



# 22022 - 311 MOODY AVE

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

ARCHITECTURE	
A0.10	SURVEY PLAN
A0.11	SITE CONTEXT
A0.12	ZONING COOP
A1.02	SITE CONTEXT PLAN
A1.01	SITE PLAN, LOCATION PLAN & PROJECT INFORMATION
A1.03	SITE SECTIONS
A2.04	CODE ANALYST
A2.05	3D VIEWS SHADOWS JUNE 21
A2.06	3D VIEWS SHADOWS DECEMBER 21
A2.07	3D VIEWS SHADOWS MARCH 21
A3.01	FLOOR PLANS
A3.02	FLOOR PLANS
A3.03	AREA CALCULATIONS
A3.31	PLANS - UNIT 101
A3.32	PLANS - UNIT 102
A3.33	PLANS - UNIT 103
A3.34	PLANS - UNIT 104
A3.35	PLANS - UNIT 105
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS

## PROJECT TEAM

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3	2025.06.27	REISSUED FOR DEVELOPMENT. PERMIT
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**22022 - 311 MOODY AVE**

PROJECT ADDRESS  
**311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8**

DRAWING TITLE  
**COVER PAGE**

SCALE	1/8" = 1'-0"
DRAWN	M.S
CHECKED	M.Z
PROJECT NO.	22022
DRAWING NO.	

A0.00

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MOODY AVE VIEW



BACKYARD VIEW



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DRAWING TITLE

RENDERS

SCALE

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DRAWING TITLE

**RENDERS**

SCALE

DRAWN M.S

CHECKED M.Z

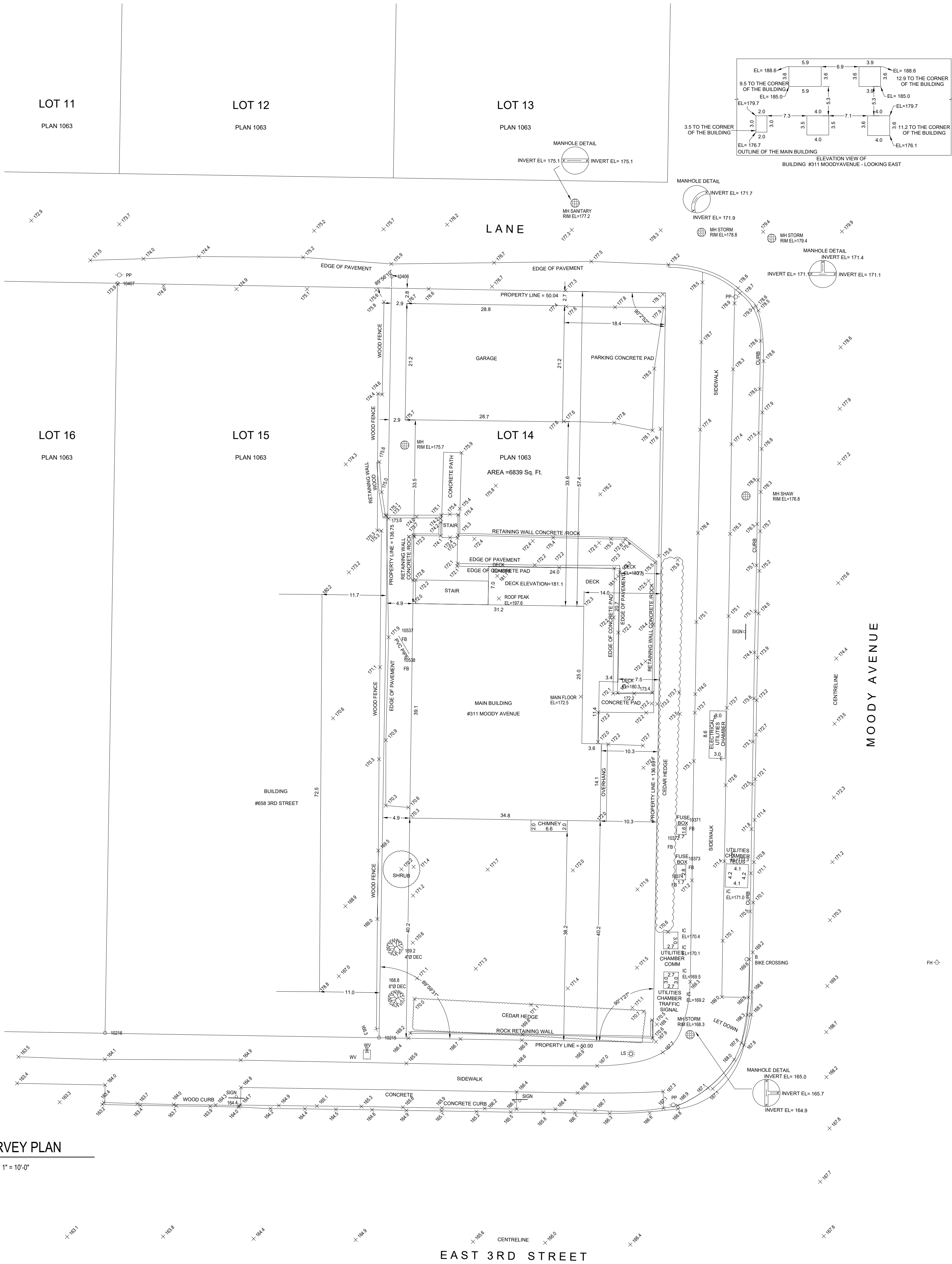
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1 SURVEY PLAN  
SCALE: 1" = 10'-0"

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PROJECT ADDRESS

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NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

SURVEY PLAN

SCALE	1" = 10'-0"
DRAWN	M.S
CHECKED	M.Z
PROJECT NO.	22022
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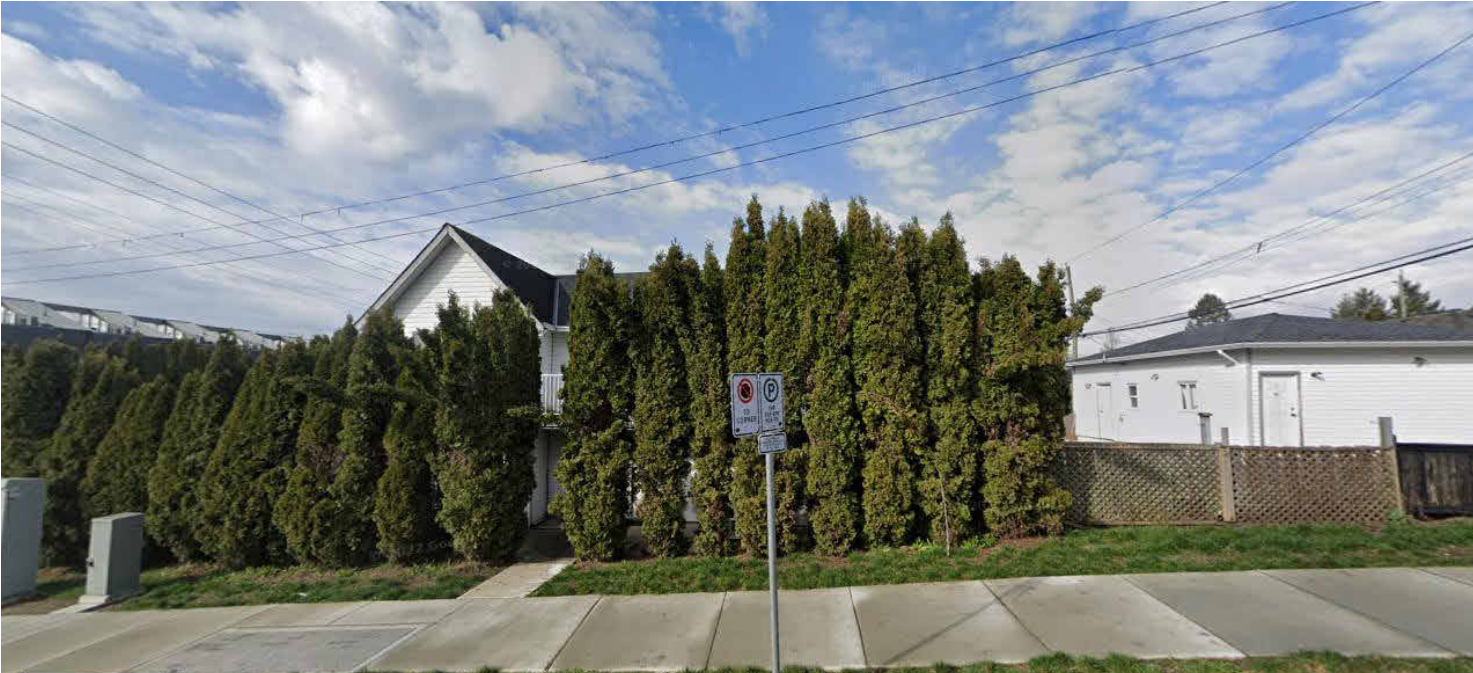
VIEW FROM E 3RD ST. TO MOODY AVE.



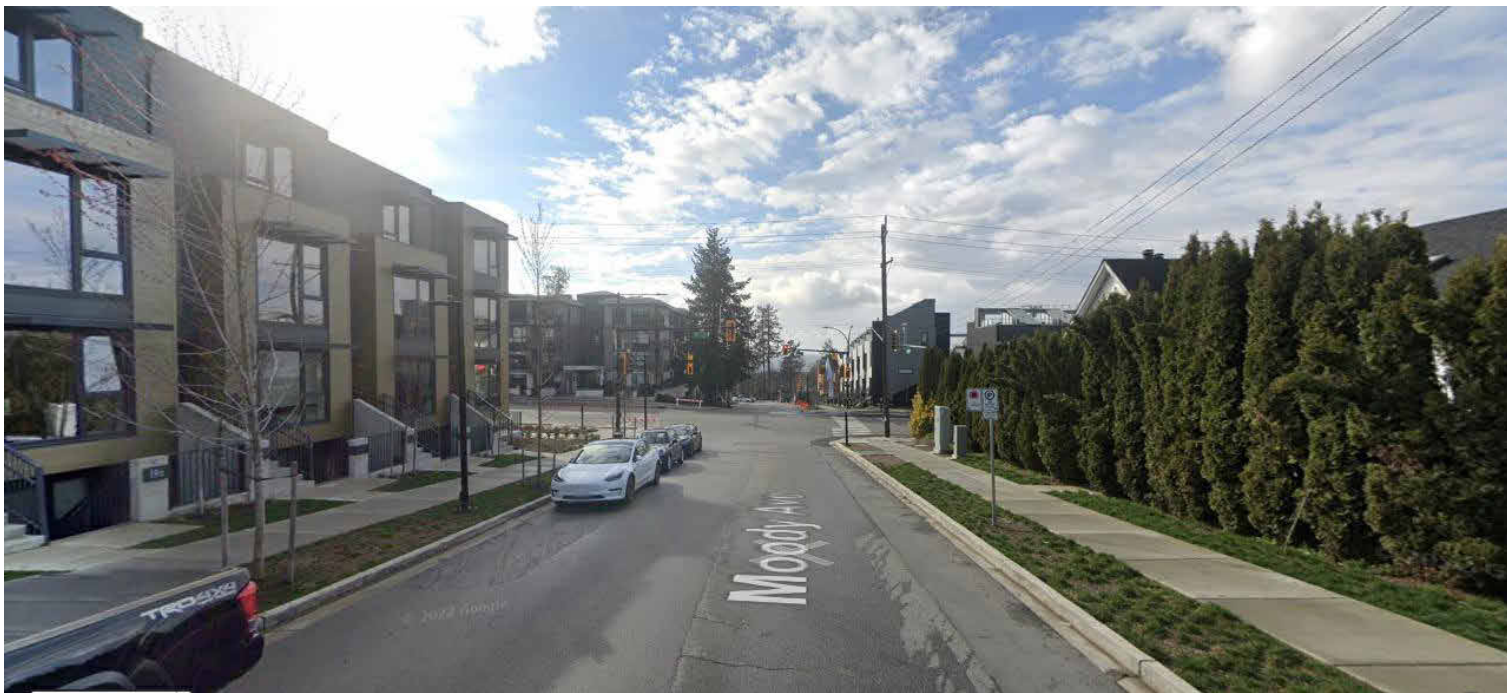
VIEW ALONG E 3RD STREET



EAST VIEW FROM SITE



ELEVATION ALONG E 3RD STREET



VIEW FROM MOODY AVE. TO E 3RD ST.



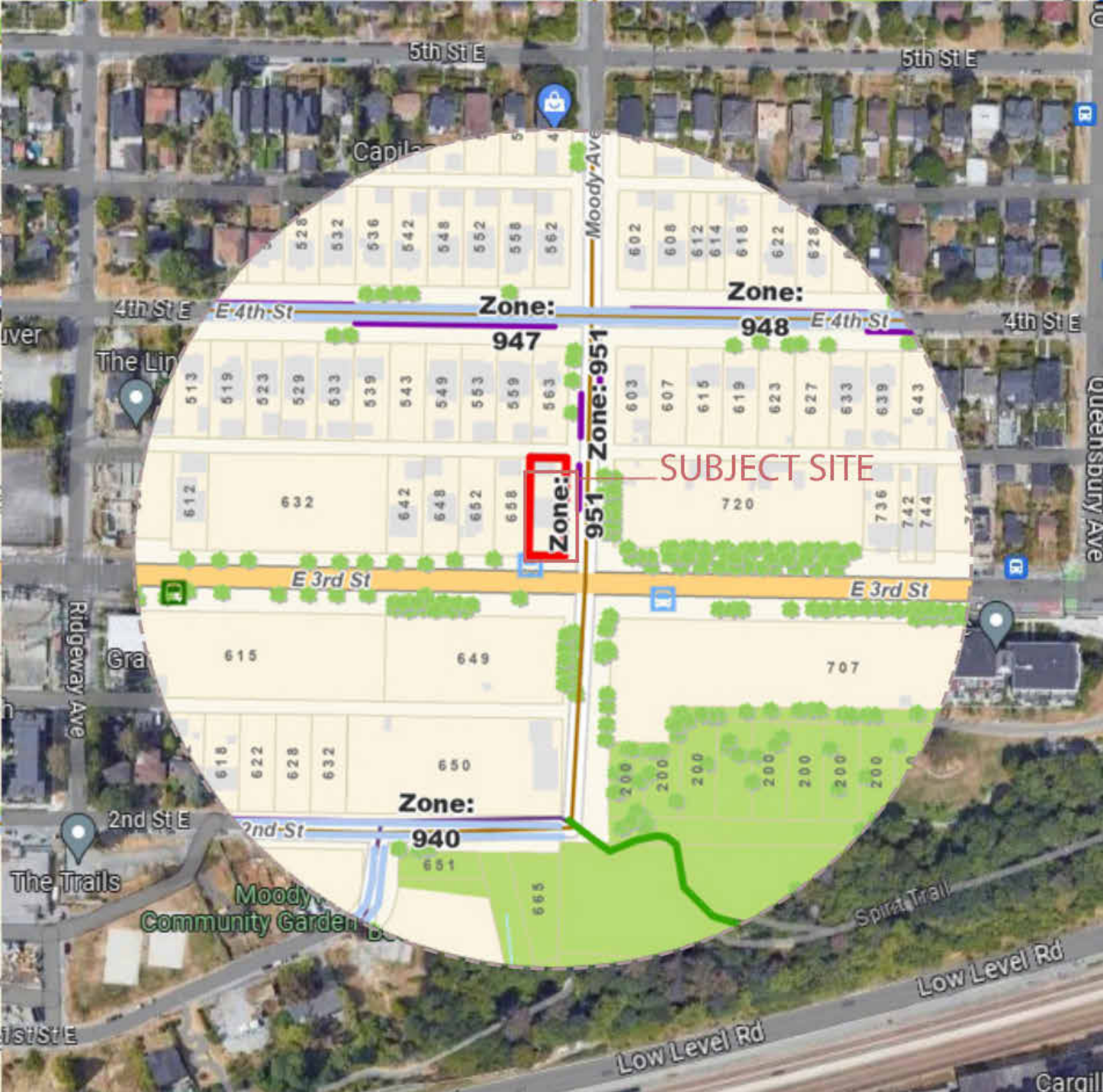
VIEW OF SITE FROM LANE



VIEW OF SITE FROM LANE



VIEW OF SITE FROM LANE



### Legend

Subject Site

### Bike Routes

#### BMP\_Designation, BMP\_Type

- Off-Street - Multi-Use Path
- On-Street - Separated Bike Lane
- On-Street - Bike Lane
- On-Street - Shared Wide Curb Lane
- On-Street - Shared Single File
- RapidBus
- local
- Resident Exempt Parking

### Skateboards Routes

#### TYPE

- Local Streets
- Streets With Mobility Lanes
- Truck Routes



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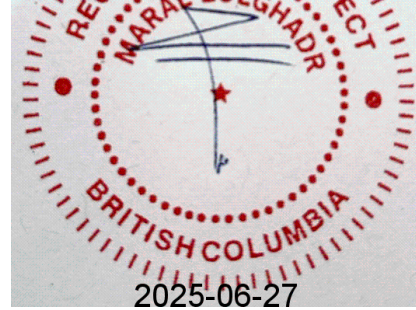
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DRAWING TITLE

SITE CONTEXT

SCALE

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PROJECT NO. 22022

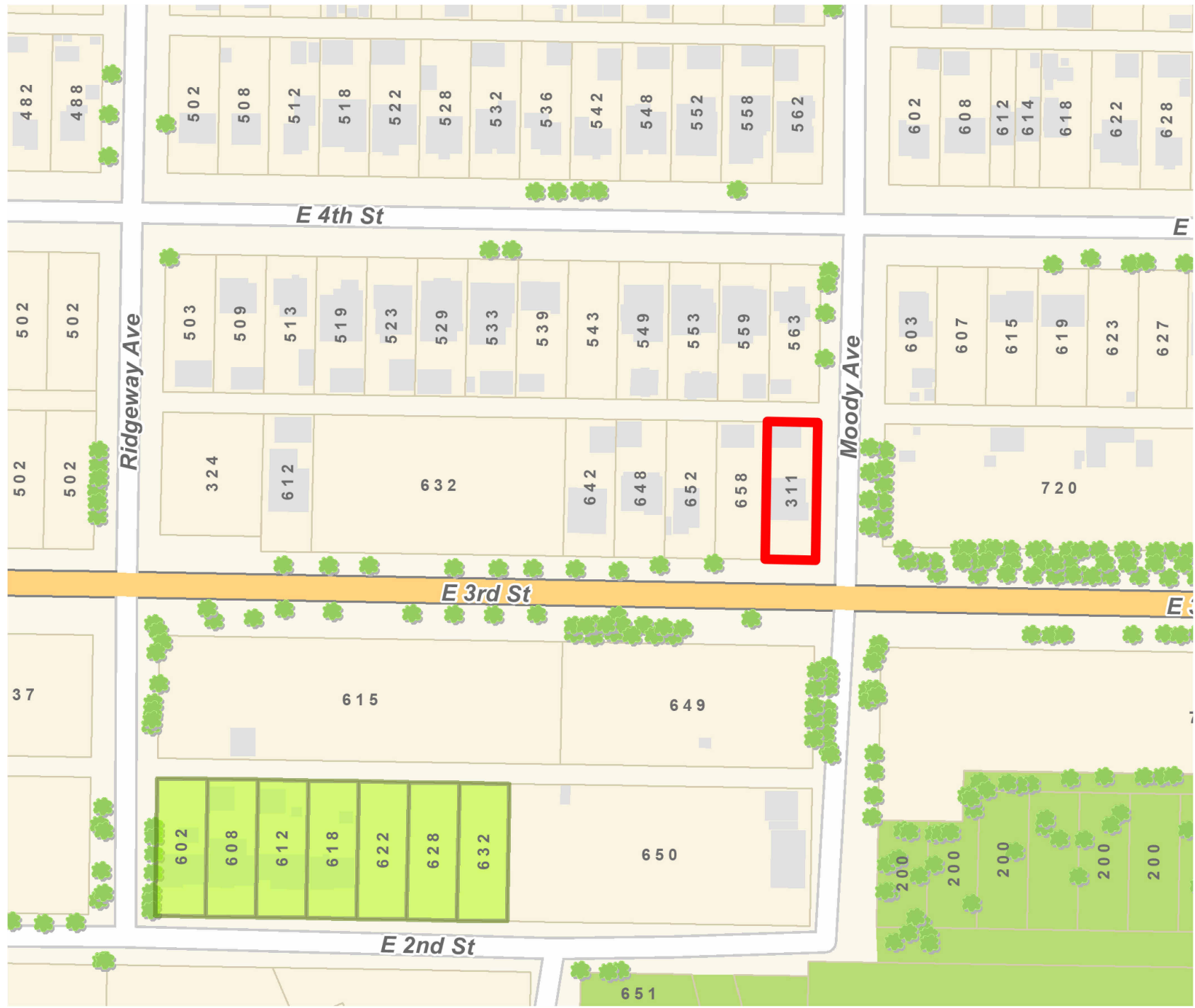
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Legend  
Subject Site  
Development Applications  
CASE\_CODE  
REZ  
OCP  
DVP  
DPA  
TUP  
Heritage Buildings  
Heritage Character Areas  
Heritage Conservation Areas



Legend  
Subject Site  
Development Applications  
CASE\_CODE  
REZ  
OCP  
DVP  
DPA  
TUP  
Heritage Buildings  
Heritage Character Areas  
Heritage Conservation Areas



