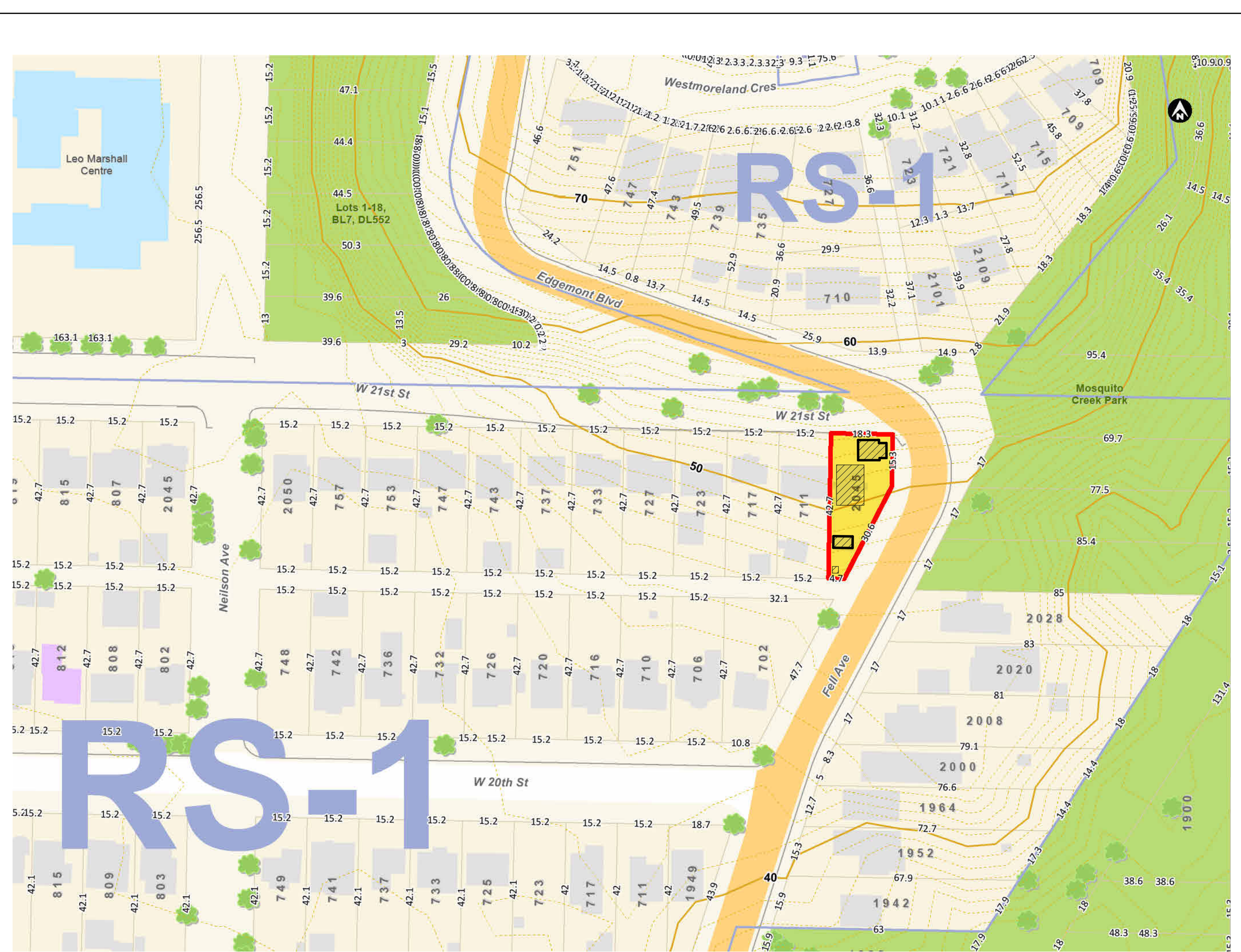
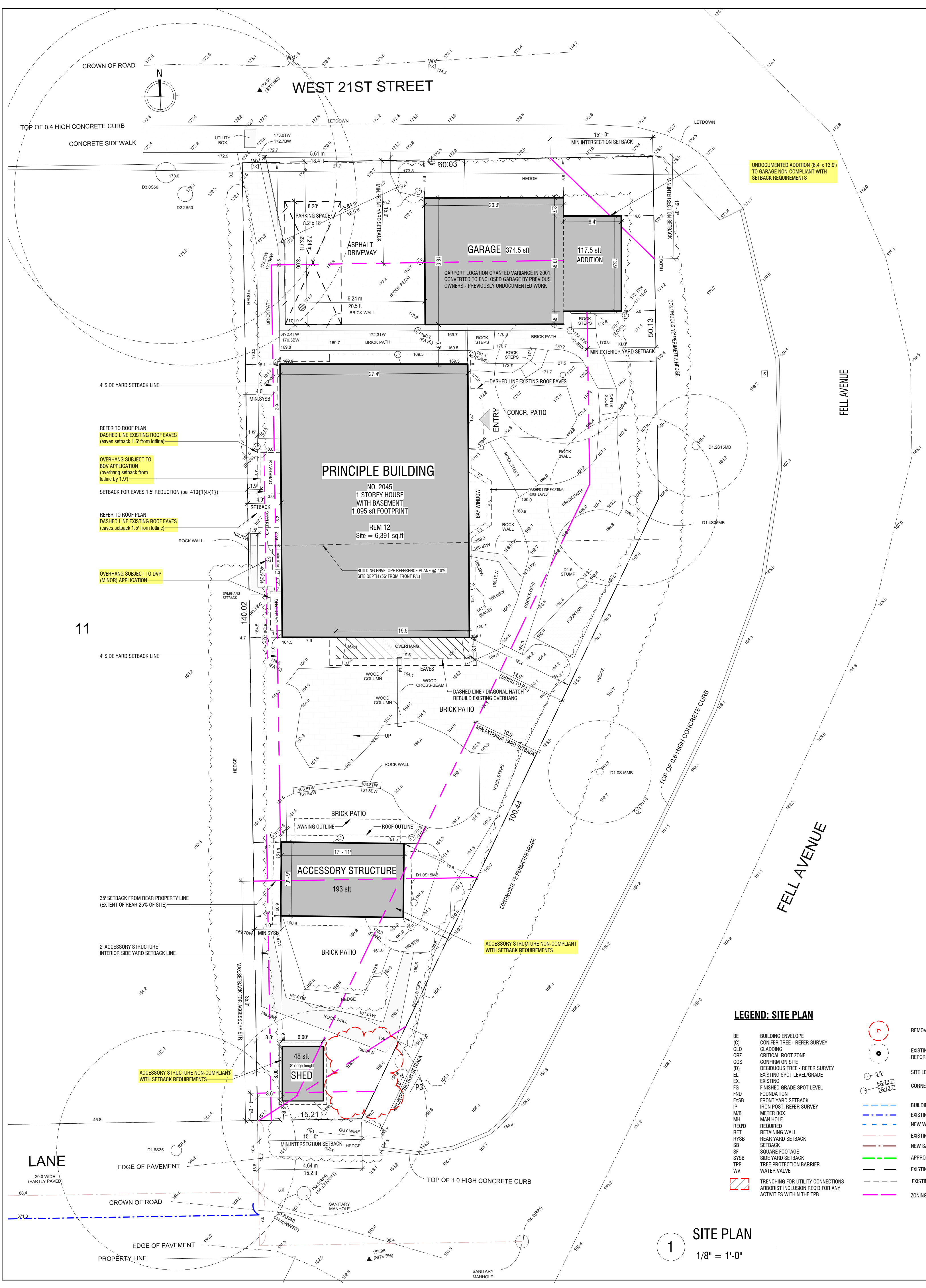
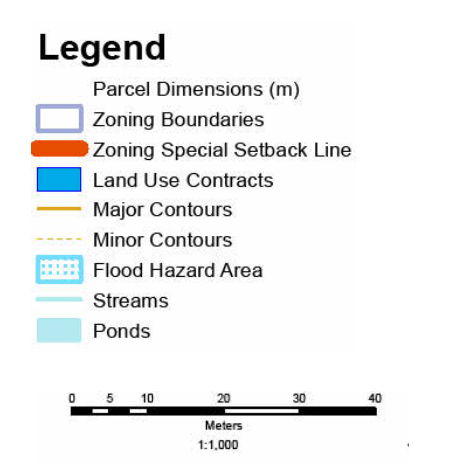






2
1" = 80'-0"



DISCLAIMER
This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

CONTEXT MAP & SITE ANALYSIS

Topography:
The subject site is situated in a transitional zone where the flatlands begin to give way to the rising slopes of the North Shore mountains. These slopes offer many residents good views to the south. The current site has a noticeable grade change of 18% (5.5m) from top to bottom.

Surrounding OCP and Zoning Designations:
The site is zoned as RS-1 (one-unit residential zoning) and sits within a consistent low-density residential neighborhood. To the north and south are more RS-1 zones, while there is a School & Institutional zone closely as well as Parks, Recreation & Open Spaces zones to the immediate north, east and west.

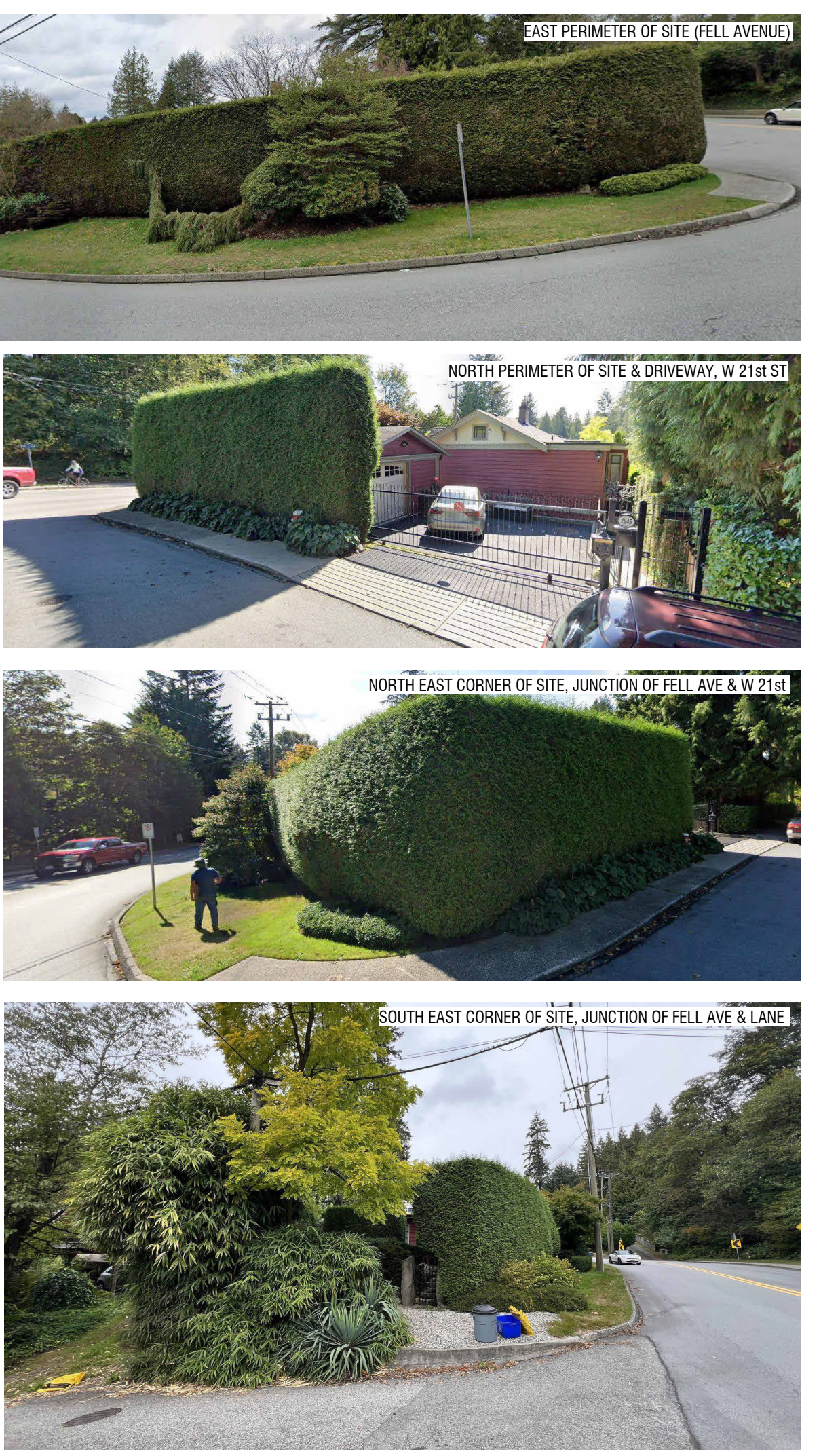
View Corridor and View Impact Assessment:
Given the topographical characteristics, with the land generally sloping down towards the south, properties on Fell Avenue, including 2045, will enjoy wide view corridors, depending on the specific elevation and immediate tree canopy. There is no development proposed on this site and the existing buildings are well below the allowable height limits with no blockage to any views from neighboring properties. No further view impact assessment required.

