

Issues No.	Description	Date
1	Issued for Rezoning / Development Permit	2025/08/27

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Client:

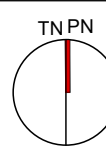
CASCADIA
Green Development

Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

Overall Landscape Plan

Project North:		Drawn By:	MH
Scale:	1:100	Checked By:	MP
Sheet No.:		Job No.:	25-070



Legend:

1A L4.0	CIP Concrete Paving On-grade	4 L4.0	Crushed Stone Paving	8 L4.1	Metal Planter	13 L4.2	Bike Rack	18 L4.2	Garden Storage
1B L4.0	CIP Concrete Paving On-slab	5 L4.0	Artificial Lawn	9 L4.1	Metal Planter (with Seating)	14 L4.2	Harvest Table	19 L4.3	Tree Planting
2A L4.0	Concrete Unit Paving On-grade	6A L4.0	CIP Concrete Planter Wall On-Grade	10 L4.1	Typical Stairs	15 L4.2	Outdoor Lounge Set	20 L4.3	Shrubs and Groundcover Planting
2B L4.0	Concrete Unit Paving On-slab	6B L4.0	CIP Concrete Planter Wall On-Slab	11 L4.2	Aluminum Gate	16 L4.2	Barbecue and Outdoor Kitchen Counter		
3 L4.0	Feature Unit Paving	7 L4.1	Gravel Strip	12 L4.2	Privacy Screen	17 L4.2	Bike Ramp		

Lighting Legend

WL	Recessed Wall Light
BL	Building Light (by Architecture)

Notes:
- Read this plan in conjunction with Electrical and Architectural drawings

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Client:

CASCADIA
Green Development

Project Title:

MULTI-FAMILY RENTAL DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

**Landscape Key Plan
Level P1 + Level 1**

Project North:	TNPN	Drawn By:	MH
		Checked By:	MP
Scale:	1:100	Job No.:	25-070
Sheet No.:			

L1.0



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Client:

CASCADIA
Green Development

Project Title:

MULTI-FAMILY RENTAL DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

**Landscape Key Plan
Roof Level**

Project North:		Drawn By:	MH
		Checked By:	MP
Scale:	1:100	Job No.:	25-070
Sheet No.:			

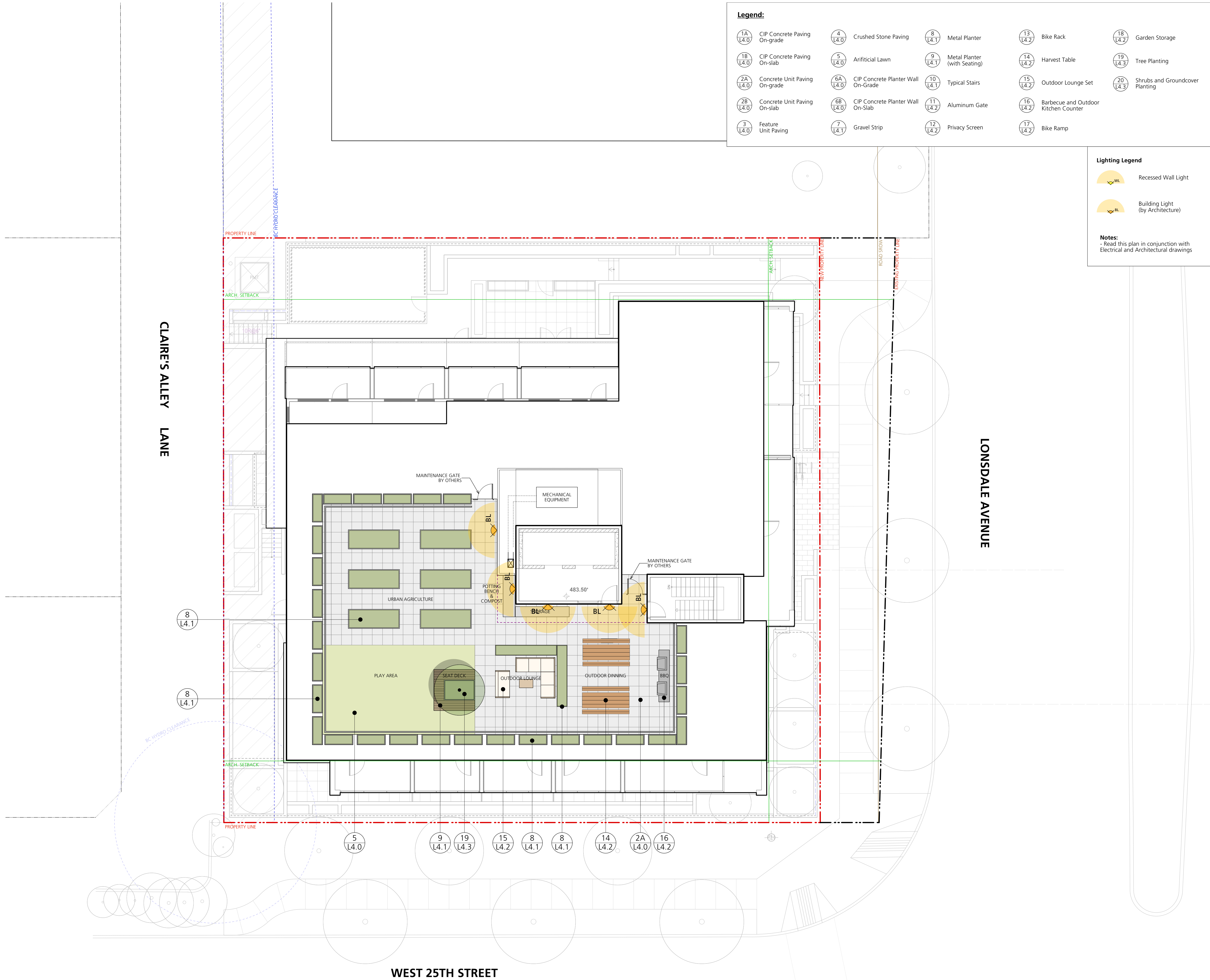
Legend:

CIP Concrete Paving On-grade	Crushed Stone Paving	Metal Planter	Bike Rack	Garden Storage
CIP Concrete Paving On-slab	Artificial Lawn	Metal Planter (with Seating)	Harvest Table	Tree Planting
Concrete Unit Paving On-grade	CIP Concrete Planter Wall On-Grade	Typical Stairs	Outdoor Lounge Set	Shrubs and Groundcover Planting
Concrete Unit Paving On-slab	CIP Concrete Planter Wall On-Slab	Aluminum Gate	Barbecue and Outdoor Kitchen Counter	
Feature Unit Paving	Gravel Strip	Privacy Screen	Bike Ramp	

Lighting Legend

	Recessed Wall Light
	Building Light (by Architecture)

Notes:
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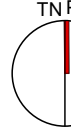
CASCADIA
Green Development

Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

Tree Management Plan

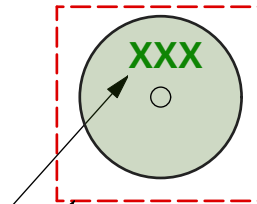
Project North:		Drawn By:	MH
		Checked By:	MP
Scale:	1:100	Job No.:	25-070
Sheet No.:			

EXISTING TREES LEGEND

Tree To be removed:



Tree To be retained and protected:



Tree Tag No.

Refer to Arborist Report for Tree Protection Fence and Protection Zone

Note:
Existing trees to be removed per arborist report.

GENERAL NOTES

1. This plan is to be read in conjunction with Arborist Report. Refer to arborist report by TRAPP ARBORIST SERVICES, August 21, 2025.
2. Any work within the tree protection areas must be under supervision of the consulting arborist for the project.
3. Proposed street trees species, sizes and location to be coordinated with the City of North Vancouver.
4. Trees must be adequately watered during the entire construction process. Any roots exposed from lines of excavation must be covered with burlap and polyplastic in an effort to prevent desiccation of exposed roots. Absolutely no grade changes are to occur within the Critical Root Zones of retained trees.
5. Construction materials are not to be stored within the Tree Protection Zones (TPZ) of trees to be retained, and TPZ fencing is to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating "TREE PROTECTION ZONE - DO NOT ENTER OR MODIFY". TPZ is to be modified by the site Arborist only; contact your project Arborist for any TPZ barrier issues. All workers must be notified of the Tree Protection Zones, and that entry into these zones is not permitted.
6. Trenching for utility connections to be coordinated with Engineering Department to ensure safe root zones of retained trees. Methods of tree protection for street trees to be approved by City of North Vancouver.

Thuja occidentalis
(Pyramidal Cedar)

Gleditsia triacanthos
(Honeylocust)

Cornus florida
(Flowering Dogwood)

Cornus florida
(Flowering Dogwood)

Juglans nigra
(Black walnut)

Mix species low hedging

Cedrus deodar
(Deodar cedar)

Acer platanum
(Japanese Maple)

Cedrus deodar
(Deodar cedar)

CLARE'S ALLEY LANE

LONSDALE AVENUE

Picea abies
(Norway Spruce)

Thuja plicata
(Western Red Cedar)

Cedrus deodar
(Deodar cedar)

Thuja occidentalis
(Pyramidal Cedar)

Prunus lusitanica
(Portuguese Laurel)

Alnus rubra
(Red Maple)

Mix species low hedging

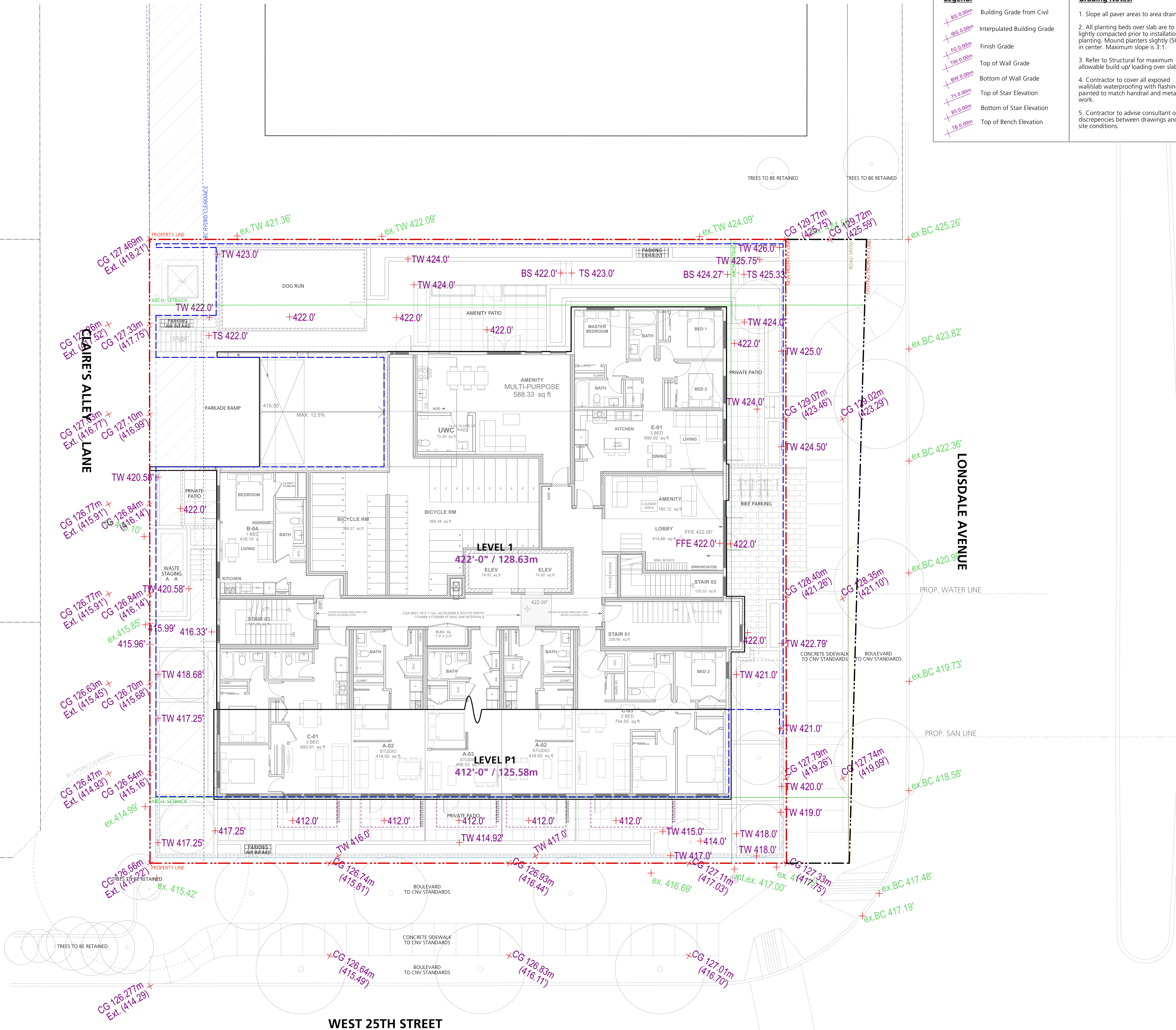
Alnus rubra
(Red Maple)

Thuja plicata
(Western Red Cedar)

WEST 25TH STREET

Legend:	Grading Notes:
<div><div></div><div>+BG 0.00m</div></div>	Building Grade from Civil
<div><div></div><div>+BG 0.00m</div></div>	Interpolated Building Grade
<div><div></div><div>+FG 0.00m</div></div>	Finish Grade
<div><div></div><div>+TW 0.00m</div></div>	Top of Wall Grade
<div><div></div><div>+BW 0.00m</div></div>	Bottom of Wall Grade
<div><div></div><div>+TS 0.00m</div></div>	Top of Stair Elevation
<div><div></div><div>+BS 0.00m</div></div>	Bottom of Stair Elevation
<div><div></div><div>+TB 0.00m</div></div>	Top of Bench Elevation
1. Slope all paver areas to area drains. 2. All planting beds over slab are to be lightly compacted prior to installation of planting. Mound planters slightly (50mm) in center. Maximum slope is 3:1. 3. Refer to Structural for maximum allowable build up/ loading over slab. 4. Contractor to cover all exposed wall/slab waterproofing with flashing painted to match handrail and metal work. 5. Contractor to advise consultant of any discrepancies between drawings and on site conditions.	

