

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client: **Adera Projects Ltd.**

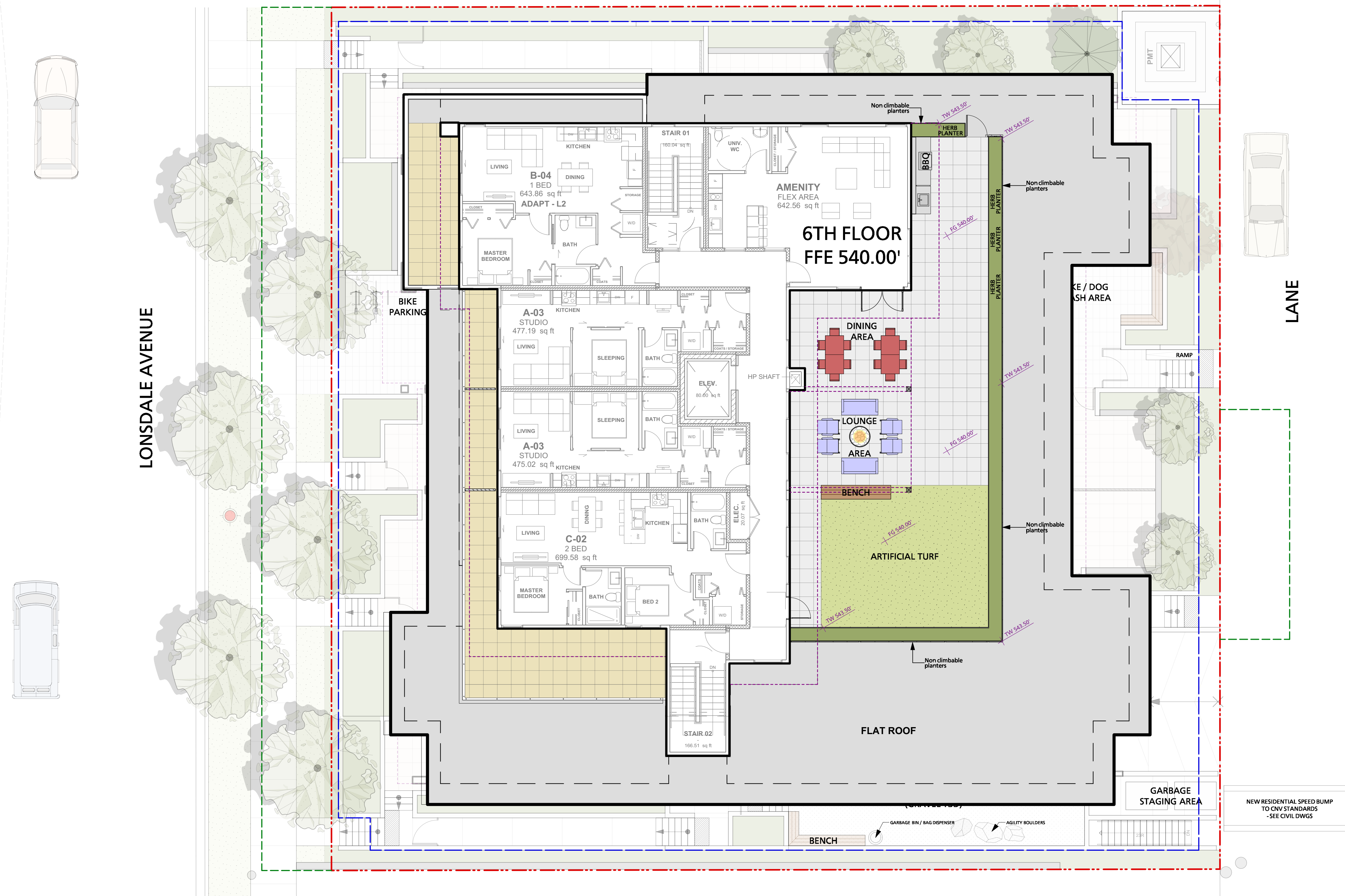


Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Concept Plan**

Project North: Drawn By: EML
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 20-076
 Sheet No.:

L0.0A



LONSDALE AVENUE

LANE

3-STOREY BUILDING

2-STOREY BUILDING

2750 LONSDALE AVENUE
 2-STOREY BUILDING

6TH FLOOR
 FFE 540.00'

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Concept Roof Plan**

Project North: Drawn By: EML
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 20-076

Sheet No.:

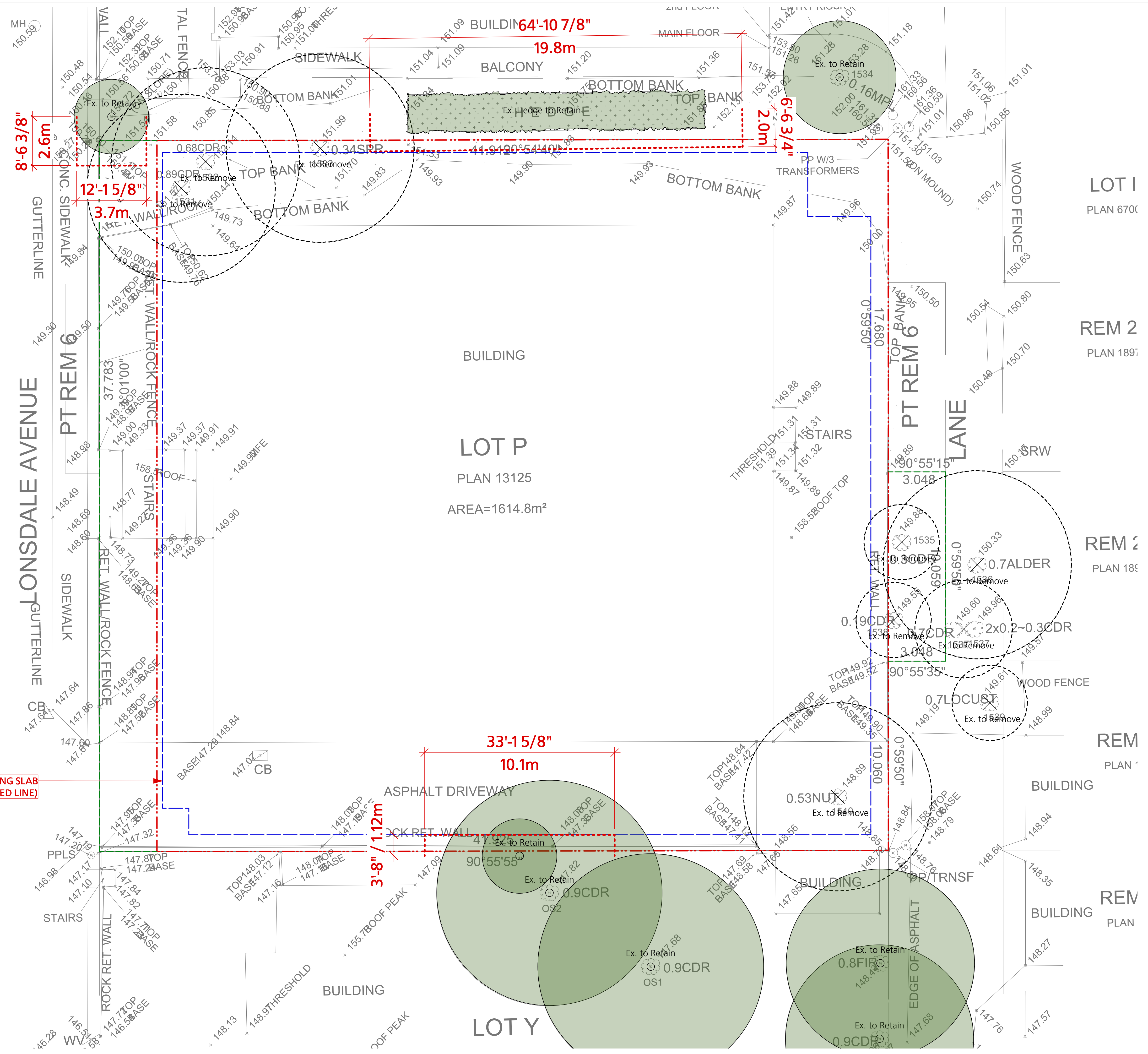
L0.0B

Legend:

- Ex. to Retain (Green circle with dot)
- Existing tree to be retained
- Ex. to Remove (Green circle with cross)
- Existing tree to be removed
- Tree protection fencing (Red dashed line)

General Notes:

- These drawings are to be read in conjunction with Architectural Plans, Civil Plans and Arborist Report and Plans.
- Trees to be spaded and relocated as per City of North Vancouver's request.
- Tree spading and relocation to be performed with the project Arborist present to supervise. Arborist contact: Cody Laschowski, Diamond Head, Phone: (604) 733-4886



1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date
 COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.
 Client:

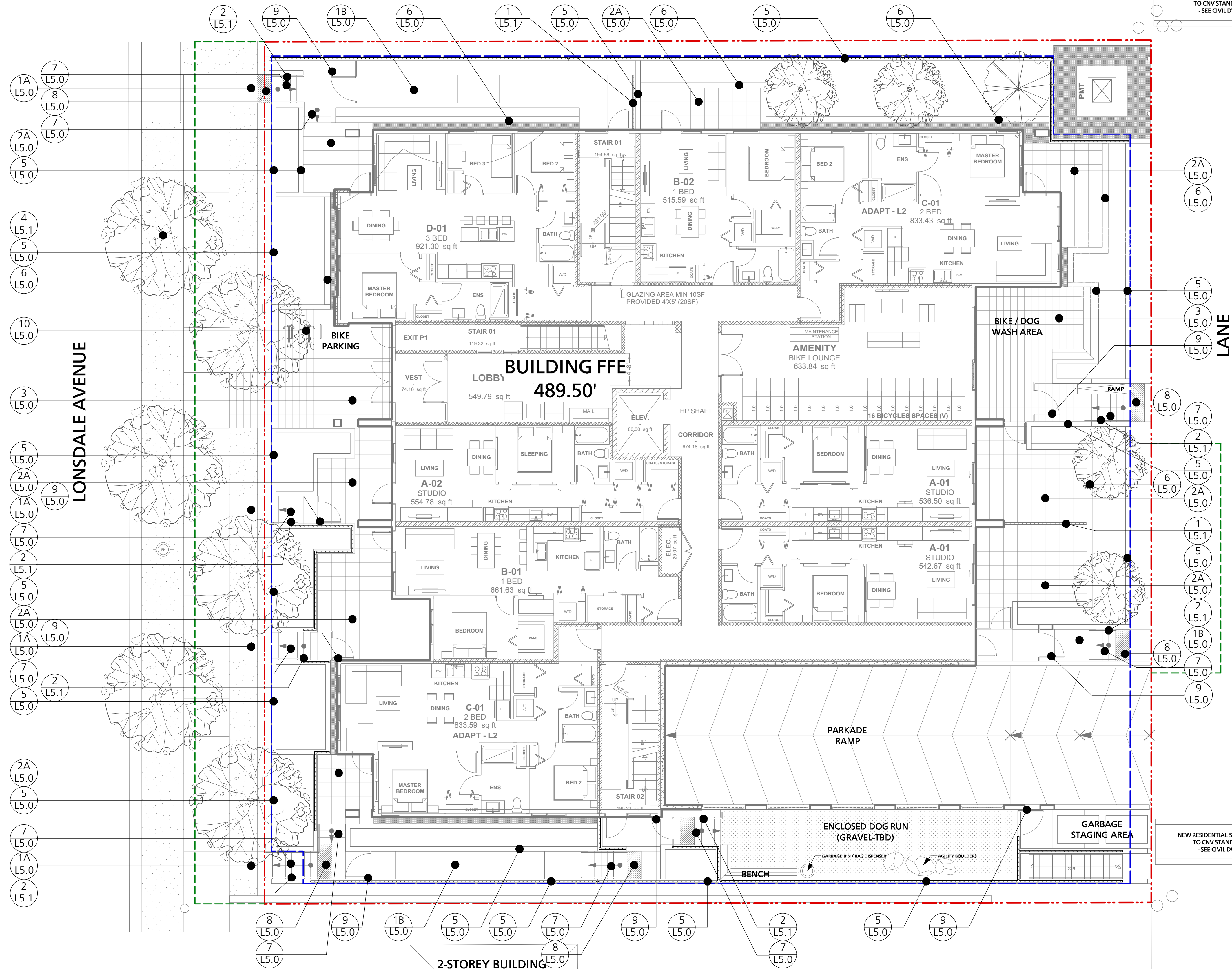


Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title:
Tree Management Plan

Project North: Drawn By: EML
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 20-076
 Sheet No.:

3-STOREY BUILDING



- KEY LEGEND:**
- 1A L5.0 Pedestrian Concrete Paving, On Grade
 - 1B L5.0 Pedestrian Concrete Paving, On Slab
 - 2A L5.0 Pedestrian Precast Pavers, On Slab
 - 2B L5.0 Pedestrian Precast Pavers, On Roof
 - 3 Granite Paving
 - 4 SYNLawn on Roof
 - 5 CIP Concrete Planter Wall On Slab
 - 6 Allan Block Planter Wall On Slab
 - 7 CIP Concrete Stair
 - 8 CIP Concrete Tactile Strip
 - 9 Custom Aluminum Gate
 - 10 Bike Rack
 - 11 Privacy Screen
 - 12 Handrail
 - 13 Aluminum Planter
 - 14 Tree Planting Detail Urban Boulevard
 - 15 Shrub and Groundcover Planting
 - 16 Boulevard Lawn

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.



Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

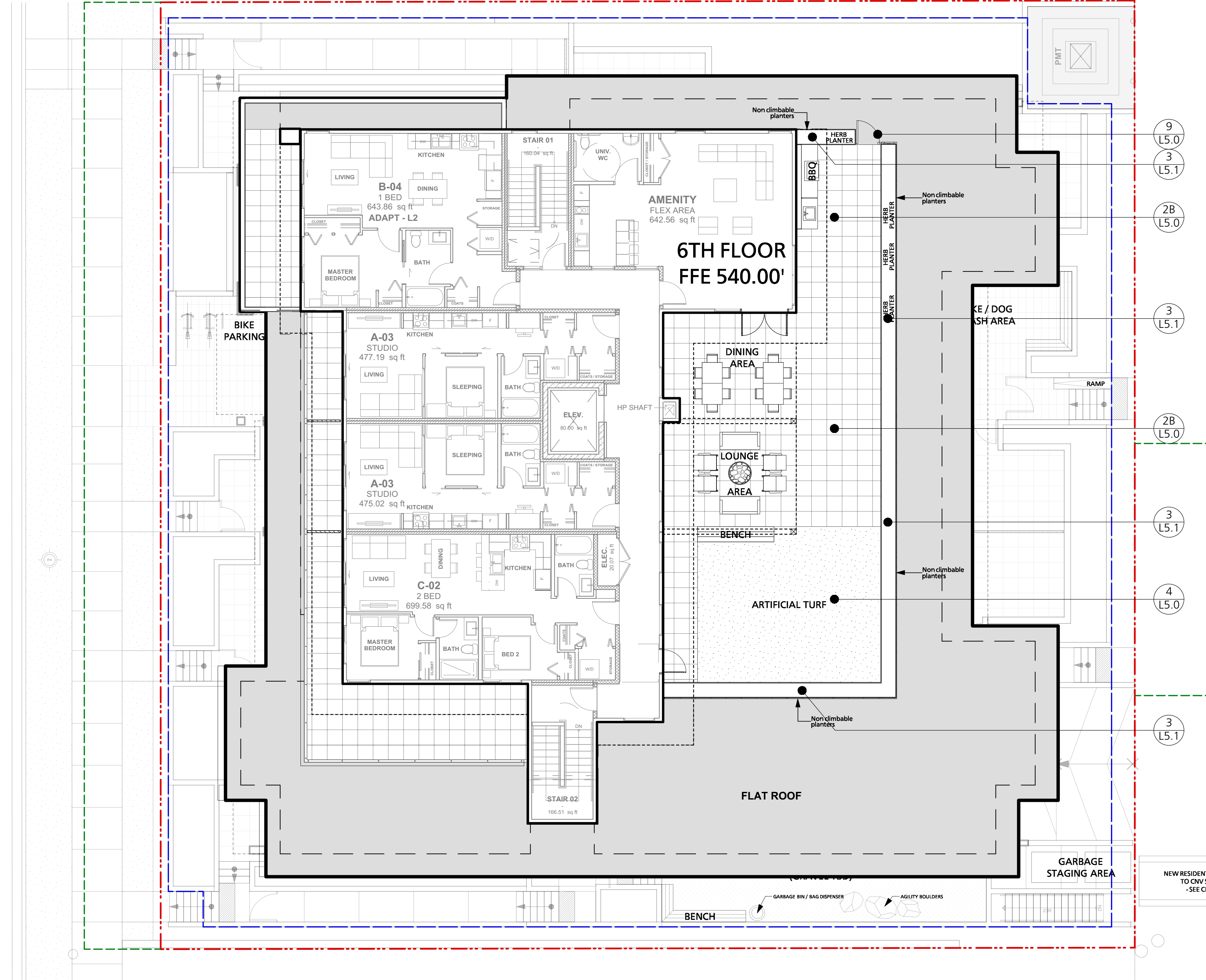
Drawing Title:
Landscape Ground Floor Key Plan

Project North: Drawn By: EML
 Checked By: MP
 Scale: 1/8" = 1'-0" Job No.: 20-076
 Sheet No.:

L1.0A

3-STOREY BUILDING

LONSDALE AVENUE



FLAT ROOF

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS

- 9 L5.0
- 3 L5.1
- 2B L5.0
- 3 L5.1
- 2B L5.0
- 3 L5.1
- 4 L5.0
- 3 L5.1

LANE

- 3 L5.1

NEW RESIDENTIAL SPEED BUMP TO CNV STANDARDS - SEE CIVIL DWGS

2-STOREY BUILDING

2750 LONSDALE AVENUE 2-STOREY BUILDING

KEY LEGEND:

- 1A L5.0 Pedestrian Concrete Paving, On Grade
- 1B L5.0 Pedestrian Concrete Paving, On Slab
- 2A L5.0 Pedestrian Precast Pavers, On Slab
- 2B L5.0 Pedestrian Precast Pavers, On Roof
- 3 L5.0 Granite Paving
- 4 L5.0 SYN Lawn on Roof
- 5 L5.0 CIP Concrete Planter Wall On Slab
- 6 L5.0 Allan Block Planter Wall On Slab
- 7 L5.0 CIP Concrete Stair
- 8 L5.0 CIP Concrete Tactile Strip
- 9 L5.0 Custom Aluminum Gate
- 10 L5.0 Bike Rack
- 11 L5.1 Privacy Screen
- 12 L5.1 Handrail
- 13 L5.1 Aluminum Planter
- 14 L5.1 Tree Planting Detail Urban Boulevard
- 15 L5.1 Shrub and Groundcover Planting
- 16 L5.1 Boulevard Lawn

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client:
Adera Projects Ltd.

Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title:
Landscape Roof Key Plan

Project North: Drawn By: EML
 Checked By: MP

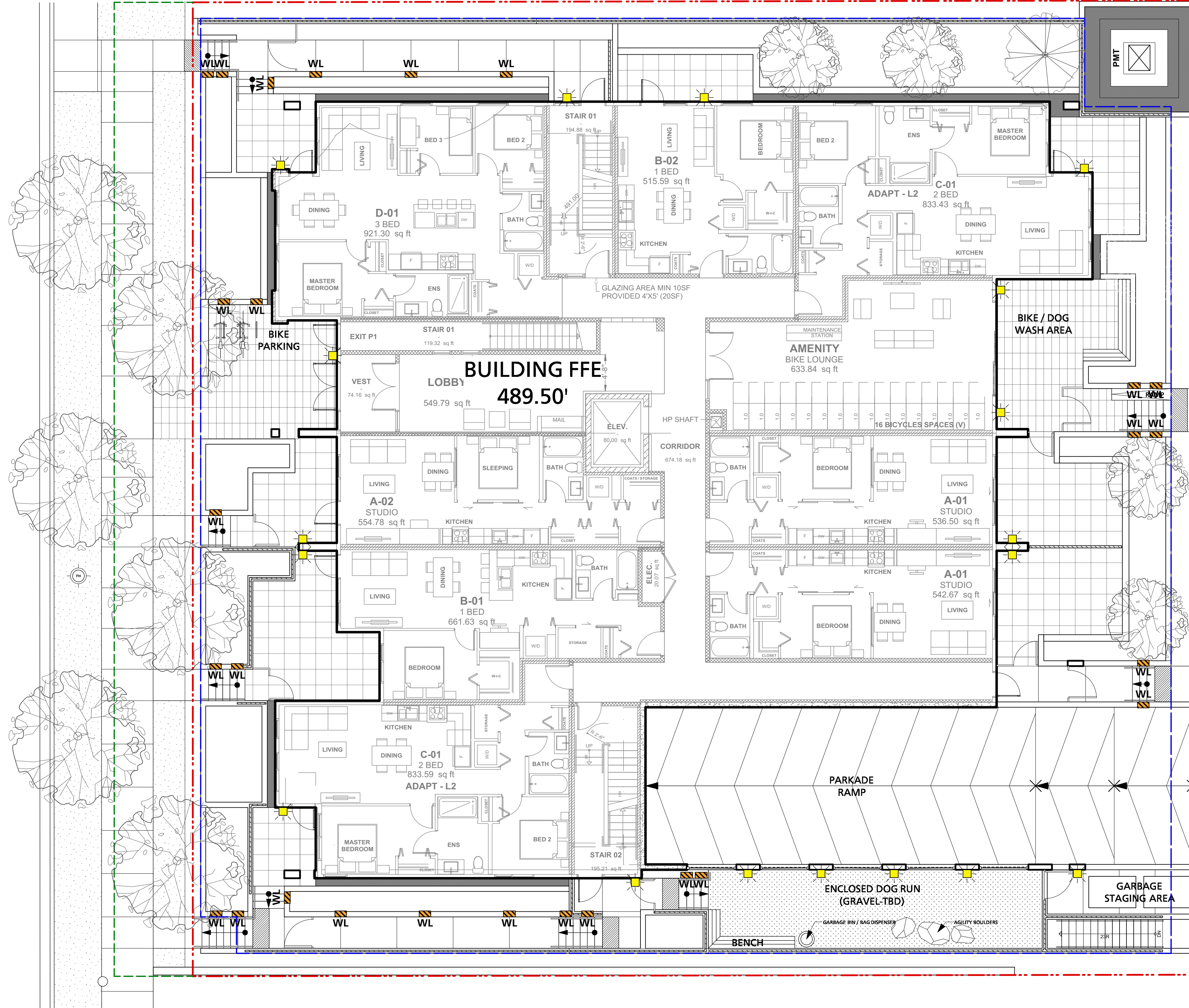
Scale: 1/8" = 1'-0" Job No.: 20-076

Sheet No.: **L1.0B**

3-STOREY BUILDING

LONSDALE AVENUE

LANE



Legend:



WL Recessed Wall Light



Catenary Lighting



Wall Mounted Sconce Light (TBC)

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.
 Client:

Adera Projects Ltd.



Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title:
Landscape Ground Floor Lighting Plan

Project North: Drawn By: EML
 Checked By: MP

Scale: 1/8" = 1'-0" Job No.: 20-076

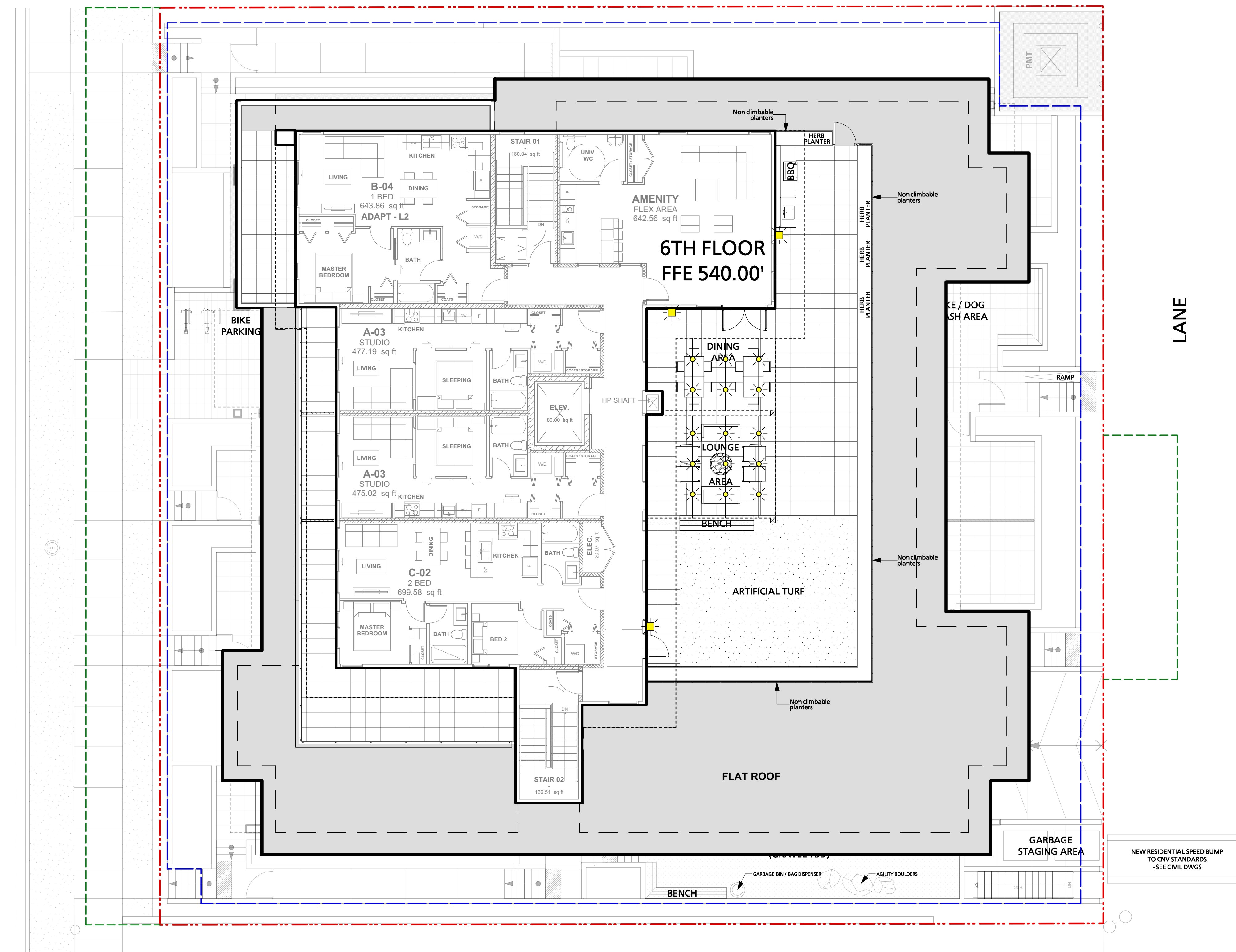
Sheet No.:

L1.1A

3-STOREY BUILDING

LONSDALE AVENUE

LANE



Legend:

- Recessed Wall Light
- Catenary Lighting
- Wall Mounted Sconce Light (TBC)
- By Others

Note: Read Landscape Lighting Plan in conjunction with Architectural and Electrical drawings.

P+A
 Landscape Architecture
 Site Planning

R. Kim Perry & Associates Inc.
 112 East Broadway
 Vancouver, BC V5T 1V9
 T 604 738 4118
 F 604 738 4116
 www.perryandassociates.ca

1	Issued for Re-zoning and Development Permit	2020/11/05
Revision No.		Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client:

Adera Projects Ltd.

