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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

COVER PAGE

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022

DP / Rezoning - 2

[DRAWING]

A-0.000

RENTAL HOUSING DEVELOPMENT
275 EAST 2ND STREET | NORTH VANCOUVER | BC | REZONING | DP SUBMISSION - 2



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Project Name: 275 E 2nd St, North Vancouver, BC
Client: Three Shores Development

Project: 21587
Date: **Sept 26/ 2022**
Issue: DP / Rezoning

PROJECT DATA - DP/REZONING 5-STOREY PURPOSE BUILT RENTAL BUILDING

EXISTING ADDRESS 275 E 2nd St, North Vancouver, BC
PROPOSED ADDRESS
LEGAL DESCRIPTION PID 008-717-231

PROJECT ARCHITECT
PROJECT OWNER
OCP LAND USE DESIGNATION Residential Level 5: Medium Density Apartment R5
EXISTING ZONING RM-1
PROPOSED ZONING CD

SITE AREA :

Gross Site Area		18,298	sq.ft.	1,699.93	m2
Road Dedications	TBC	-	sq.ft.	-	m2
Net Site Area		18,298	sq.ft.	1,699.93	m2
Max FSR (Gross Site Area)	1.60 OCP Density	29,277	sq.ft.	2,719.88	m2
Max Bonus FSR	1.00 With Public Benefits				
Max FSR (Gross Site Area)	2.60 Purpose Built Rental Housing	47,648	sq.ft.	4,426.6	m2
Total Proposed Floor Area		84,553	sq.ft.	7,855.1	m2
Total Proposed Exclusions		36,982	sq.ft.	3,435.7	m2
Proposed FSR (Gross Floor Area)	2.60	47,570	sq.ft.	4,419.4	m2

Max. Site Coverage	50%	9,149.00	sq.ft.	849.96	m2
Lot Coverage	63%	11,517	sq.ft.	1,069.92	m2

UNIT SUMMARY:

Unit Type	Parkade	1st	2nd	3rd	4th	5th	Roof / Amenity	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m2)	%	Unit Mix
A1 - Studio		1	1	1	1	1		5	403.2	2,015.9		187.3	6.3%	27%
A2 - Studio		1	1	1	1	1		5	420.0	2,100.0		195.1	6.3%	
A3 - Studio		1	1	1	1	1		5	416.5	2,082.7		193.5	6.3%	
A3.1 - Studio		1						1	421.1	421.1		39.1	1.3%	
A4 - Studio		1	1	1	1	1		5	409.2	2,046.1		190.1	6.3%	
														Studio
B1 - 1Bed (AD L-2)		2	5	5	5	5		22	540.0	11,880.0		1,103.7	27.8%	48.1%
B1.1 - 1Bed (AD L-2)		1						1	545.0	545.00		50.6	1.3%	
B2 - 1Bed		2	2	2	2	2		10	471.6	4,716.00		438.1	12.7%	
B3 - 1Bed + Loft (Lane Unit)	4							4	1,124.4	4,497.60		417.8	5.1%	
B3.1 - 1Bed + Loft (Land Unit)	1							1	1,221.3	1,221.29		113.5	1.3%	
														1 Bed
C1 - 2Bed			1	1	1	1		4	802.5	3,210.04		298.2	5.1%	12.7%
C1.1 - 2Bed		1						1	807.5	807.50		75.0	1.3%	
C2 - 2Bed		1	1	1	1	1		5	813.0	4,064.75		377.6	6.3%	
														2 Bed
D1 - 3Bed		2	2	2	2	2		10	947.2	9,471.8		880.0	12.7%	12.7%
														3 Bed
Total		14	15	15	15	15		79		49,080		4,559.6	100.0%	100%

GFA CALCULATION:

Exclusion Summary	Level 1	Level 2	Level 3	Level 4	Level 5	Roof	Total Exclusions	Comments
Access Stairs to Amenity - Roof Top Patio	324.60	324.60	324.60	324.60	324.60	413.29	2036.29 sq.ft.	189.18 m2 Active Design Guidelines
Residential Entry Lobby	637.20						637.20 sq.ft.	59.20 m2 up to 10% of GFA
Adaptable Units Level 2 (20 sf / unit)	60.00	100.00	100.00	100.00	100.00		460.00 sq.ft.	42.74 m2 25.0% Units AD Level 2
Stairs	79.55						79.55 sq.ft.	7.39 m2 Access to Parkade
							0.00 sq.ft.	0.00 m2
Basement	11,852.81						11852.81 sq.ft.	1,101.15 m2 Includes indoor amenity
Parkade P1	12,852.72						12852.72 sq.ft.	1,194.05 m2
Parkade P2	9,064						9063.81 sq.ft.	842.05 m2
Total Exclusions From FSR							36,982.4 sq.ft.	3,435.75 m2

NOTE: Basement, Levels P1 & P2 are GFA exclusions

* BASEMENT means the space between two floor levels, the lower floor of which is more than one foot but less than five feet below Average Grade.

* CELLAR means the space directly below the first storey, the lower floor of which is more than 1.52m (5 ft) below average grade and the area of which does not exceed the area of first storey.

Floor Area	Unit Area	Common Area	Total Floor Area	Efficiency L1 - L5
Parkade P2	0.00 sq.ft.	9,063.81 sq.ft.	9,063.81 sq.ft.	842 m2
Parkade P1	3,601.05 sq.ft.	9,251.67 sq.ft.	12,852.72 sq.ft.	1,194 m2
Basement	2,116.95 sq.ft.	9,063.81 sq.ft.	12,952.91 sq.ft.	1,203 m2
Floor Area - Level 1	8,153.05 sq.ft.	1,666.39 sq.ft.	9,819.44 sq.ft.	912 m2
Floor Area - Level 2	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2
Floor Area - Level 3	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2
Floor Area - Level 4	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2
Floor Area - Level 5	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2
Floor Area - Roof Level	0.00 sq.ft.	585.89 sq.ft.	585.89 sq.ft.	54 m2
Total Floor Area	49,080 sq.ft.		84,552.5 sq.ft.	4,616 m2
				Overall: 88.3%

NOTE: Any space within the building footprint aside from the unit area falls under Common Area in the above table.

PARKING SPACES:

Minimum Parking Required	79 units @	0.50 space/unit	39.5 spaces	
Visitor Parking Required	79 units @	0.10 space/unit	7.9 spaces	inclusive of required parking
Parking Reduction	0%		0.0 spaces	
Total Parking Required			47 spaces	
Total Parking Provided			48 spaces	
Disabled Parking Required:			3 spaces	inclusive of required parking
Level 1 - Adaptable Units	56 units @	0.50 space/unit	28 spaces	25-50 Level 1 AD Units
Level 2 / 3 - Adaptable Units	23 units @	0.50 space/unit	12 spaces	1-25 Level 2 AD Units
Disabled Parking Provided:			3 space	inclusive of required parking
Max. Small Cars	35% of required spaces		17 spaces max	
Provided Small Cars			11 spaces	
All Residence parking stalls shall be provided with Level 2 charging (excluding visitor parking stalls).				

BICYCLE SPACES:

Required Secure Bicycle Parking	79 units	1.5 spaces/unit	119 spaces	long term
Provided Secure Bicycle Parking	79 units	1.5 spaces/unit	119 spaces	long term
Max Vertical parking Spaces		35% max	41 spaces	long term
Provided vertical parking Spaces		14%	17 spaces	long term
Required Short Term Bicycle Parking			6 spaces	short term
Provided Short Term Bicycle Parking			6 spaces	short term

125 spaces total bicycle spaces provided

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed

Note 2: All areas are approximate and are for zoning purposes only

Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls

Note 4: Dedications and setbacks subject to City of North Vancouver approval

PROJECT SUMMARY:

ZONING EXISTING	REQUIRED / PERMITTED		PROPOSED		VARIANCE
	RM - 1		CD (RM-2)		
OCP LAND USE DESIGNATION - Medium Density Apartment R5	Residential Level 5				NO
SITE AREA	18,298 sq.ft.	1,700 m2	18,298 sq.ft.	1,700 m2	NO
UNIT NUMBER	not specified	not specified	79		NO
OCP DENSITY (w/ exclusions) Purpose Built Rental Housing	1.6 + 1.0 FSR	4,420 m2	2.60 FSR	4,419 m2	NO
SITE COVERAGE	50%	850 m2	63%	1,070 m2	YES
BUILDING HEIGHT - Storeys (OCP Schedule 1)	6 Storeys (59.0 - 62.3 ft)		5 Storeys		NO
BUILDING HEIGHT - Measured from Average Grade @ North Prop Line	59.0 - 62.3 ft	18.19 m	56.5 ft	17.23 m	NO
Average Finished Grade -	100.0 ft	30.48 m geodetic			
Geodetic Max. Allowed Height -	19 m	49.48 m geodetic	0.0 ft	0.0 m	
Proposed Elevation -			156.5 ft	47.7 m	NO
Building Height from Average Grade -			56.5 ft	17.2 m	NO
FRONT YARD (E. 2nd St)	20.00 ft	6.10 m	10.00 ft	3.05 m	NO
SIDE YARD (St. Andrew)	15.00 ft	4.57 m	10.00 ft	3.05 m	NO
REAR YARD - EAST (Lane)	20.00 ft	6.10 m	8.00 ft	2.44 m	NO
INTERIOR SIDE YARD (South PL)	15.00 ft	4.57 m	10.00 ft	3.05 m	NO
PARKING SPACES	Rental Housing	0.60 space/unit	47 spaces	48 spaces	NO
EV CHARGING STATIONS	All Residential Parking Spaces	40 spaces	40 spaces	40 spaces	NO
BICYCLE SPACES		1.50 space/unit	119 Class A 6 Class B	119 Class A 6 Class B	NO

PARKING DIMENSIONS

(no column encroachments)	Width		Length		Height	
	m	ft.	m	ft.	m	ft.
Standard Cars	2.500	8.20	5.486	18.00	2.134	7.00
Small Cars	2.500	8.20	4.650	15.26	2.134	7.00
Disabled Parking	4.000	13.12	5.486	18.00	2.134	7.00
Additional width at walls	0.305	1.00				

MINIMUM AISLE

	90 degrees		60 degrees		45 degrees	
	m	ft.	m	ft.	m	ft.
One-Way Traffic	6.700	21.98	5.280	17.32	3.860	12.66
Two-Way Traffic	6.700	21.98	6.096	20.00	6.096	20.00

GARBAGE (WEEKLY):

Multi-Family Residential	no. of units	Est. volume/unit	Total Volume	Container capacity	
Garbage	79 units	95 L	7505 L	2294 L (3 cu.yd.)	3 serviced twice/wk
NSRP Newsprints	79 units	8.5 L	672 L	360 L (95 gal)	2
NSRP Mixed Papers	79 units	15 L	1185 L	360 L (95 gal)	3
NSRP Mixed Containers	79 units	9 L	711 L	360 L (95 gal)	2
Cardboard	79 units	30 L	2370 L	1529 L (2 cu.yd.)	2
Food Scraps	79 units	14 L	1106 L	240 L (64 gal)	5
Multi-Family Residential	no. of units	Space/unit	Total Space		
Minimum space required	79 units	0.486 m2	38.4 m2	413.27 sq.ft.	Min11 m2
Max additional space required	79 units	0.486 m2	38 m2		
Max total space required	79 units	0.972 m2	77 m2		
Space proposed	79 units	0.972 m2	77 m2	405.21 sq.ft.	

[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

PROJECT STATISTICSS

21583 [PROJECT]

[SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-0.010

Legend

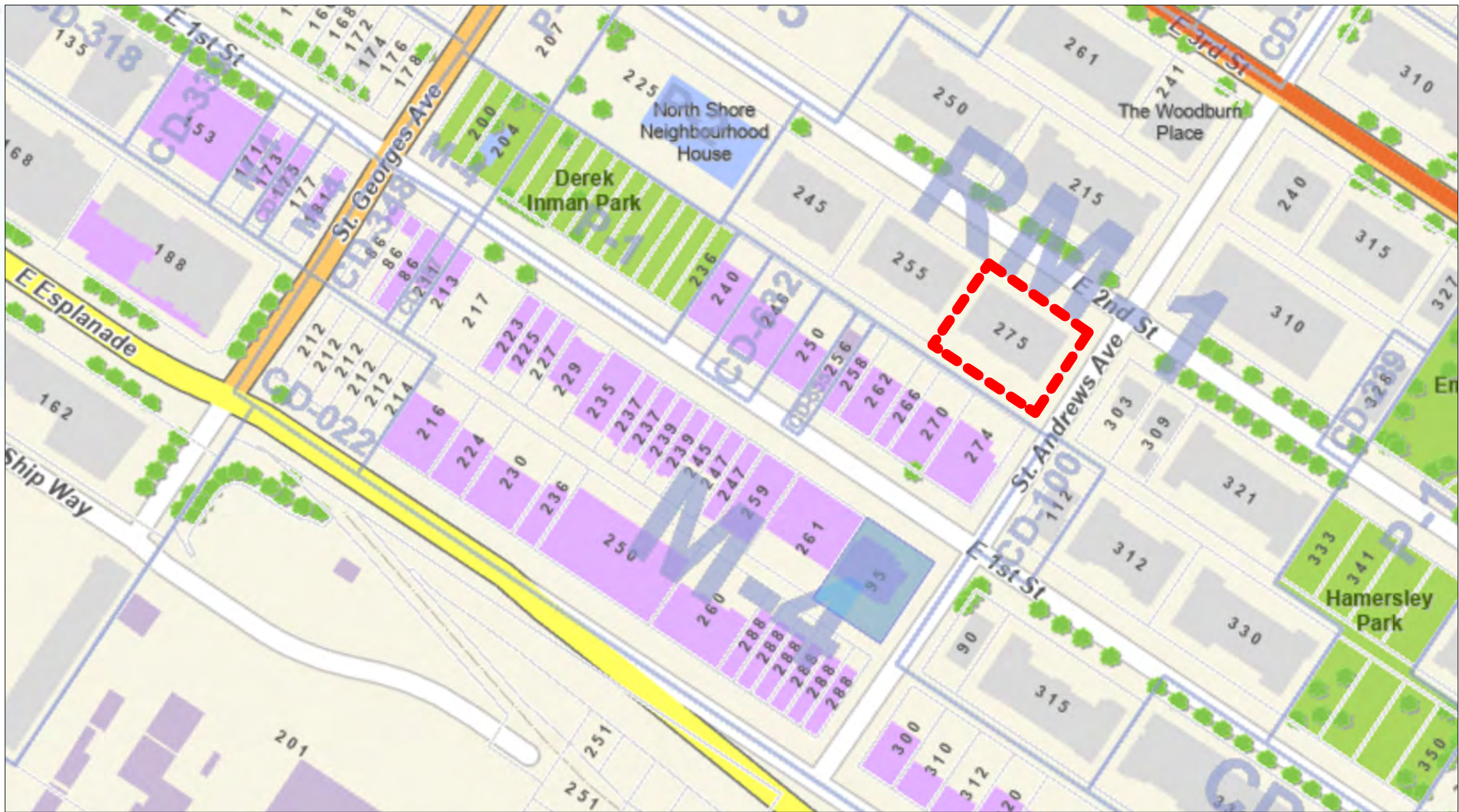
Property

Zoning

Zoning Boundaries

Setback Arc

Land Use Contracts



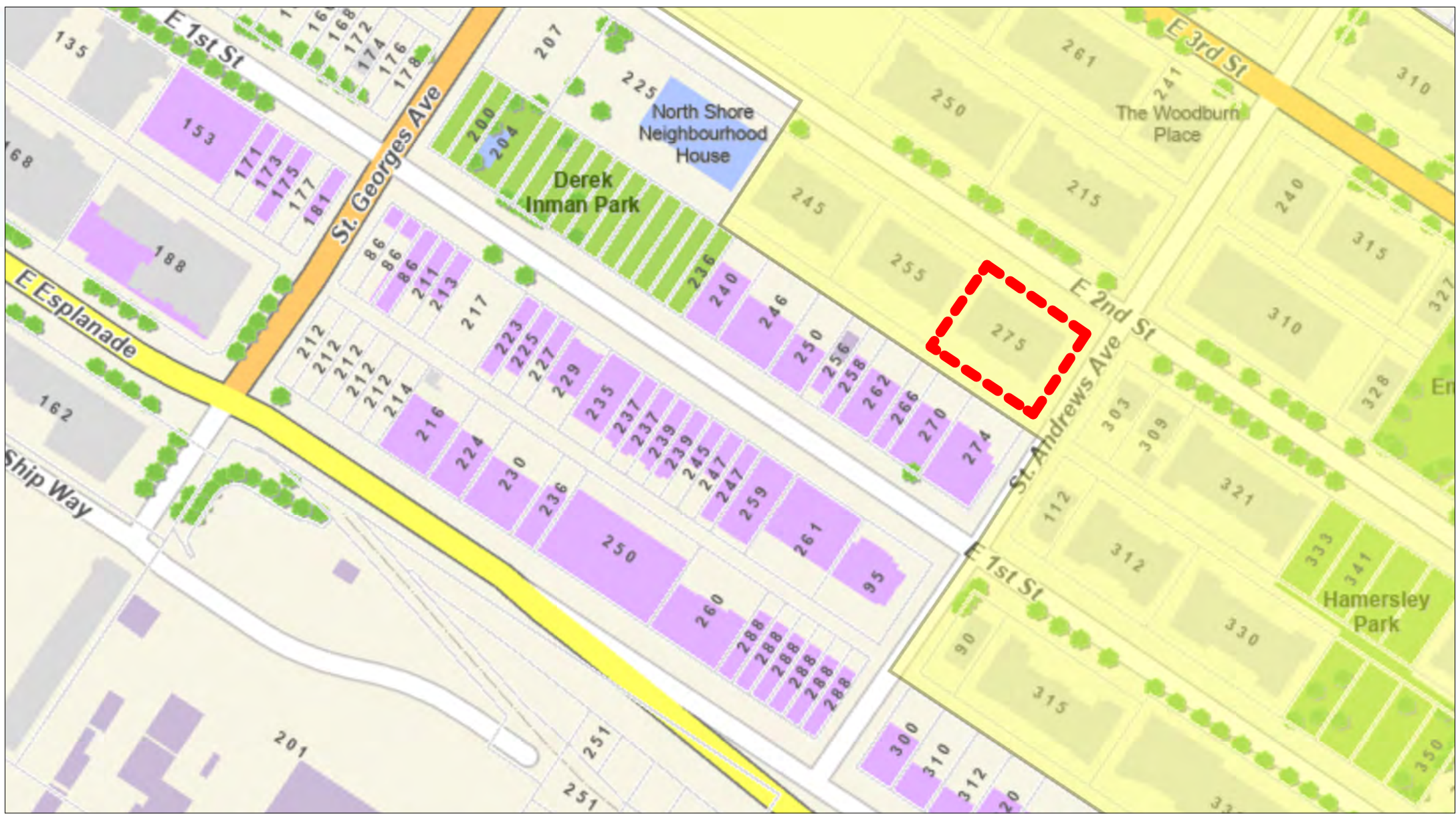
Legend

E3rd/Moodyville Development

Permit

Residential Apt Development

Permit (Pending)



Legend

Property

OCP 2014 Landuse

2014 OCP Maximum Height Limits (m)

2014 OCP Special Study Areas

2014 OCP Land Use



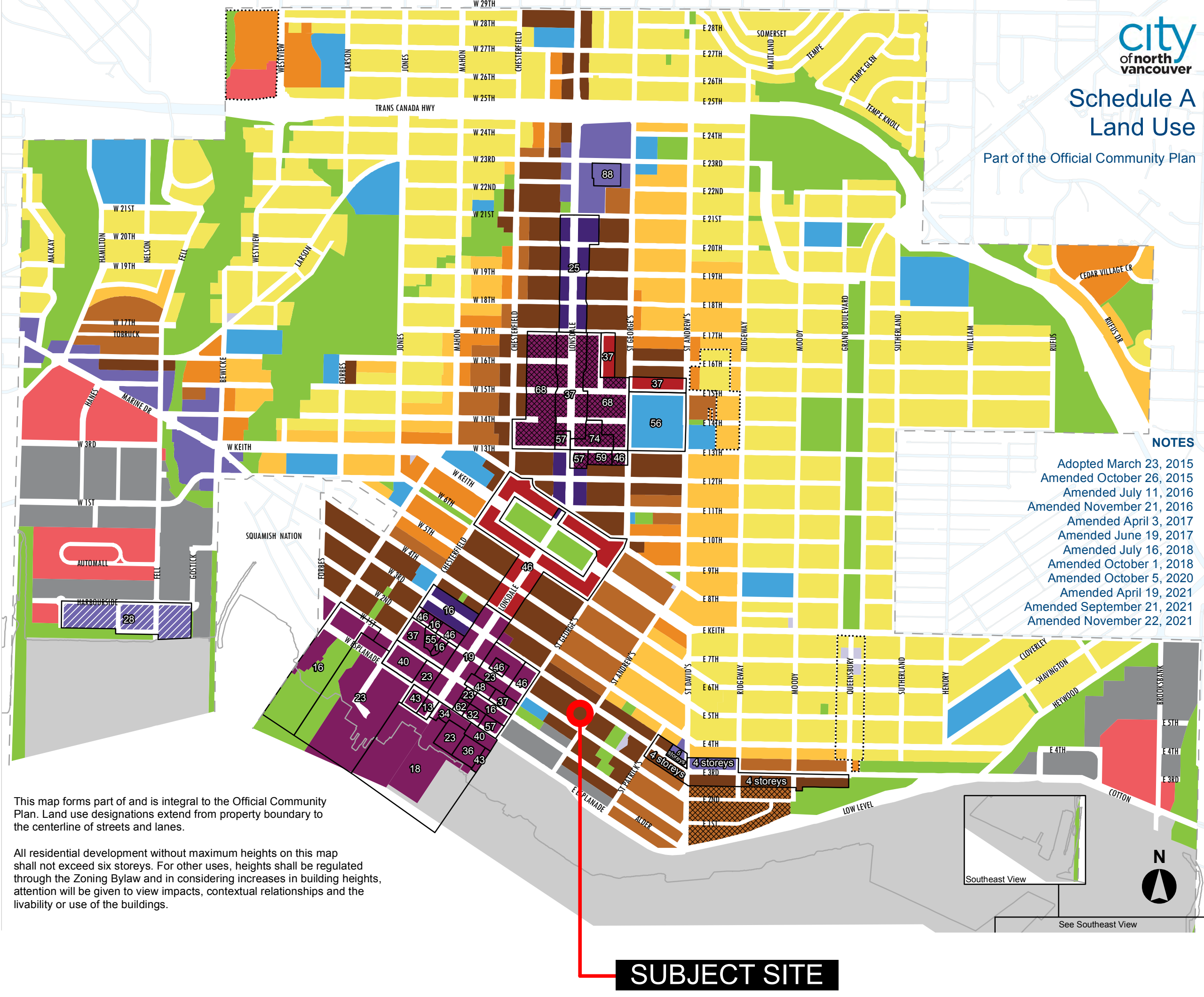
Land Use Designation

This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Land Use Designation	OCP Density (FSR)	Maximum Bonus (FSR)
Residential Level 1 (Low Density)	0.5	
Residential Level 2 (Low Density)	0.5	
Residential Level 3 (Low Density)	0.75	
Residential Level 4A (Medium Density)	1.0	
Residential Level 4B (Medium Density)	1.25	
Residential Level 5 (Medium Density)	1.6	up to 1.0
Residential Level 6 (High Density)	2.3	up to 1.0
Mixed Use Level 1 (Low Density)	1.0	
Mixed Use Level 2 (Medium Density)	2.0	up to 0.5
Mixed Use Level 3 (Medium Density)	2.3	up to 0.5
Mixed Use Level 4A (High Density)	2.6	up to 1.0
Mixed Use Level 4B (High Density)	3.0	up to 1.0
Harbourside Waterfront (Mixed Use)	2.05	up to 0.15
Parks, Recreation & Open Space		
School & Institutional		
Commercial		
Mixed Employment		
Industrial		
Maximum Building Heights in Metres		
Special Study Area		
City Boundary		

Example Height Equivalencies

Metres	Approx. Storeys
12-13	4
18-19	6
23-25	8
37	12
46	15
55-56	18
68	22
74	24
88	30



OCP - MID-RISE APARTMENT MEDIUM DENSITY R5:

- 1.6 FSR (MAX BONUS FSR 1.0)
- 1.0 FSR BONUS WITH PUBLIC BENEFITS:
 - 1) SECURE MARKET RENTAL HOUSING OR NON-MARKET RENTAL
 - 2) COMMUNITY AMENITY SPACE
- MAX HEIGHT 6 STOREY

APPLICABLE GUIDLINES:

- 2018 DENSITY BONUS AND COMMUNITY BENEFITS POLICY
- ACTIVE DESIGN GUIDELINES
- ADAPTABLE DESIGN GUIDELINES
- SUSTAINABLE DESIGN GUIDELINES
- CPTD PRINCIPLES

iA

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Legend

Project Team

Notes

Adopted March 23, 2015
Amended October 26, 2015
Amended July 11, 2016
Amended November 21, 2016
Amended April 3, 2017
Amended June 19, 2017
Amended July 16, 2018
Amended October 1, 2018
Amended October 5, 2020
Amended April 19, 2021
Amended September 21, 2021
Amended November 22, 2021

Architect Seal

Three Shores Management

East 2nd St.

