

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.1 Parking and Loading

GROUND FLOOR BUILDING OUTLINE

LANE

ST. GEORGE'S AVENUE

EAST 2nd STREET

P2 PARKING LEVEL

RESIDENTIAL STORAGE

PARKING P2 (88 CARS)

GENERAL NOTES:

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY McELHANNAY ASSOCIATES' LAND SURVEYING LTD., DATED 1 JUNE 2017.
- BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
- REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.

RESIDENTIAL NOTES:

- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
- PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
- ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
- ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
- THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATIONS BYLAW, 2003, No. 7397".

PARKING NOTES:

- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
- UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
- ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, C/W SPRINKLER PROTECTION AS REQUIRED.

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Rositch Hemphill Architects

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www.rharchitects.ca

ISSUED: 17 AUGUST 2017
DATE: 17 AUGUST 2017

1. REZONING / DPA

ISSUED FOR REZONING DP APPLICATION
17 AUGUST 2017

CLIENT: GWL REALTY ADVISORS

PROJECT: E 2nd ST. & ST. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: P2 PARKING LEVEL

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO.: 1629

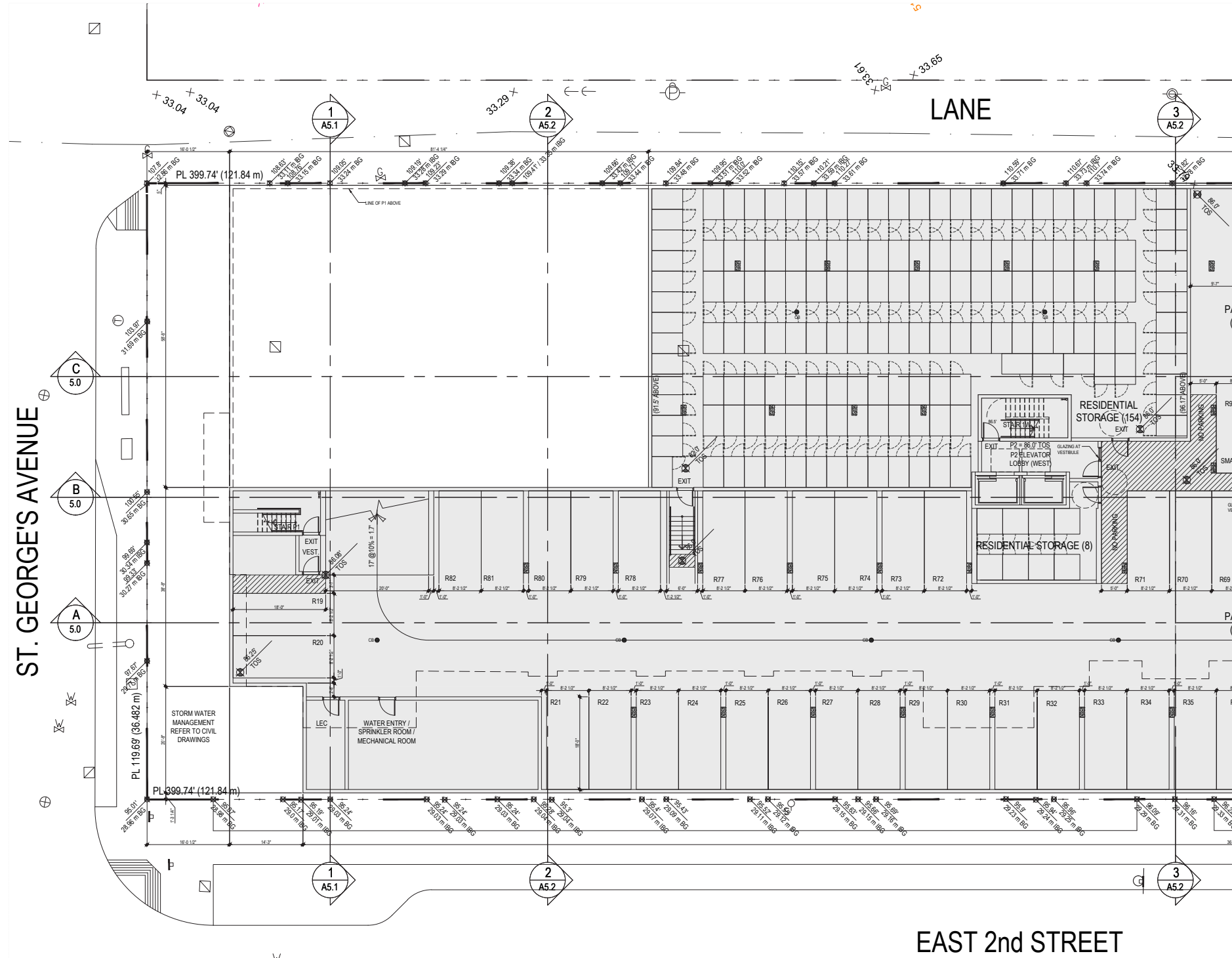
DWG. NO.: A2.0

D.P. A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.1 Parking and Loading



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CLIENT:
PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.
DRAWING TITLE:
P2 PARKING LEVEL WEST

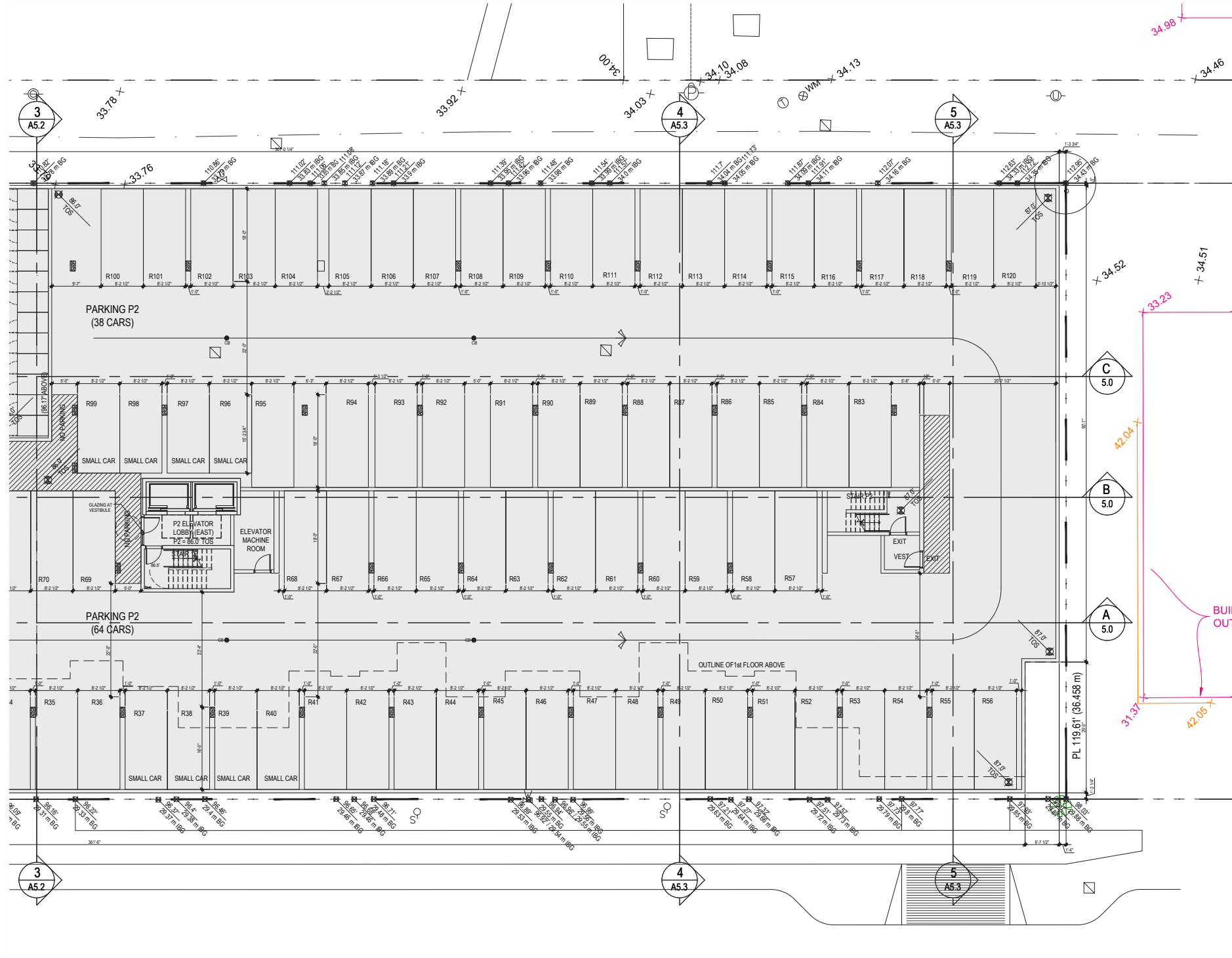
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SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
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CHECKED: KH
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DWG. NO. **A2.0A**
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6.4.1 Parking and Loading



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PROJECT:
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210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
P2 PARKING LEVEL EAST

DATABASE: 1629-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH//JU

CHECKED: KH

PROJECT NO. 1629

DWG. NO.

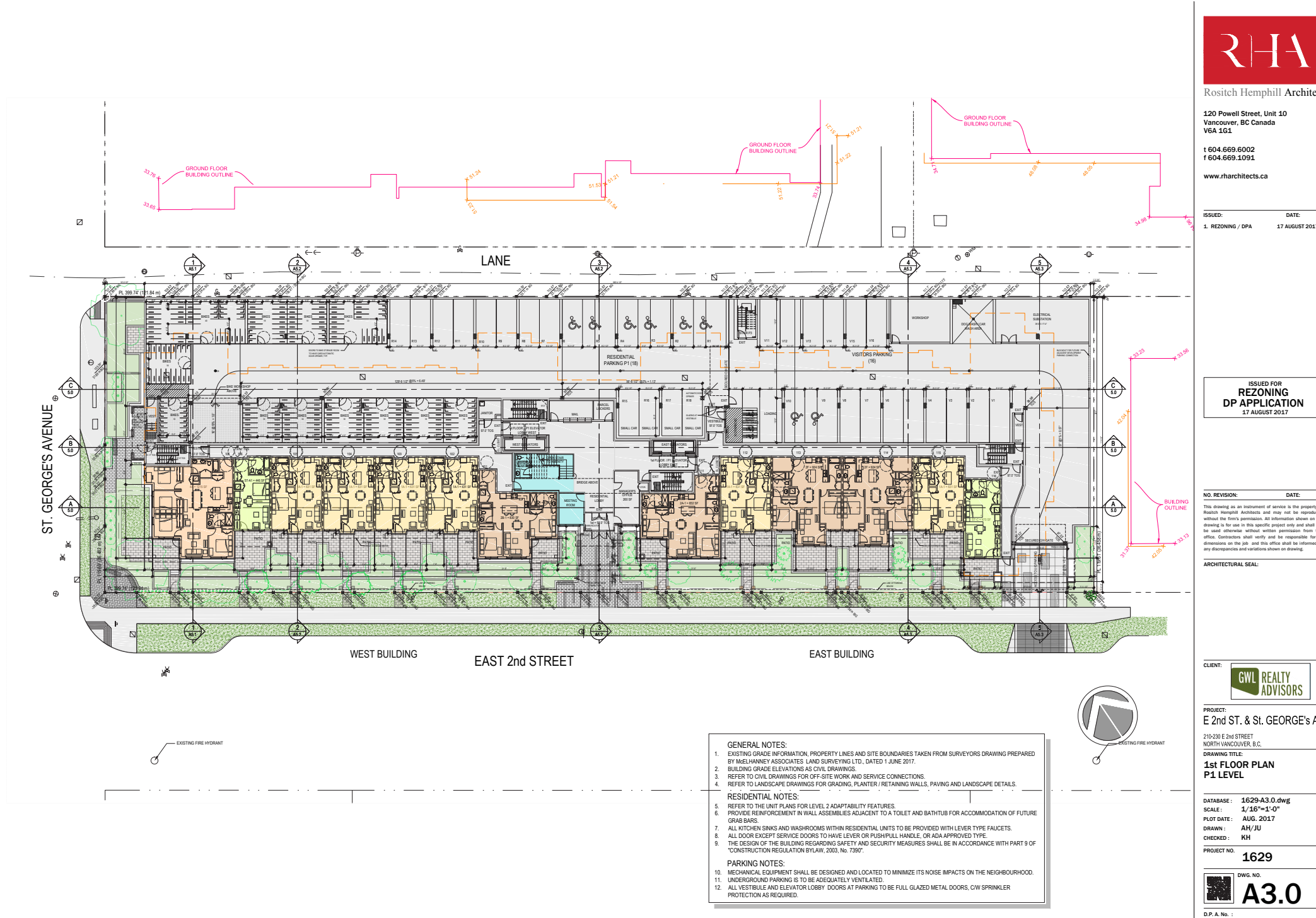
A2.0B

D.P. A. No. :

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6.4.1 Parking and Loading



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ARCHITECTURAL SEAL:



PROJECT: E 2nd ST. & ST. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: 1st FLOOR PLAN
P1 LEVEL

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

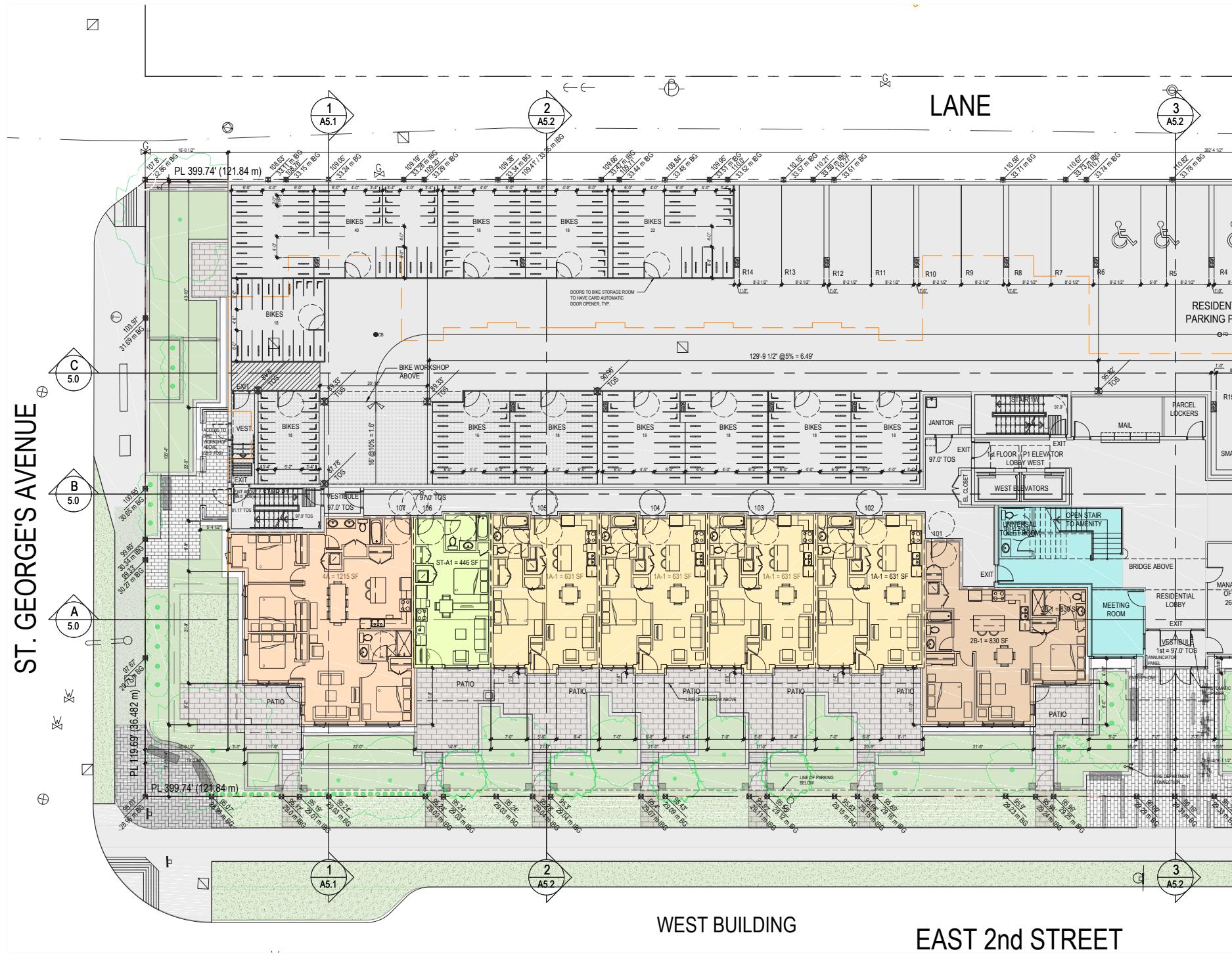
DWG. NO. A3.0

D.P. A. No. :

6.0 PROJECT DESIGN

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ARCHITECTURAL SEAL:



CLIENT: _____
 PROJECT: E 2nd St. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.
 DRAWING TITLE: 1st FLOOR PLAN WEST
 P1 LEVEL

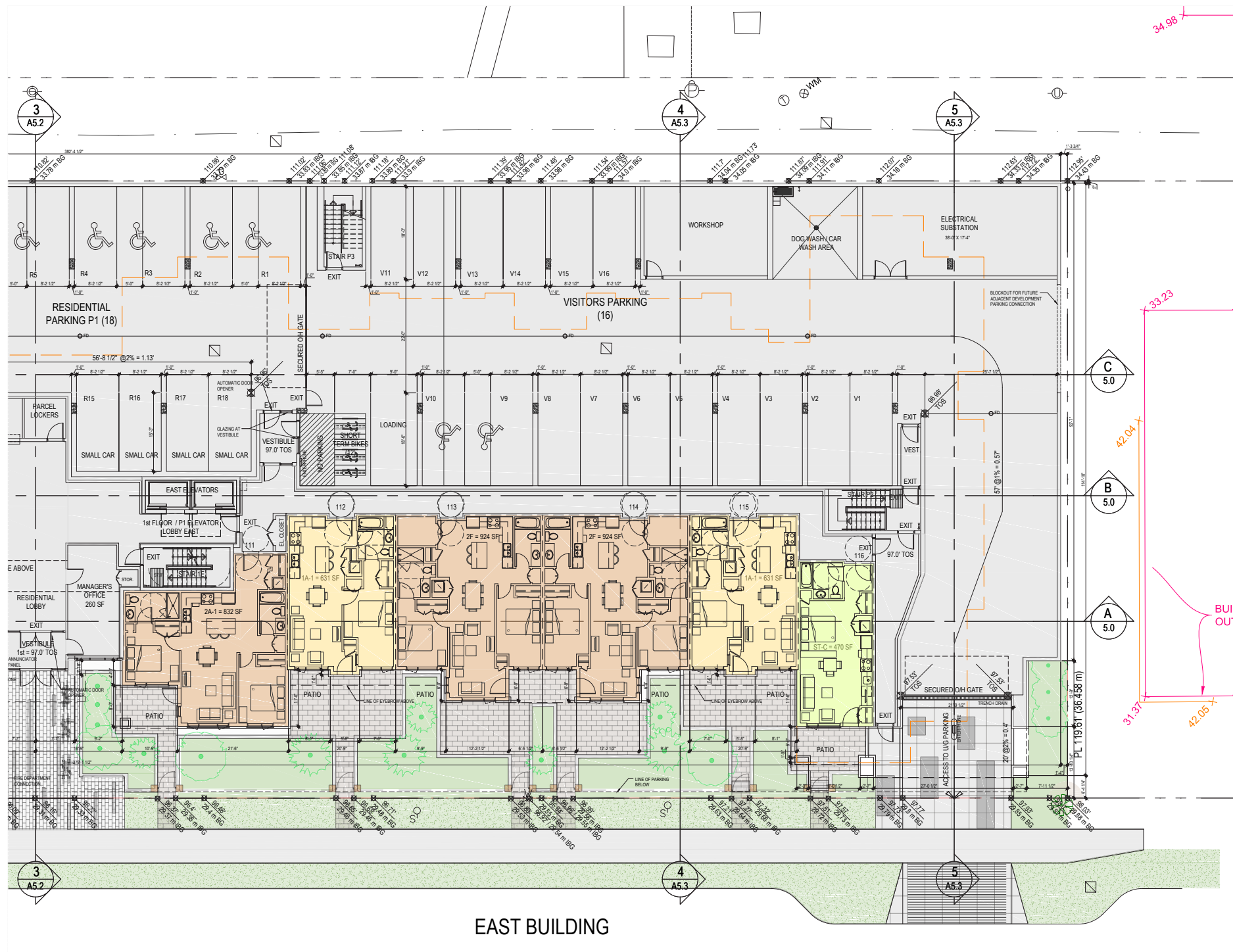
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DWG. NO. **A3.0A**
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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.1 Parking and Loading



EAST BUILDING



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CLIENT:
PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
1st FLOOR PLAN EAST
P1 LEVEL

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

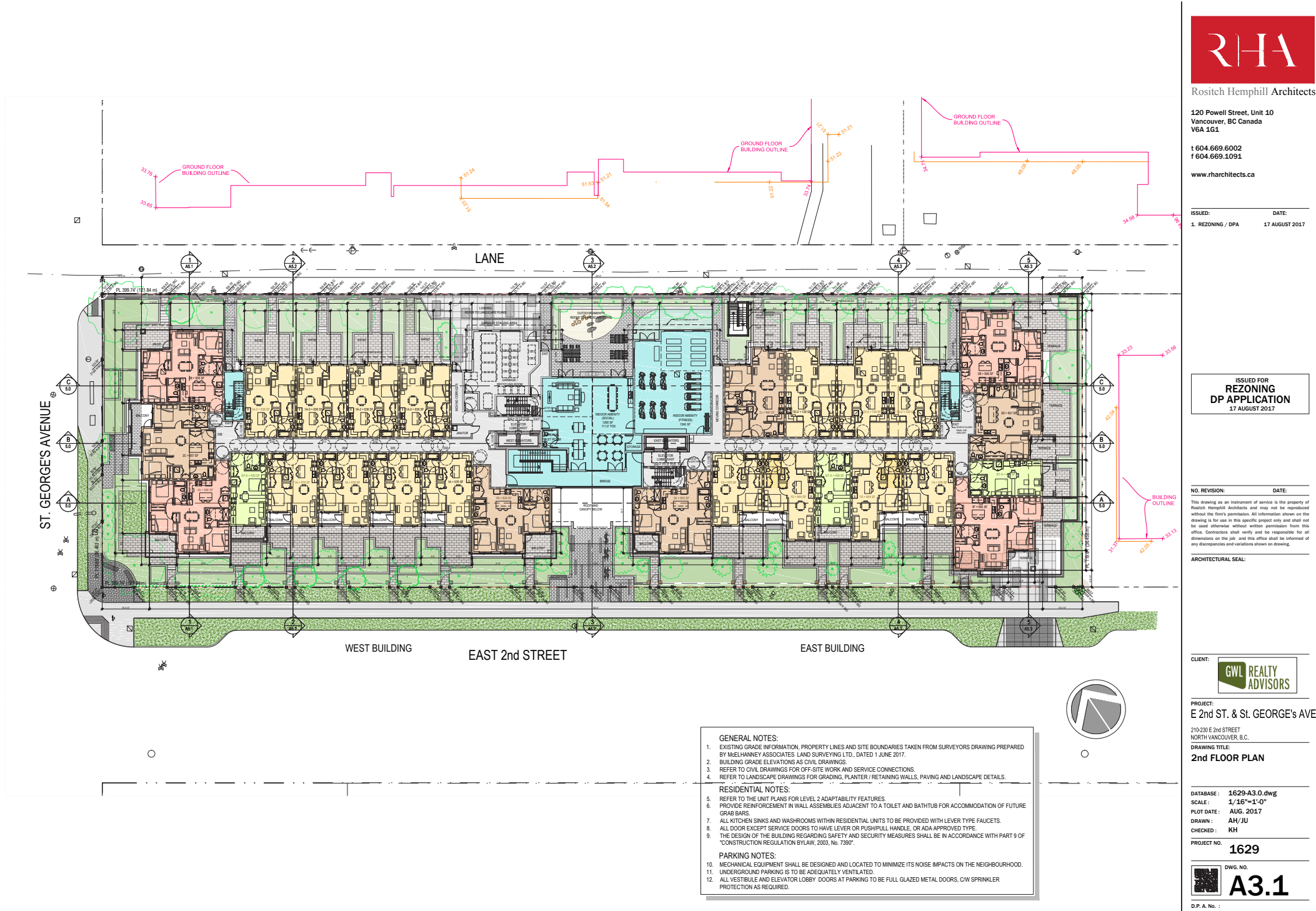
PROJECT NO. 1629

DWG. NO. A3.0B
D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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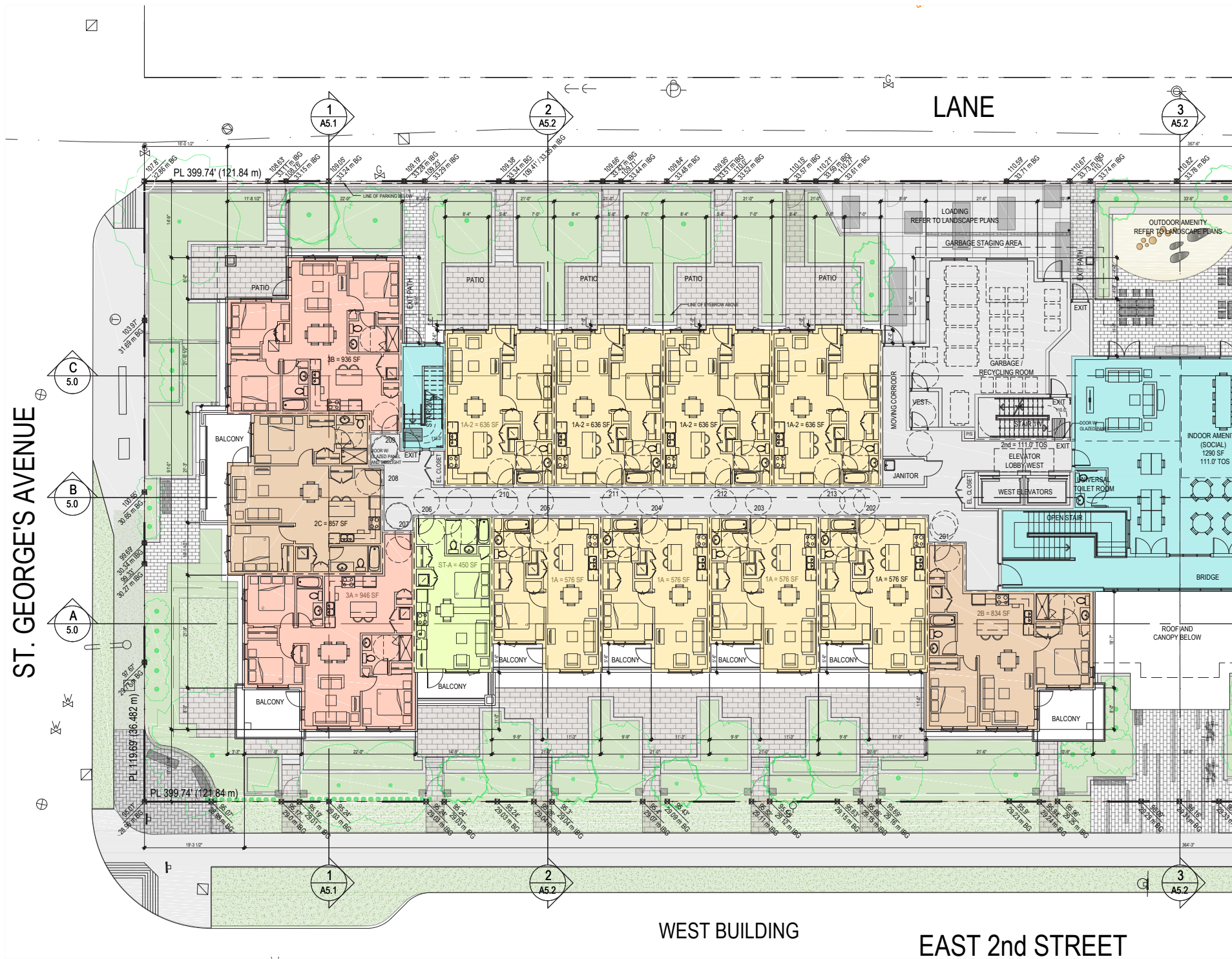
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6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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CLIENT: GWL REALTY ADVISORS
PROJECT: E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

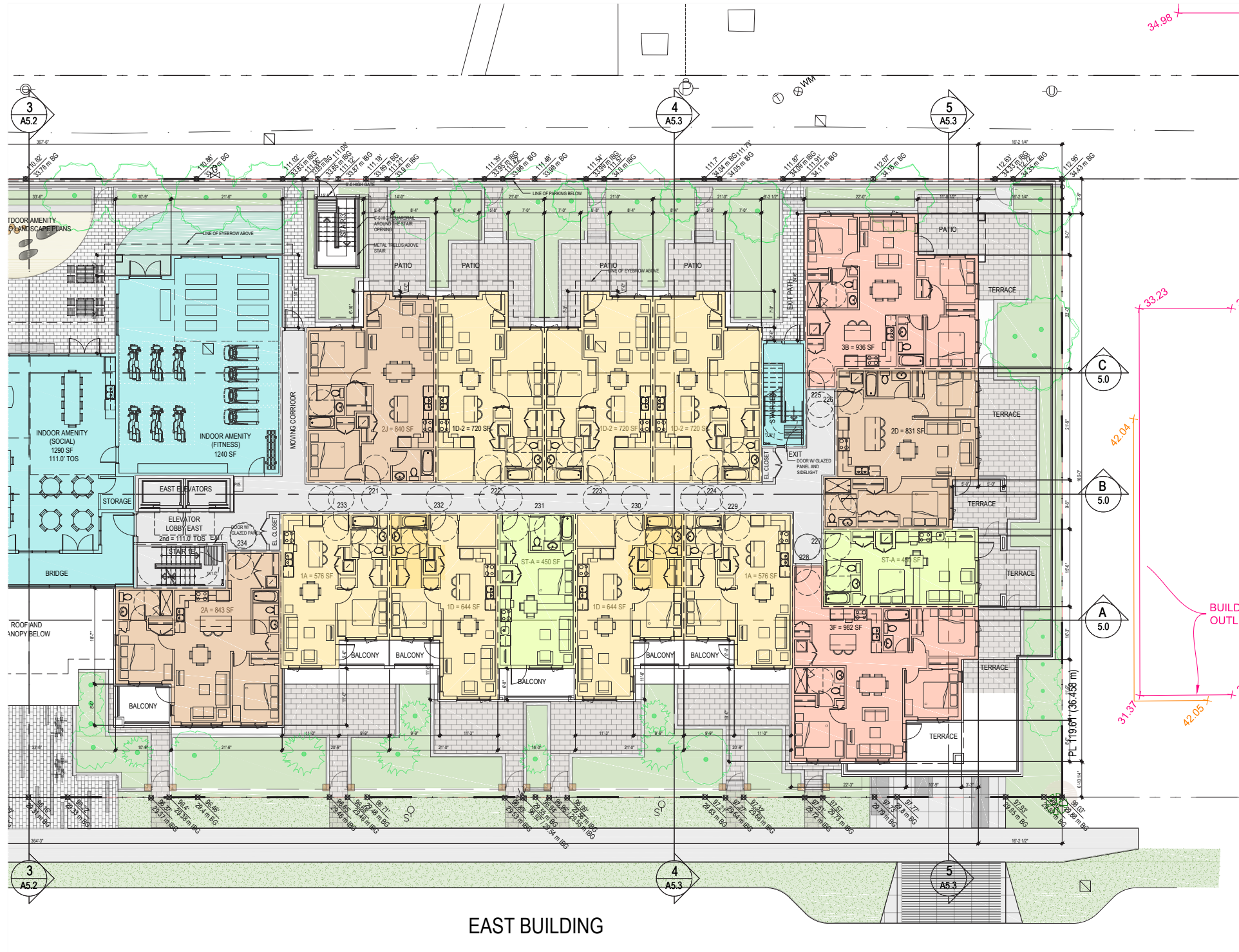
PROJECT NO. 1629

DWG. NO. A3.1A
D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



EAST BUILDING



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PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN EAST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
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PROJECT NO. 1629

