

CONTACT LIST

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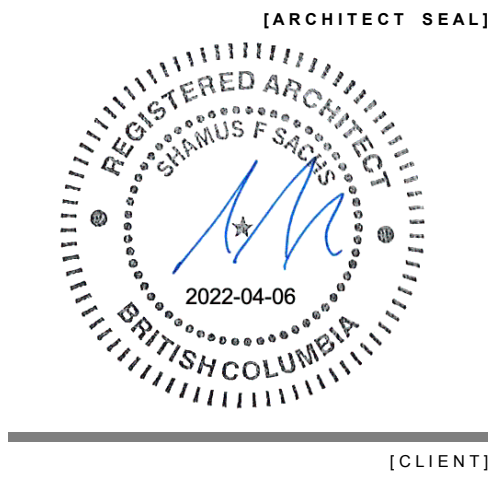
RENTAL HOUSING DEVELOPMENT  
275 EAST 2ND STREET | NORTH VANCOUVER | BC | REZONING | DP SUBMISSION - 2



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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

COVER PAGE

21583 [PROJECT]

[SCALE]

Wednesday, April 6, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

A-0.000



PROJECT DATA - DP/REZONING 5-STOREY PURPOSE BUILT RENTAL BUILDING

EXISTING ADDRESS	275 E 2nd St, North Vancouver, BC
PROPOSED ADDRESS	
LEGAL DESCRIPTION	PID 008-717-231

PROJECT ARCHITECT	
PROJECT OWNER	
OCP LAND USE DESIGNATION	Residential Level 5: Medium Density Apartment R5
EXISTING ZONING	RM-1
PROPOSED ZONING	CD

SITE AREA :			
Gross Site Area		18,298	sq.ft. 1,699.93 m2
Road Dedications	TBC	-	sq.ft. - m2
Net Site Area		18,298	sq.ft. 1,699.93 m2
Max FSR (Gross Site Area)	1.60 OCP Density	29,277	sq.ft. 2,719.88 m2
Max Bonus FSR	1.00 With Public Benefits		
Max FSR (Gross Site Area)	2.60 Purpose Built Rental Housing	47,648	sq.ft. 4,426.6 m2
Total Proposed Gross Floor Area		57,965	sq.ft. 5,385.1 m2
Total Proposed Exclusions		10,316	sq.ft. 958.4 m2
Proposed FSR (Gross site area)	2.60	47,649	sq.ft. 4,426.7 m2

Max. Site Coverage	50%	9,149.00	sq.ft. 849.96 m2
Lot Coverage	54%	9,819	sq.ft. 912.25 m2

UNIT SUMMARY:														
Unit Type	Parkade	1st	2nd	3rd	4th	5th	Roof / Amenity	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m2)	%	Unit Mix
A1 - Studio		1	1	1	1	1		5	403.2	2,015.9		187.3	6.3%	27%
A2 - Studio		1	1	1	1	1		5	420.0	2,100.0		195.1	6.3%	
A3 - Studio		1	1	1	1	1		5	416.5	2,082.7		193.5	6.3%	
A3.1 - Studio		1						1	421.1	421.1		39.1	1.3%	
A4 - Studio		1	1	1	1	1		5	409.2	2,046.1		190.1	6.3%	
														Studio
B1 - 1Bed (AD L-2)		2	5	5	5	5		22	540.0	11,880.0		1,103.7	27.8%	48.1%
B1.1 - 1Bed (AD L-2)		1						1	545.0	545.00		50.6	1.3%	
B2 - 1Bed		2	2	2	2	2		10	471.6	4,716.00		438.1	12.7%	
B3 - 1Bed + Loft (Lane Unit)	4							4	1,124.4	4,497.60		417.8	5.1%	
B3.1 - 1Bed + Loft (Land Unit)	1							1	1,221.3	1,221.29		113.5	1.3%	
														1 Bed
C1 - 2Bed			1	1	1	1		4	802.5	3,210.04		298.2	5.1%	12.7%
C1.1 - 2Bed		1						1	807.5	807.50		75.0	1.3%	
C2 - 2Bed		1	1	1	1	1		5	813.0	4,064.75		377.6	6.3%	
														2 Bed
D1 - 3Bed		2	2	2	2	2		10	947.2	9,471.8		880.0	12.7%	12.7%
														3 Bed
Total		14	15	15	15	15		79		49,080		4,559.6	100.0%	100%

FSR CALCULATION:									
Exclusion Summary	Min.	No Units	Stair 01	Area HRV			per Unit	Total Exclusions	Comments
Access to Amenity-Roof Level								496.63 sq.ft.	46.14 m2 Active Design Guidelines
Access to Amenity-L1 Level								513.36 sq.ft.	47.69 m2 Active Design Guidelines
Adaptable Units Level 2 ( 20 sf / unit )	20	23					20.0	460.00 sq.ft.	42.74 m2 25.0% Units AD Level 2
IndoorAmenity min 2% / 15sf unit	1,185	79					17.3	1363.29 sq.ft.	126.70 m2 Min 15 SF / Unit
Elevator								396.75 sq.ft.	36.87 m2 Floor 2-Roof
Stairs (Active Design) - 8% max								0.00 sq.ft.	0.00 m2 0.0% (Floor 2-5)
Services (Mech Shaft & Elec Rm)								176.71 sq.ft.	16.42 m2
Lane Units @ Parkade (B3's & B3.1)								5718.89 sq.ft.	531.50 m2 See "Cellar" definition (*)
Basement Corridor								1190.56 sq.ft.	110.65 m2
Total Exclusions From FSR								10,316.2 sq.ft.	958.40 m2

\* Cellar means the space directly below the first storey, the lower floor of which is more than 1.52m (5 ft) below average grade and the area of which does not exceed the area of first storey.

Gross Floor Area	Unit Area	Common Area	Total GFA		Efficiency L1 - L6
Gross Area - Lane Units (upper & lower) & Corridor @ Basement	5,718.89 sq.ft.	2,553.85 sq.ft.	8,272.74 sq.ft.	769 m2	69.1%
Gross Area - 1st Floor	8,153.05 sq.ft.	1,666.39 sq.ft.	9,819.44 sq.ft.	912 m2	83.0%
Gross Area - 2nd Floor	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2	89.6%
Gross Area - 3rd Floor	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2	89.6%
Gross Area - 4th Floor	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2	89.6%
Gross Area - 5th Floor	8,801.93 sq.ft.	1,017.51 sq.ft.	9,819.44 sq.ft.	912 m2	89.6%
Gross Area - Roof Level (Amenity)	0.00 sq.ft.	594.78 sq.ft.	594.78 sq.ft.	55 m2	
Total Gross Area	49,080 sq.ft.		57,964.7 sq.ft.	5,385 m2	Overall: 84.7%

PARKING SPACES:					
Minimum Parking Required	79 units @	0.50	space/unit	39.5	spaces
Visitor Parking Required	79 units @	0.10	space/unit	7.9	spaces inclusive of required parking
Parking Reduction	0%			0.0	spaces
Total Parking Required				47	spaces
Total Parking Provided				48	spaces
Disabled Parking Required:					
Level 1 - Adapatable Units	56 units @	0.50	space/unit	28	spaces inclusive of required parking
Level 2 / 3 - Adapatable Units	23 units @	0.50	space/unit	12	spaces inclusive of required parking
Disabled Parking Provided:				3	space inclusive of required parking
Max. Small Cars					
Provided Small Cars				17	spaces max
				11	spaces

BICYCLE SPACES:					
Required Secure Bicycle Parking	79 units	1.5	spaces/unit	119	spaces long term
Provided Secure Bicycle Parking	79 units	1.6	spaces/unit	123	spaces long term
Max vertical parking Spaces		35%	max	41	spaces long term no vertical parking provided
Required Short Term Bicycle Parking				6	spaces short term
Provided Short Term Bicycle Parking				6	spaces short term
Parkade not to exceed 1m (3.3 ft.) above average finished grade along perimeter of structure					
DOES NOT COMPLY					
129 spaces total bicycle spaces provided					

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed  
Note 2: All areas are approximate and are for zoning purposes only  
Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls  
Note 4: Dedications and setbacks subject to City of North Vancouver approval

GARBAGE (WEEKLY):

Mult-Family Residential	no. of units		Est. volume/unit	Total Volume	Container capacity		
Garbage	79 units		95 L	7505 L	2294 L (3 cu.yd.)	3	serviced twice/wk
NSRP Newprints	79 units		8.5 L	672 L	360 L (95 gal)	2	
NSRP Mixed Papers	79 units		15 L	1185 L	360 L (95 gal)	3	
NSRP Mixed Containers	79 units		9 L	711 L	360 L (95 gal)	2	
Cardboard	79 units		30 L	2370 L	1529 L (2 cu.yd.)	2	
Food Scraps	79 units		14 L	1106 L	240 L (64 gal)	5	
Mult-Family Residential	no. of units		Space/unit	Total Space			
Minimum space required	79 units		0.486 m2	38.4 m2	413.27 sq.ft.	Min11 m2	
Max additional space required	79 units		0.486 m2	38 m2			
Max total space required	79 units		0.972 m2	77 m2			
Space proposed	79 units		0.972 m2	77 m2	405.21 sq.ft.		



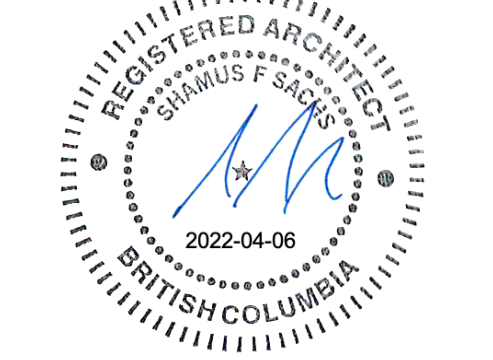
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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

PROJECT  
STATISTICSS

[PROJECT]

21583

[SCALE]

Wednesday, April 6, 2022

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A-0.010



**Legend**

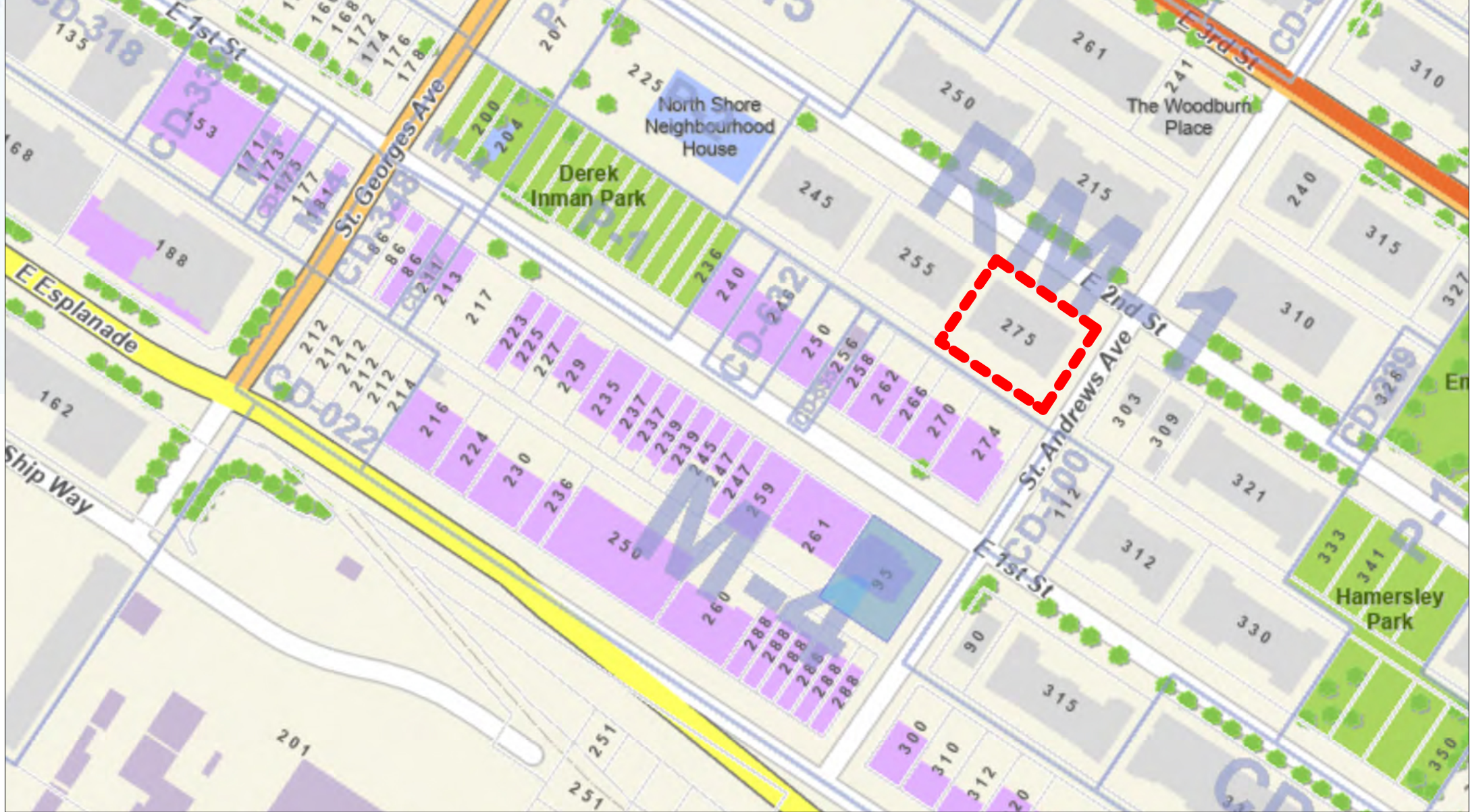
**Property**

**Zoning**

**Zoning Boundaries**

**Setback Arc**

**Land Use Contracts**



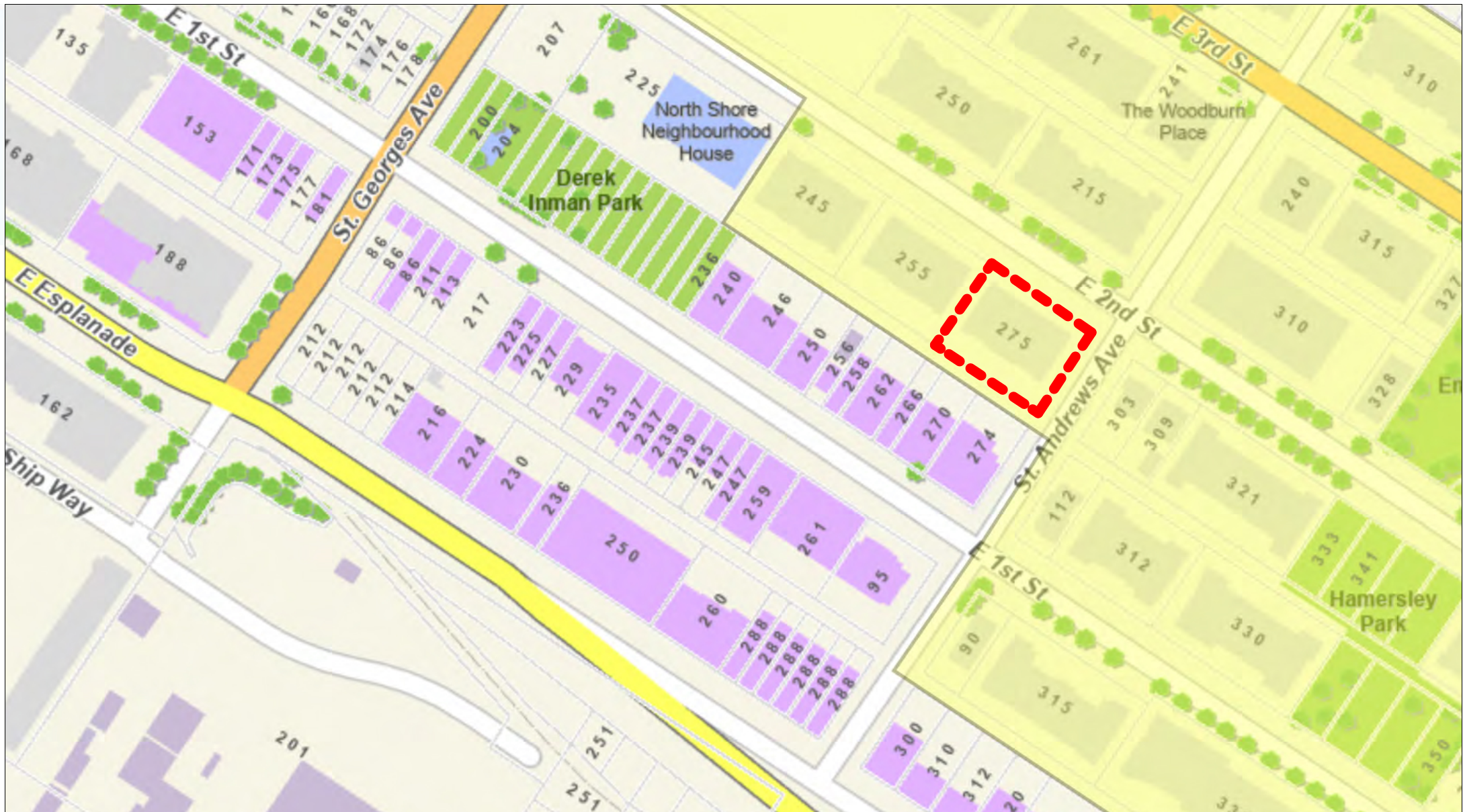
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**E3rd/Moodyville Development**

**Permit**

**Residential Apt Development**

**Permit (Pending)**



**Legend**

**Property**

**OCP 2014 Landuse**

**2014 OCP Maximum Height Limits (m)**

**2014 OCP Special Study Areas**

**2014 OCP Land Use**



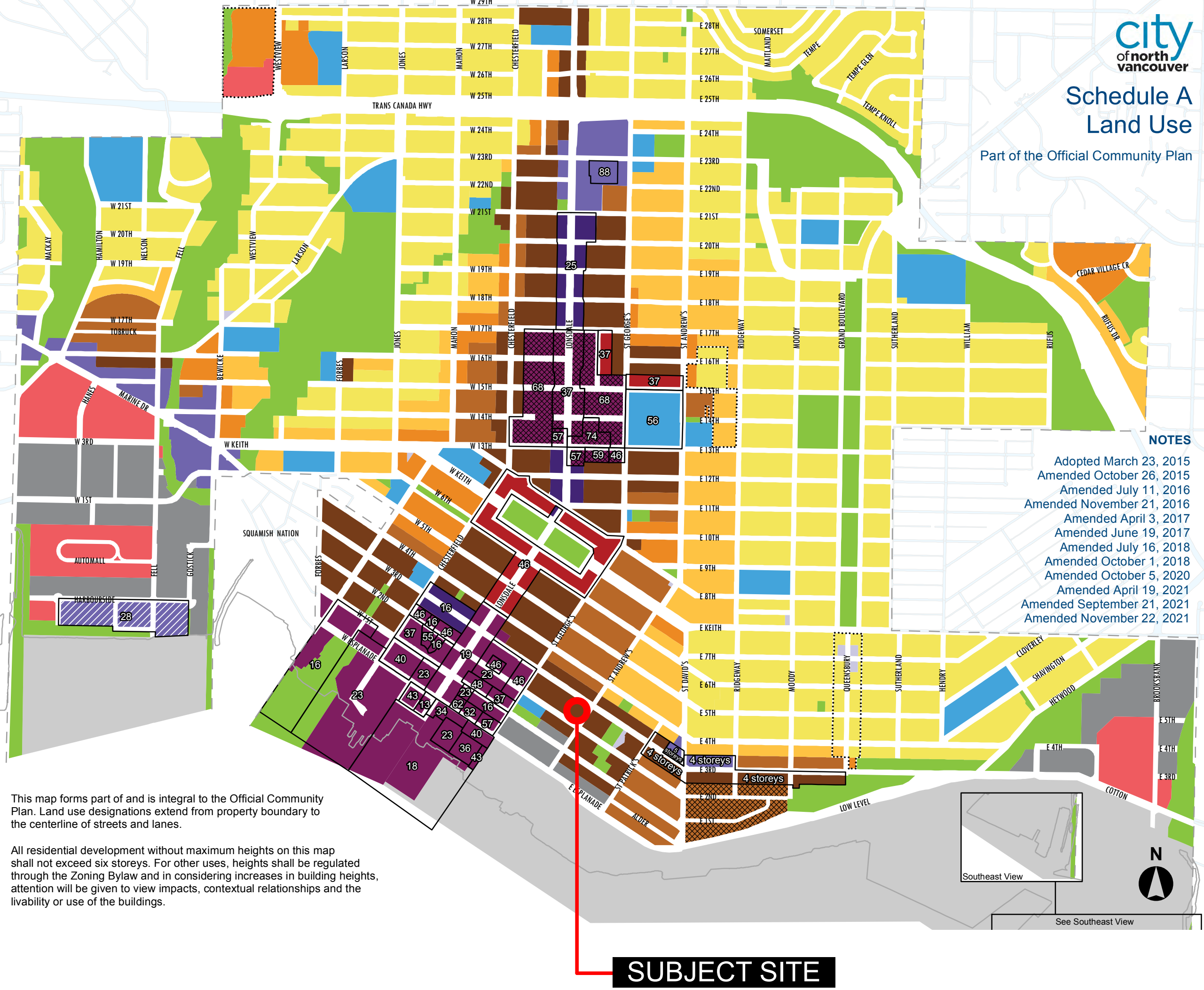
**Land Use Designation**

This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Land Use Designation	OCP Density (FSR)	Maximum Bonus (FSR)
Residential Level 1 (Low Density)	0.5	
Residential Level 2 (Low Density)	0.5	
Residential Level 3 (Low Density)	0.75	
Residential Level 4A (Medium Density)	1.0	
Residential Level 4B (Medium Density)	1.25	
Residential Level 5 (Medium Density)	1.6	up to 1.0
Residential Level 6 (High Density)	2.3	up to 1.0
Mixed Use Level 1 (Low Density)	1.0	
Mixed Use Level 2 (Medium Density)	2.0	up to 0.5
Mixed Use Level 3 (Medium Density)	2.3	up to 0.5
Mixed Use Level 4A (High Density)	2.6	up to 1.0
Mixed Use Level 4B (High Density)	3.0	up to 1.0
Harbourside Waterfront (Mixed Use)	2.05	up to 0.15
Parks, Recreation & Open Space		
School & Institutional		
Commercial		
Mixed Employment		
Industrial		
Maximum Building Heights in Metres		
Special Study Area		
City Boundary		

**Example Height Equivalencies**

Metres	Approx. Storeys
12-13	4
18-19	6
23-25	8
37	12
46	15
55-56	18
68	22
74	24
88	30



This map forms part of and is integral to the Official Community Plan. Land use designations extend from property boundary to the centerline of streets and lanes.

All residential development without maximum heights on this map shall not exceed six storeys. For other uses, heights shall be regulated through the Zoning Bylaw and in considering increases in building heights, attention will be given to view impacts, contextual relationships and the livability or use of the buildings.

