

**LEGEND**

- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED BOTTOM OF WALL ELEVATION
- PROPERTY LINE
- AREA DRAIN
- TRENCH DRAIN
- ASPHALT
- CONCRETE
- FIBAR
- SAND
- STONEWORK
- SLABS/TILES
- WOOD DECK
- GRAVEL
- GRASS

**SITE PLAN**

14th Street  
SCALE: 1/8" = 1' - 0"

1 LAYOUT  
Scale: 1/8" = 1'-0"

SCALE IS PROVIDED FOR CONVENIENCE  
DO NOT SCALE DRAWINGS FOR DIMENSIONS

**NOTE:**

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
2. Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval.
3. Contractor shall co-ordinate with all trades to provide complete working systems.
4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
6. All work described by these documents shall be performed in full accordance with all applicable codes and standards.
7. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.

No.	Date	Issue/Revision Notes
A	3/18/2021	REVIEW
B	4/5/2021	REVIEW
C	11/6/2021	SUBMIT FOR DP

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Design Firm  
**SW LANDSCAPE ARCHITECT**  
919 MELBOURNE AVENUE, NORTH VANCOUVER  
www.swlandscapearchitect.com

Client  
**PUCCI PROPERTIES**

Project Title  
**REZONING: DUPLEX TO FOUR PLEX**  
328&330 EAST 14TH STREET  
NORTH VANCOUVER

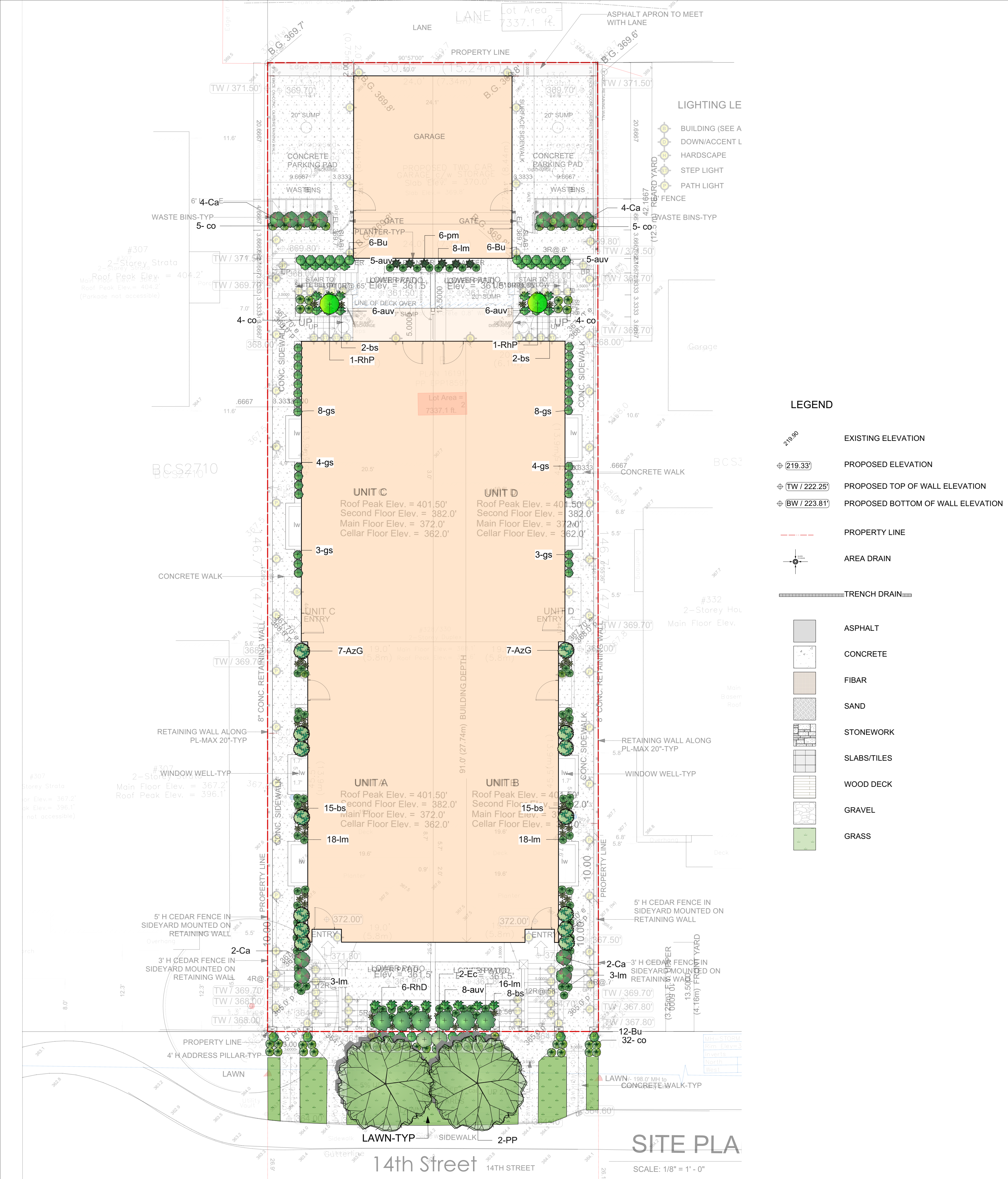
Sheet Title  
**LAYOUT AND GRADING**

Project Manager  
**STEVE WONG** Project ID  
2021-3

Drawn By  
**SW** Scale  
AS NOTED

Date  
**JANUARY 2021** Sheet No.  
**L-1**  
CAD File Name  
E 14 CNV v1.vwx of  
5





**PLANT MATERIAL:** All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards.

**SOD:** sand based sod (Perennial rye/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent

**GROWING MEDIUM:** in accordance with CLS standards; **FOR TURF AREAS:** Level 2H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 15% fines (max 15% clay), 3-5% organic matter, with pH between 6-7; **FOR PLANTING AREAS:** Level 2P (Planting Areas), containing by weight: 40-80% sand, maximum 35% fines (max 25% clay), 10-20% organic matter, with pH between 4.5-6.5. Supplied by Veratec Engineered Products, or equivalent; 6" min for lawn areas, 18" min for planted areas, over scarified base. Soil samples to be submitted by contractor to Pacific Soil Analysis for analysis to confirm conformance with CLS specifications. Address: 5-11720 Voyageur Way Richmond, BC V6X 3G9; Phone (604) 273-8226

**MULCH:** to be composted fir bark, having dark brown, fine texture and 1/2" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.

**IRRIGATION:** Complete automatic, in-ground irrigation system. Rainbird ESP-mw WiFi compatible controller, 4-22 stations, or equivalent, with outdoor control box, mounted on side of building, with electrical plug-in. Shrub spray, turf heads and valves to be Rainbird, Toro or Hunter or equivalent, and installed per Canadian Landscape Standard (2020 or later), with shrub and lawn areas on separate zones. Contractor to submit shop drawing of proposed irrigation system for approval by Landscape Architect prior to installation.