275 East 2nd Street
North Vancouver, B.C.

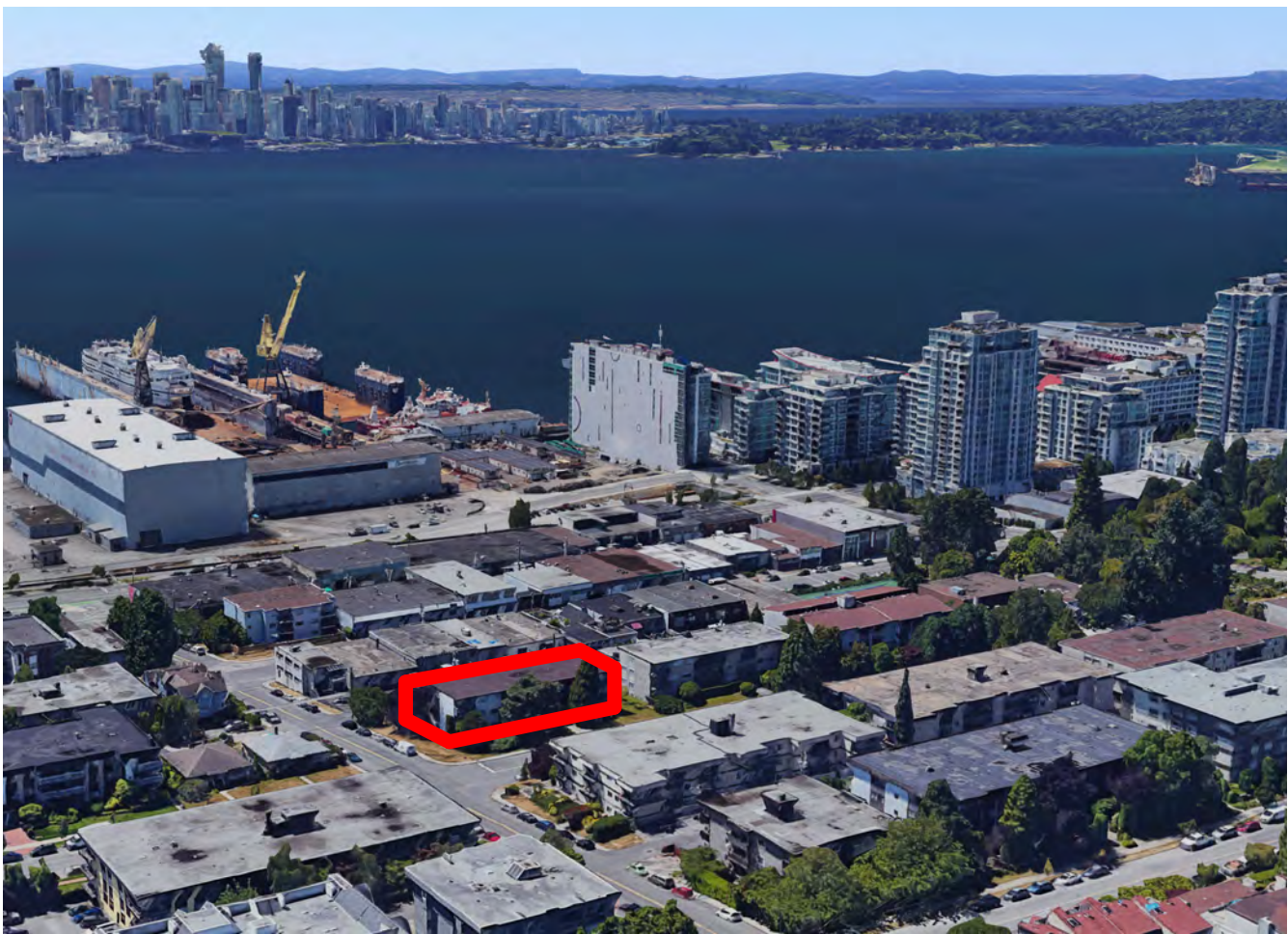
Zoning OCP

21583

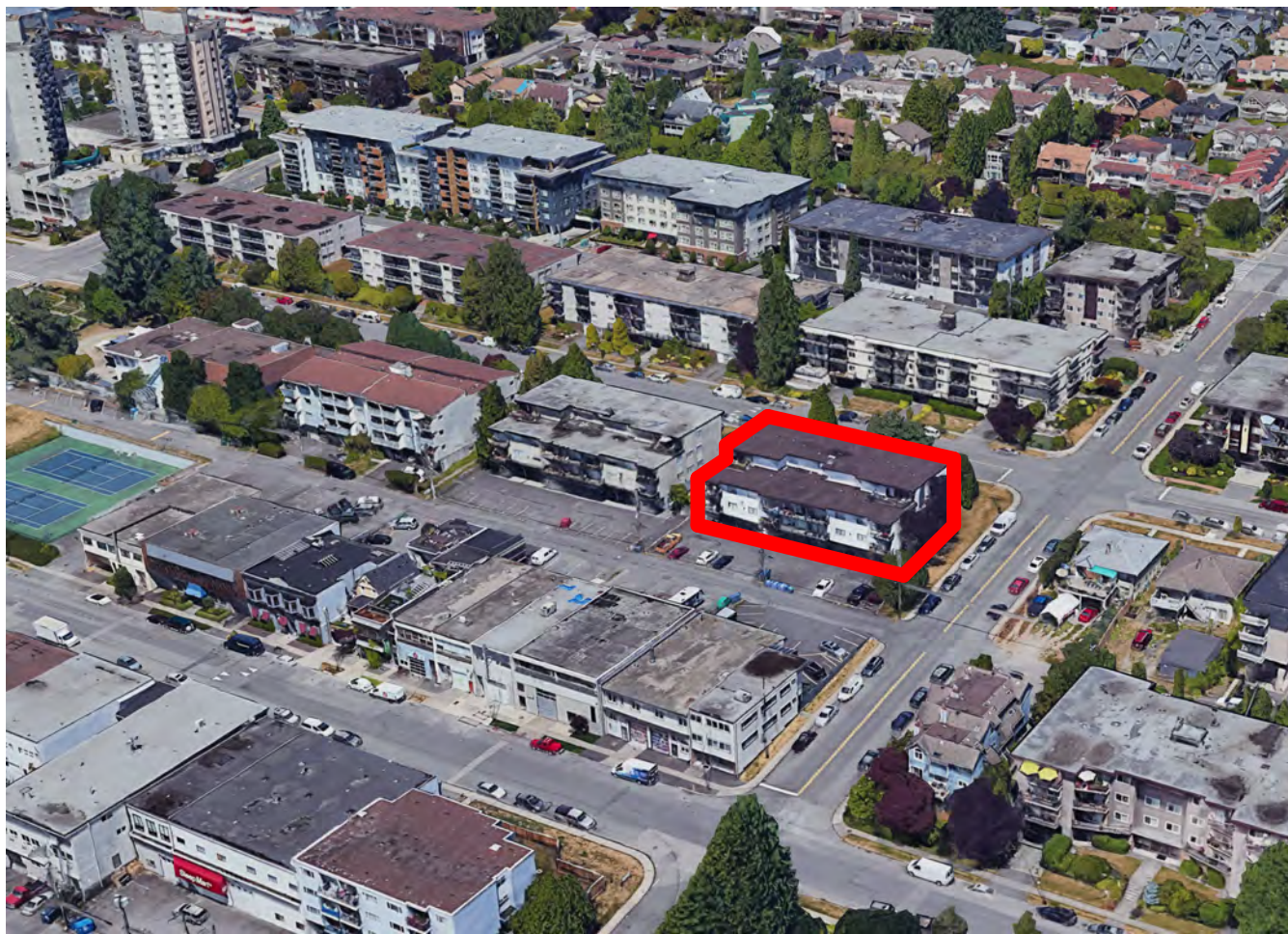
Monday, September 26, 2022

DP / Rezoning - 2

A-0.020



3D Aerial View Looking West



3D Aerial View Looking North



View Along E 2nd St & St. Andrew's



View Along St. Andrew's Looking North



View of Site from Lane



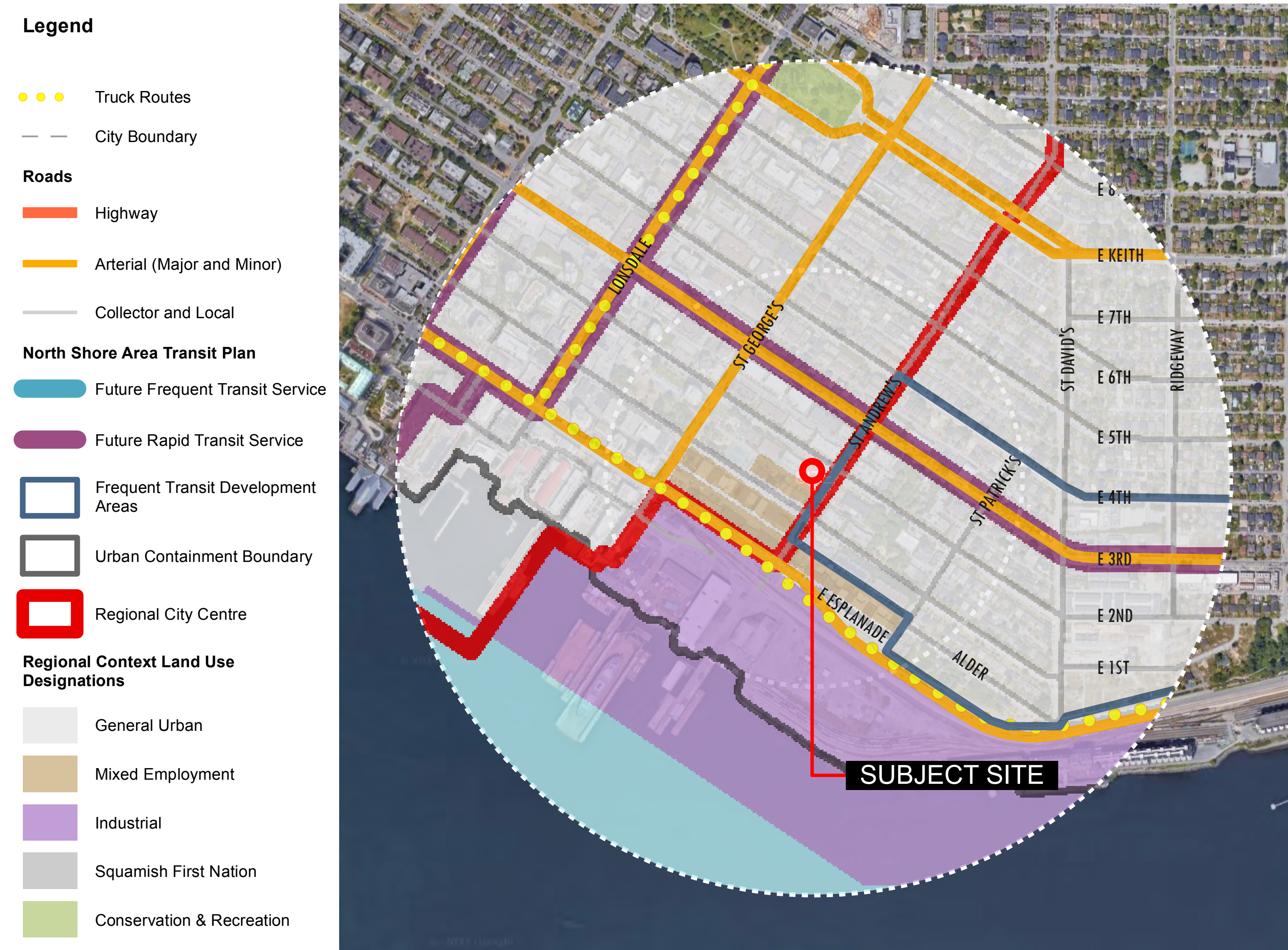
View Along E 2nd St



Elevation along St. Andrew's



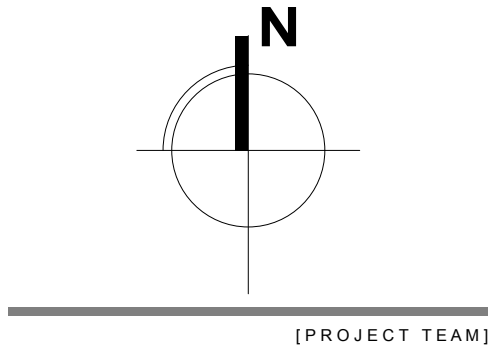
Elevation along E 2nd St



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275 East 2nd Street
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SITE CONTEXT

[PROJECT]

21583

[SCALE]

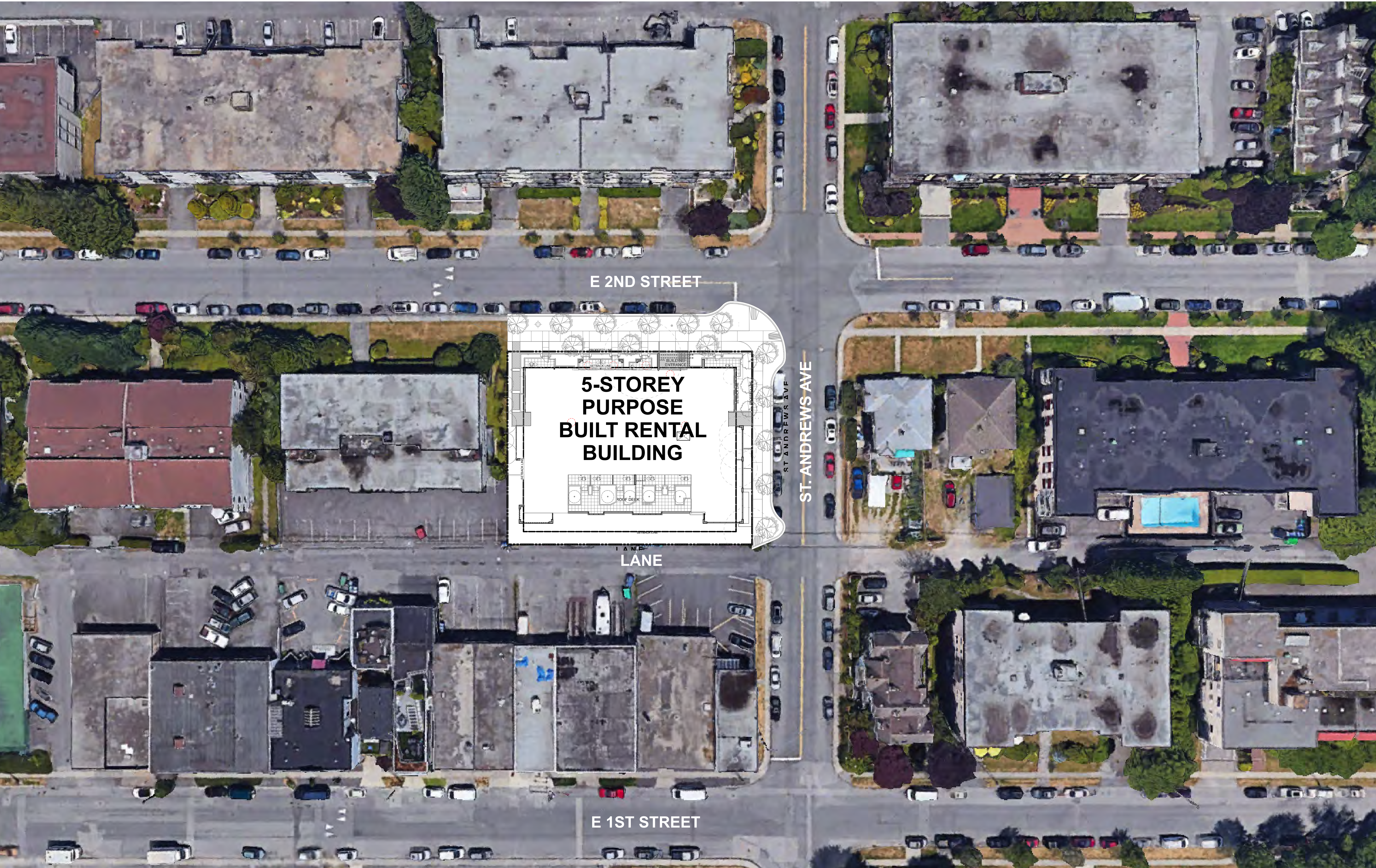
Monday, September 26, 2022

DP / Rezoning - 2

[ISSUE]

[DRAWING]

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CONTEXT PLAN

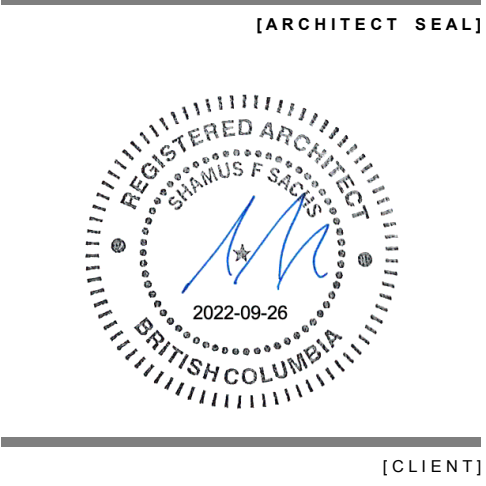
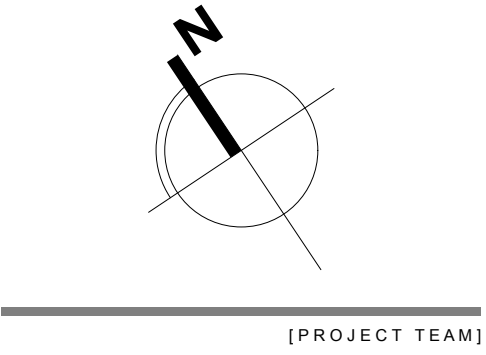


CONTEXT SITE SECTION ALONG ST. ANDREWS AVE



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275 East 2nd Street
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[TITLE]

**SITE CONTEXT
PLAN**

21583 [PROJECT]

[SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-0.040



APARTMENT CHARACTER

A tribute to CNV Brewery District
Use of panels, painted boards
& glass railings
Modern, linear and open floor layouts



OPEN SPACES

Inviting entrance, indoor and outdoor living
Landscaped roof decks with seating areas

NORTH VANCOUVER'S BREWERY DISTRICT



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EAST 2ND ST.

275 East 2nd Street
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**CONCEPT
IMAGES**

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Three Shores Management

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EAST 2ND ST.

275 East 2nd Street
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[TITLE]

PERSPECTIVE

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-0.080



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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

PERSPECTIVE

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

PERSPECTIVE

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

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A-0.082



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[PROJECT]

**SURVEY
(REFERENCE
ONLY)**

[SCALE]

DP / Rezoning - 2 (ISSUE)

[DRAWING]

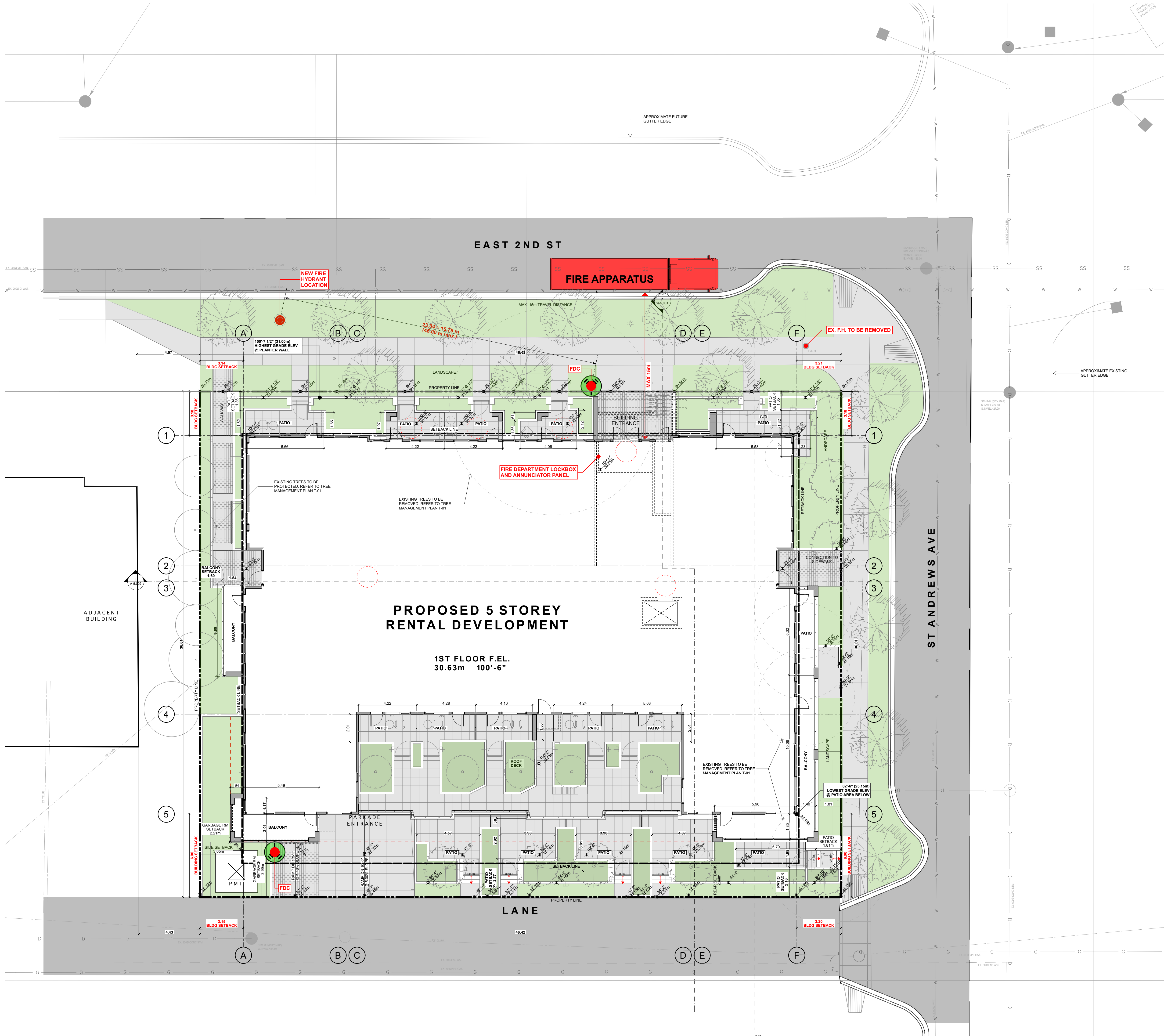
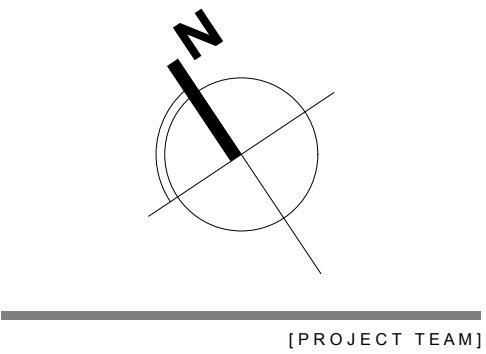
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[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

SITE PLAN

21583 [PROJECT]

3/32" = 1'-0" [SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-1.000

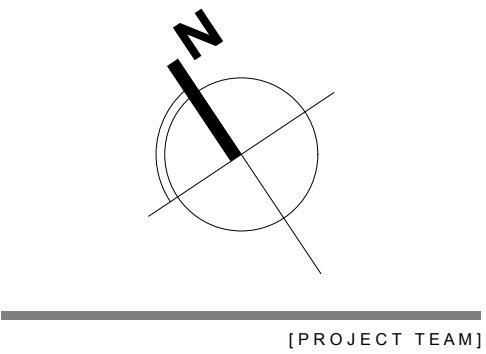


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Three Shores Management

[PROJECT]

EAST 2ND ST.