Legend  
Subject Site  
2014 OCP Maximum Height Limits (m)  
2014 OCP Special Study Areas  
Residential Level 1  
Residential Level 2  
Residential Level 3  
Residential Level 4A  
Residential Level 4B  
Residential Level 5  
Residential Level 6  
Mixed Use Level 1  
Mixed Use Level 2  
Mixed Use Level 3  
Mixed Use Level 4A  
Mixed Use Level 4B  
Harbourside Waterfront (Mixed Use)  
Parks, Recreation & Open Space  
School & Institutional  
Commercial  
Mixed Employment  
Industrial



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**OCP - RG-3 (GROUND-ORIENTED RESIDENTIAL 3):**  
**MAX FLOOR SPACE RATIO = 1**  
**MAX HEIGHT = 9 M FROM BLDG AVE GRADE**

## APPLICABLE GUIDLINES:

- MOODYVILLE DEVELOPMENT GUIDELINES
- GUIDLINES FOR RECYCLING AND GARBAGE SPACE
- ADAPTABLE DESIGN GUIDELINES
- ZONING BYLAW, 1995, NO. 6700

## Legend

Subject Site  
2014 OCP Maximum Height Limits (m)  
2014 OCP Special Study Areas  
Residential Level 1  
Residential Level 2  
Residential Level 3  
Residential Level 4A  
Residential Level 4B  
Residential Level 5  
Residential Level 6  
Mixed Use Level 1  
Mixed Use Level 2  
Mixed Use Level 3  
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Harbourside Waterfront (Mixed Use)  
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**ZONING OCP**

SCALE

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PROJECT NO. 22022

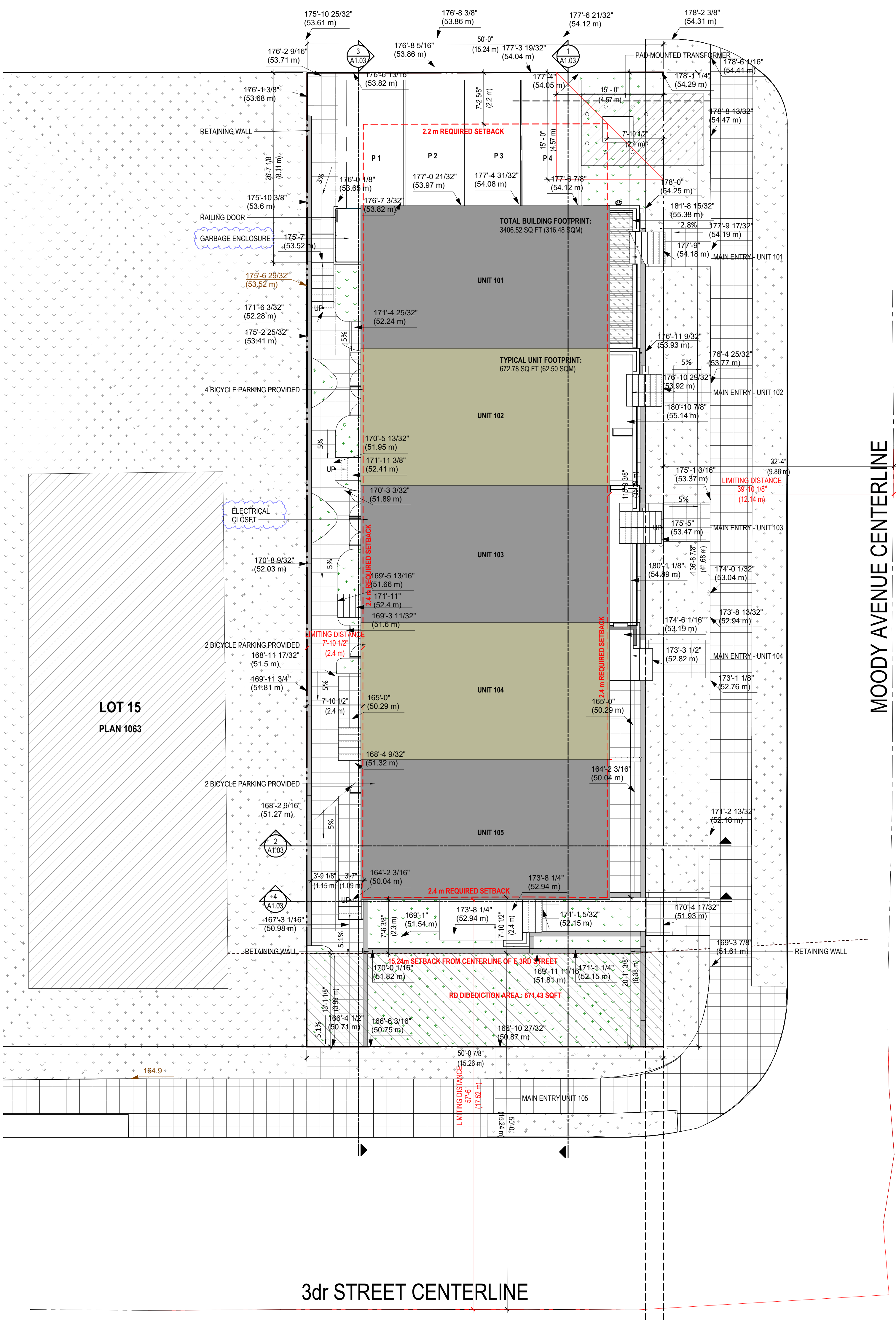
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### 3 OVERALL SITE PLAN

SCALE: 1/8" = 1'-0"

## ZONING BY-LAW ANALYSIS

### PROJECT DATA

CIVIC ADDRESS: 311 MOODY AVEUNE, NORTH VANCOUVER, BC V7L 4T8  
LEGAL ADDRESS: TYPE LOT; LOT:14; BLOCK:22; DL:273; PLAN:1063  
ZONING: RG-3 (GROUND-ORIENTED RESIDENTIAL 3)  
BUILDING USE: RESIDENTIAL  
OCP: R4A

### ZONING BYLAW ANALYSIS (CITY OF NORTH VANOUVER)

- ZONING:**  
RG-3 (GROUND-ORIENTED RESIDENTIAL 3)
- SITE AREA:**  
6,839.00 SQ FT ( 635.36 SQ M )
- SITE COVERAGE:**  
TOTAL SITE AREA: 6,840.84 SQ FT ( 635.53 SQ M )  
ALLOWABLE SITE COVERAGE: 60% [ 4,104.50 SQ FT ( 381.32 SQ M ) ]  
PROPOSED SITE COVERAGE: (BUILDING AREA) / (SITE AREA) = %  
3,406.52 SQ FT / 6,840.84 SQ FT = 49.80%

FLOOR AREA SCHEDULE- PER EACH FLOOR		
LEVEL	AREA (SF)	AREA (SM)
LOWER FLOOR	3,235.80 SF	300.82 m²
MAIN FLOOR	3,136.90 SF	291.43 m²
SECOND FLOOR	3,077.12 SF	285.87 m²
THIRD FLOOR	1,246.72 SF	115.82 m²
BUILDING FLOOR AREA	10,696.54 SF	993.74 m²

TOTAL GFA EXEMPTION: (CELLAR AREAS, LOCK-OFF UNIT INCENTIVE, BIKE PARKING)

3,291.06 SQ FT + (150.70 SQ FT x 5=753.5) + 82 SQ FT= 4,126.56 SQ FT

TOTAL GROSS FLOOR AREA:  
10,967.39 SQ FT - 4,126.56 SQ FT = 6,840.83 SQ FT

FLOOR SPACE RATIO: (TOTAL GROSS FLOOR AREA) / (SITE AREA)  
6,840.83 SQ FT / 6,840.84 SQ FT = 1.00

AREA SCHEDULE					
LOT AREA	RD DEDICATION	DEVELOPABLE LOT AREA	GFA	PROPOSED FAR	ALLOWABLE FAR
6,840.84 SF	671.43 SF	6,169.41 SF	6,840.83 SF	1.00	1.00

- BUILDING HEIGHT:**  
MAXIMUM HEIGHT: 39'-8 7/8" ( 12.00 M ) FRONT LINE 29'-6 3/8" (9.00 M) REAR LINE\*  
PROPOSED HEIGHT: 34'-2 1/8" ( 10.42 M ) FRONT LINE 29'-5 5/8" (8.98 M) REAR LINE

\* MAX ALLOWED HEIGHT HAS BEEN CALCULATED PER MOODYVILLE GUIDELINE SECTION 7.4

- REQUIRED SETBACKS:**  
FRONT YARD (EAST 3RD): 7'-10 1/2" ( 2.40 M )  
SIDE YARD (MOODY AVE): 7'-10 1/2" ( 2.40 M )  
SIDE YARD (COMMON SITE): 7'-10 1/2" ( 2.40 M )  
REAR YARD (LANE): 7'-2 1/2" ( 2.20 M )
- PROPOSED SETBACKS:**  
FRONT YARD (EAST 3RD): 7'-10 1/2" ( 2.40 M )  
SIDE YARD (MOODY AVE): 7'-10 1/2" ( 2.40 M )  
SIDE YARD (COMMON SITE): 7'-10 1/2" ( 2.40 M )  
REAR YARD (LANE): 19' ( 5.79 M )

### 6. CAR PARKING AND LOADING:

#### RESIDENTIAL USE:

PARKING STALLS REQUIRED: 1.05 PARKING STALLS REQUIRED PER DWELLING UNIT  
5 STALLS REQUIRED

#### STALL DIMENSIONS:

STANDARD STALL DIMENSIONS: 8'-2 1/2" ( 2.5 M ) WIDE, 18'-0" ( 5.486 M ) LONG

SMALL CAR STALL DIMENSIONS: 8'-0 1/16" ( 2.44 M ) WIDE, 15'-3" ( 4.65 M ) LONG

#### TOTAL STALLS PROVIDED:

4 STANDARD STALLS

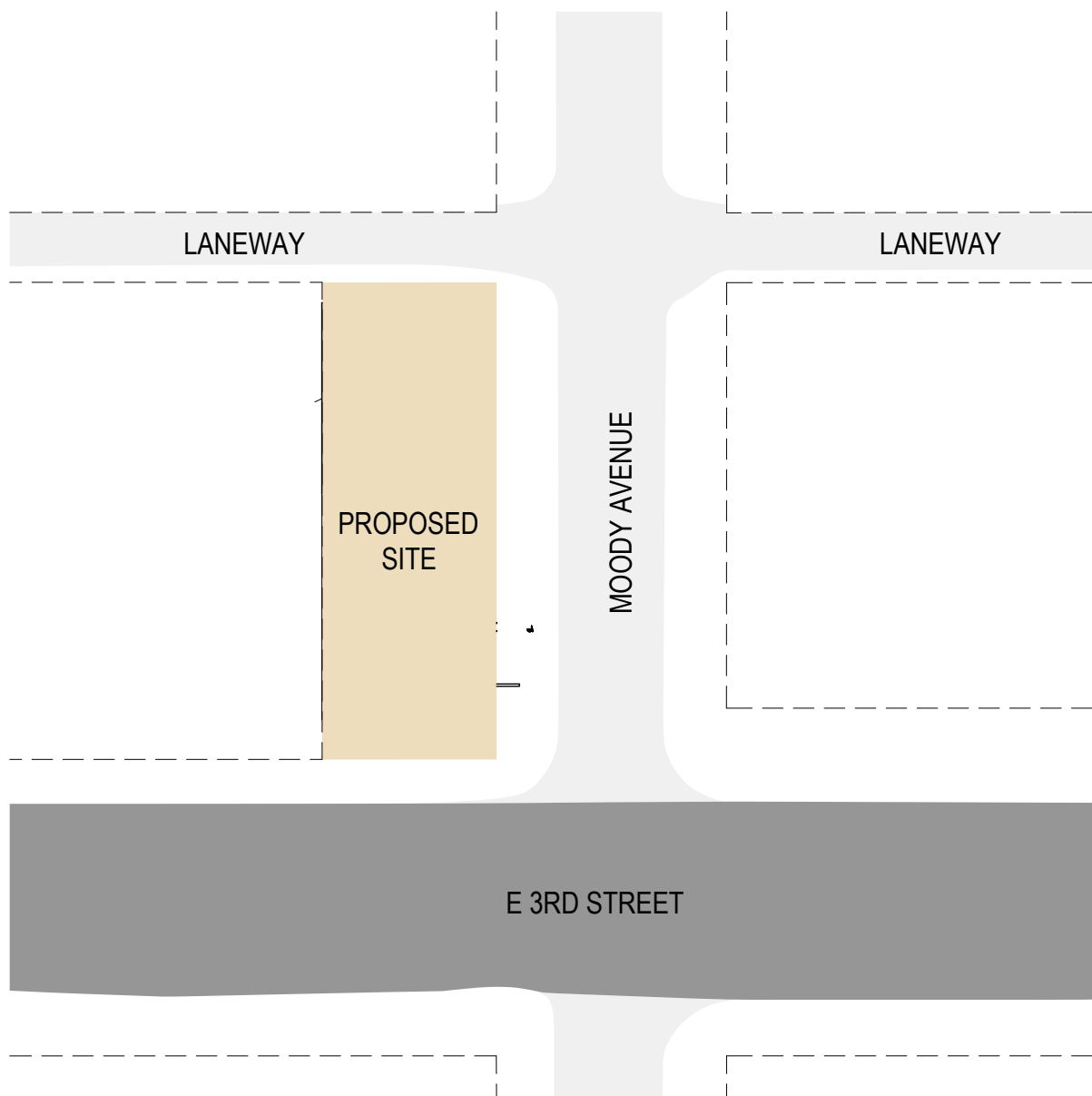
### 7. BIKE PARKING AND LOADING:

#### RESIDENTIAL USE:

PARKING STALLS REQUIRED: 1.5 PARKING STALLS REQUIRED PER DWELLING UNIT  
8 STALLS REQUIRED

#### TOTAL STALLS PROVIDED:

8 STALLS



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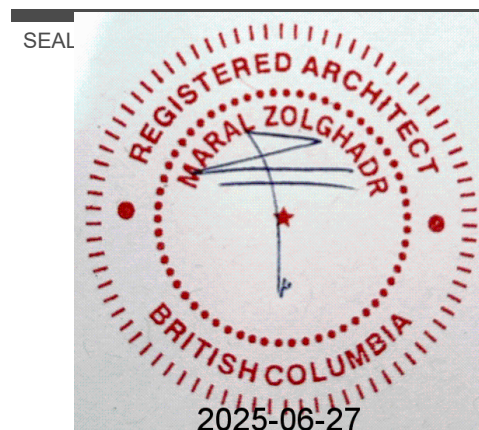
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DRAWING TITLE

**SITE PLAN, LOCATION  
PLAN & PROJECT  
INFORMATION**

SCALE: As indicated

DRAWN: M.S

CHECKED: M.Z

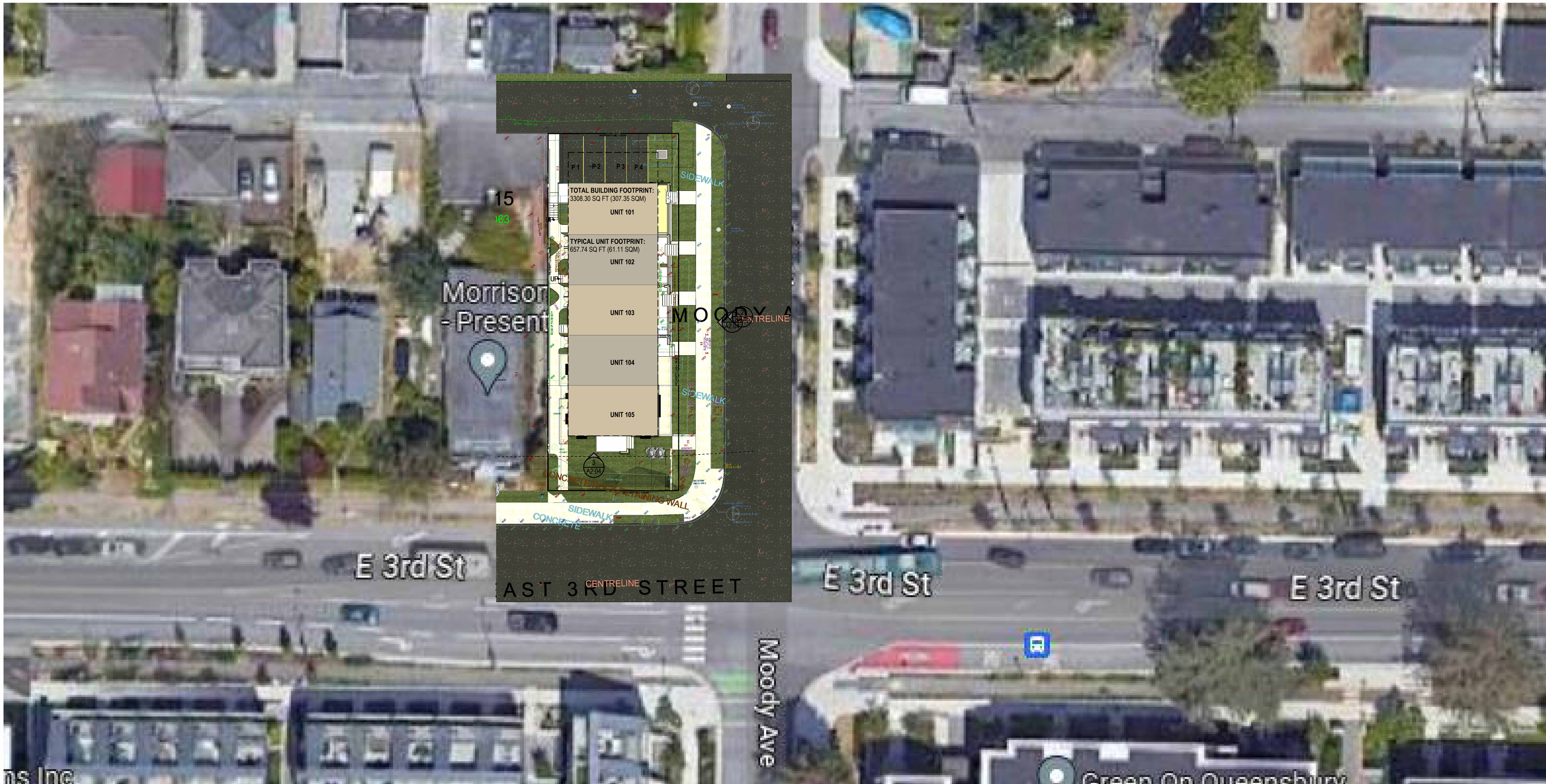
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1 CONTEXT SITE PLAN

SCALE: 1" = 20'-0"



2 CONTEXT SITE SECTION ALONG MOODY AVE

SCALE: 1/8" = 1'-0"

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SITE CONTEXT PLAN

SCALE As indicated

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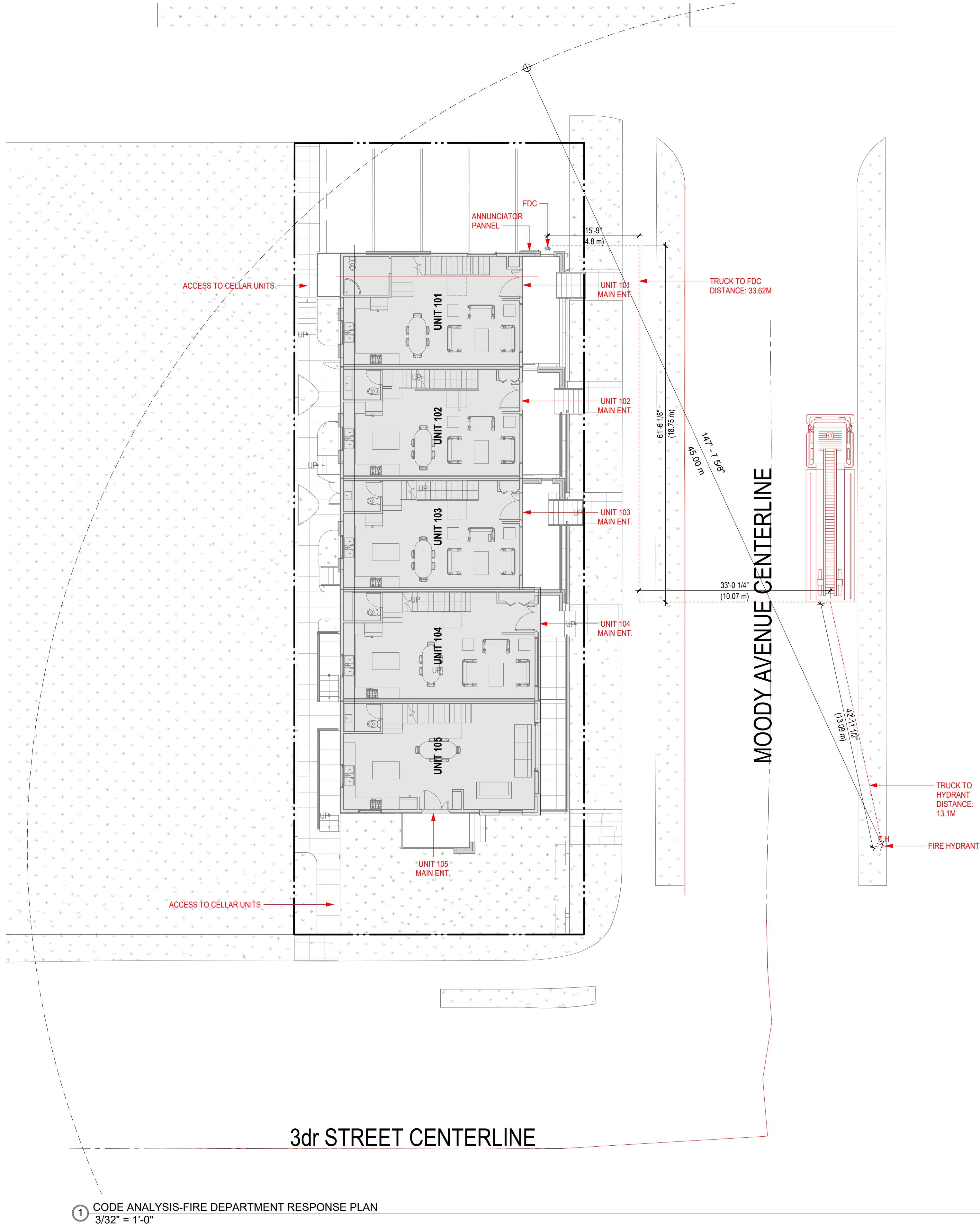
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### FIRE ACCESS LEGEND

- SIAMESE F.D. CONNECTION
- DISTANCE FROM FIRE TRUCK TO ENTRANCE DOOR
- DISTANCE FROM FIRE HYDRANT TO FIRE TRUCK
- FIRE HYDRANT
- FIRE TRUCK

#### NOTE:

- ALL SURFACES WITHIN THE REQUIRED FIRE ACCESS ROUTE SHALL BE DESIGNED TO ACCOMMODATE FIRE FIGHTING EQUIPMENT LOADS AS PER THE C.O.S. FIRE DEPARTMENT REQUIREMENTS & B.C.B.C. 2016.
- MAXIMUM FIRE DEPT. TRUCK ACCESS ROUTE TO BE 90M. TRUCK TURN AROUND FACILITIES REQUIRED IF ACCESS ROUTE EXCEEDS 90M.
- NO PARKING SIGNS TO BE POSTED ALONG TRUCK FIRE ACCESS ROUTES
- MIN. WIDTH OF FIRE TRUCK ACCESS ROUTE = 6M

REFER TO CODE CONSULTANT REPORT FOR  
DETAILED INFORMATION

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PROJECT NAME

22022 - 311 MOODY  
AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PROVISIONS FOR  
FIREFIGHTING

SCALE

As Indicated

DRAWN

AT

CHECKED

M.Z

PROJECT NO.

