



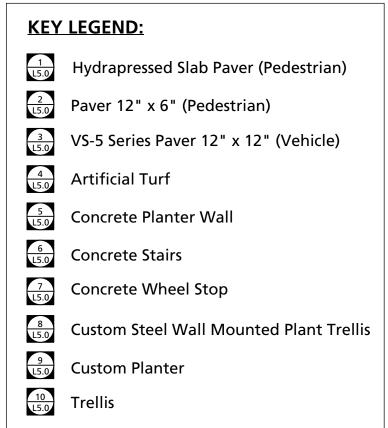


Issues No. Description A Issued for Re-Zoning/DP

Date 2022/04/08

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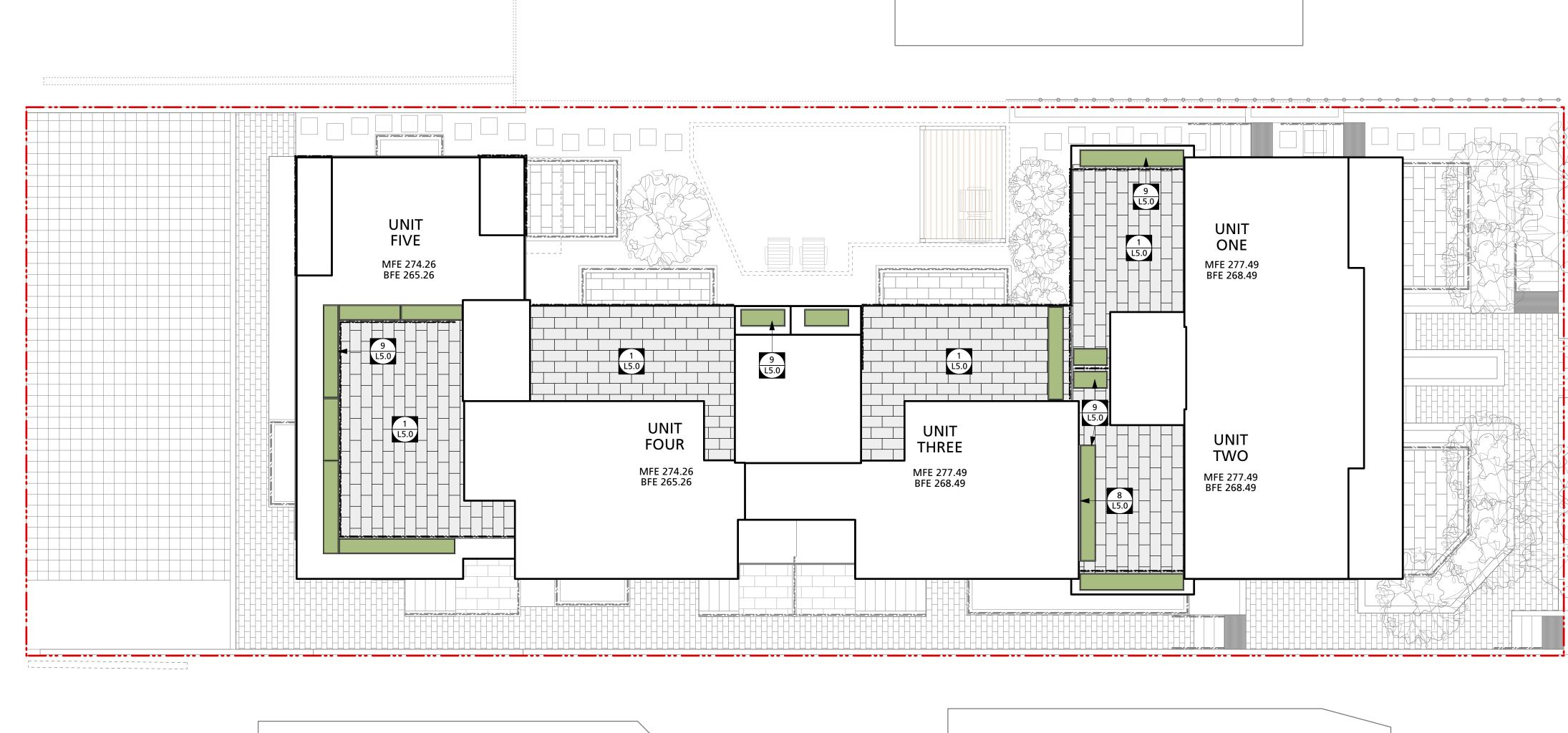
Perry + Associates Landscape Architecture Site Planning 112 East Broadway Vancouver, BC V5T 1V9 T: 604.738.4118 perryandassociates.ca