**city of north vancouver**

**Schedule A Land Use**

Part of the Official Community Plan

**NOTES**

Adopted March 23, 2015  
Amended October 26, 2015  
Amended July 11, 2016  
Amended November 21, 2016  
Amended April 3, 2017  
Amended June 19, 2017  
Amended July 16, 2018  
Amended October 1, 2018  
Amended October 5, 2020  
Amended April 19, 2021  
Amended September 21, 2021  
Amended November 22, 2021

**iA**

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**N**

(PROJECT TEAM)

## OCP - MID-RISE APARTMENT MEDIUM DENSITY R5:

- 1.6 FSR (MAX BONUS FSR 1.0)
- 1.0 FSR BONUS WITH PUBLIC BENEFITS:
  - 1) SECURE MARKET RENTAL HOUSING OR NON-MARKET RENTAL
  - 2) COMMUNITY AMENITY SPACE
- MAX HEIGHT 6 STOREY

## APPLICABLE GUIDLINES:

- 2018 DENSITY BONUS AND COMMUNITY BENEFITS POLICY
- ACTIVE DESIGN GUIDELINES
- ADAPTABLE DESIGN GUIDELINES
- SUSTAINABLE DESIGN GUIDELINES
- CPTD PRINCIPLES

[ARCHITECT SEAL]

REGISTERED ARCHITECT  
SHAMUS F. SICKS  
2022-04-06  
BRITISH COLUMBIA

Three Shores Management

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

ZONING OCP

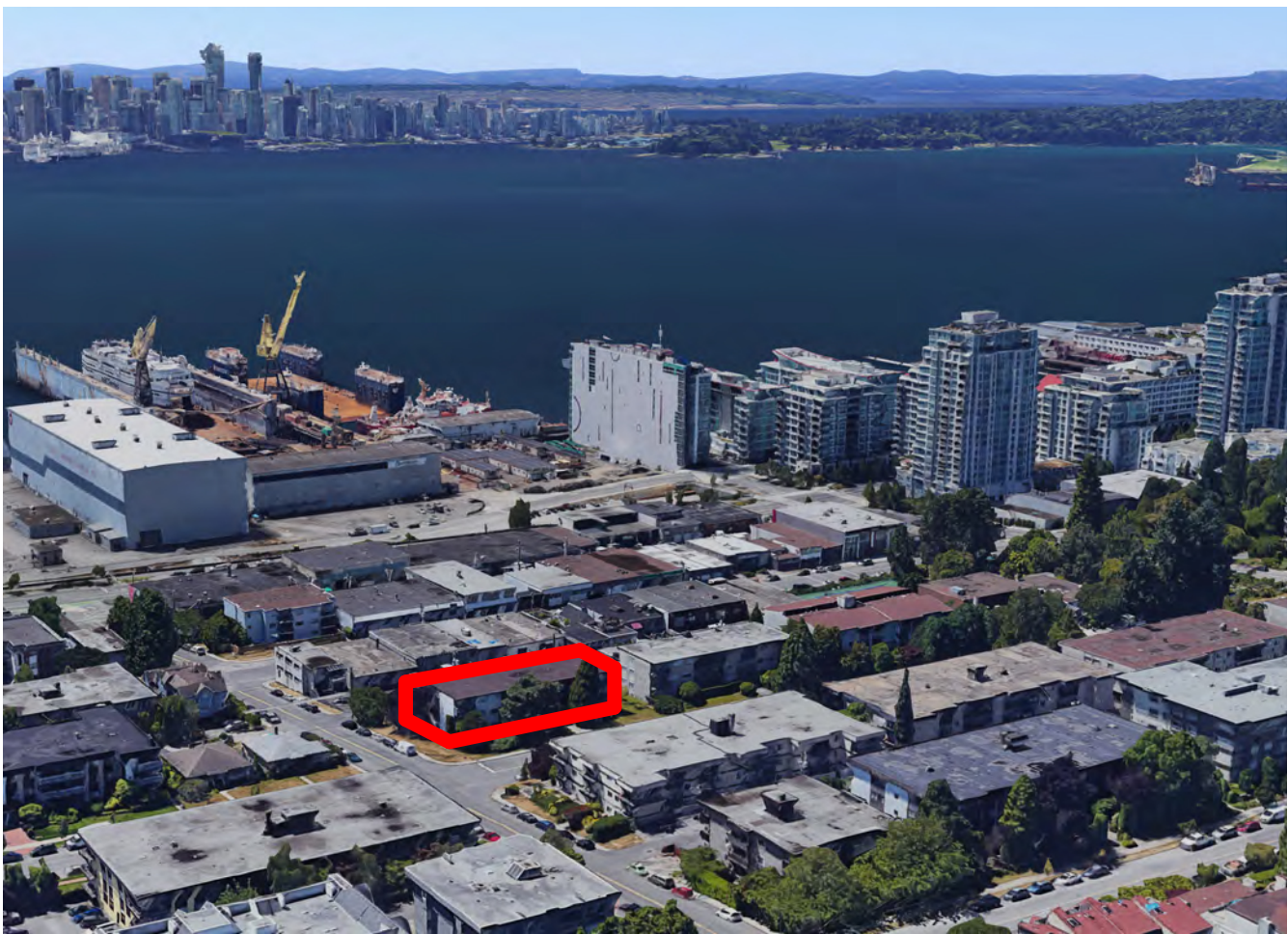
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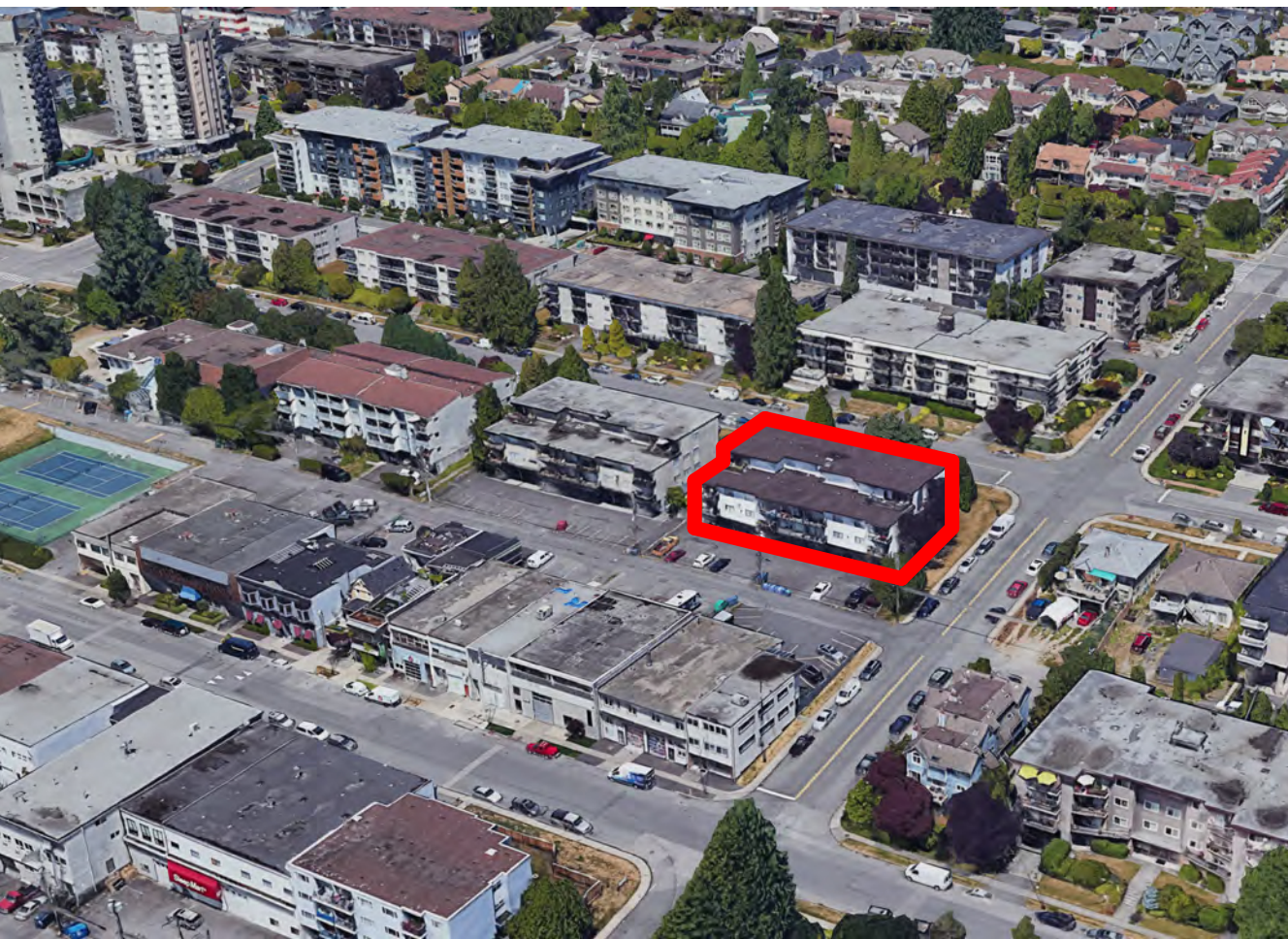
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3D Aerial View Looking West



3D Aerial View Looking North



View Along E 2nd St & St. Andrew's



View Along St. Andrew's Looking North



View of Site from Lane



View Along E 2nd St



Elevation along St. Andrew's



Elevation along E 2nd St



Legend

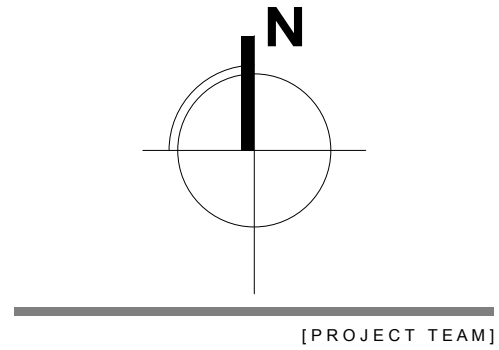
- Truck Routes
- City Boundary
- Roads
  - Highway
  - Arterial (Major and Minor)
  - Collector and Local
- North Shore Area Transit Plan
  - Future Frequent Transit Service
  - Future Rapid Transit Service
- Frequent Transit Development Areas
- Urban Containment Boundary
- Regional City Centre
- Regional Context Land Use Designations
  - General Urban
  - Mixed Employment
  - Industrial
  - Squamish First Nation
  - Conservation & Recreation



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Three Shores Management

EAST 2ND ST.

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SITE CONTEXT

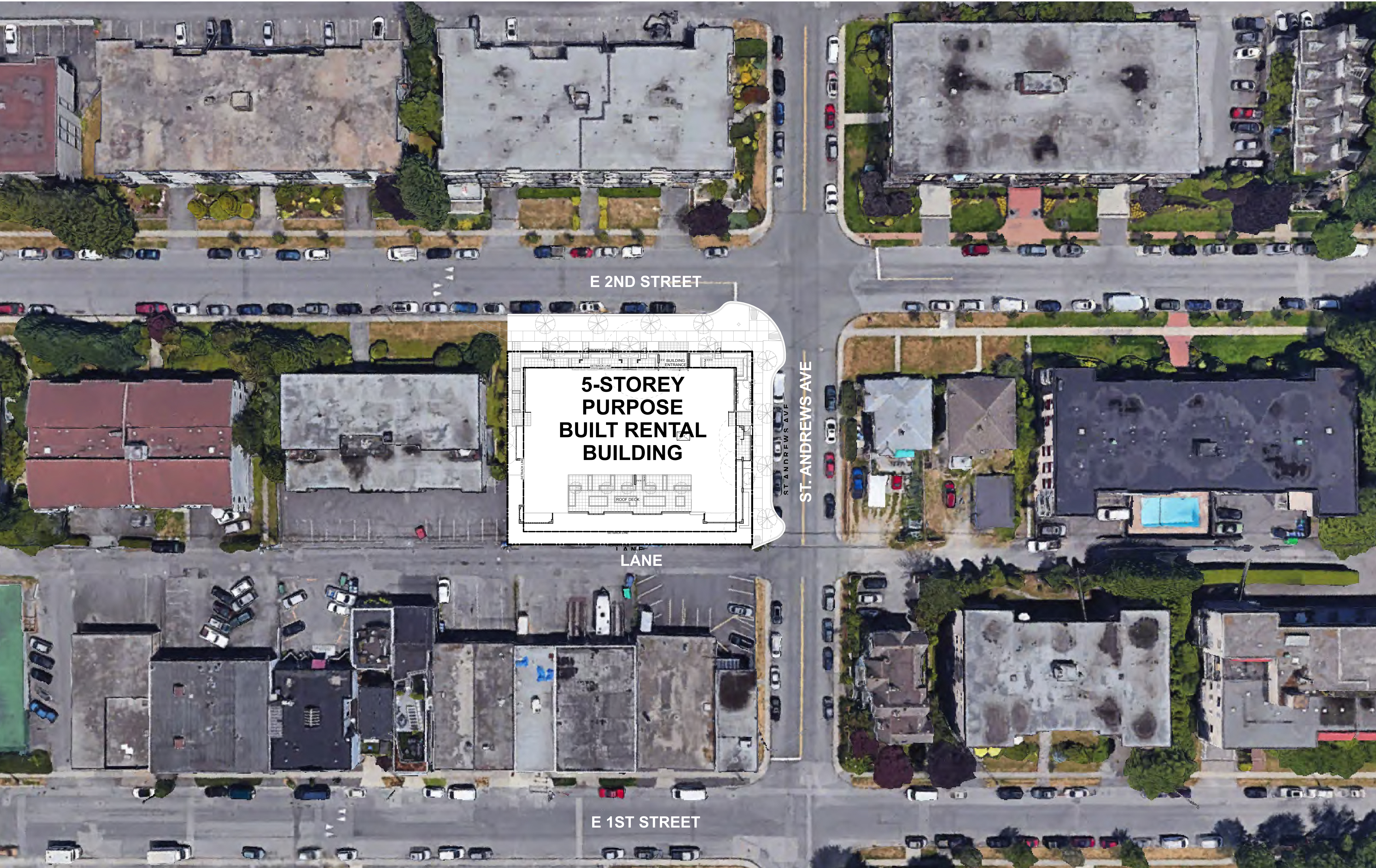
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CONTEXT PLAN

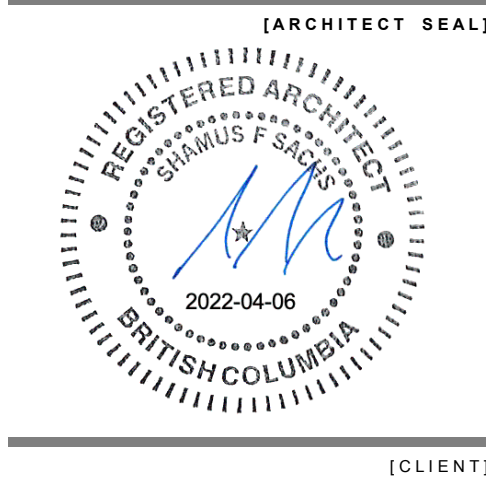
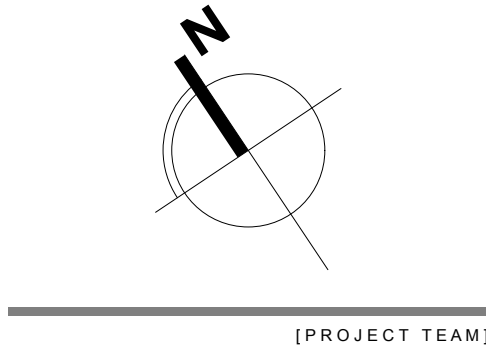


CONTEXT SITE SECTION ALONG ST. ANDREWS AVE



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Three Shores Management

EAST 2ND ST.

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**SITE CONTEXT  
PLAN**

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## APARTMENT CHARACTER

A tribute to CNV Brewery District  
Use of panels, painted boards  
& glass railings  
Modern, linear and open floor layouts



## OPEN SPACES

Inviting entrance, indoor and outdoor living  
Landscaped roof decks with seating areas



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EAST 2ND ST.

275 East 2nd Street  
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**CONCEPT  
IMAGES**

[PROJECT]

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## NORTH VANCOUVER'S BREWERY DISTRICT







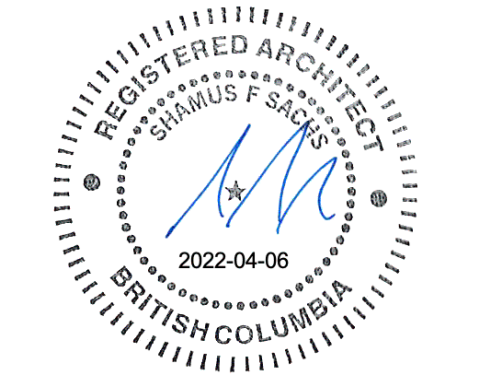
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**Three Shores Management**

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**EAST 2ND ST.**

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**PERSPECTIVE**

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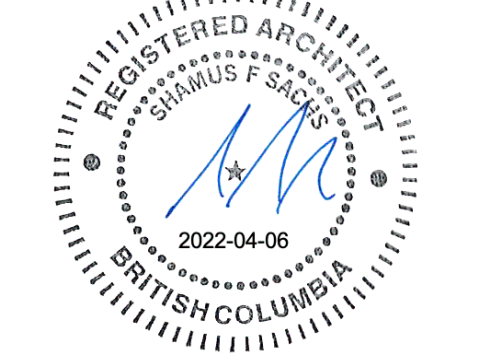
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[ARCHITECT SEAL]



[CLIENT]

**Three Shores Management**

[PROJECT]

**EAST 2ND ST.**

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

**PERSPECTIVE**

[PROJECT]

**21583**

[SCALE]

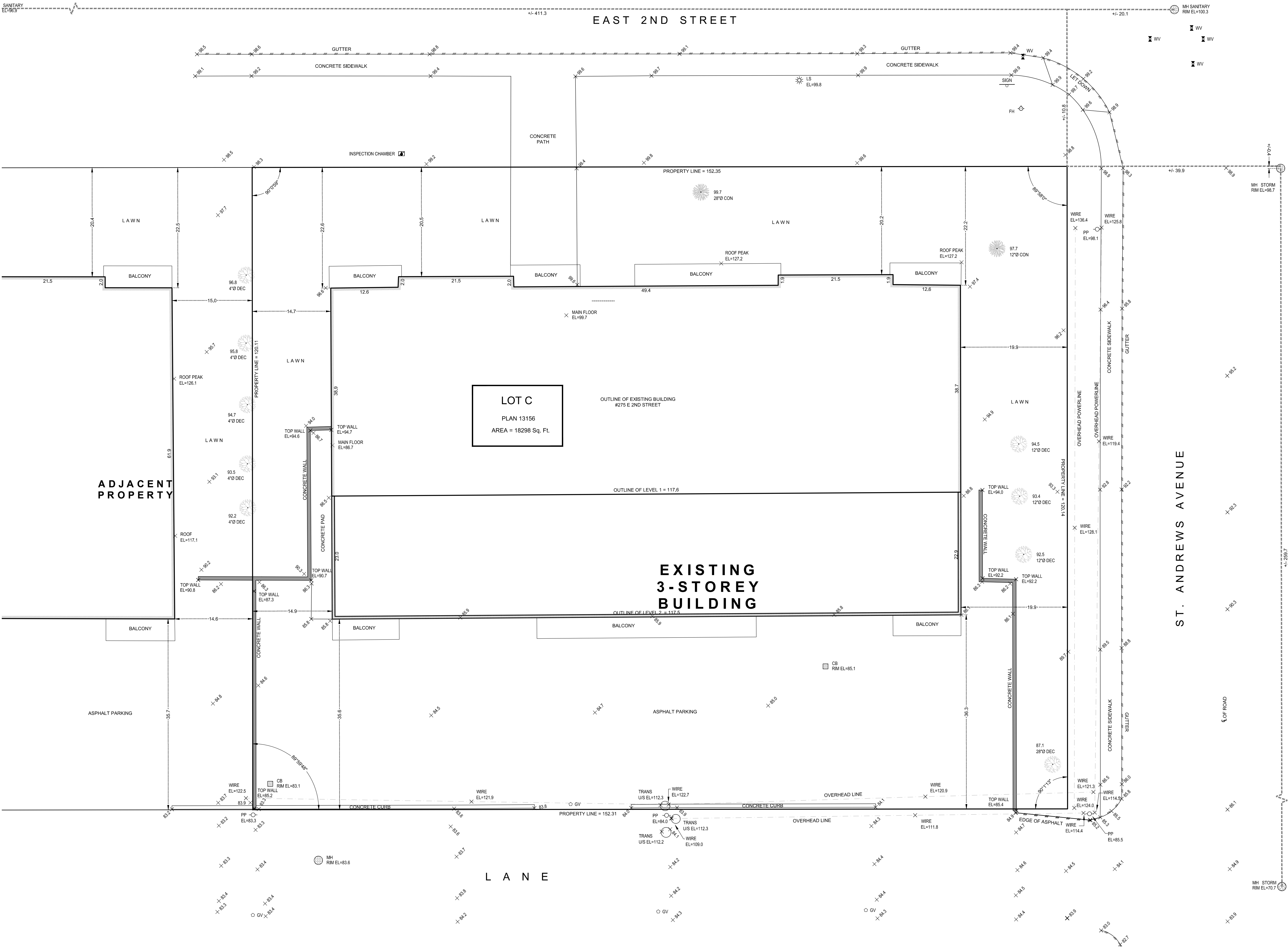
**Wednesday, April 6, 2022**

**DP / Rezoning - 2**

[DRAWING]

**A-0.082**

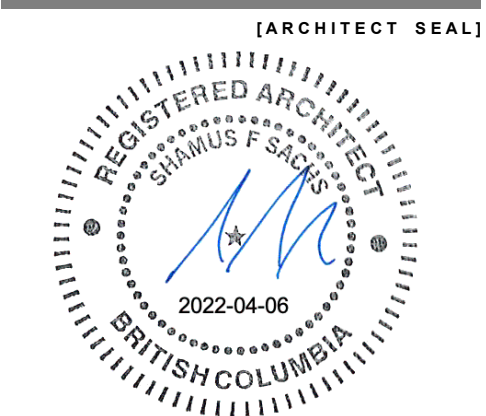
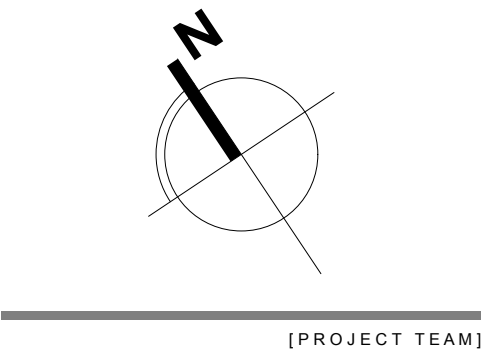




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**Three Shores Management**

**EAST 2ND ST.**

275 East 2nd Street  
North Vancouver, B.C.

**SURVEY  
(REFERENCE  
ONLY)**

**21583**

**Wednesday, April 6, 2022**


**DP / Rezoning - 2**

**A-0.100**

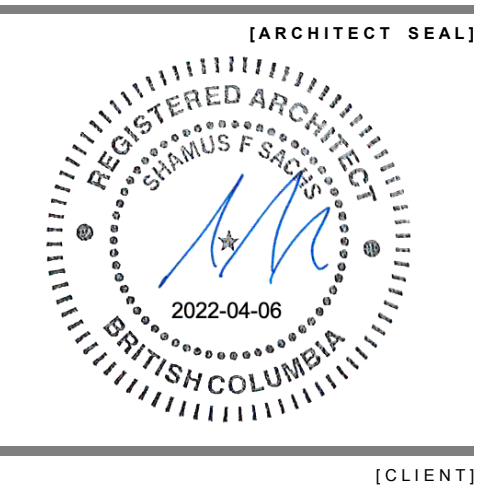




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[PROJECT TEAM]



[PROJECT]

275 East 2nd Street  
North Vancouver, B.C.

( TITLE )

## SITE PLAN

21583 [PROJECT]

1/8" = 1'-0" [ SCALE ]

Wednesday, April 6, 2022 [DATE]

DP / Rezoning - 2 (ISSUE)

[DRAWING]

## A-1.000



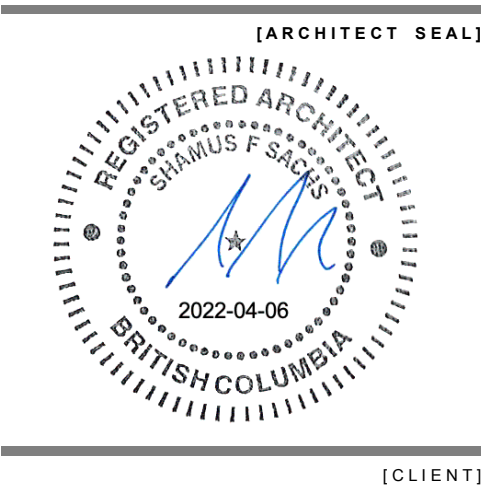
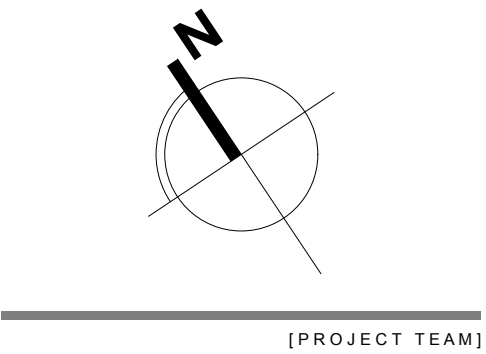


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Three Shores Management

EAST 2ND ST.

