

365 E 22nd Street

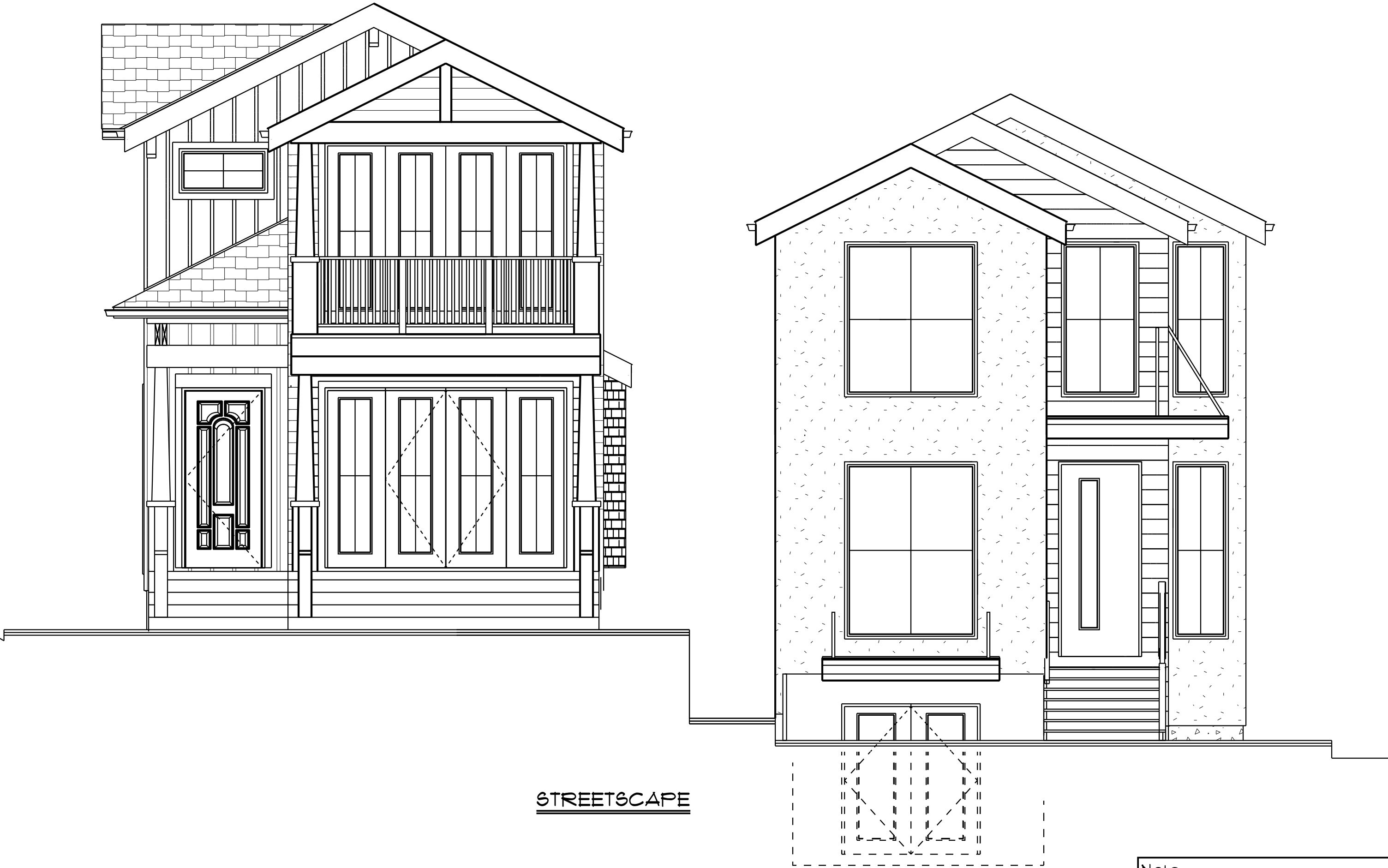
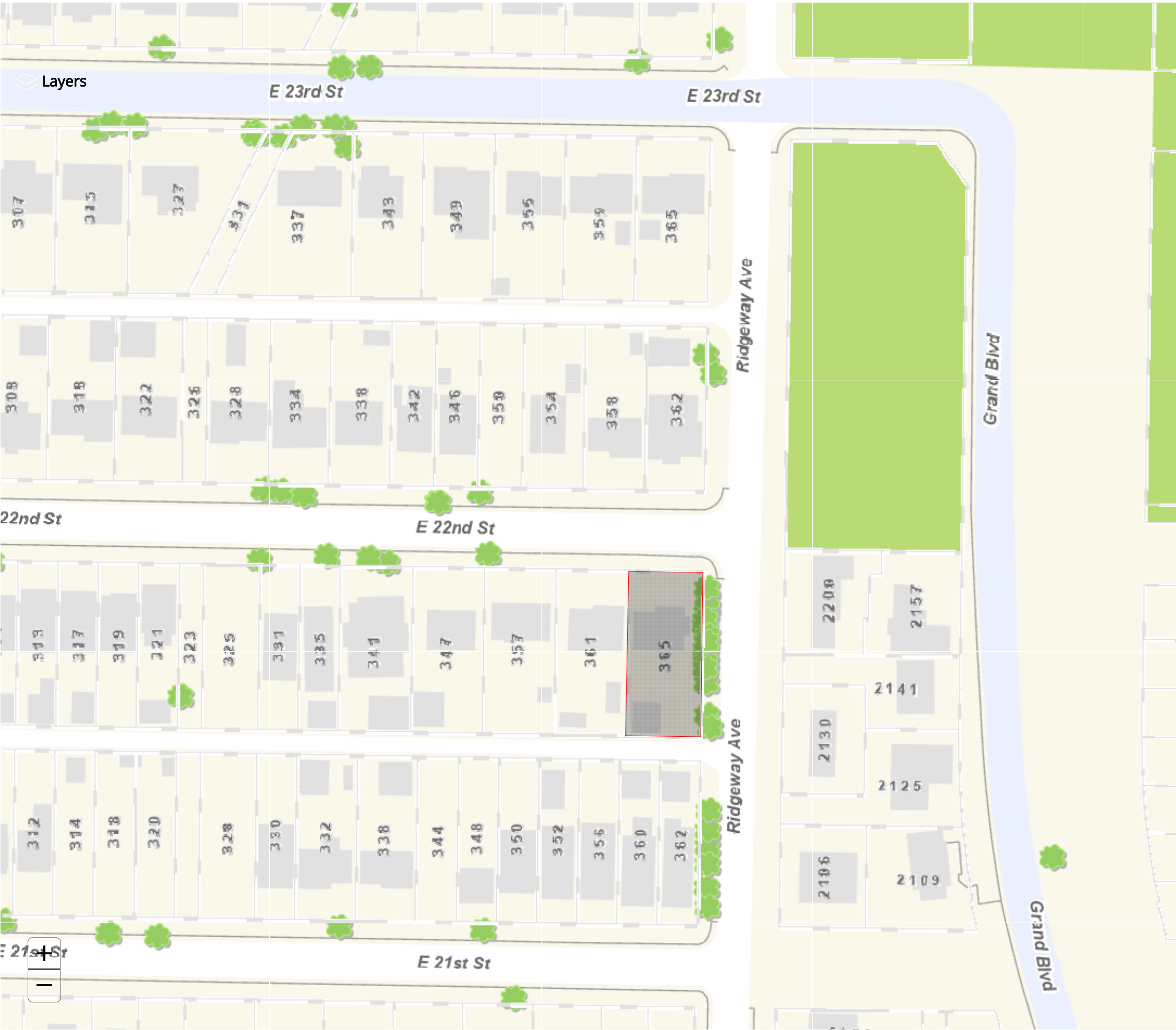
365 East 22nd Street



06/27/2022

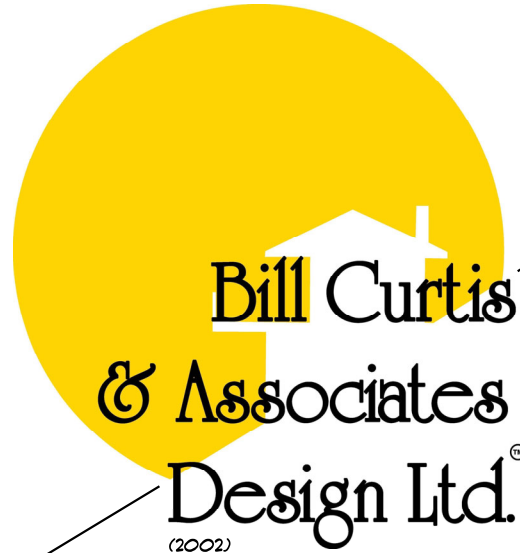
5/10/23, 2:01 PM

CityMap



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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

CONTEXT

Drawing
Drawn By B.C. Date FEB. 2023

Scale 1/4" : 1'-0"

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER



365 East 22nd Street



Looking West along
East 22nd Street
at Ridgeway Avenue



North Side of East 22nd Street



365 East 22nd Street
seen from Ridgeway Ave.



East Side of Ridgeway Ave.



East Side of Ridgeway Ave.



East Side of Ridgeway Ave.



South side of the Lane behind
365 East 22nd Street



Looking West along the Lane
behind 365 East 22nd Street



365 East 22nd Street
seen from the Lane

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CONTEXT
PICTURES

Drawing
Drawn By B.C. Date FEB. 2023

Scale
Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

WEST LOT
SITE DEVELOPMENT DATA

EXISTING ZONE : R51
PROPOSED ZONING: R52

LOT AREA : 3,917.5 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,175.25 SQUARE FEET (30%)
PROPOSED : 1,175 SQUARE FEET (30%)

FLOOR SPACE RATIO :

PERMITTED : 1,958.75 SQUARE FEET (50%)
PROPOSED : 1,958.0 SQUARE FEET (50%)

GARAGE:
AREA ALLOWED : SQUARE FEET
AREA PROPOSED : SQUARE FEET

PARKING:
REQUIRED : 2 STALLS
PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....454.2'
TOP OF UPPER FL. WALL.....447.8'
UPPER FLOOR.....438.79'
MAIN FLOOR.....427.79'
LOWER FLOOR.....418.71'

REFERENCE GRADE421.61'

GARAGE:

ROOF RIDGE.....429.8'
TOP OF WALL.....425.15'
TOP OF SLAB.....416.65'
TOP OF SLAB.....415.95'

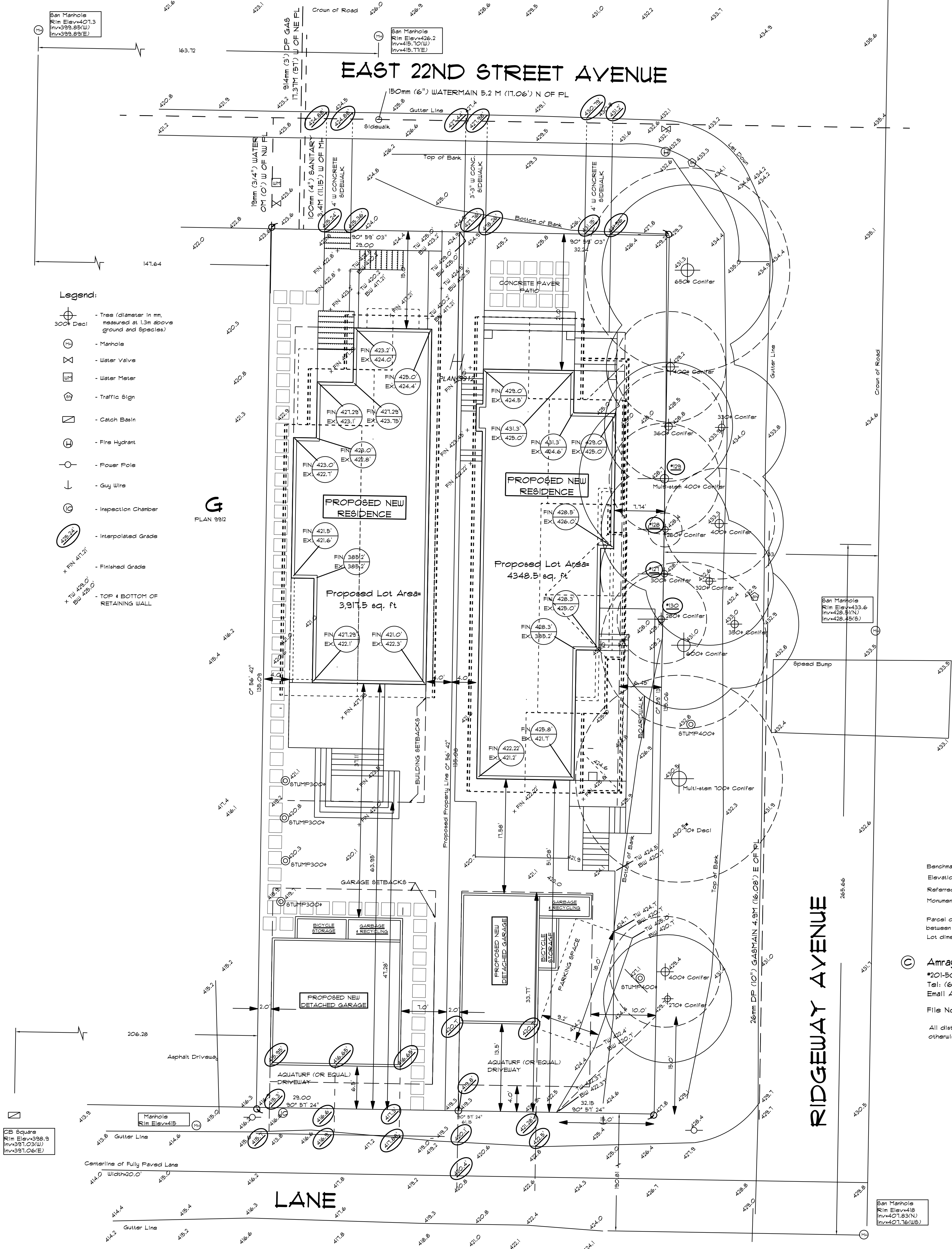
AVERAGE LANE EL.....417.8'

CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS, AND ENVIRONMENT AT 604-983-1333 PRIOR TO POURING ANY SLABS ASSOCIATED WITH VEHICLE OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTOR'S SURVEYOR MUST PROVIDE THE CITY WITH AS BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE.

ALL WARFING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

BLACKTOP TO PROPERTY LINE AT DEVELOPER'S COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS



LEGAL DESCRIPTION:
LOT H BLOCK 209 DISTRICT LOT 546
GROUP 1 NWD PLAN 9912
PID: O10-221-379

EAST LOT
SITE DEVELOPMENT DATA

EXISTING ZONE : R51
PROPOSED ZONING: R52

LOT AREA : 4,348.5 SQUARE FEET

SITE COVERAGE :

PERMITTED : 1,304.55 SQUARE FEET (30%)
PROPOSED : 1,303.2 SQUARE FEET (30%)

FLOOR SPACE RATIO :

PERMITTED : 2,304.55 SQUARE FEET (30% + 1,000)
PROPOSED : 2,202.54 SQUARE FEET (28% + 1,000)

GARAGE:
AREA ALLOWED : 434.8 SQUARE FEET
AREA PROPOSED : 240 SQUARE FEET

PARKING:
REQUIRED : 2 STALLS
PROVIDED : 2 STALLS

ELEVATIONS:

ROOF RIDGE.....457.84'
TOP OF UPPER FL. WALL.....451.88'
UPPER FLOOR.....442.8'
MAIN FLOOR.....431.8'
LOWER FLOOR.....422.72'

REFERENCE GRADE425.68'

GARAGE:

ROOF RIDGE.....432.6'
TOP OF WALL.....429.2'
TOP OF SLAB.....420.7'

AVERAGE LANE EL.....423.55'

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Benchmark Notes:
Elevations Are Geodetic (CVD28GVRD2018)
Referred To Monument 13H1034
Monument Elevation: 431.47(133.340m)

Parcel dimensions and grid bearing are derived from observation between geodetic control monuments 13H1034 and 87H3666. Lot dimensions are based on field survey.

Amray Land Surveying Ltd. 2022
#201-5010 Smith Avenue, Burnaby, BC, V5G 2W5
Tel: (604)620-5239
Email Address: raymond@amraysurveying.com
File No. NV2800-TOPO

All distances and elevation are in feet and decimals thereof unless otherwise stated.