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North Vancouver, B.C.

[TITLE]

LEVEL P2 PARKING PLAN

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

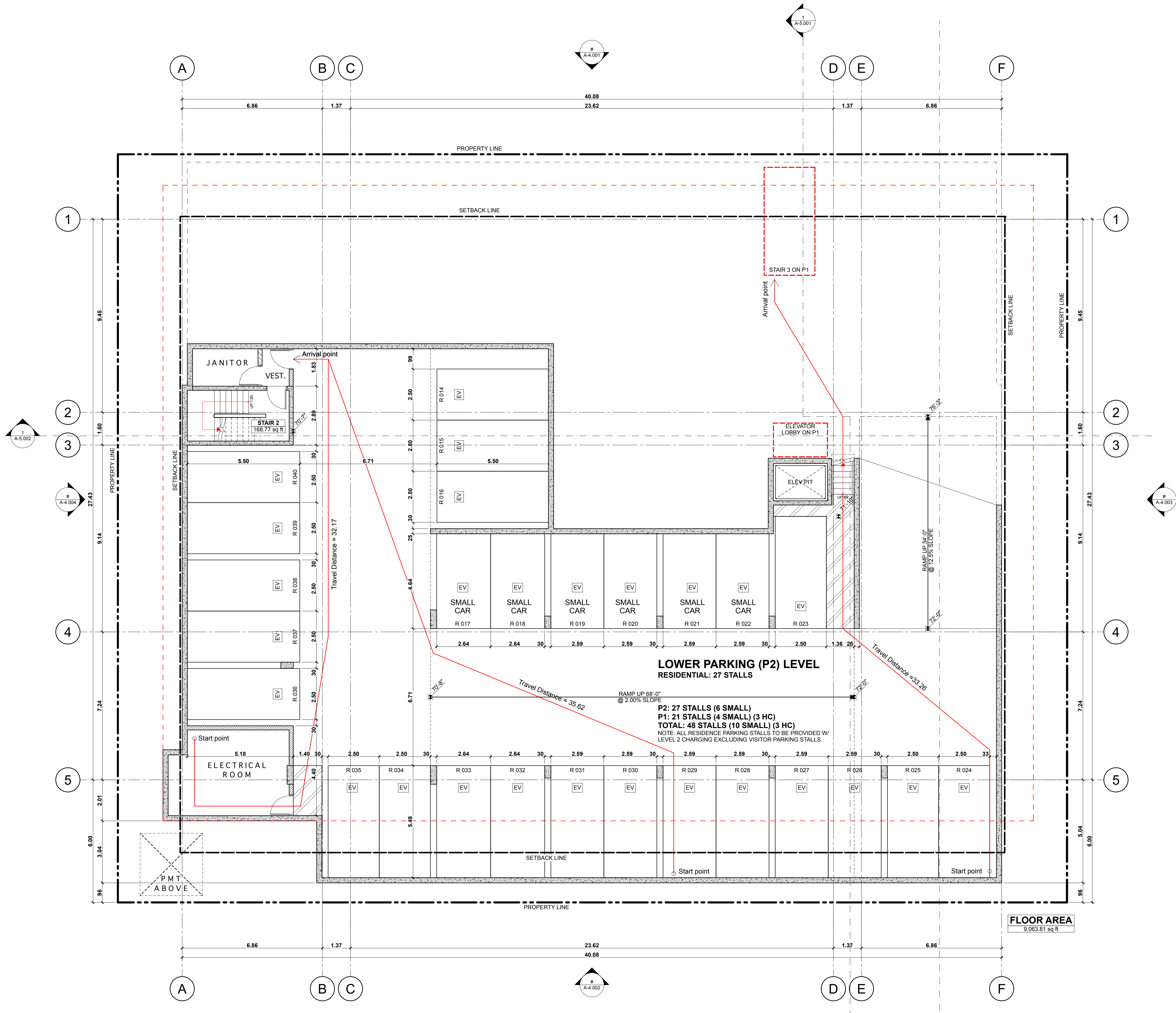
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[DRAWING]

A-2.001



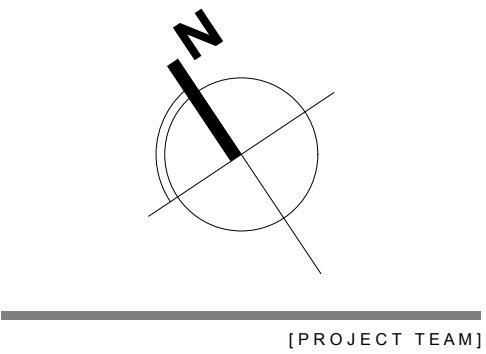


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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

LEVEL P1 & LANE UNIT LOWER FLOOR

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

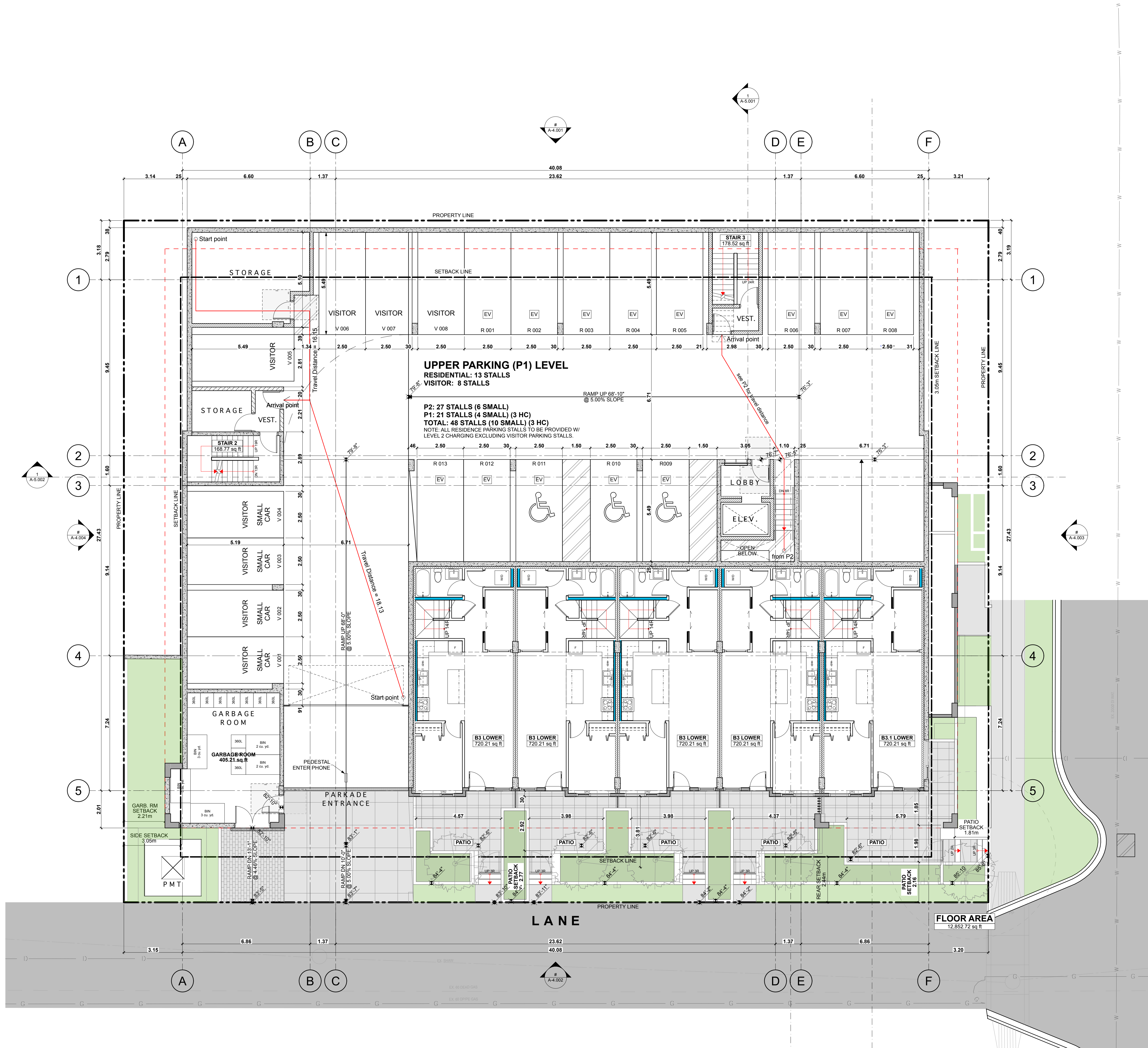
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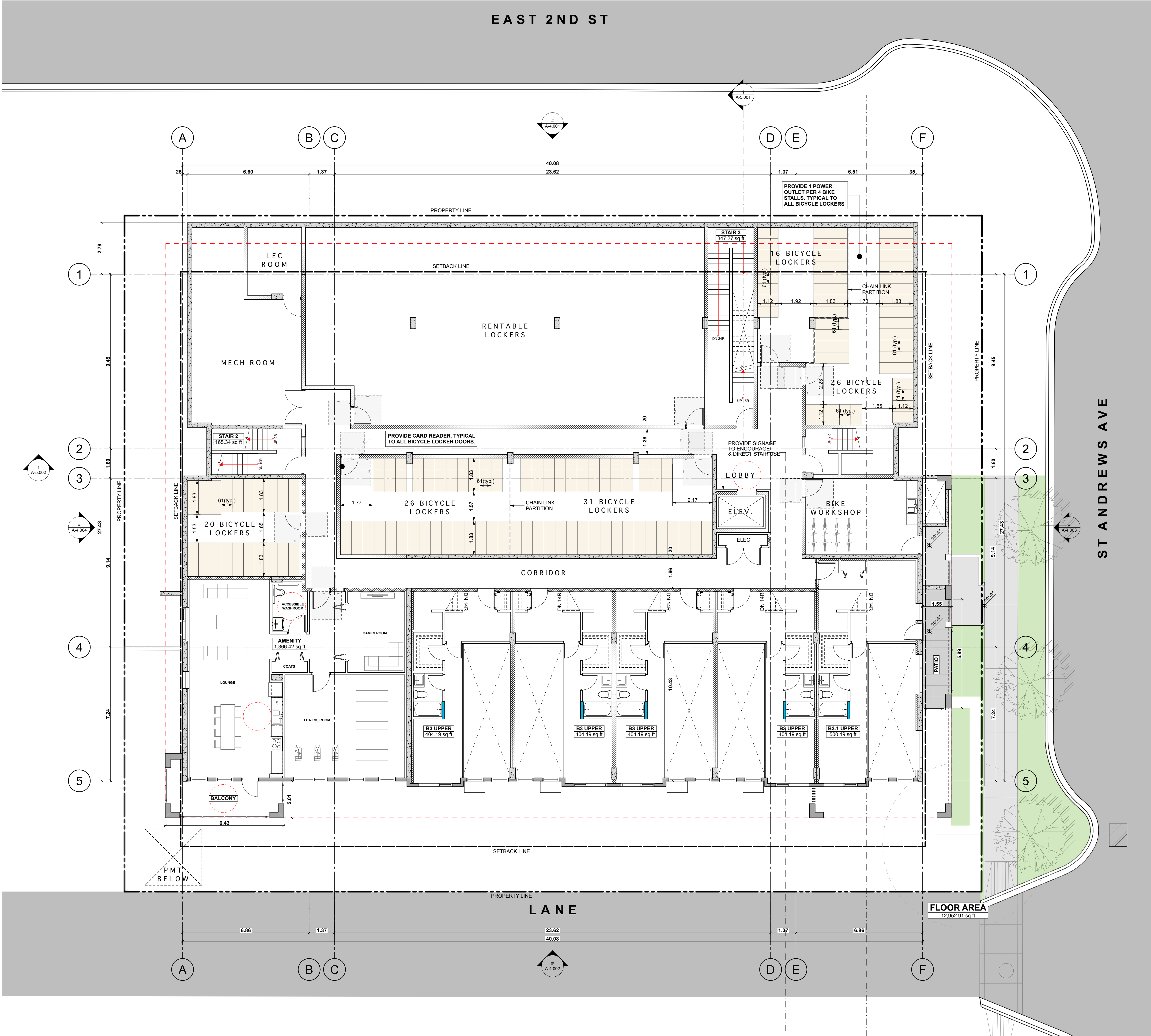
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DP / Rezoning - 2

[DRAWING]

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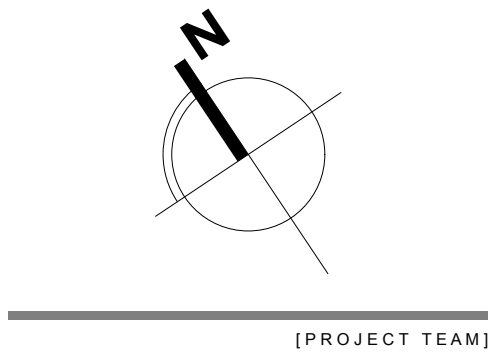




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Three Shores Management

[PROJECT]

EAST 2ND ST.

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North Vancouver, B.C.

[TITLE]

**BASEMENT &
LANE UNIT
UPPER FLOOR**

[PROJECT]

21583

[SCALE]

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[DATE]

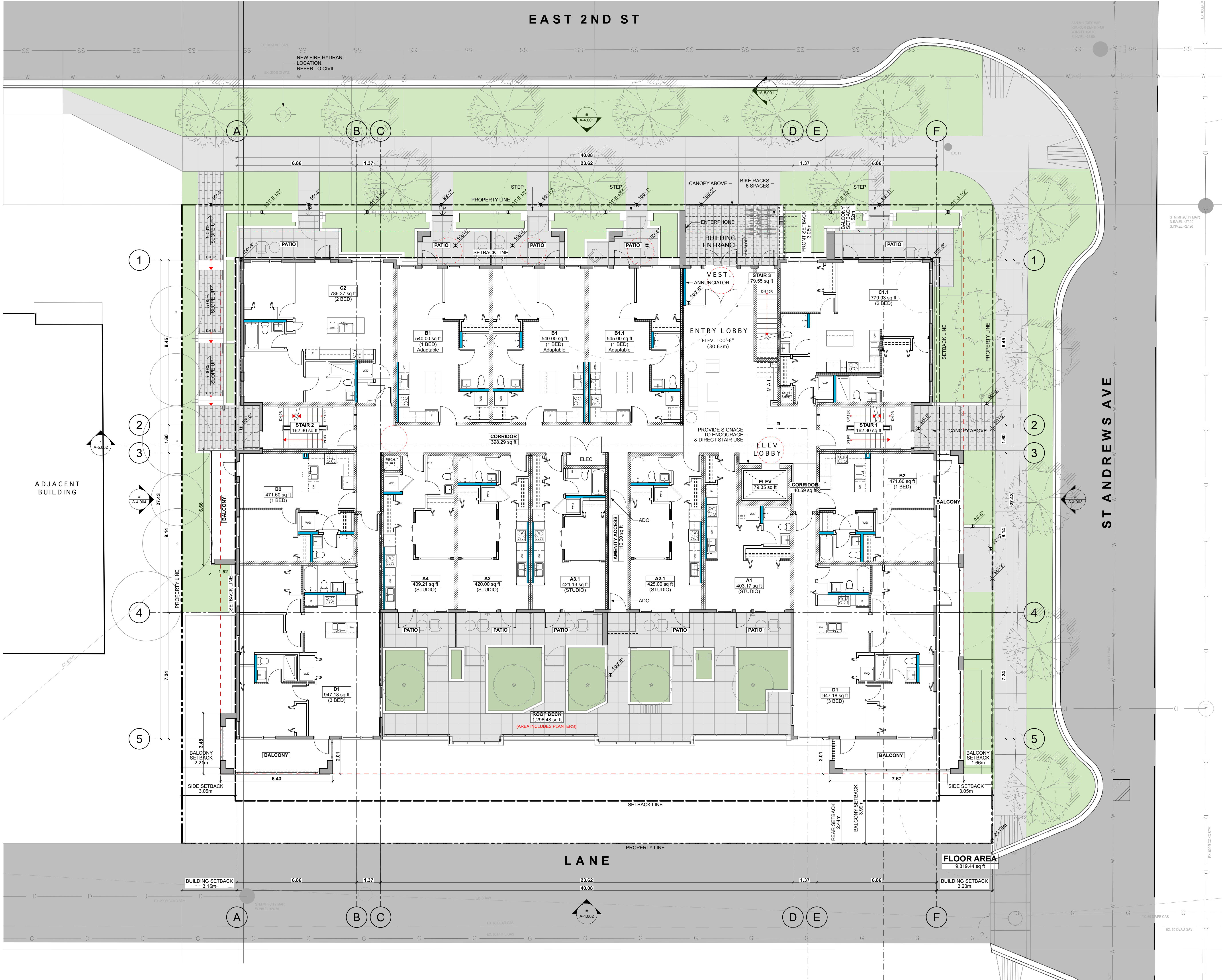
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[ISSUE]

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[DRAWING]

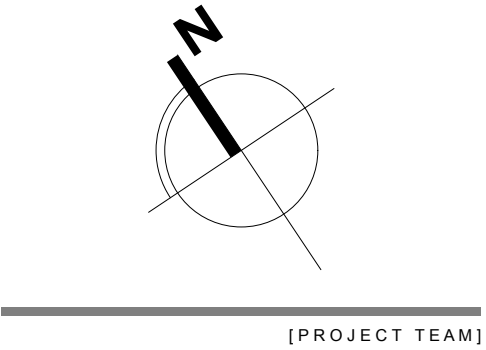
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Three Shores Management

[PROJECT]

EAST 2ND ST.

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[TITLE]

LEVEL 1 PLAN

21583 [PROJECT]

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Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

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A-2.004

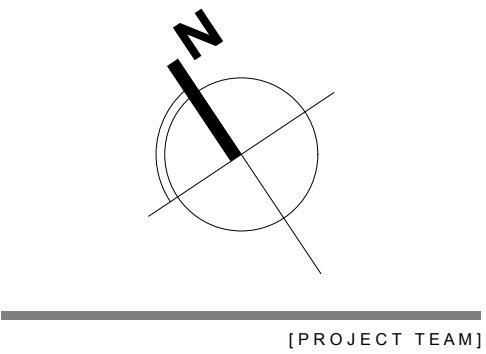


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EAST 2ND ST.

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[TITLE]

LEVEL 2 PLAN

21583 [PROJECT]

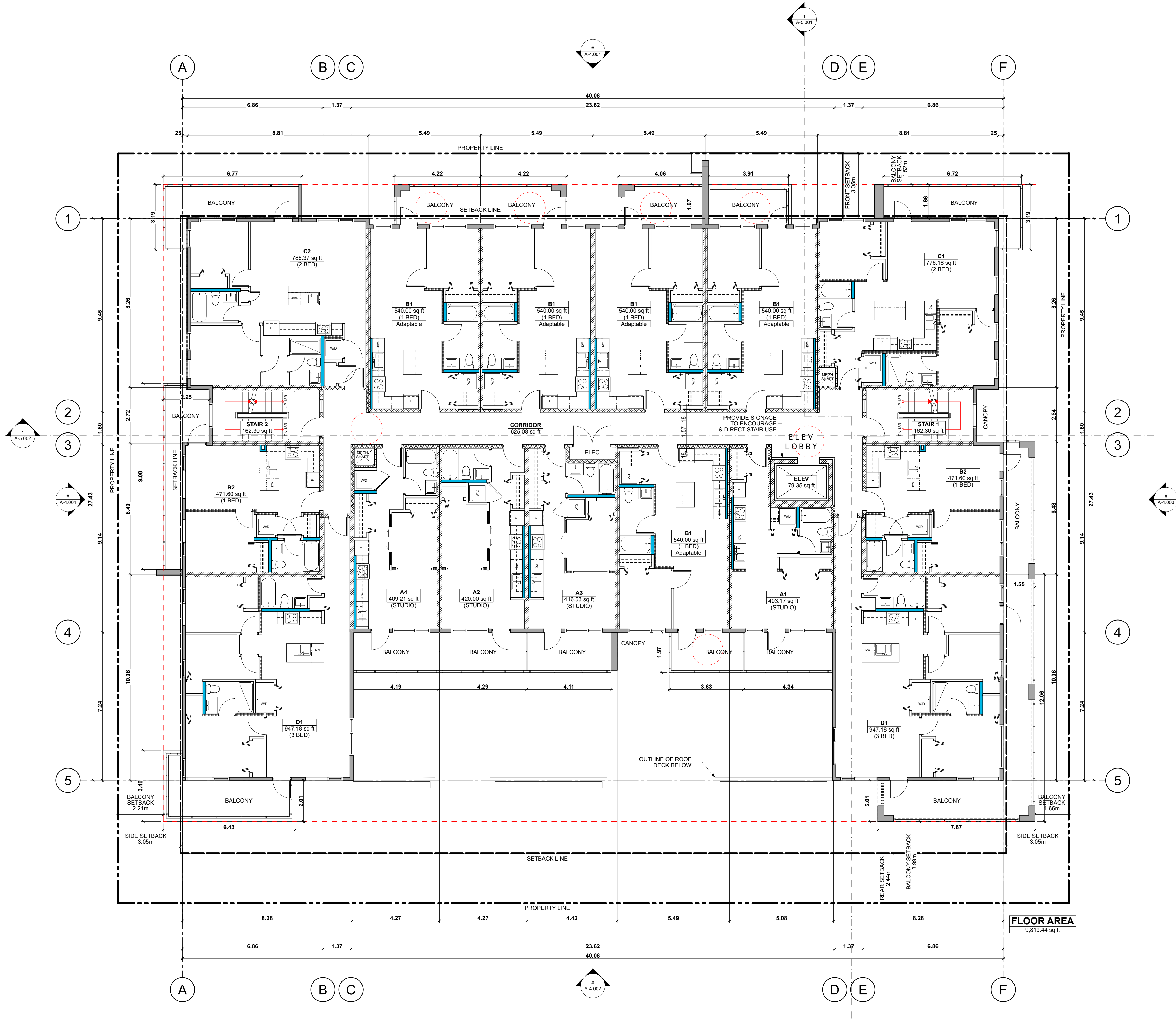
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[DRAWING]