### PLANT LIST 322 WEST 14 ST., CNV

Botanical Name	Common Name	No.	Size	Spacing	Sym
<b>TREES</b>					
Parrotia persica 'Spire'	Persian parrotia	2	7 cm	as shown	PP
<b>SHRUBS</b>					
Azalea 'Girard Fuchsia'	Azalea	14	#2 pot	as shown	AzG
Buxus 'Green Velvet'	Boxwood	24	#2 pot	as shown	Bu
Cornus alba 'Elegantissima'	Variiegated dogwood	12	#2 pot	as shown	Ca
Euphorbia characias wulfenii	Mediterranean spurge	2	#2 pot	as shown	Ec
Rhododendron 'Dora Amateis'	Rhododendron	6	#5 pot	as shown	RhD
Rhododendron 'PJM'	Rhododendron	2	#5 pot	as shown	RhP
<b>VINES, GROUND COVERS AND HERBACEOUS PERENNIALS</b>					
Arctostaphylos uva-ursi	Kinnickinnick	30	#1 pot	as shown	auv
Blechnum spicant	Deer fern	42	#1 pot	as shown	bs
Carex oshimensis 'Evergold'	Sedge	50	#1 pot	as shown	co
Gaultheria shallon	Salal	44	#1 pot	as shown	gs
Liriope muscari 'Silvery Sunproof'	Lily turf	66	#1 pot	as shown	lm
Polystichum munitum	Western sword fern	6	#1 pot	as shown	pm

**Contractor to be certified by BCLNA**  
**All plants and installation to meet or exceed latest Canadian Landscape standard (CLS) #1 standards**  
**Contractor to verify numbers and placement of plants prior to installation**

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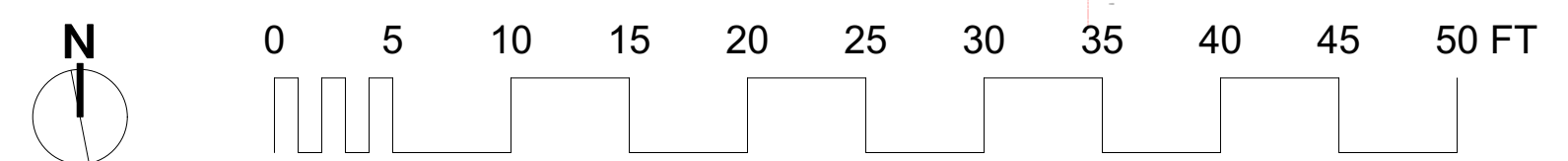
Client: **PUCCI PROPERTIES**

Project Title: **REZONING: DUPLEX TO FOUR PLEX**  
 328&330 EAST 14TH STREET  
 NORTH VANCOUVER

Sheet Title: **PLANTING**

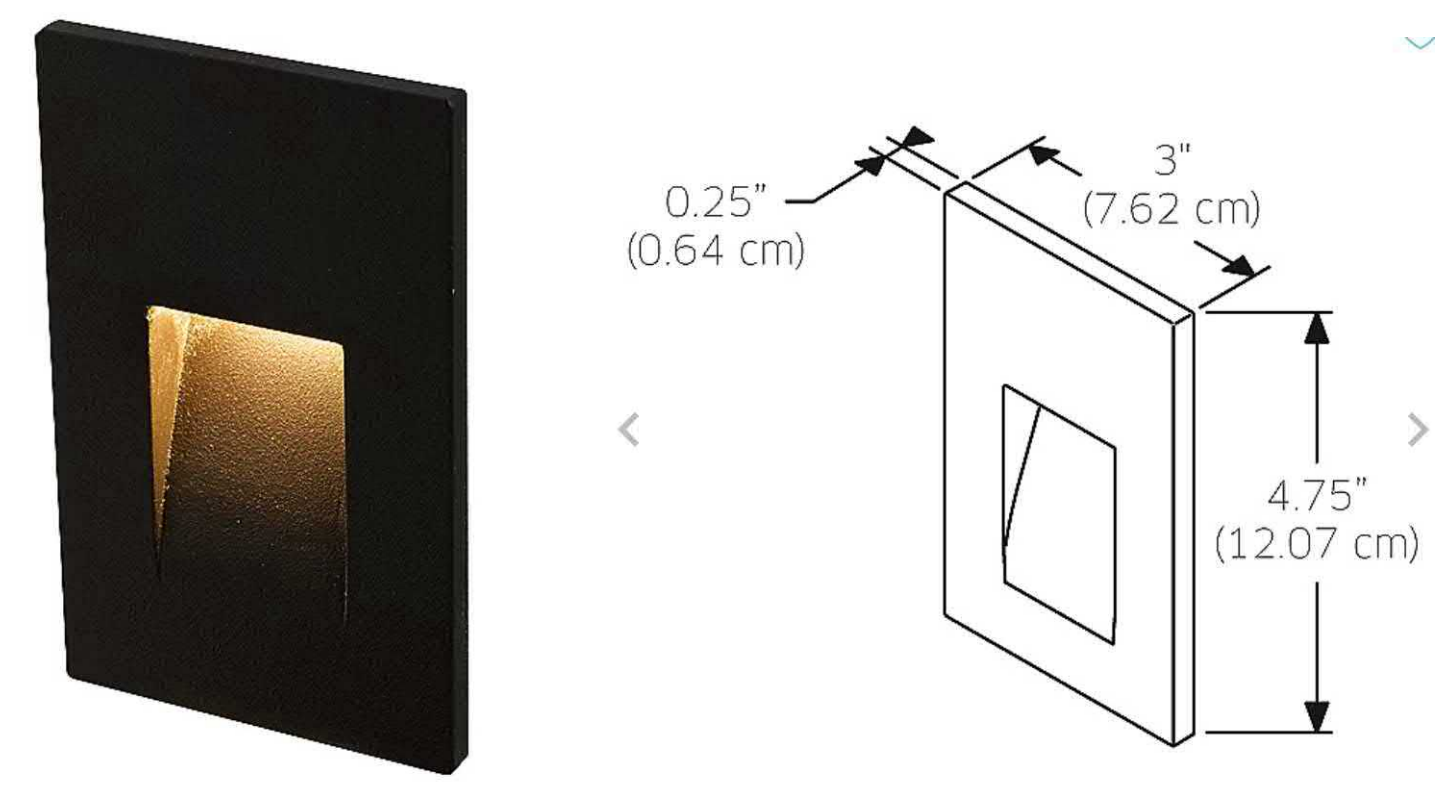
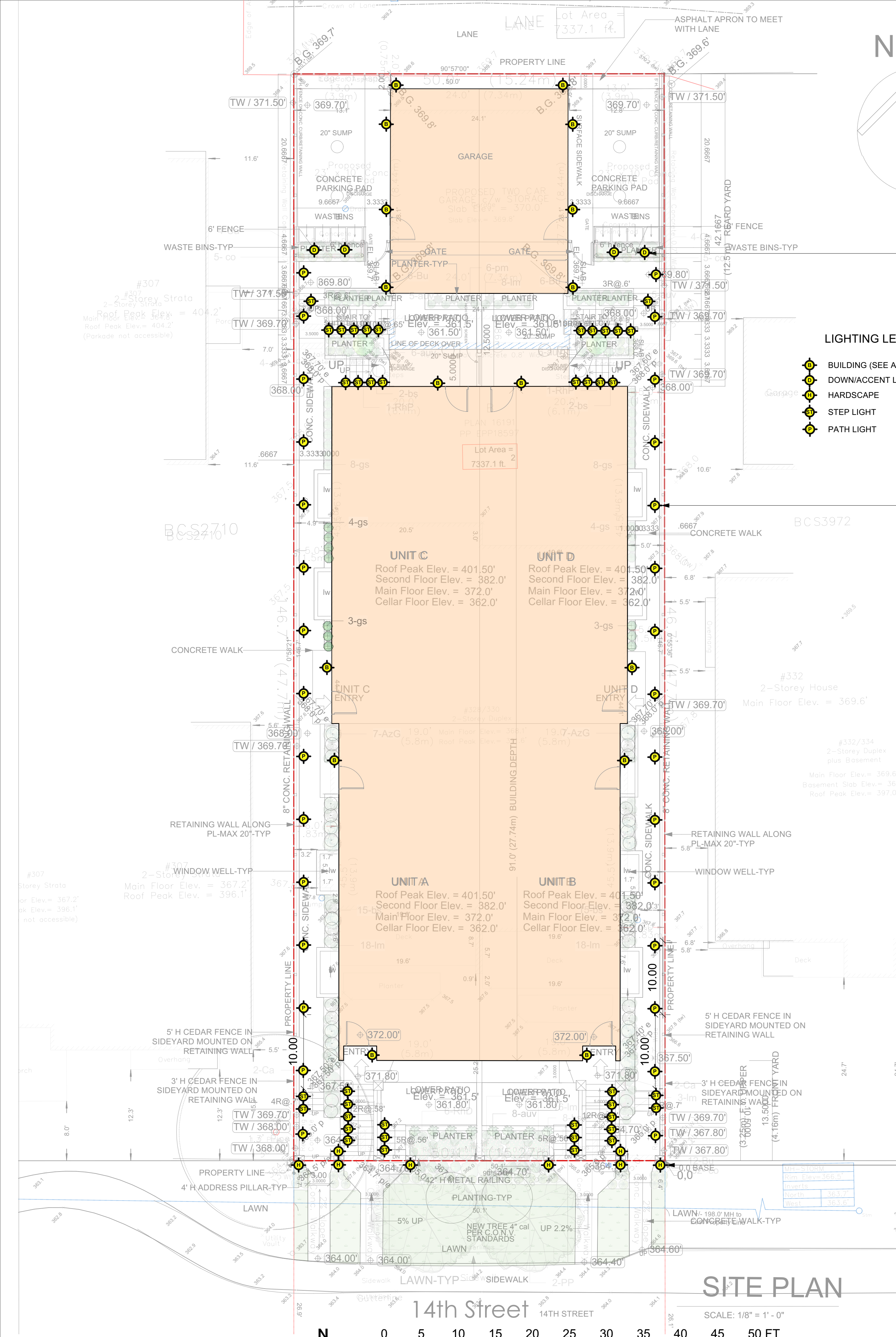
Project Manager: <b>STEVE WONG</b>	Project ID: <b>2021-3</b>
Drawn By: <b>SW</b>	Scale: <b>AS NOTED</b>
Date: <b>JANUARY 2021</b>	Sheet No.: <b>L-2</b>
CAD File Name: <b>E 14 CNV v1.vwx</b>	of <b>5</b>