22022

DRAWING NO.

A1.10





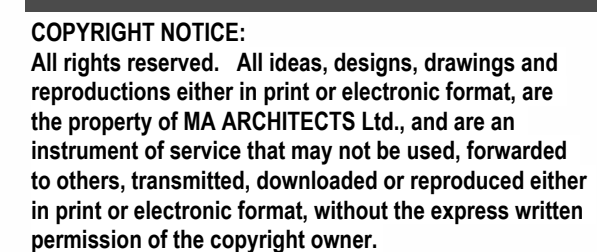
SCALE:



SCALE:



SCALE:



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PROJECT NAME

22022 - 311 MOODY  
AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

3D VIEWS SHADOWS  
MARCH 21

SCALE

DRAWN	M.S
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CHECKED	M.Z
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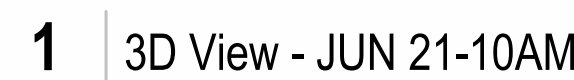
PROJECT NO. 22022

DRAWING NO.

A2.07

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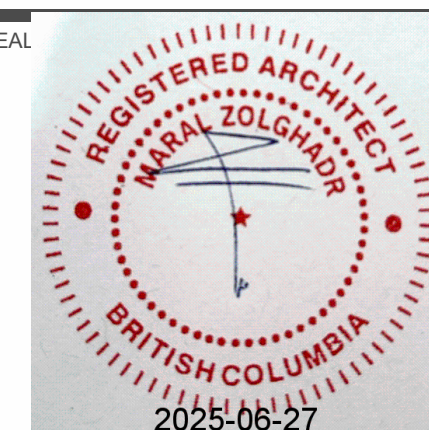




3	2025.06.27	REISSUED FOR DEVELOPMENT PERMIT
NO.	DATE Y/M/D	DESCRIPTION

ISSUES AND REVISIONS:

SEA



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PROJECT NAME

22022 - 311 MOODY  
AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

3D VIEWS SHADOWS  
JUNE 21

SCALE

DRAWN	M.S
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CHECKED	M.Z
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PROJECT NO.	2202
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DRAWING NO.

## A2.05

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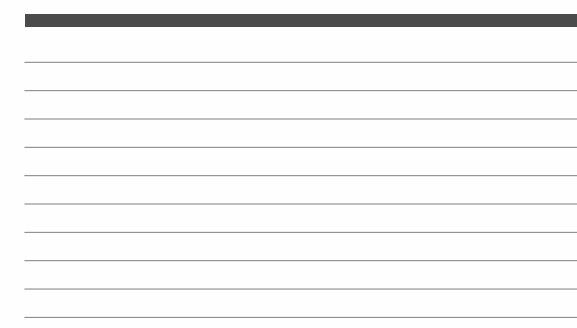
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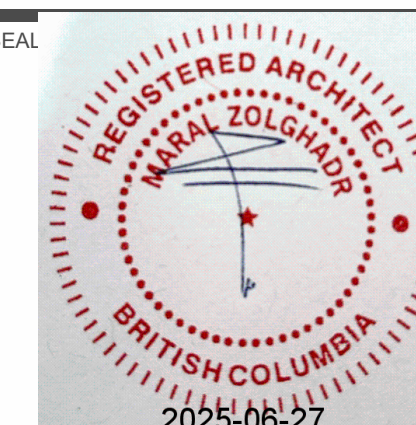
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NO.	DATE Y/M/D	DESCRIPTION

## ISSUES AND REVISIONS

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PROJECT NAME

22022 - 311 MOODY  
AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

3D VIEWS SHADOWS  
DECEMBER 21

SCALE

DRAWN	MS
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CHECKED	M.Z
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PROJECT NO. 2202

DRAWING NO.

## A2.06

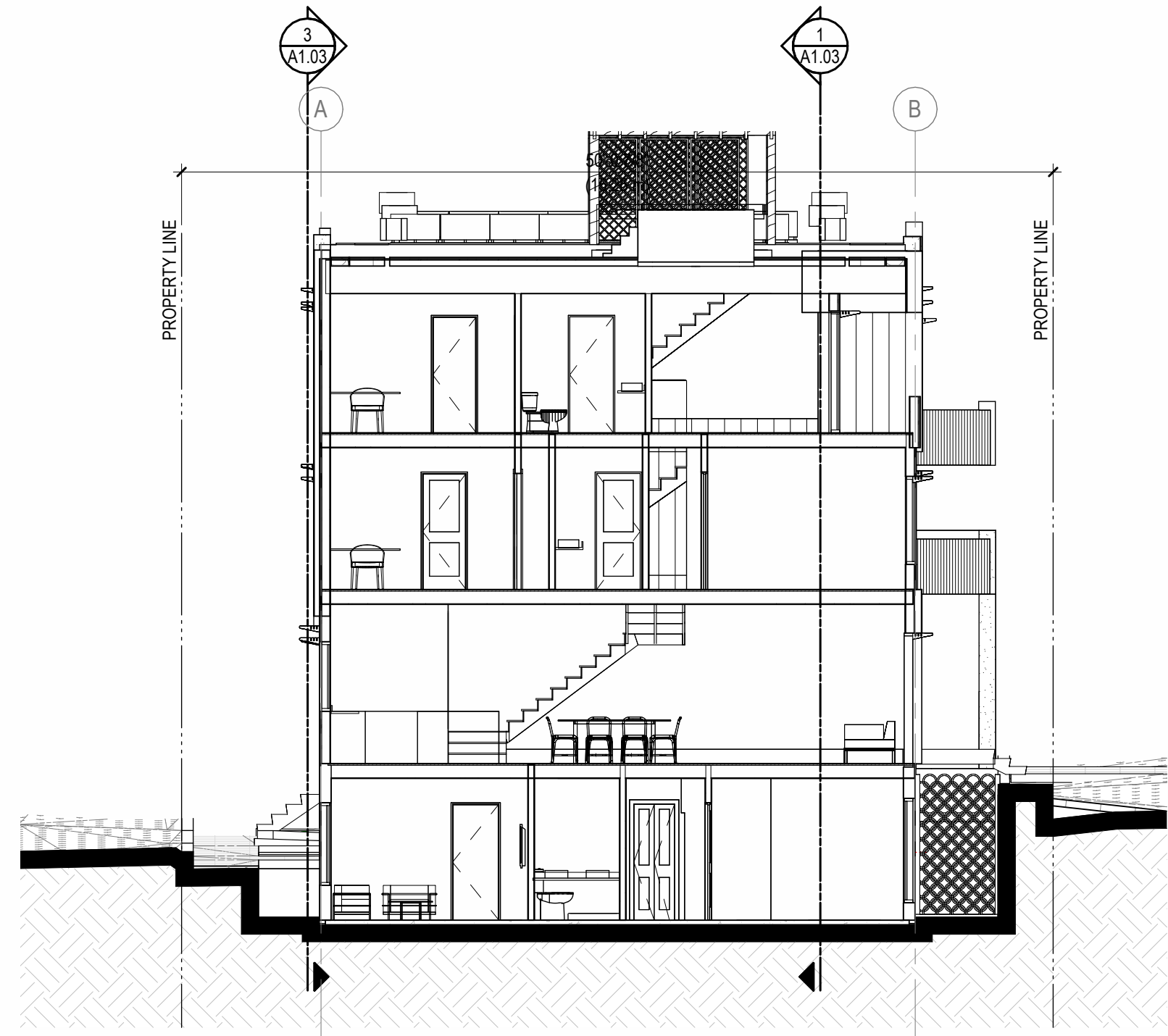
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1 Section 1

SCALE: 1/8" = 1'-0"



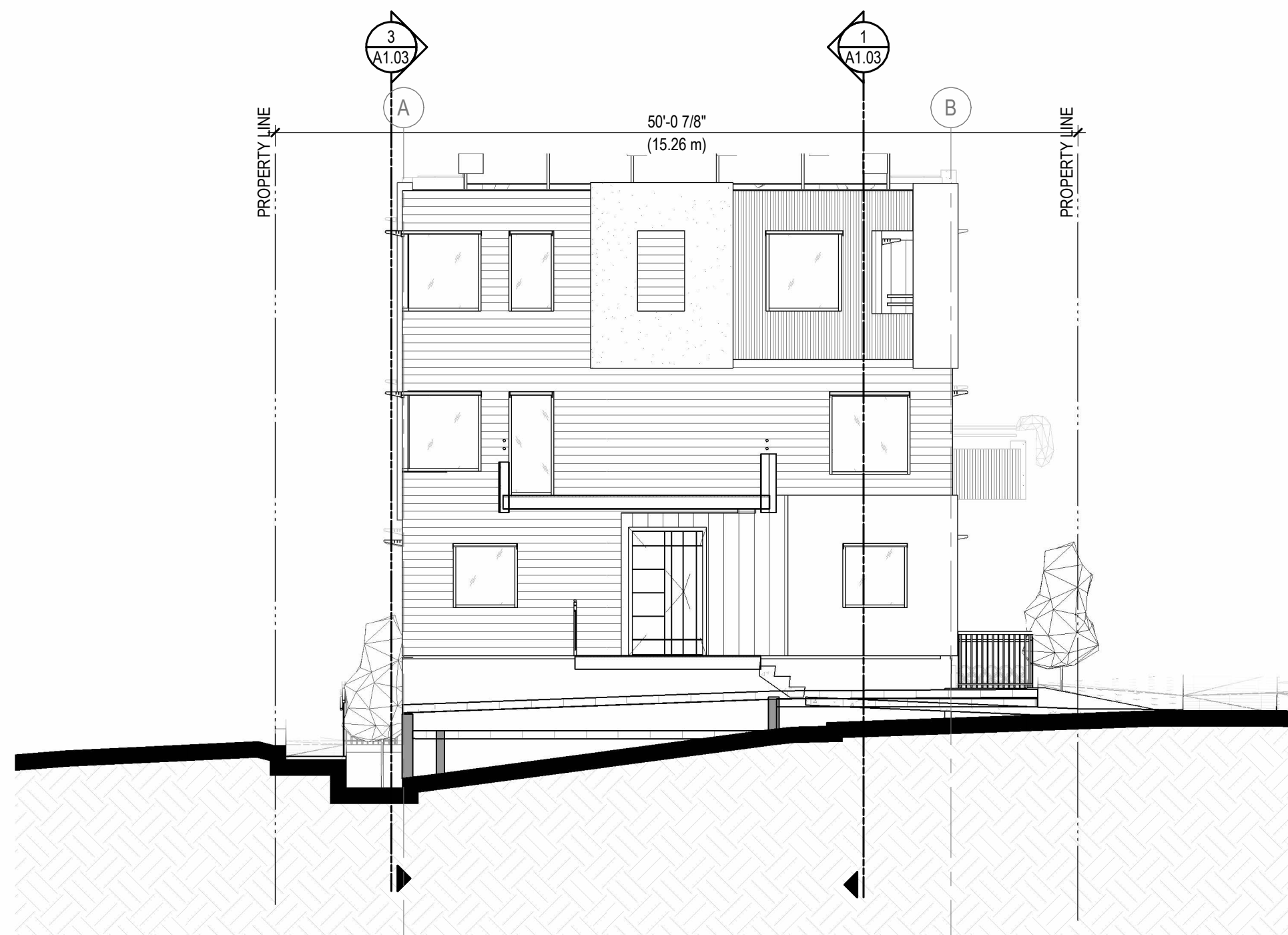
2 Section 2

SCALE: 1/8" = 1'-0"



3 Section 3

SCALE: 1/8" = 1'-0"



4 Section 4

SCALE: 1/8" = 1'-0"



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2 2025.04.17 ISSUED FOR DEVELOPMENT  
PERMIT

1 2023.05.12 ISSUED FOR PRE APP  
NO. DATE YMD DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

SITE SECTIONS

SCALE 1/8" = 1'-0"

DRAWN M.S.

CHECKED M.Z.

PROJECT NO. 22022

DRAWING NO.

A1.03

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## 1 EAST ELEVATION

SCALE: 3/16" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.05.12	ISSUED FOR PRE APP
NO.	DATE YMD	DESCRIPTION

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SEAL



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PROJECT NAME

**22022 - 311 MOODY AVE**

PROJECT ADDRESS

**311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8**

DRAWING TITLE

**BUILDING  
ELEVATIONS**

SCALE 3/16" = 1'-0"

DRAWN M.S

CHECKED M.Z

PROJECT NO. 22022

DRAWING NO.

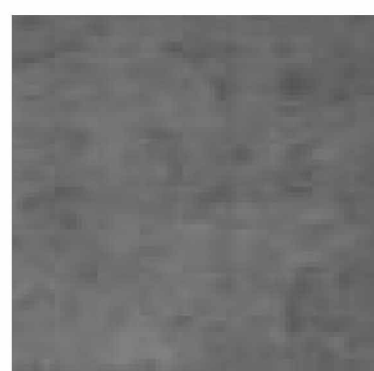
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## 2 WEST ELEVATION

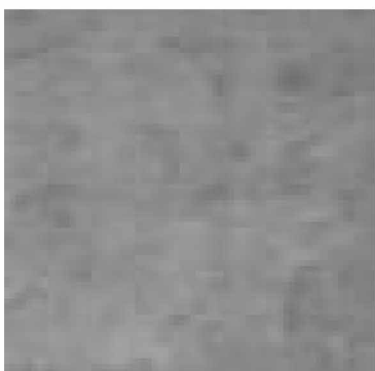
SCALE: 3/16" = 1'-0"



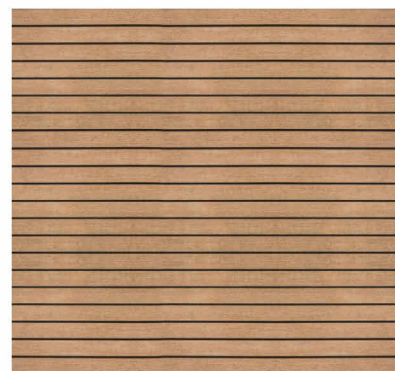
1 - STUCCO (TRADITIONAL CONCRETE LOOK)



2 - STUCCO (TRADITIONAL CONCRETE LOOK)



3 - STUCCO (TRADITIONAL CONCRETE LOOK)



4 - PANEL WOODEN LOOK



5 - PANEL WOODEN LOOK





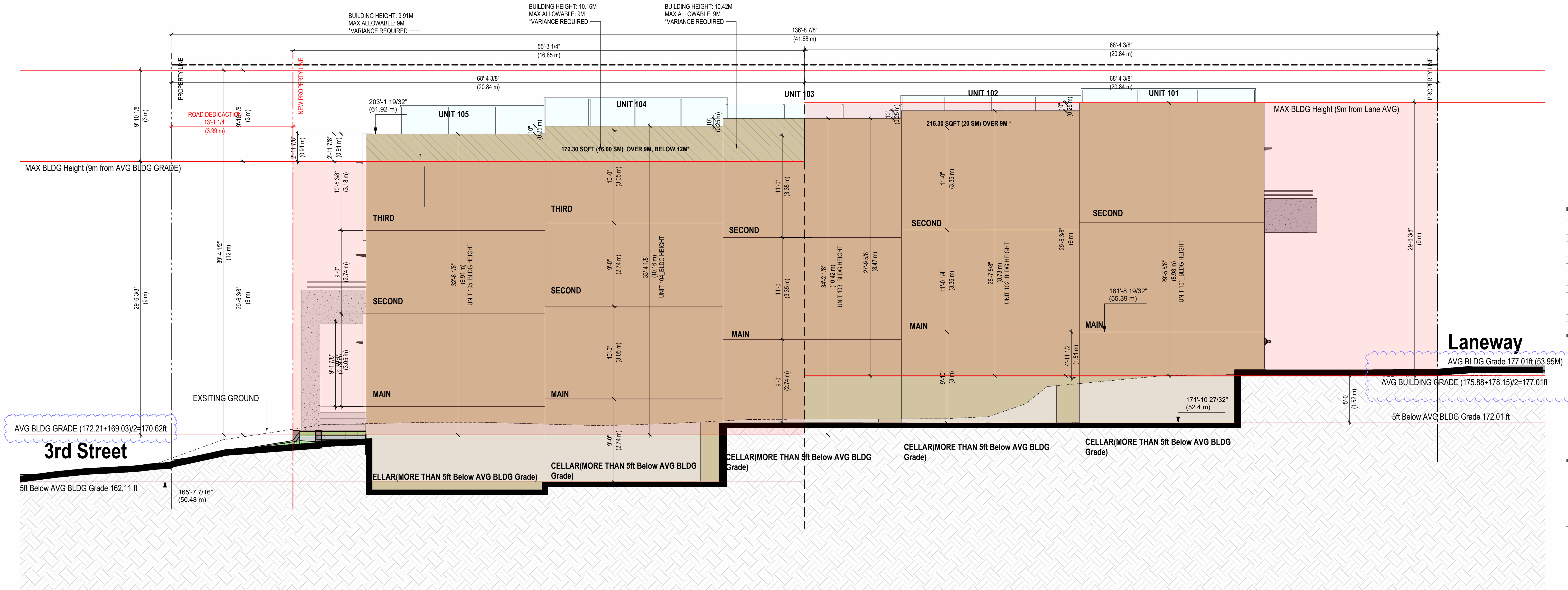
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CELL: +1 (604)-760-3243, +1 (604)-760-6461  
EMAIL: INFO@MAARCHITECTS.COM  
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3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"





Laneway

AVG BLDG Grade 177.01ft (53.95M)

AVG BUILDING GRADE (175.88+178.15)/2=177.01ft

5ft Below AVG BLDG Grade 172.01 ft

1 | Elevation Data

SCALE: 3/16" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.05.12	ISSUED FOR PRE APP
NO.	DATE YMD	DESCRIPTION

ISSUES AND REVISIONS

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

ELEVATION DATA

SCALE 3/16" = 1'-0"

DRAWN M.S

CHECKED M.Z

PROJECT NO. 22022

DRAWING NO.