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CASCADIA
Green Development

Project Title:
MULTI-FAMILY RENTAL DEV.
2025 Lonsdale Avenue
North Vancouver, BC

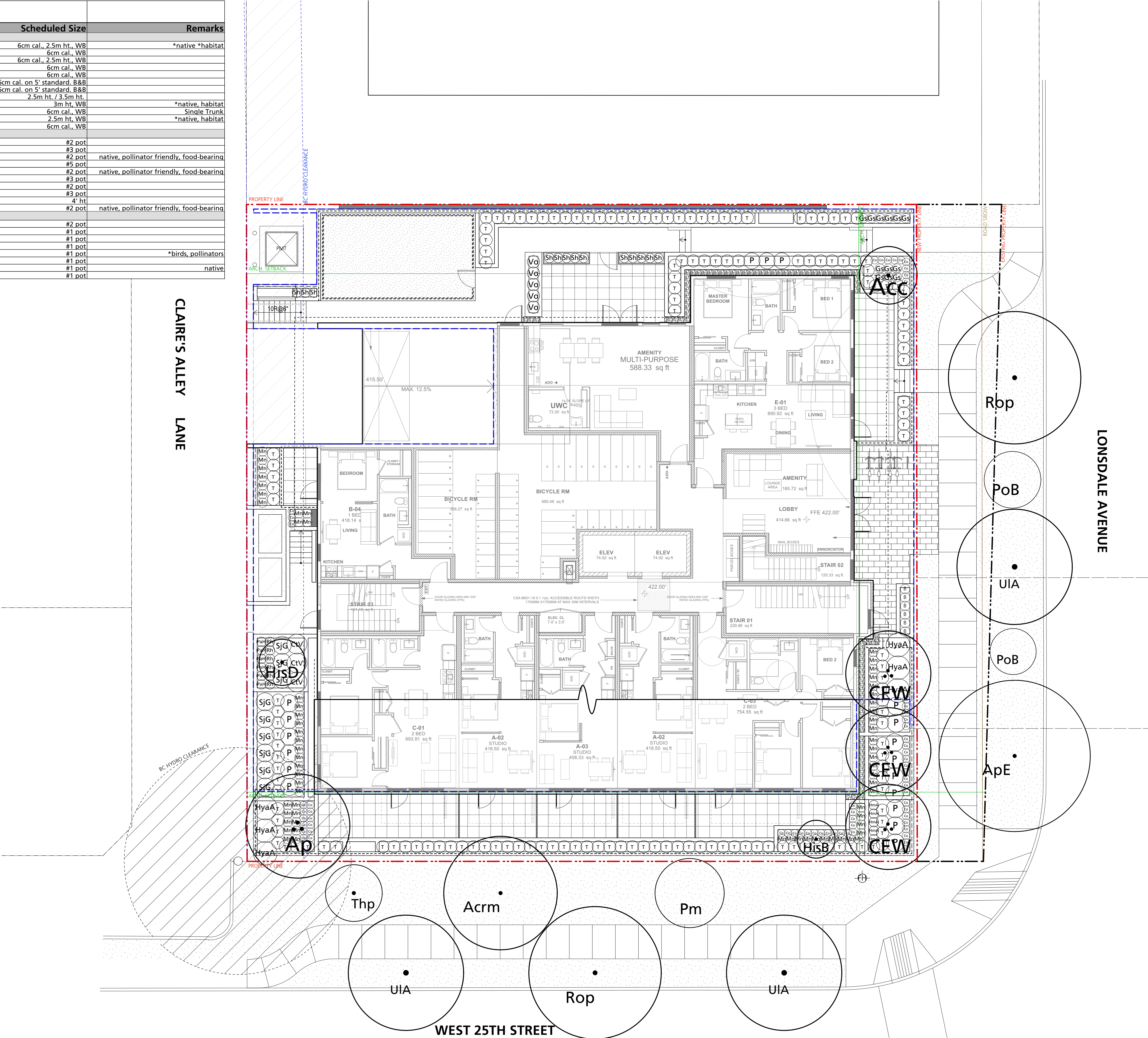
Drawing Title:
**Grading Plan
Level P1 + Level 1**

Project North:	<div><div></div><div>TWPN</div></div>	Drawn By:	MH
		Checked By:	MP
Scale:	1:250	Job No.:	25-070
Sheet No.:			

Plant List All Levels					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Acc	1	Acer circinatum	Vine Maple	6cm cal., 2.5m ht., WB	*native *habitat
Acrm	1	Acer macrophyllum	Bigleaf Maple	6cm cal., WB	
Ap	1	Acer palmatum 'Atropurpureum'	Red-Leaf Japanese Maple	6cm cal., 2.5m ht., WB	
ApE	1	Acer platanoides 'Emerald Queen'	Emerald Queen Norway Maple	6cm cal., WB	
CEW	3	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm cal., WB	
HisB	2	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	6cm cal. on 5' standard, B&B	
HisD	1	Hibiscus syriacus 'Diana'	Rose of Sharon	6cm cal. on 5' standard, B&B	
PoB	2	Picea omorika 'Bruns'	Bruns Serbian Spruce	2.5m ht. / 3.5m ht.	
Pm	1	Pseudotsuga menziesii	Douglas Fir	3m ht, WB	*native, habitat
Rop	2	Robinia pseudoacacia	Black Locust	6cm cal., WB	*Single Trunk
Thp	1	Thuja plicata	Western Red Cedar	2.5m ht, WB	*native, habitat
UIA	3	Ulmus americana 'Brandon'	Brandon Elm	6cm cal., WB	
Shrubs					
B	46	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	
CTV	12	Ceanothus thyrsiflorus 'Victoria'	Victoria Lilac	#3 pot	
Gs	12	Gaultheria shallon	Salal	#2 pot	native, pollinator friendly, food-bearing
HyaA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 pot	
Mn	64	Mahonia nervosa	Longleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Pl	10	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	
Sh	13	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
SiG	5	Spiraea japonica 'Goldmound'	Goldmound Spirea	#3 pot	
T	151	Taxus x media 'Hilli'	Hilli's Yew	4' ht	
Vo	5	Vaccinium ovatum	Evergreen Huckleberry	#2 pot	native, pollinator friendly, food-bearing
Groundcovers, Vines, Ferns, Perennials and Grasses					
Ca	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot	
Co	62	Carex oshimensis 'Evergold'	Sedge	#1 pot	
Fc	24	Fragaria chiloensis	Coastal Strawberry	#1 pot	
HmA	28	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot	
La	28	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	*birds, pollinators
PaH	30	Pennisetum alopecuroides 'Hameln'	Hamelin Fountain Grass	#1 pot	
P	18	Polystichum munitum	Western Sword Fern	#1 pot	native
Rh	6	Rudbeckia hirta	Black-eyed Susan	#1 pot	

PLANTING NOTES

- Offsite Tree Species selection to be confirmed by CNV Park Board. Final spacing, quantity and tree species to the satisfaction of CNV. New trees must be of good standard, 7cm caliper and 2m standards, and installed with approved root barriers and appropriate soil. Root barriers shall continue along both sides of the bike paths and one side of the sidewalks. Planting depth of root ball must be at sidewalk grade. Call CNV for inspection after tree planting completion
- All planting and landscape installation to meet or exceed the BCSLA/BCLNA - CSLA landscape standards
- As a minimal acceptable standard:
 - Sizes on the plant list shall be considered minimum sizes
 - Root balls to be free of pernicious weeds
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- All plant material shall be approved at the nursery by the project landscape architect.
- The contractor shall supply all plant materials shown on all drawings.
- No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
- Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.
- Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.
- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting
- The contractor shall locate and verify the existence of all utilities prior to starting work.
- All planting beds to have min 50 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- All sod to be unnetted, grown on sand and at least 70% of seed (by weight) to be Tall Turf-type Fescue (Chafer Beetle resistant).
- Plant Search area to include BC, WA , OR & CA.
- Imported growing medium to be free from all mushroom / fungi growth
- Contractor is responsible to obtain and be familiar with the relevant project specifications



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Client:

CASCADIA
Green Development

Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

**Planting Plan
Level P1 + Level 1**

Project North:		Drawn By:	MH
		Checked By:	MP

Scale:	1:100	Job No.:	25-070
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Sheet No.:

PLANTING NOTES

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- 14) The landscape contractor shall refer to the contract specifications for additional requirements.
- 15) All sod to be unnetted, grown on sand and at least 70% of seed (by weight) to be Tall Turf-type Fescue (Chafer Beetle resistant).
- 16) Plant Search area to include BC, WA , OR & CA.
- 17) Imported growing medium to be free from all mushroom / fungi growth
- 18) Contractor is responsible to obtain and be familiar with the relevant project specifications

CLAIRE'S ALLEY LANE



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
CASCADIA
Green Development

Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

Planting Plan Roof Level

Project North:		Drawn By:	MH
		Checked By:	MP
Scale:	1:100	Job No.:	25-070
Sheet No.:			

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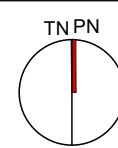
Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

**Schematic Irrigation Plan
Level P1 + Level 1**

Project North:



Drawn By:

MH

Checked By:

MP

Scale:

1:100

Job No.:

25-070

Sheet No.:

L3.2

Off-Site Irrigation Notes:

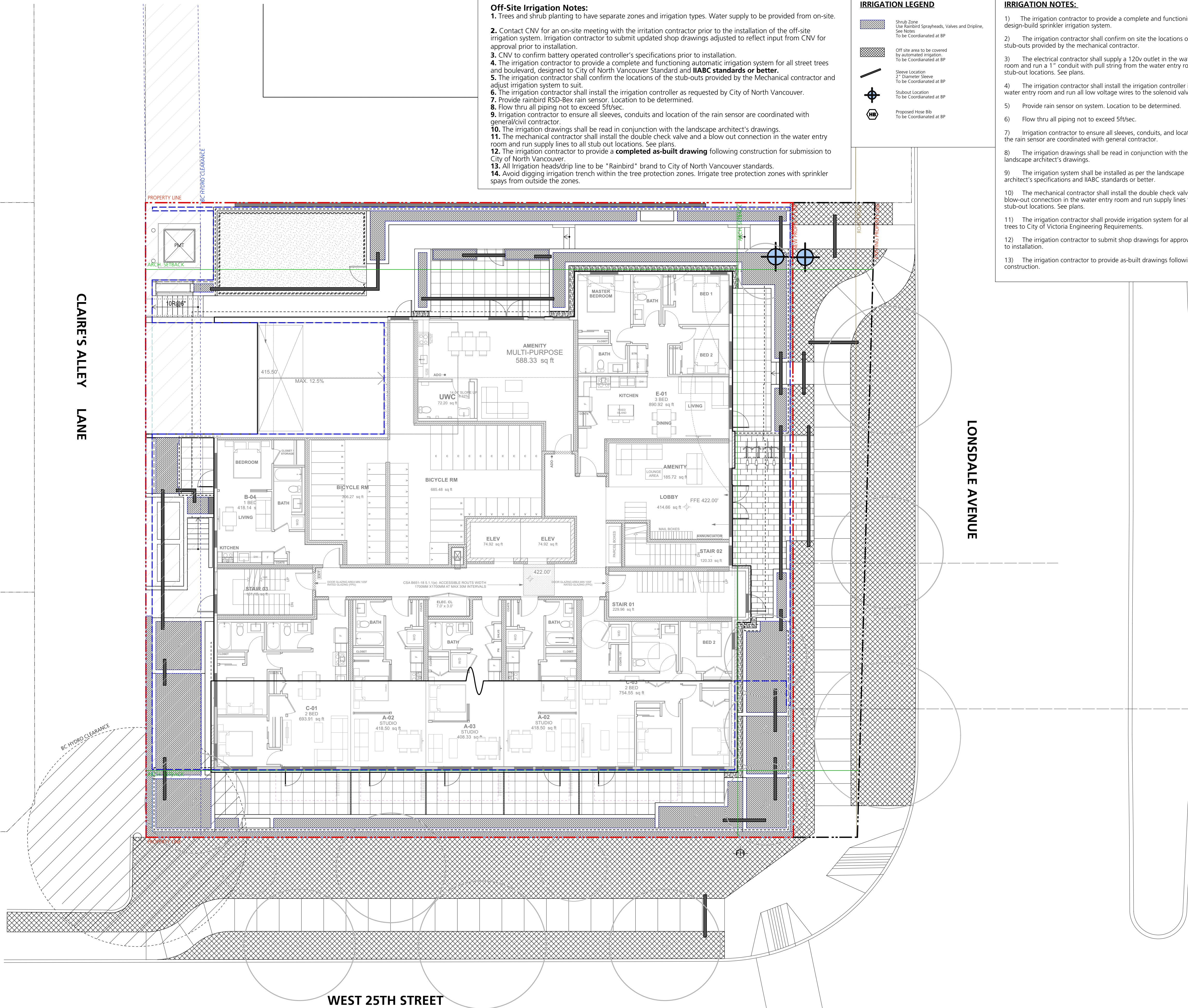
1. Trees and shrub planting to have separate zones and irrigation types. Water supply to be provided from on-site.
2. Contact CNV for an on-site meeting with the irritation contractor prior to the installation of the off-site irrigation system. Irrigation contractor to submit updated shop drawings adjusted to reflect input from CNV for approval prior to installation.
3. CNV to confirm battery operated controller's specifications prior to installation.
4. The irrigation contractor to provide a complete and functioning automatic irrigation system for all street trees and boulevard, designed to City of North Vancouver Standard and **IIABC standards or better**.
5. The irrigation contractor shall confirm the locations of the stub-outs provided by the Mechanical contractor and adjust irrigation system to suit.
6. The irrigation contractor shall install the irrigation controller as requested by City of North Vancouver.
7. Provide rainbird RSD-Bex rain sensor. Location to be determined.
8. Flow thru all piping not to exceed 5ft/sec.
9. Irrigation contractor to ensure all sleeves, conduits and location of the rain sensor are coordinated with general/civil contractor.
10. The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
11. The mechanical contractor shall install the double check valve and a blow out connection in the water entry room and run supply lines to all stub out locations. See plans.
12. The irrigation contractor to provide a **completed as-built drawing** following construction for submission to City of North Vancouver.
13. All Irrigation heads/drip line to be "Rainbird" brand to City of North Vancouver standards.
14. Avoid digging irrigation trench within the tree protection zones. Irrigate tree protection zones with sprinkler sprays from outside the zones.

IRRIGATION LEGEND

- Shrub Zone
Use Rainbird Sprayheads, Valves and Dripline.
See Notes
To be Coordinated at BP
- Off site area to be covered
by automated irrigation.
To be Coordinated at BP
- Sleeve Location
2" Diameter Sleeve
To be Coordinated at BP
- Stubout Location
To be Coordinated at BP
- Proposed Hose Bib
To be Coordinated at BP

IRRIGATION NOTES:

- 1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
- 2) The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
- 3) The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
- 4) The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
- 5) Provide rain sensor on system. Location to be determined.
- 6) Flow thru all piping not to exceed 5ft/sec.
- 7) Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
- 8) The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- 9) The irrigation system shall be installed as per the landscape architect's specifications and IIABC standards or better.
- 10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
- 11) The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
- 12) The irrigation contractor to submit shop drawings for approval prior to installation.
- 13) The irrigation contractor to provide as-built drawings following construction.



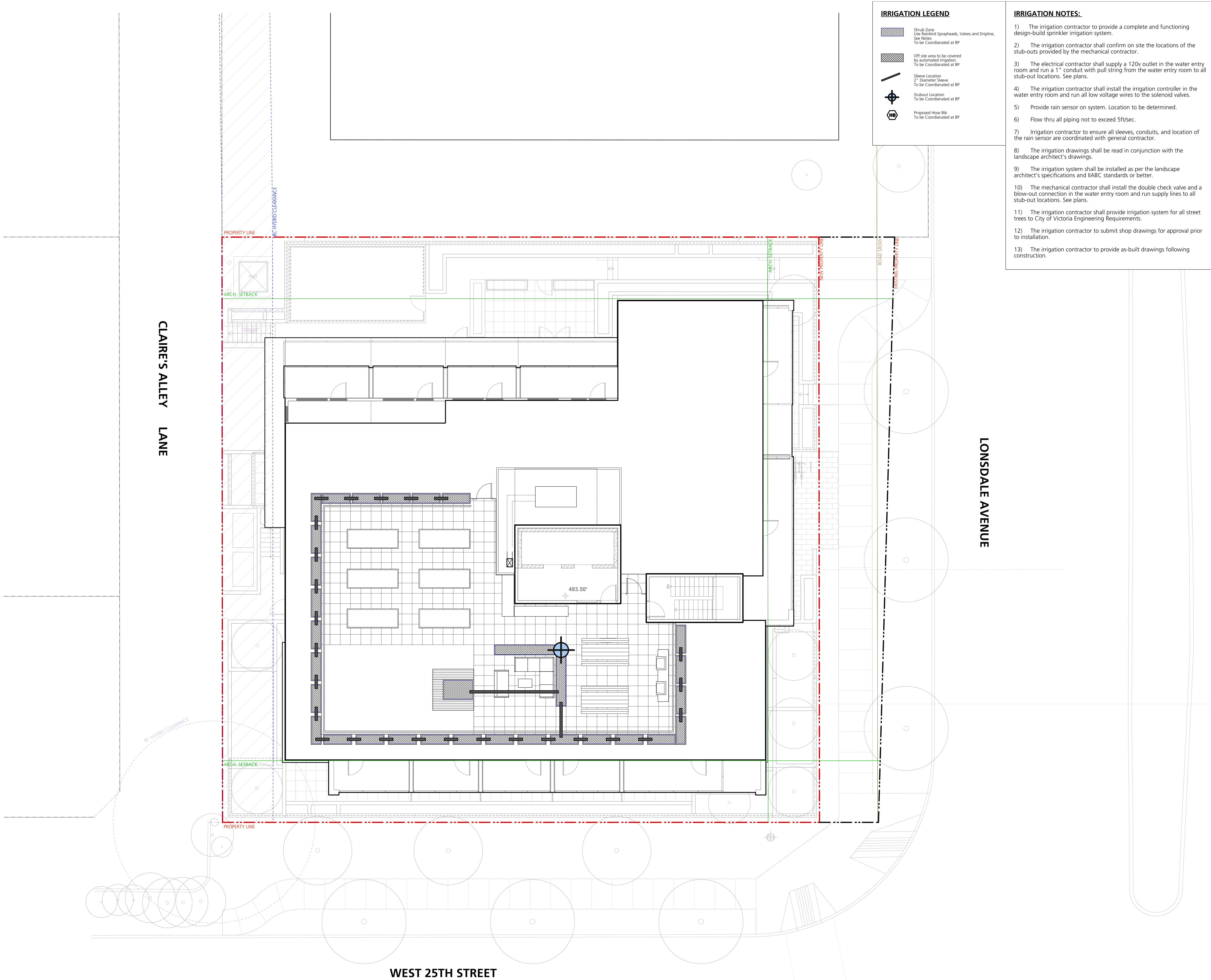
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- 7) Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
- 8) The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- 9) The irrigation system shall be installed as per the landscape architect's specifications and IIABC standards or better.
- 10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
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- 13) The irrigation contractor to provide as-built drawings following construction.