Composition of Surrounding and Neighbouring Character and Land Uses:
The surrounding character is overwhelmingly residential, composed of single-family homes consistent with the RS-1 zoning. The parcel sizes are relatively uniform (except for corner lots such as the subject site), suggesting a well-established one-unit residential neighborhood. Mosquito Creek Park to the east provides a significant natural amenity, contributing to the recreational and environmental character of the area. This mix creates a suburban residential environment with convenient access to greenspace and community facilities.

Intended or Existing Street Character Adjacent to the Site:
The site is a distinctive wedge-shaped lot situated at the junction of three public thoroughfares: West 21st Street and Edgemont Boulevard to the north, Fell Avenue to the east and a public lane defining the southern property line. The character is defined by the surrounding single-family homes, bookends, street trees and sidewalks. Edgemont Blvd, further to the north, is a larger thoroughfare carrying more traffic and serves as a main collector road for the broader neighborhood. Current proposals have no impact on existing street character owing to the proposals involving no development or construction other than minor repairs to existing structures.

Figure Ground of the Immediate Area:
The figure-ground relationship in the immediate area is characterized by a strong pattern of individual residential structures set within relatively generous private yards. The buildings are detached, maintaining consistent setbacks from property lines and streets, creating a permeable urban fabric. The presence of Mosquito Creek Park & Heywood Park create a large, uninterrupted area to the east and west, contrasting with the more fragmented "figure-ground" of the residential blocks. This pattern exemplifies an open, low-density residential environment.

Edges, Paths, Barriers, Landmarks, Nodes within the Immediate Vicinity of the Site:
A prominent edge and barrier is the topographical change itself, with the general slope of the land. Mosquito Creek Park acts as a significant natural edge to the east, separating the residential area from a natural greenspace. The North Vancouver Spirit Trail (a multi-use pathway) runs relatively close by. Edgemont Blvd acts as a significant arterial road, defining a northern edge to the immediate residential blocks. Within the residential area, the uniform grid of streets forms a network of paths, with intersections acting as minor nodes.



1
1/8" = 1'-0"

LEGEND: SITE PLAN

- BE BUILDING ENVELOPE
 - CLD CONCRETE TREE - REFER SURVEY
 - CRZ CRITICAL ROOT ZONE
 - COS CONFORM ON SITE
 - EL EXISTING SPOT LEVEL/GRADE
 - EX EXISTING FINISHED GRADE SPOT LEVEL
 - FG FOUNDATION
 - FVSB FRONT YARD SETBACK
 - IP IRON POST, REFER SURVEY
 - MH MAN HOLE
 - RETD REQUIRED RETAINING WALL
 - RYSB REAR YARD SETBACK
 - SB SETBACK
 - SF SQUARE FOOTAGE
 - SYSB SIDE YARD SETBACK
 - TPB TREE PROTECTION BARRIER
 - WV WATER VALVE
 - TRENCHING FOR UTILITY CONNECTIONS
 - ARBORIST INCLUSION RECORD FOR ANY ACTIVITIES WITHIN THE TPB
- REMOVE EXISTING TREE, REFER REPORT FOR DETAILS
 - EXISTING TREE TO REMAIN, REFER ARBORIST REPORT FOR DETAILS
 - SITE LEVELS IN DECIMAL FEET - REFER SURVEY
 - CORNER SET & BUILDING LEVELS IN DECIMAL FEET - REFER SURVEY
 - BUILDING ENVELOPE
 - EXISTING WATER LINE
 - NEW WATER LINE
 - EXISTING SANITARY LINE
 - NEW SANITARY LINE
 - APPROX. EXISTING GAS, CONFORM WITH FORTIS BC
 - EXISTING EASEMENT/RIGHT OF WAY
 - EXISTING FENCE AND/OR HEDGE
 - ZONING SETBACKS

1676 West 75th Avenue,
Vancouver, BC V6P 6G2
www.kerrdesignbuild.com
PH: 604 263 0343

COPYRIGHT: © Kerr Design Build
This work is covered by copyright & cannot be reproduced or copied in any form or by any means without written permission of Kerr Design Build

IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFORM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFORM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED
- 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION

CORBELLA / FONZO RESIDENCE

KERR DESIGN BUILD I hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.	
Signature(s)	Initials Date
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS	

P3	26.09.25	UPDATED ZONING STATS, ADD SHED	
P2	28.05.25	BP - REDUCED SCOPE	
P1	09.05.25	BP Not Submitted	
REV	DATE	DETAILS	INIT

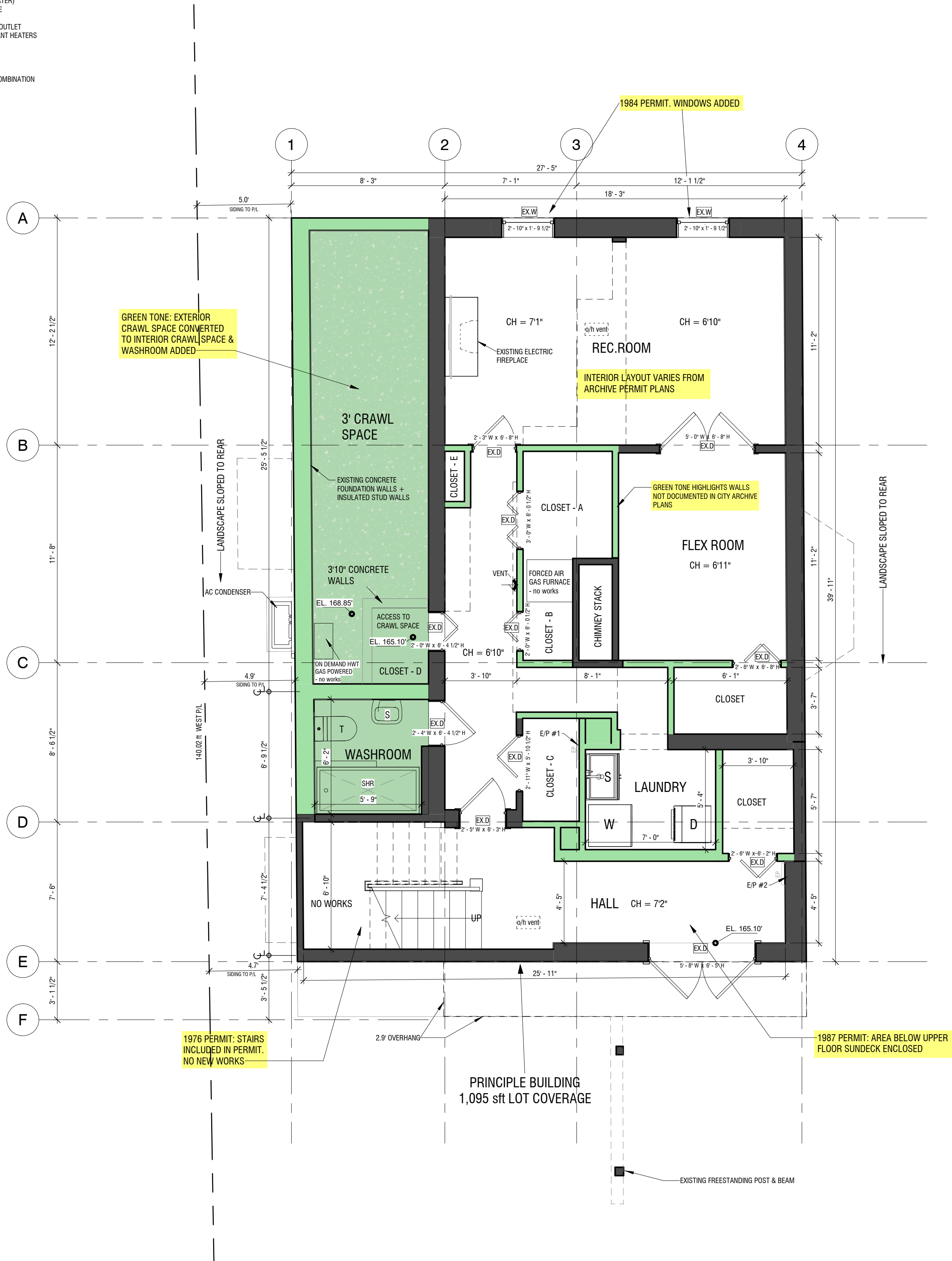
Project:
2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

