

NEW SIDEWALK AND M/MOD CURB AND GUTTER
 - 1' M SETBACK BETWEEN BACK OF SIDEWALK AND PROPERTY LINE.
 - 1.8' M CONCRETE SIDEWALK (TOOLED "CALIFORNIA STYLE" CONTROL JOINTS - NO GROUVEL MARKS; LIGHT BROOM FINISH)
 - RELOCATE FIRE HYDRANT TO ACCOMMODATE NEW SIDEWALK
 - NEW OVERHEAD STREET LIGHTING, STREET LIGHTING SHALL MEET CURRENT IES DESIGN STANDARDS FOR PEDESTRIAN AND ROADWAY LIGHTING.
 - MILL AND PAVE ADJACENT ROAD, UP TO CENTERLINE.
 - RECONSTRUCT ADJACENT LANE, UP TO CENTERLINE.
 - LANE TO CONFORM TO CITY'S LIVING LANEWAY GUIDELINES

LEGAL DESCRIPTION:
LOT 33 BLOCK 208
DISTRICT LOT 546
PLAN 5481

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS AND ENVIRONMENT AT 604-883-1333 PRIOR TO POURING ANY FLOOR SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTORS SURVEYOR MUST PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE.

CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER 24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS. THE CONTRACTOR MUST BE ON SITE FOR INSPECTIONS. THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-880-4220

ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY AND INSTALL AN IN GROUND WATER METER, AT THE DEVELOPERS COST, FOR FUTURE WATER USE METERING PROGRAMS.

SITE DEVELOPMENT DATA	
EXISTING ZONING :	RS-1
PROPOSED ZONING :	RT-1
LOT AREA :	6,891 SQUARE FEET (640.17 SM)
SITE COVERAGE :	
PERMITTED :	2,411.85 SQUARE FEET (224.06 SM) (35%)
PROPOSED :	2,348.88 SQUARE FEET (218.21 SM) (34%)
FLOOR SPACE RATIO :	
PERMITTED :	3,411.85 SQUARE FEET (316.96 SM) (35% + 1,000 SF)
PROPOSED :	3,410.53 SQUARE FEET (316.84 SM) (35% + 1,000 SF)
GARAGE:	
AREA ALLOWED :	689 SQUARE FEET (62.15 SM)
AREA PROPOSED :	580 SQUARE FEET (53.88 SM)
PARKING:	
REQUIRED :	4 STALLS
PROVIDED :	4 STALLS
ELEVATIONS:	
ROOF RIDGE.....	442.25' (134.8 M)
TOP OF UPPER FL. WALL.....	434.4' (132.41 M)
TOP OF UPPER FLOOR.....	425.32 (129.64 M)
TOP OF MAIN FLOOR.....	415.24' (126.51 M)
TOP OF LOWER FLOOR.....	405.16' (123.49 M)
GARAGE:	
ROOF RIDGE.....	422.9' (128.9 M)
TOP OF WALL.....	417.4' (127.22 M)
TOP OF SLAB.....	408.4' (124.48 M)
AVERAGE LANE ELEVATION:	
407.1' + 409.1' = 816.8 / 2 = 408.4'	
+ 15' = 423.4' MAX. HEIGHT ALLOWED	
(124.27 M + 124.69 M) / 2 = 124.48 M	
+ 4.57 M = 129.05 M MAX. HT ALLOWED	
REFERENCE GRADE:	
410.0' + 413.9' = 824.9 / 2 = 412.45'	
(124.97 M + 126.16 M) = 251.13 / 2 = 125.57 M	
407.1' + 409.1' = 816.8 / 2 = 408.4'	
(124.27 M + 124.69 M) = 148.96 / 2 = 124.48 M	
412.45 - 408.4 = 4.05' x 0.40 = 1.62'	
(125.57 - 124.48 = 1.09 M x 0.40 = 0.44 M)	
412.45' - 1.62' = 410.83'	
(125.71 - 0.44 = 125.27 M)	
MAX WALL HEIGHT = 437.05' (133.21 M)	
MAX ROOF HEIGHT = 443.93' (135.31 M)	

JUNE 2020 FINISHED ELEVATIONS AT LANE REVISED
 EDGE OF PAVEMENT CLARIFIED

MAY 2020 SITE COVERAGE CALCULATION

MAY 2020 SIDEWALK REVISED

APRIL 2020 GENERAL REVISIONS

MARCH 2020 REAR MAIN FLOOR DECK RECONFIGURED
 UPPER FLOOR DECK DELETED

REVISIONS

REFER TO CIVIL DRAWINGS
 FOR ALL OFF SITE WORKS

CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS, AND ENVIRONMENT AT 604-883-1333 PRIOR TO POURING ANY SLABS ASSOCIATED WITH VEHICLE OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTORS SURVEYOR MUST PROVIDE THE CITY WITH AS BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE FORMING STAGE.

ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

BLACKTOP TO PROPERTY LINE AT DEVELOPERS COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS

31 PLAN 5481

32 PLAN 5481

34 PLAN 5481

46 PLAN 5481

35 PLAN 5481

STRATA PLAN BCS4379

STRATA PLAN BCS685

SITE PLAN

Bill Curtis & Associates
 Design Ltd.
 Phone 604-986-4550
 Fax 604-986-4555
 billcurtisdesign@gmail.com
 Harbourside Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3L6

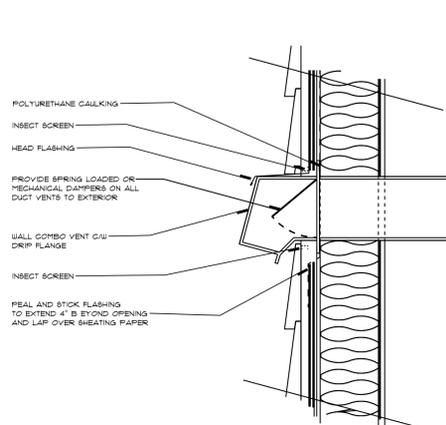
Drawing **SITE PLAN**
 Drawn By BC Date JULY 2018

SCALE: 1/8" = 1'-0"

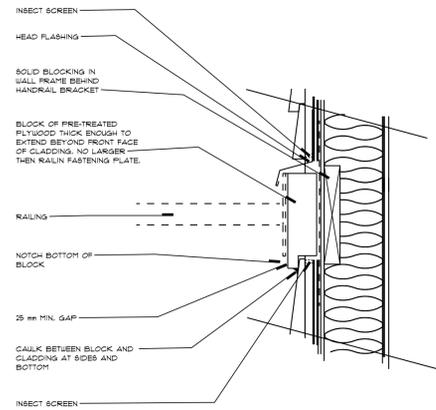
Project
K5 MECHANICAL DUPLEX
AT 233, 235 EAST 22nd ST.
NORTH VANCOUVER

NOTE:
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED BY THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