IRRIGATION LEGEND

- Shrub Zone
Use Rainbird Sprayheads, Valves and Dripline,
See Notes
To be Coordinated at BP
- Off site area to be covered
by automated irrigation.
To be Coordinated at BP
- Sleeve Location
2" Diameter Sleeve
To be Coordinated at BP
- Stubout Location
To be Coordinated at BP
- Proposed Hose Bib
To be Coordinated at BP



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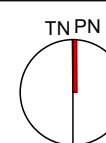
CASCADIA
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Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

**Schematic Irrigation Plan
Roof Level**

Project North:  Drawn By: **MH**
Checked By: **MP**

Scale: **1:100** Job No.: **25-070**

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CASCADIA
Green Development

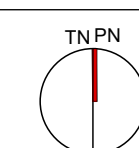
Project Title:

MULTI-FAMILY RENTAL
DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

Soil Depth Plan
Level P1 + Level 1

Project North:



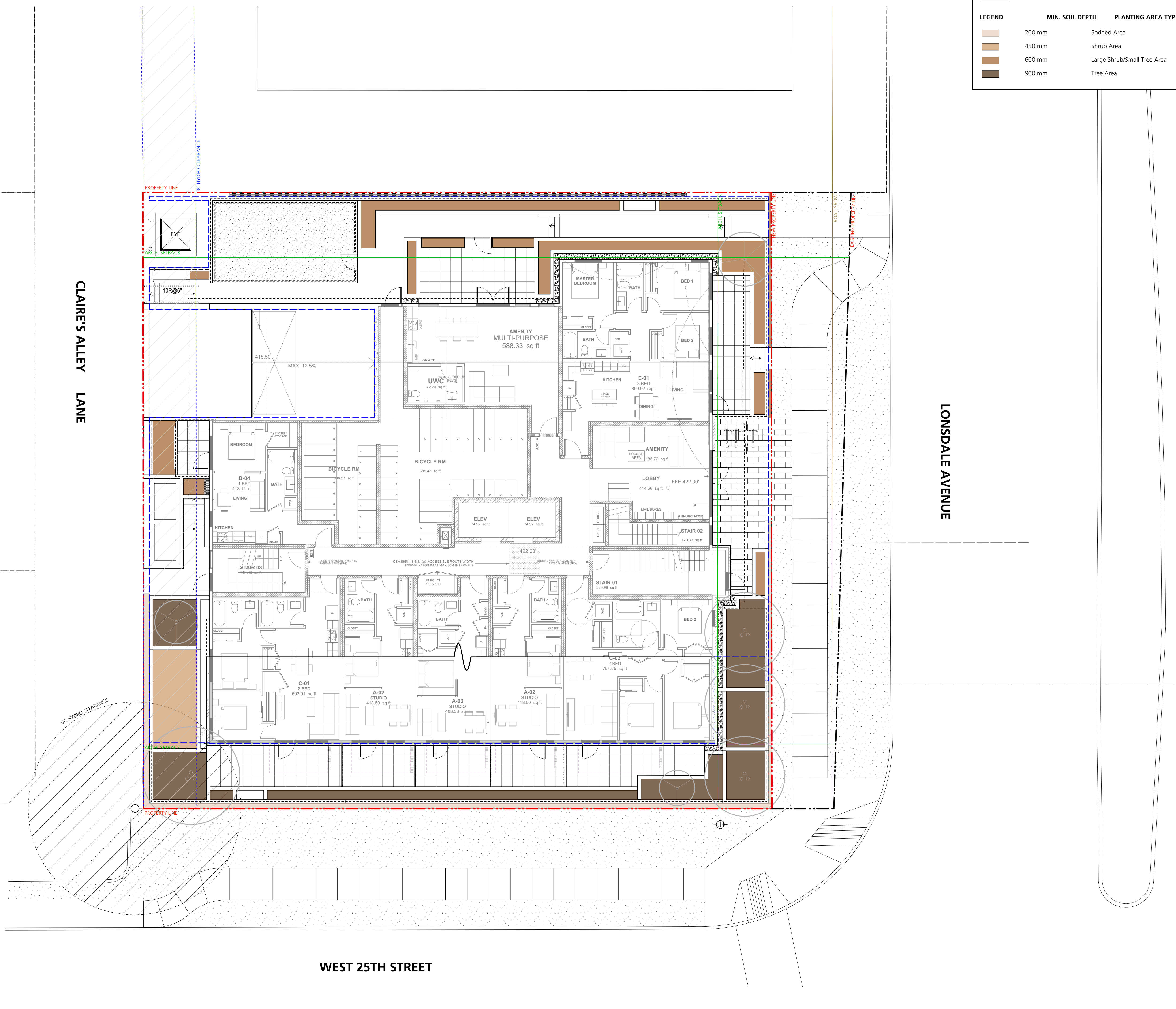
Drawn By: MH

Checked By: MP

Scale: _____ Job No.: _____

Sheet No.:

L3.4



Issues		
No.	Description	Date
1	Issued for Rezoning / Development Permit	2025/08/27

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Client:



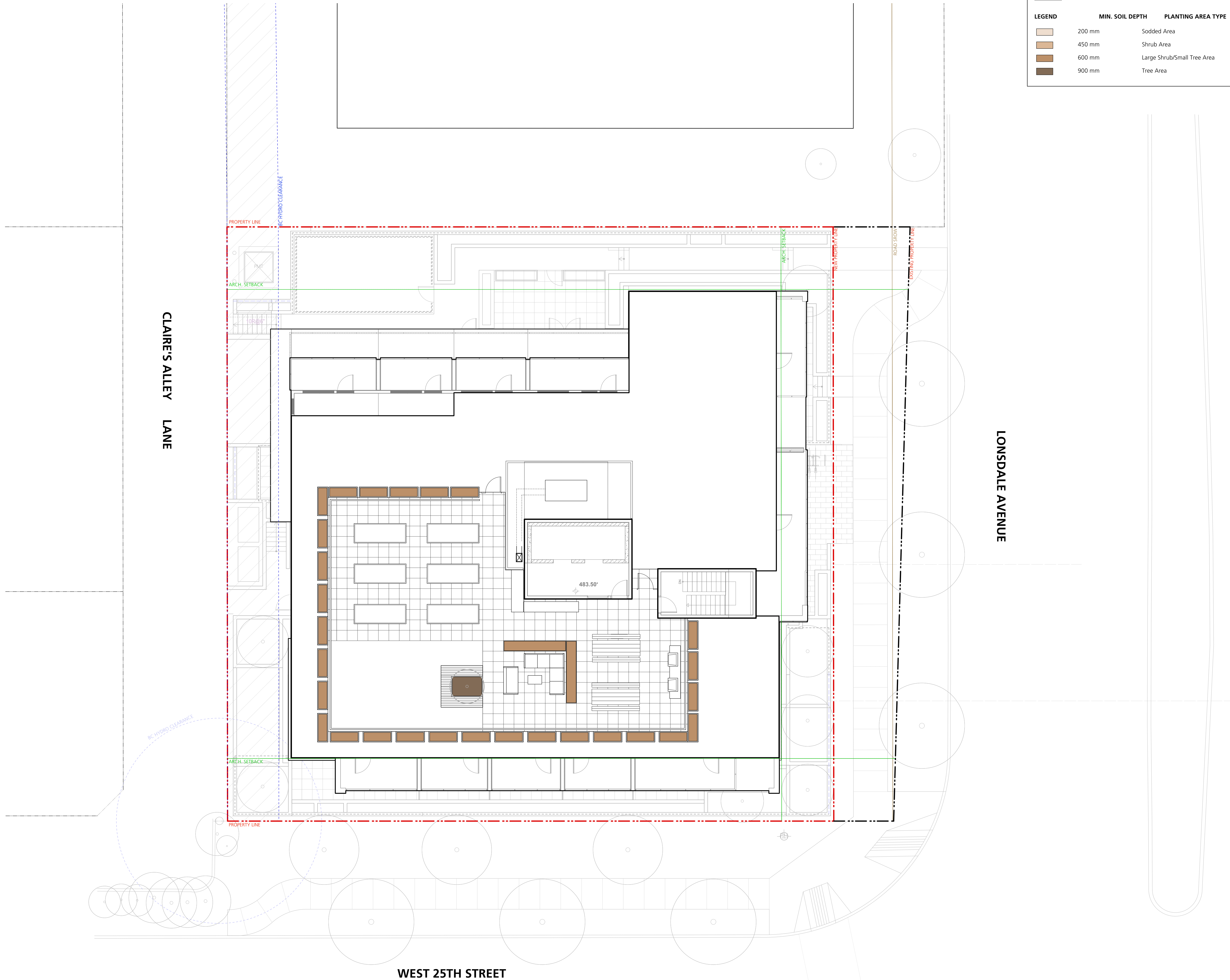
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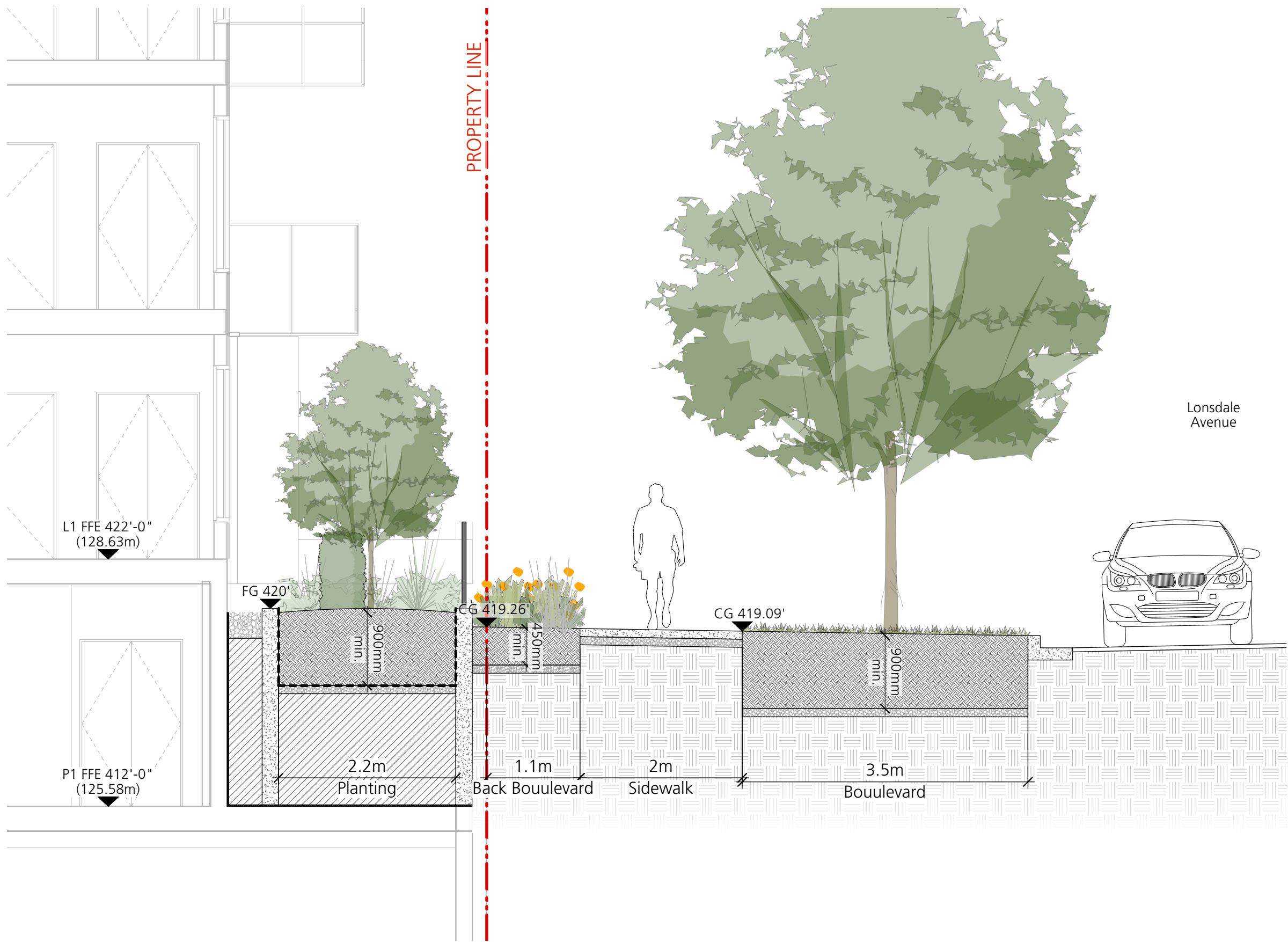
MULTI-FAMILY RENTAL
DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

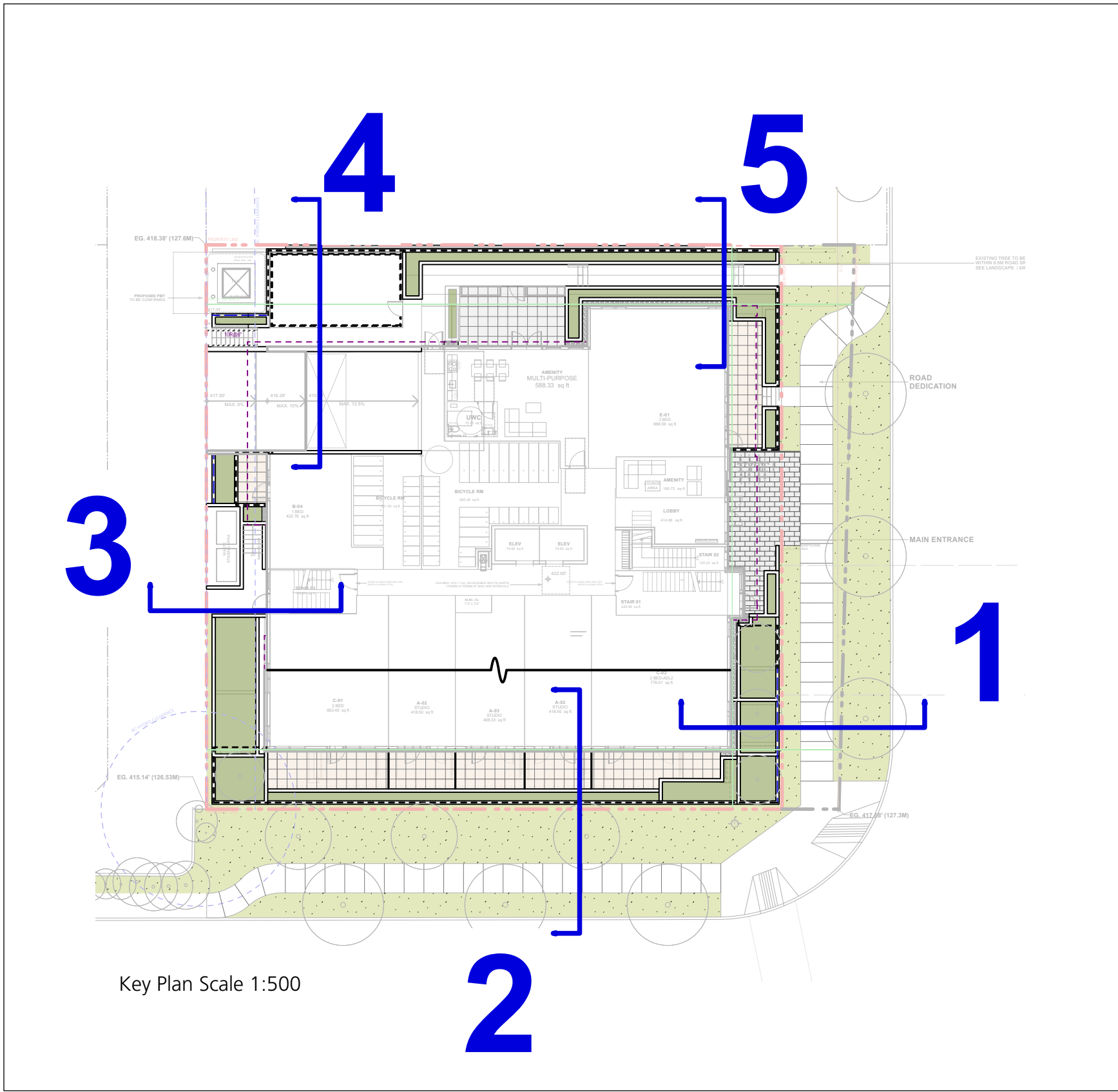
Soil Depth Plan
Roof Level

Project North:		Drawn By:	MH
		Checked By:	MP
Scale:	1:100	Job No.:	25-070
Sheet No.:			