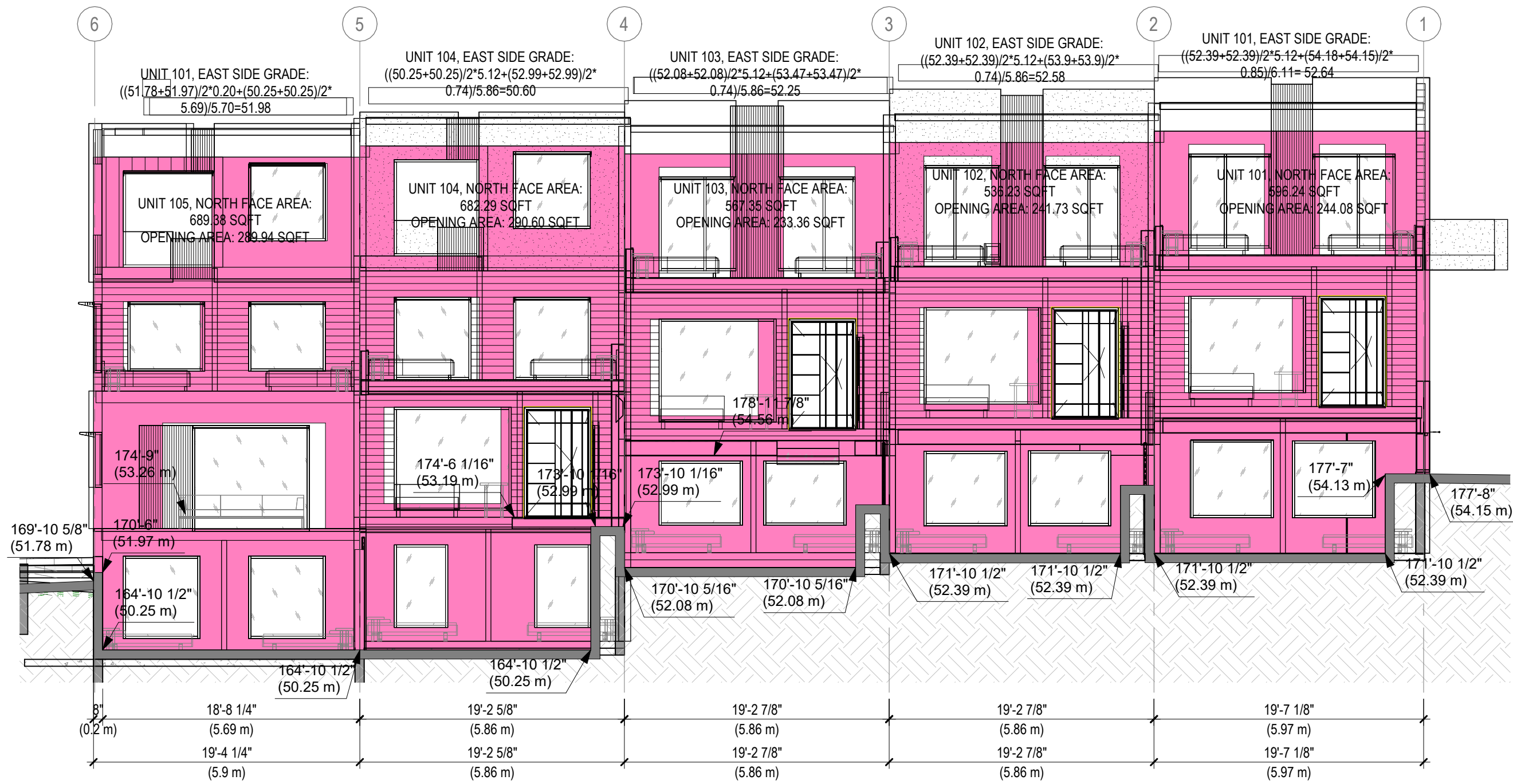
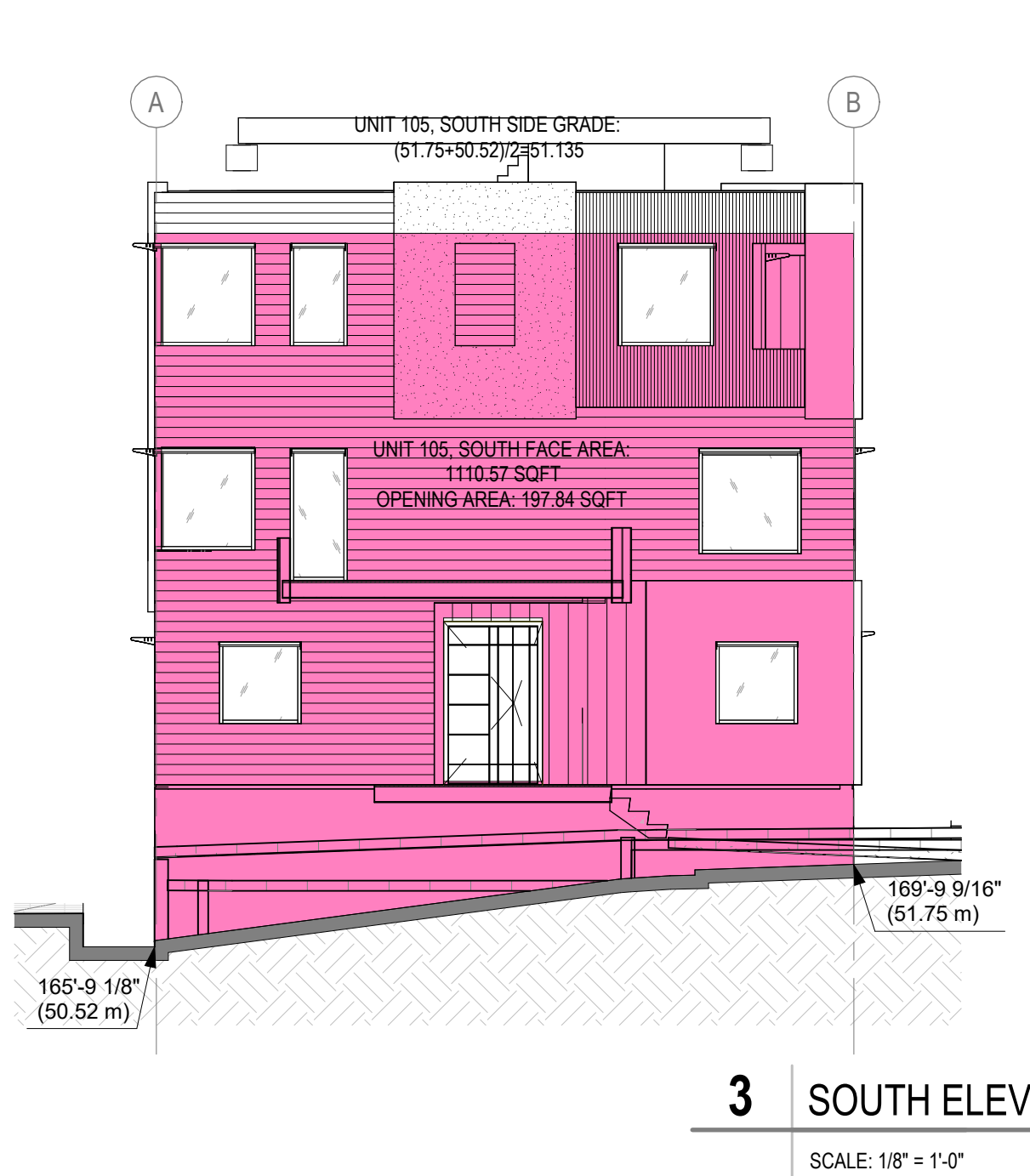
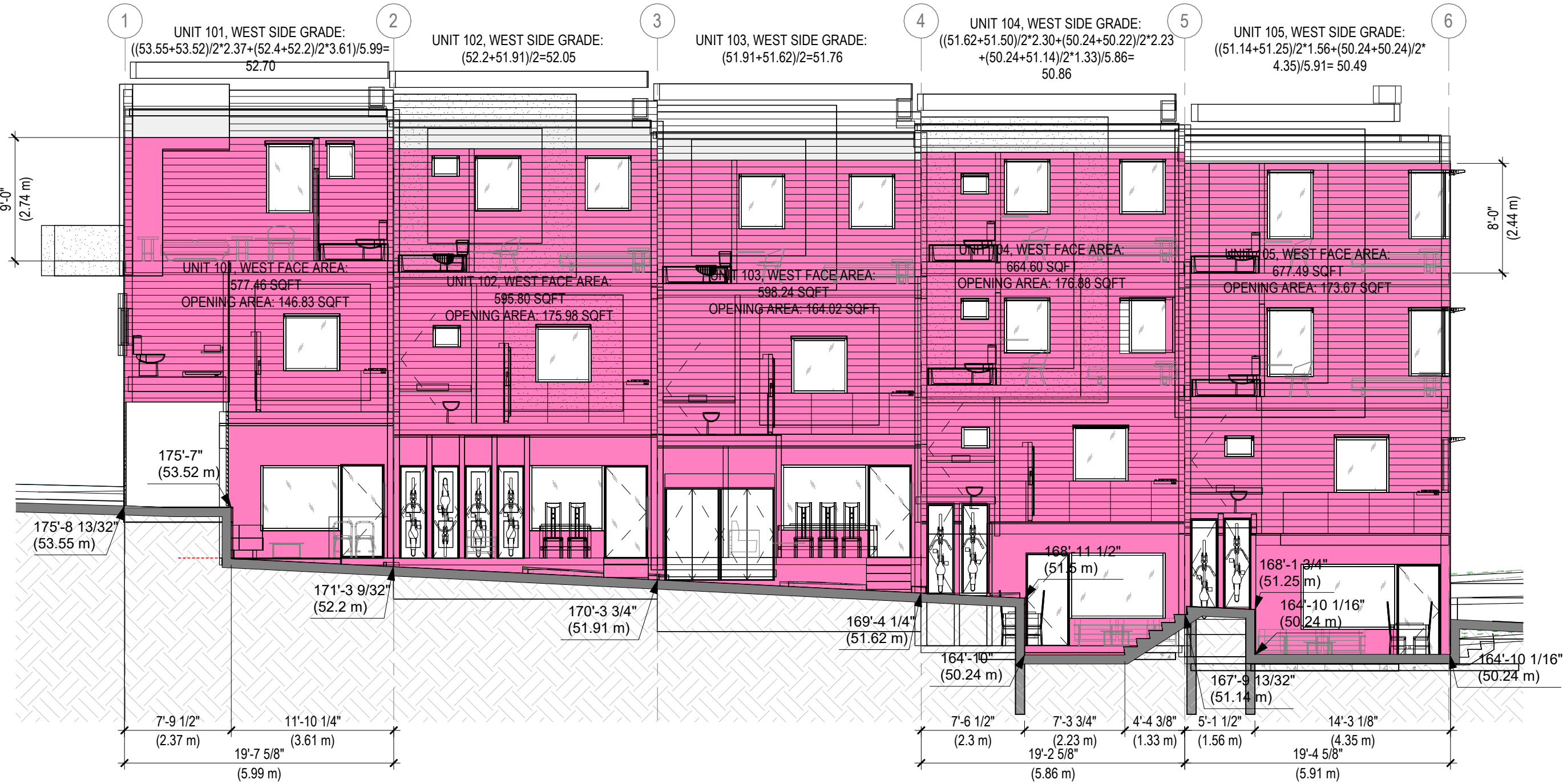
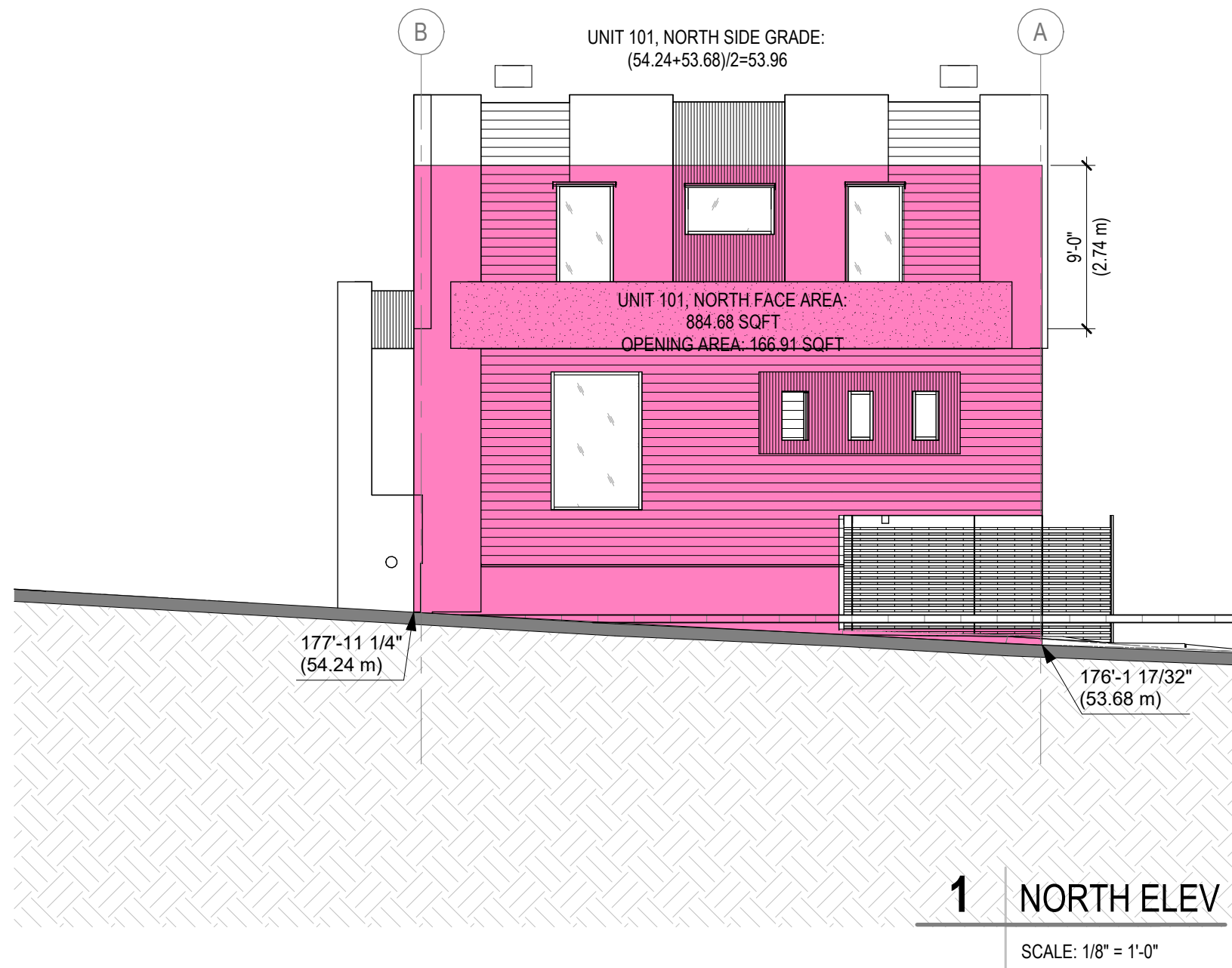
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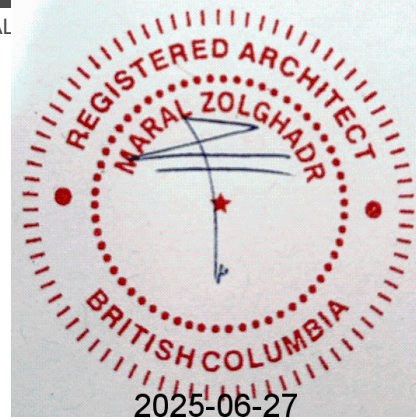


UNIT NAME	UNIT GRADE	FIRST FLOOR ELEVATION	BUILDING HEIGHT	UNIT CLASSIFICATION
UNIT 101	52.64 M	LO.FL=52.39 M	3 STOREYS	3.2.2.51.
UNIT 102	52.05 M	LO.FL=52.39 M	3 STOREYS	3.2.2.51.
UNIT 103	51.76 M	LO.FL=52.08 M	3 STOREYS	3.2.2.51.
UNIT 104	50.60 M	LO.FL=50.25 M	4 STOREYS	3.2.2.51.
UNIT 105	50.49 M	LO.FL=50.25 M	4 STOREYS	3.2.2.51.

WALL	WALL AREA (SQ FT)	AREA (SQ M)	LIMITING DISTANCE (FT)	LIMITING DISTANCE (M)	UNPROTECTED OPENINGS TABLE 3.2.3.1.-D				FIRE RATING	Construction Type	Cladding Type
					ALLOWED		SHOWN				
					%	SQ FT	%	SQ FT			
#101 EAST FACE	596.24	55.39	39' - 10 1/8"	12.14 m	100.00	596.24	40.94	244.08	3/4 HR	COMMON	COMMON
#101 NORTH FACE	884.68	82.19	23' - 5"	7.14 m	88.00	778.52	18.87	166.91	3/4 HR	COMMON	COMMON
#101 WEST FACE	577.46	53.65	7' - 10 1/2"	2.40 m	26.18	151.18	25.43	146.83	3/4 HR	COMMON	NONCOM
#102 EAST FACE	536.23	49.82	39' - 10 1/8"	12.14 m	100.00	536.23	45.08	241.73	3/4 HR	COMMON	COMMON
#102 WEST FACE	595.80	55.35	7' - 10 1/2"	2.40 m	25.54	152.17	25.18	150.04	3/4 HR	COMMON	NONCOM
#103 EAST FACE	567.35	52.71	39' - 10 1/8"	12.14 m	100.00	567.35	41.13	233.36	3/4 HR	COMMON	COMMON
#103 WEST FACE	598.24	55.58	7' - 10 1/2"	2.40 m	25.50	152.55	24.79	148.33	3/4 HR	COMMON	NONCOM
#104 EAST FACE	682.29	63.39	39' - 10 1/8"	12.14 m	100.00	682.29	42.59	290.60	3/4 HR	COMMON	COMMON
#104 WEST FACE	664.60	61.74	7' - 10 1/2"	2.40 m	24.48	162.69	24.10	160.20	3/4 HR	COMMON	NONCOM
#105 EAST FACE	689.38	64.05	39' - 10 1/8"	12.14 m	100.00	689.38	42.06	289.94	3/4 HR	COMMON	COMMON
#105 SOUTH FACE	1,110.57	103.18	57' - 6"	17.53 m	100.00	1,110.57	17.81	197.84	3/4 HR	COMMON	COMMON
#105 WEST FACE	677.49	62.94	7' - 10 1/2"	2.40 m	24.27	164.43	23.97	162.41	1 HR	COMMON	NONCOM



2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
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NO.	DATE Y/M/D	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		



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PROJECT NAME  
**22022 - 311 MOODY AVE**

PROJECT ADDRESS  
**311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8**

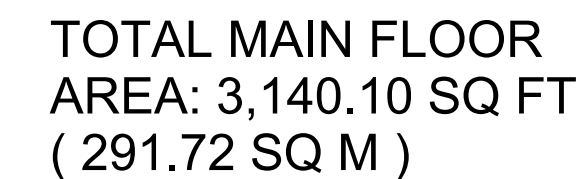
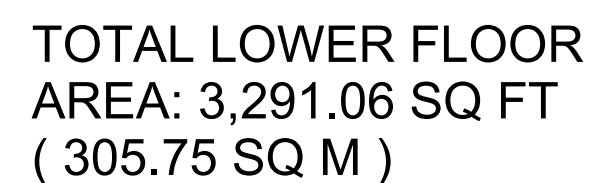
DRAWING TITLE  
**CODE ANALISYST**

SCALE	As Indicated
DRAWN	M.S
CHECKED	M.Z
PROJECT NO.	22022
DRAWING NO.	

**A2.04**

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PROJECT NAME

22022 - 311 MOODY  
AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

## FLOOR PLANS

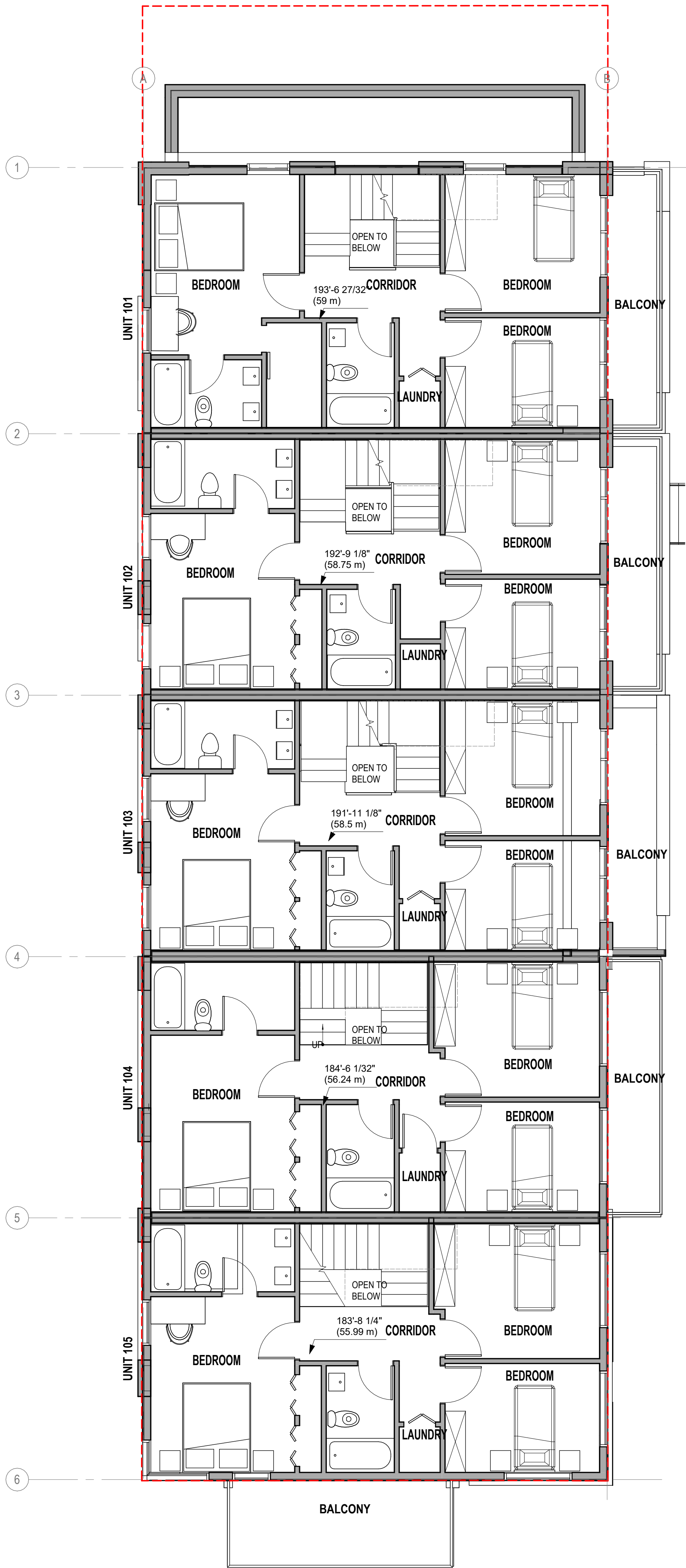
SCALE	3/16" = 1'-0"
DRAWN	M.S
CHECKED	M.Z
PROJECT NO.	22022

DRAWING NO.