**1 PLANTING PLAN**  
 Scale: 1/8" = 1'-0"

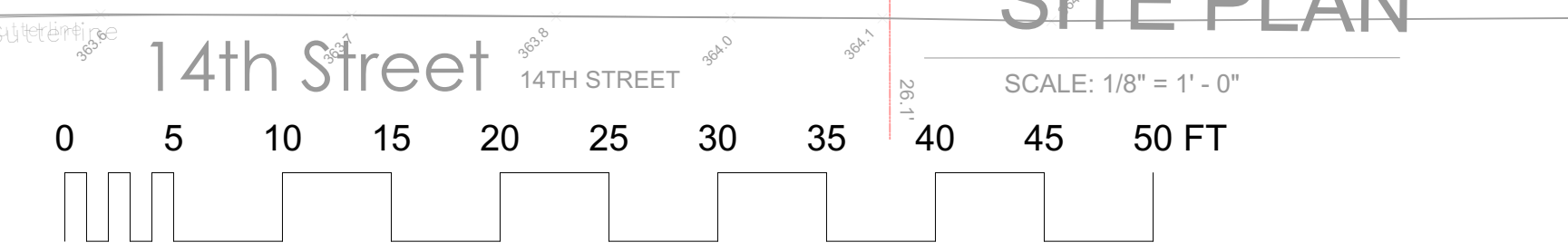


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**1 LIGHTING PLAN**  
Scale: 1/8" = 1'-0"



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Client: **PUCCI PROPERTIES**

