

LEGAL DESCRIPTION:

LOT:43; Block:112A; DL:546; GROUP 1;
Plan:1228
PID: 010-517-243

CITY OF NORTH VANCOUVER
WEST 5TH TRIPLEX
ISSUED FOR DETAIL REZONING
AUG. 06 2025

DRAWING LIST			
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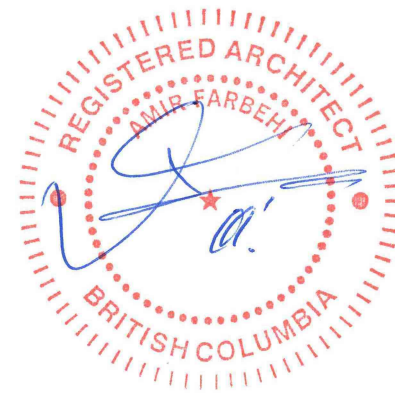
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1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

COVER PAGE

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24305	AUG. 06 2025	REVIEWED	AF
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			2



CONTEXT PLAN LEGEND

- 226 Subject Project
- Lane Access
- W 5TH ST
- Mahon Ave
- Chesterfield Ave



WEST 5th ST VIEW



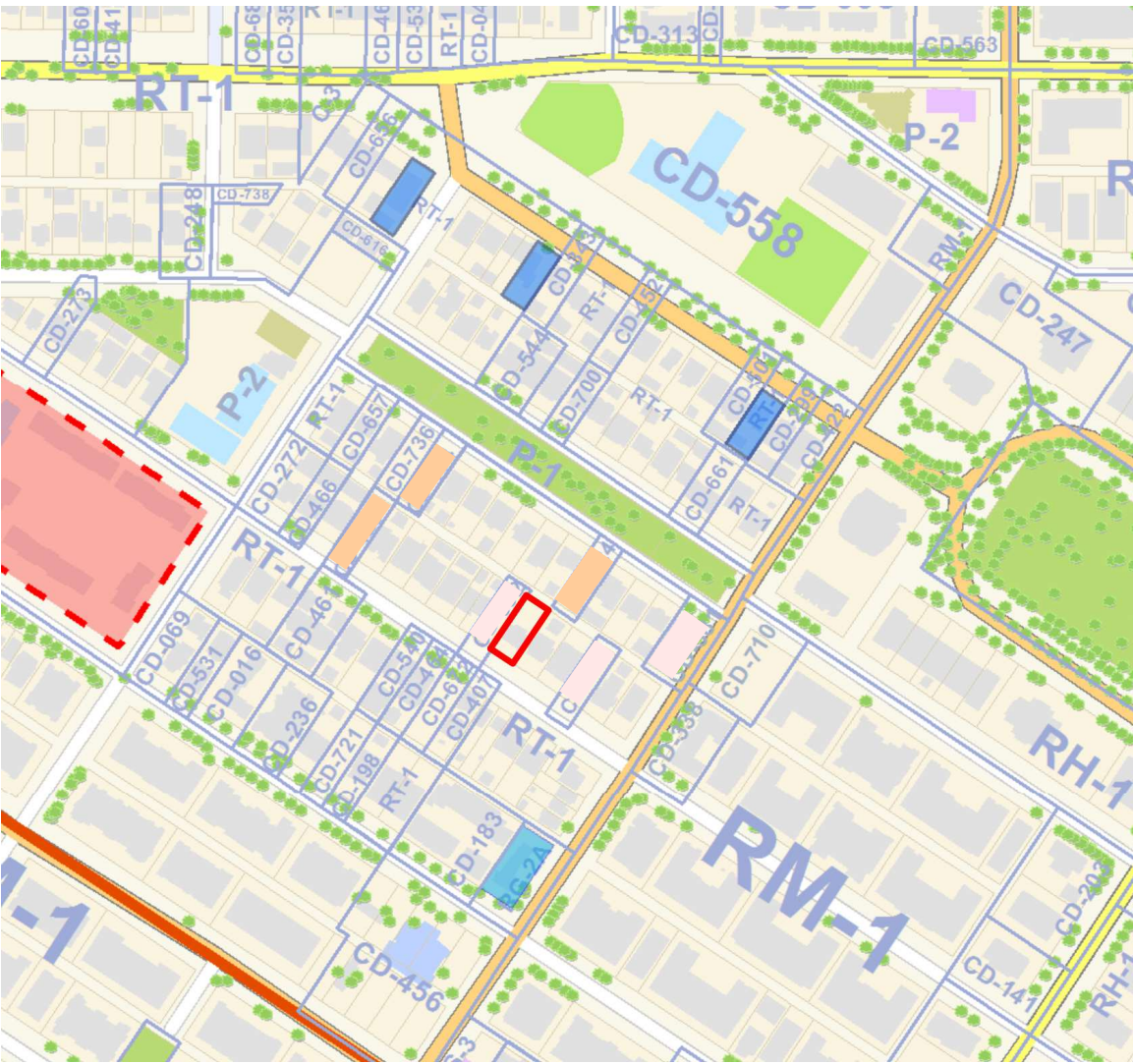
FRONT VIEW



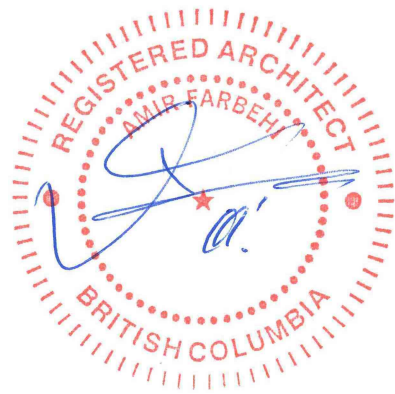
LANE VIEW

ZONING LEGEND

- Subject Project
- Duplex Development
- Triplex Development
- Fourplex Development
- 5-Dwelling Unit Development



EAST 5th ST VIEW



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CONTEXT PLAN

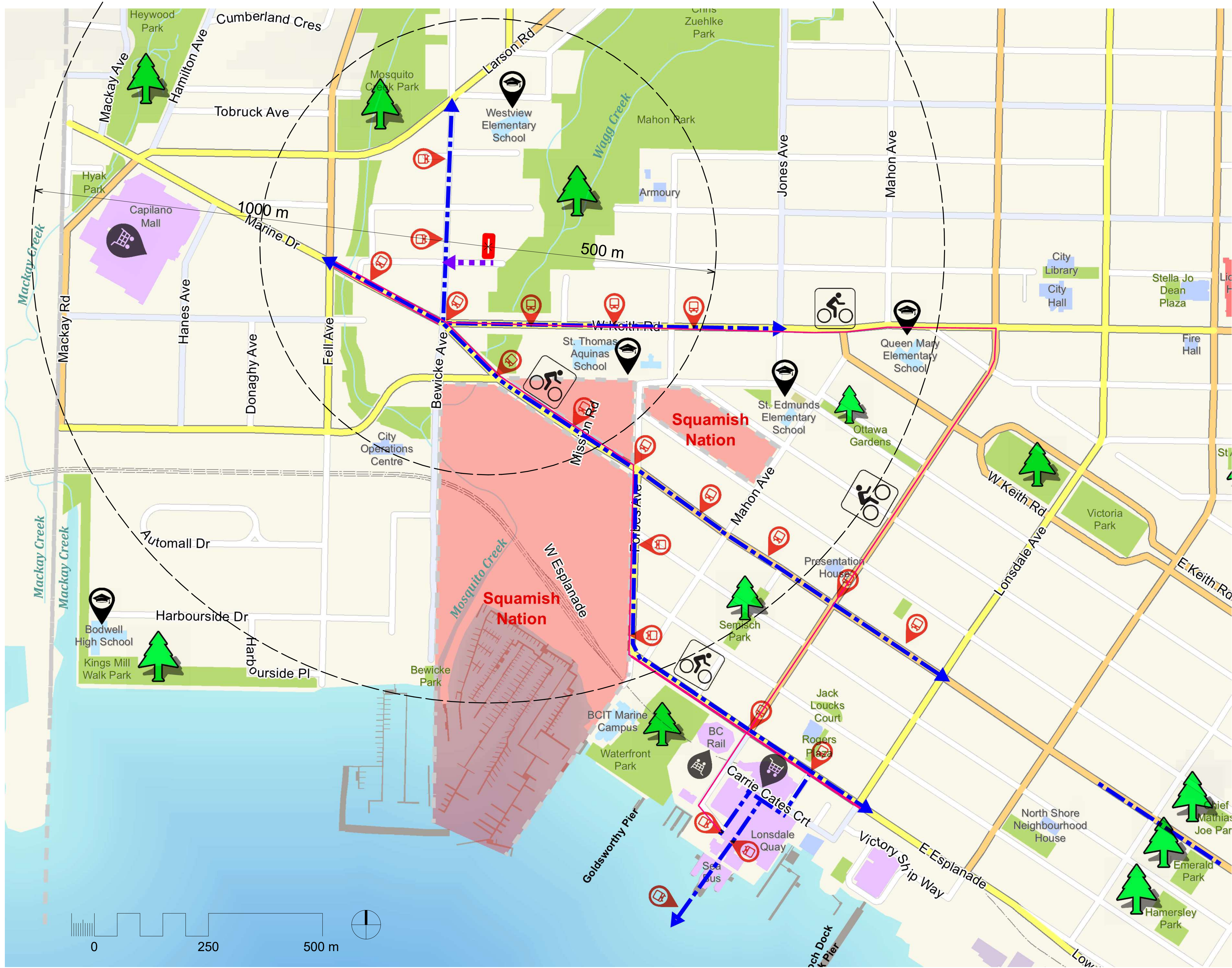
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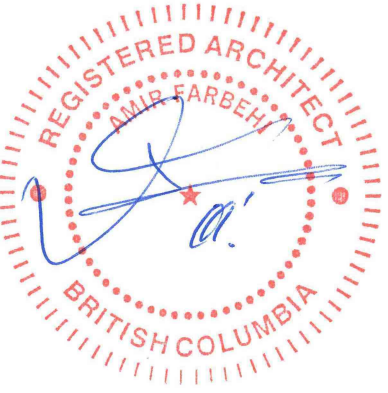
A02

2



1 ACCESSIBILITY ANALYSIS -GIS MAP
1 : 5000

- SCHOOL
- PARK
- BIKE ROUTE
- SHOPPING
- BUS STOP
- BUS ROUTE
- PEDESTRIAN ROUTE



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ACCESSIBLTY ANALYSIS

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South Elevation C/W ADJACENT
CONTEXT
3/16" = 1'-0"

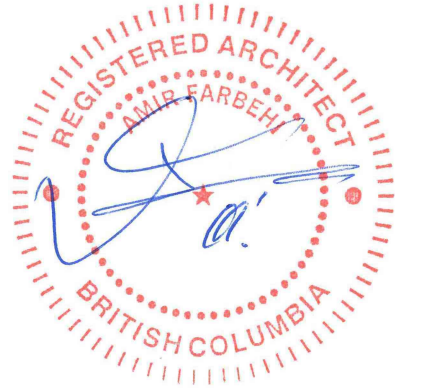
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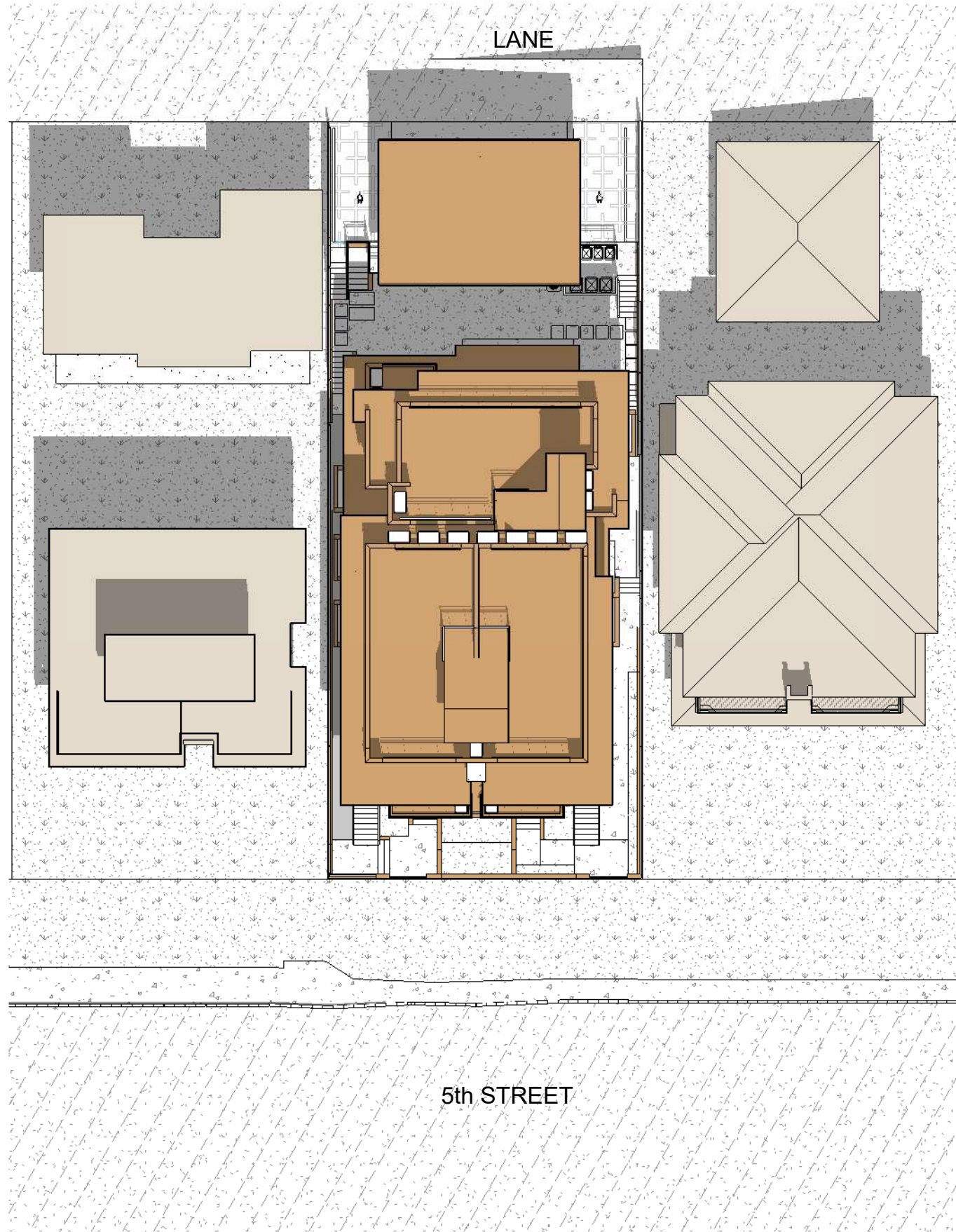
STREETSCAPE ELEVATIONS

DRAWING ISSUE

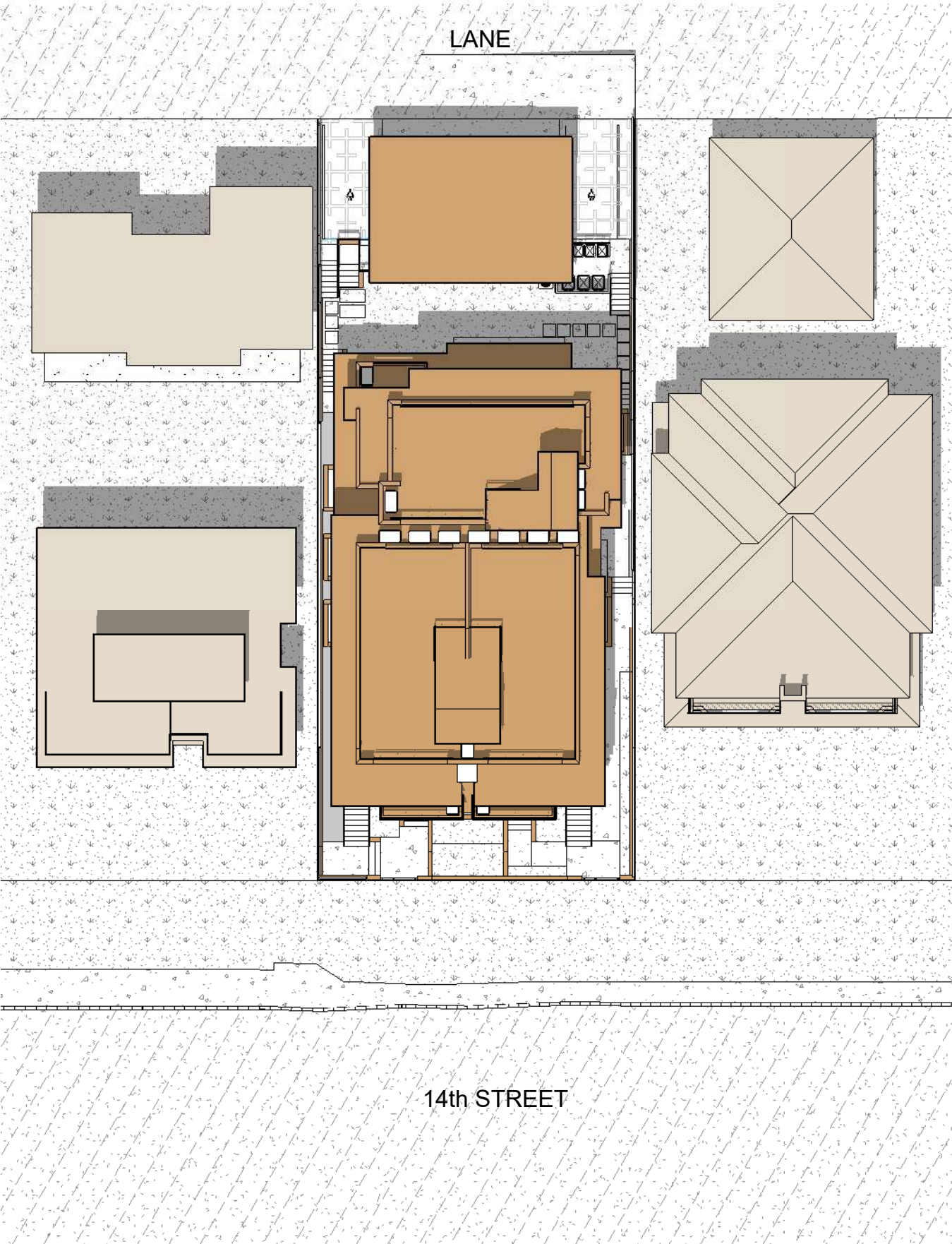
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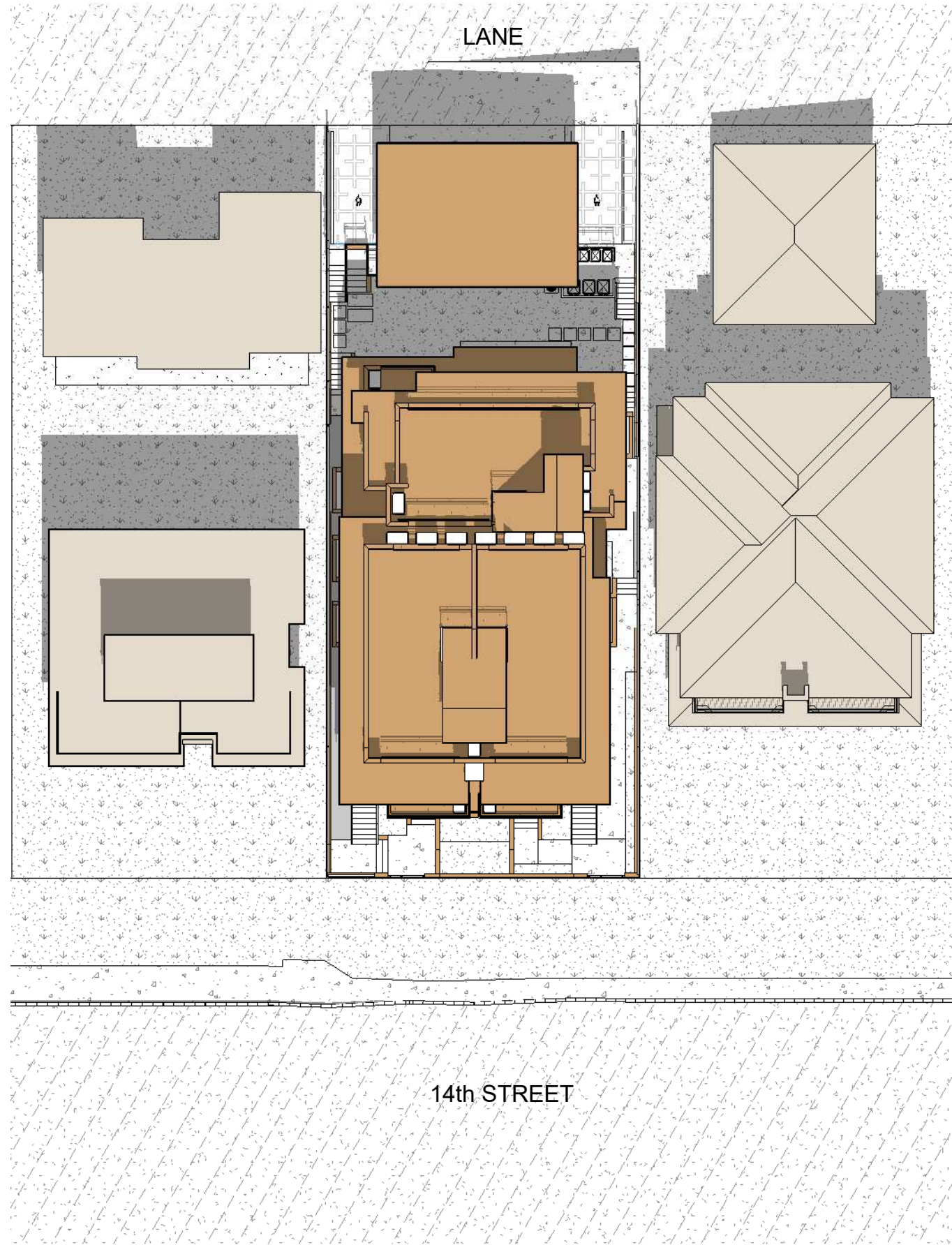
A04