### A3.01

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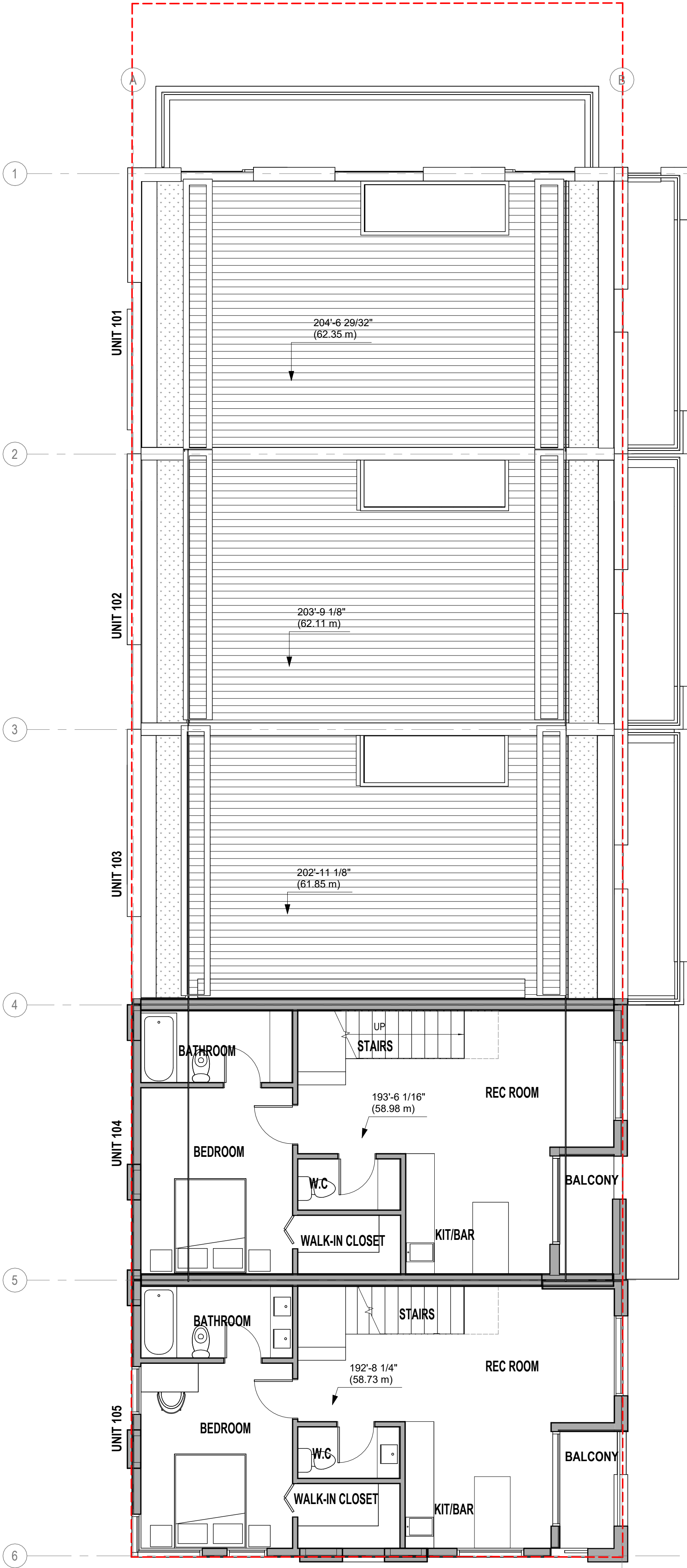




3 SECOND FLOOR

SCALE: 3/16" = 1'-0"

TOTAL SECOND FLOOR AREA:  
3,289.51 SQ FT ( 305.61 SQ M )



4 THIRD FLOOR

SCALE: 3/16" = 1'-0"

TOTAL THIRD FLOOR AREA:  
1,246.72 SQ FT ( 115.82 SQ M )



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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

FLOOR PLANS

SCALE	3/16" = 1'-0"
DRAWN	M.S
CHECKED	M.Z
PROJECT NO.	22022
DRAWING NO.	

A3.02

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FLOOR AREA SCHEDULE - UNITS			
LEVEL	UNIT	AREA (SF)	AREA (SM)

ACC BUILDING			
LOWER FLOOR	ACC BUILDING	233.27 SF	21.67 m²
		233.27 SF	21.67 m²
UNIT 101			
LOWER FLOOR	UNIT 101	544.71 SF	50.61 m²
MAIN FLOOR	UNIT 101	659.10 SF	61.23 m²
SECOND FLOOR	UNIT 101	602.63 SF	55.99 m²
		1,806.44 SF	167.82 m²

UNIT 102			
LOWER FLOOR	UNIT 102	604.18 SF	56.13 m²
MAIN FLOOR	UNIT 102	606.10 SF	56.31 m²
SECOND FLOOR	UNIT 102	655.38 SF	60.89 m²
		1,865.67 SF	173.33 m²

UNIT 103			
LOWER FLOOR	UNIT 103	611.73 SF	56.83 m²
MAIN FLOOR	UNIT 103	604.38 SF	56.15 m²
SECOND FLOOR	UNIT 103	608.50 SF	56.53 m²
		1,824.60 SF	169.51 m²

UNIT 104			
LOWER FLOOR	UNIT 104	620.33 SF	57.63 m²
MAIN FLOOR	UNIT 104	656.96 SF	61.03 m²
SECOND FLOOR	UNIT 104	608.50 SF	56.53 m²
THIRD FLOOR	UNIT 104	629.17 SF	58.45 m²
		2,514.95 SF	233.65 m²

UNIT 105			
LOWER FLOOR	UNIT 105	621.58 SF	57.75 m²
MAIN FLOOR	UNIT 105	610.36 SF	56.70 m²
SECOND FLOOR	UNIT 105	602.12 SF	55.94 m²
THIRD FLOOR	UNIT 105	617.55 SF	57.37 m²
		2,451.60 SF	227.76 m²

FLOOR AREA SCHEDULE- PER EACH FLOOR		
LEVEL	AREA (SF)	AREA (SM)

LOWER FLOOR	3,235.80 SF	300.62 m²
MAIN FLOOR	3,136.90 SF	291.43 m²
SECOND FLOOR	3,077.12 SF	285.87 m²
THIRD FLOOR	1,246.72 SF	115.82 m²
BUILDING FLOOR AREA	10,696.54 SF	993.74 m²

TOTAL LOWER FLOOR AREA:  
3,325.24 SQ FT ( 308.92 SQ M )

TOTAL MAIN FLOOR AREA:  
3,136.90 SQ FT ( 291.43 SQ M )

TOTAL SECOND FLOOR AREA:  
3,289.51 SQ FT ( 305.61 SQ M )

TOTAL THIRD FLOOR AREA:  
1,246.72 SQ FT ( 115.82 SQ M )

TOTAL FLOOR AREA:  
10,998.36 SQ FT ( 1,021.78 SQ M )

TOTAL GROSS FLOOR AREA:  
TOTAL FLOOR AREA - CELLAR AREAS - ACC  
BLDNG - LOCK-OFF UNIT INCENTIVE  
10,998.36 SQ FT - 3,325.24 SQ FT - (150.70 SQ  
FT x 5=753.5) = 6,840.83 SQ FT

FLOOR SPACE RATIO:  
(NET TOTAL FLOOR AREA) / (SITE AREA)  
6,840.83 SQ FT / 6,840.84 SQ FT = 1.00

FLOOR AREA SCHEDULE - ROOMS				
LEVEL	UNIT	AREA	AREA (SF)	AREA (SM)

LOWER FLOOR				
LOWER FLOOR	ACC BUILDING	BIKE PARKING	20.31 SF	1.89 m²
LOWER FLOOR	ACC BUILDING	BIKE PARKING	21.78 SF	2.02 m²
LOWER FLOOR	ACC BUILDING	BIKE PARKING	21.84 SF	2.03 m²
LOWER FLOOR	ACC BUILDING	ELEC CLOSET	31.81 SF	2.96 m²
LOWER FLOOR	ACC BUILDING	GARBAGE ENCLOSURE	118.40 SF	11.00 m²
LOWER FLOOR	ACC BUILDING	BIKE PARKING	19.13 SF	1.78 m²
		233.27 SF	21.67 m²	

LOWER FLOOR	UNIT 101	BATHROOM	62.69 SF	5.82 m²
LOWER FLOOR	UNIT 101	KITCHEN	45.23 SF	4.20 m²
LOWER FLOOR	UNIT 101	LIVING / DINING	202.24 SF	18.79 m²
LOWER FLOOR	UNIT 101	BEDROOM	156.03 SF	14.50 m²
LOWER FLOOR	UNIT 101	STAIRES	53.25 SF	4.95 m²
LOWER FLOOR	UNIT 101	SERVICE	25.26 SF	2.35 m²
		544.71 SF	50.61 m²	

LOWER FLOOR	UNIT 102	STAIRES	59.26 SF	5.51 m²
LOWER FLOOR	UNIT 102	BEDROOM	131.95 SF	12.26 m²
LOWER FLOOR	UNIT 102	BATHROOM	42.59 SF	3.96 m²
LOWER FLOOR	UNIT 102	LIVING / DINING	195.06 SF	18.12 m²
LOWER FLOOR	UNIT 102	KITCHEN	28.99 SF	2.69 m²
LOWER FLOOR	UNIT 102	BEDROOM	131.07 SF	12.18 m²
LOWER FLOOR	UNIT 102	SERVICE	15.26 SF	1.42 m²
		604.18 SF	56.13 m²	

LOWER FLOOR	UNIT 103	BEDROOM	131.95 SF	12.26 m²
LOWER FLOOR	UNIT 103	STAIRES	59.27 SF	5.51 m²
LOWER FLOOR	UNIT 103	LIVING / DINING	200.32 SF	18.61 m²
LOWER FLOOR	UNIT 103	BATHROOM	42.59 SF	3.96 m²
LOWER FLOOR	UNIT 103	KITCHEN	28.99 SF	2.69 m²
LOWER FLOOR	UNIT 103	BEDROOM	131.02 SF	12.17 m²
LOWER FLOOR	UNIT 103	SERVICE	17.60 SF	1.64 m²
		611.73 SF	56.83 m²	

LOWER FLOOR	UNIT 104	BEDROOM	131.12 SF	12.18 m²
LOWER FLOOR	UNIT 104	STAIRES	59.45 SF	5.52 m²
LOWER FLOOR	UNIT 104	LIVING / DINING	214.85 SF	19.96 m²
LOWER FLOOR	UNIT 104	BATHROOM	42.59 SF	3.96 m²
LOWER FLOOR	UNIT 104	KITCHEN	28.99 SF	2.69 m²
LOWER FLOOR	UNIT 104	BEDROOM	130.28 SF	12.10 m²
LOWER FLOOR	UNIT 104	SERVICE	13.06 SF	1.21 m²
		620.33 SF	57.63 m²	

LOWER FLOOR	UNIT 105	SERVICE	13.18 SF	1.22 m²
LOWER FLOOR	UNIT 105	STAIRES	59.21 SF	5.50 m²
LOWER FLOOR	UNIT 105	BEDROOM	130.90 SF	12.16 m²
LOWER FLOOR	UNIT 105	BEDROOM	130.79 SF	12.15 m²
LOWER FLOOR	UNIT 105	LIVING / DINING	216.45 SF	20.11 m²
LOWER FLOOR	UNIT 105	BATHROOM	42.06 SF	3.91 m²
LOWER FLOOR	UNIT 105	KITCHEN	28.99 SF	2.69 m²
		621.58 SF	57.75 m²	
		3,235.80 SF	300.62 m²	

MAIN FLOOR				
MAIN FLOOR	UNIT 101	STAIRS	73.20 SF	6.80 m²
MAIN FLOOR	UNIT 101	W.C	62.66 SF	5.82 m²
MAIN FLOOR	UNIT 101	KITCHEN	120.47 SF	11.19 m²
MAIN FLOOR	UNIT 101	LIVING / DINING	399.79 SF	33.43 m²
MAIN FLOOR	UNIT 101	W.C	42.99 SF	3.99 m²

FLOOR AREA SCHEDULE - ROOMS				
LEVEL	UNIT	AREA	AREA (SF)	AREA (SM)

			659.10 SF	61.23 m²
MAIN FLOOR				
MAIN FLOOR	UNIT 102	STAIRS	58.31 SF	5.42 m²
MAIN FLOOR	UNIT 102	W.C	42.82 SF	3.98 m²
MAIN FLOOR	UNIT 102	KITCHEN	121.20 SF	11.26 m²
MAIN FLOOR	UNIT 102	LIVING / DINING	376.53 SF	34.98 m²
MAIN FLOOR	UNIT 102	CLOSET	7.25 SF	0.67 m²
		606.10 SF	56.31 m²	

MAIN FLOOR	UNIT 103	CLOSET	7.15 SF	0.66 m²
MAIN FLOOR	UNIT 103	STAIRS	58.13 SF	5.40 m²
MAIN FLOOR	UNIT 103	W.C	42.81 SF	3.98 m²
MAIN FLOOR	UNIT 103	KITCHEN	120.92 SF	11.23 m²
MAIN FLOOR	UNIT 103	LIVING / DINING	375.37 SF	34.87 m²
		604.38 SF	56.15 m²	

MAIN FLOOR	UNIT 104	CLOSET	13.89 SF	1.29 m²
MAIN FLOOR	UNIT 104	STAIRS	63.39 SF	5.89 m²
MAIN FLOOR	UNIT 104	KITCHEN	153.51 SF	14.26 m²
MAIN FLOOR	UNIT 104	LIVING / DINING	381.91 SF	35.48 m²
MAIN FLOOR	UNIT 104	W.C	44.25 SF	4.11 m²
		656.96 SF	61.03 m²	

MAIN FLOOR	UNIT 105	KITCHEN	162.95 SF	15.14 m²
MAIN FLOOR	UNIT 105	STAIRS	59.45 SF	5.52 m²
MAIN FLOOR	UNIT 105	LIVING / DINING	381.52 SF	35.44 m²
MAIN FLOOR	UNIT 105	CLOSET	6.44 SF	0.60 m²
		610.36 SF	56.70 m²	
		3,136.90 SF	291.43 m²	

SECOND FLOOR				
SECOND FLOOR	UNIT 101	BEDROOM	131.23 SF	12.19 m²
SECOND FLOOR	UNIT 101	BEDROOM	165.80 SF	15.40 m²
SECOND FLOOR	UNIT 101	BATHROOM	48.19 SF	4.57 m²
SECOND FLOOR	UNIT 101	BEDROOM	104.75 SF	9.73 m²
SECOND FLOOR	UNIT 101	CORRIDOR	57.70 SF	5.36 m²

FLOOR AREA SCHEDULE - ROOMS				
LEVEL	UNIT	AREA	AREA (SF)	AREA (SM)

SECOND FLOOR	UNIT 101	STAIRS	77.53 SF	7.20 m²
SECOND FLOOR	UNIT 101	LAUNDRY	16.45 SF	1.53 m²
		602.63 SF	55.99 m²	

SECOND FLOOR	UNIT 102	BEDROOM	163.10 SF	15.15 m²
SECOND FLOOR	UNIT 102	BEDROOM	126.86 SF	11.79 m²
SECOND FLOOR	UNIT 102	BATHROOM	63.69 SF	5.92 m²
SECOND FLOOR	UNIT 102	BATHROOM	46.88 SF	4.36 m²
SECOND FLOOR	UNIT 102	BEDROOM	104.67 SF	9.72 m²
SECOND FLOOR	UNIT 102	LAUNDRY	16.45 SF	1.53 m²
SECOND FLOOR	UNIT 102	STAIRS	76.42 SF	7.10 m²
SECOND FLOOR	UNIT 102	CORRIDOR	57.31 SF	5.32 m²
		655.38 SF	60.89 m²	

SECOND FLOOR	UNIT 103	BEDROOM	163.10 SF	15.15 m²
SECOND FLOOR	UNIT 103	BEDROOM	126.86 SF	11.79 m²
SECOND FLOOR	UNIT 103	BATHROOM	63.69 SF	5.92 m²
SECOND FLOOR	UNIT 103	BEDROOM	104.67 SF	9.72 m²
SECOND FLOOR	UNIT 103	LAUNDRY	16.45 SF	1.53 m²
SECOND FLOOR	UNIT 103	STAIRS	76.42 SF	7.10 m²
SECOND FLOOR	UNIT 103	CORRIDOR	57.31 SF	5.32 m²
		608.50 SF	56.53 m²	

SECOND FLOOR	UNIT 104	BEDROOM	163.10 SF	15.15 m²
SECOND FLOOR	UNIT 104	BEDROOM	126.86 SF	11.79 m²
SECOND FLOOR	UNIT 104	BATHROOM	63.69 SF	5.92 m²
SECOND FLOOR	UNIT 104	BEDROOM	104.67 SF	9.72 m²
SECOND FLOOR	UNIT 104	LAUNDRY	16.80 SF	1.56 m²
SECOND FLOOR	UNIT 104	STAIRS	76.42 SF	7.10 m²
SECOND FLOOR	UNIT 104	CORRIDOR	56.96 SF	5.29 m²
		608.50 SF	56.53 m²	

SECOND FLOOR	UNIT 105	BEDROOM	163.54 SF	15.19 m²
SECOND FLOOR	UNIT 105	BEDROOM	126.66 SF	11.77 m²
SECOND FLOOR	UNIT 105	BATHROOM	63.50 SF	5.90 m²
SECOND FLOOR	UNIT 105	BEDROOM	105.06 SF	9.76 m²
SECOND FLOOR	UNIT 105	LAUNDRY	17.70 SF	1.64 m²
SECOND FLOOR	UNIT 105	STAIRS	69.65 SF	6.47 m²
SECOND FLOOR	UNIT 105	CORRIDOR	56.01 SF	5.20 m²
		602.12 SF	55.94 m²	
		3,077.12 SF	285.87 m²	

THIRD FLOOR				
THIRD FLOOR	UNIT 104	BEDROOM	154.01 SF	14.31 m²
THIRD FLOOR	UNIT 104	BATHROOM	67.99 SF	6.32 m²
THIRD FLOOR	UNIT 104	STAIRS	51.60 SF	4.79 m²
THIRD FLOOR	UNIT 104	REC ROOM	237.36 SF	22.05 m²
THIRD FLOOR	UNIT 104	KIT/BAR	53.31 SF	4.95 m²
THIRD FLOOR	UNIT 104	WALK-IN CLOSET	35.51 SF	3.30 m²
THIRD FLOOR	UNIT 104	W.C	29.38 SF	2.73 m²
		629.17 SF	58.45 m²	

FLOOR AREA SCHEDULE - ROOMS				
LEVEL	UNIT	AREA	AREA (SF)	AREA (SM)

THIRD FLOOR	UNIT 105	BEDROOM	154.29 SF	14.33 m²
THIRD FLOOR	UNIT 105	W.C	29.85 SF	2.77 m²
THIRD FLOOR	UNIT 105	WALK-IN CLOSET	39.45 SF	3.66 m²
THIRD FLOOR	UNIT 105	KIT/BAR	54.54 SF	5.07 m²
THIRD FLOOR	UNIT 105	REC ROOM	228.74 SF	21.25 m²
THIRD FLOOR	UNIT 105	STAIRS	47.24 SF	4.39 m²
THIRD FLOOR	UNIT 105	BATHROOM	63.44 SF	5.89 m²
		617.55 SF	57.37 m²	
		1,246.72 SF	115.82 m²	

2 2025.04.17 ISSUED FOR DEVELOPMENT.  
PERMIT

1 2023.05.12 ISSUED FOR PRE APP  
NO. DATE YMD DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

AREA CALCULATIONS

SCALE

DRAWN M.S

CHECKED M.Z

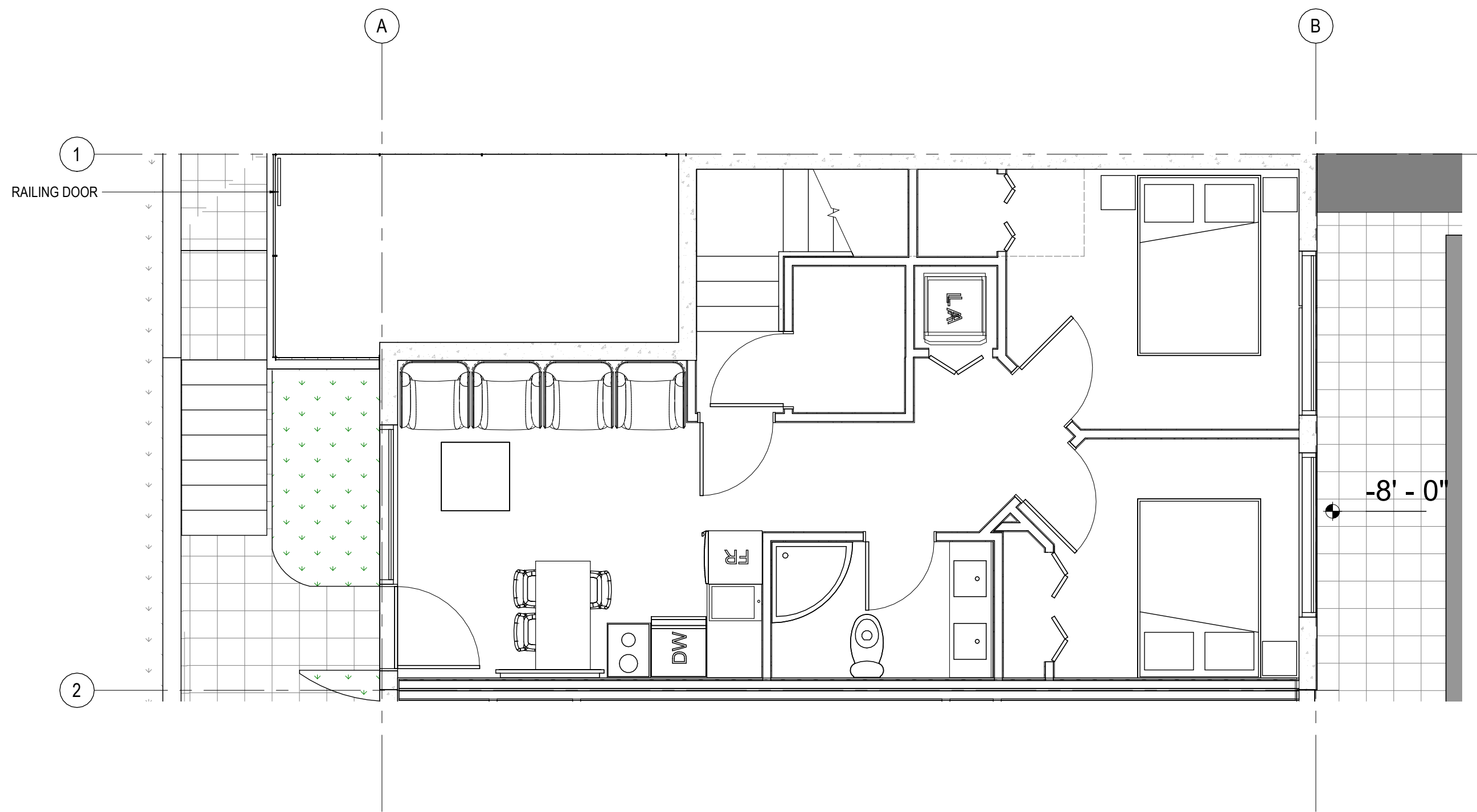
PROJECT NO. 22022

DRAWING NO.