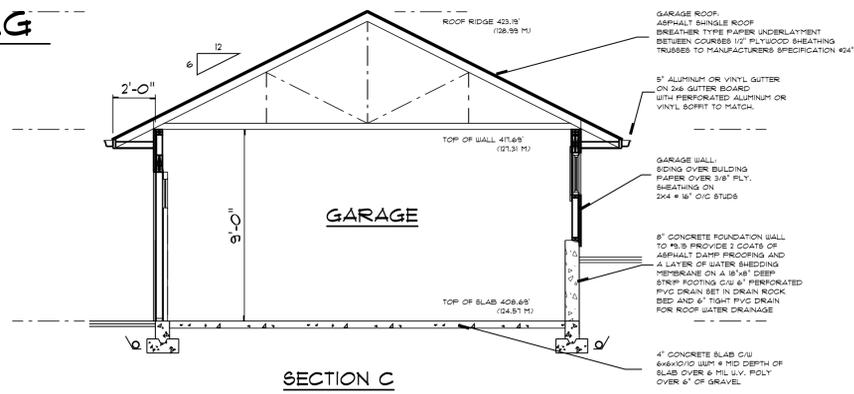
1 of 11



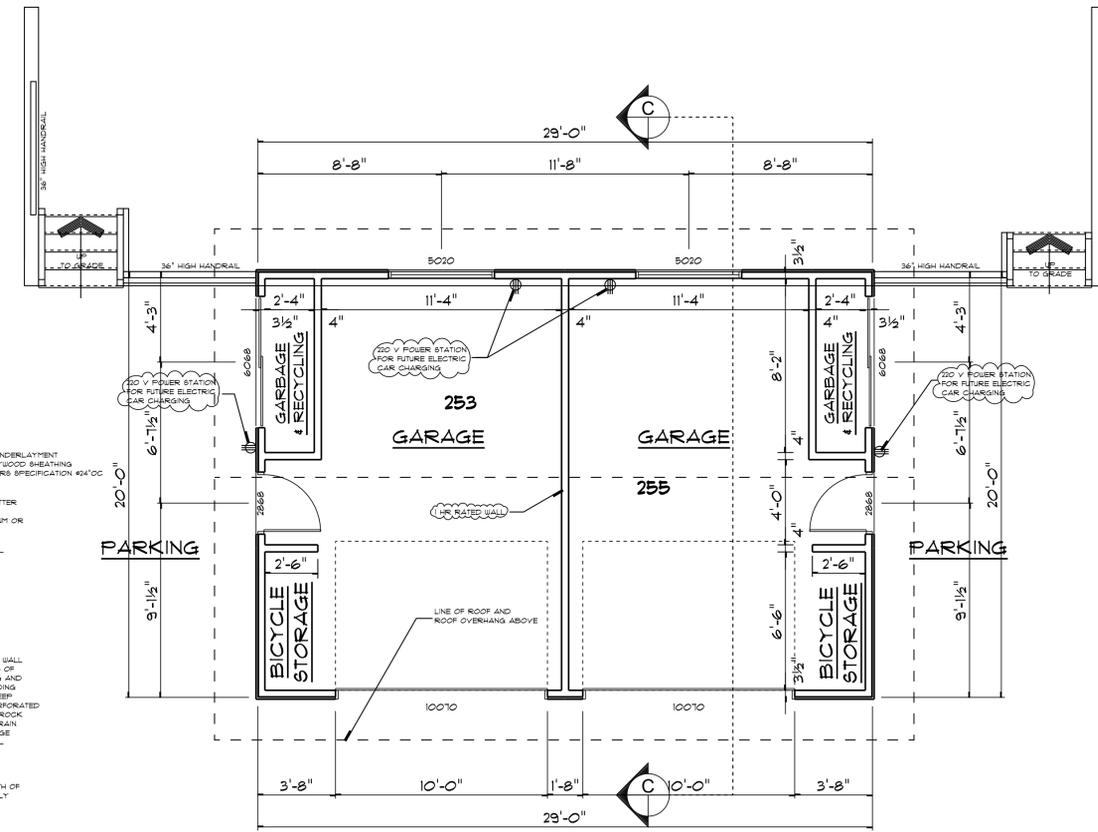
VENT CAP DETAIL



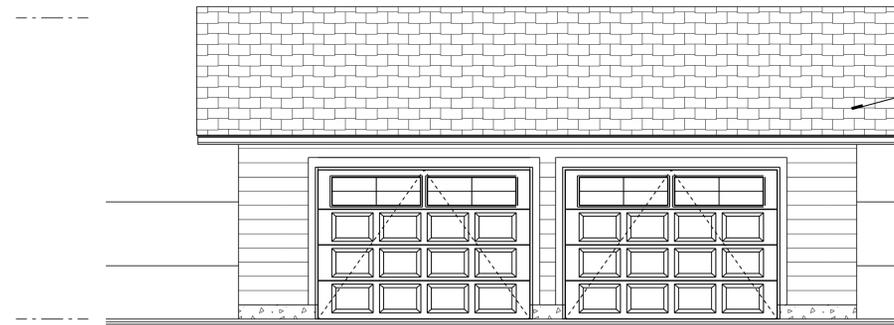
HANDRAIL BLOCKING DETAIL



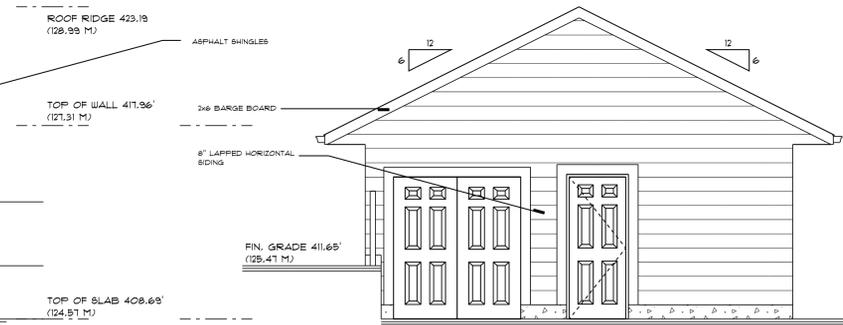
SECTION C



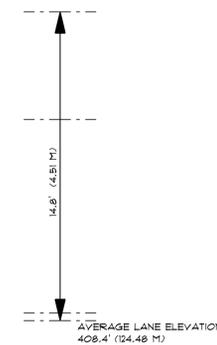
GARAGE PLAN



GARAGE SOUTH ELEVATION



GARAGE WEST ELEVATION



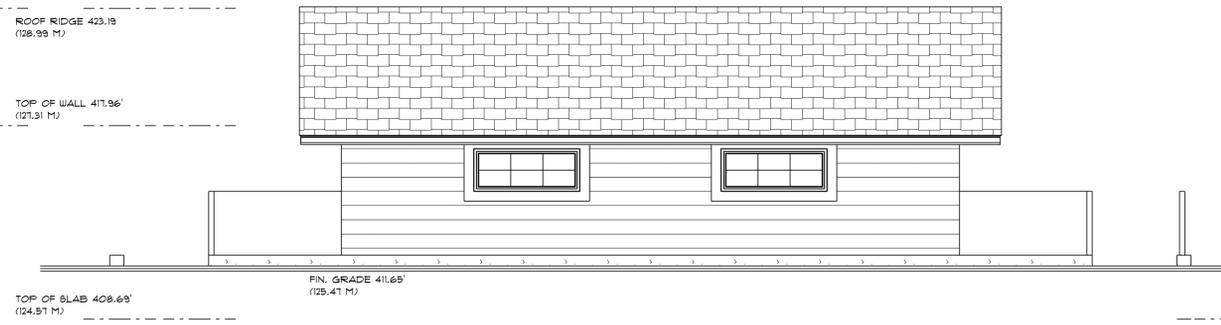
GARAGE COMMON WALL DETAIL

SCALE: 3/4\"/>

APRIL 2020 GENERAL REVISIONS
MARCH 2020 MASTER BED DECK DELETED AND MAIN FLOOR DECK REDESIGNED
REVISIONS



GARAGE EAST ELEVATION



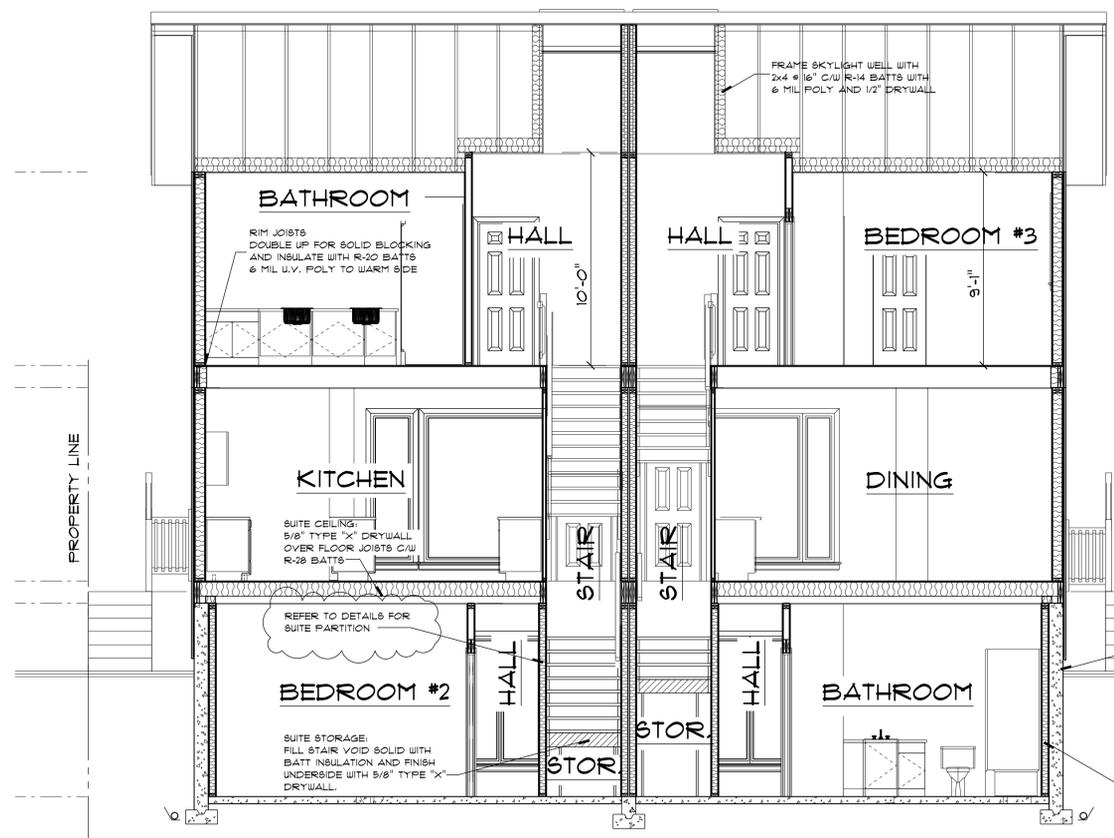
GARAGE NORTH ELEVATION

NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Bill Curtis & Associates
Design Ltd.
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

Quality Residential Design



SECTION A

ROOF RIDGE 442.25' (134.8 M)
 TOP OF UPPER FL. WALL 434.4' (132.41 M)
 UPPER FLOOR 425.32' (129.64 M)
 MAIN FLOOR 415.24' (126.51 M)
 LOWER FLOOR 405.16' (123.49 M)

ALL APPLIANCES TO BE ENERGY STAR RATED

ALL PLUMBING FIXTURES TO CONFORM TO SECTION 10.3 B.C.B.C.

FOUNDATION WALLS R81 1.99 MIN. REQUIRED	
8" CONCRETE	0.08
1/2" FLY.	0.011
INTERIOR AIR FILM	0.12
CAVITY:	
$\frac{100}{23} + \frac{11}{3.34} = 1.81$	
EFFECTIVE R81	2.141
WALLS R81 2.78 MIN. REQUIRED	
EXTERIOR AIR FILM	0.03
1/2" SIDING	0.14
1/2" AIR CAVITY	0.16
BUILDING PAPER	0.0
1/2" FLY.	0.103
1/2" GUB	0.08
INTERIOR AIR FILM	0.12
CAVITY:	
$\frac{100}{1.13} + \frac{11}{3.81} = 2.55$	
EFFECTIVE R81	3.19
CONCRETE SLAB ON GRADE REQUIRED R81 = 0.00	
INTERIOR AIR FILM	0.03
CONCRETE @ 0.0004/mm (100 mm)	0.04
EFFECTIVE R81 =	0.01

STRAP CONC. WALLS WITH
 2x4 C/W R-19 BATT INSULATION
 6 MIL U.V. POLY + 1/2" DRYWALL