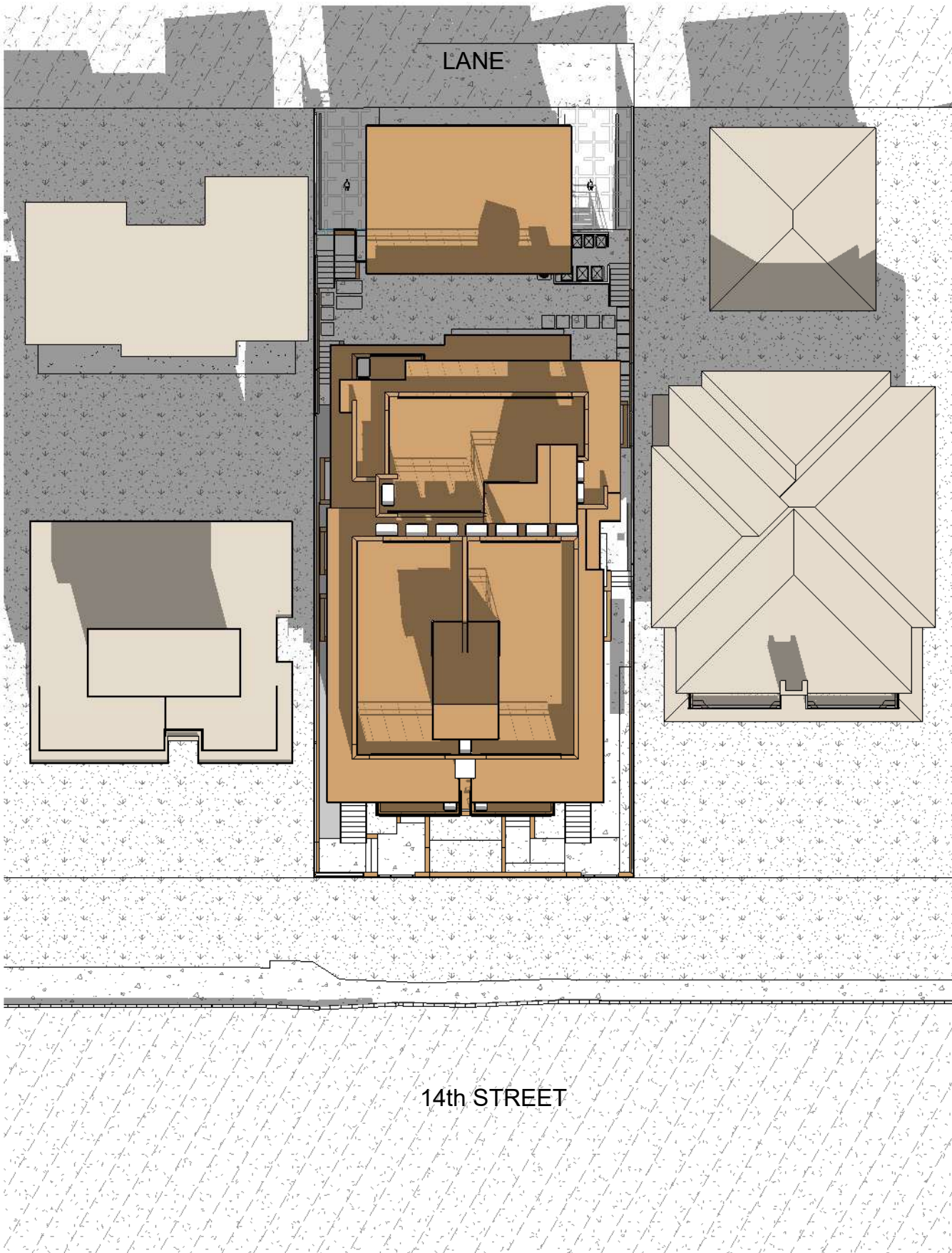
③ Shadow Study-March 21- 2 Pm



② Shadow Study-June 21- 2 Pm



④ Shadow Study-September 21- 2 pm



① Shadow Study-December 21- 2 Pm

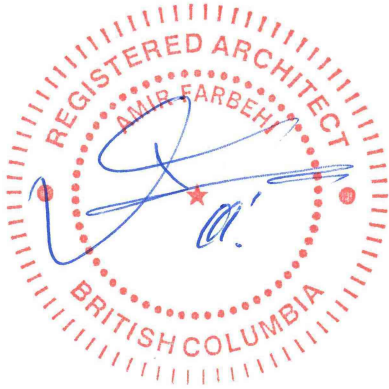
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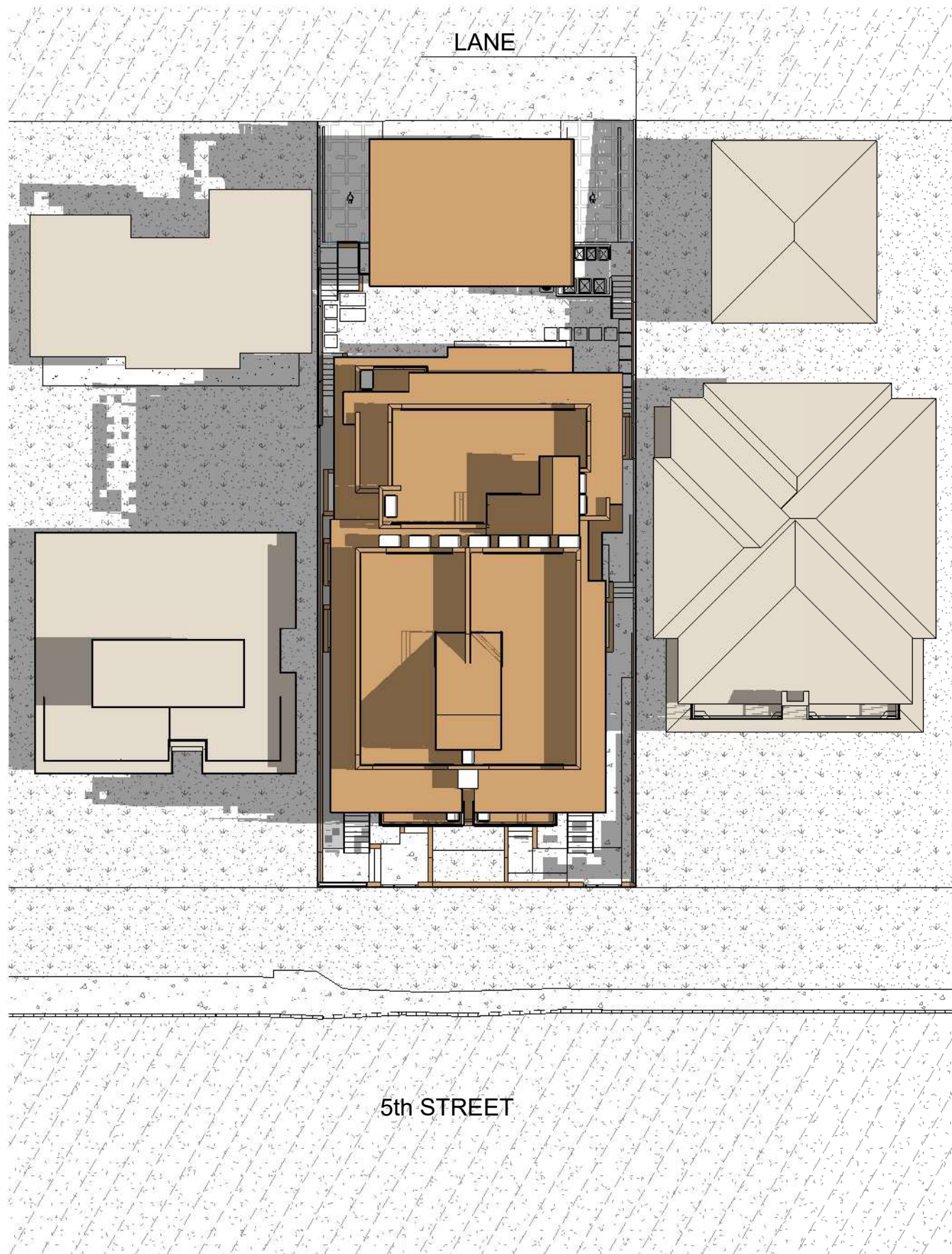
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SHADOW STUDY- 2 PM

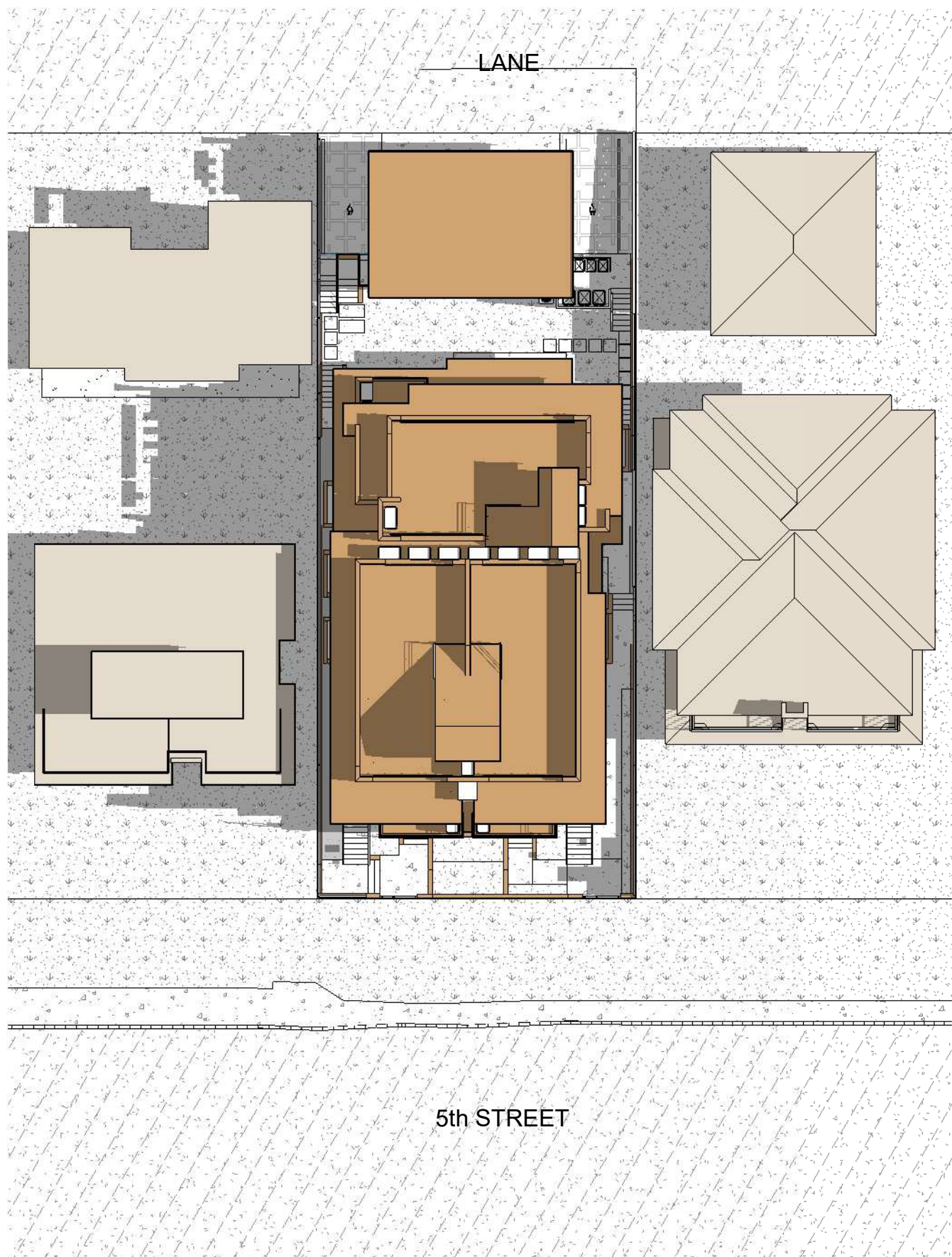
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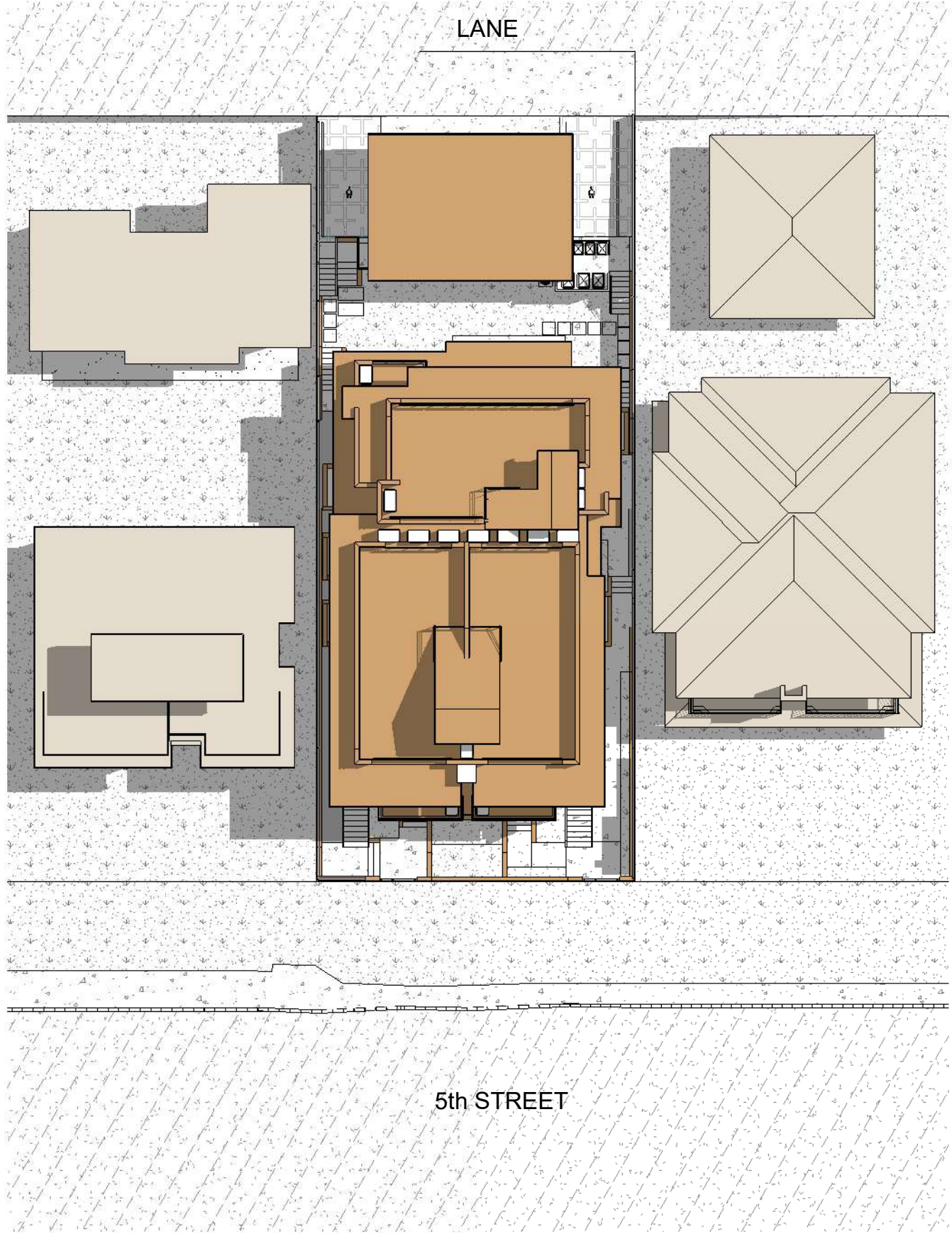
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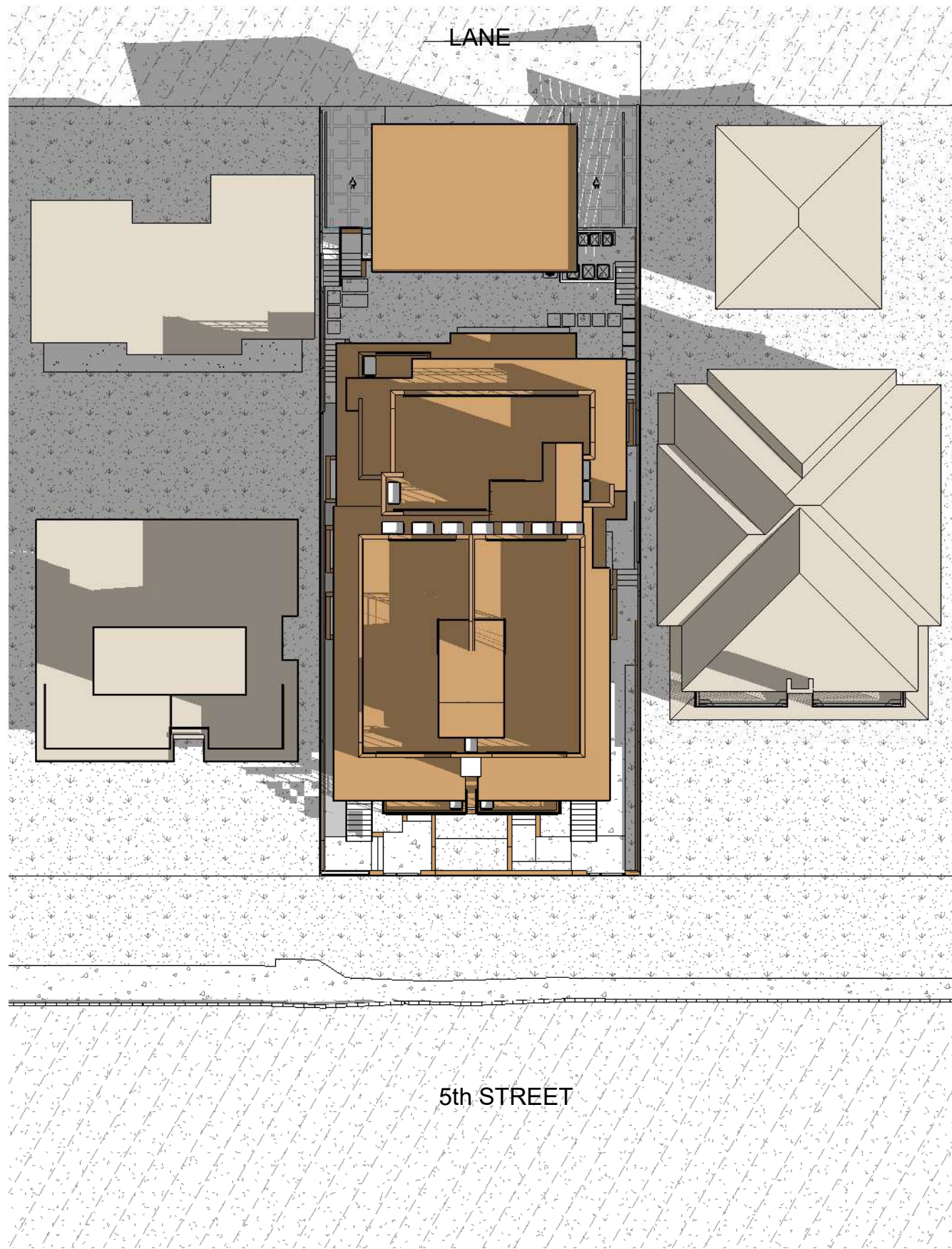
③ Shadow Study-March 21- 10 Am



④ Shadow Study-September 21- 10 Am



② Shadow Study-June 21- 10 Am



① Shadow Study-December 21- 10 Am

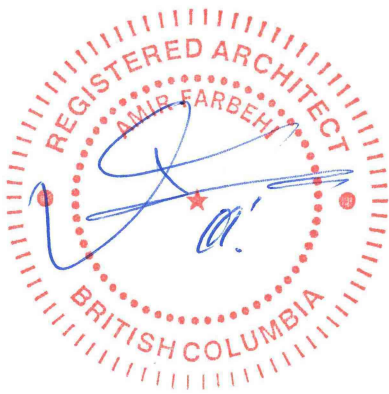
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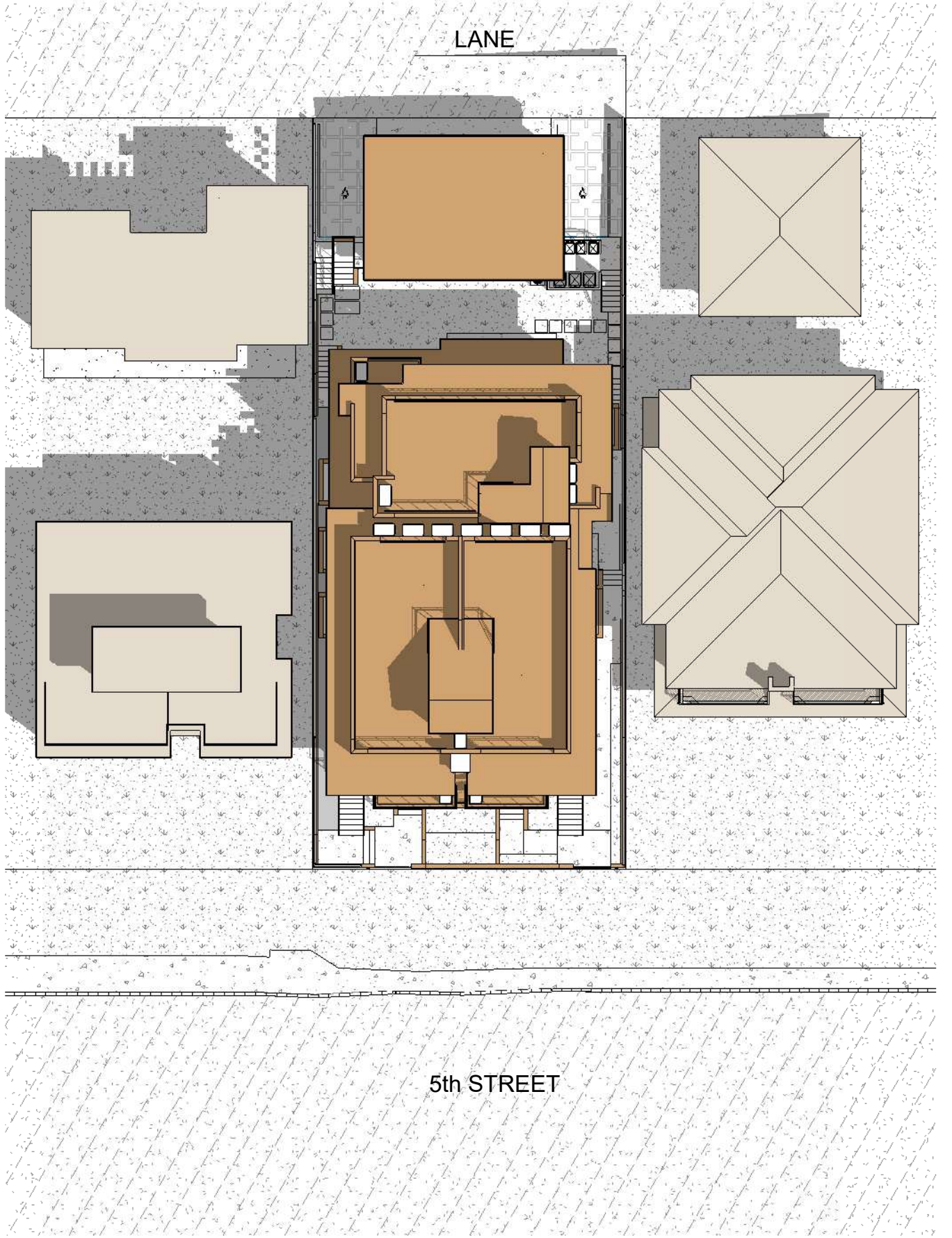
SHADOW STUDY- 10 AM