A-2.005



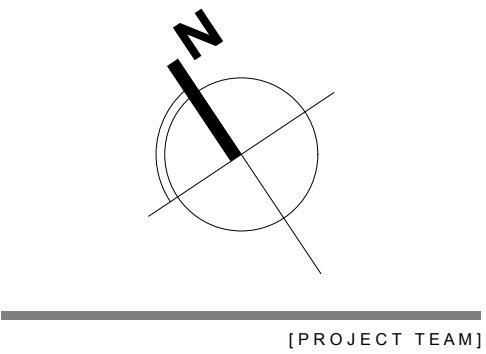


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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

LEVEL 3 PLAN

21583 [PROJECT]

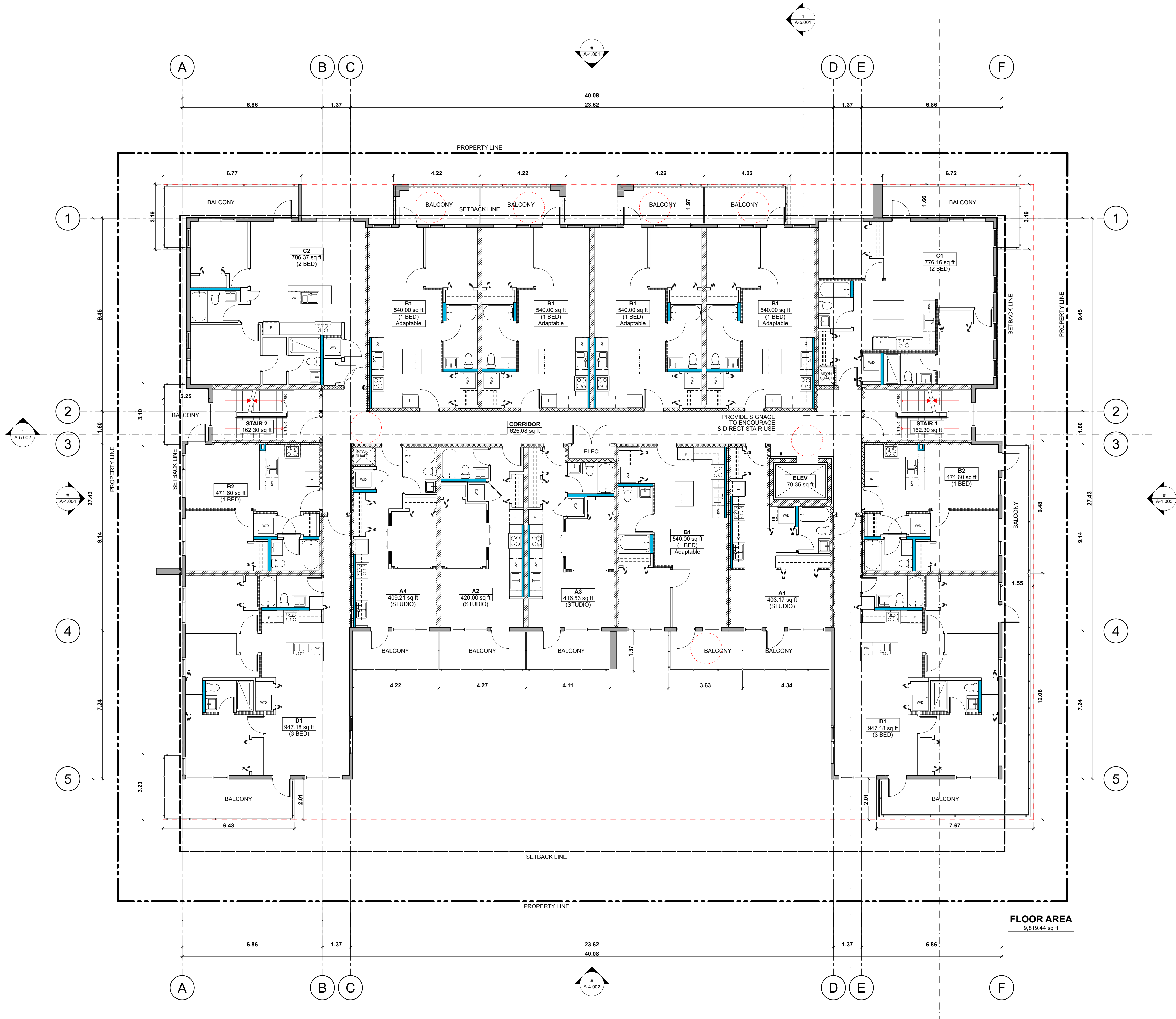
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A-2.006



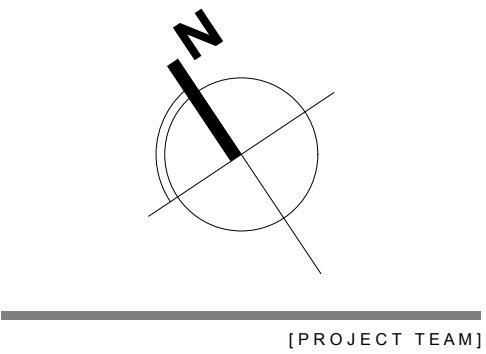


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Three Shores Management

[PROJECT]

EAST 2ND ST.

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North Vancouver, B.C.

[TITLE]

LEVEL 4 PLAN

21583 [PROJECT]

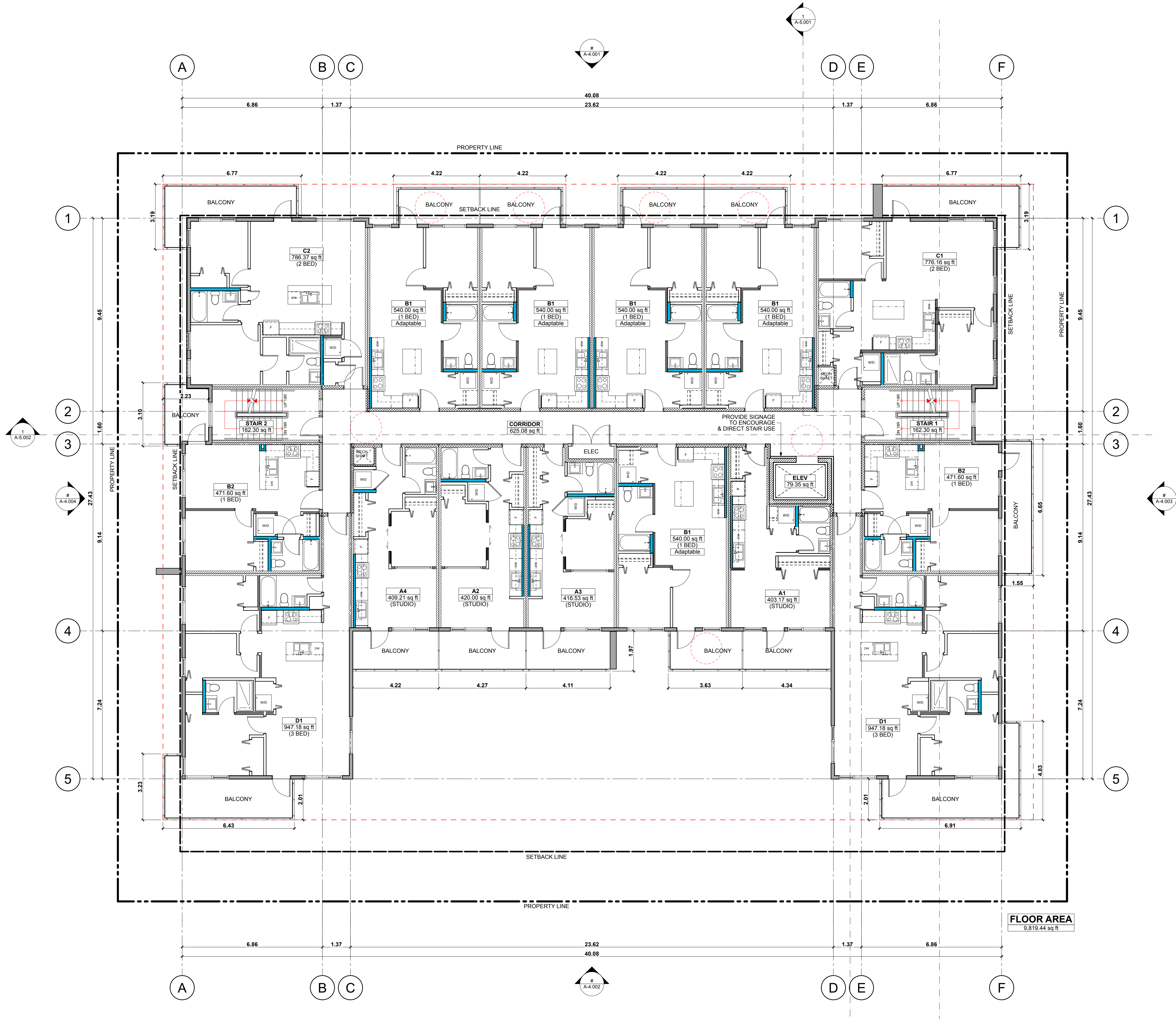
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DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-2.007



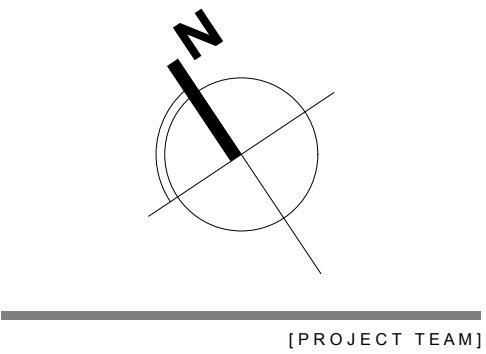


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EAST 2ND ST.

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[TITLE]

LEVEL 5 PLAN

21583 [PROJECT]

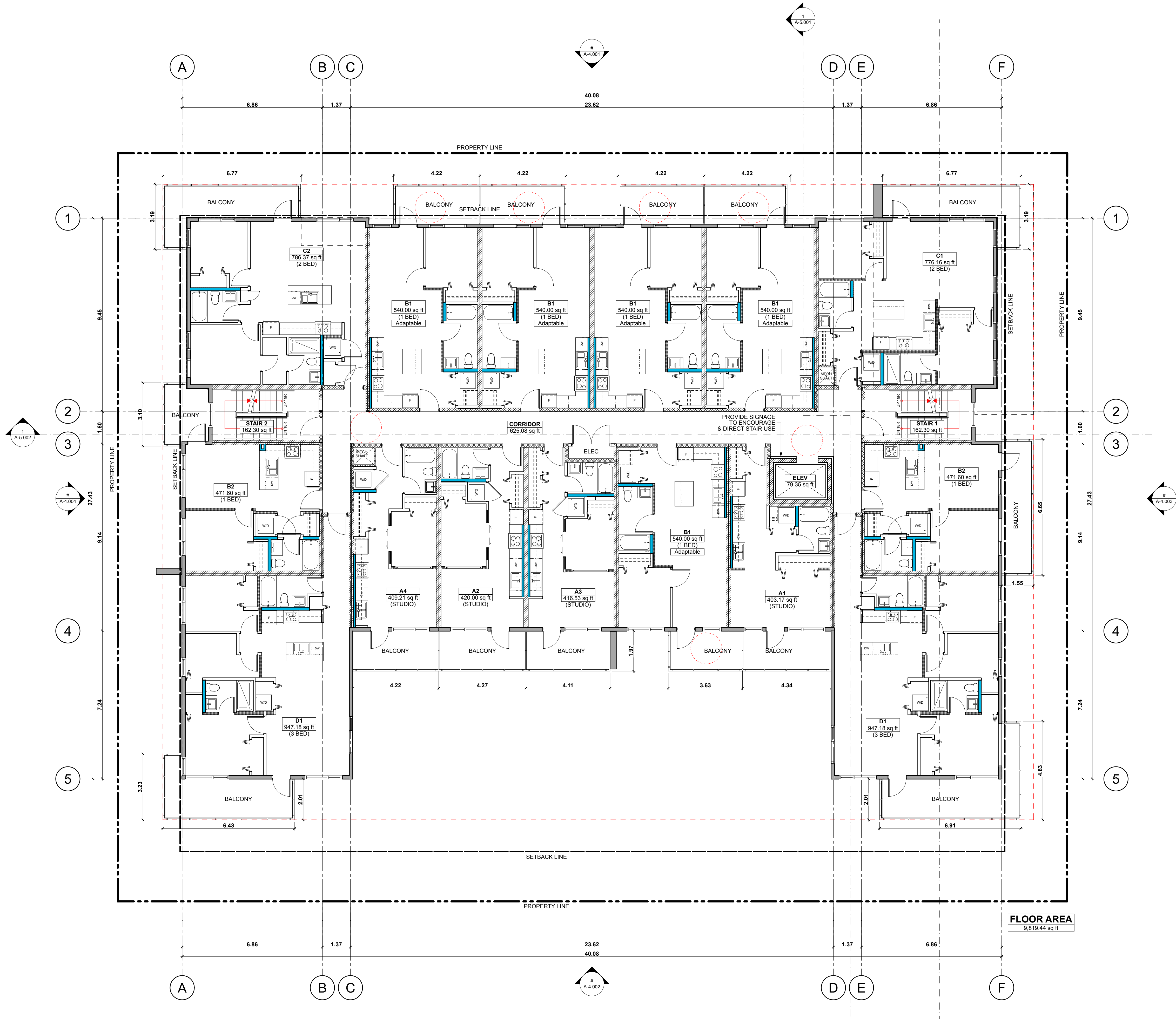
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A-2.008



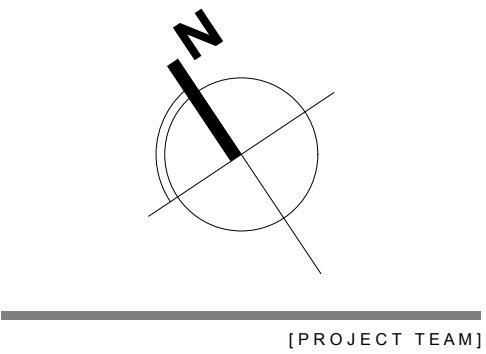


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Three Shores Management

[PROJECT]

EAST 2ND ST.

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[TITLE]

ROOF PLAN

21583 [PROJECT]

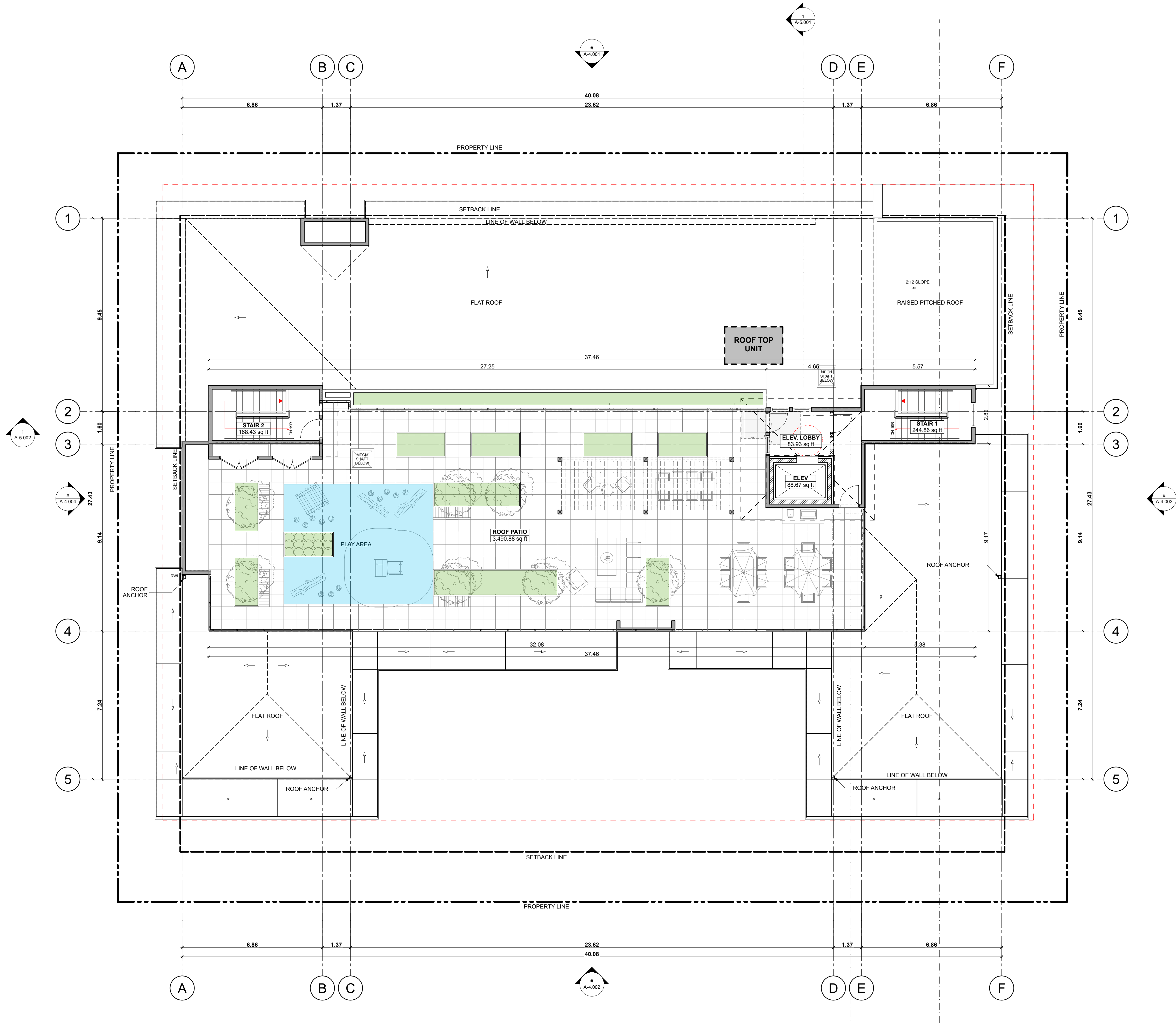
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Monday, September 26, 2022 [DATE]

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[DRAWING]

A-2.009



ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BUILDING ACCESS	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
BUILDING ACCESS	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
BUILDING ACCESS	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
BUILDING ACCESS		Unobstructed internal access: <ul style="list-style-type: none">- from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) *- garbage and recycling receptacles and storage lockers- no stairs within building circulation including corridors on residential levels- accessible storage lockers for each unit	Unobstructed internal access: <ul style="list-style-type: none">- from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) *- garbage and recycling receptacles and storage lockers- no stairs within building circulation including corridors on residential levels- accessible storage lockers for each Level 3 unit
BUILDING ACCESS	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone
BUILDING ACCESS		Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided
BUILDING ACCESS	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
BUILDING ACCESS		3' or 915mm building and suite entry doors	3' or 915mm building and suite entry doors
BUILDING ACCESS	Flush thresholds throughout the building (maximum ½" or 13mm height)	Flush thresholds throughout the building (maximum ½" or 13mm height)	Flush thresholds throughout the building (maximum ½" or 13mm height)
BUILDING ACCESS	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *

* Illustrations available
** Options considered

- 1 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

2 of 11

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION		Slip resistant flooring	Slip resistant flooring
CIRCULATION		Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum ½" or 13mm height	High density, low level loop carpet and underlay maximum ½" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

* Illustrations available

- 1 of 3

Fixtures & Finishes
July 2005

FIXTURES & FINISHES



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COMMON AREAS		Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *
CIRCULATION	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
CIRCULATION		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
SUITE CIRCULATION		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
SUITE CIRCULATION		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*
DOORS		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
PATIOS & BALCONIES		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2' - 10" or 860mm clear door opening
PATIOS & BALCONIES		Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold **
PATIOS & BALCONIES		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
WINDOWS		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS		Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor
KITCHEN		Continuous counter between sink and stove*	Continuous counter between sink and stove*
KITCHEN			Sink cabinet minimum 2'8" or 810mm wide
KITCHEN			Provide sufficient space for future installation of cooktop and wall oven
KITCHEN			Provide for potential 2'8" or 810mm wide undercounter workspace
KITCHEN			Lower edge of upper cupboards 4'6" or 1350mm above floor

* Illustrations available
** Options considered

- 2 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

4 of 11

KITCHEN			Minimum 4' or 1220mm floor space between base cabinets / walls (possible with removal of sink cabinet) *
MIN. ONE BATHROOM		Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
MIN. ONE BATHROOM		Provide turning radius within bathroom (may result from removal of vanity cabinet)*	Provide turning radius within bathroom (may result from removal of vanity cabinet)*
MIN. ONE BATHROOM		3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
MIN. ONE BATHROOM		Tub control valve placed at outer edge of tub, with tub spout remaining in central position *	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
MIN. ONE BATHROOM		Accessible storage *	Accessible storage*
MIN. ONE BATHROOM			Provide pocket door or door swing out *
MIN. ONE BATHROOM			Space under sink minimum 2'8" or 810mm wide *
MIN. ONE BATHROOM			Provide for the possible future installation of an accessible shower stall, sized at least 3' 0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
MIN. ONE BEDROOM			Sufficient manoeuvring room between closet and double bed *
MIN. ONE BEDROOM			Provide 3' or 915mm access to window opening *
LAUNDRY FACILITIES			Provide front loading side-by-side washer / dryer in-suite or in common area
LAUNDRY FACILITIES			4' or 1220mm manoeuvring space in front of washer / dryer

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

* Illustrations available
** Options considered

- 3 of 3-

Design Elements
July 2005

DESIGN ELEMENTS

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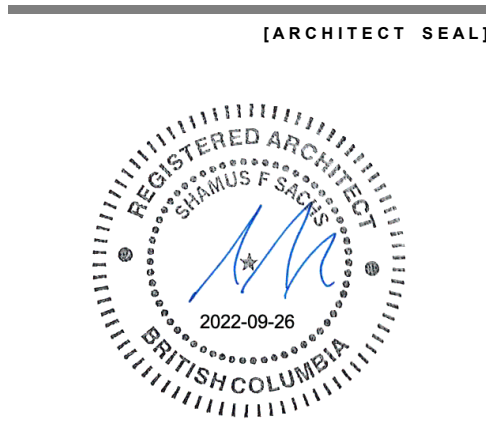
	LEVEL ONE	LEVEL TWO	LEVEL THREE
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and strike at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
KITCHEN			Where regular refrigerator installed initially, provide adequate space for side by side model
KITCHEN			Contrasting knobs on stove / cook top

* Illustrations available

- 2 of 3

Fixtures & Finishes
July 2005

FIXTURES & FINISHES



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

ADAPTABLE UNITS DESIGN GUIDELINES

[PROJECT]

21583

[SCALE]

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-3.001

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Fixtures_Finishes Handout.doc

* Illustrations available

- 3 of 3

Fixtures & Finishes
July 2005

FIXTURES & FINISHES

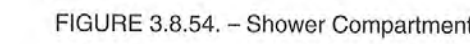
Diagram illustrating the shower pan assembly. The assembly consists of a 2x12 SOLID BLOCKING supporting a SHOWER BASE. The dimensions shown are 2'-5 17/32" for the length of the blocking and the width of the shower base, and 2" for the thickness of the blocking.

[illegible]

2x12 SOLID BLOCKING

3'-6"

2'-10"



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(PROJECT TEAM)

	PROJECT
Three Shores Management	
PROJECT	
EAST 2ND ST.	
275 East 2nd Street North Vancouver, B.C.	
TITLE	
Unit B1 Adaptable	
PROJECT	
21583	SUBJECT
Wednesday, September 21, 2022	
Preliminary	
DRAWING	

[illegible]

Disability Parking Requirements for Medium Density, High Density, and Accessory Apartment Residential Uses

REQUIRED number of Disability Parking Spaces to be provided for Level 1 Adaptable Design Dwelling Units		REQUIRED number of Disability Parking Spaces to be provided for Level 2 or 3 Adaptable Design Dwelling Units	
Total Required Parking Spaces	Required number of Disability Parking Spaces for Level 1 Adaptable Design Dwelling Units	Total Required Parking Spaces	Required number of Disability Parking Spaces for Level 2 and 3 Adaptable Design Dwelling Units
1 – 25	1	1 – 25	2
26 – 50	2	26 – 50	4
51 – 100	3	51 – 100	6
101– 150	4	101 – 150	8
151 – 200	5	151 – 200	10
201 –250	6	201 – 250	12
251– 300	7	251 – 300	14
301 – 350	8	301 – 350	16
351 – 400	9	351 – 400	18
401 – 450	10	401 – 450	20

- Calculation of Disability Parking Spaces is based on the required number of parking spaces rather than the total parking spaces provided.