275 East 2nd Street  
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## LEVEL P2 PARKING PLAN

21583 [PROJECT]

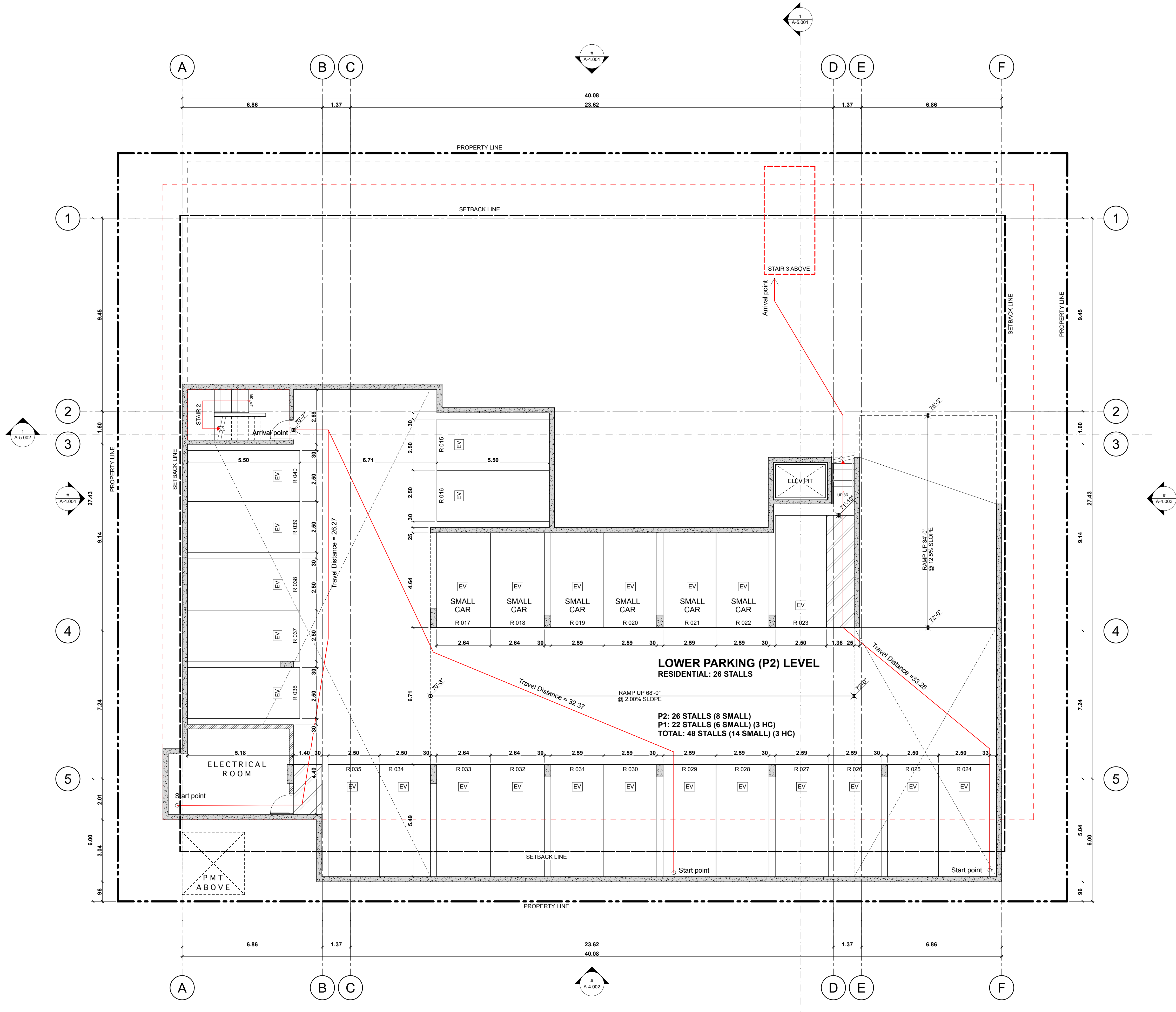
1/8" = 1'-0" [SCALE]

Wednesday, April 6, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

# A-2.001







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[PROJECT]

275 East 2nd Street  
North Vancouver, B.C.

[ TITLE ]

**LEVEL P1 & LANE**  
**UNIT LOWER**  
**FLOOR**

1/8" = 1'-0" (SCALE)

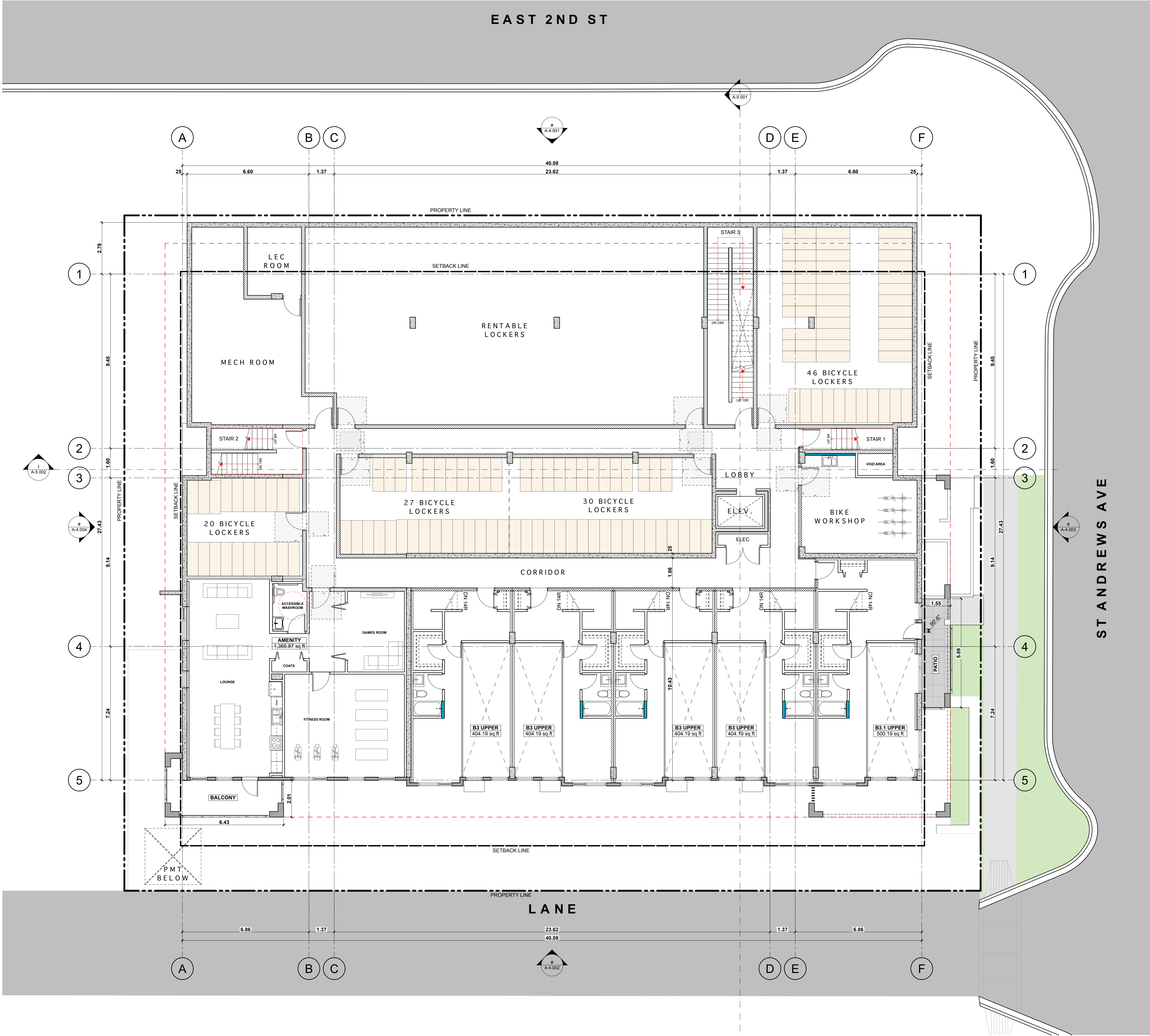
DP / Rezoning - 2 (ISSUE)

[DRAWING]

**A 2 002**

**A-2.002**



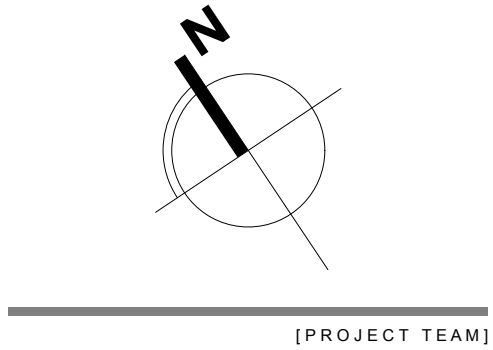


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Three Shores Management

EAST 2ND ST.

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## BASEMENT & LANE UNIT UPPER FLOOR

21583

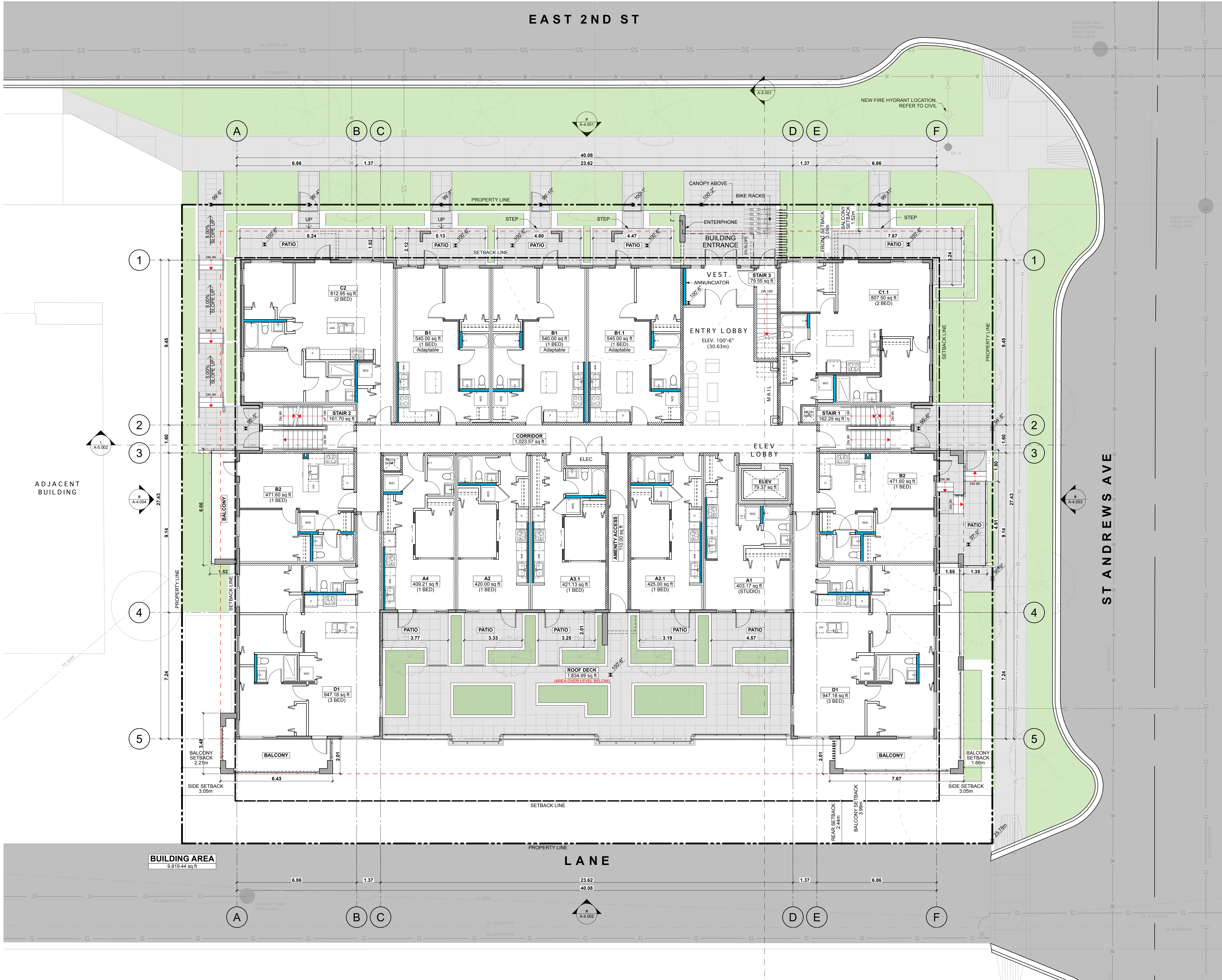
1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

A-2.003

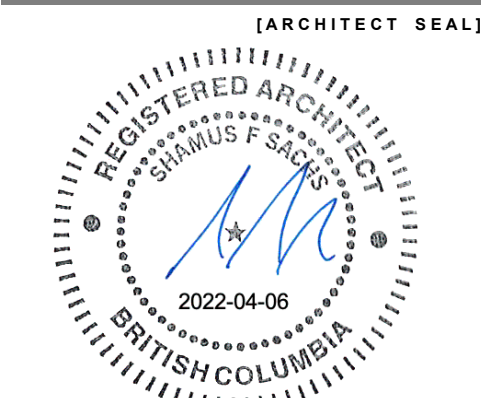
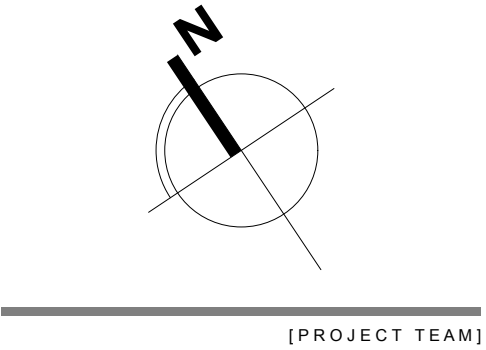




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Three Shores Management

EAST 2ND ST.

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LEVEL 1 PLAN

21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

**A-2.004**



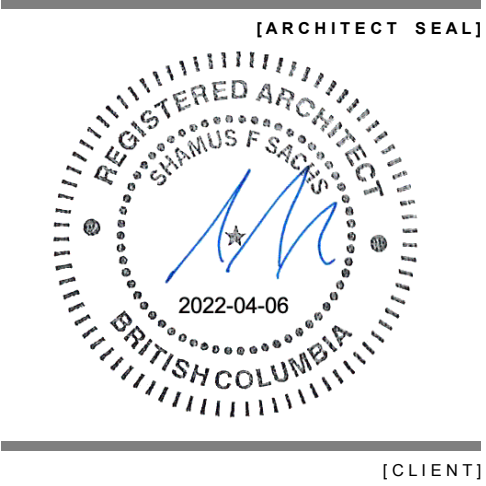
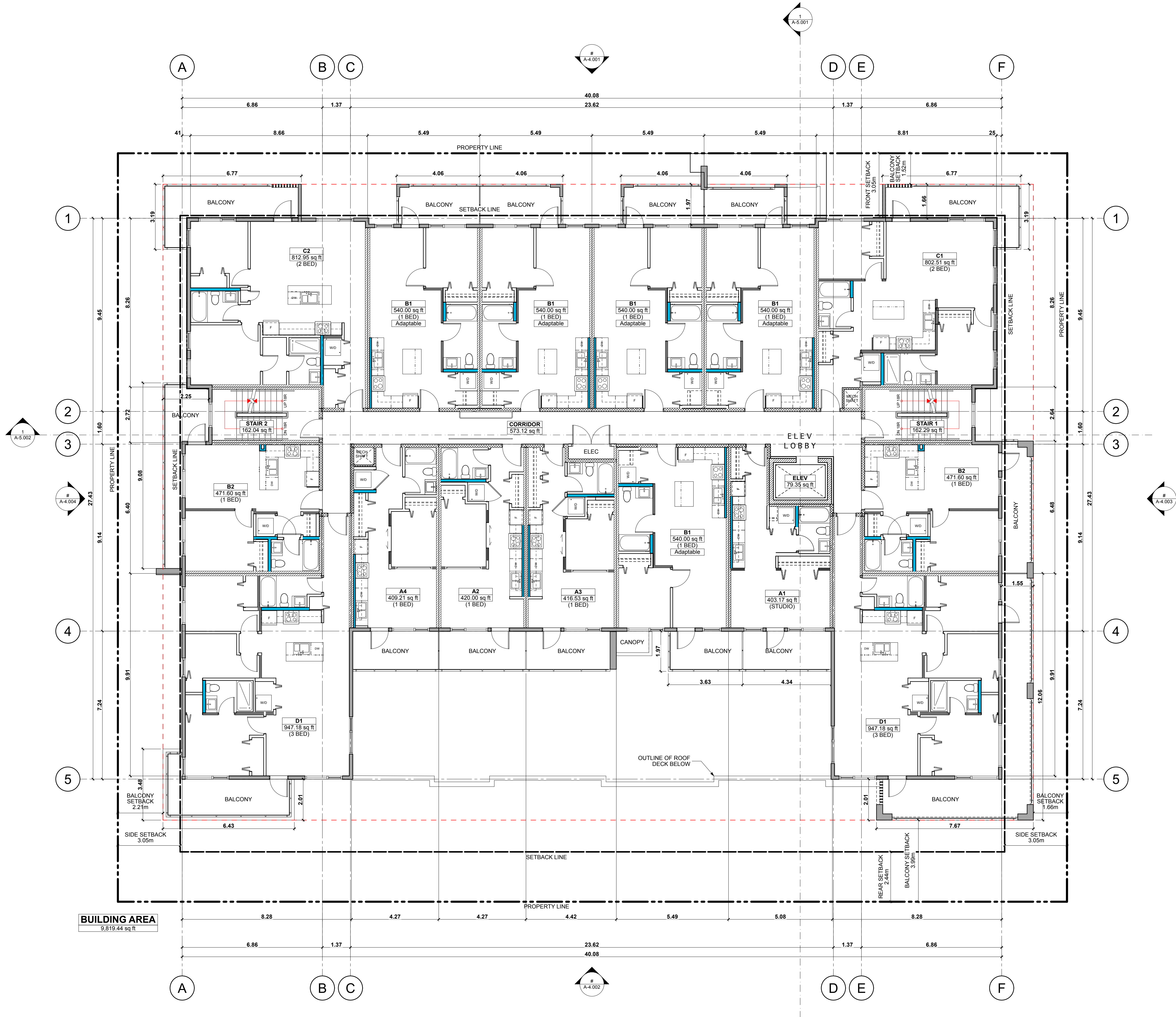
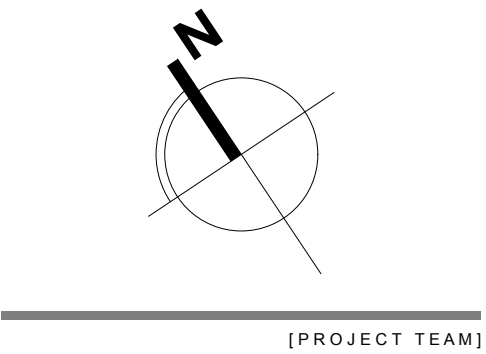


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Three Shores Management

EAST 2ND ST.