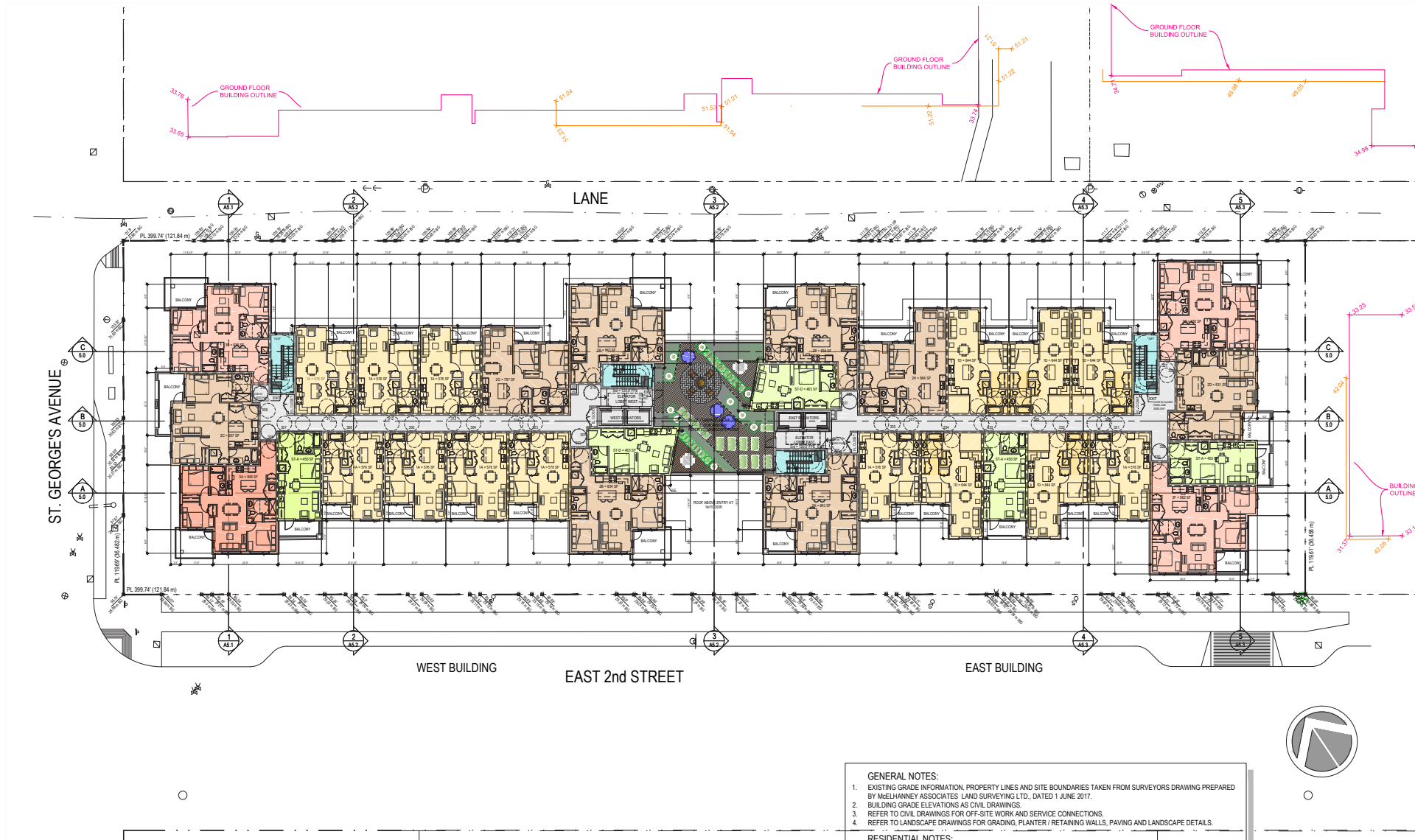
DWG. NO. A3.1B

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



- GENERAL NOTES:**
- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY McEWHANEY ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
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 - REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
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 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 7390".
- PARKING NOTES:**
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 - UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
3rd FLOOR PLAN

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

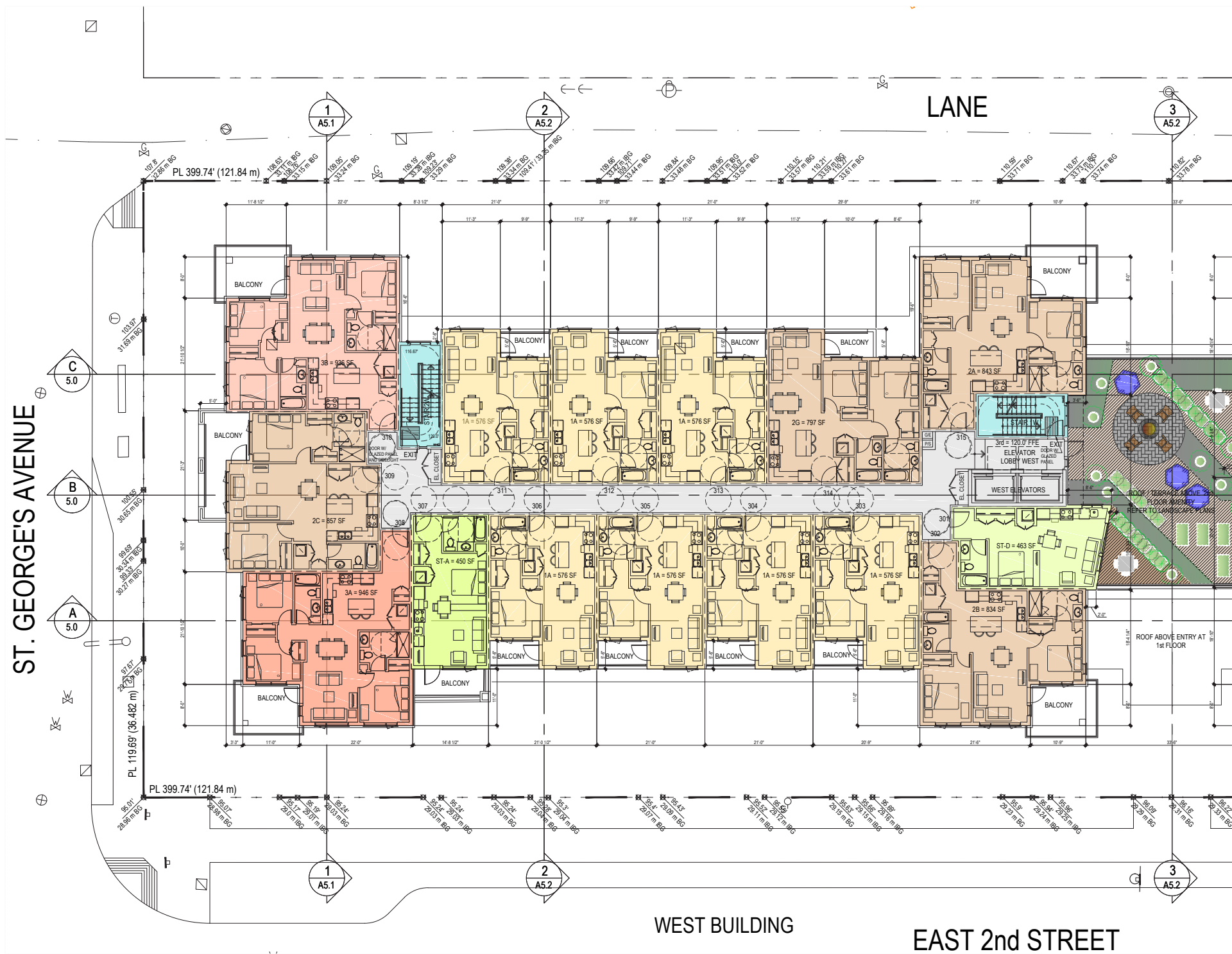
DWG. NO. A3.2

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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CLIENT: GWL REALTY ADVISORS

PROJECT: E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET

NORTH VANCOUVER, B.C.

DRAWING TITLE: 3rd FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH/JU

CHECKED: KH

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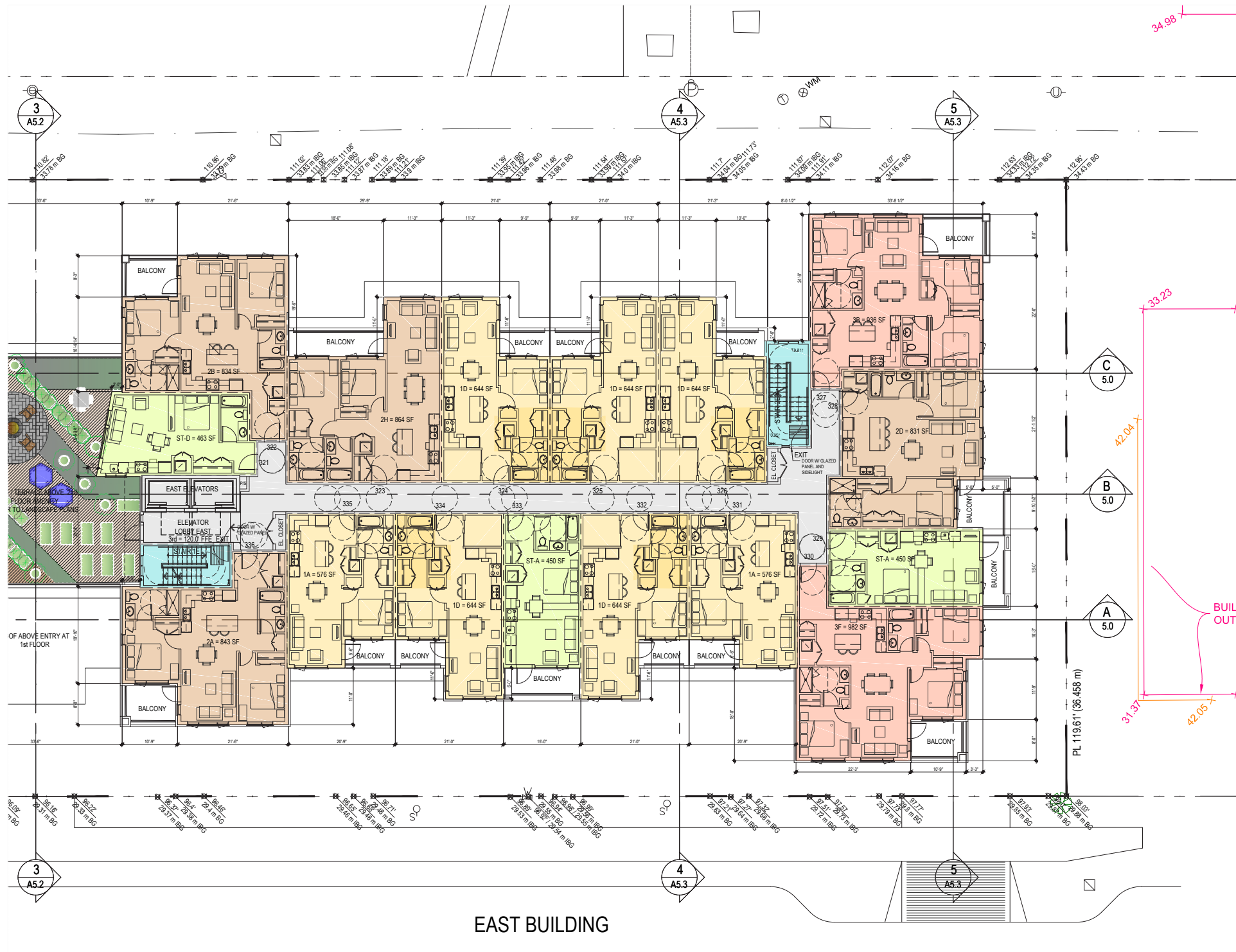
DWG. NO. A3.2A

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



EAST BUILDING



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CLIENT: GWL REALTY ADVISORS
 PROJECT: E 2nd ST. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.
 DRAWING TITLE: 3rd FLOOR PLAN EAST

DATABASE: 1629-A3.0.dwg
 SCALE: 1/8"=1'-0"
 PLOT DATE: AUG. 2017
 DRAWN: AH/JU
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 PROJECT NO. 1629

DWG. NO. A3.2B
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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans

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CLIENT: GWL REALTY ADVISORS

PROJECT: E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: 4th FLOOR PLAN

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO.: 1629

DWG. NO.: A3.3

D.P.A. No.:

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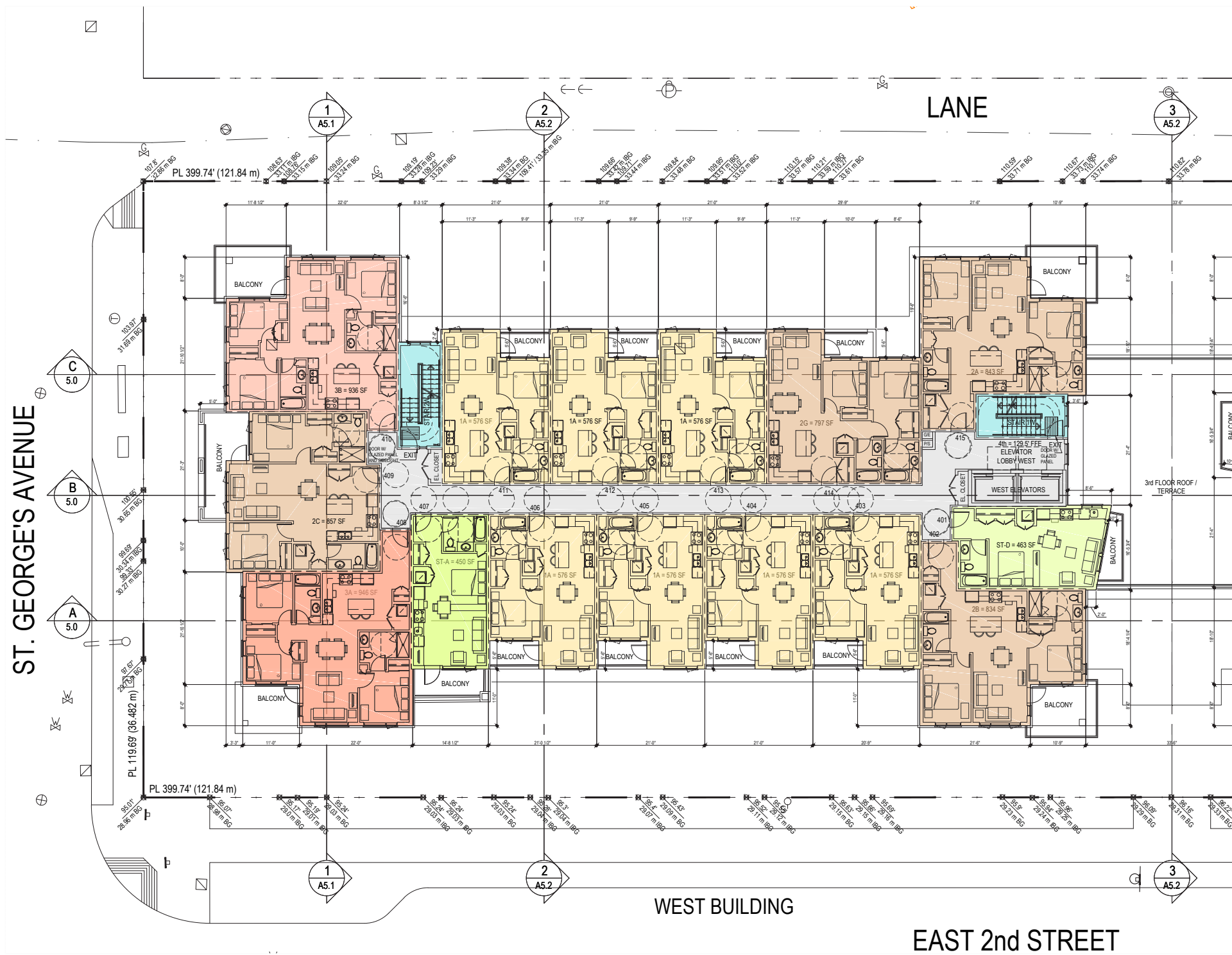
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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
4th FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

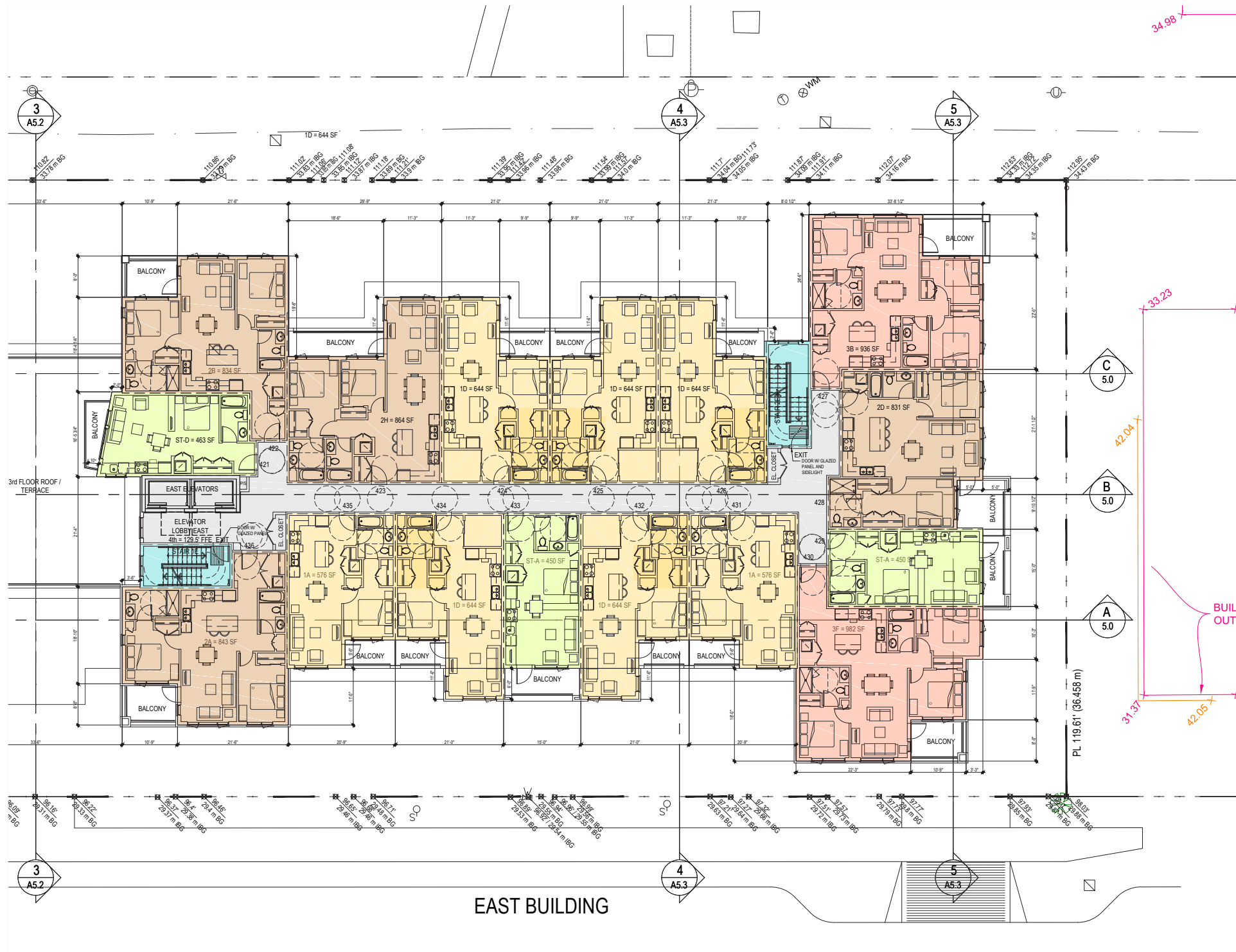
DWG. NO. A3.3A

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6.4.2 Floor Plans



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DP APPLICATION
17 AUGUST 2017

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ARCHITECTURAL SEAL:



CLIENT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
4th FLOOR PLAN EAST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

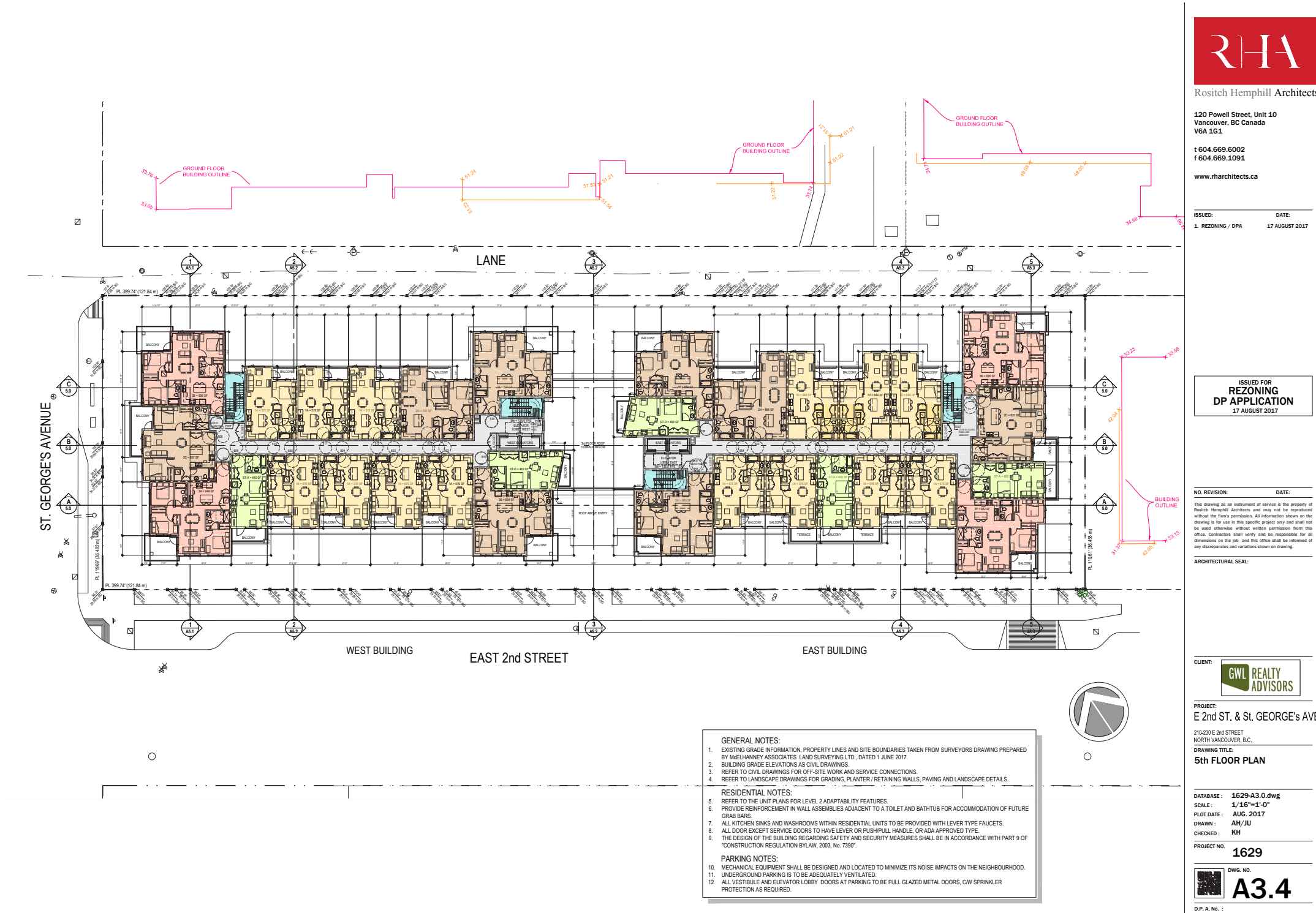
DWG. NO. A3.3B

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



120 Powell Street, Unit 10
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f 604.669.1091
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ARCHITECTURAL SEAL:



PROJECT: E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: 5th FLOOR PLAN

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO.: 1629

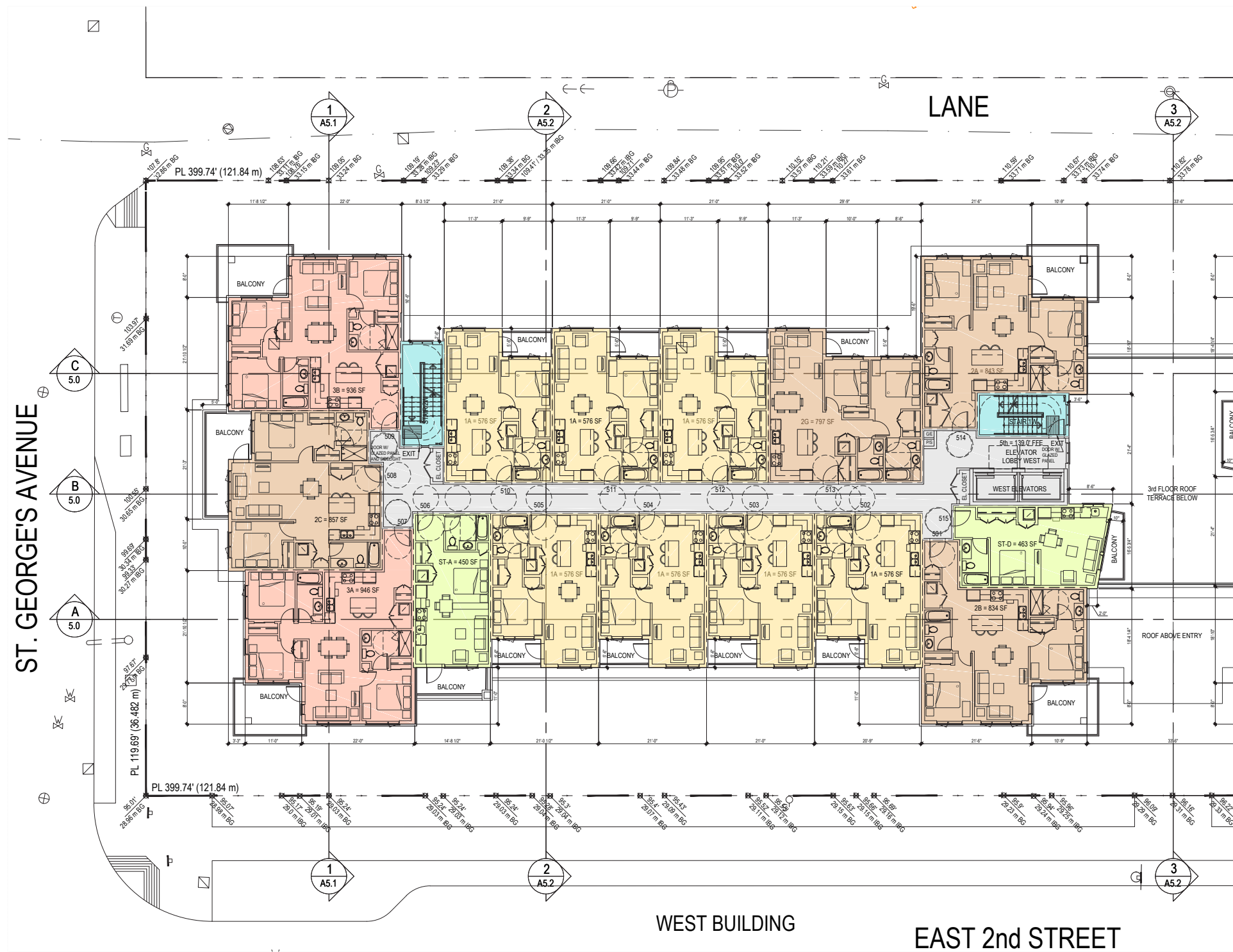
DWG. NO.: A3.4

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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ARCHITECTURAL SEAL:



PROJECT: E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: 5th FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

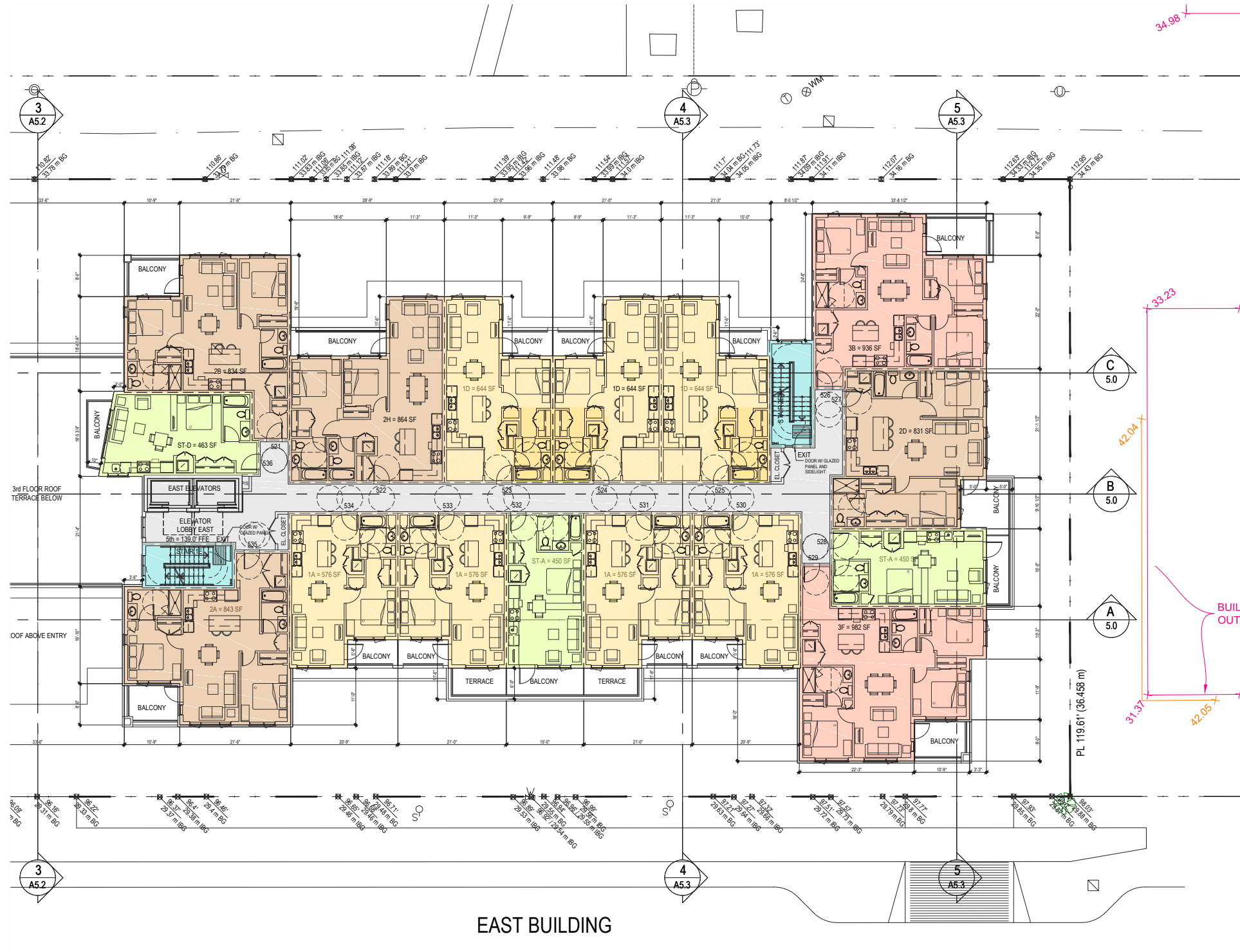
PROJECT NO. 1629

DWG. NO. A3.4A
D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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ARCHITECTURAL SEAL:



CLIENT: E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: 5th FLOOR PLAN EAST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

DWG. NO. A3.4B

D.P.A. No. :

EAST BUILDING

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans

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ARCHITECTURAL SEAL:

CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
6th FLOOR PLAN

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

DWG. NO. A3.5

D.P.A. No. :

GENERAL NOTES:

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY McLEHANEY ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
- BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
- REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
- REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.

RESIDENTIAL NOTES:

- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
- PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
- ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
- ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
- THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 7390".