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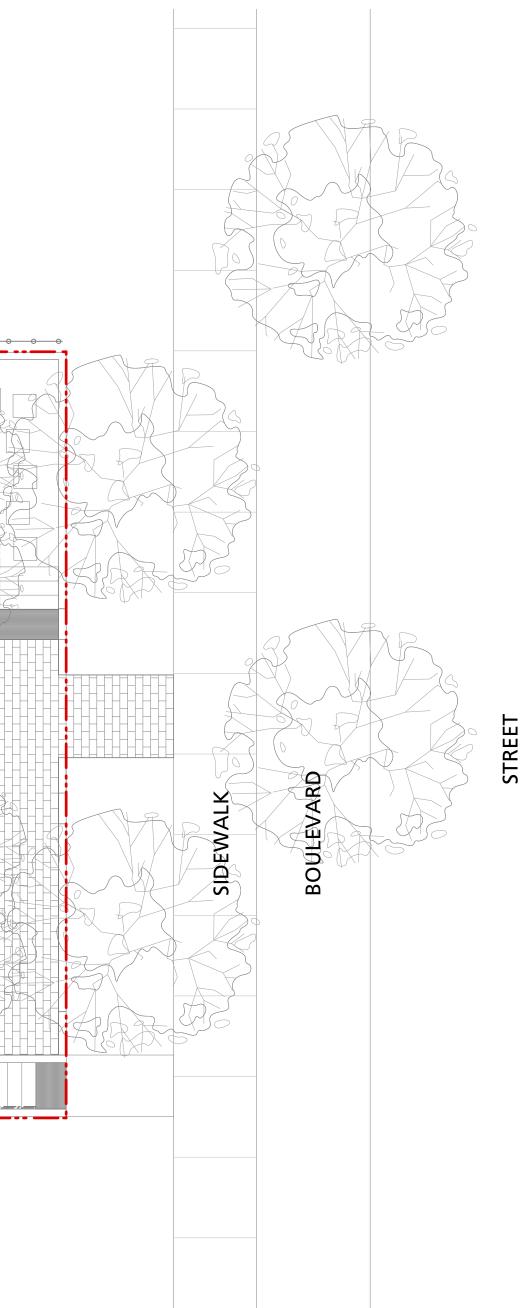
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L1.1