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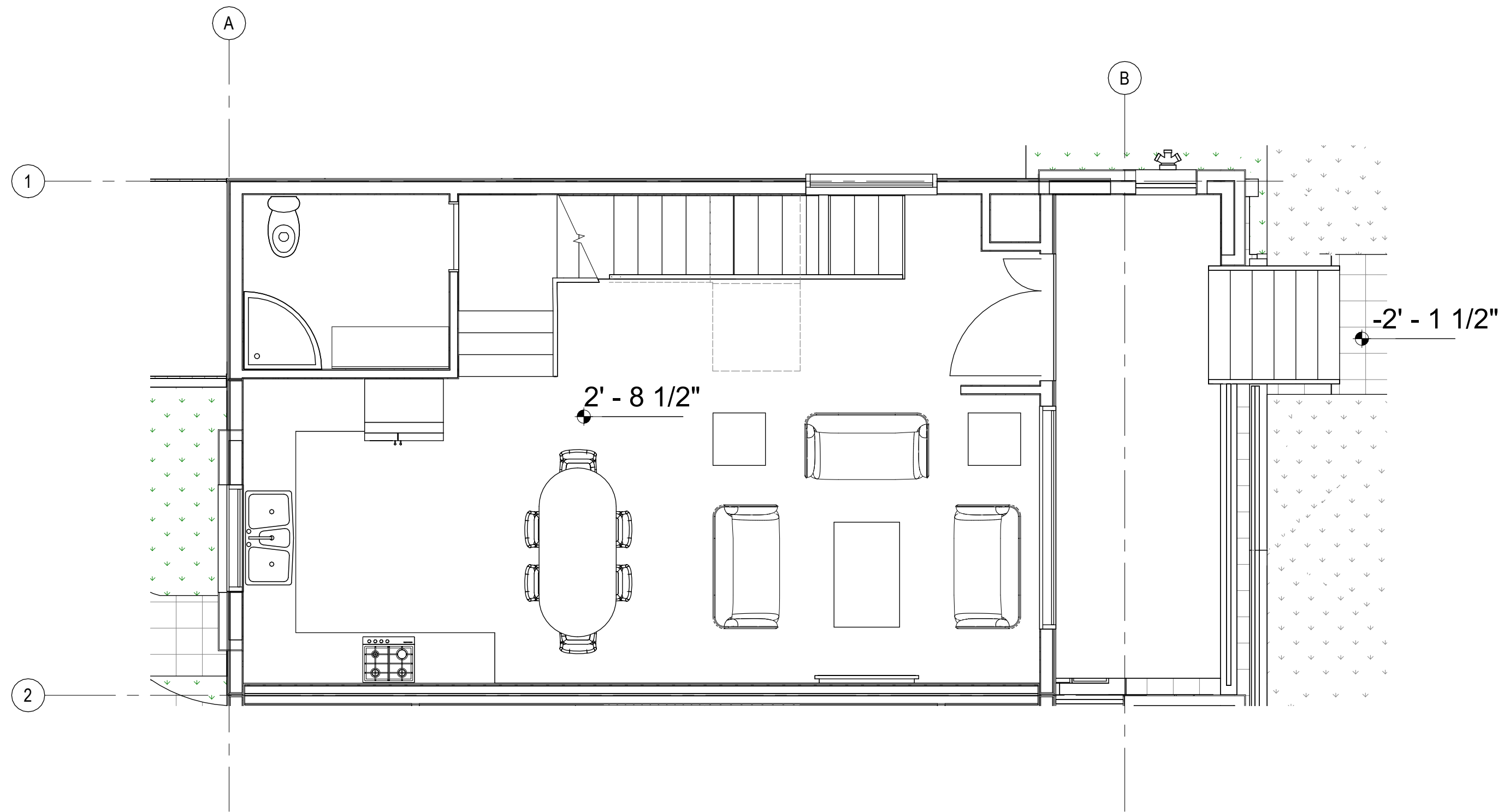
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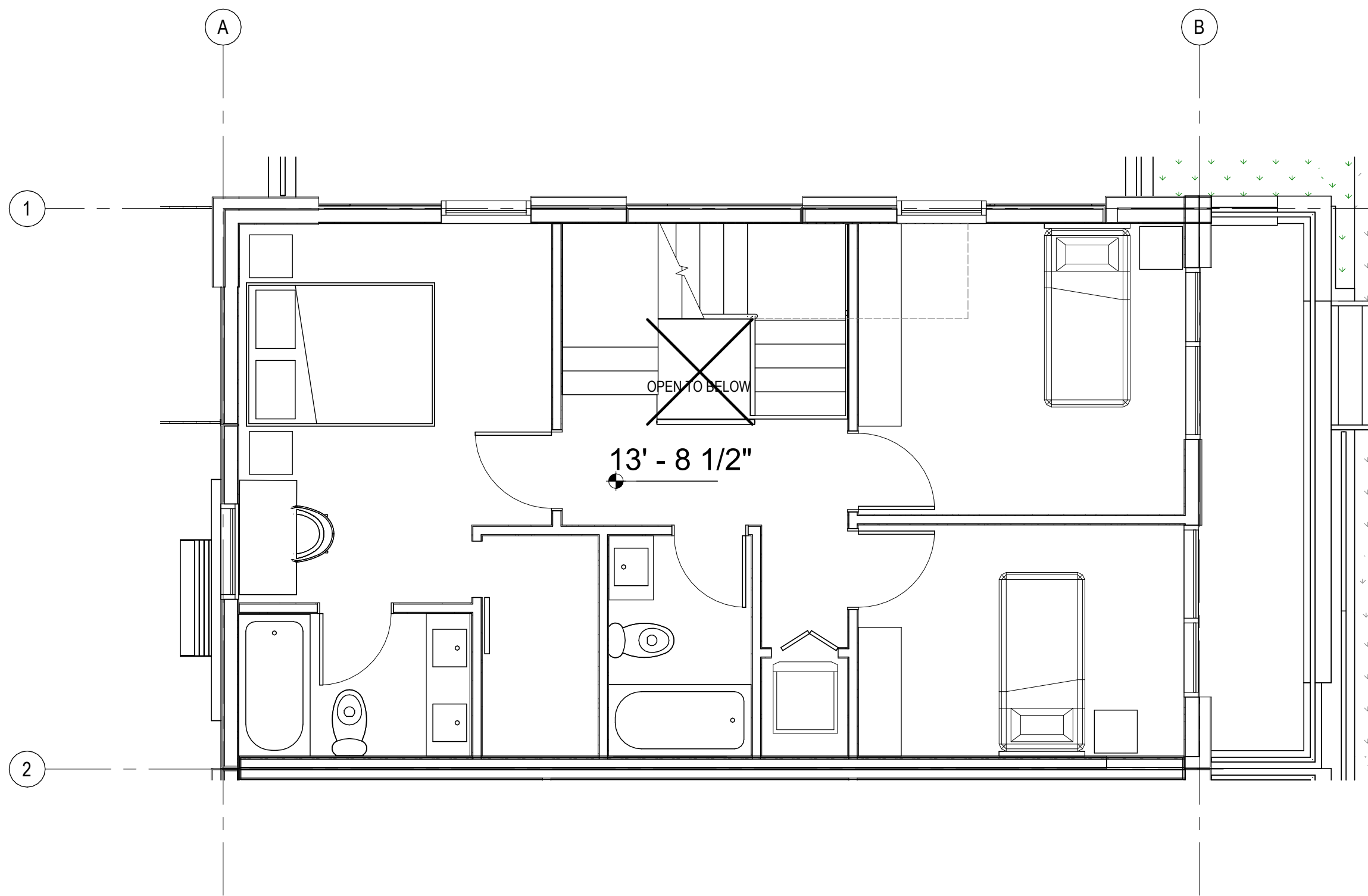
1 LOWER FLOOR - UNIT 101

SCALE: 1/4" = 1'-0"



2 MAIN FLOOR - UNIT 101

SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - UNIT 101

SCALE: 1/4" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.05.12	ISSUED FOR PRE APP
NO.	DATE Y/M/D	DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PLANS - UNIT 101

SCALE 1/4" = 1'-0"

DRAWN M.S

CHECKED M.Z

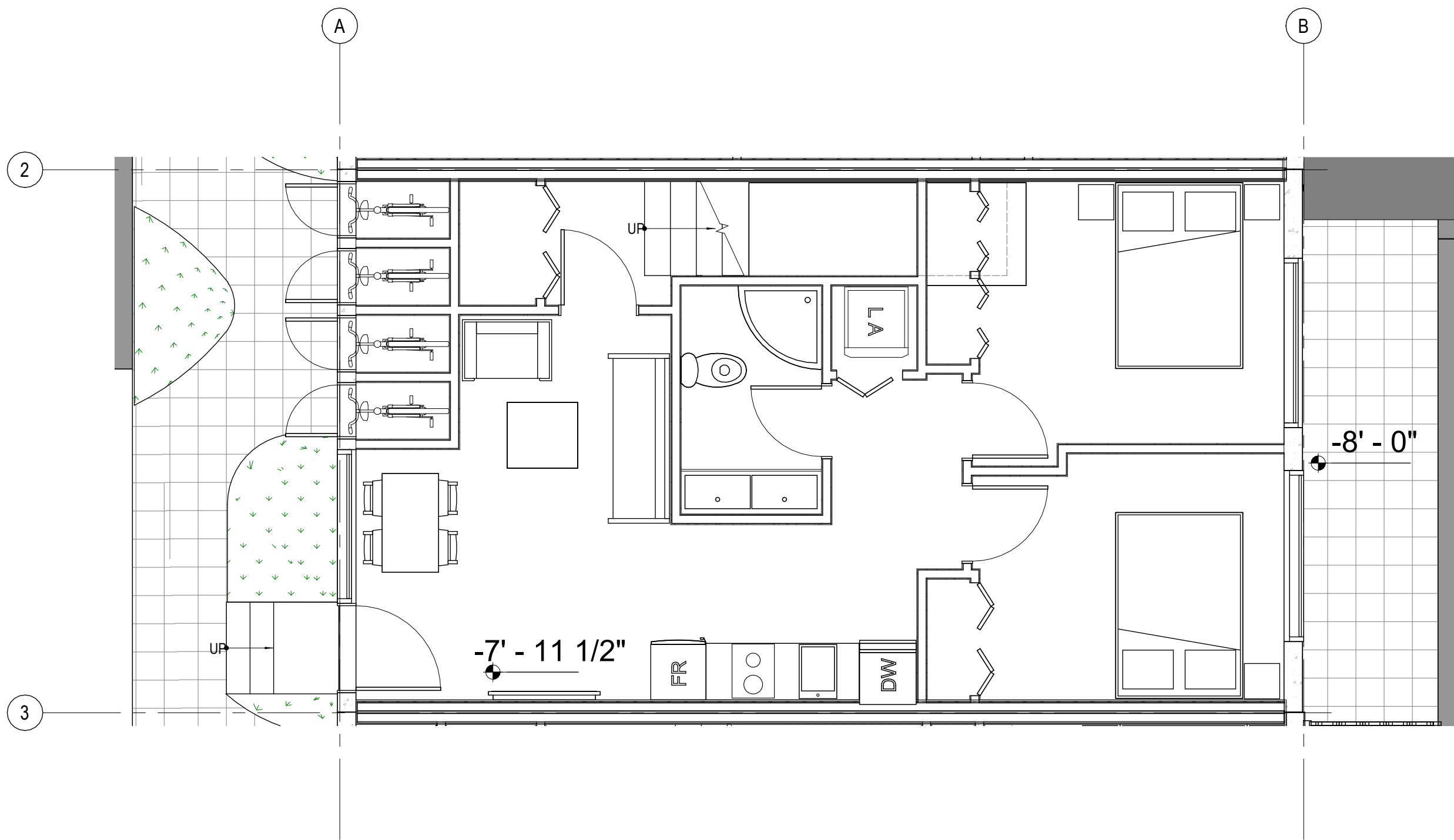
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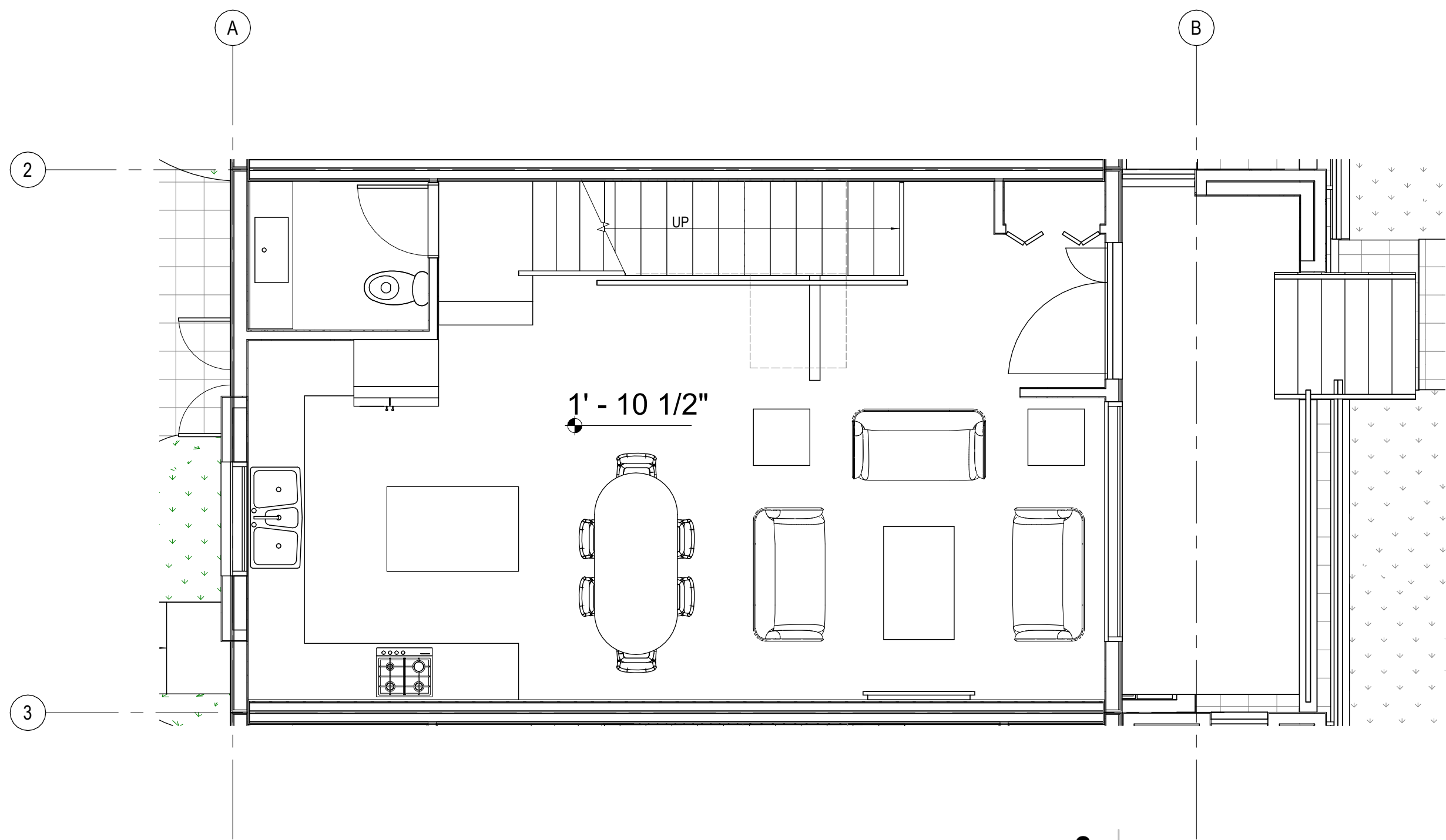
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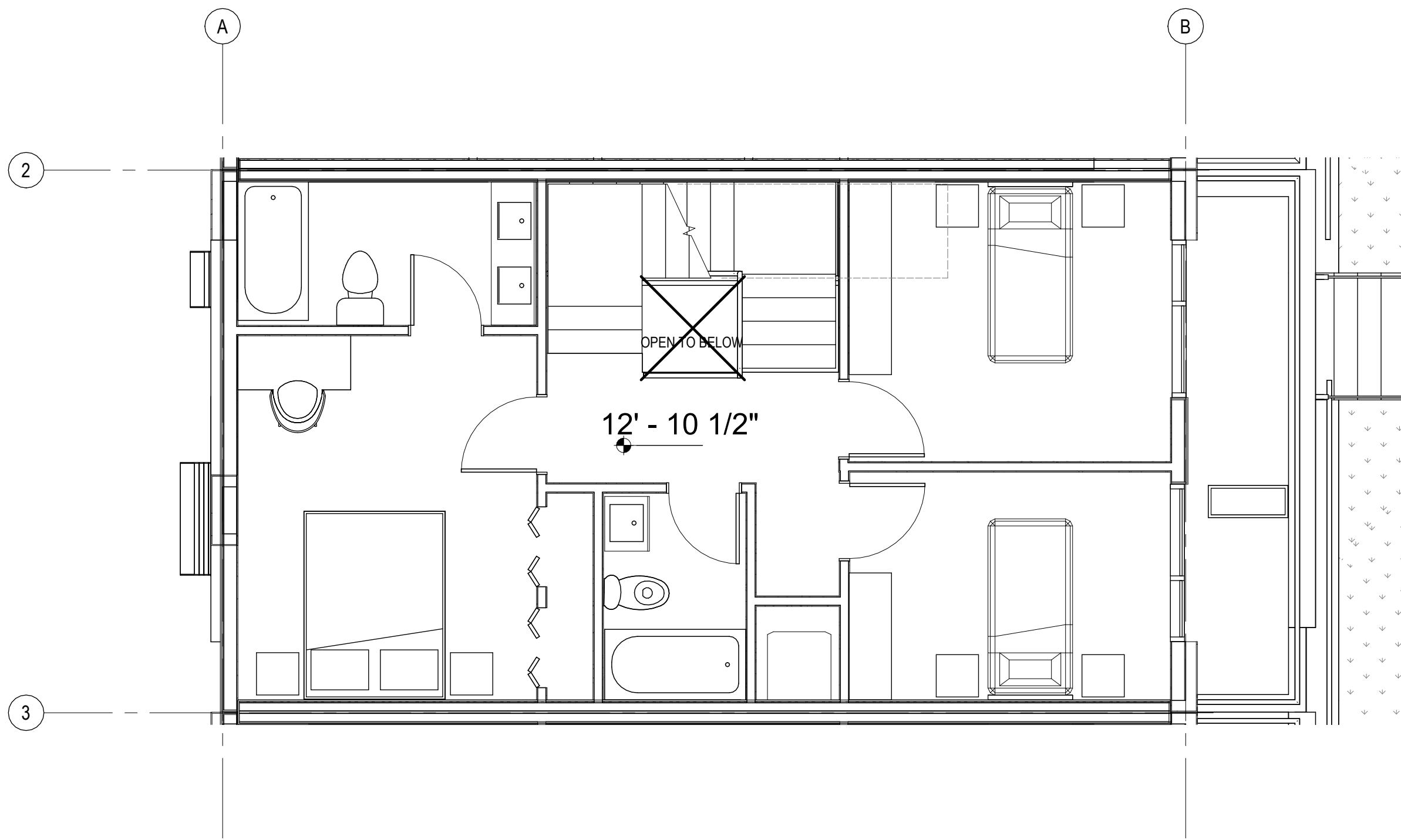




1 LOWER FLOOR - UNIT 102  
SCALE: 1/4" = 1'-0"



2 MAIN FLOOR - UNIT 102  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - UNIT 102  
SCALE: 1/4" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.06.12	ISSUED FOR PRE APP
NO.	DATE YMD	DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PLANS - UNIT 102

SCALE 1/4" = 1'-0"