Drawing:
SITE PLAN & CONTEXT STUDY

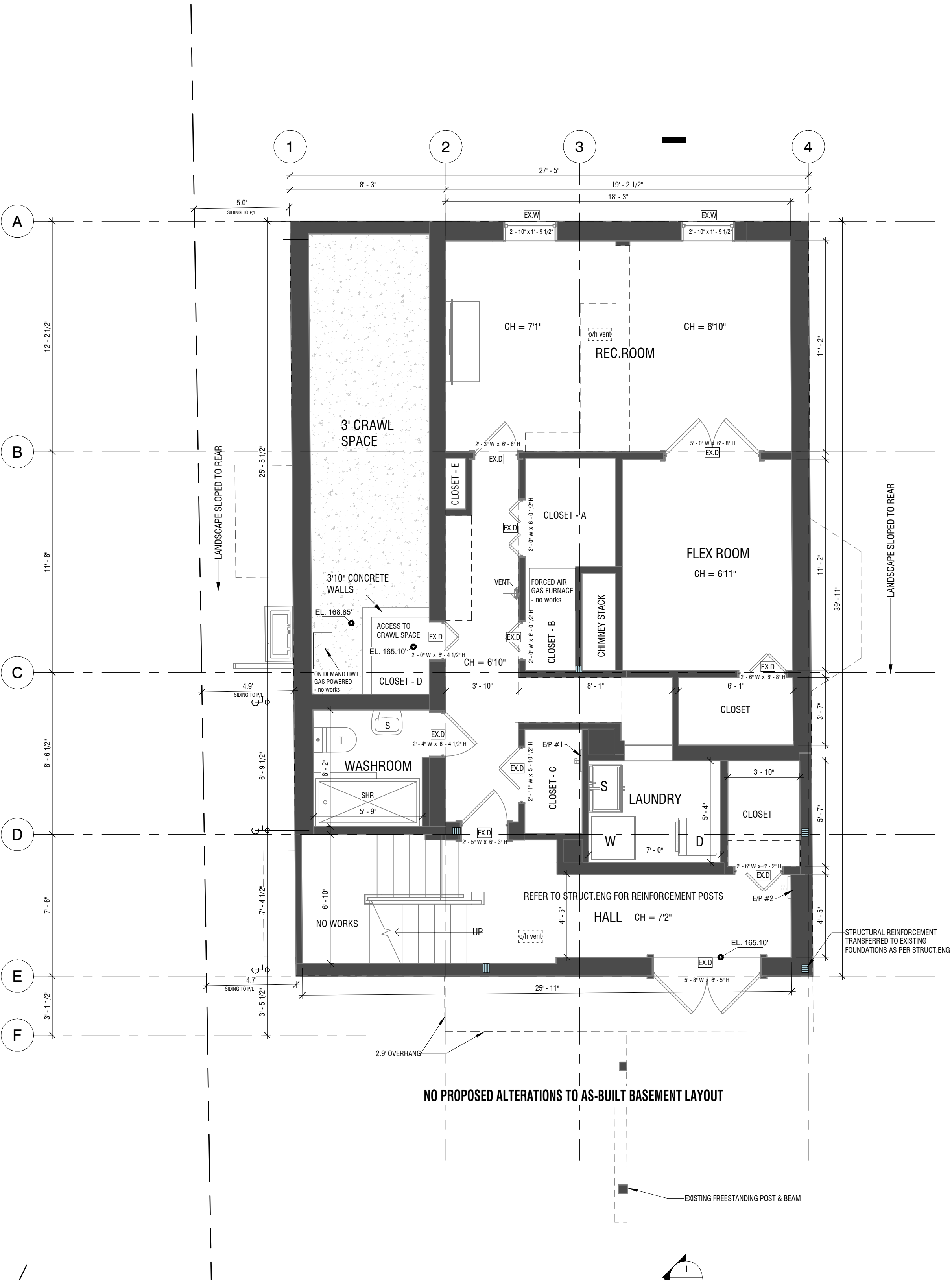
Date:	26.09.25
Scale:	@ 36" x 24" Sheet As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P3
Sheet No:	BP1

LEGEND: GENERAL ABBREVIATIONS

AH ACCESS HATCH
A/C AIR CONDITIONING UNIT
BA BATH
BBB WATER BIB
CH CEILING HEIGHT
COS CONFIRM ON SITE
DP DOWNPIPE
DSH WADGER
EX EXISTING, (CONFIRM ON SITE)
EP ELECTRICAL PANEL
FGL FINISH GRADE LINE
FD FLOOR DRAIN
FG FLOOR GLAZING
FP FLOOR PLACE
HP HIGH POINT
HWS HOT WATER SYSTEM
LP LOW POINT
MB METER BOX
MC MICROWAVE
MX MIXING VALVE (DIVERTER)
NOL NATURAL GRADE LINE
OP OPENABLE
PO ELECTRICAL POWER OUTLET
RAD FLOOR MOUNT RADIANT HEATERS
REF REFRIGERATOR
REQD REQUIRED
SINK
SC SCREEN (GLASS)
SD SMOKE DETECTOR/COMBINATION
SG SAFETY GLASS
SHR SHOWER
SL SLIDING
SR SHOWER ROSE
ST STOVE
T TOILET
TYP TYPICAL
V VENT
WB WASHER BOX
WD WASHER DRYER
OH OVERHEAD



1 1 LOWER FLOOR - ASBUILT
1/4" = 1'-0"



2 1 LOWER FLOOR - PROPOSED
1/4" = 1'-0"

LEGEND: ASBUILT & PROPOSED

- PROPOSED RECONSTRUCTION OF EXISTING ENVELOPE
- DEMOLITION
- PROPOSED NEW
- RETAINED EXISTING
- PRE-EXISTING LEGAL, NON CONFORMING



1676 West 75th Avenue,
Vancouver, BC, V6P 6G2
www.kerrdesignbuild.com
Ph: 604 263 0343

COPYRIGHT: © Kerr Design Build
This work is covered by copyright & cannot be reproduced or copied in any form or by any means without written permission of Kerr Design Build

IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE, EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
- 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

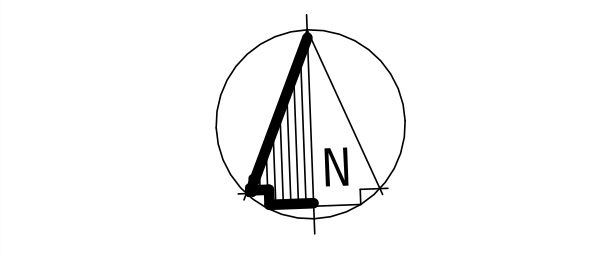
KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION

CORBELLA / FONZO RESIDENCE

KERR DESIGN BUILD
I have hereby certified that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

Signature(s) Initials Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



P2	28.05.25	BP - REDUCED SCOPE	
P1	09.05.25	BP Next Submitted	
REV	DATE	DETAILS	INIT

Project:
2045 FELL AVENUE, CITY NORTH
VANCOUVER, V7P2K7

Drawing:
FLOOR PLANS - LEVEL 1

Date:	28.05.25
Scale:	@ 3/8" = 1'-0" Sheet
As indicated	
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2
Sheet No:	BP3

IMPORTANT INFORMATION

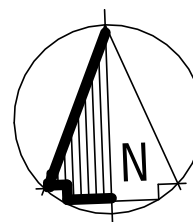
- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE, EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA / FONZO RESIDENCE

KERR DESIGN BUILD
I have hereby certified that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