Disability Parking Spaces Requirements for all other non-residential Uses:

Total Number of Required Parking Spaces	Required Number of Disability Parking Spaces
0-25	1
26-50	2
51-100	3
101-150	4
151-200	5

One Disability parking Space per 50 required parking spaces over 200 spaces.

One Disability parking Space per 50 required parking spaces over 200 spaces.

City of North Vancouver
Div. IV: Parking & Loading
Standards

Part 9: Page 21

**Zoning Bylaw, 1995
Parking and Access**

[illegible]

Note: All areas and calculations are preliminary and approximate.

Adaptable Design Unit Calculation						
Level	Floors	Unit/Fir	Total Units	AD Level 1	AD Level 2	AD Level 3
Basement	Basement	5	5	5		
Lobby/Entry	1st	14	14	11	3	
	2nd	15	15	10	5	
	3rd	15	15	10	5	
	4th	15	15	10	5	
	5th	15	15	10	5	
	</					

Note: All areas and calculations are preliminary and approximate.

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

ADAPTABLE UNIT PLAN

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2

[DRAWING]

A-3.002



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MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Cream	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Cream	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Soffit	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Aluminum Railing @ Balconies	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	P	
Typical Unit Entry	Typical Unit Entry	Garage Doors	Retaining Walls	Vertical Slats	
Colour	White	Dark Brown / Black	Grey	Grey	
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Painted Aluminum	
Product	TBC	TBC	TBC	TBC	
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Grey	
Manufacturer	TBC	TBC	TBC	TBC	

[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

BUILDING ELEVATION - NORTH (2ND ST)

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

BUILDING ELEVATION - SOUTH (LANE)

[PROJECT]

[SCALE]

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-4.002



MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Cream	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Cream	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Dark Grey	Mid Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Soffit	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Aluminum Railing @ Balconies	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	P
Typical Unit Entry	Typical Unit Entry	Garage Doors	Retaining Walls	Vertical Slats
Colour	White	Dark Brown / Black	Grey	Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Painted Aluminum
Product	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Grey
Manufacturer	TBC	TBC	TBC	TBC



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PROJECT TE

ARCHITECT SE



[CLIE

Three Shores Management

[PROJE

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

**BUILDING
ELEVATION -
EAST (ST.
ANDREWS AVE)**

[PROJECT]

1/8" = 1'-0"

[SCA

Monday, September 26, 2022^{LDA}

DP / Rezoning - 2

[DRAWING]

A-4.003



MATERIAL SCHEDULE

	D	D1	D2	D3	E
Building Elements	Cladding	Cladding	Cladding	Cladding	Soffit
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TRC	TRC	TRC	TRC	TRC

	J1	K	K1	L	L1
Building Elements	Aluminum Railing @ Balconies	Windows	Windows	Typical Gate Entry	Typical Gate Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TRC	TRC	TRC	TRC	TRC

	L2	M	N	P
Building Elements	Typical Unit Entry	Garage Doors	Retaining Walls	Vertical Slats
Colour	White	Dark Brown / Black	Grey	Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Painted Aluminum
Product	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No. / Manufacturer	Black	Dark Brown / Black	Natural Concrete	Grey
	TBC	TBC	TBC	TBC



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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

BUILDING ELEVATION - WEST

[PROJECT]

[SCALE]

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-4.004



MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Cream	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Cream	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Soffit	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Aluminum Railing @ Balconies	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	P	
Typical Unit Entry	Typical Unit Entry	Garage Doors	Retaining Walls	Vertical Slats	
Colour	White	Dark Brown / Black	Grey	Grey	
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Painted Aluminum	
Product	TBC	TBC	TBC	TBC	
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Grey	
Manufacturer	TBC	TBC	TBC	TBC	



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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

N/S BUILDING SECTION & WALLSECTION @ GARAGE

[PROJECT]

21583

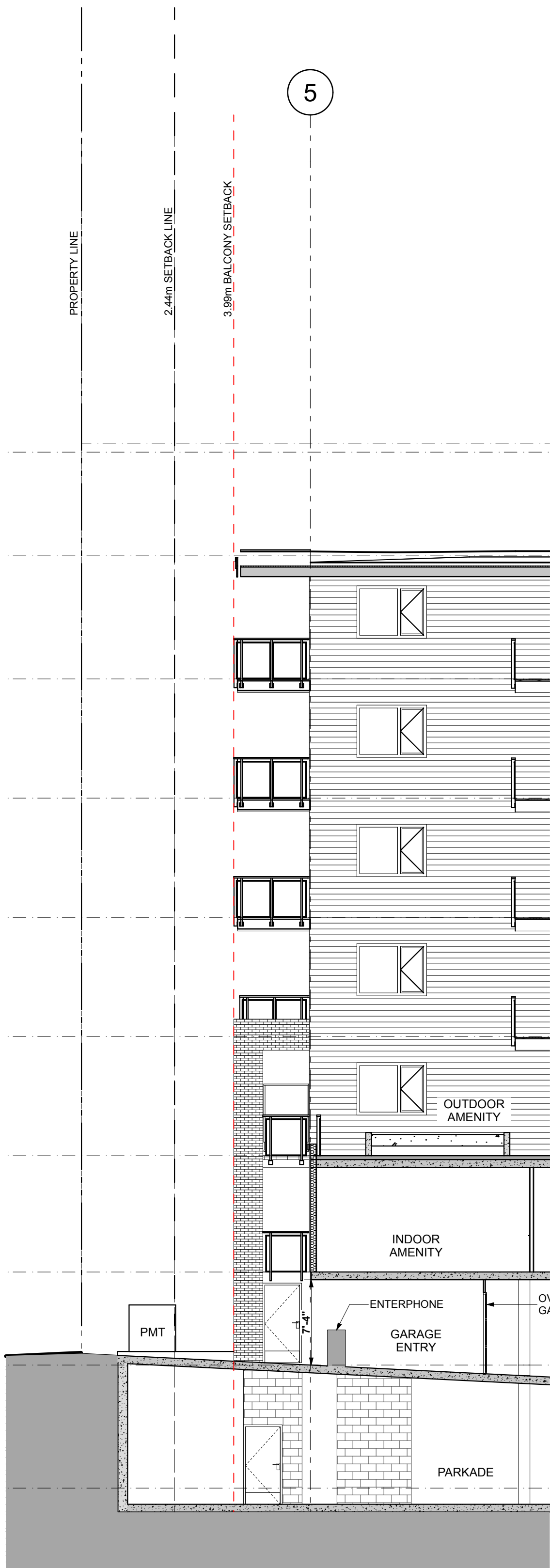
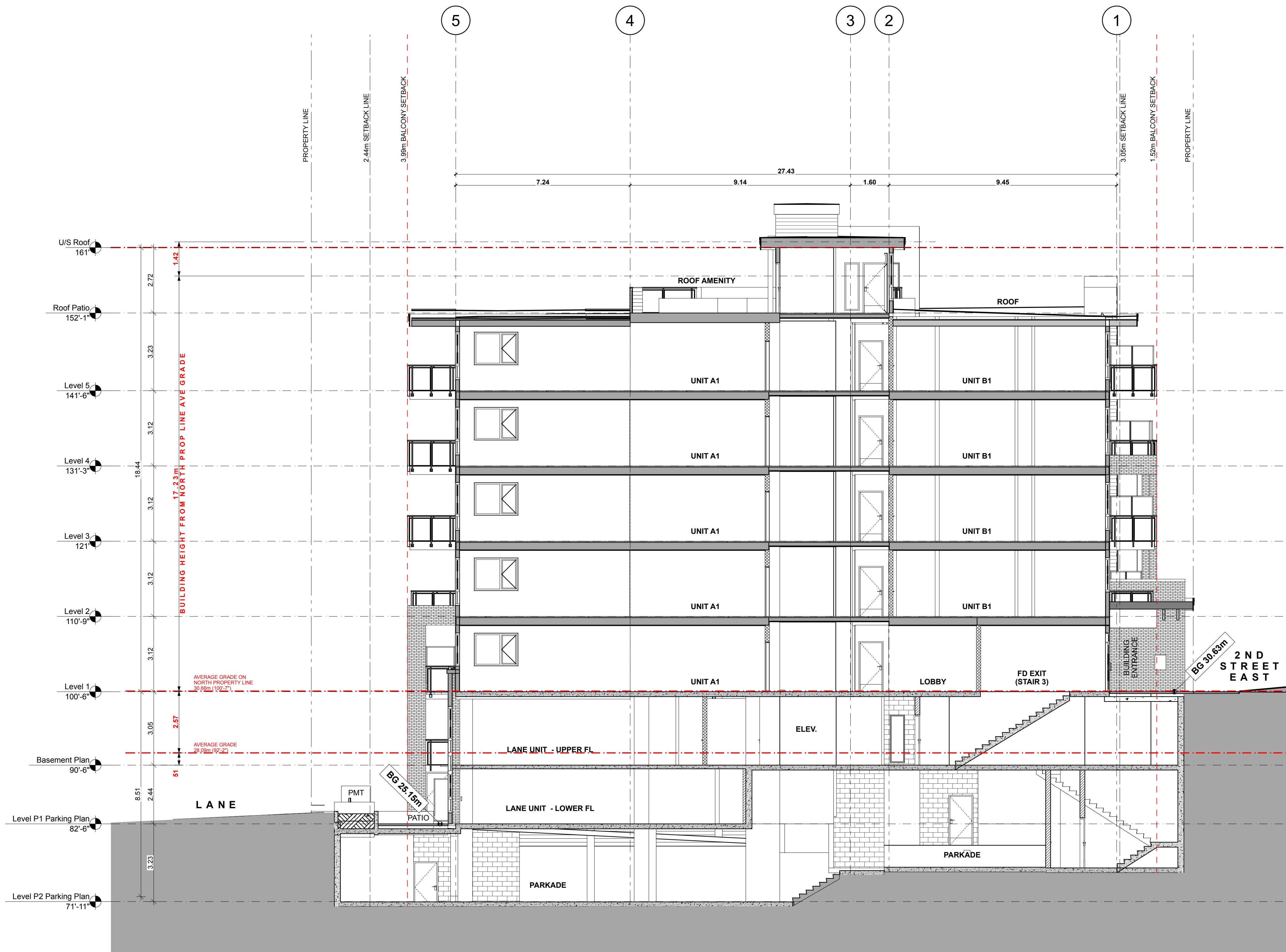
1/8" = 1'-0"

Monday, September 26, 2022

DP / Rezoning - 2

[DRAWING]

A-5.001



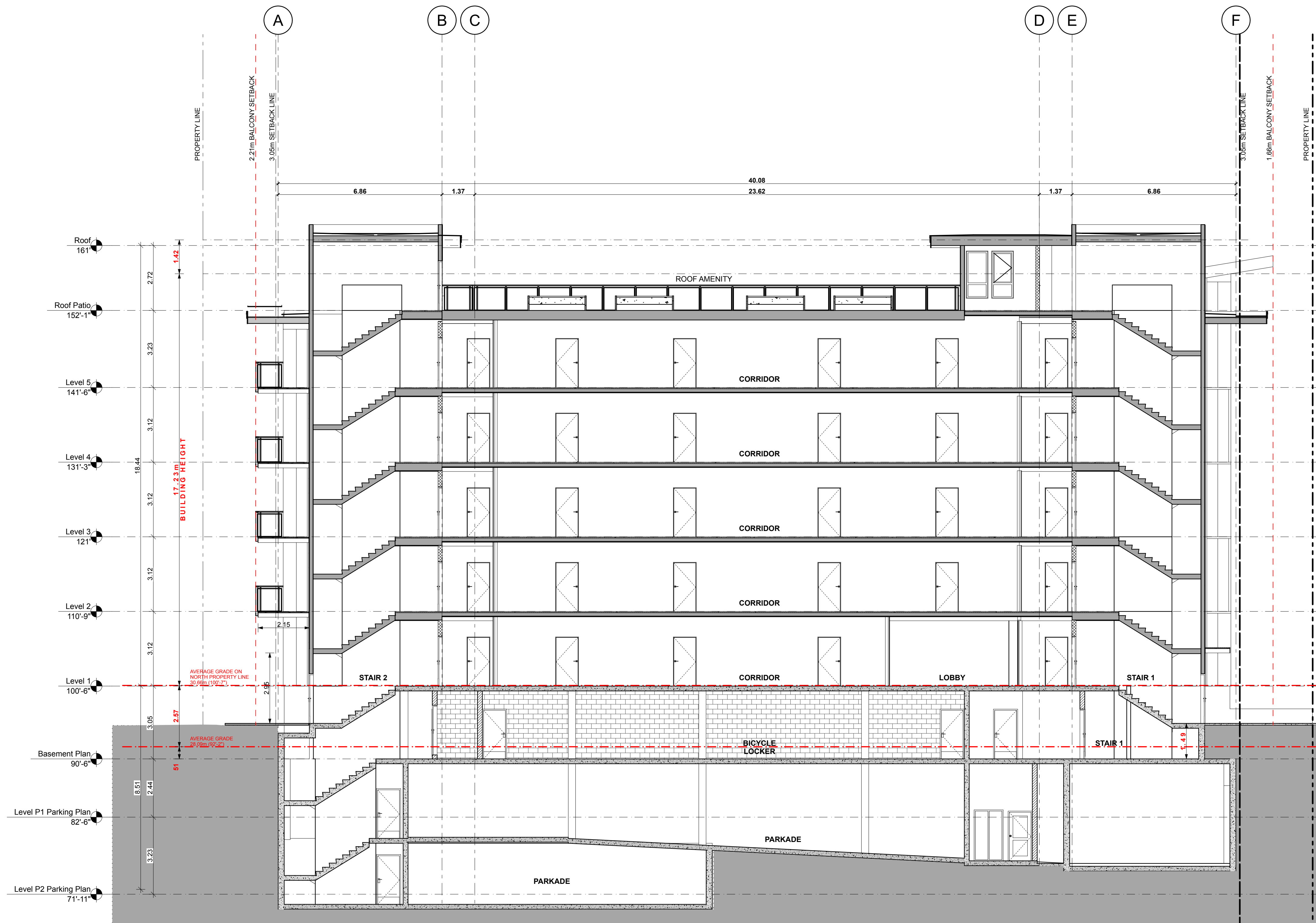


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[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

E/W BUILDING SECTION

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-5.002



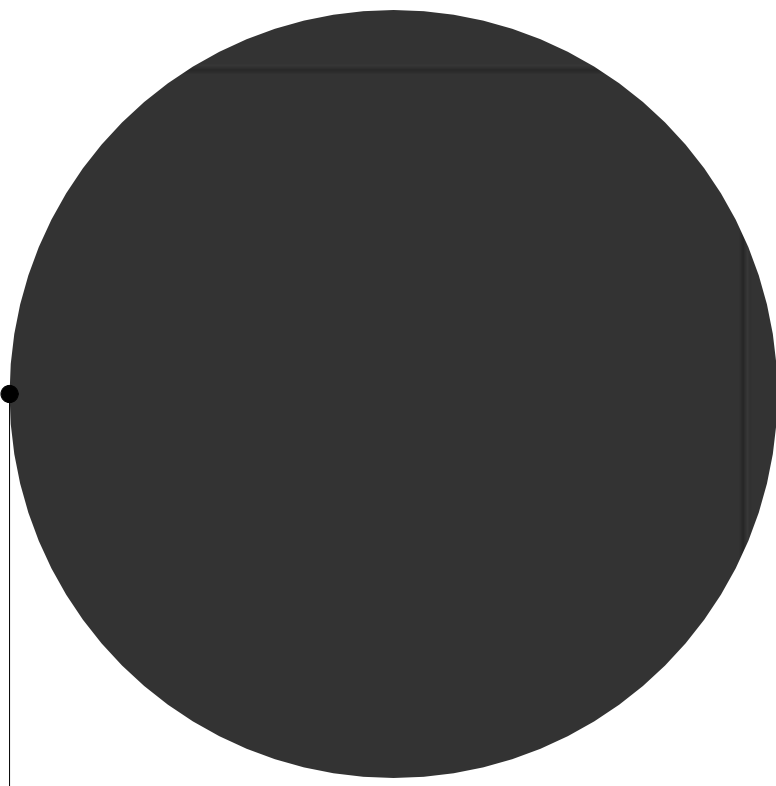
A THIN BRICK CLADDING
colour: CREAM



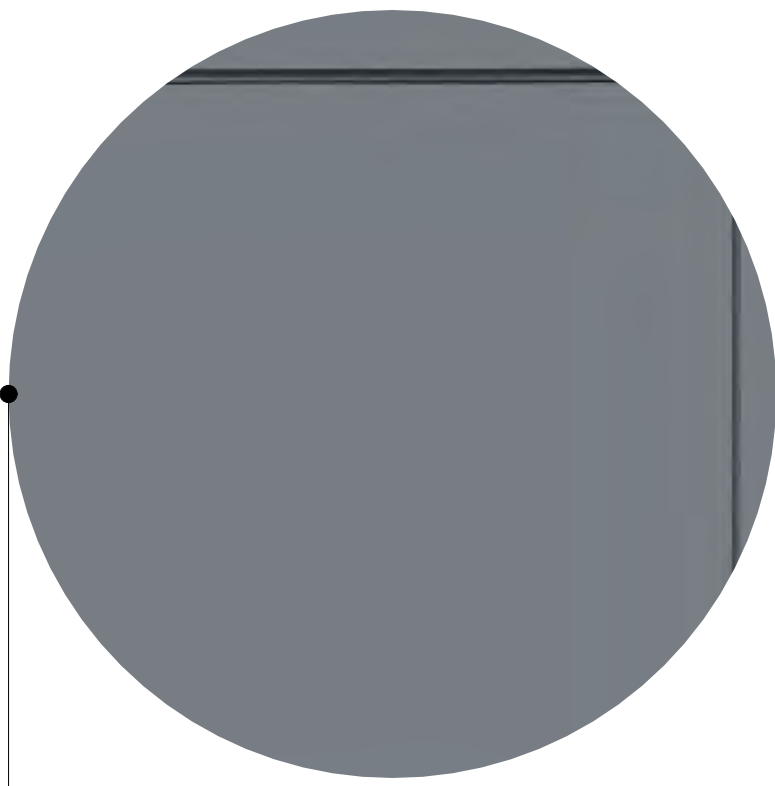
B CEMENTITIOUS LAP SIDING
colour: WHITE



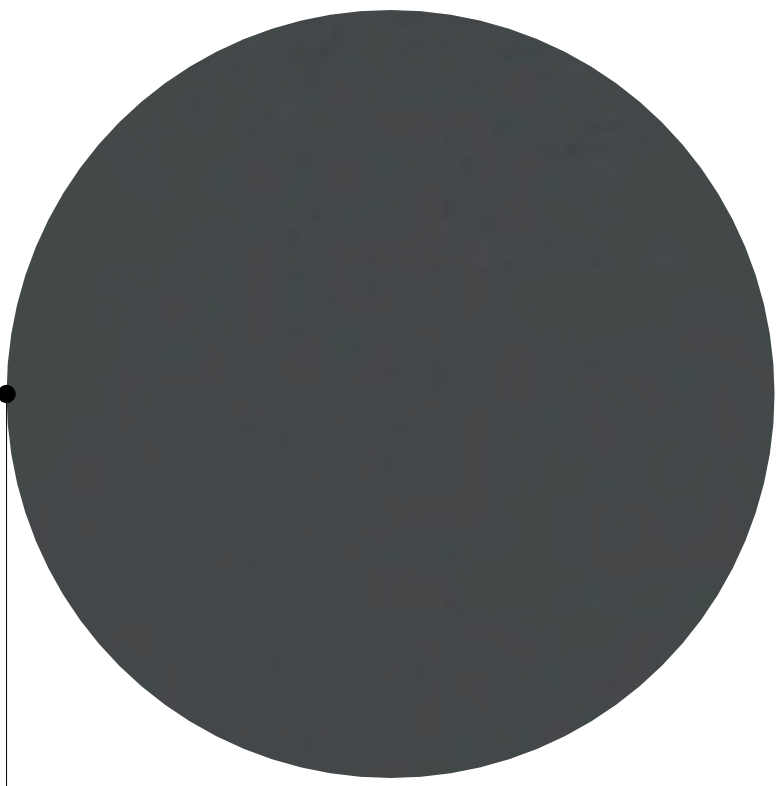
B1 CEMENTITIOUS LAP SIDING
colour: LIGHT GREY



C CEMENTITIOUS PANEL BOARD
W/ REVEAL
colour: DARK GREY



C1 CEMENTITIOUS PANEL BOARD
W/ REVEAL
colour: GREY



D CEMENTITIOUS PANEL
BOARD SYSTEM
colour: DARK GREY



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MATERIAL SCHEDULE

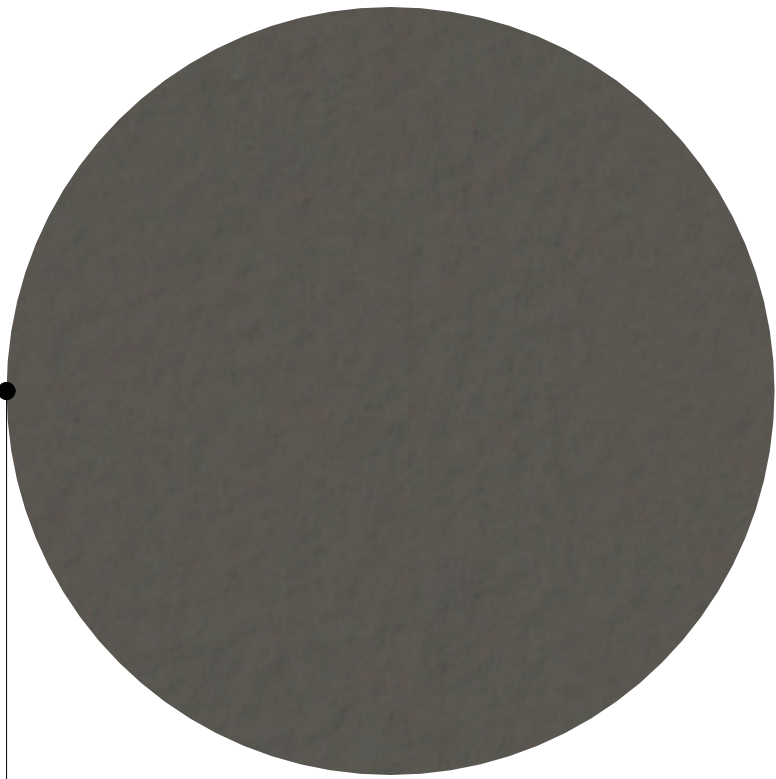
	A	B	B1	C	C1
Building Elements	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Cream	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Cream	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

	D	D1	D2	D3	E
Building Elements	Cladding	Cladding	Cladding	Cladding	Soffit
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