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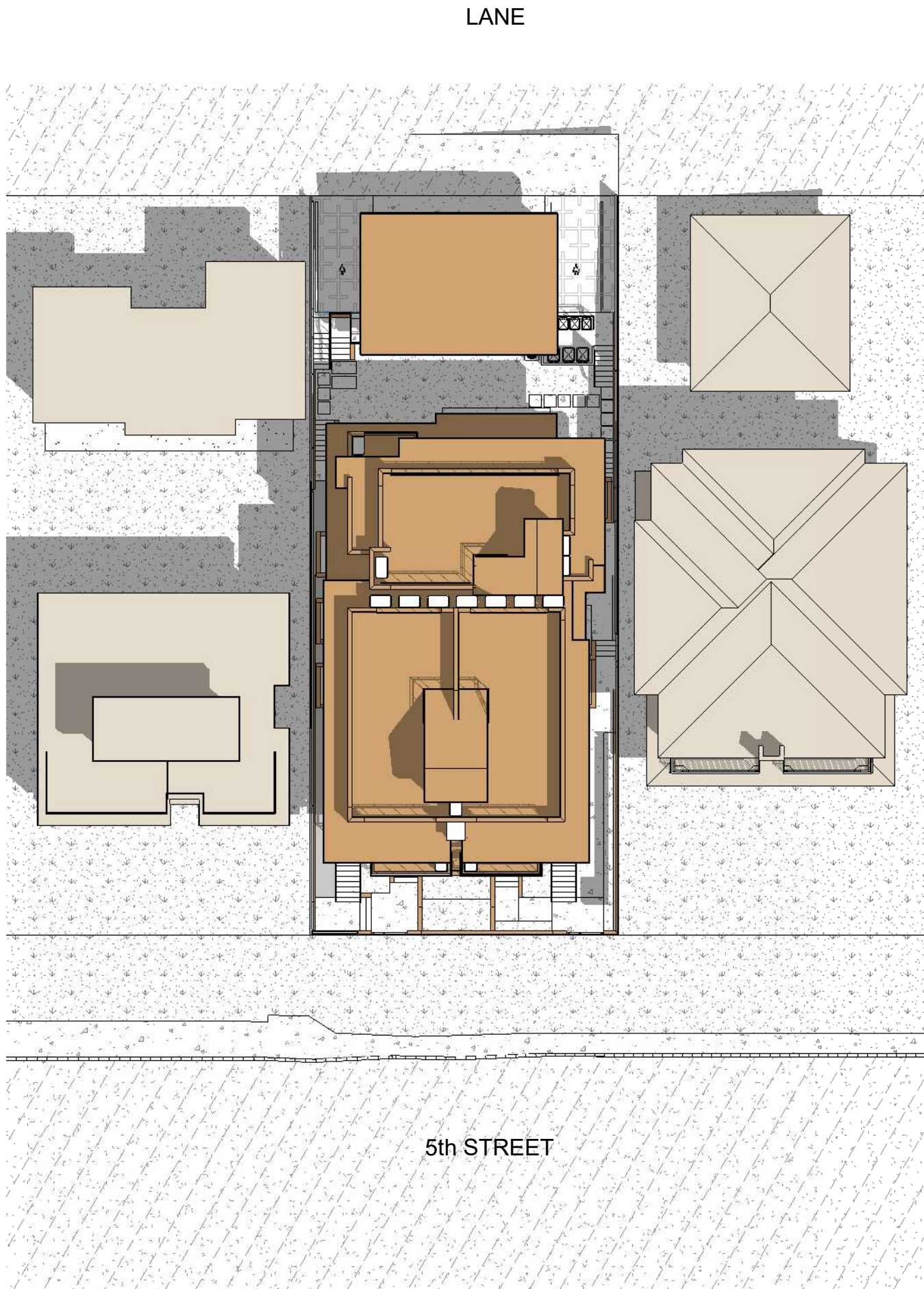
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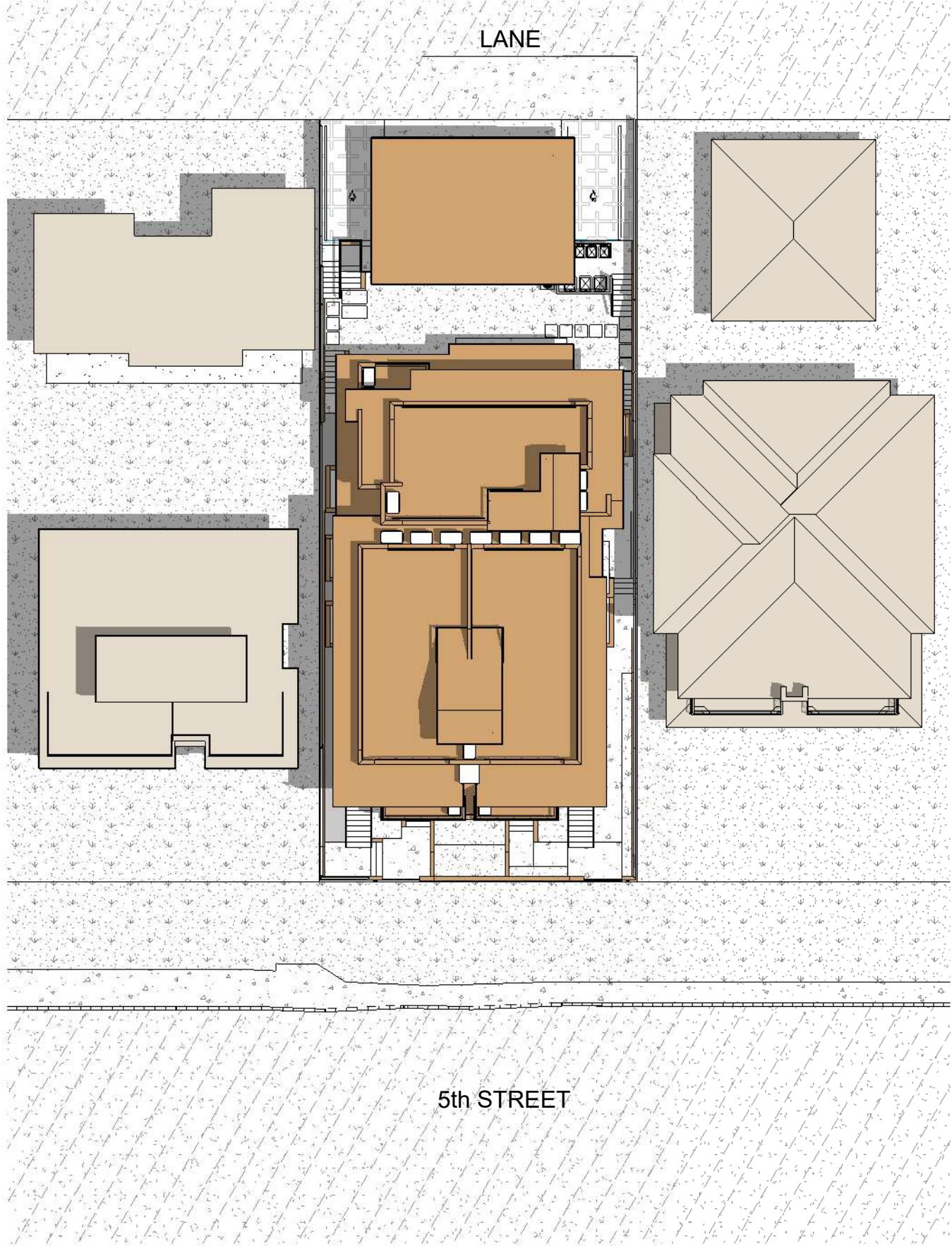
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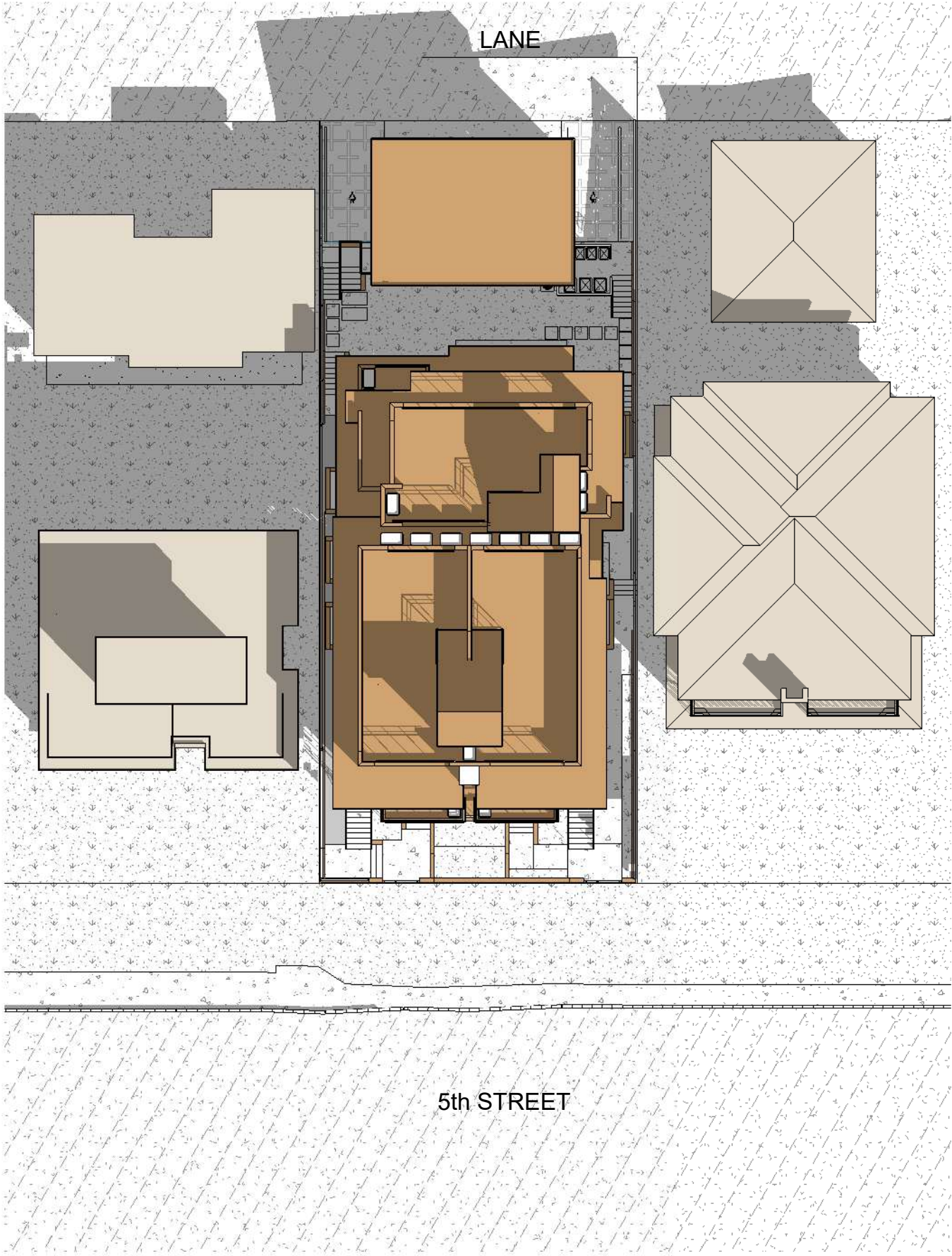
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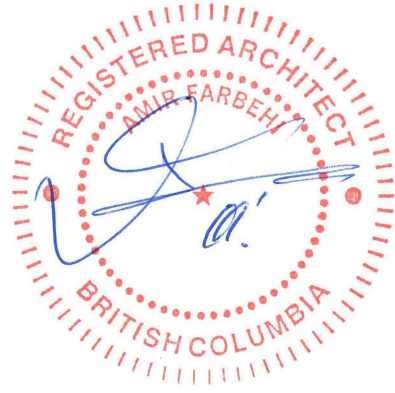
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SHADOW STUDY- 12 PM

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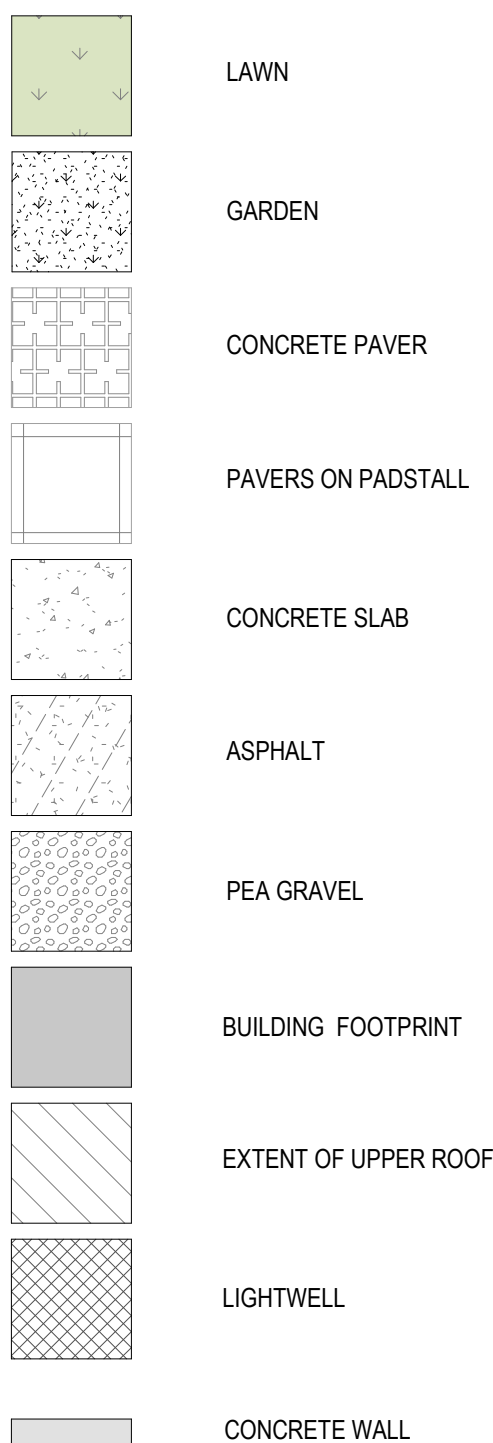
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SITE PLAN LEGEND



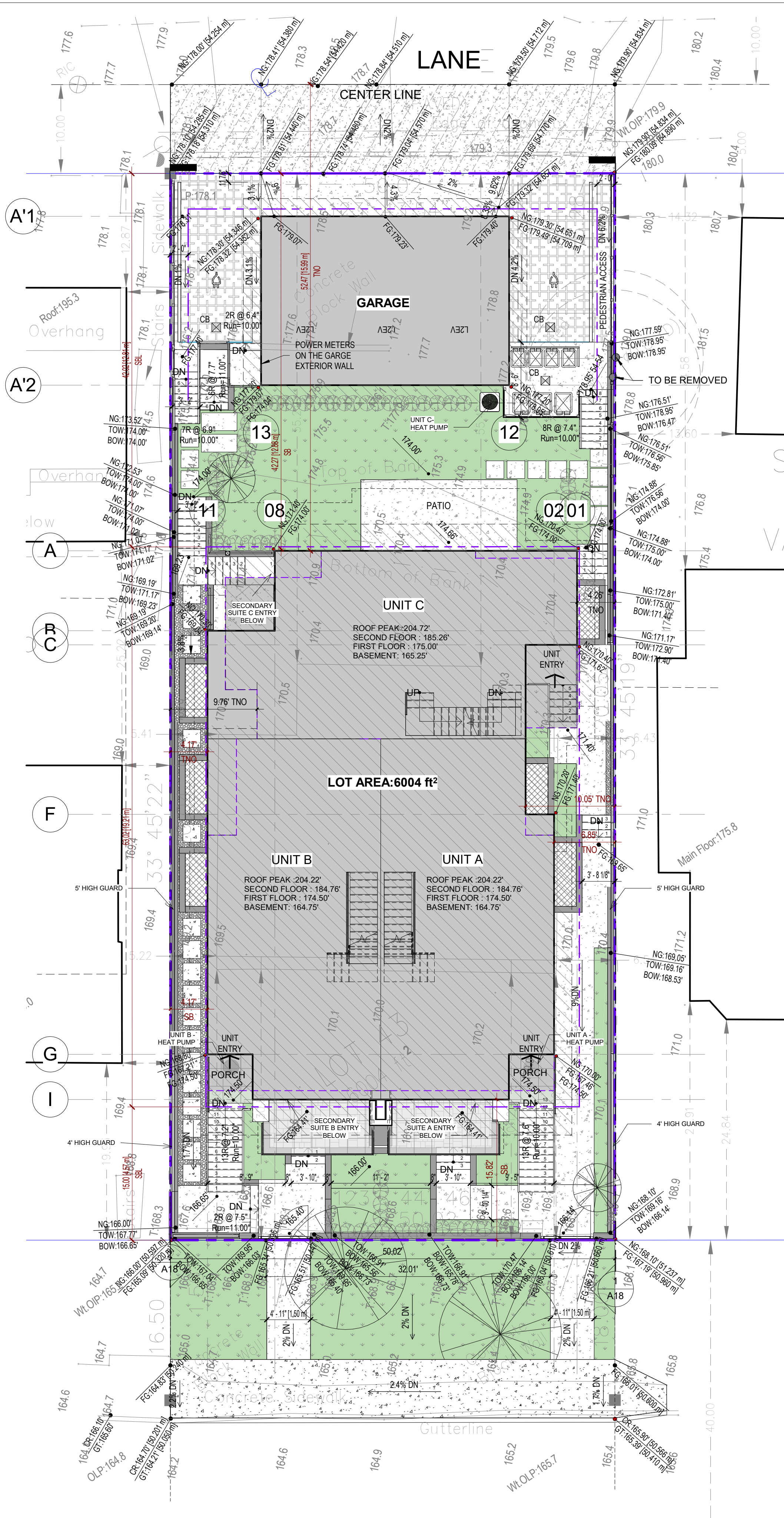
ABBREVIATION LEGEND

Bottom of Wall	BOW
Carbon Monoxide detector	CO
Catch Basin	CB
Driveway Segment	DS
Electrical Fireplace	FP
Exhaust Fan	EF
Existing	EX
Fire Pit	FP
Floor Drain	FD
Gas Fireplace	GFP
High guard	HG
High Handrail	HH
Lot Width	LW
Lower Window Head	LWH
Property Line	PL
Proposed	PR
Ramp Segment	RS
Roof Drain	RD
Setback	SB
Setback line	SBL
Slope down	SDW
Slope Up	SUP
Smoke Alarm	SA
To Cladding	TCLD
To Foundation	TFND
To Nearest opening	TNO
To Road Center line	TRCL
Top of	TO
Top of Slab	TOS
Top of Wall	TOP
Trench Drain	TD
Under Side of	U/S
Upper Window Head	UWH

SITE PLAN LINE TYPES

PROPERTY LINE	
SETBACK LINE	
BLDG FOOTPRINT	
BLDG LEVEL 1 OUTLINE	
BLDG LEVEL 2 OUTLINE	
UPPER ROOF OUTLINE	
LOWER ROOF OVERHANG OUTLINE	
CLADDING OUTLINE	
TREE PROTECTION ZONE	
BLDG SERVICES	

1 Site Plan
1/8" = 1'-0"



ZONING SUMMARY

ZONE				LOT AREA				RELATED CASE (IF APPLICABLE)			
RT-1, Rezoning To CD				557.79		m²		6,004.00		ft²	
LOT COVERAGE		REQUIRED		PROPOSED			COMMENTS				
		Metric	Imperial	Metric	Imperial	BALANCE					
MAXIMUM PERMITTED (PERCENTAGE)		---									
BREAKDOWN OF LOT COVERAGE											
MAIN FLOOR (PRINCIPAL BLDG)		---	m²	---	ft²	209.44	m²	2,254.37	ft²		
MAIN FLOOR (ACCESSORY BLDG)		---	m²	---	ft²	49.28	m²	530.4	ft²		
OVERHANGES		---	m²	---	ft²	11.99	m²	129.07	ft²		
Desks, Balconies, Porches, etc.		---	m²	---	ft²	0.00	m²		ft²	EXCLUDES DOUBLE COUNTS	
TOTAL LOT COVERAGE (COMBINED)			m²		ft²	270.71		2,913.9	ft²		
LOT COVERAGE (PERCENTAGE)		N/A		N/A		48.5%		48.5%			

SETBACKS	REQUIRED RT-1 Zone				PROPOSED CD				COMMENTS	
FRONT YARD	4.57	m	15.00	ft	4.82	m	15.82	ft	0.82	
SIDE YARD-EAST	1.22	m	4.00	ft	1.30	m	4.26	ft	0.26	
SIDE YARD-WEST	1.22	m	4.00	ft	1.27	m	4.17	ft	0.17	
REAR YARD	12.81	m	42.02	ft	12.94	m	42.45	ft	0.43	0.35 % of lot Depth
COURT YARD WIDTH	---	m	---	ft	0.00	m	0	ft		

GROSS FLOOR AREA		REQUIRED				PROPOSED				COMMENTS
0.75		Metric	Imperial		Metric	Imperial	BALANCE			
MAXIMUM PERMITTED		418.34	m²	4,503.00	ft²	417.81	m²	4,497.27	ft²	5.73
GFA BREAKDOWN										
BASEMENT (GFA)		---	m²	---	ft²	0.00	m²	0.00	ft²	
FIRST FLOOR AREA		---	m²	---	ft²	209.44	m²	2,254.37	ft²	
SECOND FLOOR AREA		---	m²	---	ft²	208.37	m²	2,242.90	ft²	
TOTAL GFA		---	m²	---	ft²	417.81	m²	4,497.27	ft²	
GFA EXCLUSIONS										
BASEMENT			m²	---	ft²	209.44	m²	2,254.37	ft²	
STORAGE (OTHER)		---	m²	---	ft²	48.91	m²	526.42	ft²	
GARBAGE (OTHER)		---	m²	---	ft²	5.82	m²	62.68	ft²	
ACCESSORY GARAGE (OTHER)						49.28		530.42		
ROOF TOP DECK ACCESS (OTHER)		---	m²	---	ft²	20.03	m²	215.55	ft²	
ROOF TOP DECK		---	m²	---	ft²	134.70	m²	1,449.89	ft²	
TOTAL OTHER EXCLUSIONS		---	m²	---	ft²	258.73	m²	2,784.96	ft²	
TOTAL FLOOR AREA MINUS OTHER EXCLUSIONS (LIVING SPACE)		---	m²		ft²	627.25	m²	6,751.64	ft²	

HEIGHT	REQUIRED			PROPOSED				COMMENTS
AVERAGE FRONT	50.92	m	167.05	ft				
AVERAGE REAR	54.56	m	179	ft				
AVERAGE GRADE	52.37	m	171.83	ft	52.37	m	171.83	ft
MINIMUM FIRST STOREY LEVEL	53.14	m	174.33	ft	53.19	m	174.50	ft
TOP OF PLATE	60.36	m	198.03	ft	59.24	m	194.35	ft
TOP OF RIDGE	62.43	m	204.83	ft	59.70	m	195.85	ft

PARKING CALCULATION		REQUIRED			PROPOSED			BALANCE	COMMENTS
PRINCIPAL UNIT	PER/UNIT	1	SUBTOTAL	3	PER/UNIT	1	SUBTOTAL	3	
SECONDARY SUITE	PER/UNIT	1	SUBTOTAL	3	PER/UNIT	0.66	SUBTOTAL	2	
VISITOR PARKING	PER/UNIT	N/A	SUBTOTAL	0	PER/UNIT	0	SUBTOTAL	0	
TOTAL PARKING STALL				6				5	Seeking one parking stall variance in liue
PARKING TYPE BREAKDOWN									
STALL TYPE	SD		WS		SC		SW		BALANCE
PROVIDED STALL	1	No	0	No	0	No	4	No	5
PERCENTAGE	20.00%				80.00%				100.00%

RECYCLING AND GARBAGE STORAGE CALCULATION					
BUILDING USE	REQUIRED			PROVIDED	
	SPACE REQUIREMENTS	MIN.	UNIT	SPACE	UNIT
MULTIPLE UNIT RESIDENTIAL (≥ 3 UNITS)	N/A	N/A	m²	5.82	m²

RECYCLING AND GARBAGE STORAGE (NUMBER OF CONTAINERS)															
BUILDING USE		GARBAGE (3 yd³)	GARBAGE (2 yd³)*	NEW PRINT (360L)		MIXED PAPER (360L)		MIXED CONTAINER S (360L)		CARDBOARD		FOOD SCRAPS (240L)			
DWELLING UNITS	(4-9 UNITS)	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.	REQ.	PRO.		
		1	1	N/A	-	1	1	1	1	1	1	N/A	1	1	

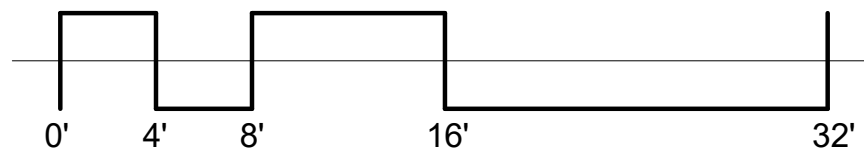
BIKE CALCULATION					
DESCRIPTION	UNIT	REQUIRED		PROVIDED	
		LONG TERM	SHORT TERM	LONG TERM	SHORT TERM
RESIDENTIAL	3	1.5 per unit (3x1.5=4.5)	N/A	6	N/A

NOTE:
OFFSITE TREES WILL BE INSTALLED BY CNV. PROVIDE A MINIMUM OF 25 CUBIC METERS OF SOIL PER TREE. PROVIDE CONTINUOUS 900MM SOIL TRENCH IN BOULEVARDS AND 650MM DEEP STRUCTURAL SOIL UNDER SIDEWALK. ENSURE ADEQUATE SOIL VOLUMES FOR LARGE STREET TREES. 300MM CONTINUOUS ROOT BARRIER REQUIRED AT STREET TREE LOCATIONS. PROVIDE IRRIGATION FOR ALL OFF-SITE AND SCAPING AND STREET TREES. SHOW LOCATION OF STRUCTURAL SOIL ON PLAN.