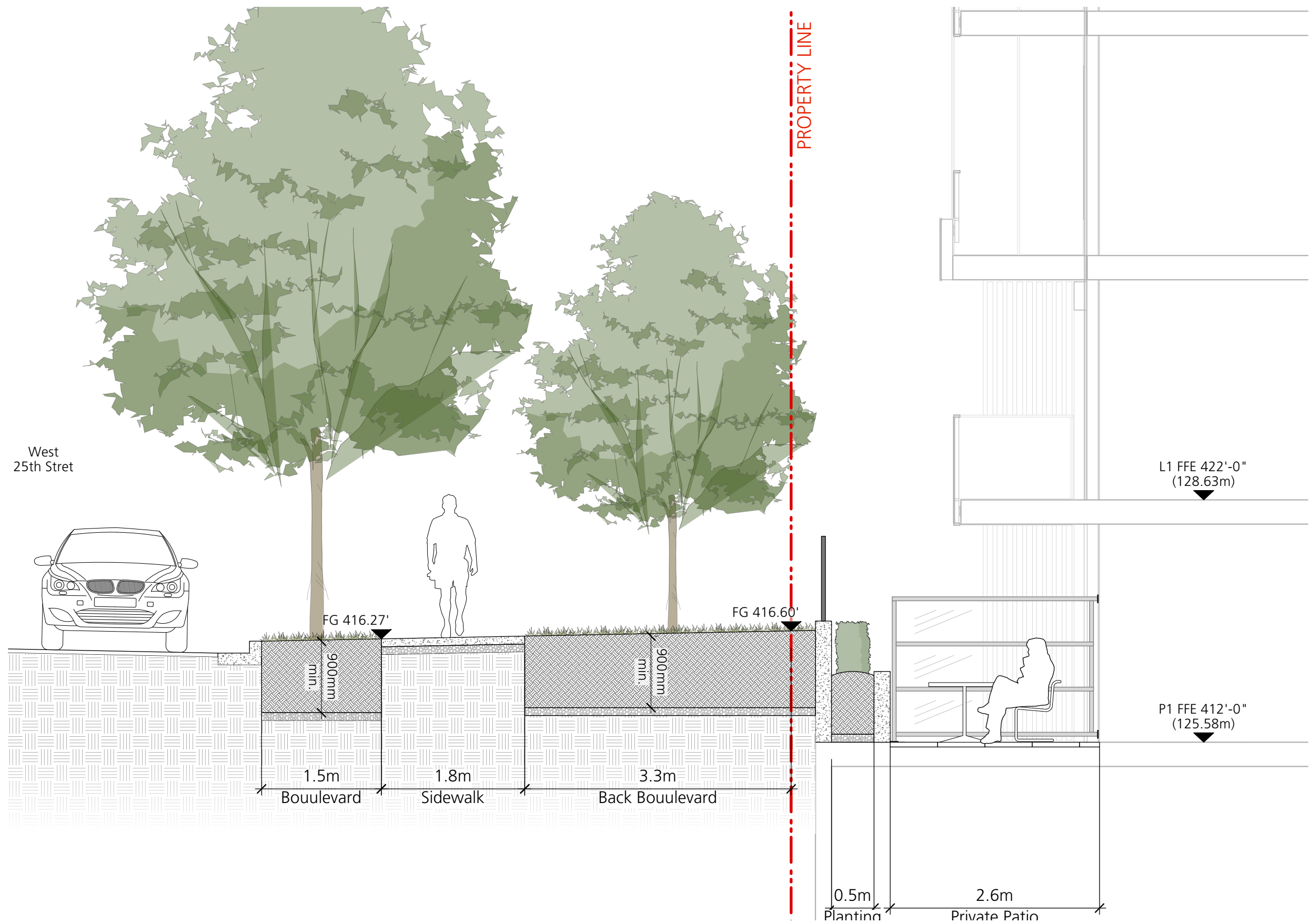




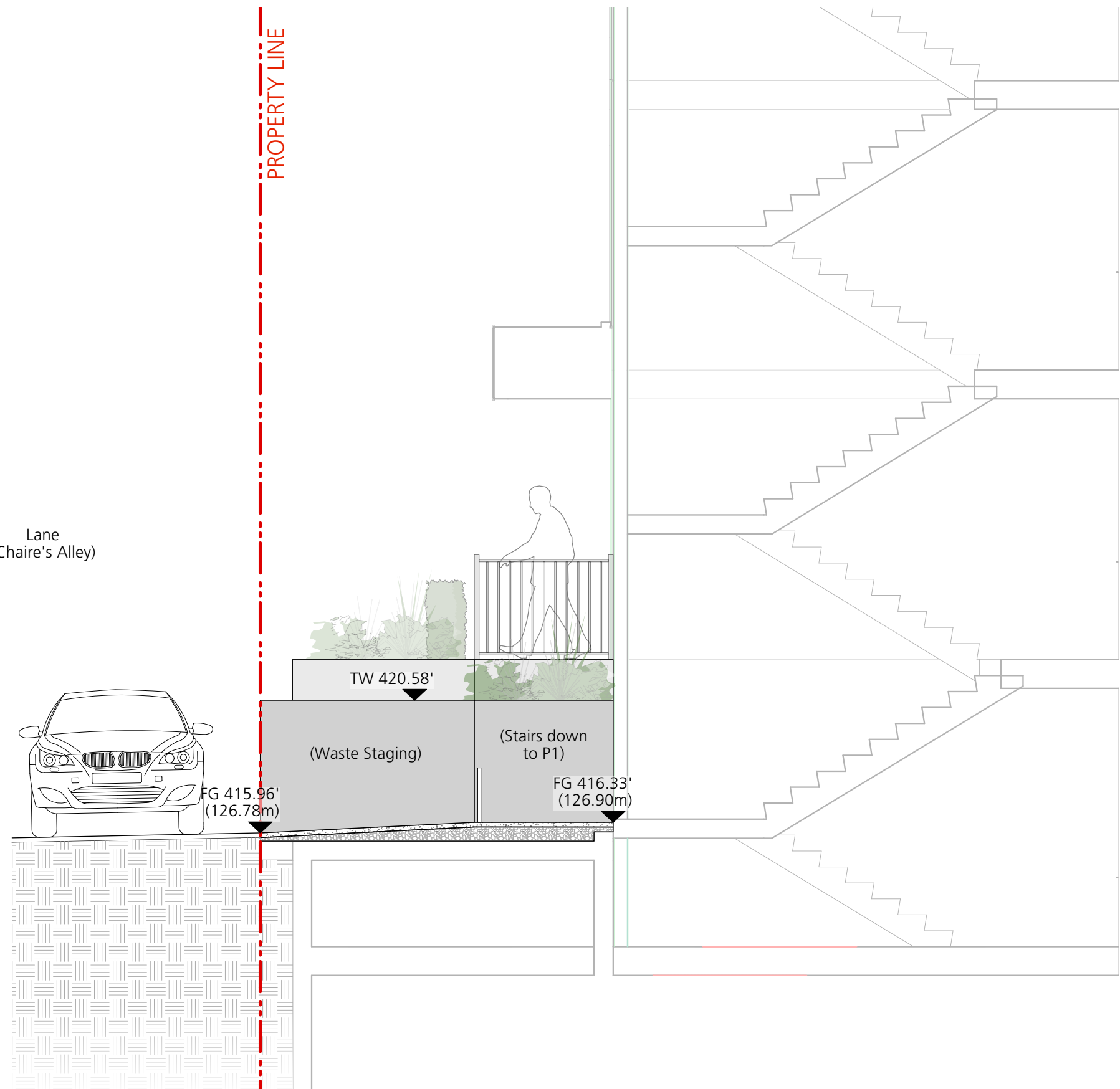
1 West Section through Lonsdale Avenue
1:50



Key Plan Scale 1:500



2 South Section through W 25th Street
1:50



3 West Section through Chaire's Alley
1:50

Issues No.	Description	Date
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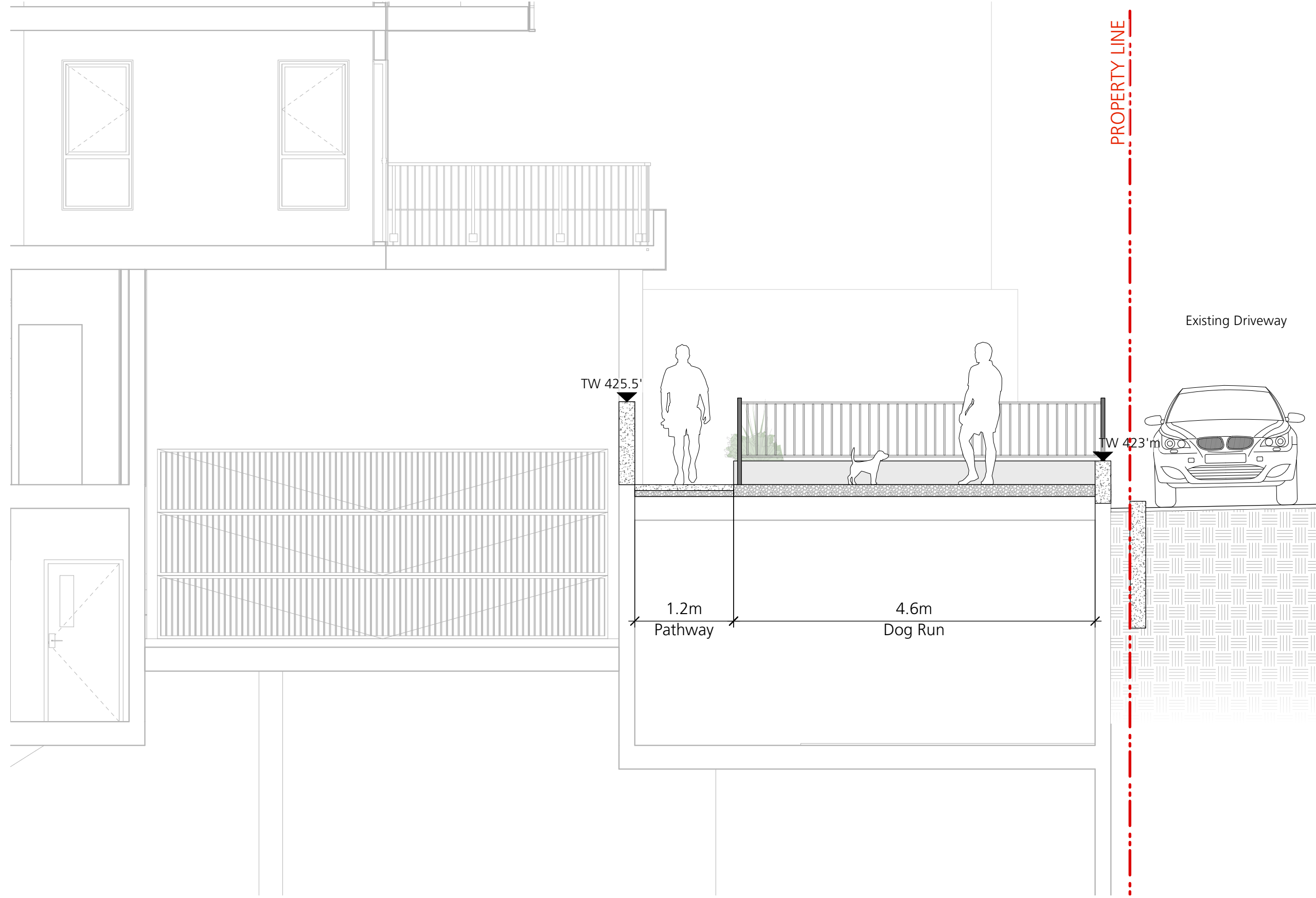
Project Title:

MULTI-FAMILY RENTAL DEV.
2025 Lonsdale Avenue
North Vancouver, BC

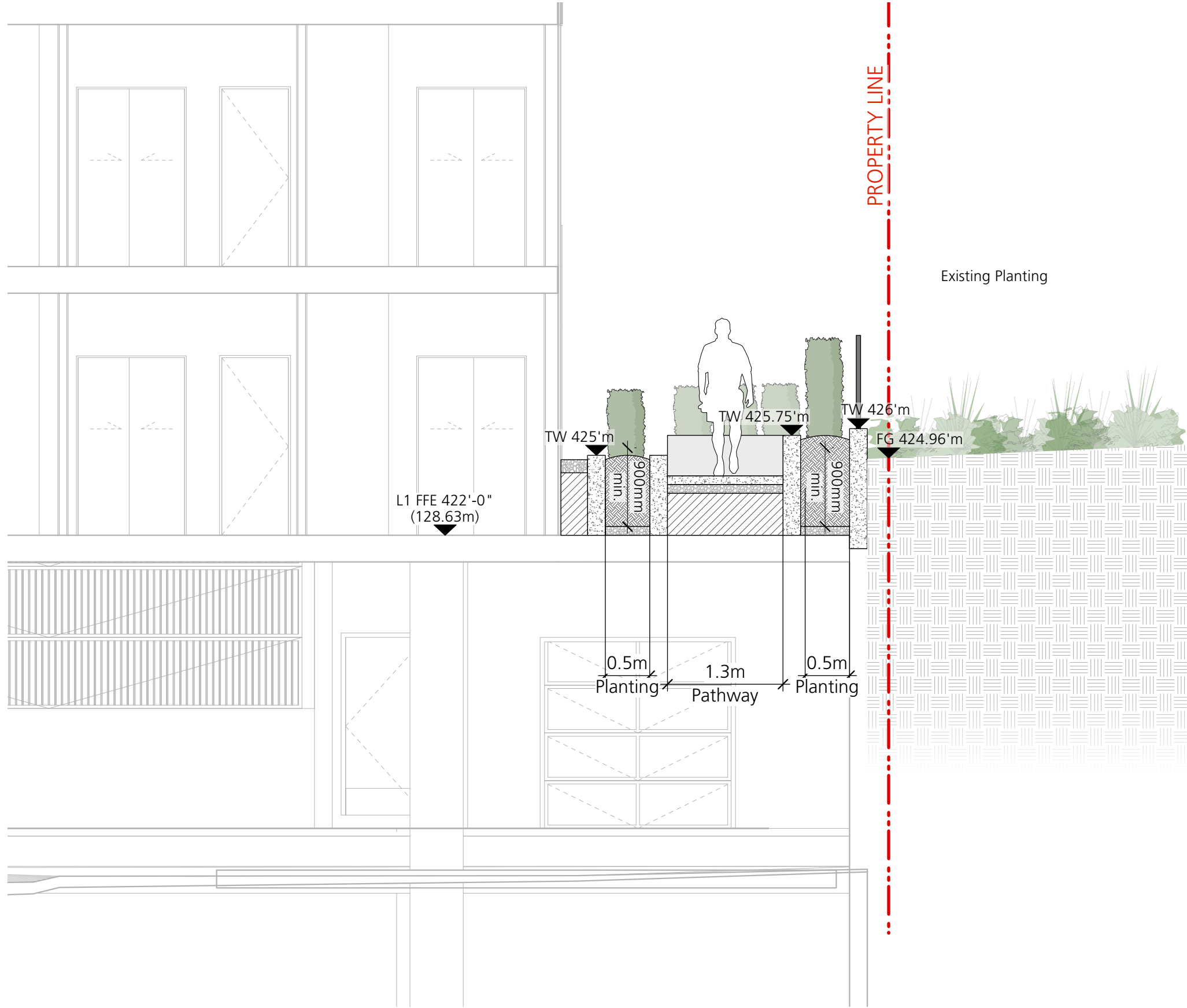
Drawing Title:

Landscape Sections

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	25-070
	As Shown	
Sheet No.:		



4 North Section through Existing Driveway
1:50



5 North Section through Pathway
1:50

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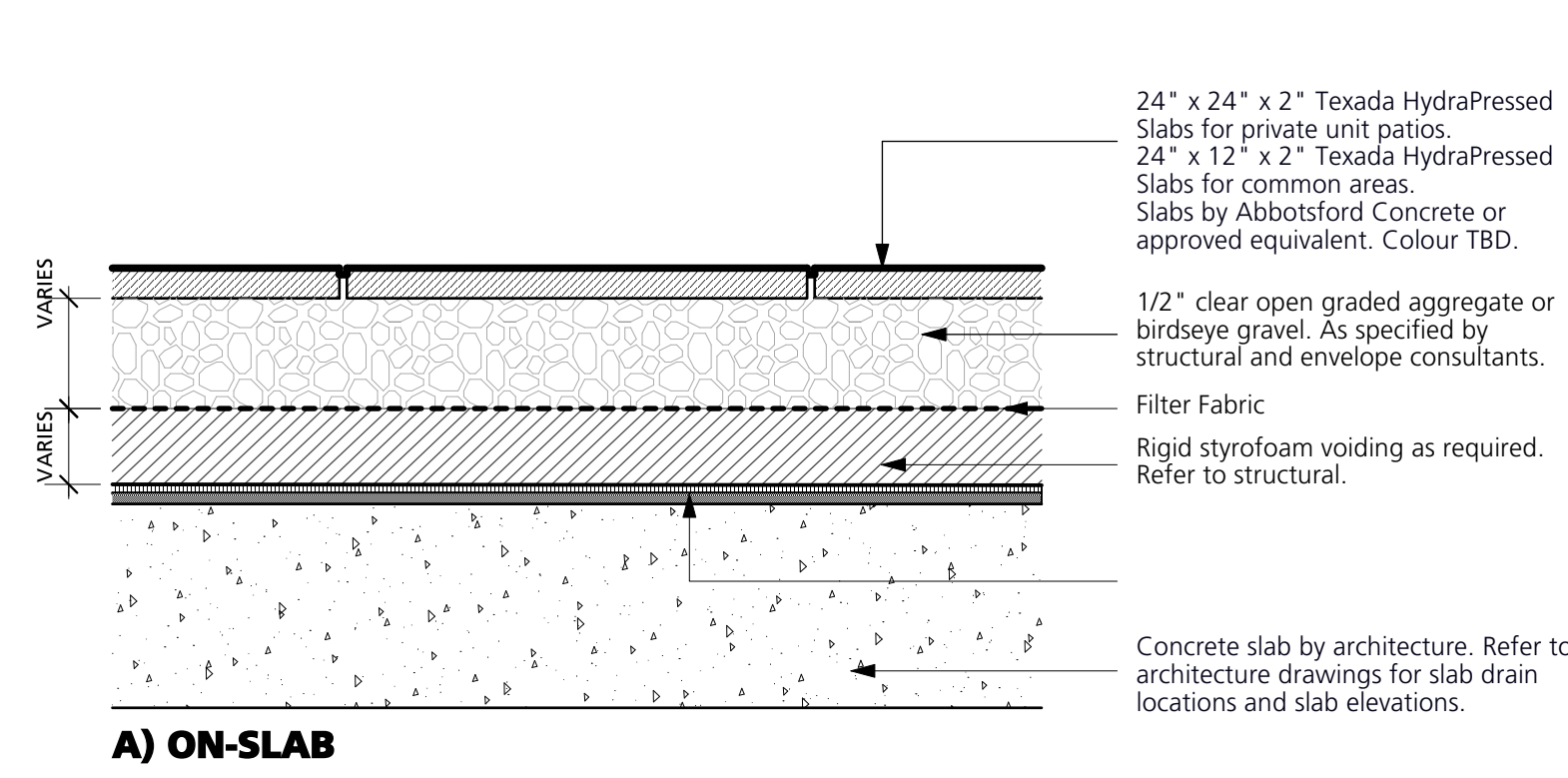
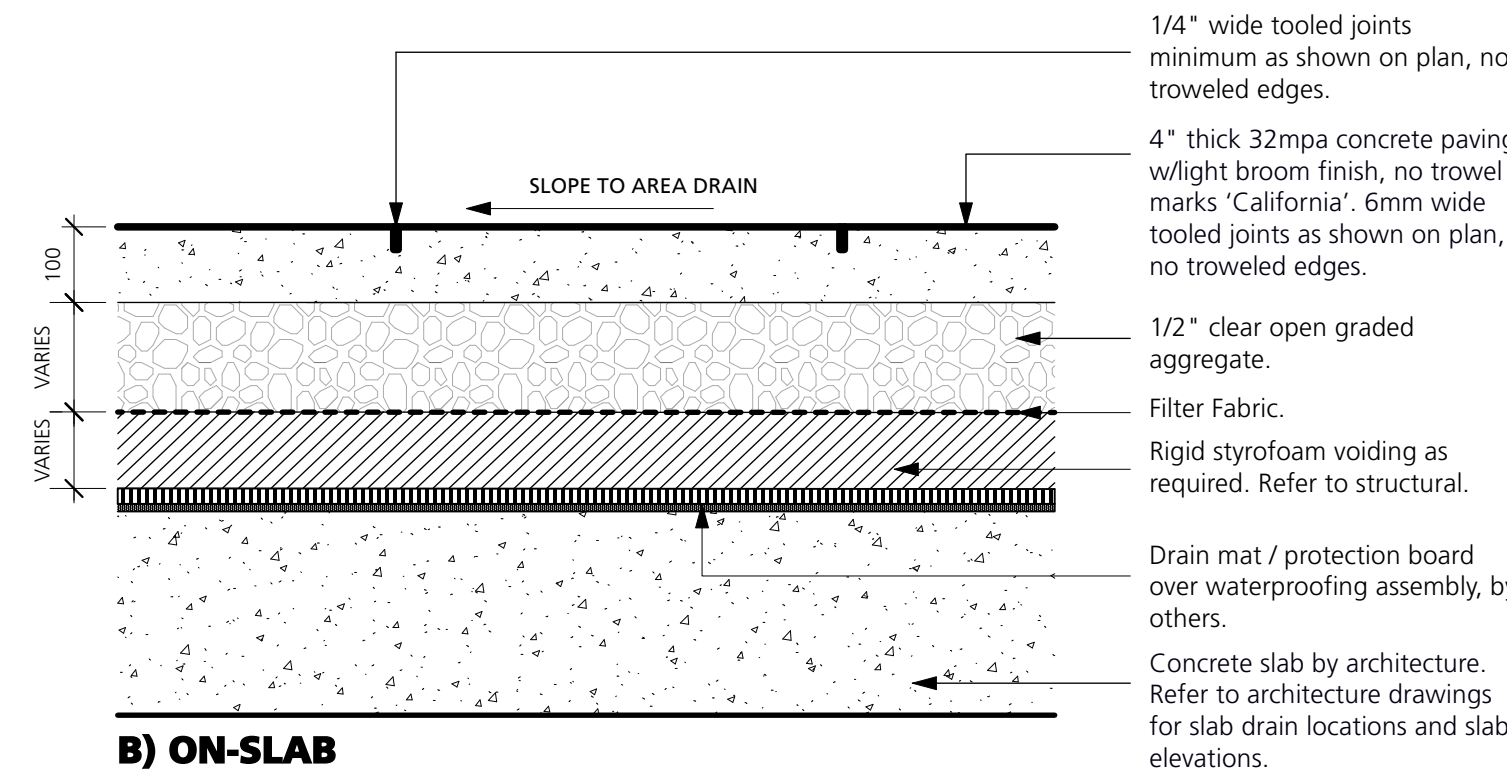
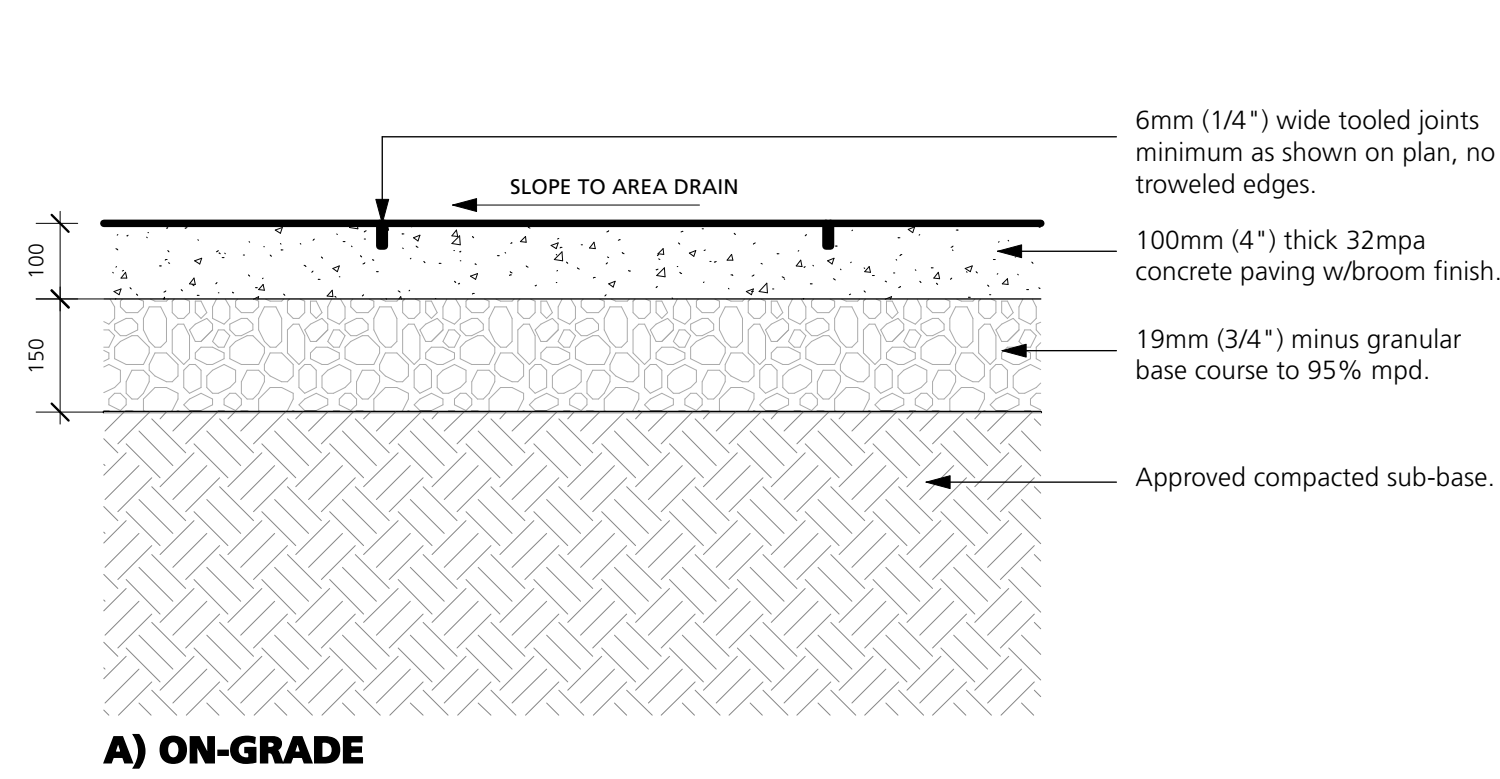
Project Title:

**MULTI-FAMILY RENTAL
DEV.**
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

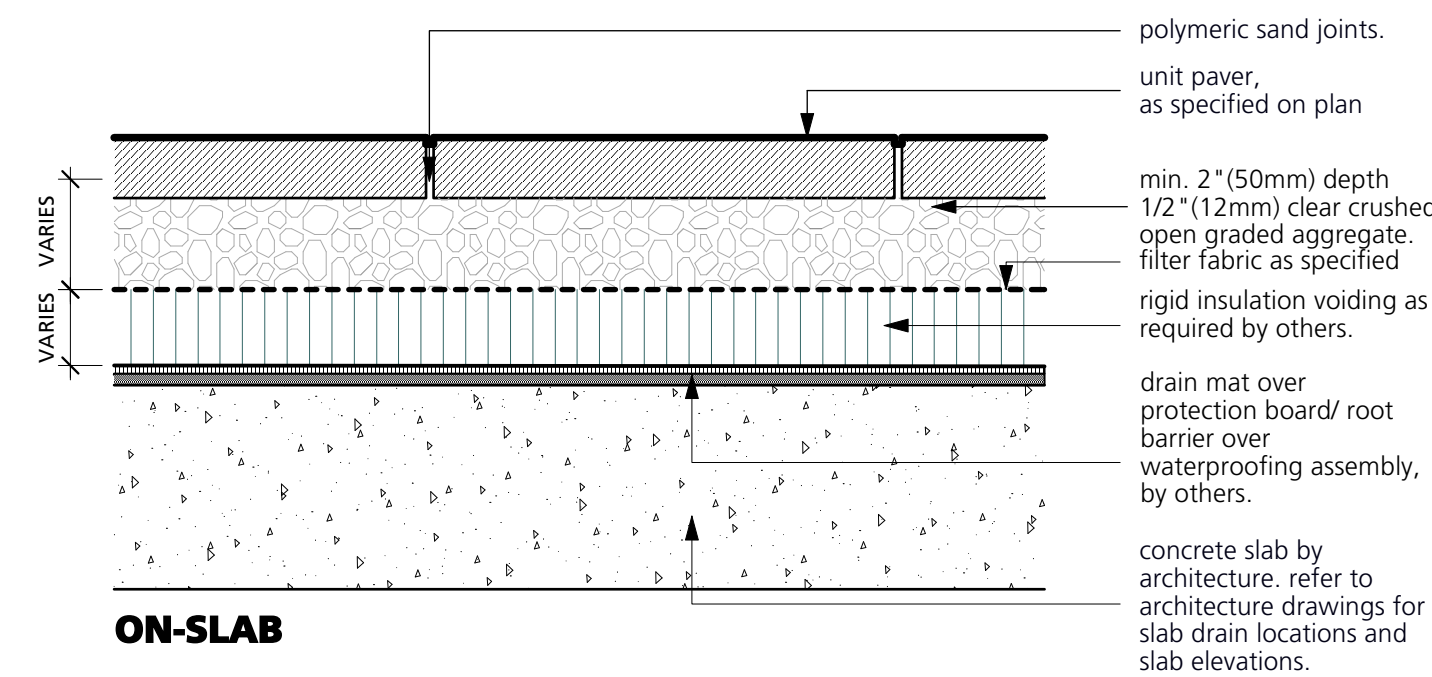
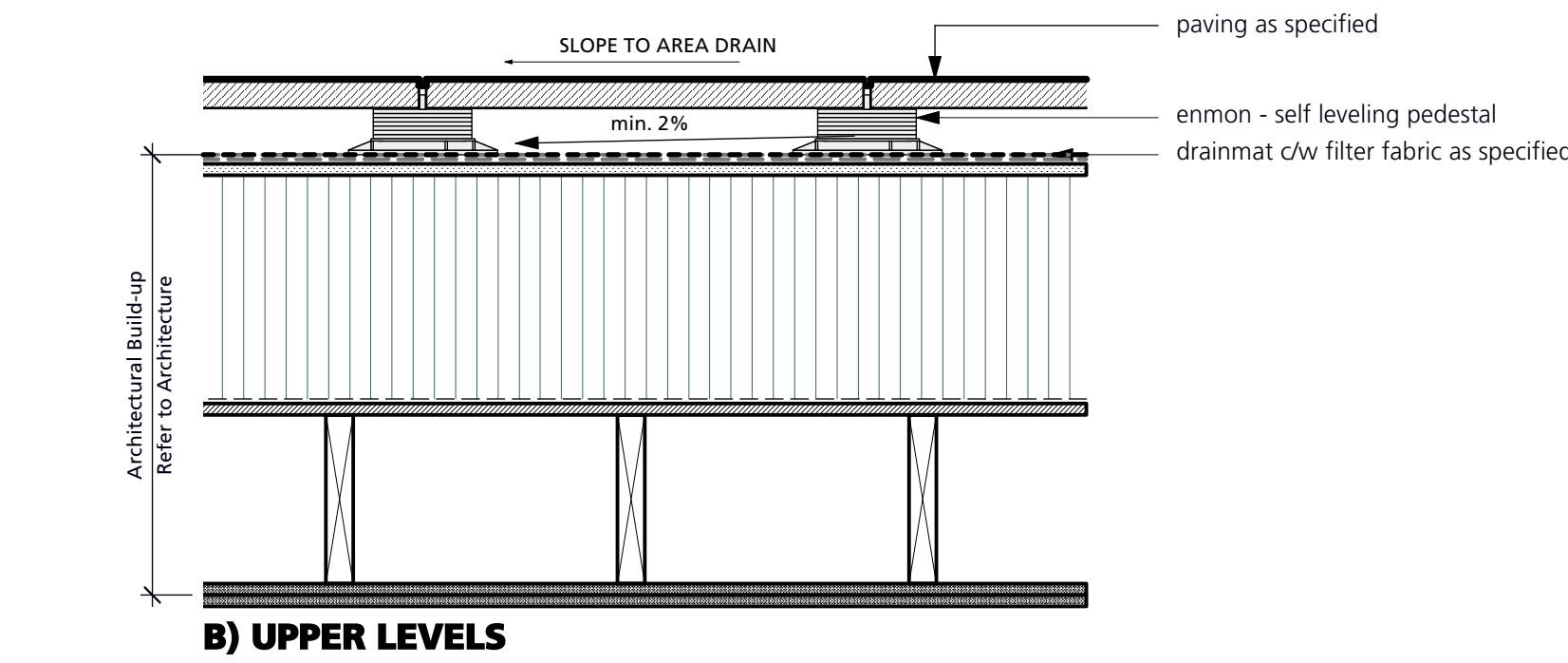
Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	25-070
	As Shown	
Sheet No.:		