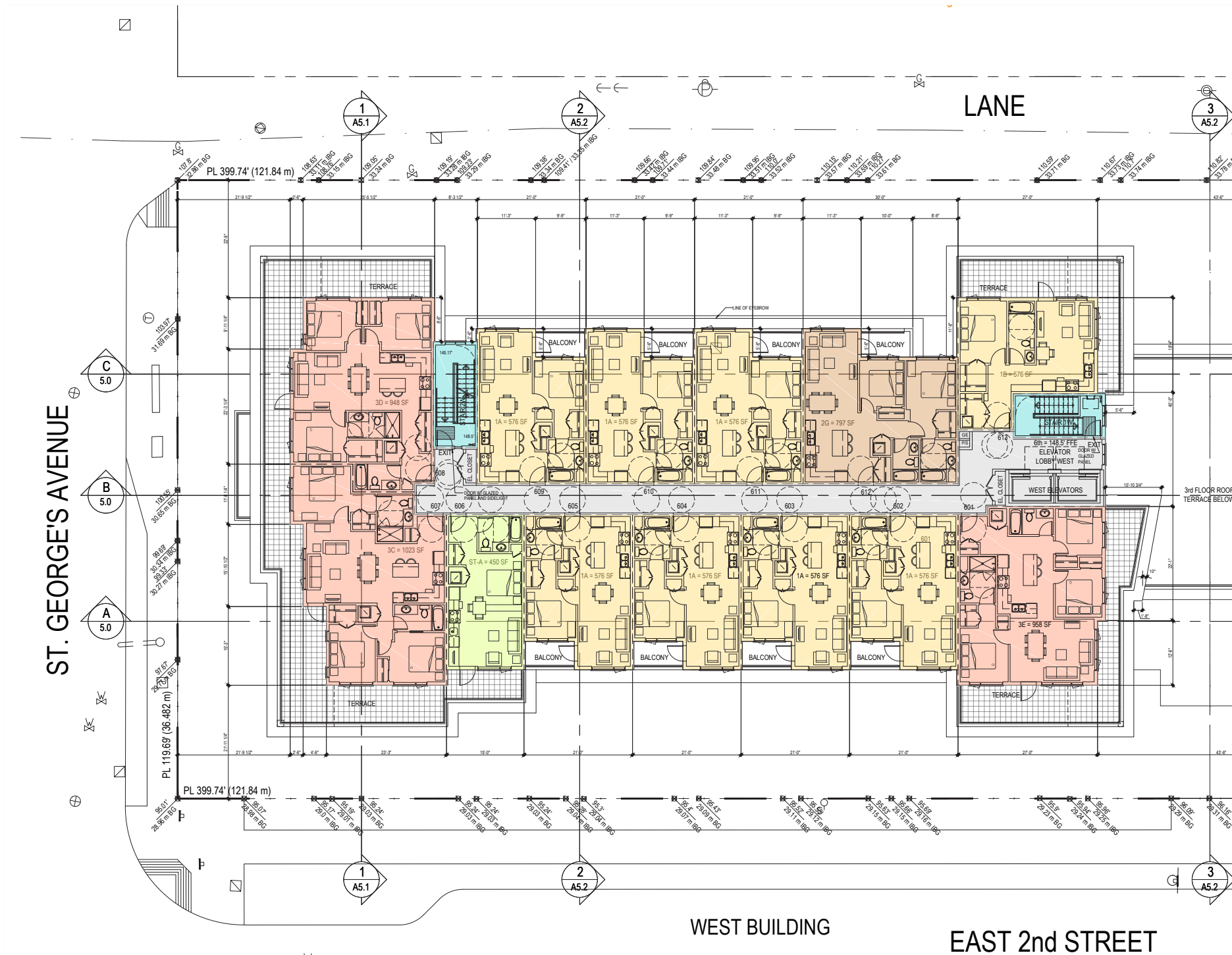
PARKING NOTES:

- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
- UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
- ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, CW SPRINKLER PROTECTION AS REQUIRED.

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



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CLIENT:

PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
6th FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH
PROJECT NO. 1629

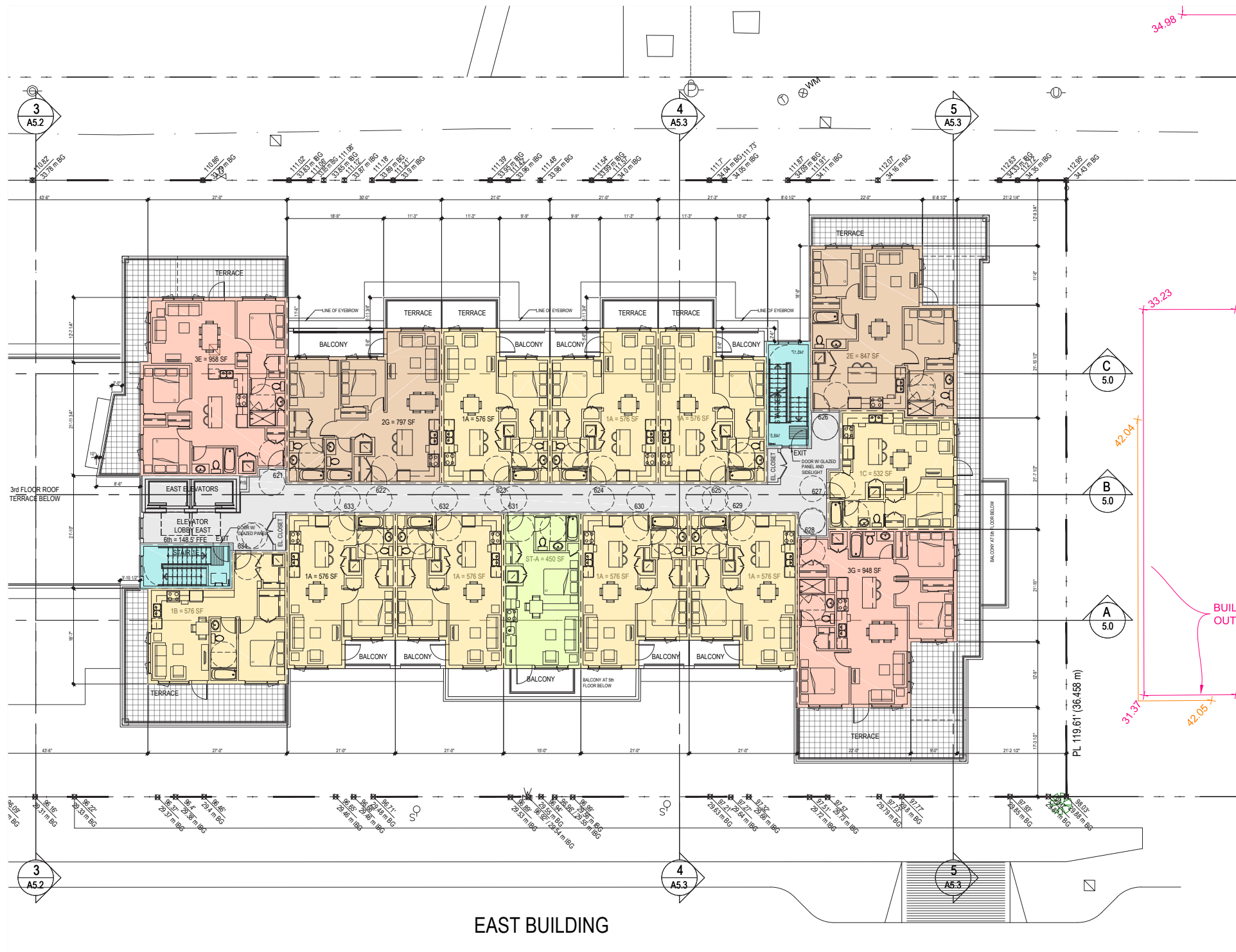
DWG. NO.
A3.5A

D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.2 Floor Plans



EAST BUILDING



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ARCHITECTURAL SEAL:



CLIENT:
 PROJECT:
 E 2nd ST. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.
 DRAWING TITLE:
6th FLOOR PLAN EAST

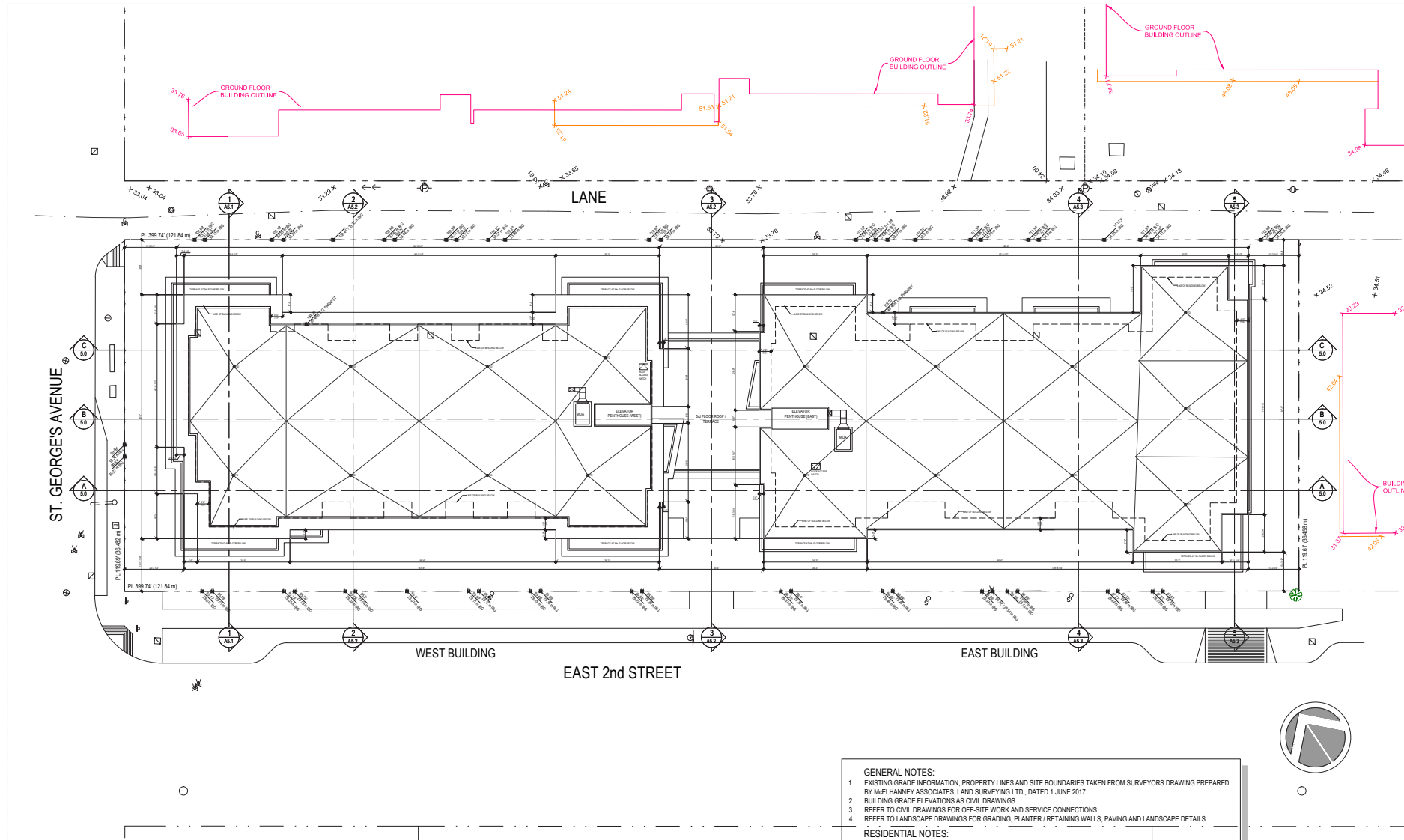
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 PLOT DATE: AUG. 2017
 DRAWN: AH/JU
 CHECKED: KH
 PROJECT NO. 1629

DWG. NO. **A3.5B**
 D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.3 Roof Plan



GENERAL NOTES:

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY McELHANNAY ASSOCIATES' LAND SURVEYING LTD., DATED 1 JUNE 2017.
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PARKING NOTES:

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CLIENT:
PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.

215-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
ROOF PLAN

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

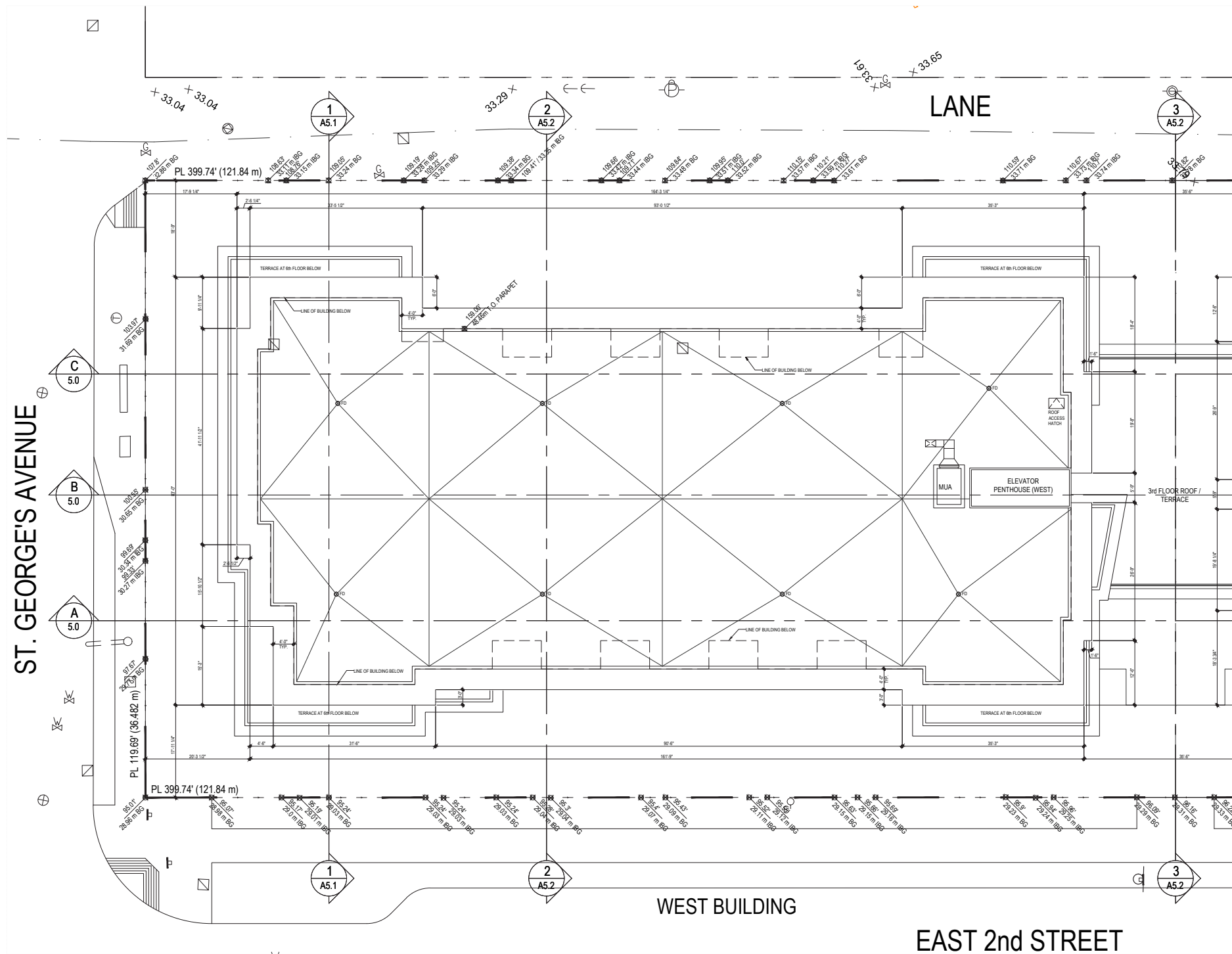
DWG. NO. A3.6

D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.3 Roof Plan



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CLIENT:
PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
ROOF PLAN WEST

DATABASE: 1629-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH/JU

CHECKED: KH

PROJECT NO. 1629

DWG. NO.

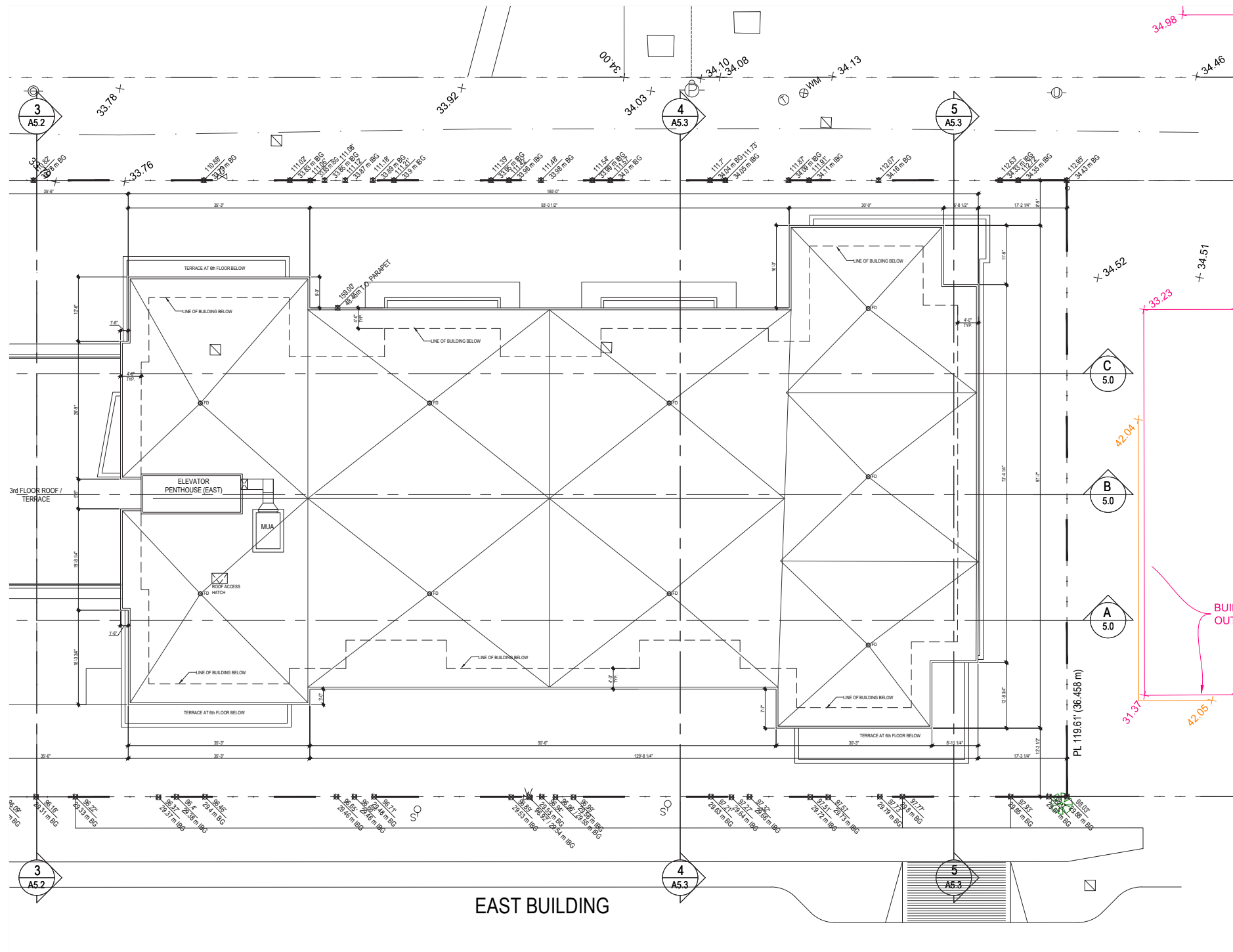
A3.6A

D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.3 Roof Plan



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ARCHITECTURAL SEAL:



CLIENT: GWL REALTY ADVISORS

PROJECT: E 2nd ST. & ST. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: ROOF PLAN EAST

DATABASE: 1629-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH/JU

CHECKED: KH

PROJECT NO. 1629

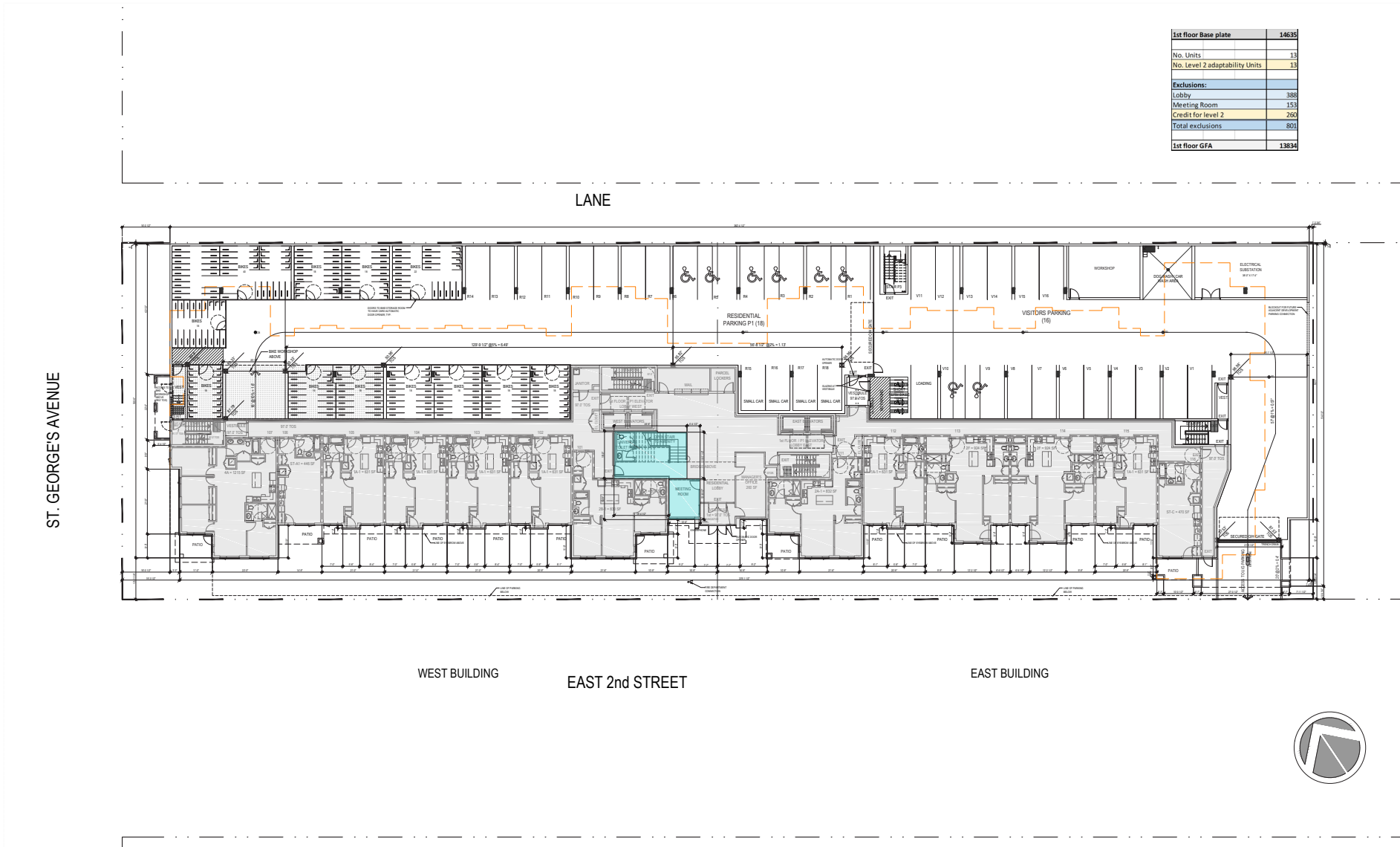
DWG. NO. A3.6B

D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
1st FLOOR PLAN
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

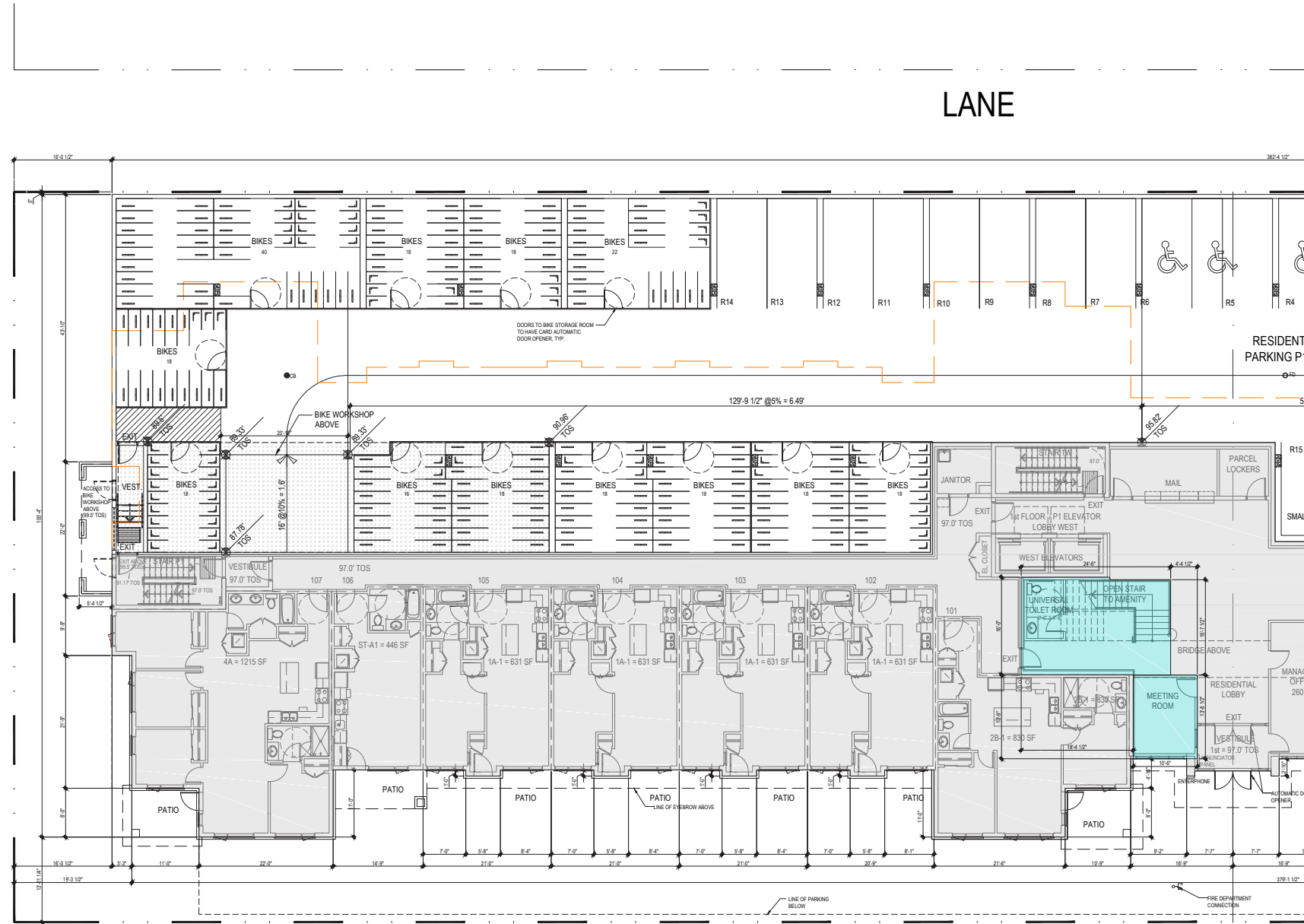
DWG. NO. GFA-1
D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



WEST BUILDING

EAST 2nd STREET

1st floor Base plate	14630
No. Units	13
No. Level 2 adaptability Units	15
Exclusions:	
Lobby	388
Meeting Room	153
Credit for level 2	266
Total exclusions	807
1st floor GFA	13824

LANE



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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
1st FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO.

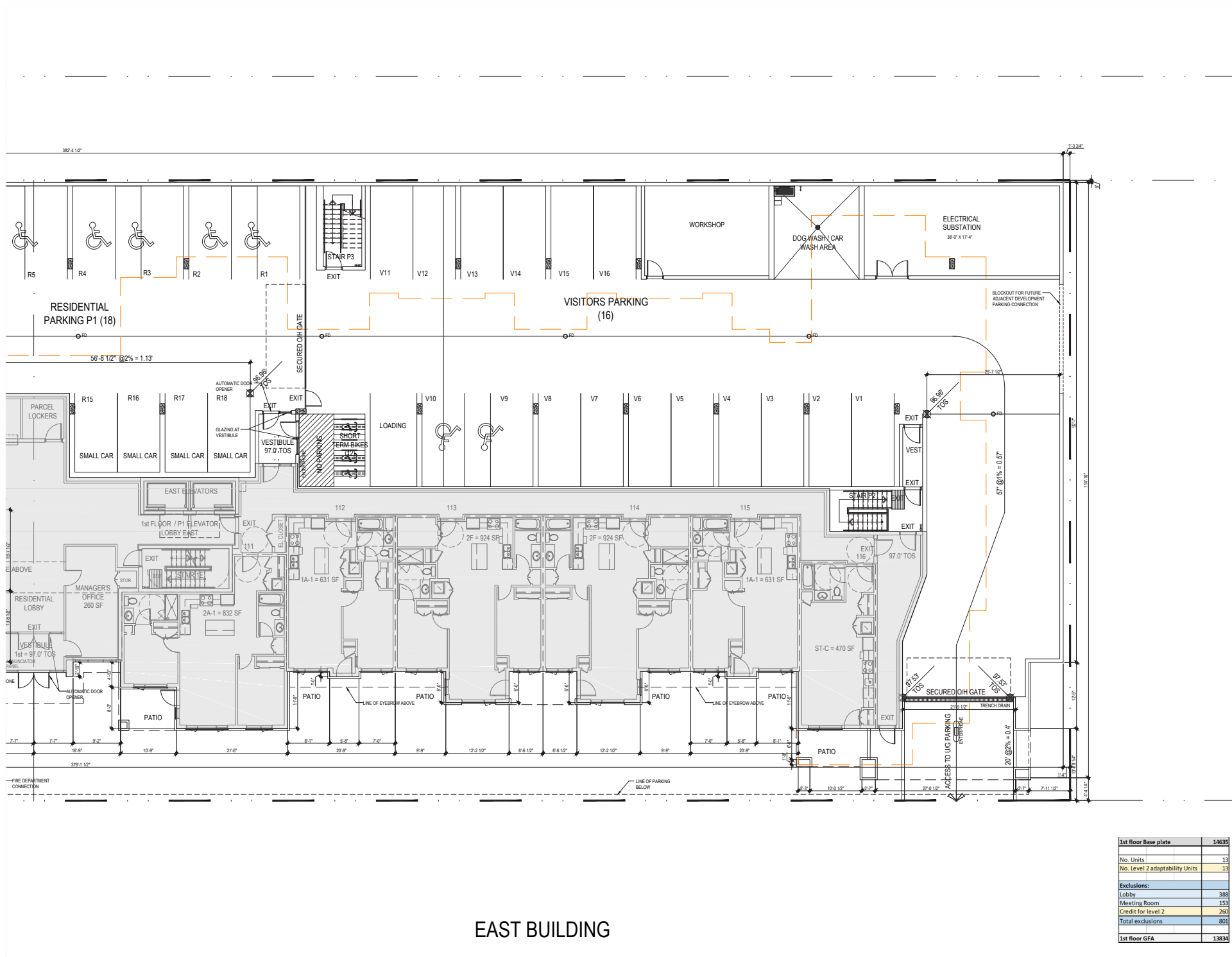
GFA-1A

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



1st floor Base plate	14635
No. Units	13
No. Level 2 adaptability Units	13
Exclusions:	
Lobby	388
Meeting Room	153
Credit for level 2	260
Total exclusions	801
1st floor GFA	13834



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ARCHITECTURAL SEAL



PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
1st FLOOR PLAN EAST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH

CHECKED: KH

PROJECT NO. 1629

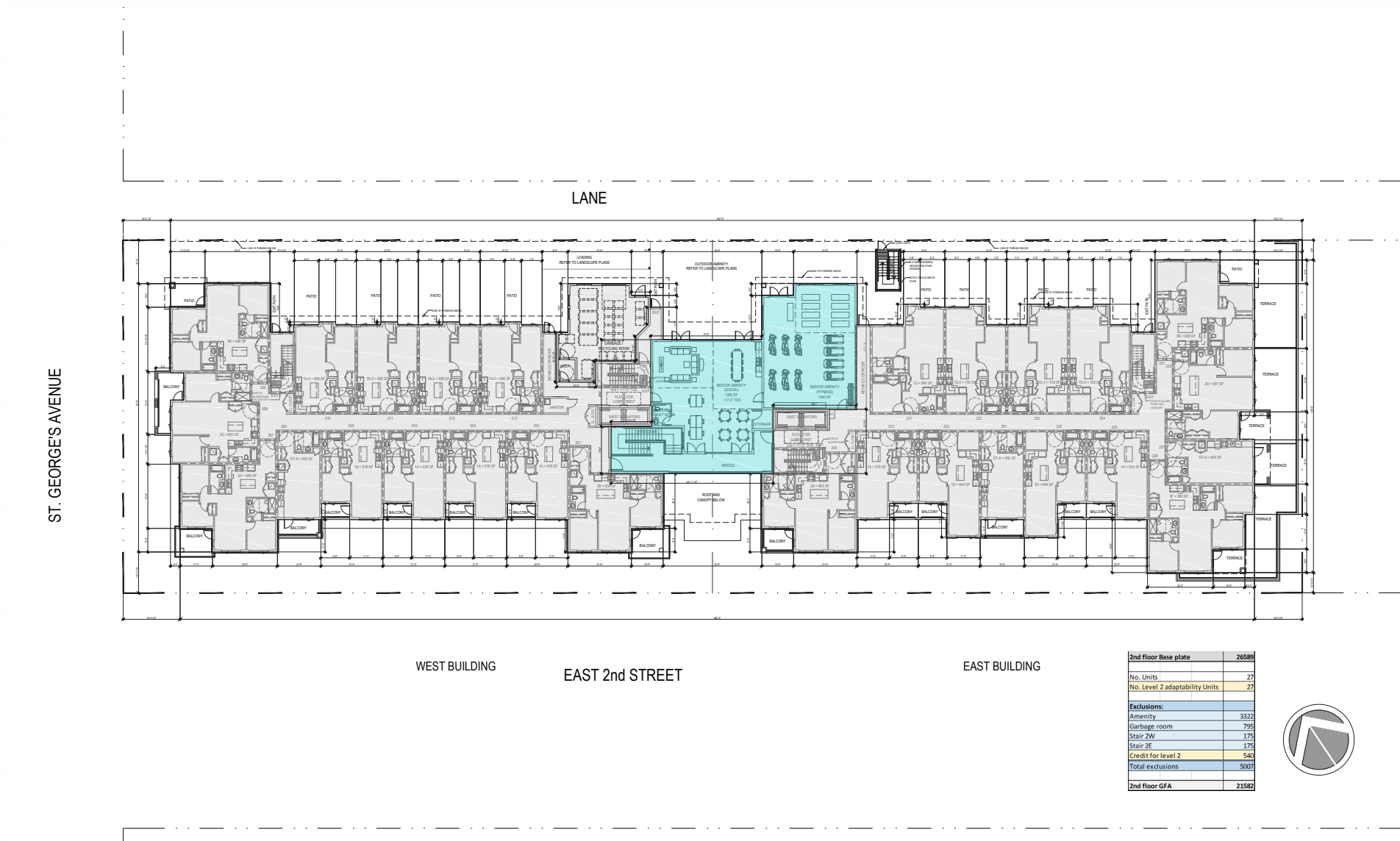
DWG. NO. **GFA-1B**

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



2nd floor Base plate	26580
No. Units	27
No. Level 2 adaptability Units	27
Exclusions:	
Amenity	3322
Garbage room	795
Stair 2W	175
Stair 2E	175
Credit for level 2	540
Total exclusions	5007
2nd floor GFA	21582



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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629



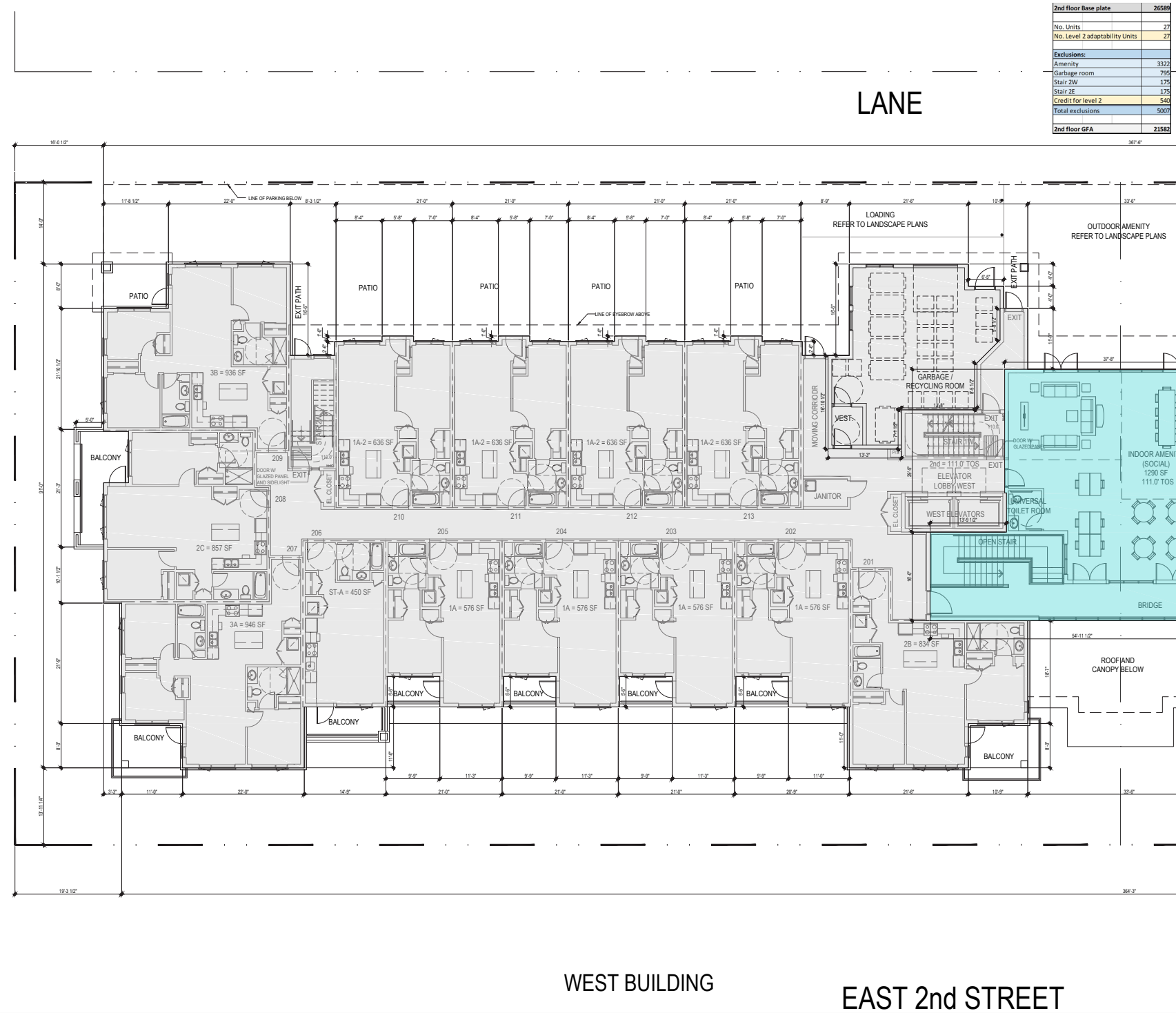
D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



2nd floor Base plate	26589
No. Units	27
No. Level 2 adaptability Units	27
Exclusions:	
Amenity	3322
Garbage room	795
Stair 2W	175
Stair 2E	175
Credit for level 2	546
Total exclusions	5007
2nd floor GFA	21582



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17 AUGUST 2017

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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. GFA-2A

D.P.A. No. :

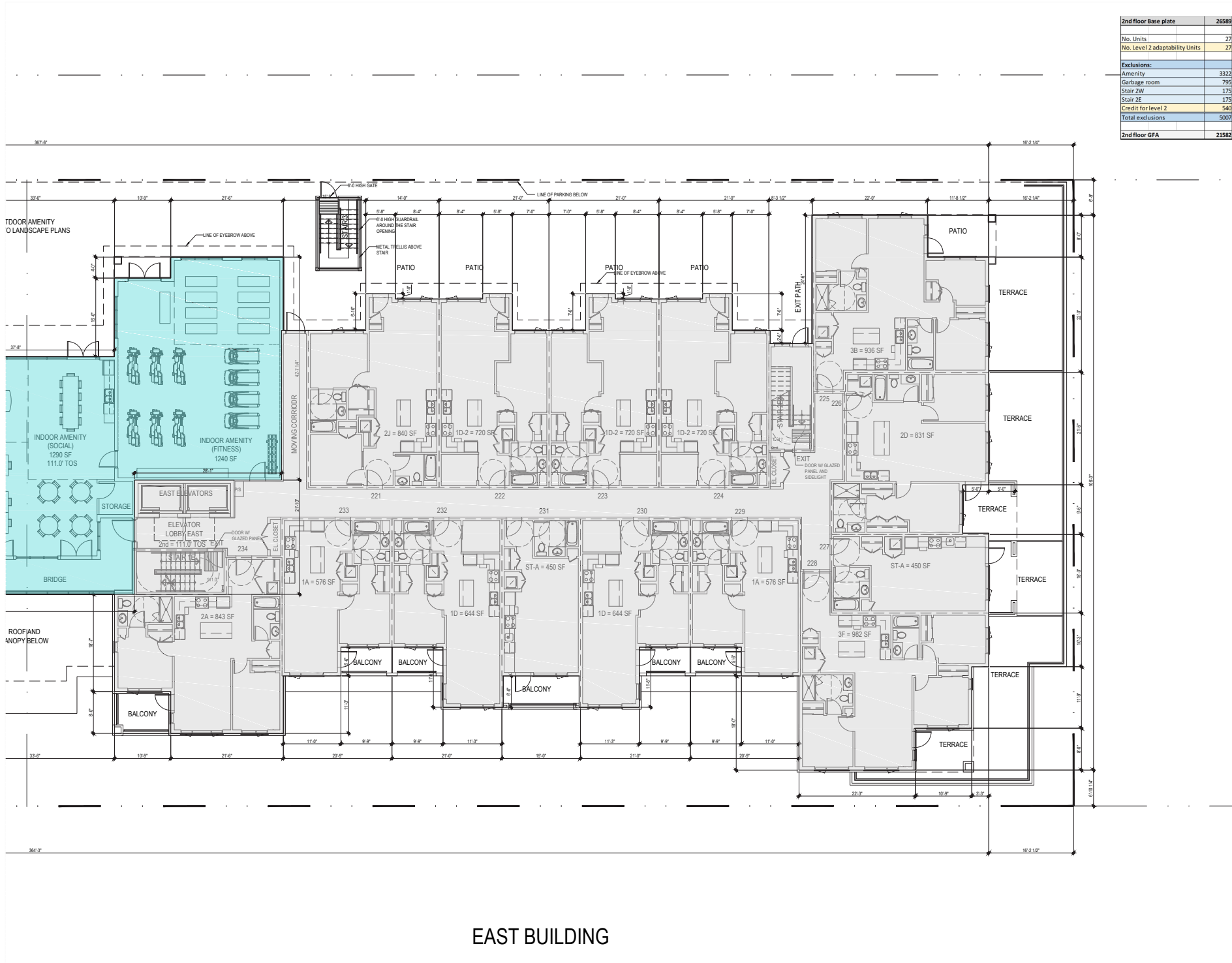
WEST BUILDING

EAST 2nd STREET

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



EAST BUILDING



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CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN EAST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. GFA-2B

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

W 3rd floor Base plate	11703	E 3rd floor Base plate	12651
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	283	Credit for level 2	300
Total exclusions	609	Total exclusions	626
W 3rd floor GFA	11094	E 3rd floor GFA	12025



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PROJECT:
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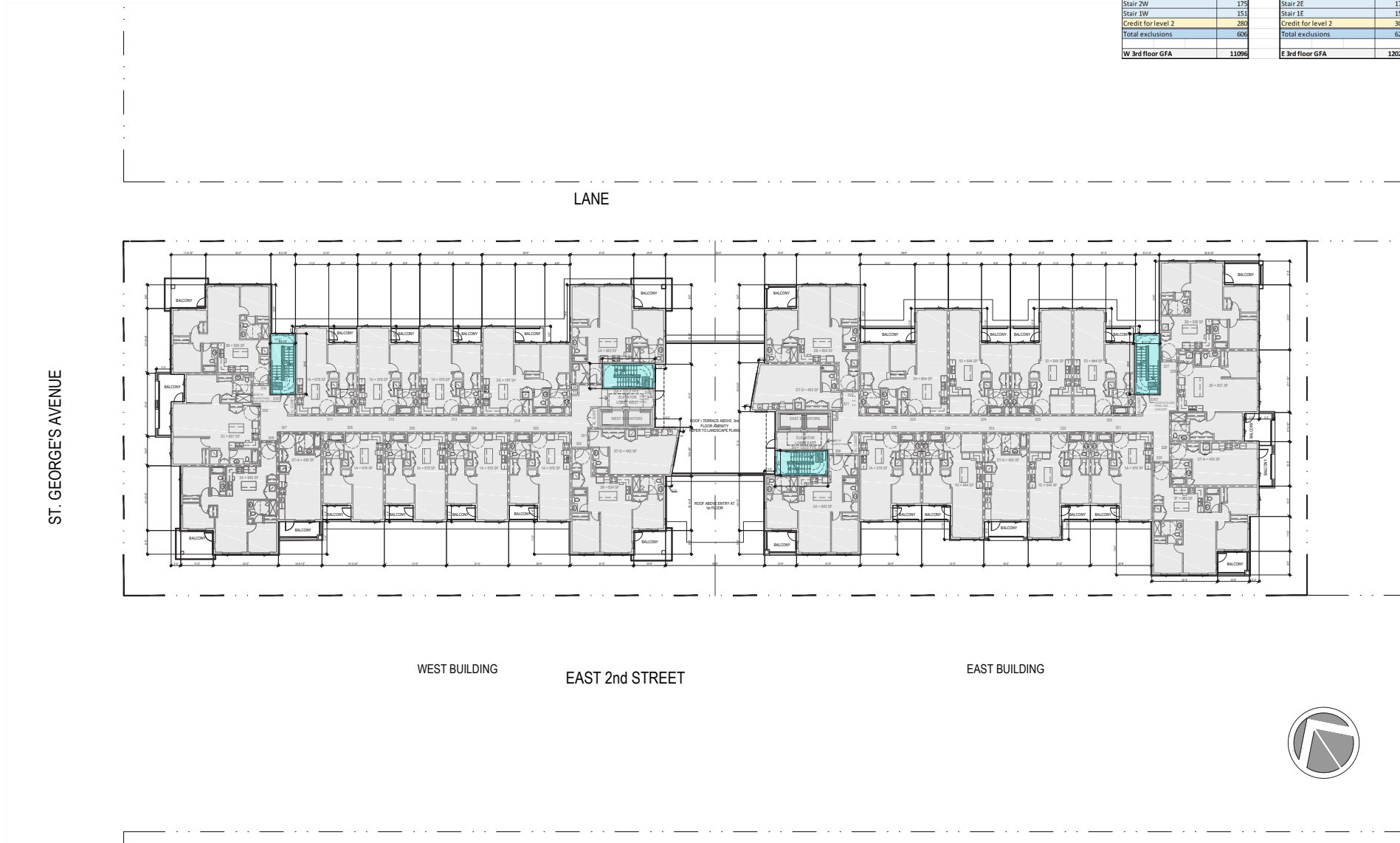
DRAWING TITLE:
**3rd FLOOR PLAN
AREA OVERLAY**

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. **GFA-3**

D.P.A. No. :

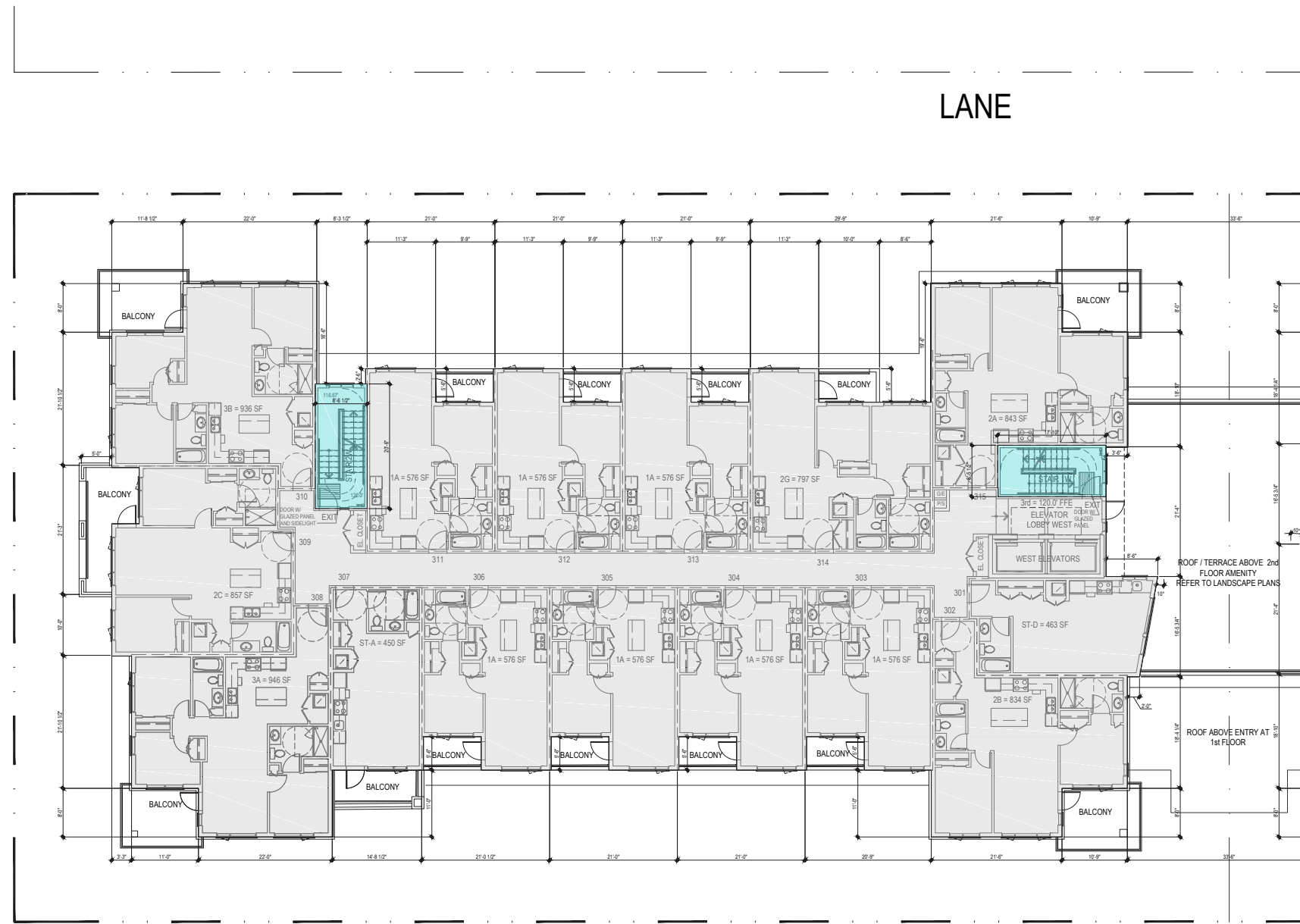


6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



LANE

WEST BUILDING

EAST 2nd STREET



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PROJECT:
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210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
3rd FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH

CHECKED: KH

PROJECT NO. 1629

DWG. NO.

GFA-3A

D.P.A. No. :

W 3rd floor Base plate 11702		E 3rd floor Base plate 12651	
No. Units	15	No. Units	15
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 3rd floor GFA	11096	E 3rd floor GFA	12025

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



EAST BUILDING

W 3rd floor Base plate		E 3rd floor Base plate	
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 3rd floor GFA	11906	E 3rd floor GFA	12025



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PROJECT:
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210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
3rd FLOOR PLAN EAST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. **GFA-3B**

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

W 4th floor Base plate	11702	E 4th floor Base plate	12651
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 4th floor GFA	11096	E 4th floor GFA	12025



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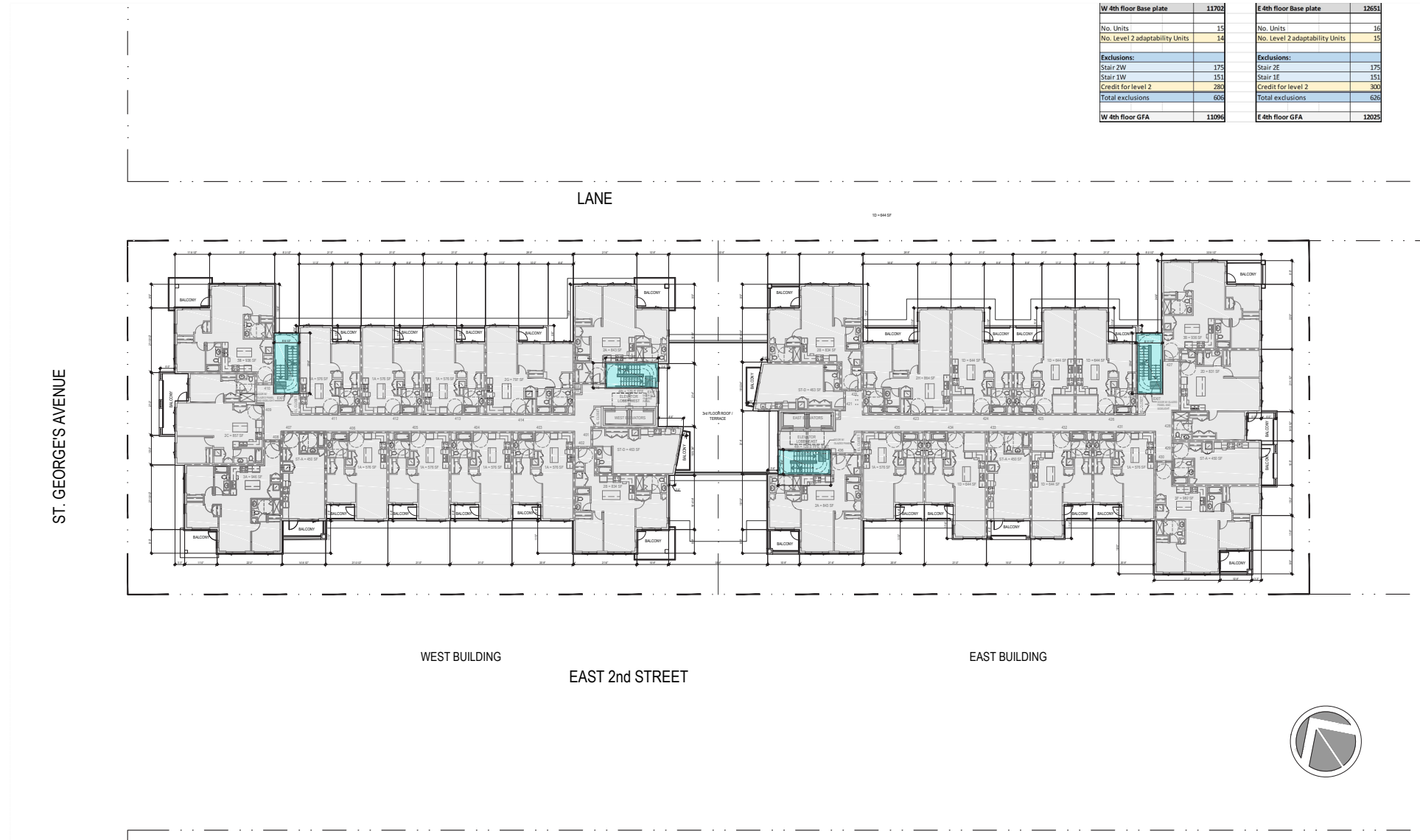
DRAWING TITLE:
**4th FLOOR PLAN
AREA OVERLAY**

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. **GFA-4**

D.P.A. No. :



6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



LANE

WEST BUILDING

EAST 2nd STREET



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PROJECT:
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DRAWING TITLE:
4th FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. GFA-4A

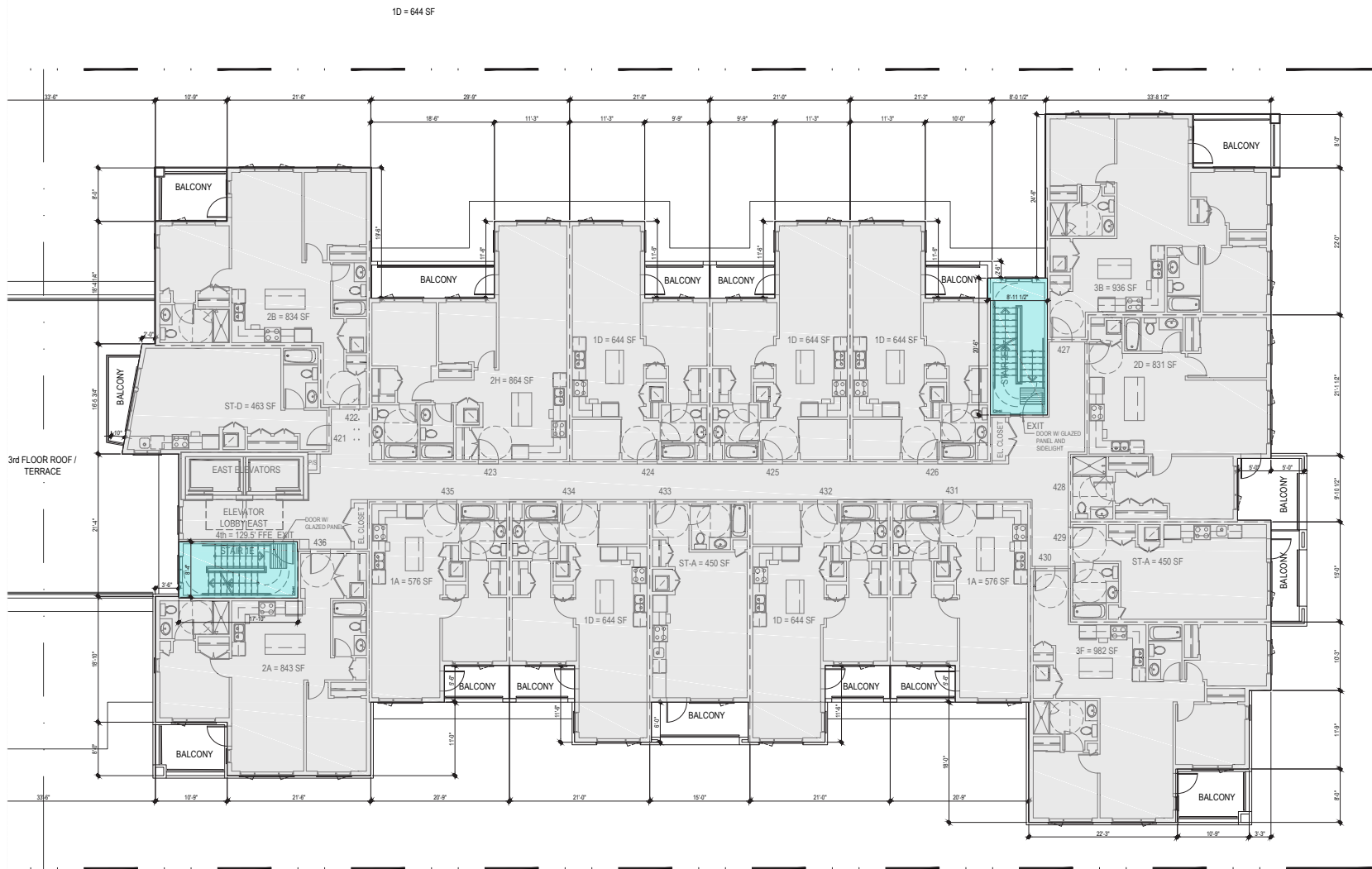
D.P.A. No. :

W 4th floor Base plate	11702	E 4th floor Base plate	12651
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 4th floor GFA	11096	E 4th floor GFA	12025

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



W 4th floor Base plate	11702	E 4th floor Base plate	12651
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit For level 2	280	Credit For level 2	300
Total exclusions	606	Total exclusions	626
W 4th floor GFA	11096	E 4th floor GFA	12025

EAST BUILDING



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CLIENT: GWL REALTY ADVISORS
PROJECT: E 2nd ST. & St. GEORGE'S AVE.
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NORTH VANCOUVER, B.C.

DRAWING TITLE:
**4th FLOOR PLAN EAST
AREA OVERLAY**

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. **GFA-4B**

D.P.A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

W 5th floor Base plate	11702	E 5th floor Base plate	12516
No. Units	15	No. Units	15
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 3W	151	Stair 3E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 5th floor GFA	11096	E 5th floor GFA	11890



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PROJECT:
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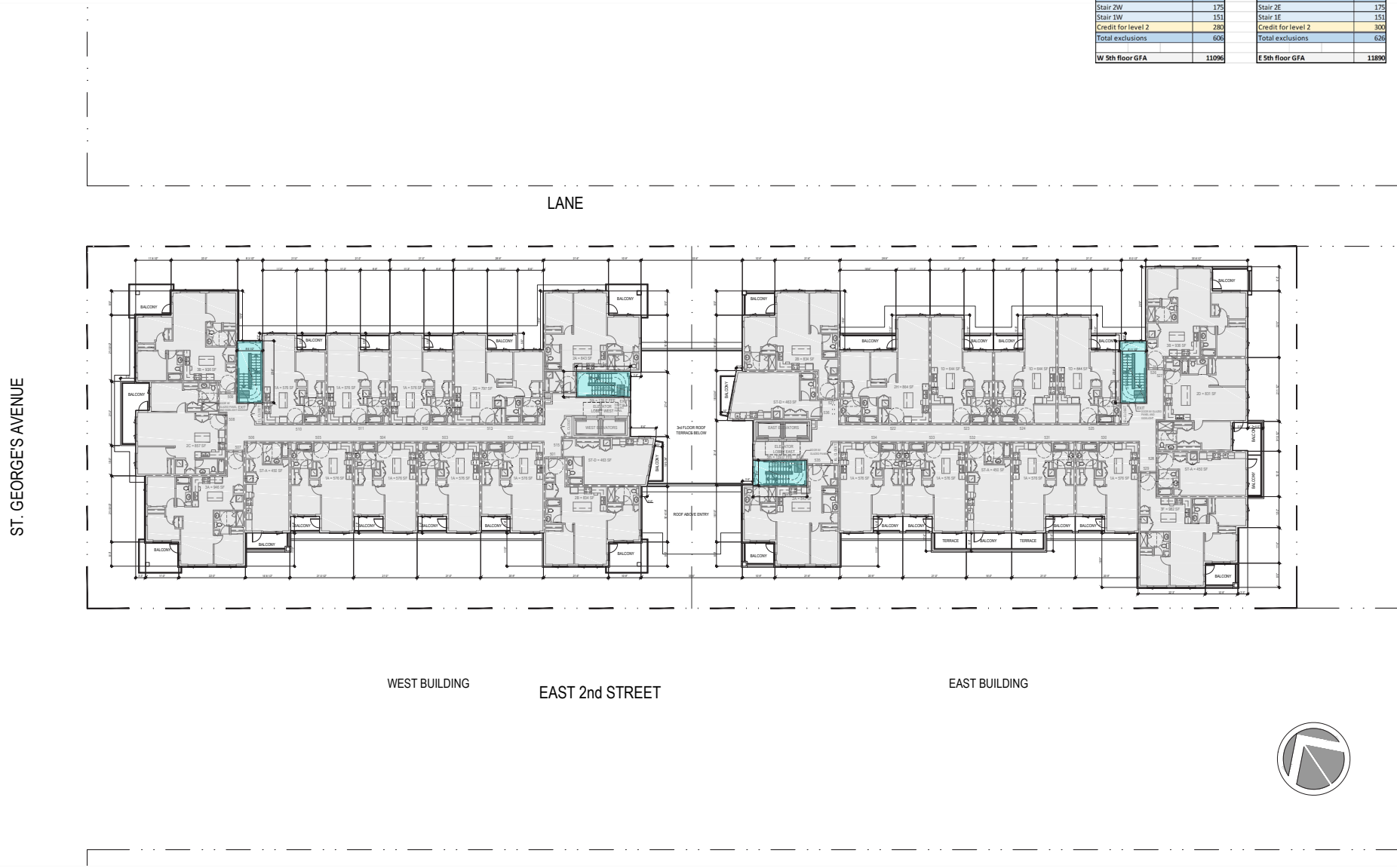
DRAWING TITLE:
5th FLOOR PLAN
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. GFA-5

D.P.A. No. :



6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



LANE

WEST BUILDING

EAST 2nd STREET



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DRAWING TITLE:
5th FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
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PROJECT NO. 1629

DWG. NO. GFA-5A

D.P.A. No. :

W 5th floor Base plate	11702	E 5th floor Base plate	12516
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 5th floor GFA	11096	E 5th floor GFA	11890

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



EAST BUILDING

W 5th floor Base plate	11702	E 5th floor Base plate	12516
No. Units	15	No. Units	16
No. Level 2 adaptability Units	14	No. Level 2 adaptability Units	15
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 3W	151	Stair 1E	151
Credit for level 2	280	Credit for level 2	300
Total exclusions	606	Total exclusions	626
W 5th floor GFA	11096	E 5th floor GFA	11890



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 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.