NOTE:
ALL THIRD-PARTY UTILITY CONNECTION
(ELECTRICAL, GAS, AND COMMUNICATIONS)
MUST BE INSTALLED UNDERGROUND.

NOTE:
ALL HEDGES AND RETAINING WALLS, MUST BE
REMOVED FROM CITY PROPERTY.

NOTE:
NEW CURB AND GUTTER TO MMCD AND CNV
STANDARD.

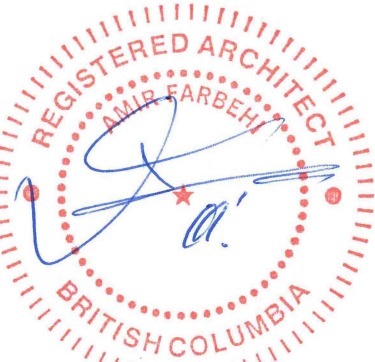


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[illegible]

3	2025-08-06	REISSUED FOR DETAIL REZONING	AF
2	2024-12-18	ISSUED FOR DETAIL REZONING	AF
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

SITE PLAN

DRAWING ISSUE

REISSUED FOR DETAIL
REZONING

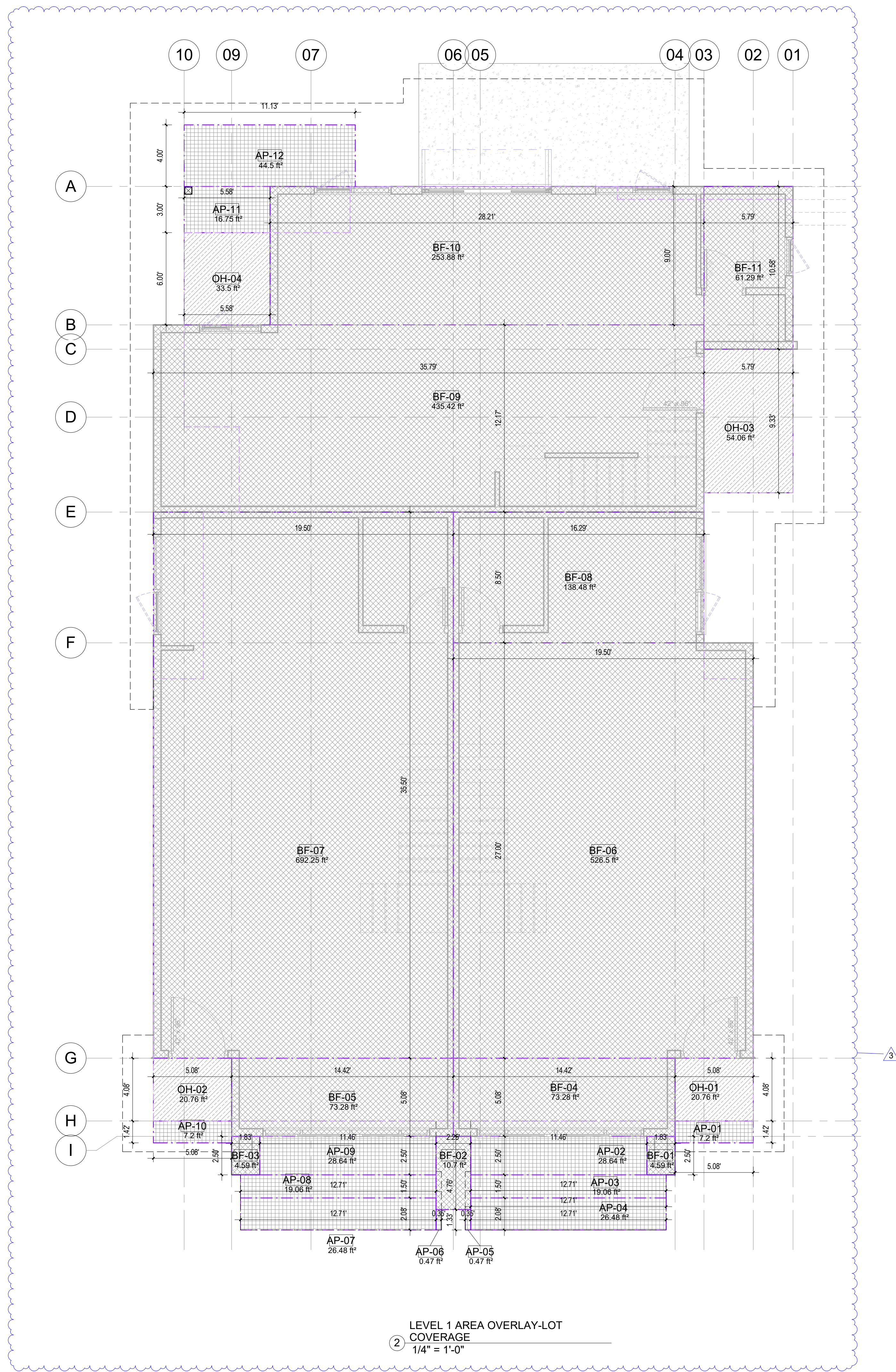
PROJECT NO.	PROJECT ISSUE DATE AUG 06 2025	DRAWN NM
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24305	SCALE	As indicated	REVIEWED	AF
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DRAWING NO.	REVISION
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A05

3



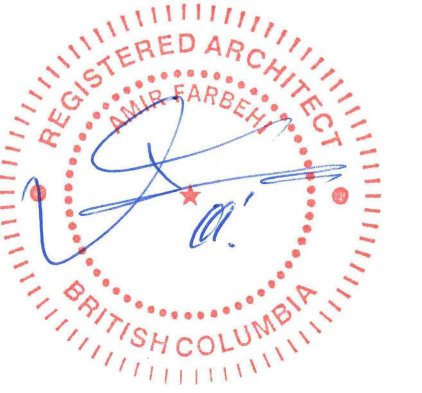
LEVEL 1 AREA OVERLAY-LOT
COVERAGE
② $1/4" = 1'-0"$

LOT COVERAGE AREA BREAKDOWN				
Lot Area ft²		6004.00		
	Allowed...		Provided...	
	Area ft²	%	Area ft²	%
Principal building lot coverage	2101.4	35.00%	2,628.28	43.78%
Accessory Building coverage			530.42	8.83%
Combined Lot coverage			3,158.70	52.61%

Principal Building		AREA	
	ft ²	%	
Building Footprint	2,274.26	37.88%	
First floor Overhangs	0.00	0.00%	
Second floor Overhangs	129.07	2.15%	
Appendages	224.95	3.75%	
Total Principal Building	2,628.28	43.78%	
Accessory Building		AREA	
	ft ²	%	
Accessory Building	530.42	8.83%	
Exclusions		AREA	
	ft ²	%	
Access stairs			

Calculation Note:
The provided lot coverage calculation excludes the Decks less than 1m high, and access stairs as they are not regulated in the zoning bylaw and definition of "Lot Coverage" for One Unit Residential use.

AREA OVERLAY-LOT COVERAGE					
Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category
AP-01	5.08'	1.42'	7.20 ft ²	Above Grade	Appendage
AP-02	11.46'	2.50'	28.64 ft ²	Above Grade	Appendage
AP-03	12.71'	1.50'	19.06 ft ²	Above Grade	Appendage
AP-04	12.71'	2.08'	26.48 ft ²	Above Grade	Appendage
AP-05	0.35'	1.33'	0.47 ft ²	Above Grade	Appendage
AP-06	0.35'	1.33'	0.47 ft ²	Above Grade	Appendage
AP-07	12.71'	2.08'	26.48 ft ²	Above Grade	Appendage
AP-08	12.71'	1.50'	19.06 ft ²	Above Grade	Appendage
AP-09	11.46'	2.50'	28.64 ft ²	Above Grade	Appendage
AP-10	5.08'	1.42'	7.20 ft ²	Above Grade	Appendage
AP-11	5.58'	3.00'	16.75 ft ²	Above Grade	Appendage
AP-12	11.13'	4.00'	44.50 ft ²	Above Grade	Appendage
Appendage: 12			224.95 ft ²		
BF-01	1.83'	2.50'	4.59 ft ²	Above Grade	Building Footprint
BF-02	2.25'	4.76'	10.70 ft ²	Above Grade	Building Footprint
BF-03	1.83'	2.50'	4.59 ft ²	Above Grade	Building Footprint
BF-04	14.42'	5.08'	73.28 ft ²	Above Grade	Building Footprint
BF-05	14.42'	5.08'	73.28 ft ²	Above Grade	Building Footprint
BF-06	19.50'	27.00'	526.50 ft ²	Above Grade	Building Footprint
BF-07	19.50'	35.50'	692.25 ft ²	Above Grade	Building Footprint
BF-08	16.29'	8.50'	138.48 ft ²	Above Grade	Building Footprint
BF-09	35.79'	12.17'	435.42 ft ²	Above Grade	Building Footprint
BF-10	28.21'	9.00'	253.88 ft ²	Above Grade	Building Footprint
BF-11	5.79'	10.58'	61.29 ft ²	Above Grade	Building Footprint
Building Footprint: 11			2,274.26 ft ²		
OH-01	5.08'	4.08'	20.76 ft ²	Above Grade	Overhang
OH-02	5.08'	4.08'	20.76 ft ²	Above Grade	Overhang
OH-03	5.79'	9.33'	54.06 ft ²	Above Grade	Overhang
OH-04	5.58'	6.00'	33.50 ft ²	Above Grade	Overhang
Overhang: 4			129.07 ft ²		
Grand total: 27			2,628.28 ft ²		

[illegible]

3	2025-10-09	REISSUED FOR DETAIL REZONING	
2	2024-12-18	ISSUED FOR DETAIL REZONING	AF
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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

LOT COVERAGE

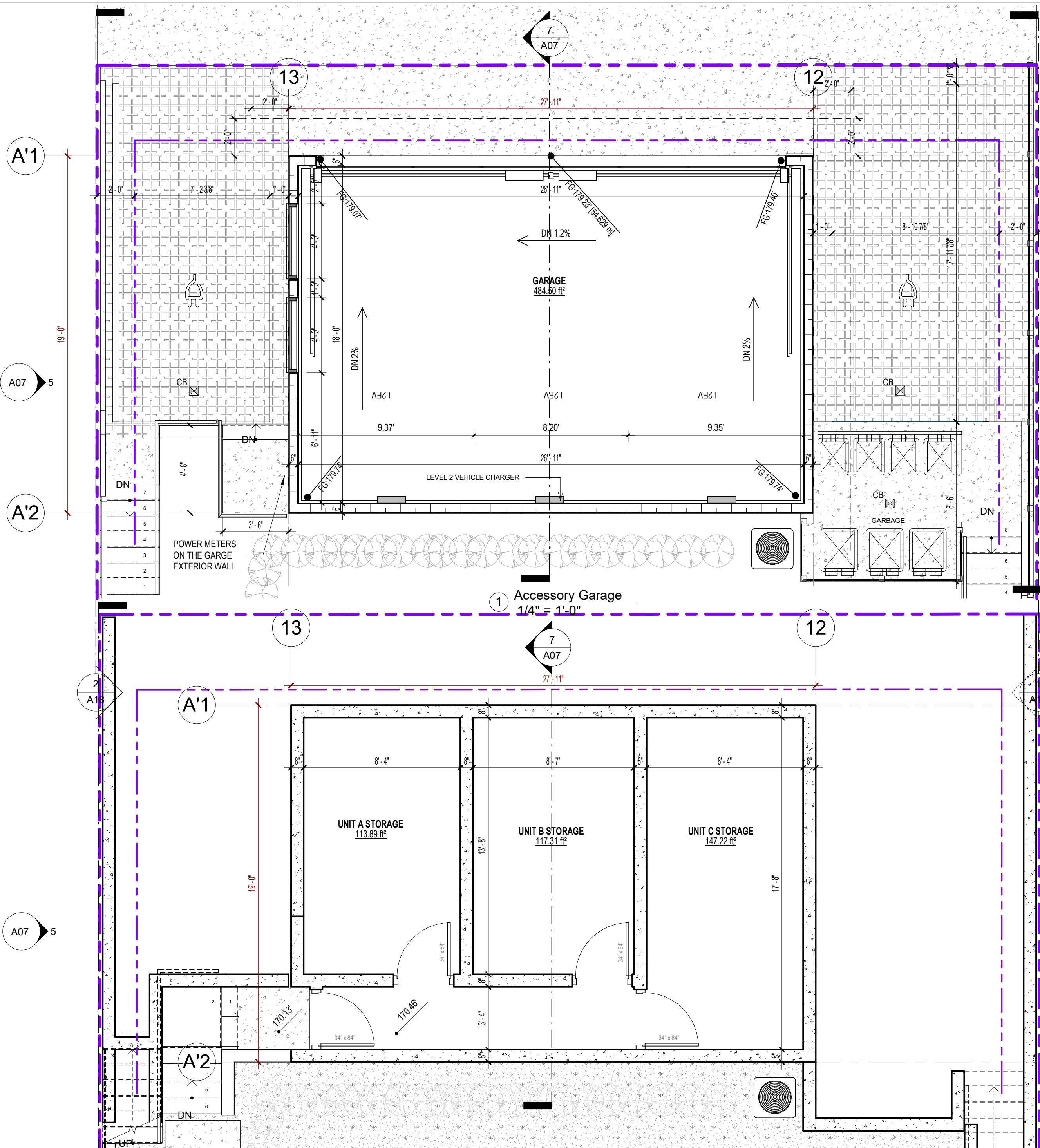
DRAWING ISSUE

REISSUED FOR DETAIL
REZONING

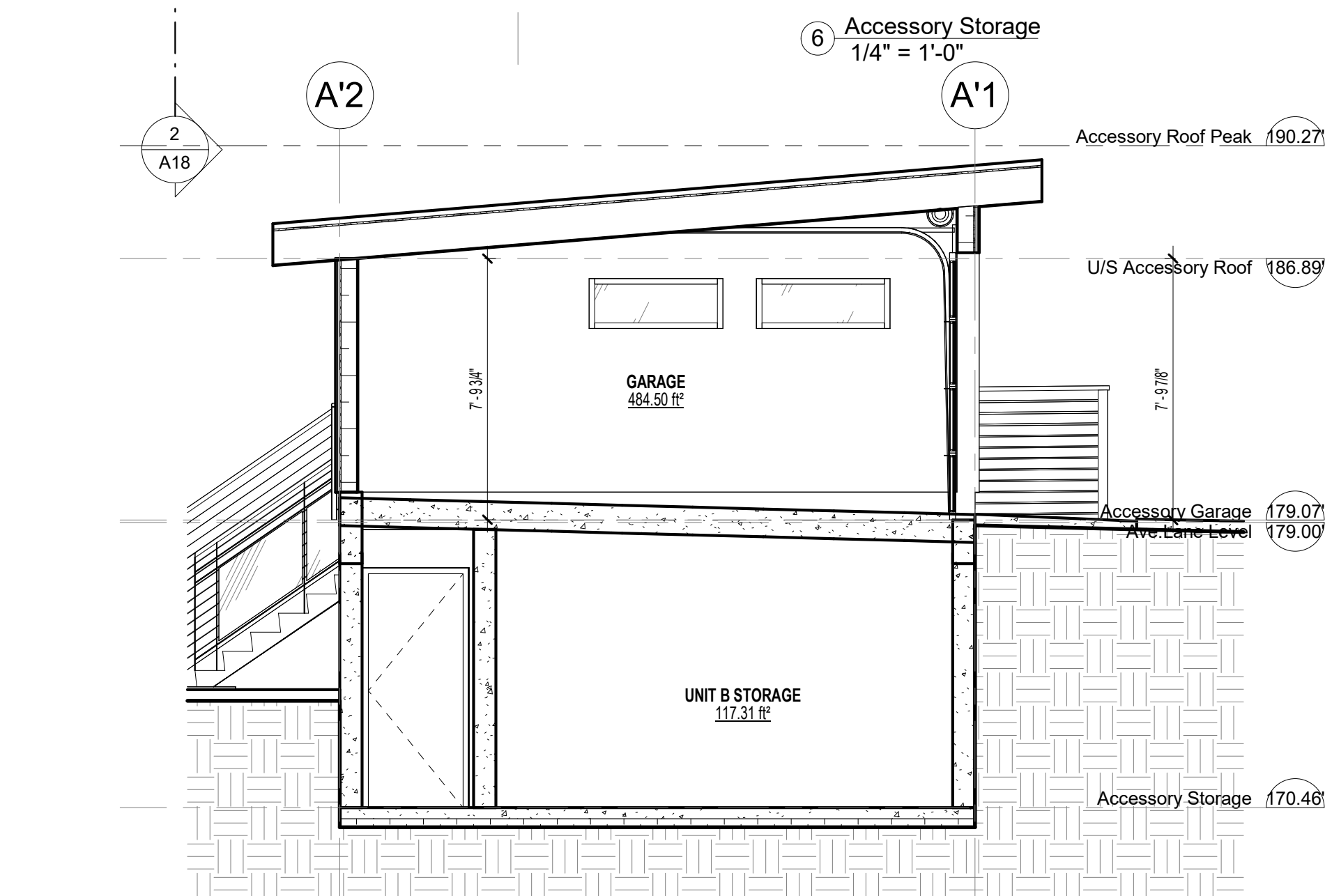
PROJECT NO.	PROJECT ISSUE DATE	DRAWN
24305	AUG. 06 2025	NM
SCALE	1/4" = 1'-0"	REVIEWED
		AF
DRAWING NO.	REVISION	