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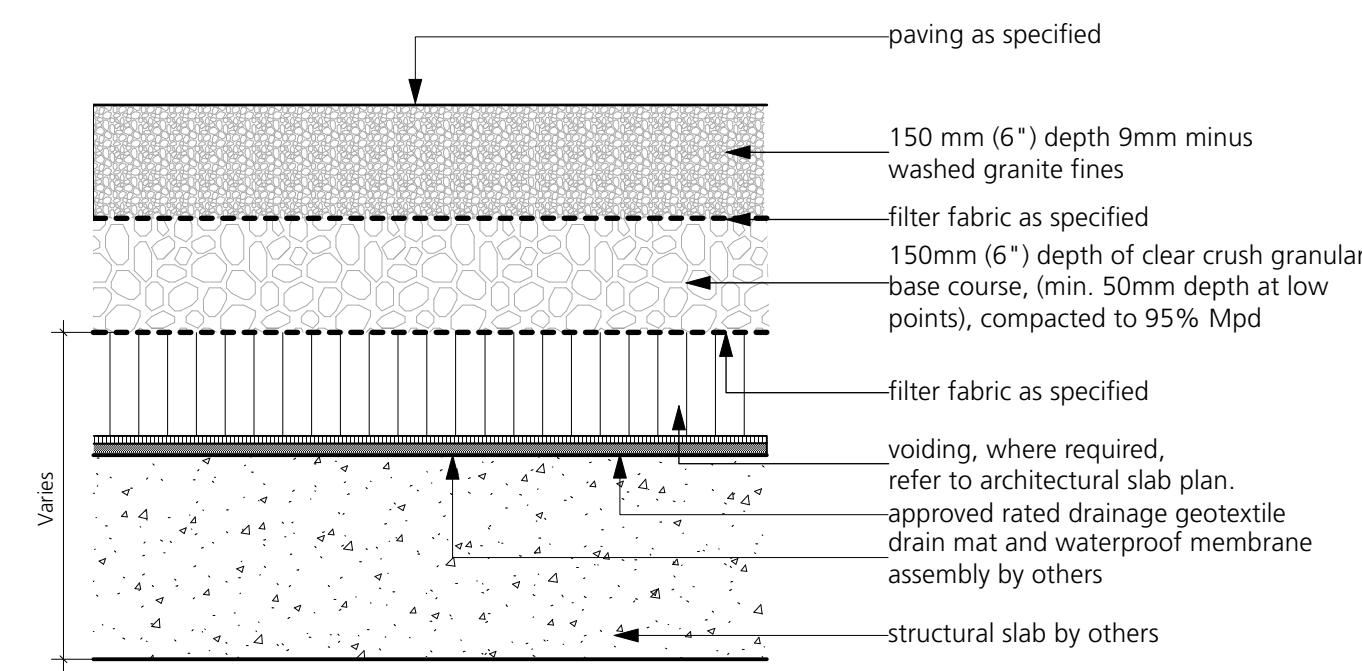
1 C.I.P. Concrete Paving
1:10