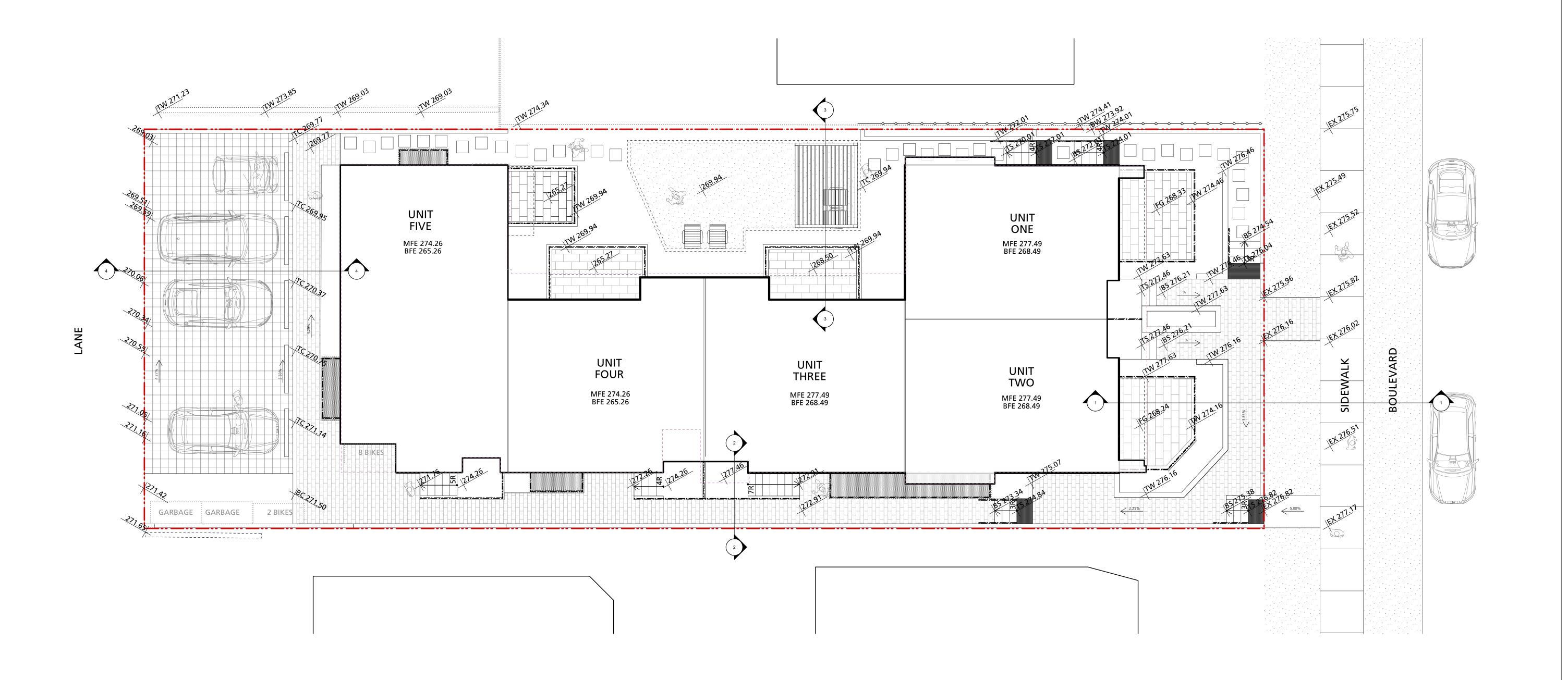


LANE





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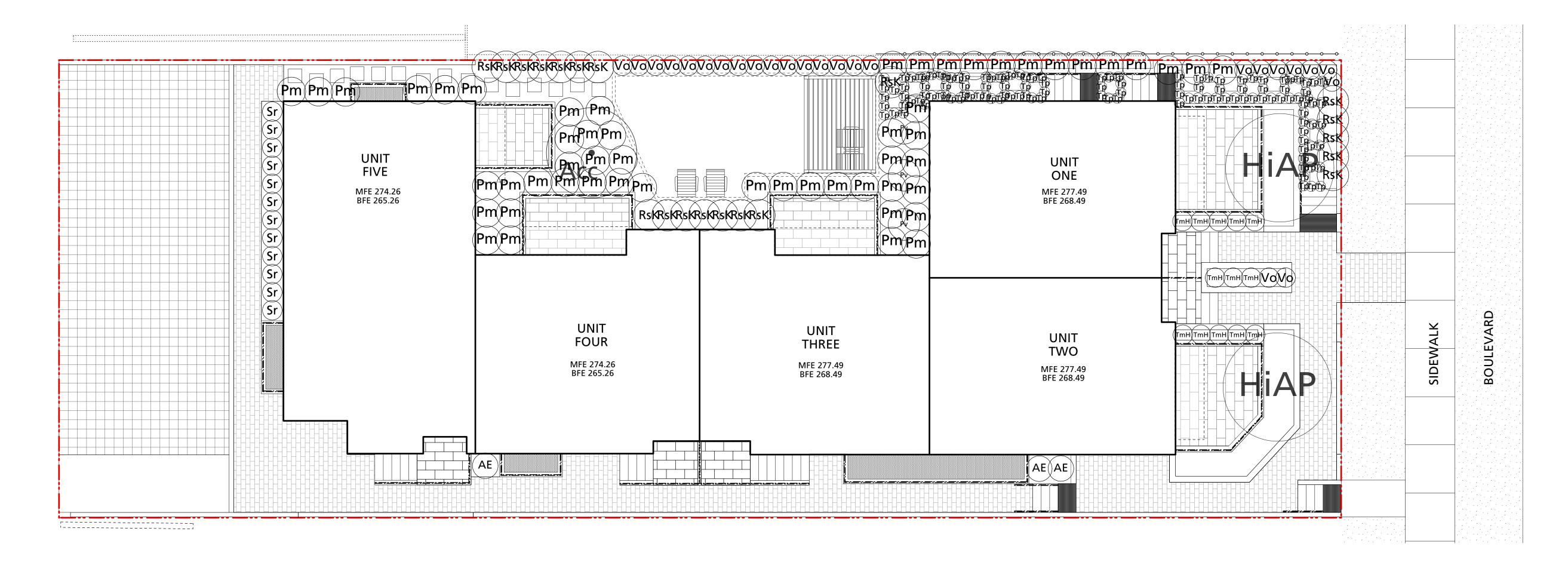
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Plant List				
ID	Qty. Botanical Name	Common Name		
Trees				
Acc	1 Acer circinatum	Vine Maple		
Shrubs				
AE	3 Abelia 'Edward Goucher'	Edward Goucher Abelia		
BmW	30 Buxus microphylla 'Winter Gem'	Winter Gem Boxwood		
HiAP	2 Hamamelis x intermedia 'Arnold Promise'	Witch Hazel		
Pv	3 Philadelphus x virginalis	Mock Orange		
RsK	20 Ribes sanguineum 'King Edward VII'	Flowering Currant		
Sr	12 Sarcococca ruscifolia	Fragrant Sarcococca		
TmH	35 Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)		
Vo	25 Vaccinium ovatum	Evergreen Huckleberry		
Groundc	overs, Vines, Ferns, Perennials and Grasses			
Cm	4 Clematis montana	Anemone Clematis		
P	145 Pachysandra terminalis	Japanese Spurge		
Pm	54 Polystichum munitum	Western Sword Fern		
Тр	190 Thymus pseudolanuginosus	Woody Thyme		
Total	468			