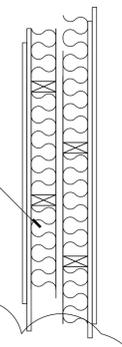
CEILING UNDER ATTICS
 R81 @ 91 MINIMUM REQUIRED

EXTERIOR AIR FILM	0.03
R28 BATT	4.93
CAVITY:	
2x4 ROOF TRUSS (SFF TRUSS CHORD)	0.751
8x6x0.005 +	2.46
R14 BATT INSUL.	2.46
.... 7% FRAME, 93% CAVITY	
$\frac{100}{0.751} + \frac{93}{2.46} = 2.95$	
5/8" DRYWALL (5.8mm x 0.0061)	0.035
INTERIOR AIR FILM	0.11
EFFECTIVE R81	1.29

FLOORS OVER UNHEATED SPACES
 R61 4.61 MINIMUM REQUIRED

INTERIOR AIR FILM	0.16
CARPET AND UNDERLAY	0.31
5/8" PLYWOOD	0.12
2x10 SFF	0.0085 x 235 = 1.99
R28 BATT	4.93
CAVITY:	
$\frac{100}{1.93} + \frac{81}{4.93} = 4.14$	
EXTERIOR AIR FILM	0.03
EFFECTIVE R81 =	4.872

PARTY WALL
 DETAIL
 SCALE: 1" = 1'-0"



PARTY WALL ASSEMBLY U308
 2 HOUR FIRE RATING
 2 ASSEMBLIES OF 2 LAYERS OF 5/8" TYPE "X" DRYWALL ONE SIDE OF 2x4 @ 16" O/C STAGGERED 8" COMPLETE WITH R-14 MINERAL WOOL BATT FRICTION FIT INSULATION SEPERATED BY A 1" AIR SPACE

PARTY WALL ASSEMBLY U308
 2 HOUR FIRE RATING
 2 ASSEMBLIES OF 2 LAYERS OF 5/8" TYPE "X" DRYWALL ONE SIDE OF 2x4 @ 16" O/C STAGGERED 8" COMPLETE WITH R-14 MINERAL WOOL BATT FRICTION FIT INSULATION SEPERATED BY A 1" AIR SPACE

PARTY WALL SECTION
 SCALE: 3/4" = 1'-0"

NOTE:
 5/8" DRYWALL TO BE ATTACHED HORIZONTALLY OR VERTICALLY CENTERED OVER STUDS. HORIZONTAL JOINTS NEED NOT BE BACKED BY FRAMING. BASE LAYER FASTENED TO STUDS AND PLATES WITH 1 7/8" LONG 6d CEMENT COATED NAILS OR 1 7/8" LONG TYPE 8 SCREWS SPACED 6" O/C. FACE LAYER FASTENED TO STUDS AND PLATES WITH 2 3/8" LONG 6d CEMENT COATED NAILS OR 2 3/8" LONG TYPE 8 OR U SCREWS SPACED 8" O/C. FACE LAYER JOINTS OFFSET MIN 12" FROM BASE LAYER JOINTS. WHEN USED IN WIDTHS OTHER THAN 48" GYPSUM PANELS TO BE INSTALLED HORIZONTALLY.