DRAWING TITLE:
**5th FLOOR PLAN EAST
 AREA OVERLAY**

DATABASE: 1629-A3.0.dwg
 SCALE: 1/8"=1'-0"
 PLOT DATE: AUG. 2017
 DRAWN: AH
 CHECKED: KH
 PROJECT NO. 1629

DWG. NO.
GFA-5B
 D.P. A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



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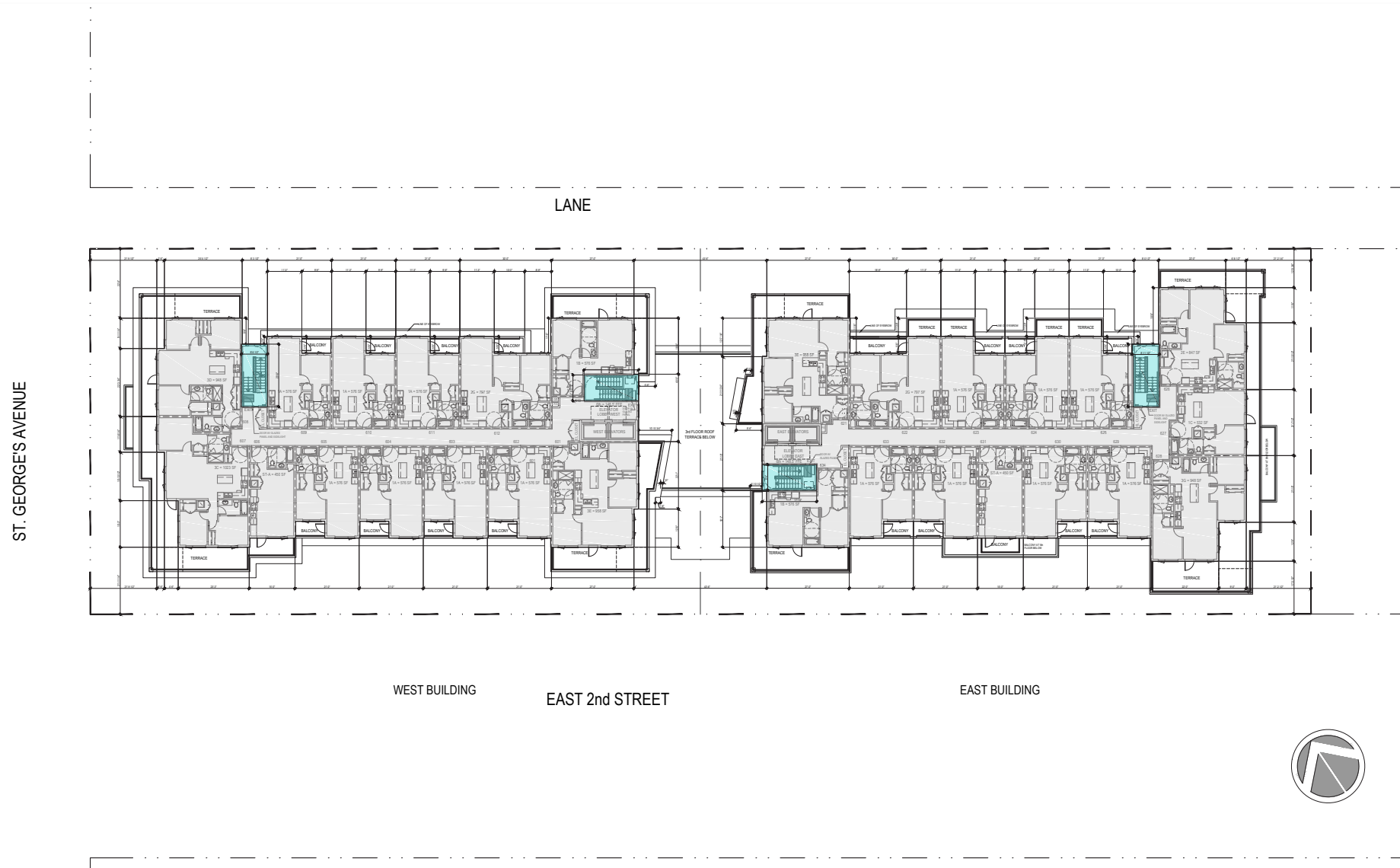
DRAWING TITLE:
**6th FLOOR PLAN
AREA OVERLAY**

DATABASE: 1629-A3.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629



D.P.A. No. :



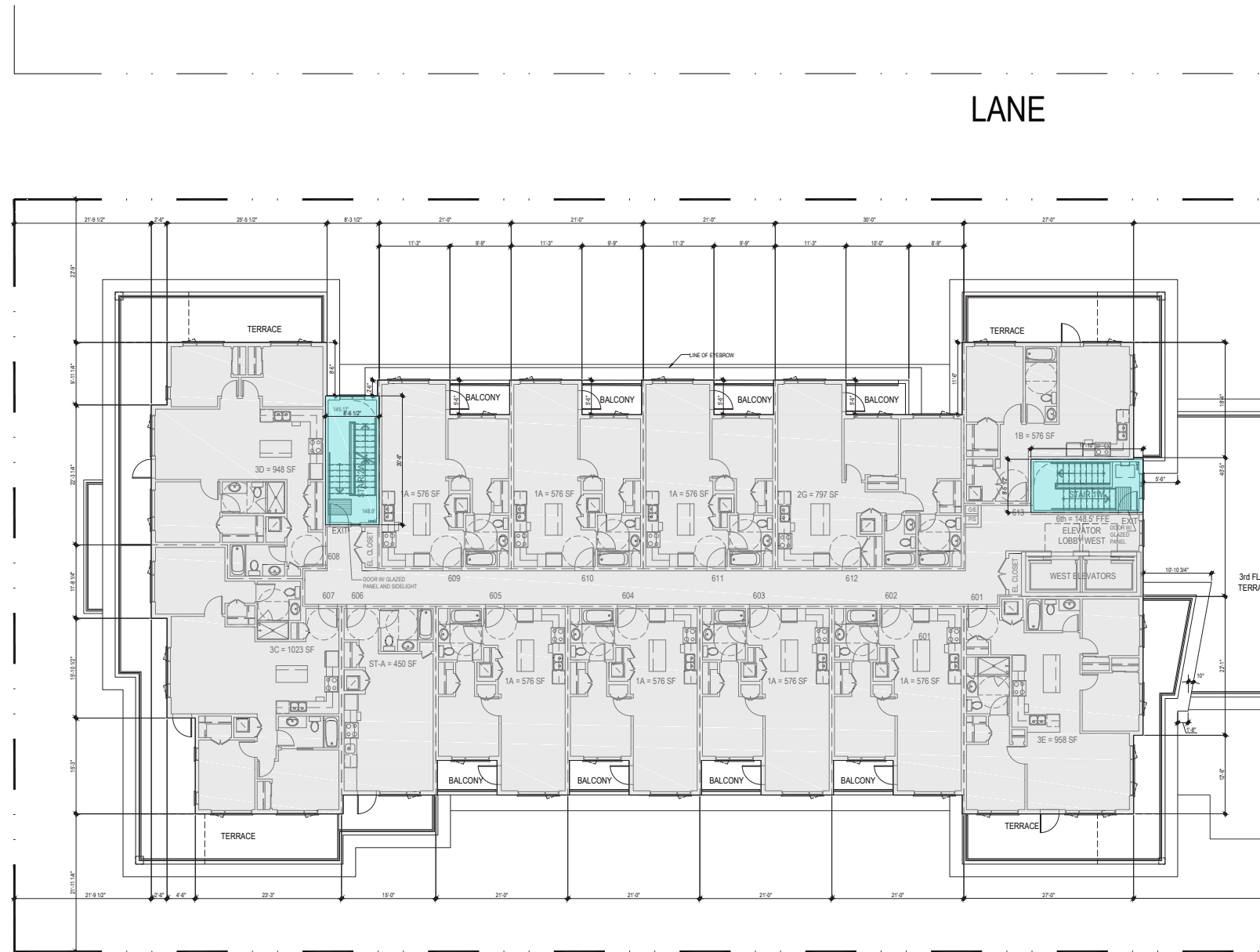
W 6th floor Base plate	10224	E 6th floor Base plate	10681
No. Units	13	No. Units	14
No. Level 2 adaptability Units	13	No. Level 2 adaptability Units	14
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	260	Credit for level 2	280
Total exclusions	586	Total exclusions	606
W 6th floor GFA	9638	E 6th floor GFA	10075

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans

ST. GEORGE'S AVENUE



W 6th floor Base plate	10224	E 6th floor Base plate	10681
No. Units	15	No. Units	34
No. Level 2 adaptability Units	15	No. Level 2 adaptability Units	34
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credits for level 2	206	Credits for level 2	206
Total exclusions	582	Total exclusions	606
W 6th floor GFA	9638	E 6th floor GFA	10075

WEST BUILDING

EAST 2nd STREET



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CLIENT:
PROJECT:
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210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
6th FLOOR PLAN WEST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

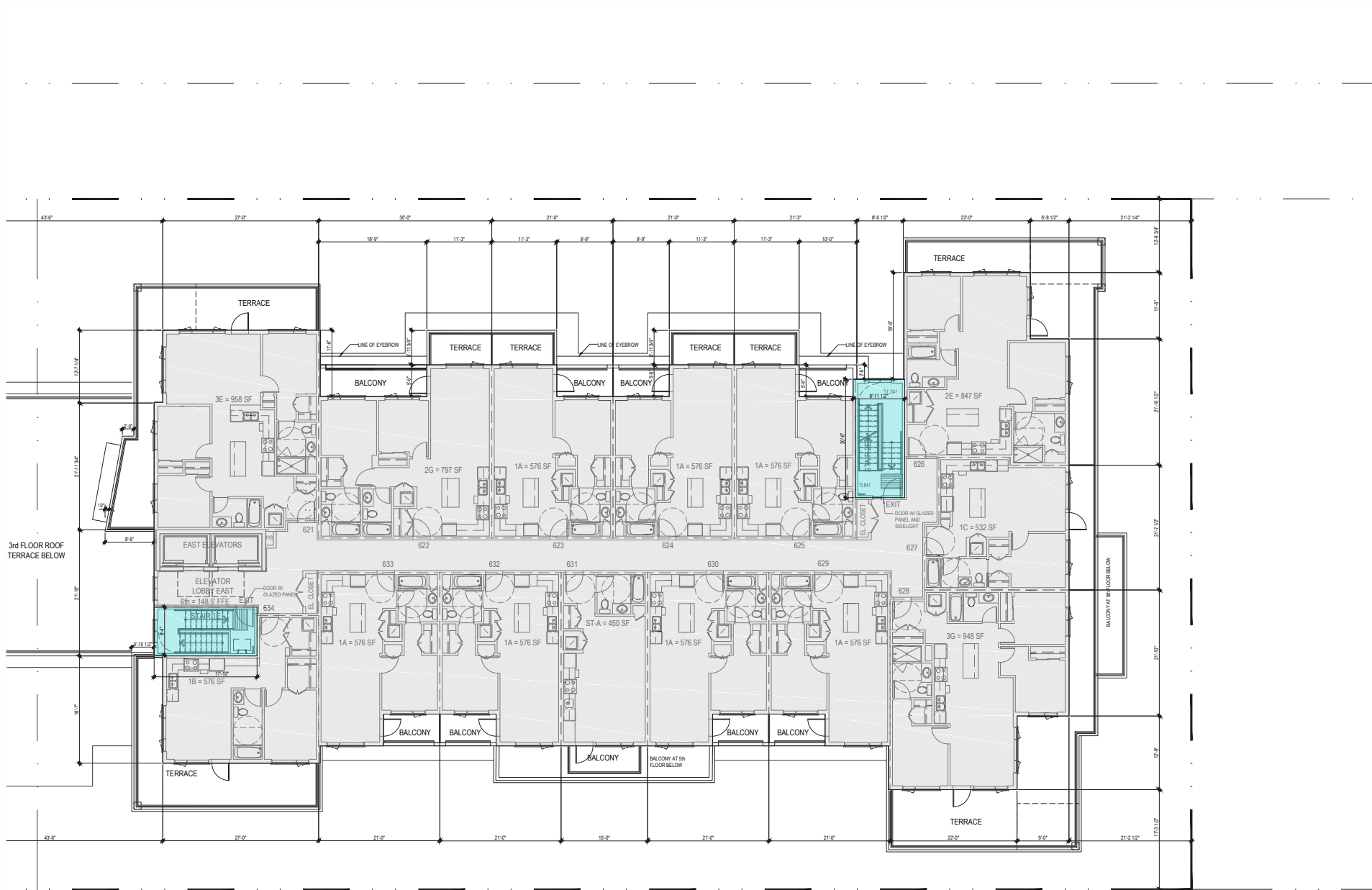
DWG. NO. GFA-6A

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.4 Gross Floor Area Overlay Plans



EAST BUILDING

W 6th floor Base plate	10224	E 6th floor Base plate	10681
No. Units	13	No. Units	14
No. Level 2 adaptability Units	13	No. Level 2 adaptability Units	14
Exclusions:		Exclusions:	
Stair 2W	175	Stair 2E	175
Stair 1W	151	Stair 1E	151
Credit for level 2	265	Credit for level 2	265
Total exclusions	586	Total exclusions	600
W 6th floor GFA	9638	E 6th floor GFA	10075



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PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
6th FLOOR PLAN EAST
AREA OVERLAY

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

DWG. NO. GFA-6B

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.5 Colour Elevations



SOUTH ELEVATION FACING EAST 2ND STREET



NORTH ELEVATION FACING LANE

8/17/2017 11:01:32 AM
 E:\acad\job\2016\1629 - 2nd St - St. George\BIM\1629 Building



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 1. REZONING/ DPA 17 AUGUST 2017

ISSUED FOR
 REZONING
 DP APPLICATION
 17 AUGUST 2017

No.	Description	Date
REVISION:	DATE:	

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ARCHITECTURAL SEAL:



CLIENT:
 PROJECT:
 E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
 NORTH VANCOUVER, B.C.

DRAWING TITLE:
**SOUTH & NORTH
 OVERALL
 ELEVATIONS**

BASE FILE: 1629 Building.rvt
 SCALE: 1/16" = 1'-0"
 PLOT DATE: AUG. 2017
 DRAWN: JB
 CHECKED: AH/RO1

PROJECT NO. **1629**



D.P. No:
 S.P. No:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.5 Colour Elevations



SOUTH ELEVATION - WEST BUILDING



SOUTH ELEVATION - EAST BUILDING

BUILDING MATERIAL LEGEND

- 1 PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H METAL GRILLE DOOR (BLACK)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (STEEL)
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 BEADED VINYL SOFFIT (GENTER - LINEN "012")

WEST BUILDING

- W1 BRICK CLADDING (XL "CRIMSON CREEK")
- W2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- W3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- W4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- W5 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING

- E1 BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
- E2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- E3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- E4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
- E5 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- E6 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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ISSUED: 17 AUGUST 2017
DATE: 17 AUGUST 2017
REVISION: 1 REZONING / DPA

ISSUED FOR
REZONING
DP APPLICATION
17 AUGUST 2017

No.	Description	Date
1	REVISION	DATE

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ARCHITECTURAL SEAL:



PROJECT: E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
SOUTH ELEVATIONS

BASE FILE: 1629 Building.rvt

SCALE: As Indicated

PLOT DATE: AUG. 2017

DRAWN: JB

CHECKED: AH/ROH

PROJECT NO. 1629

DWG. NO. A4.0A

D.P. No:

B.P. No:

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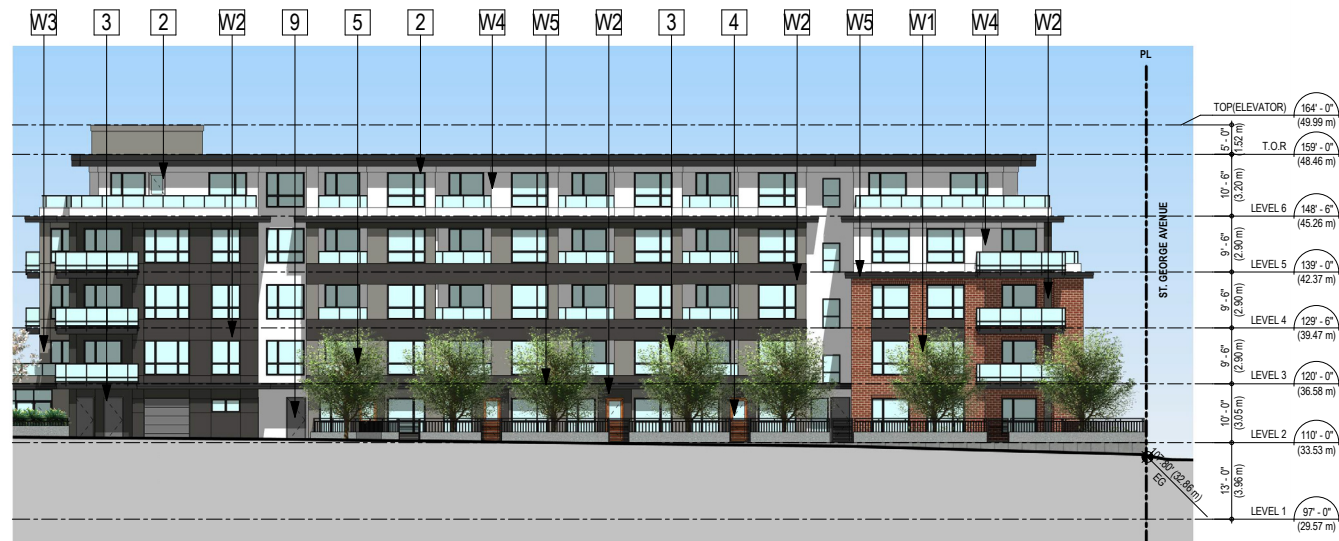
6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.5 Colour Elevations



NORTH ELEVATION EAST BUILDING



NORTH ELEVATION WEST BUILDING

BUILDING MATERIAL LEGEND

- 1 PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H METAL GRILLE DOOR (BLACK)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BLACK)
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 BEADED VINYL SOFFIT (GENTEK - LINEN "012")

WEST BUILDING

- W1 BRICK CLADDING (IXL "CRIMSON CREEK")
- W2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- W3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- W4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- W5 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING

- E1 BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
- E2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- E3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- E4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
- E5 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- E6 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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DATE: 17 AUGUST 2017
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DP APPLICATION
17 AUGUST 2017

No.	Description	Date
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ARCHITECTURAL SEAL:



PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
NORTH ELEVATIONS

BASE FILE: 1629 Building.rvt

SCALE: As Indicated

PLOT DATE: AUG. 2017

DRAWN: JB

CHECKED: AH/ROH

PROJECT NO. 1629



D.P. No:

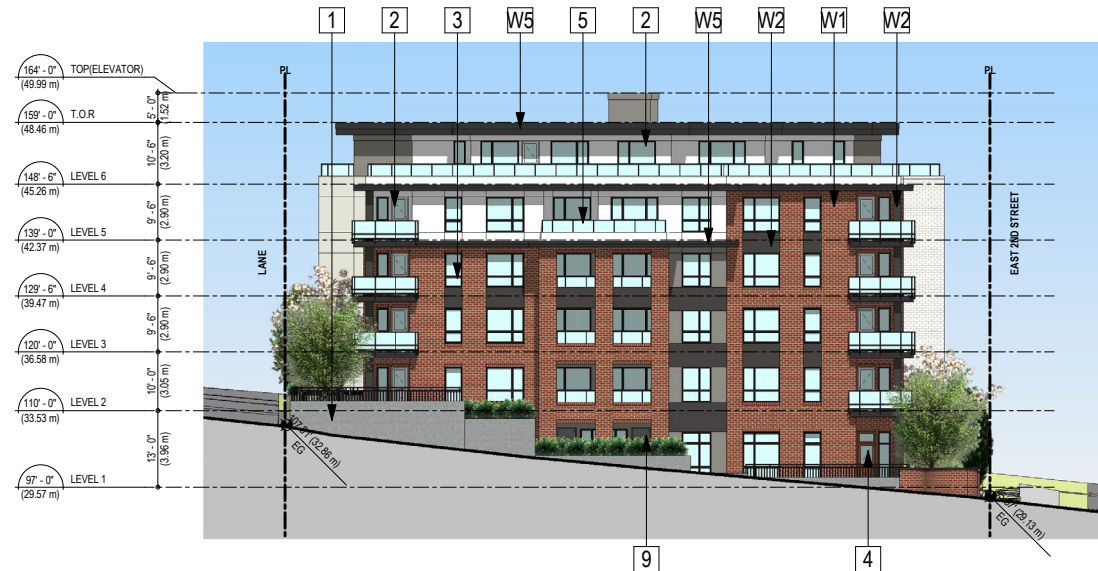
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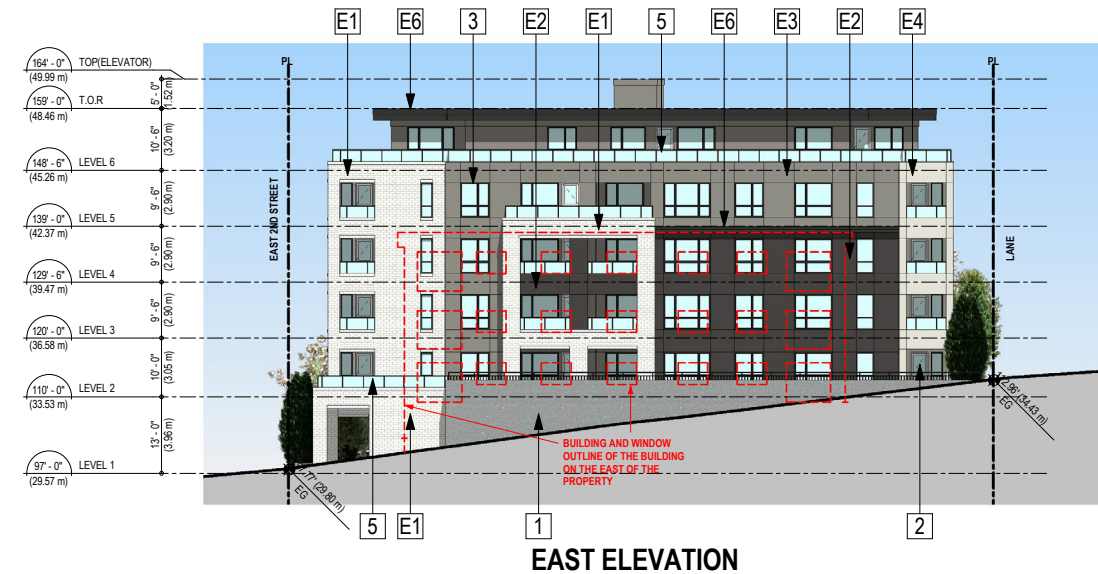
6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.5 Colour Elevations



WEST ELEVATION FACING ST. GEORGE AVENUE



EAST ELEVATION

BUILDING MATERIAL LEGEND

- 1 PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H METAL GRILLE DOOR (BLACK)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BLACK)
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 BEADED VINYL SOFFIT (GENTEK - LINEN "012")

WEST BUILDING

- W1 BRICK CLADDING (IXL "CRIMSON CREEK")
- W2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- W3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- W4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- W5 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING

- E1 BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
- E2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- E3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- E4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
- E5 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- E6 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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DATE: 17 AUGUST 2017
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ARCHITECTURAL SEAL:



PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
EXTERIOR SIDE
ELEVATIONS

BASE FILE: 1629 Building.rvt
SCALE: As Indicated
PLOT DATE: AUG. 2017
DRAWN: JB
CHECKED: AH/ROH

PROJECT NO. 1629



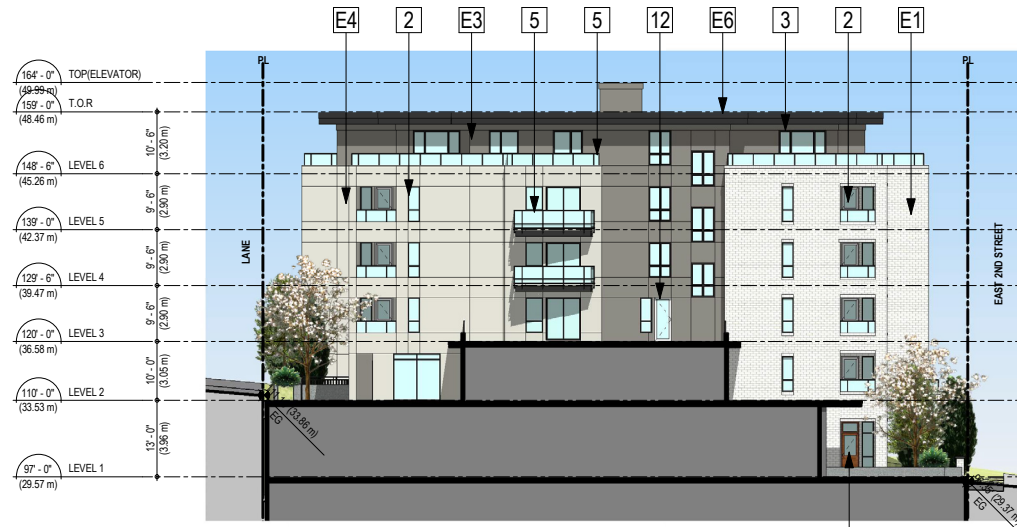
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S.P. No:

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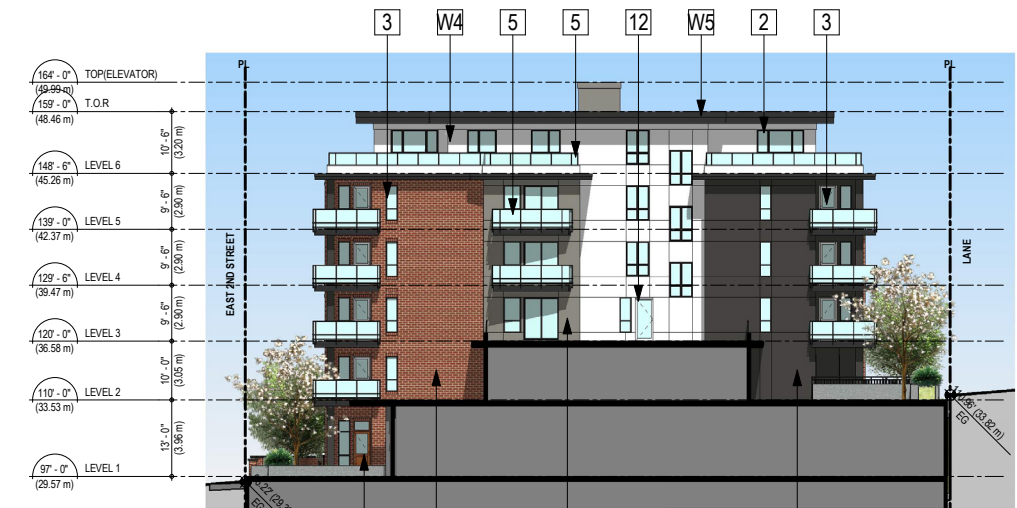
6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.5 Colour Elevations



EAST BUILDING WEST ELEVATION



WEST BUILDING EAST ELEVATION

BUILDING MATERIAL LEGEND

- 1 PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H METAL GRILLE DOOR (BLACK)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BLACK)
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 BEADED VINYL SOFFIT (GENTEK - LINEN "012")

WEST BUILDING

- W1 BRICK CLADDING (IXL "CRIMSON CREEK")
- W2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- W3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- W4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- W5 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING

- E1 BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
- E2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- E3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- E4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
- E5 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- E6 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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DATE: 17 AUGUST 2017
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REZONING
DP APPLICATION
17 AUGUST 2017

No.	Description	Date
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DATE:		

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CLIENT: **GWL REALTY ADVISORS**

PROJECT: **E 2nd AVE & ST. GEORGE'S AVE.**

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.
DRAWING TITLE: **COURTYARD ELEVATIONS**

BASE FILE: 1629 Building.rvt
SCALE: As Indicated
PLOT DATE: AUG. 2017
DRAWN: JB
CHECKED: AH/ROH

PROJECT NO. **1629**

DWG. NO. **A4.2**

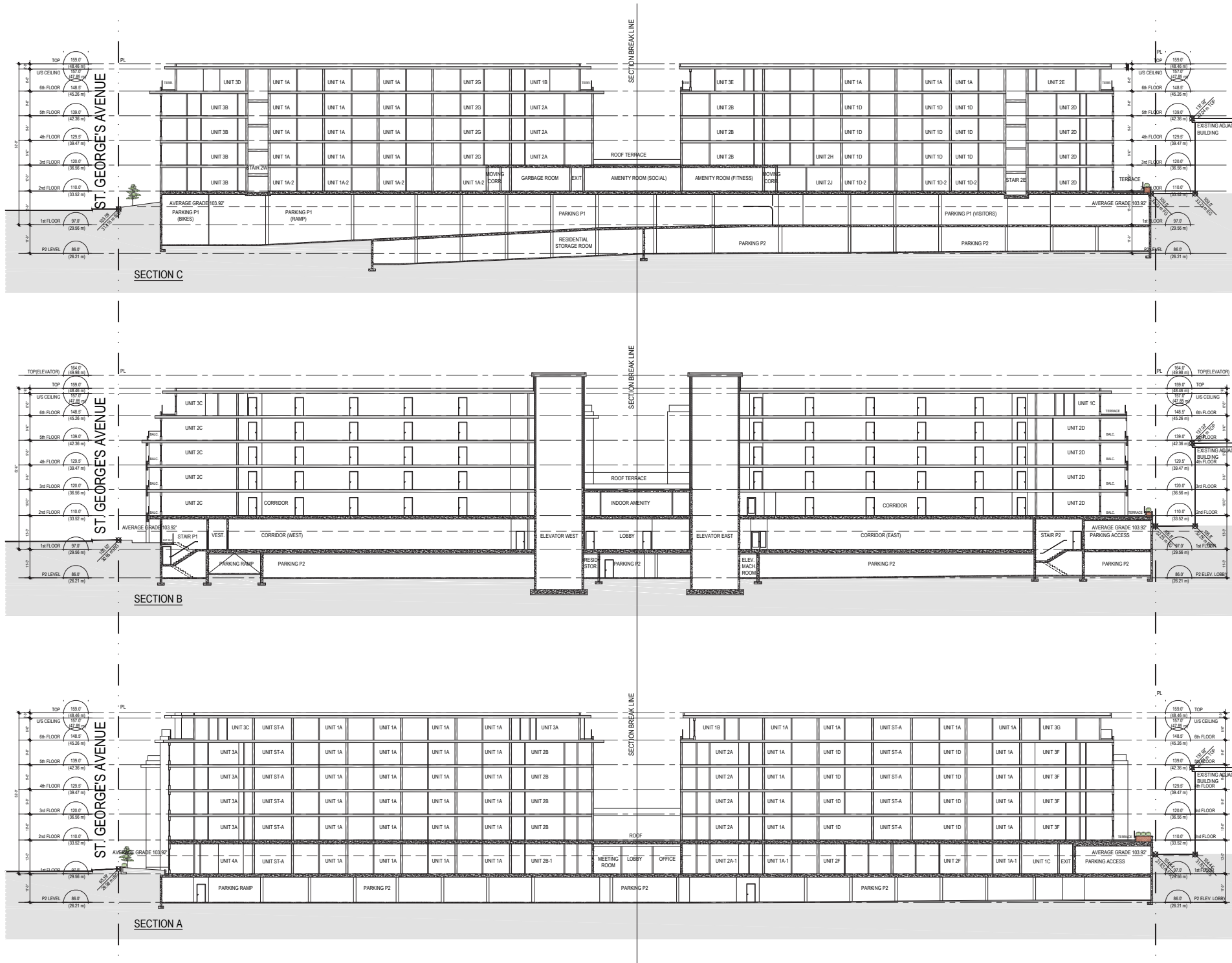
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S.P. No:

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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & ST. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING SECTIONS
A, B & C

DATABASE: 1629-A5.0.dwg
SCALE: 1/16"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

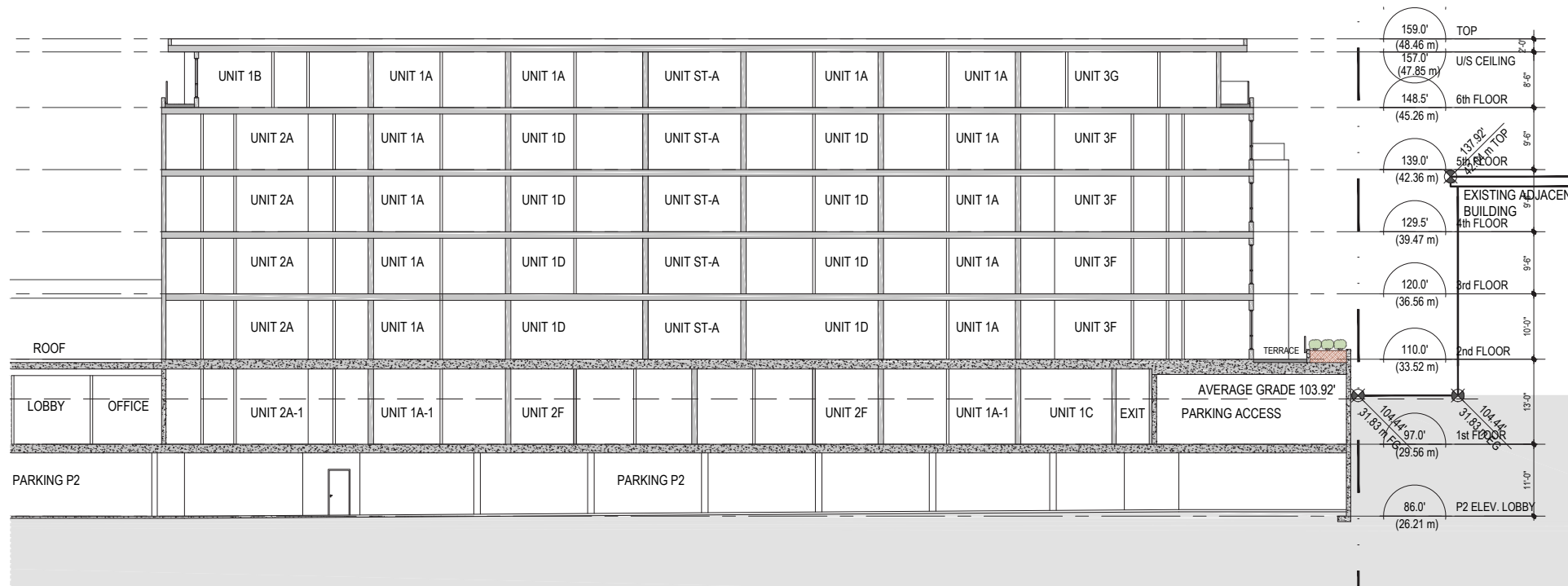
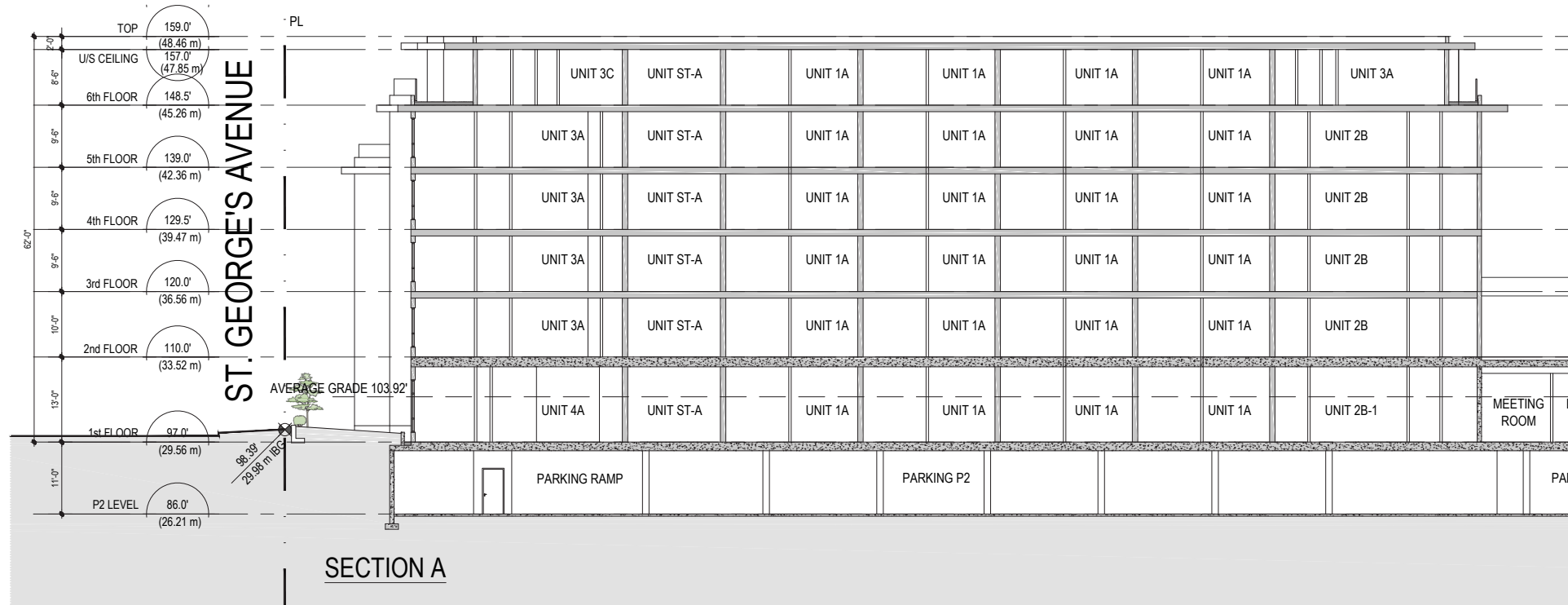
DWG. NO.
A5.0

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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ISSUED FOR
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 DP APPLICATION
 17 AUGUST 2017

NO. REVISION: DATE:

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ARCHITECTURAL SEAL:



CLIENT:
 PROJECT:
 E 2nd ST. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.