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LEVEL 2 PLAN

21583

1/8" = 1'-0"

Wednesday, April 6, 2022


DP / Rezoning - 2

A-2.005

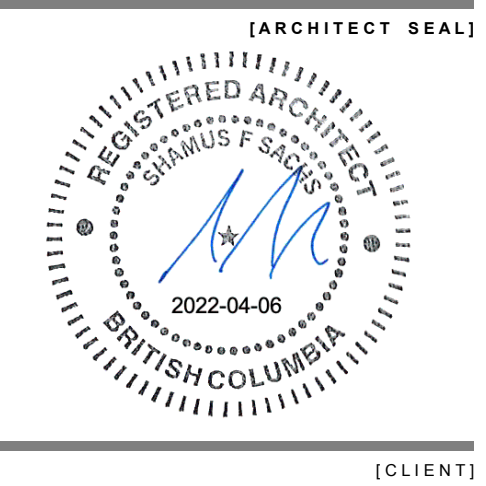




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[PROJECT TEAM]



[PROJECT]

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### LEVEL 3 PLAN

1/8" = 1'-0" (SCALE)

DP / Rezoning - 2 (ISSUE)

[DRAWING]

## A-2.006



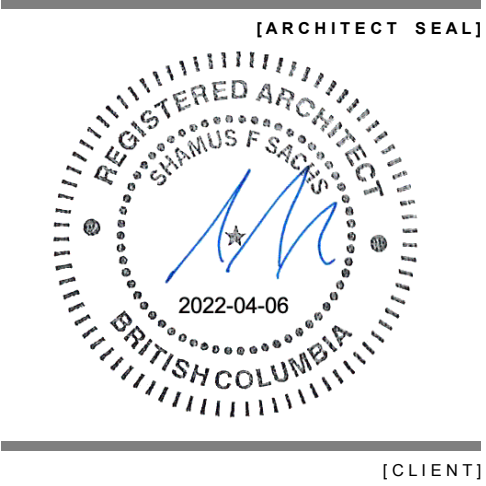
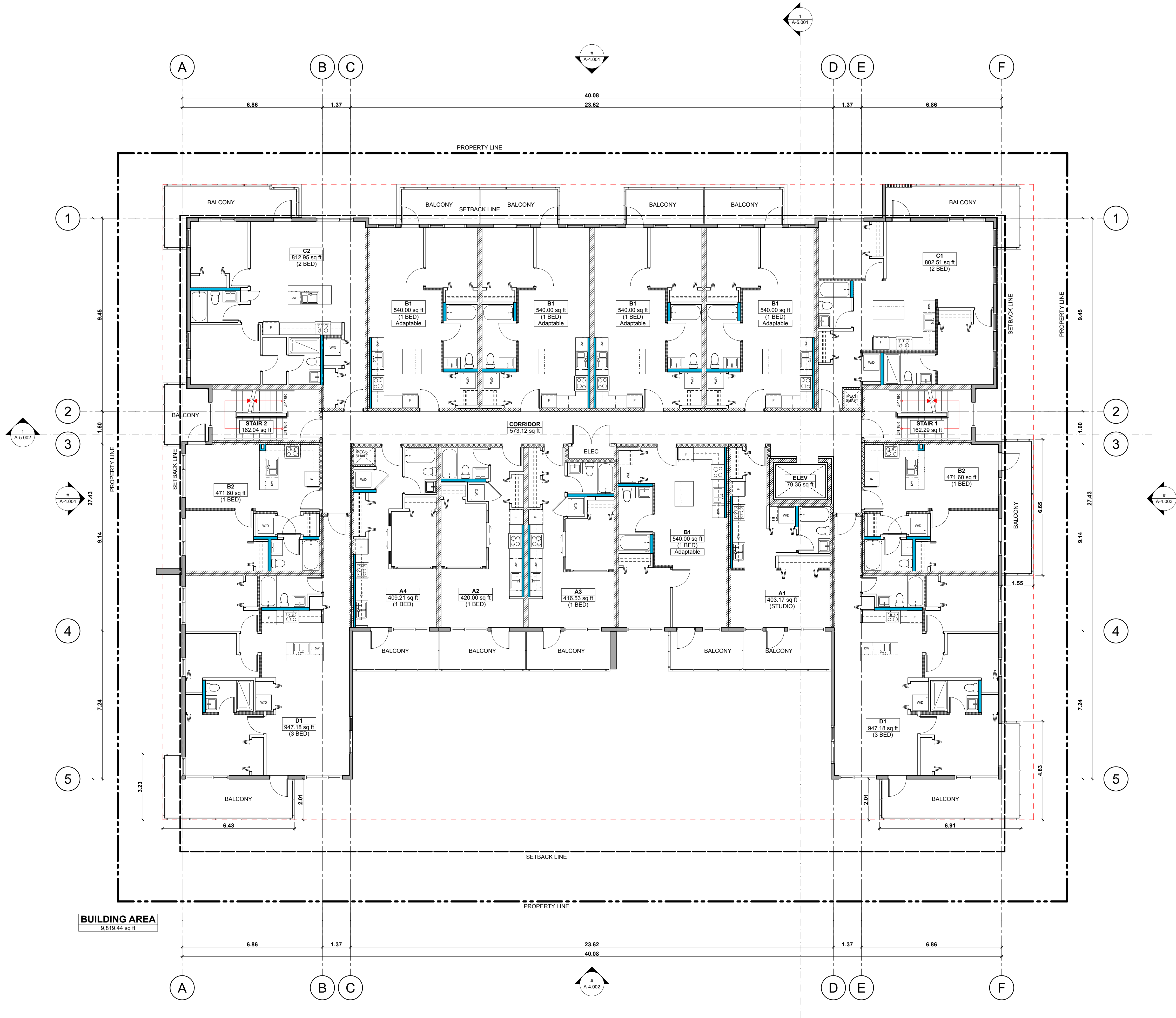
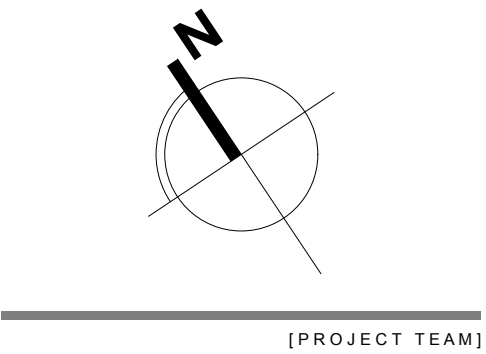


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Three Shores Management

EAST 2ND ST.

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LEVEL 4 PLAN

21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

A-2.007



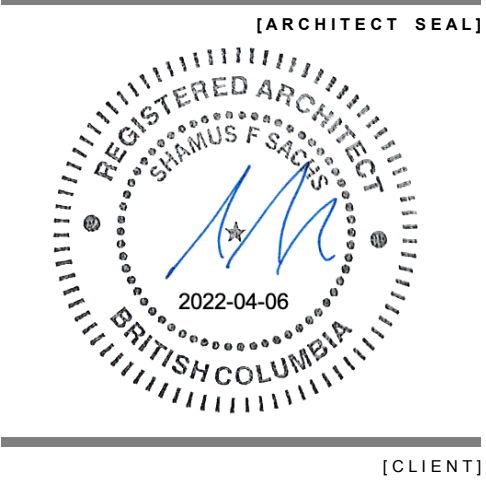
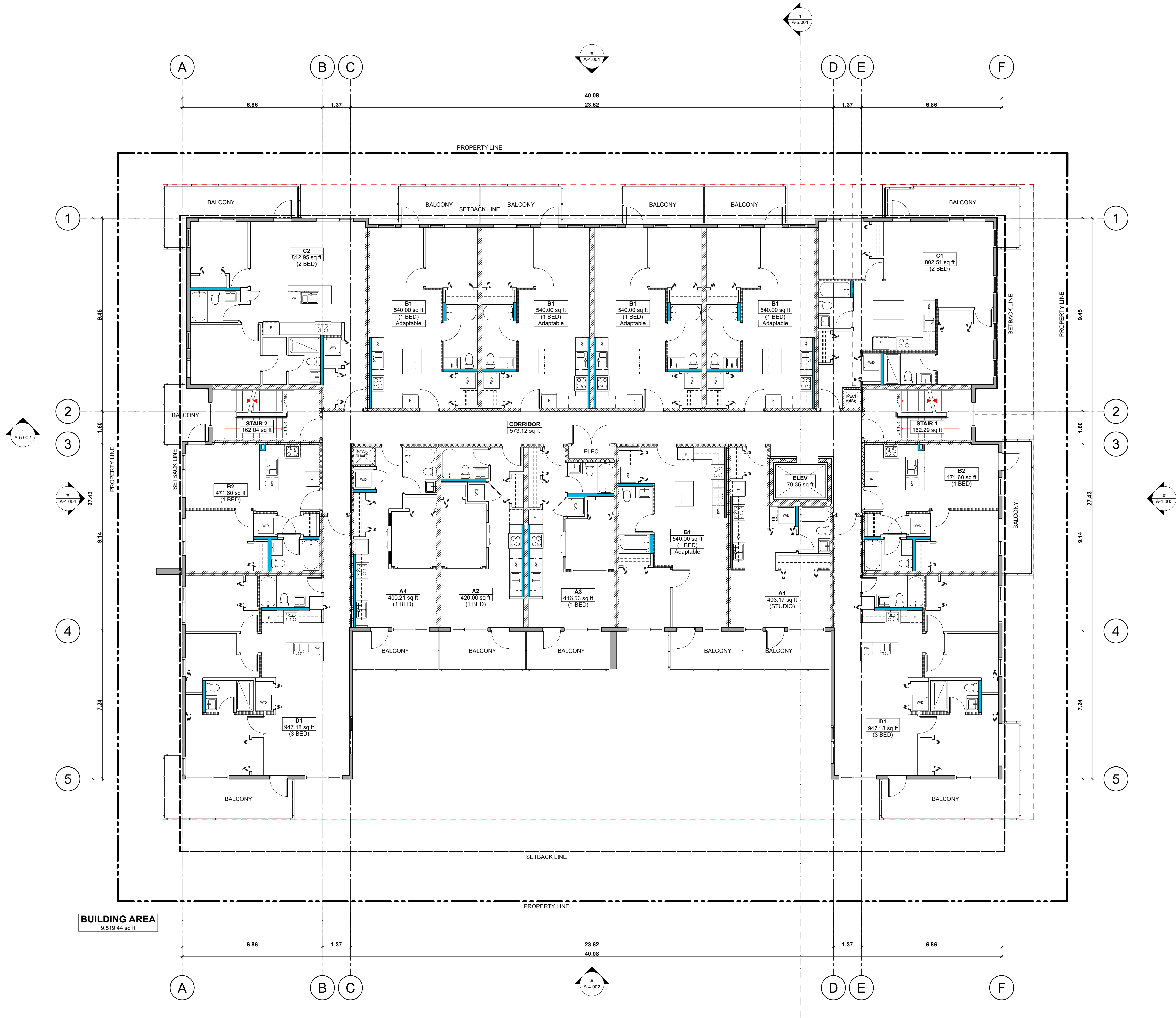
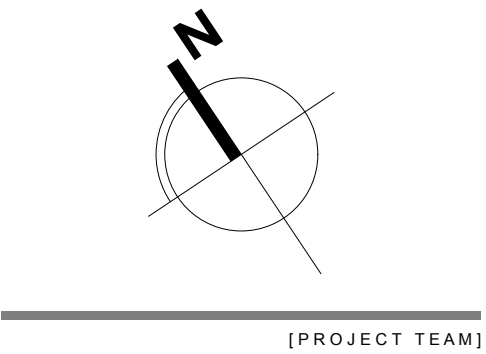


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Three Shores Management

EAST 2ND ST.

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LEVEL 5 PLAN

21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

A-2.008



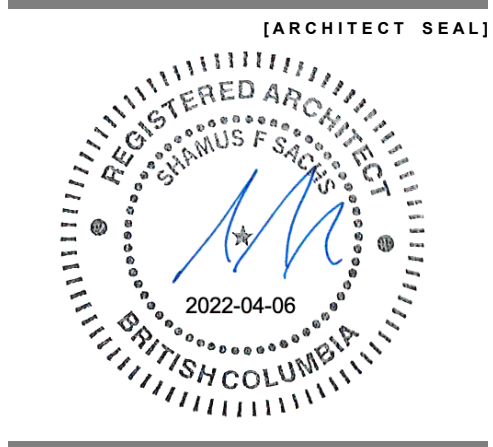
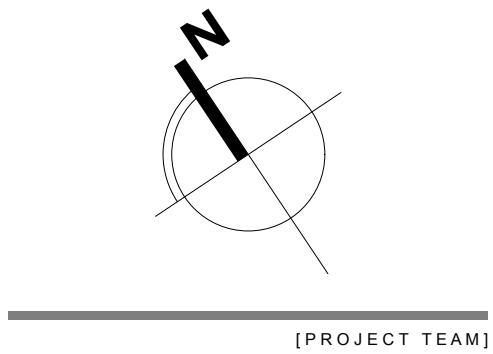


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Three Shores Management

EAST 2ND ST.

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## ROOF PLAN

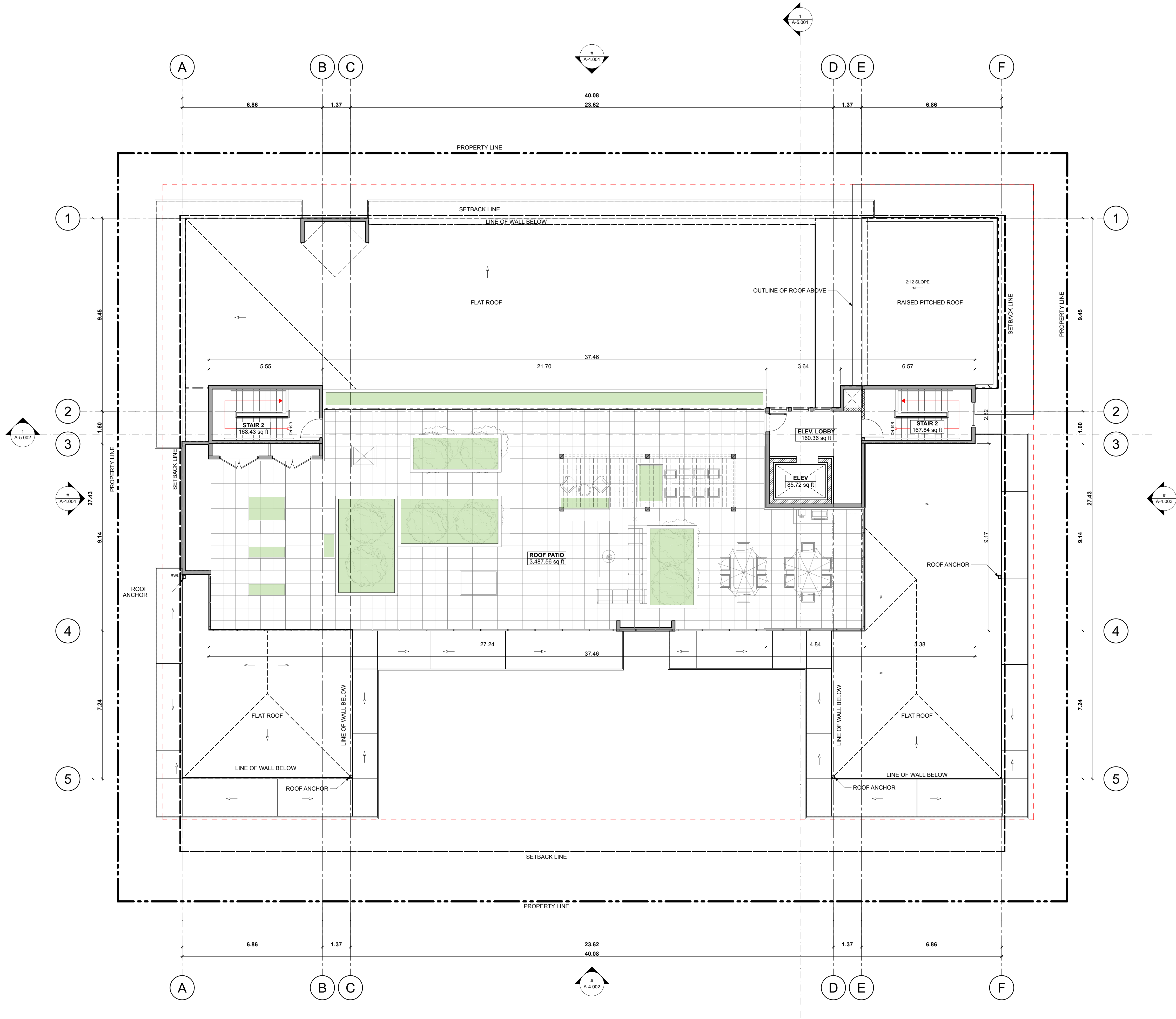
21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

A-2.009





ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BUILDING ACCESS	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
BUILDING ACCESS	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
BUILDING ACCESS	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
BUILDING ACCESS		Unobstructed internal access: <ul style="list-style-type: none"><li>- from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) *</li><li>- garbage and recycling receptacles and storage lockers</li><li>- no stairs within building circulation including corridors on residential levels</li><li>- accessible storage lockers for each unit</li></ul>	Unobstructed internal access: <ul style="list-style-type: none"><li>- from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) *</li><li>- garbage and recycling receptacles and storage lockers</li><li>- no stairs within building circulation including corridors on residential levels</li><li>- accessible storage lockers for each Level 3 unit</li></ul>
BUILDING ACCESS	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone
BUILDING ACCESS		Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided
BUILDING ACCESS	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
BUILDING ACCESS		3' or 915mm building and suite entry doors	3' or 915mm building and suite entry doors
BUILDING ACCESS	Flush thresholds throughout the building (maximum ½" or 13mm height)	Flush thresholds throughout the building (maximum ½" or 13mm height)	Flush thresholds throughout the building (maximum ½" or 13mm height)
BUILDING ACCESS	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *

\* Illustrations available

\*\* Options considered

- 1 of 3-

Design Elements  
July 2005

DESIGN ELEMENTS

ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

3 of 11

COMMON AREAS		Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *
CIRCULATION	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
CIRCULATION		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
SUITE CIRCULATION		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
SUITE CIRCULATION		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*
DOORS		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
PATIOS & BALCONIES		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2' - 10" or 860mm clear door opening
PATIOS & BALCONIES		Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold **
PATIOS & BALCONIES		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
WINDOWS		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS		Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor
KITCHEN		Continuous counter between sink and stove*	Continuous counter between sink and stove*
KITCHEN			Sink cabinet minimum 2'8" or 810mm wide
KITCHEN			Provide sufficient space for future installation of cooktop and wall oven
KITCHEN			Provide for potential 2' 8" or 810mm wide undercounter workspace
KITCHEN			Lower edge of upper cupboards 4'6" or 1350mm above floor

\* Illustrations available

\*\* Options considered

- 2 of 3-

Design Elements  
July 2005

DESIGN ELEMENTS

ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

4 of 11

KITCHEN			Minimum 4' or 1220mm floor space between base cabinets / walls (possible with removal of sink cabinet) *
MIN. ONE BATHROOM		Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
MIN. ONE BATHROOM		Provide turning radius within bathroom (may result from removal of vanity cabinet)*	Provide turning radius within bathroom (may result from removal of vanity cabinet)*
MIN. ONE BATHROOM		3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
MIN. ONE BATHROOM		Tub control valve placed at outer edge of tub, with tub spout remaining in central position *	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
MIN. ONE BATHROOM		Accessible storage *	Accessible storage*
MIN. ONE BATHROOM			Provide pocket door or door swing out *
MIN. ONE BATHROOM			Space under sink minimum 2'8" or 810mm wide *
MIN. ONE BATHROOM			Provide for the possible future installation of an accessible shower stall, sized at least 3' 0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
MIN. ONE BEDROOM			Sufficient manoeuvring room between closet and double bed *
MIN. ONE BEDROOM			Provide 3' or 915mm access to window opening *
LAUNDRY FACILITIES			Provide front loading side-by-side washer / dryer in-suite or in common area
LAUNDRY FACILITIES			4' or 1220mm manoeuvring space in front of washer / dryer

\* Illustrations available

\*\* Options considered

- 3 of 3-

Design Elements  
July 2005

DESIGN ELEMENTS

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

6 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION		Slip resistant flooring	Slip resistant flooring
CIRCULATION		Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum ½" or 13mm height	High density, low level loop carpet and underlay maximum ½" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

\* Illustrations available

- 1 of 3

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

7 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack	Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and strike at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
KITCHEN			Where regular refrigerator installed initially, provide adequate space for side by side model
KITCHEN			Contrasting knobs on stove / cook top

\* Illustrations available

- 2 of 3

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

8 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
MIN. ONE BATHROOM	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
MIN. ONE BATHROOM	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
MIN. ONE BATHROOM		Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
MIN. ONE BATHROOM		Provision for vanity sink removal	Provision for vanity sink removal
MIN. ONE BATHROOM		Adjustable height shower head or hand-held shower head on adjustable bracket*	Adjustable height shower head or hand-held shower head on adjustable bracket *
MIN. ONE BATHROOM			Water temperature regulator on tub / shower faucet
LIVING ROOM		One switched electrical outlet	One switched electrical outlet
BEDROOMS		Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
BEDROOMS		Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
BEDROOMS	Telephone jack	Telephone jack	Telephone jack
IN-SUITE STORAGE		Provide light and electrical outlet	Provide light and electrical outlet

\* Illustrations available

- 3 of 3

Fixtures & Finishes  
July 2005

FIXTURES & FINISHES



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[PROJECT TEAM]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

**ADAPTABLE  
UNITS DESIGN  
GUIDELINES**

[PROJECT]

21583

[SCALE]

Wednesday, April 6, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

**A-3.001**









# Integra

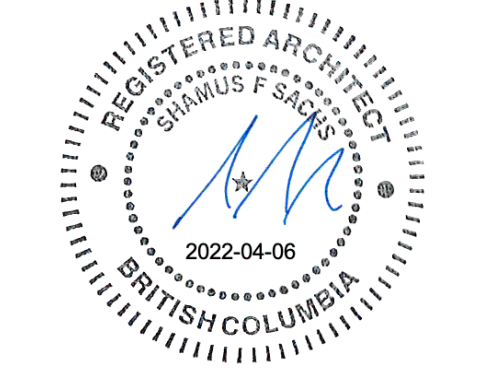
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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

## BUILDING ELEVATION - NORTH (2ND ST)

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Wednesday, April 6, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

# A-4.001



## MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	White	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White w/ Speck Glazed	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Soffit	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Aluminum Railing @ Balconies	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	N1	P
Typical Unit Entry	Typical Unit Entry	Garage Doors	Retaining Walls	Retaining Walls	Vertical Slats
Colour	White	Dark Brown / Black	Grey	Dark Grey	Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Allan Block	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Silverado	Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC





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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

BUILDING  
ELEVATION -  
SOUTH (LANE)

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Wednesday, April 6, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-4.002



MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Colour	Cladding White	Cladding White	Cladding Light Grey	Cladding Dark Grey	Cladding Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White w/ Speck Glazed	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Colour	Cladding Dark Grey	Cladding Grey	Cladding Mid Grey	Cladding Light Grey	Soffit White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Colour	Soffit Charcoal Grey	Roof Dark Grey	Wood Trims @ Windows, Doors, Roof Edge, etc. Charcoal Grey	Flashing, Gutters, and down spouts Prefinished Charcoal Grey	Aluminum Railing @ Balconies Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Colour	Aluminum Railing @ Balconies Prefinished White	Windows Black	Windows White	Typical Unit Entry Charcoal Grey	Typical Balcony Entry Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert TBC	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	N1	P
Colour	Typical Unit Entry White	Garage Doors Dark Brown / Black	Retaining Walls Grey	Retaining Walls Dark Grey	Vertical Slats Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Allan Block	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Silverado	Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC





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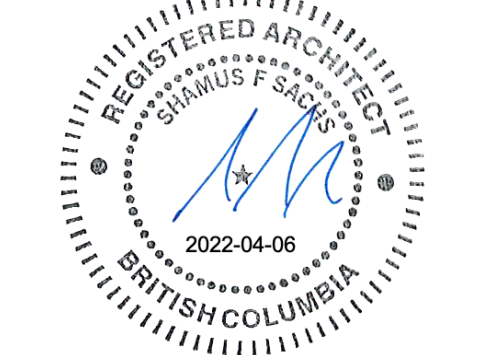
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[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

## BUILDING ELEVATION - EAST (ST. ANDREWS AVE)

[PROJECT]

21583

1/8" = 1'-0" [SCALE]

Wednesday, April 6, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

# A-4.003



## MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Colour	Cladding White	Cladding White	Cladding Light Grey	Cladding Dark Grey	Cladding Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White w/ Speck Glazed	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Colour	Cladding Dark Grey	Cladding Grey	Cladding Mid Grey	Cladding Light Grey	Cladding White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Colour	Soffit Charcoal Grey	Roof Dark Grey	Wood Trims @ Windows, Doors, Roof Edge, etc. Charcoal Grey	Flashing, Gutters, and down spouts Prefinished Charcoal Grey	Aluminum Railing @ Balconies Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Colour	Aluminum Railing @ Balconies Prefinished White	Windows Black	Windows White	Typical Unit Entry Charcoal Grey	Typical Balcony Entry Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert TBC	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N	N1	P
Colour	Typical Unit Entry White	Garage Doors Dark Brown / Black	Retaining Walls Grey	Retaining Walls Dark Grey	Vertical Slats Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Allan Block	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Silverado	Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC





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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

## BUILDING ELEVATION - WEST

[PROJECT]

21583 [SCALE]

1/8" = 1'-0" [DATE]

Wednesday, April 6, 2022 [ISSUE]

DP / Rezoning - 2 [DRAWING]

# A-4.004



## MATERIAL SCHEDULE

Building Elements	A	B	B1	C	C1
Colour	Cladding White	Cladding White	Cladding Light Grey	Cladding Dark Grey	Cladding Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White w/ Speck Glazed	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	D	D1	D2	D3	E
Colour	Cladding Dark Grey	Cladding Grey	Cladding Mid Grey	Cladding Light Grey	Soffit White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	E1	F	G	H	J
Colour	Soffit Charcoal Grey	Roof Dark Grey	Wood Trims @ Windows, Doors, Roof Edge, etc. Charcoal Grey	Flashing, Gutters, and down spouts Prefinished Charcoal Grey	Aluminum Railing @ Balconies Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J1	K	K1	L	L1
Colour	Aluminum Railing @ Balconies Entry	Windows Black	Windows White	Typical Unit Entry Charcoal Grey	Typical Balcony Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

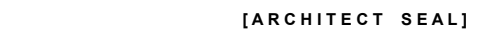
Building Elements	L2	M	N	N1	P
Colour	Typical Unit Entry White	Garage Doors Dark Brown / Black	Retaining Walls Grey	Retaining Walls Dark Grey	Vertical Slats Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Allan Block	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Silverado	Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC





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[PROJECT TEAM]



[PROJECT]

275 East 2nd Street  
North Vancouver, B.C.

( TITLE )

1583 [PROJECT]

$1/8" = 1'-0"$  [ SCALE ]

**Wednesday, April 6, 2022** [DATE]

DP / Rezoning - 2 (ISSUE)

[DRAWING]

# A-5.001



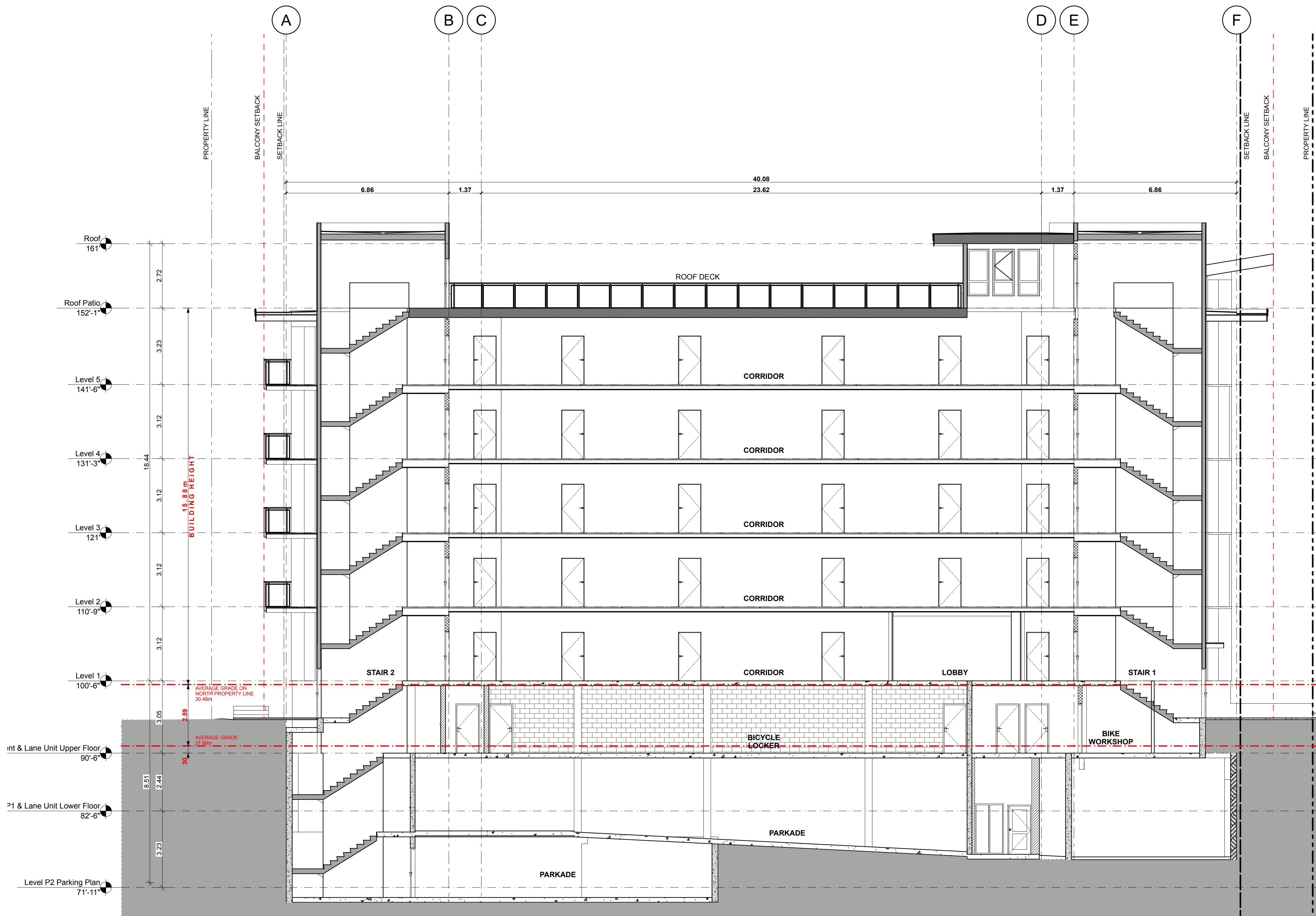


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[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

**BUILDING  
SECTION - E/W**

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Wednesday, April 6, 2022 [DATE]

DP / Rezoning - 2 [ISSUE]

[DRAWING]

**A-5.002**





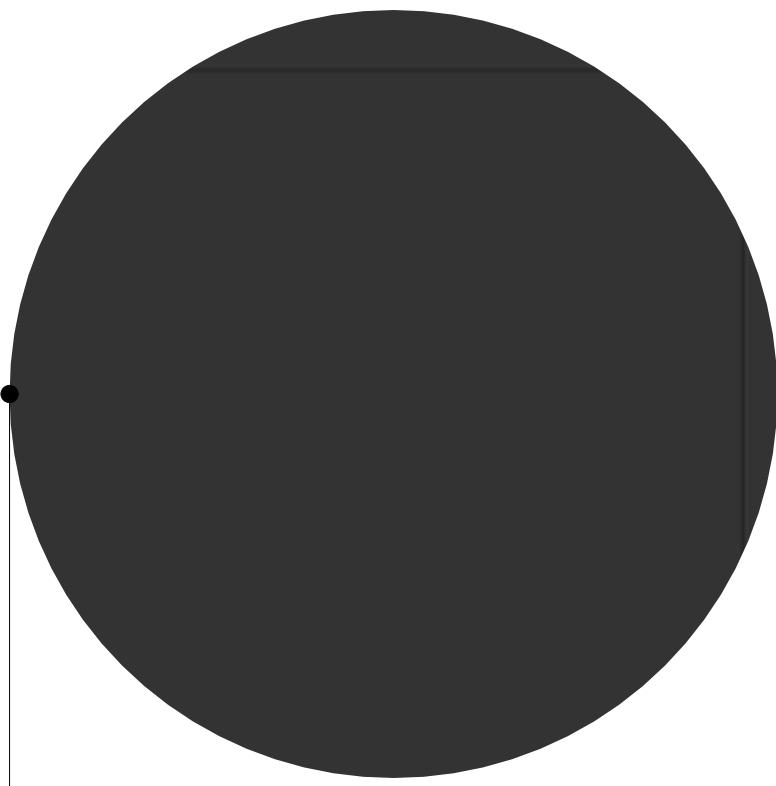
**A** THIN BRICK CLADDING  
colour: WHITE



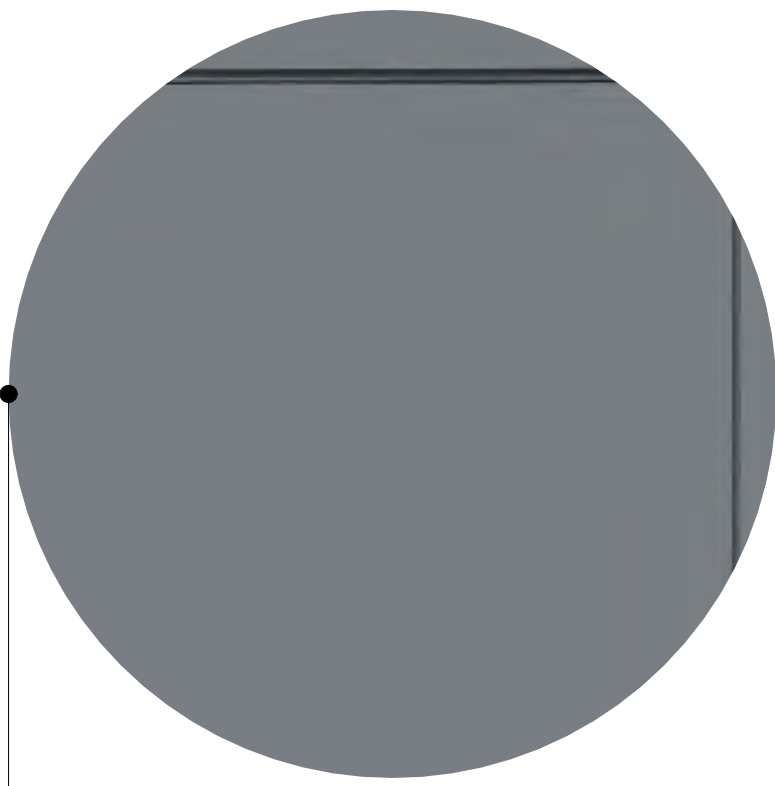
**B** CEMENTITIOUS LAP SIDING  
colour: WHITE



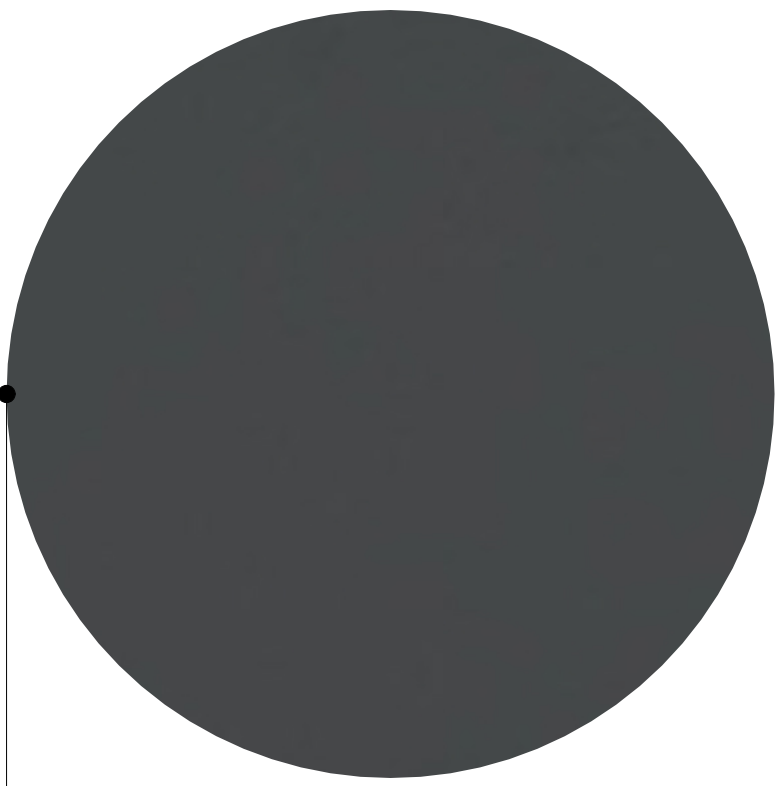
**B1** CEMENTITIOUS LAP SIDING  
colour: LIGHT GREY



**C** CEMENTITIOUS PANEL BOARD  
W/ REVEAL  
colour: DARK GREY



**C1** CEMENTITIOUS PANEL BOARD  
W/ REVEAL  
colour: GREY



**D** CEMENTITIOUS PANEL  
BOARD SYSTEM  
colour: DARK GREY



## MATERIAL SCHEDULE

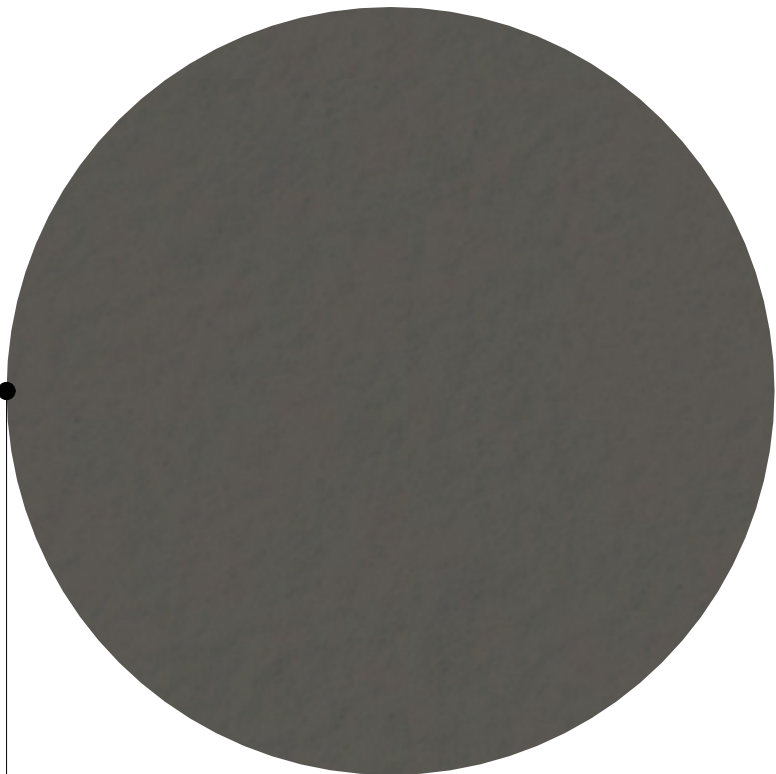
	A	B	B1	C	C1
Building Elements	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	White	White	Light Grey	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White w/ Speck Glazed	White	Pearl Grey	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

	D	D1	D2	D3	E
Building Elements	Cladding	Cladding	Cladding	Cladding	Soffit
Colour	Dark Grey	Grey	Mid Grey	Light Grey	White
Material	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Vent Strip
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Slate	Dusky Grey	Mid Grey	Silver Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

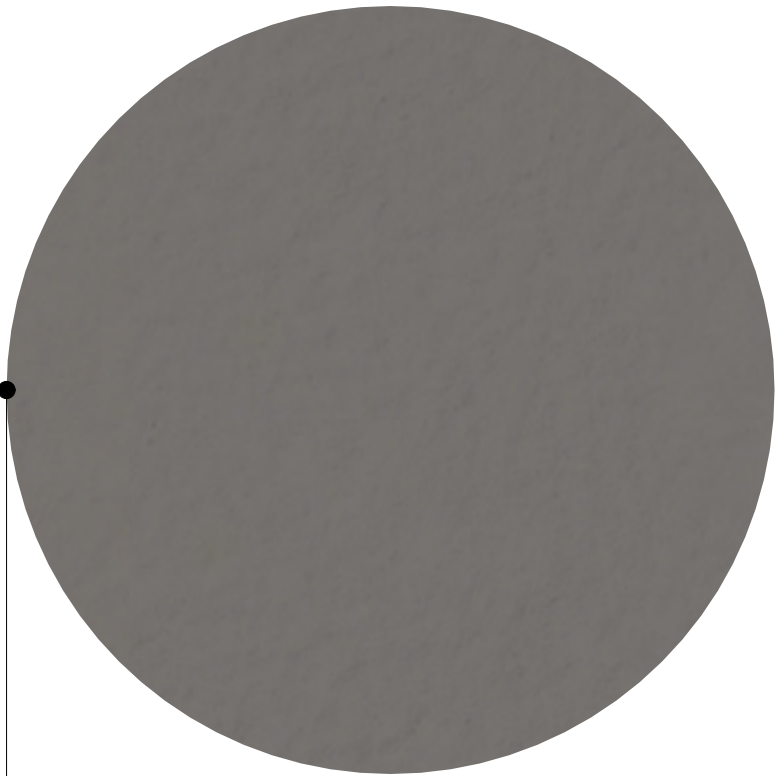
	E1	F	G	H	J
Building Elements	Soffit	Roof	Wood Trims @ Windows, Doors, Roof Edge, etc...	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies
Colour	Charcoal Grey	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey
Material	Vent Strip	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	(To Match Material 'G')	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

	J1	K	K1	L	L1
Building Elements	Aluminum Railing @ Balconies	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Prefinished White	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	White	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

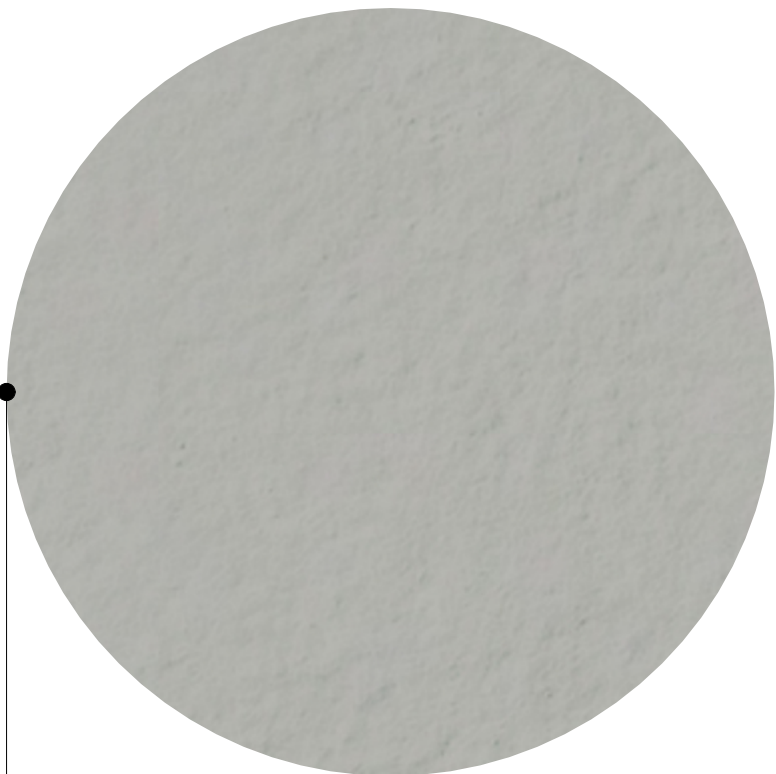
	L2	M	N	N1	P
Building Elements	Typical Unit Entry	Garage Doors	Retaining Walls	Retaining Walls	Vertical Slats
Colour	White	Dark Brown / Black	Grey	Dark Grey	Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete	Allan Block	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete	Silverado	Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC



**D1** CEMENTITIOUS PANEL  
BOARD SYSTEM  
colour: GREY



**D2** CEMENTITIOUS PANEL  
BOARD SYSTEM  
colour: MEDIUM GREY



**D3** CEMENTITIOUS PANEL  
BOARD SYSTEM  
colour: LIGHT GREY



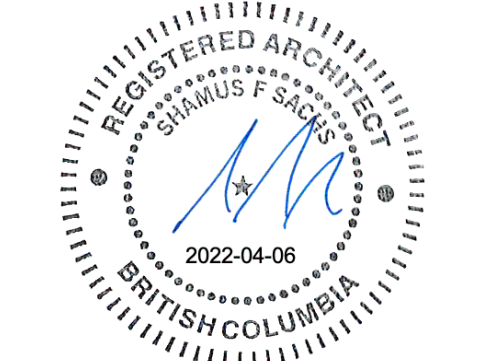
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[PROJECT TEAM]

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

**MATERIAL  
FINISHES**

[PROJECT]

21583

[SCALE]

Wednesday, April 6, 2022

[ISSUE]

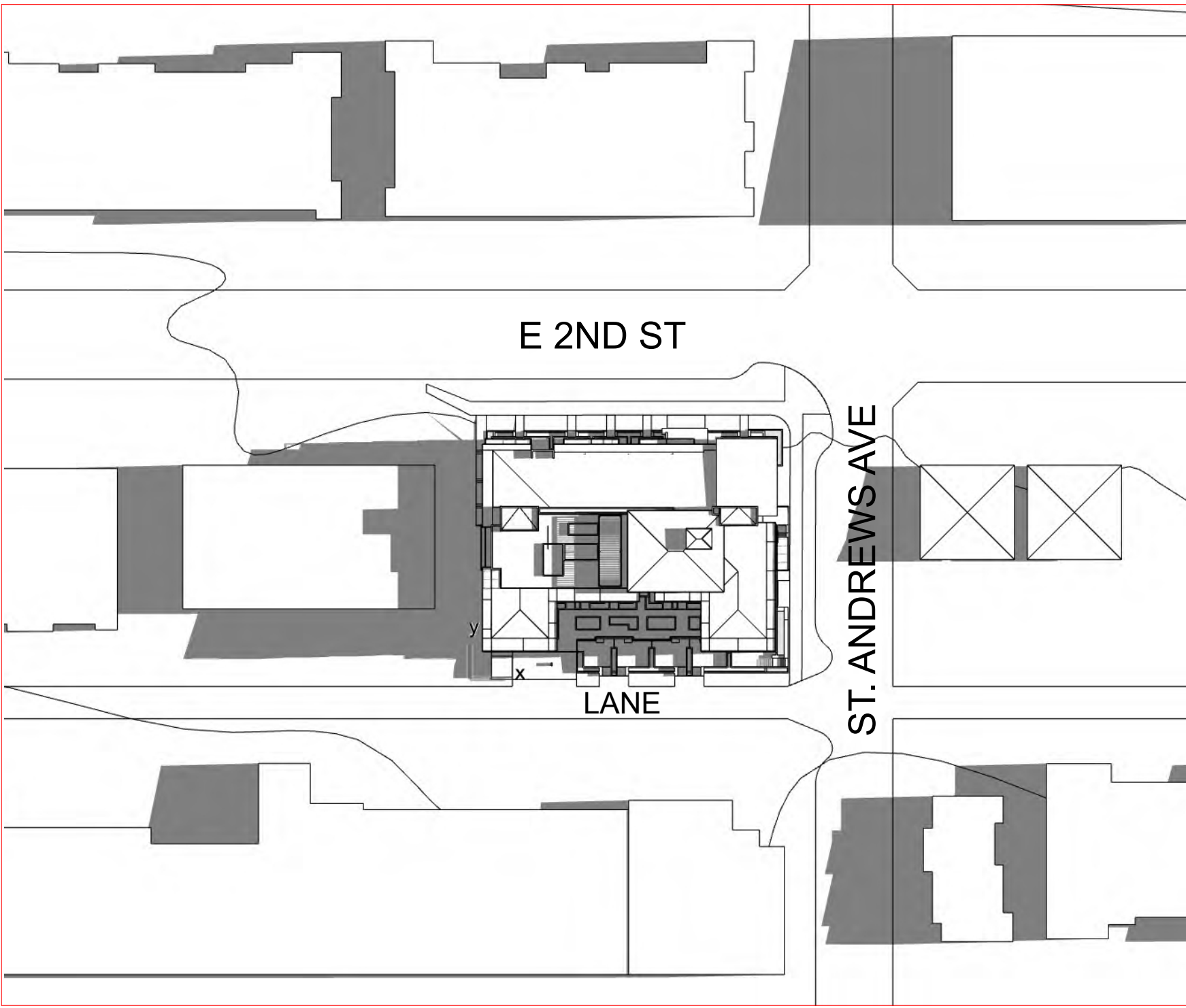
DP / Rezoning - 2

[DRAWING]