Project Title:

Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title:

Landscape Roof Lighting Plan

Project North:	Drawn By:	EML
	Checked By:	MP
Scale:	Job No.:	20-076
1/8" = 1'-0"		

Sheet No.:

L1.1B

2-STOREY BUILDING

2750 LONSDALE AVENUE
 2-STOREY BUILDING

NEW RESIDENTIAL SPEED BUMP
 TO CNV STANDARDS
 -SEE CIVIL DWGS

NEW RESIDENTIAL SPEED BUMP
 TO CNV STANDARDS
 -SEE CIVIL DWGS

3-STOREY BUILDING

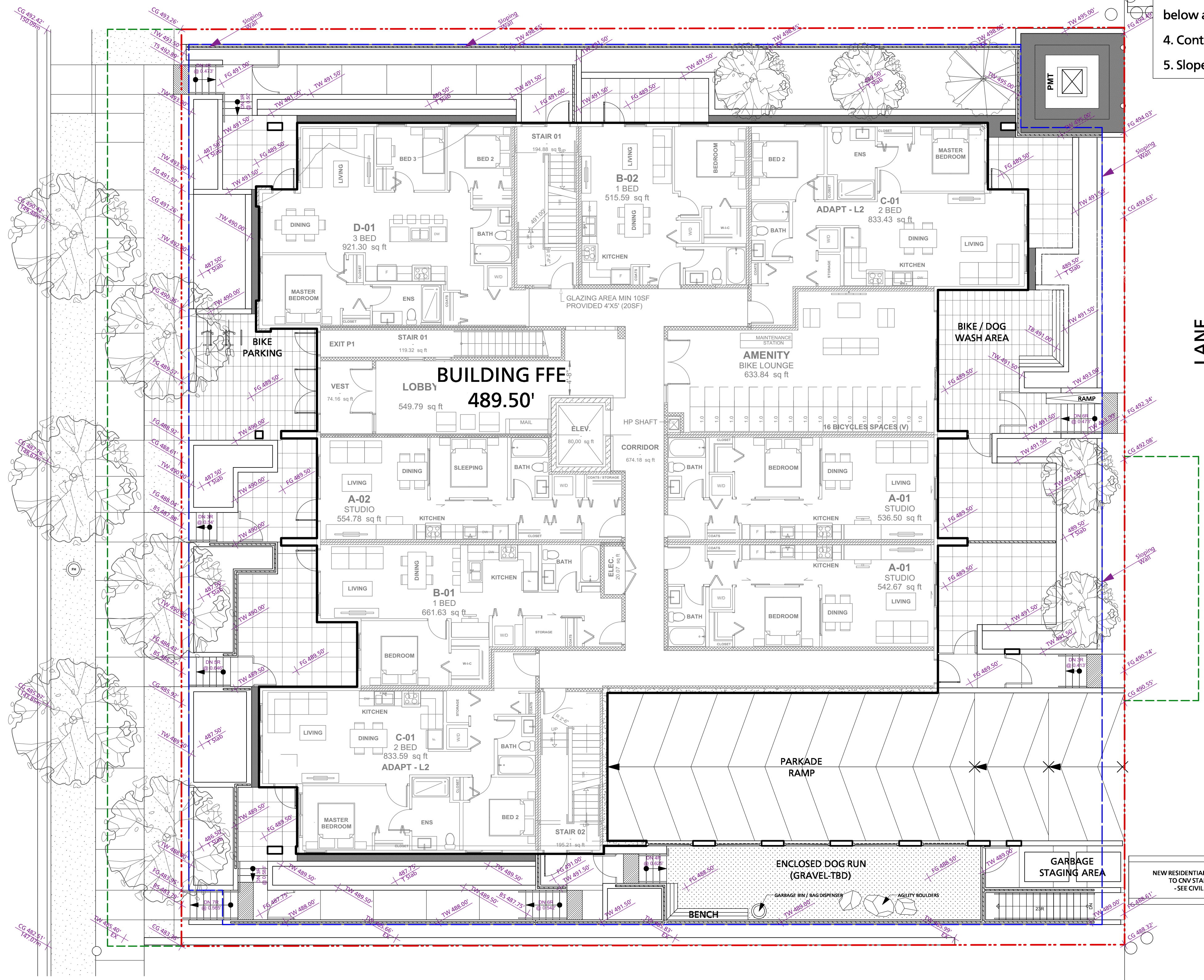
LONSDALE AVENUE

Grading notes:

1. Contractor to ensure all paving slopes to drain away from building.
2. Contractor to ensure topsoil slopes and drains away from all buildings.
3. Soft landscape finished grade to be min 200mm below any finished building elevation
4. Contractor to report any discrepancies in grade.
5. Slope all surfaces to drains as shown.

Legend:

- CG Civil Grade
- TS Top of stair
- BS Bottom of stair
- TC Top of curb
- BC Bottom of curb
- TB Top of bench
- LB Lawn Basin
- CG Civil Grade
- FG Finished grade
- TW Top of wall
- BW Bottom of wall
- TS Top of stair
- BS Bottom of stair
- TC Top of curb
- BC Bottom of curb
- TB Top of bench
- LB Lawn Basin
- CG Civil Grade



2-STOREY BUILDING

2750 LONSDALE AVENUE
2-STOREY BUILDING

1 Issued for Re-zoning and Development Permit 2020/11/05
Revision No. Date

COPYRIGHT RESERVED
This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.
Client:

Adera Projects Ltd.



Project Title:
Rental Development
2762 Lonsdale Avenue
North Vancouver, BC

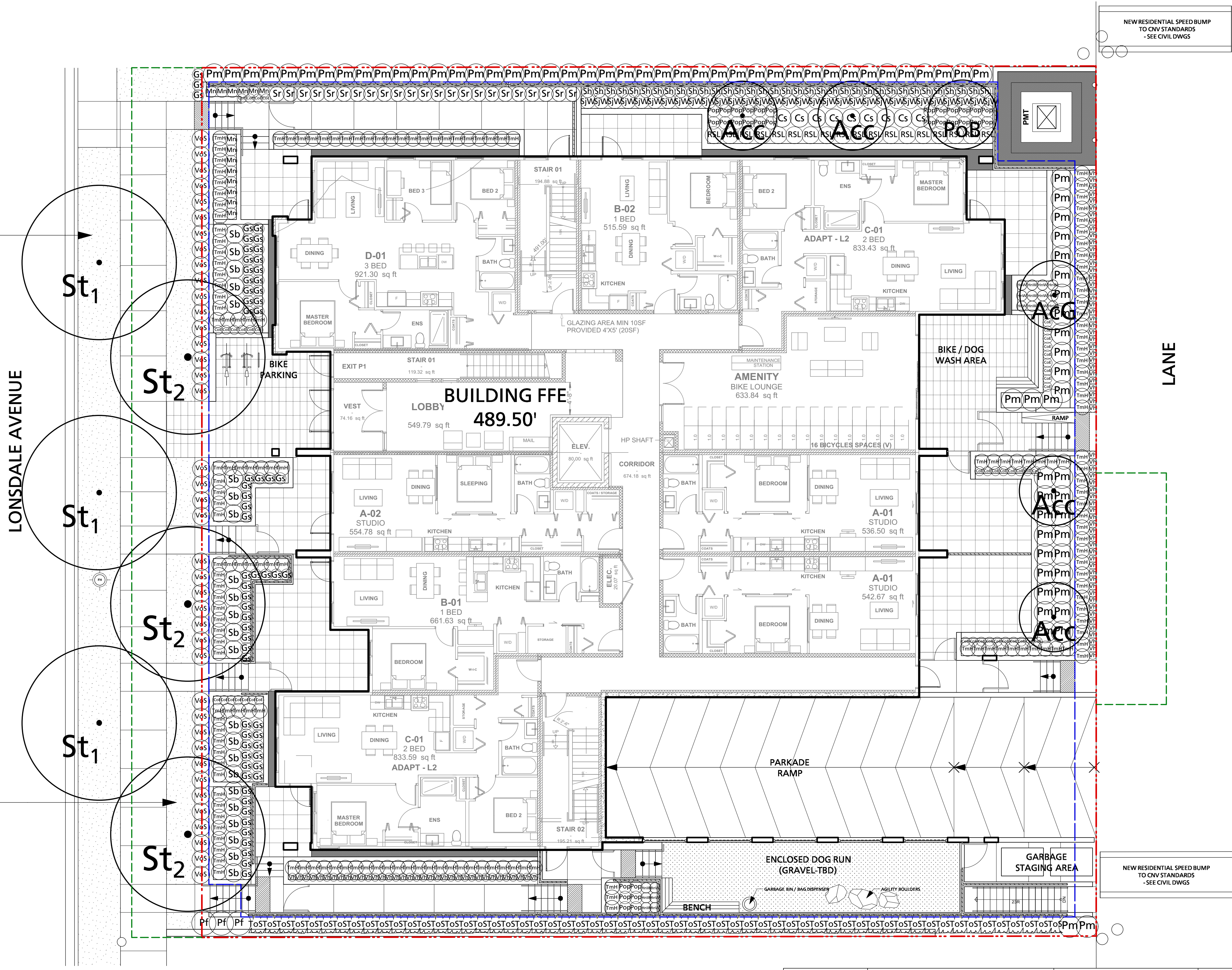
Drawing Title:
Landscape Ground Floor Grading Plan

Project North: Drawn By: EML
Checked By: MP
Scale: 1/8" = 1'-0" Job No.: 20-076
Sheet No.:

L2.0

Provide continuous soil trench and if required, structural soil under the sidewalks, in order to achieve a minimum of 15m³ of growing medium per street tree.

Provide continuous soil trench and if required, structural soil under the sidewalks, in order to achieve a minimum of 15m³ of growing medium per street tree.



1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

Drawing Title: **Landscape Ground Floor Planting Plan**

Project North: Drawn By: **EML**
 Checked By: **MP**

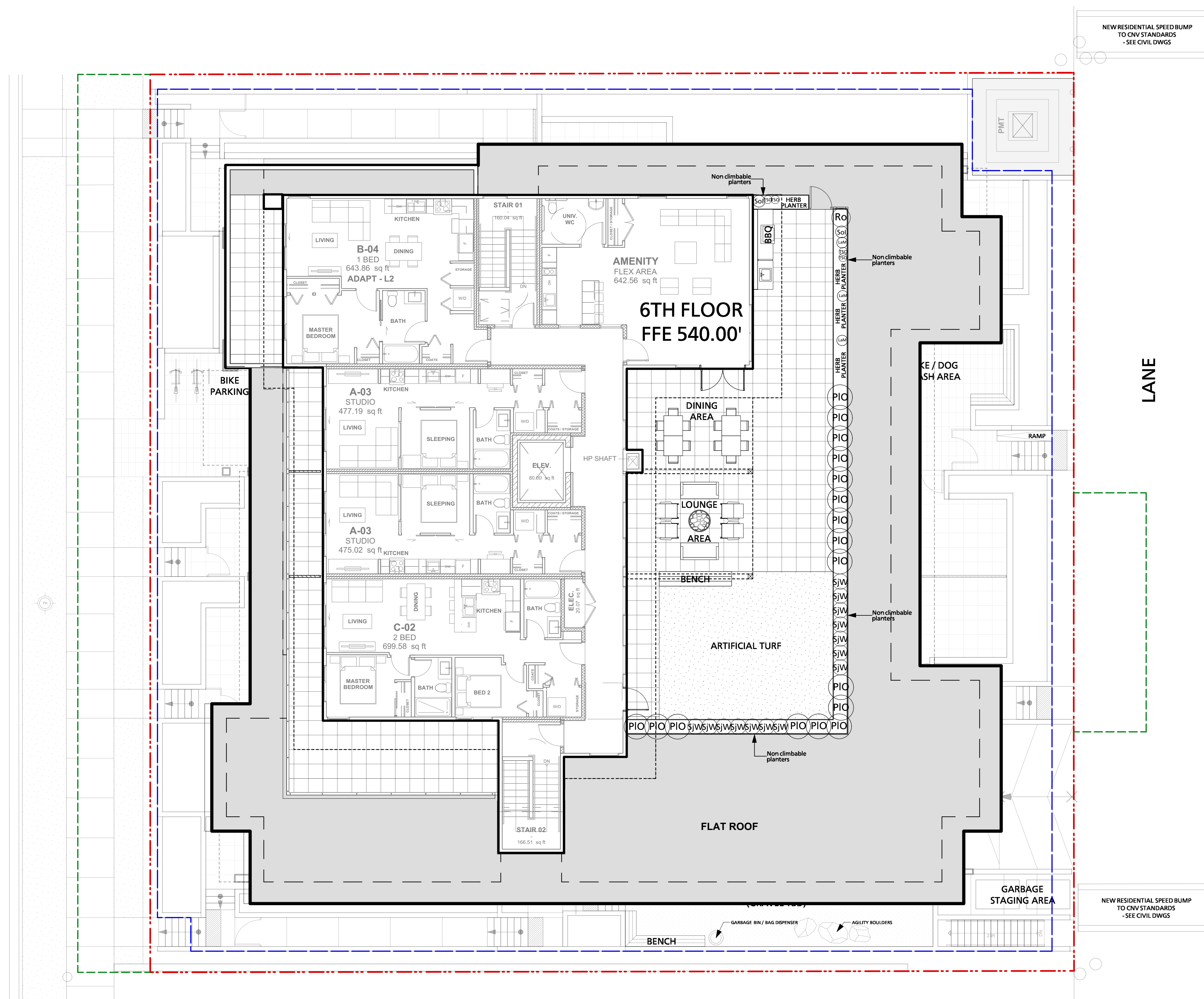
Scale: **1/8" = 1'-0"** Job No.: **20-076**

Sheet No.:

L3.0A

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Acc	4	Acer circinatum	Vine Maple	5m ht., B&B, max. 3 stems	
ACG	1	Acer ginnala	Amur Maple	6.5cm cal.	
PoB	1	Picea omorika 'Bruns'	Brun's Serbian Spruce	2m ht. min.	
St1	3	Street Tree 1	Street Tree 1	6cm cal.	T.B.C. by the CNV
St2	3	Street Tree 2	Street Tree 2	6cm cal.	T.B.C. by the CNV
Shrubs					
Cs-1	9	Cornus sericea 'Arctic Fire'	'Arctic Fire' Red Twig Dogwood	#3 pot	
Gs	63	Gaultheria shallon	Salal	#2 pot	
Mn	14	Mahonia nervosa	Longleaf Mahonia	#2 pot	
Pf	3	Potentilla fruticosa	Cinquefoil	#2 pot	
Pio	17	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
Rsl	18	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	
Sh	35	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
Sr	23	Sarcococca ruscifolia	Fragrant Sarcococca	#3 pot	
Sb	23	Spiraea betulifolia	Birch Leaf Spirea	#3 pot	
SjW	45	Spiraea japonica 'Walbuma' Magic Carpet	Magic Carpet Spirea	#3 pot	
TmH	172	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
ToS	58	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' ht, B&B	Hedge
VoS	40	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	
Groundcovers, Vines, Ferns, Perennials and Grasses					
CoE	45	Carex oshimensis 'Evergold'	Sedge	#1 pot	
HnW	18	Helleborus x nigercors 'Winter's Ghost'	Winter's Ghost Hellebore	#1 pot	
LavM	3	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	
Pm	77	Polystichum munitum	Western Sword Fern	#1 pot	
Pop	30	Polystichum polyblepharum	Japanese Tassel Fern	#1 pot	
Ro	1	Rosmarinus officinalis	Rosemary	#2 pot	
Sol	2	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	
TSO	4	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	
Vh	101	Vancouveria hexandra	White Inside-out Flower	#1 pot	
Total	813				

LONSDALE AVENUE



1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
 2762 Lonsdale Avenue
 North Vancouver, BC

