

CONTEXT MAP



BIRD'S EYE IMAGE
LOOKING SOUTH

REVISIONS

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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

Drawing **CONTEXT**
Drawn By B.C. Date MARCH 2021
Scale NOT TO SCALE
Project **STOCKHOLM REZONING
OF 367 WEST 19th STREET
NORTH VANCOUVER**



Looking North Along Jones Ave.



Looking East along West 19th St. from Jones Avenue



South Side of West 19th St.



South Side of West 19th St.



South Side of West 19th St.



Looking East Along West 19th Street



Looking West Along West 19th Street



North East corner of West 19th St. and Jones Avenue



North Side of West 19th St.



North Side of West 19th St.



365 West 19th Street



South East Corner of Lane and Jones Ave. at 365 West 19th Street



North side of Lane



North side of Lane



North side of Lane at the East end of the Lane

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South side of Lane



South side of Lane



South side of Lane



South East corner of Lane and Jones Avenue



NORTH ELEVATION

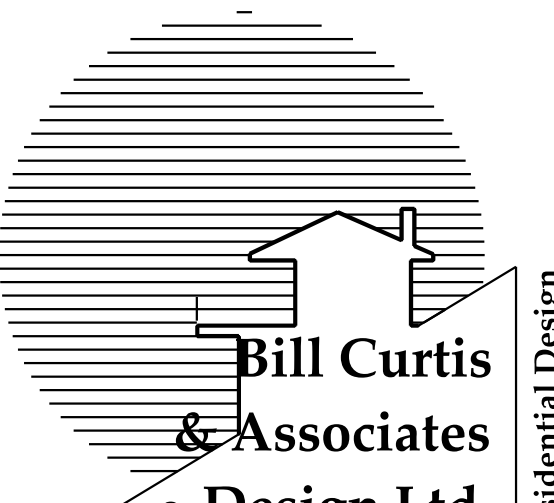


WEST ELEVATION

AUG. 2022 FLOOR AREA PLANS
 BICYCLE STORAGE AND ELECTRIC
 VEHICLE CHARGING SHOWN
 FIRE SFRINKLERS ADDED
 REF. GRADE & ELEV. 9 REVISED

REVISIONS

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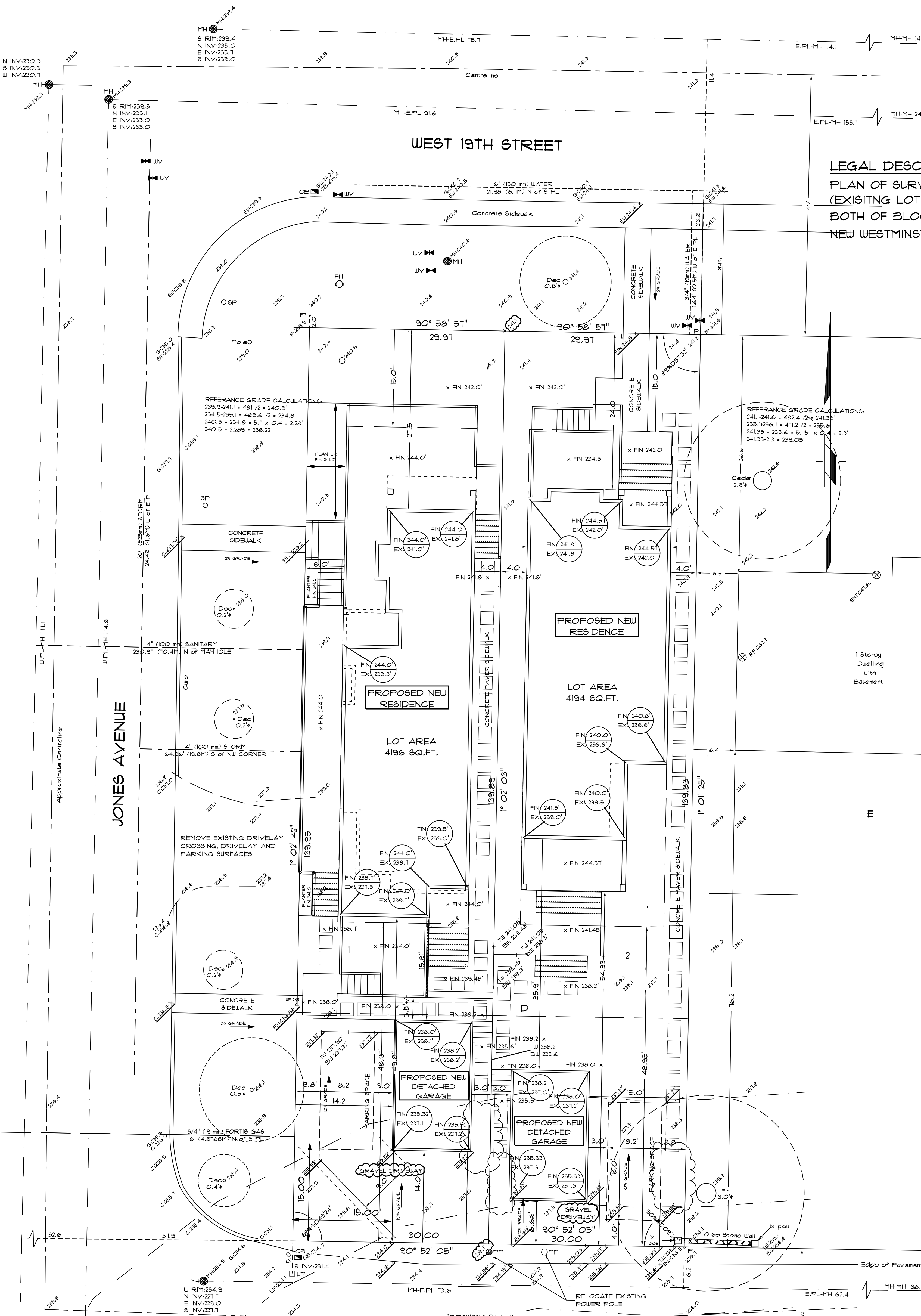
STREETSCAPE

Drawing

Drawn By B.C. Date MARCH 2021

Scale 1/4" = 1'-0"

Project
**STOCKHOLM REZONING
 OF 367 WEST 19th STREET
 NORTH VANCOUVER**



LEGAL DESCRIPTION
 PLAN OF SURVEY OF PROPOSED LOTS 1 AND 2
 (EXISTING LOT D, PLAN 10229 P.I.D. 009-512-066)
 BOTH OF BLOCK 21, DISTRICT LOT 541, GROUP 1,
 NEW WESTMINSTER DISTRICT, PLAN EPP _____

WEST LOT SITE DEVELOPMENT DATA	
EXISTING ZONE :	R51 x
PROPOSED ZONING:	R52
LOT AREA :	4,196.0 SQUARE FEET
LOT COVERAGE :	x
PERMITTED :	1,258.8 SQUARE FEET (30%)
PROPOSED :	1,241.09 SQUARE FEET (30%)
FLOOR SPACE RATIO :	
PERMITTED :	2,098.0 SQUARE FEET (50%)
PROPOSED :	2,096.48 SQUARE FEET (50%)
GARAGE:	
AREA ALLOWED :	419 SQUARE FEET
AREA PROPOSED :	240 SQUARE FEET
PARKING:	
REQUIRED :	2 STALLS
PROVIDED :	2 STALLS
ELEVATIONS:	
ROOF RIDGE.....	269.96'
TOP OF UPPER FL. WALL.....	264.54'
UPPER FLOOR.....	255.48'
MAIN FLOOR.....	244.44'
LOWER FLOOR.....	234.4'
REFERENCE GRADE.....	238.22'
GARAGE:	
ROOF RIDGE.....	241.02"
TOP OF WALL.....	244.02'
TOP OF SLAB.....	235.52'

EAST LOT SITE DEVELOPMENT DATA	
EXISTING ZONE :	R51
PROPOSED ZONING:	R52
LOT AREA :	4,194.0 SQUARE FEET
LOT COVERAGE :	
PERMITTED :	1,258.2 SQUARE FEET (30%)
PROPOSED :	1,228.52 SQUARE FEET (29%)
FLOOR SPACE RATIO :	
PERMITTED :	2,091.0 SQUARE FEET (50%)
PROPOSED :	2,090.39 SQUARE FEET (49.9%)
GARAGE:	
AREA ALLOWED :	419 SQUARE FEET
AREA PROPOSED :	240 SQUARE FEET
PARKING:	
REQUIRED :	2 STALLS
PROVIDED :	2 STALLS
ELEVATIONS:	
ROOF RIDGE.....	270.55'
TOP OF UPPER FL. WALL.....	265.15'
UPPER FLOOR.....	256.11'
MAIN FLOOR.....	245.07'
LOWER FLOOR.....	234.99'
REFERENCE GRADE.....	239.05'
GARAGE:	
ROOF RIDGE.....	246.83"
TOP OF WALL.....	243.83'
TOP OF SLAB.....	235.33'

LEGEND:

237.32' x	DENOTES A FINISHED SPOT ELEVATION
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- LEGEND:**
- ⊕ denotes tree trunk diameter
 - C denotes top of curb
 - Con. denotes coniferous
 - Dec. denotes deciduous
 - G denotes gutter
 - P denotes porch
 - SW denotes top of sidewalk
 - TW denotes top of wall
 - BW denotes bottom of wall
 - CB denotes catch basin
 - FH denotes fire hydrant
 - IP denotes iron post
 - LP denotes lead plug
 - MF denotes main floor
 - MH denotes manhole
 - PP denotes power pole
 - RP denotes roof peak
 - SP denotes sign post
 - WV denotes water valve
 - ENT denotes entrance

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS AND ENVIRONMENT AT 604-983-1333 PRIOR TO POURING ANY FLOOR SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTOR'S SURVEYOR MUST PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE.

CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

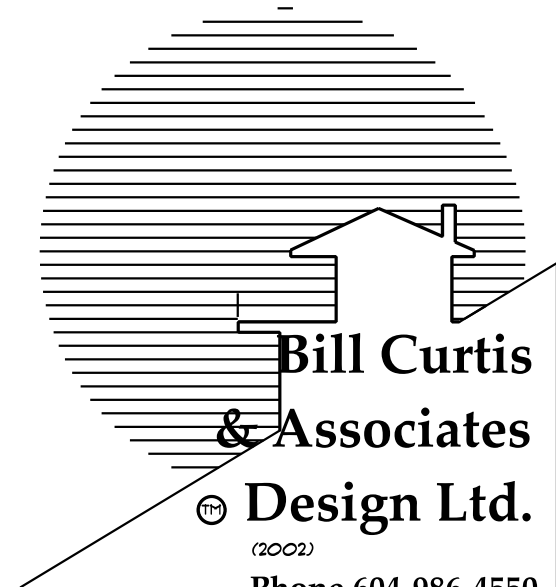
CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER 24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS. THE CONTRACTOR MUST BE ON SITE FOR INSPECTIONS. THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-930-4220

ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY AND INSTALL AN IN GROUND WATER METER, AT THE DEVELOPER'S COST, FOR FUTURE WATER USE METERING PROGRAMS.

BLACKTOP TO PROPERTY LINE AT DEVELOPER'S COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS

ACT. 2022 CONCRETE DRIVEWAYS REPLACED WITH GRAVEL. CONCRETE PAVERS DELETED WHERE NOTED.