Signature(s) Initials Date
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

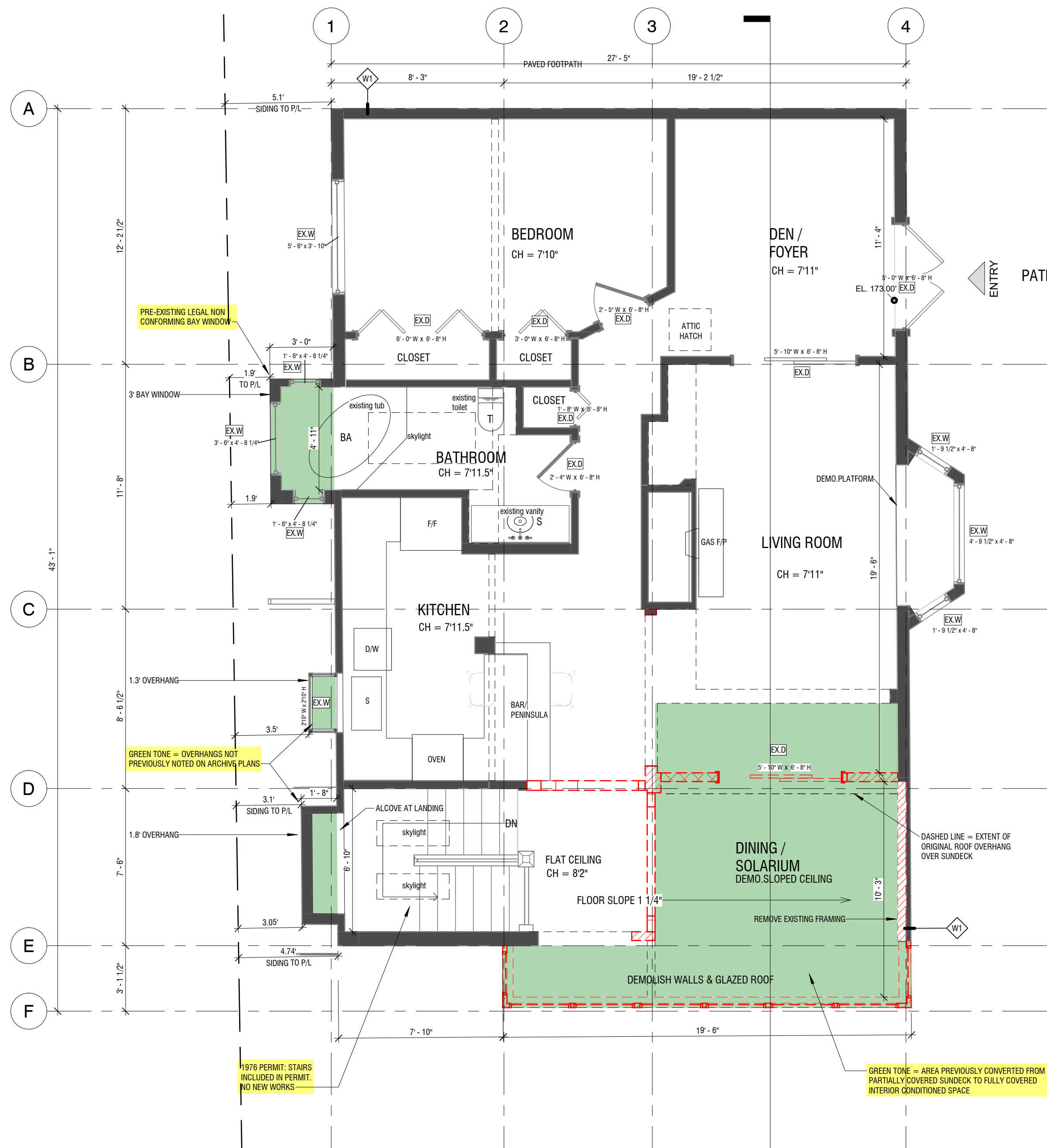


P3	26.09.25	UPDATED ZONING STATS, ADD SHED
P2	28.05.25	BP - REDUCED SCOPE
P1	09.05.25	BP Next Submitted
REV	DATE	DETAILS

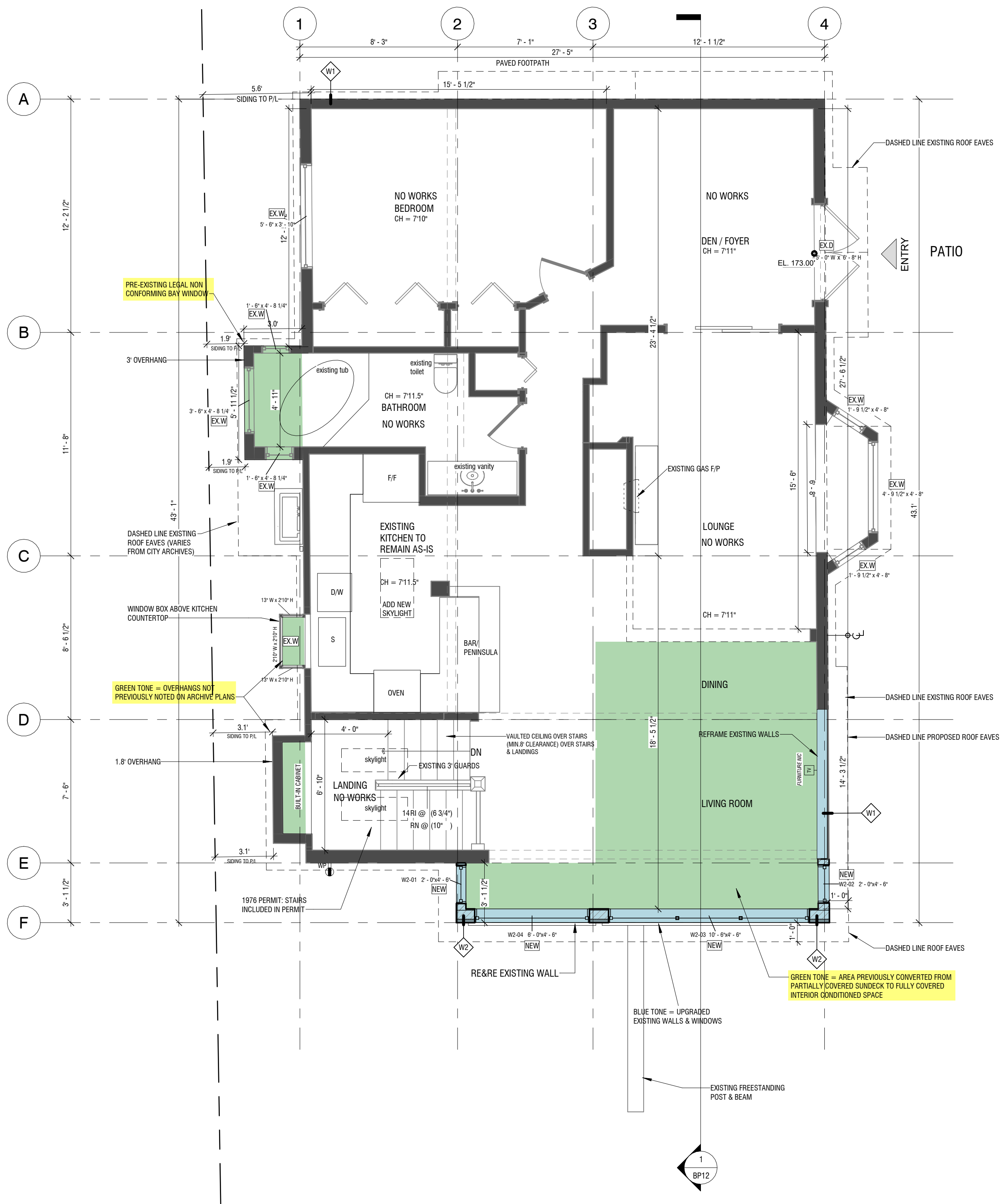
Project:
2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

Drawing:
FLOOR PLANS - LEVEL 2 ASBUILT & PROPOSED

Date:	26.09.25
Scale:	@ 3/8" = 1'-0"
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P3
Sheet No:	BP4



2 MAIN FLOOR - DEMOLITION
1/4" = 1'-0"



2 MAIN FLOOR - PROPOSED
1/4" = 1'-0"

LEGEND: ASBUILT & PROPOSED

- PROPOSED RECONSTRUCTION OF EXISTING ENVELOPE
- DEMOLITION
- PROPOSED NEW
- RETAINED EXISTING
- PRE-EXISTING LEGAL, NON CONFORMING



- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VB812019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER DRAINAGE
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THERE SHOULD BE NO CONFLICT ON SITE
- 6/ CONTRACTOR TO EMPLOY ENGINEERS DOCUMENTATION SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF CONSTRUCTION

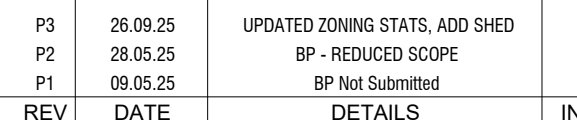
KEAR DESIGN BUILD

BUILDING PERMIT PLANS

**NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION**

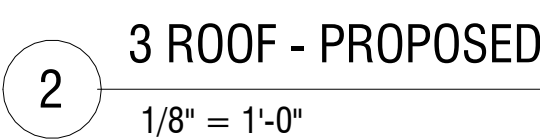
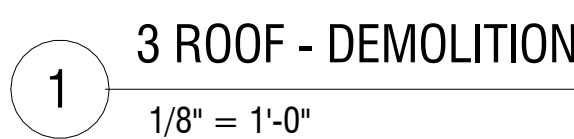
KERR DESIGN BUILD		
I've hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage		
Signature(s)	Initials	Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



Drawing:
FLOOR PLANS - ROOF

Date:	26.09.25
Scale:	@ 36"W x 24"H Sheet 1/8" = 1'-0"
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P3
Sheet No:	BP5



IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
- 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA /
FONZO
RESIDENCE

KERR DESIGN BUILD
I have hereby certified that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

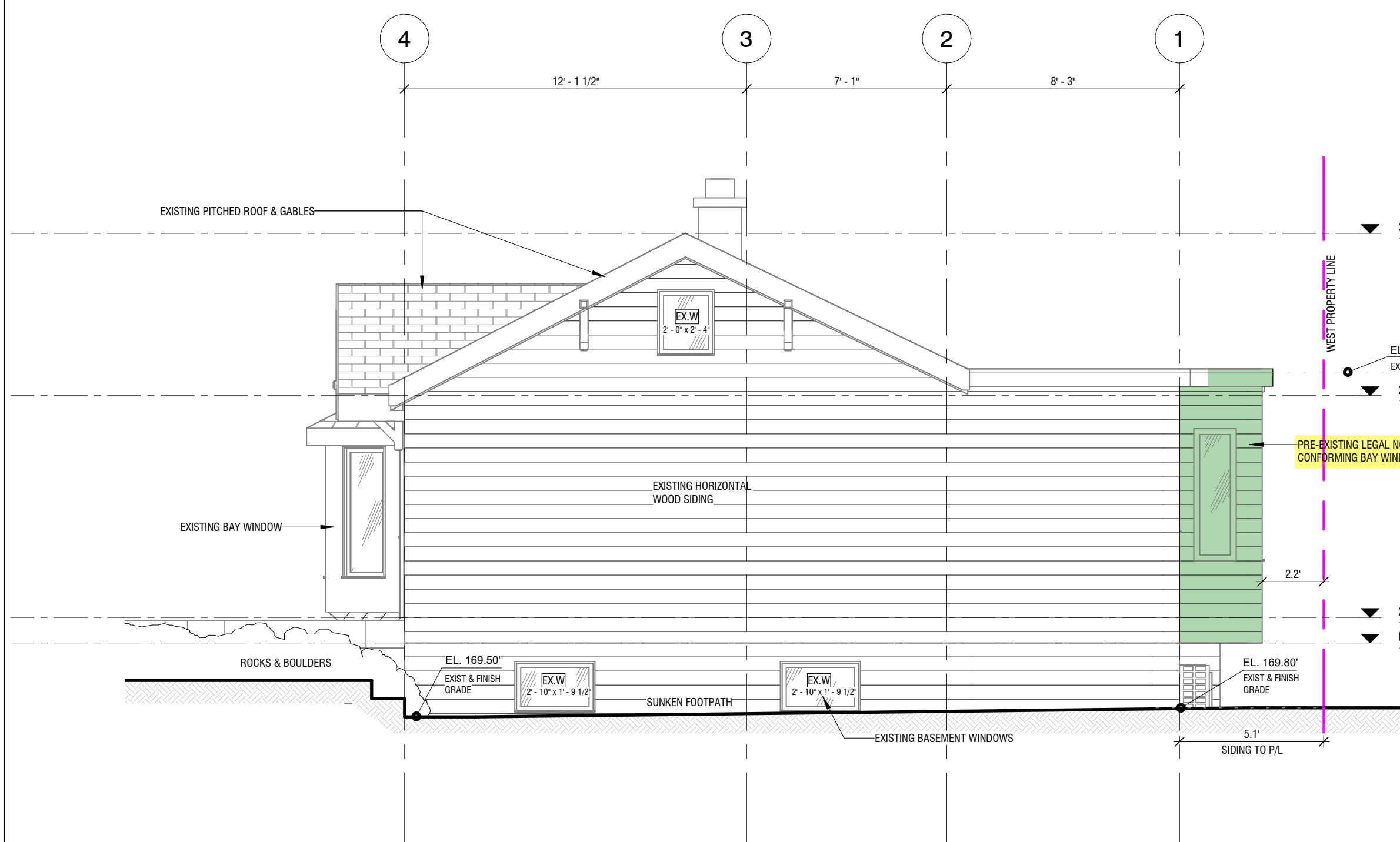
Signature(s) Initials Date
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

P2	28.05.25	BP - REDUCED SCOPE	
P1	09.05.25	BP Next Submitted	
REV	DATE	DETAILS	INIT

Project:
2045 FELL AVENUE, CITY NORTH
VANCOUVER, V7P2K7

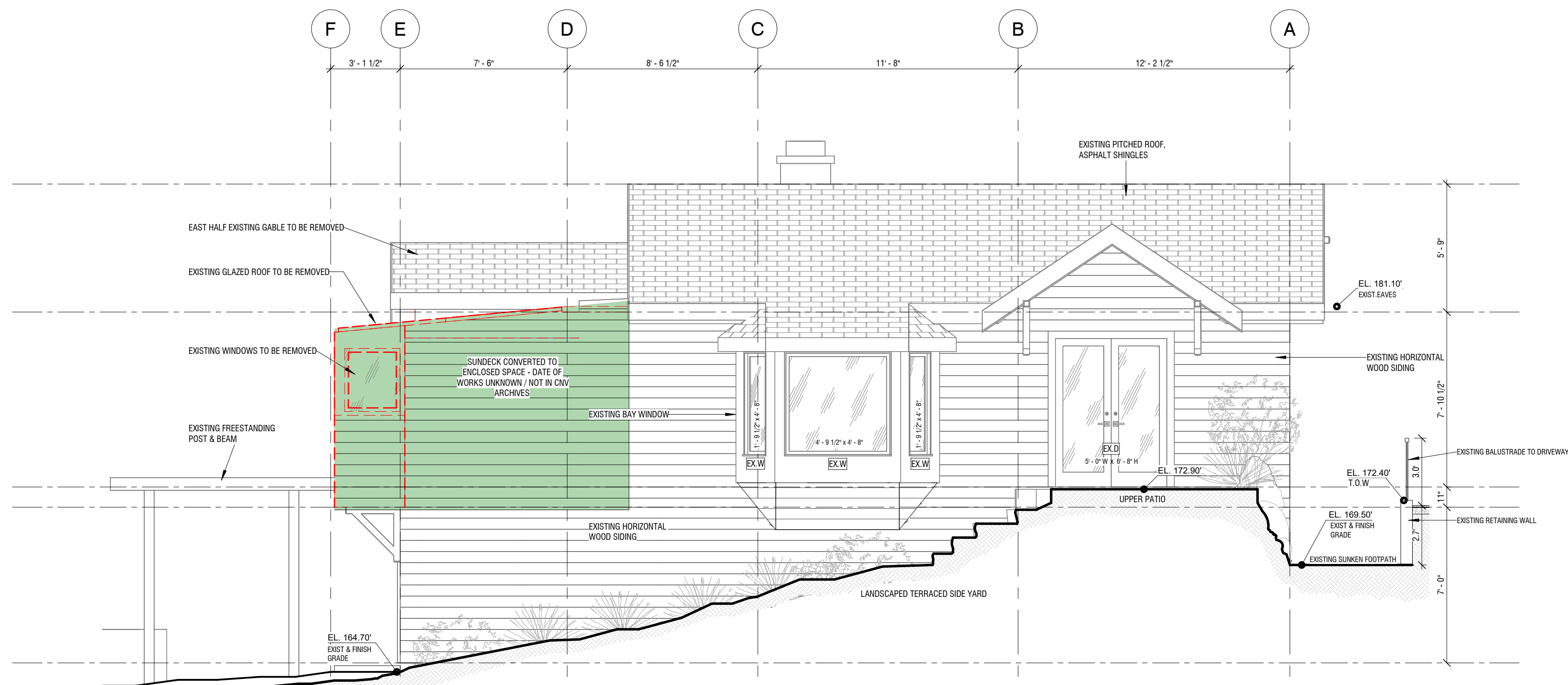
Drawing:
ELEVATIONS 1

Date:	28.05.25
Scale:	@ 3/8" = 1'-0" Sheet
As indicated	
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2
Sheet No:	BP10