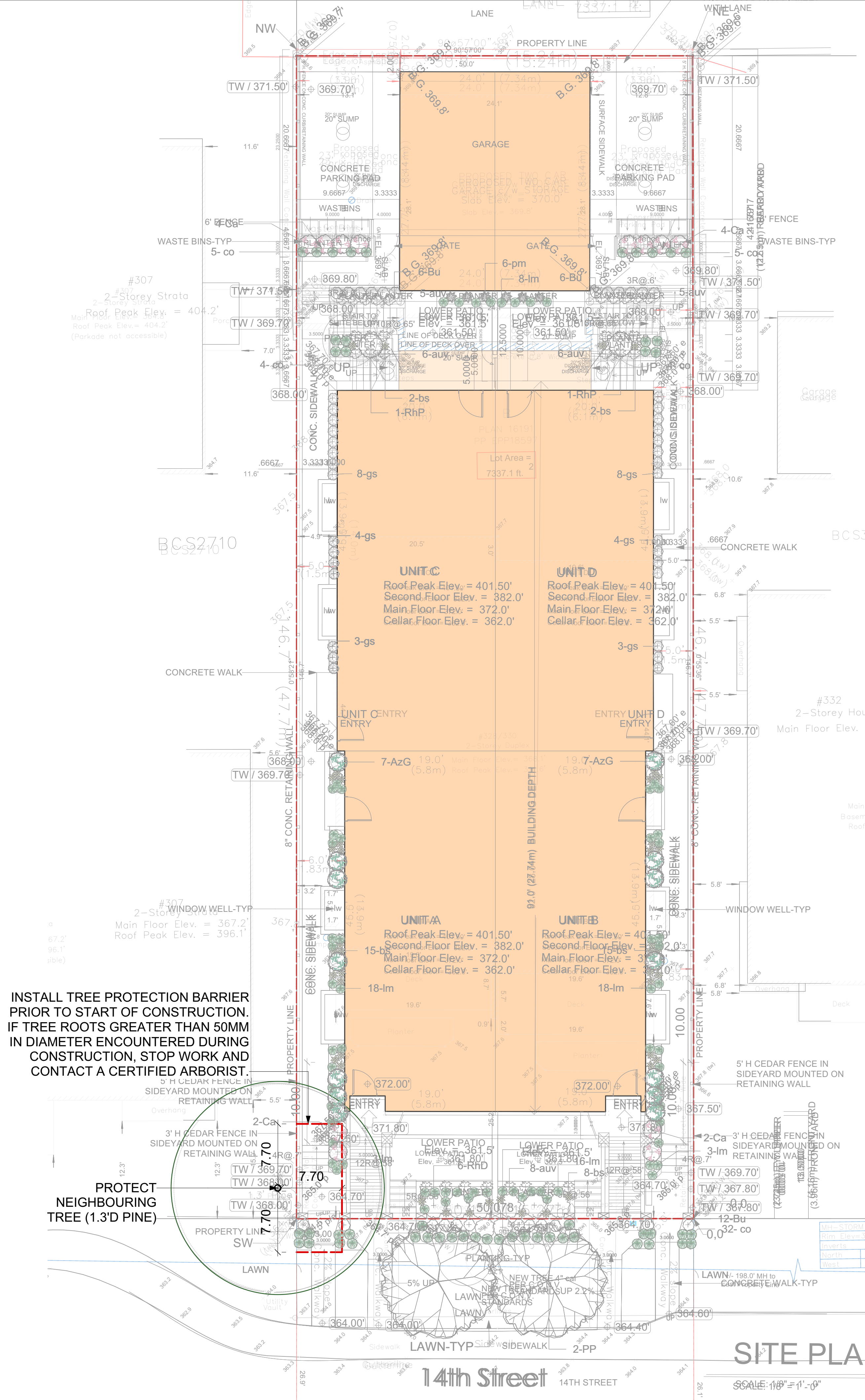
Project Title: **REZONING: DUPLEX TO FOUR PLEX  
328&330 EAST 14TH STREET  
NORTH VANCOUVER**

Sheet Title: **LIGHTING PLAN**

Project Manager: **STEVE WONG** Project ID: 2021-3  
Drawn By: **SW** Scale: AS NOTED

Date: **JANUARY 2021** Sheet No.: **L-3**  
CAD File Name: E 14 CNV v1.vwx of 5

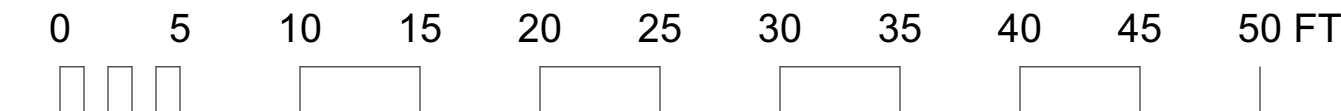
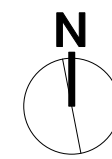




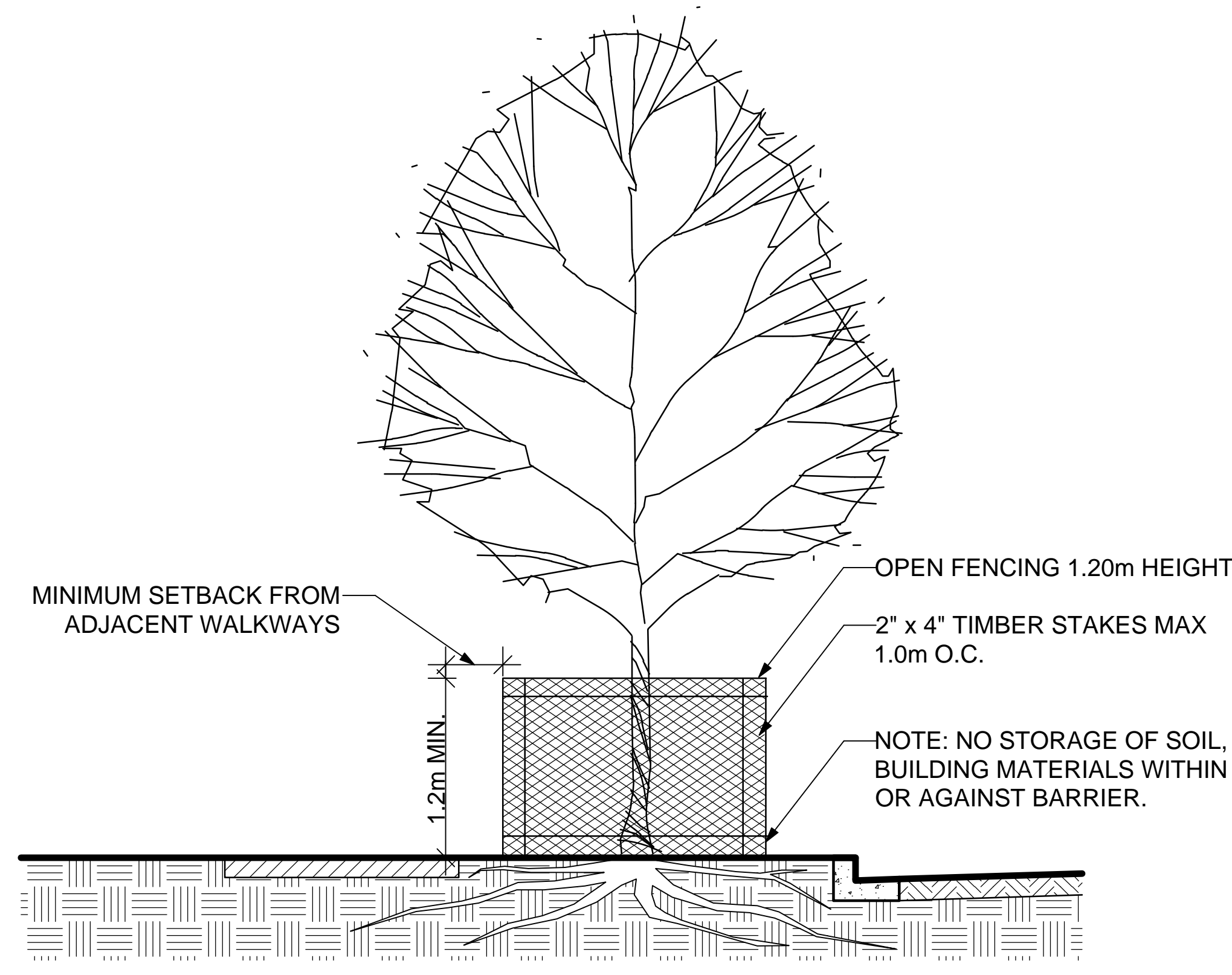
INSTALL TREE PROTECTION BARRIER PRIOR TO START OF CONSTRUCTION. IF TREE ROOTS GREATER THAN 50MM IN DIAMETER ENCOUNTERED DURING CONSTRUCTION, STOP WORK AND CONTACT A CERTIFIED ARBORIST.