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Drawing **SITE PLAN**
 Drawn By B.C. Date MAR. 2021
 Scale 1/8" = 1'-0"
 Project **STOCKHOLM REZONING OF 365 WEST 19th STREET NORTH VANCOUVER**

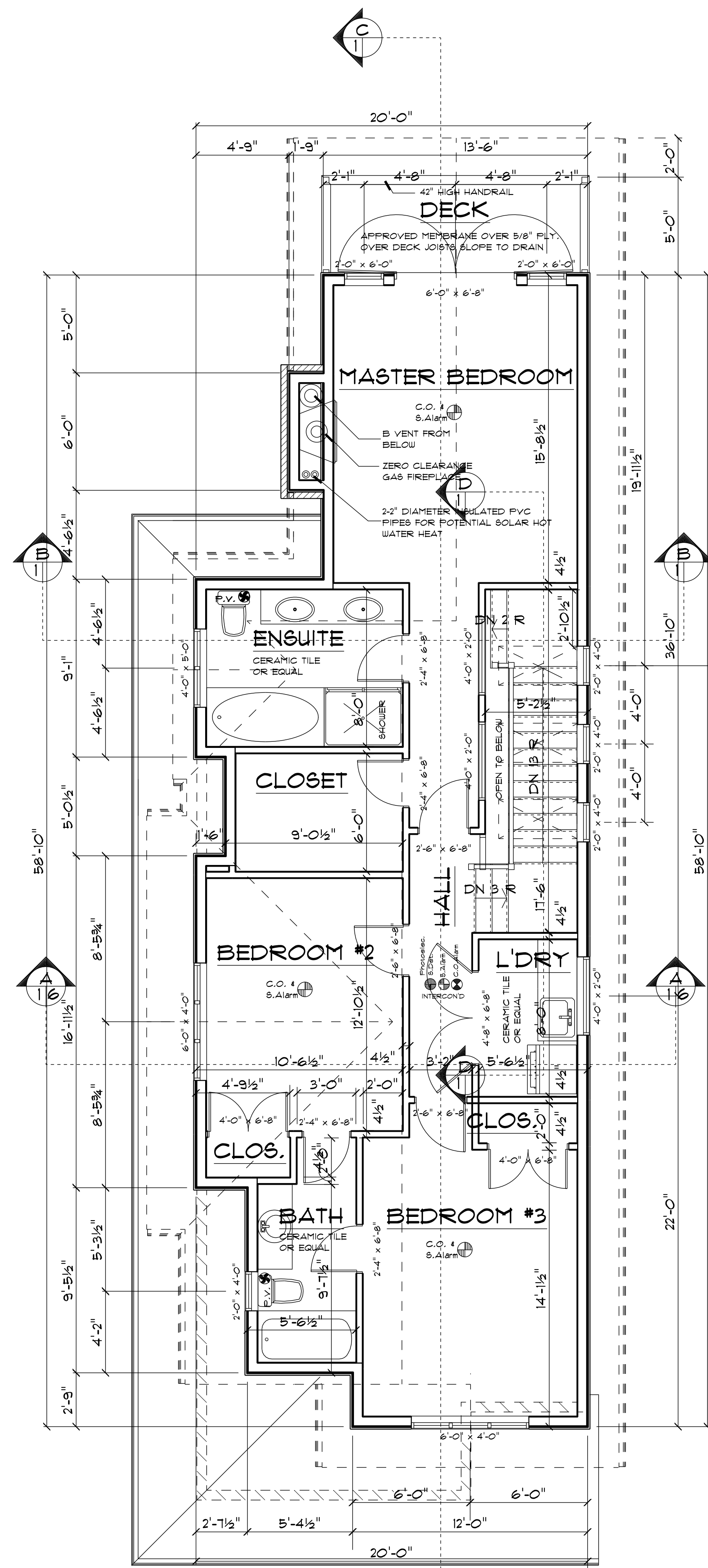
NOTE:
 Elevations are based on geodetic datum. (CVD28GVRD2018)
 Bench Mark: Control Monument #6151 located at center of intersection of Chesterfield Avenue and 19th Street, B.M. Elevation = 304.52 feet (92.817 metres)

NOTE:
 All trees have been plotted in accordance with City of North Vancouver Tree Policy.
 © copyright restriction
 This document is not valid unless originally signed and sealed.

NOTE:
 For construction, use lead plugs in sidewalk or City survey monument only, for elevation control.
 FILE: TG-2668B

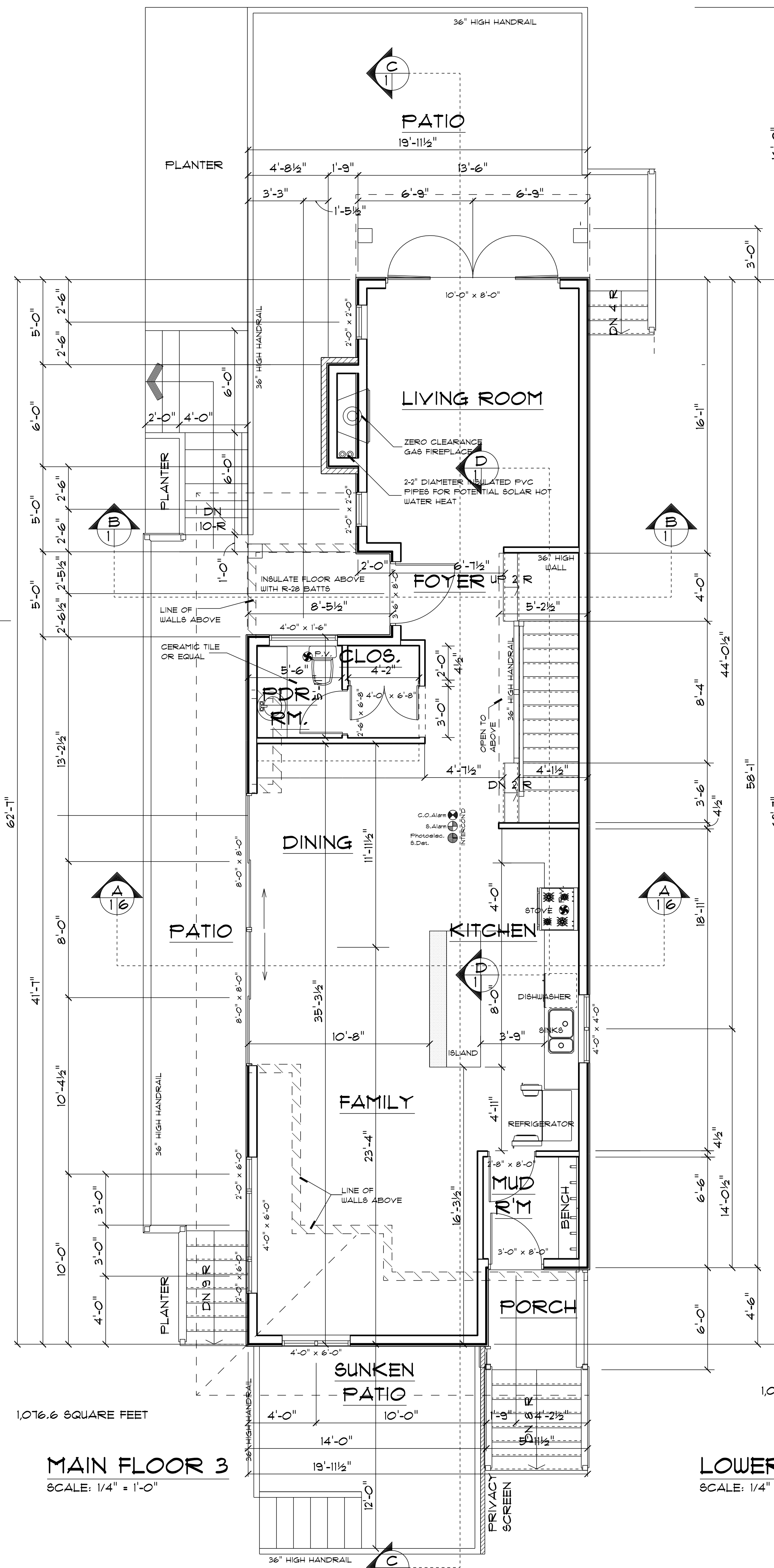
Ken K. Wong and Associates
 Canada and B.C. Land Surveyors
 5624 E. Hastings Street
 Burnaby, B.C. V5B 1R4
 Telephone: (604) 294-8881
 Fax: (604) 294-0625
 21023 FB914 P130-131
 210591 FB982 P148
 R-2406
 Drawn by: GS/AD

Quality Residential Design



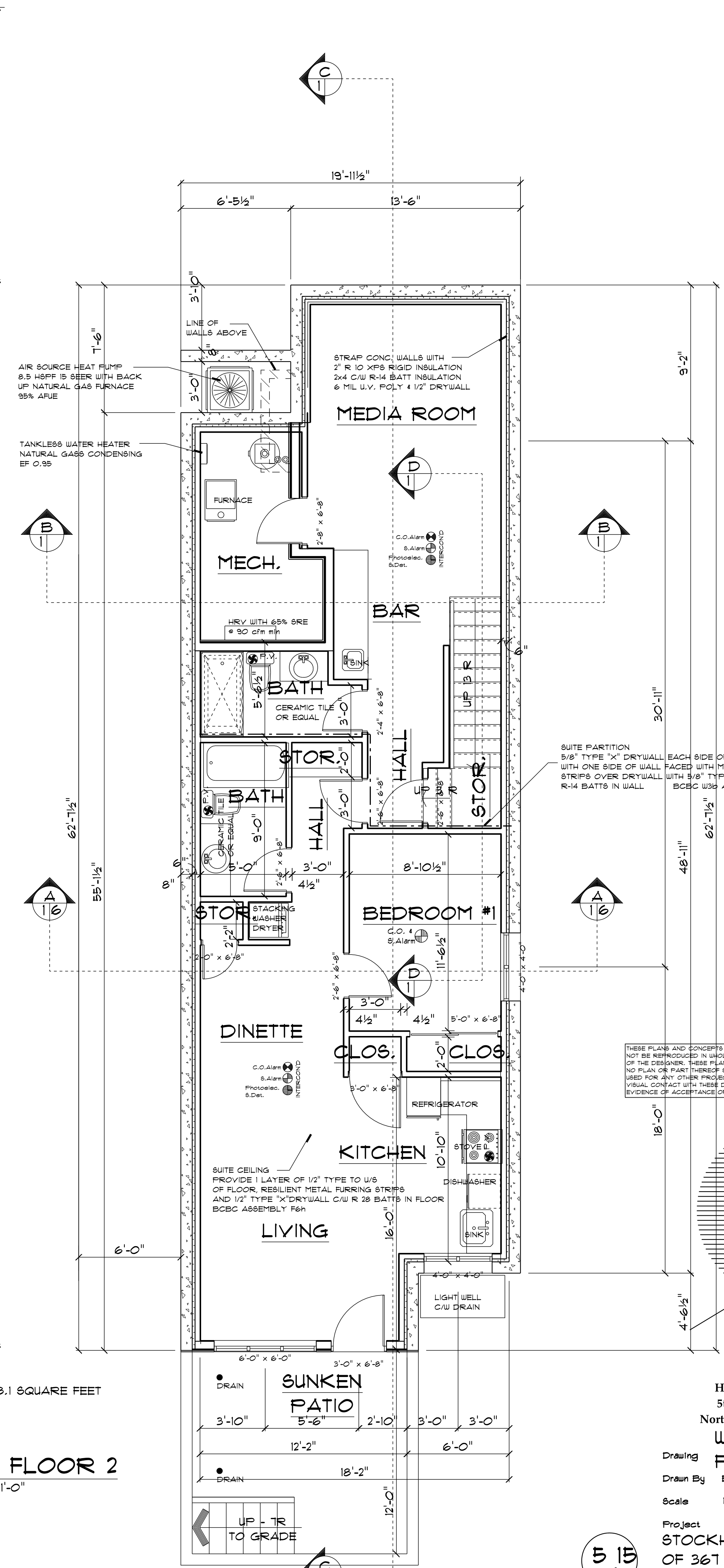
1,021.3 SQUARE FEET

UPPER FLOOR 4
SCALE: 1/4" = 1'-0"



1,076.6 SQUARE FEET

MAIN FLOOR 3
SCALE: 1/4" = 1'-0"