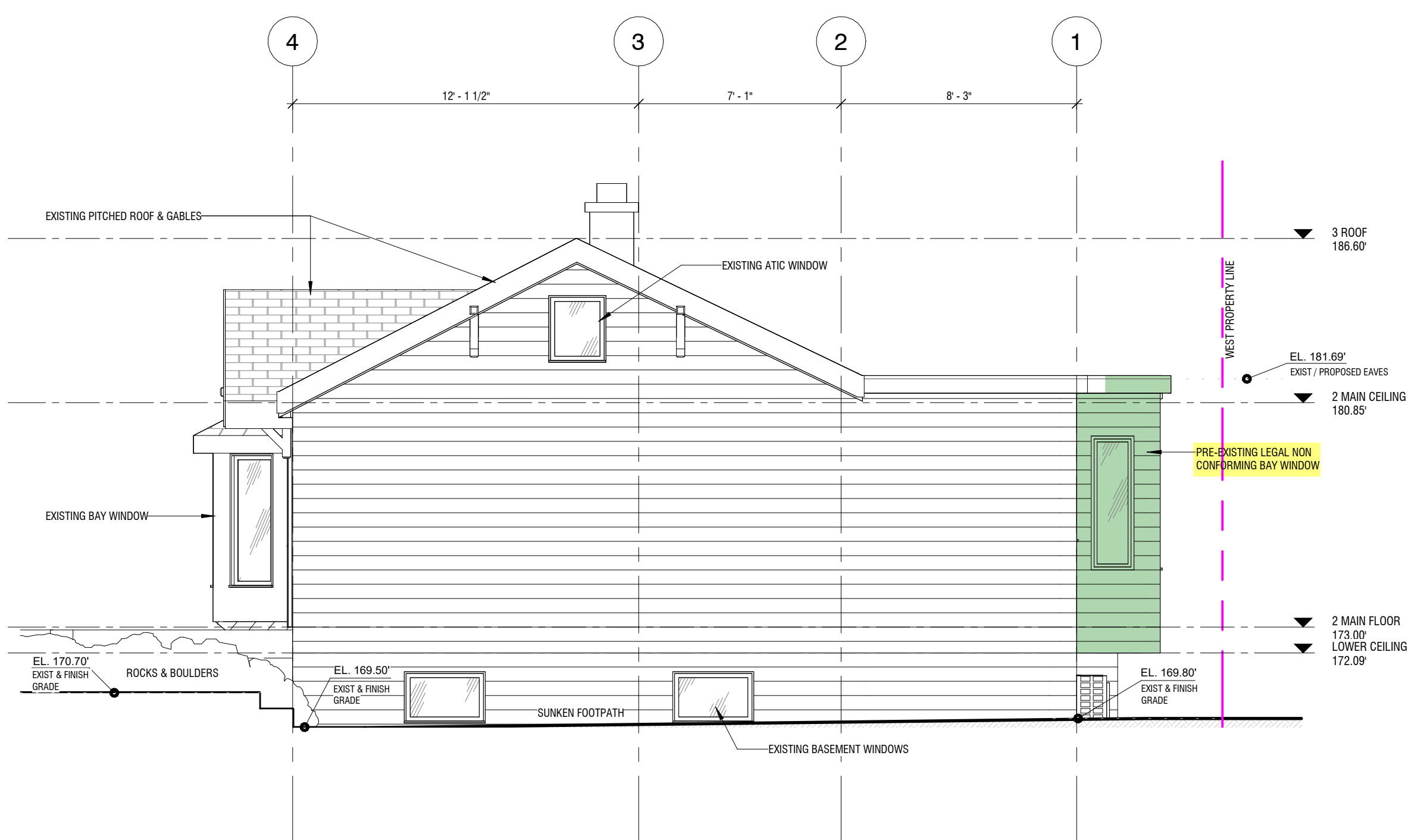
1
EXISTING - NORTH ELEVATION
1/4" = 1'-0"

REFERENCE GRADE, AVERAGE GRADE & HEIGHT ENVELOPE	
FRONT GRADE (172.6+173)/2	= 172.8'
REAR GRADE (153.1+156.2)/2	= 154.65'
REFERENCE GRADE 172.8+(154.65-172.8)*0.4	= 165.54'
MAX TOP PLATE 155.54+26.2	= 191.74'
MAX RIDGE 155.54+33	= 198.54'
AVERAGE GRADE: 169.8+169.5+164.5+164.7 /4	= 167.125'

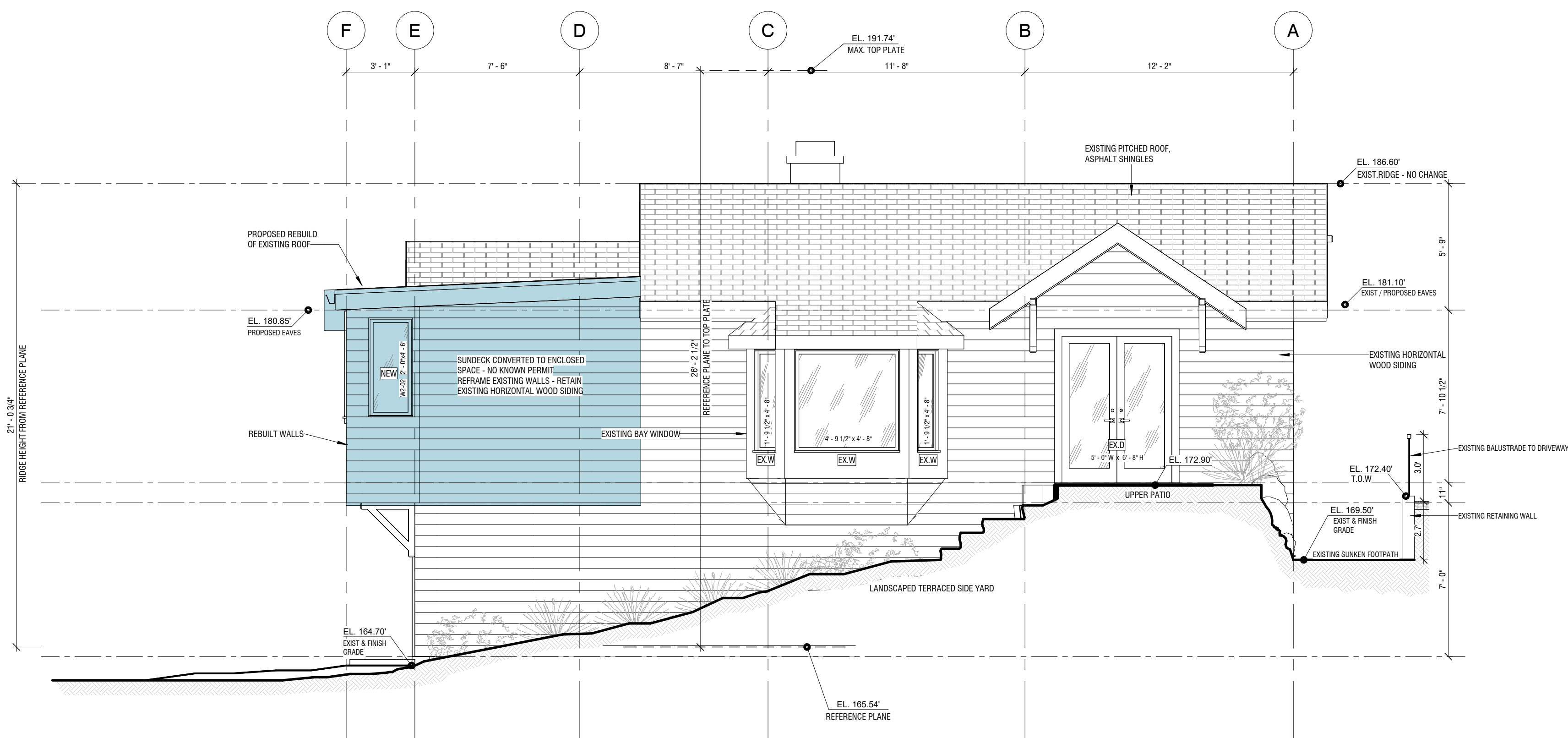


2
EXISTING - EAST ELEVATION
1/4" = 1'-0"

LEGEND: ASBUILT & PROPOSED	
	PROPOSED RECONSTRUCTION OF EXISTING ENVELOPE
	DEMOLITION
	PROPOSED NEW
	RETAINED EXISTING
	PRE-EXISTING LEGAL, NON CONFORMING



3
PROPOSED - NORTH ELEVATION
1/4" = 1'-0"



4
PROPOSED - EAST ELEVATION
1/4" = 1'-0"

IMPORTANT INFORMATION

1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE, EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED
12/ DO NOT SCALE FROM DRAWINGS, FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA /
FONZO
RESIDENCE

KERR DESIGN BUILD
I hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

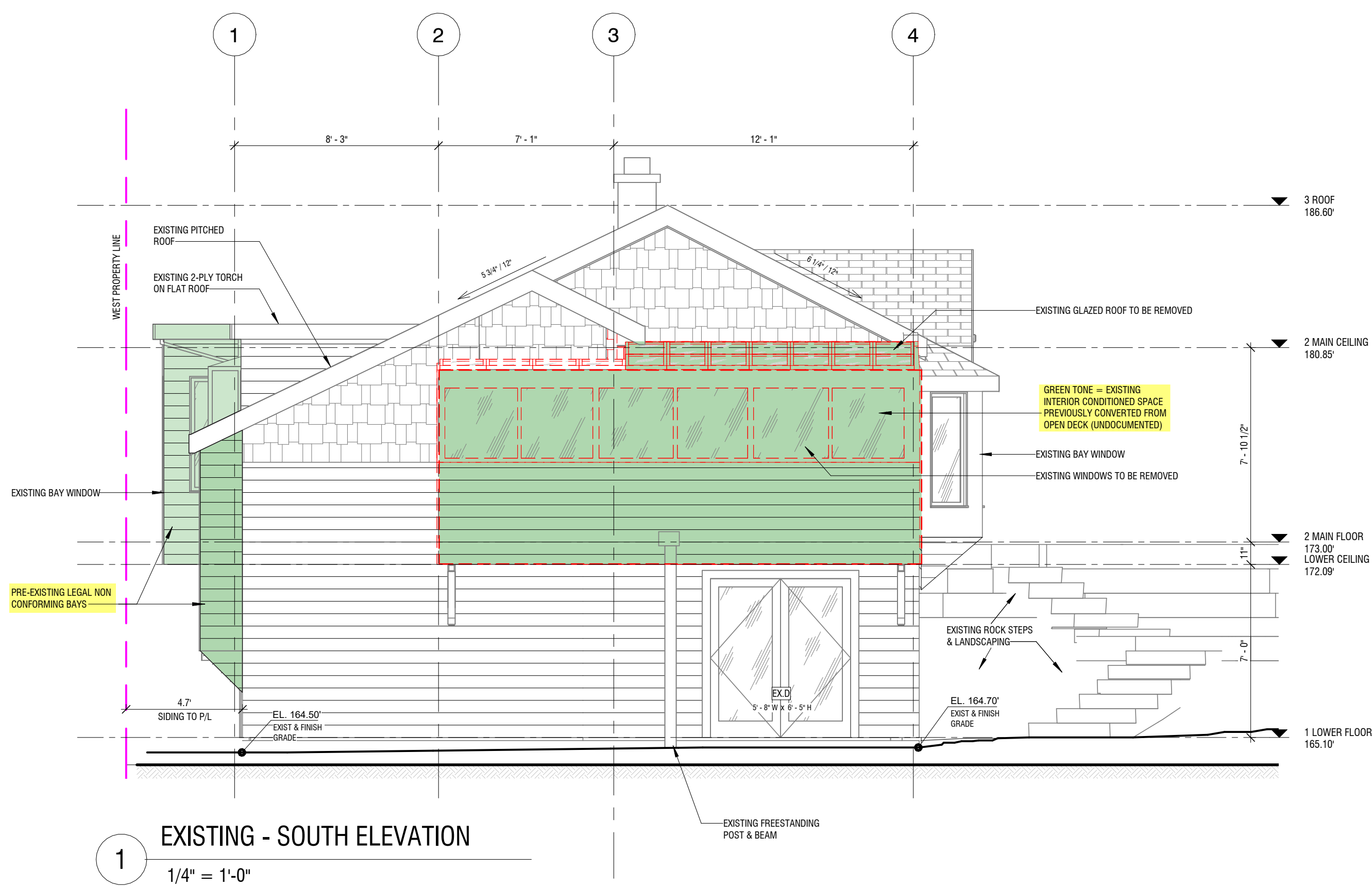
Signature(s) Initials Date
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