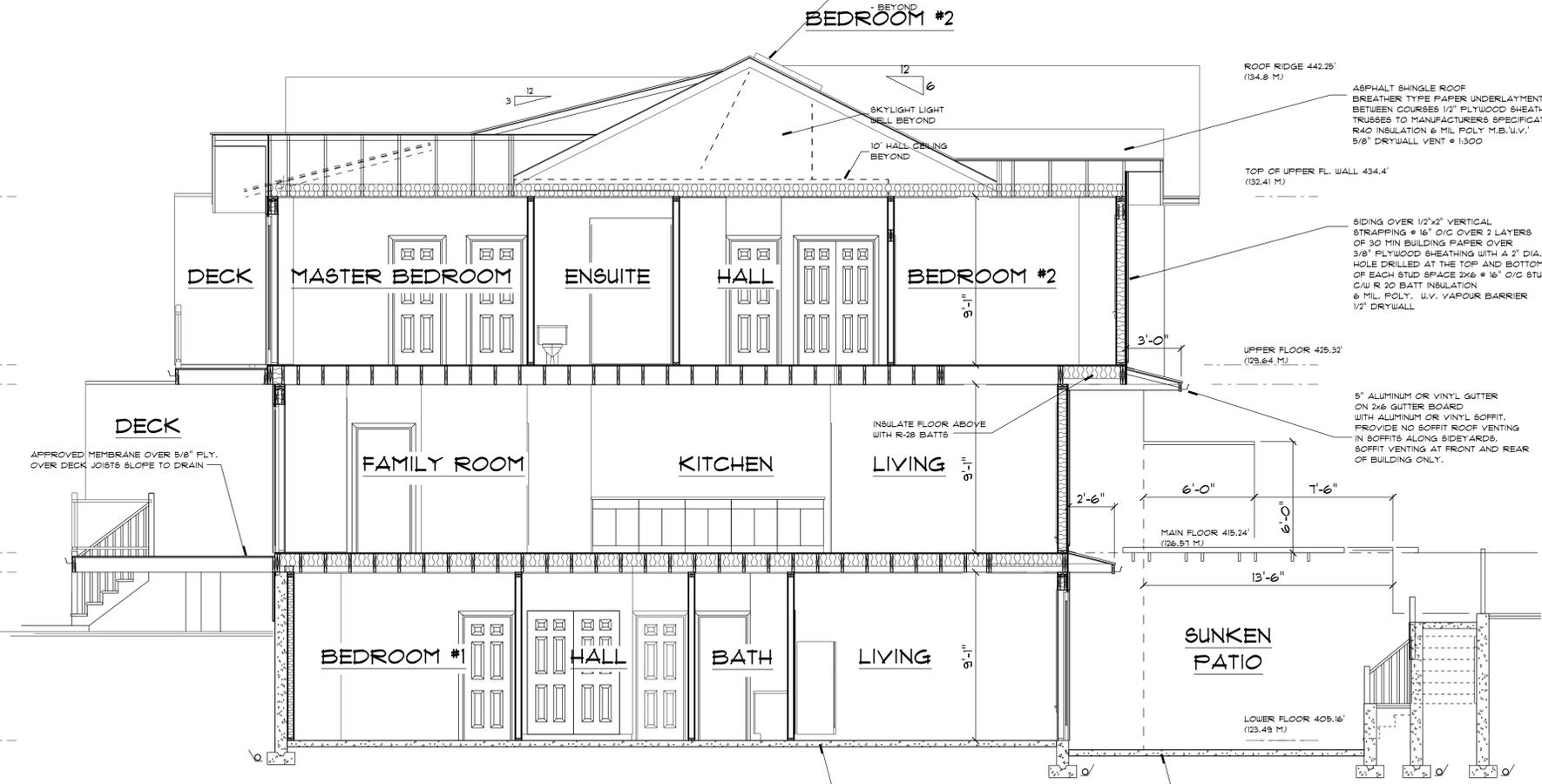
NOTE:
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
 THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
 VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APRIL 2020 GENERAL REVISIONS
 MARCH 2020 MASTER BED DECK DELETED AND MAIN FLOOR DECK REDESIGNED

Bill Curtis & Associates
 Design Ltd.
 (2022)
 Phone 604-986-4550
 Fax 604-986-4555
 billcurtisdesign@gmail.com

Harbourfront Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3M6

SECTIONS
 Drawing
 Drawn By B.C. Date JULY, 2019
 Scale 1/4" = 1'-0" OR AS NOTED
 Project
 K5 MECHANICAL DUPLEX
 AT 233, 235 EAST 22ND ST.
 NORTH VANCOUVER



SECTION B

ROOF RIDGE 442.25' (134.8 M)
 TOP OF UPPER FL. WALL 434.4' (132.41 M)
 UPPER FLOOR 425.32' (129.64 M)
 MAIN FLOOR 415.24' (126.51 M)
 LOWER FLOOR 405.16' (123.49 M)

ASPHALT SHINGLE ROOF
 BREATHER TYPE PAPER UNDERLAYMENT
 BETWEEN COURSES 1/2" PLYWOOD SHEATHING
 TRUSSES TO MANUFACTURERS SPECIFICATION #24"OC
 R40 INSULATION 6 MIL POLY M.B./U.V.
 5/8" DRYWALL VENT @ 1300

SIDING OVER 1/2"x2" VERTICAL
 STRAPPING @ 16" O/C OVER 2 LAYERS
 OF 30 MIN BUILDING PAPER OVER
 3/8" PLYWOOD SHEATHING WITH A 2" DIA.
 HOLE DRILLED AT THE TOP AND BOTTOM
 OF EACH STUD SPACE 2x6 @ 16" O/C STUDS
 C/W R 20 BATT INSULATION
 6 MIL. POLY. U.V. VAPOUR BARRIER
 1/2" DRYWALL