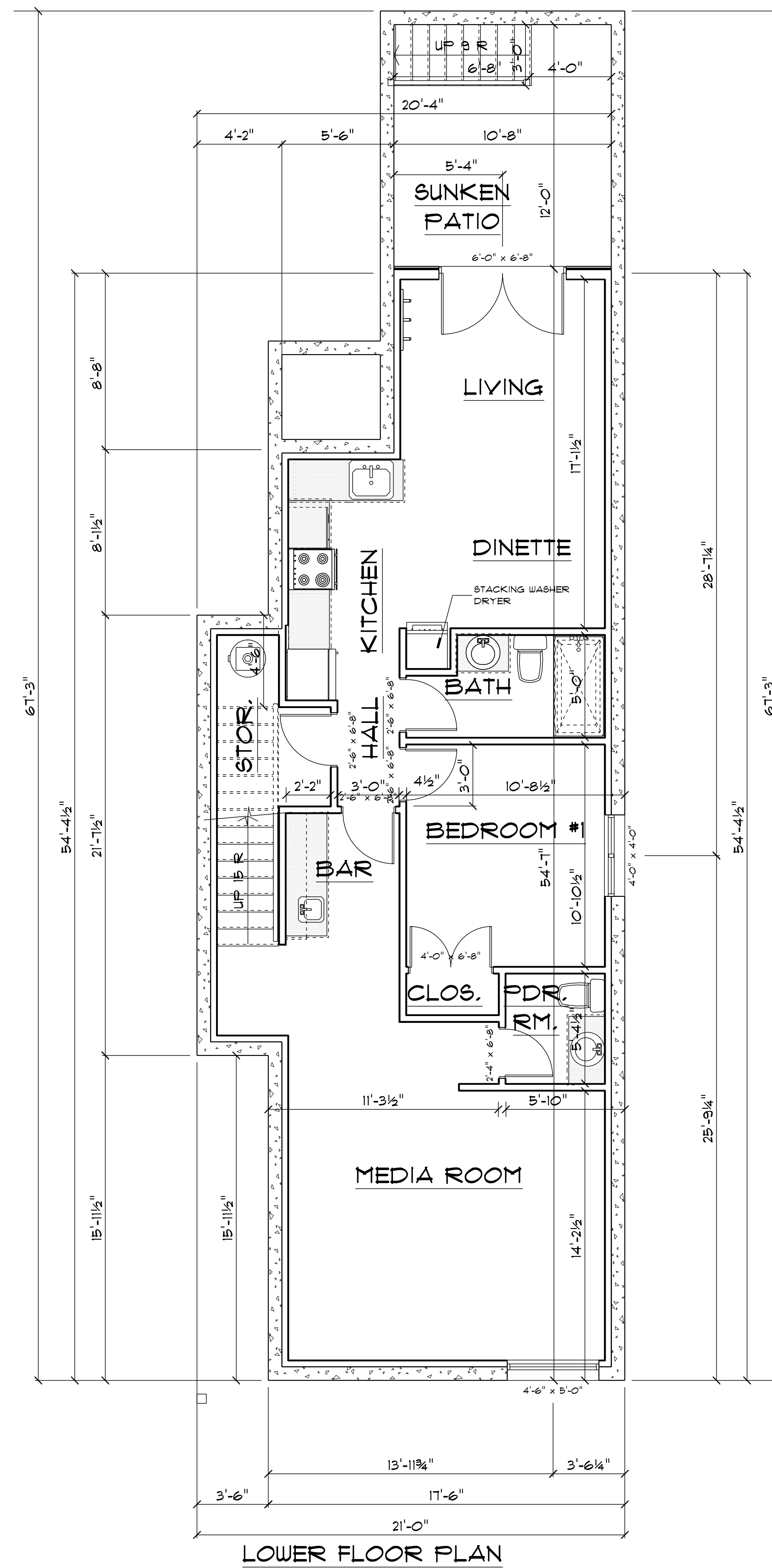
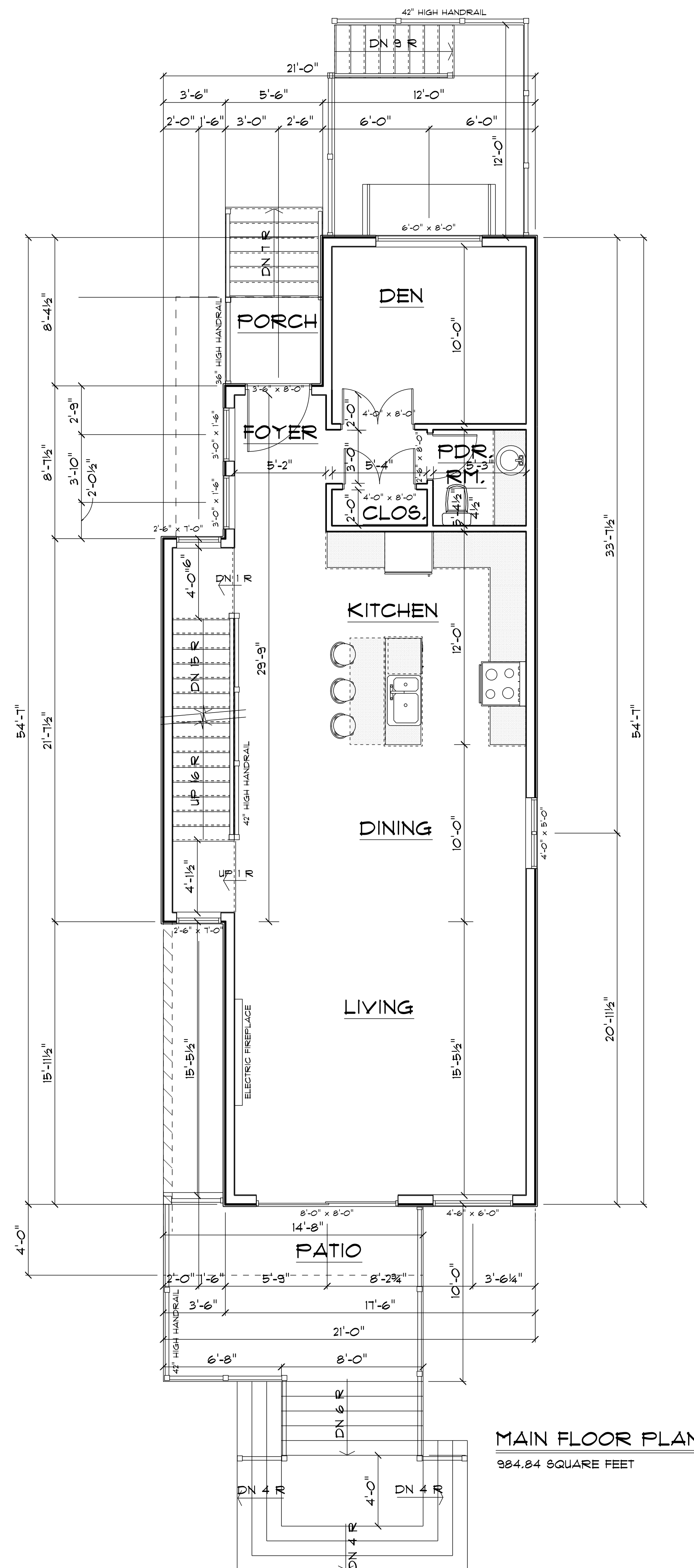
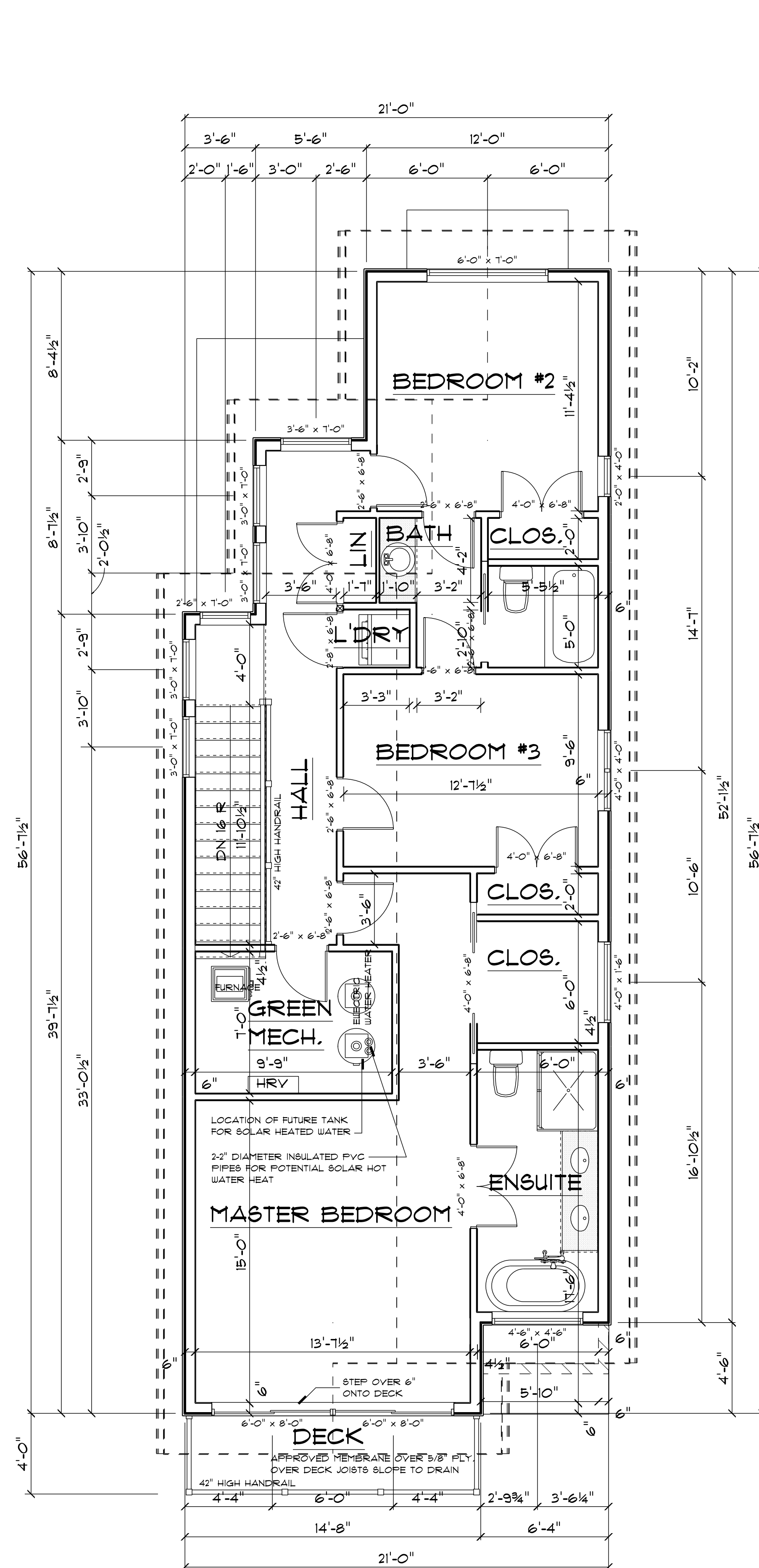
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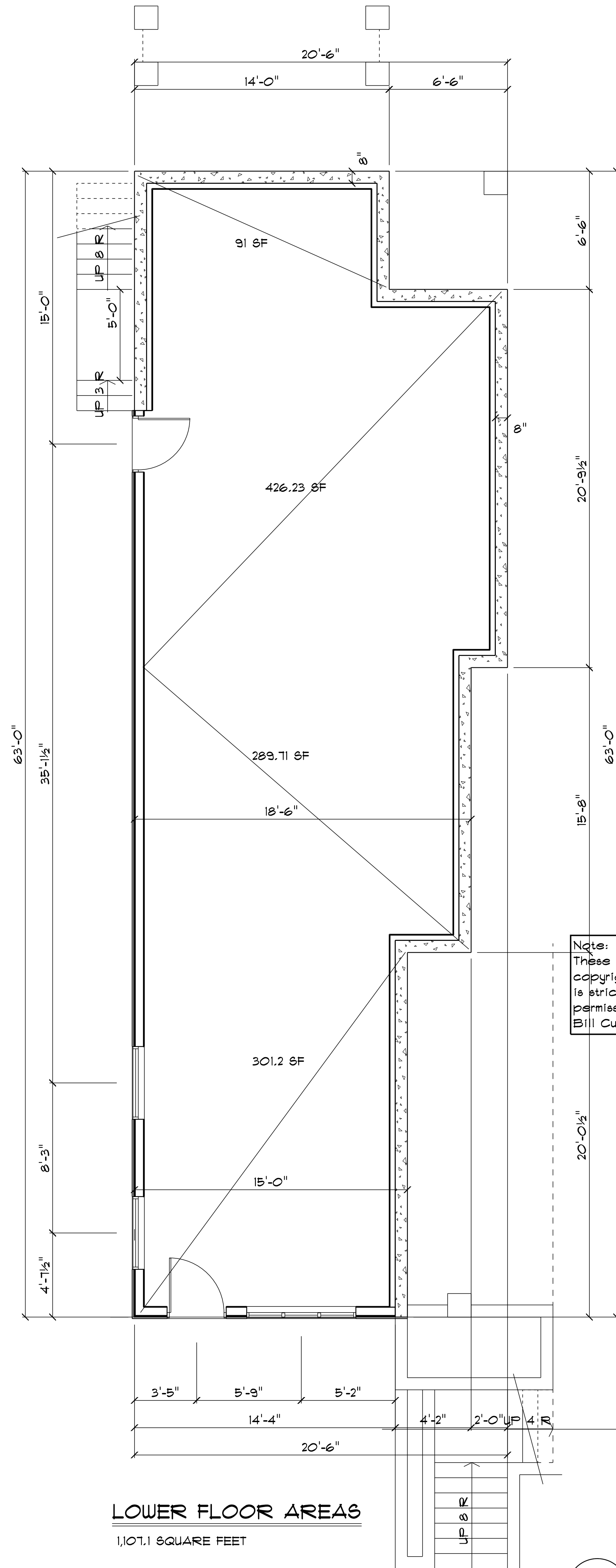
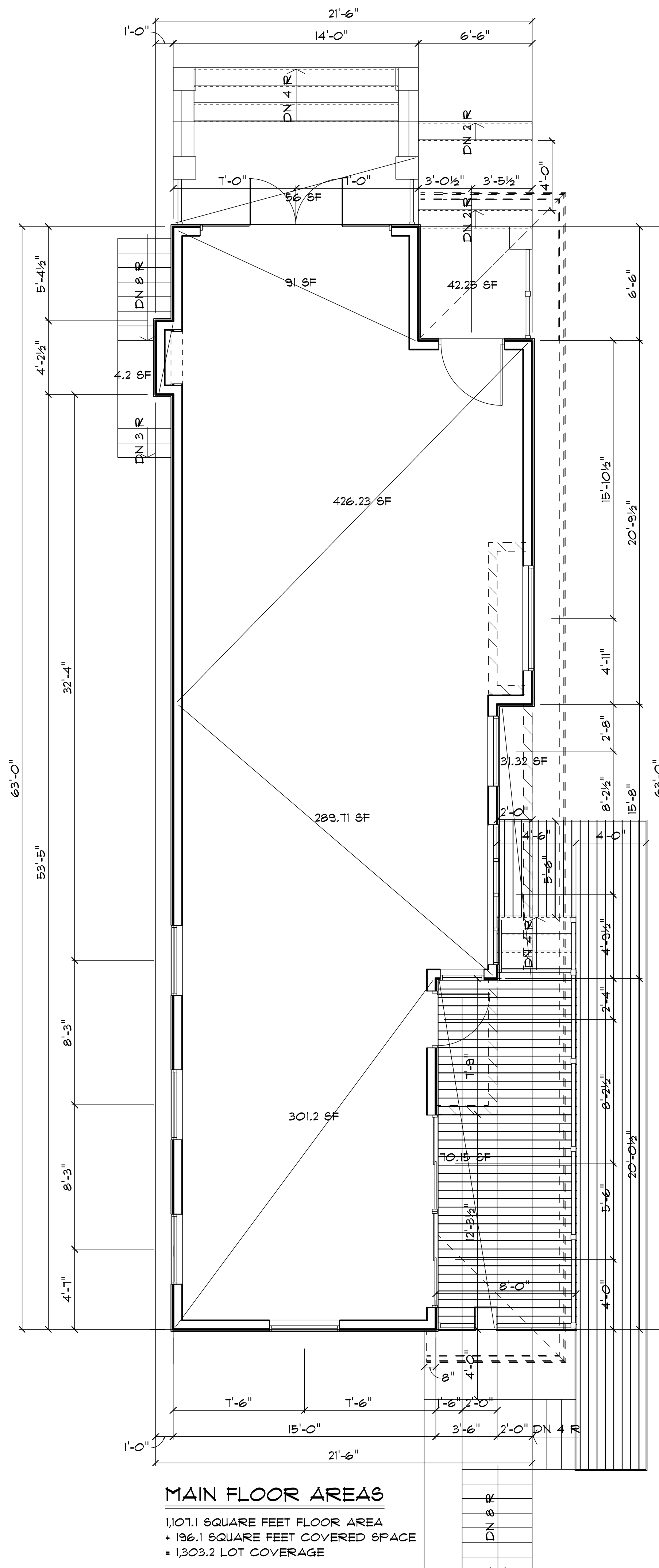
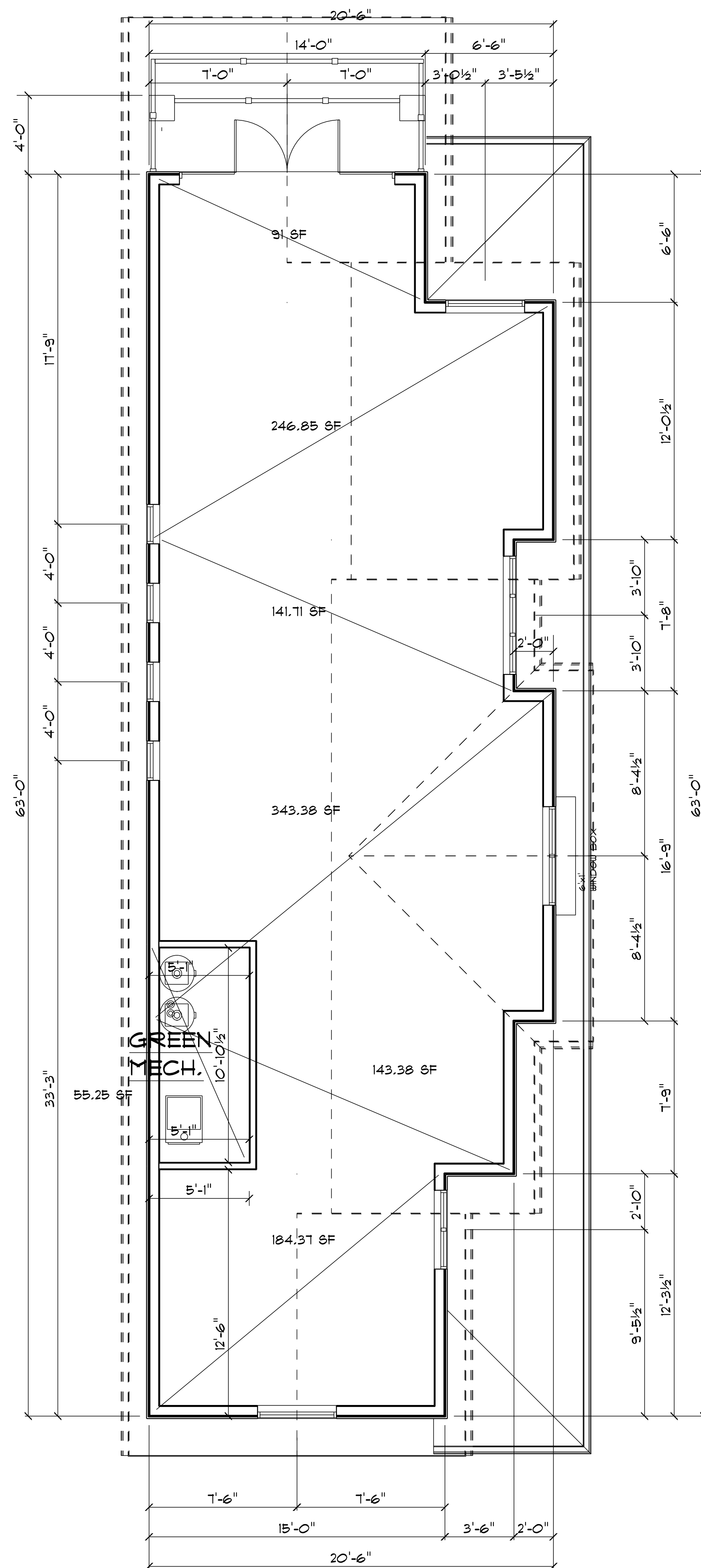
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North Vancouver, BC V7M 3M6