P2	28.05.25	BP - REDUCED SCOPE
P1	09.05.25	BP Next Submitted
REV	DATE	DETAILS

Project:
2045 FELL AVENUE, CITY NORTH
VANCOUVER, V7P2K7

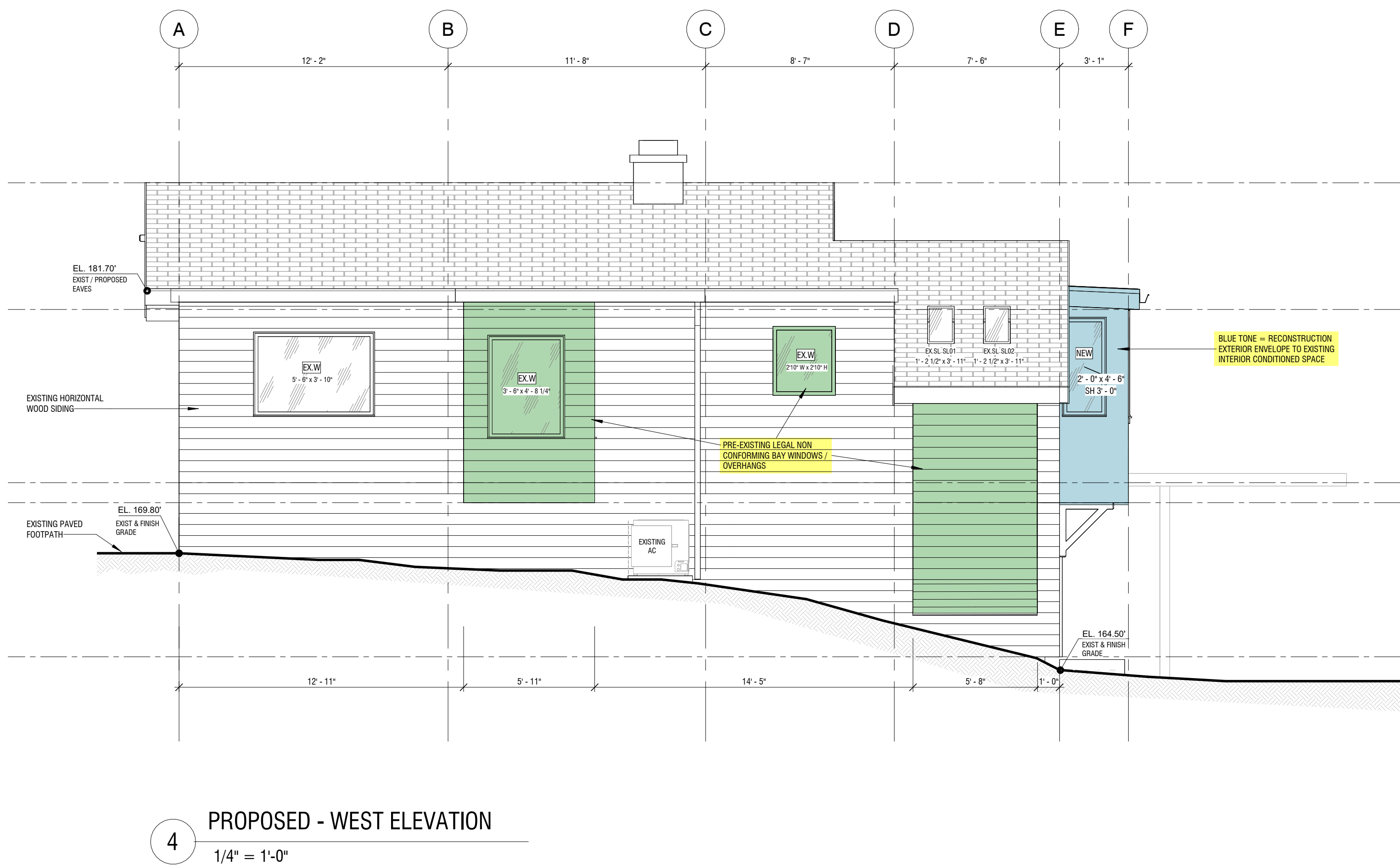
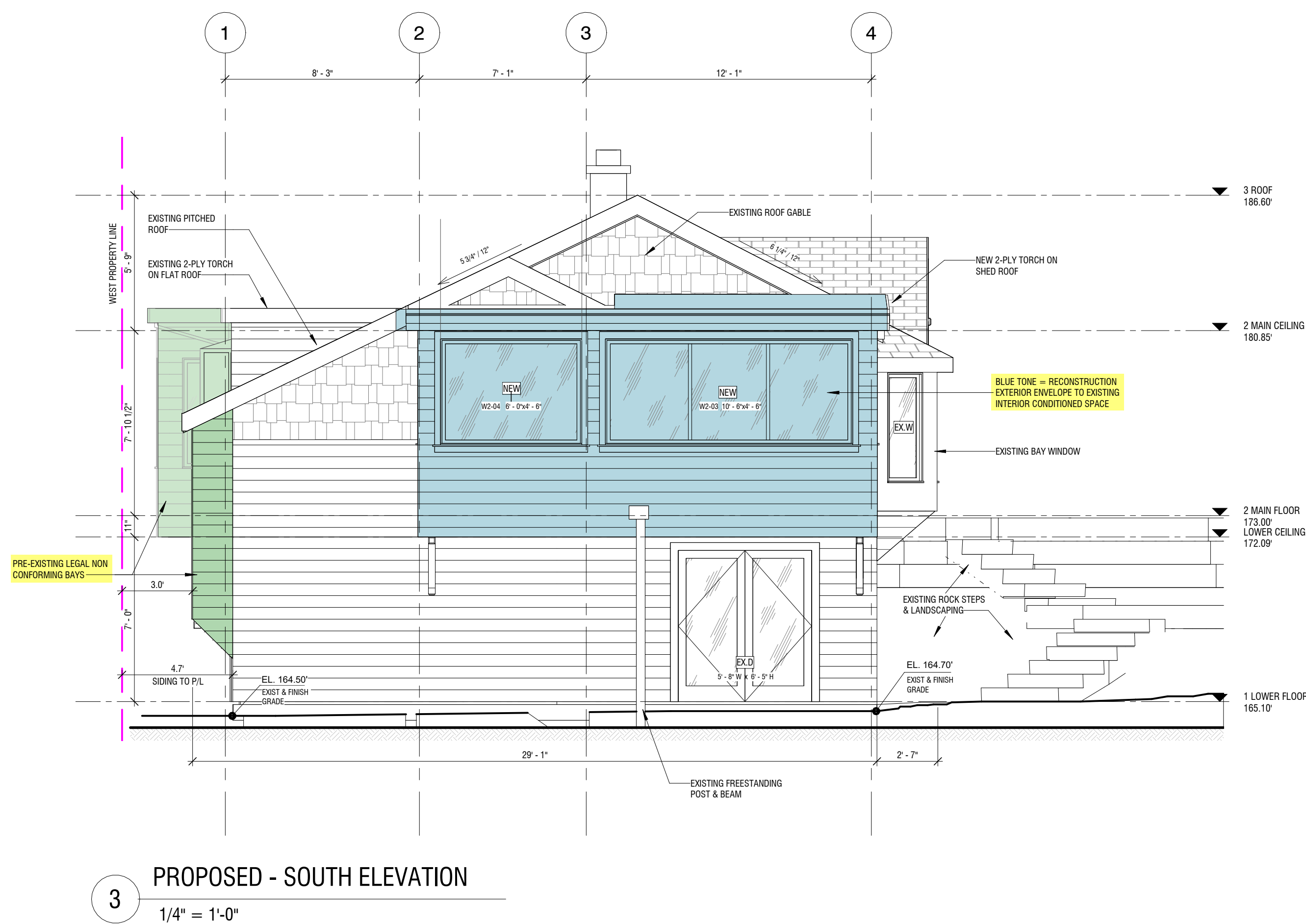
Drawing:
ELEVATIONS 2

Date:	28.05.25
Scale:	@ 3/8" = 1'-0" Sheet
As indicated:	
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2
Sheet No:	BP11