A06

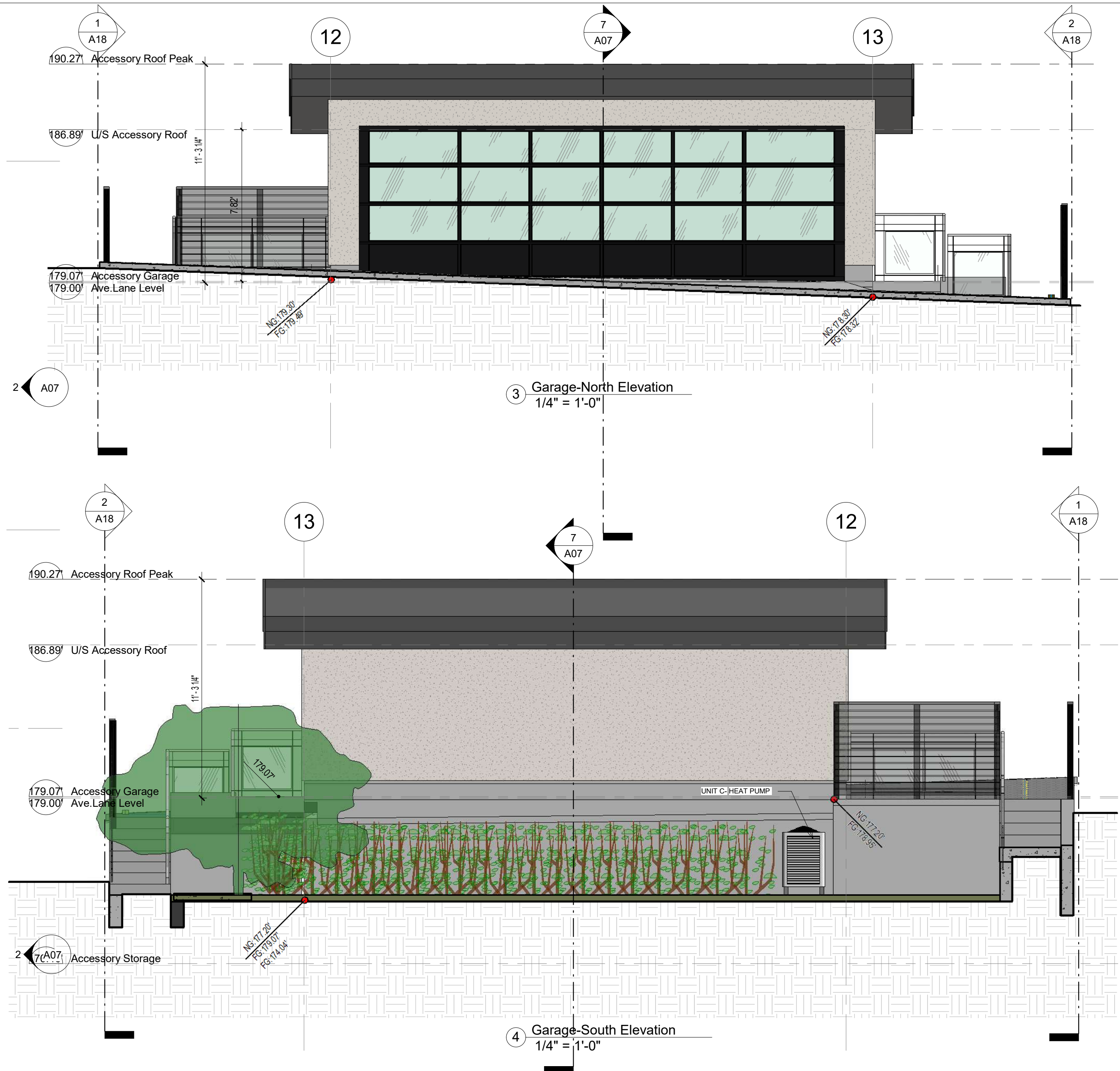
3



1 Accessory Garage
1/4" = 1'-0"

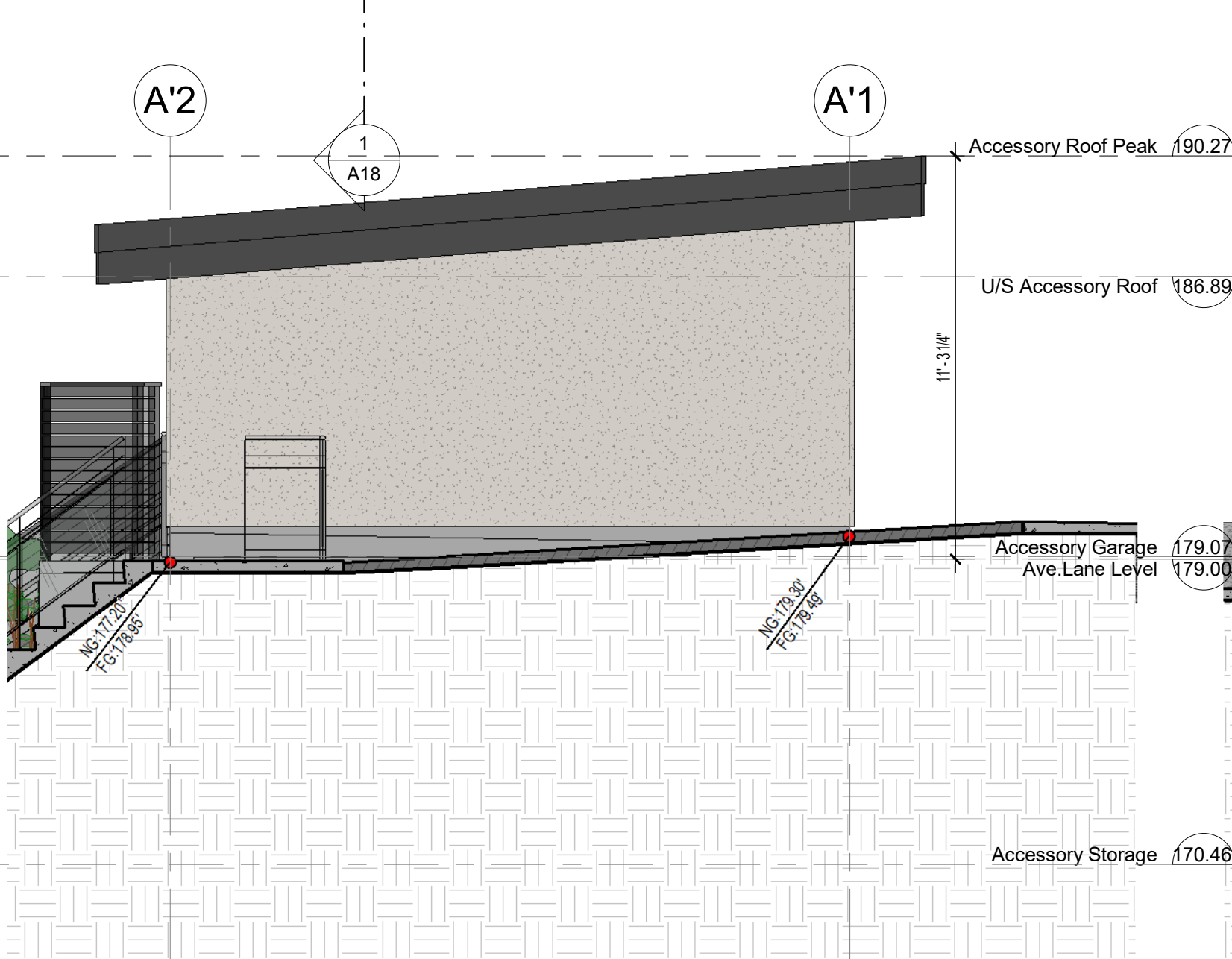


7 Accessory Building Section
1/4" = 1'-0"

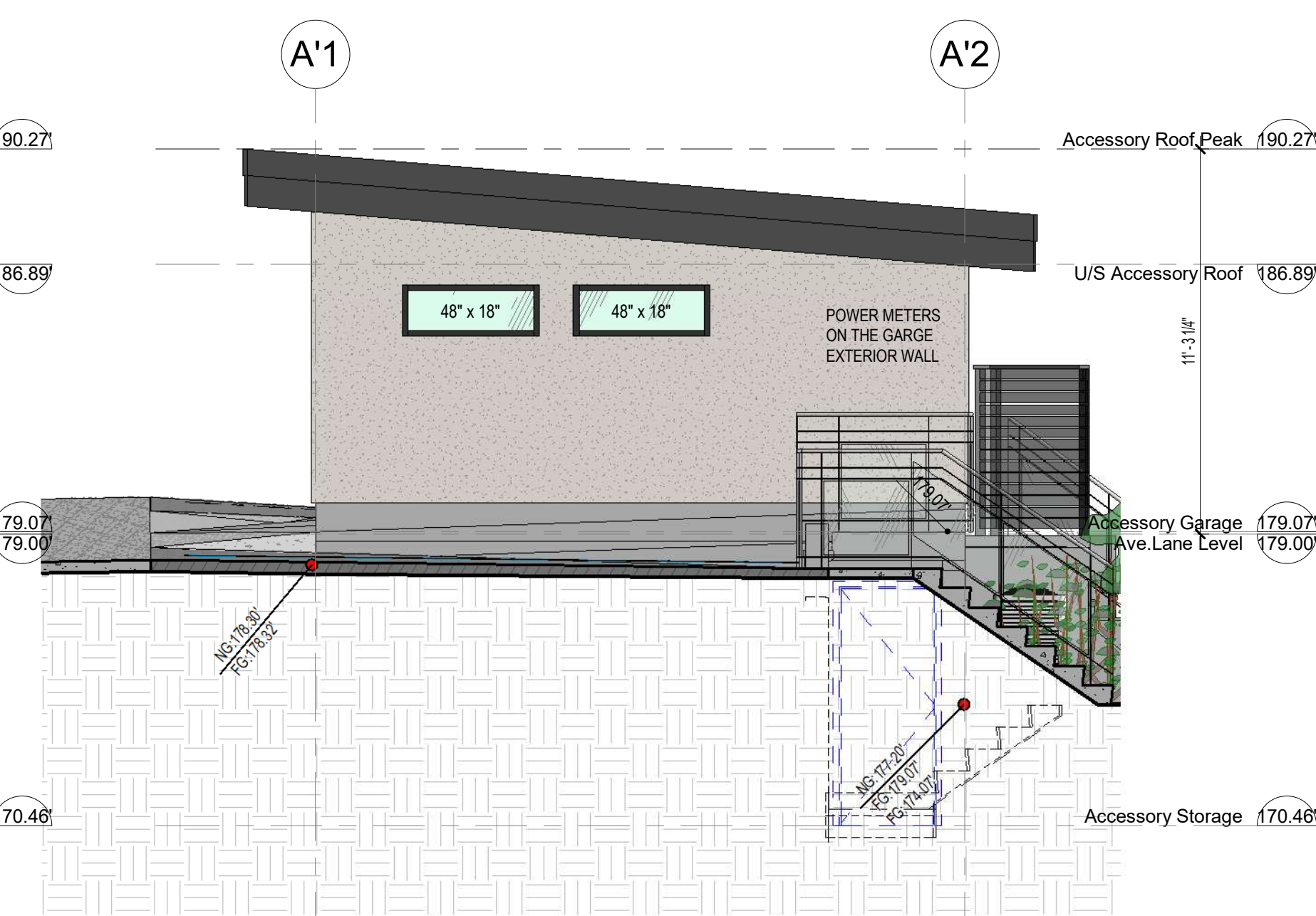


3 Garage-North Elevation
1/4" = 1'-0"

4 Garage-South Elevation
1/4" = 1'-0"



2 Garage-East Elevation
1/4" = 1'-0"



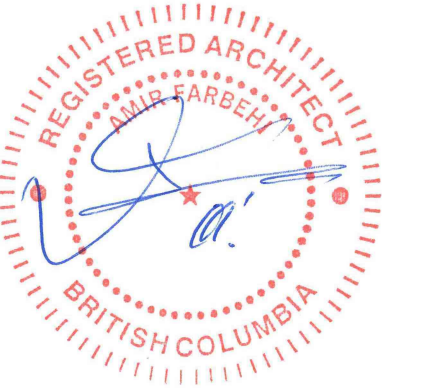
5 Garage-West Elevation
1/4" = 1'-0"

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

ACCESSORY BUILDING

DRAWING ISSUE

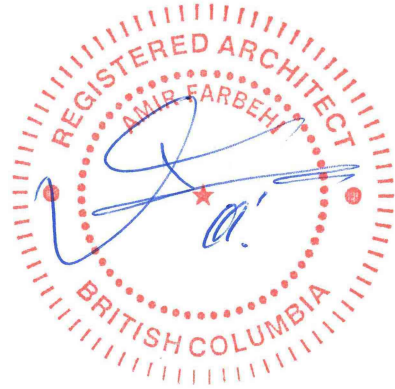
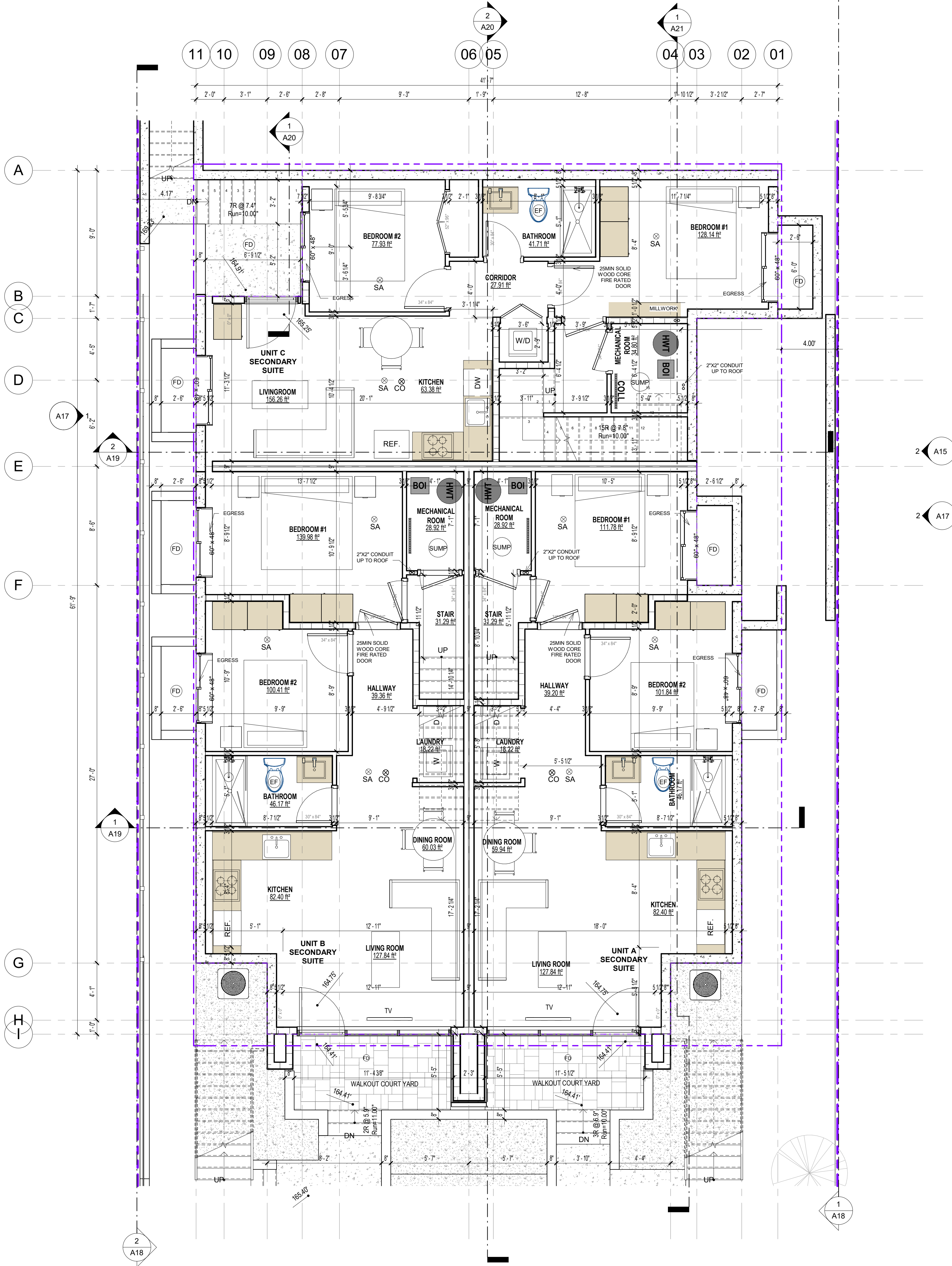
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A07

3

1 00-BASEMENT
1/4" = 1'-0"



3	2025-08-06	REISSUED FOR DETAIL REZONING	AF
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1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
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WEST 5TH TRIPLEX

226-228 W. 5TH ST., NORTH VANCOUVER

DRAWING TITLE

BASEMENT FLOOR PLAN

DRAWING ISSUE

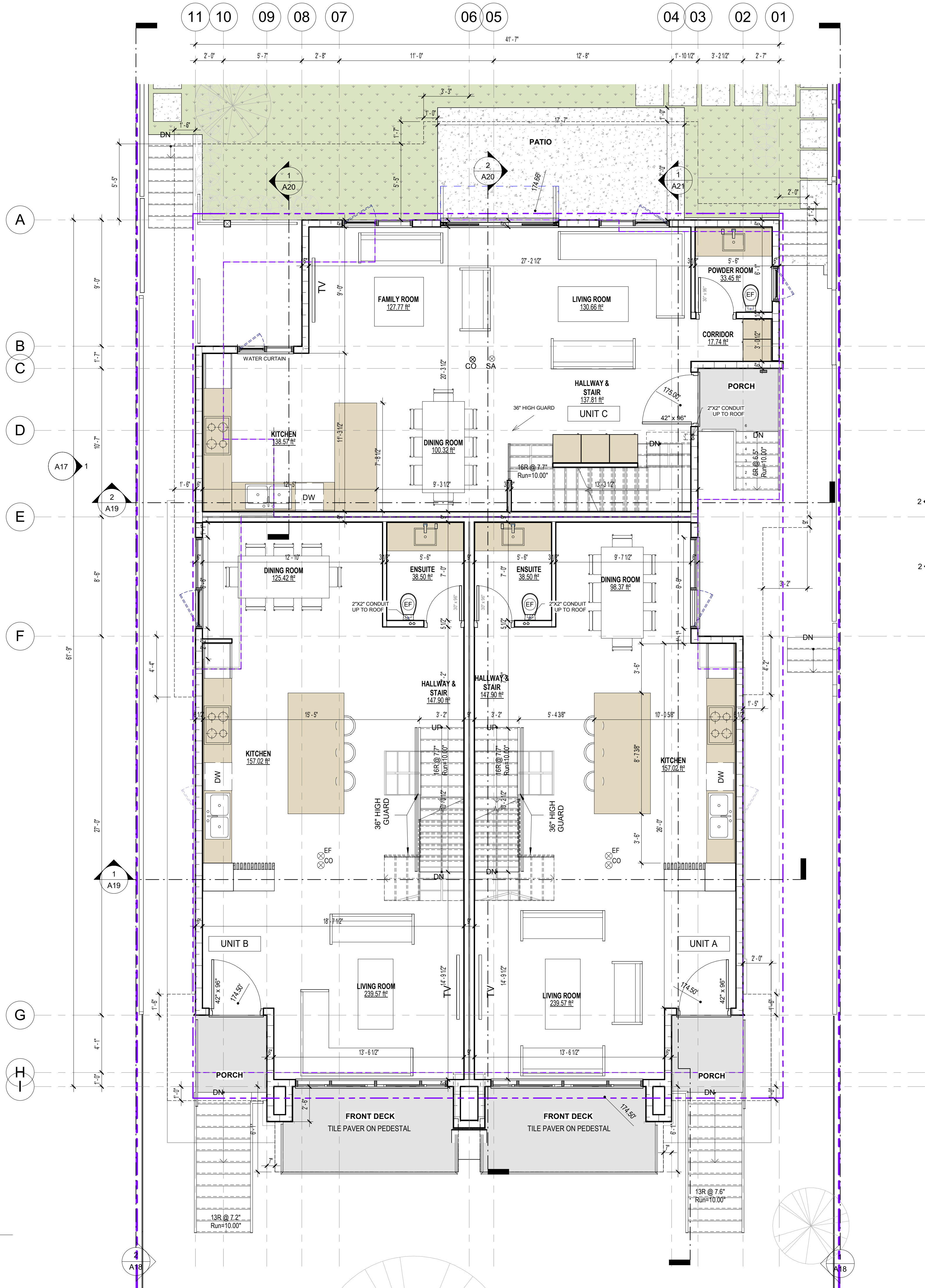
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DRAWING NO.	SCALE	REVISION	

A08

3

1 01-FIRST FLOOR
1/4" = 1'-0"



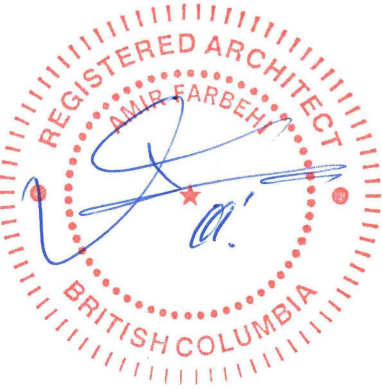
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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

LEVEL 1 FLOOR PLAN

DRAWING ISSUE

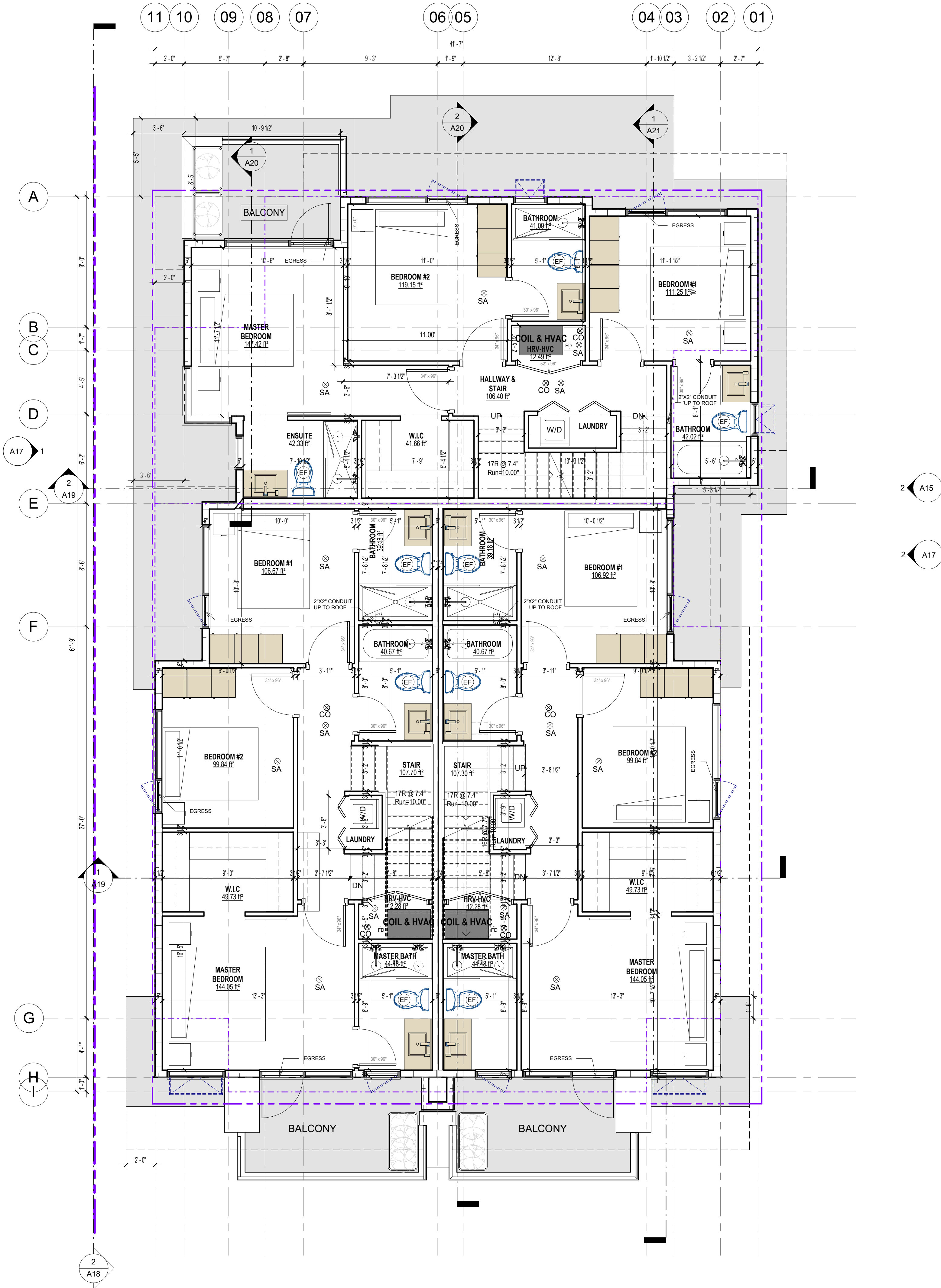
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REZONING

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24305	AUG. 06 2025	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	

A09

3

① 02-SECOND FLOOR
1/4" = 1'-0"



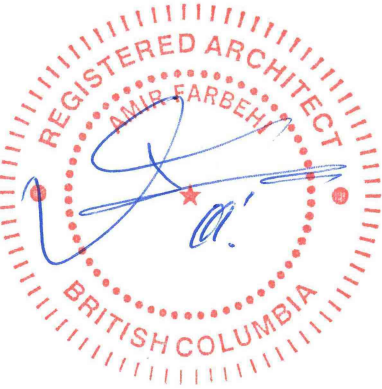
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1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
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WEST 5TH TRIPLEX