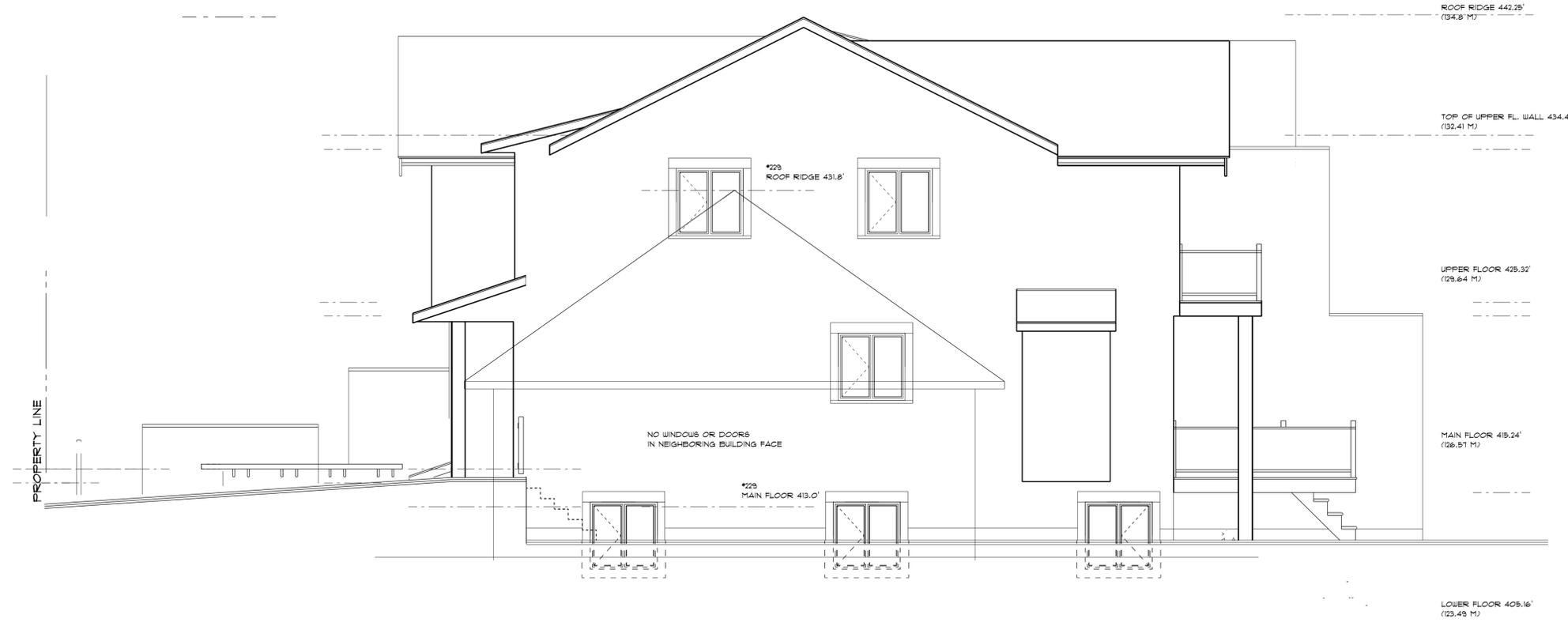
5" ALUMINUM OR VINYL GUTTER
 ON 2x6 GUTTER BOARD
 WITH ALUMINUM OR VINYL SOFFIT.
 PROVIDE NO SOFFIT ROOF VENTING
 IN SOFFITS ALONG SIDYARDS.
 SOFFIT VENTING AT FRONT AND REAR
 OF BUILDING ONLY.

4" CONCRETE SLAB
 OVER CRUSHED ROCK
 SLOPE @ 2% TO DRAIN

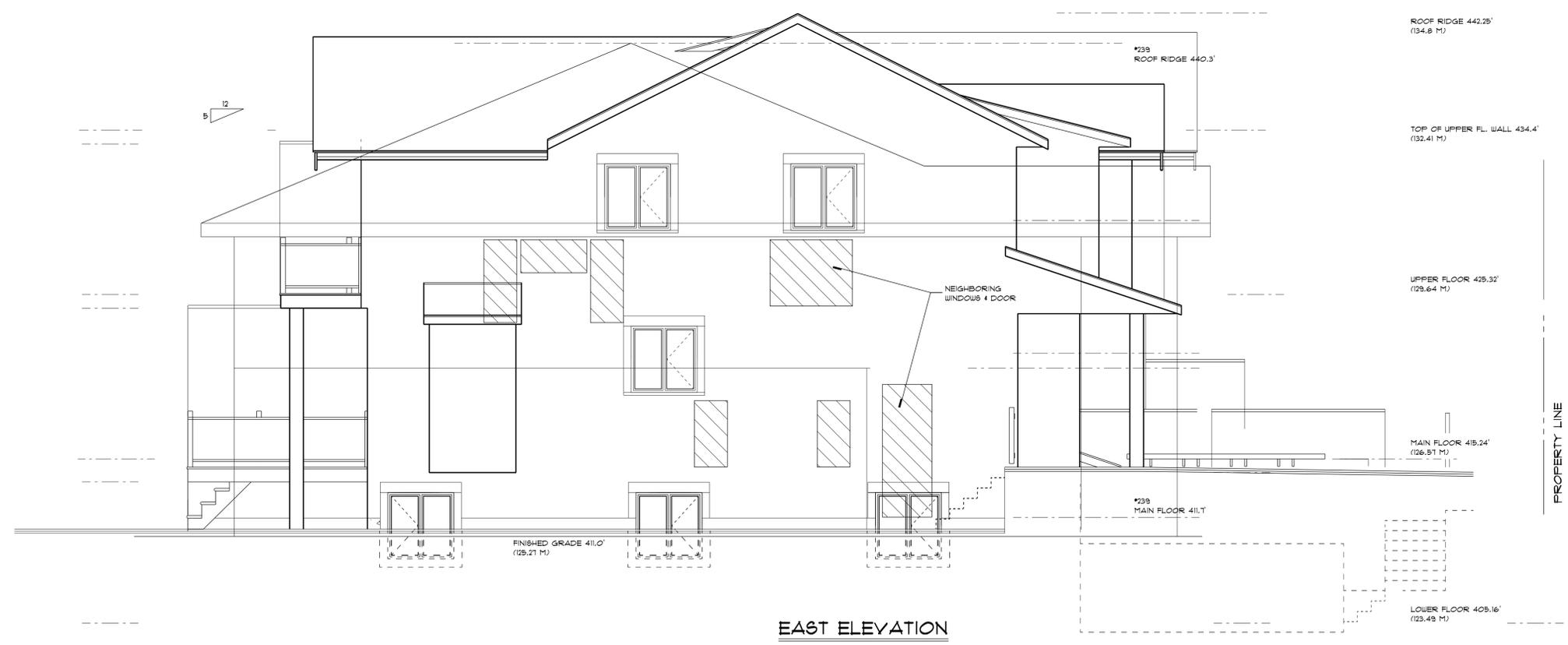
APPROVED MEMBRANE OVER 5/8" FLY.
 OVER DECK JOISTS SLOPE TO DRAIN

SAFETY GLASS SKYLIGHT C/W
 FLASHING AND COUNTERFLASHING
 2x MOUNTING CURB CANT STRIPS AND
 OTHER COMPONENTS AS RECOMMENDED
 BY MANUFACTURER REFER TO SHOP
 DRAWINGS FOR RECOMMENDED INSTALLATION
 BEYOND

4" CONCRETE SLAB
 OVER CRUSHED ROCK
 SLOPE @ 2% TO DRAIN



WEST ELEVATION



EAST ELEVATION

NOTE:
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS OR PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
 THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