**A-8.010**



SPRING EQUINOX  
MARCH 21



10 AM

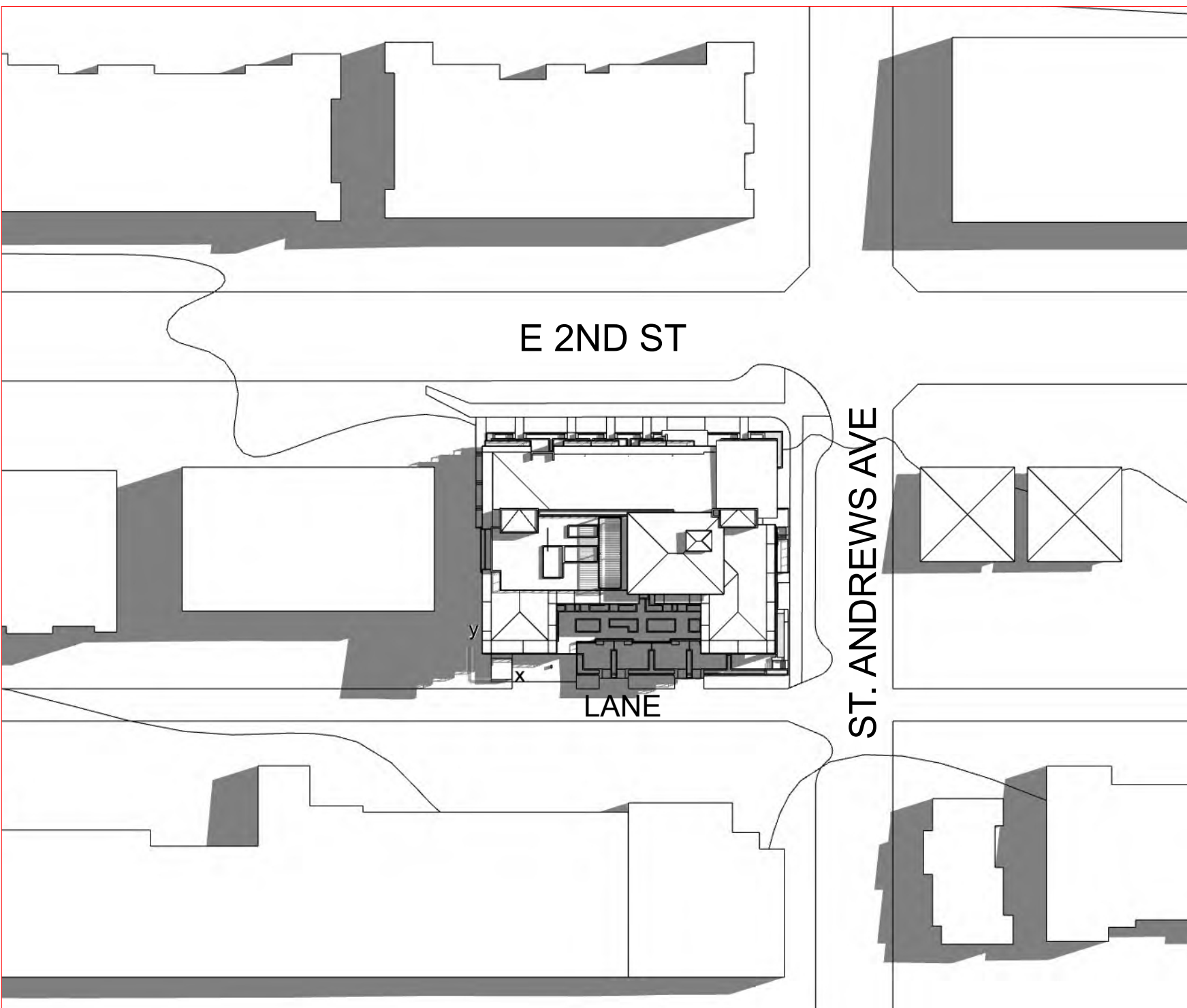


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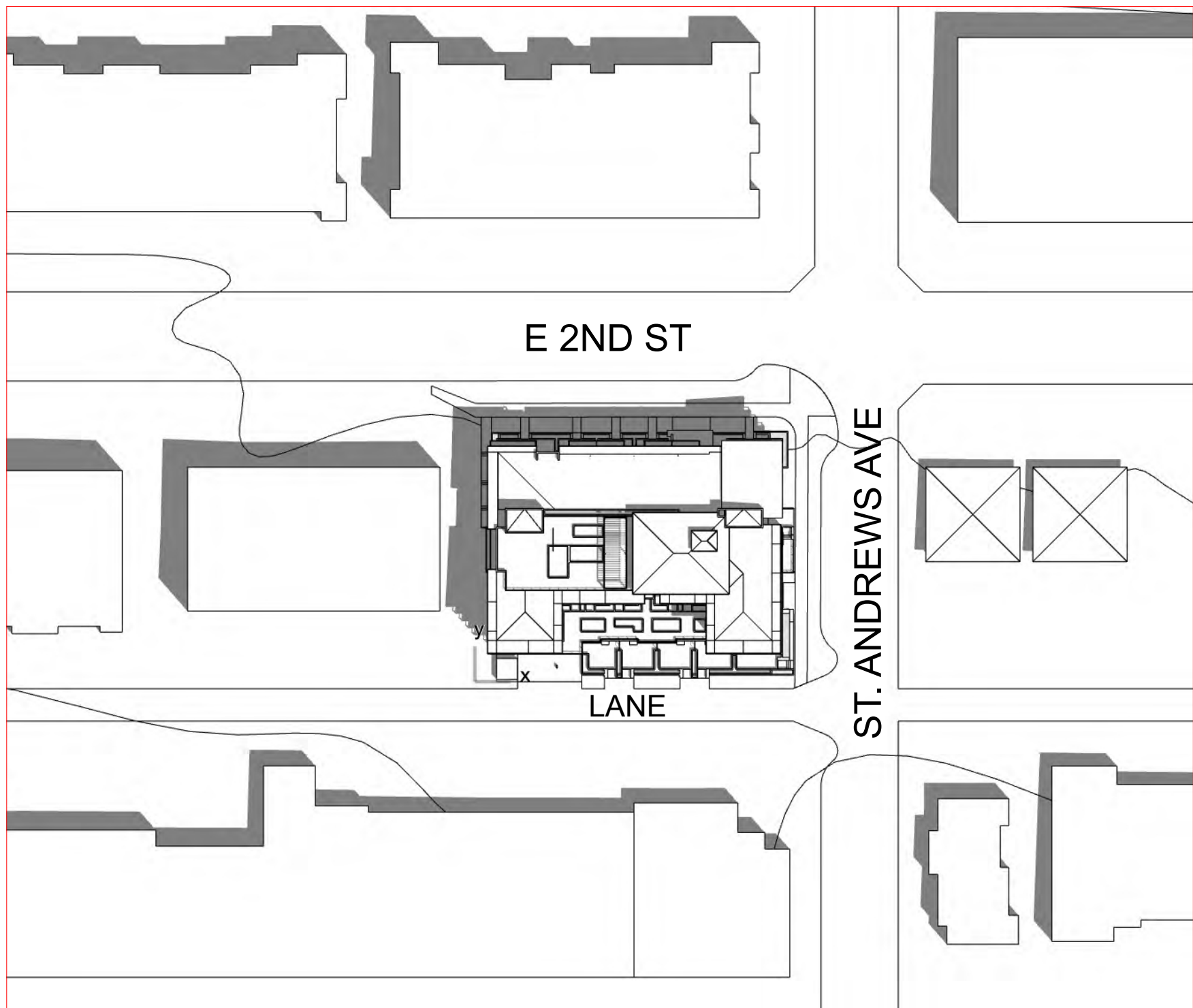


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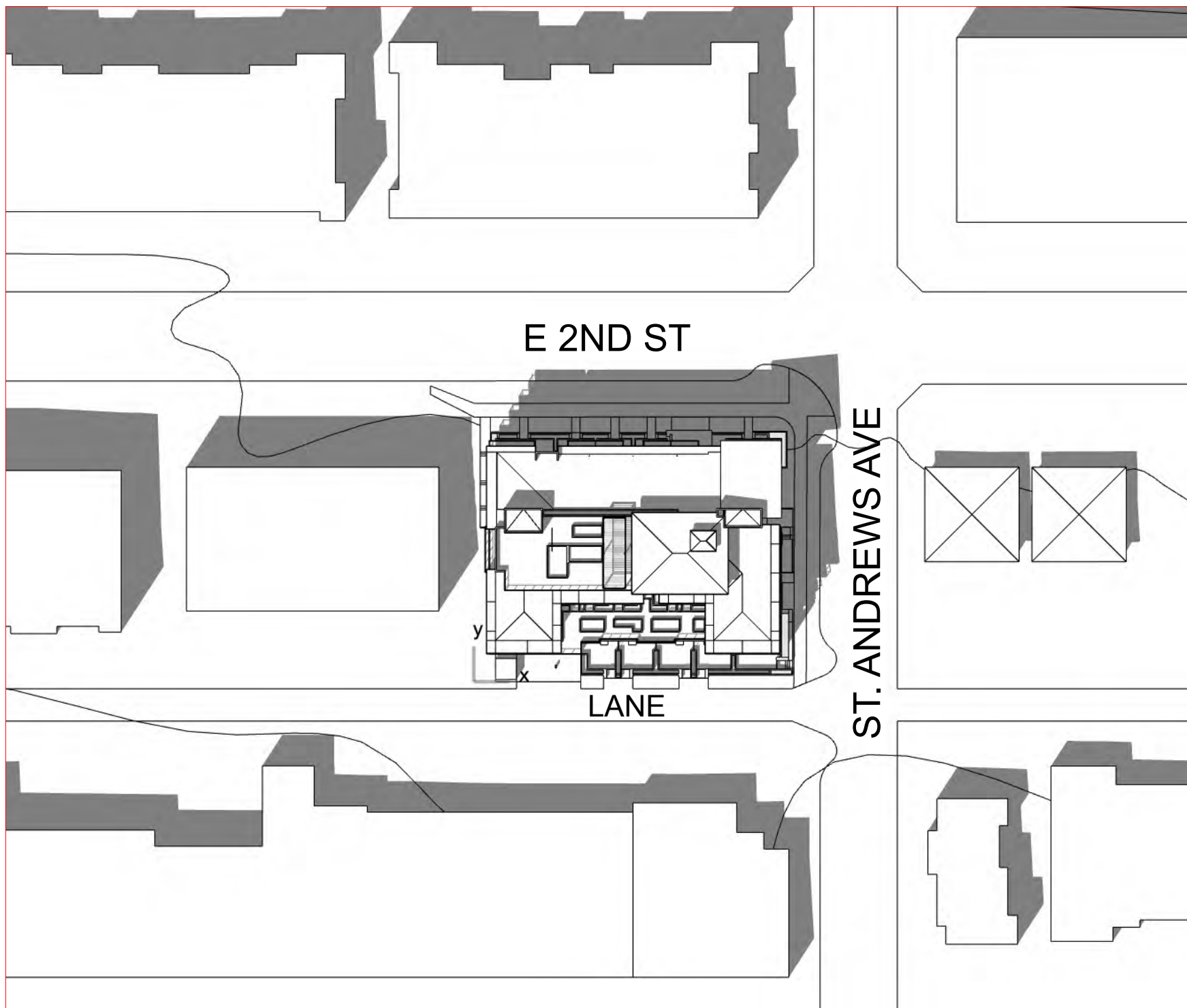
SUMMER SOLSTICE  
JUNE 21



10 AM



12 PM



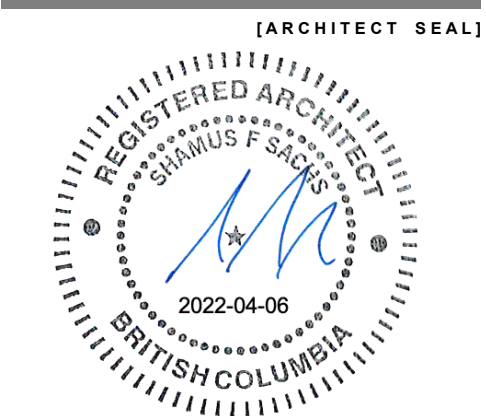
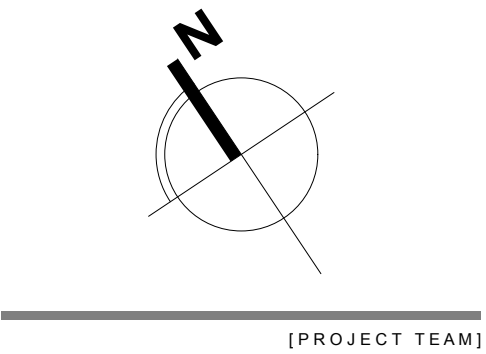
2 PM



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**Three Shores Management**

**EAST 2ND ST.**

275 East 2nd Street  
North Vancouver, B.C.

**SHADOW STUDY**

**21583**

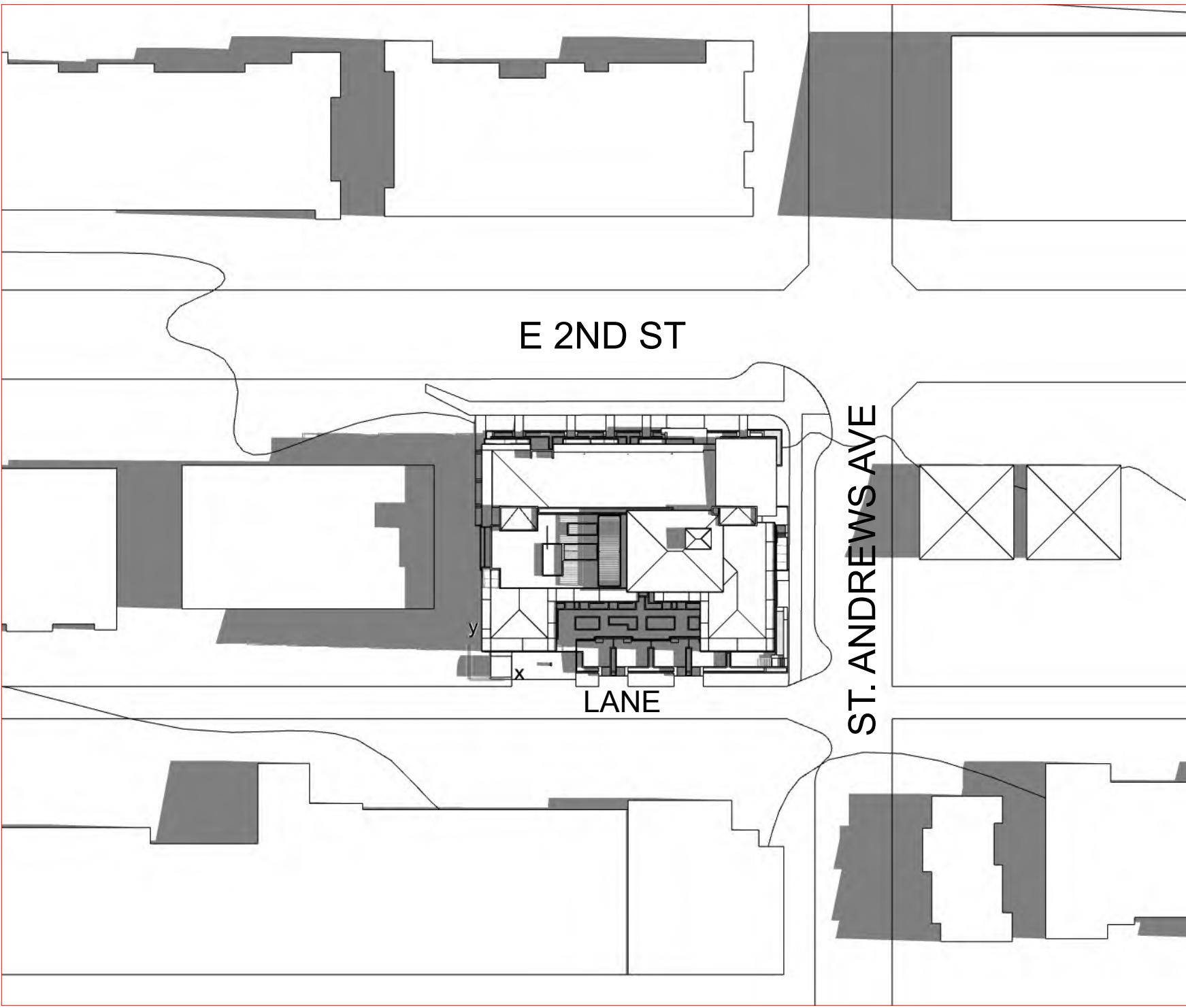
**Wednesday, April 6, 2022**

**DP / Rezoning - 2**

**A-8.500**



FALL EQUINOX  
SEPTEMBER 23



10 AM

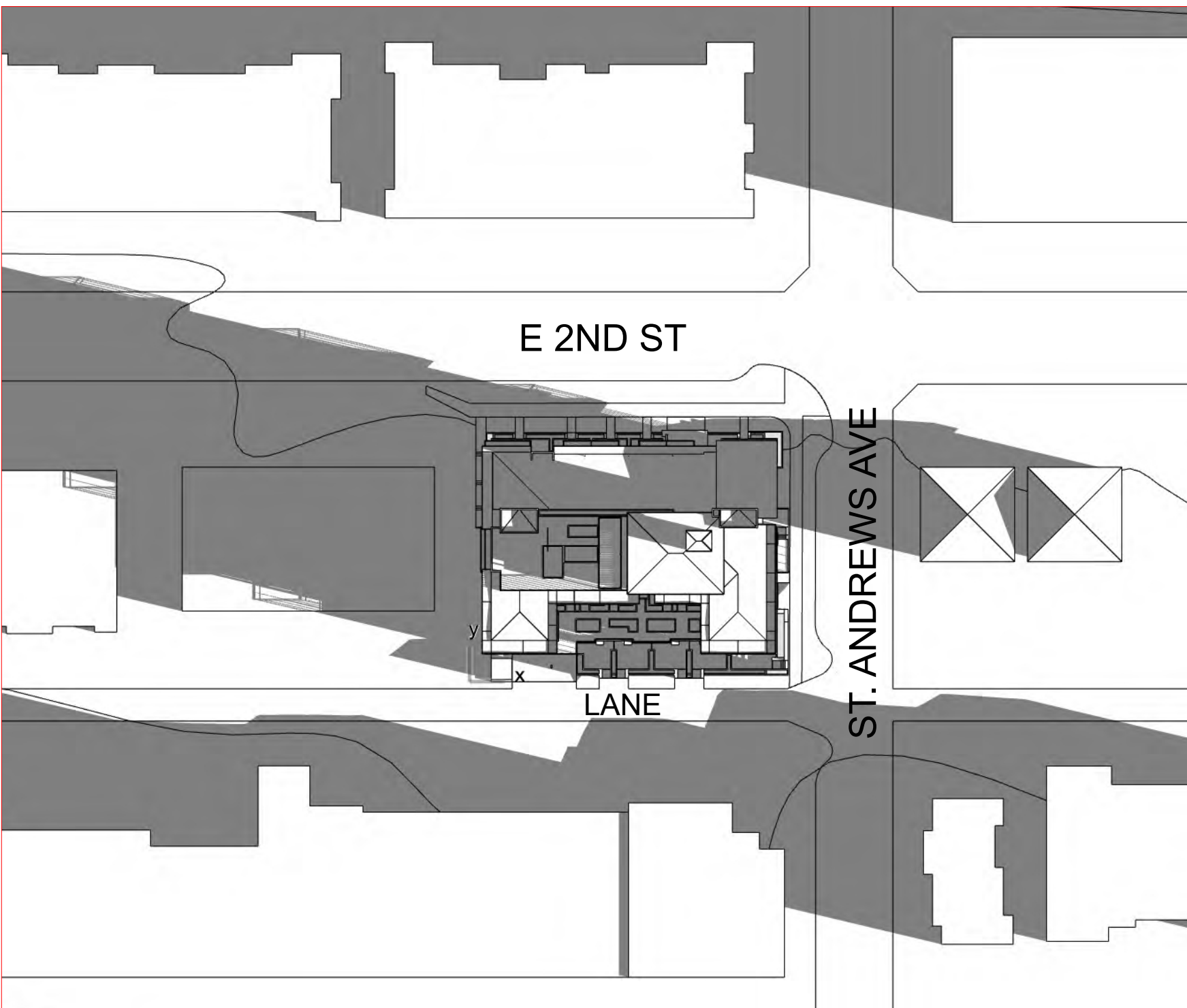


12 PM



2 PM

WINTER SOLSTICE  
DECEMBER 21



10 AM



12 PM



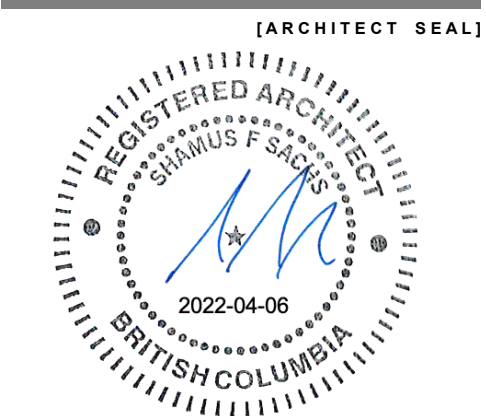
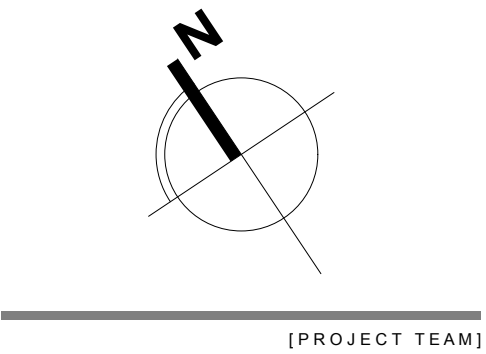
2 PM



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[CLIENT]

**Three Shores Management**

[PROJECT]

**EAST 2ND ST.**

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

**SHADOW STUDY**

[PROJECT]

**21583**

[SCALE]

**Wednesday, April 6, 2022**

**DP / Rezoning - 2**

[DRAWING]