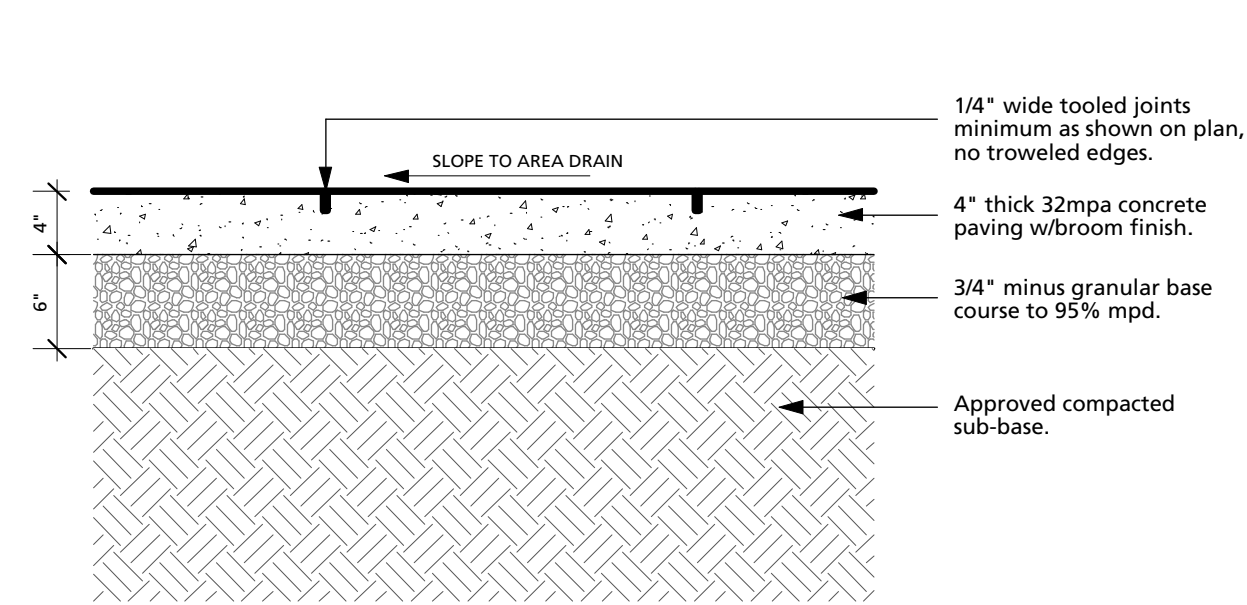
Drawing Title: **Landscape Roof Planting Plan**

Project North: Drawn By: **EML**
 Checked By: **MP**

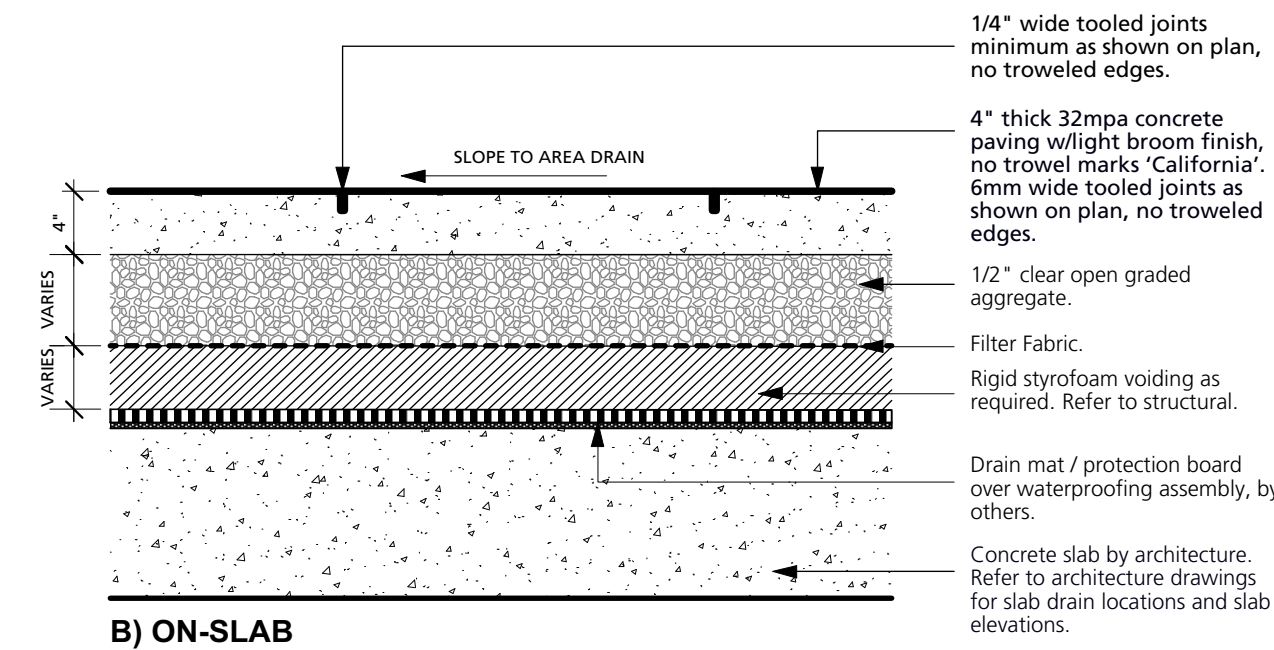
Scale: **1/8" = 1'-0"** Job No.: **20-076**

Sheet No.: **L3.0B**

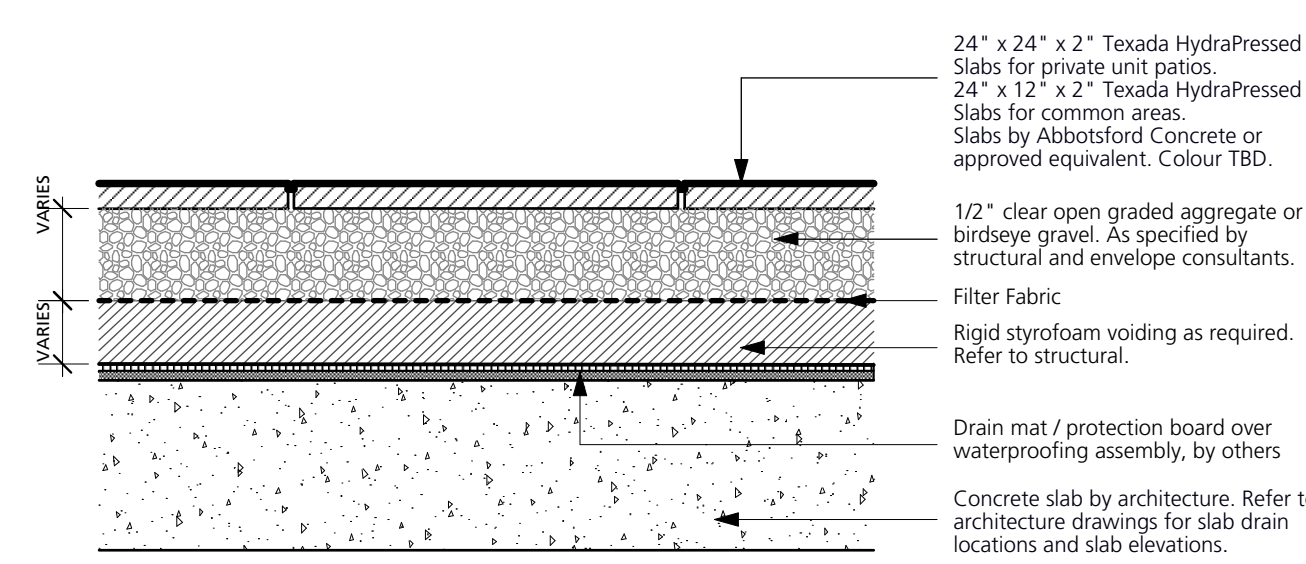
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Acc	4	Acer circinatum	Vine Maple	5m ht., B&B, max. 3 stems	
ACG	1	Acer ginnala	Amur Maple	6.5cm cal.	
PoB	1	Picea omorika 'Bruns'	Brun's Serbian Spruce	2m ht. min.	
St1	3	Street Tree 1	Street Tree 1	6cm cal.	T.B.C. by the CNV
St2	3	Street Tree 2	Street Tree 2	6cm cal.	T.B.C. by the CNV
Shrubs					
Cs-1	9	Cornus sericea 'Arctic Fire'	'Arctic Fire' Red Twig Dogwood	#3 pot	
Gs	63	Gaultheria shallon	Salal	#2 pot	
Mn	14	Mahonia nervosa	Longleaf Mahonia	#2 pot	
Pf	3	Potentilla fruticosa	Cinquefoil	#2 pot	
PIO	17	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
RSL	18	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	
Sh	35	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
Sr	23	Sarcococca ruscifolia	Fragrant Sarcococca	#3 pot	
Sb	23	Spiraea betulifolia	Birch Leaf Spirea	#3 pot	
SjW	45	Spiraea japonica 'Walbura' Magic Carpet	Magic Carpet Spirea	#3 pot	
TmH	172	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
ToS	58	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' ht, B&B	Hedge
VoS	40	Vaccinium ovatum 'Scarlet Ovation'	Scarlet Ovation Evergreen Huckleberry	#3 pot	
Groundcovers, Vines, Ferns, Perennials and Grasses					
CoE	45	Carex oshimensis 'Evergold'	Sedge	#1 pot	
HnW	18	Helleborus x nigercors 'Winter's Ghost'	Winter's Ghost Hellebore	#1 pot	
LaM	3	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	
Pm	77	Polystichum munitum	Western Sword Fern	#1 pot	
Pop	30	Polystichum polyblepharum	Japanese Tassel Fern	#1 pot	
Ro	1	Rosmarinus officinalis	Rosemary	#2 pot	
Sol	2	Salvia officinalis 'Icterina'	Golden Common Sage	#1 pot	
TSO	4	Thymus 'Spicy Orange'	Orange Scented Thyme	#1 pot	
Vh	101	Vancouveria hexandra	White Inside-out Flower	#1 pot	
Total	813				



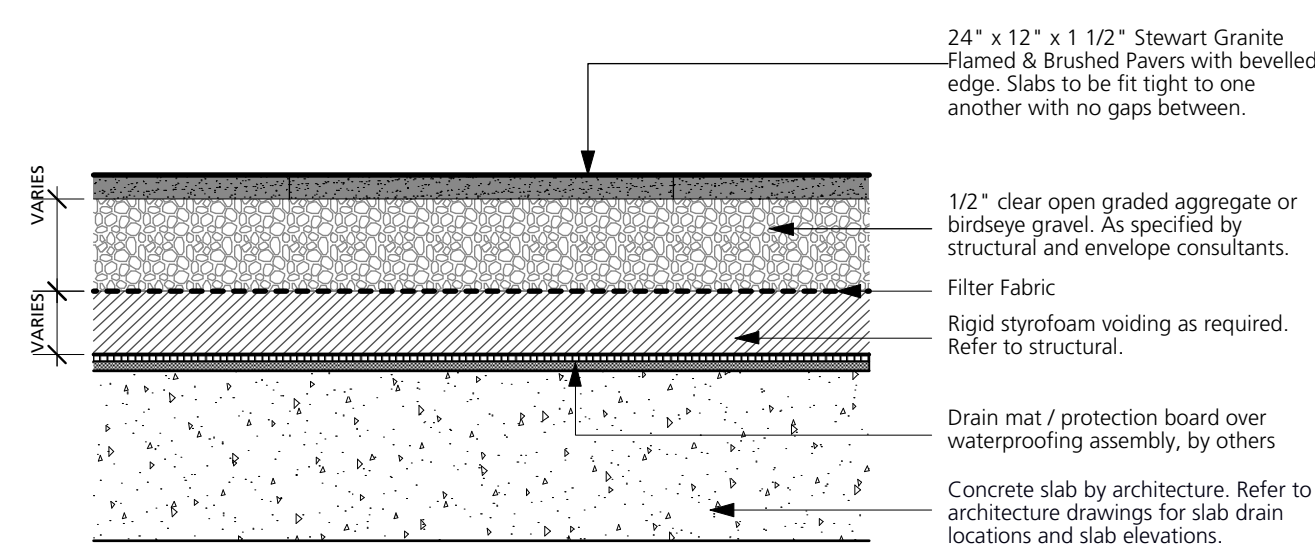
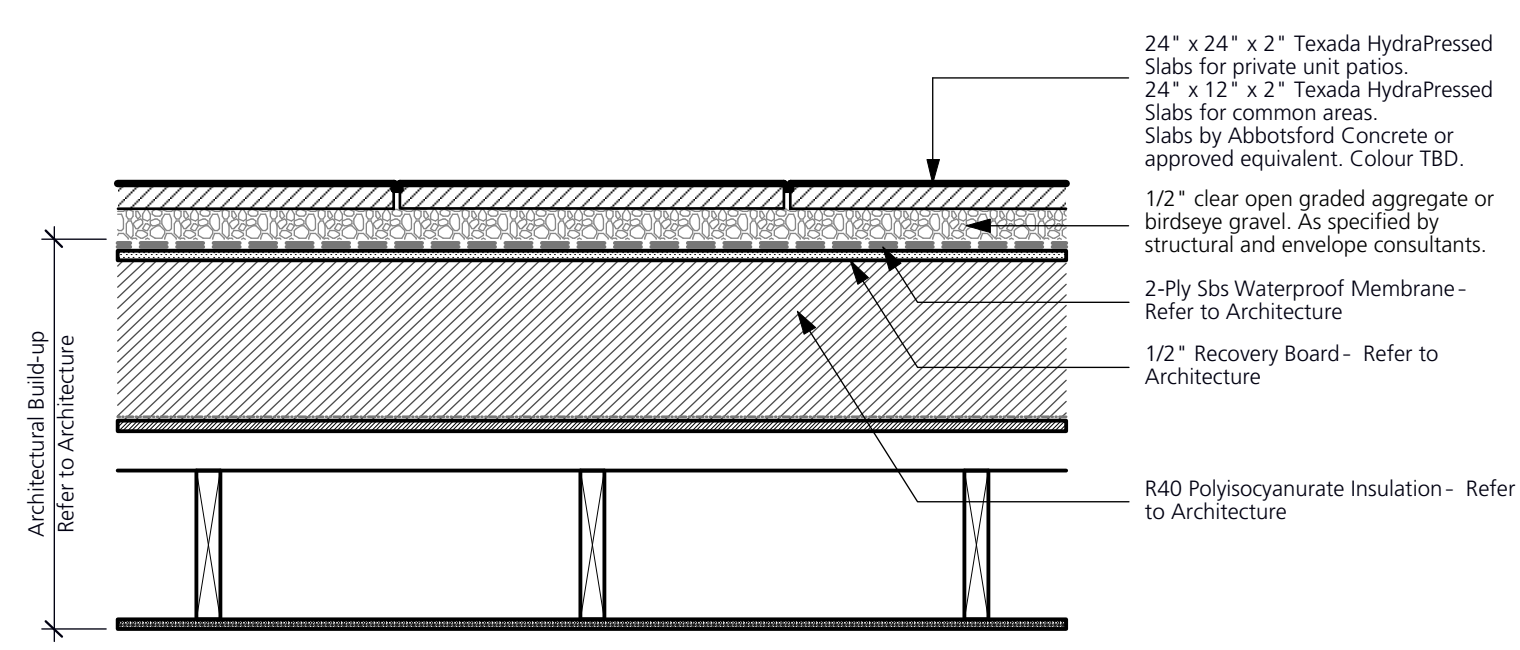
A) ON-GRADE
1 CIP CONCRETE PAVING (PEDESTRIAN)
 L5.0 1" = 10"