2A Precast Pavers
1:10

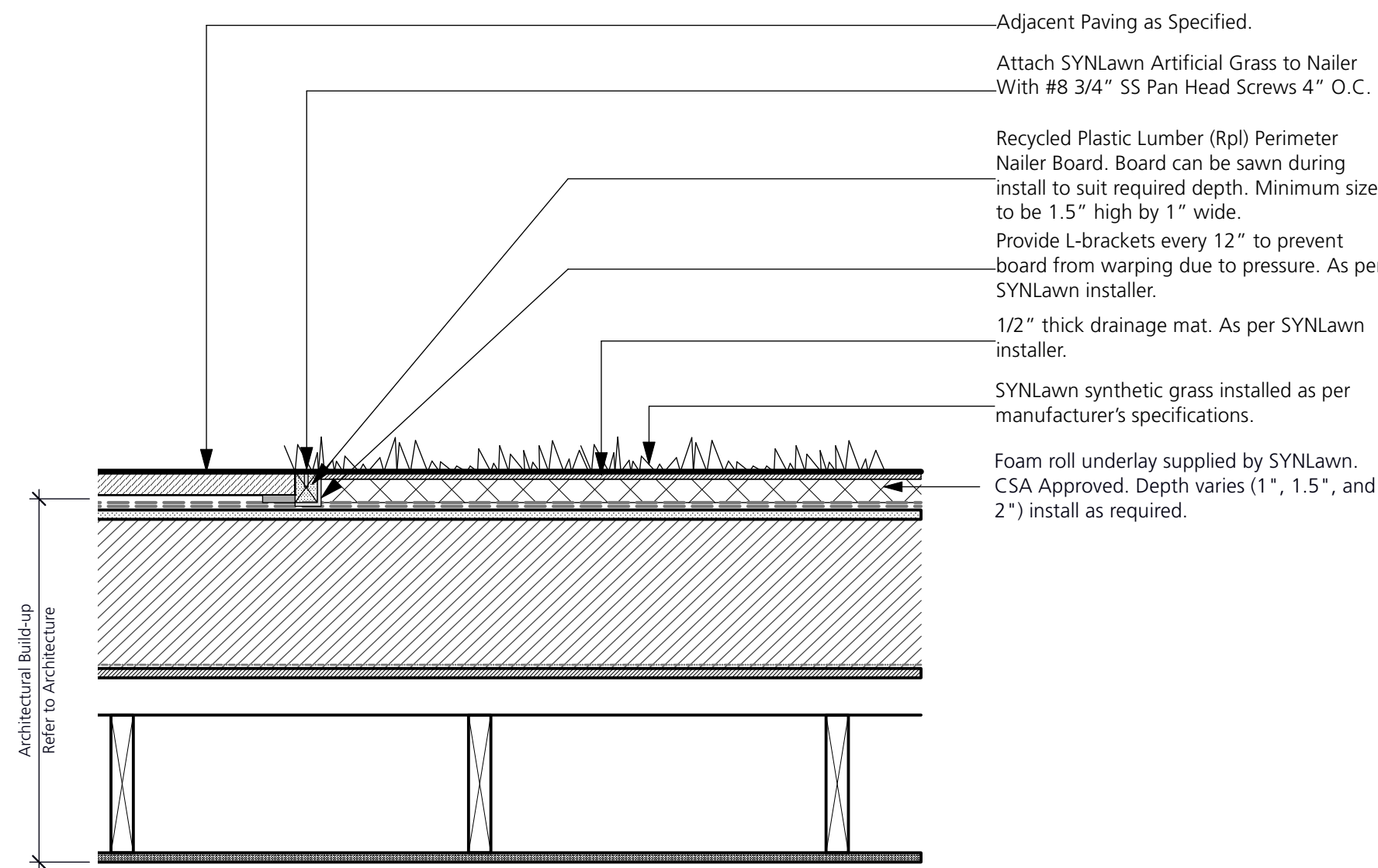


2B Precast Pavers
1:10

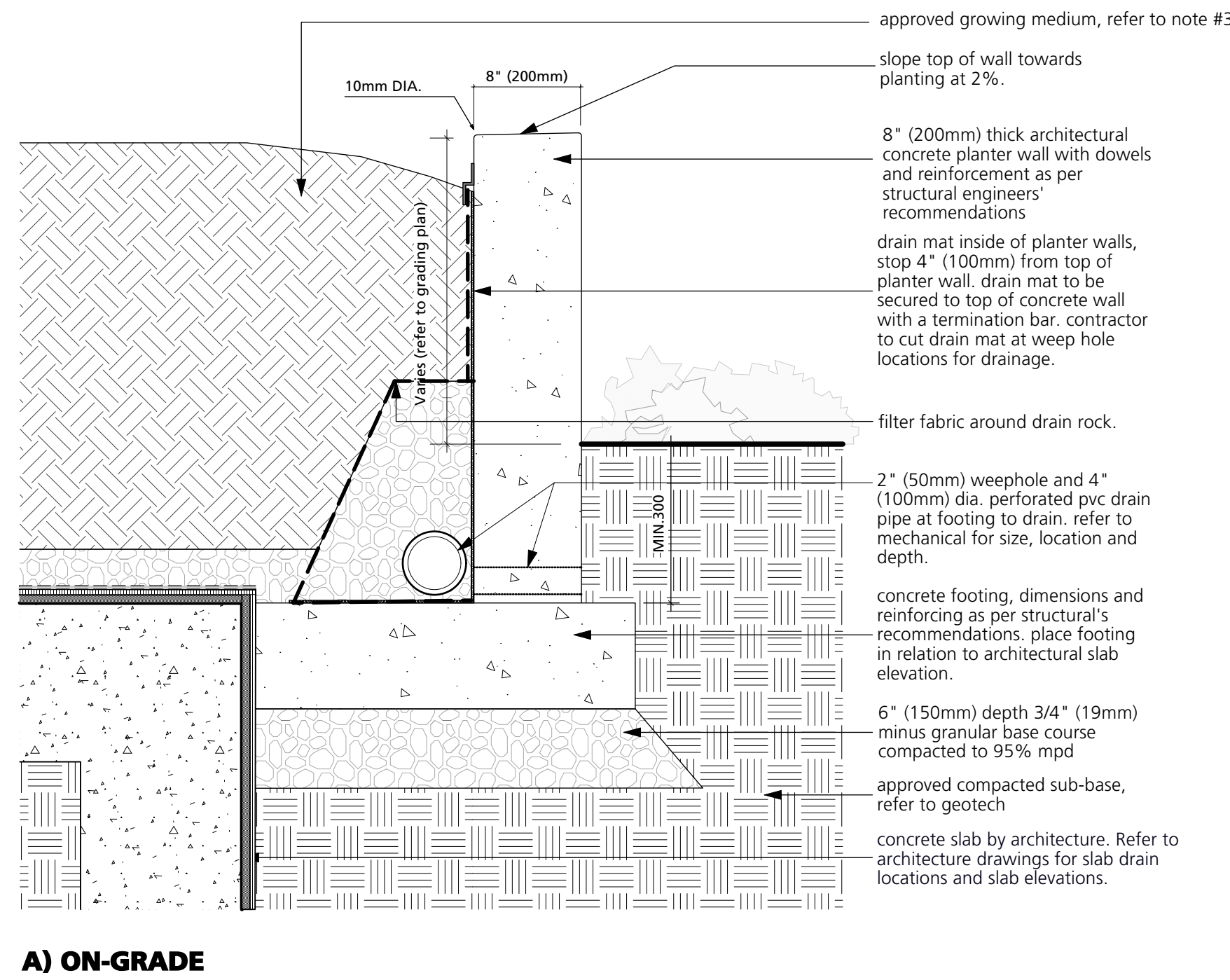
3 Feature Paving
1:10



4 Crushed Stone Paving (Dog Run)
1:10

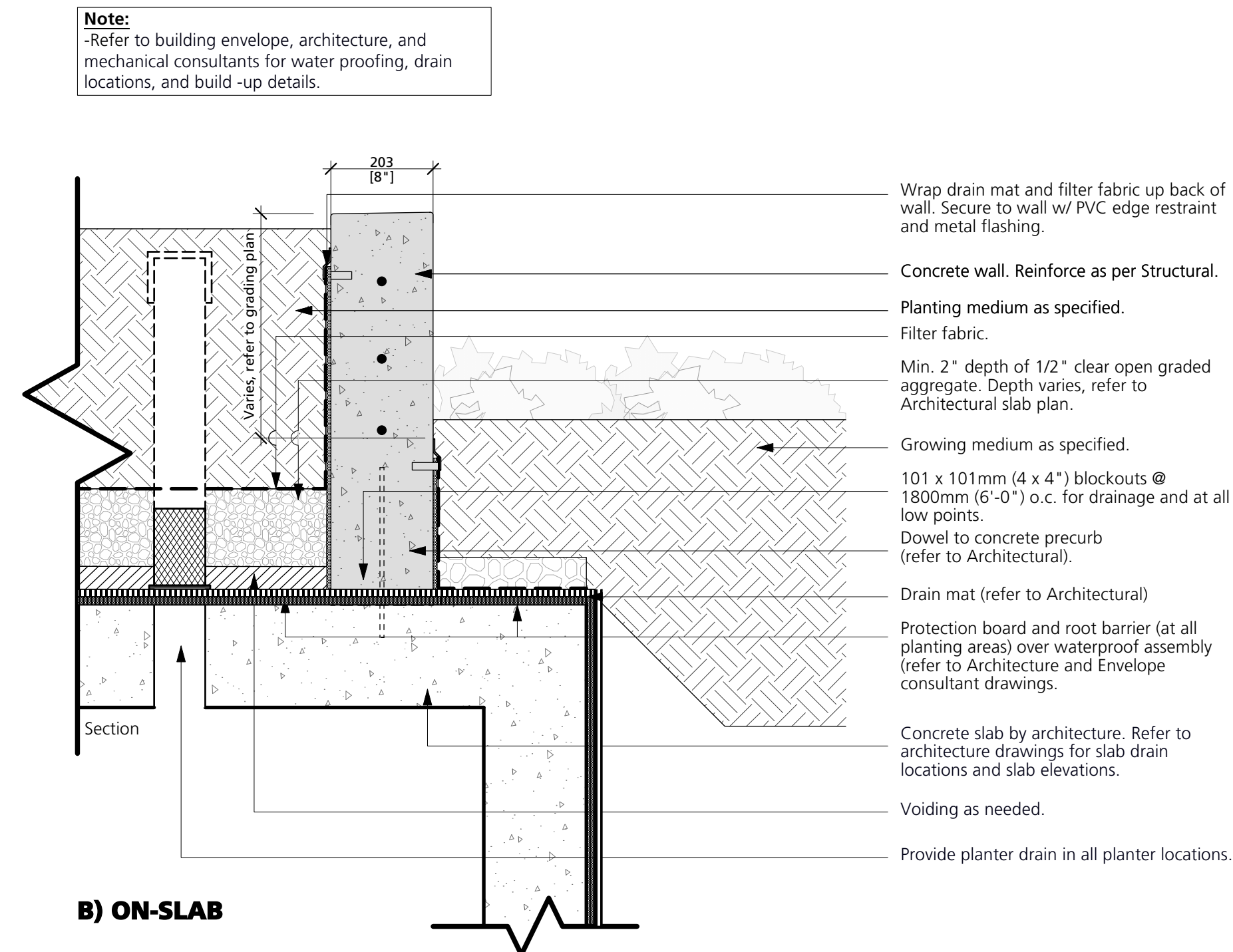


5 Artificial Lawn (On Roof)
1:10



A) ON-GRADE

6 C.I.P. Concrete Planter
1:10



B) ON-SLAB

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Green Development

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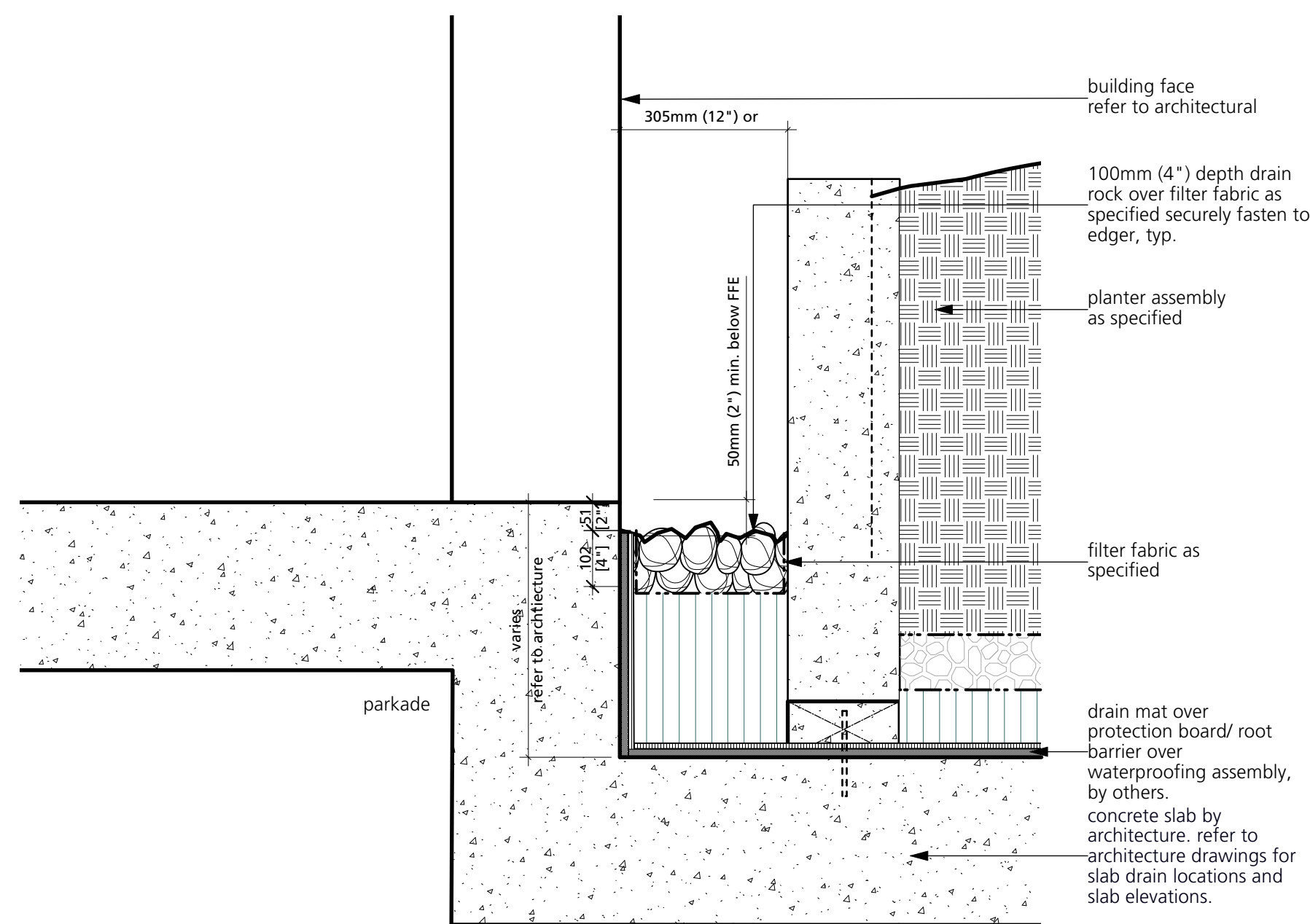
MULTI-FAMILY RENTAL
DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

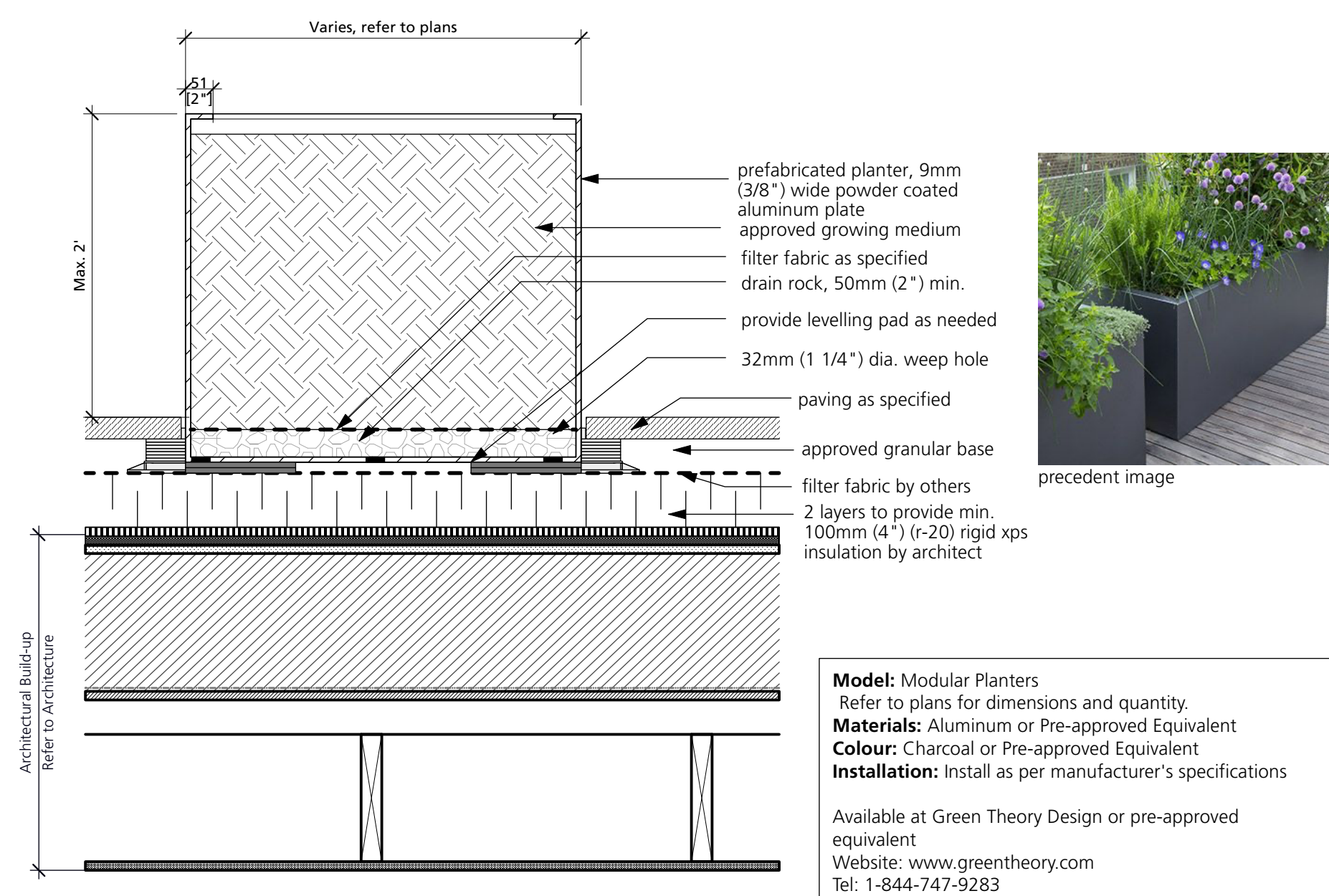
Landscape Details

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	25-070
Sheet No.:		

Issues		
No.	Description	Date
1	Issued for Rezoning / Development Permit	2025/08/27



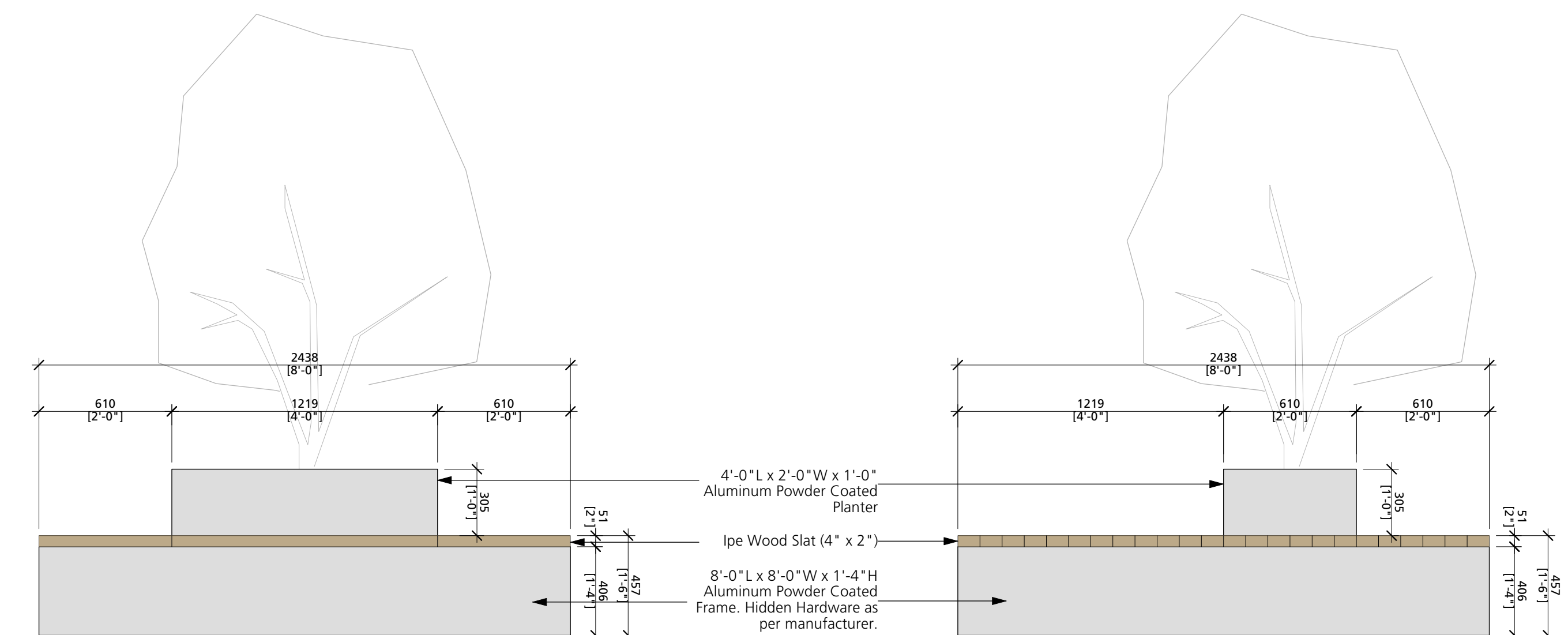
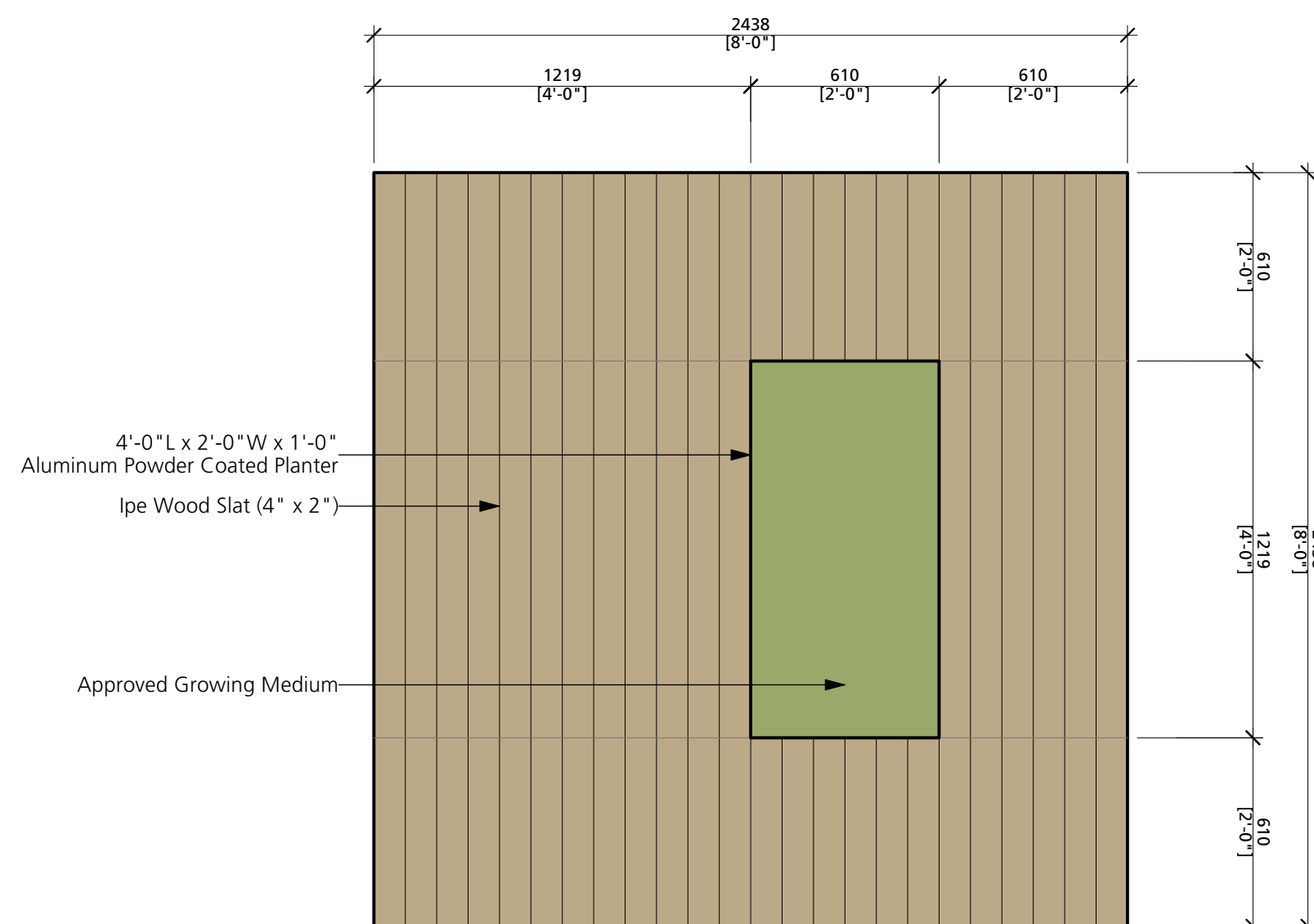
7 Gravel Strip 1:10