PROTECT NEIGHBOURING TREE (1.3'D PINE)

LAYOUT Scale: 1/8" = 1'-0"



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SCHEDULE A - TREE PROTECTION BARRIER

TRUNK DIAMETER		MINIMUM DISTANCE FROM TRUNK (METERS)
CM	FT	
20	0.6	1.2
25	0.8	1.5
35	1.0	2.1
40	1.2	2.4
45	1.3	2.7
50	1.5	3.0
55	1.7	3.3
60	2.0	3.6
75	2.5	4.5
90	3.0	5.0
100	3.3	6.0

**NOTE:** TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

TREE PROTECTION BARRIER Scale: N/A

PLANTING AND CONSTRUCTION NOTES REGARDING TREES

1. ANY PERMITTED TREE REMOVAL(S) MUST BE PERFORMED BY A QUALIFIED PROFESSIONAL
2. NO GRADE CHANGES ARE TO OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY RETAINED TREES. ANY EXPOSED ROOTS FROM LINES OF EXCAVATION MUST BE COVERED WITH BURLAP AND THEN POLY PLASTIC IN AN EFFORT TO PREVENT DESSICATION OF EXPOSED ROOTS; THIS ROOT CURTAIN MUST BE REMOVED PRIOR TO BACKFILLING. TREES MUST BE ADQUATELY WATERED DURING THE ENTIRE CONSTRUCTION PROCESS.
3. THE REMOVAL OF EXISTING ORGANICS WITHIN THE CRITICAL ROOT ZONES OF RETAINED TREES MUST BE PERFORMED MANUALLY. WHEN INSTALLING MEW PLANT MATERIAL WITHIN THE CRITICAL ROOT ZONES OF RETAINED TREES, IF LARGE ROOTS (1.5' DIAMETER AND LARGER) ARE ENCOUNTERED, THEN NEW PLANTINGS MUST BE SHIFTED TO ACCOMODATE. NO MORE THAN 3" OF ADDITIONAL SOIL FOR NEW LANDSCAPING MAY BE ADDED WITHIN ANY CRITICAL ROOT ZONE.
4. ANY EXCAVATION WORK OR WORK WITHIN THE PROTECTION ZONE OF RETAINED TREES REQUIRES THE SUPERVISION OF A CERTIFIED ARBORIST. THIS INCLUDES, BUT IS NOT LIMITED TO; DEMOLITION, THE INSTALLATION OF ANY PERMEABLE OR IMPERMEABLE SURFACES (CONCRETE, ASPHALT,PAVERS, ETC.), INSTALLATION OF PERMANENT OR TEMPORARY SERVICES (GAS, SEWER, STORM, SANITARY, COMMUNICATION, ELECTRICAL, IRRIGATION, ETC.), DURING THE INSTALLATION OF PATIOS, DRIVEWAYS, OR ANY HARDSCAPE, DURING THE INSTALLATION OF FOOTINGS FOR FENCES, WALLS, DECORATIVE WALLS, RETAINING WALLS, DCKS, AND DECK FOOTINGS.
5. CONSTRUCTION MATERIALS MUST NOT BE STORED WITHIN THE TREE PROTECTION ZONE (TPZ) OF TREES TO BE RETAINED, AND TPZ FENCING TO REMAIN INTACT FOR THE ENTIRE CONSTRUCTION PROCESS. SIGNAGE MUST BE CLEARLY POSTED ON EACH SIDE OF THE BARRIER INDICATING 'TREE PROTECTION ZONE-DO NOT ENTER OF MODIFY. CONTACT YOUR PROJECT ARBORIST FOR ANY TPZ BARRIER ISSUES.

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Client: PUCCI PROPERTIES

Project Title: REZONING: DUPLEX TO FOUR PLEX  
 328&330 EAST 14TH STREET  
 NORTH VANCOUVER

Sheet Title: TREE MANAGEMENT

Project Manager: STEVE WONG	Project ID: 2021-3
Drawn By: SW	Scale: AS NOTED
Date: JANUARY 2021	Sheet No. L-4
CAD File Name: E 14 CNV v1.vvx	5 of 5



**LANDSCAPE STATEMENT OF INTENT**

The intent of the landscape design is to have a landscape treatment that is attractive, low maintenance, sustainable and at a reasonable cost. Plants are chosen that are suited for the site conditions so the landscape will look good for many years to come.

**GENERAL NOTES**

- Contractor and their subcontractors and workers to be sufficiently insured and have WCB coverage
- Work to be done by the industry certified personnel. All work to be done to meet or exceed industry standards
- Contractor to adhere to safe work practices on site
- Contractor to confirm location of all utilities and to protect throughout construction
- Contractor to verify layout dimensions, measurements and grades prior to bidding and construction and to inform consultant of any discrepancies
- The landscape drawings are intended to meet municipal Zoning and Building By-Laws. The Contractor is responsible for obtaining approved Engineering drawings and sign-off for all structural and geotechnical work, including all retaining walls over 4 feet in height, or where there are issues with soil stability
- All stairs to have handrails and all drops in elevation of 600 mm or more to have guardrails per BC Building By-Law
- All manufactured products (eg segmental block walls/stairs, pavers, irrigation, lighting) to be installed per manufacturer's instructions
- If there are retained trees on site, all work to be outside the tree protection zone unless approved by certified ISA arborist

**LANDSCAPE NOTES**

- All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association, per Specifications section.
- All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg, B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
- All grades to meet adjacent grades at property line
- All stormwater is to be contained on site and away from adjacent properties
- All hard surfaces to be sloped a minimum of 1.0% to avoid standing water
- All lawns to be sloped a minimum of 2% to avoid standing water
- No slopes to be steeper than 2.5 horizontal: 1 vertical
- All plant material and growing medium to meet Canadian Landscape Standard #1 specifications
- All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade
- All lawn areas to contain minimum 6" (150) mm of approved growing medium over scarified subgrade
- Installation to be reviewed by a registered Landscape Architect

**MATERIALS LIST (as applicable)**

**CONCRETE WALKS:** Medium broom finish with 2% cross slope, over 4" compacted granular base, expansion joints as required, control joints 5'OC and where potential for cracking

**CONCRETE STEPS:** Medium broom finish, sloped 2% to front of tread

**ASPHALT:** 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted ¾" minus base course.

**WOOD FENCE :** 1 X6 cedar boards, finished with Sikken's semi-transparent cedar stain

**GATES:** 1 X6 cedar boards, finished with Sikken's semi-transparent cedar stain

**RAILINGS:** 42" high, powder coated medium gloss black aluminum, where there is a fall height of 2' or more, installed to code