**A-8.501**

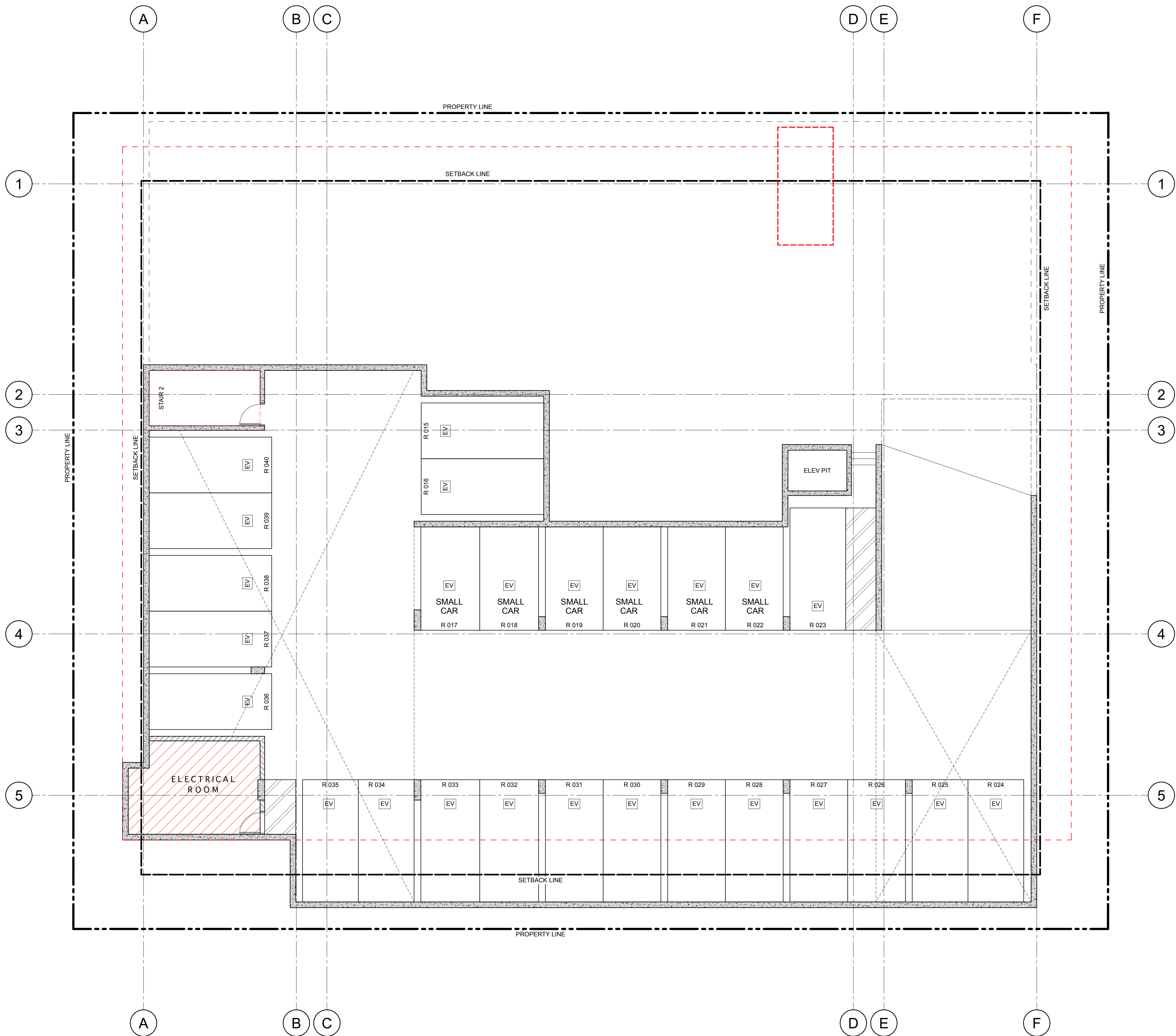
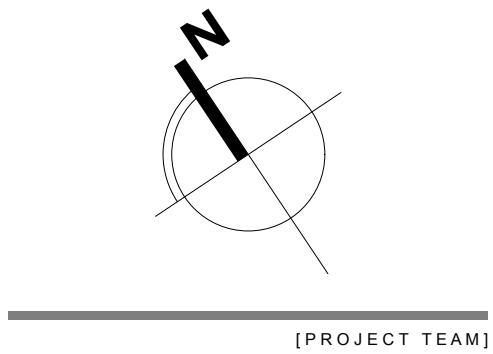




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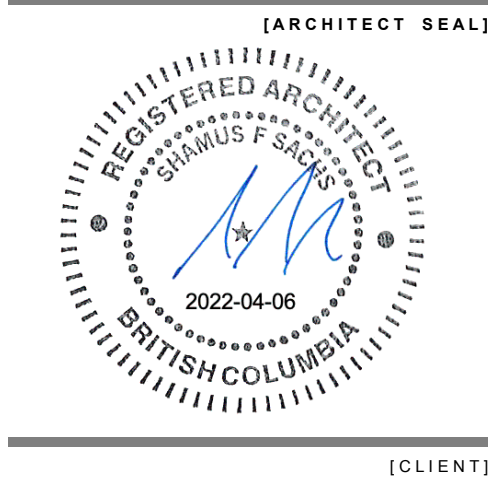


**AREAS INCLUDED IN THE FSR CALCULATION**

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

**AREAS NOT INCLUDED IN THE FSR CALCULATION**

- AREA - OPEN BALCONY  
AND UNIT DECK AREA
- AREA - COMMON STORAGE /  
BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



Three Shores Management

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

**AREA OVERLAY -  
LEVEL P2  
PARKING**

21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

**A-9.001**

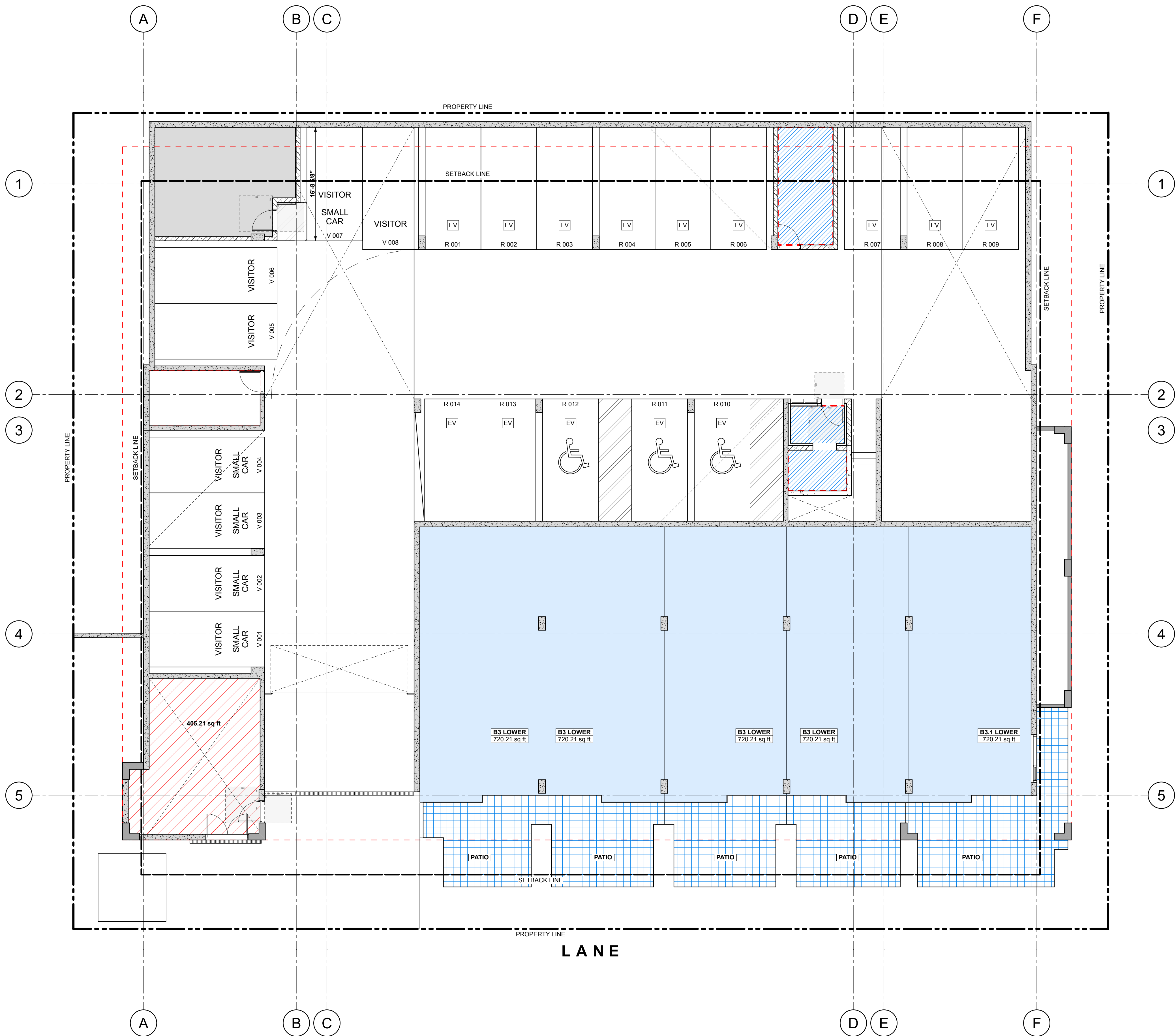
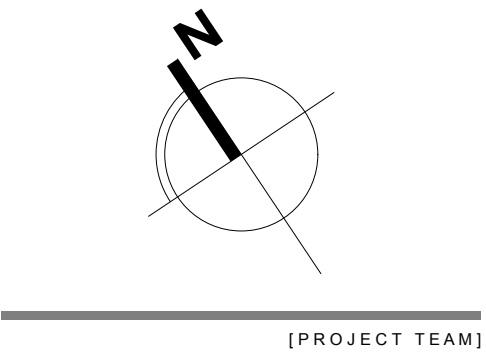




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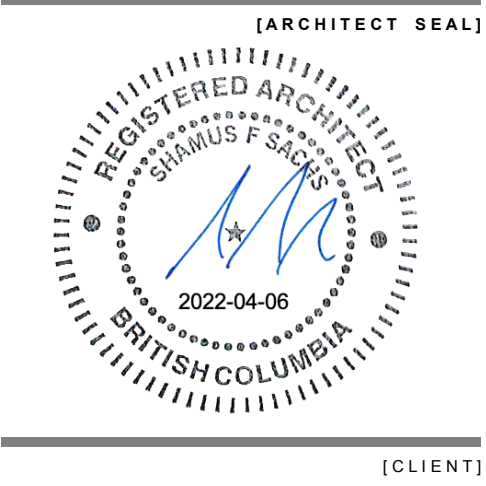


**AREAS INCLUDED IN THE FSR CALCULATION**

- AREA - GROSS FLOOR AREA FOR FSR
- 39.71 sq ft AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

**AREAS NOT INCLUDED IN THE FSR CALCULATION**

- AREA - OPEN BALCONY  
AND UNIT DECK AREA
- AREA - COMMON STORAGE /  
BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



Three Shores Management

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

**AREA OVERLAY -  
LEVEL P1 & LANE  
UNIT LOWER  
FLOOR**

21583

1/8" = 1'-0"

Wednesday, April 6, 2022

DP / Rezoning - 2

**A-9.002**

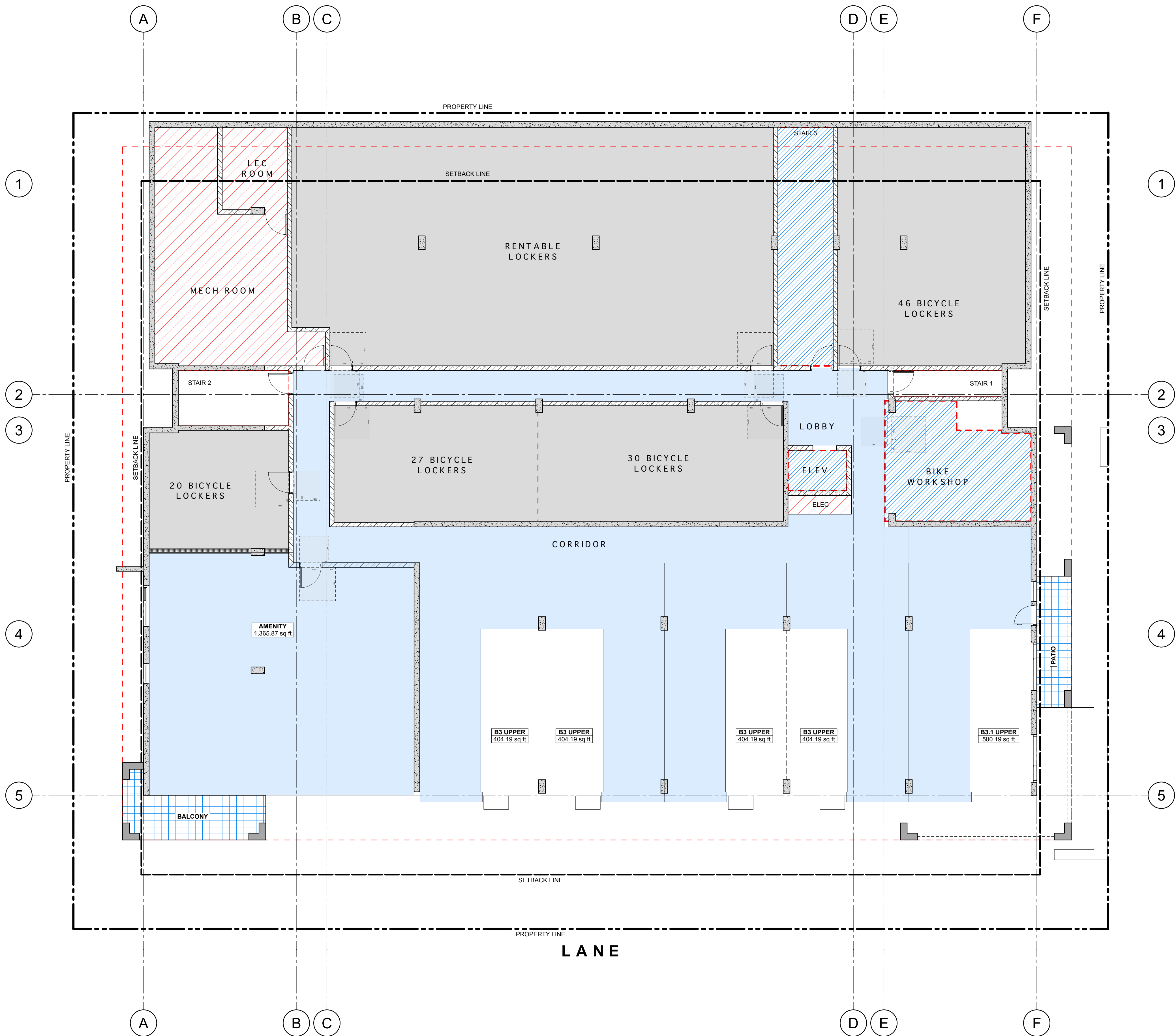
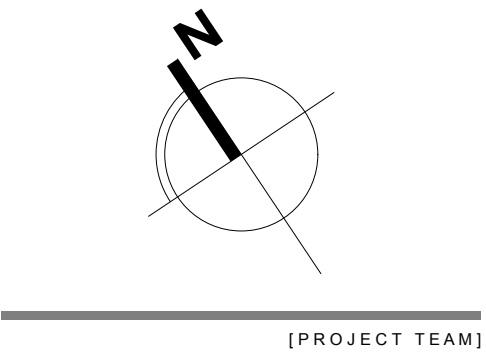




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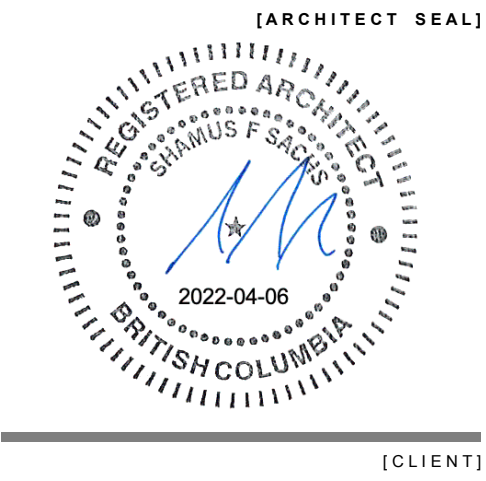
ST ANDREWS AVE

**AREAS INCLUDED IN THE FSR CALCULATION**

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

**AREAS NOT INCLUDED IN THE FSR CALCULATION**

- AREA - OPEN BALCONY  
AND UNIT DECK AREA
- AREA - COMMON STORAGE /  
BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING, GARBAGE



**Three Shores Management**

**EAST 2ND ST.**

275 East 2nd Street  
North Vancouver, B.C.

**AREA OVERLAY -  
BASEMENT &  
LANE UNIT  
UPPER FLOOR**

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

**A-9.003**



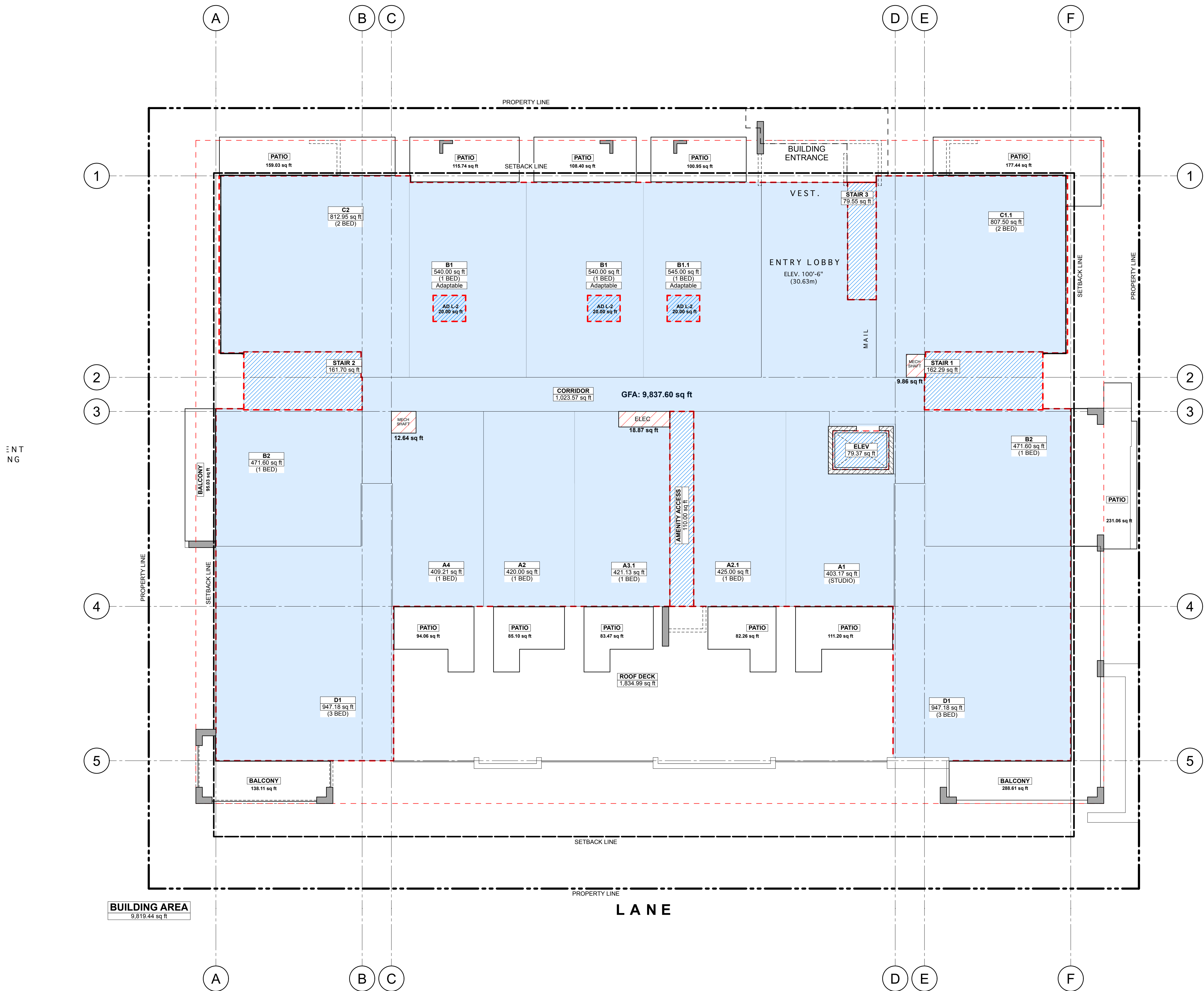
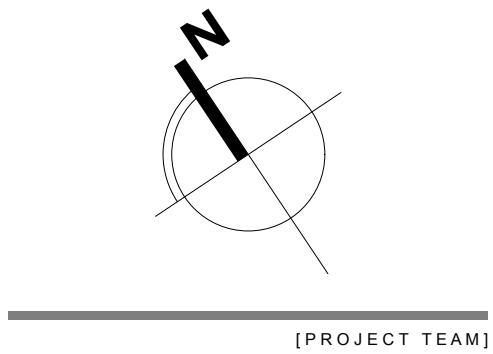


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ST ANDREWS AVE

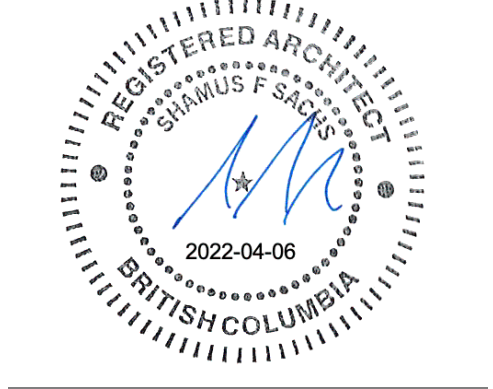
### AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

### AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE

[ARCHITECT SEAL]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -  
LEVEL 1

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Wednesday, April 6, 2022

[ISSUE]

DP / Rezoning - 2

[DRAWING]