Drawing SITE PLAN
Drawn By B.C. Date FEB. 2023
Scale 1/8" = 1'-0"
Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

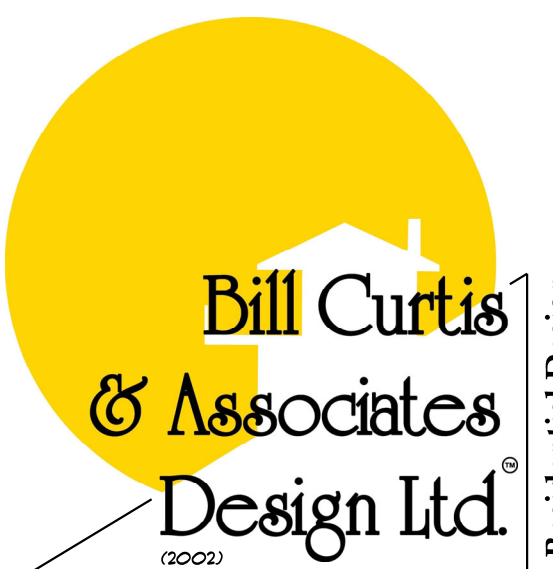
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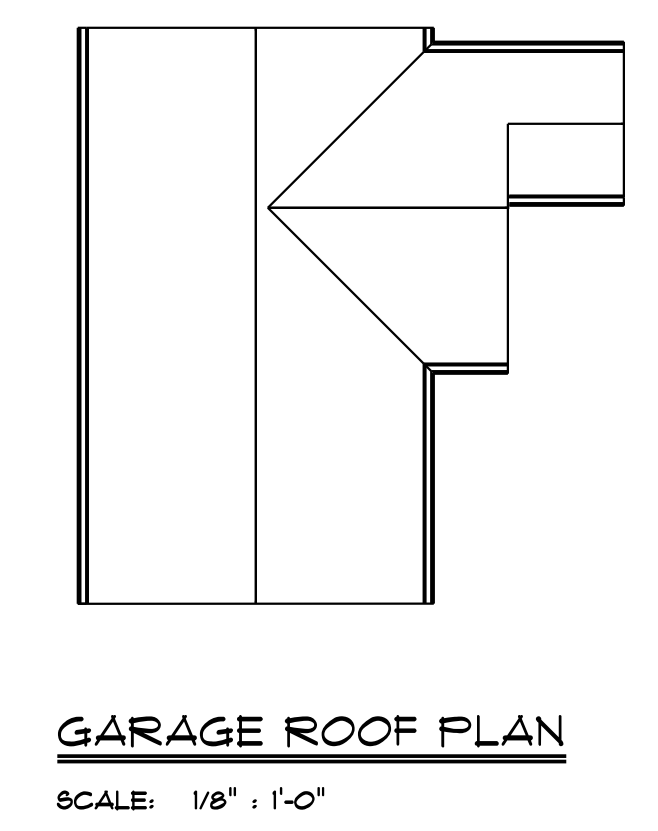
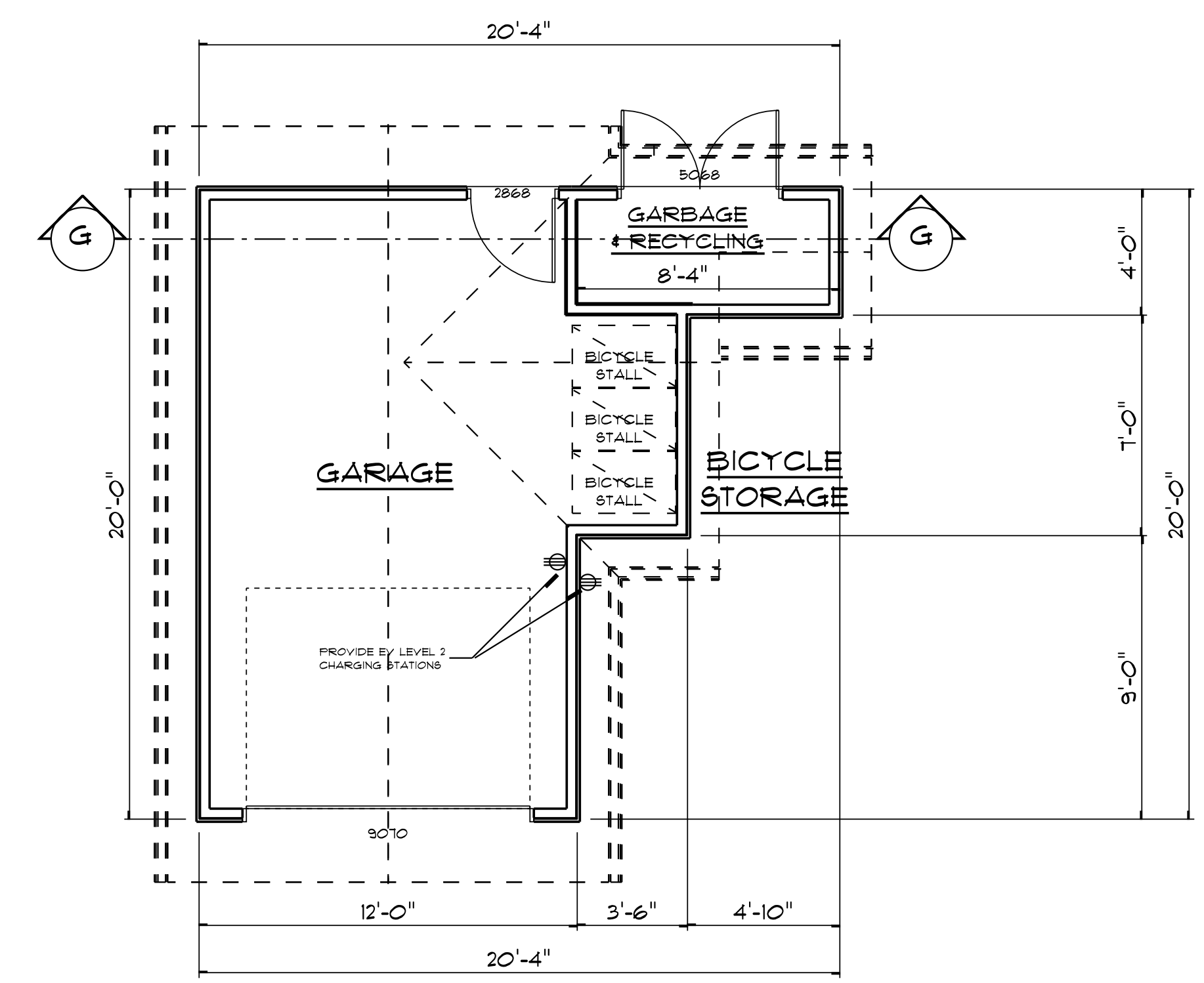
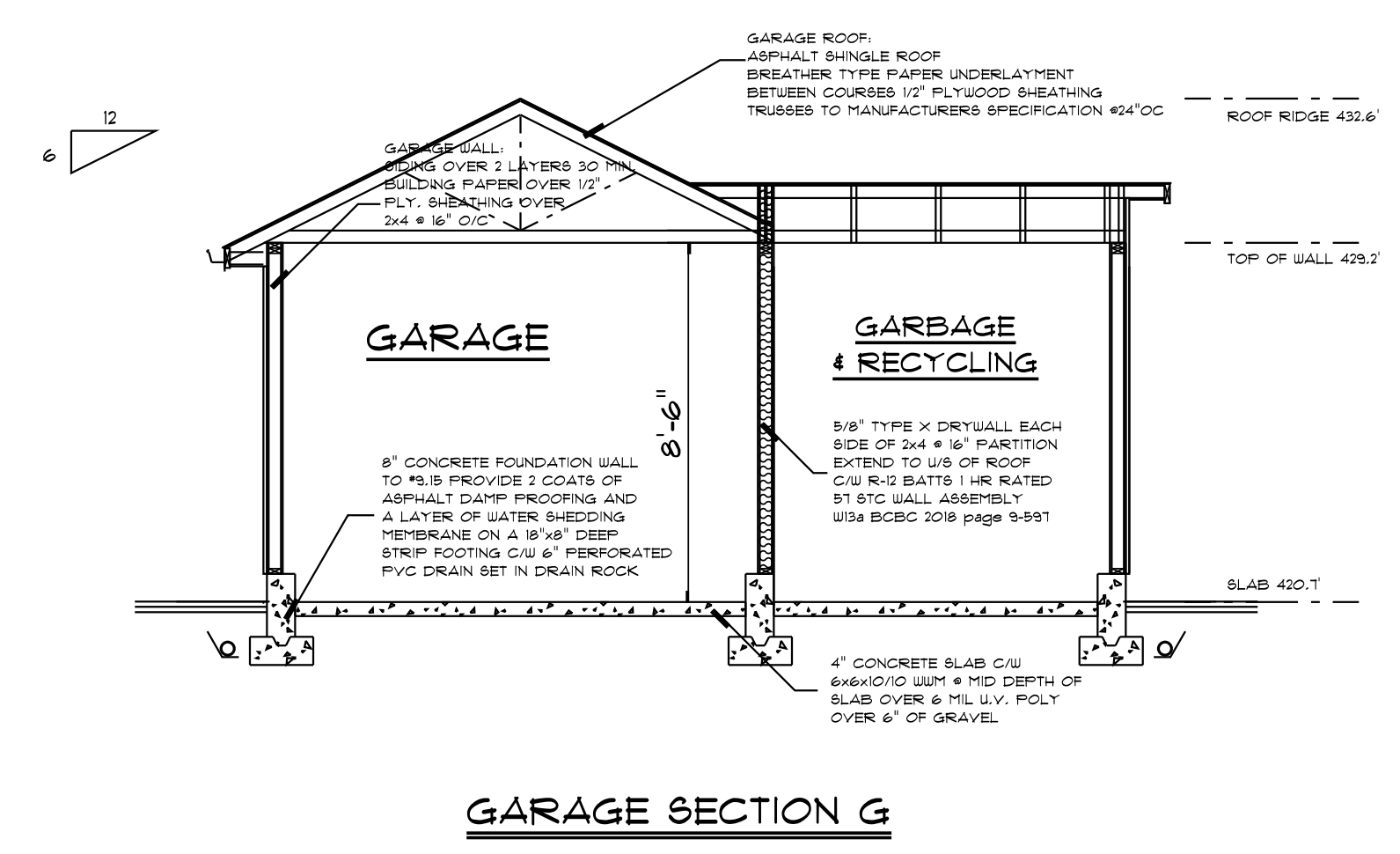
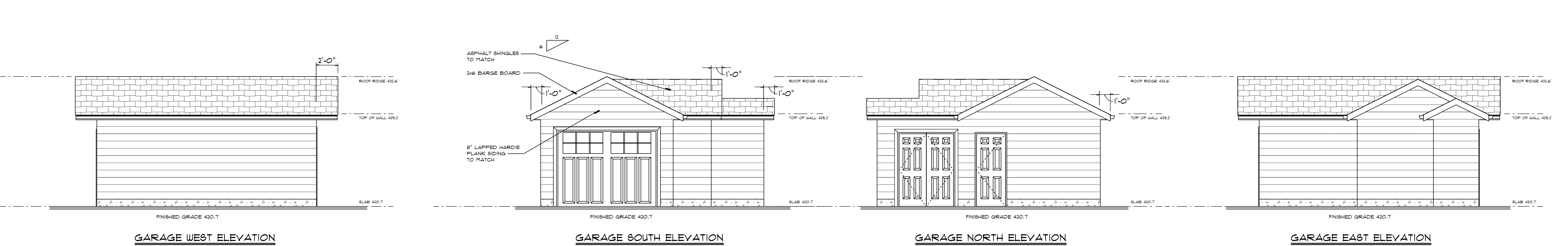


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EAST LOT

Drawing **FLOOR AREAS**
 Drawn By **B.C. Date FEB. 2023**
 Scale **1/4" = 1'-0"**
 Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER



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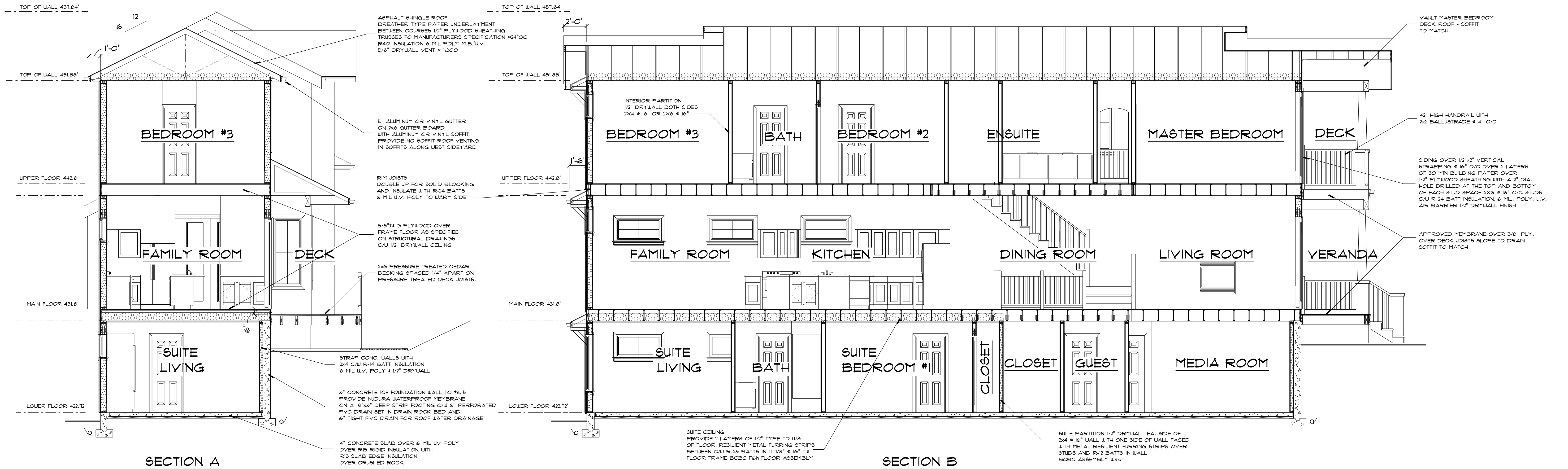
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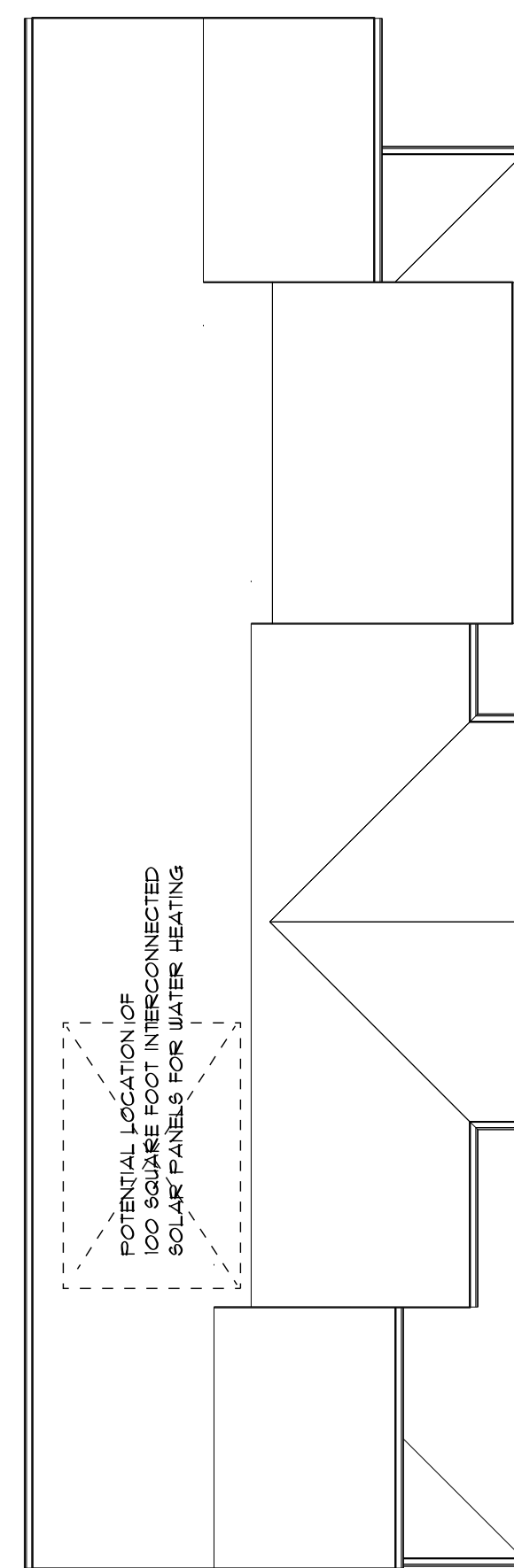
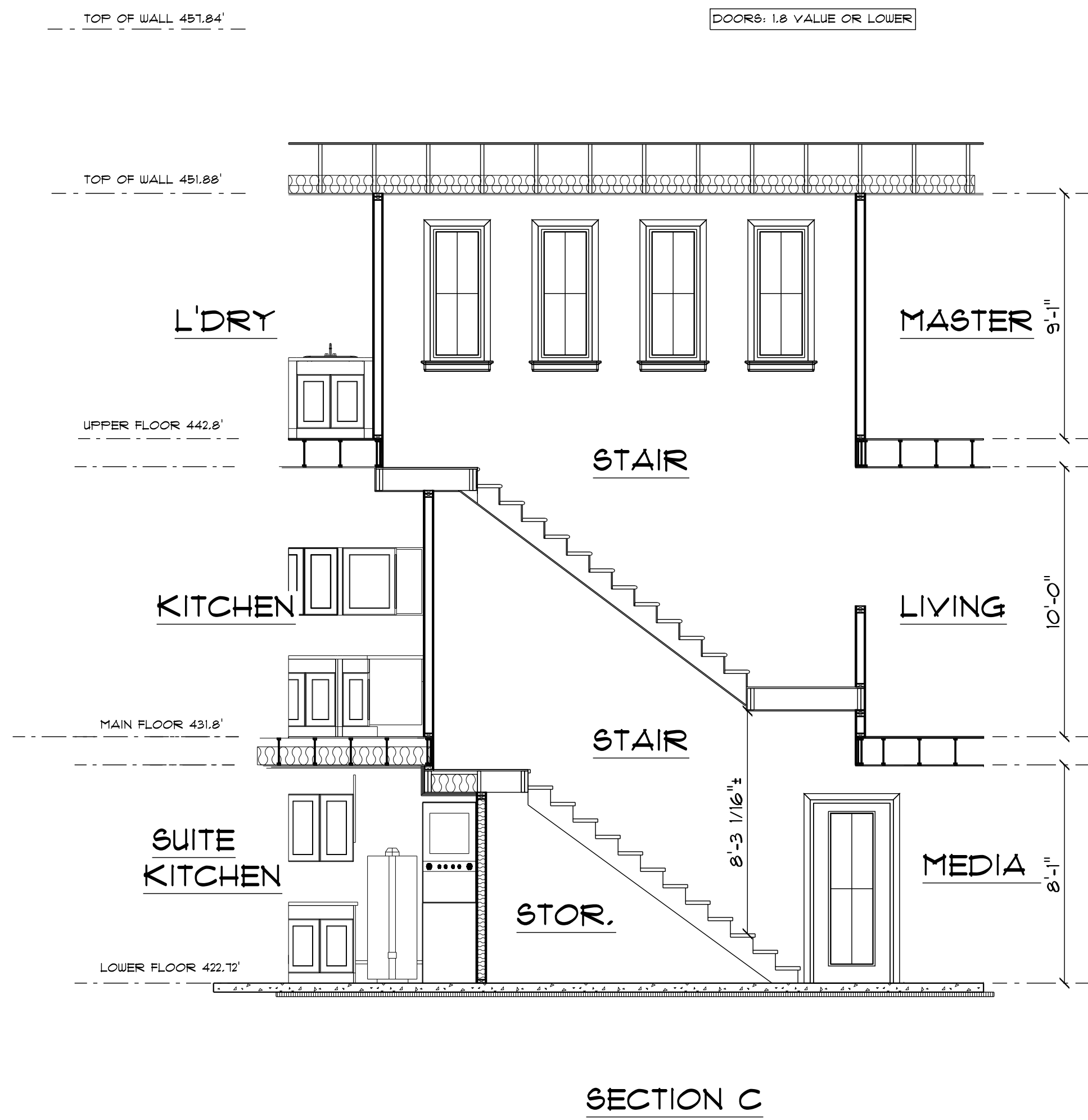
EAST LOT
GARAGE PLANS
Drawing
Drawn By B.C. Date FEB. 2023
Scale 1/4" = 1'-0" OR
AS NOTED
Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

616
of



WINDOWS: 1.22 U VALUE OR LOWER AND 0.15 SHGC OR HIGHER

DOORS: 1.8 VALUE OR LOWER



ROOF PLAN

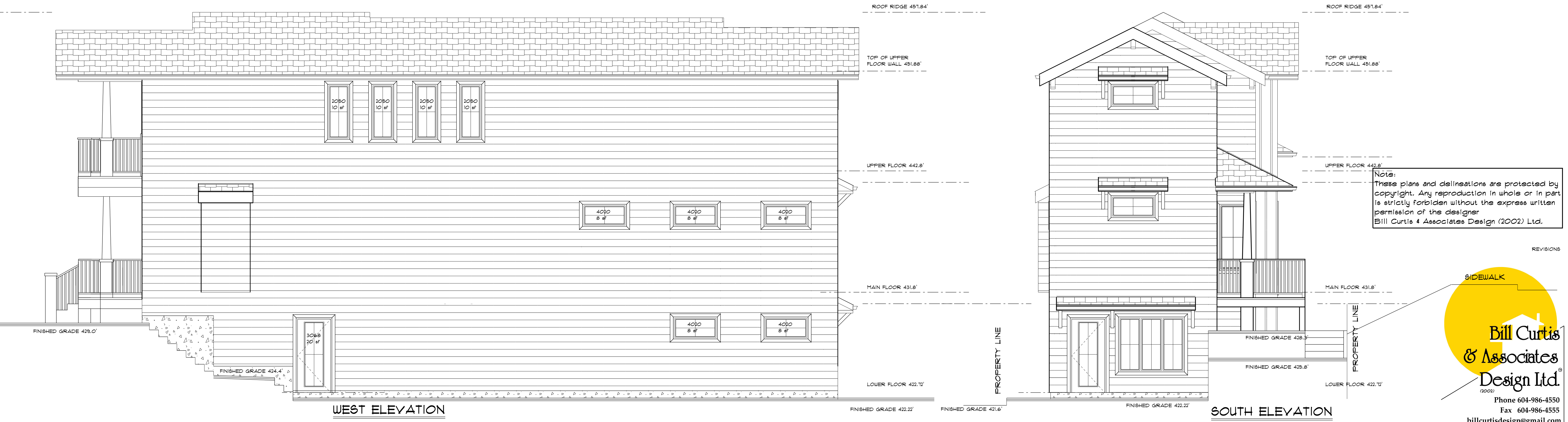
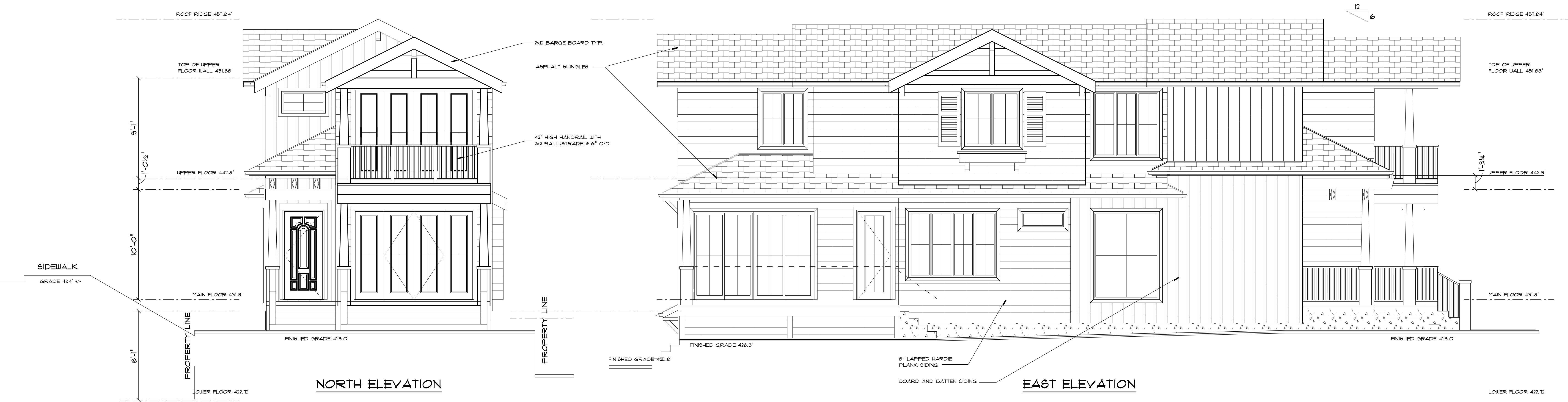
SCALE: 1/8" = 1'-0"

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Harbourfront Business Centre
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North Vancouver, BC V7M 3M6
EAST LOT
SECTIONS
Drawing
Drawn By B.C. Date FEB. 2023
Scale 1/4" = 1'-0"
Project
**GOLDEN DREAM HOMES
REZONING**
OF 365 East 22nd STREET
NORTH VANCOUVER



WEST ELEVATION

EAST ELEVATION

SOUTH ELEVATION

SPATIAL SERPERATION CALCULATIONS:
1,199.15 SQUARE FEET AT 4' LIMITING DISTANCE
ALLOWS 125.98 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
120.0 SQUARE FEET PROPOSED