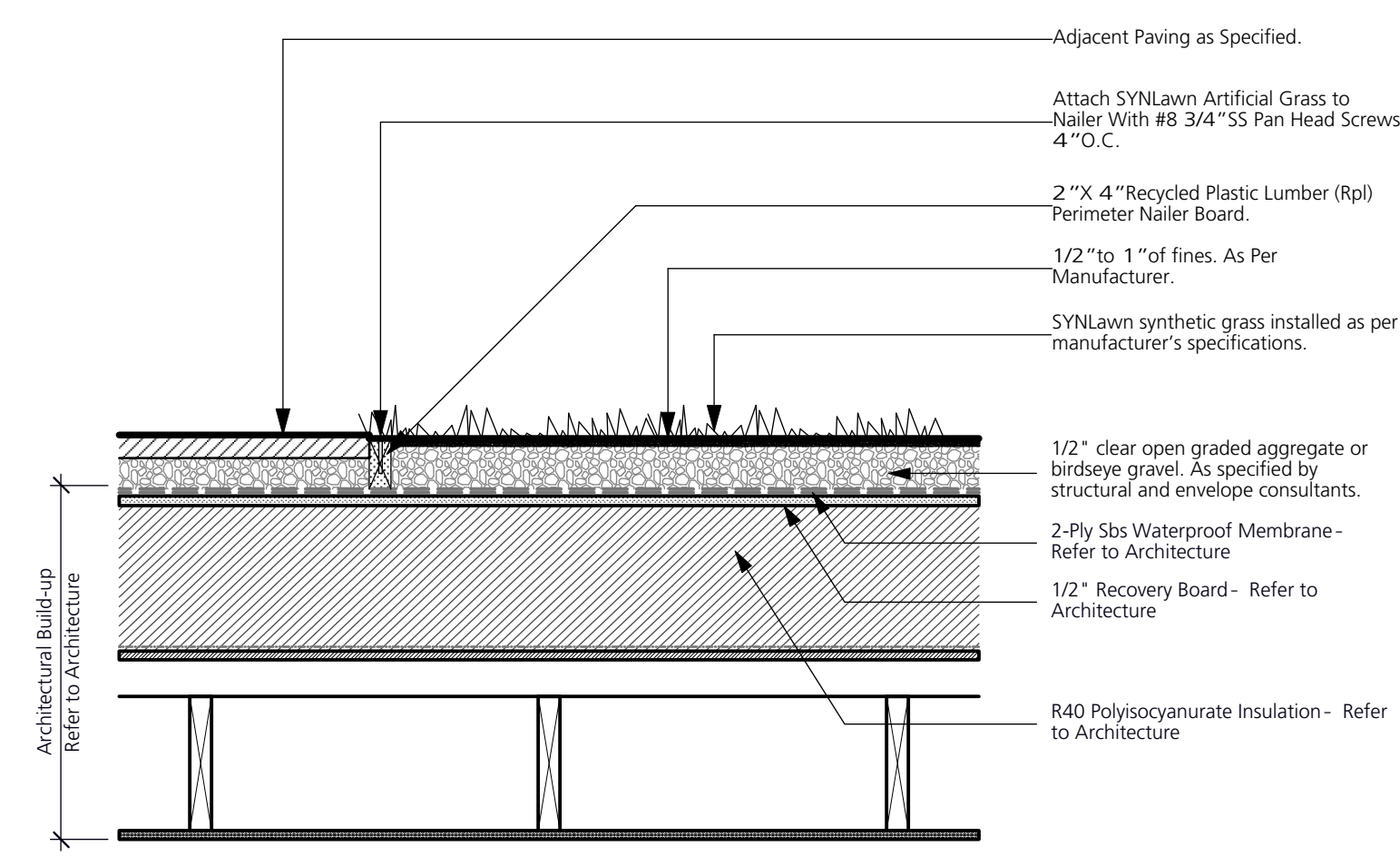
B) ON-SLAB
2 PRECAST PAVERS (PEDESTRIAN)
 L5.0 1" = 10"



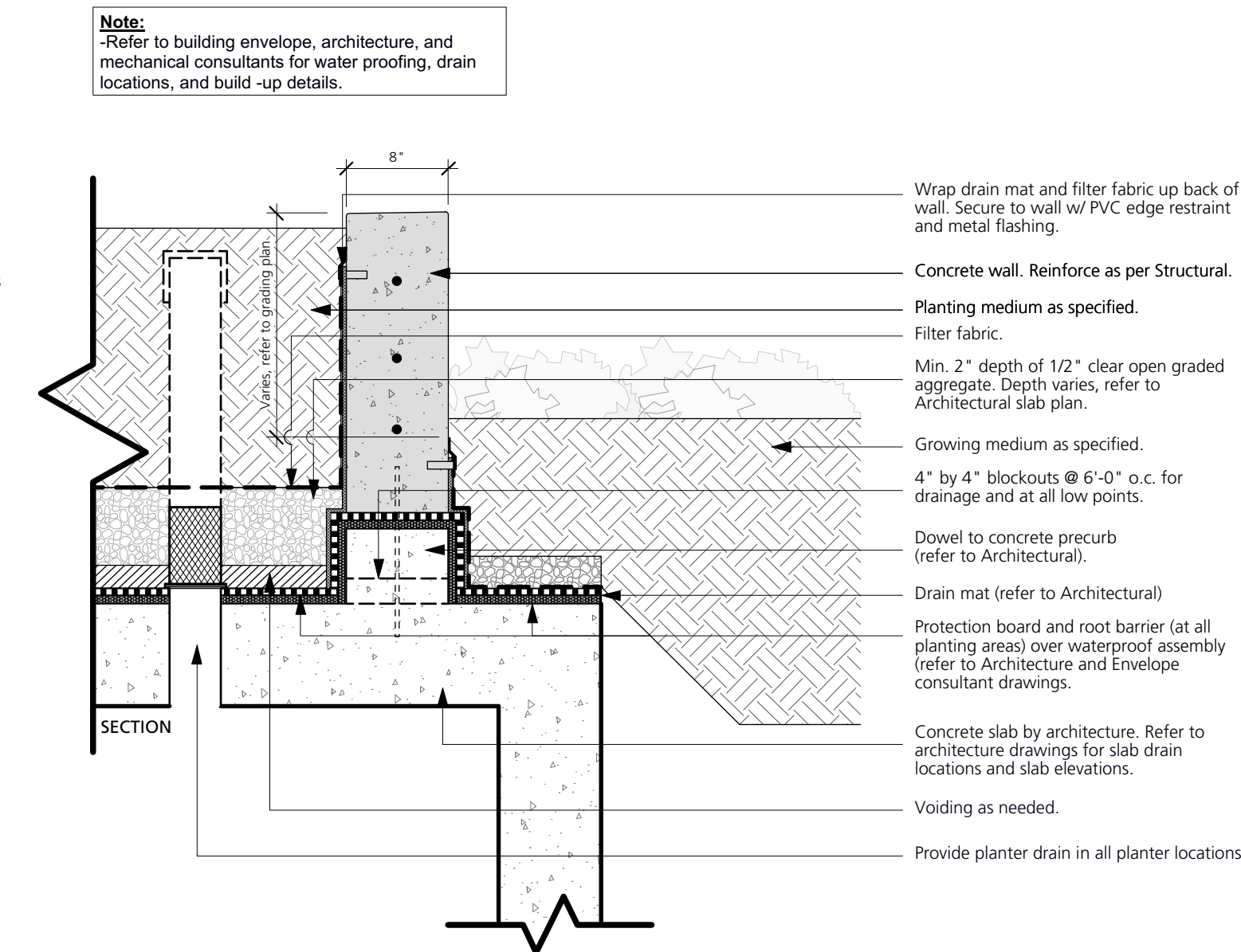
A) ON-SLAB
B) ON-ROOF



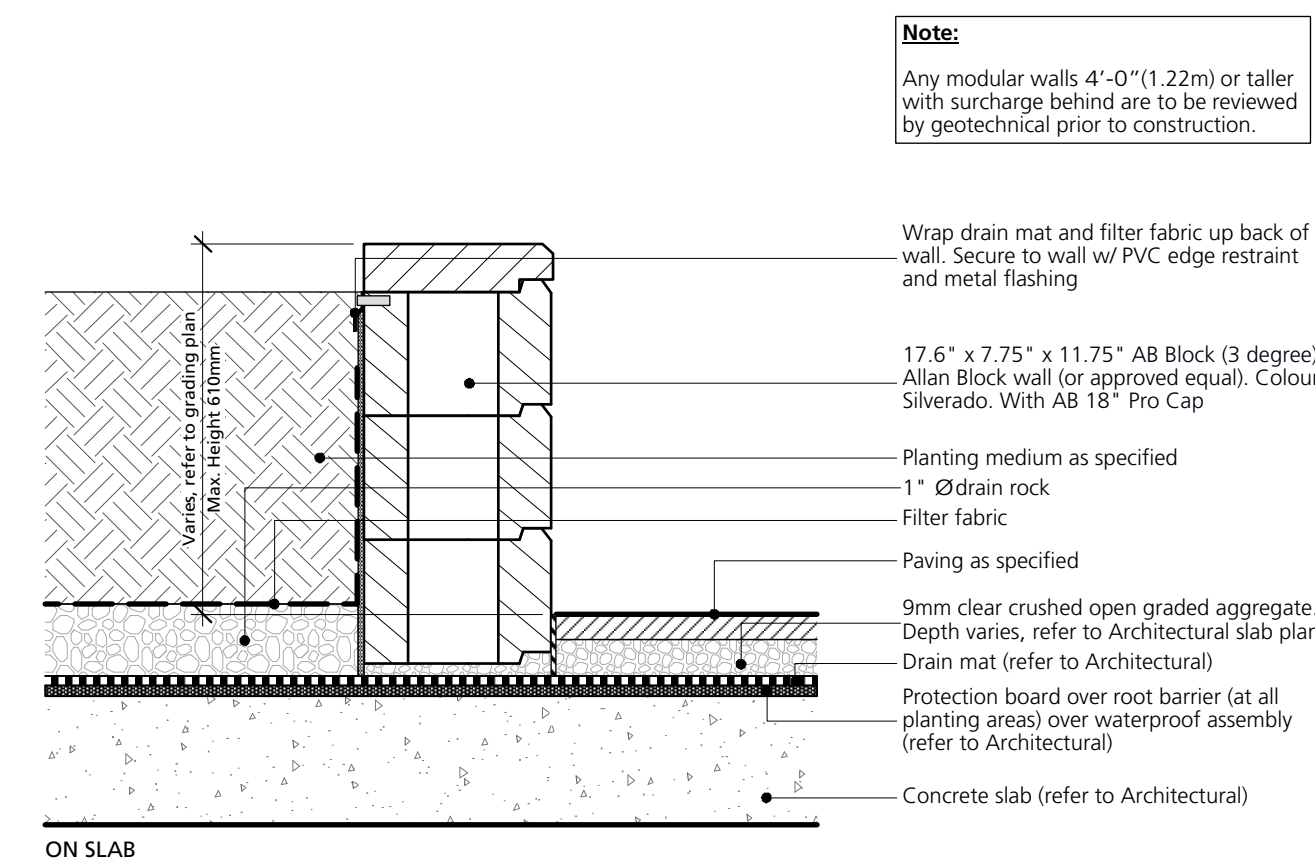
3 GRANITE PAVERS (PEDESTRIAN)
 L5.0 1" = 10"