DRAWN M.S

CHECKED M.Z

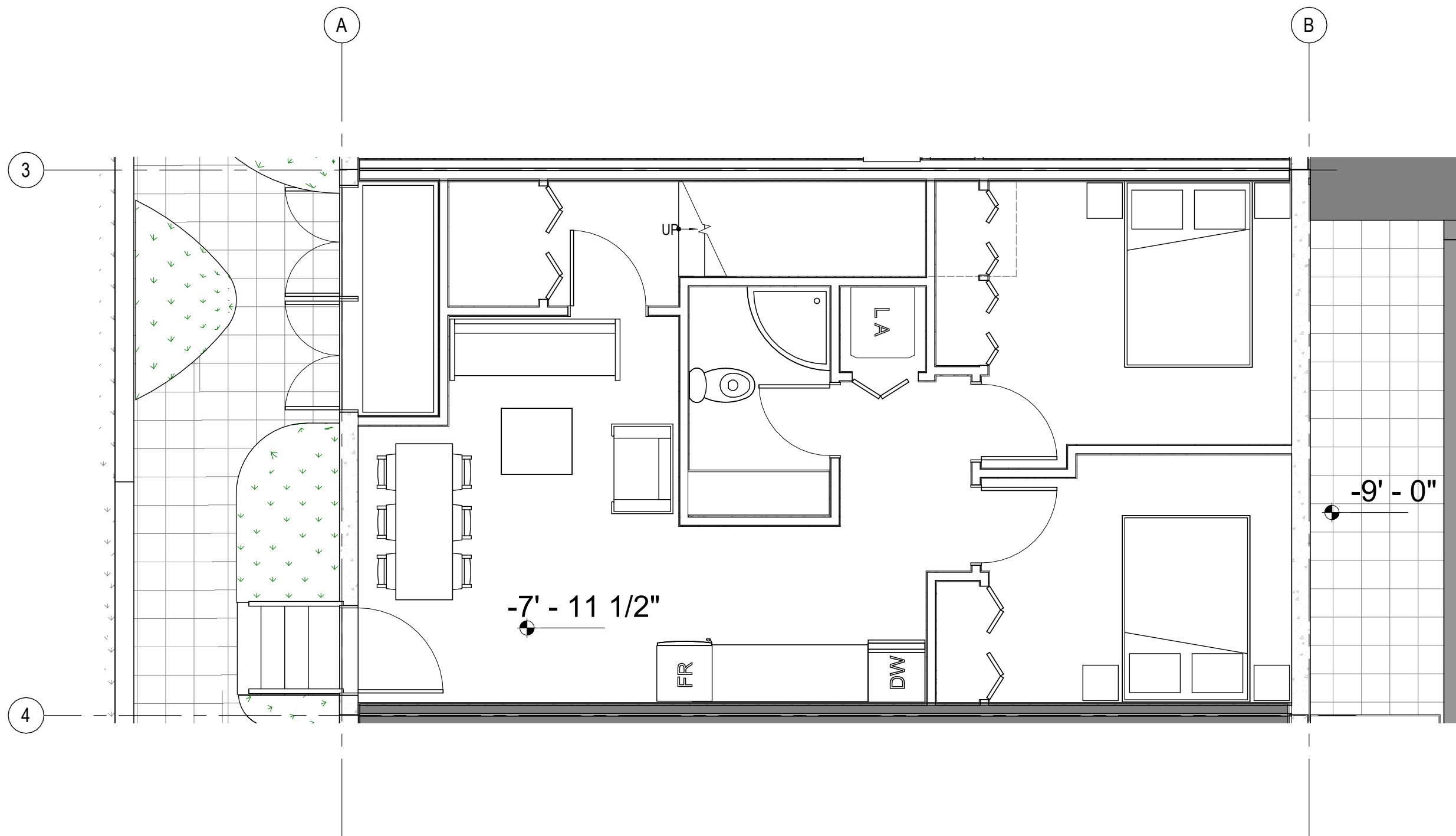
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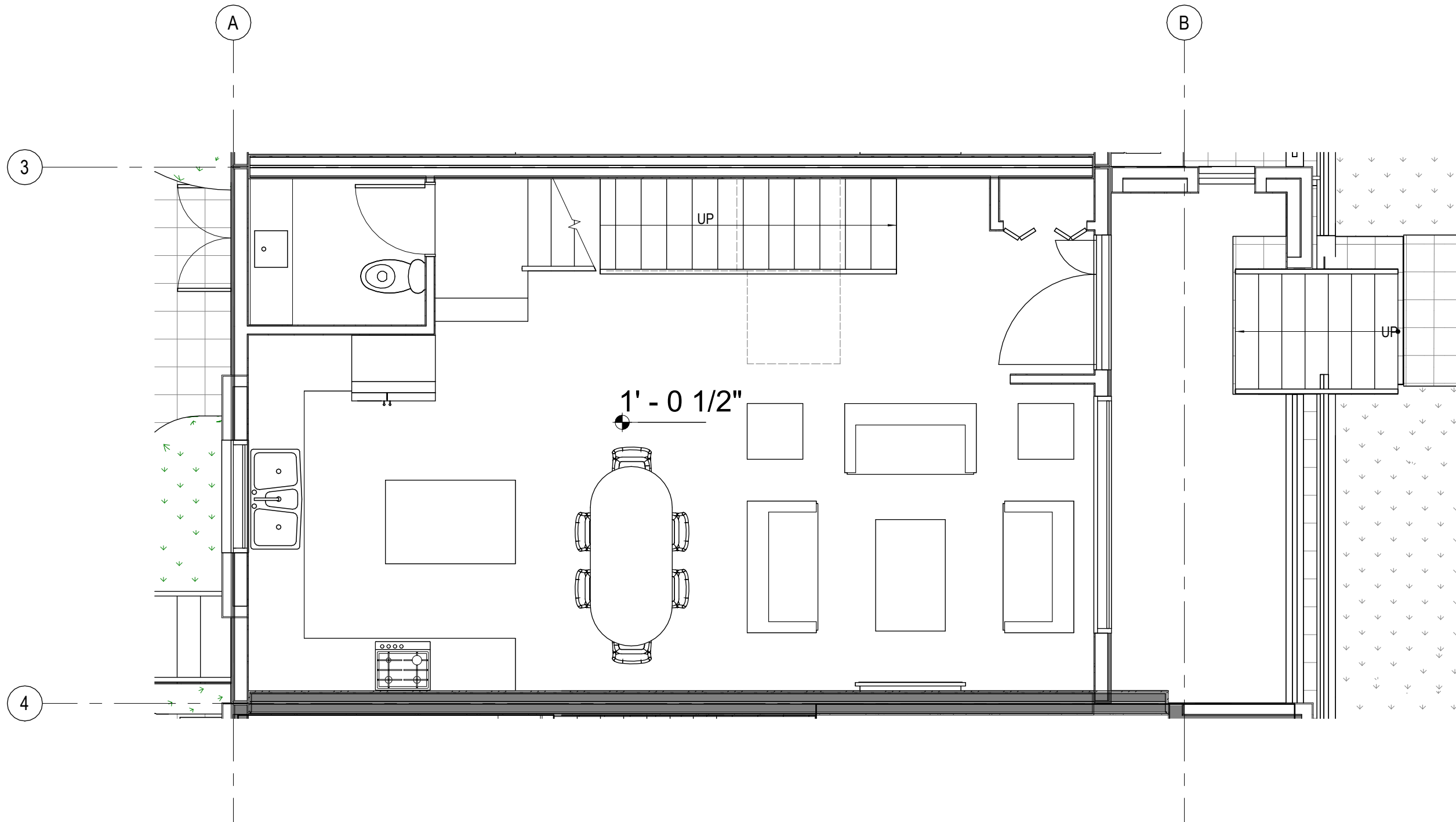
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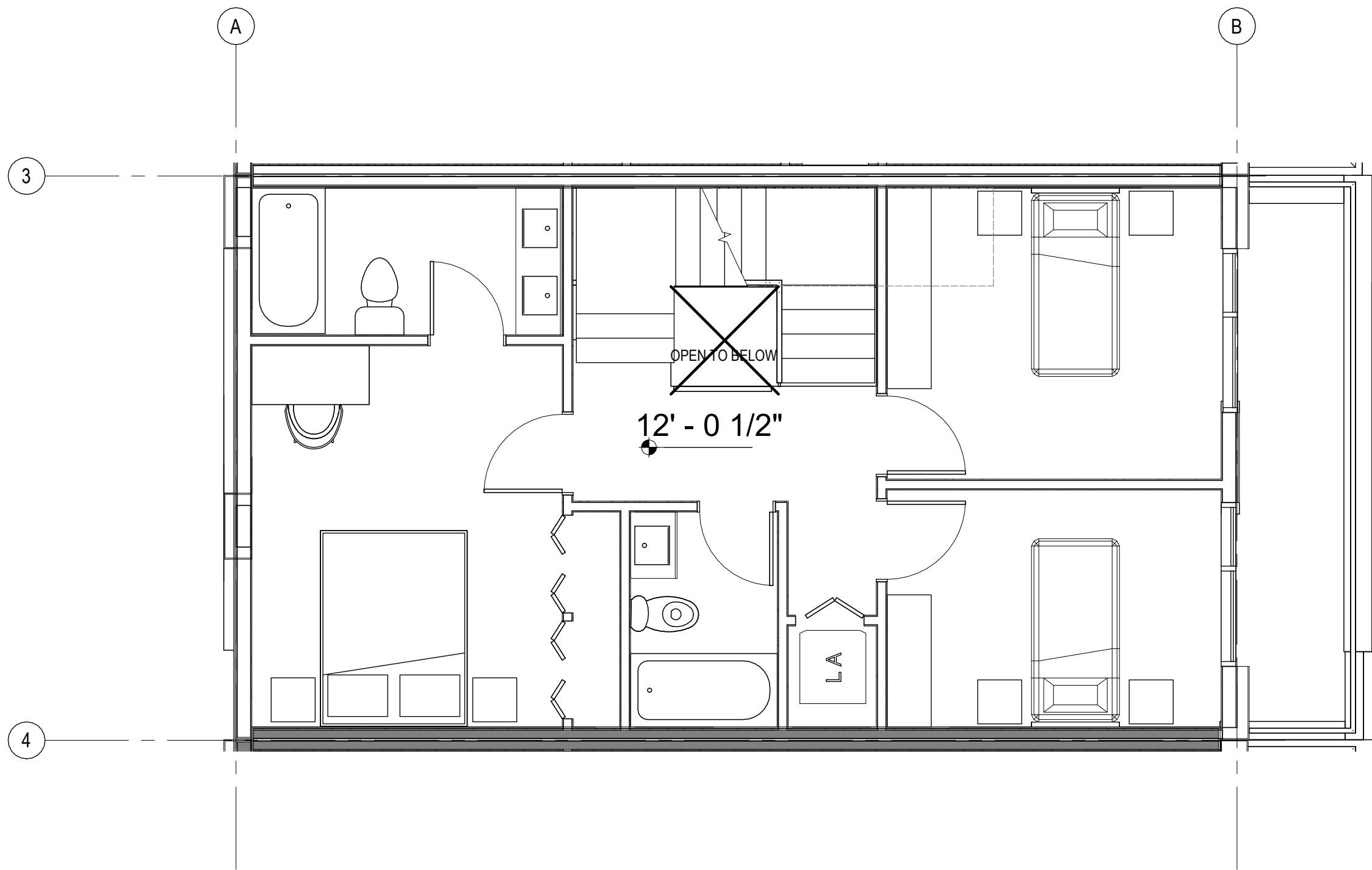
1 LOWER FLOOR - UNIT 103

SCALE: 1/4" = 1'-0"



2 MAIN FLOOR - UNIT 103

SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - UNIT 103

SCALE: 1/4" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT
1	2023.05.12	ISSUED FOR PRE APP
NO.	DATE YMD	DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PLANS - UNIT 103

SCALE 1/4" = 1'-0"

DRAWN M.S

CHECKED M.Z

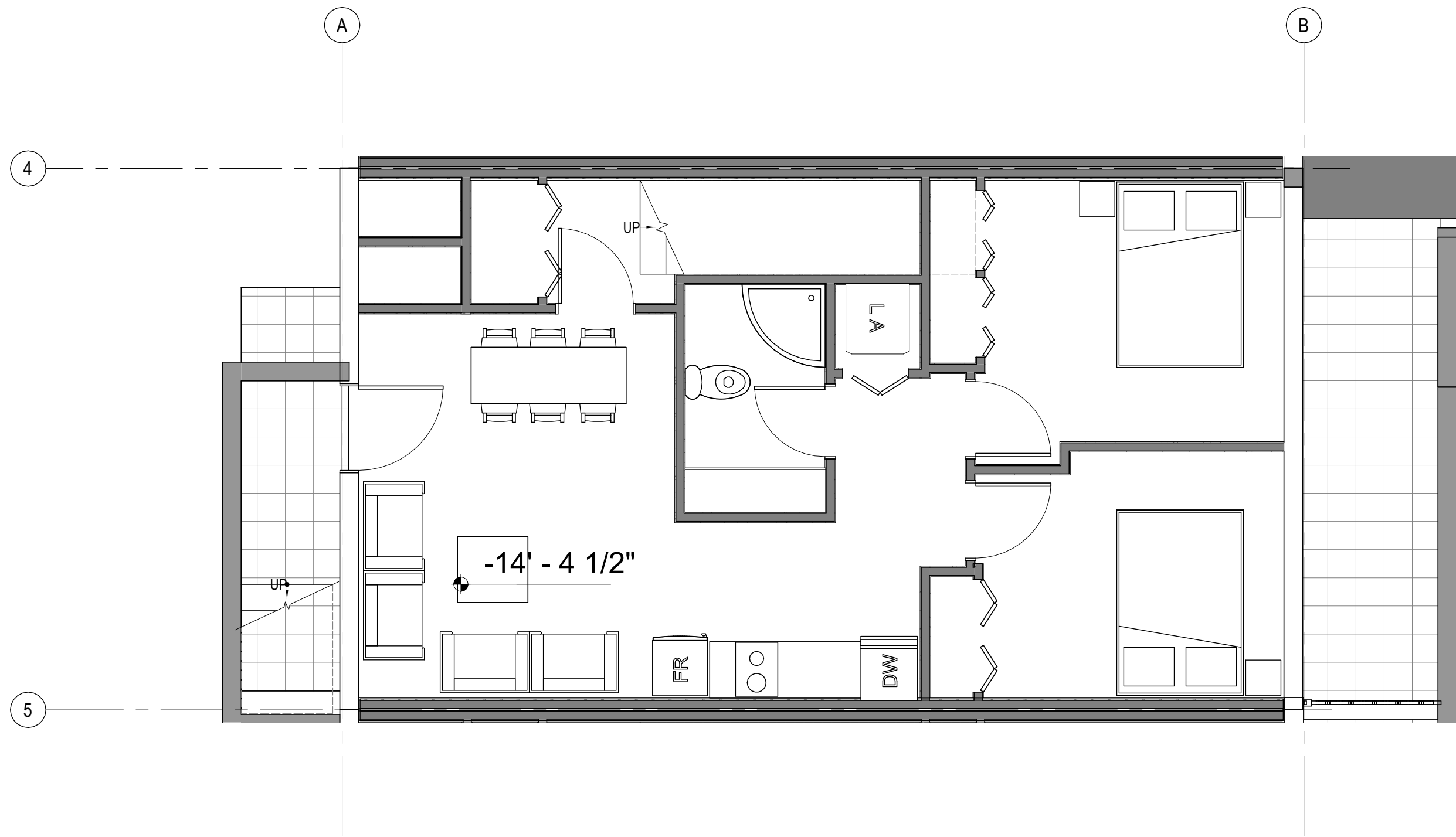
PROJECT NO. 22022

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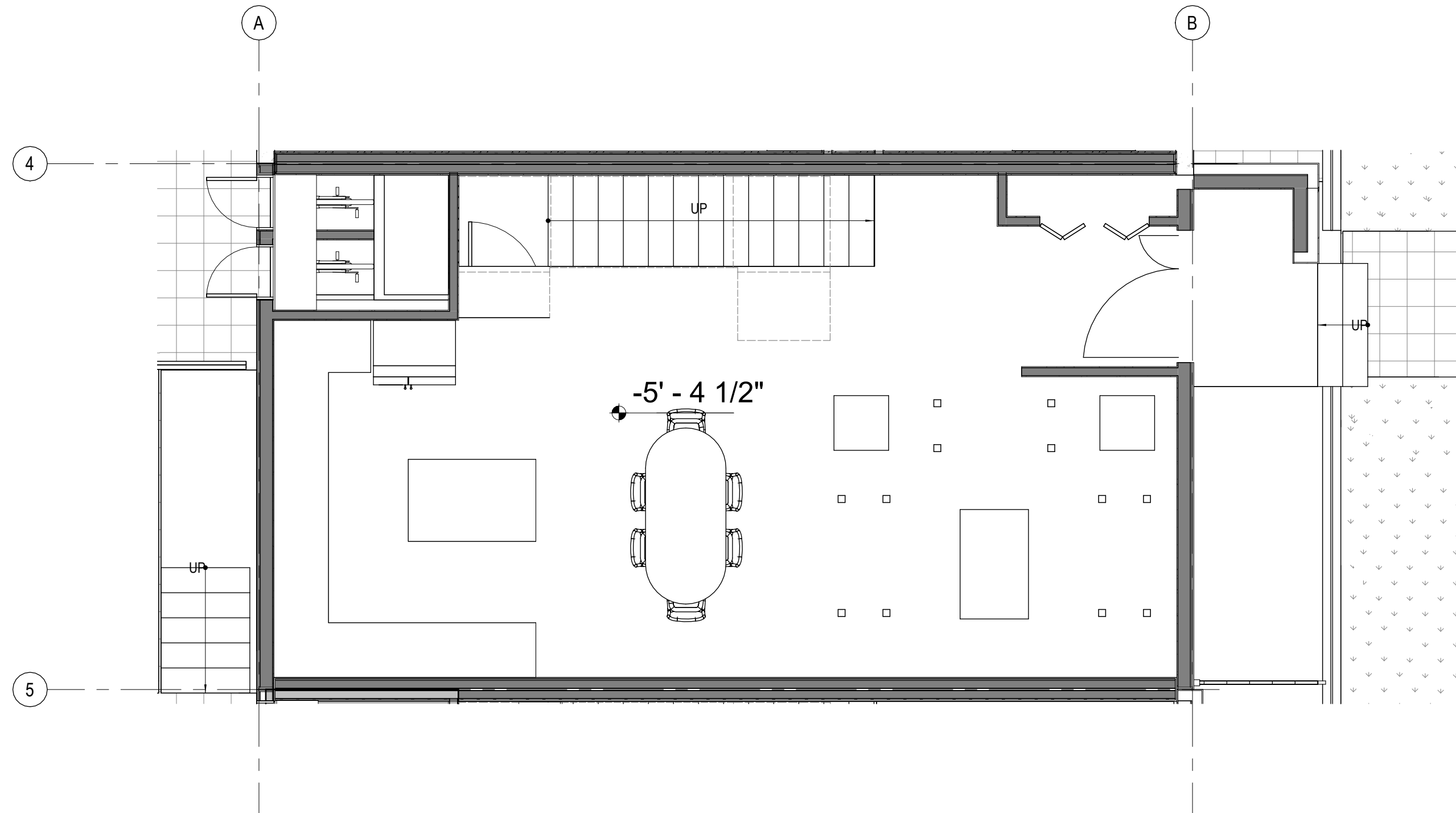
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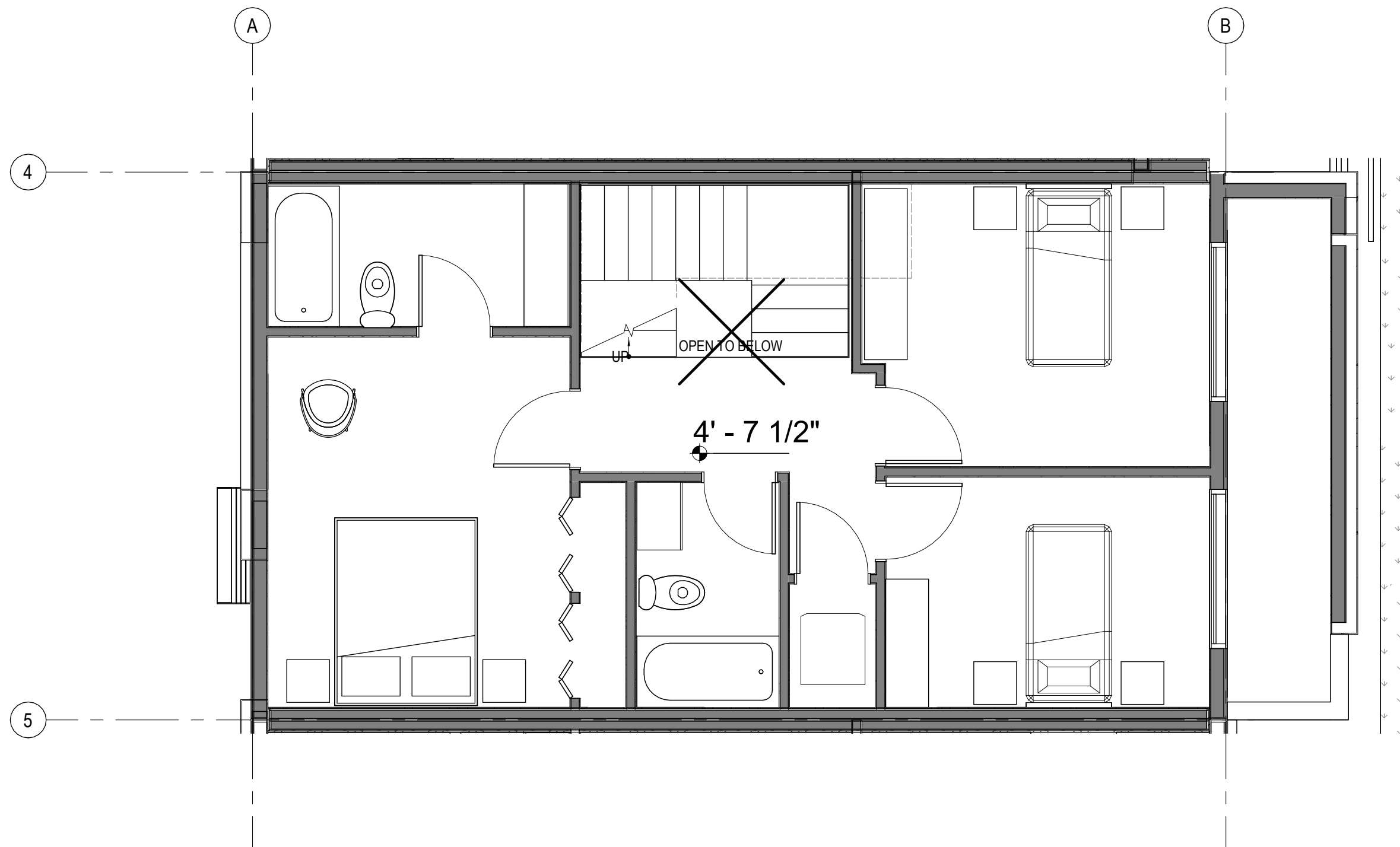
1 LOWER FLOOR - UNIT 104