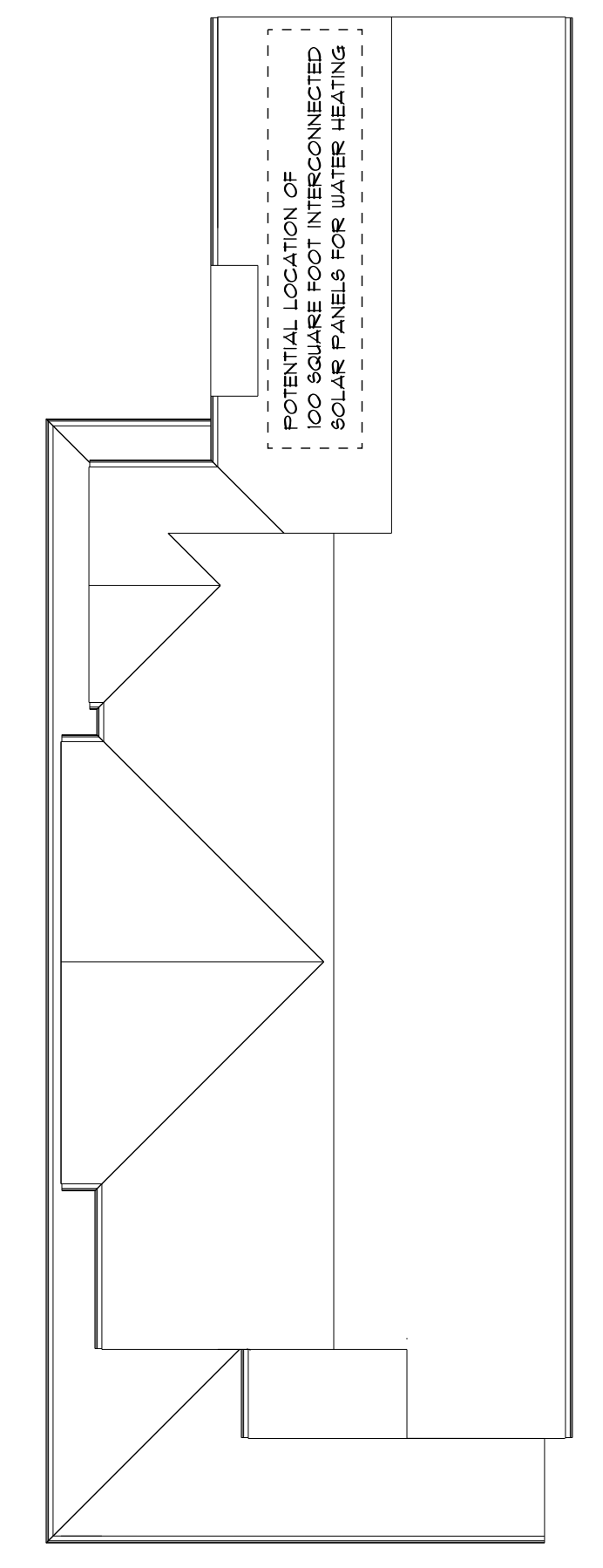
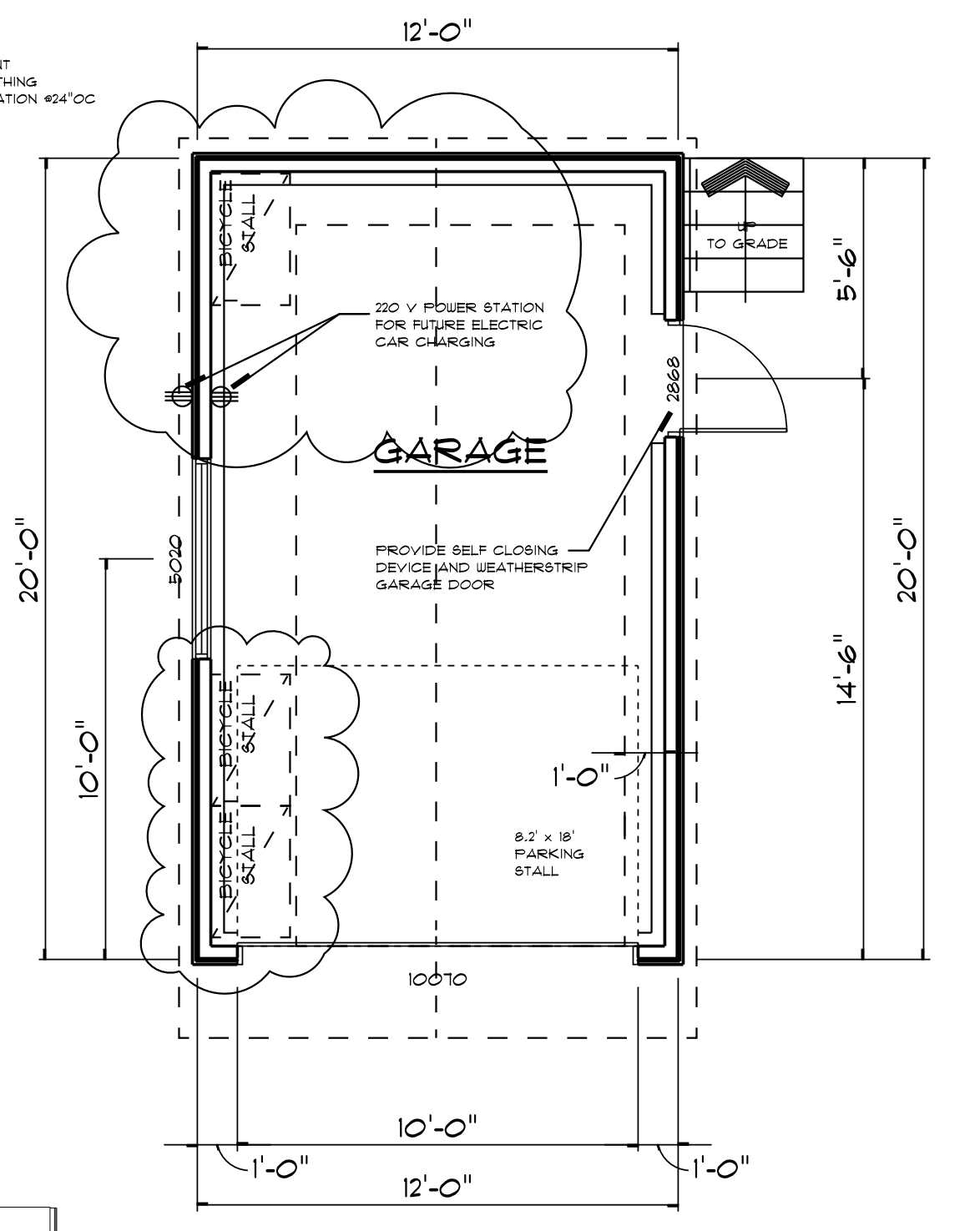
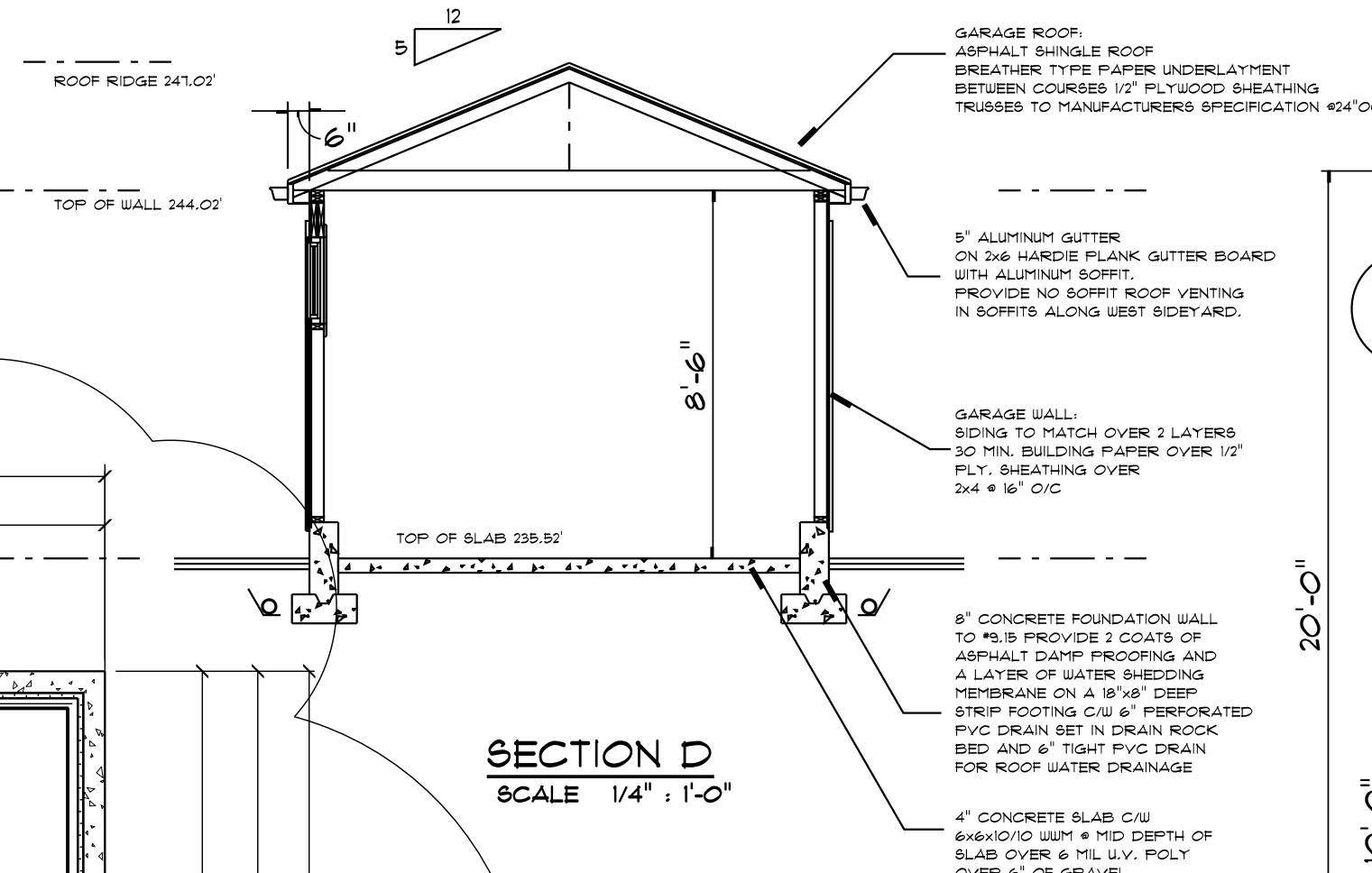
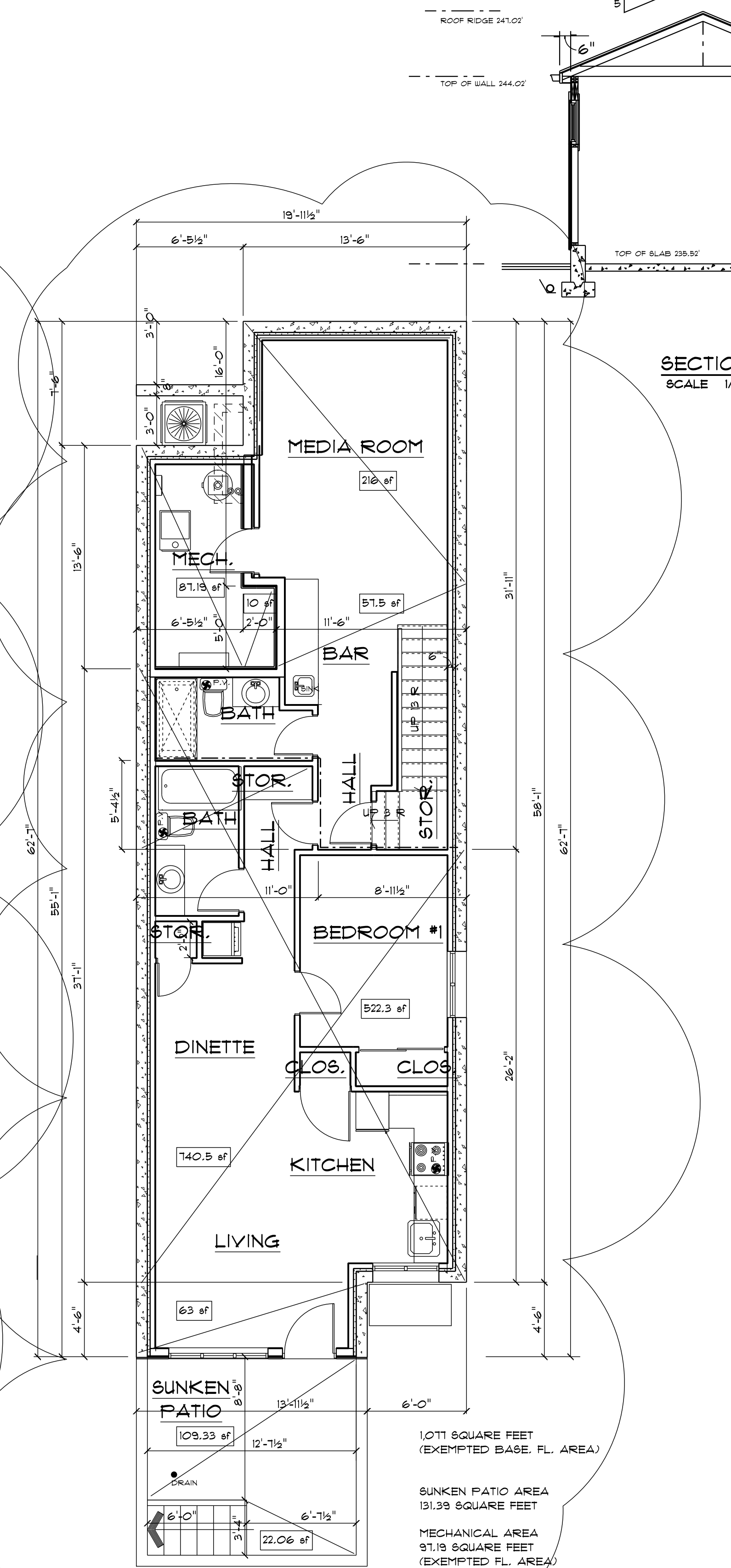
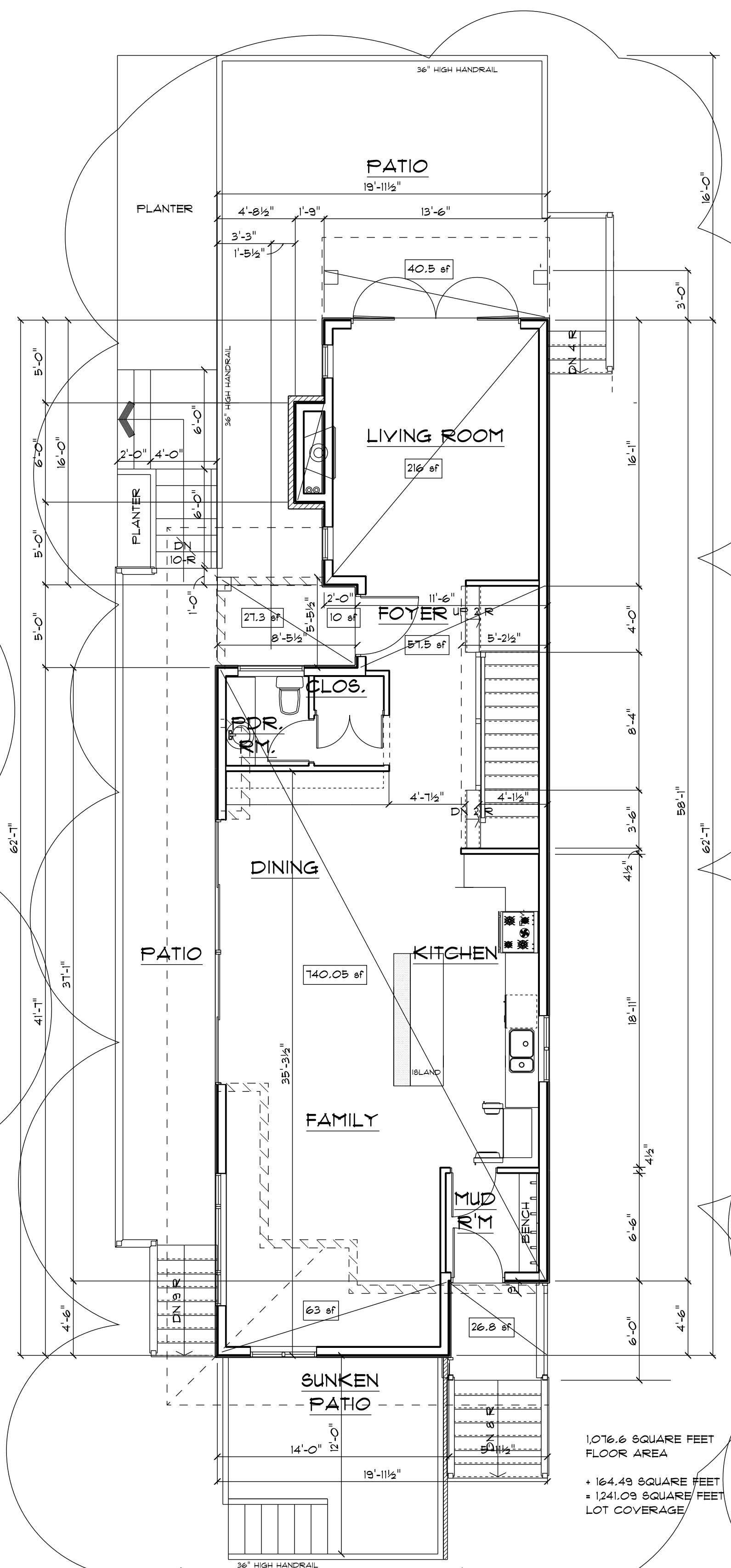
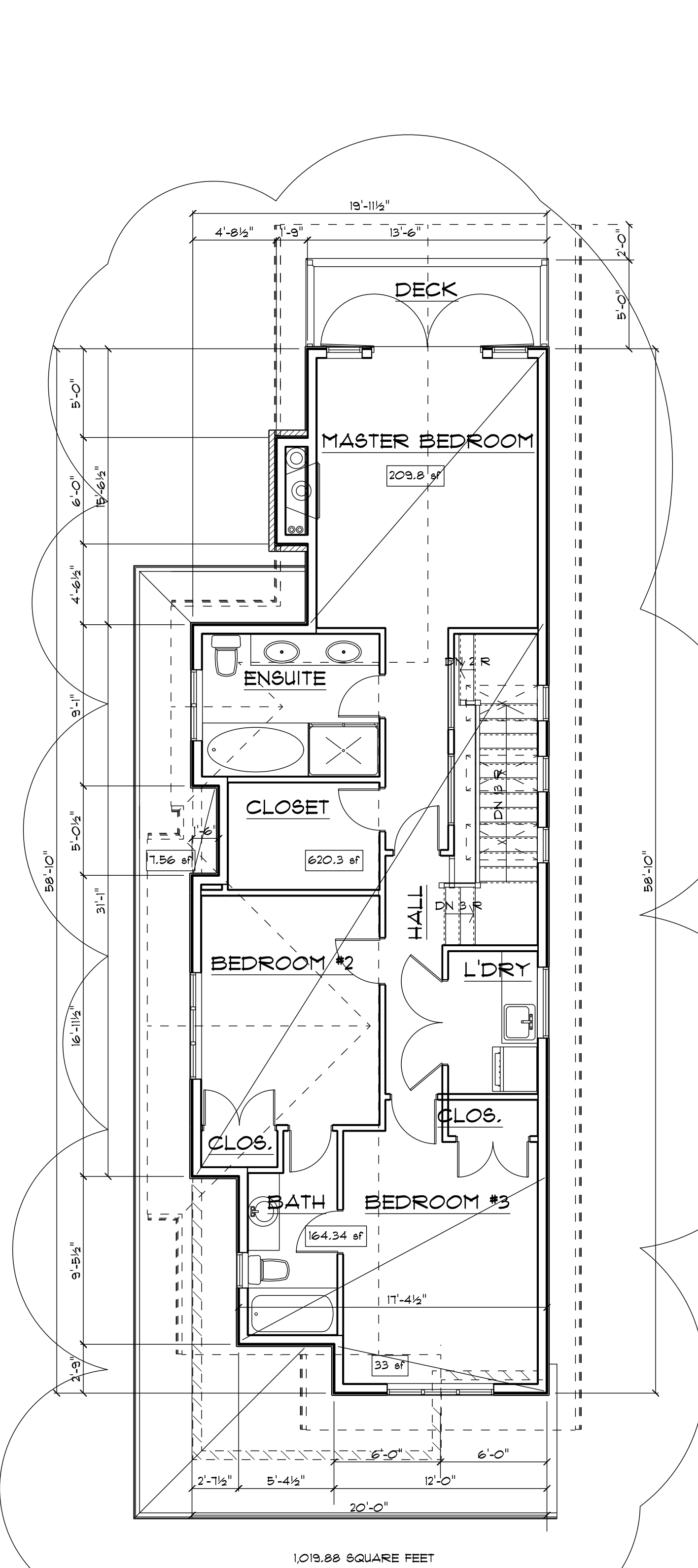
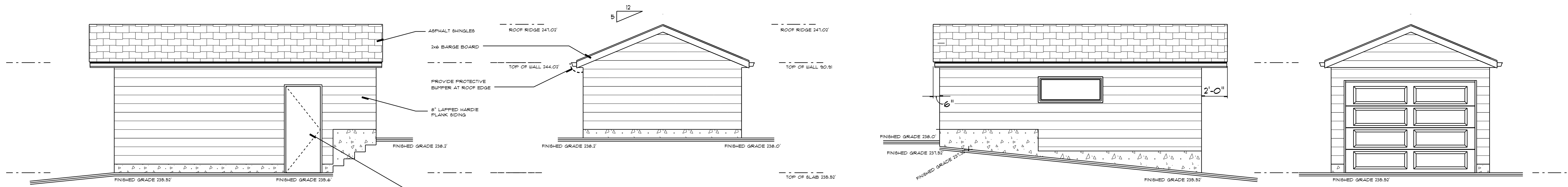
1,078.1 SQUARE FEET