**HANDRAILS FOR STAIRS:** 36" high, powder coated medium gloss black aluminum, installed to code

**PLANT MATERIAL:** All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards.

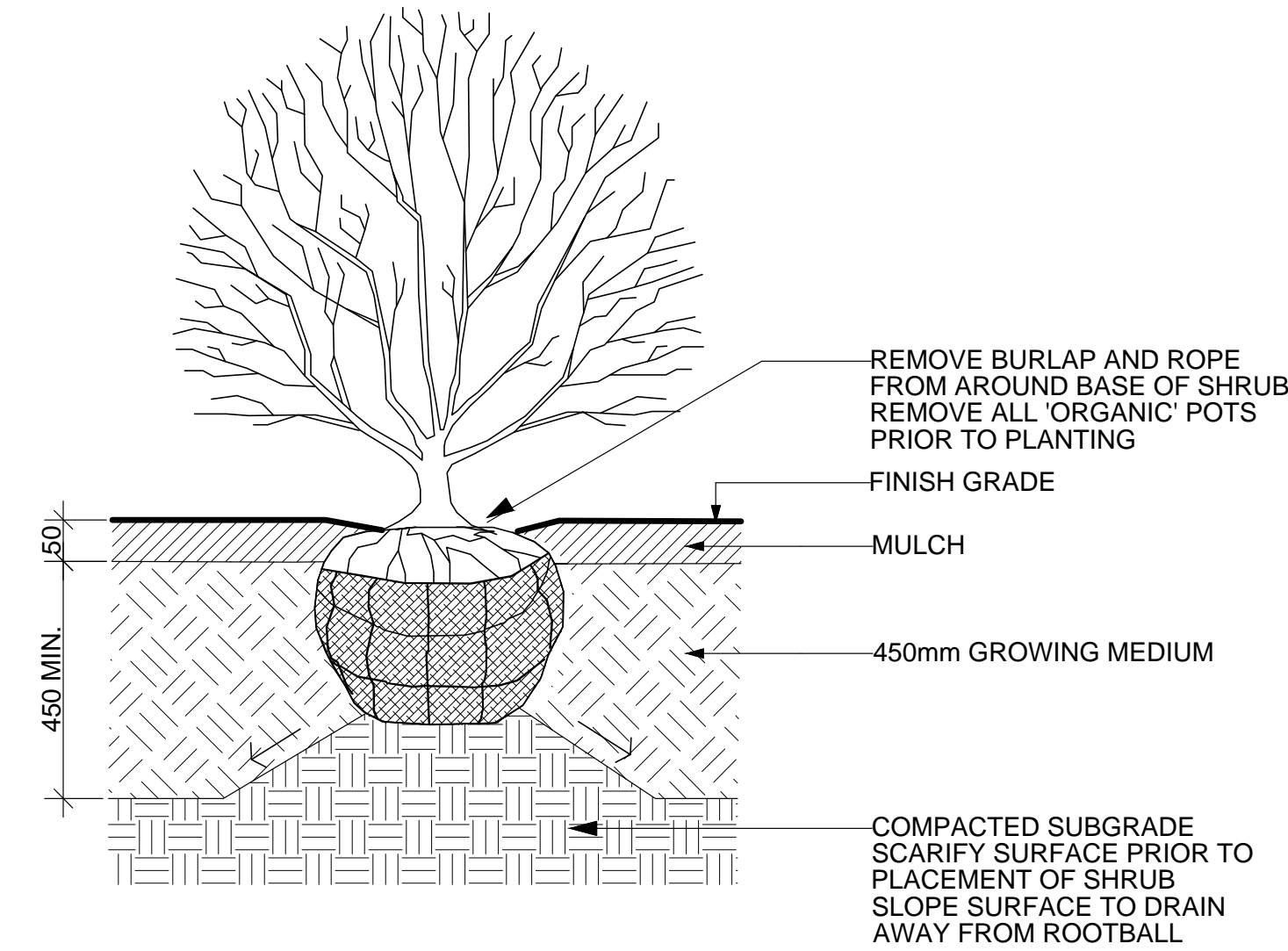
**SOD:** sand based sod (Perennial rye/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent

**GROWING MEDIUM:** in accordance with CLS standards; **FOR TURF AREAS:** Level 2H (High Traffic Lawn Areas), **FOR PLANTING AREAS:** Level 2P (Planting Areas), Supplied by Veratec Engineered Products, or equivalent; 6" min for lawn areas, 18" min for planted areas, over scarified base. Soil samples to be submitted by contractor to Pacific Soil Analysis for analysis to confirm conformance with CLS specifications. Address: 5-11720 Voyager Way, Richmond, BC V6X 3G9; Phone (604) 273-8226

**MULCH:** to be composted fir bark, having dark brown, fine texture and ½" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.

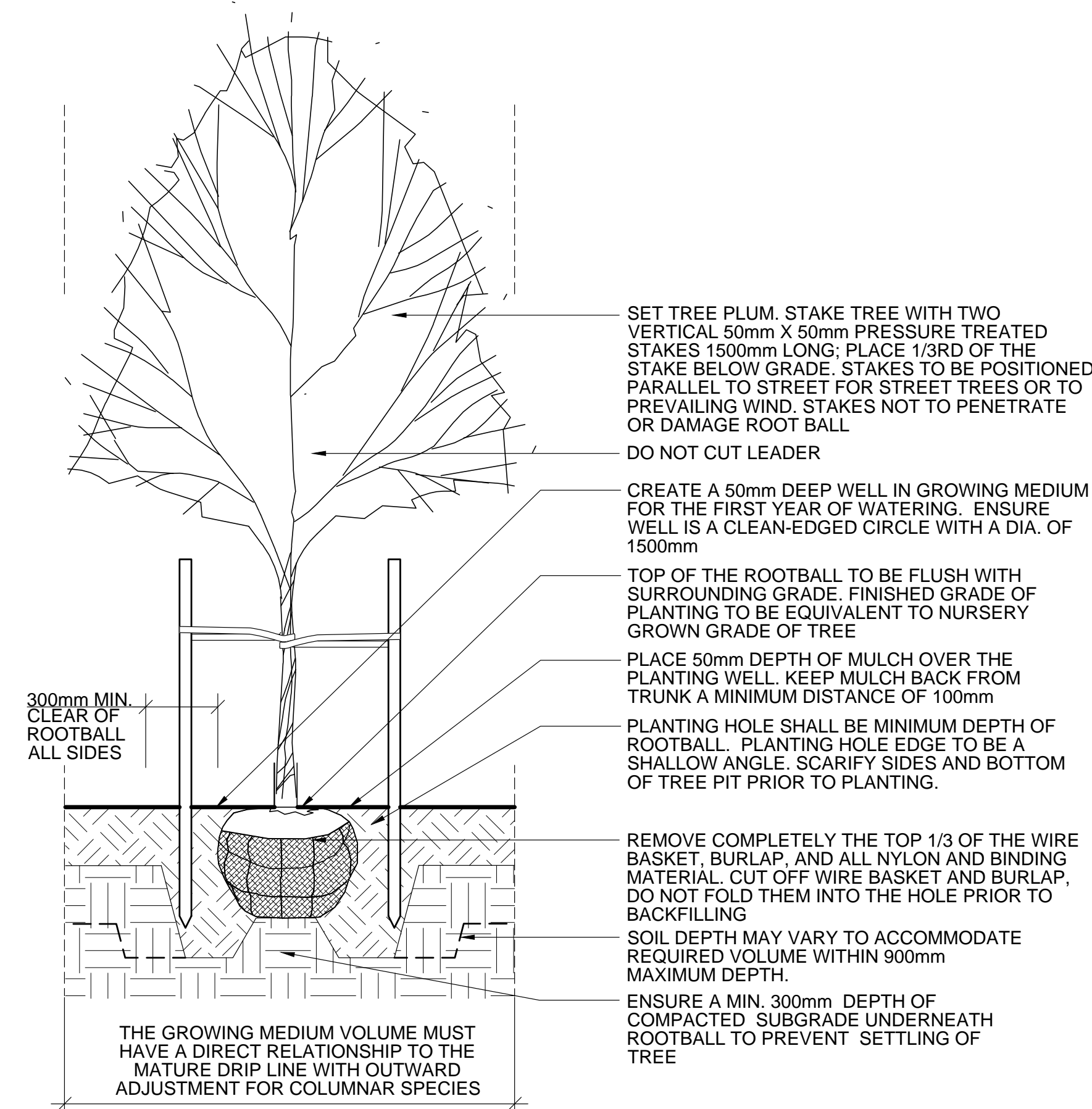
**IRRIGATION: IN GROUND, AUTOMATIC SYSTEM:** Rainbird ESP-mw WiFi compatible controller, 4-22 stations, or equivalent, with outdoor control box, mounted on side of building, with electrical plug-in. Shrub spray, turf heads and valves to be Rainbird or equivalent, and installed per Irrigation Industry Association of B.C. (IIABC) standards for residential installations, with shrub and lawn areas on separate zones. Contractor to submit shop drawing of proposed irrigation system for approval by Landscape Architect.