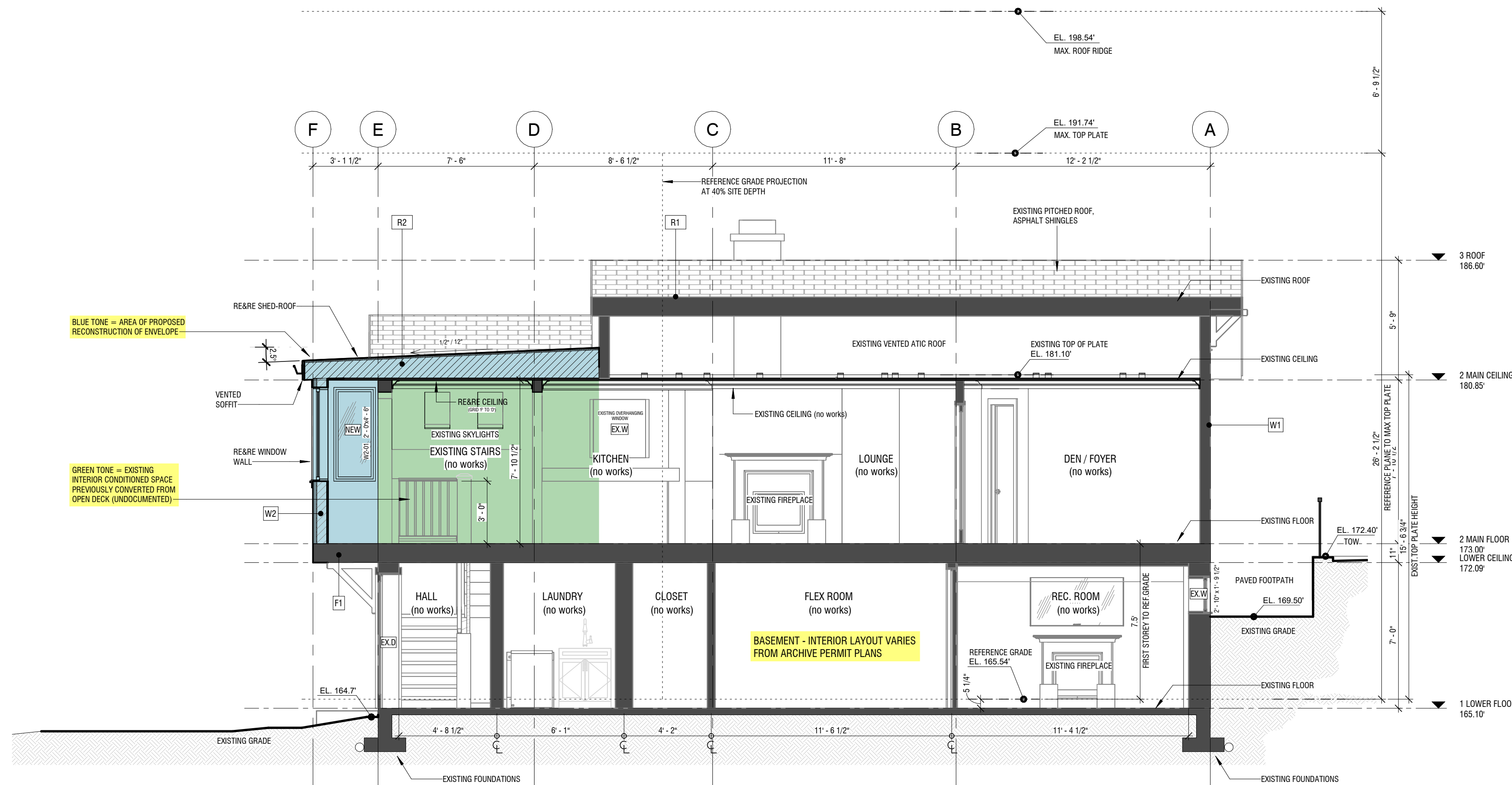
LEGEND: ASBUILT & PROPOSED

- PROPOSED RECONSTRUCTION OF EXISTING ENVELOPE
- DEMOLITION
- PROPOSED NEW
- RETAINED EXISTING
- PRE-EXISTING LEGAL NON CONFORMING



IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
- 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

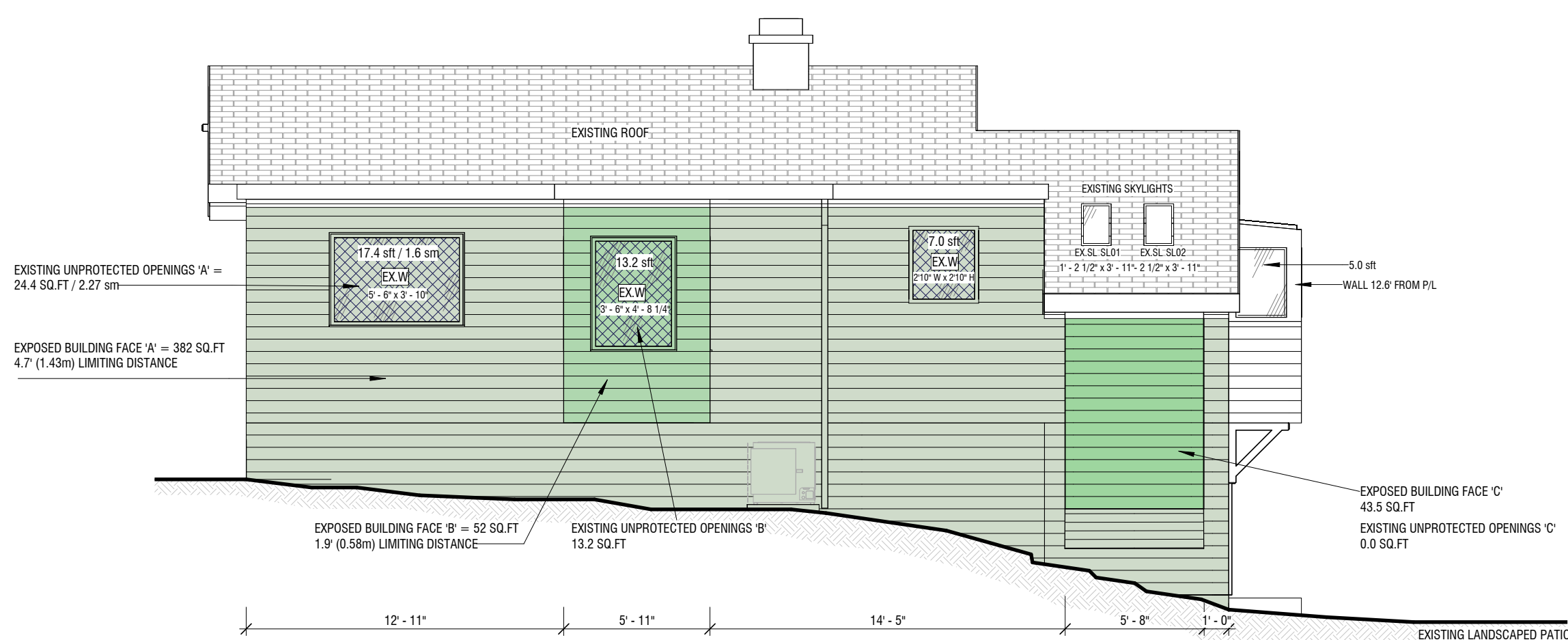


SECTION A
1/4" = 1'-0"

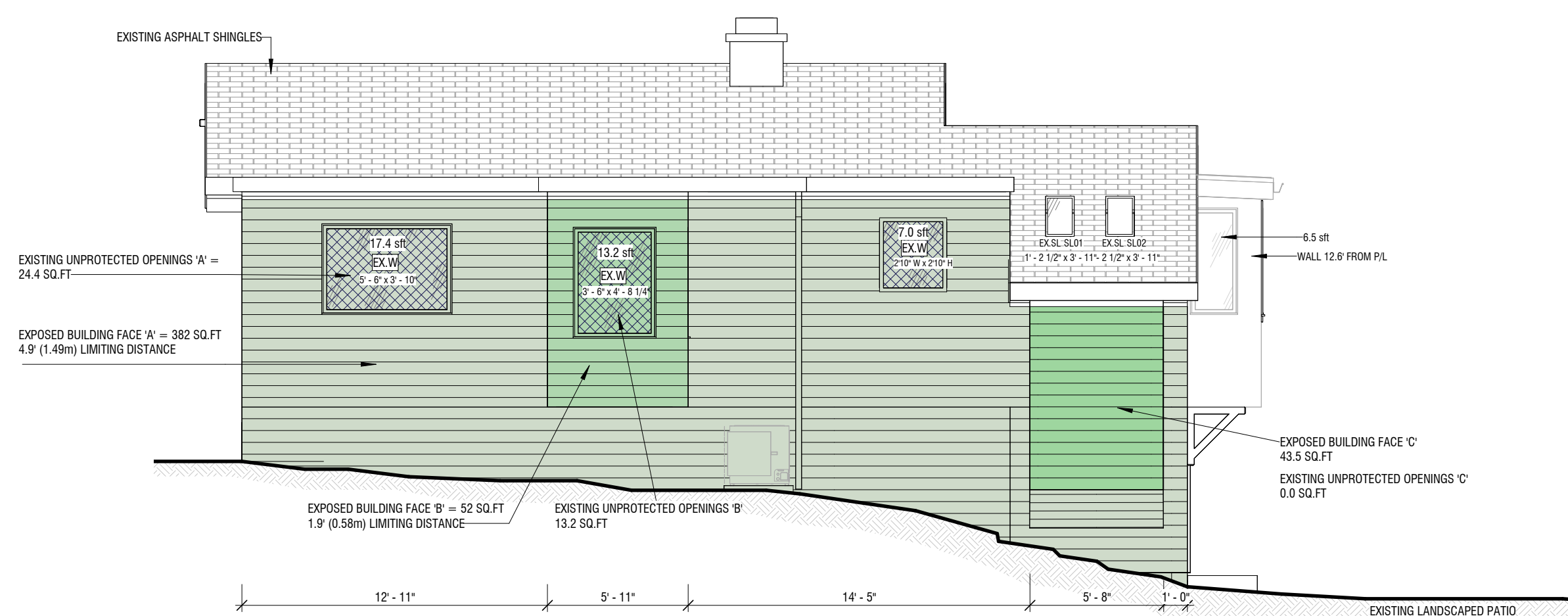
REFERENCE GRADE, AVERAGE GRADE & HEIGHT ENVELOPE			
FRONT GRADE (172.6+173) / 2	= 172.8'	AVERAGE GRADE: 169.8+169.5+164.5+164.7	/ 4
REAR GRADE (153.1+156.2) / 2	= 154.65'		= 167.125'
REFERENCE GRADE 172.8 + (154.65-172.8)*0.4	= 165.54'		
MAX TOP PLATE 165.54+26.2	= 191.74'		
MAX RIDGE 165.54+33	= 198.54'		

LEGEND: ASBUILT & PROPOSED

- PROPOSED RECONSTRUCTION OF EXISTING ENVELOPE
- DEMOLITION
- PROPOSED NEW
- RETAINED EXISTING
- PRE-EXISTING LEGAL NON CONFORMING



EXISTING - WEST ELEVATION - UPO
3/16" = 1'-0"



PROPOSED - WEST ELEVATION - UPO
3/16" = 1'-0"

SPATIAL SEPARATION WEST

	LD - (m)	EX. EBF A (sm)	PROP. EBF (sm)	EX. U.P.O. (sm)	PROP. UPO (sm)	ALLOWABLE UPO (sm)	ALLOWABLE UPO (%)	PROP. UPO (%)
WEST	1.43	35.48	35.48	2.27	2.27	2.76	7.77	6.36%

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA / FONZO RESIDENCE

KERR DESIGN BUILD
I/We hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

Signature(s) Initials Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

P2	28.05.25	BP - REDUCED SCOPE	
P1	09.05.25	BP Next Submitted	
REV	DATE	DETAILS	INIT

Project:
2045 FELL AVENUE, CITY NORTH
VANCOUVER, V7P2K7

Drawing:
SECTIONS & UPO

Date:	28.05.25
Scale:	@ 36"W x 24"H Sheet As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2
Sheet No:	BP12

IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF VBC2019
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
- 12/ DO NOT SCALE FROM DRAWINGS. FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

KERR DESIGN BUILD
BUILDING PERMIT PLANS
NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROVED
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA /
FONZO
RESIDENCE

KERR DESIGN BUILD
I/ we hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage.