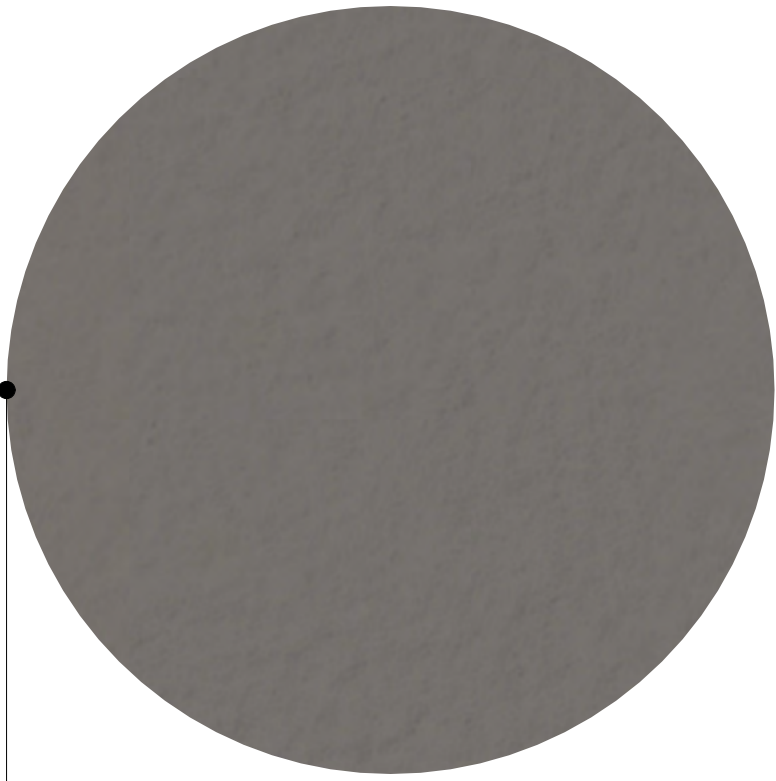
	E1	F	G	H	J
Building Elements	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc...	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

	J1	K	K1	L	L1
Building Elements	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

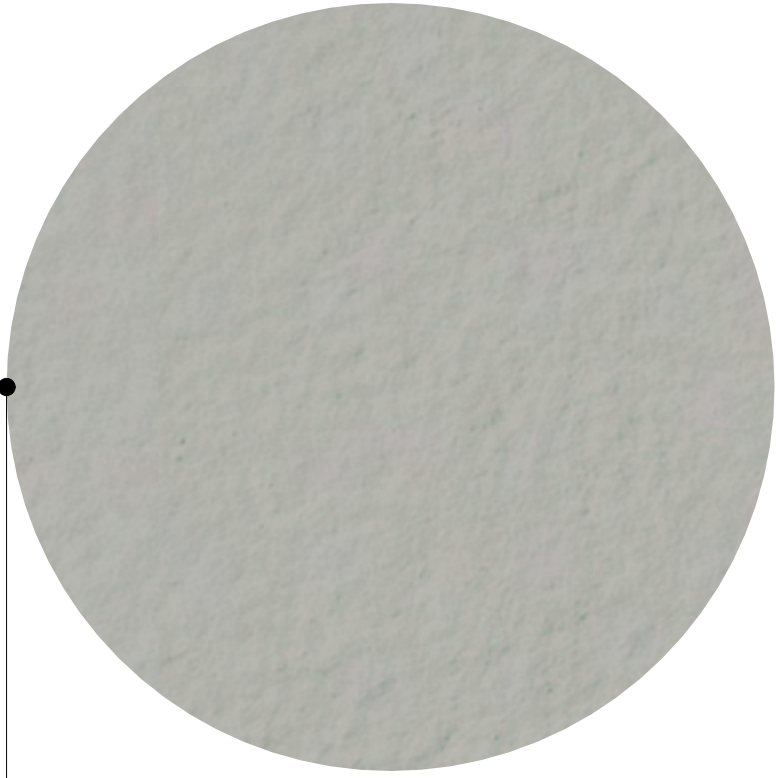
	L2	M	N	P	
Building Elements	Typical Unit Entry	Garage Doors	Retaining Walls	Vertical Slats	
Colour	White	Dark Brown / Black	Grey	Grey	
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Painted Aluminum	
Product	TBC	TBC	TBC	TBC	
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Grey	
Manufacturer	TBC	TBC	TBC	TBC	



D1 CEMENTITIOUS PANEL
BOARD SYSTEM
colour: GREY



D2 CEMENTITIOUS PANEL
BOARD SYSTEM
colour: MEDIUM GREY



D3 CEMENTITIOUS PANEL
BOARD SYSTEM
colour: LIGHT GREY

[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

**MATERIAL
FINISHES**

[PROJECT]

21583

[SCALE]

[DATE]

Monday, September 26, 2022

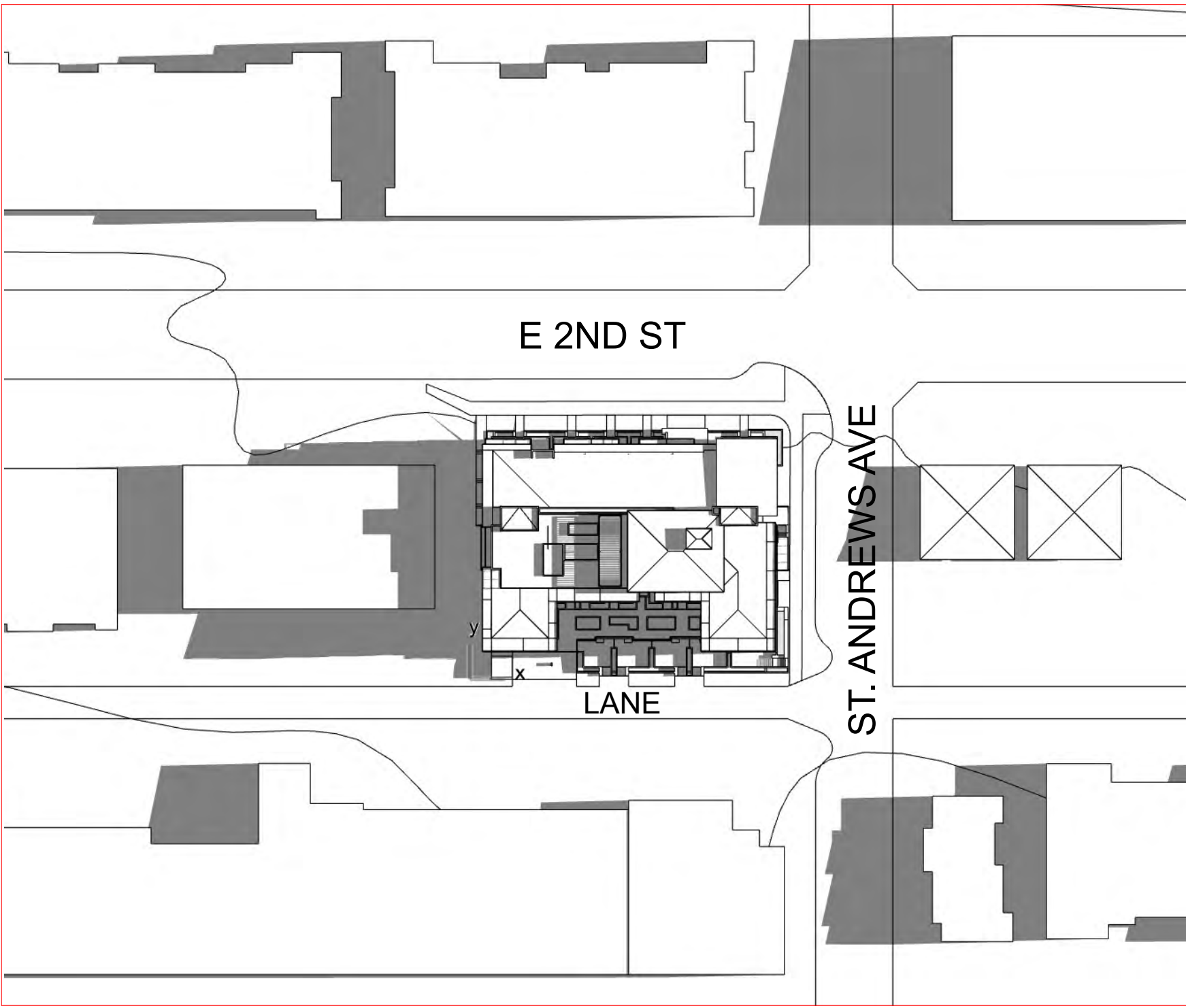
[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-8.010

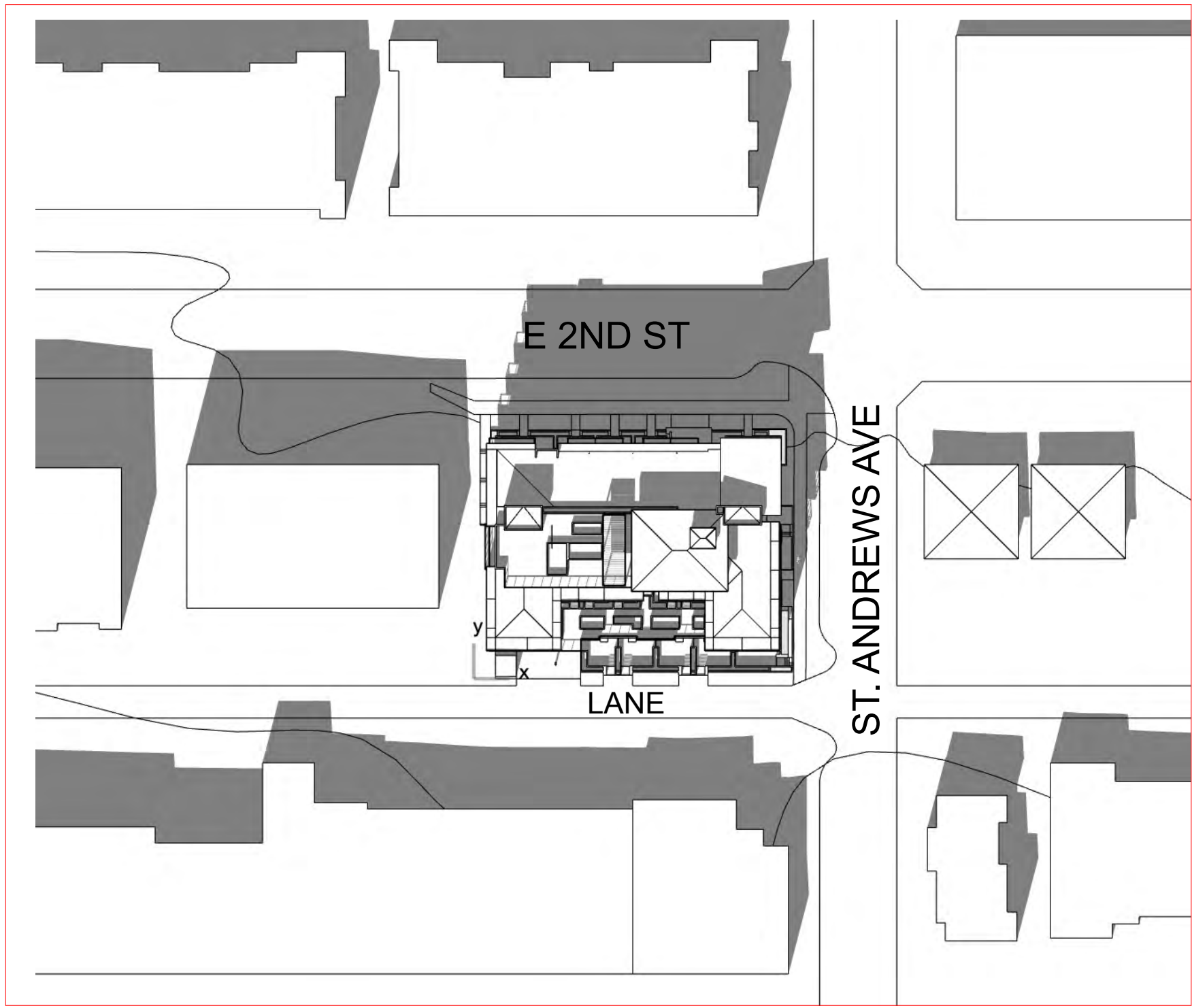
SPRING EQUINOX
MARCH 21



10 AM

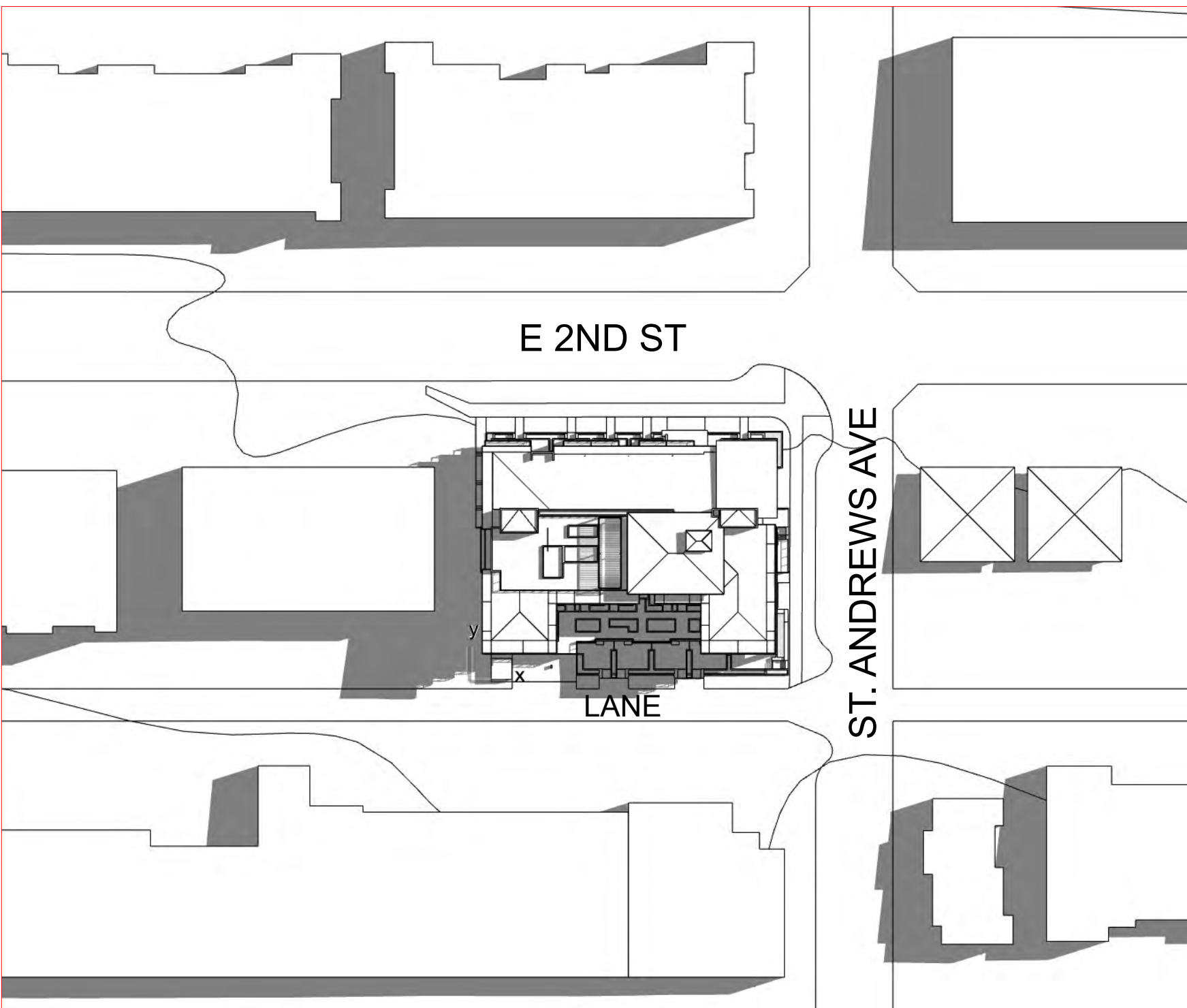


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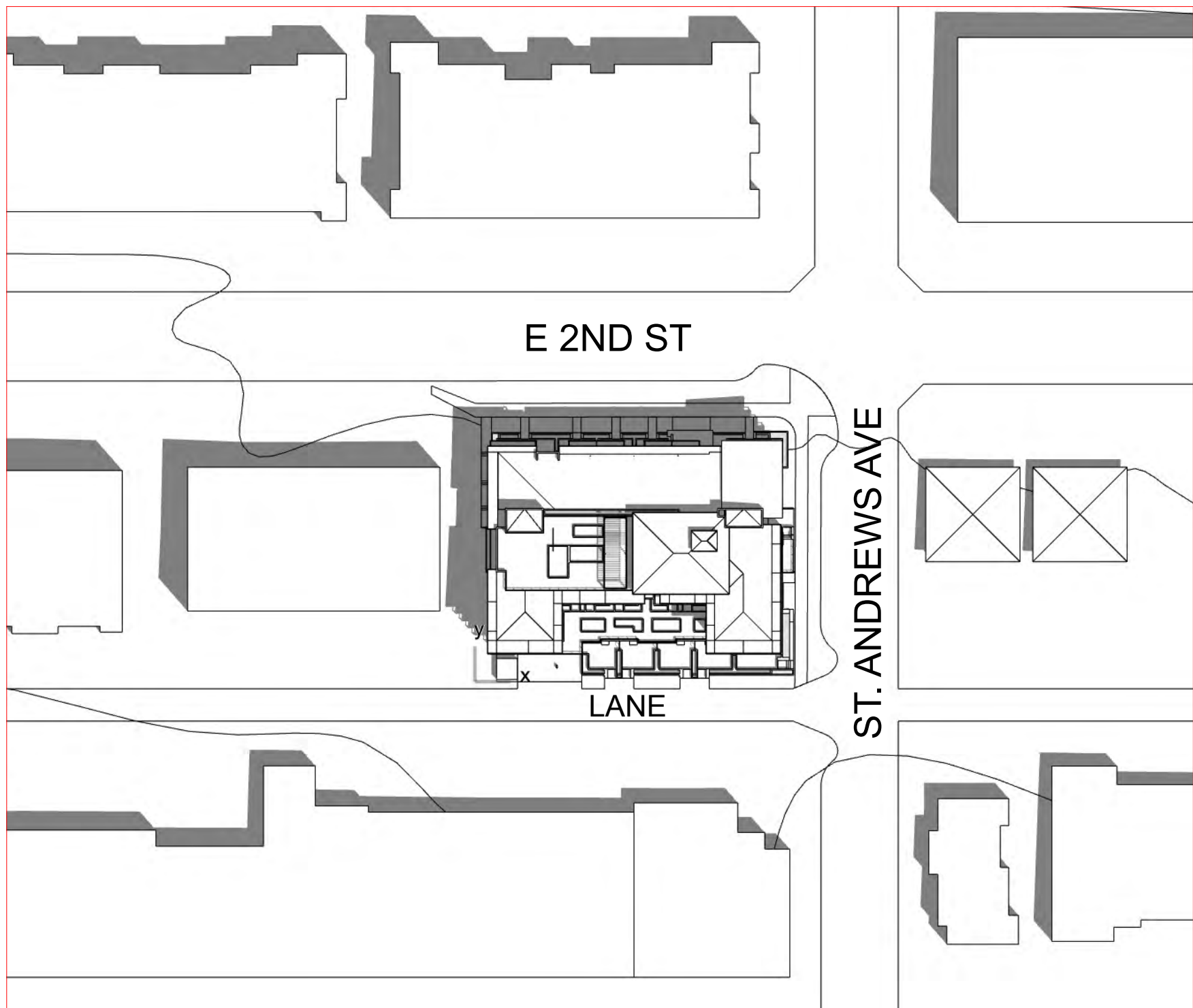


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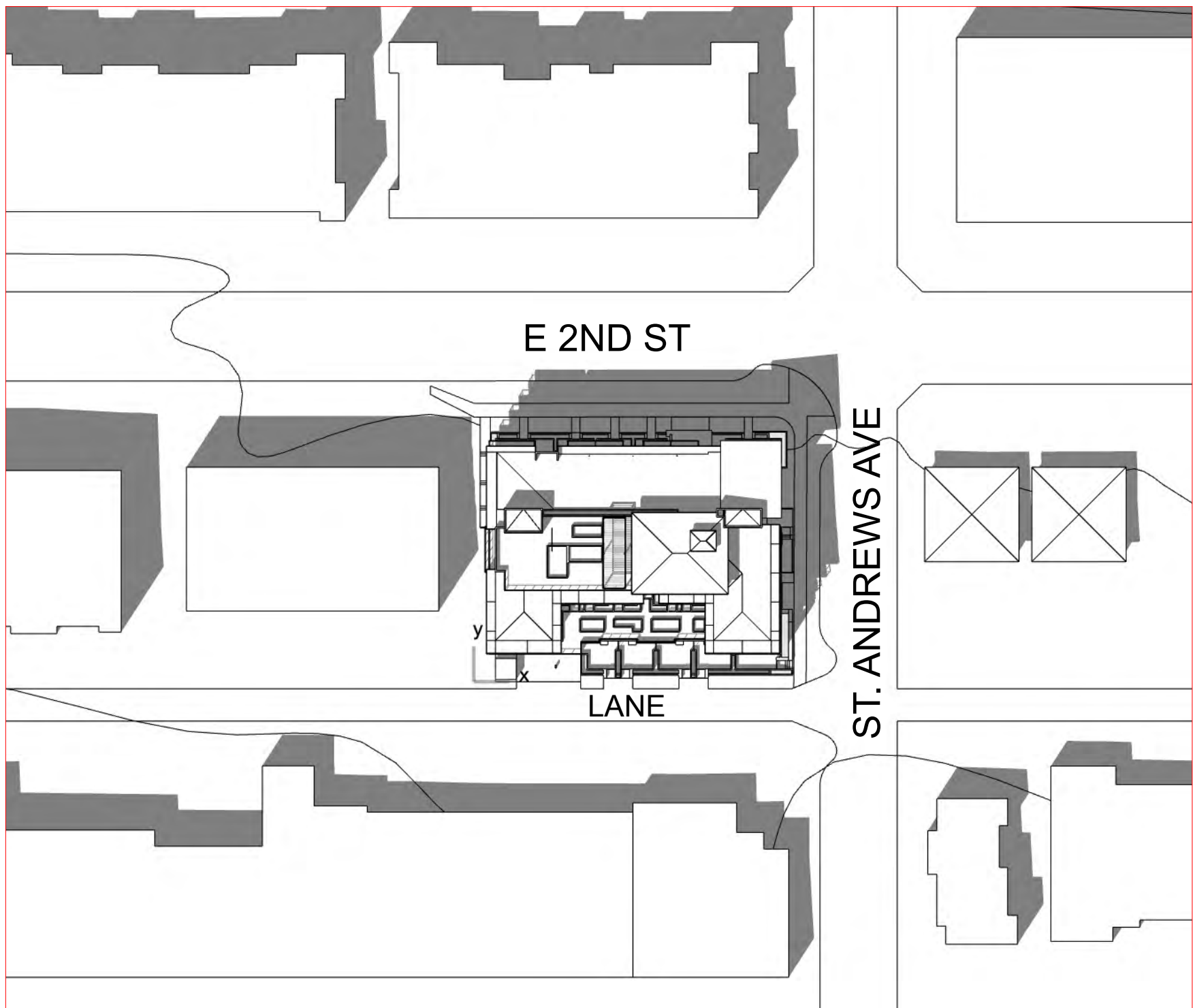
SUMMER SOLSTICE
JUNE 21



10 AM



12 PM



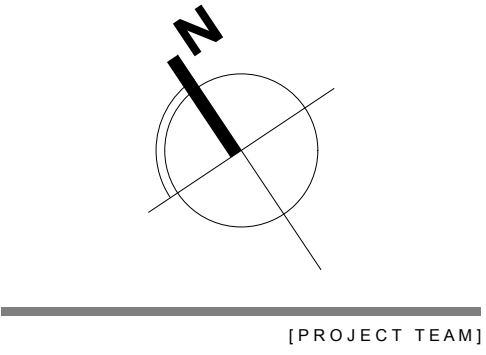
2 PM



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[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