88
of

REVISIONS

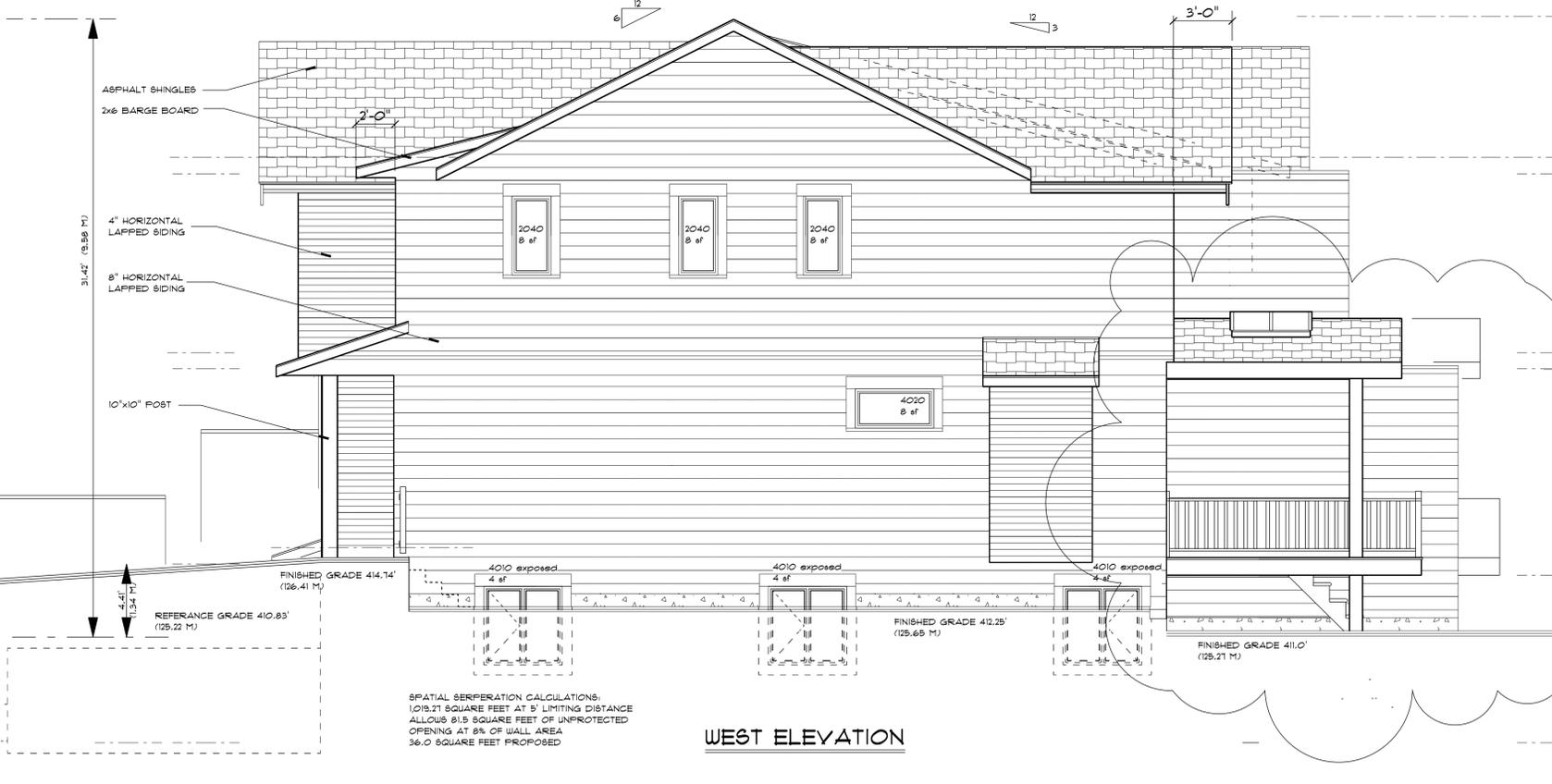
Bill Curtis & Associates Design Ltd.
 (2002)
 Phone 604-986-4550
 Fax 604-986-4555
 billcurtisdesign@gmail.com

Harbourfront Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3M6
REFLECTED WINDOWS
 Drawing B.C. Date JULY, 2019
 Scale 1/4" = 1'-0"
 Project
K&S MECHANICAL DUPLEX
 AT 233, 235 EAST 22nd ST.
 NORTH VANCOUVER