**LIGHTING: STEP AND PATH LIGHTS:** by LED Forms Recessed vertical step lights by Dals Lighting; **LED STEP002D-BK; DOWN ACCENT/PATH LIGHTS:** by Kichler KIC-16155BKT27 3.5W/ **HARDSCAPE LIGHTS:** by Kichler KIC-16103GRY27 2.7W. Lighting to be installed as a complete working system with wires, connectors, mounting hardware, transformer and photocell/timer controller.

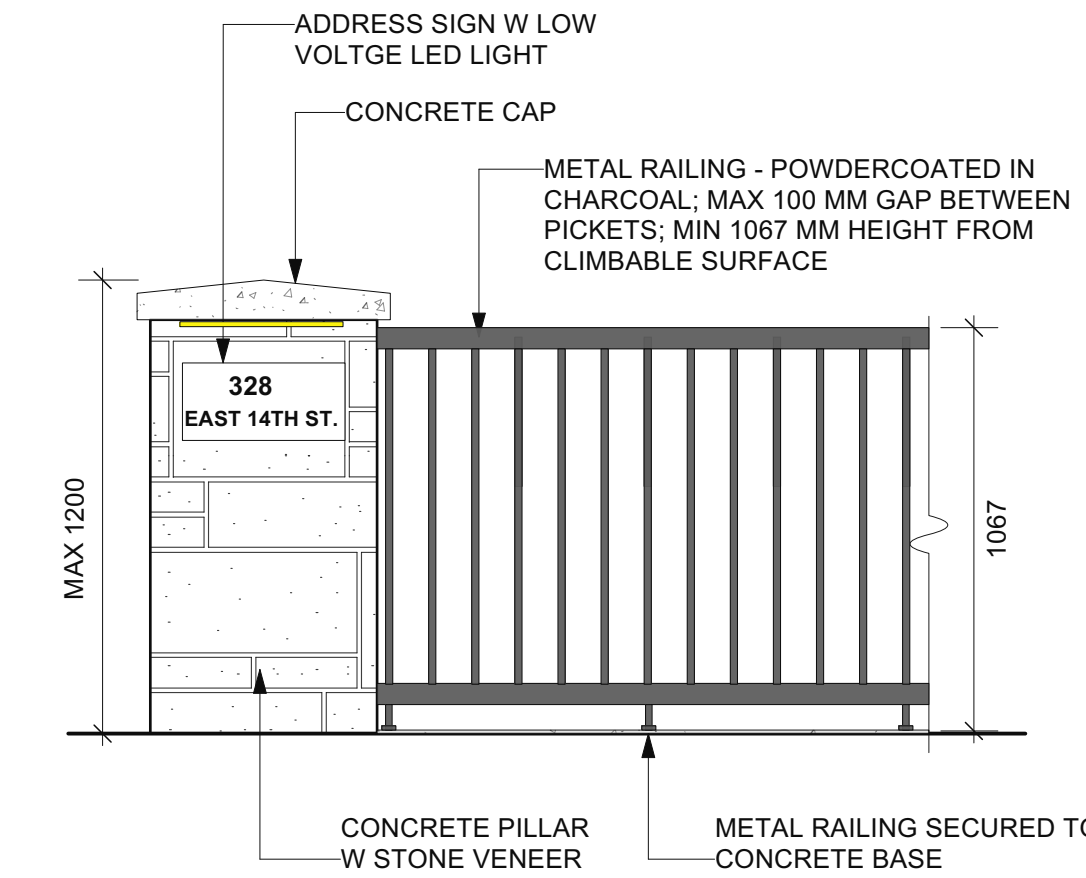


- NOTES:**
- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM
  - COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
  - PLANTING PIT MUST BE FREE DRAINING

