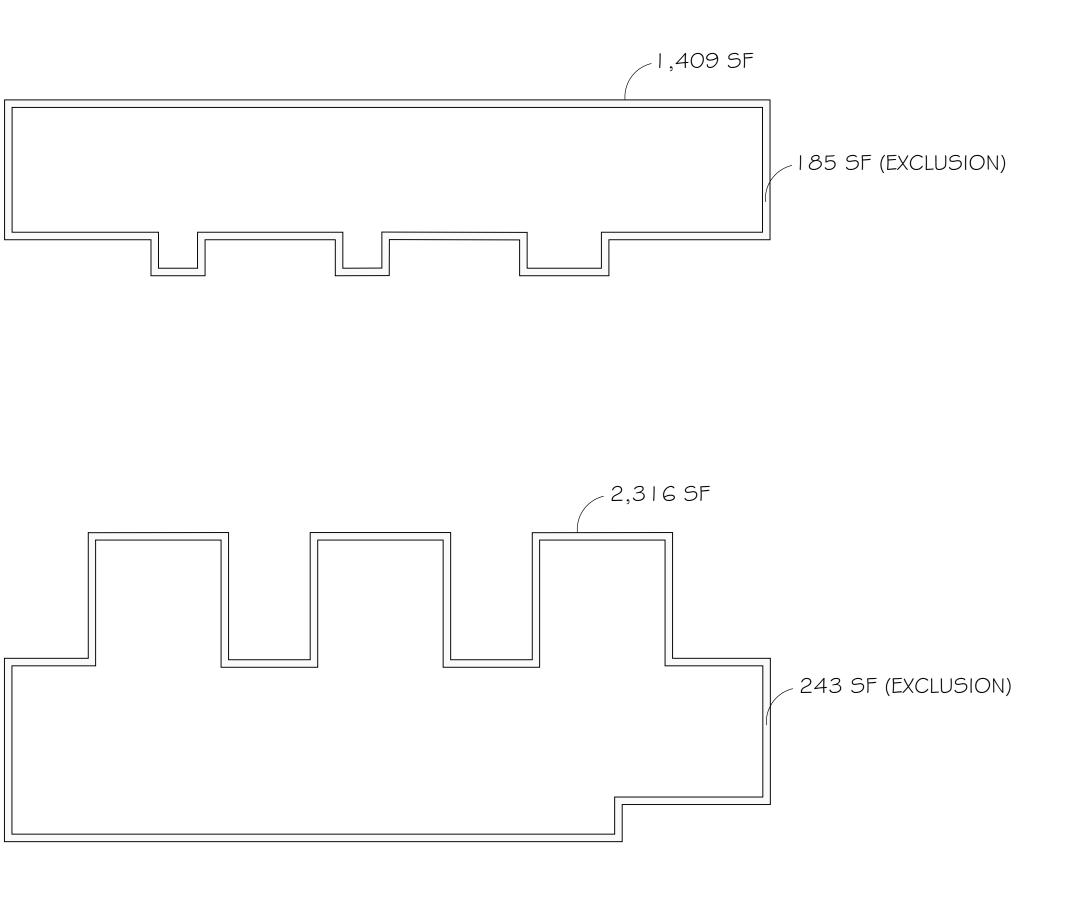
TOTAL GROSS FLOOR AREA= 5,776 SFWALL THICKNESS= 417 SFGREEN BUILDING= 56.25 SFTOTAL EXCLUDED AREA= 473.25 SFTOTAL FSR= 5,302.75 SF



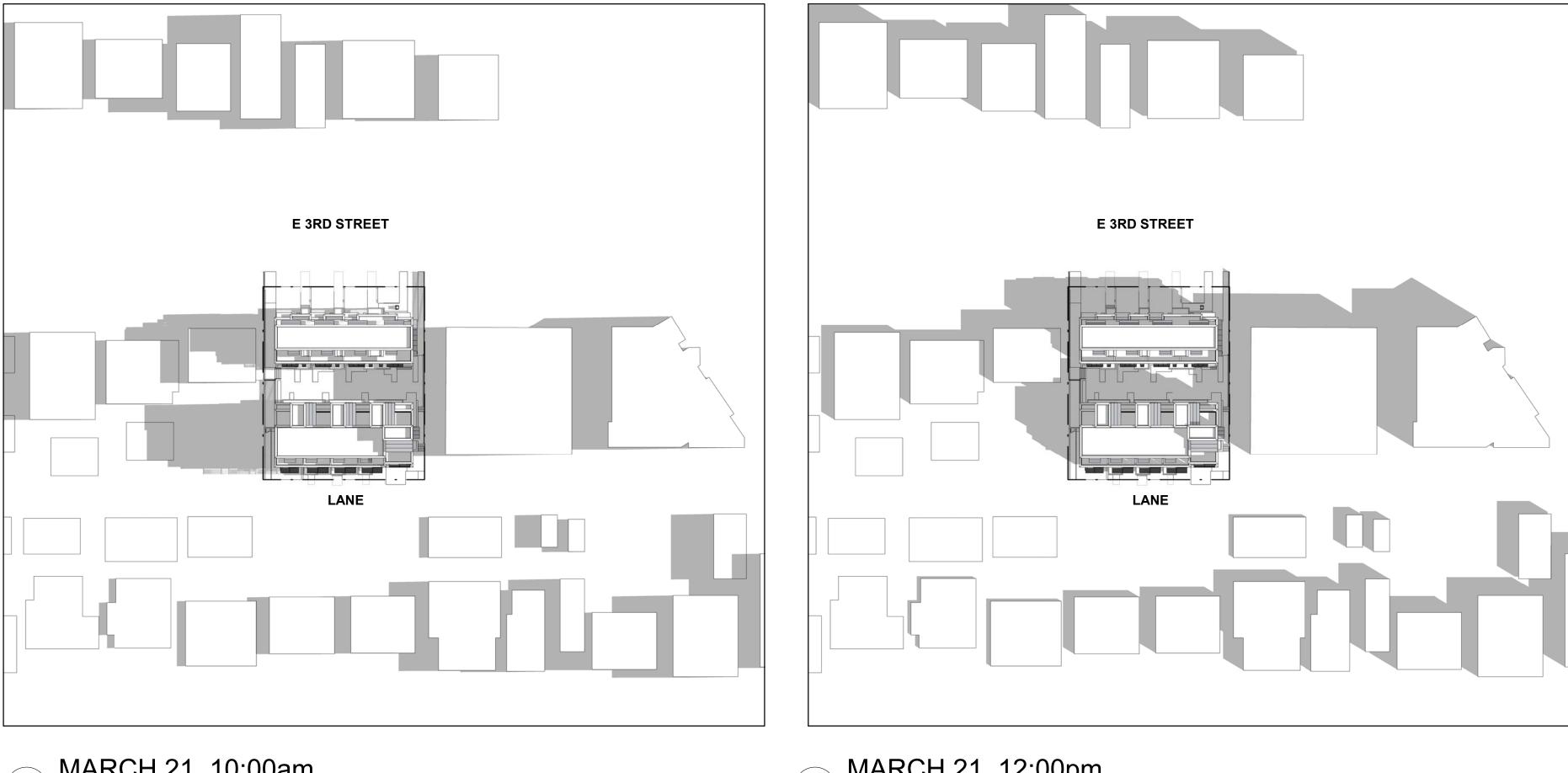
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(Formerly BESHARAT FRIARS ARCHITECTS)600 - 355 Burrard StreetT604 662 8544Vancouver, BC V6C 2G8F604 662 4060www.bfastudioarchitects.com.cominfo@bfastudioarchitects.com		
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CLIENT		
NAM (Moodyville) Development Ltd.		
PROJECT NO. <b>19465</b>		
427-429-433-435 E 3rd Street, North Vancouver, B.C.		