	Scheduled Size	Remarks		
	2.5m ht., B&B, max. 3 stems	*native *habitat		
a 1)	#2 pot #2 pot #5 pot #5 pot #5 pot #3 pot 4' ht #2 pot	Hedge	<b>Pla</b> 1. 2. 3. 4. 5.	Anting Notes Contractor Is Responsible To Obtain And Be Familiar With The Relevant Project Specifications. The Contractor Shall Locate And Verify The Existence Of All Utilities Prior To Starting Work. All Existing Utility Covers Are To Be Adjusted To The Final Grade. The Contractor Shall Supply All Plant Materials Shown On All Drawings. All Trees To Be Planted With A Mininum 1m Clearance To Existing Water Main And Water Valves.
	#2 pot #1 pot	Groundcover	6. 7. 8. 9.	<ul> <li>All Plant Material Shall Be Approved At The Nursery By The Project Landscape Architect.</li> <li>All Plants Shall Be Watered Thoroughly Twice During The First 24-Hour Period After Planting. All Pla Then Be Watered As Necessary.</li> <li>The Landscape Contractor Shall Refer To The Contract Specifications For Additional Requirements.</li> <li>Planting To Conform To All BCLNA Standards.</li> </ul>
	#1 pot #1 pot	Groundcover	10.	Provide Root Barrier As Shown On Landscape Planting Plans. Root Barrier To Be Deeproot UB-18. Pr Sheet For Approval.



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Client:

REE.

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Project Title:

Drawing Title:

229 W 15th Street, CNV

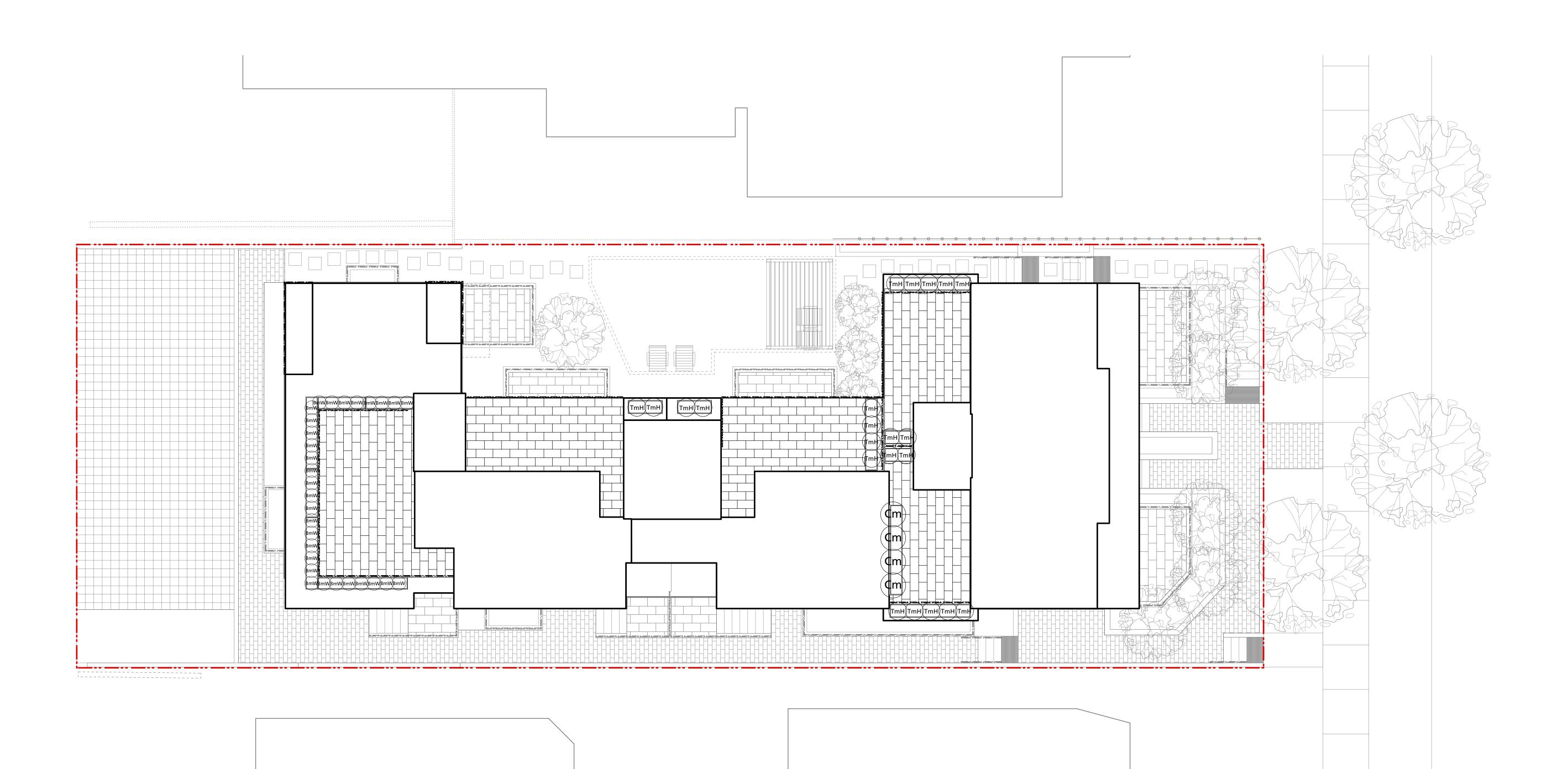
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Sheet No.:

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6. All Plant Material Shall Be Approved At The Nursery By The Project Landscape Architect. All Plants Shall Be Watered Thoroughly Twice During The First 24-Hour Period After Planting. All Plants Shall Then Be Watered As Necessary.

10. Provide Root Barrier As Shown On Landscape Planting Plans. Root Barrier To Be Deeproot UB-18. Provide Cut Sheet For Approval.



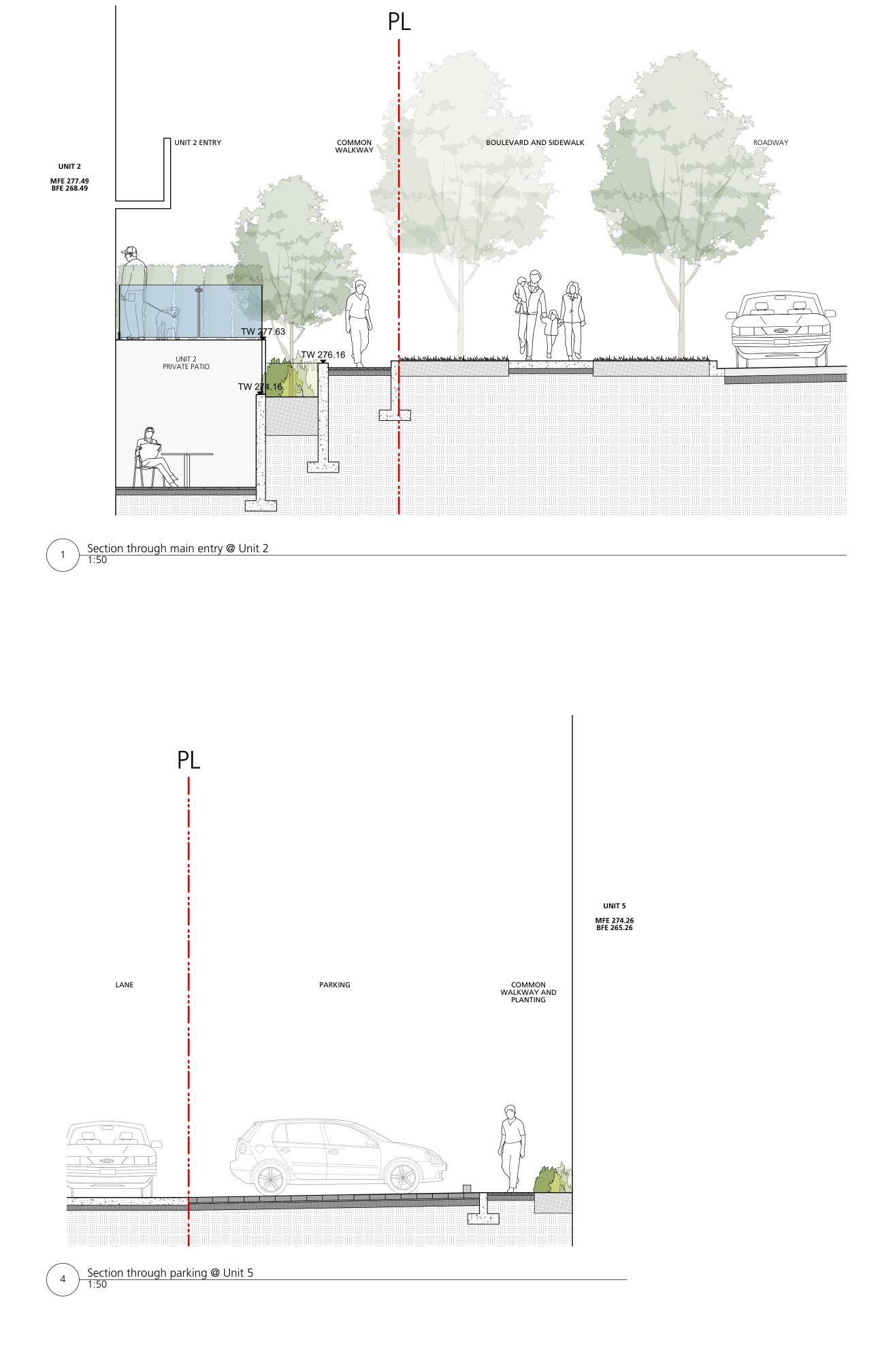


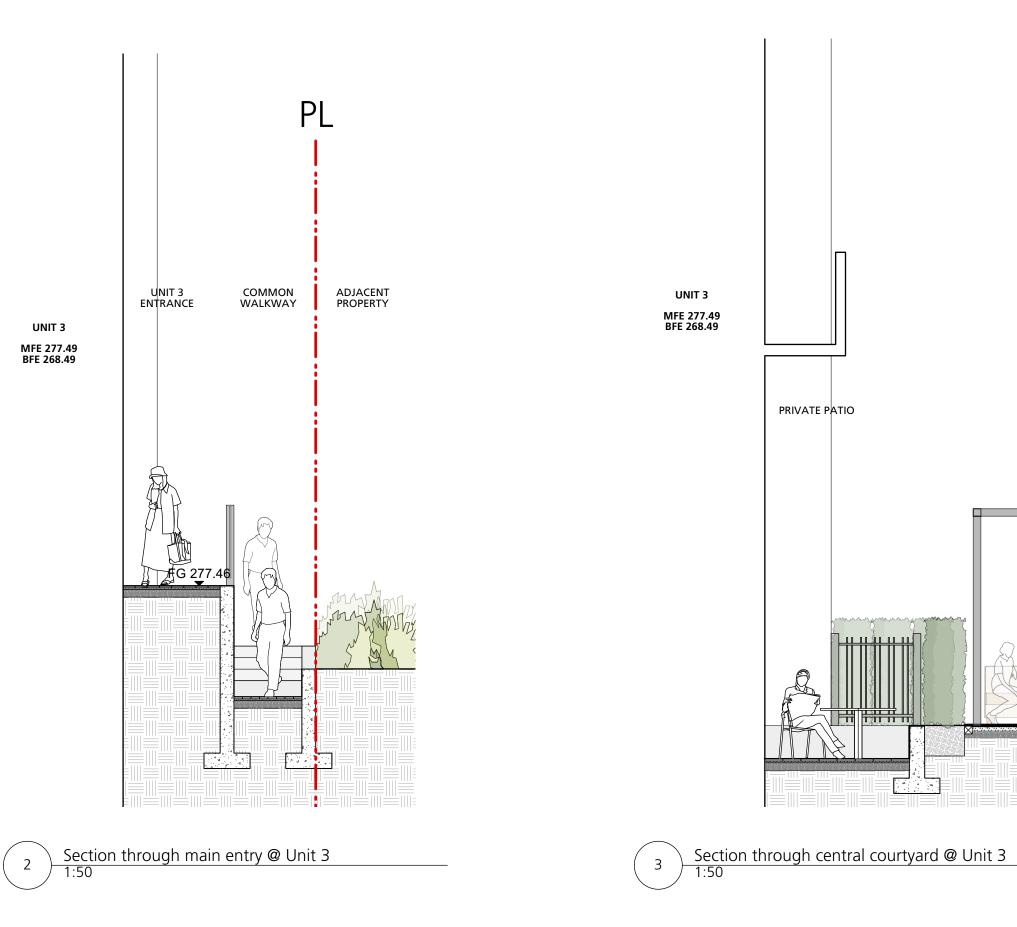
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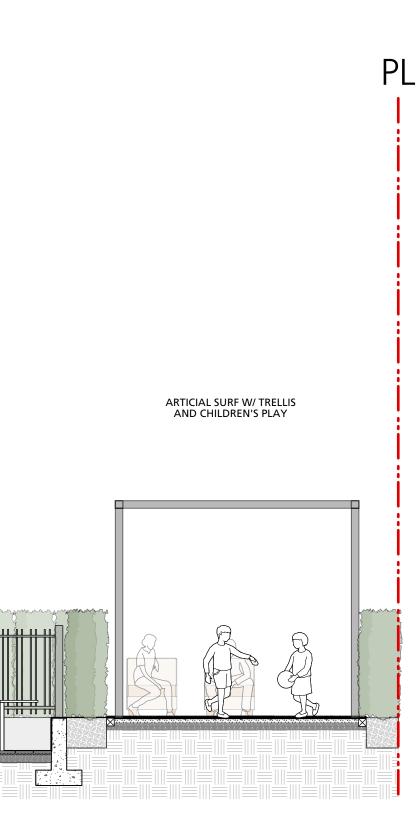
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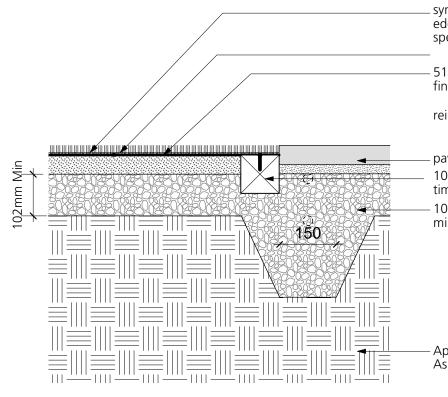
P+A Perry + Associates Landscape Architecture Site Planning 112 East Broadway Vancouver, BC V5T 1V9 T: 604.738.4118 perryandassociates.ca Issues No. Description Date COPYRIGHT RESERVED This drawing is and shall remain the property of Perry and Associates Inc., and Perry and Associates Inc. shall retain the copyright therein. This document shall not be reproduced or used for additions or alterations to the project or for the purpose of any other project without the prior written consent of Perry and Associates Inc. Client: SYMPHONY HOMES LIMITED Project Title: 229 W 15th Street, CNV Drawing Title: Landscape Sections Project North: Drawn By: PN AT \_\_\_\_\_ -----Checked By: MP \_\_\_\_\_ Scale: Job No.: 22-021 Sheet No.:

L4.0

## **Product:** Taxada HydraPressed by Abbotsford Concrete **Dimensions:** 12 "x<sup>2</sup>4" x 2"; 24<sup>\*</sup>x24"x2"; 18"x18"x2" Materials: Concrete Colour: Entries - Charcoal Patios & Stepping Stones - Natural

2% Min. Slope To Area Drain	Taxada Abbotsford Concrete of pre-approved equivalent
	1" (25mm) Min. Sand — Bedding 4"(100mm) Depth 3/4" (19mm) Minus Compacted Granular Base Course — Approved Compacted Subgrade, As Per Geotech. Recommendation

- Hydrapressed Slab Paver (Pedestrian) 1:10
  - SYNAugustine 347 Available at SYNLawn (www.synlawn.com) Address: 8207 Swenson Way, Delta, BC, V4G 1J5 Tel: 778-999-6492 **Note:** refer to Landscape Architect and SYNlawn representative for final grading requirements/approval.



synaugustine 347, nailed to timber edger. refer to manufacturer's specification. – 51mm depth of 1/4" dust or

fines, unwashed reinforced concrete edger

paving as specified 102x102 mm pressure treated timber edger – 102" - 152" depth of 3/4" minus granular, unwashed

- Approved Compacted Subgrade, As Per Geotech. Recommendation

Artifical Lawn 1:10



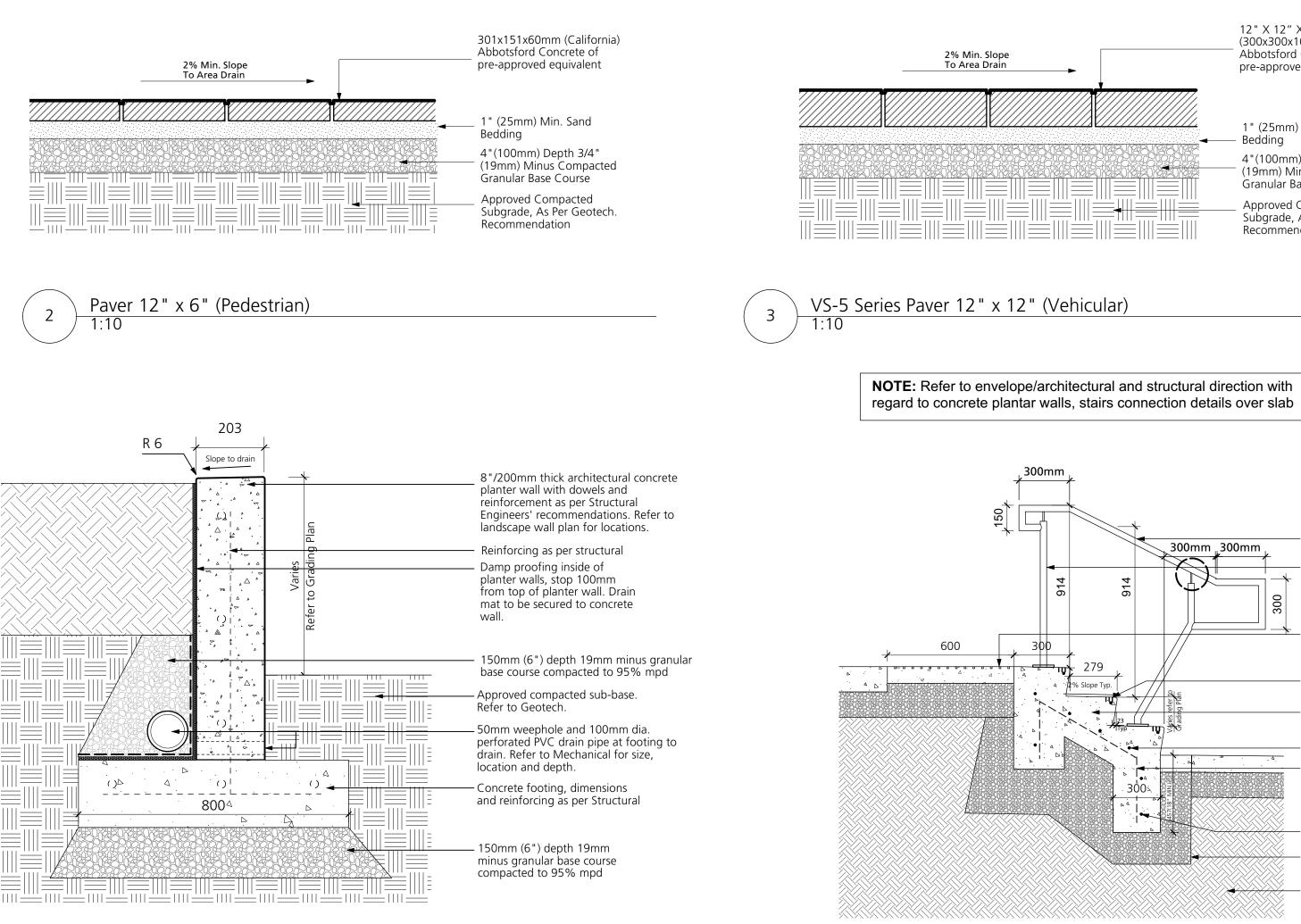




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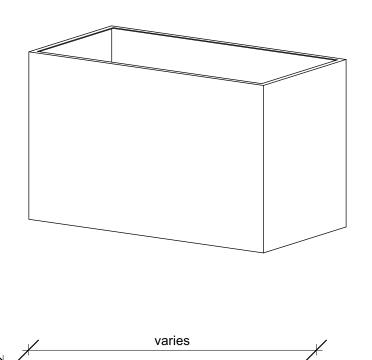