LOWER FLOOR 2
SCALE: 1/4" = 1'-0"

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Harbourfront Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3M6
WEST LOT
FLOOR PLANS
 Drawn By B.C. Date MARCH 2021
 Scale 1/4" = 1'-0"
 Project STOCKHOLM REZONING
 OF 367 WEST 19TH STREET
 NORTH VANCOUVER



AUG. 2022 FLOOR AREA PLANS
BICYCLE STORAGE AND ELECTRIC VEHICLE CHARGING SHOWN
FIRE SPRINKLERS ADDED

REVISIONS

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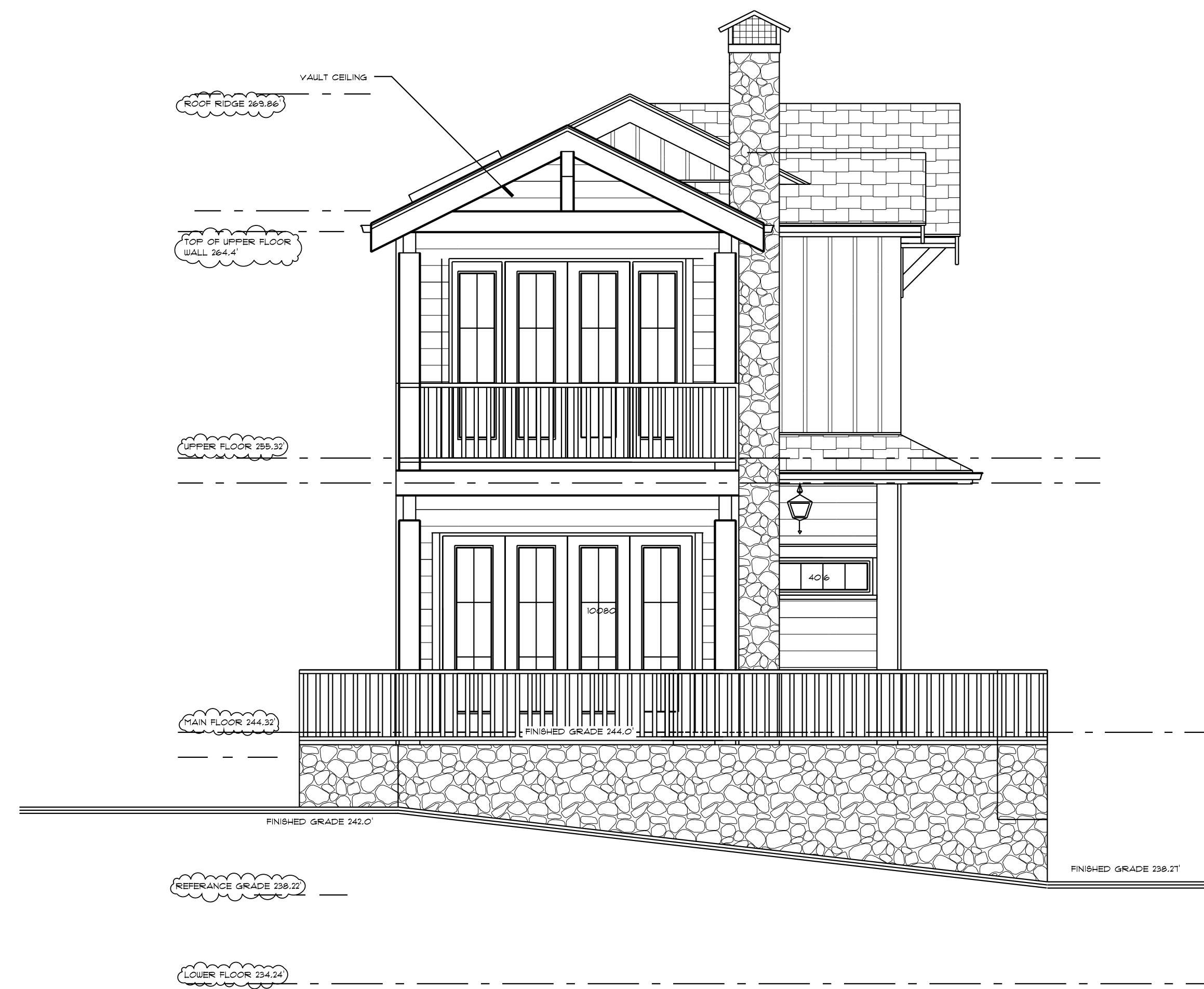
GARAGE, ROOF & FL. AREA PLANS

Drawn By: B.C. Date: MARCH 2021
Scale: AS NOTED

Project: STOCKHOLM REZONING OF 367 WEST 19th STREET NORTH VANCOUVER



WEST ELEVATION



NORTH ELEVATION

AUG. 2022 FLOOR AREA PLANS
 BICYCLE STORAGE AND ELECTRIC
 VEHICLE CHARGING SHOWN
 FIRE SPRINKLERS ADDED
 REF. GRADE 4 ELEV.'S REVISED