SHADOW STUDY

[PROJECT]

21583

[SCALE]

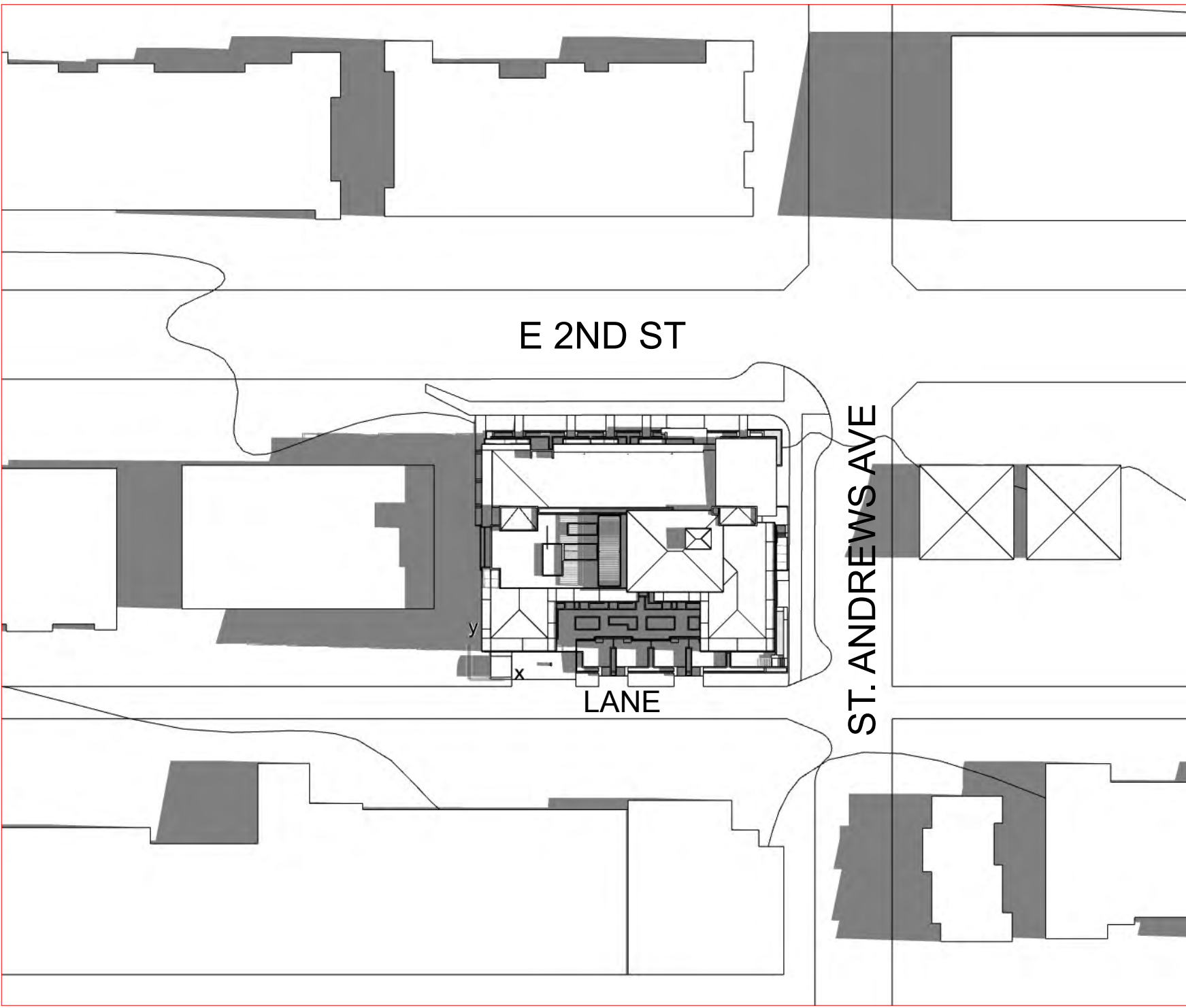
Monday, September 26, 2022

DP / Rezoning - 2

[DRAWING]

A-8.500

FALL EQUINOX
SEPTEMBER 23



10 AM

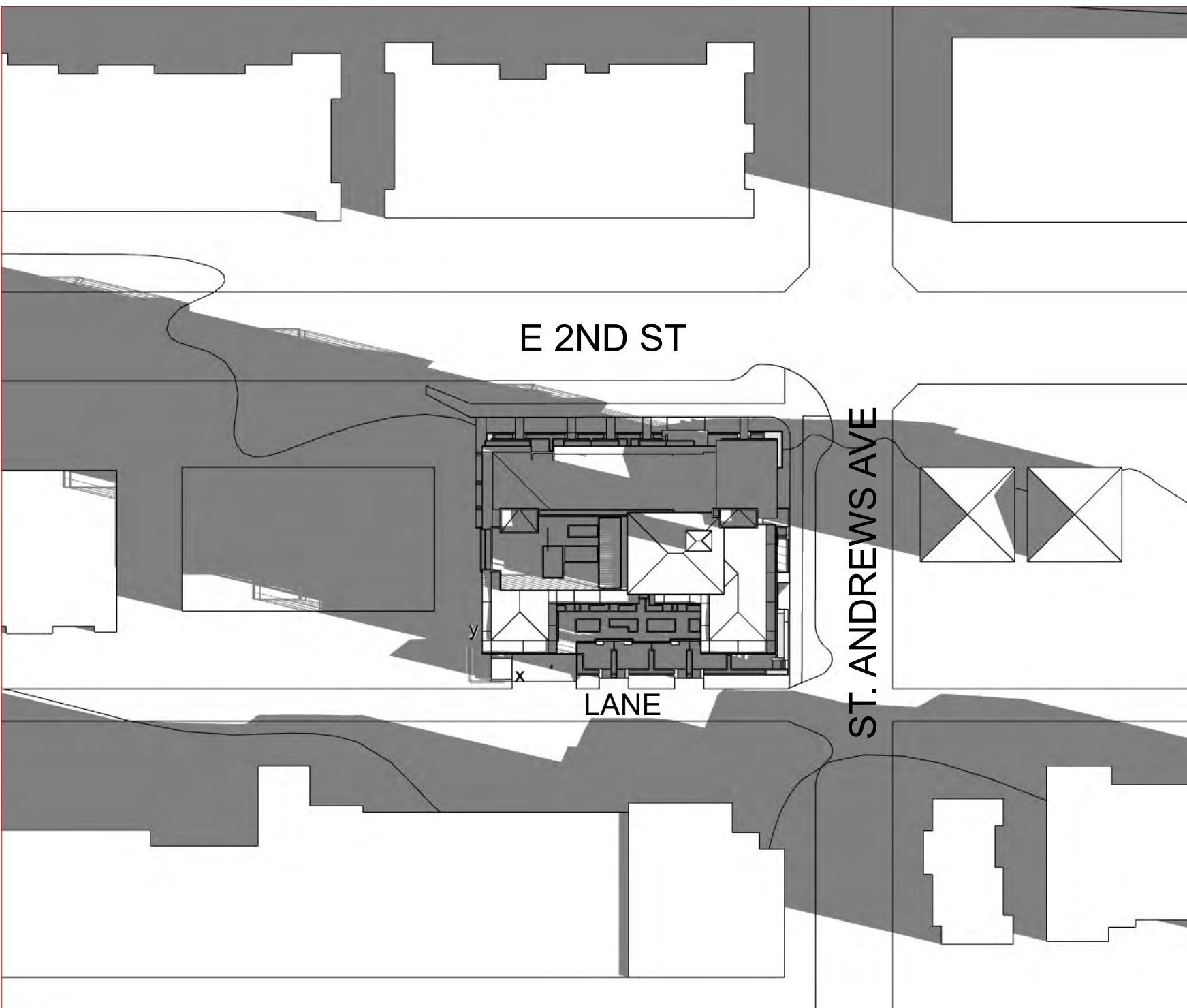


12 PM



2 PM

WINTER SOLSTICE
DECEMBER 21



10 AM



12 PM

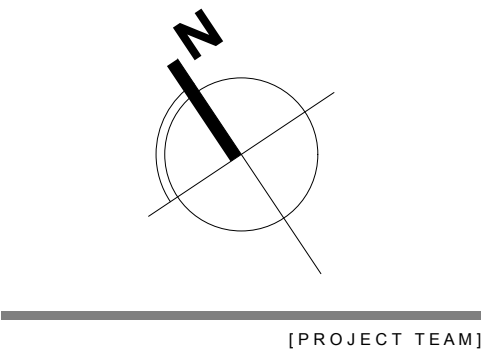


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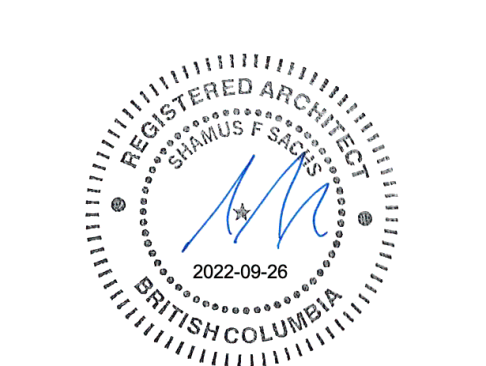


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[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

SHADOW STUDY

[PROJECT]

21583

[SCALE]

Monday, September 26, 2022

DP / Rezoning - 2

[DRAWING]

A-8.501

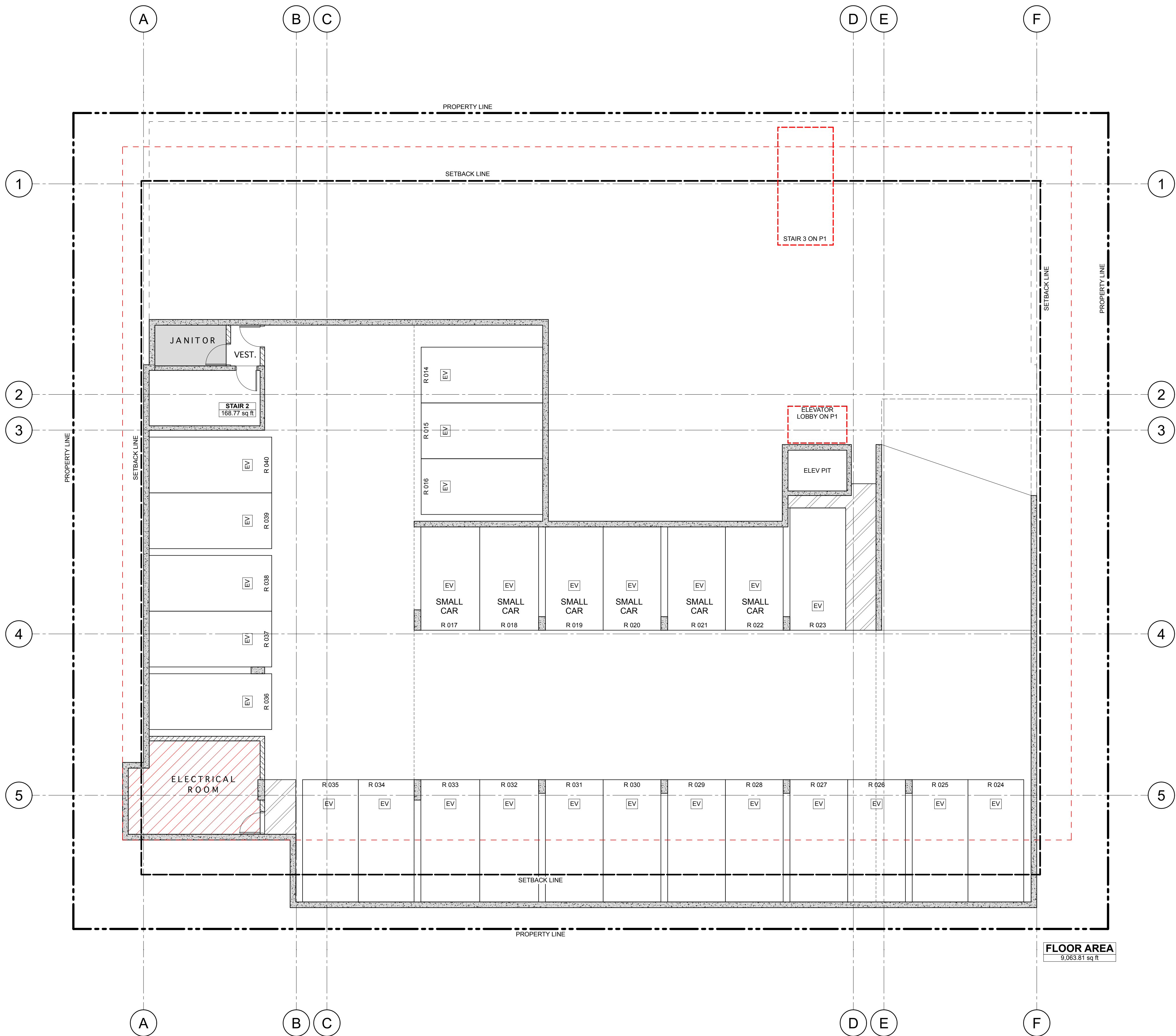
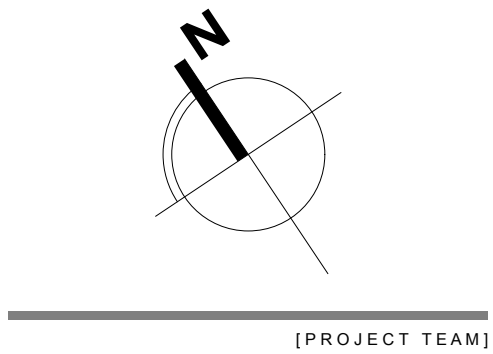


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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft
AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
RESIDENTIAL LOBBY (LEVEL 1)

AREA - BALCONY & PATIO

AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS

AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY - LEVEL P2 PARKING

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]


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[DRAWING]

A-9.001



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[PROJECT TEAM]



A-9.002

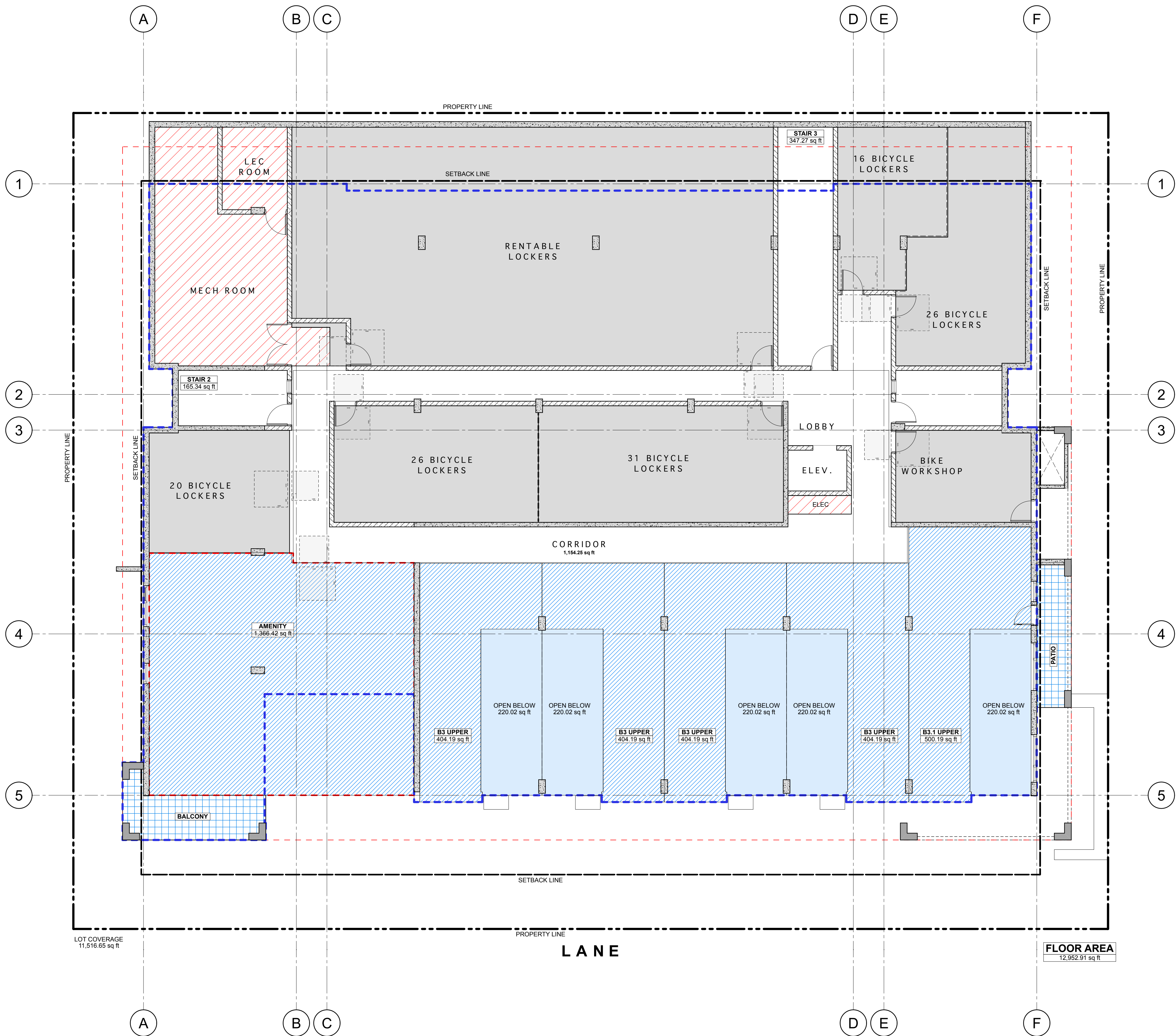
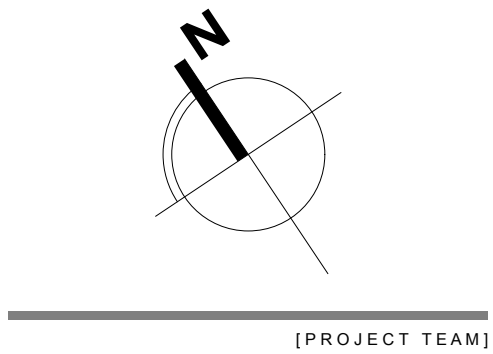


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ST ANDREWS AVE

- AREAS INCLUDED IN THE GFA CALCULATION**
- xx.xx sq ft AREA - LEVELS 1 TO ROOF TOP PATIO
 - UNIT AREA
 - COMMON CORRIDOR & ELEVATOR SHAFT
- AREAS OF GFA EXCLUSION**
- AREA - EXCLUSION FROM GFA
 - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
 - ADAPTABLE UNITS - 20 sq ft PER UNIT
 - DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
 - RESIDENTIAL LOBBY (LEVEL 1)
 - AREA - BALCONY & PATIO
 - AREA - U/G PARKING & BASEMENT
 - COMMON STORAGE
 - BICYCLE LOCKERS
 - AREA - SERVICE ROOMS
 - SERVICE ROOMS AT U/G PARKING & BASEMENT,
 - SERVICE SHAFTS, GARBAGE ROOM
 - AREA - U/G PARKING & BASEMENT
 - PARKING STALLS, WALKING PATHS & DRIVE AISLES
 - STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)
- AREA OF LOT COVERAGE**
- AREA - LOT COVERAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

AREA OVERLAY - BASEMENT & LANE UNIT UPPER FLOOR

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, September 26, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

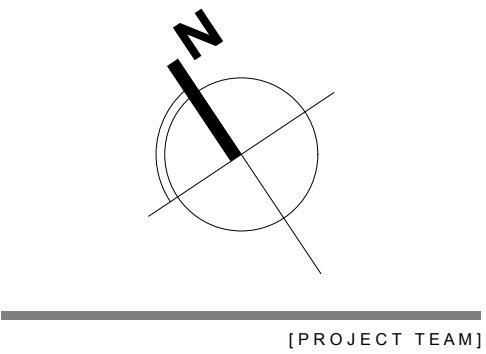
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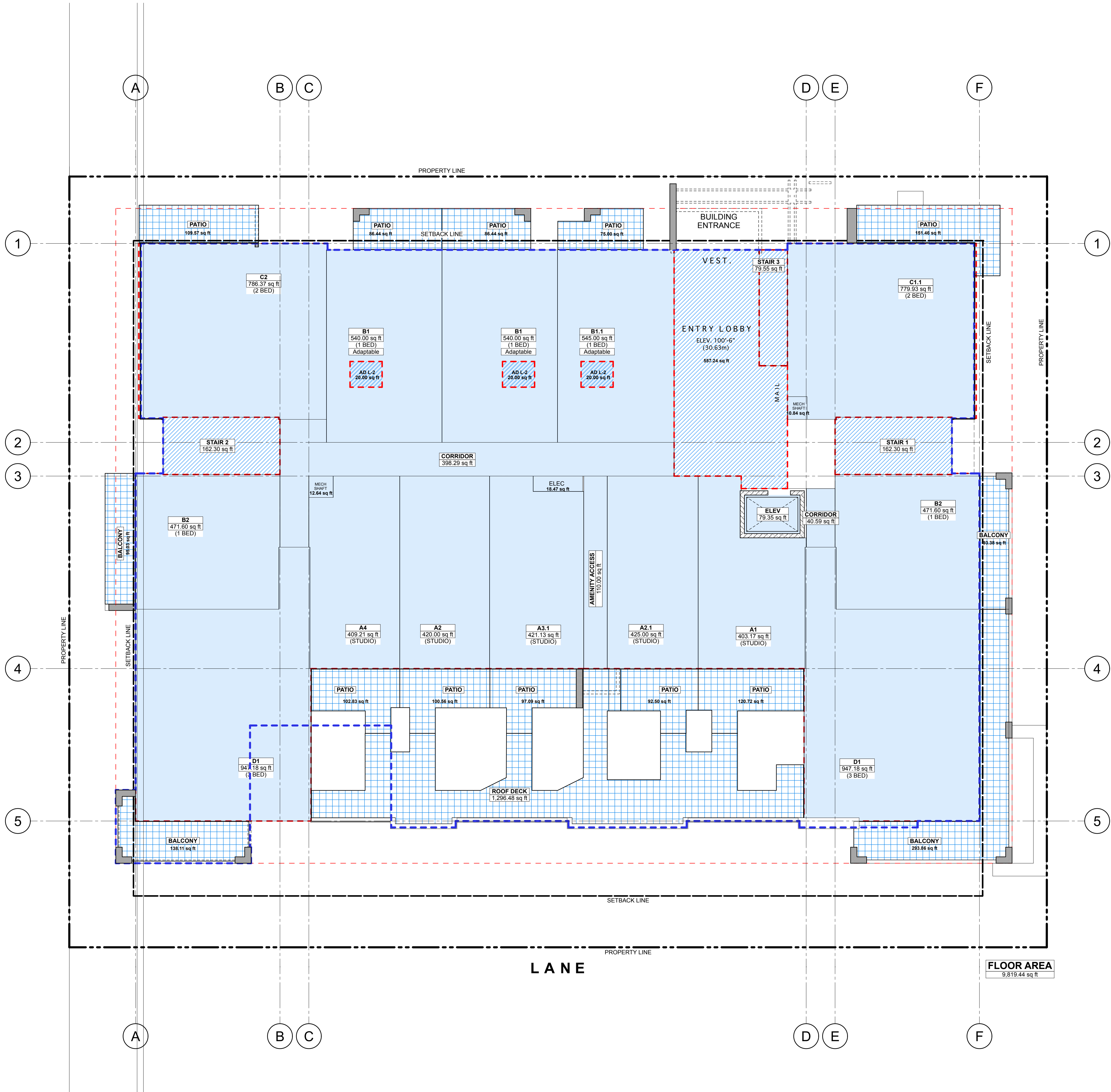
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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
RESIDENTIAL LOBBY (LEVEL 1)