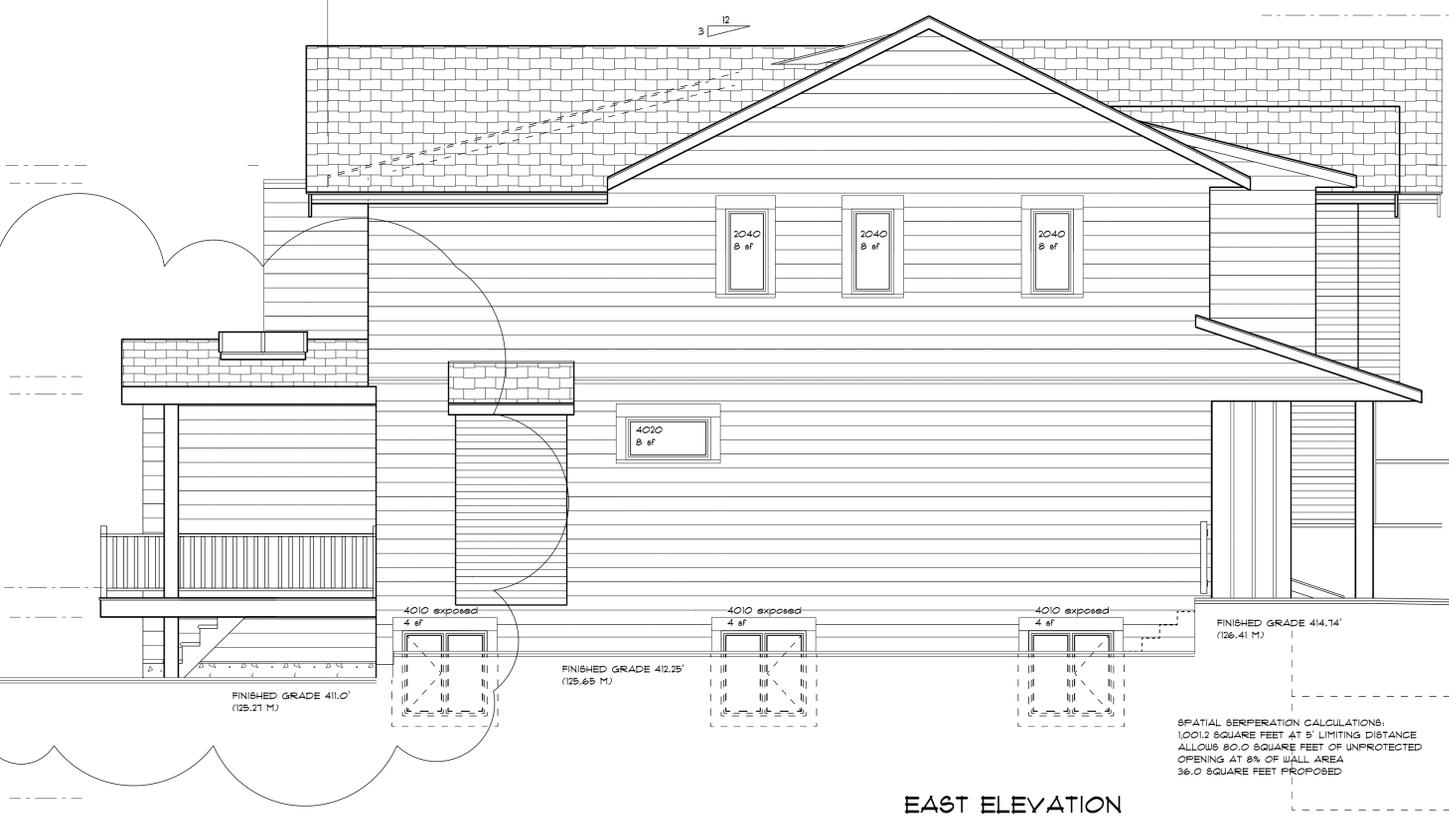
Quality Residential Design



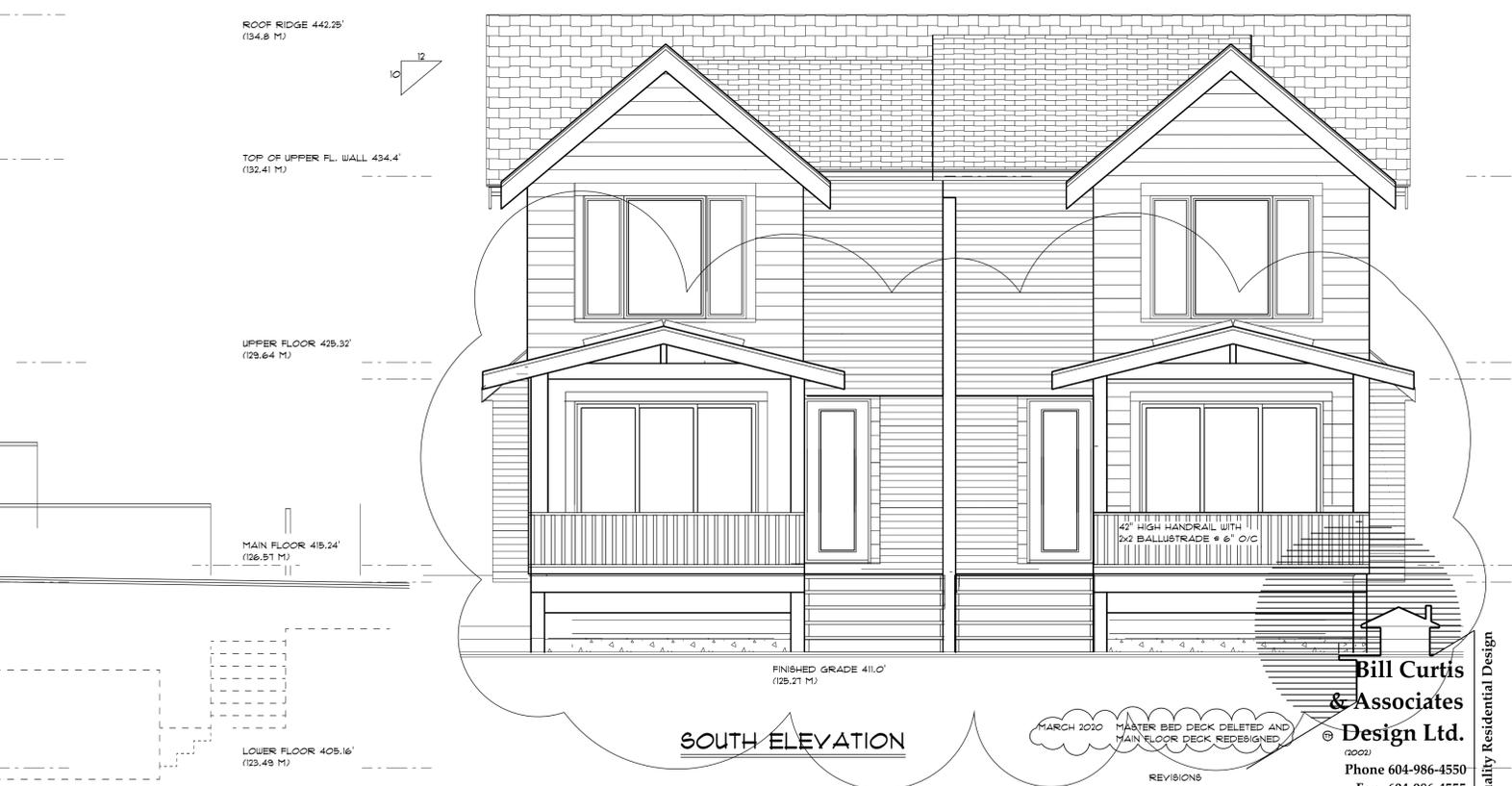
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

MARCH 2020 MASTER BED DECK DELETED AND MAIN FLOOR DECK REDESIGNED

REVISIONS

Bill Curtis & Associates Design Ltd.
(2002)

Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com

Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, BC V7M 3M6

Drawing **ELEVATIONS**

Drawn By B.C. Date JULY, 2019

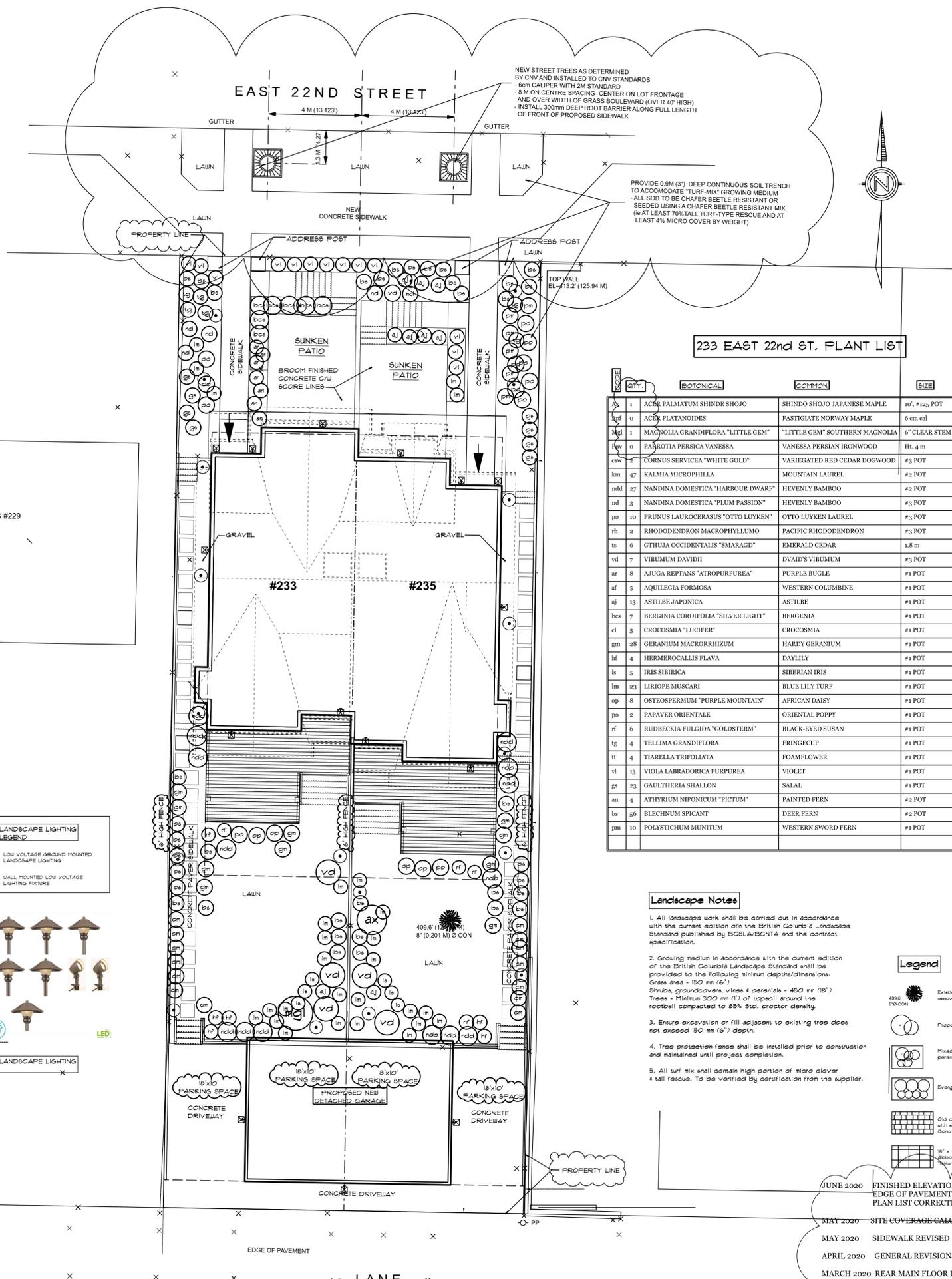
Scale 1/4" = 1'-0"