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SIDEWALK

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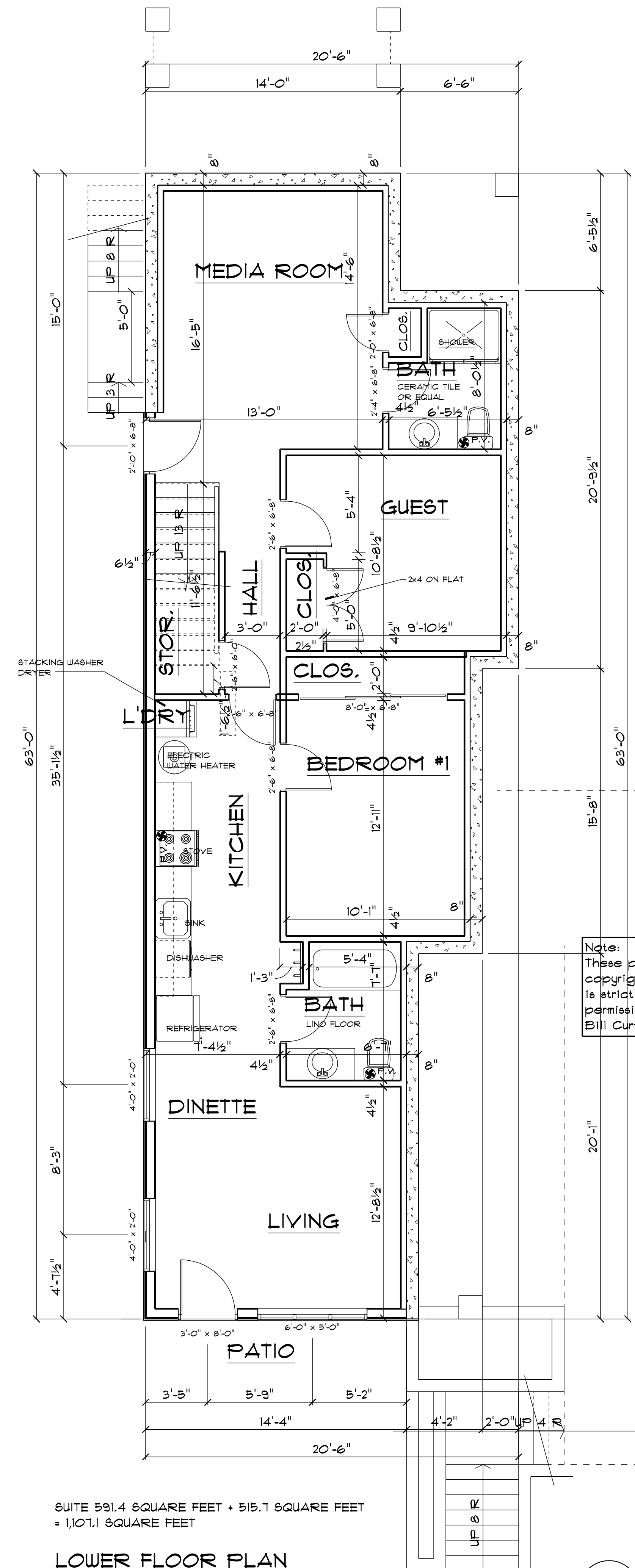
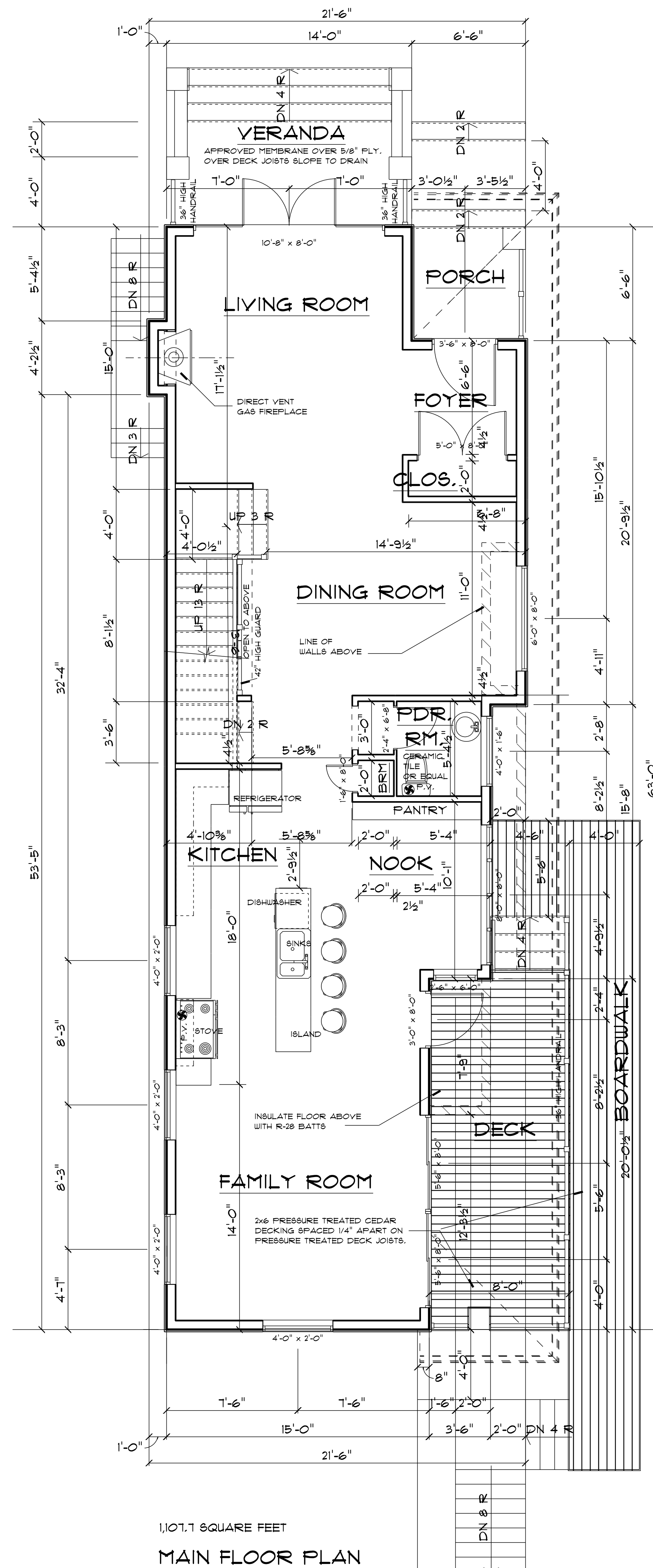
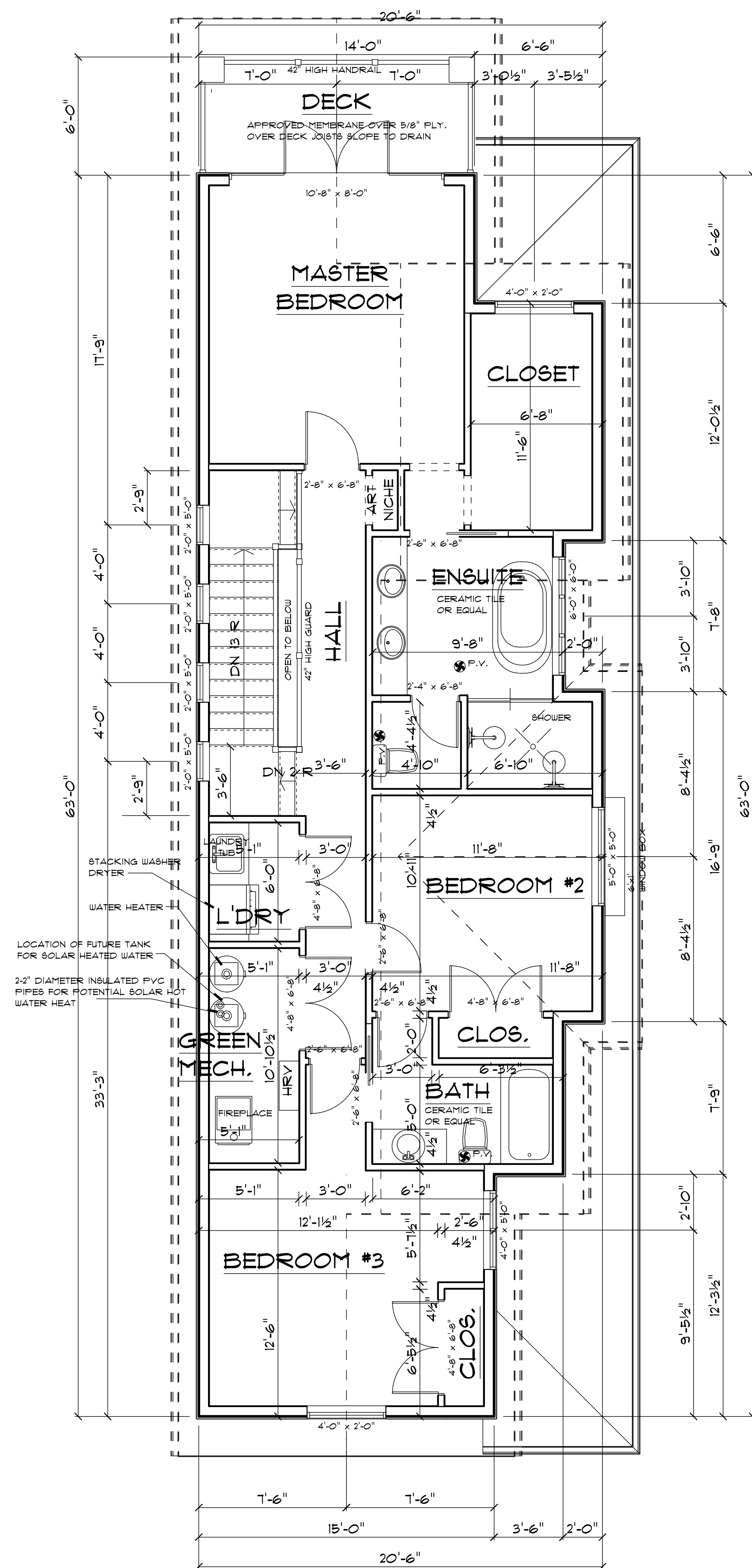
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**EAST LOT
ELEVATIONS**

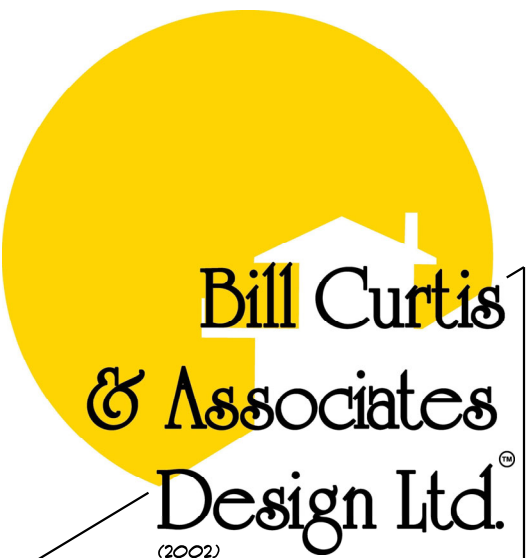
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Drawn By B.C. Date FEB. 2023
Scale 1/4" = 1'-0"

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER



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EAST LOT

LOOR PLANS

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Scale 1/4" : 1'-0"

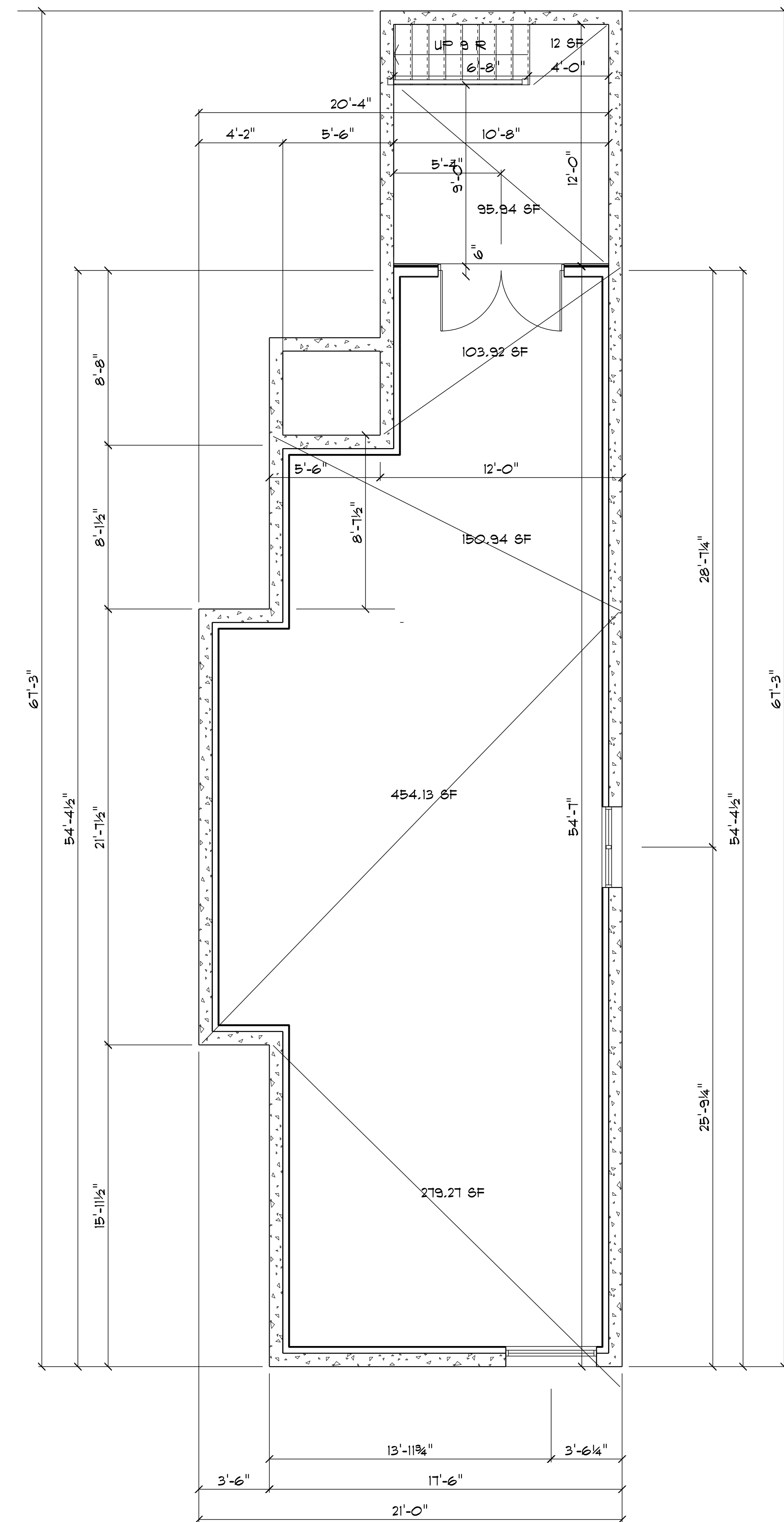
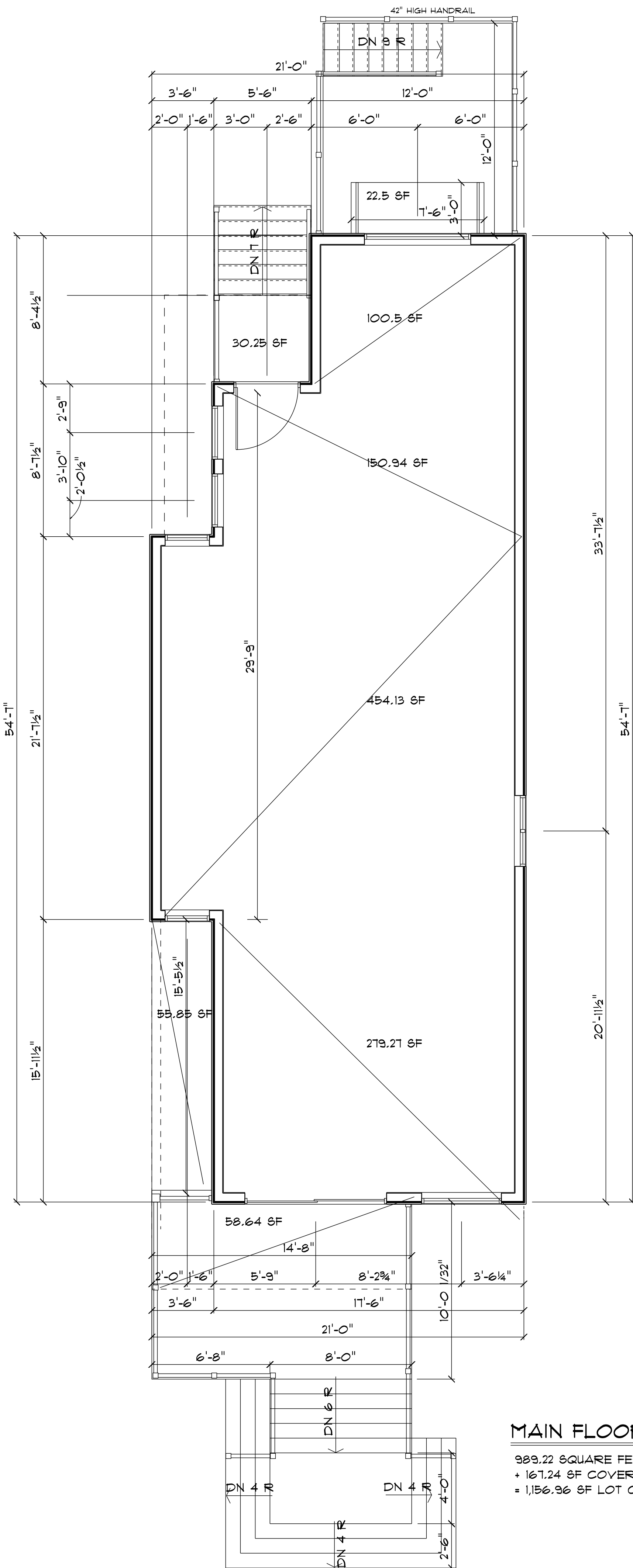
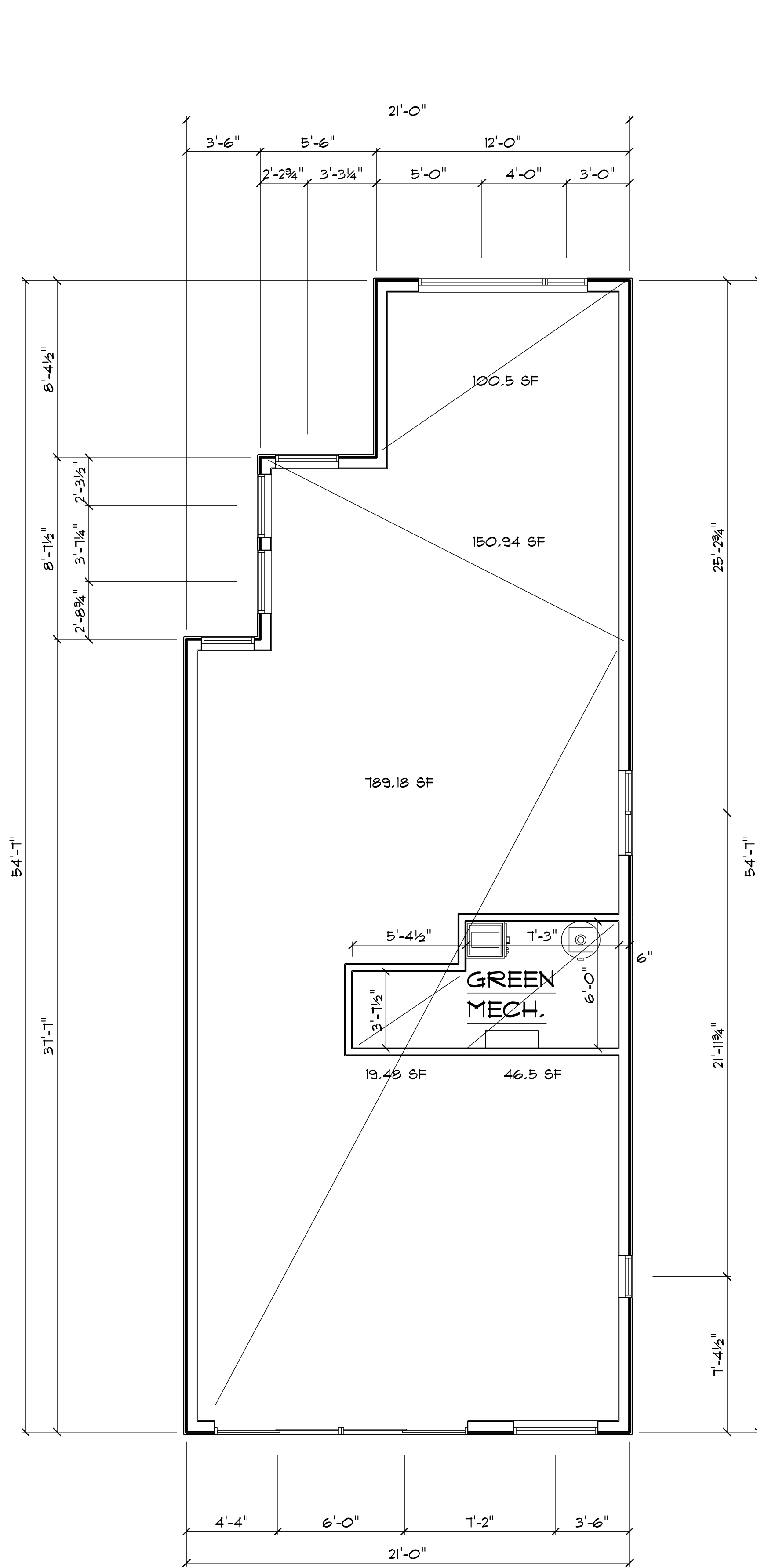
Project