226-228 W. 5TH ST., NORTH VANCOUVER

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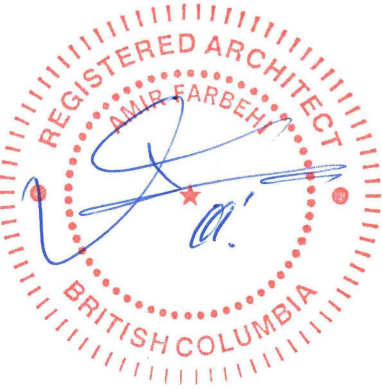
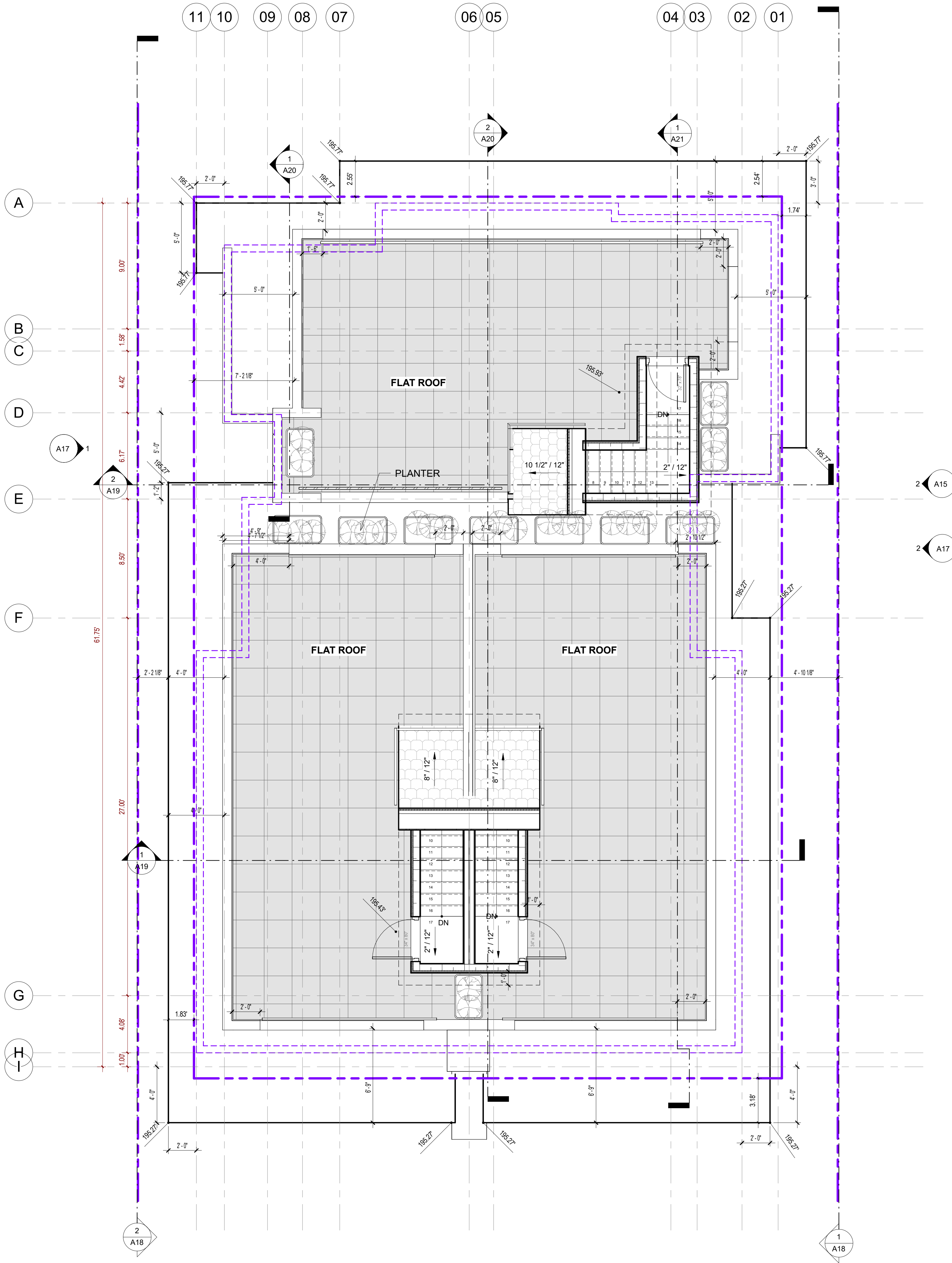
LEVEL 2 FLOOR PLAN

DRAWING ISSUE

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24305	AUG. 06 2025	REVIEWED	AF
SCALE	1/4" = 1'-0"	REVISION	

DRAWING NO.	A10	3
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3	2025-08-06	REISSUED FOR DETAIL REZONING	AF
2	2024-12-18	ISSUED FOR DETAIL REZONING	AF
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

ROOF PLAN

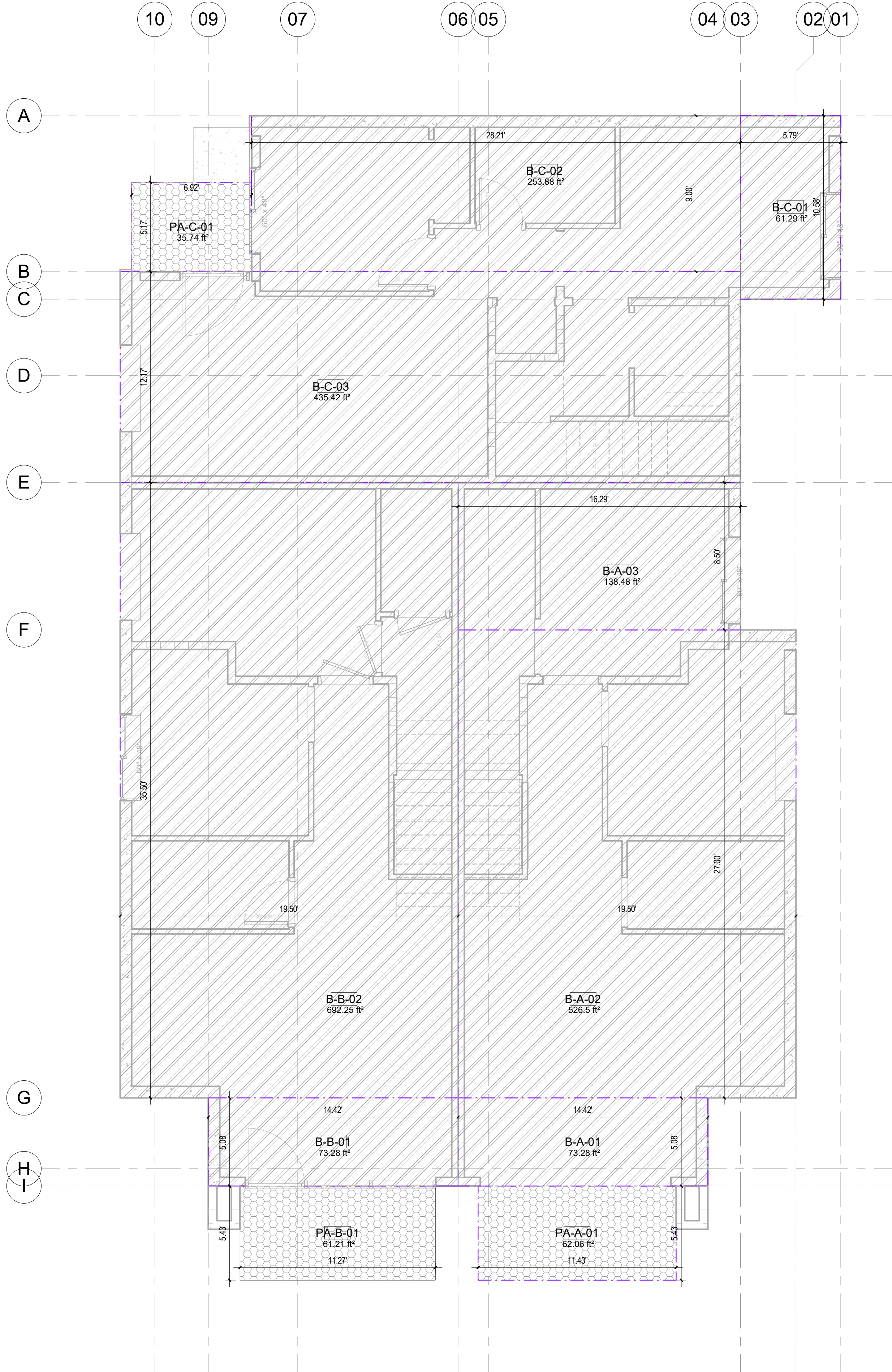
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A11

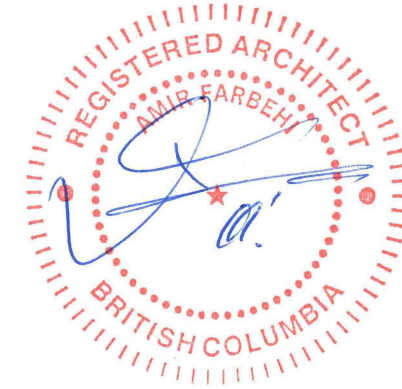
3



1 BASEMENT AREA OVERLAY
1/4" = 1'-0"

AREA OVERLAY-GROSS FLOOR AREA (ABOVE GARDE)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
A&B-Level 1	F-A-02	19.50'	27.00'	526.50 ft²	Above Grade	GFA	UNIT A
A&B-Level 1	F-A-03	16.29'	8.50'	138.48 ft²	Above Grade	GFA	UNIT A
A&B-Level 1	F-A-01	14.42'	5.08'	73.28 ft²	Above Grade	GFA	UNIT A
UNIT A: 3				738.26 ft²			
A&B-Level 1	F-B-01	14.42'	5.08'	73.28 ft²	Above Grade	GFA	UNIT B
A&B-Level 1	F-B-02	19.50'	35.50'	692.25 ft²	Above Grade	GFA	UNIT B
UNIT B: 2				765.53 ft²			
A&B-Level 1: 5				1503.80 ft²			
C-LEVEL 1	F-C-03	35.79'	12.17'	435.42 ft²	Above Grade	GFA	UNIT C
C-LEVEL 1	F-C-02	28.21'	9.00'	253.88 ft²	Above Grade	GFA	UNIT C
C-LEVEL 1	F-C-01	5.79'	10.58'	61.29 ft²	Above Grade	GFA	UNIT C
UNIT C: 3				750.58 ft²			
C-LEVEL 1: 3				750.58 ft²			
Accessory Garage	G-01	27.92'	19.00'	530.42 ft²	Above Grade	Exclusion	Garage
Garage: 1				530.42 ft²			
Accessory Garage	GA-01	7.88'	3.99'	31.42 ft²	Above Grade	Exclusion	Garbage
Accessory Garage	GA-02	8.55'	3.66'	31.27 ft²	Above Grade	Exclusion	Garbage
Garbage: 2				62.68 ft²			
Accessory Garage: 3				593.10 ft²			
A&B-LEVEL 2	S-A-02	16.29'	10.83'	176.49 ft²	Above Grade	GFA	UNIT A
A&B-LEVEL 2	S-A-01	19.50'	28.75'	560.62 ft²	Above Grade	GFA	UNIT A
UNIT A: 2				737.12 ft²			
A&B-LEVEL 2	S-B-02	13.92'	10.83'	150.76 ft²	Above Grade	GFA	UNIT B
A&B-LEVEL 2	S-B-03	2.33'	10.96'	25.57 ft²	Above Grade	GFA	UNIT B
A&B-LEVEL 2	S-B-01	19.50'	28.75'	560.63 ft²	Above Grade	GFA	UNIT B
UNIT B: 3				736.96 ft²			
A&B-LEVEL 2: 5				1474.08 ft²			
C-LEVEL 2	S-C-05	3.58'	12.62'	45.23 ft²	Above Grade	GFA	UNIT C
C-LEVEL 2	S-C-04	7.21'	18.17'	130.94 ft²	Above Grade	GFA	UNIT C
C-LEVEL 2	S-C-03	17.38'	21.17'	367.75 ft²	Above Grade	GFA	UNIT C
C-LEVEL 2	S-C-01	5.79'	19.08'	110.52 ft²	Above Grade	GFA	UNIT C
C-LEVEL 2	S-C-02	5.63'	20.33'	114.37 ft²	Above Grade	GFA	UNIT C
UNIT C: 5				768.82 ft²			
C-LEVEL 2: 5				768.82 ft²			
A&B-U/S Roof	RD-A-01	16.95'	13.29'	225.32 ft²	Above Grade	Exclusion	UNIT A
A&B-U/S Roof	RD-A-02	12.91'	16.58'	214.09 ft²	Above Grade	Exclusion	UNIT A
A&B-U/S Roof	RD-A-03	16.95'	3.54'	59.93 ft²	Above Grade	Exclusion	UNIT A
UNIT A: 3				499.34 ft²			
A&B-U/S Roof	RA-A-01	4.04'	16.58'	67.02 ft²	Above Grade	Exclusion	UNIT A-ROOF ACCESS
UNIT A-ROOF ACCESS: 1				67.02 ft²			
A&B-U/S Roof	RD-B-01	16.95'	13.29'	225.32 ft²	Above Grade	Exclusion	UNIT B
A&B-U/S Roof	RD-B-02	12.91'	16.58'	214.09 ft²	Above Grade	Exclusion	UNIT B
A&B-U/S Roof	RD-B-03	16.95'	3.54'	59.93 ft²	Above Grade	Exclusion	UNIT B
UNIT B: 3				499.34 ft²			
A&B-U/S Roof	RA-B-01	4.04'	16.58'	67.02 ft²	Above Grade	Exclusion	UNIT B-ROOF ACCESS
UNIT B-ROOF ACCESS: 1				67.02 ft²			
A&B-U/S Roof: 8				1132.72 ft²			
C-U/S Roof	RD-C-02	26.88'	8.51'	228.79 ft²	Above Grade	Exclusion	UNIT C
C-U/S Roof	RD-C-03	22.71'	6.06'	137.52 ft²	Above Grade	Exclusion	UNIT C
C-U/S Roof	RD-C-04	13.38'	3.55'	47.46 ft²	Above Grade	Exclusion	UNIT C
C-U/S Roof	RD-C-01	2.25'	9.30'	20.93 ft²	Above Grade	Exclusion	UNIT C
C-U/S Roof	RD-C-05	1.37'	12.07'	16.52 ft²	Above Grade	Exclusion	UNIT C
UNIT C: 5				451.21 ft²			
C-U/S Roof	RA-C-01	4.17'	10.23'	42.62 ft²	Above Grade	Exclusion	UNIT C-ROOF ACCESS
C-U/S Roof	RA-C-02	9.33'	4.17'	38.89 ft²	Above Grade	Exclusion	UNIT C-ROOF ACCESS
UNIT C-ROOF ACCESS: 2				81.51 ft²			
C-U/S Roof: 7				532.72 ft²			
Grand total: 36				6755.83 ft²			

AREA OVERLAY-GROSS FLOOR AREA (BELOW GARDE & ACCESSORY)							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
A&B-BASEMENT	B-A-01	14.42'	5.08'	73.28 ft²	Below Grade	Exclusion	UNIT A
A&B-BASEMENT	B-A-02	19.50'	27.00'	526.50 ft²	Below Grade	Exclusion	UNIT A
A&B-BASEMENT	B-A-03	16.29'	8.50'	138.48 ft²	Below Grade	Exclusion	UNIT A
UNIT A: 3				738.26 ft²			
A&B-BASEMENT	B-B-01	14.42'	5.08'	73.28 ft²	Below Grade	Exclusion	UNIT B
A&B-BASEMENT	B-B-02	19.50'	35.50'	692.25 ft²	Below Grade	Exclusion	UNIT B
UNIT B: 2				765.53 ft²			
A&B-BASEMENT: 5				1,503.80 ft²			
C-BASEMENT	B-C-01	5.79'	10.58'	61.29 ft²	Below Grade	Exclusion	UNIT C
C-BASEMENT	B-C-02	28.21'	9.00'	253.88 ft²	Below Grade	Exclusion	UNIT C
C-BASEMENT	B-C-03	35.79'	12.17'	435.42 ft²	Below Grade	Exclusion	UNIT C
UNIT C: 3				750.58 ft²			
C-BASEMENT: 3				750.58 ft²			
Accessory Storage	ST-01	27.92'	15.00'	418.75 ft²	Below Grade	Exclusion	Accessory
Accessory Storage	ST-02	26.92'	4.00'	107.67 ft²	Below Grade	Exclusion	Accessory
Accessory: 2				526.42 ft²			
Accessory Storage: 2				526.42 ft²			
Grand total: 10				2,780.80 ft²			



3	2025-08-06	REISSUED FOR DETAIL REZONING	AF
2	2024-12-18	ISSUED FOR DETAIL REZONING	AF
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REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

BASEMENT AREA OVERLAY
AND SCHEDULES

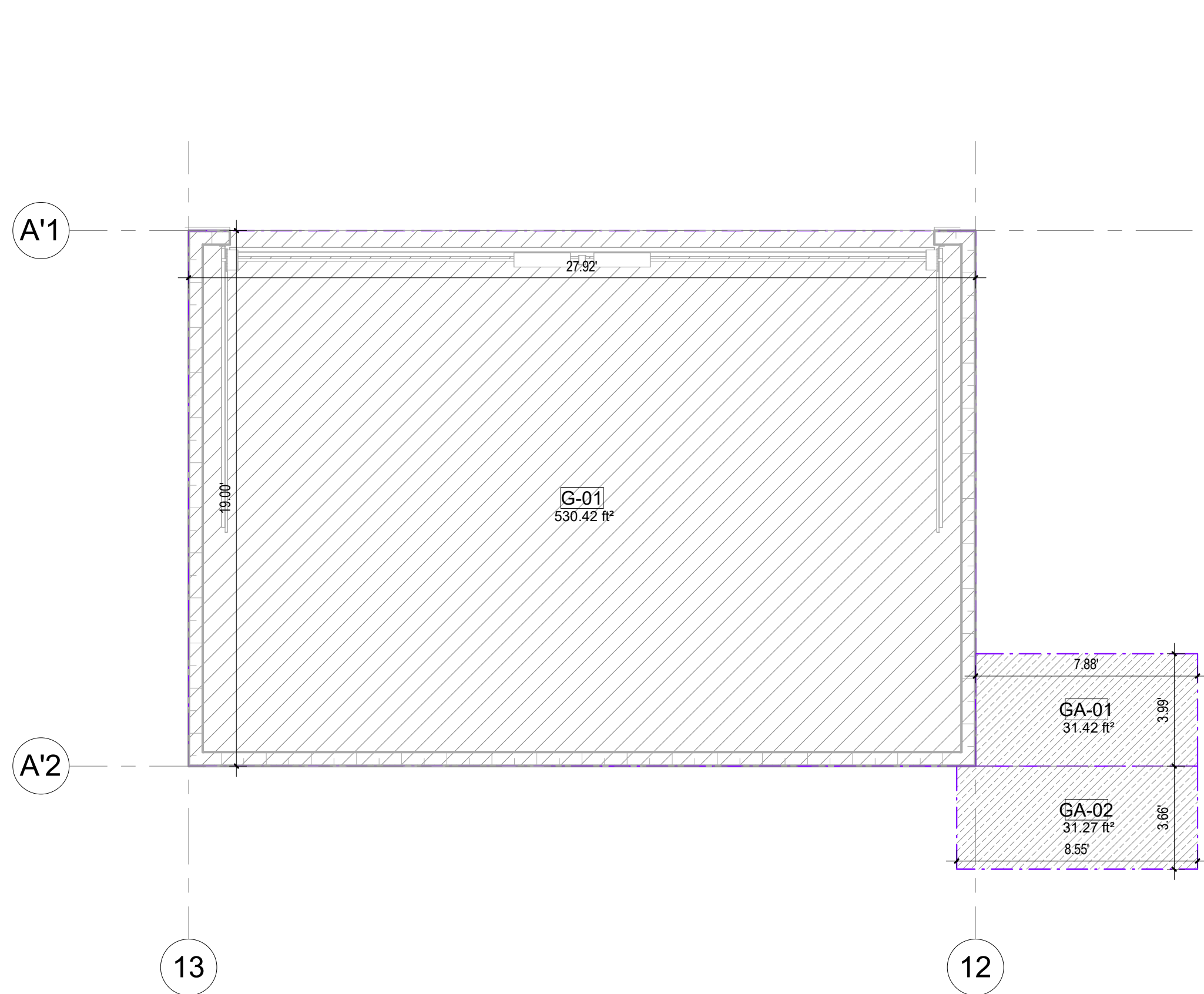
DRAWING ISSUE

REISSUED FOR DETAIL
REZONING

PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION

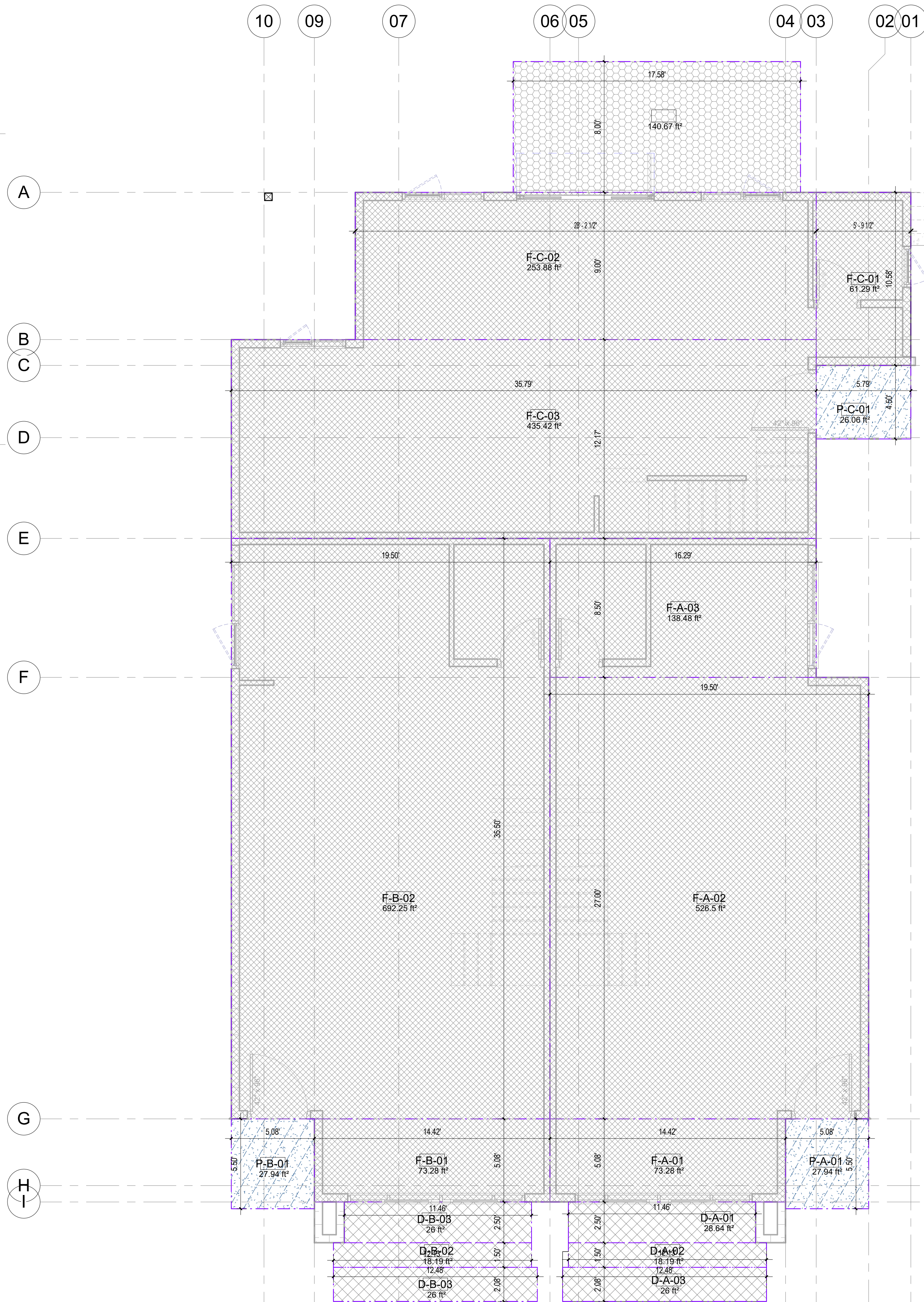
A12

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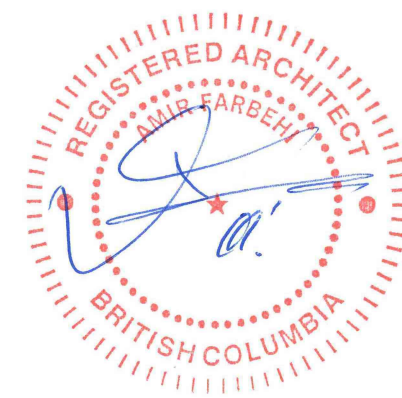