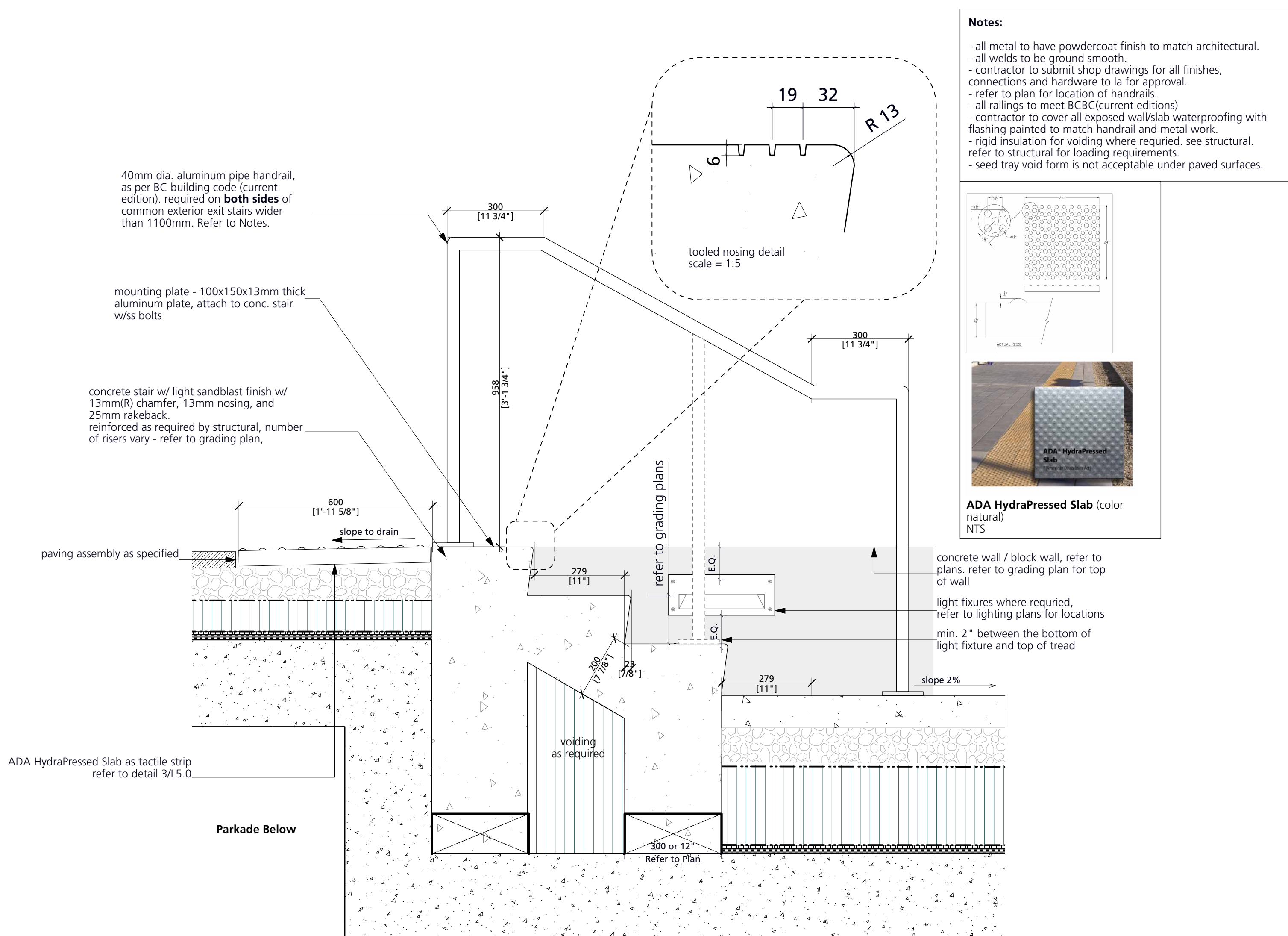
8 Metal Planter 1:10

- ALL METALWORK NOTES:**
- ALL METAL TO BE POWDER-COATED ALUMINUM **UNLESS OTHERWISE SPECIFIED.**
 - ALL WELDS TO BE GROUND SMOOTH.
 - ALL MEASUREMENTS TO BE VERIFIED ON SITE WITH AS BUILT CONDITIONS PRIOR TO FABRICATION.
 - METALWORK MANUFACTURER TO COORDINATE WITH GENERAL CONTRACTOR REGARDING BASE ATTACHMENT. SOME FINISHES/GATES ARE TO BE SECURED TO TOP OF CONCRETE WALLS AND SOME ARE TO BE SECURED TO INDIVIDUAL CONCRETE FOOTINGS.
 - ALL ATTACHMENTS, END CAPS, AND OTHER COMPONENTS ARE TO MATCH COLOUR.
 - CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR ALL METAL COMPONENTS WITH FINISHES, CONNECTIONS, HARDWARE, AND FOOTING TYPE, AND SUBMIT FOR APPROVALS PRIOR TO FABRICATION.
 - LANDSCAPE ARCHITECT TO BE INFORMED OF METALWORK INSTALLATION ON SITE FOR INSPECTION AND COORDINATION.

Model: Modular Planter and Bench
Supplier: Green Theory or Approved Alternate
Contact: <https://www.greentheorydist.com/>
Colour: Matte Black for Metal Component
Note: - Powder Coat all metal components to match planters.
 - Provide cutsheets and shop drawings for all components for approval.
 - Provide drain holes at the bottom of all components.



9 Metal Planter (with Seating) 1:20



10 C.I.P. Concrete Stair
1:10

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DEV.
2025 Lonsdale Avenue
North Vancouver, BC

Drawing Title:

Landscape Details

Project North:

Drawn By: MH

Checked By: _____

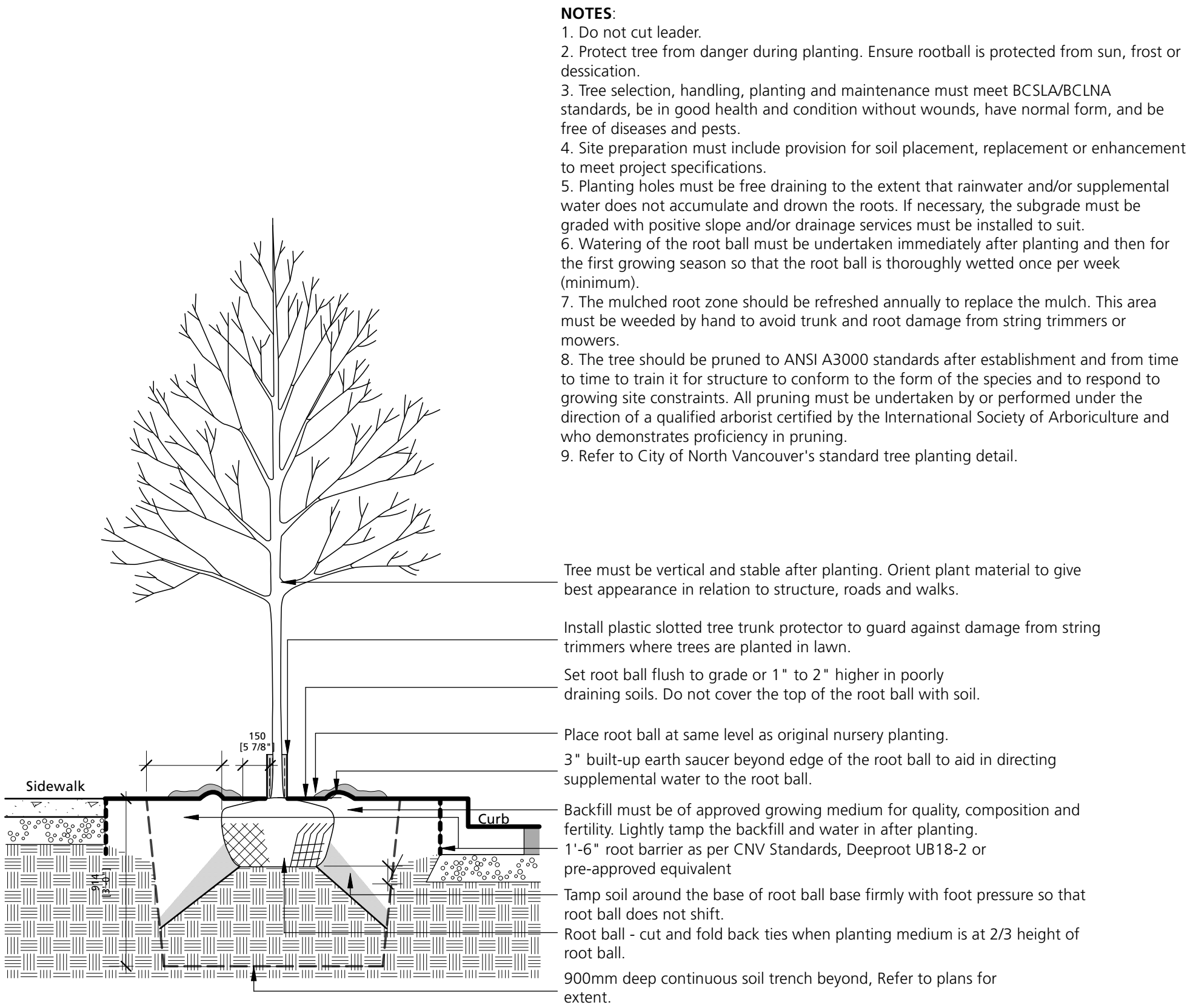
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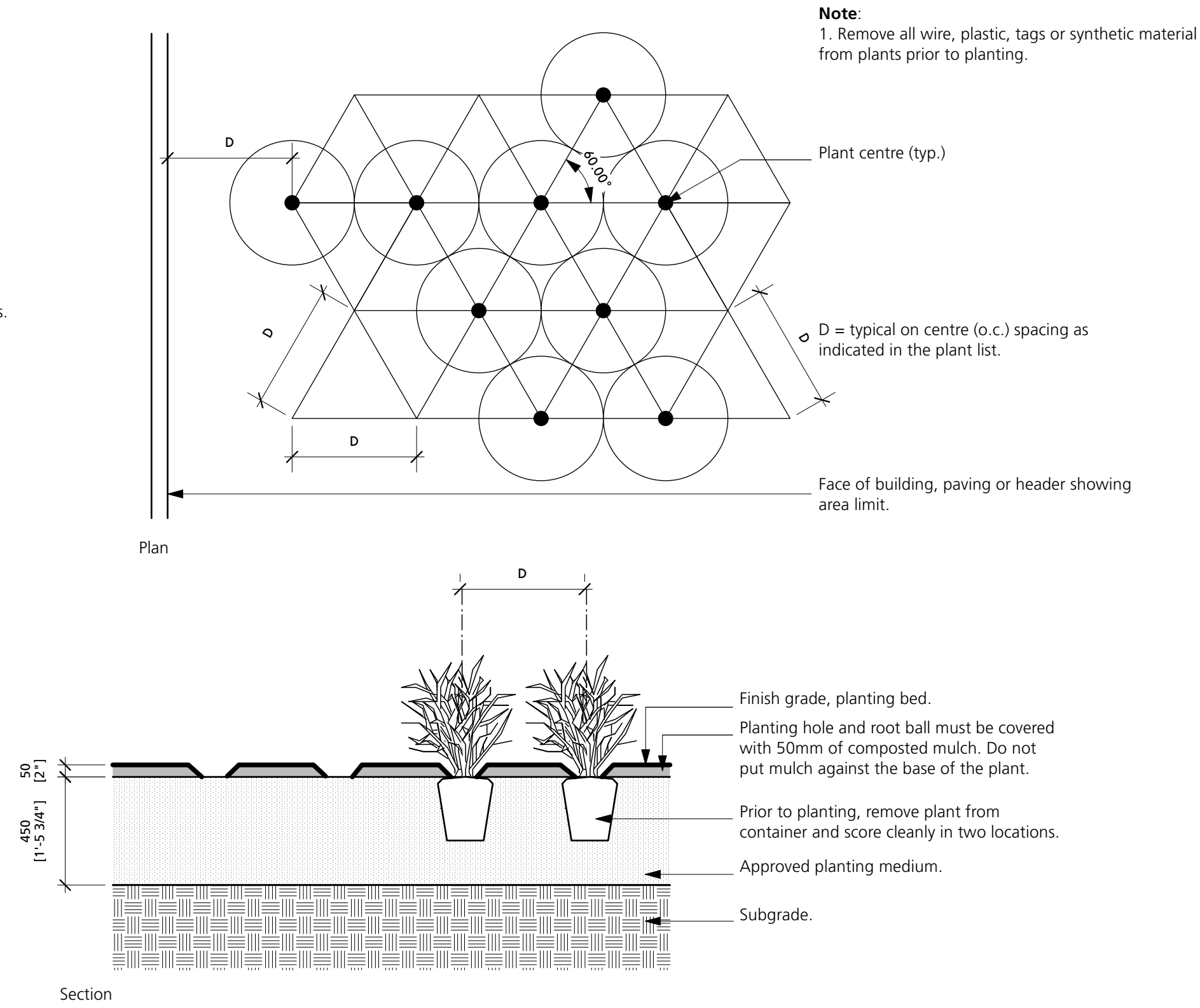
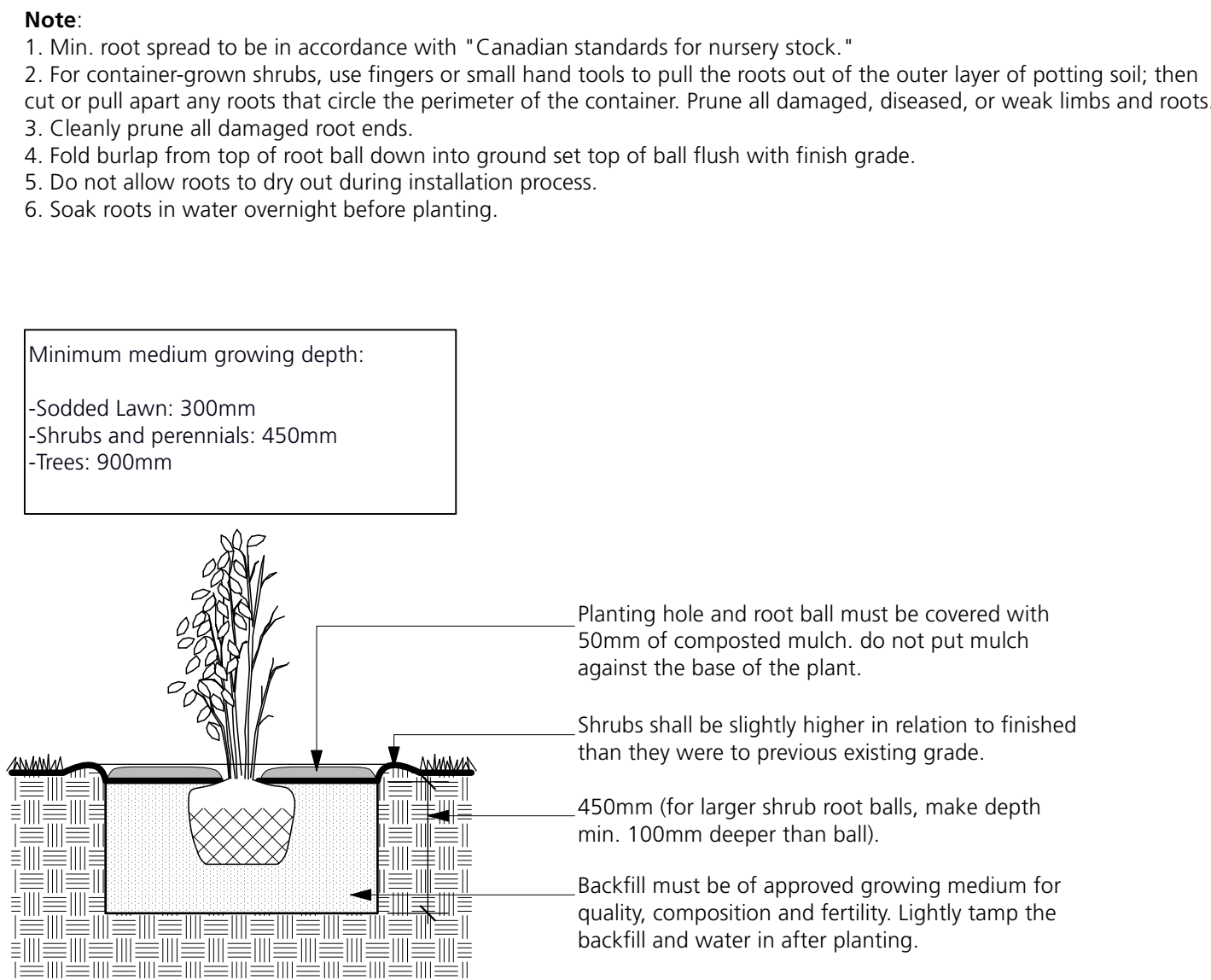
As Shown 25-070

Sheet No. :

19 Tree Planting
1:25



20 Shrubs and Groundcover Planting
1:20



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