AREA - BALCONY & PATIO

AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS

AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -
LEVEL 1

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.004

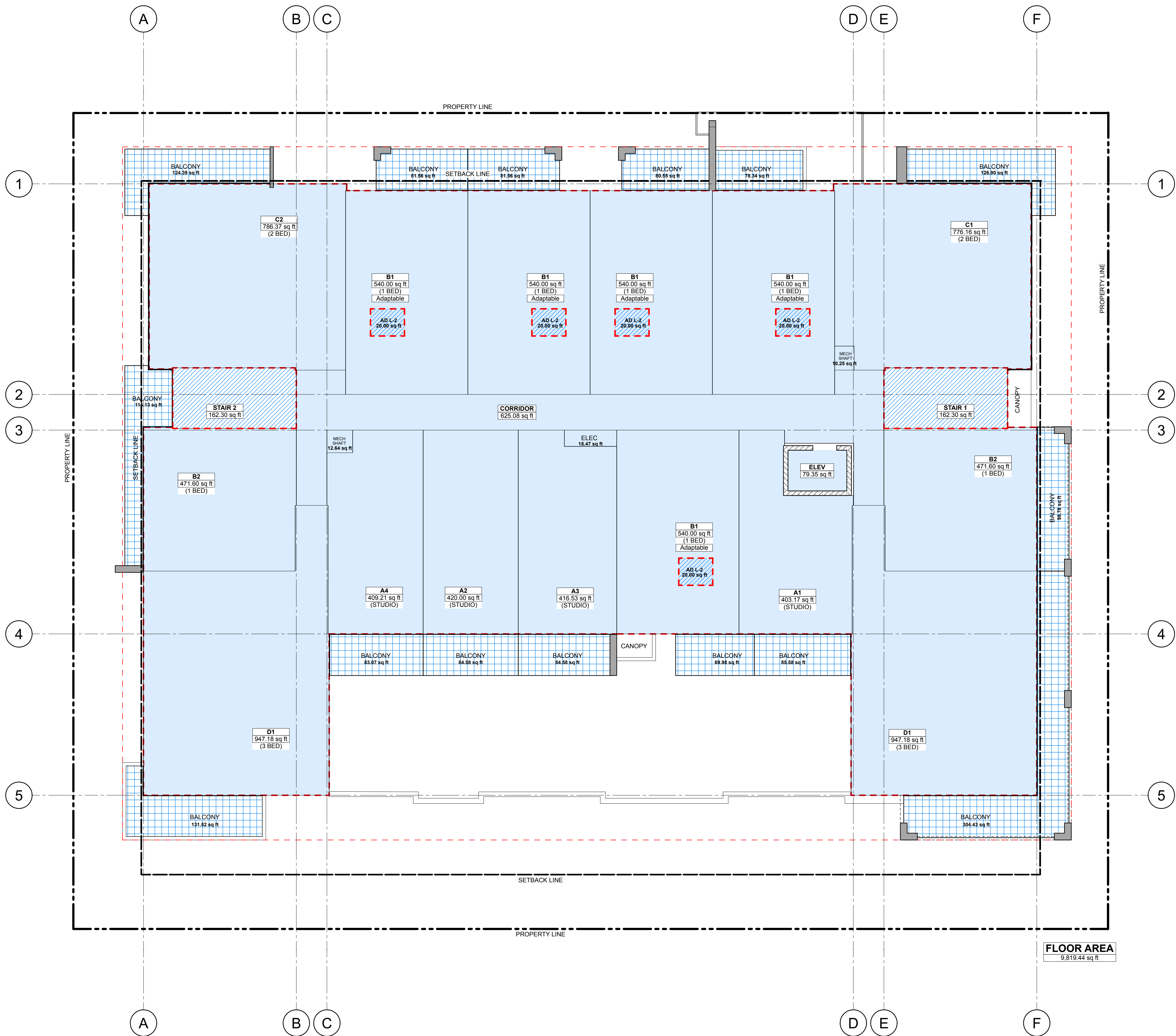
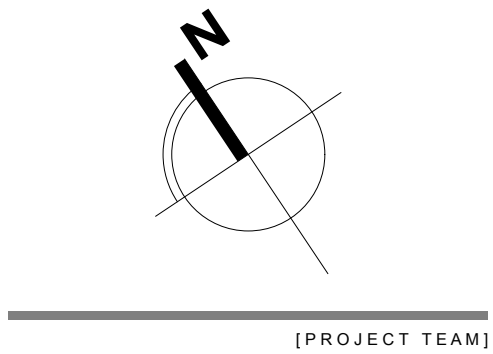


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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft
AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
RESIDENTIAL LOBBY (LEVEL 1)

AREA - BALCONY & PATIO

AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS

AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -
LEVEL 2

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.005

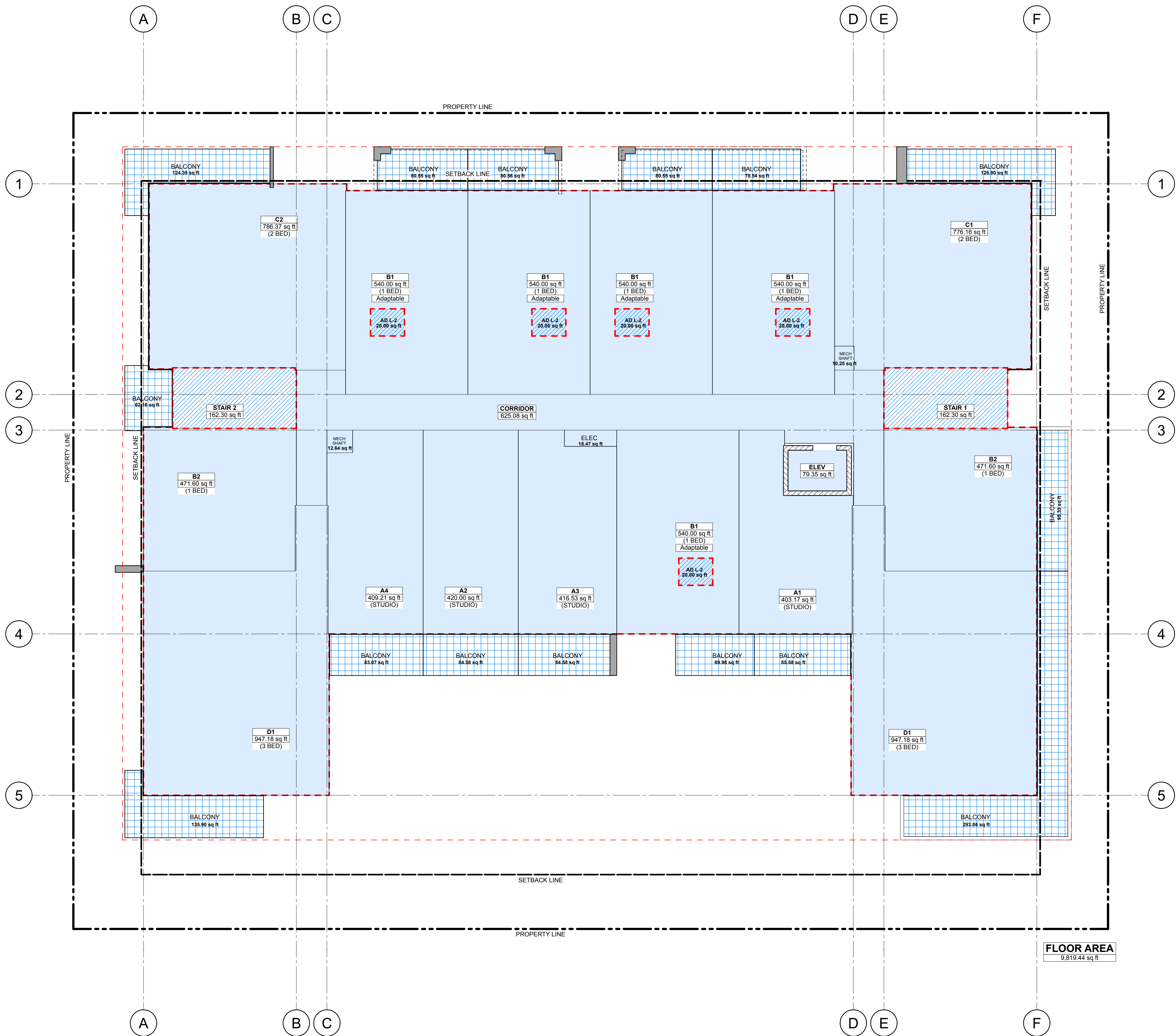
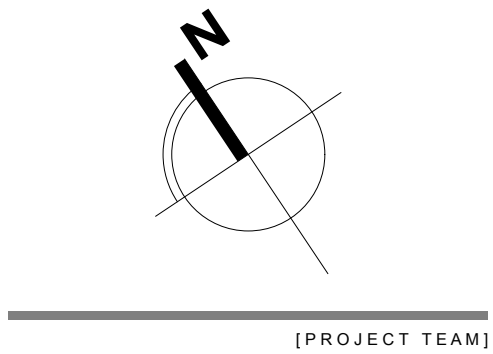


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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft
AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
RESIDENTIAL LOBBY (LEVEL 1)

AREA - BALCONY & PATIO

AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS

AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

FLOOR AREA
9,819.44 sq ft

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -
LEVEL 3

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.006

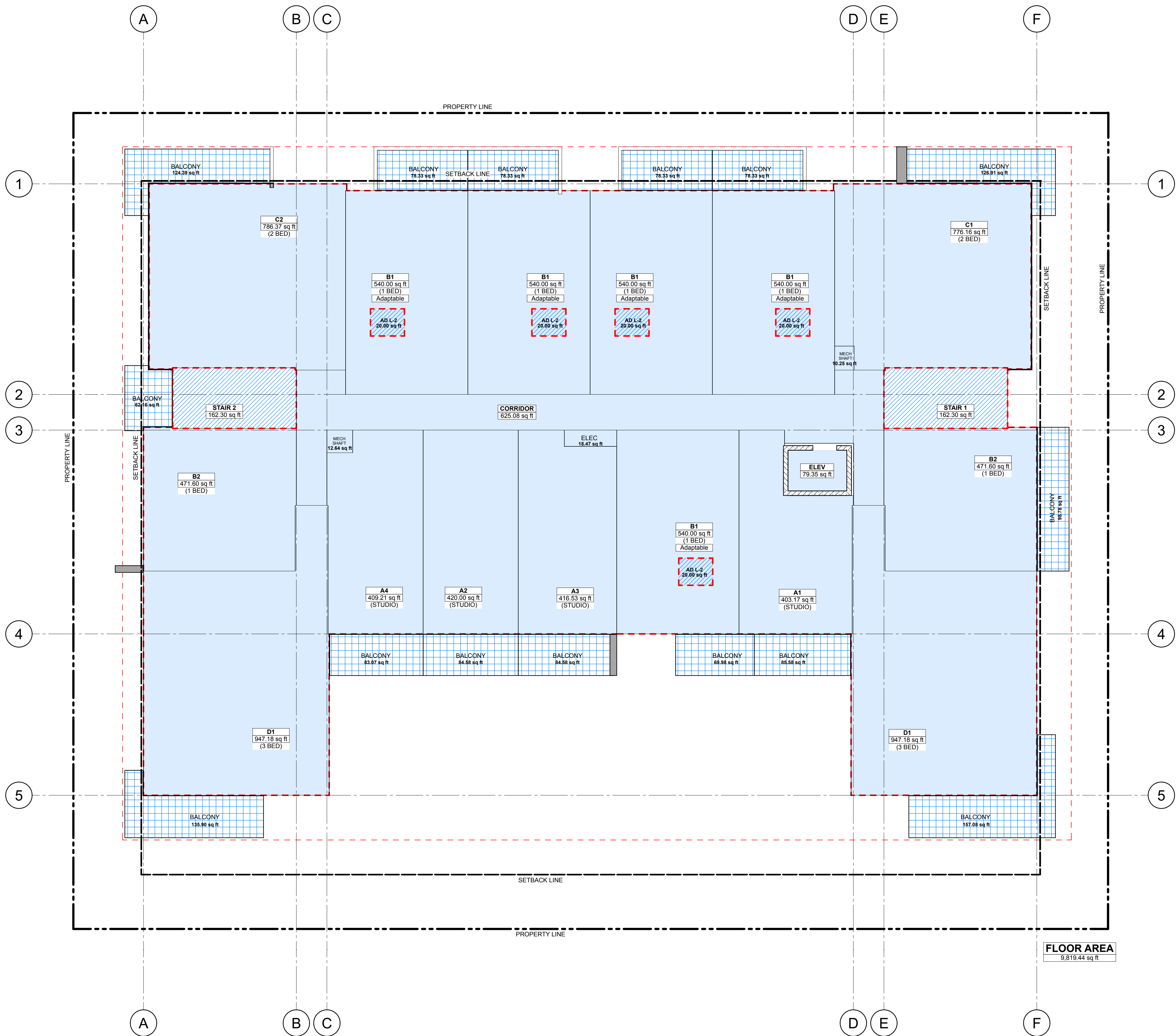
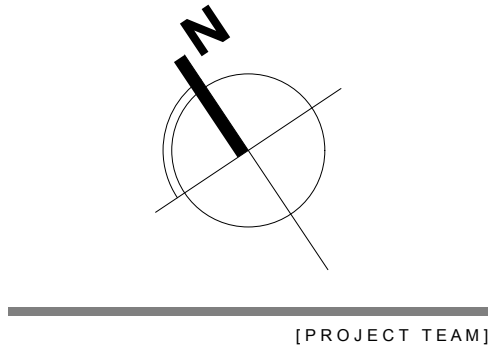


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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft
AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

- AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
RESIDENTIAL LOBBY (LEVEL 1)
- AREA - BALCONY & PATIO
- AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS
- AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM
- AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

FLOOR AREA
9,819.44 sq ft

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -
LEVEL 4

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.007

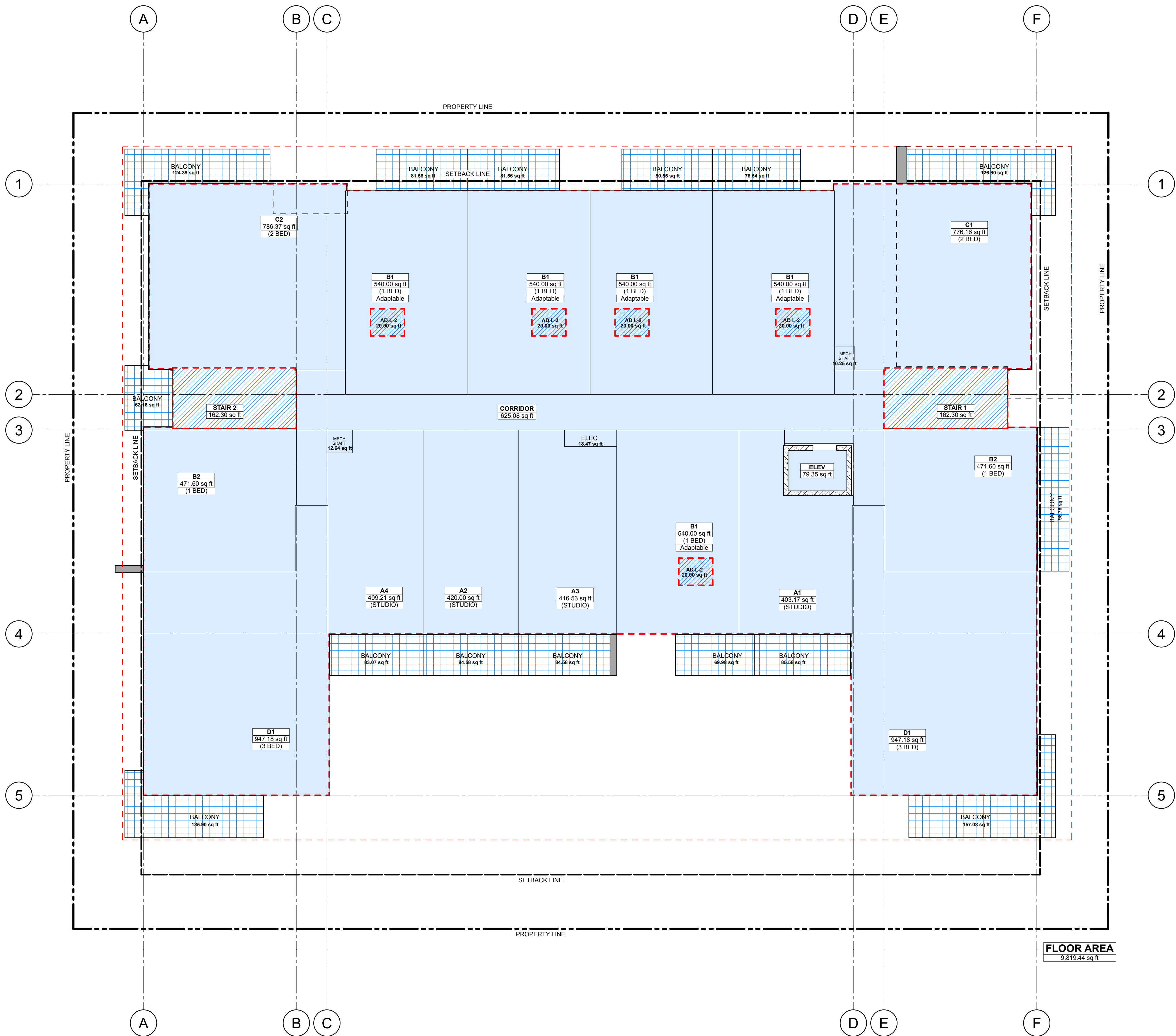
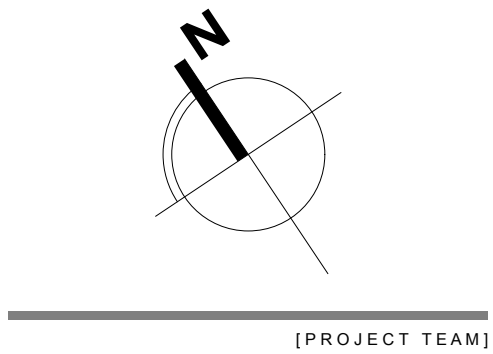


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AREAS INCLUDED IN THE GFA CALCULATION

AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
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COMMON STORAGE
BICYCLE LOCKERS

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SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

FLOOR AREA
9,819.44 sq ft

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -
LEVEL 5

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.008

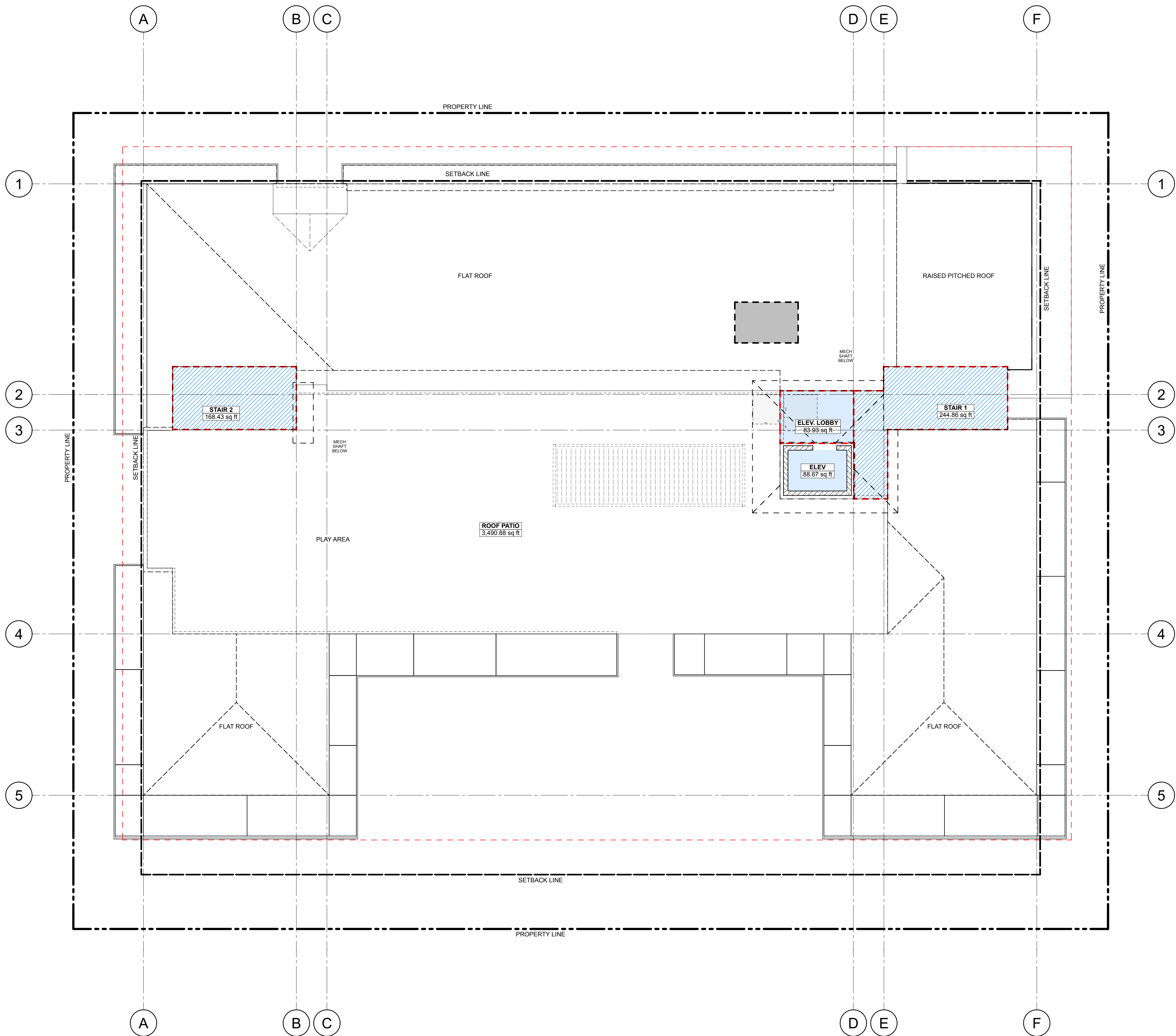
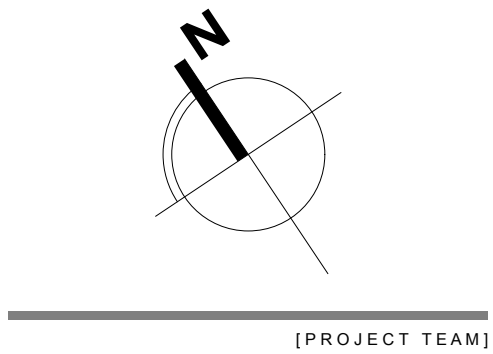


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AREAS INCLUDED IN THE GFA CALCULATION

xx.xx sq ft
AREA - LEVELS 1 TO ROOF TOP PATIO
UNIT AREA
COMMON CORRIDOR & ELEVATOR SHAFT

AREAS OF GFA EXCLUSION

AREA - EXCLUSION FROM GFA
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY
ADAPTABLE UNITS - 20 sqft PER UNIT
DWELLING UNITS - LANE UNITS (LOCATED IN CELLAR)
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AREA - U/G PARKING & BASEMENT
COMMON STORAGE
BICYCLE LOCKERS

AREA - SERVICE ROOMS
SERVICE ROOMS AT U/G PARKING & BASEMENT,
SERVICE SHAFTS, GARBAGE ROOM

AREA - U/G PARKING & BASEMENT
PARKING STALLS, WALKING PATHS & DRIVE AISLES
STAIR & ELEV SHAFTS (INCL. ELEV LOBBY & CORR)

AREA OF LOT COVERAGE

AREA - LOT COVERAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY - ROOF LEVEL

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, September 26, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.009