2 Accessory BLDG AREA OVERLAY
1/4" = 1'-0"

AREA OVERLAY-VERANDA & BALCONIES							
Level	Mark	Dimension X	Dimension Y	Area	Gross Area Category	Area Category	Suite Number
A&B-BASEMENT	PA-A-01	11.43'	5.43'	62.06 ft²	Patio	Exclusion	UNIT A
UNIT A: 1				62.06 ft²			
A&B-BASEMENT	PA-B-01	11.27'	5.43'	61.21 ft²	Patio	Exclusion	UNIT B
UNIT B: 1				61.21 ft²			
A&B-BASEMENT: 2				123.26 ft²			
C-BASEMENT	PA-C-01	6.92'	5.17'	35.74 ft²	Patio	Exclusion	UNIT C
UNIT C: 1				35.74 ft²			
C-BASEMENT: 1				35.74 ft²			
A&B-Level 1	D-A-01	11.46'	2.50'	28.64 ft²	Covered Deck	Exclusion	UNIT A
A&B-Level 1	D-A-02	12.13'	1.50'	18.19 ft²	Covered Deck	Exclusion	UNIT A
A&B-Level 1	D-A-03	12.48'	2.08'	26.00 ft²	Covered Deck	Exclusion	UNIT A
A&B-Level 1	P-A-01	5.08'	5.50'	27.94 ft²	Porch	Exclusion	UNIT A
UNIT A: 4				100.77 ft²			
A&B-Level 1		11.46'	2.50'	28.64 ft²	Covered Deck	Exclusion	UNIT B
A&B-Level 1	D-B-02	12.13'	1.50'	18.19 ft²	Covered Deck	Exclusion	UNIT B
A&B-Level 1	D-B-03	12.48'	2.08'	26.00 ft²	Covered Deck	Exclusion	UNIT B
A&B-Level 1	P-B-01	5.08'	5.50'	27.94 ft²	Porch	Exclusion	UNIT B
UNIT B: 4				100.77 ft²			
A&B-Level 1: 8				201.53 ft²			
C-LEVEL 1		17.58'	8.00'	140.67 ft²	Patio	Exclusion	UNIT C
C-LEVEL 1	P-C-01	5.79'	4.50'	26.06 ft²	Porch	Exclusion	UNIT C
UNIT C: 2				166.73 ft²			
C-LEVEL 1: 2				166.73 ft²			
A&B-LEVEL 2	BA-A-01	1.25'	3.58'	4.48 ft²	Balcony	Exclusion	UNIT A
A&B-LEVEL 2	BA-A-02	11.81'	3.79'	44.78 ft²	Balcony	Exclusion	UNIT A
A&B-LEVEL 2	BA-A-03	11.46'	3.29'	37.71 ft²	Balcony	Exclusion	UNIT A
UNIT A: 3				86.98 ft²			
A&B-LEVEL 2	BA-B-01	1.25'	3.58'	4.48 ft²	Balcony	Exclusion	UNIT B
A&B-LEVEL 2	BA-B-02	11.81'	3.79'	44.78 ft²	Balcony	Exclusion	UNIT B
A&B-LEVEL 2	BA-B-03	11.46'	3.29'	37.71 ft²	Balcony	Exclusion	UNIT B
UNIT B: 3				86.98 ft²			
A&B-LEVEL 2: 6				173.96 ft²			
C-LEVEL 2	BA-C-01	11.13'	4.00'	44.50 ft²	Balcony	Exclusion	UNIT C
C-LEVEL 2	BA-C-02	10.79'	3.00'	32.38 ft²	Balcony	Exclusion	UNIT C
UNIT C: 2				76.88 ft²			
C-LEVEL 2: 2				76.88 ft²			
Grand total: 21				778.09 ft²			



1 LEVEL 1 AREA OVERLAY
1/4" = 1'-0"



1	2024-12-18	ISSUED FOR DETAIL REZONING	AF
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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

LEVEL 1 AREA OVERLAY

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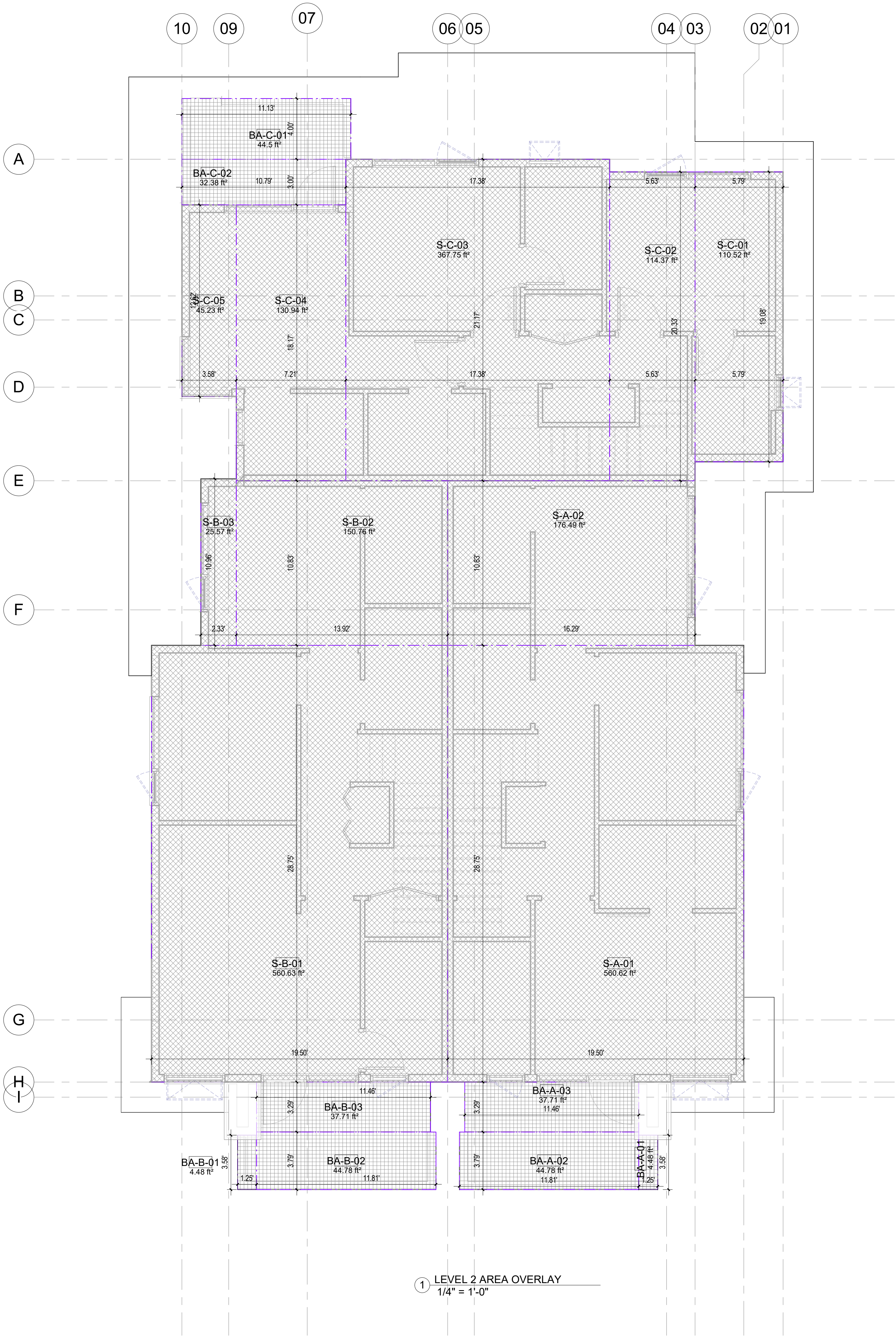
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PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION

A13

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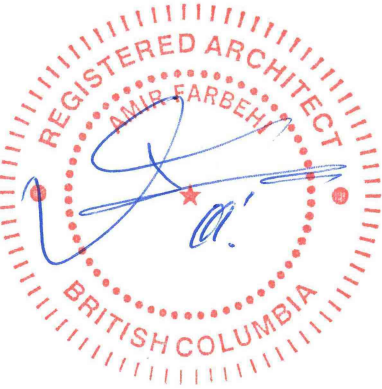
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5-1480 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7P 1T6 CANADA
EMAIL: INFO@INSPIREDARCHITECTURE.CA
TEL: 604-770-2088

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

LEVEL 2 AREA OVERLAY

DRAWING ISSUE

ISSUED FOR DETAIL
REZONING

PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
SCALE	1/4" = 1'-0"	REVISION	1

DRAWING NO.

A14

1 South Elevation
1/4" = 1'-0"

2 East Elevation
1/4" = 1'-0"



SPATIAL SEPARATION SCHEDULE BLDG A

SPRINKLERED BUILDING: YES

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	834.67	77.54	52.47	15.99	311.46	28.94	834.67	77.54	100.00%	37.32%
SOUTH	1106.67	102.81	55.82	17.01	557.40	51.78	1106.67	102.81	100.00%	50.37%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
EAST	1495.66	138.95	4.26	1.30	26.58	2.47	220.00	20.44	14.00%	12.08%
EAST (B)	1495.66	138.95	10.05	3.06	122.20	11.35	610.00	56.67	20.25%	20.03%
EAST (C)	1495.66	138.95	6.85	9.60	62.48	5.80	665.66	61.84	75.20%	9.39%
WEST	1606.10	149.21	4.17	1.27	201.92	18.76	1461.10	135.74	14.00%	13.82%
WEST (B)	1606.10	149.21	9.76	2.97	28.66	2.66	145.00	13.47	19.90%	19.77%

9.10.14.5.11) PROJECTION OF SOFFITS:

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

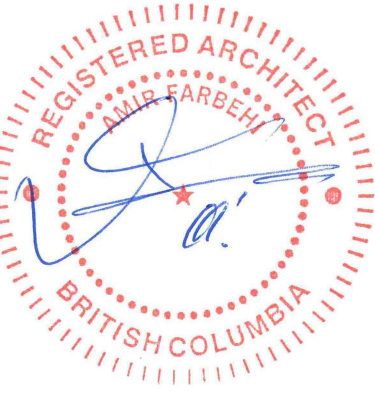
MATERIAL LEGEND		
ITEM	Material Description	COLOUR
01	HARDI PANEL WITH COLOR PLUS TECHNOLOGY	RUSTIC ROAD
02	TRESPA PURA SIDINGS	MYSTIC CEDAR-PU24 VERTICAL
03	HARDIE PANEL-SMOOTH CLASSIC SHADE	IRON GRAY
04	DOUBLE GLAZED GLASS PANEL	CLEAR
05	WINDOW VINYL	BEIGE
06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR
07	1X10 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	HARDIE PANEL SMOOTH CLASSIC SHADES	ARCTIC WHITE
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN

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5-1480 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7P 1T6 CANADA
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2	2024-12-18	ISSUED FOR DETAIL REZONING	AF
1	2024-10-29	ISSUED FOR PRE-DESIGN REZONING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

ELEVATIONS - SOUTH & WEST

DRAWING ISSUE

REISSUED FOR DETAIL
REZONING

PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
DRAWING NO.	SCALE	1/4" = 1'-0"	REVISION

A15

3

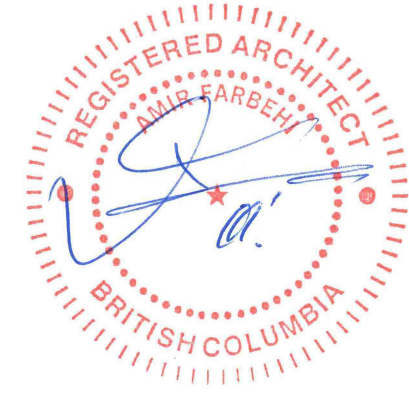


SPATIAL SEPARATION SCHEDULE BLDG A					SPRINKLERED BUILDING: YES					
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
	ft²	m²	ft	m	ft²	m²	ft²	m²		
NORTH	834.67	77.54	52.47	15.99	311.46	28.94	834.67	77.54	100.00%	37.32%
SOUTH	1106.67	102.81	55.82	17.01	557.40	51.78	1106.67	102.81	100.00%	50.37%

SPATIAL SEPARATION SCHEDULE										
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA		LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING		WINDOW AREA		FACE SECTION /COMPARTMENT		MAX. % ALLOWED	% PROVIDED
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EAST	1495.66	138.95	4.26	1.30	26.58	2.47	220.00	20.44	14.00%	12.08%
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WEST (B)	1606.10	149.21	9.76	2.97	28.66	2.66	145.00	13.47	19.90%	19.77%

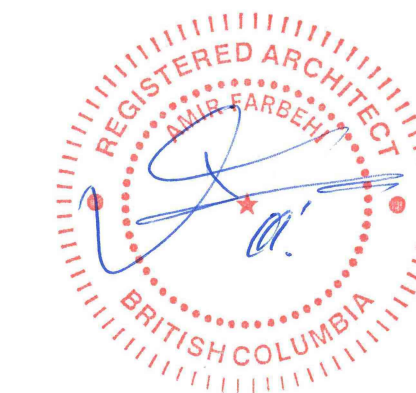
9.10.14.5.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS THAN 1.2M FROM PROPERTY LINE.

MATERIAL LEGEND		
ITEM	Material Description	COLOUR
01	HARDI PANEL WITH COLOR PLUS TECHNOLOGY	RUSTIC ROAD
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04	DOUBLE GLAZED GLASS PANEL	CLEAR
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06	CAST-IN -PLACE CONCRETE	ORIGINAL COLOUR
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08	1X8 ON 1X12 FASCIA BOARD	BENJAMIN MOORE 2134-30 IRON MOUNTAIN
09	ALUMUNUM AND GLASS GUARD	CHARCOAL-ANODIZED
10	HARDIE PANEL SMOOTH CLASSIC SHADES	ARCTIC WHITE
11	WOOD COLUMN	BENJAMIN MOORE 2134-30 IRON MOUNTAIN



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PROJECT			
WEST 5TH TRIPLEX			
226-228 W. 5TH ST, NORTH VANCOUVER			
DRAWING TITLE			
ELEVATIONS - NORTH & EAST			
DRAWING ISSUE			
REISSUED FOR DETAIL REZONING			
PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
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	1/4" = 1'-0"	3	



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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

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ELEVATIONS - EAST & WEST
NEIGHBOUR OVERLAY

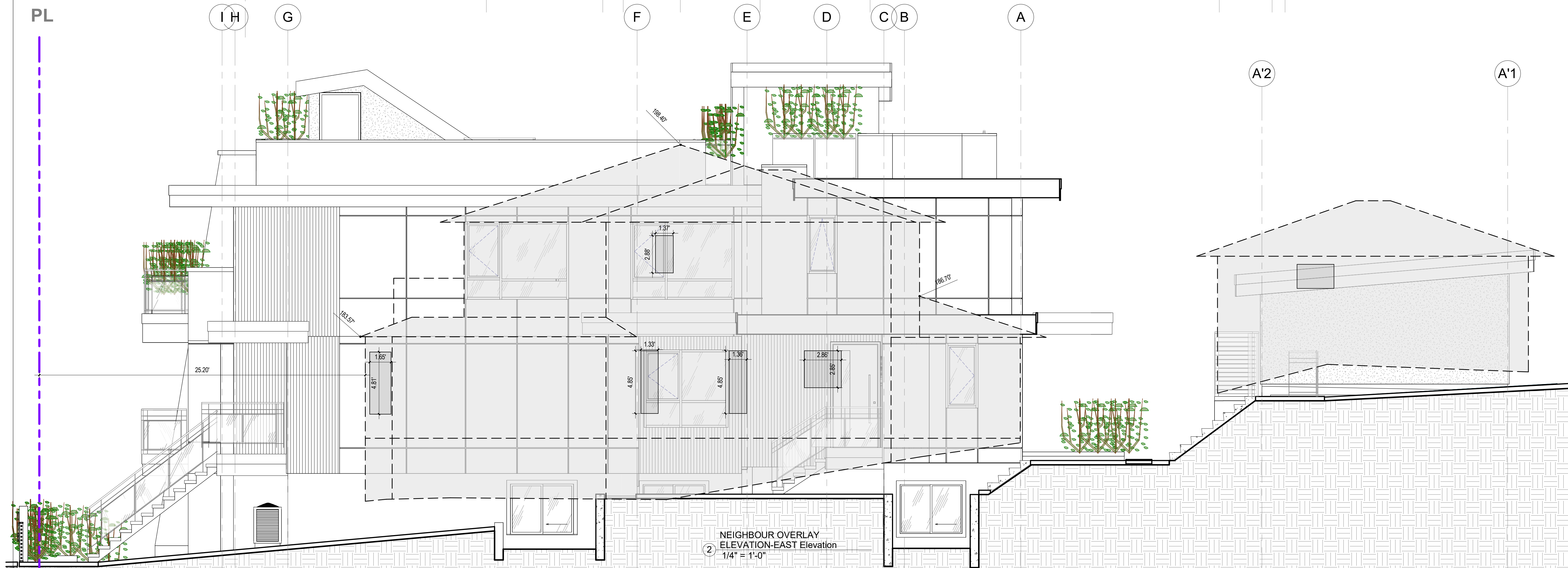
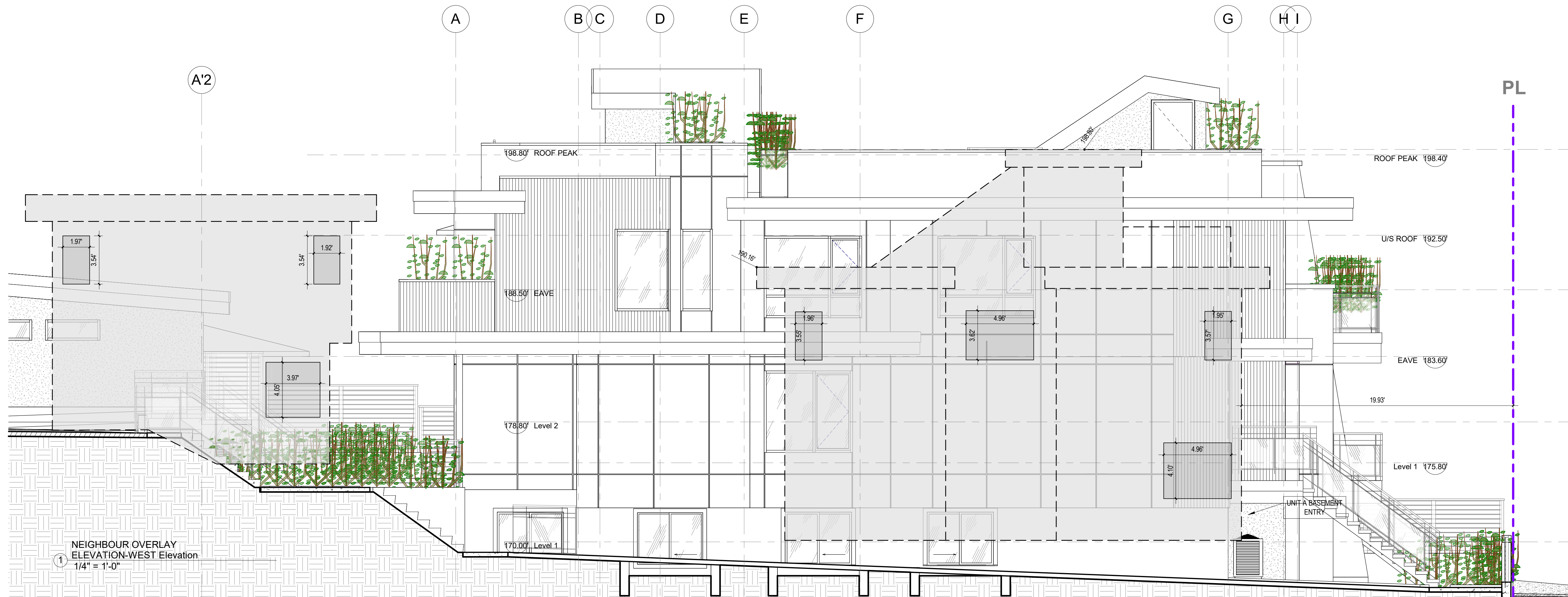
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A17

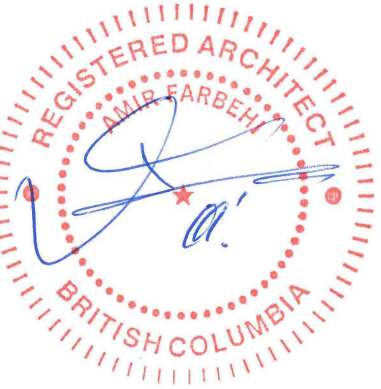
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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

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ELEVATION - RETAINING WALLS

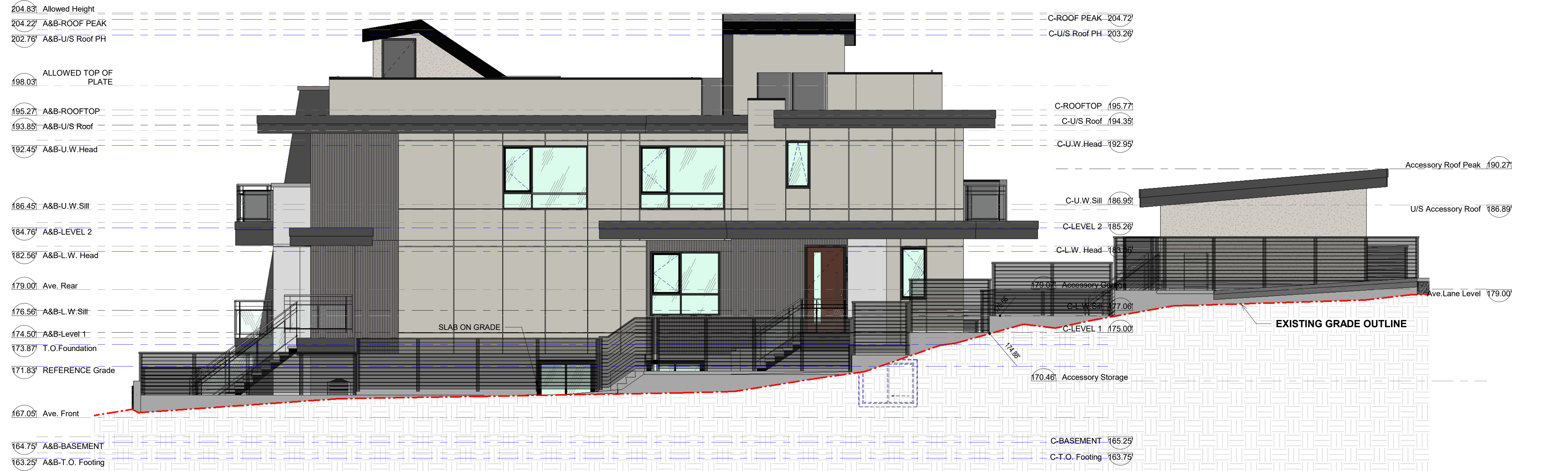
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	SCALE 3/16" = 1'-0"	REVIEWED AF	
DRAWING NO.			REVISION

A18

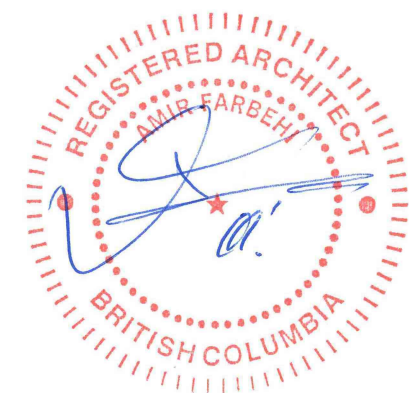
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① Retaining Wall-East Elevation
3/16" = 1'-0"