GOLDEN DREAM HOMES

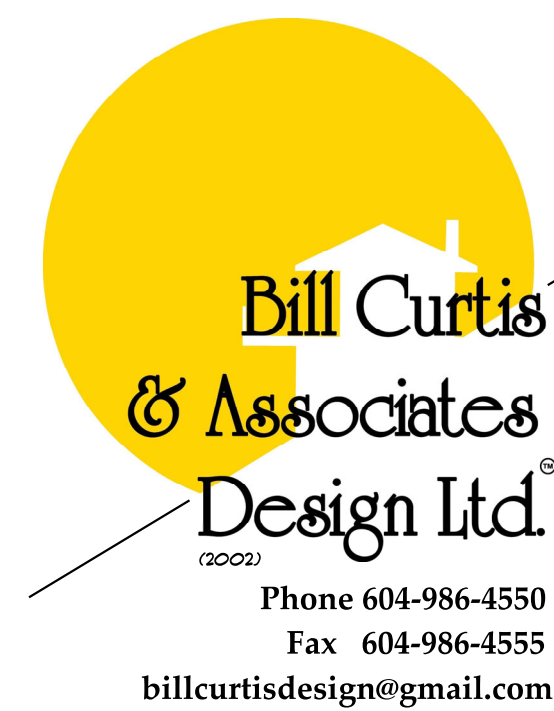
REZONING

OF 36 E. East 22nd STREET

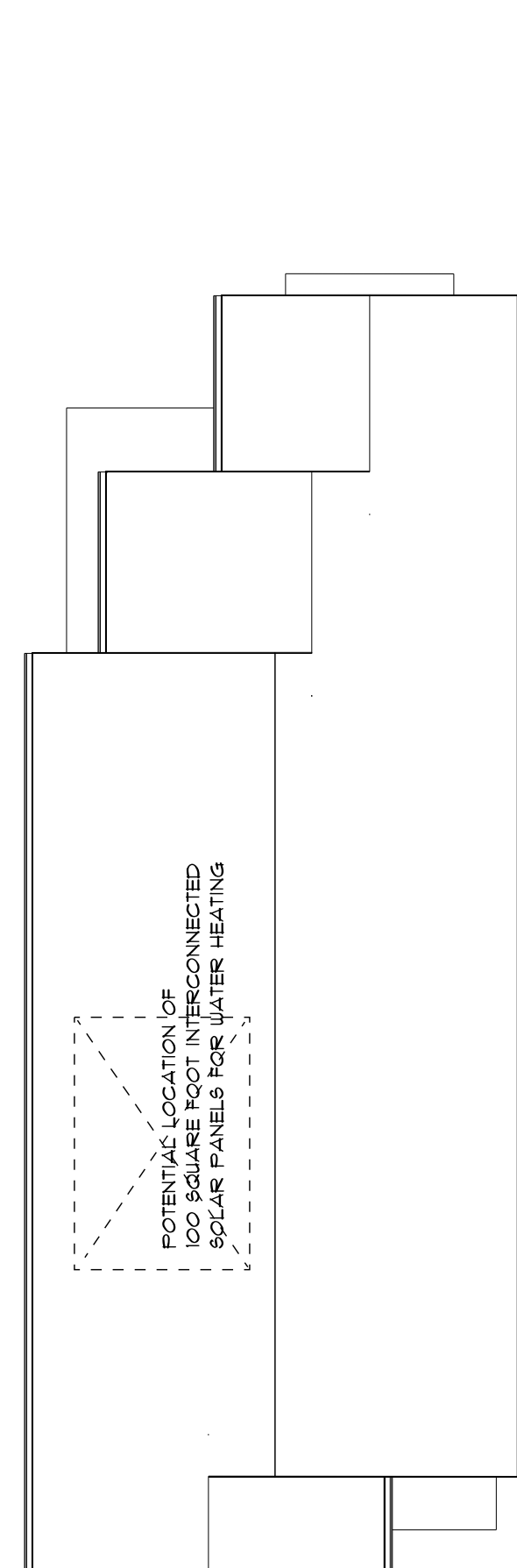
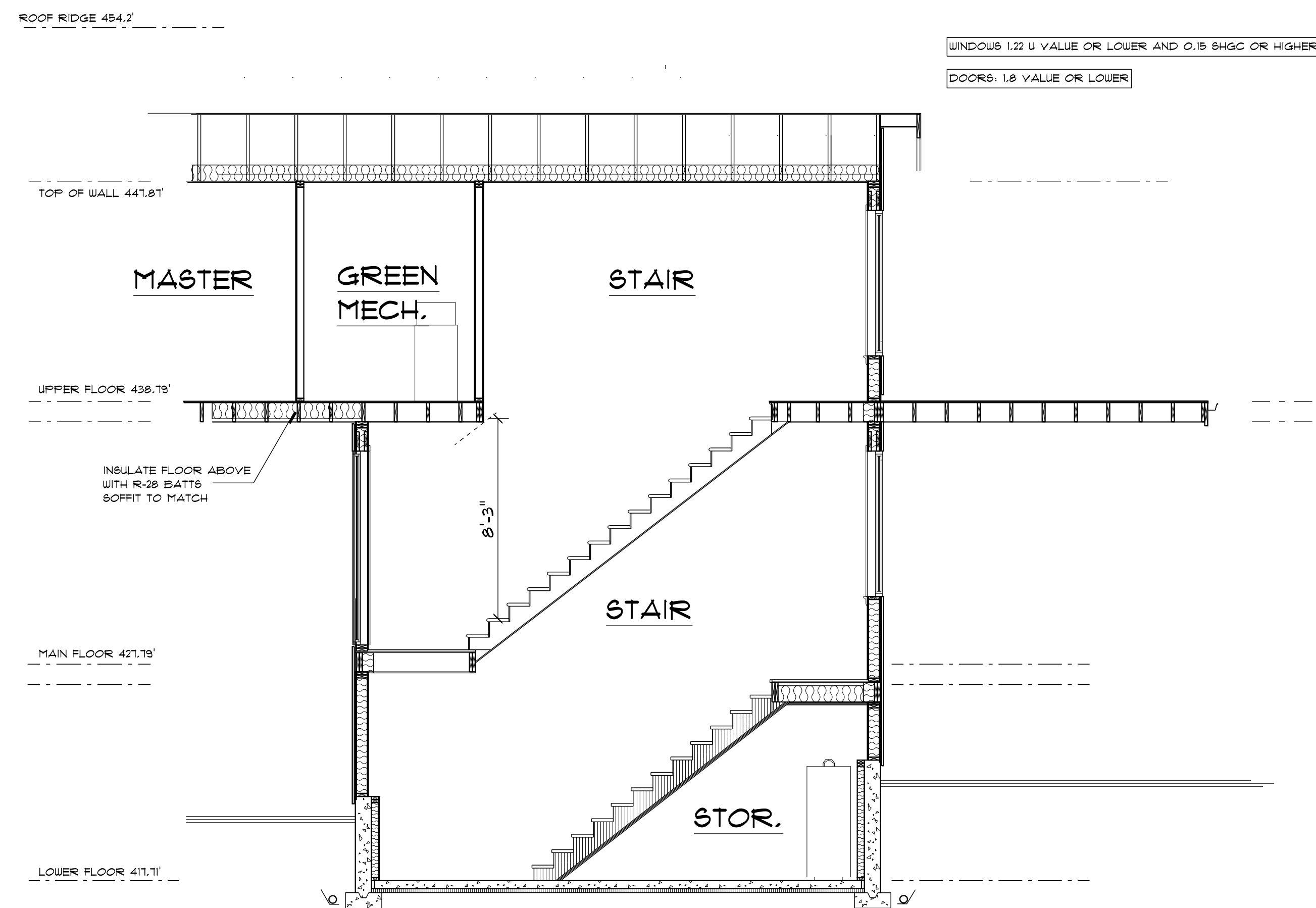
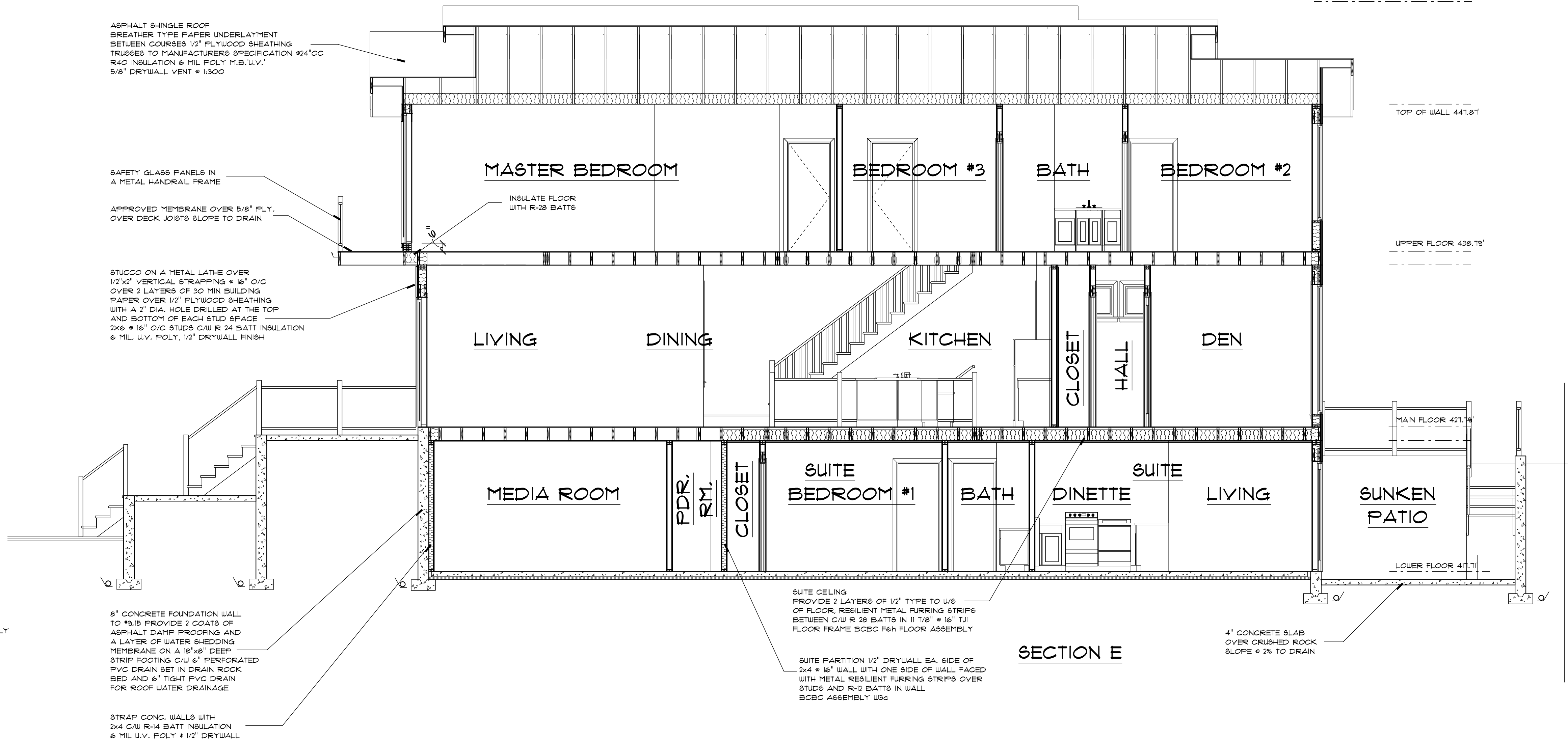
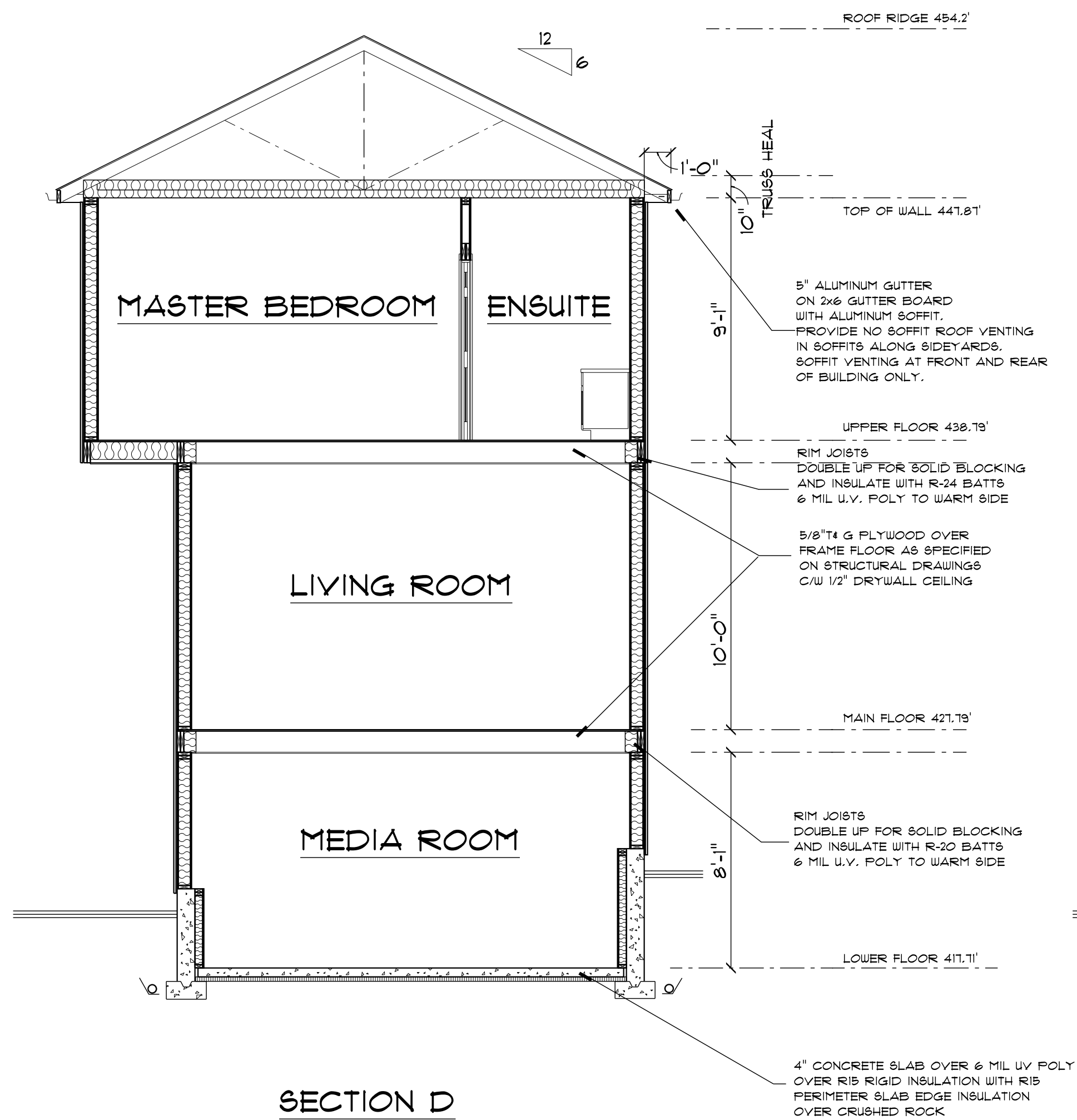
OF 365 East 22nd STREET