SCALE: 1/4" = 1'-0"



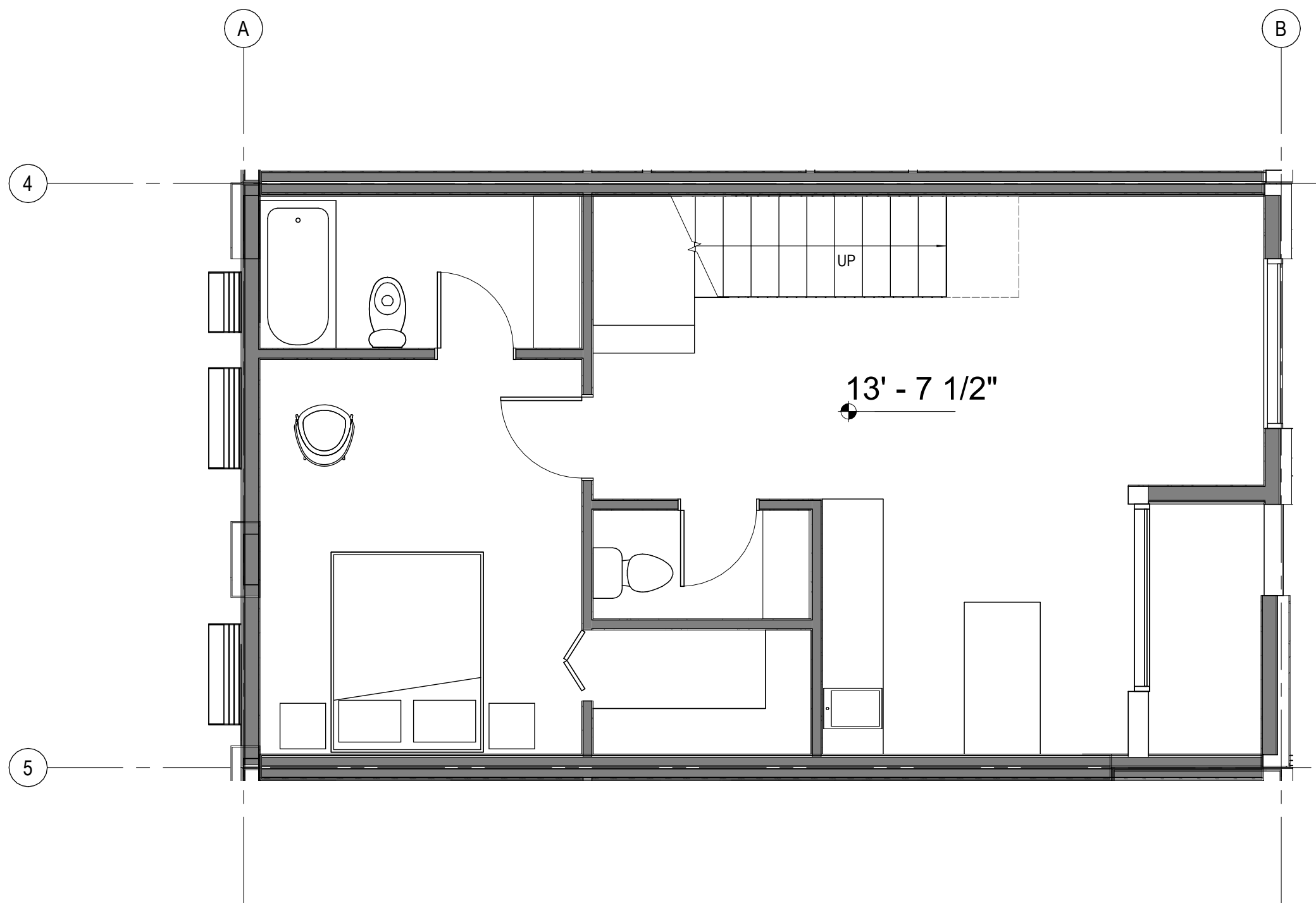
2 MAIN FLOOR - UNIT 104

SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - UNIT 104

SCALE: 1/4" = 1'-0"



4 THIRD FLOOR - UNIT 104

SCALE: 1/4" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.05.12	ISSUED FOR PRE APP
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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PLANS - UNIT 104

SCALE 1/4" = 1'-0"

DRAWN M.S

CHECKED M.Z

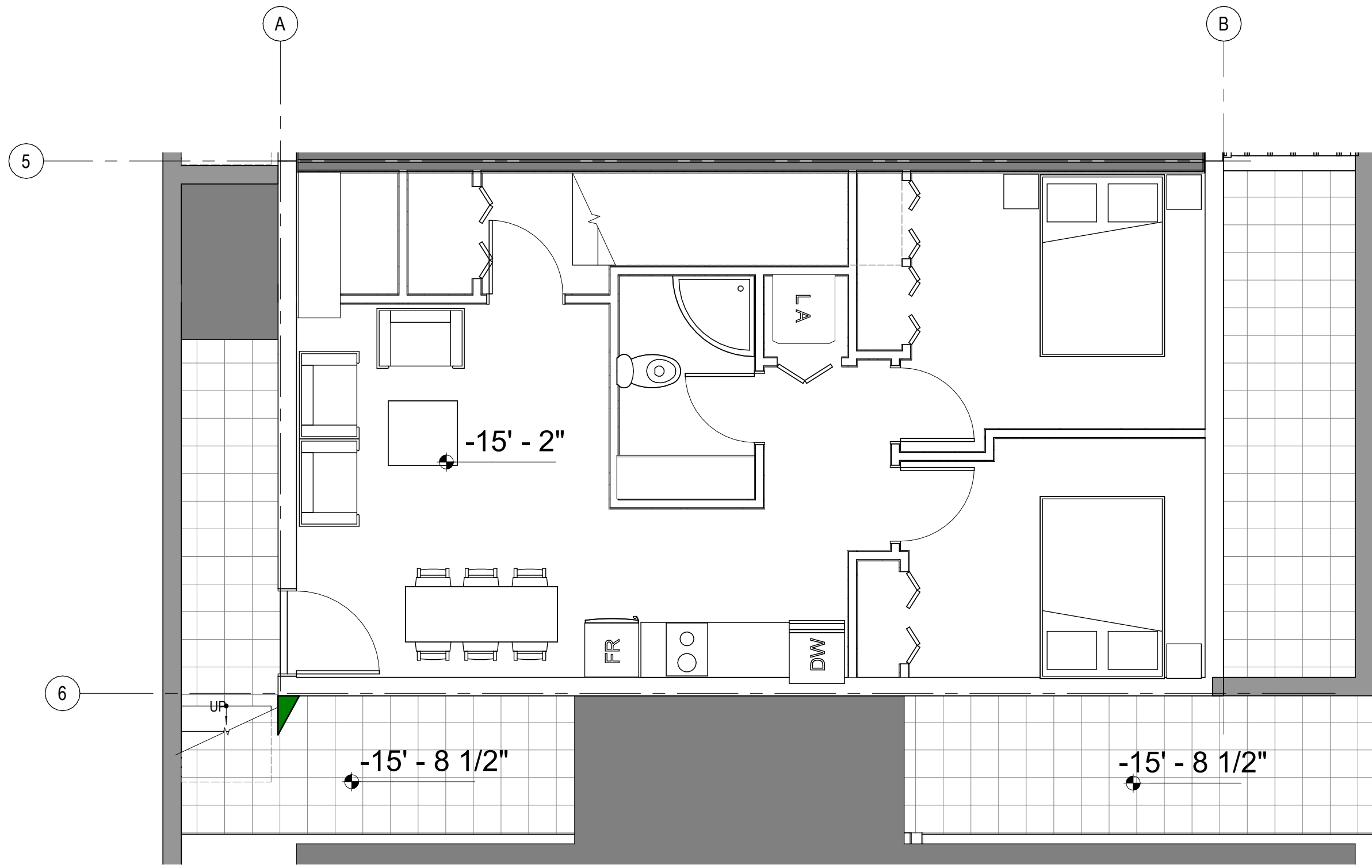
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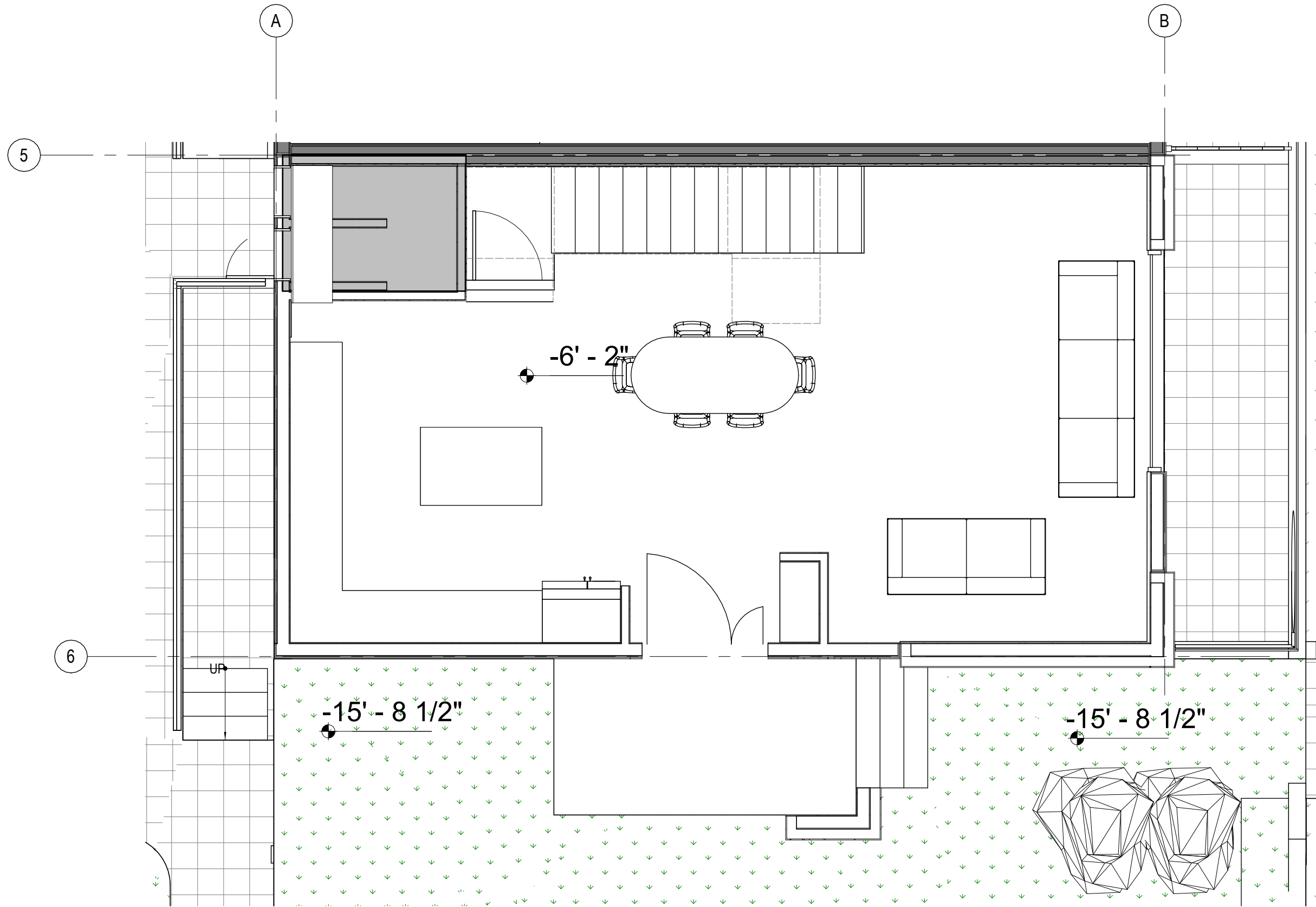
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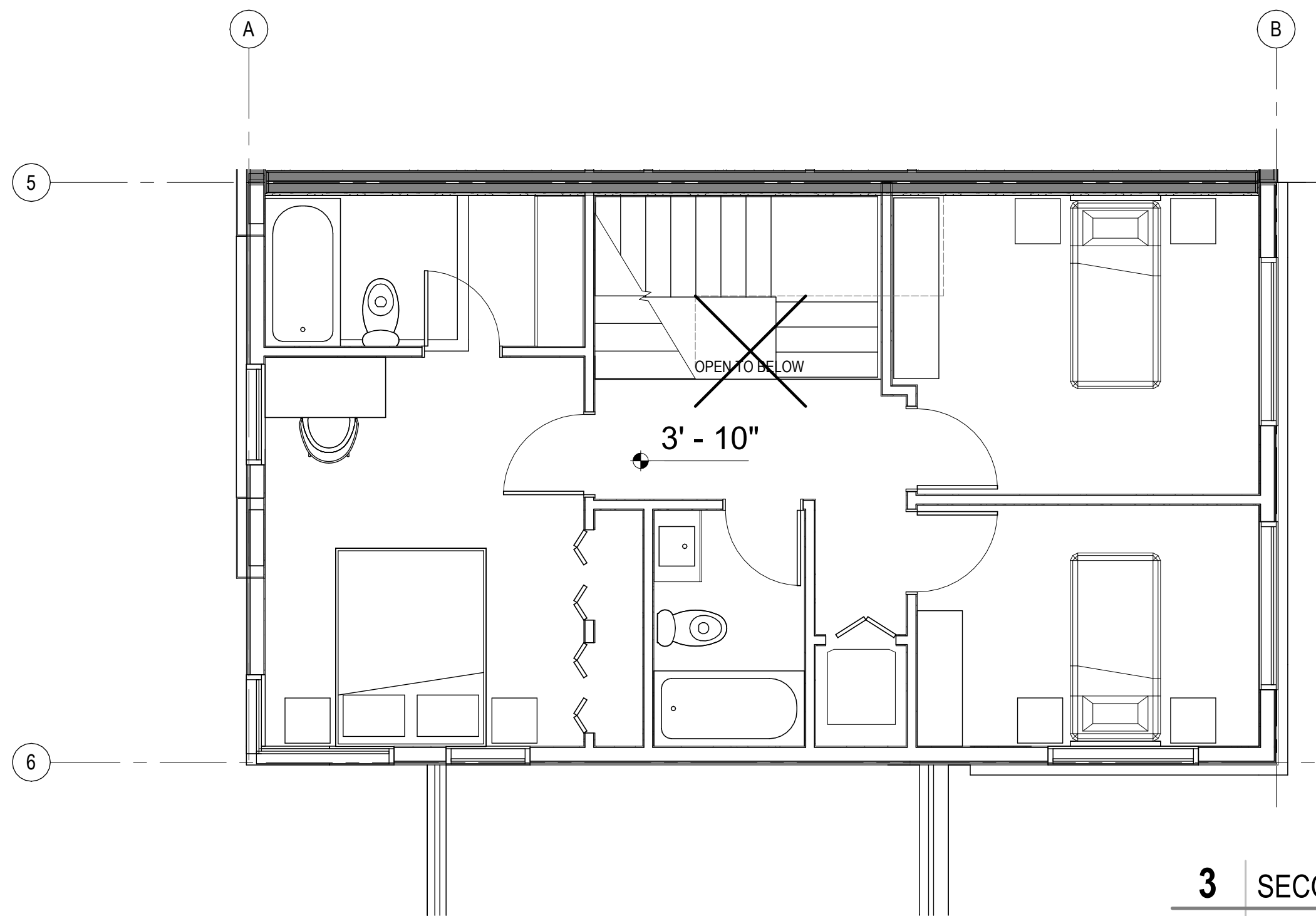




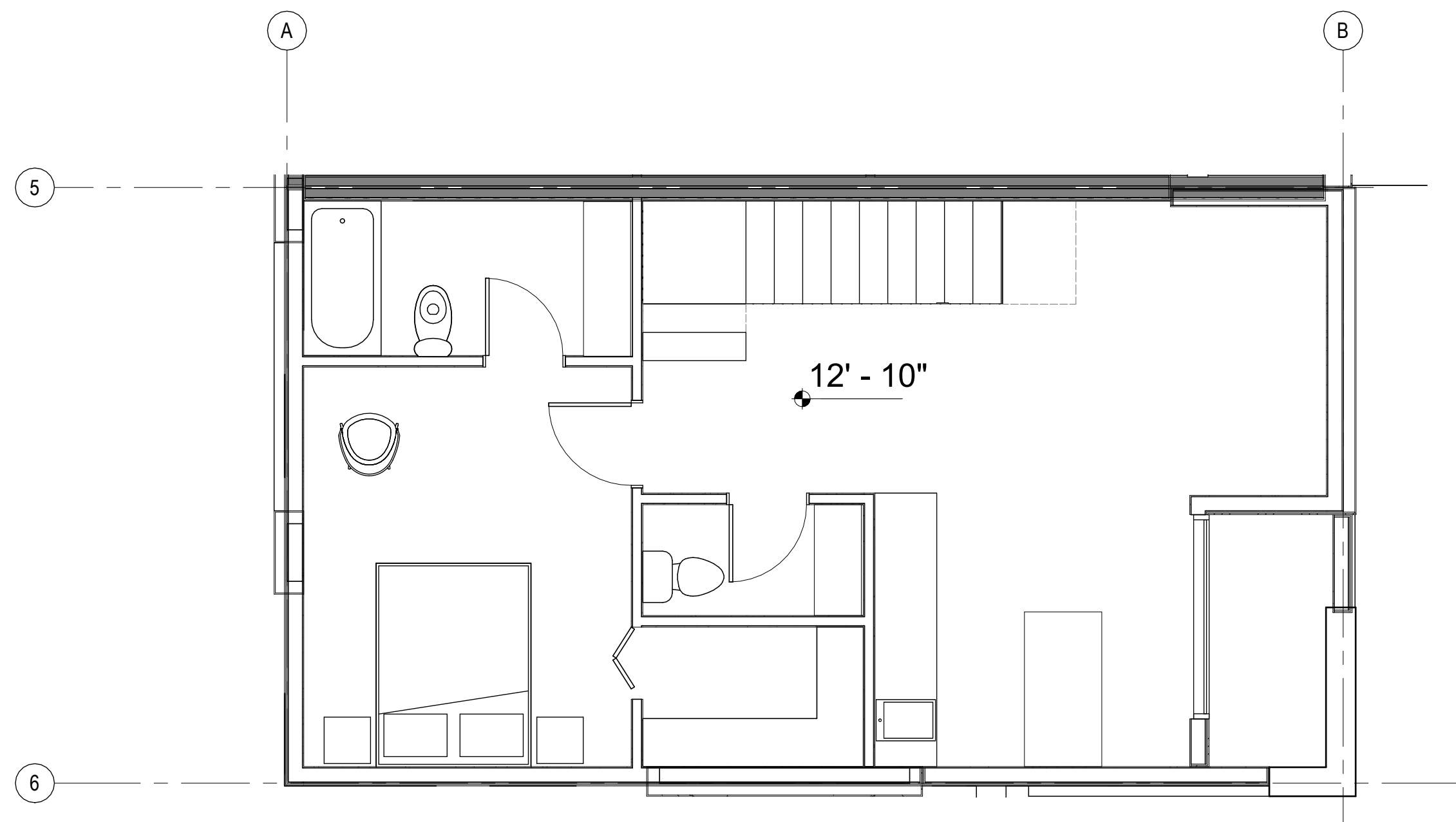
1 LOWER FLOOR - UNIT 105  
SCALE: 1/4" = 1'-0"



2 MAIN FLOOR - UNIT 105  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR - UNIT 105  
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR - UNIT 105  
SCALE: 1/4" = 1'-0"

2	2025.04.17	ISSUED FOR DEVELOPMENT PERMIT
1	2023.05.12	ISSUED FOR PRE APP
NO.	DATE YMD	DESCRIPTION

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PROJECT NAME

22022 - 311 MOODY AVE

PROJECT ADDRESS

311 MOODY AVEUNE,  
NORTH VANCOUVER, BC V7L4T8

DRAWING TITLE

PLANS - UNIT 105

SCALE 1/4" = 1'-0"

DRAWN M.S

CHECKED M.Z

PROJECT NO. 22022

DRAWING NO.

A3.35

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