DRAWING TITLE:
 BUILDING SECTIONS

DATABASE: 1629-A5.0.dwg
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 PLOT DATE: AUG. 2017
 DRAWN: AH
 CHECKED: KH

PROJECT NO. 1629

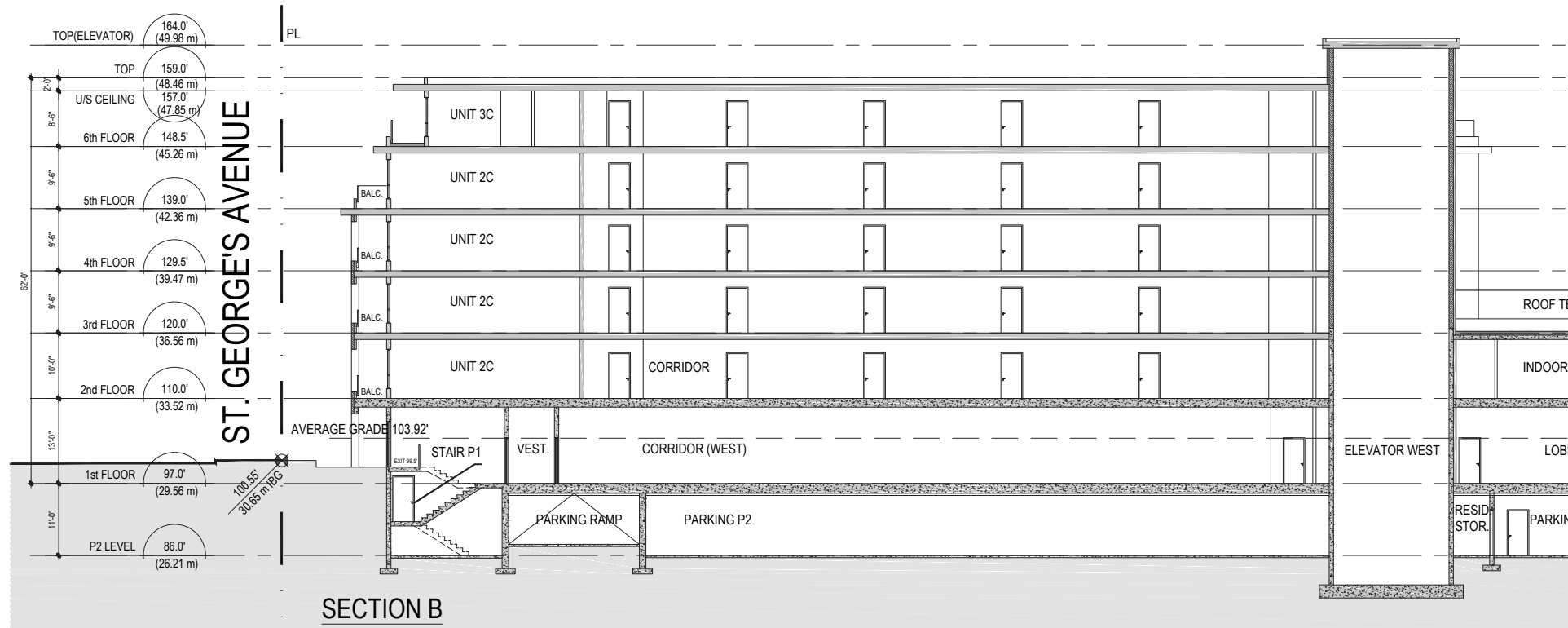
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D.P.A. No. :

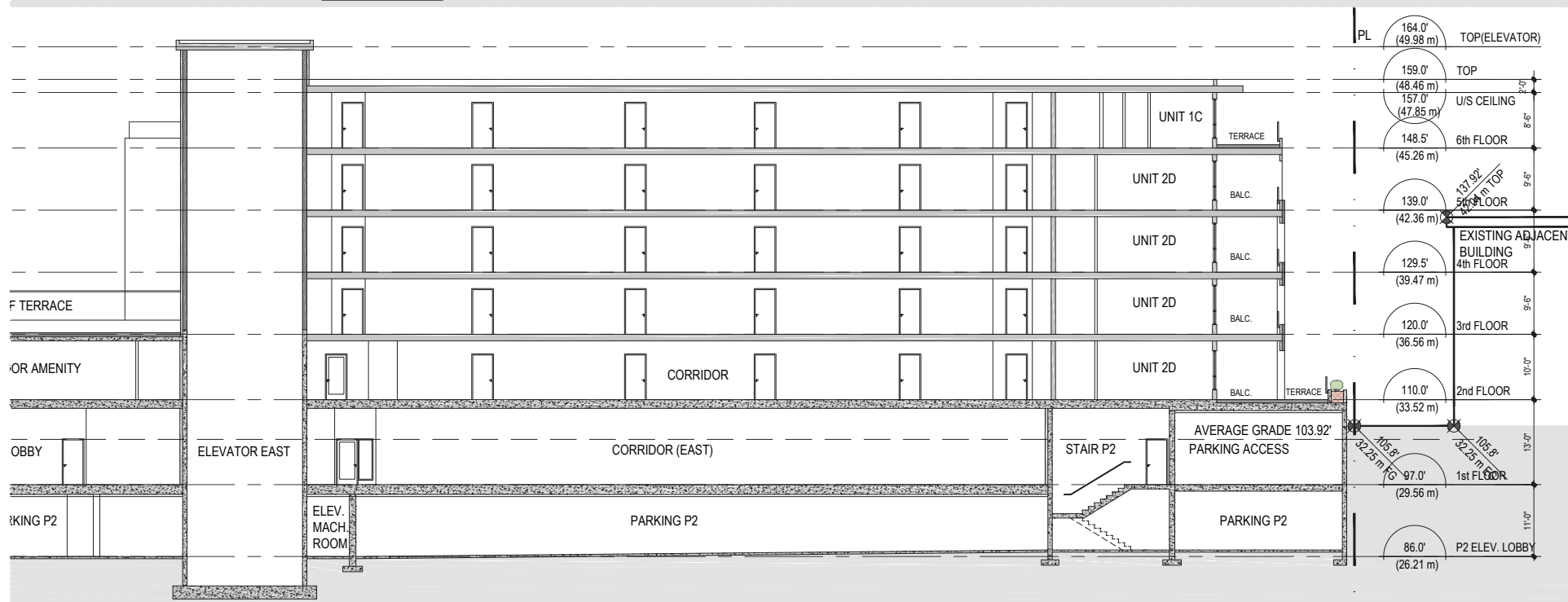
6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



SECTION B



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DP APPLICATION
17 AUGUST 2017

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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING SECTION B

DATABASE: 1629-A5.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

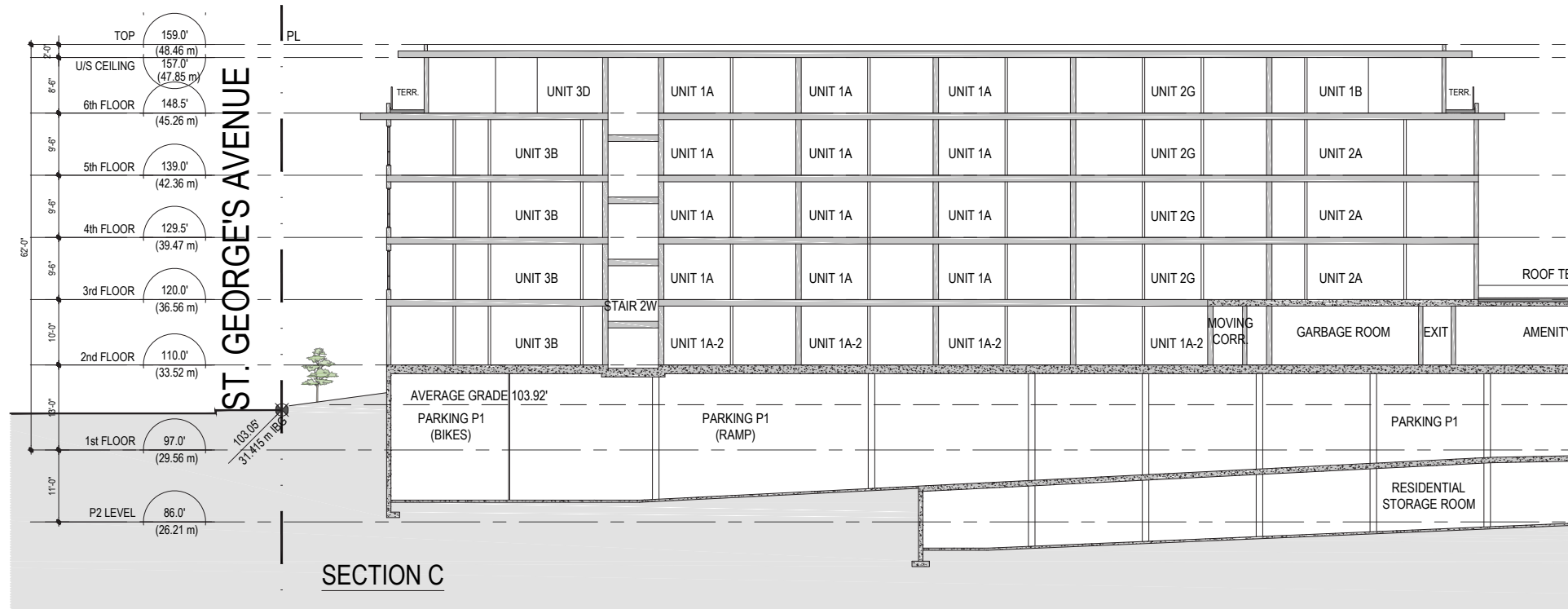
DWG. NO. A5.0B

D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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ISSUED: DATE:
1. REZONING / DPA 17 AUGUST 2017

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DP APPLICATION
17 AUGUST 2017

NO. REVISION: DATE:

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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING SECTION C

DATABASE: 1629-A5.0.dwg

SCALE: 1/8"=1'-0"

PLOT DATE: AUG. 2017

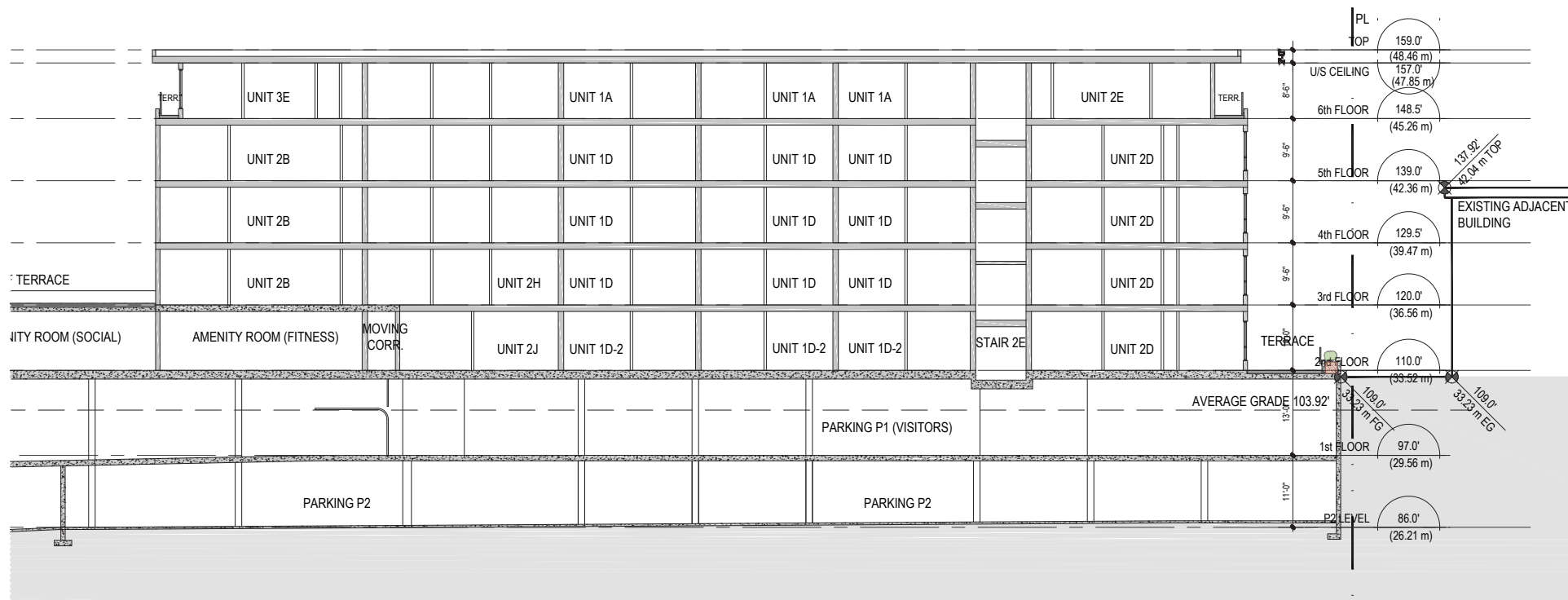
DRAWN: AH

CHECKED: KH

PROJECT NO. 1629

DWG. NO.
A5.0C

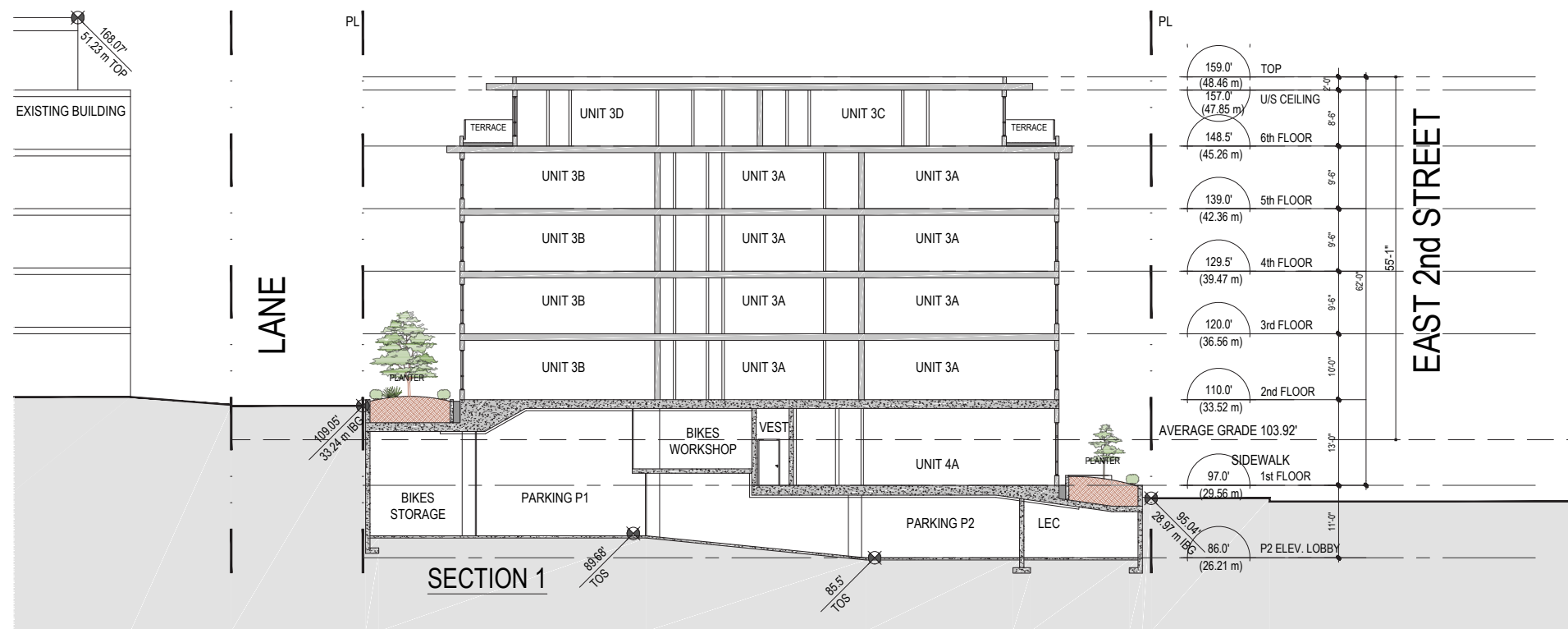
D.P.A. No.:



6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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1. REZONING / DPA 17 AUGUST 2017

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DP APPLICATION
17 AUGUST 2017

NO. REVISION: DATE:

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ARCHITECTURAL SEAL:



CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING SECTION 1

DATABASE: 1629-A5.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

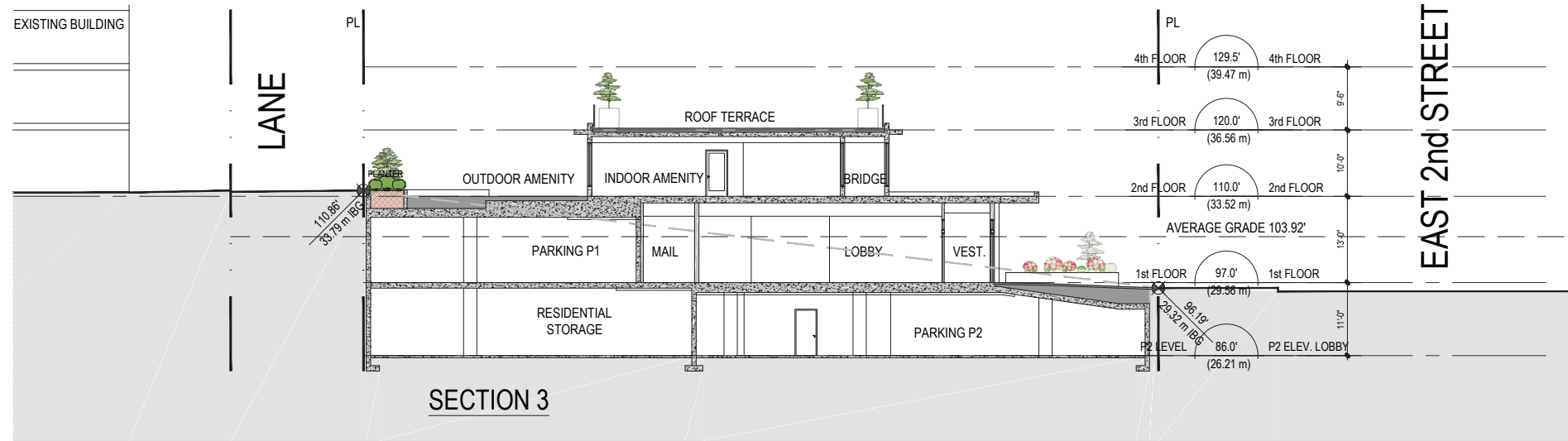
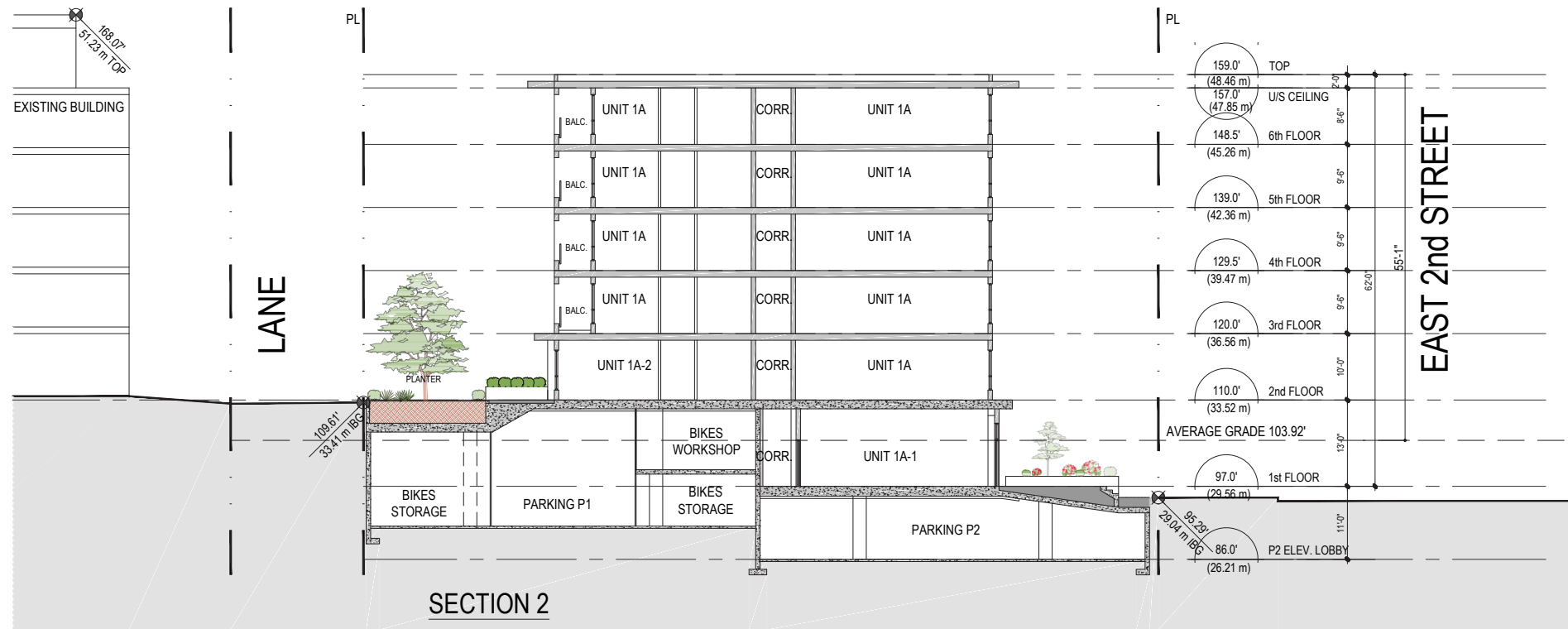
DWG. NO. A5.1

D.P. A. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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CLIENT:
PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING SECTIONS 2 & 3

DATABASE: 1629-A5.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH
CHECKED: KH

PROJECT NO. 1629

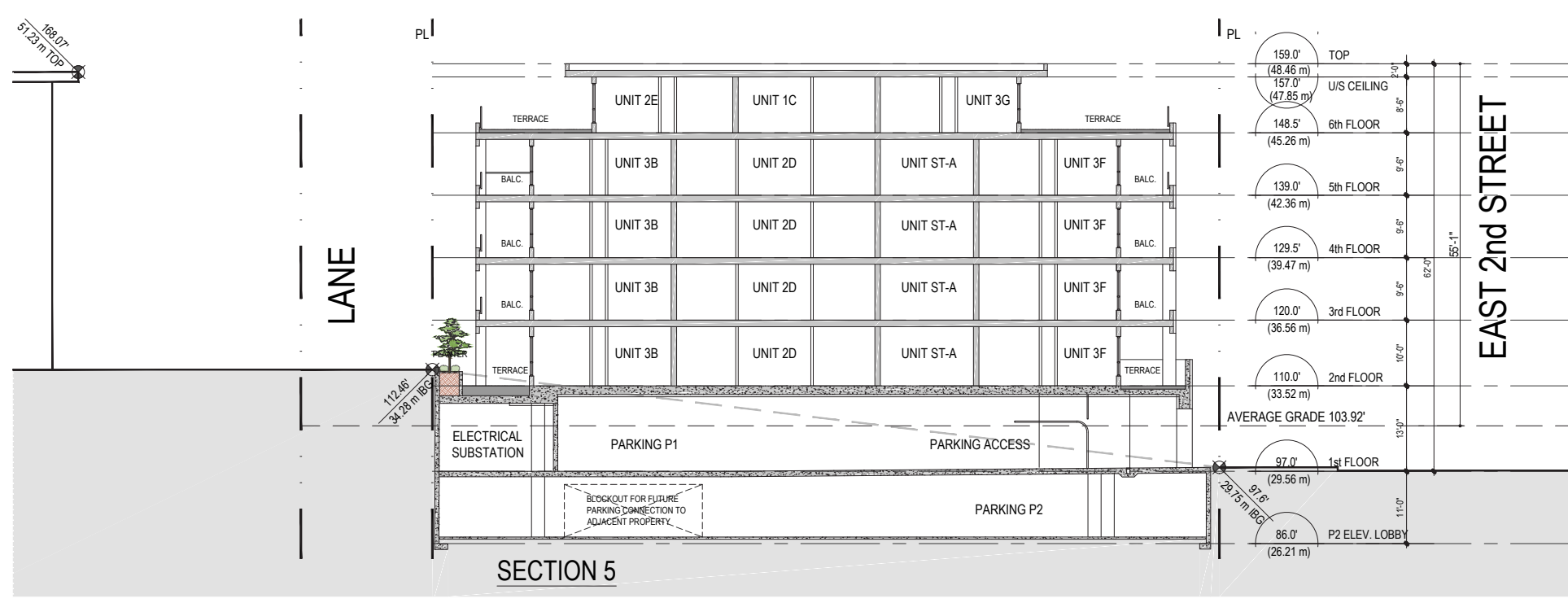
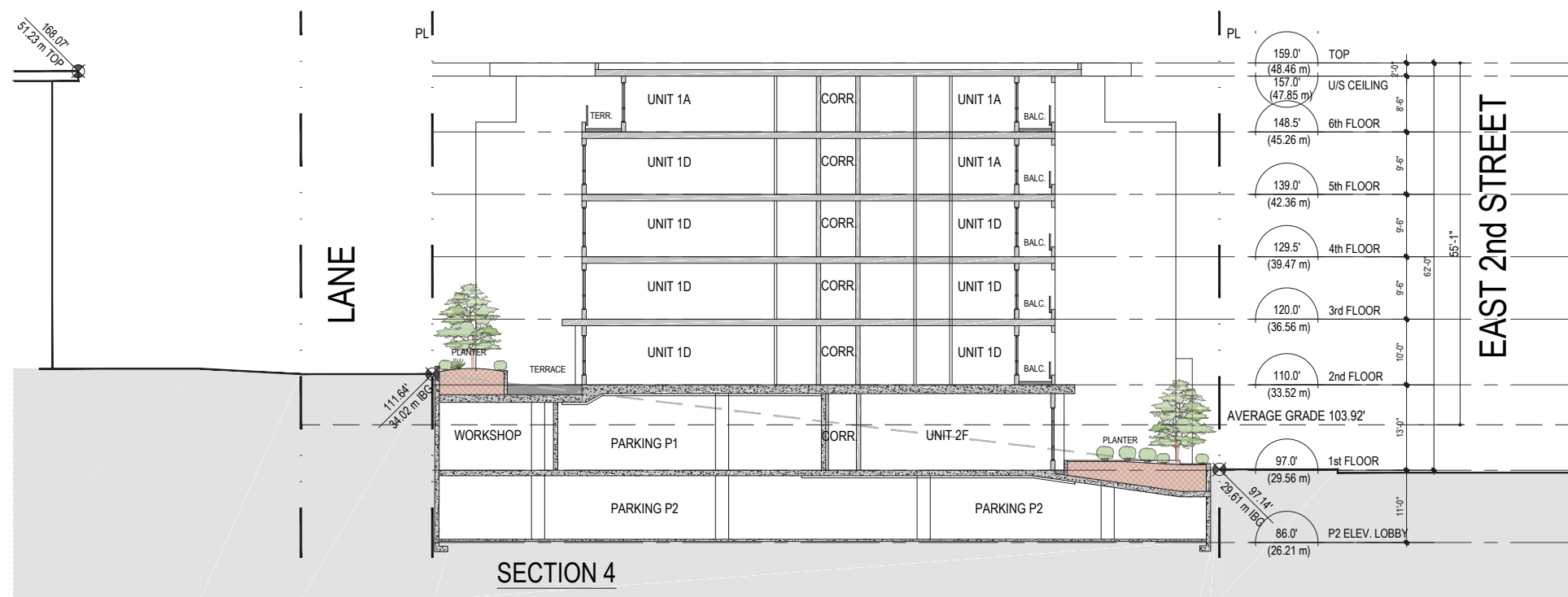
DWG. NO. A5.2

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6.4 ARCHITECTURAL PLANS

6.4.6 Sections



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CLIENT: GWL REALTY ADVISORS
 PROJECT: E 2nd ST. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.
 DRAWING TITLE: **BUILDING SECTIONS 4 & 5**