## **Classic Standard Series - California** 150mm x 300mm x 108 mm [6" x 12" x 4 5/16"]. Colour: Natural, running bond pattern. Refer to plan for location

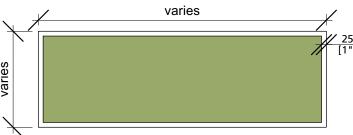
Available at **Abbotsford Concrete Products** or pre-approved equivalent Address: 3422 McCallum Rd, Abbotsford, BC V2S 7W6 Tel: (604) 852-4967

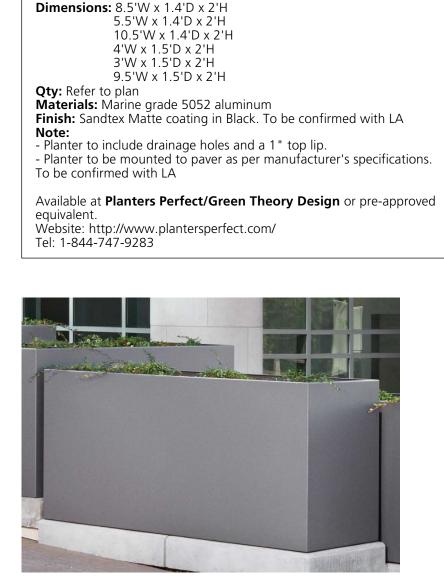


Concrete Planter Wall 1:10









**Product:** Commercial Metal Planters





Concrete Stairs

1:20

6

12" X 12" X 4 5/16" (300x300x108mm) Abbotsford Concrete of pre-approved equivalent

1" (25mm) Min. Sand 4"(100mm) Depth 3/4" (19mm) Minus Compacted Granular Base Course Approved Compacted Subgrade, As Per Geotech. Recommendation

40mm ø powder coated aluminum handrail 2x (6mm Thick x 50mm wide) Powder Coat Aluminum Post Welded to 10mm Thick by 100 E.W. Base Plate and Hilti Bolted to concrete Tread

Tooled concrete tactile warning strip to BC Building Code

Tactile nosings CIP Concrete stairs. Numbers - of risers and riser height vary. Refer to Grading Plan 10M @16" H.2.E. 15M @12" Bent to Suit

– 2-15M Bot Min. 100mm of 9mm minus compacted granular. Approved compacted subgrade. Refer to Geotechnical recommendations.

P+A

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Client:



Project Title:

229 W 15th Street, CNV

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