Signature(s) Initials Date
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

P2	28.05.25	BP - REDUCED SCOPE
P1	09.05.25	BP Next Submitted
REV	DATE	DETAILS

Project:
2045 FELL AVENUE, CITY NORTH
VANCOUVER, V7P2K7

Drawing:
DETAILS

Date:	28.05.25
Scale:	@ 36"W x 24"H Sheet As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2
Sheet No:	BP13

	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
W1	N/A	N/A	N/A	R12.7 EFFECTIVE	UPPER EXTERIOR WALLS & GARAGE	N/A	N/A
EXTERIOR WALLS							
EXISTING WALL ASSEMBLY							
- WOOD SIDING PLANKS							
- 3/4" STRAPPING & DRAINAGE CAVITY (RAINSREEN)							
- TYVEK MRB & AS (BUILDING WRAP)							
- 1/2" PLYWOOD SHEATHING (U.A.O)							
- 2x4" @ (STUDS SPACED 16" O.C.)							
- R14 HD BATT INSULATION							
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)							
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL							

	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
W2	N/A	N/A	N/A	R18.01 EFFECTIVE (REQUIRED 15.6)	MAIN FLOR	N/A	N/A
EXTERIOR WALLS							
NEW WALL ASSEMBLY							
- HORIZONTAL PLANK SIDING TO MATCH EXISTING							
- 3/4" STRAPPING & DRAINAGE CAVITY (RAINSREEN)							
- TYVEK MRB & AS (BUILDING WRAP)							
- 1/2" PLYWOOD SHEATHING (U.A.O)							
- 2x4" @ (STUDS SPACED 16" O.C.)							
- R22 HD BATT INSULATION							
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)							
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL							

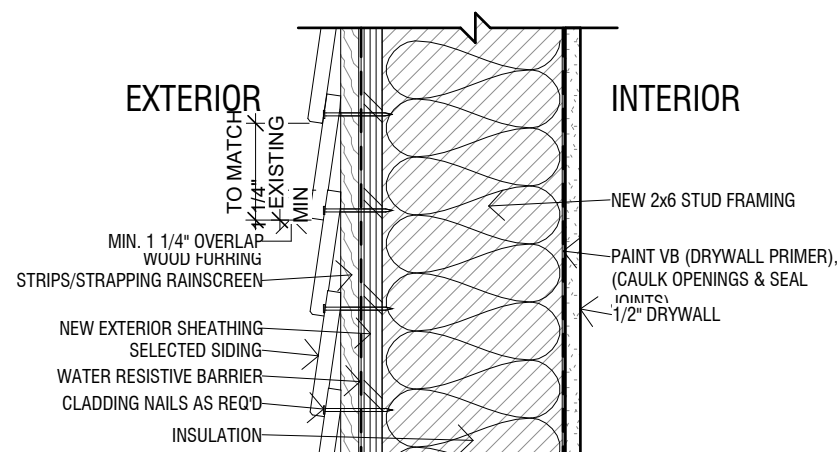
	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
R1	N/A	N/A	N/A	R48 EFFECTIVE	MAIN FLOOR	N/A	N/A
ROOFS							
EXISTING ROOF ASSEMBLY WITH EXISTING STRUCTURE							
- RETAIN EX. ASPHALT SHINGLE ROOF CLADDING							
- RETAIN EX. PLYWOOD SHEATHING (INSPECT ON SITE AND REPLACE AS RECD)							
- EXISTING WOOD TRUSSES TO REMAIN AS IS							
- ADD NEW R40 BATT INSULATION							
- 6 MIL AIR & VAPOUR BARRIER							
- 5/8" DRYWALL							

	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
R2	N/A	N/A	N/A	R26.82 EFFECTIVE (26.5 REQUIRED)	ROOF	N/A	N/A
ROOFS							
NEW ROOF ASSEMBLY							
- 2 PLY TORCH ON ROOFING							
- 1/2" THK. PLYWOOD ROOF SHEATHING							
- NEW 2x10 WOOD JOISTS AS PER ENG. DETAILS							
- R-28 BATT INSULATION							
- 6 MIL POLY AIR & VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)							
- 5/8" GYPSUM BOARD							

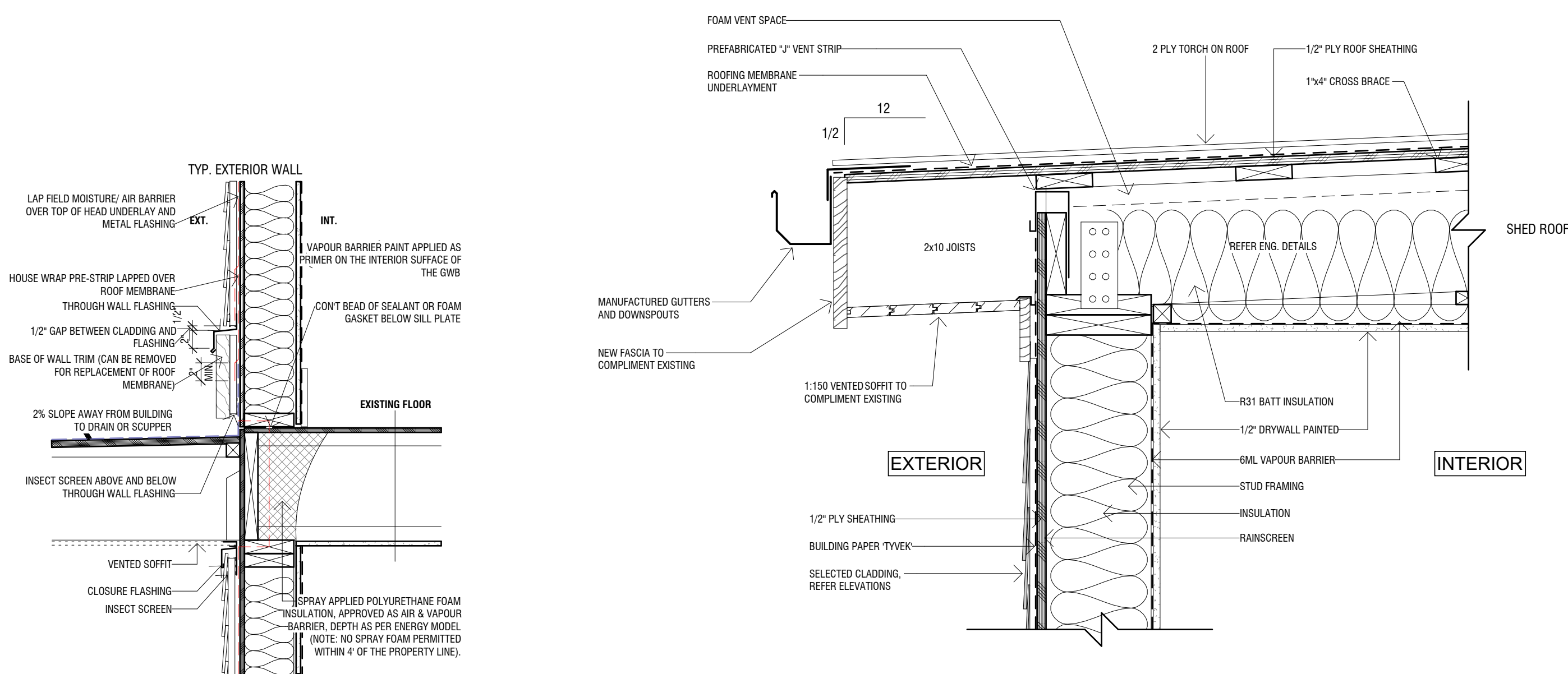
	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
F1	N/A	N/A	N/A	R24 EFFECTIVE	SOUTH OVERHANG	N/A
EXISTING FLOOR ASSEMBLY (NEW INTERIOR FINISH)						
- NEW ENGINEERED WOOD FLOOR FINISH						
- EXISTING PLYWOOD SHEATHING						
- EXISTING 2X10 FLOOR JOISTS						
- EXISTING BATT INSULATION						
- 1x4 T&G WOOD VENTED SOFFITS (MIN 1:150 VENTILATION RECD)						
REFER CEA REPORT & ENG. DETAILS						

1
1" = 1'-0"

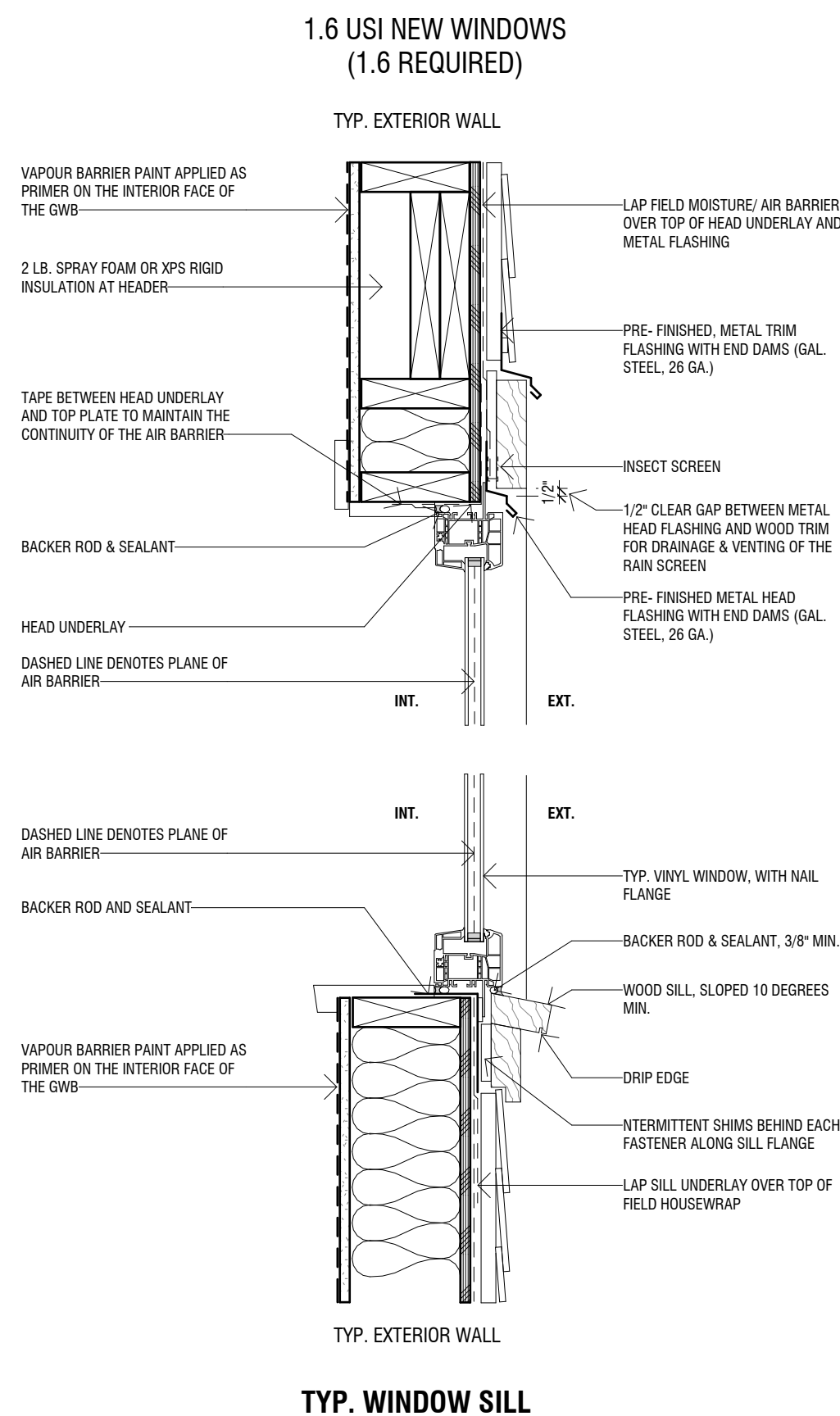
Prescriptive path of compliance for Part 9 Section 9.36 and 9.32



4
1 1/2" = 1'-0"



2
1 1/2" = 1'-0"



7
1 1/2" = 1'-0"