② Retaining Wall-West Elevation
3/16" = 1'-0"



3	2025-08-06	REISSUED FOR DETAIL REZONING	AF
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WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

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BUILDING SECTIONS

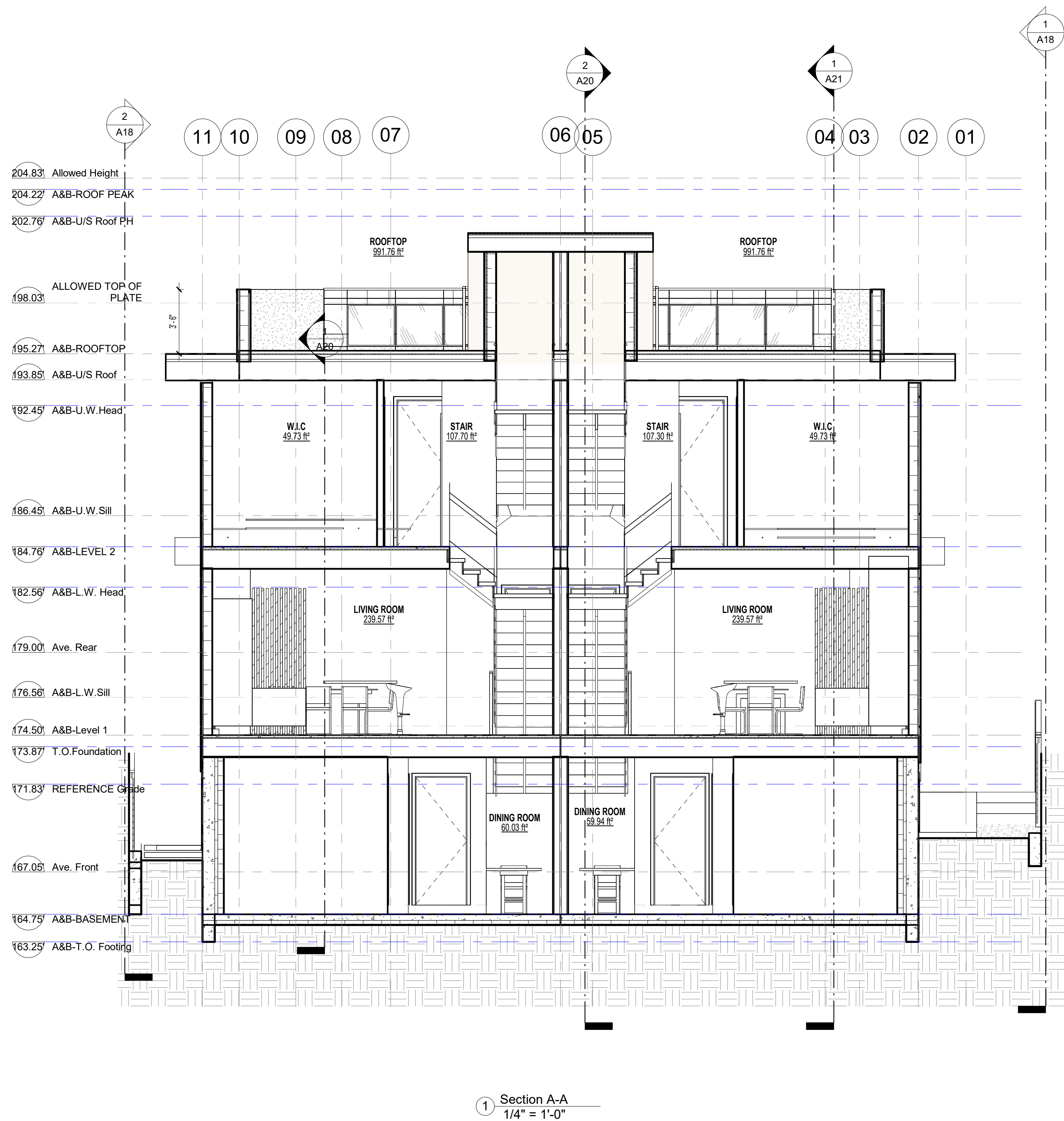
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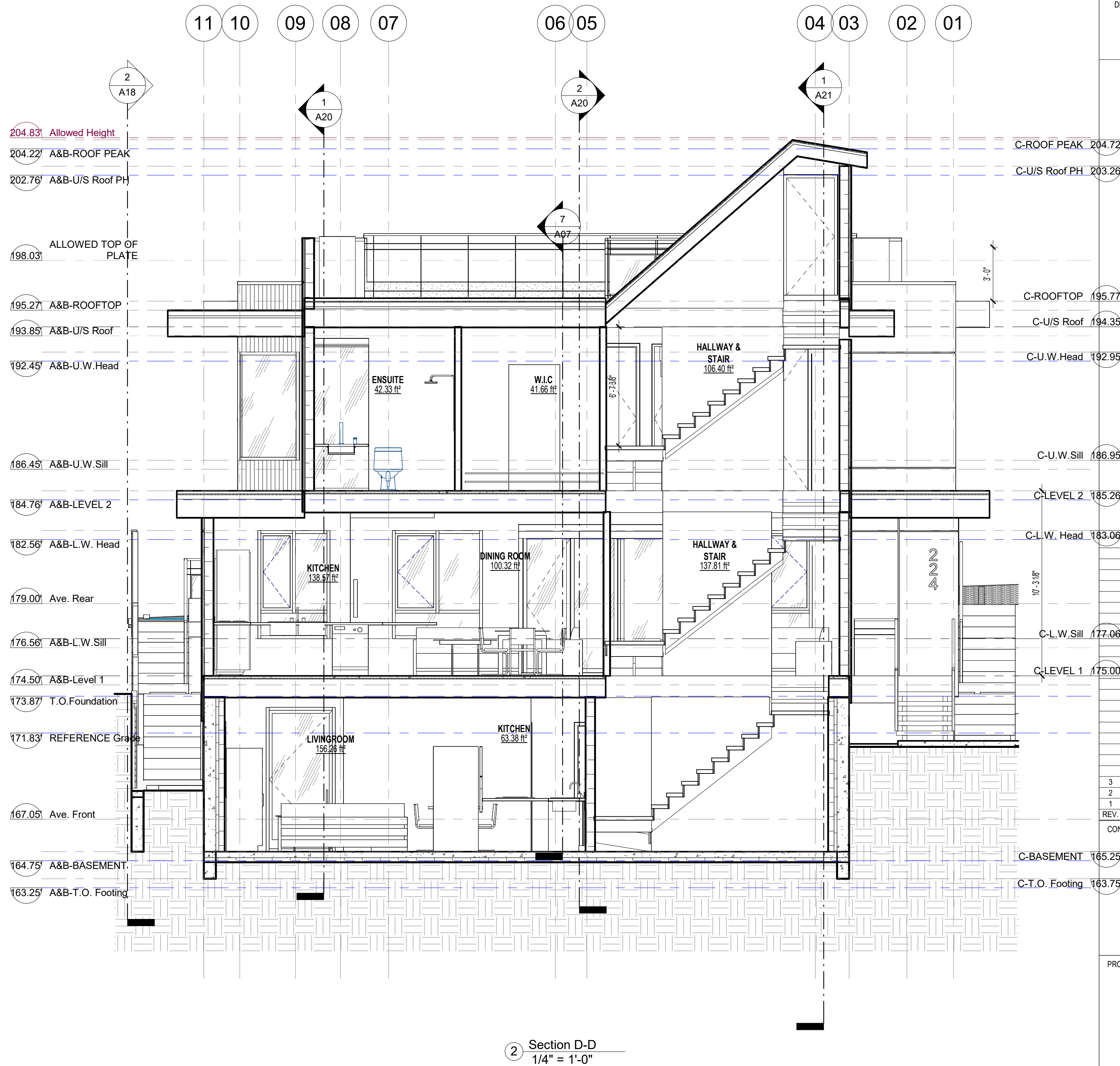
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A19

3



1 Section A-A
1/4" = 1'-0"

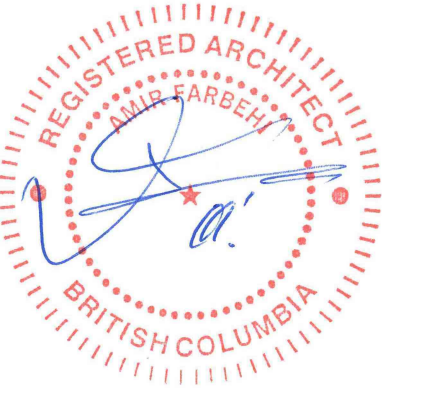


2 Section D-D
1/4" = 1'-0"

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CONSULTANT			

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

BUILDING SECTIONS

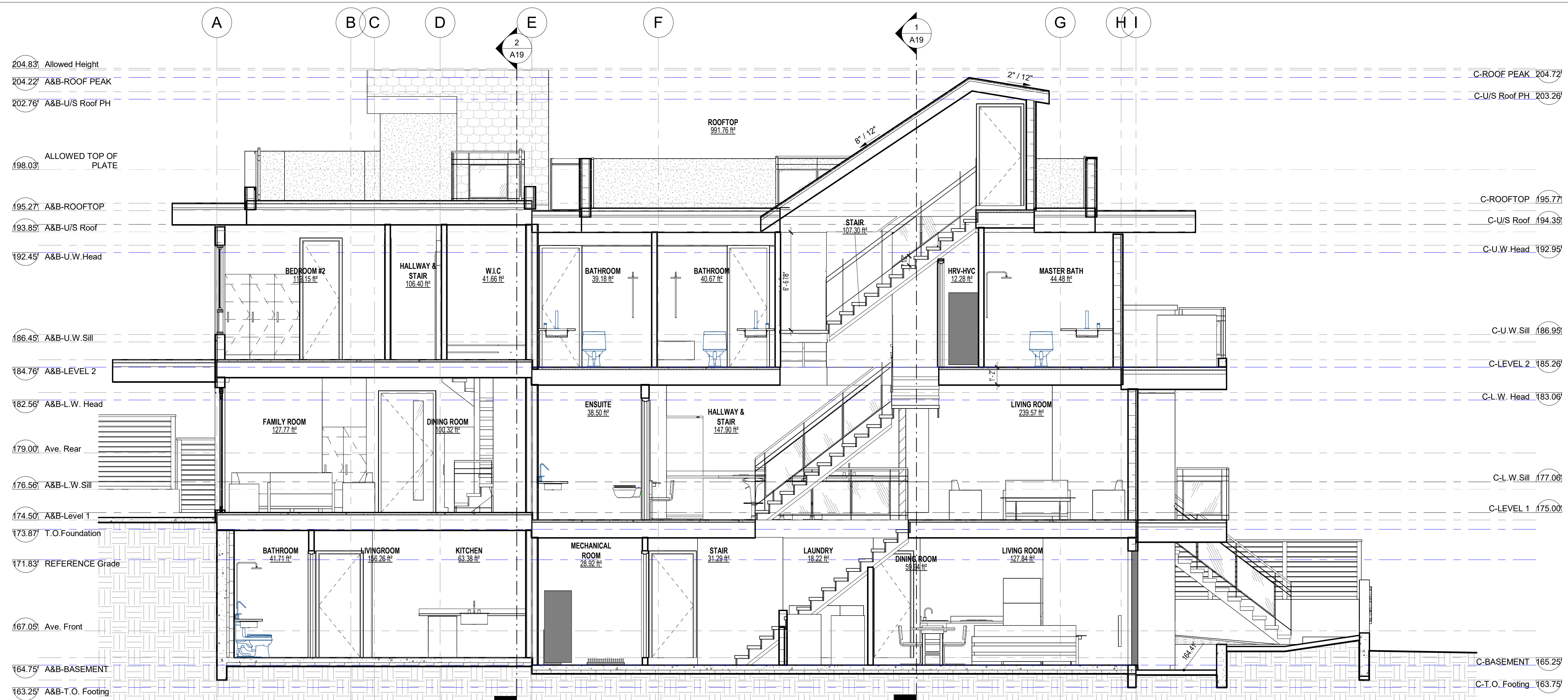
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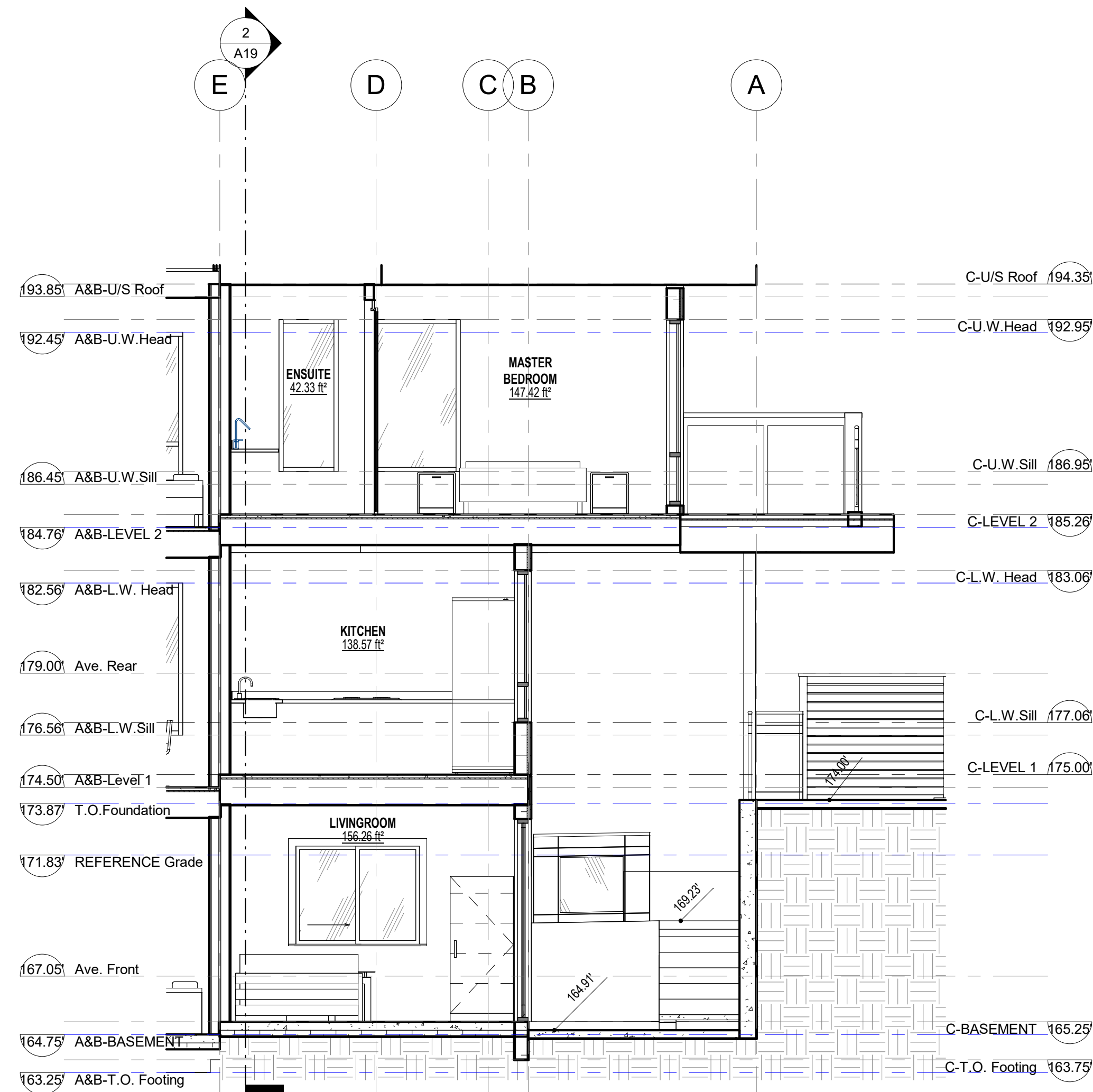
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DRAWING NO.		REVISION

A20

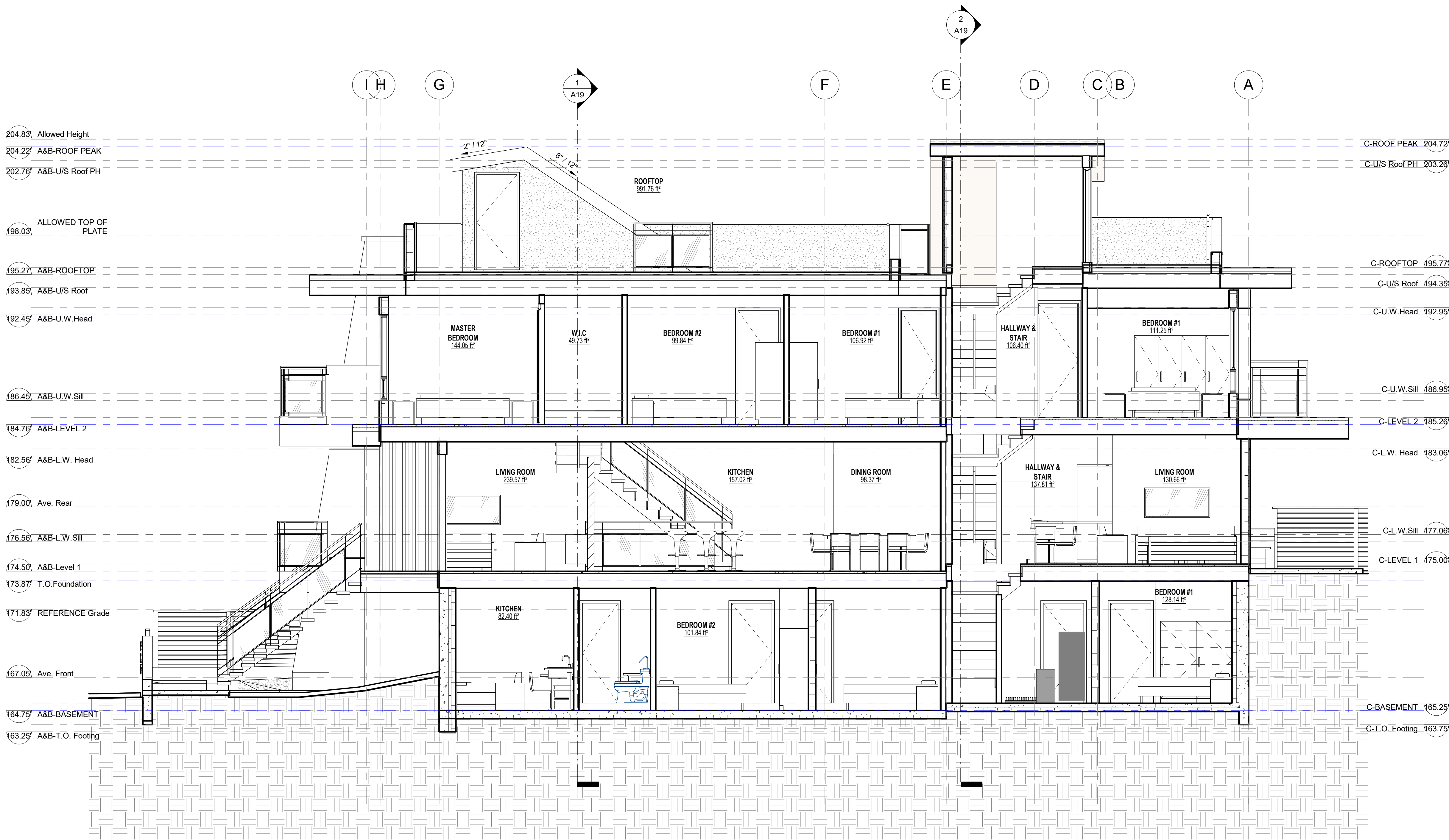
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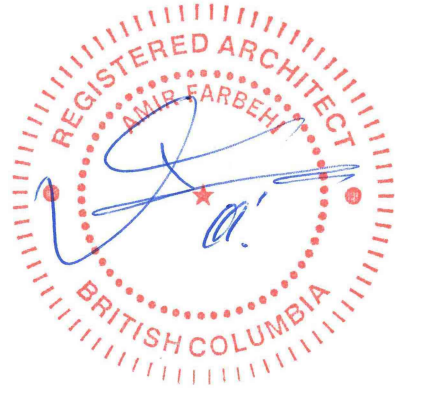
② Section C-C
1/4" = 1'-0"



① Section B-B
1/4" = 1'-0"



1 Section E-E
1/4" = 1'-0"



2	2025-08-06	REISSUED FOR DETAIL REZONING	AF
1	2024-12-18	ISSUED FOR DETAIL REZONING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

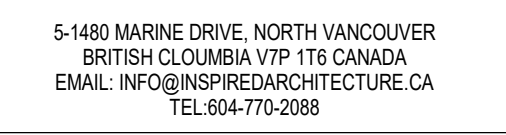
BUILDING SECTIONS

DRAWING ISSUE

REISSUED FOR DETAIL
REZONING

PROJECT NO.	PROJECT ISSUE DATE	DRAWN	NM
24305	AUG. 06 2025	REVIEWED	AF
SCALE	1/4" = 1'-0"	REVISION	

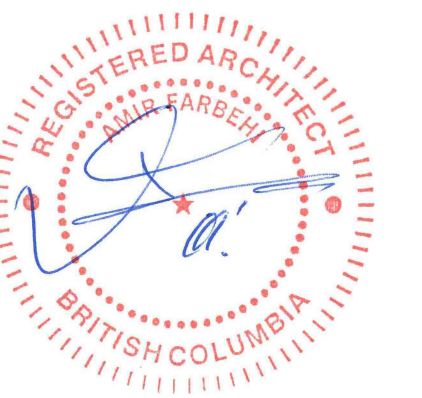
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WEST 5TH TRIPLEX

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DRAWING TITLE

AXONOMETRIC 3D VIEWS

DRAWING ISSUE

ISSUED FOR DETAIL
REZONING

PROJECT NO. 24305	PROJECT ISSUE DATE AUG. 06 2025	DRAWN NM
	SCALE	REVIEWED AF
DRAWING NO. A22		REVISION 1



4 3D View- SW



3 3D View- SE



① 3D View- NE



② 3D View- NW



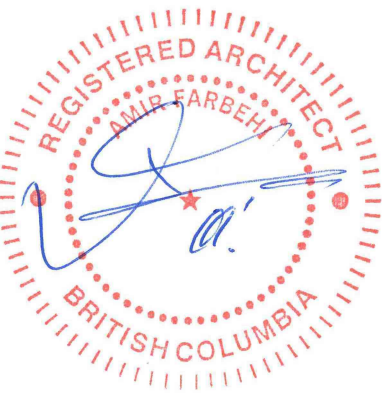
Inspired
Architecture

5-1480 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7P 1T6 CANADA
EMAIL: INFO@INSPIREDARCHITECTURE.CA
TEL: 604-770-2088

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1	2024-12-18	ISSUED FOR DETAIL REZONING	AF
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CONSULTANT

PROJECT

WEST 5TH TRIPLEX

226-228 W. 5TH ST, NORTH VANCOUVER

DRAWING TITLE

FRONT 3D VIEW

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PROJECT NO.	PROJECT ISSUE DATE	DRAWN	Author
24305	AUG. 06 2025	REVIEWED	Checker
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A23

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