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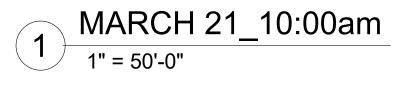
### LEVEL 4 AREA CALCULATION:

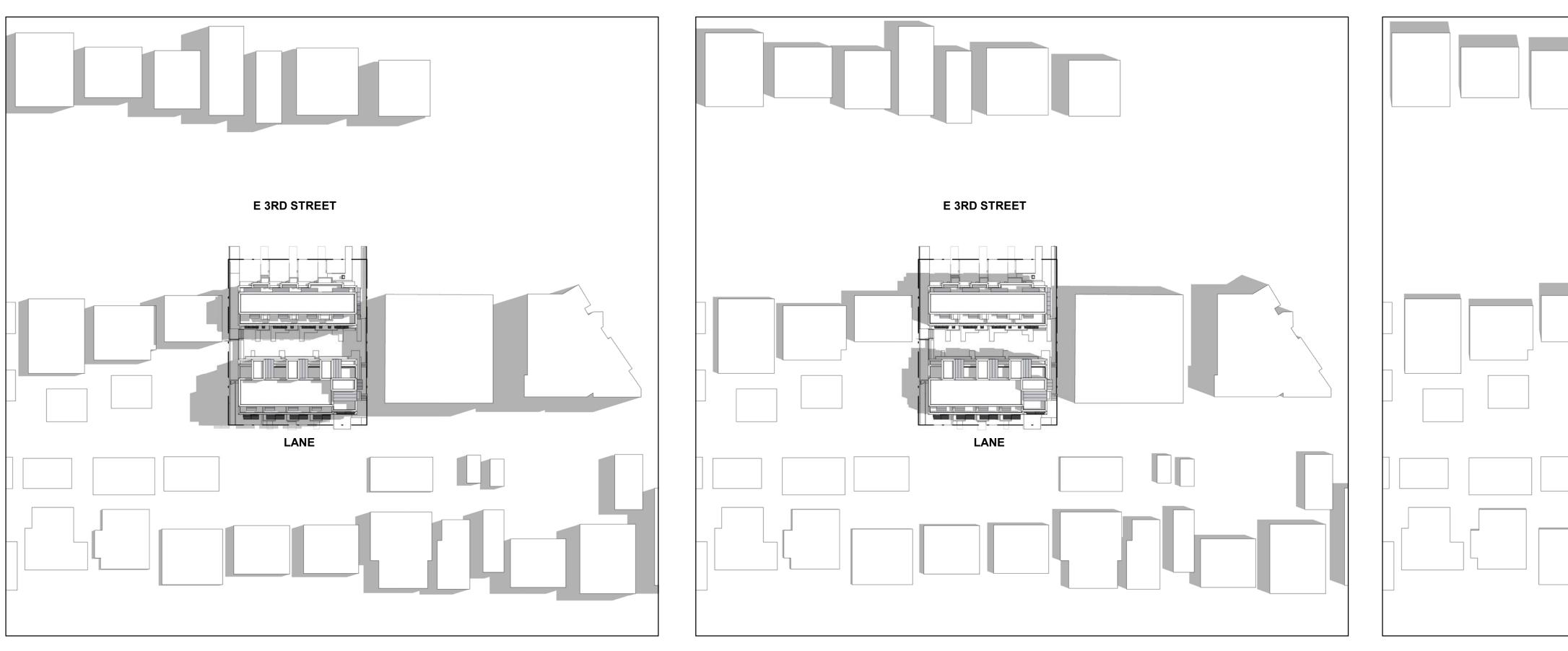
TOTAL GROSS FLOOR AREA= 3,725 SFWALL THICKNESS= 428 SFGREEN BUILDING= 56.25 SFTOTAL EXCLUDED AREA= 484.25 SFTOTAL FSR= 3240.75 SF



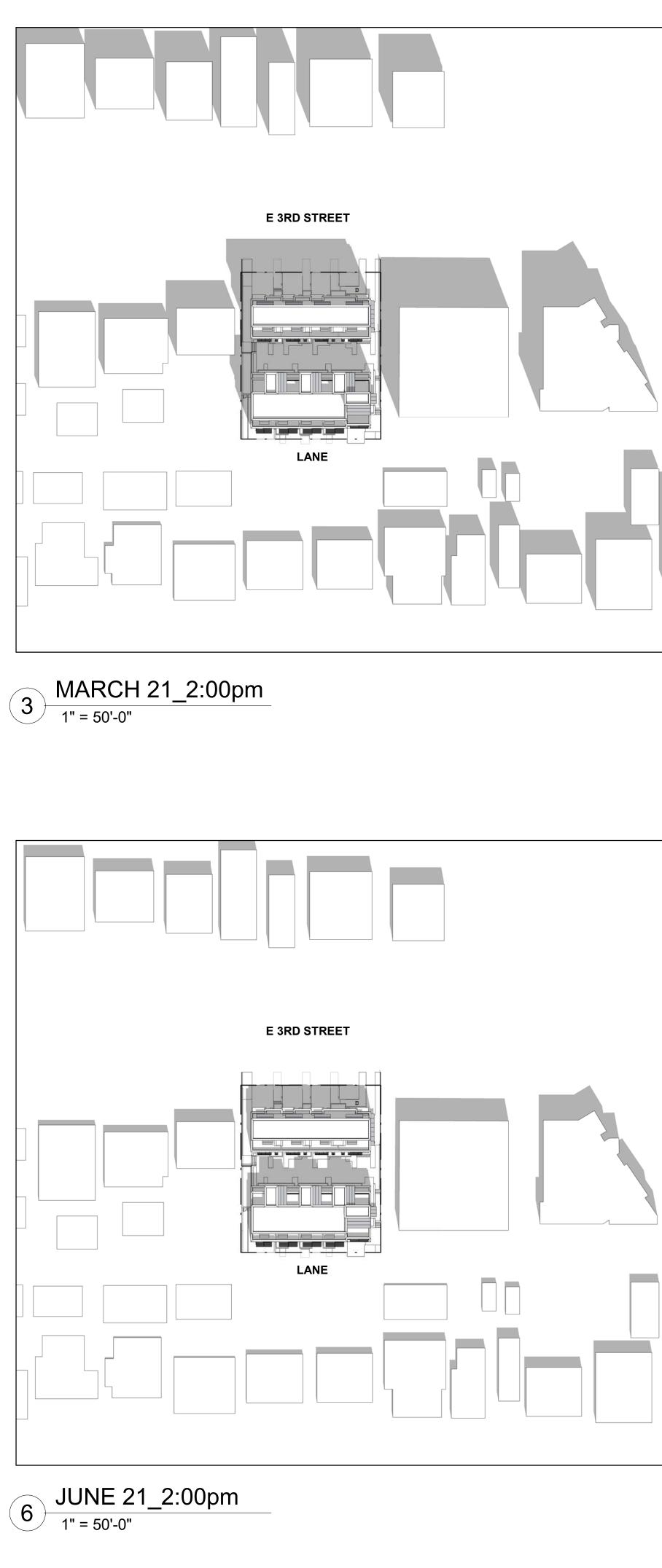
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Vancouver, BC V6C 2G8	604 662 8544 604 662 4060
www.bfastudioarchitects.com.com ir	fo@bfastudioarchitects.com
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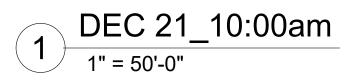
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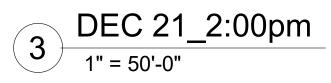
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architects
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Vancouver, BC V6C 2G8F604 662 4060www.besharatfriars.cominfo@besharatfriars.com
REVISIONS NO. DESCRIPTION DATE
ISSUED FOR DP 12 JUN 2020
RE-ISSUED FOR DP       09 MAR 2021         RE-ISSUED FOR DP       05 MAY 2021
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NAM (Moodyville)
Development Ltd.
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427-429-433-435 EAST 3rd STREET, NORTH
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<b>bfG</b> studio architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN600 - 355 Burrard StreetT604 662 8544Vancouver, BC V6C 2G8F604 662 4060www.besharatfriars.cominfo@besharatfriars.com
REVISIONS         NO.       DESCRIPTION       DATE         ISSUED FOR DP       12 JUN 2020         RE-ISSUED FOR DP       09 MAR 2021         RE-ISSUED FOR DP       05 MAY 2021
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TRUE
CLIENT
NAM (Moodyville) Development Ltd.
PROJECT NO. 19465
PROJECT MULTI-FAMILY RESIDENTIAL DEVELOPMENT 427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.
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