DATABASE: 1629-A5.0.dwg
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 PLOT DATE: AUG. 2017
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 CHECKED: KH

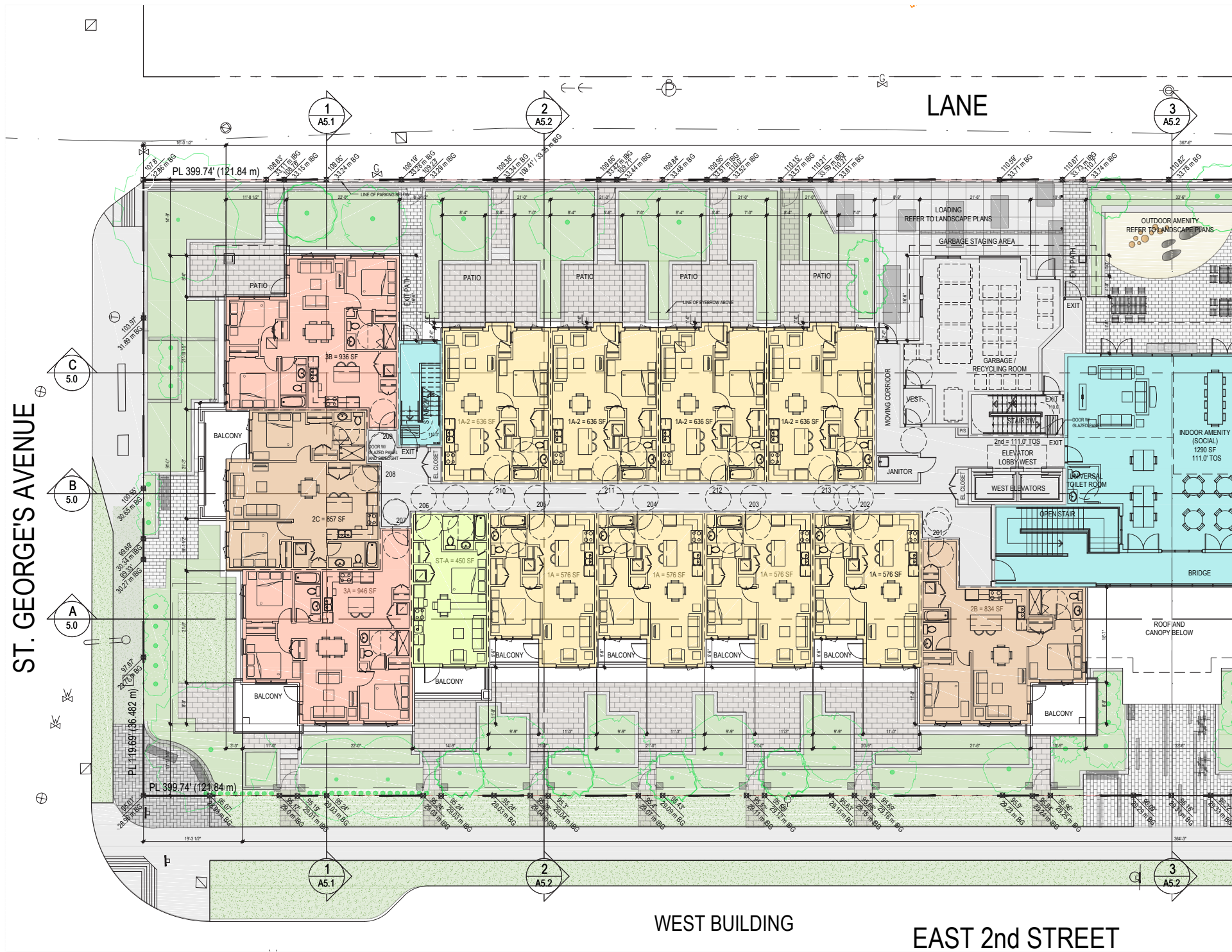
PROJECT NO. **1629**

DWG. NO. **A5.3**
 D.P.A. No. :

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.7 Garbage, Recycling, and Compost Collection



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PROJECT:
E 2nd St. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
2nd FLOOR PLAN WEST

DATABASE: 1629-A3.0.dwg
SCALE: 1/8"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

DWG. NO. **A3.1A**

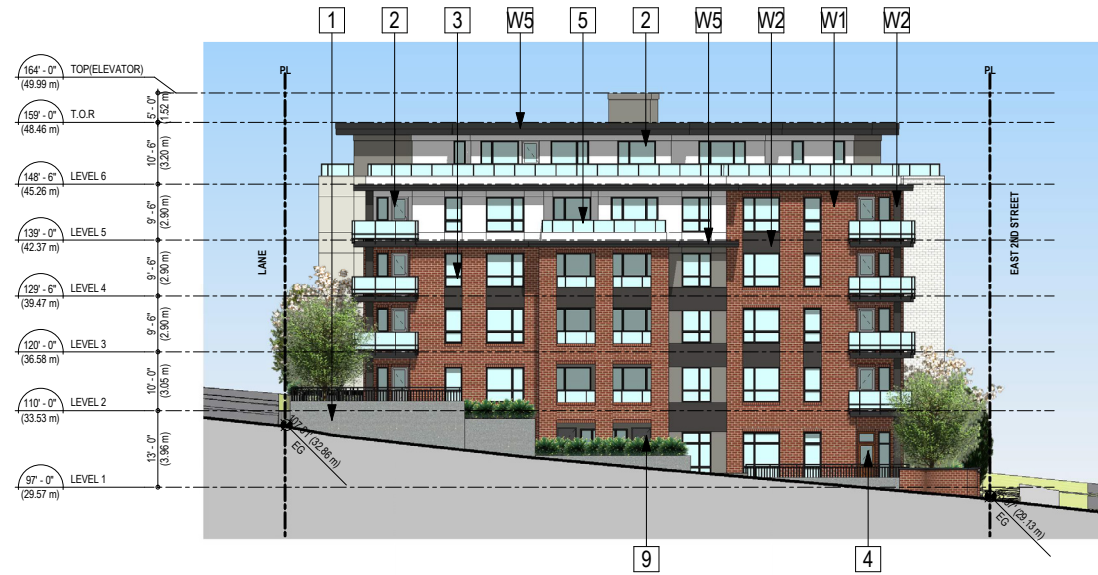
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6.0 PROJECT DESIGN

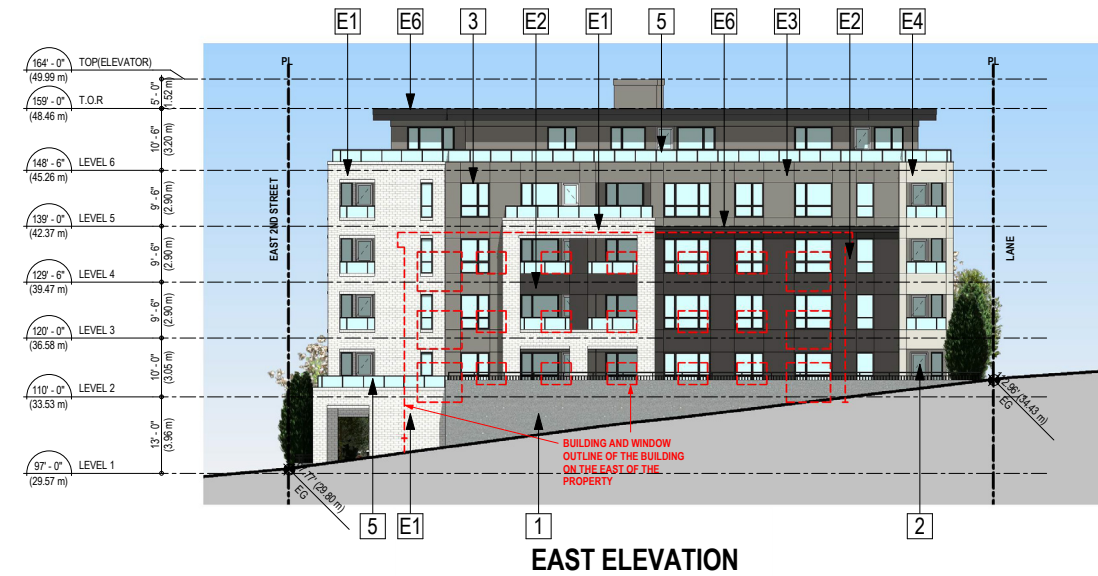
6.4 ARCHITECTURAL PLANS

6.4.8 Reflected window elevations and limiting distance calculations

Reflected Window Elevation - East Elevation



WEST ELEVATION FACING ST. GEORGE AVENUE




EAST ELEVATION

BUILDING MATERIAL LEGEND	
1	PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
2	DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
3	DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
4	SUITE STREET ENTRY DOORS (TBD)
5	ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
6	ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
7	O/H METAL GRILLE DOOR (BLACK)
8	O/H METAL SOLID DOOR (BLACK)
9	STEEL MAN DOOR (BLACK)
10	METAL FENCE & GATES (BLACK)
11	ARCHITECTURAL CONCRETE PLANTER (SACKED)
12	ALUMINUM FRAMED EXIT DOOR (ANODIZED)
13	BEADED VINYL SOFFIT (GENTEX - LINEN "012")

WEST BUILDING	
W1	BRICK CLADDING (XL "CRIMSON CREEK")
W2	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
W3	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
W4	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
W5	PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING	
E1	BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
E2	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
E3	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
E4	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
E5	CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
E6	PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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CLIENT:


PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
**EXTERIOR SIDE
ELEVATIONS**

BASE FILE: 1629 Building.rvt
SCALE: As Indicated
PLOT DATE: AUG. 2017
DRAWN: JB
CHECKED: AH/RO1

PROJECT NO. **1629**

DWG. NO.
A4.1

D.P. No:
S.P. No:

See Drawing A4.1 Exterior Side Elevations (left) for reflected window elevation - east elevation.

Please refer to Spatial Separation information on the Building Code Data Sheet for limiting distance calculation (see FILE 2, Section 2.0, p. 7).

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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.9 3D Building Views



VIEW ALONG EAST 2ND STREET



VIEW ALONG LANE

8/16/2017 2:24:53 PM
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D:\ACR\161629



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CLIENT:
GWL REALTY ADVISORS

PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

210 E 2nd AVENUE
NORTH VANCOUVER, B.C.
DRAWING TITLE:
BUILDING VIEWS

BASE FILE: 1629 Building.rvt
SCALE:
PLOT DATE: AUG. 2017
DRAWN: JB
CHECKED: AH, JKH

PROJECT NO. **1629**

DWG. NO. **A0.3**

D.P. No:
S.P. No:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.9 3D Building Views



VIEW ALONG EAST 2ND STREET



ENTRANCE VIEW



VIEW FROM CORNER EAST 2ND AND ST. GEORGE



VIEW OF THE AMENITY

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PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
BUILDING VIEWS

BASE FILE: 1629 Building.rvt

SCALE:

PLOT DATE: AUG 2017

DRAWN: JB

CHECKED: AH RH

PROJECT NO. 1629

DWG. NO. A0.4

D.P. No:

S.P. No:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

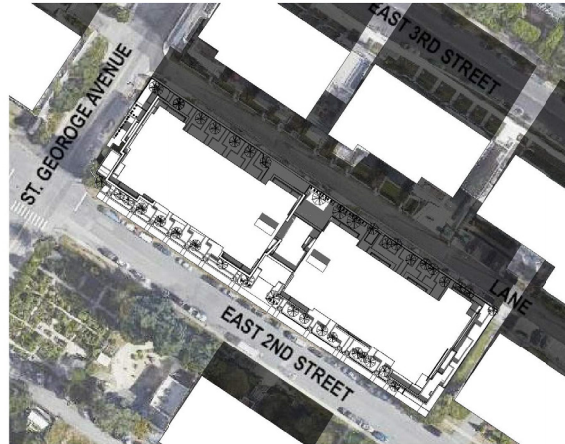
6.4.10 Building Grades

Please refer to File 1 - Section 6.3 Civil Engineering Plans.

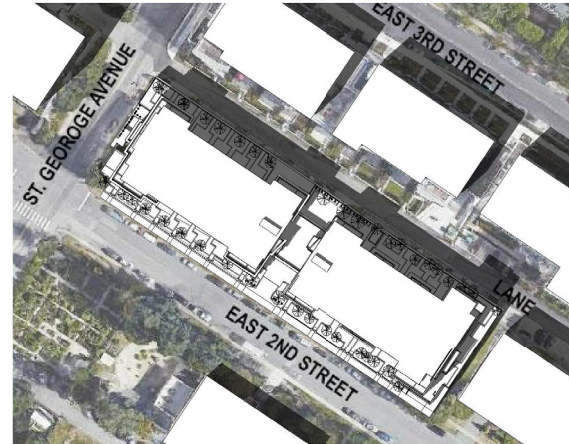
6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

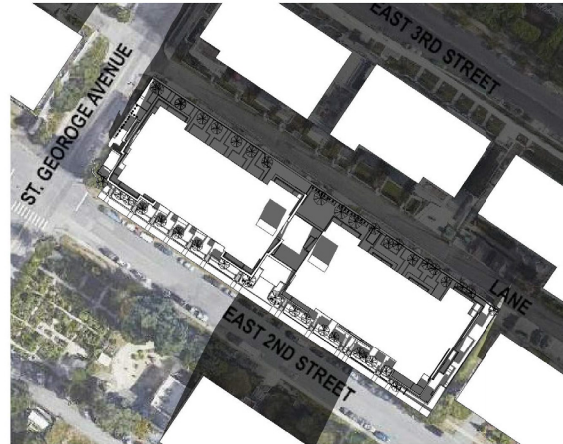
6.4.11 Shadow Study



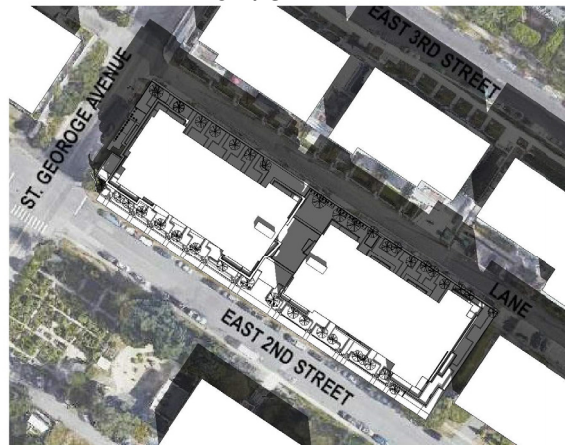
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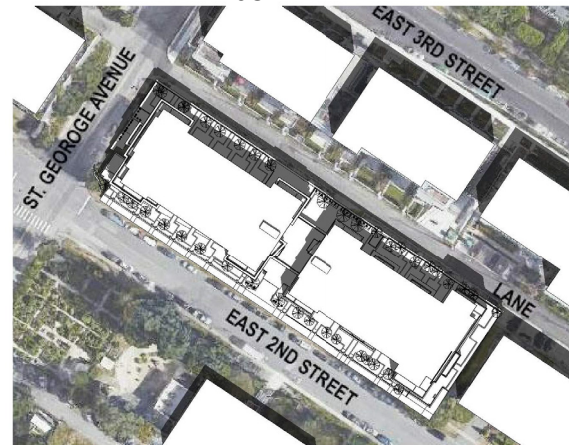
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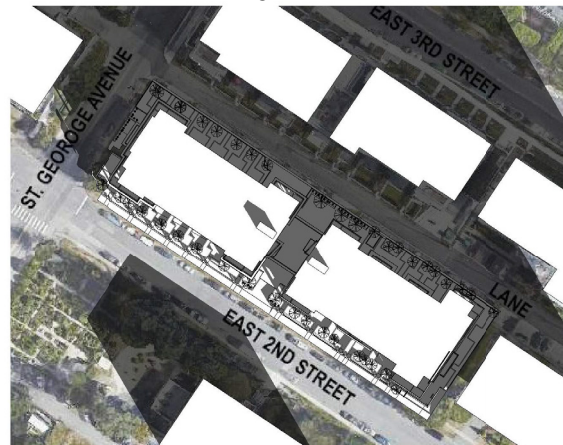
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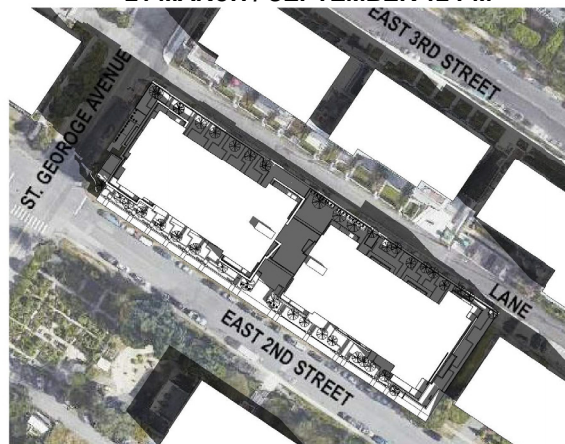
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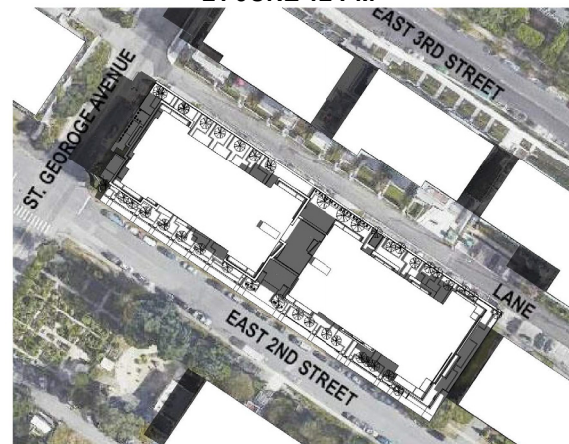
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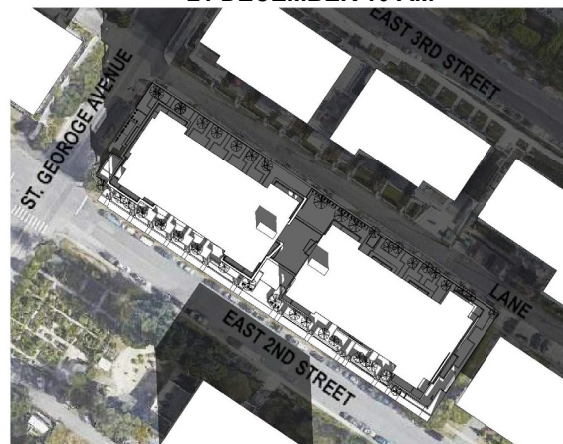
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21 JUNE 10 AM



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ARCHITECTURAL SEAL:

CLIENT: 

PROJECT: E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
 NORTH VANCOUVER, B.C.

DRAWING TITLE:
SHADOW DIAGRAM

BASE FILE: 1629 Building.rvt
 SCALE: 1" = 60'-0"
 PLOT DATE: AUG. 2017
 DRAWN: JB
 CHECKED: AH/RO1

PROJECT NO. **1629**

DWG. NO. **A0.5**
 D.P. No.:
 S.P. No.:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.12 Colour Street Elevations



SOUTH ELEVATION FACING EAST 2ND STREET



NORTH ELEVATION FACING LANE

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ARCHITECTURAL SEAL:



PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
**SOUTH & NORTH
OVERALL
ELEVATIONS**

BASE FILE: 1629 Building.rvt

SCALE: 1/16" = 1'-0"

PLOT DATE: AUG. 2017

DRAWN: JB

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PROJECT NO. **1629**



D.P. No:

S.P. No:

6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.12 Colour Street Elevations



SOUTH ELEVATION - WEST BUILDING



SOUTH ELEVATION - EAST BUILDING

BUILDING MATERIAL LEGEND

- 1 PAINTED ARCHITECTURAL CONCRETE (BM - ESCARPMENT "CC-518")
- 2 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - WHITE
- 3 DOUBLE GLAZED VINYL DOOR / WINDOW FRAME & PATIO SLIDING DOOR - BLACK
- 4 SUITE STREET ENTRY DOORS (TBD)
- 5 ALUMINUM GUARD RAILS (BLACK WITH GLASS INSERTS)
- 6 ALUMINUM FRAME STOREFRONT GLAZING (BLACK)
- 7 O/H METAL GRILLE DOOR (BLACK)
- 8 O/H METAL SOLID DOOR (BLACK)
- 9 STEEL MAN DOOR (BLACK)
- 10 METAL FENCE & GATES (BLACK)
- 11 ARCHITECTURAL CONCRETE PLANTER (SACKED)
- 12 ALUMINUM FRAMED EXIT DOOR (ANODIZED)
- 13 BEADED VINYL SOFFIT (GENTER - LINEN "012")

WEST BUILDING

- W1 BRICK CLADDING (XL "CRIMSON CREEK")
- W2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- W3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- W4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- W5 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")

EAST BUILDING

- E1 BRICK CLADDING (MUTUAL MATERIALS "LIMESTONE SMOOTH")
- E2 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WILLOW "CC-542")
- E3 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - ESCARPMENT "CC-518")
- E4 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - MARATIME WHITE "OC-5")
- E5 CEMENTITIOUS PANEL W/ REVEALS & TRIM (BM - WHITE DOVE "OC-17")
- E6 PAINTED WOOD FASCIA (BM - WILLOW "CC-542")



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PROJECT:
E 2nd AVE & ST. GEORGE'S AVE.

200 E 2nd AVENUE
NORTH VANCOUVER, B.C.

DRAWING TITLE:
SOUTH ELEVATIONS

BASE FILE: 1629 Building.rvt

SCALE: As Indicated

PLOT DATE: AUG. 2017

DRAWN: JB

CHECKED: AH/ROH

PROJECT NO. **1629**

DWG. NO.
A4.0A

D.P. No.:

B.P. No.:

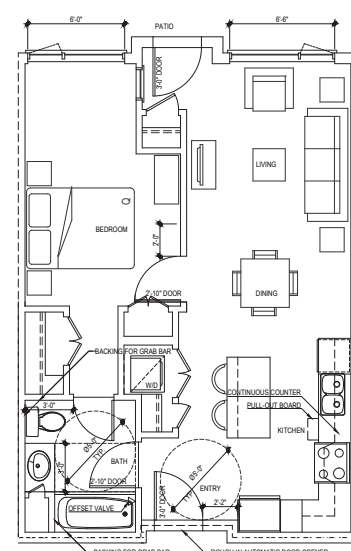
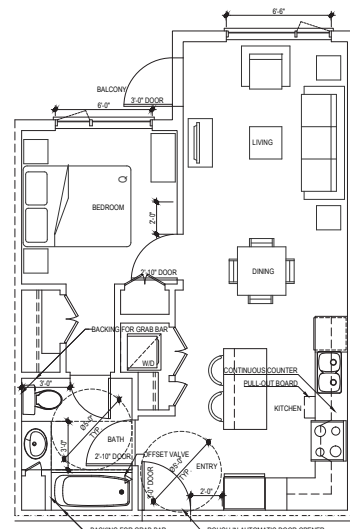
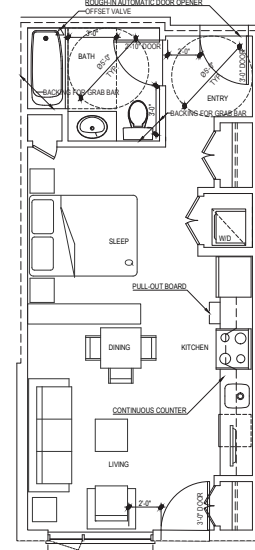
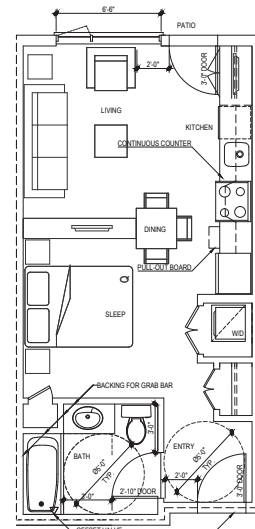
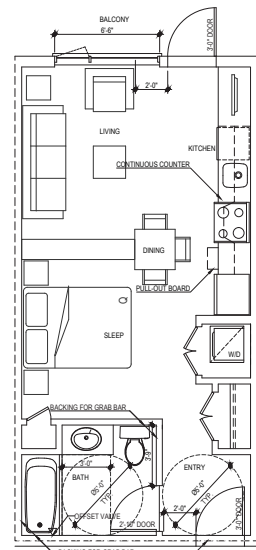
8/17/2017 11:02:17 AM
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6.0 PROJECT DESIGN

6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNOBSTRUCTED GARAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 2'0" (51mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTRANCE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 1/2" (13mm) THRESHOLDS THROUGHOUT THE BUILDING (UNIT ENTRY, COMMON AREAS, BUILDING ENTRY)
 - ACCESSIBLE ENTERPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5'2" (1575mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 20N (5 LB) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1193mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D-HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 8" (102mm TO 152mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HANDHELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE BALANCED TUB/SHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 3" (76mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (102mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIO/BALCONY/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORS/LL WITH MAXIMUM 1/2" (13mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP-RESISTANT FLOORING
 - PULL-OUT WORK BENCHES AT 2' 0" (51mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (1" OR 1/2" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 48" (1183mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2' 6" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (102mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.N.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP-RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 48" (1170mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (457mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 8" (203mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



- GENERAL NOTES:**
- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY McELHANEY ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
 - BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
 - REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 739".
- PARKING NOTES:**
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
 - UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
 - ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, C/W SPRINKLER PROTECTION AS REQUIRED.



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ISSUED:	DATE:
1. REZONING / DPA	17 AUGUST 2017

ISSUED FOR
**REZONING
DPA APPLICATION**
17 AUGUST 2017

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ARCHITECTURAL SEAL



PROJECT:
E 2nd St. & St. GEORGE'S AVE.

210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
UNIT PLANS

DATABASE: 1629-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO.
1629

DWG. NO.
A7.0

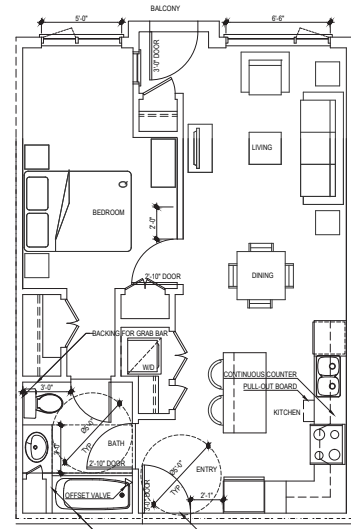
D.P.A. No. :

6.0 PROJECT DESIGN

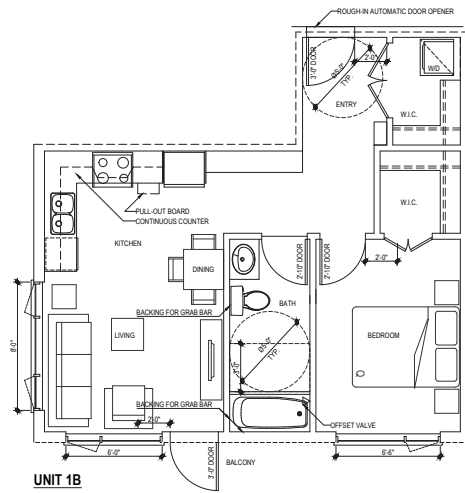
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

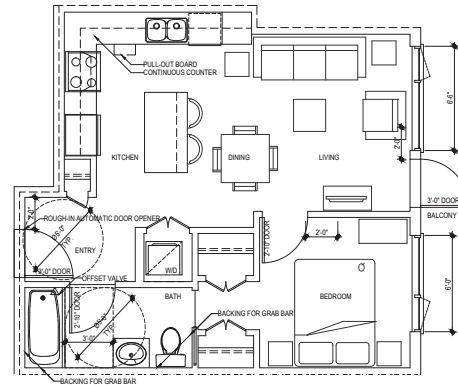
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNRESTRICTED GARBAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3' 0" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTRYPHONE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 1/2" (13mm) THRESHOLDS THROUGHOUT THE BUILDING (UNIT ENTRY, COMMON AREAS, BUILDING ENTRY)
 - ACCESSIBLE ENTRYPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5' 0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22N (5 lb) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1200mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 8" (102mm TO 152mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE BALANCED TUB/SHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 2" (51mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (102mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIO/BALCONY/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORSILL WITH MAXIMUM 1/2" (13mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP RESISTANT FLOORING
 - PULL-OUT WORK BOARDS AT 2' 6" (813mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (1" OR 1" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 47" (1193mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2' 6" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (102mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.N.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP-RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 48" (1178mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (457mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 8' (2438mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



UNIT 1A2



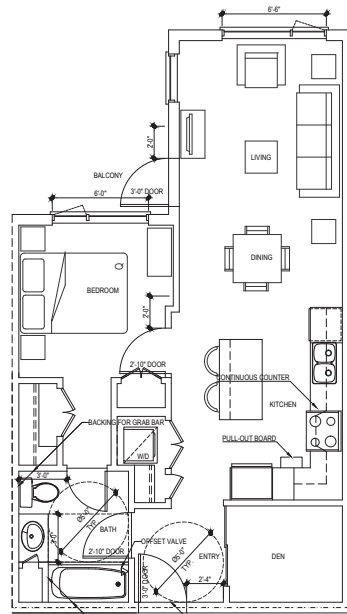
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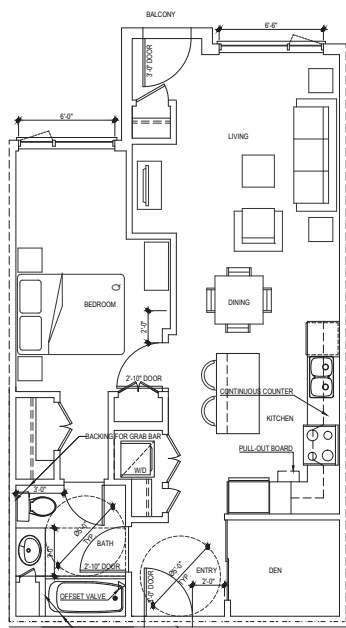
UNIT 1C



MINI RAMP FOR BALCONY



UNIT 1D



UNIT 1D2

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 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATH/TUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 7390".
- PARKING NOTES:**
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ARCHITECTURAL SEAL:



PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
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DRAWING TITLE:
UNIT PLANS

DATABASE: 1629-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOT DATE: AUG. 2017
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CHECKED: KH

PROJECT NO. 1629

DWG. NO. A7.1

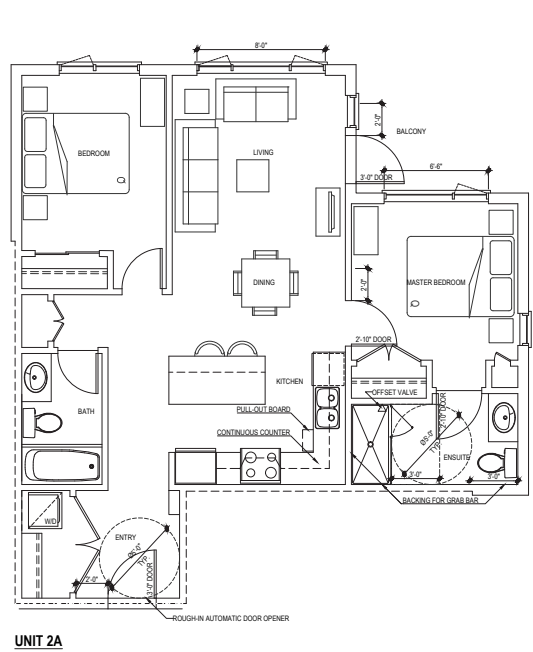
D.P. A. No.:

6.0 PROJECT DESIGN

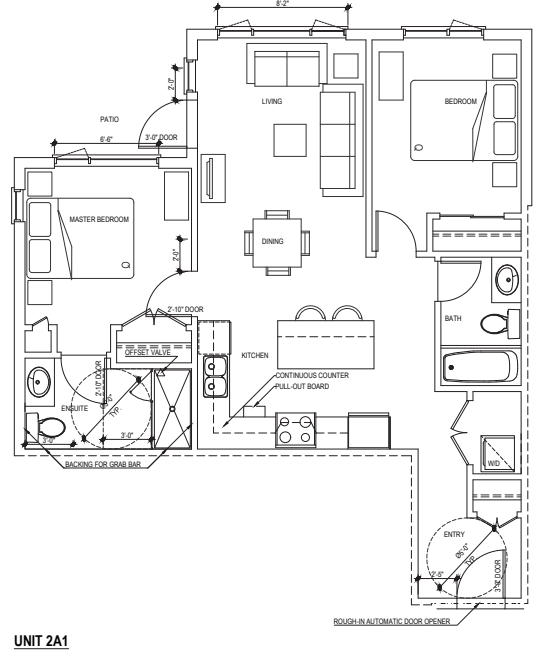
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