Project **K5 MECHANICAL DUPLEX**
AT 233, 235 EAST 22ND ST.
NORTH VANCOUVER

NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



Quality Residential Design

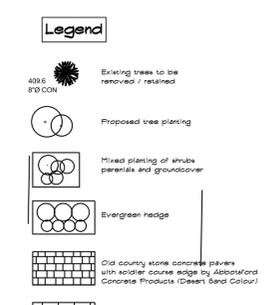


233 EAST 22nd ST. PLANT LIST

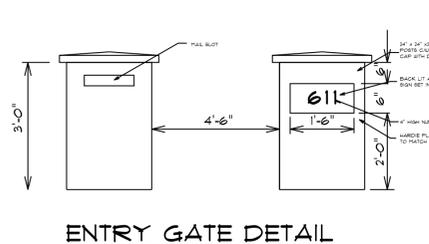
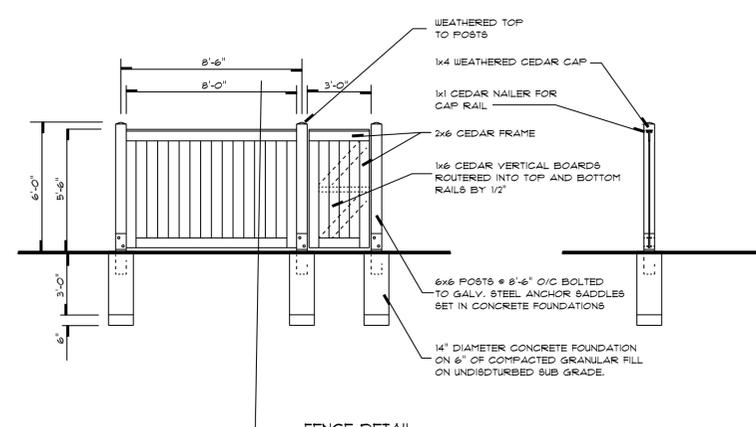
QTY.	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
1	ACER PALMATUM SHINDE SHOJO	SHINDO SHOJO JAPANESE MAPLE	10", #125 POT	AS SHOWN	TREE	NON NATIVE
0	ACER PLATANOIDES	FASTIGIATE NORWAY MAPLE	6 cm cal	AS SHOWN	TREE	NON NATIVE
1	MAGNOLIA GRANDIFLORA "LITTLE GEM"	"LITTLE GEM" SOUTHERN MAGNOLIA	6" CLEAR STEM	AS SHOWN	TREE	NON NATIVE
0	PAEROTIA PERSICA VANESSA	VANESSA PERSIAN IRONWOOD	Ht. 4 m	AS SHOWN	TREE	NON NATIVE
2	CORNUS SERVICEA "WHITE GOLD"	VARIEGATED RED CEDAR DOGWOOD	#3 POT	AS SHOWN	SHRUB	NATIVE
47	KALMIA MICROPHILLA	MOUNTAIN LAUREL	#2 POT	AS SHOWN	SHRUB	NON NATIVE
27	NANDINA DOMESTICA "HARBOUR DWARF"	HEVENLY BAMBOO	#2 POT	AS SHOWN	SHRUB	NON NATIVE
3	NANDINA DOMESTICA "PLUM PASSION"	HEVENLY BAMBOO	#3 POT	AS SHOWN	SHRUB	NON NATIVE
10	PRUNUS LAUROCEARUS "OTTO LUYKEN"	OTTO LUYKEN LAUREL	#3 POT	AS SHOWN	SHRUB	NON NATIVE
2	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON	#3 POT	AS SHOWN	SHRUB	NATIVE
6	GTHUJA OCCIDENTALIS "SMARAGD"	EMERALD CEDAR	1.8 m	AS SHOWN	SHRUB	NON NATIVE
7	VIBURNUM DAVIDII	DVAID'S VIBURNUM	#3 POT	AS SHOWN	SHRUB	NON NATIVE
8	AJUGA REPTANS "ATROPURPUREA"	PURPLE BUGLE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
5	AQUILEGIA FORMOSA	WESTERN COLUMBINE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
13	ASTILBE JAPONICA	ASTILBE	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
7	BERGENIA CORDIFOLIA "SILVER LIGHT"	BERGENIA	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
5	CROCOSMIA "LUCIFER"	CROCOSMIA	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
28	GERANIUM MACRORRHIZUM	HARDY GERANIUM	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
4	HERMEROCALLIS FLAVA	DAYLILY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
5	IRIS SIBERICA	SIBERIAN IRIS	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
23	LIRIOPE MUSCARI	BLUE LILY TURF	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
8	OSTEOSPERMUM "PURPLE MOUNTAIN"	AFRICAN DAISY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
2	PAPAVER ORIENTALE	ORIENTAL POPPY	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
6	RUDBECKIA FULGIDA "GOLDSTERN"	BLACK-EYED SUSAN	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
4	TELLIMA GRANDIFLORA	FRINGECUP	#1 POT	AS SHOWN	PERENNIAL	NATIVE
4	TIARELLA TRIFOLIATA	FOAMFLOWER	#1 POT	AS SHOWN	PERENNIAL	NATIVE
13	VIOLA LABRADORICA PURPUREA	VIOLET	#1 POT	AS SHOWN	PERENNIAL	NON NATIVE
23	GAULTHERIA SHALLON	SALAL	#1 POT	AS SHOWN	GROUND COVER	NATIVE
4	ATHYRIUM NIPONICUM "PICTUM"	PAINTED FERN	#2 POT	AS SHOWN	FERN	NATIVE
56	BLECHNUM SPICANT	DEER FERN	#2 POT	AS SHOWN	FERN	NATIVE
10	POLYSTICHUM MUNTUM	WESTERN SWORD FERN	#1 POT	AS SHOWN	FERN	NATIVE



- Landscape Notes**
- All landscape work shall be carried out in accordance with the current edition of the British Columbia Landscape Standard published by BCLA/BCNTA and the contract specification.
 - Growing medium in accordance with the current edition of the British Columbia Landscape Standard shall be provided to the following minimum depths/dimensions:
 Grass area - 150 mm (6")
 Shrubs, groundcovers, vines & perennials - 450 mm (18")
 Trees - Minimum 300 mm (1') of topsoil around the rootball compacted to 88% Std. proctor density.
 - Ensure excavation or fill adjacent to existing tree does not exceed 150 mm (6") depth.
 - Tree protection fence shall be installed prior to construction and maintained until project completion.
 - All turf mix shall contain high portion of micro clover & tall fescue. To be verified by certification from the supplier.



- REVISIONS**
- JUNE 2020 FINISHED ELEVATIONS AT LANE REVISED
EDGE OF PAVEMENT CLARIFIED
PLAN LIST CORRECTED
 - MAY 2020 SITE COVERAGE CALCULATION
 - MAY 2020 SIDEWALK REVISED
 - APRIL 2020 GENERAL REVISIONS
 - MARCH 2020 REAR MAIN FLOOR DECK RECONFIGURED
UPPER FLOOR DECK DELETED



NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

11 of

Bill Curtis & Associates Design Ltd.
 (2002)
 Phone 604-986-4550
 Fax 604-986-4555
 billcurtisdesign@gmail.com
 Harbourside Business Centre
 5th Floor, 224 West Esplanade
 North Vancouver, BC V7M 3L6
LANDSCAPE PLAN
 Drawing
 Drawn By BC Date JULY 2019
 SCALE: 1/8" = 1'-0"
 Project
KS MECHANICAL DUPLEX
 AT 233, 235 EAST 22nd ST.
 NORTH VANCOUVER