A-9.004



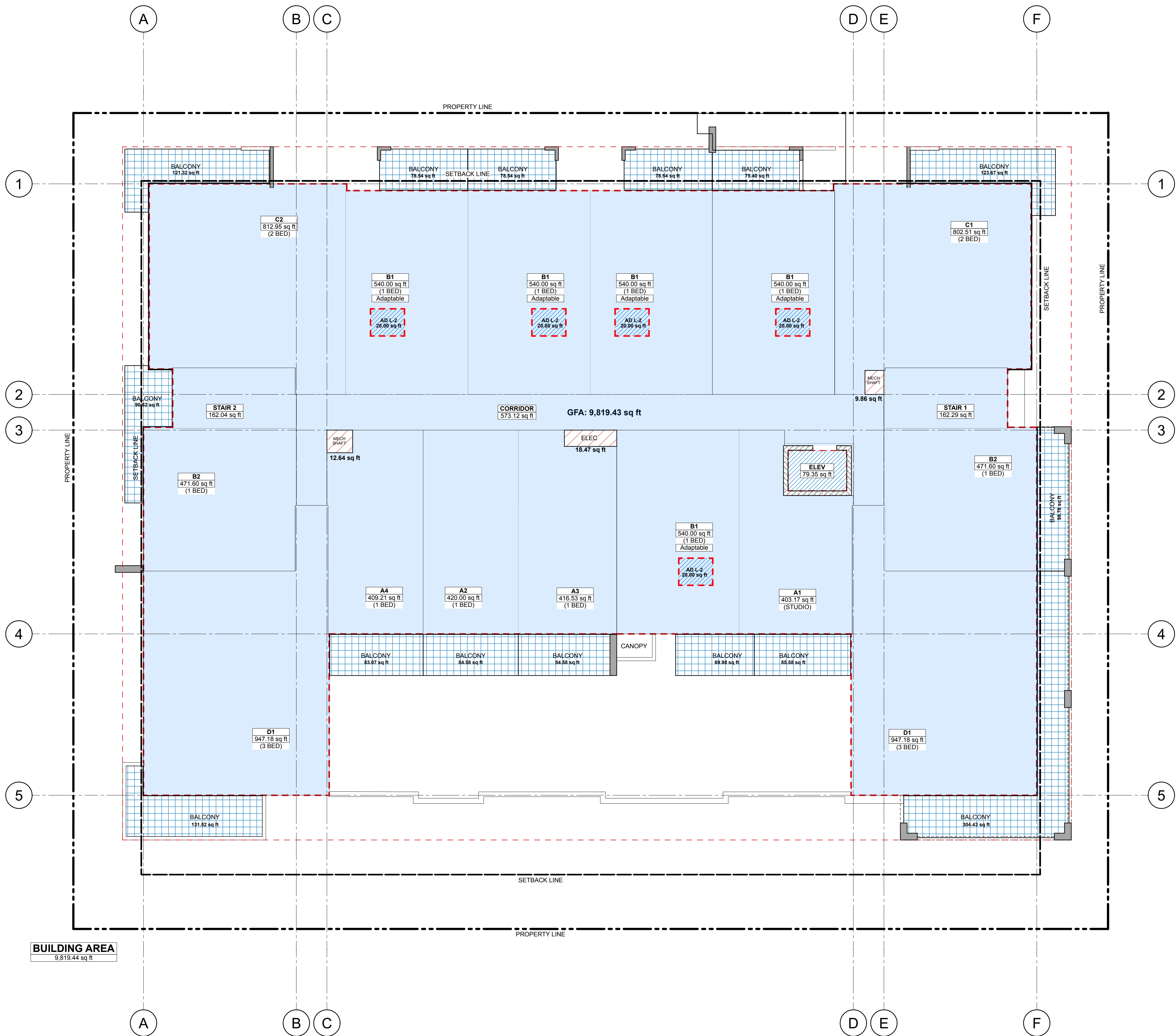
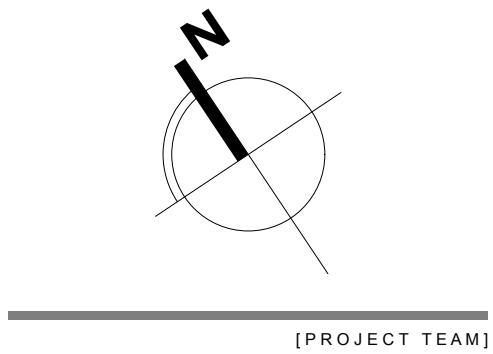


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### AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

### AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



### Three Shores Management

### EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

### AREA OVERLAY - LEVEL 2

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

A-9.005



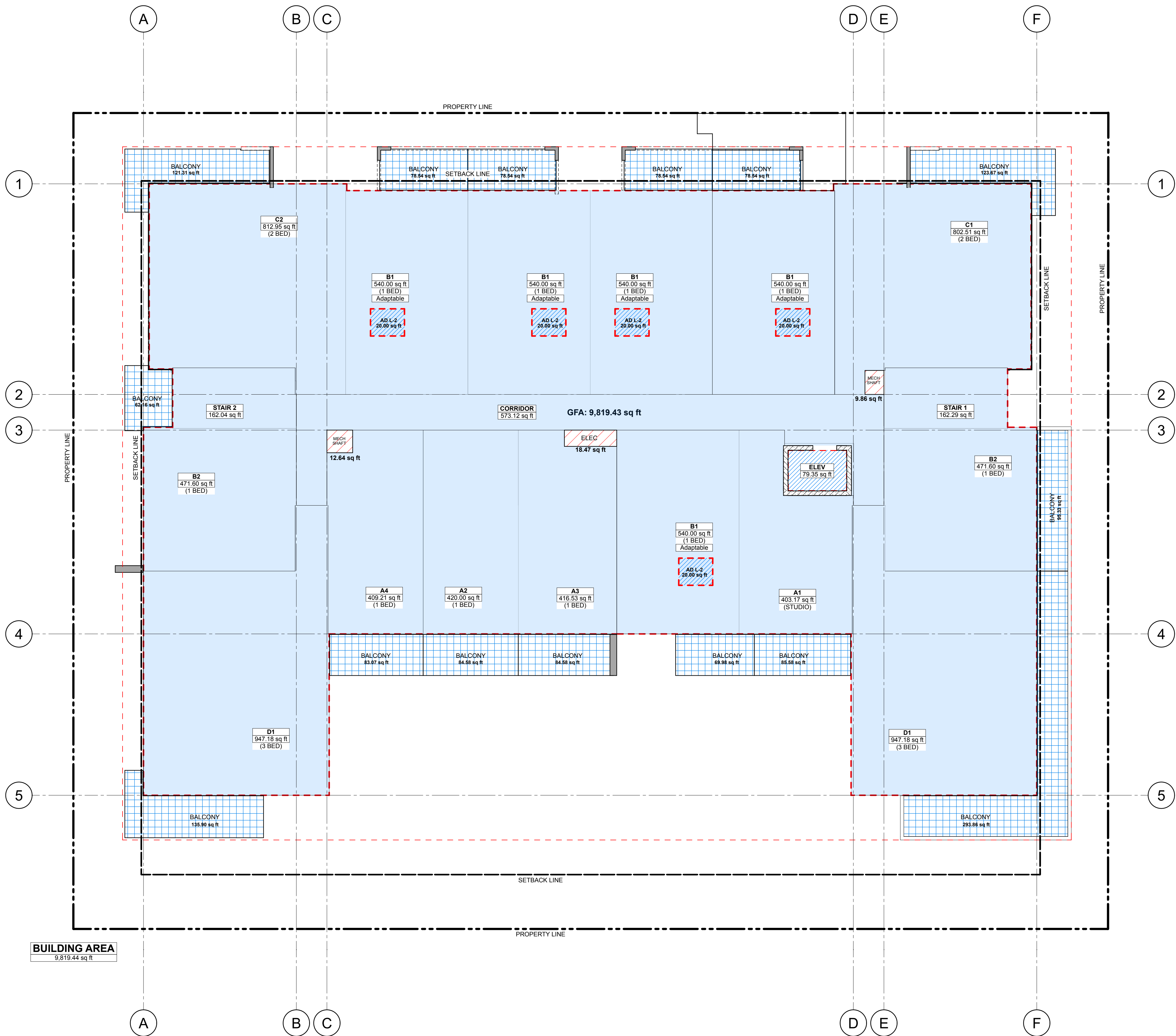
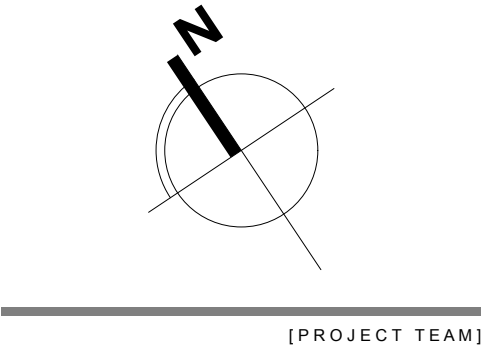


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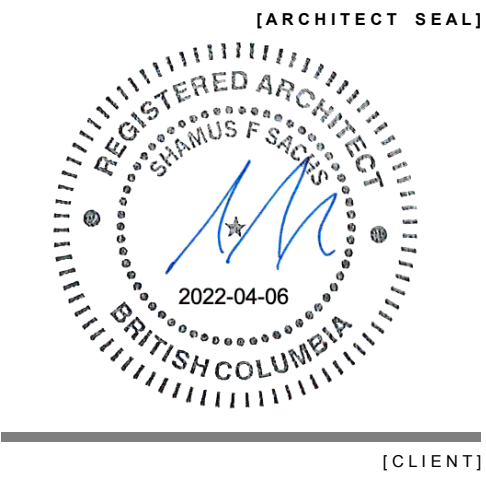


### AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

### AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



### Three Shores Management

### EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

### AREA OVERLAY - LEVEL 3

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

## A-9.006



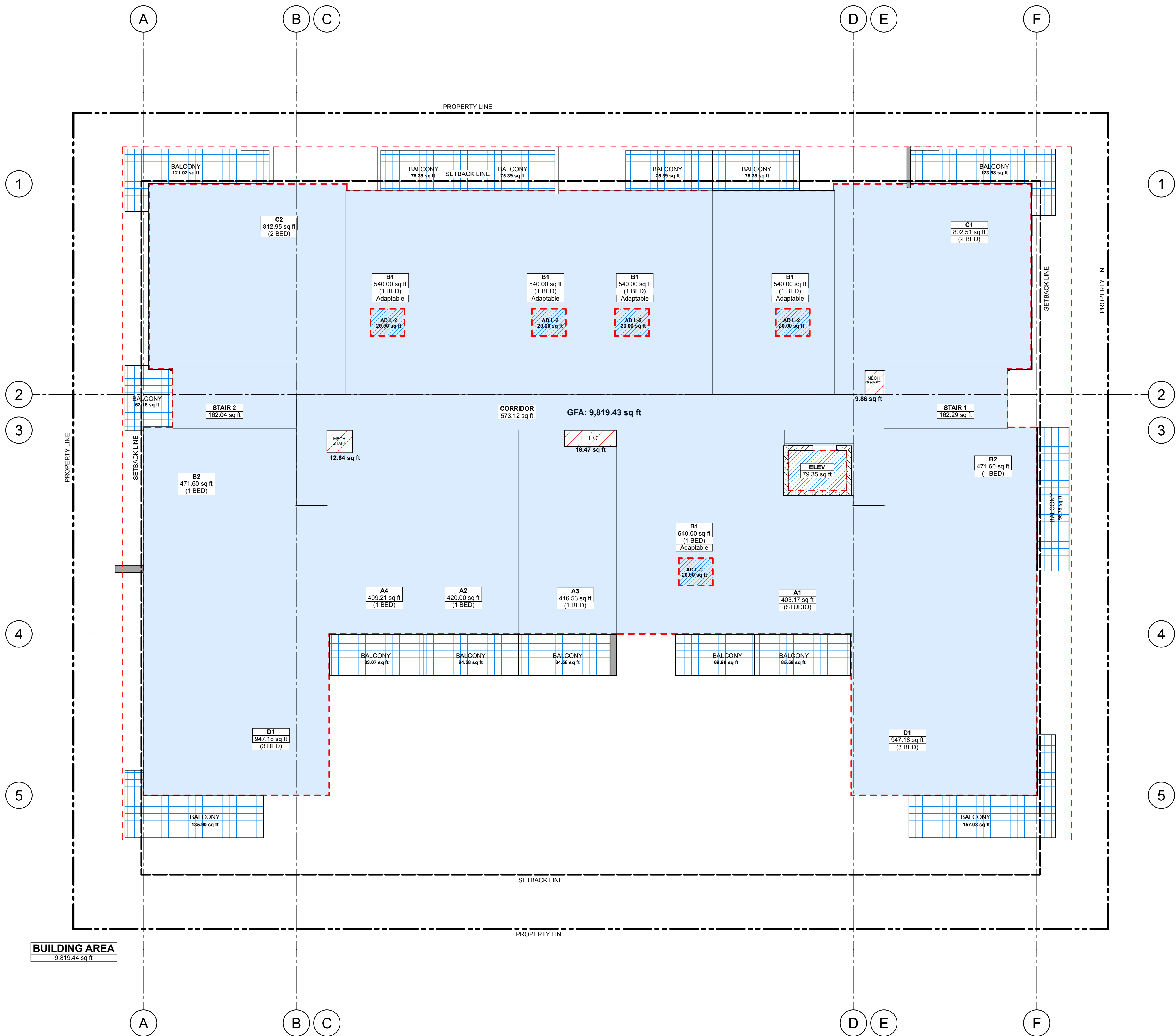
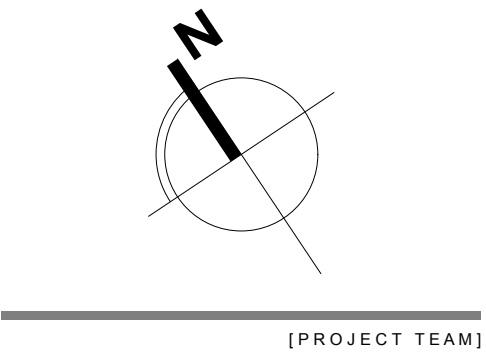


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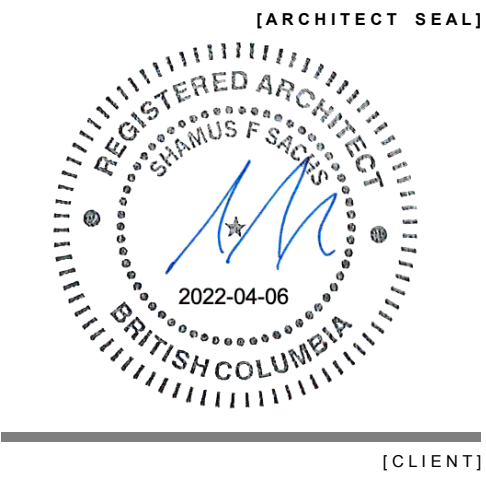


### AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

### AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



### Three Shores Management

### EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

### AREA OVERLAY - LEVEL 4

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

A-9.007



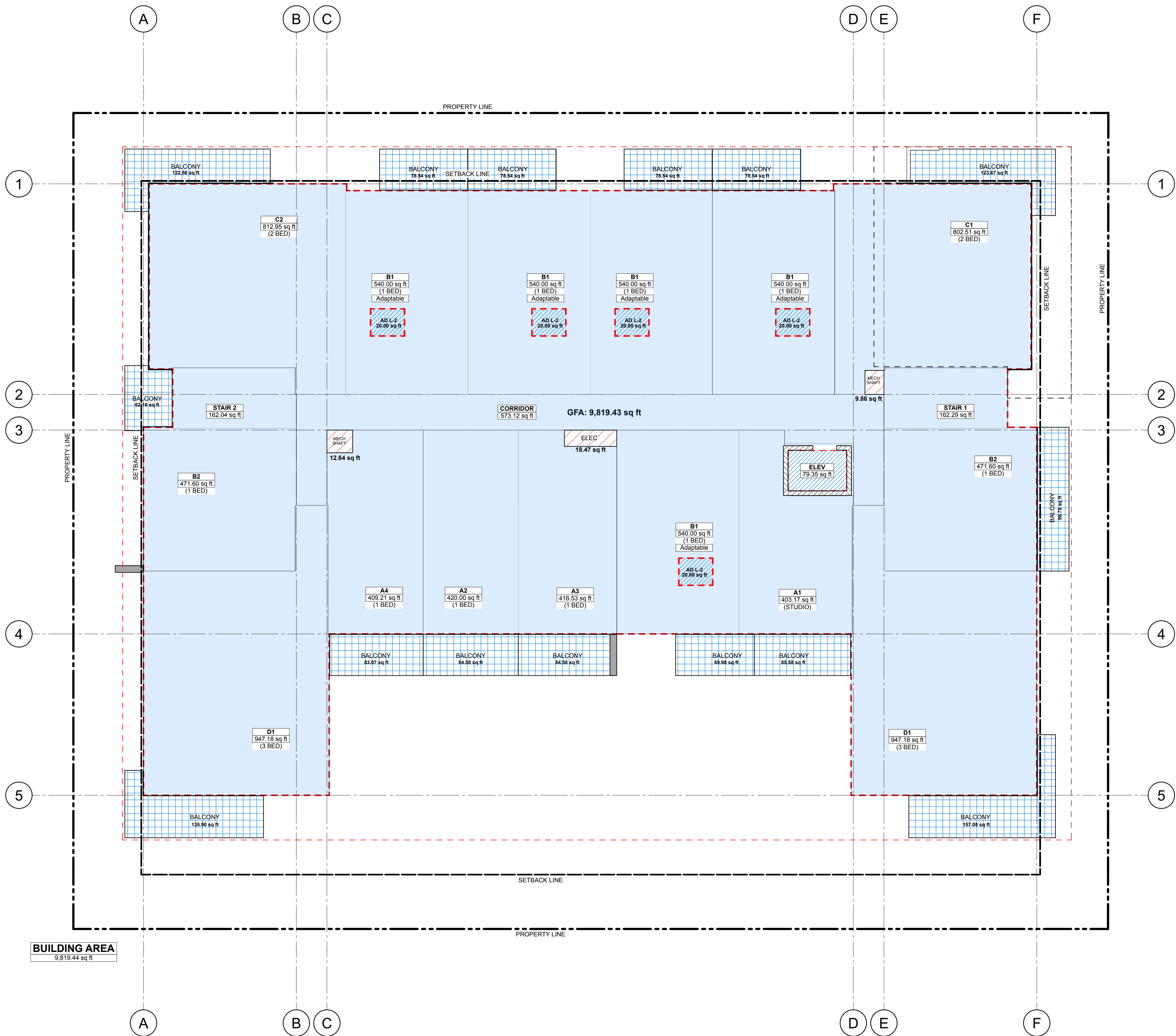
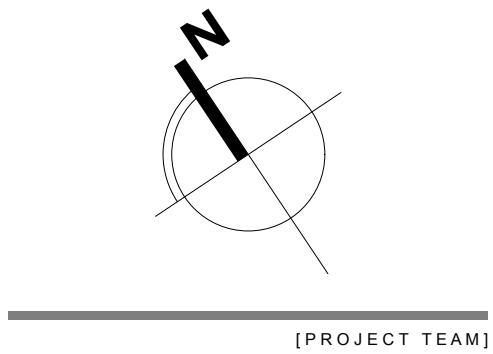


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## AREAS INCLUDED IN THE FSR CALCULATION

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

## AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING , GARBAGE



## Three Shores Management

## EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

## AREA OVERLAY - LEVEL 5

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

A-9.008



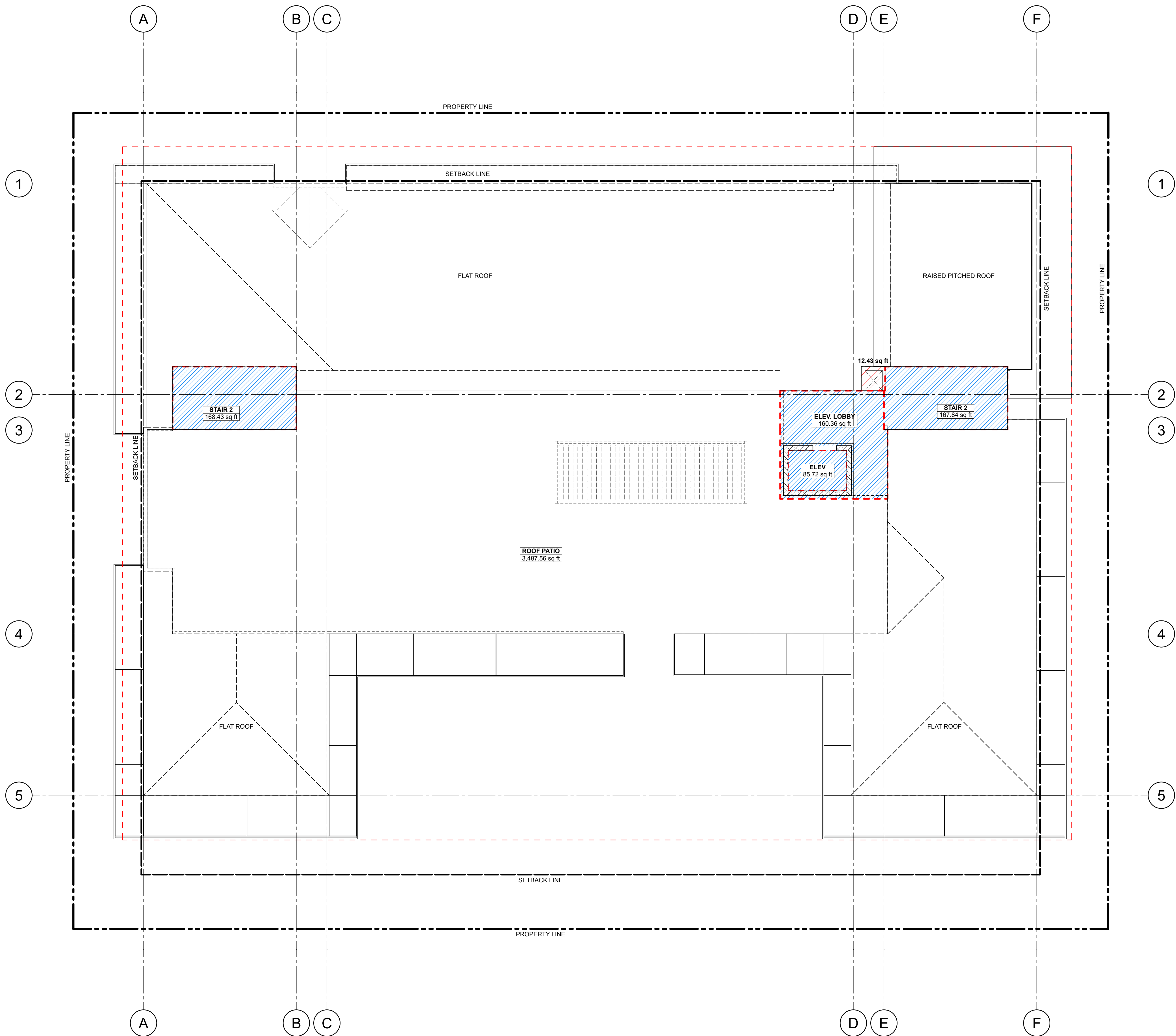
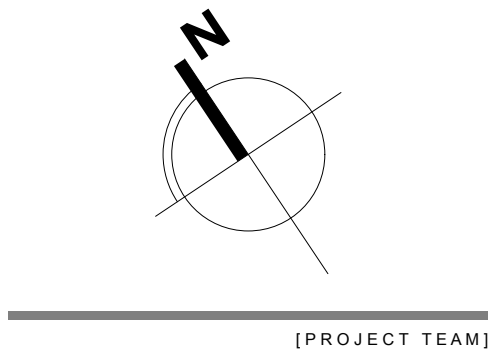


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### AREAS INCLUDED IN THE FSR CALCULATION

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- AREA - UNIT
- AREA - EXCLUSION FROM FSR  
ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY  
ADAPTABLE UNITS - 20 sqft PER UNIT

### AREAS NOT INCLUDED IN THE FSR CALCULATION

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS  
U/G PARKING, GARBAGE



### Three Shores Management

### EAST 2ND ST.

275 East 2nd Street  
North Vancouver, B.C.

### AREA OVERLAY - ROOF LEVEL

21583  
1/8" = 1'-0"  
Wednesday, April 6, 2022  
DP / Rezoning - 2

A-9.009