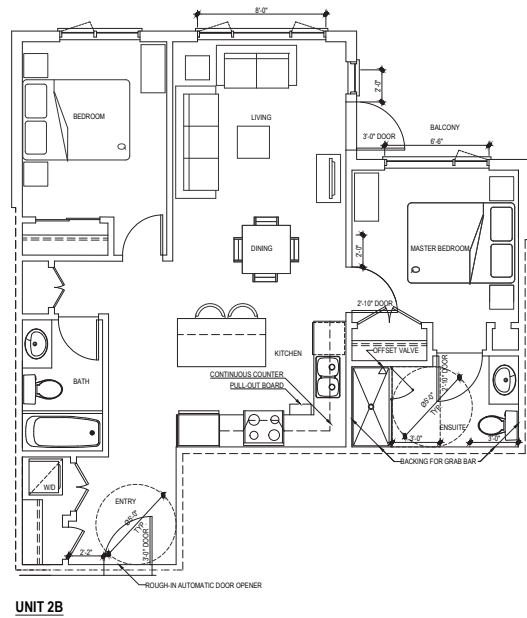
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAR
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNSTRUCTURED CURBAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3'-2" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTRYPHONE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 1/2" (13mm) THRESHOLDS THROUGHOUT THE BUILDING (UNIT ENTRY, COMMON AREAS, BUILDING ENTRY)
 - ACCESSIBLE ENTRYPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5'-0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22N (5 lbs) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1200mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D-HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 6" (100mm TO 150mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE BALANCED TUB/SHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 2" (51mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (100mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
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 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP RESISTANT FLOORING
 - PULL-OUT WORK BOARDS AT 2'-8" (815mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (1" OR 1/4" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 46" (1168mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2'-6" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (100mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.N.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 46" (1170mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (457mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL, OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 8' (2438mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



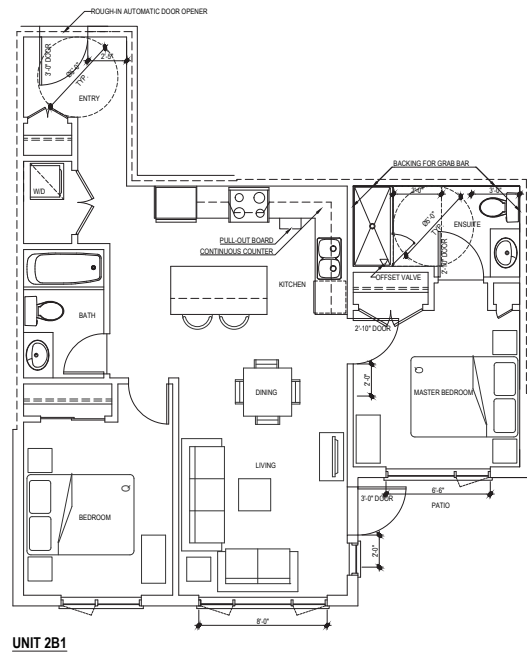
UNIT 2A



UNIT 2A1



UNIT 2B



UNIT 2B1

- GENERAL NOTES:**
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 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
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SCALE: 1/4"=1'-0"
PLOT DATE: AUG. 2017
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PROJECT NO. 1629

DWG. NO. A7.2

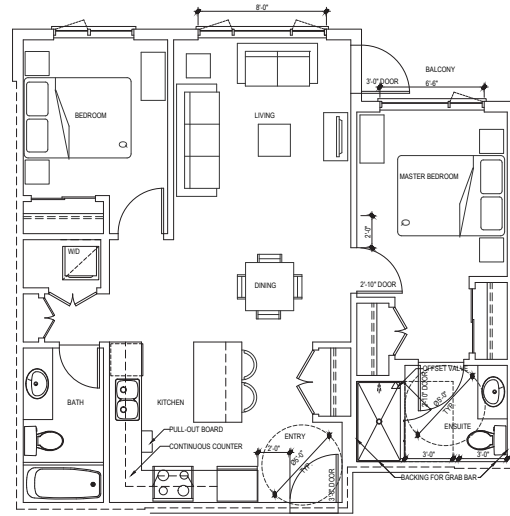
D.P.A. No. :

6.0 PROJECT DESIGN

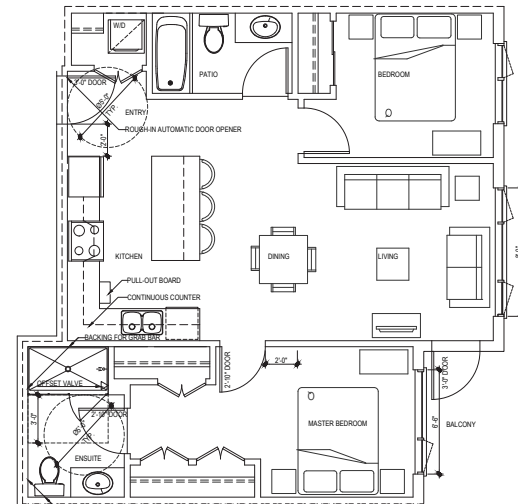
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

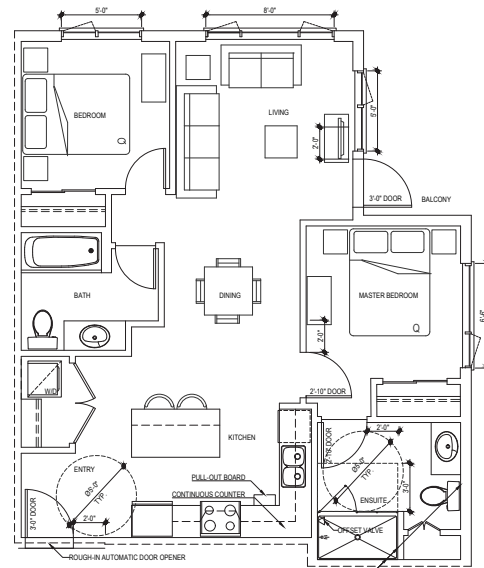
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAR
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNRESTRICTED GARBAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3' 0" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
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 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
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 - ACCESSIBLE ENTRYPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5' 0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22N (5 lb) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1200mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 8" (102mm TO 152mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE-BALANCED TUB/SHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 2" (51mm) CLEARANCE ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (102mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIO/BALCONY/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORSILL WITH MAXIMUM 1/2" (13mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP RESISTANT FLOORING
 - PULL-OUT WORK BOARDS AT 2' 0" (610mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (1" OR 1" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 47" (1195mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2' 0" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (102mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.I.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP-RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 40" (1170mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (457mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 8' (2439mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



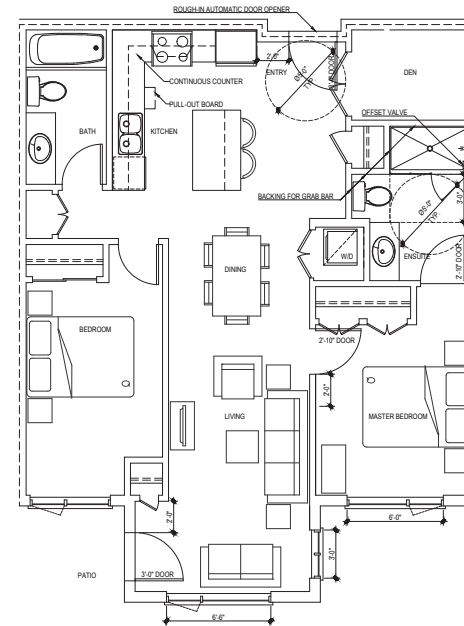
UNIT 2C



UNIT 2D



UNIT 2E



UNIT 2F

- GENERAL NOTES:**
- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY MELHANNAY ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
 - BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
 - REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATH TUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 7390".
- PARKING NOTES:**
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
 - UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
 - ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, C/W SPRINKLER PROTECTION AS REQUIRED.



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ISSUED: DATE:
1. REZONING / DPA 17 AUGUST 2017

ISSUED FOR
REZONING
DP APPLICATION
17 AUGUST 2017

NO. REVISION: DATE:

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ARCHITECTURAL SEAL:



PROJECT:
E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE:
UNIT PLANS

DATABASE: 1629-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOT DATE: AUG. 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

DWG. NO. A7.3

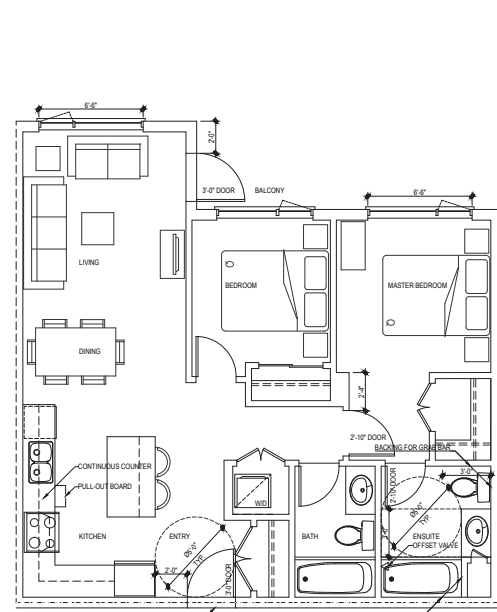
D.P.A. No.:

6.0 PROJECT DESIGN

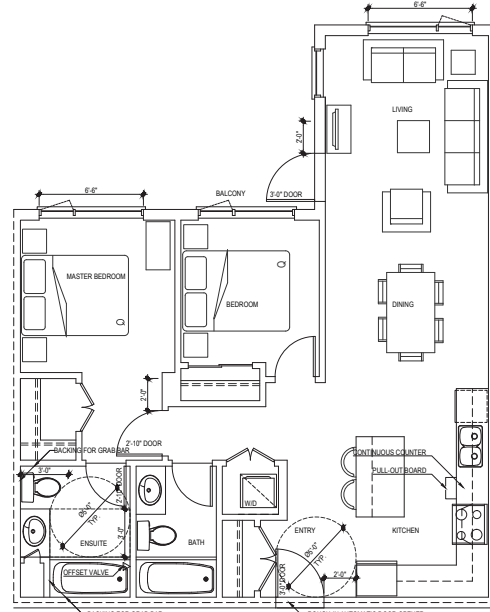
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

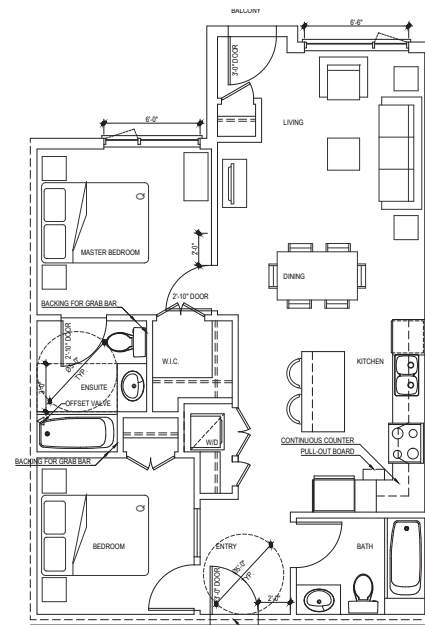
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAR
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNSTRUCTURED GARBAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3'-0" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTRYPHONE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 1/2" (13mm) THRESHOLDS THROUGHOUT THE BUILDING (UNIT ENTRY, COMMON AREAS, BUILDING ENTRY)
 - ACCESSIBLE ENTRYPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5'-0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22N (5 lbs) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1200mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D-HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 6" (100mm TO 150mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE BALANCED TUBSHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 3" (75mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (100mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIO/BALCONIES/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORS WITH MAXIMUM 1/2" (13mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP RESISTANT FLOORING
 - PULL-OUT WORK BOARDS AT 2'-8" (815mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (1" OR 1/2" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 46" (1168mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2'-6" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (100mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.N.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 46" (1170mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (457mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 8" (203mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



UNIT 2G



UNIT 2H



UNIT 2J

- GENERAL NOTES:**
- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY MELHAINNEY ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
 - BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
 - REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BY-LAW, 2003, No. 7300".
- PARKING NOTES:**
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
 - UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
 - ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, CW SPRINKLER PROTECTION AS REQUIRED.



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**REZONING
 DP APPLICATION**
 17 AUGUST 2017

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ARCHITECTURAL SEAL:



CLIENT:
 PROJECT:
 E 2nd ST. & St. GEORGE'S AVE.
 210-230 E 2nd STREET
 NORTH VANCOUVER, B.C.
 DRAWING TITLE:
UNIT PLANS

DATABASE: 1629-A7.0.dwg
 SCALE: 1/4"=1'-0"
 PLOT DATE: AUG. 2017
 DRAWN: AH/JU
 CHECKED: KH
 PROJECT NO. 1629

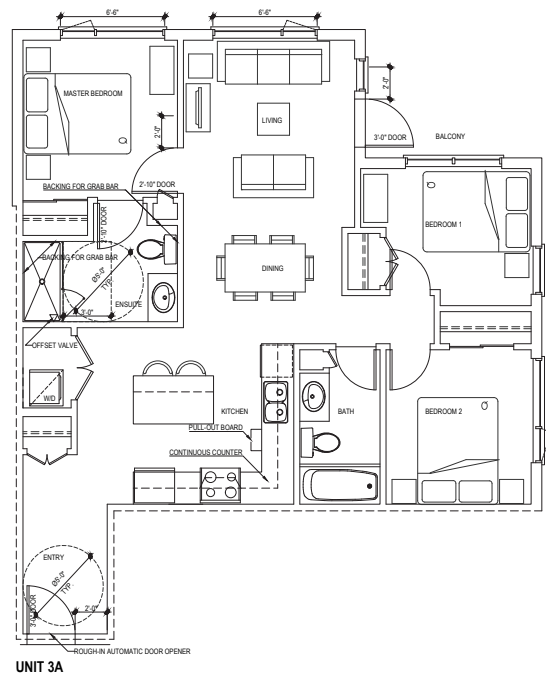
DWG. NO. **A7.4**
 D.P.A. No. :

6.0 PROJECT DESIGN

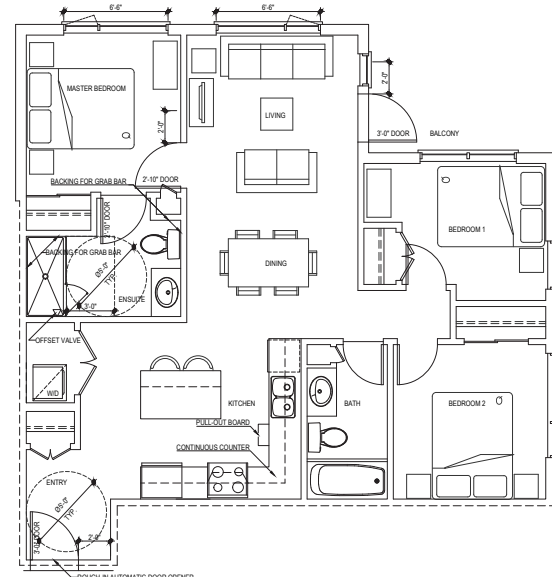
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

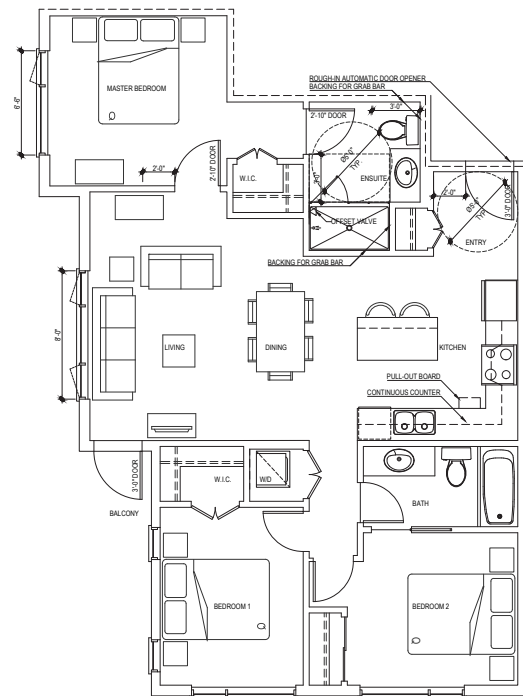
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSING OF EACH STAIR
 - TACTILE AND VISUAL CLUES ON CURB CUTS
 - UNRESTRICTED GARAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3'-0" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTRYPHONE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 1/2" (13mm) THRESHOLDS THROUGHOUT THE BUILDING (UNIT ENTRY, COMMON AREAS, BUILDING ENTRY)
 - ACCESSIBLE ENTERPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5'-0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR COMPLIANCE)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22N (5 lb) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 47" (1200mm) ABOVE F.F. WITH DEADBOLTS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D-HANDLES
 - D-HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 6" (100mm TO 150mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP RESISTANT FLOORING
 - PRESSURE BALANCED TUBSHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 3" (75mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (100mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIO/BALCONY/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORS WITH MAXIMUM 1/2" (13mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MINI RAMPS CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP RESISTANT FLOORING
 - PULL-OUT WORK SURFACES AT 2'-8" (815mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (2" OR 1" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 46" (1168mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE WINDOW FOR OPENING AND CLOSING
 - 2'-6" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (100mm) TALL AND IN CONTRASTING COLOURS
 - ALL SIGNAGE, CONTROL BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, U.N.O.
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 46" (1170mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 18" (450mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL, OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 6" (200mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



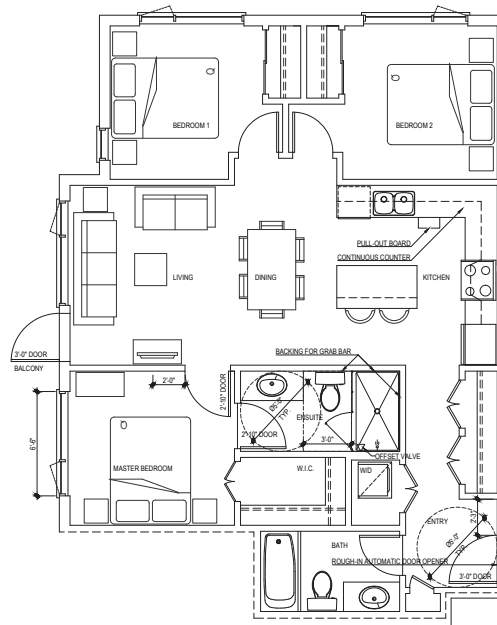
UNIT 3A



UNIT 3B



UNIT 3C



UNIT 3D

- GENERAL NOTES:**
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 - REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
- REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 - PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATHTUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 - ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 - ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 - THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF "CONSTRUCTION REGULATION BYLAW, 2003, No. 7390".
- PARKING NOTES:**
- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
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 - ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, C/W SPRINKLER PROTECTION AS REQUIRED.



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ARCHITECTURAL SEAL:



PROJECT:
E 2nd ST. & St. GEORGE'S AVE.

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DRAWING TITLE:
UNIT PLANS

DATABASE: 1629-A7.0.dwg

SCALE: 1/4"=1'-0"

PLOT DATE: AUG. 2017

DRAWN: AH/JU

CHECKED: KH

PROJECT NO. 1629

DWG. NO.
A7.5

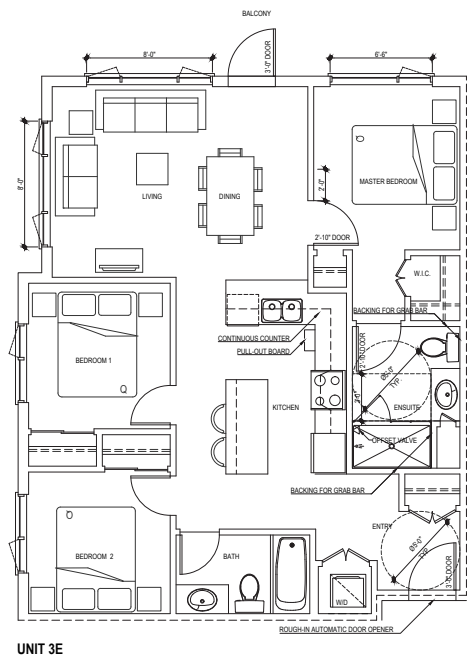
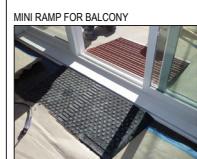
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6.0 PROJECT DESIGN

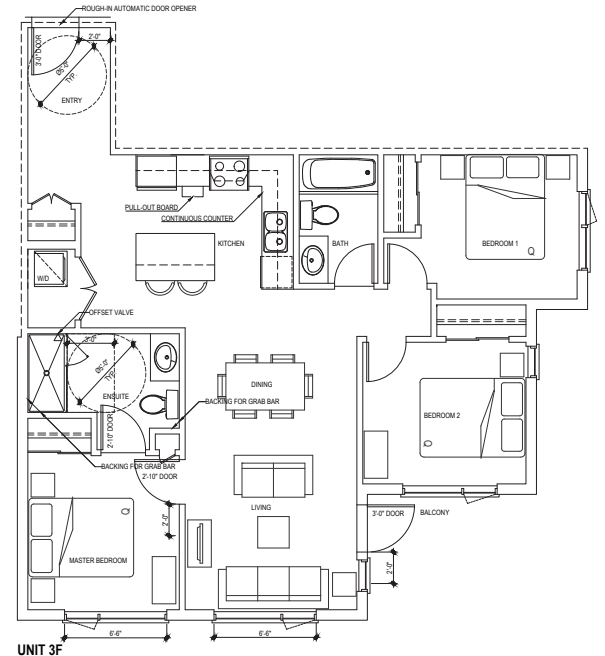
6.4 ARCHITECTURAL PLANS

6.4.13 Unit Layouts

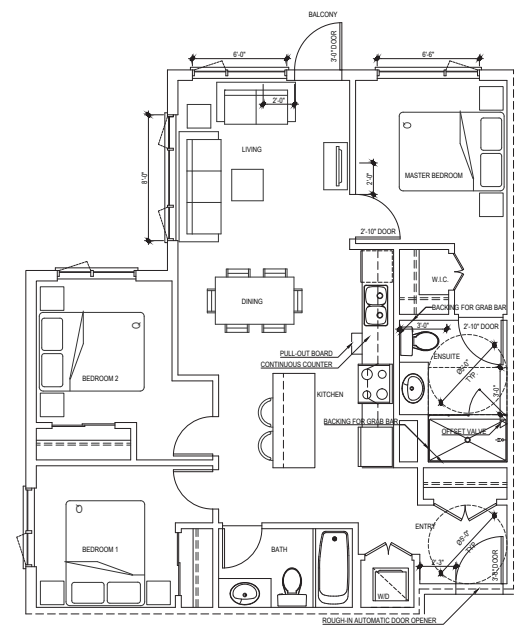
- ADAPTABILITY (LEVEL 2) GENERAL NOTES**
- BUILDING ACCESS**
- MAXIMUM DEGREE OF COLOUR CONTRAST ON NOSE OF EACH STEP
 - TACTILE AND VISUAL CUES ON CURB CUTS
 - UNOBTURATED GARBAGE & RECYCLING RECEPTACLES AND STORAGE LOCKERS
 - 3'-0" (915mm) CANOPY OVER MAIN BUILDING ENTRANCE
 - ENTERPHONE AT BUILDING ENTRANCE
 - AUTOMATIC DOOR OPENER FOR MINIMUM ONE BUILDING ENTRY DOOR AT GROUND LEVEL AND EVERY PARKING LEVEL WHERE DISABILITY PARKING IS PROVIDED
 - MAXIMUM 12" (305mm) THRESHOLDS THROUGHOUT THE BUILDING UNIT ENTRY, COMMON AREAS, BUILDING ENTRY
 - ACCESSIBLE ENTERPHONE AND CALL BUTTONS
- COMMON AREAS**
- ACCESSIBLE MAILBOXES
- CIRCULATION**
- ALL FLOORING TO BE SLIP-RESISTANT
 - 5'-0" (1525mm) TURNING RADIUS PROVIDED IN ALL HALLWAYS AND IN FRONT OF UNIT ENTRIES (REFER TO FLOOR PLANS FOR CORNER RADIUS)
- UNIT ENTRIES**
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR UNIT ENTRY DOORS
 - INSTALL ADJUSTABLE DOOR CLOSERS WITH MAXIMUM 22in (560) OPENING FORCE ON ALL UNIT ENTRY DOORS
 - INSTALL DOOR HANDLES 40" (1016mm) ABOVE F.F. WITH DEADLOCKS DIRECTLY ABOVE OR BELOW
- ADAPTABLE DOORS**
- POCKET DOORS TO HAVE HEAVY DUTY, DOUBLE-GUIDED HARDWARE AND D HANDLES
 - D HANDLES TO HAVE A GRASPABLE LENGTH OF 4" TO 6" (102mm TO 152mm)
- AT LEAST ONE BATHROOM FROM EACH UNIT:**
- ADJUSTABLE HEIGHT HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - SLIP-RESISTANT FLOORING
 - PRESSURE-BALANCED TUB/SHOWER VALVES
 - TUB CONTROL VALVE AT OUTER EDGE OF TUB. KEEP TUB SPOUT IN CENTRAL POSITION
 - 3" (76mm) CLEAR ALONG FULL LENGTH OF TUB
 - WATER SUPPLY AND DRAIN TO ALLOW 4" (102mm) DROP IN VANITY HEIGHT
 - REMOVABLE VANITY SINK
- LIVING ROOM**
- ONE SWITCHED ELECTRICAL OUTLET
- BEDROOM**
- THREE-WAY SWITCH OUTLET AT BED AREA AND DOORWAY
 - LIGHT FIXTURE IN OR ADJACENT TO CLOSET
 - TELEPHONE JACK
- IN-SUITE STORAGE**
- LIGHT FIXTURE
 - ELECTRICAL OUTLET
- PATIOS/BALCONIES/TERRACES**
- MINIMUM ONE PATIO/BALCONY/TERRACE DOORS/LL WITH MAXIMUM 12" (305mm) THRESHOLD WHERE POSSIBLE
 - MINIMUM ONE ELECTRICAL OUTLET
 - MINIMUM ONE OUTDOOR LIGHT FIXTURE
 - MIN RAMP(S) CAN BE PROVIDED (UPON REQUEST) FOR ACCESS TO BALCONY/PATIO/TERRACE WHERE UNIT INTERIOR AND EXTERIOR ELEVATIONS DIFFER (SEE ATTACHED PHOTO)
- KITCHENS**
- SLIP-RESISTANT FLOORING
 - PULL-OUT WORK SURFACES AT 2'-8" (813mm) ABOVE F.F.
 - MINIMUM 100 LUX LIGHTING LEVEL AT SINK, STOVE, AND WORK AREAS IN ADDITION TO GENERAL OVERHEAD LIGHTING
 - LEVER HANDLE FAUCETS AND CABINET HANDLES THAT CAN BE EASILY USED WITH AN OPEN HAND (2" OR 2" HANDLES)
 - ALL SHELVES TO BE ADJUSTABLE
- WINDOWS**
- OPENING MECHANISM 40" (1016mm) ABOVE F.F.
 - EASILY GRASPABLE AND OPERABLE MECHANISM FOR OPENING AND CLOSING
 - 2'-0" MAX SILL HEIGHT IN LIVING, DINING, AND MINIMUM ONE BEDROOM
- GENERAL FIXTURES**
- BUILDING ADDRESS NUMBERS TO BE MINIMUM 4" (102mm) TALL AND IN CONTRASTING COLOURS
 - ALL STORAGE, CONTROL, BUTTONS, AND EXIT DOORS TO BE IN CONTRASTING COLOURS
 - MINIMUM 100 LUX LIGHTING LEVELS OUTSIDE AND INSIDE MAIN BUILDING ENTRIES AND UNIT ENTRIES
 - LEVER DOOR HANDLES ON ALL DOORS, UNO
- FINISHES**
- UNPOLISHED FLOOR FINISH IN BUILDING ENTRY
 - SLIP-RESISTANT FLOORING IN ALL KITCHENS AND MINIMUM ONE BATHROOM
 - CARPET AND DRAPES IN COMMON AREAS TO ABSORB NOISE WHERE APPLICABLE
 - CARPET TO BE LOW LEVEL LOOP WITH MAXIMUM 1/2" (13mm) THICK UNDERLAY
- ELECTRICAL**
- 40" (1016mm) MAXIMUM HEIGHT ABOVE F.F. FOR SWITCHES, CONTROLS, THERMOSTATS, AND BREAKER PANELS
 - 15" (381mm) MINIMUM HEIGHT ABOVE F.F. FOR ELECTRICAL OUTLETS, CABLE OUTLETS, AND TELEPHONE JACKS
 - ONE DUPLEX OUTLET WITHIN 6" (152mm) OF A TELEPHONE JACK IN UNITS
 - CONNECT FIRE ALARM SYSTEM TO WIRING FOR VISUAL ALARM SYSTEM IN LIVING ROOM AND MINIMUM ONE BEDROOM
 - ALL SWITCHES TO BE ROCKER SWITCHES



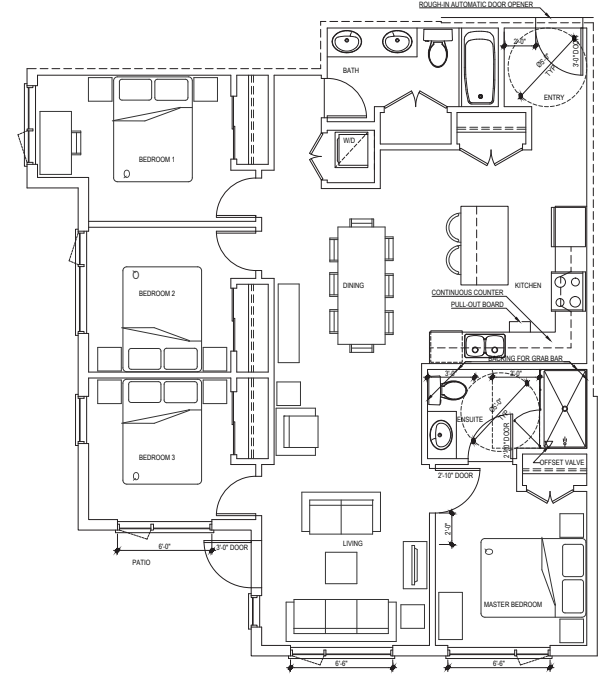
UNIT 3E



UNIT 3F



UNIT 3G



UNIT 4A

- GENERAL NOTES:**
1. EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYORS DRAWING PREPARED BY MELHANNEN ASSOCIATES LAND SURVEYING LTD., DATED 1 JUNE 2017.
 2. BUILDING GRADE ELEVATIONS AS CIVIL DRAWINGS.
 3. REFER TO CIVIL DRAWINGS FOR OFF-SITE WORK AND SERVICE CONNECTIONS.
 4. REFER TO LANDSCAPE DRAWINGS FOR GRADING, PLANTER / RETAINING WALLS, PAVING AND LANDSCAPE DETAILS.
- RESIDENTIAL NOTES:**
5. REFER TO THE UNIT PLANS FOR LEVEL 2 ADAPTABILITY FEATURES.
 6. PROVIDE REINFORCEMENT IN WALL ASSEMBLIES ADJACENT TO A TOILET AND BATH/TUB FOR ACCOMMODATION OF FUTURE GRAB BARS.
 7. ALL KITCHEN SINKS AND WASHROOMS WITHIN RESIDENTIAL UNITS TO BE PROVIDED WITH LEVER TYPE FAUCETS.
 8. ALL DOOR EXCEPT SERVICE DOORS TO HAVE LEVER OR PUSH/PULL HANDLE, OR ADA APPROVED TYPE.
 9. THE DESIGN OF THE BUILDING REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH PART 9 OF 'CONSTRUCTION REGULATION BYLAW, 2003, No. 7397'.
- PARKING NOTES:**
10. MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBOURHOOD.
 11. UNDERGROUND PARKING IS TO BE ADEQUATELY VENTILATED.
 12. ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, C/W SPRINKLER PROTECTION AS REQUIRED.



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ISSUED: DATE:
1. REZONING / DPA 17 AUGUST 2017

ISSUED FOR
REZONING
DP APPLICATION
17 AUGUST 2017

NO. REVISION: DATE:
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ARCHITECTURAL SEAL:



CLIENT: GWL REALTY ADVISORS

PROJECT: E 2nd ST. & St. GEORGE'S AVE.
210-230 E 2nd STREET
NORTH VANCOUVER, B.C.

DRAWING TITLE: UNIT PLANS

DATABASE: 1629-A7.0.dwg
SCALE: 1/4"=1'-0"
PLOT DATE: AUG, 2017
DRAWN: AH/JU
CHECKED: KH

PROJECT NO. 1629

DWG. NO. A7.6

D.P. A. No. :