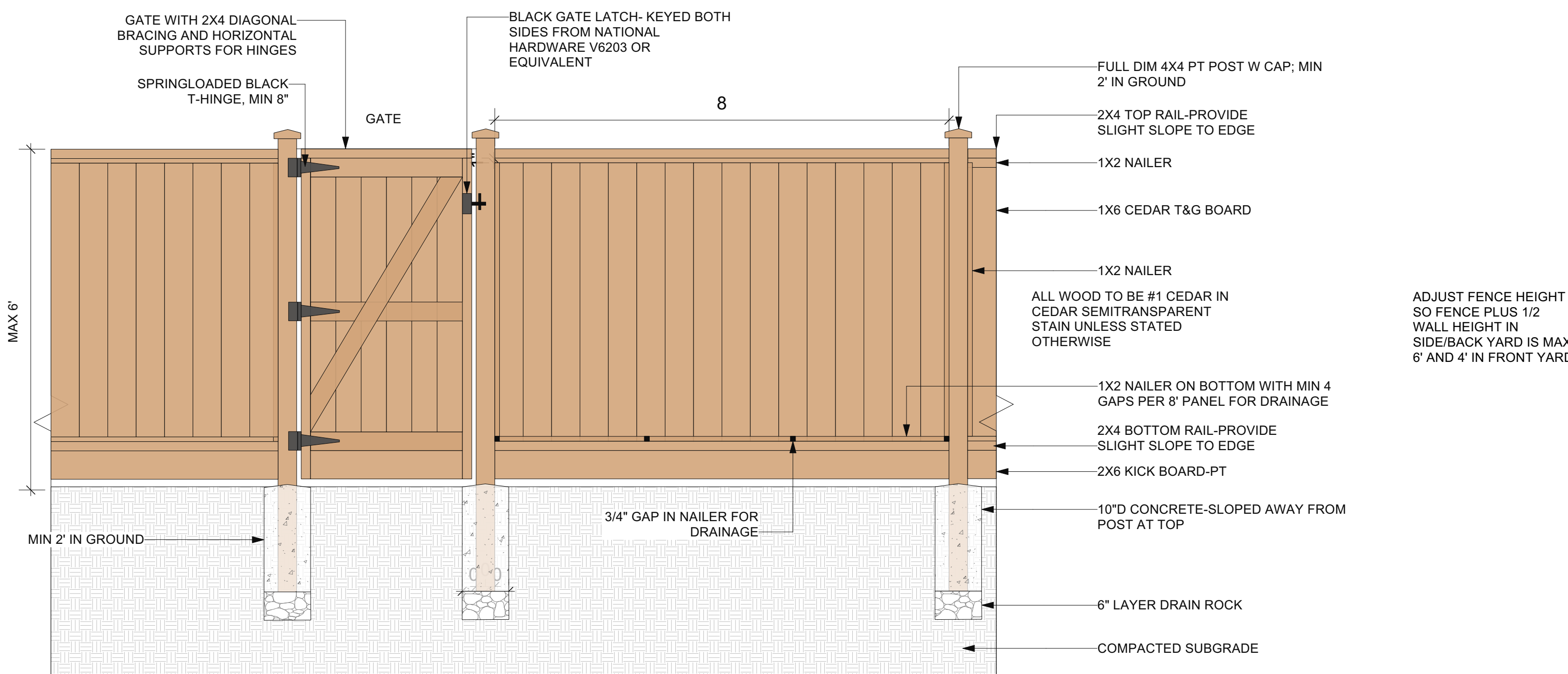
**1 SHRUB PLANTING**  
Scale: N/A



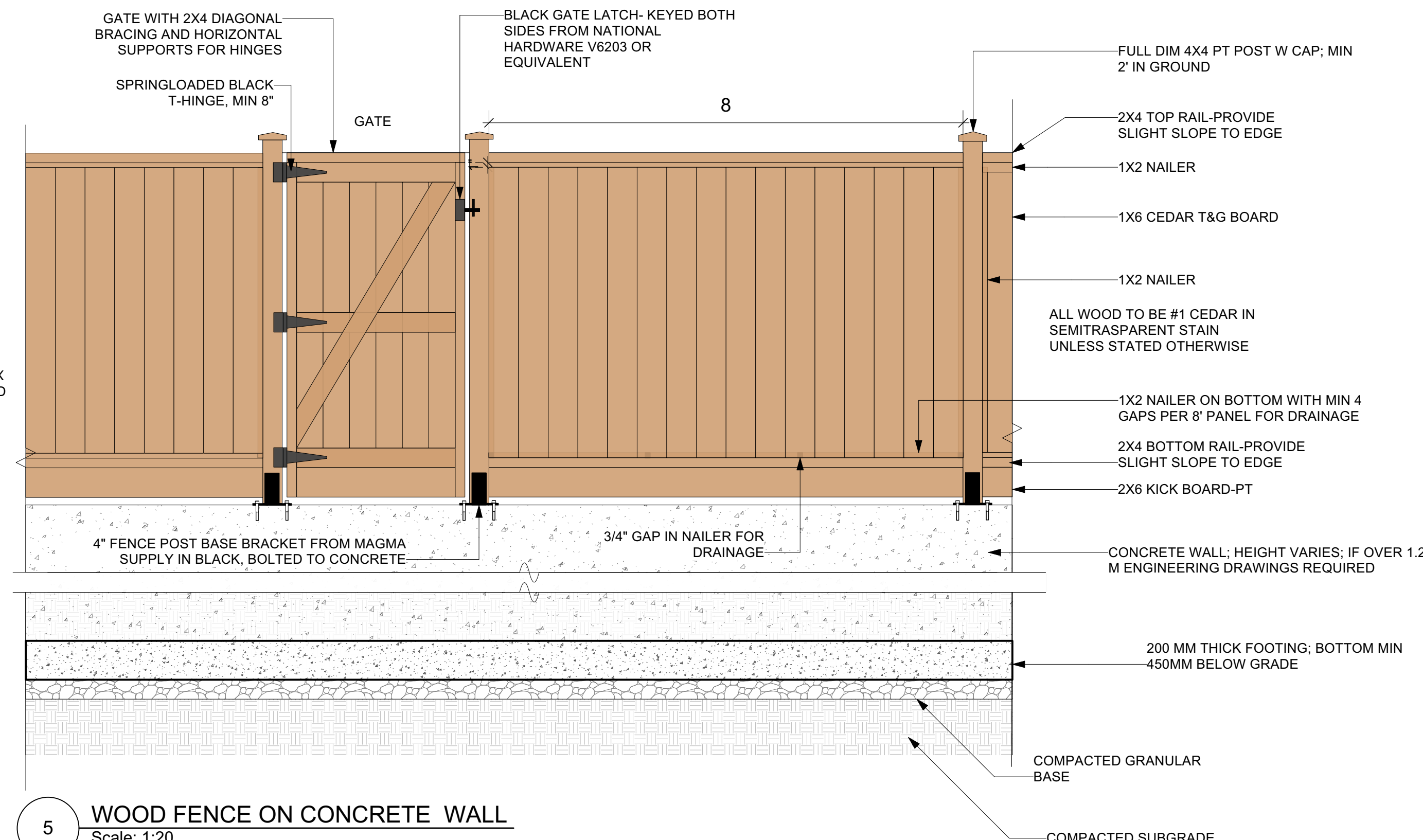
**2 TREE PLANTING DETAIL**  
Scale: N/A



**3 ADDRESS PIER W METAL RAILING**  
Scale: 1:20



**4 WOOD FENCE ON GRADE-MAX 6'**  
Scale: 1:20



**5 WOOD FENCE ON CONCRETE WALL**  
Scale: 1:20

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328&330 EAST 14TH STREET  
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**DETAILS**

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Drawn By: <b>SW</b>	Scale: <b>AS NOTED</b>
Date: <b>JANUARY 2021</b>	Sheet No.: <b>L-5</b>
CAD File Name: <b>E 14 CNV v1.vwx</b>	of <b>5</b>