4 SYNlawn ON ROOF
 L5.0 1" = 10"

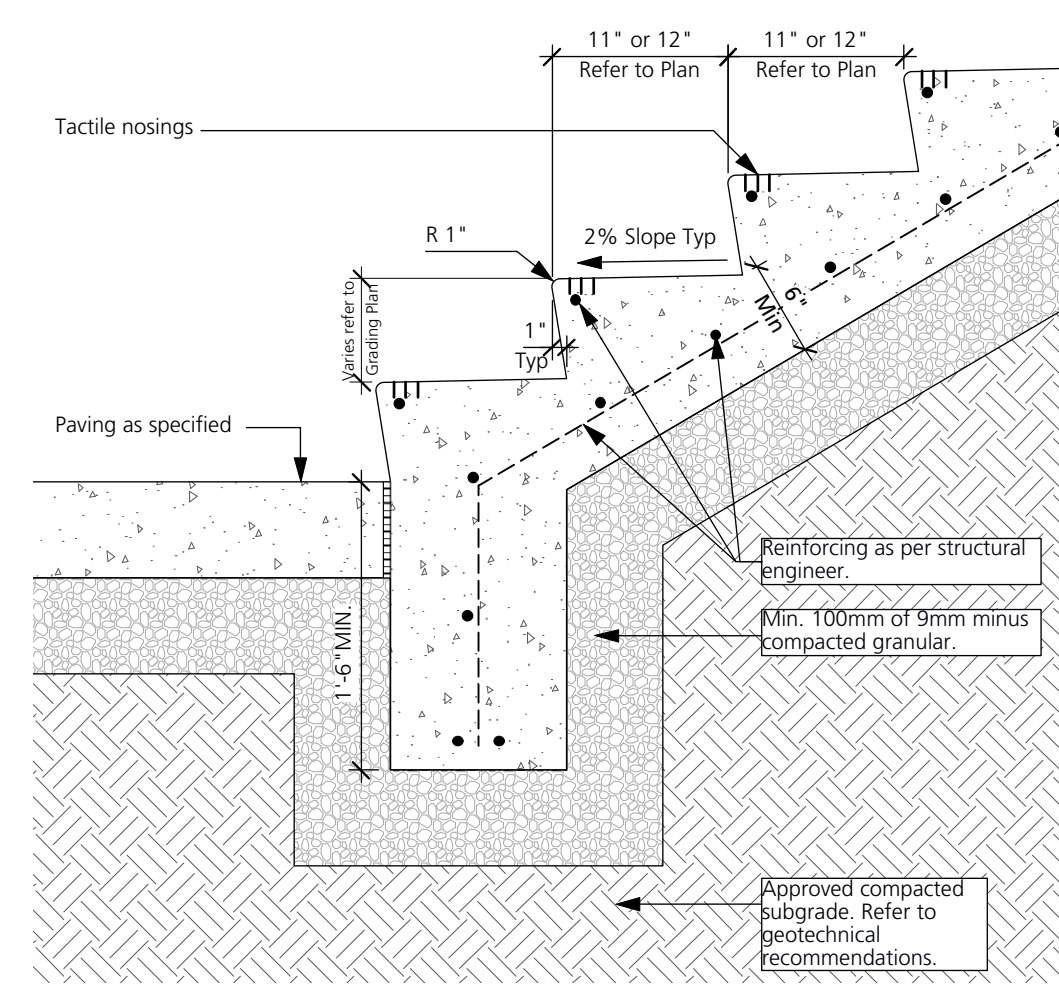


5 CIP CONCRETE PLANTER WALL ON SLAB
 L5.0 1" = 10"

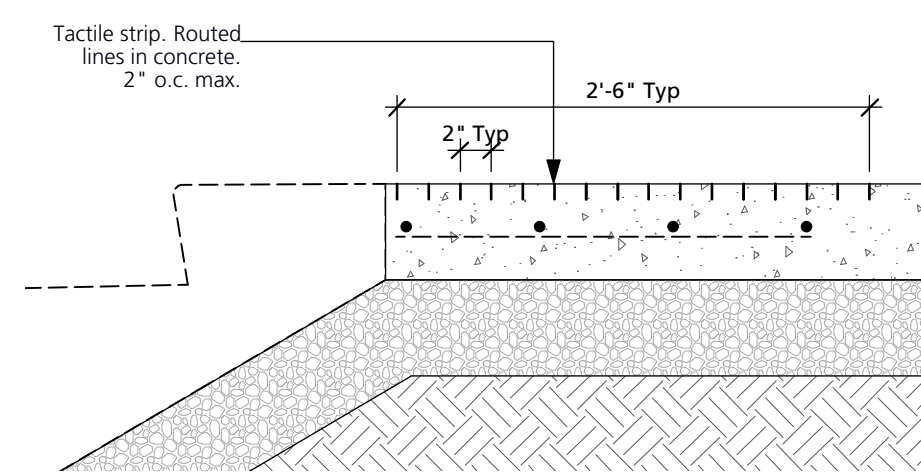


6 ALLAN BLOCK PLANTER WALL ON SLAB
 L5.0 1" = 10"

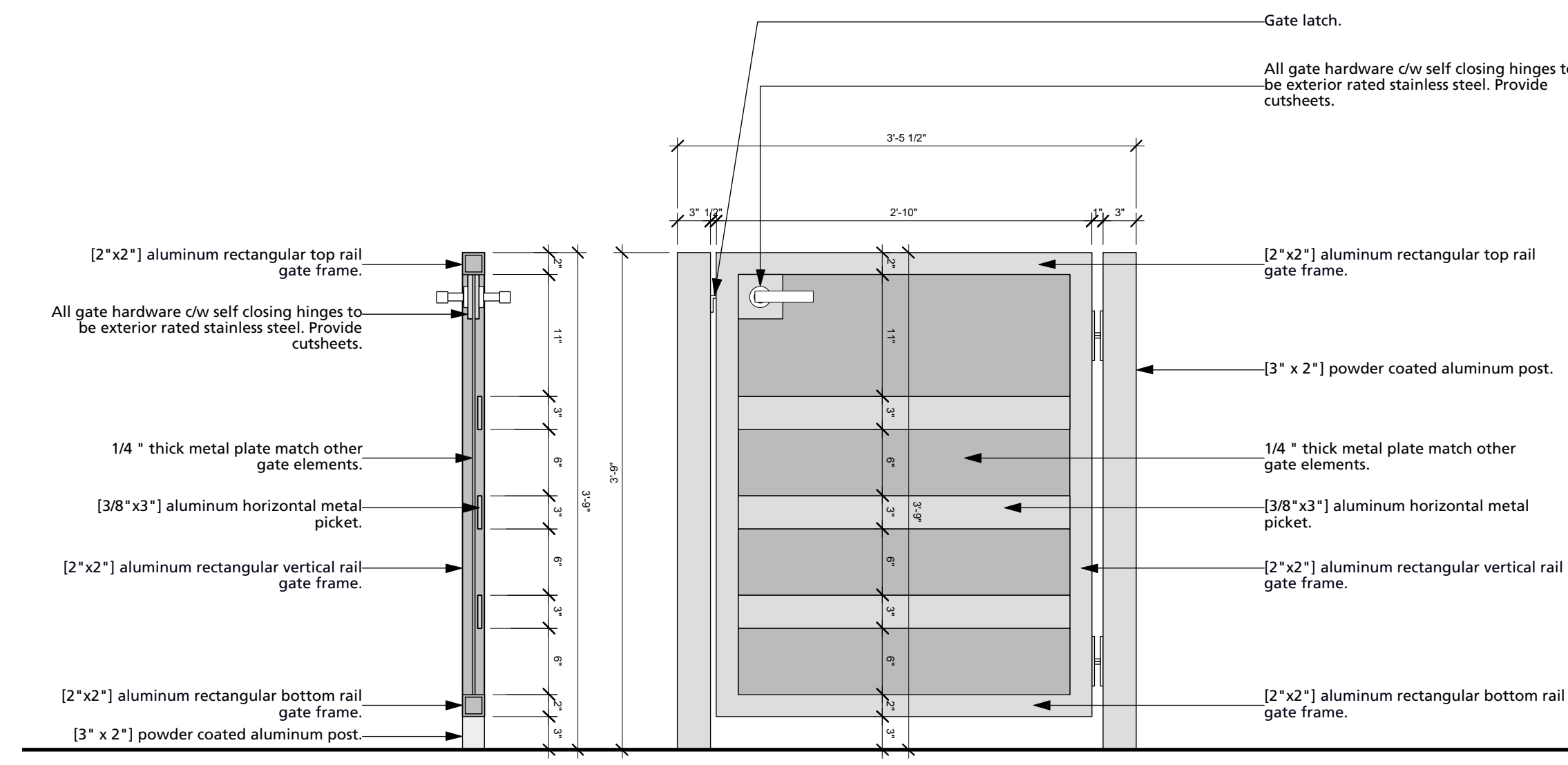
ALL METALWORK NOTES:
 - ALL METAL TO BE POWDER-COATED ALUMINUM UNLESS OTHERWISE SPECIFIED.
 - ALL WELDS TO BE GROUND SMOOTH.
 - ALL MEASUREMENTS TO BE VERIFIED ON SITE WITH AS BUILT CONDITIONS PRIOR TO FABRICATION.
 - METALWORK MANUFACTURER TO COORDINATE WITH GENERAL CONTRACTOR REGARDING BASE ATTACHMENT. SOME FENCES/GATES ARE TO BE SECURED TO TOP OF CONCRETE WALLS AND SOME ARE TO BE SECURED TO INDIVIDUAL CONCRETE FOOTINGS.
 - ALL ATTACHMENTS, END CAPS, AND OTHER COMPONENTS ARE TO MATCH COLOUR.
 - CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL METAL COMPONENTS WITH FINISHES, CONNECTIONS, HARDWARE, AND FOOTING TYPE, AND SUBMIT FOR APPROVALS PRIOR TO FABRICATION.
 - LANDSCAPE ARCHITECT TO BE INFORMED OF METALWORK INSTALLATION ON SITE FOR INSPECTION AND COORDINATION.



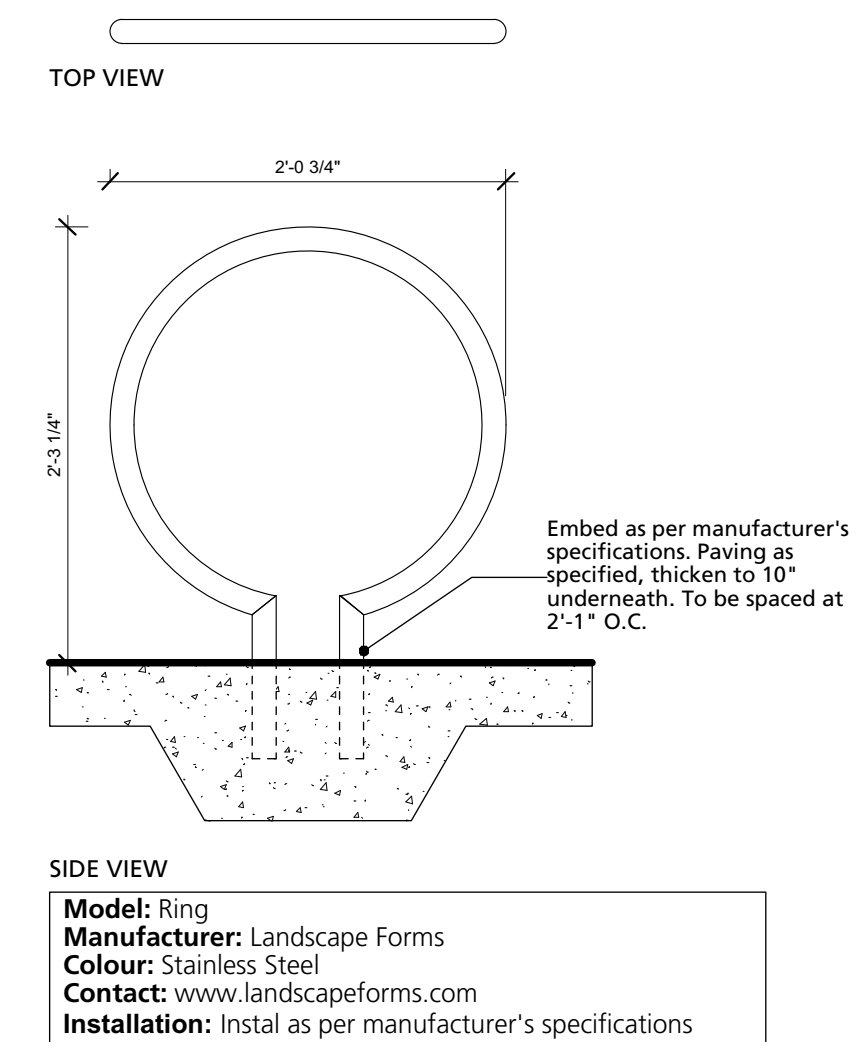
7 CIP CONCRETE STAIR
 L5.0 1" = 10"



8 CIP CONCRETE TACTILE STRIP DETAIL
 L5.0 1" = 10"



9 CUSTOM ALUMINUM GATE
 L5.0 1" = 10"



10 BIKE RACK
 L5.0 1" = 10"

1 Issued for Re-zoning and Development Permit 2020/11/05
 Revision No. Date

COPYRIGHT RESERVED
 This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client:

Adera Projects Ltd.