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WEST LOT
ELEVATIONS

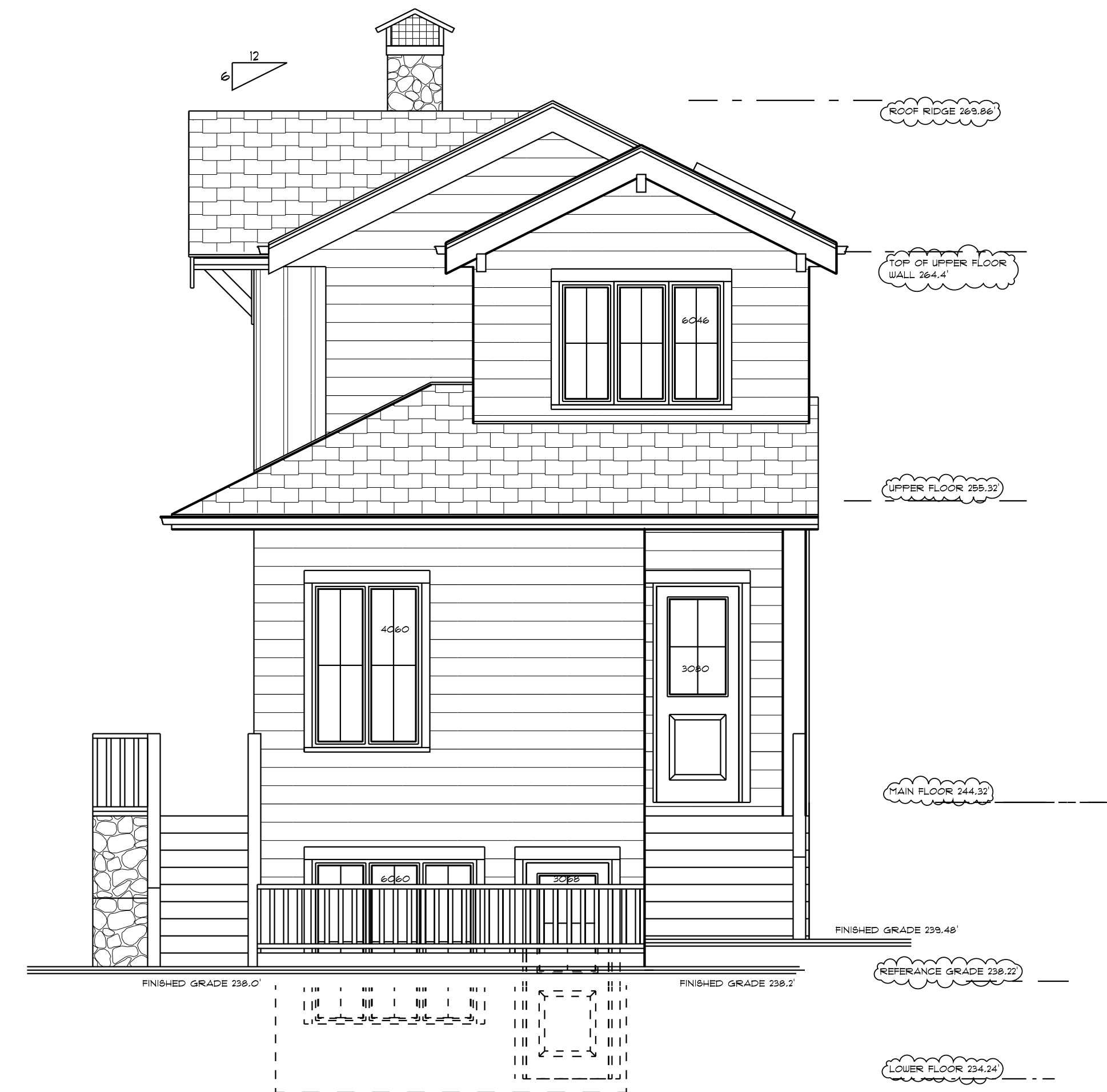
Drawing
 Drawn By B.C. Date MARCH 2021
 Scale 1/4" = 1'-0"

Project
 STOCKHOLM REZONING
 OF 367 WEST 19th STREET
 NORTH VANCOUVER



EAST ELEVATION

SPATIAL SERPERATION CALCULATIONS:
 1470 SQUARE FEET AT 4' LIMITING DISTANCE
 ALLOWS 102.9 X 2 = 205.8 SQUARE FEET OF UNPROTECTED
 OPENING AT 7% OF WALL AREA
 16.0 SQUARE FEET PROPOSED



SOUTH ELEVATION

AUG. 2022 FLOOR AREA PLANS
 BICYCLE STORAGE AND ELECTRIC
 VEHICLE CHARGING SHOWN
 FIRE SPRINKLERS ADDED
 REF. GRADE 4 ELEV. 3 REVISED

REVISIONS

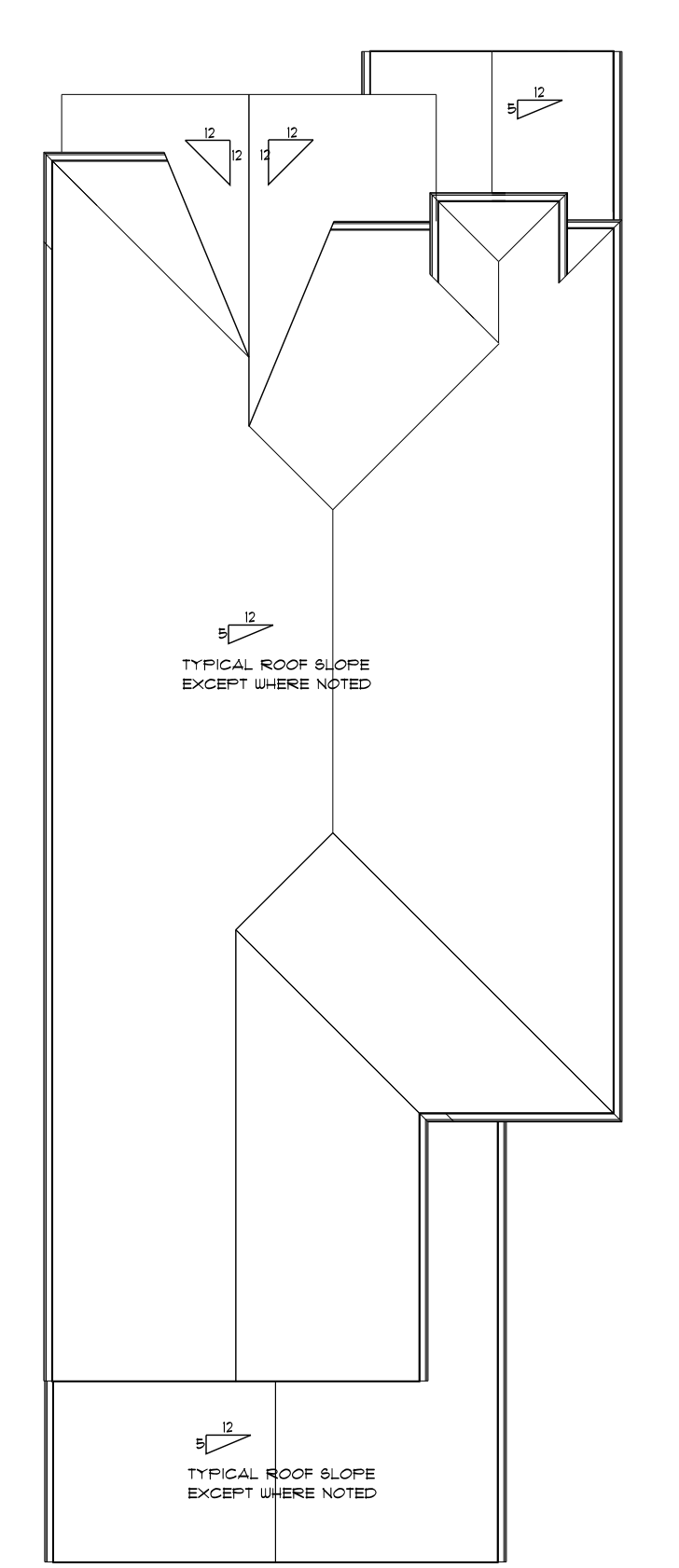
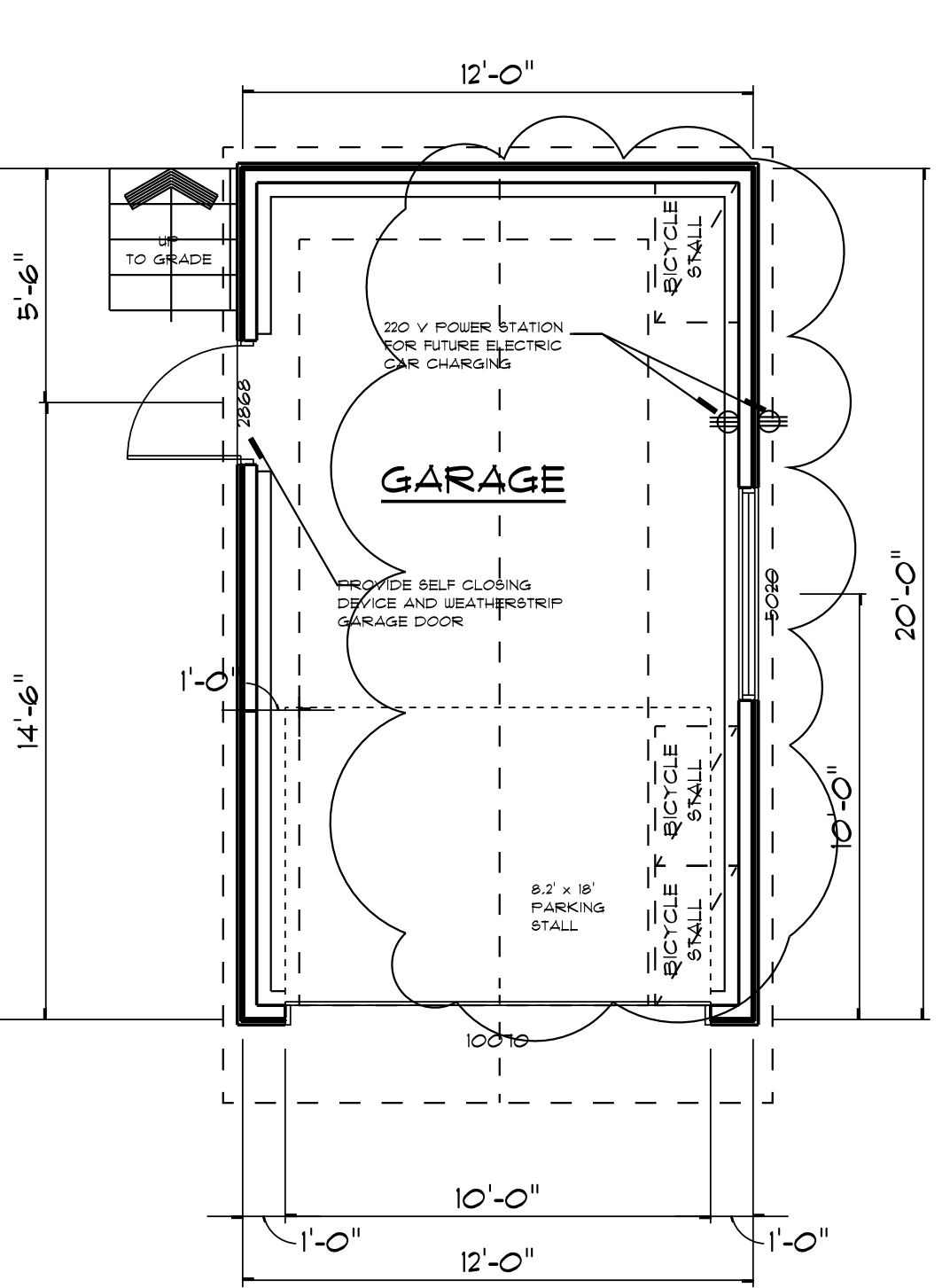
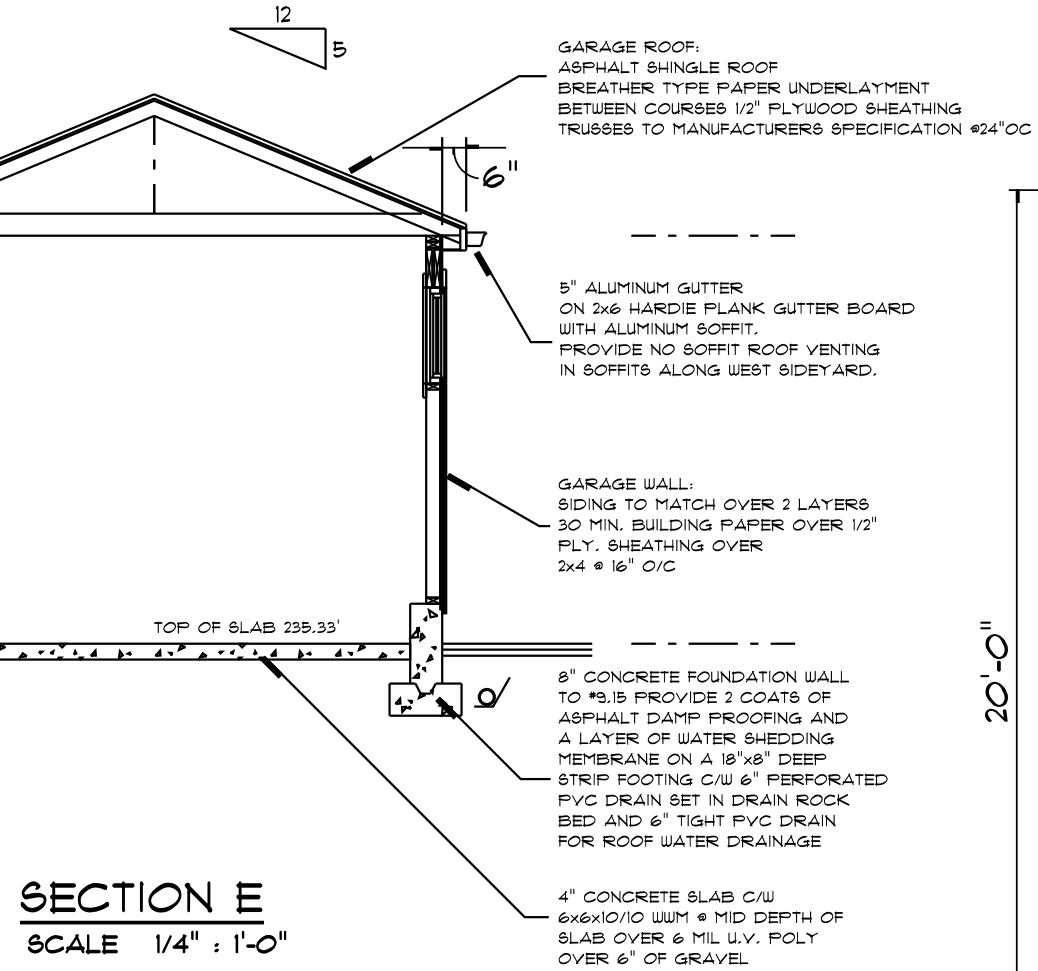
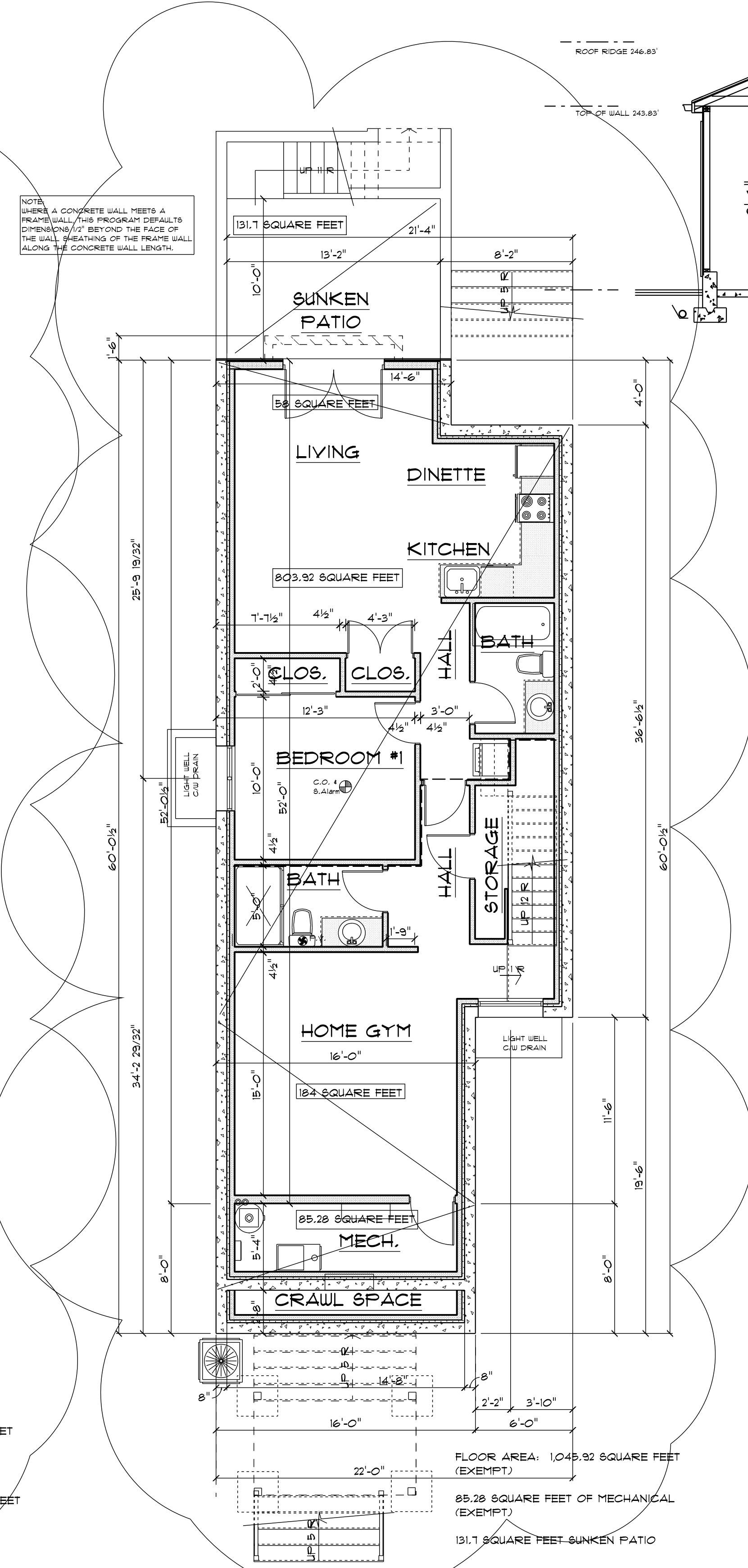
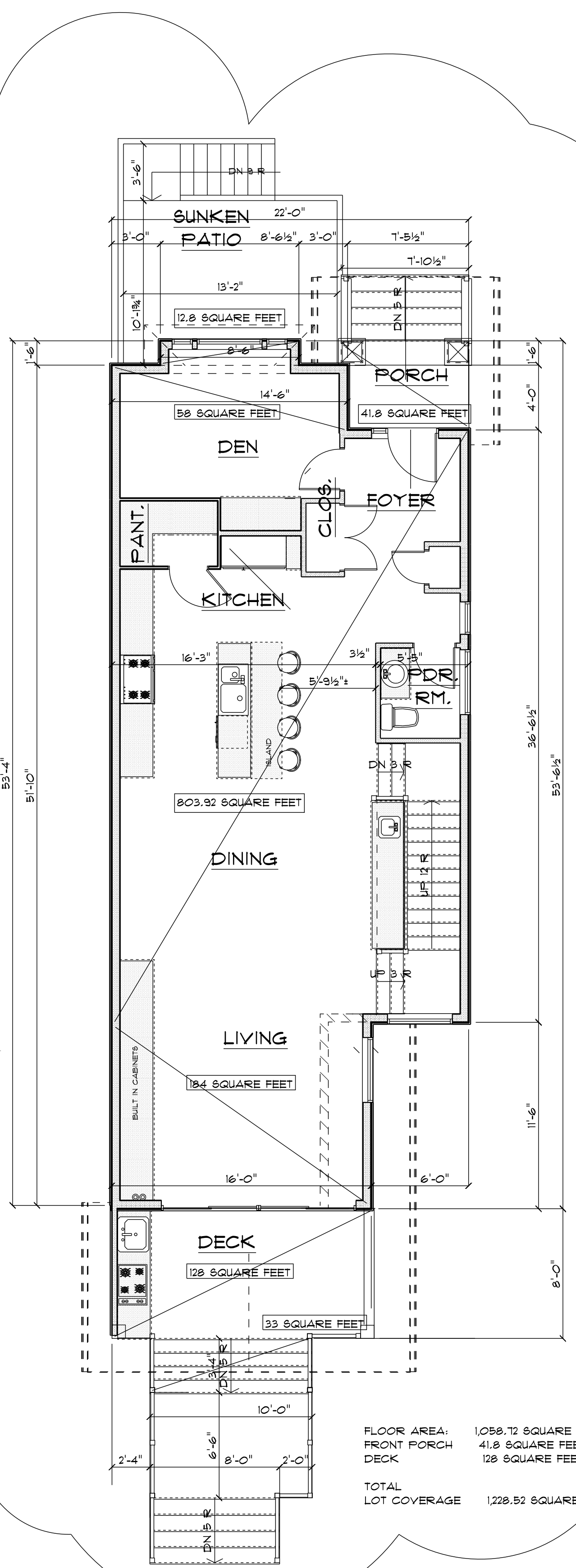
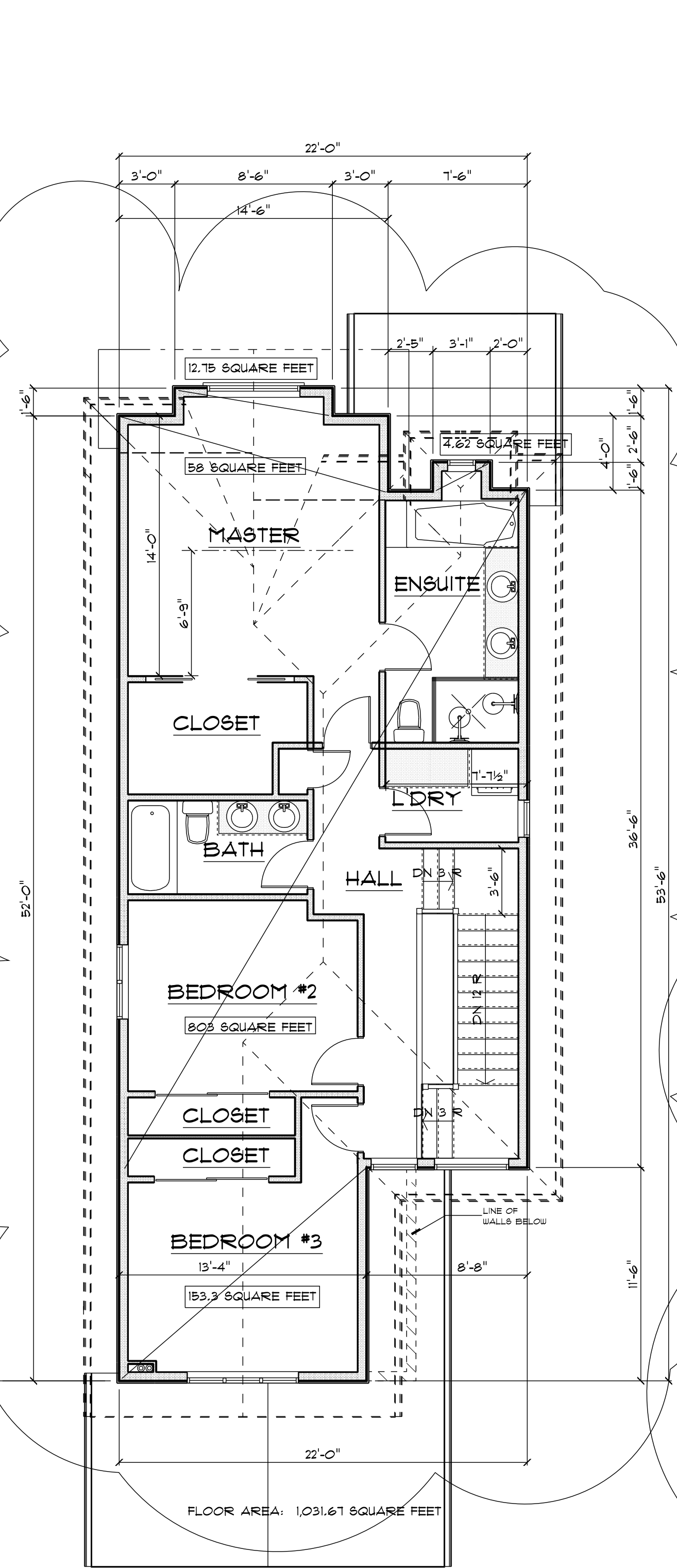
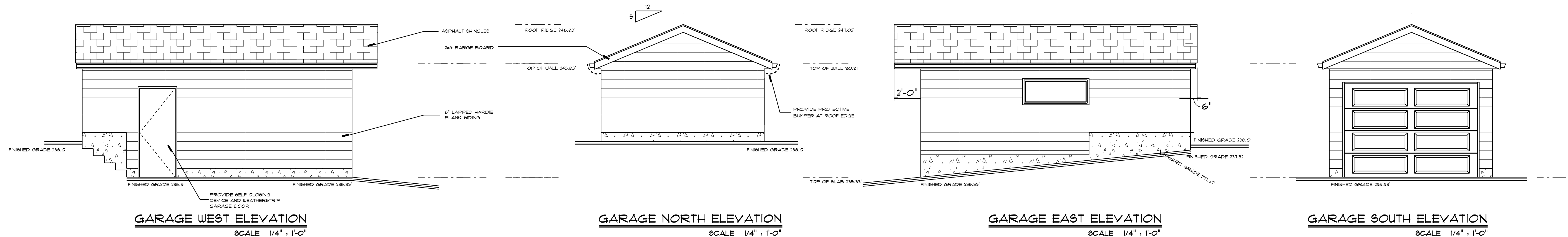
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WEST LOT
 Drawing ELEVATIONS
 Drawn By B.C. Date MARCH 2021

Scale
 Project 1/4" = 1'-0"
 STOCKHOLM REZONING
 OF 367 WEST 19th STREET
 NORTH VANCOUVER

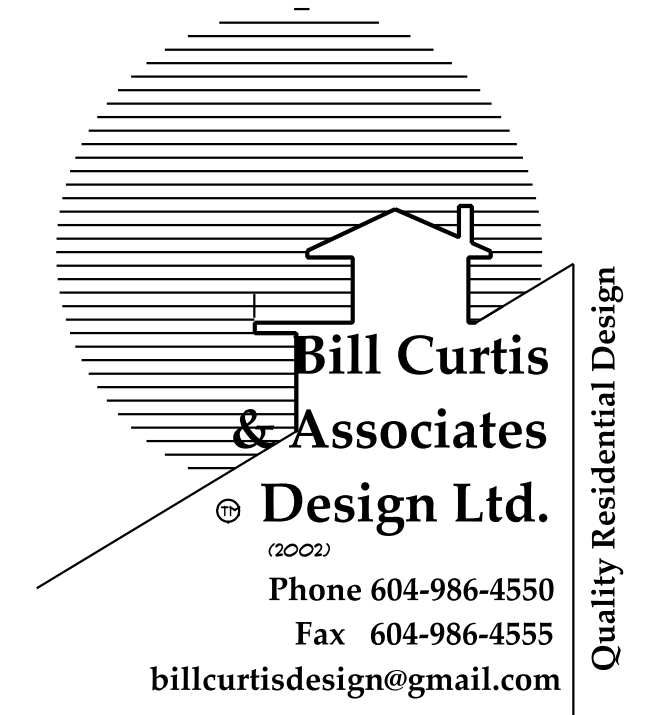


REVISIONS

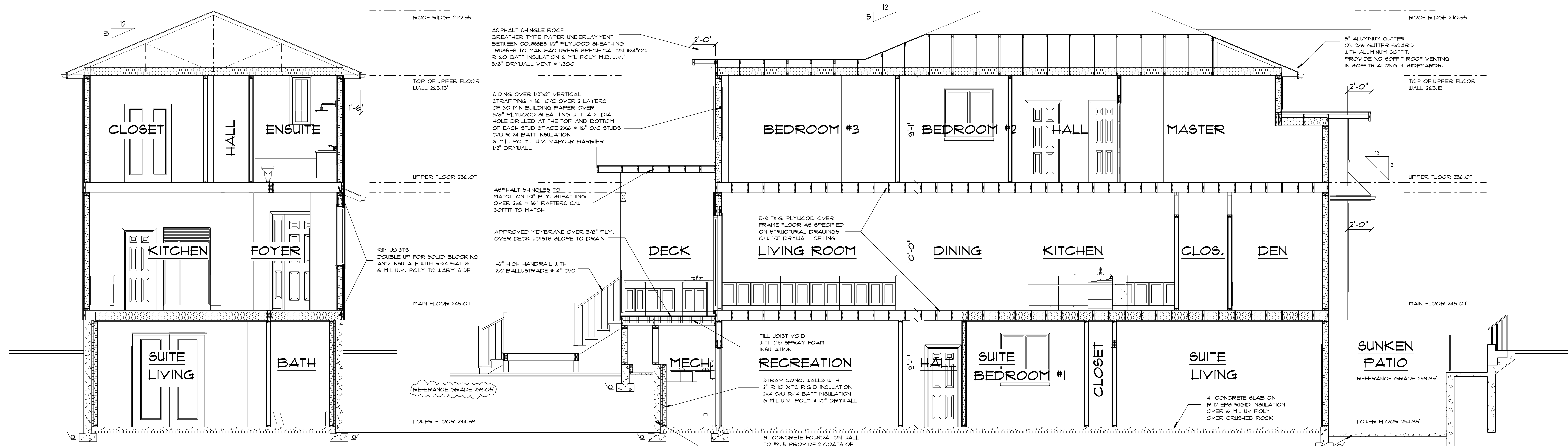
AUG. 2022 FLOOR AREA PLANS DRAWN
BICYCLE STORAGE INDICATED
ELECTRIC VEHICLE CHARGING
PROVIDED
SPRINKLER & FIRE ALARM SYSTEMS
PROVIDED

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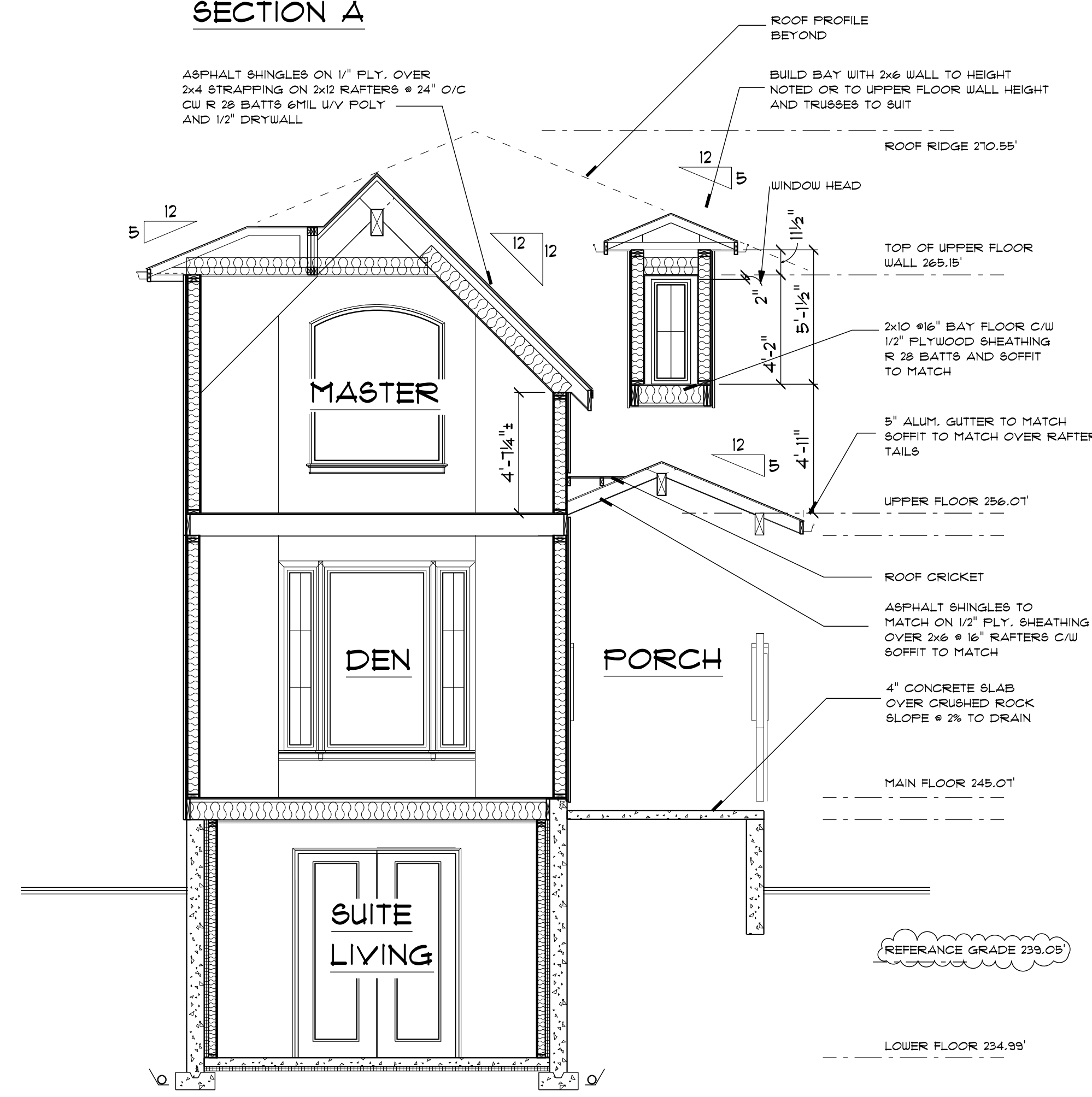
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5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6
EAST LOT GARAGE, ROOF
Drawing & FL. AREA PLANS
Drawn By B.C. Date MARCH 2021
Scale AS NOTED
Project
STOCKHOLM REZONING
OF 365 WEST 19th STREET
NORTH VANCOUVER



SECTION A

CRAWL SPACE

SECTION B



SECTION C

WINDOWS, DOORS AND SKYLIGHTS
 UBI 1.3 OR LOWER SHGC 0.25 OR HIGHER
 SKYLIGHT: UBI 2.40 OR LOWER
 DOORS: R-4.8 OR HIGHER INSULATED CORE

SPACE CONDITIONING:
 AIR SOURCE HEAT PUMP (8 HSPF AND 15 SEER)
 WITH BACK UP NATURAL GAS AIR FURNACE 95% AFUE

PROVIDE FIRE SPRINKLERS
 AND A FIRE ALARM SYSTEM

AUG. 2022 FLOOR AREA PLANS DRAWN
 BICYCLE STORAGE INDICATED
 ELECTRIC VEHICLE CHARGING
 PROVIDED
 SPRINKLER & FIRE ALARM SYSTEMS
 PROVIDED
 REFERENCE GRADE REVISED
 MAX. BLDG. HTS. ALLOWED SHOWN

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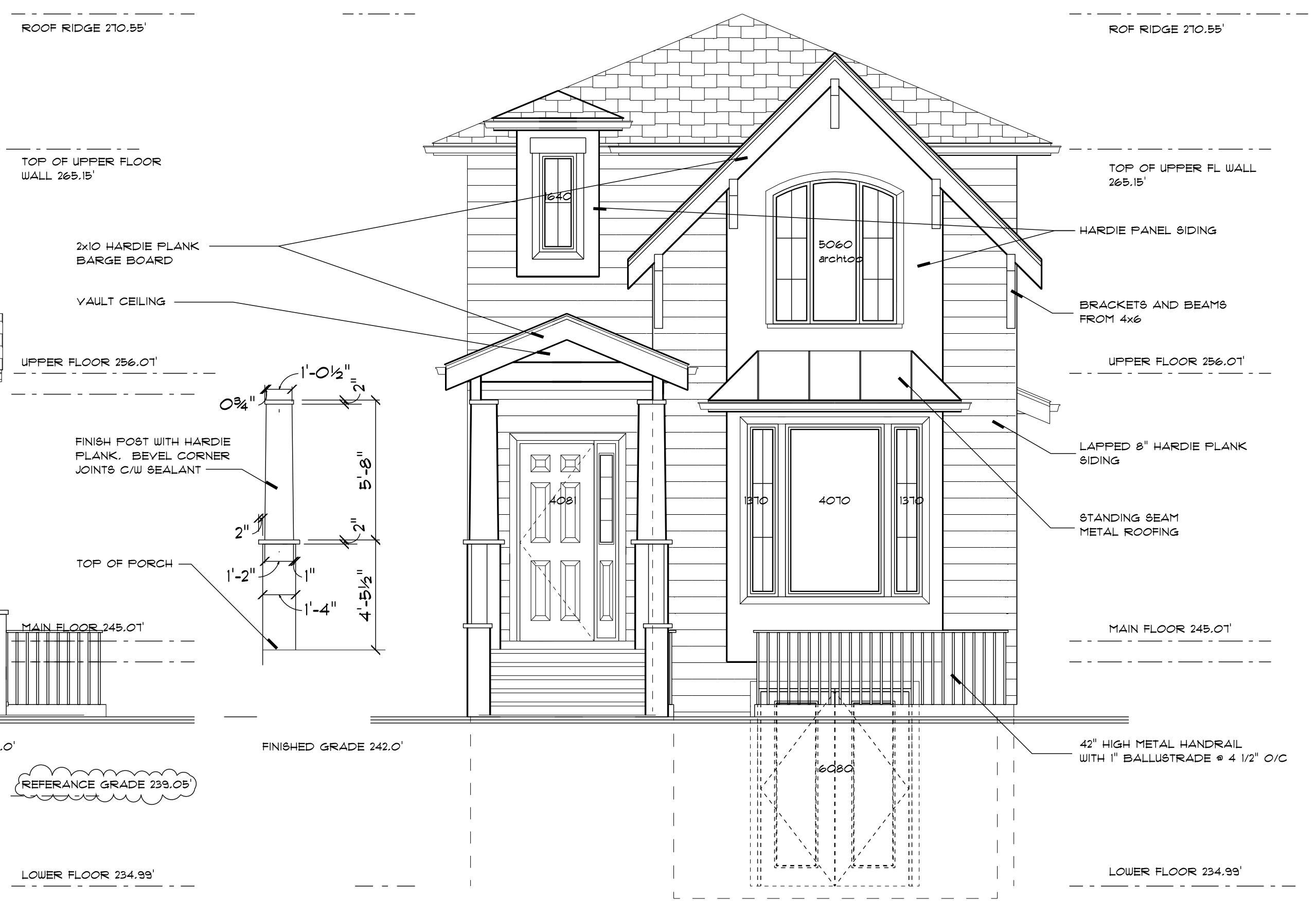
Harbourfront Business Centre
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 North Vancouver, BC V7M 3M6
EAST LOT

Drawing **SECTIONS**
 Drawn By B.C. Date MARCH 2021
 Scale 1/4" = 1'-0"
 Project
**STOCKHOLM REZONING
 OF 365 WEST 19th STREET
 NORTH VANCOUVER**



SPATIAL SERPERATION CALCULATIONS:
 1210 SQUARE FEET AT 4' LIMITING DISTANCE
 ALLOWS 84.1 x 2 = 168.4 SQUARE FEET OF UNPROTECTED
 OPENING AT 1% OF WALL AREA
 48.0 SQUARE FEET (4%) PROPOSED

EAST ELEVATION

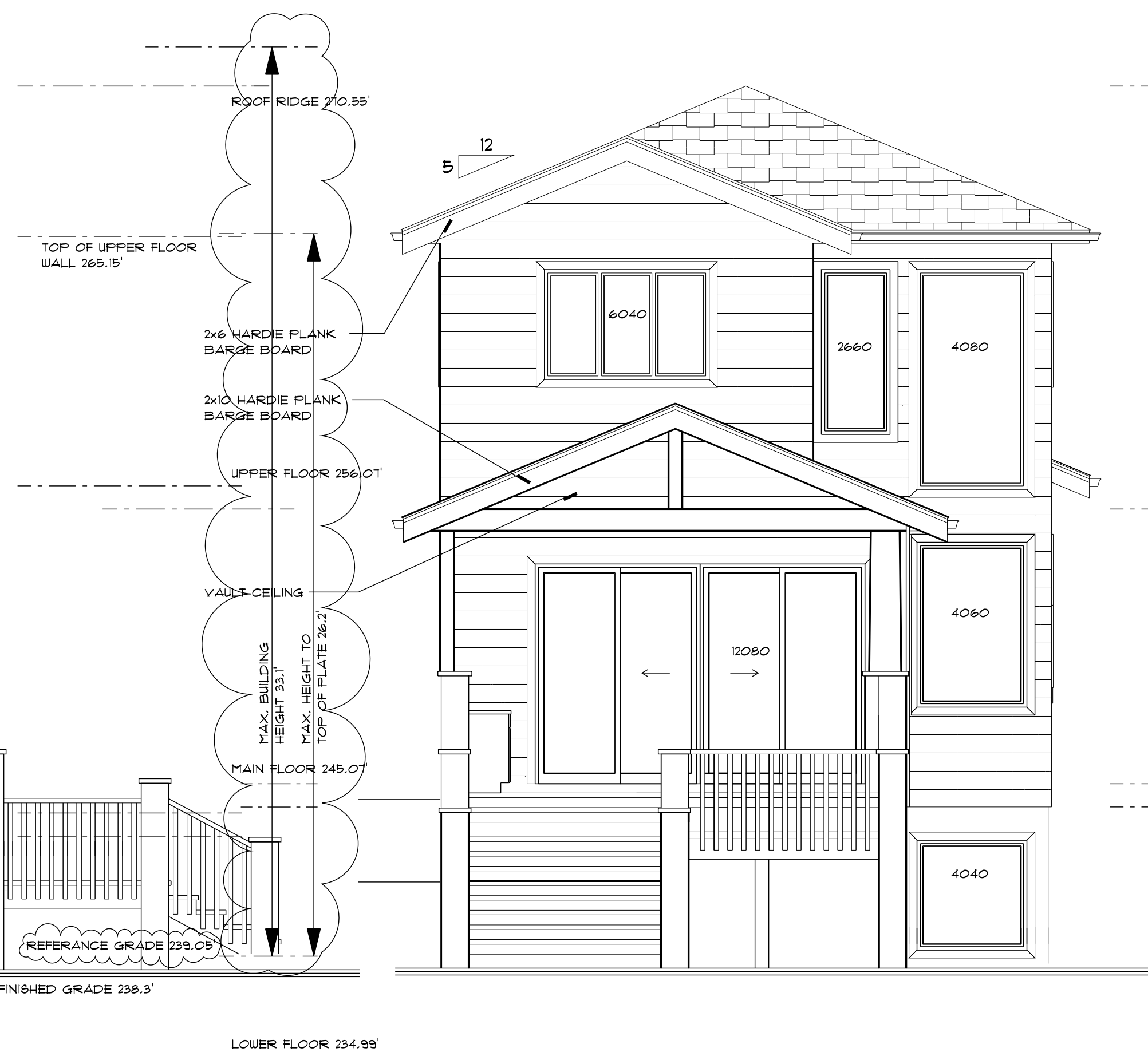


NORTH ELEVATION



SPATIAL SERPERATION CALCULATIONS:
 1234 SQUARE FEET AT 4' LIMITING DISTANCE
 ALLOWS 86.38 x 2 = 172.76 SQUARE FEET OF UNPROTECTED
 OPENING AT 1% OF WALL AREA
 24.0 SQUARE FEET (2%) PROPOSED

WEST ELEVATION



SOUTH ELEVATION

AUG. 2022 FLOOR AREA PLANS DRAIN
 BICYCLE STORAGE INDICATED
 ELECTRIC VEHICLE CHARGING
 PROVIDED
 SPRINKLERS & FIRE ALARM SYSTEMS
 PROVIDED
 REFERENCE GRADE REVISED
 MAX. BLDG. HTS. ALLOWED SHOWN.

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EAST LOT
 Drawing **ELEVATIONS**
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 Scale 1/4" = 1'-0"
 Project
**STOCKHOLM REZONING
 OF 365 WEST 19th STREET
 NORTH VANCOUVER**



EAST PROPERTY LINE

PROPERTY LINE



COMMON PROPERTY LINE

PROPERTY LINE

REVISIONS

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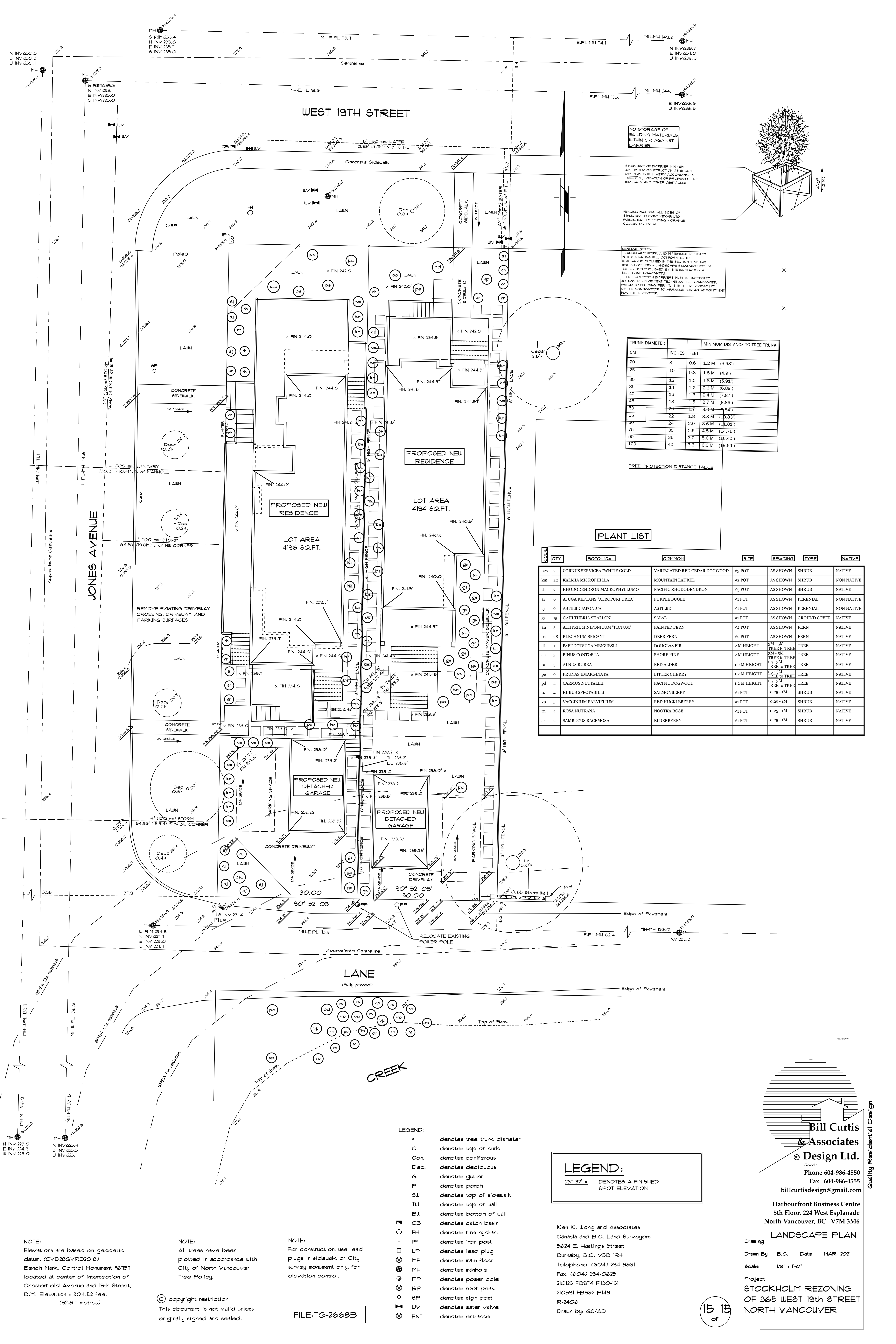
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 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3M6

REFLECTED

Drawing **WINDOWS**
 Drawn By B.C. Date MARCH 2021
 Scale 1/4" = 1'-0"

Project
**STOCKHOLM REZONING
 OF 365 WEST 19th STREET
 NORTH VANCOUVER**

Quality Residential Design



NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST BARRIER

STRUCTURE OF BARRIER MINIMUM 24" THICK CONSTRUCTION AS SHOWN DIMENSIONS WILL VARY ACCORDING TO TREE SIZE LOCATION OF PROPERTY LINE SIDEWALK AND OTHER OBSTACLES

GENERAL NOTES:
 1. LANDSCAPE WORK AND MATERIALS DEPICTED IN THIS DRAWING WILL CONFORM TO THE STANDARDS OUTLINED IN THE SECTION 3 OF THE BRITISH COLUMBIA LANDSCAPE STANDARD (BCLSL) 1997 EDITION PUBLISHED BY THE BCNTA/BCSLA TELEPHONE 604-674-7172.
 2. THE PROTECTION BARRIERS MUST BE INSPECTED BY CIVIL DEVELOPMENT TECHNICIAN (TEL: 604-674-7193) PRIOR TO BUILDING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR AN APPOINTMENT FOR THE INSPECTOR.

TRUNK DIAMETER	INCHES	FEET	MINIMUM DISTANCE TO TREE TRUNK
20	8	0.6	1.2 M (3.93')
25	10	0.8	1.5 M (4.9')
30	12	1.0	1.8 M (5.91')
35	14	1.2	2.1 M (6.89')
40	16	1.3	2.4 M (7.87')
45	18	1.5	2.7 M (8.86')
50	20	1.7	3.0 M (9.84')
55	22	1.8	3.3 M (10.83')
60	24	2.0	3.6 M (11.81')
75	30	2.5	4.5 M (14.76')
90	36	3.0	5.0 M (16.40')
100	40	3.3	6.0 M (19.69')

TREE PROTECTION DISTANCE TABLE

PLANT LIST

CODE	QTY.	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
csw	2	CORNUS SERVICEA "WHITE GOLD"	VARIEGATED RED CEDAR DOGWOOD	#3 POT	AS SHOWN	SHRUB	NATIVE
km	22	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
rh	7	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
ar	6	AJUGA REPTANS "ATROPURPUREA"	PURPLE BUGLE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
aj	9	ASTILBE JAPONICA	ASTILBE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
gs	15	GAULTHERIA SHALLOON	SALAL	#1 POT	AS SHOWN	GROUND COVER	NATIVE
an	5	ATHYRIUM NIPPONICUM "PICTUM"	PAINTED FERN	#2 POT	AS SHOWN	FERN	NATIVE
bs	28	BLECHNUM SPICANT	DEER FERN	#2 POT	AS SHOWN	FERN	NATIVE
df	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2 M HEIGHT	3M - 5M TREE TO TREE	TREE	NATIVE
sp	3	PINUS CONTORTA	SHORE PINE	2 M HEIGHT	3M - 5M TREE TO TREE	TREE	NATIVE
ra	3	ALNUS RUBRA	RED ALDER	1.2 M HEIGHT	1.5 - 3M TREE TO TREE	TREE	NATIVE
pc	9	PRUNUS EMARGINATA	BITTER CHERRY	1.2 M HEIGHT	1.5 - 3M TREE TO TREE	TREE	NATIVE
pd	4	CARMUS NUTTALLII	PACIFIC DOGWOOD	1.2 M HEIGHT	1.5 - 3M TREE TO TREE	TREE	NATIVE
rs	4	RUBUS SPECTABILIS	SALMONBERRY	#1 POT	0.25 - 1M	SHRUB	NATIVE
yp	5	VACCINIUM PARVIFOLIUM	RED HUCKLEBERRY	#1 POT	0.25 - 1M	SHRUB	NATIVE
rn	4	ROSA NUTKANA	NOOTKA ROSE	#1 POT	0.25 - 1M	SHRUB	NATIVE
sr	2	SAMBUCUS RACEMOSA	ELDERBERRY	#1 POT	0.25 - 1M	SHRUB	NATIVE

- LEGEND:
- ⊕ denotes tree trunk diameter
 - C denotes top of curb
 - Con. denotes coniferous
 - Dec. denotes deciduous
 - G denotes gutter
 - P denotes porch
 - SW denotes top of sidewalk
 - TW denotes top of wall
 - BW denotes bottom of wall
 - CB denotes catch basin
 - FH denotes fire hydrant
 - IP denotes iron post
 - LP denotes lead plug
 - MF denotes main floor
 - MH denotes manhole
 - PP denotes power pole
 - RP denotes roof peak
 - SP denotes sign post
 - WV denotes water valve
 - ENT denotes entrance

LEGEND:
 237.32' x DENOTES A FINISHED SPOT ELEVATION

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LANDSCAPE PLAN
 Drawn By B.C. Date MAR. 2021
 Scale 1/8" = 1'-0"
 Project STOCKHOLM REZONING OF 365 WEST 19TH STREET NORTH VANCOUVER

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 Drawn by: GS/AD

NOTE:
 Elevations are based on geodetic datum. (CVD28GVRD2018)
 Bench Mark: Control Monument #6151 located at center of intersection of Chesterfield Avenue and 19th Street, B.M. Elevation = 304.52 feet (92.817 metres)

NOTE:
 All trees have been plotted in accordance with City of North Vancouver Tree Policy.

NOTE:
 For construction, use lead plugs in sidewalk or City survey monument only, for elevation control.

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