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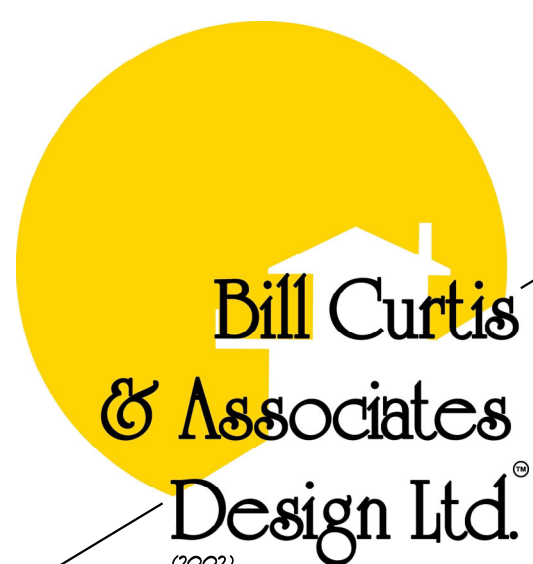
Harbourfront Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3M6
 WEST LOT
 FLOOR AREAS
 Drawing
 Drawn By B.C. Date FEB. 2023
 Scale 1/4" : 1'-0"
 Project
 GOLDEN DREAM HOMES
 REZONING
 OF 365 East 22nd STREET
 NORTH VANCOUVER



ROOF PLAN
SCALE: 1/8" = 1'-0"

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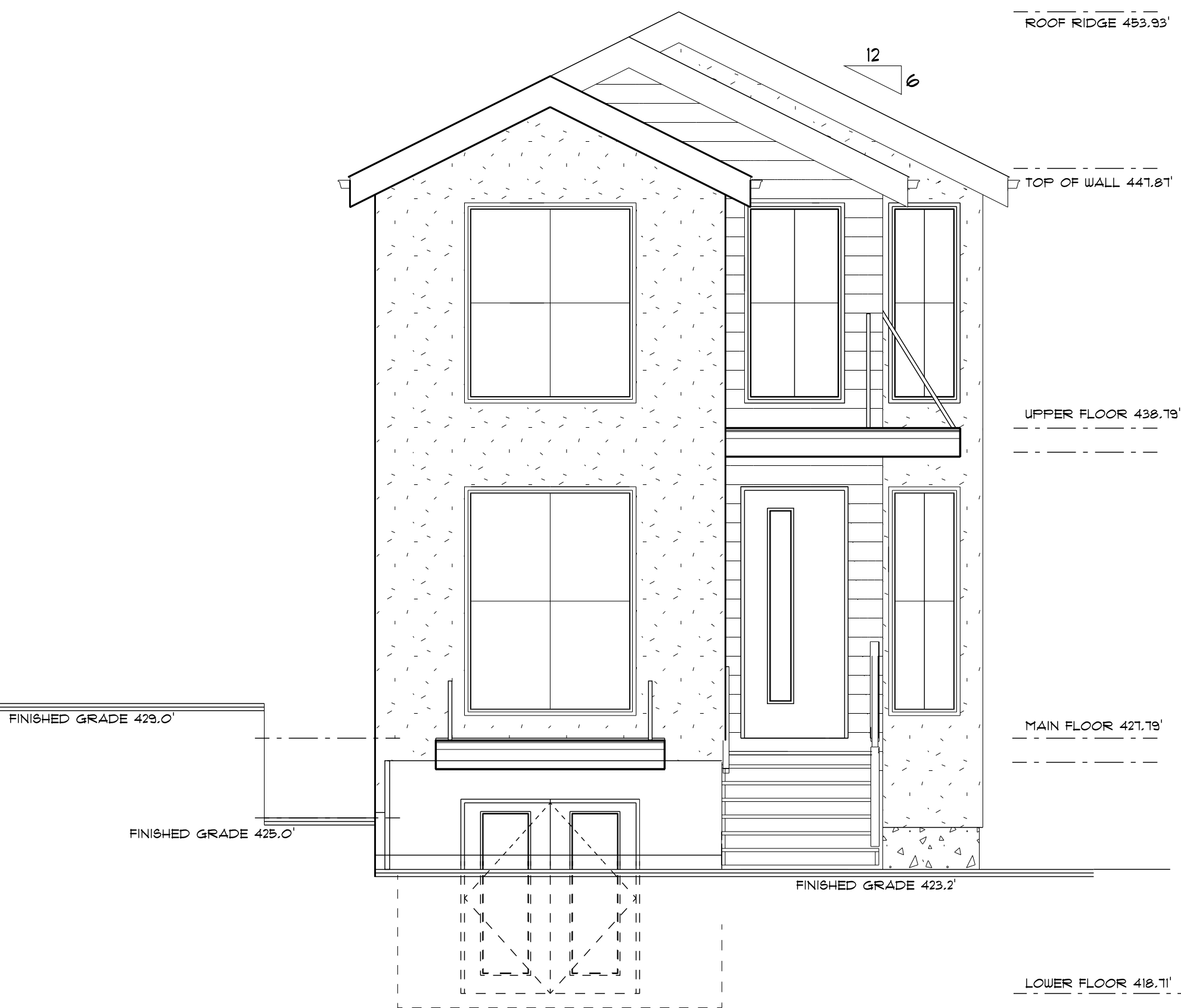


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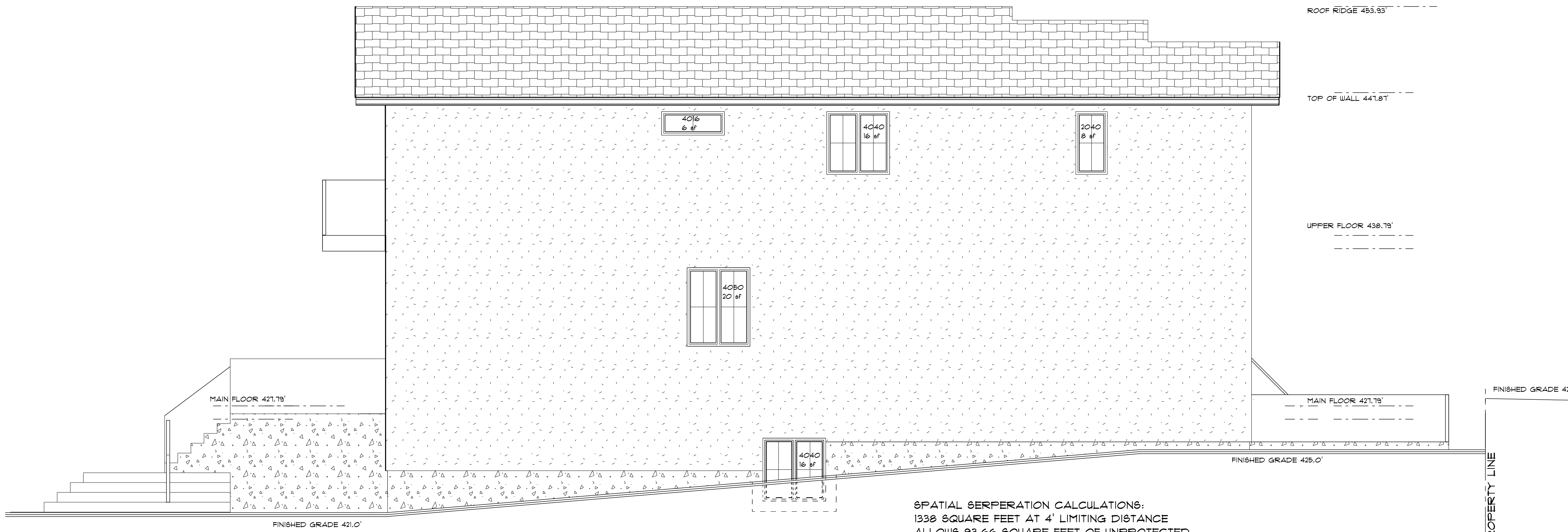
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North Vancouver, BC V7M 3M6

WEST LOT

Drawing
Drawn By B.C. Date FEB. 2023
Scale 1/4" = 1'-0"
Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

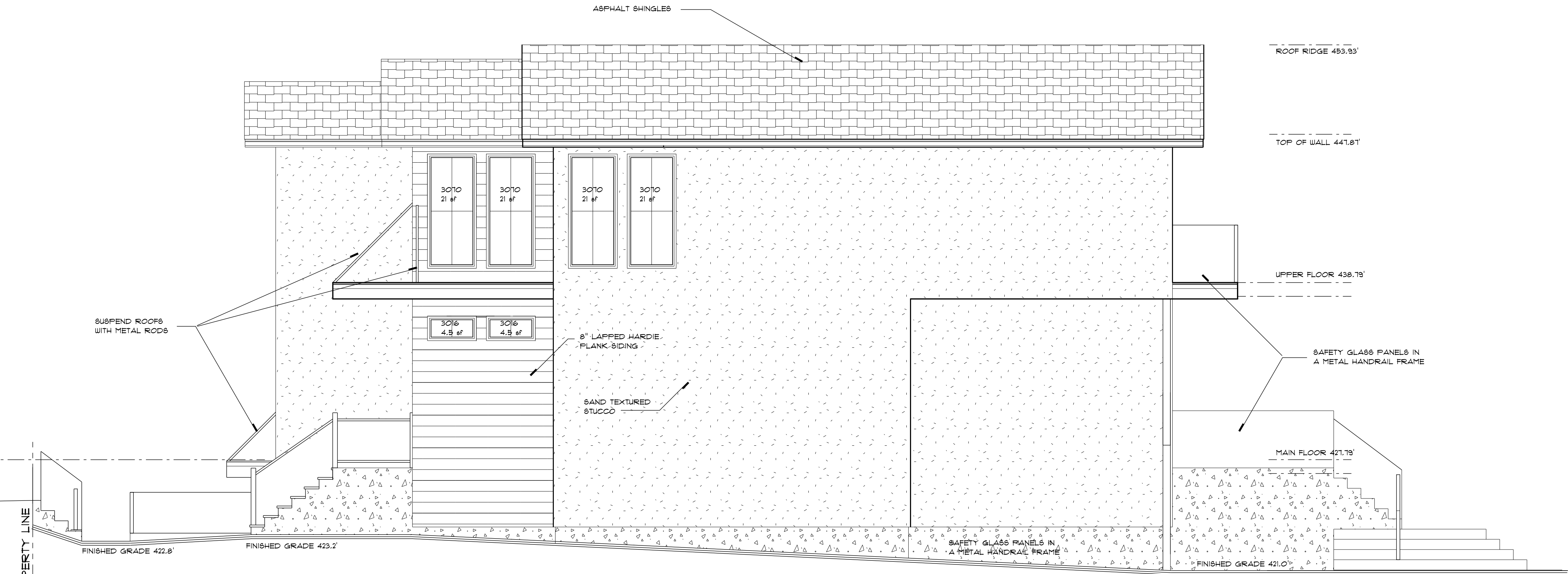


NORTH ELEVATION



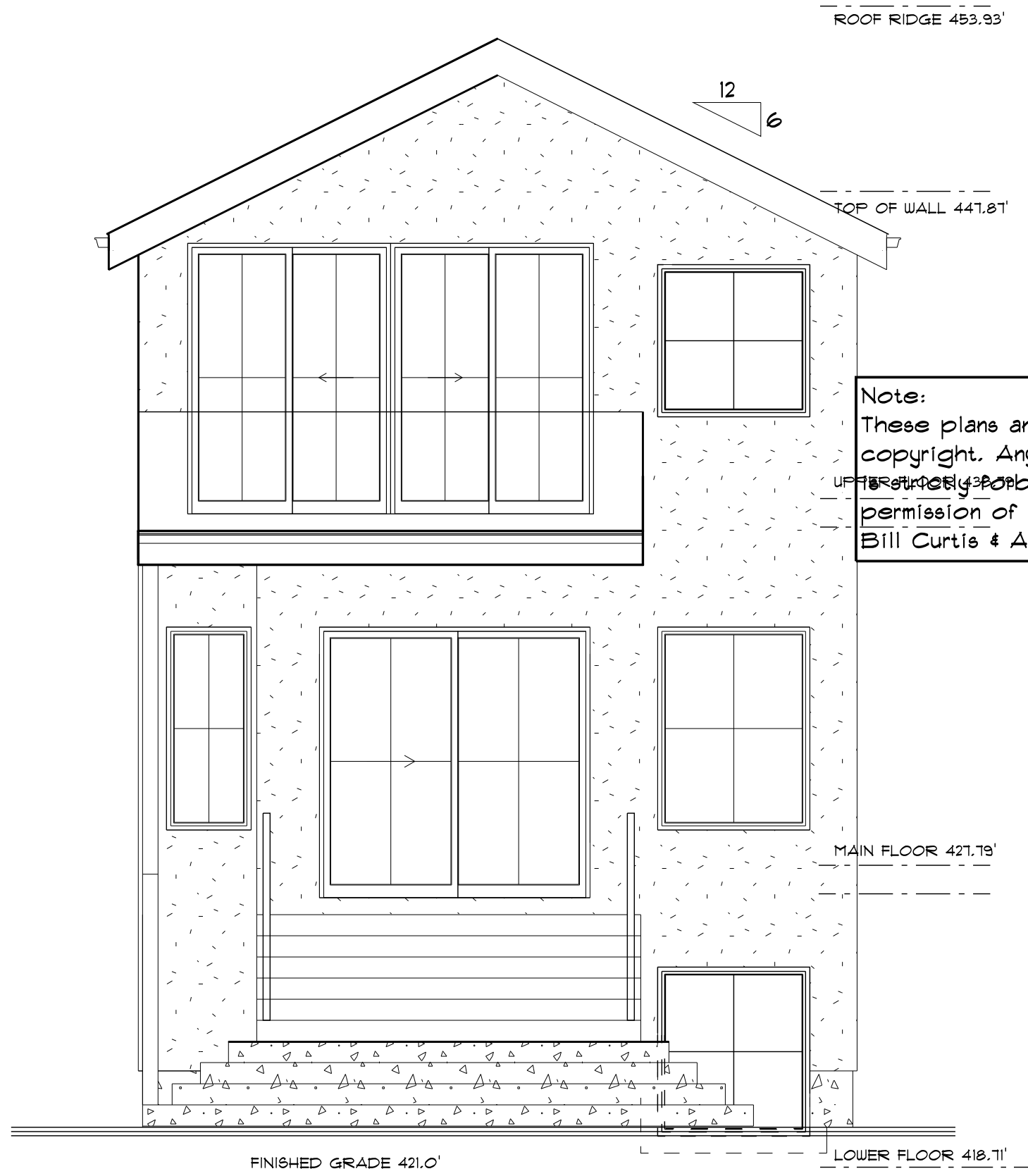
EAST ELEVATION

SPATIAL SEPERATION CALCULATIONS:
1338 SQUARE FEET AT 4' LIMITING DISTANCE
ALLOWS 93.66 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
66.0 SQUARE FEET PROPOSED



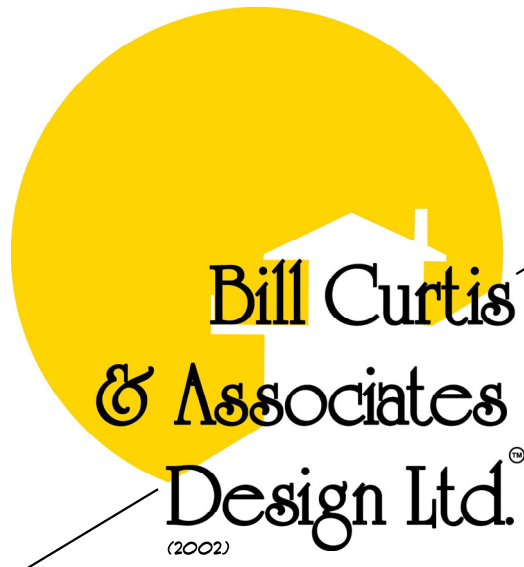
WEST ELEVATION

SPATIAL SEPERATION CALCULATIONS:
1338 SQUARE FEET AT 4' LIMITING DISTANCE
ALLOWS 93.66 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
93.0 SQUARE FEET PROPOSED



SOUTH ELEVATION

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Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6
WEST LOT

Drawing
ELEVATIONS

Drawn By B.C. Date FEB. 2023

Scale 1/4" = 1'-0"

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

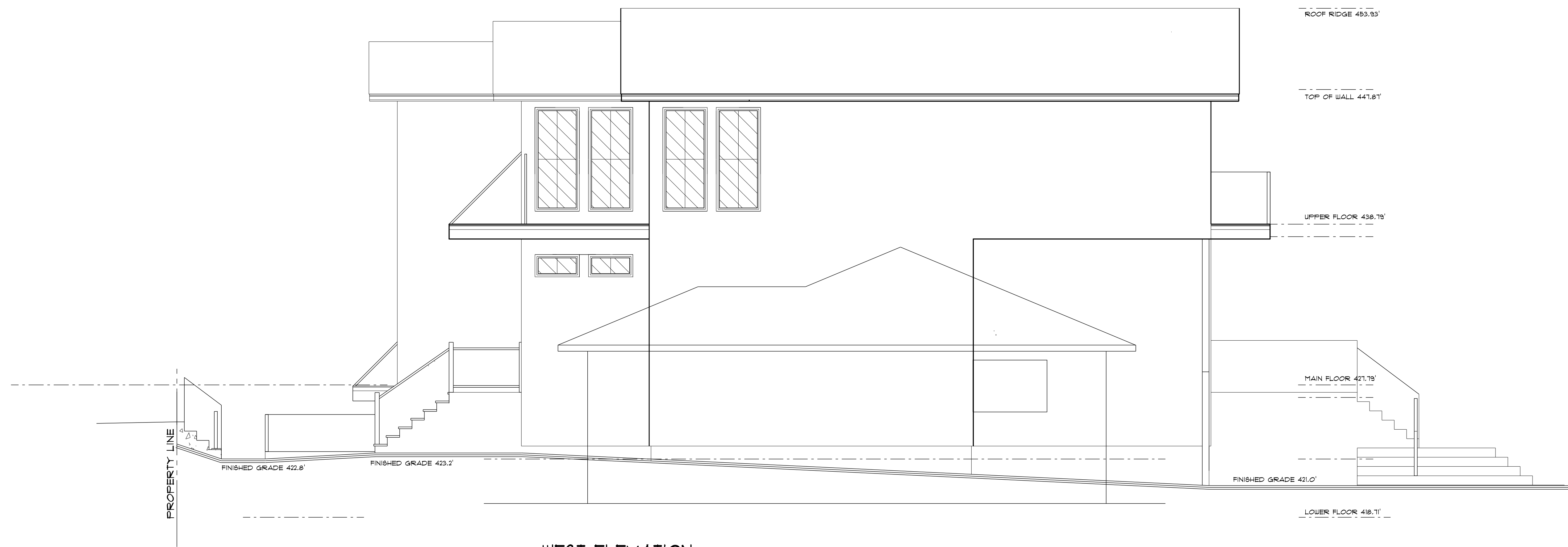
13 16
of

363 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



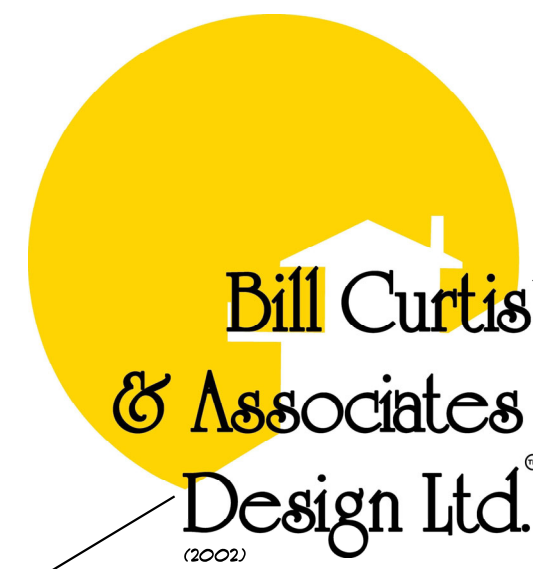
EAST ELEVATION



WEST ELEVATION

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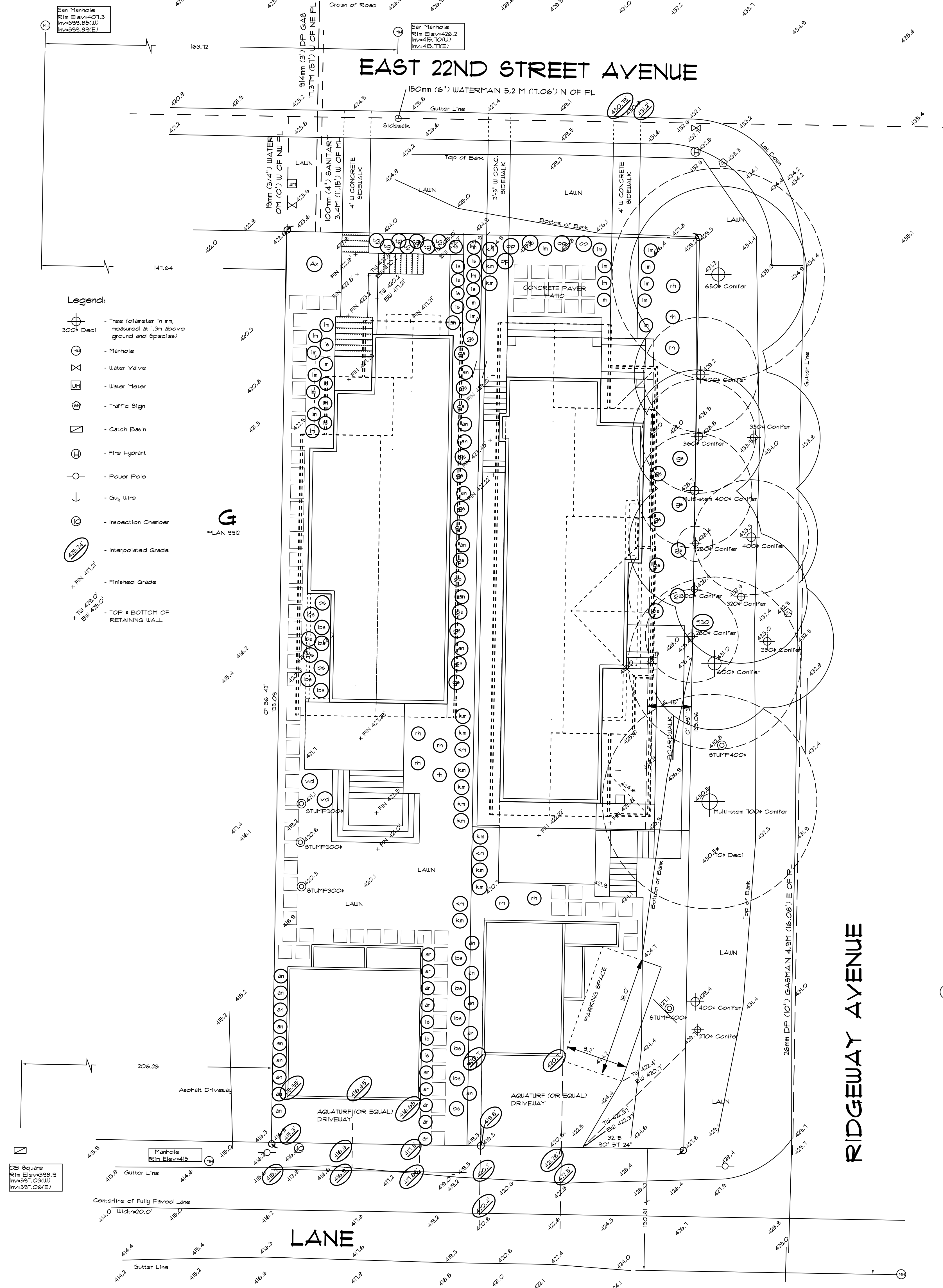
**REFLECTED
WINDOWS**

Drawing
Drawn By B.C. Date FEB. 2023

Scale 1/4" = 1'-0"

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

REFLECTED FROM WEST LOT



LEGAL DESCRIPTION:
LOT H BLOCK 209 DISTRICT LOT 546
GROUP 1 NWD PLAN 9912
FID: 010-221-379

PLANT LIST

CODE	QTY.	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
Ar	1	ACER PALMATUM SHINDE SHOJO	SHINDO SHOJO JAPANESE MAPLE	10", #125 POT	AS SHOWN	TREE	NON NATIVE
km	16	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
rh	9	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
vd	2	VIBURNUM DAVIDII	DVAID'S VIBURNUM	#3 POT	AS SHOWN	SHRUB	NON NATIVE
ar	4	AJUGA REPTANS "ATROPURPUREA"	PURPLE BUGLE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
is	7	IRIS SIBIRICA	SIBERIAN IRIS	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
lm	24	LIRIOPE MUSCARI	BLUE LILY TURF	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
op	5	OSTEOSPERMUM "PURPLE MOUNTAIN"	AFRICAN DAISY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
tg		TELLIMA GRANDIFLORA	FRINGECUP	#1 POT	AS SHOWN	PERENNIAL	NATIVE
gs	22	GAULTHERIA SHALLON	SALAL	#1 POT	AS SHOWN	GROUND COVER	NATIVE
an	22	ATHYRIUM NIPONICUM "PICTUM"	PAINTED FERN	#2 POT	AS SHOWN	FERN	NATIVE
bs	25	BLECHNUM SPICANT	DEER FERN	#2 POT	AS SHOWN	FERN	NATIVE

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Benchmark Notes:
Elevations Are Geodetic (CVD28GVRD2018)
Referred To Monument T3H1034
Monument Elevation: 437.47(133.340m)

Parcel dimensions and grid bearing are derived from observation between geodetic control monuments T3H1034 and 87H3666.
Lot dimensions are based on field survey.

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Tel: (604)620-5299
Email Address: raymond@amraysurveying.com

File No. NV2800-TOPO

All distances and elevation are in feet and decimals thereof unless otherwise stated.

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Fax 604-986-4555
billcurtisdesign@gmail.com

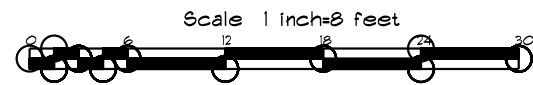
Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

LANDSCAPE
PLAN
Drawn By B.C. Date FEB. 2023
Scale 1/8" = 1'-0"

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

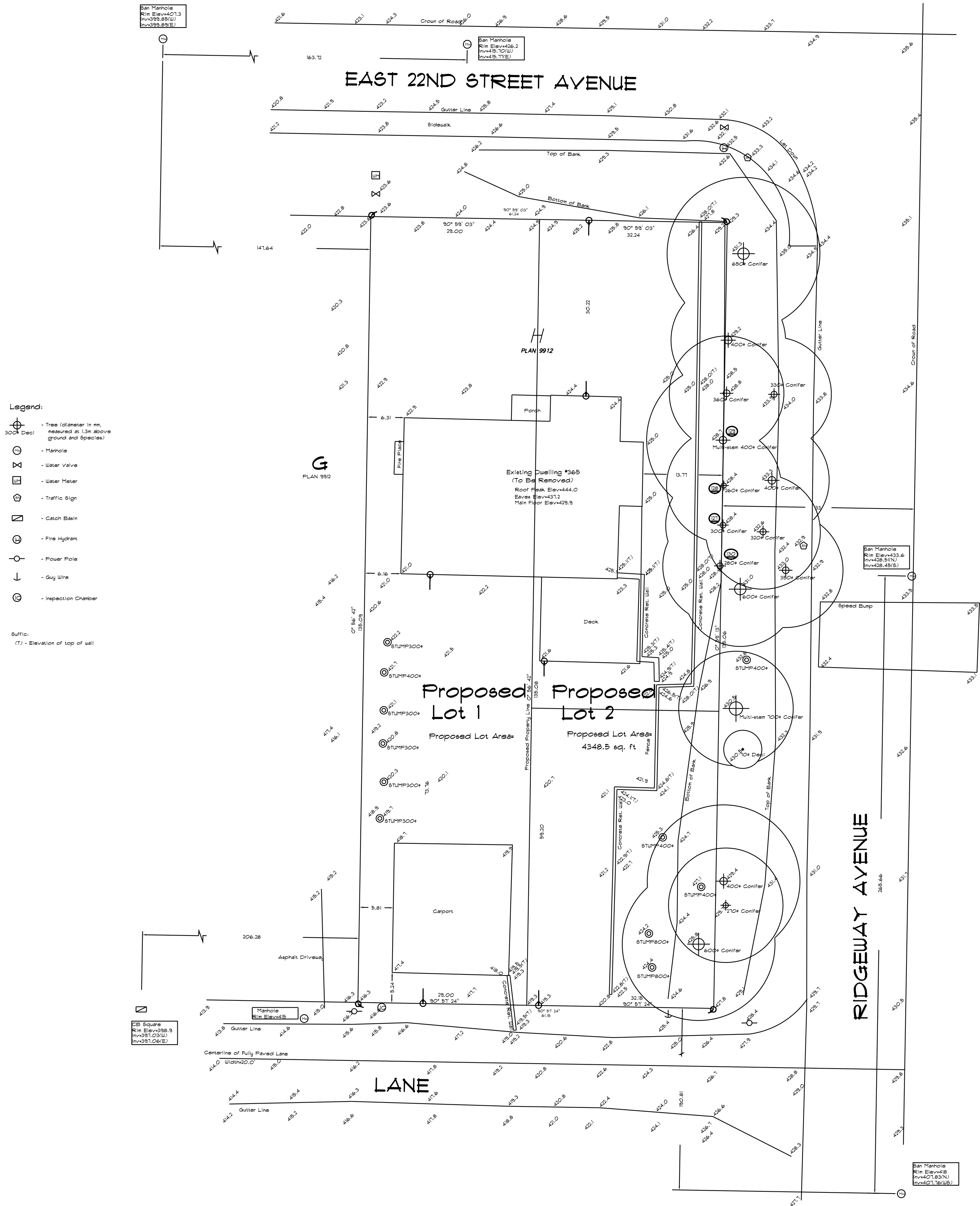
TOPOGRAPHIC AND PROPOSED SUBDIVISION PLAN OF LOT H
BLOCK 209 DISTRICT LOT 546 GROUP 1 NWD PLAN 9912

FD: 010-201378
Civic Address: 365 East 22nd Street,
City Of North Vancouver



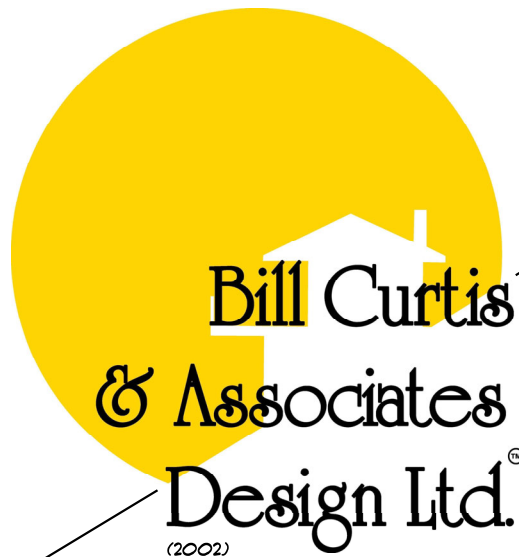
The intended plot size of this plan is 609m width by 546m in height
(Arch D size) when plotted at a scale of 1 inch=66 feet.

All distances and elevation are in feet and decimals thereof unless
otherwise stated.



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REVISIONS



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Harbourfront Business Centre
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North Vancouver, BC V7M 3M6

SURVEY

Drawing
Drawn By B.C. Date FEB. 2023

Scale

Project
GOLDEN DREAM HOMES
REZONING
OF 365 East 22nd STREET
NORTH VANCOUVER

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of