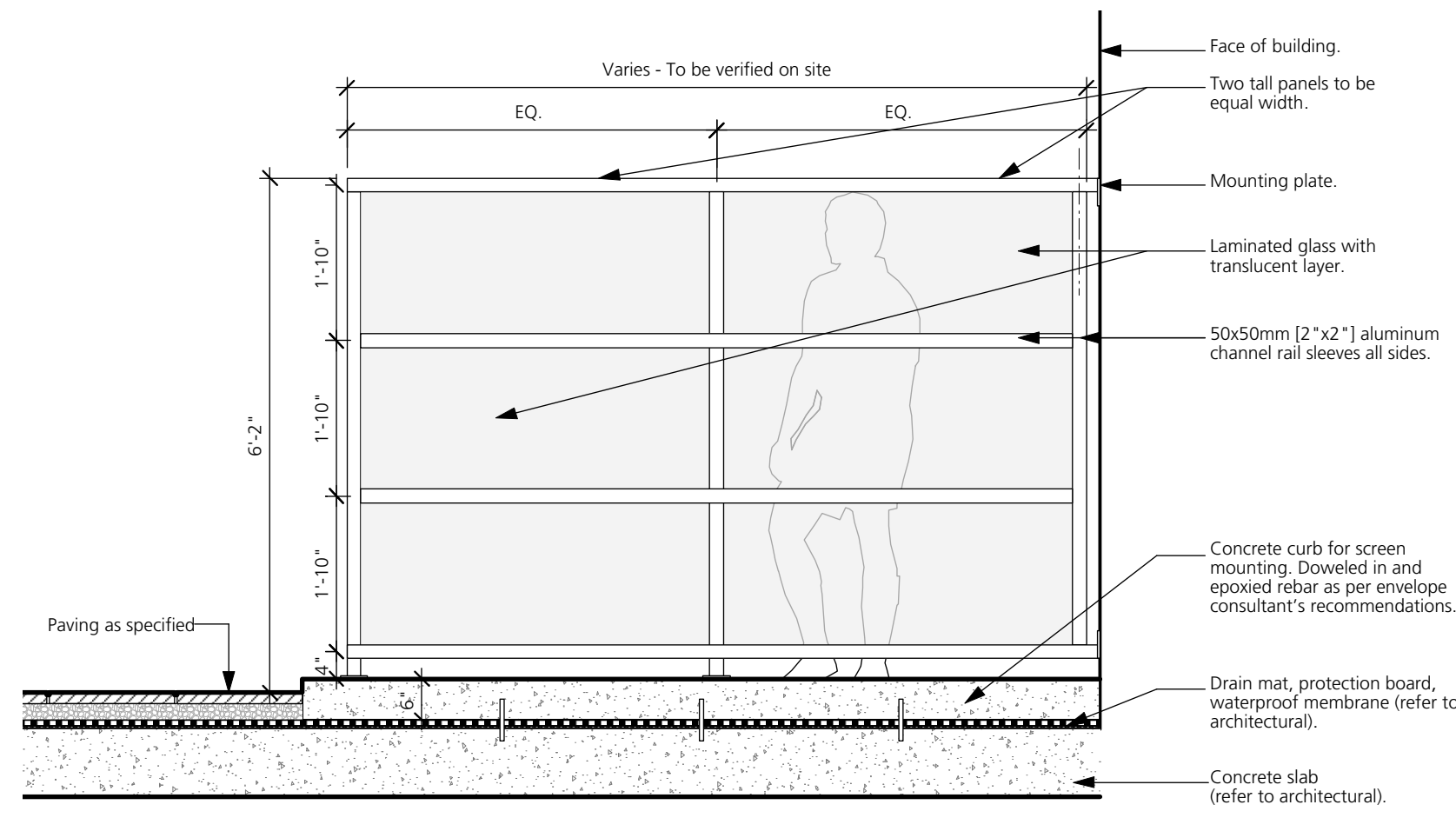


Project Title:
Rental Development
 2762 Lonsdale Avenue
 North Vancouver, BC

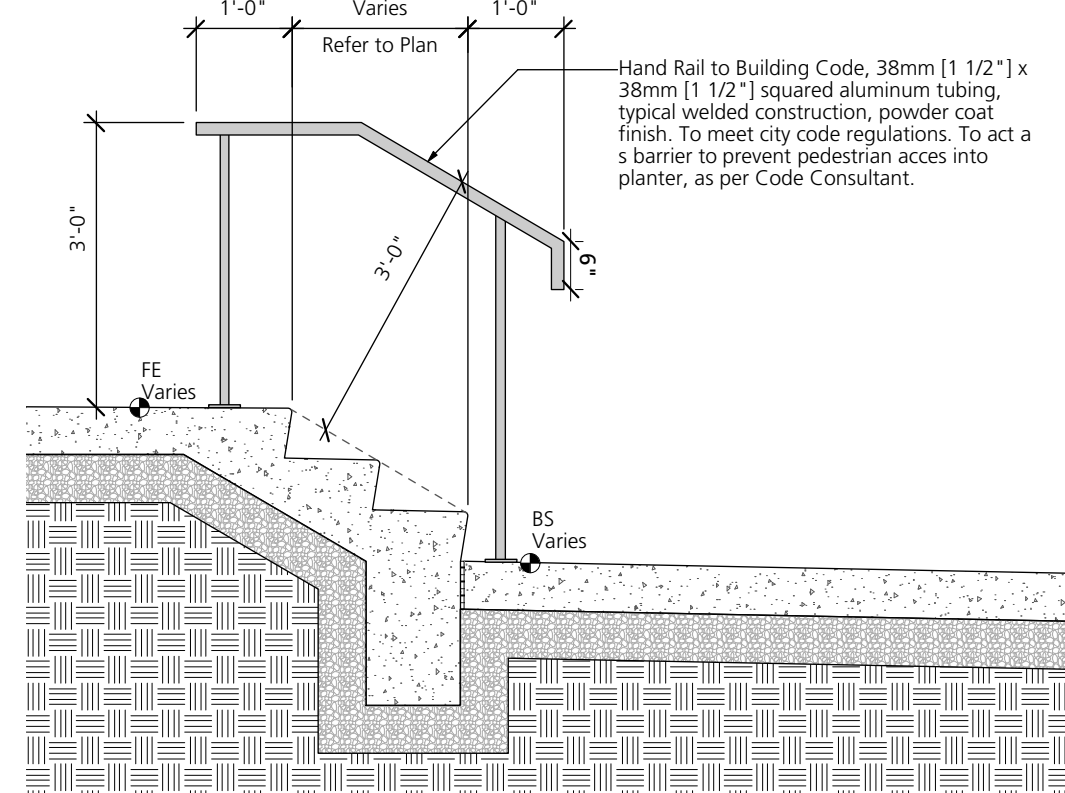
Drawing Title:
Landscape Details

Project North: Drawn By: EML
 Checked By: MP
 Scale: As Shown Job No.: 20-076
 Sheet No.:

L5.0



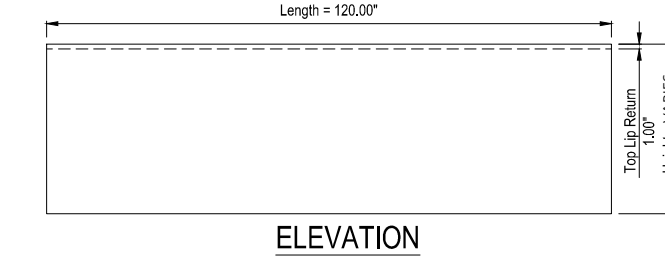
1 PRIVACY SCREEN
1/2" = 1'0"



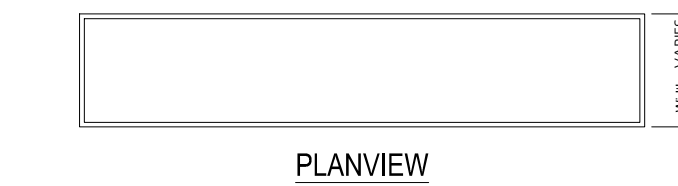
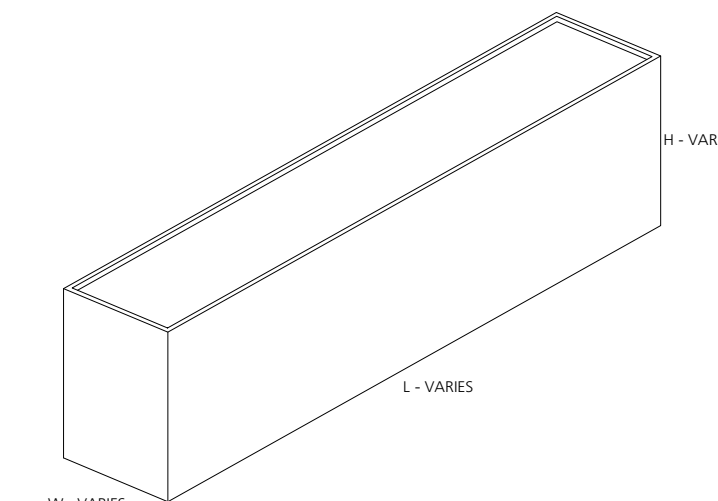
2 HANDRAIL DETAIL
1/2" = 1'0"

GREEN THEORY DESIGN

GREEN THEORY DESIGN
1515 BROADWAY ST. #601,
PORT COQUITLAM, BC V3C 6M2
PHONE: (604) 473-7002
INT: (844) 747-9283
www.greentheorydesign.com
email: sales@greentheorydesign.com



PRODUCT SPECIFICATION
PLANTER (DIMENSIONS VARIES - REFER TO PLAN)
PRODUCT MATERIALS: Heavy Gauge Aluminum
POWDER COAT: Matte Black
TOP LIP: 1\"/>

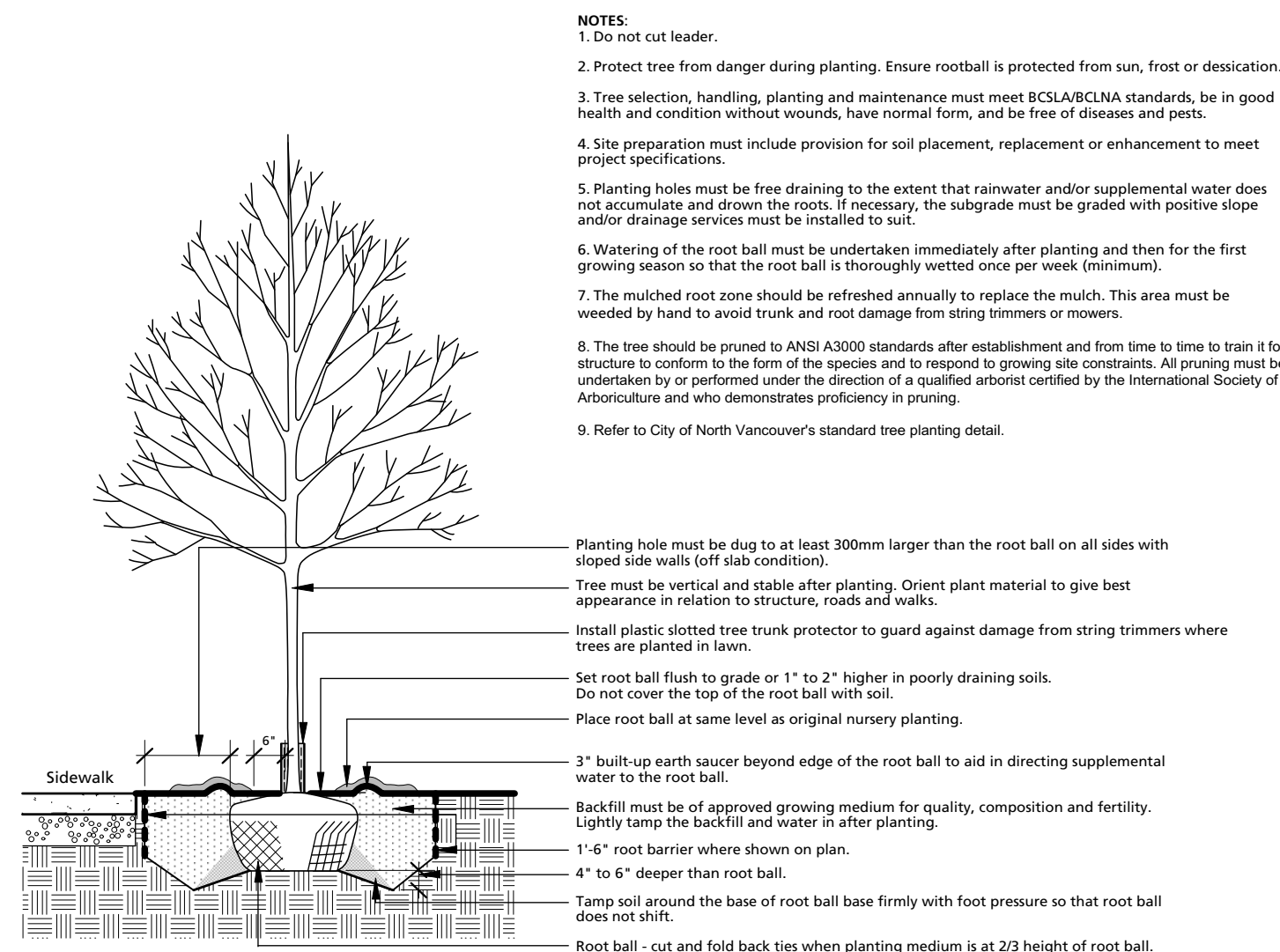


3 ALUMINUM PLANTERS
1/2" = 1'0"

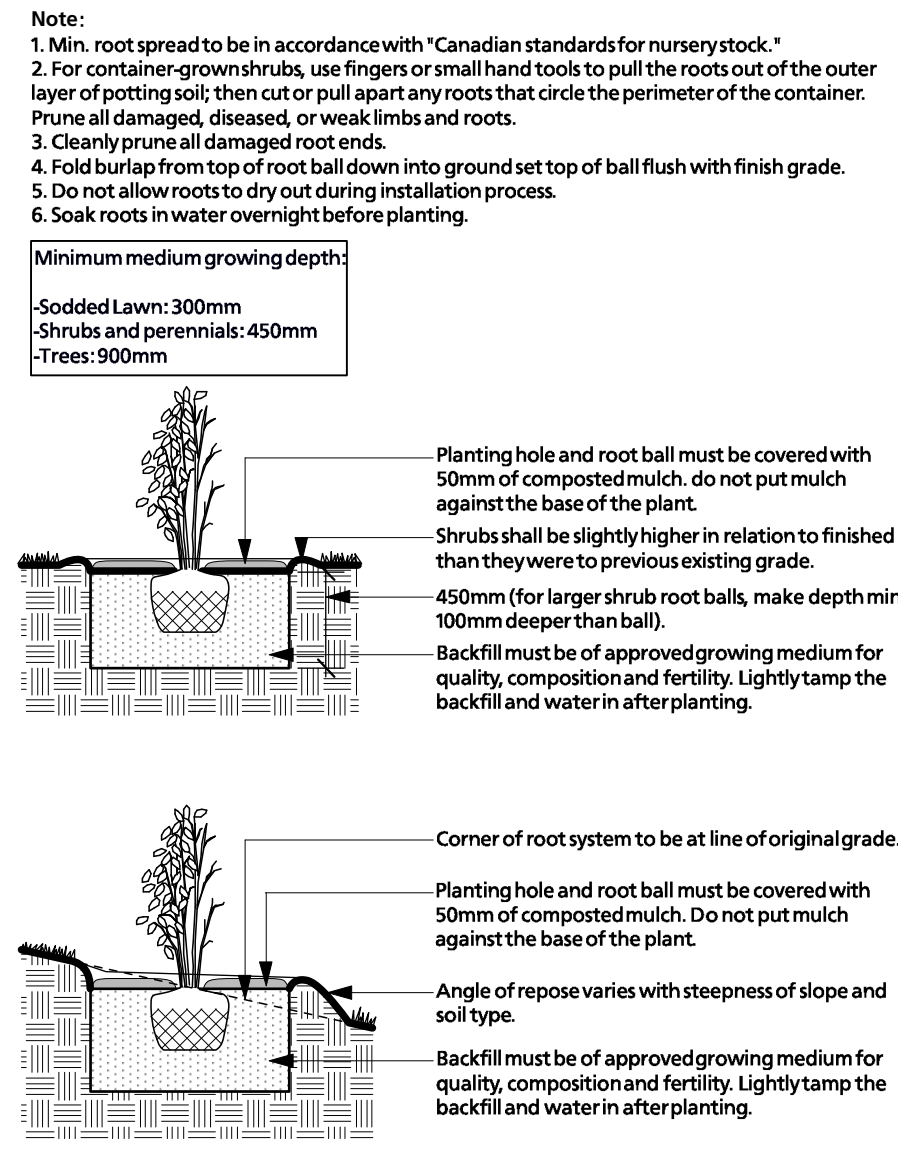
ALL METALWORK NOTES:

- ALL METAL TO BE POWDER-COATED ALUMINUM UNLESS OTHERWISE SPECIFIED.
- ALL WELDS TO BE GROUND SMOOTH.
- ALL MEASUREMENTS TO BE VERIFIED ON SITE WITH AS BUILT CONDITIONS PRIOR TO FABRICATION.
- METALWORK MANUFACTURER TO COORDINATE WITH GENERAL CONTRACTOR REGARDING BASE ATTACHMENT. SOME FENCES/GATES ARE TO BE SECURED TO TOP OF CONCRETE WALLS AND SOME ARE TO BE SECURED TO INDIVIDUAL CONCRETE FOOTINGS.
- ALL ATTACHMENTS, END CAPS, AND OTHER COMPONENTS ARE TO MATCH COLOUR.
- CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL METAL COMPONENTS WITH FINISHES, CONNECTIONS, HARDWARE, AND FOOTING TYPE, AND SUBMIT FOR APPROVALS PRIOR TO FABRICATION.
- LANDSCAPE ARCHITECT TO BE INFORMED OF METALWORK INSTALLATION ON SITE FOR INSPECTION AND COORDINATION.

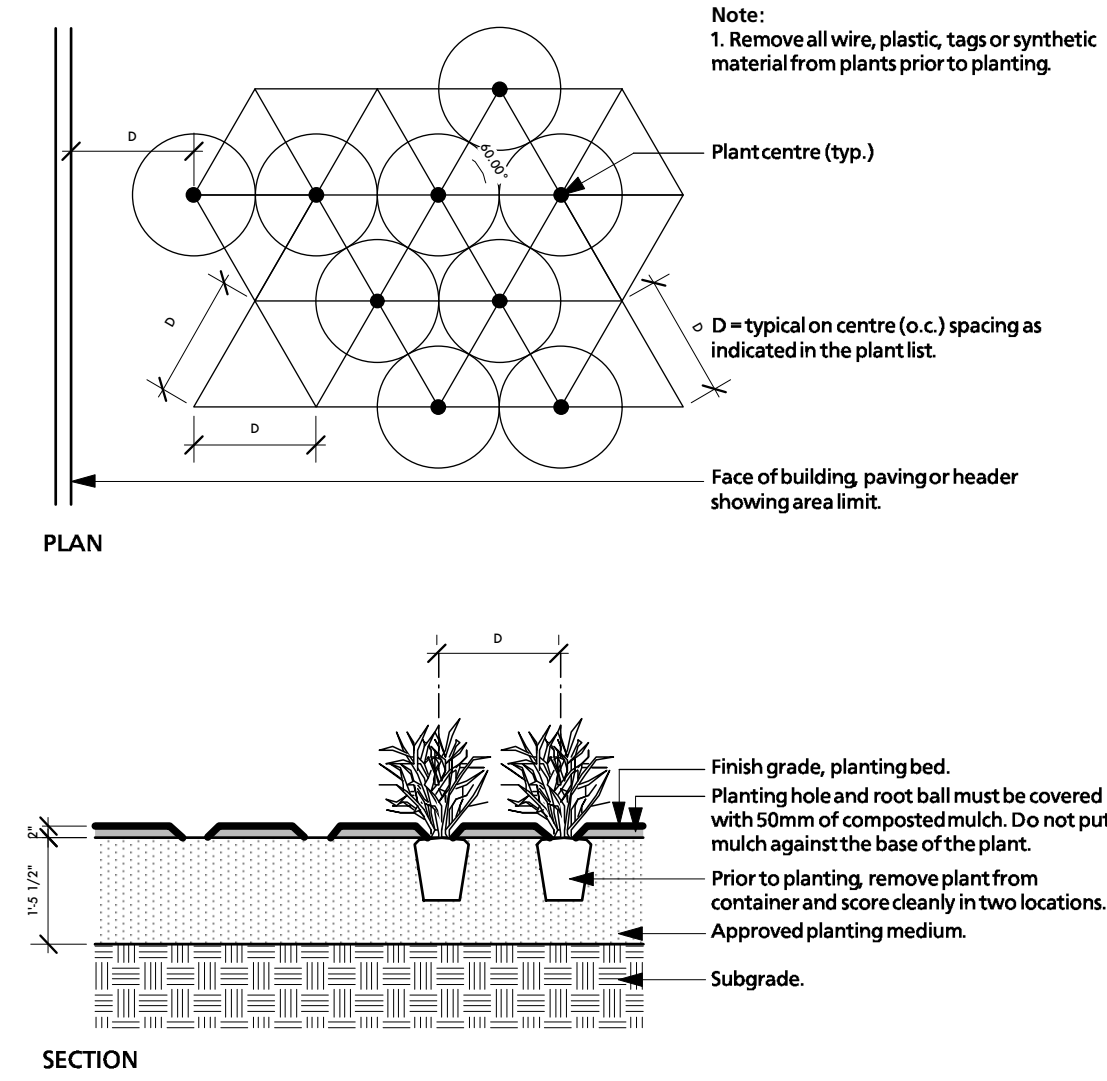
Model: Modular Planters
Supplier: Planters Perfect or Approved Alternate
Contact: <https://www.greentheorydist.com/>
Colour: Matte Black
Installation: Install as per manufacturer's specifications



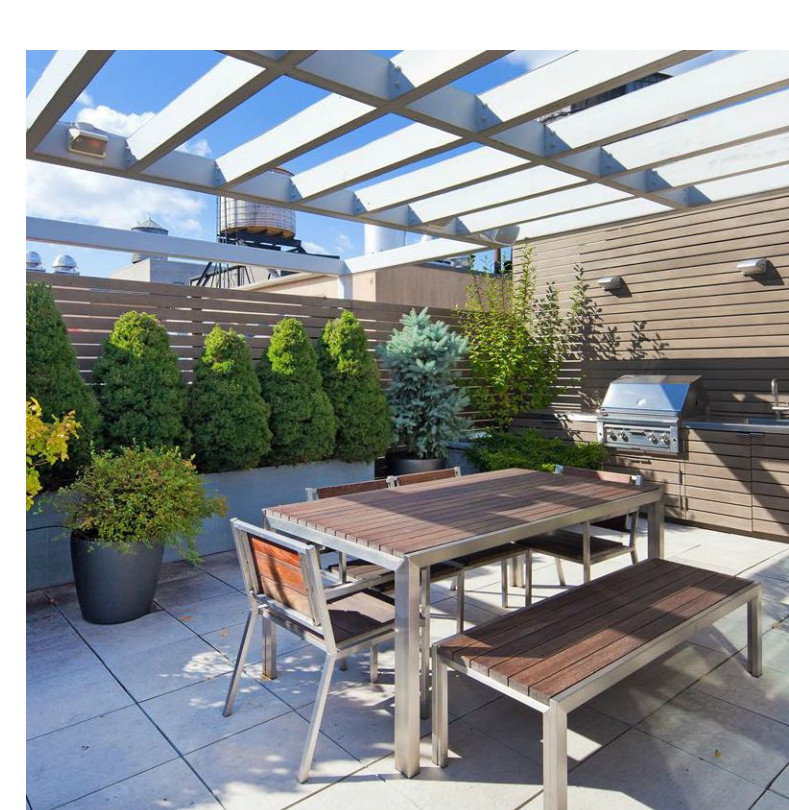
4 TREE PLANTING DETAIL - URBAN BOULEVARD
1/2" = 1'0"



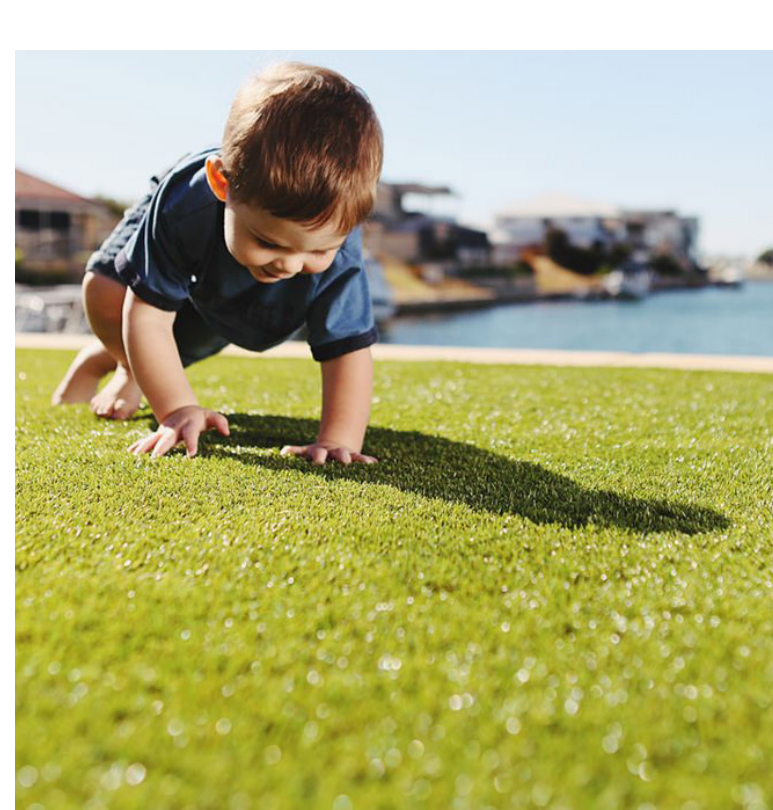
5 SHRUB AND GROUNDCOVER PLANTING
3/8" = 1'0"



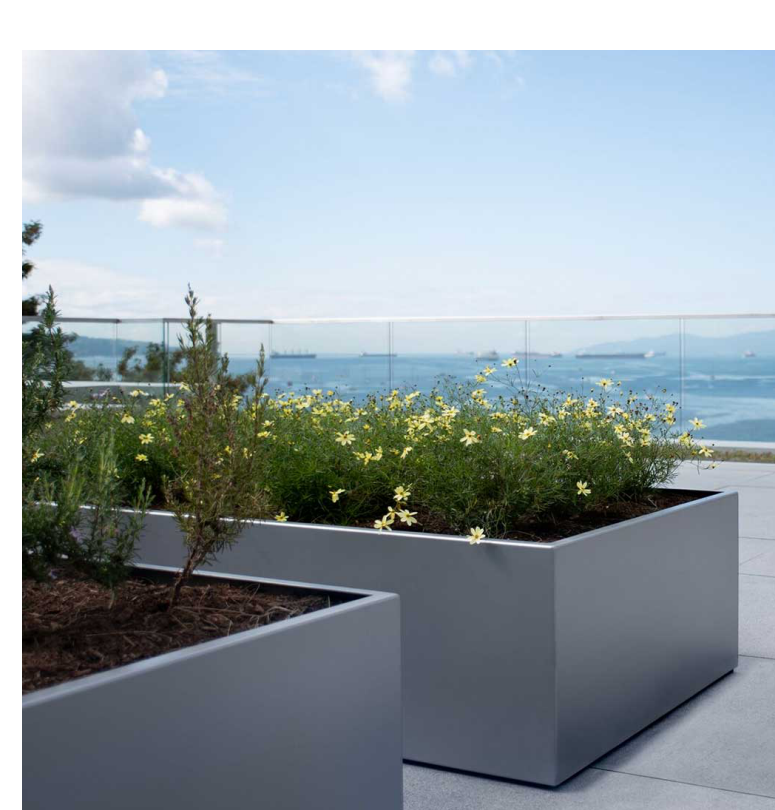
6 BOULEVARD LAWN
1" = 1'0"



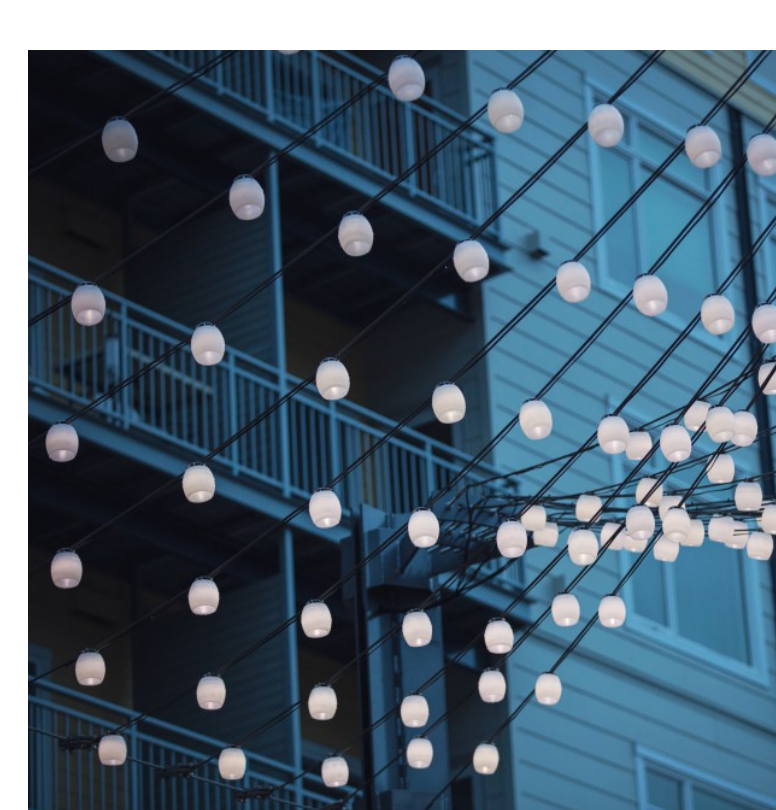
ROOFTOP PATIO WITH OUTDOOR FURNITURE AND CONCRETE PAVERS



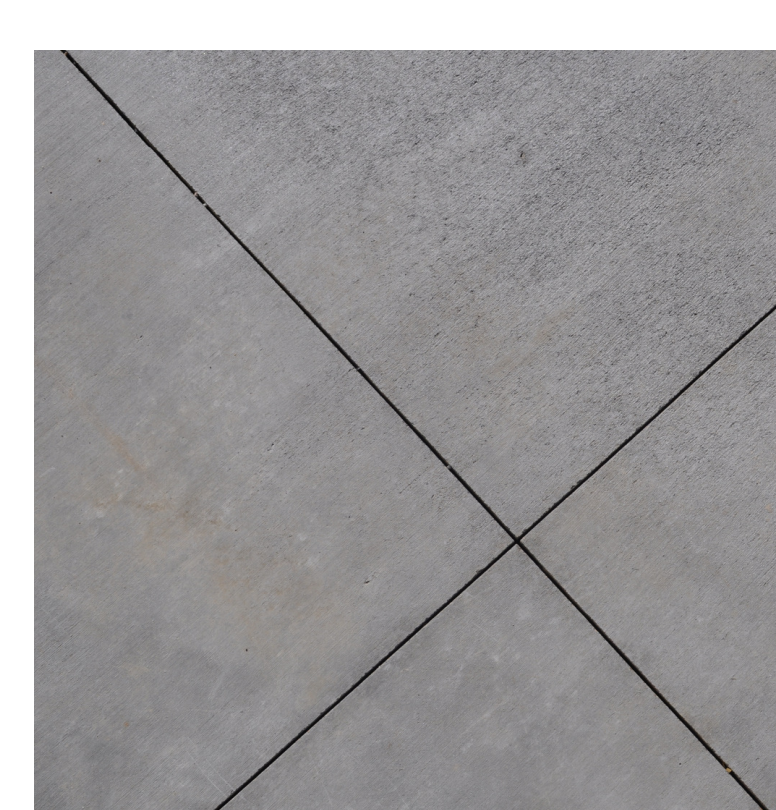
ARTIFICIAL TURF IN KIDS PLAY AREA



ALUMINUM PLANTERS



CATENARY LIGHTING



CIP CONCRETE PAVING



BIKE RACK

7 PRECEDENT IMAGES
1/2" = 1'0"

1 Issued for Re-zoning and Development Permit
Revision No. Date
2020/11/05

COPYRIGHT RESERVED
This drawing is and shall remain the property of R. Kim Perry & Associates Inc., and R. Kim Perry & Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of R. Kim Perry & Associates Inc.

Client: **Adera Projects Ltd.**



Project Title: **Rental Development**
2762 Lonsdale Avenue
North Vancouver, BC

Drawing Title: **Landscape Details**

Project North: Drawn By: EML
Checked By: MP
Scale: As Shown Job No.: 20-076
Sheet No.: