

ZONING REVIEW - SITE SUMMARY CITY OF NORTH VANCOUVER / ZONE RS-1 2045 Fell Ave, CNV, BC, V7P 2K7 LOT SIZE PERMIT APPLICATION FOR REPAIRS TO ROOF & WINDOWS LOT WIDTH LOT DEPTH ALLOWABLE EXISTING PROPOSED GFA (square footage) NO CHANGES PROPOSED 0.3 + 1000 sft (basement excluded from GFA) Max Top Plate 198.54 186.6 Max Roof Ridge 186.6 LOT COVERAGE NO CHANGES PROPOSED Principle Building 1917.3 rinciple Building + Accessory (excluding garage) 0.3 1917.3 1335.7 1335.7 Open Site Space 20% max (open parking, decks etc) 483.3 MAIN DWELLING SETBACKS NO CHANGES PROPOSED ninimum 15ft from front lot line 29.6 inimum 0.35 x Lot Depth from rear lot line 67.5 nimum 10ft from exterior side lot line 16.3 ACCESSORY BUILDINGS (open carports, garages, sheds etc) Area: max 600 Sft (garage + large shed + small shed) Height: max = 12ft or 15ft if exceeds 4/12 pitch Height: Front Yard, Garage Height: Rear Yard, Accessory Structure 10.5 ninimum 2ft from interior side lot line 3.4 ninimum 4ft from rear lot line 29.5 ninimum 10ft from exterior side lot line 4.3 minimum 10ft Setback from Principle Building 5.9

DESIGN · BUILD

1676 West 75th Avenue, Vancouver, BC, V6P 6G2 www.kerrdesign.build Ph: 604 263 0343

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SIDENCI

PROJECT DESCRIPTION:

REPAIRS ONLY (LIMITED AREA OF EXISTING ENVELOPE)

ADDRESS: 2045 FELL AVENUE ADDRESS: CITY OF NORTH VANCOUVER ADDRESS: V7P2K7 NEIGHBOURHOOD: MARINE-HAMILTON SITE AREA: 6391 SQ.FT UNIT COUNT: 1

PROJECT CONSULTANTS DESIGNED BY: KERR DESIGN BUILD

1676 W 75th Ave, Vancouver, BC, V6P 6G2 (778) 828 8121 - Leo Chester (604) 263-0343 - Office leo@kerrdesign.build

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ENGINEERING: FNG Structural Engineering Inc. T: 604-902-0311 E: william@fngstructural.com

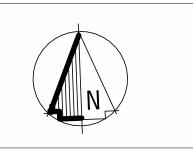
LYON & PHILLIPS B.C. LAND SURVEYORS 用**外6证料/7.87/4-8fe**P.1604-E3**7**/hf**87**@7/fsurvey.ca ENERGY: CAPITAL HOME ENERGY INC.
T: 604-562-0387 E: matheus@capitalhomeenergy.com

ALLIANCE EHS T: 604-722-7407 E: jim@allianceehs.com

SCOPE OF WORK

RECONSTRUCT LIMITED PORTION OF EXISTING ROOF AND WALLS AT SOUTH END OF EXISTING BUILDING. NO PROPOSED DEVELOPMENT, NO PROPOSED ALTERATION TO





P3	26.09.25	UPDATED ZONING STATS, ADD SHED	
P2	28.05.25	BP - REDUCED SCOPE	
P1	09.05.25	BP Not Submitted	
REV	DATE	DETAILS	IN

2045 FELL AVENUE, CITY NORTH

TITLE SHEET

VANCOUVER, V7P2K7

Date:			2	26.09.25	5
Scale:	@ 36"W x 24"H Sł	neet	1	I : 100	
Drawn by:				_C	
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Project no:			[0495	
Current revision	:		F	23	
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BUILDING PERMIT PLANS - REPAIR WORKS TO ROOF & WINDOWS 2045, FELL AVENUE, CITY OF NORTH VANCOUVER, BC



DRAWING LIST - BUILDING PERMIT							
Number	Sheet Name	Issued/Current Revision	Current Revision Date	Current Revision Description			
BP0	TITLE SHEET	P3	26.09.25	UPDATED ZONING STATS, ADD SHED			
BP1	SITE PLAN & CONTEXT STUDY	P3	26.09.25	UPDATED ZONING STATS, ADD SHED			
BP3	FLOOR PLANS - LEVEL 1	P2	28.05.25	BP - REDUCED SCOPE			
BP4	FLOOR PLANS - LEVEL 2	P3	26.09.25	UPDATED ZONING STATS, ADD SHED			
BP5	FLOOR PLANS - ROOF	P3	26.09.25	UPDATED ZONING STATS, ADD SHED			
BP10	ELEVATIONS 1	P2	28.05.25	BP - REDUCED SCOPE			
BP11	ELEVATIONS 2	P2	28.05.25	BP - REDUCED SCOPE			
BP12	SECTIONS & UPO	P2	28.05.25	BP - REDUCED SCOPE			
BP13	DETAILS	P2	28 05 25	BP - REDUCED SCOPE			

AS MUCH AS POSSIBLE AND ALLOW TO PREPARE

LEGEND: SITE PLAN

BUILDING ENVELOPE CONIFER TREE - REFER SURVEY CLADDING CRITICAL ROOT ZONE CONFIRM ON SITE DECIDUOUS TREE - REFER SURVEY EXISTING SPOT LEVEL/GRADE FINISHED GRADE SPOT LEVEL FRONT YARD SETBACK IRON POST, REFER SURVEY METER BOX MAN HOLE REQ'D REQUIRED RETAINING WALL REAR YARD SETBACK

SETBACK SQUARE FOOTAGE SIDE YARD SETBACK

TREE PROTECTION BARRIER WATER VALVE TRENCHING FOR UTILITY CONNECTIONS ARBORIST INCLUSION REQ'D FOR ANY ACTIVITIES WITHIN THE TPB

REMOVE EXISTING TREE, REFER REPORT FOR DETAILS EXISTING TREE TO REMAIN, REFER ARBORIST

SITE LEVELS IN DECIMAL FEET - REFER SURVEY CORNER SITE & BUILDING LEVELS IN DECIMAL FEET - REFER SURVEY **— - — •** EXISTING WATER LINE - - - NEW WATER LINE

---- NEW SANITARY LINE ---- EXISTING EASEMENT/RIGHT OF WAY — — — EXISTING FENCE AND/OR HEDGE ZONING SETBACKS

LEGEND: FLOOR PLAN

EXISTING FRAMED WALL TO REMAIN, COS NEW FRAMED WALL - REFER TO ENGINEERS NEW SHEAR WALL - REFER TO ENGINEERS EXISTING DOOR, FRAME & TRIM TO REMAIN AND PROTECT FROM DAMAGE. ALLOW TO PREPARE FOR NEW PROPOSED WORKS. PROTECT FROM DAMAGE. ALLOW TO PREPARE FOR NEW PROPOSED WORKS. DEMO WINDOW/DOOR

— DOOR NUMBER, REFER SCHEDULE W x H — DOOR SIZE —— **D**= D00R & FL00R LEVEL - WINDOW NUMBER, REFER SCHEDULE 1-1 W x H — WINDOW SIZE - **W**= WINDOW & FLOOR LEVEL CENTER LINE FOR WALLS & PLUMBING DENOTES FINISHED FLOOR LEVEL refer survey details DETECTOR/COMBINATION

LEGEND - DEMOLITION PLAN EXISTING WALL/ STRUCTURE/FLOOR/ROOF AND ALL ASSOCIATED FIXINGS TO BE FULLY DEMOLISHED AND REMOVED AND SALVAGED WHERE POSSIBLE & PREPARED FOR PROPOSED WORKS EXISTING ITEM TO BE DEMOLISHED AND REMOVED, ALLOW FOR NEW PROPOSED WORKS. CITY ARCHIVE DRAWINGS EXISTING DOOR TO BE REMOVED AND SALVAGE AS MUCH AS POSSIBLE AND ALLOW TO PREPARE FOR PROPOSED WORKS. EXISTING WINDOW TO BE REMOVED AND SALVAGE

CONFIRM ON SITE DISHWASHER EXISTING, (CONFIRM ON SITE) ELECTRICAL PANEL FINISH GRADE LINE FLOOR DRAIN FIXED GLAZING FIRE PLACE HIGH POINT HOT WATER SYSTEM LOW POINT METER BOX MICROWAVE MIXING VALUE (DIVERTER NATURAL GRADE LINE OPENABLE ELECTRICAL POWER OUTLET FLOOR MOUNT RADIANT HEATERS REFRIGERATOR REQ'D S REQUIRED SCREEN (GLASS) SMOKE DETECTOR/COMBINATION SAFETY GLASS SHOWER SLIDING SHOWER ROSE STOVE TOILET

TYPICAL VANITY

WASHER BOX

WASHER/DRYER

ACCESS HATCH AIR CONDITIONING UNIT

BATH WATER BIB

CEILING HEIGHT

LEGEND: GENERAL ABBREVIATIONS

LEGEND - FINISHES ABBREVIATIONS FOR FURTHER INFORMATION REFER SPECIFICATION BINDER AS ADJUSTABLE SHELVING BB BASEBOARDS BH BASEBOARD HEATING BS BACKSPLASH CABS CABINETRY REFER MANUFACTURER'S DETAILS DR DRAWER D/W DISHWASHER FOLD DOWN DRAWER EQ EQUAL DISTANCE FS FIXED SHELVING FX FIXED PANEL FG FIXED GLAZING HTR HAND TOWEL RING HD CABINETRY HANDLE/ HAND PUL HK HOOK, SUGGESTED LOCATION, TBD KL KEYED OR COMBINATION LOCK, TBI MIX WALL MOUNT MIXING VALVE PO POWER OUTLET PT PAINT SB SHOWER BAR/COLUMN SC SHOWER SCREEN SG SAFETY GLASS SW SWING DOOR TP TAP/FAUCET (X-NUMBER) TR TOWEL RAIL TRH TOILET ROLL HOLDER UMS UNDER MOUNT SINK

WINDOWS AND DOORS REQUIREMENTS:

ANY WINDOW, DOOR AND SKYLIGHT INSTALLED AFTER DEC 19 2013 MUST CONFORM TO AAMA/WDMA/CSA 101 I.S.2/A440-08 NAFS- NORTH AMERICAN FENESTRATION STANDARDS/ SPECIFICATION FOR WINDOWS, DOORS AND SKYLIGHTS AND A440SI-09 CANADIAN SUPPLEMENT TO AAMA/WDMA/CSA 101 I.S.2/A440 NAFS

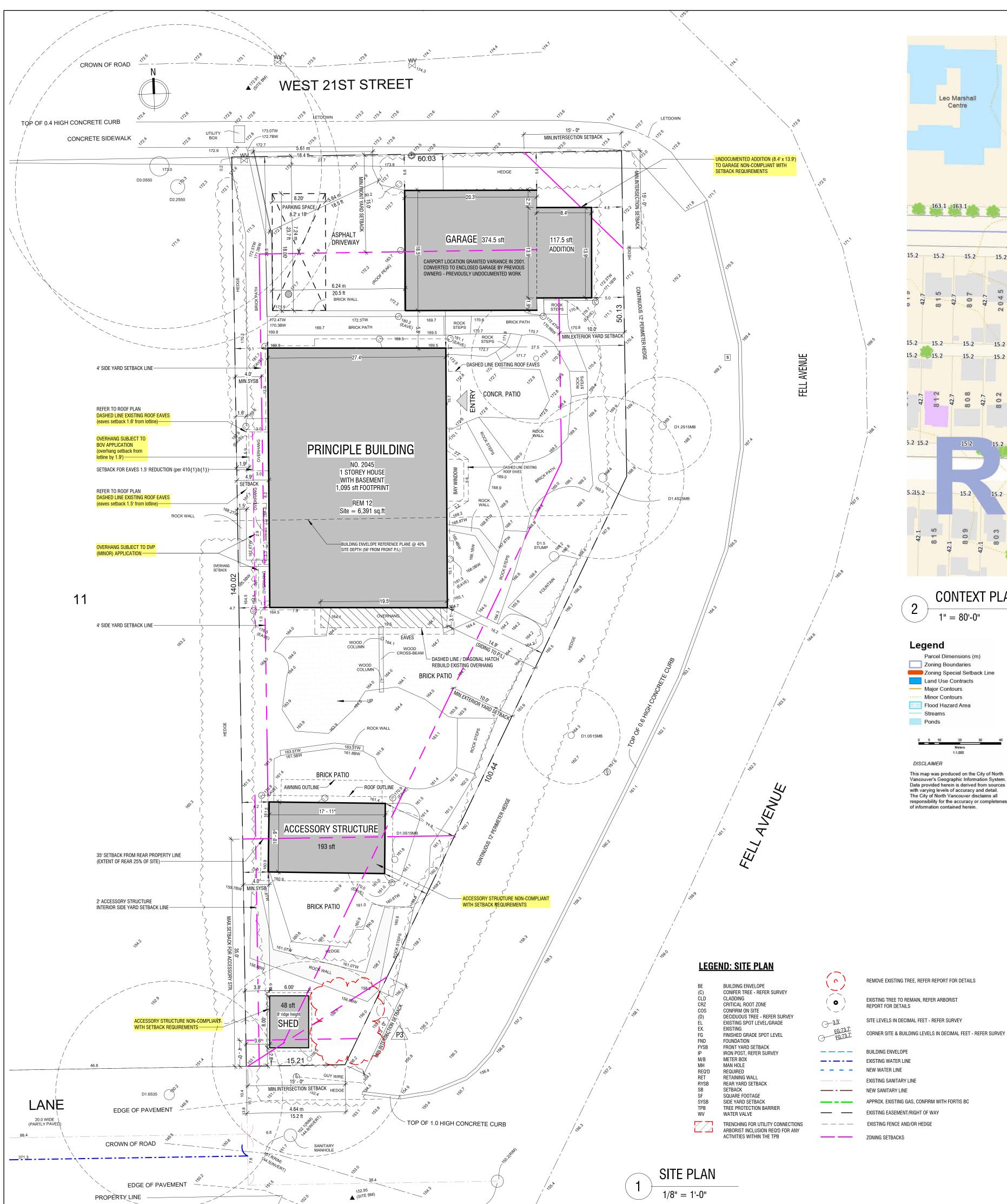
ALL NEW WINDOWS, DOORS, AND SKYLIGHTS SHALL CONFORM TO AAMA/WDMA/CSA101/I.S.2/A440, NAFS, TYPICAL, ANDCONFORM TO BCBC 9.7.5.2 (1)-(12) (Resistance to Forced Entry for Swing Doors), 9.7.5.3 (Windows) and 9.7.5.4 (Skylights). SIDELIGHT OF THE ENTRY DOOR AND DECK DOOR, WINDOWS WITHIN 3 FROM DOOR SHALL BE GLAZED WITH TEMPERED, LAMINATED, OR WIRED SAFETY GLASS AS PERBCBC 9.6.1.4.(1). OPENABLE WINDOWS SHALL BE DESIGNED IN ACCORDANCE WITHBCBC 9.8.8.1.(5) OR BE PROTECTED A GUARD OR RESTRICT OPENINGS PERBCBC 9.8.8.1.(4). GLAZING INSTALLED OVER STAIRS AND LANDINGS THAT EXTENDS TO LESS THAN 2.95 ABOVE THE SURFACE OF THE TREADS OR LANDINGS SHALL BE PROTECTED IN ACCORDANCE WITHBUBC 9.8.8.1.(7) PROVIDE STATEMENT OF COMPLIANCE WITHBCBC 9.7.5.2 (RESISTANCE TO FORCED ENTRY FOR SWING DOORS), 9.7.5.3 (WINDOWS) AND 9.7.5.4 (SKYLIGHTS).

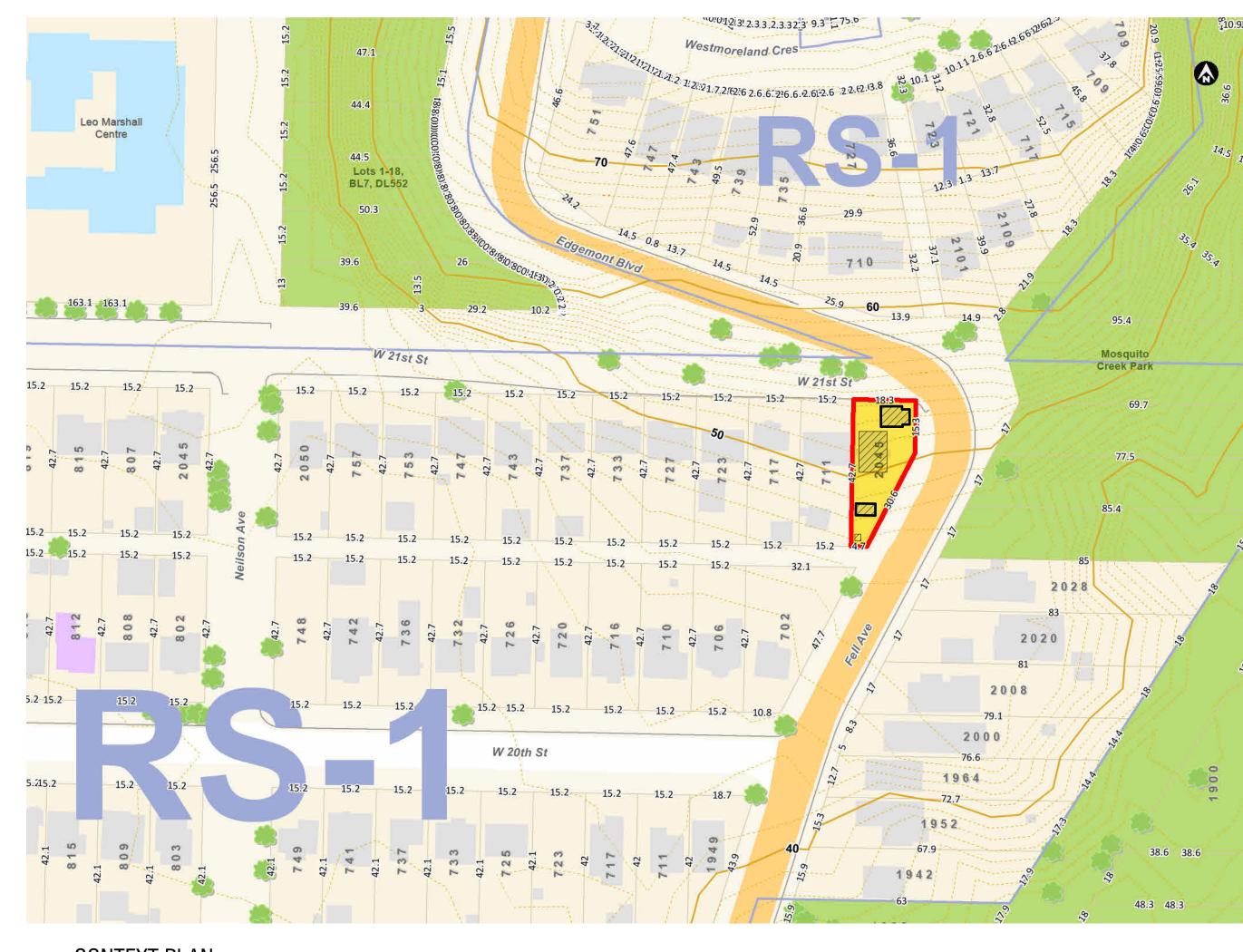
ALL DWELLING UNITS SHALL COMPLY WITH BCBC 3.8.5. WINDOWS & DOORS IN FIRE SEPARATION TO BE DESIGNED AS CLOSURES WITH MIN. 45MIN F.P.R. RATING PER 9.10.13.1. DOOR IN FIRE SEPARATION TO HAVE A LATCH AND SELF-CLOSING DEVICE PER 9.10.13.9 & 9.10.13.10.

APPROVED HARD WIRED SMOKE WHERE DIMENSIONS ARE NOTED WITH RETAIN EXISTING & RELOCATE C.O.S. THIS INDICATES THE DIMENSIONED VALUE IS TO BE REMOVE & REPLACE WITH NEW CONFIRMED ON SITE AND REPORTED FOR ANY DISCREPANCIES

ALL WORK & MATERIALS TO CONFORM TO BCBC 2024

INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS







Legend

Parcel Dimensions (m) Zoning Boundaries Zoning Special Setback Line Land Use Contracts Major Contours

--- Minor Contours Flood Hazard Area Streams Ponds

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness

CONTEXT MAP & SITE ANALYSIS

The subject site is situated in a transitional zone where the flatlands begin to give way to the rising slopes of the North Shore mountains. These slopes offer many residents good views to the south. The current site has a noticeable grade change of 18ft (5.5m) from top to bottom.

<u>Surrounding OCP and Zoning Designations:</u> The site is zoned as RS-1 (one unit residential zoning) and sits within a consistent low-density residential neighborhood. To the north and south are more RS-1 zones, while there is a School & Institutional zone closeby as well as Parks, Recreation & Open Spaces zones bot the immediate north, east and west.

View Corridor and View Impact Assessment: Given the topographical characteristics, with the land generally sloping down towards the south, properties on Fell Avenue, including 2045, will enjoy wide view corridors, depending on the specific elevation and immediate tree canopy. There is no development proposed on this site and the existing buildings are well below the allowable height limits with no blockage to any views from neighboring properties. No further view impact assessment required.

<u>Composition of Surrounding and Neighbouring Character and Land Uses:</u> The surrounding character is overwhelmingly residential, composed of single-family homes consistent with the RS-1 zoning. The

parcel sizes are relatively uniform (except for corner lots such as the subject site), suggesting a well-established one unit residential neighborhood. Mosquito Creek Park to the east provides a significant natural amenity, contributing to the recreational and environmental character of the area. This mix creates a suburban residential environment with convenient access to greenspace and community facilities.

Boulevard to the north, Fell Avenue to the east and a public lane defining the southern property line. The character is defined by the

Intended or Existing Street Character Adjacent to the Site: The site is a distinctive wedge-shaped lot situated at the junction of three public thoroughfares: West 21st Street and Edgemont

surrounding single-family homes, boulevards, street trees and sidewalks. Edgemont Blvd, further to the north, is a larger thoroughfare carrying more traffic and serves as a main collector road for the broader neighborhood. Current proposals have no impact on existing street character owing to the proposals involving no development or construction other than minor repairs to existing structures.

Figure Ground of the Immediate Area:

The figure-ground relationship in the immediate area is characterized by a strong pattern of individual residential structures set within relatively generous private yards. The buildings are detached, maintaining consistent setbacks from property lines and streets, creating a permeable urban fabric. The presence of Mosquito Creek Park & Heywood Park create a large, uninterrupted area to the east and west, contrasting with the more fragmented "figure-ground" of the residential blocks. This pattern exemplifies an open, low-density residential environment.

Edges, Paths, Barriers, Landmarks, Nodes within the Immediate Vicinity of the Site: A prominent edge and barrier is the topographical change itself, with the general slope of the land. Mosquito Creek Park acts as a

significant natural edge to the east, separating the residential area from a natural greenspace. The North Vancouver Spirit Trail (a multi-use pathway) runs relatively close by. Edgemont Blvd acts as a significant arterial route, defining a northern edge to the immediate residential blocks. Within the residential area, the uniform grid of streets forms a network of paths, with intersections acting as minor nodes.



EAST PERIMETER OF SITE (FELL AVENUE)











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3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING

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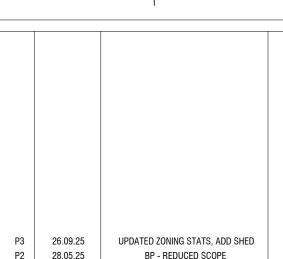
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SIDENCE

we hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to Signature(s) Initials Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS





P2 28.05.25 BP - REDUCED SCOPE P1 09.05.25 BP Not Submitted REV DATE DETAILS

2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

SITE PLAN & CONTEXT STUDY

Date:	26.09.25
Scale: @ 36"W x 24"H Sheet	As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P3
Sheet No: RP1	





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BUILDING PERMIT PLANS

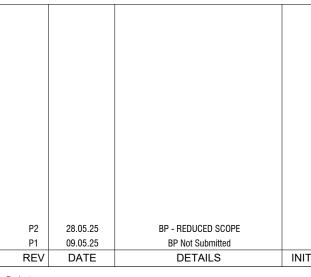
TOR CONSTRUCTION UNLESS STAMPED AND APPROVE
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA /

FONZO

RESIDENCE

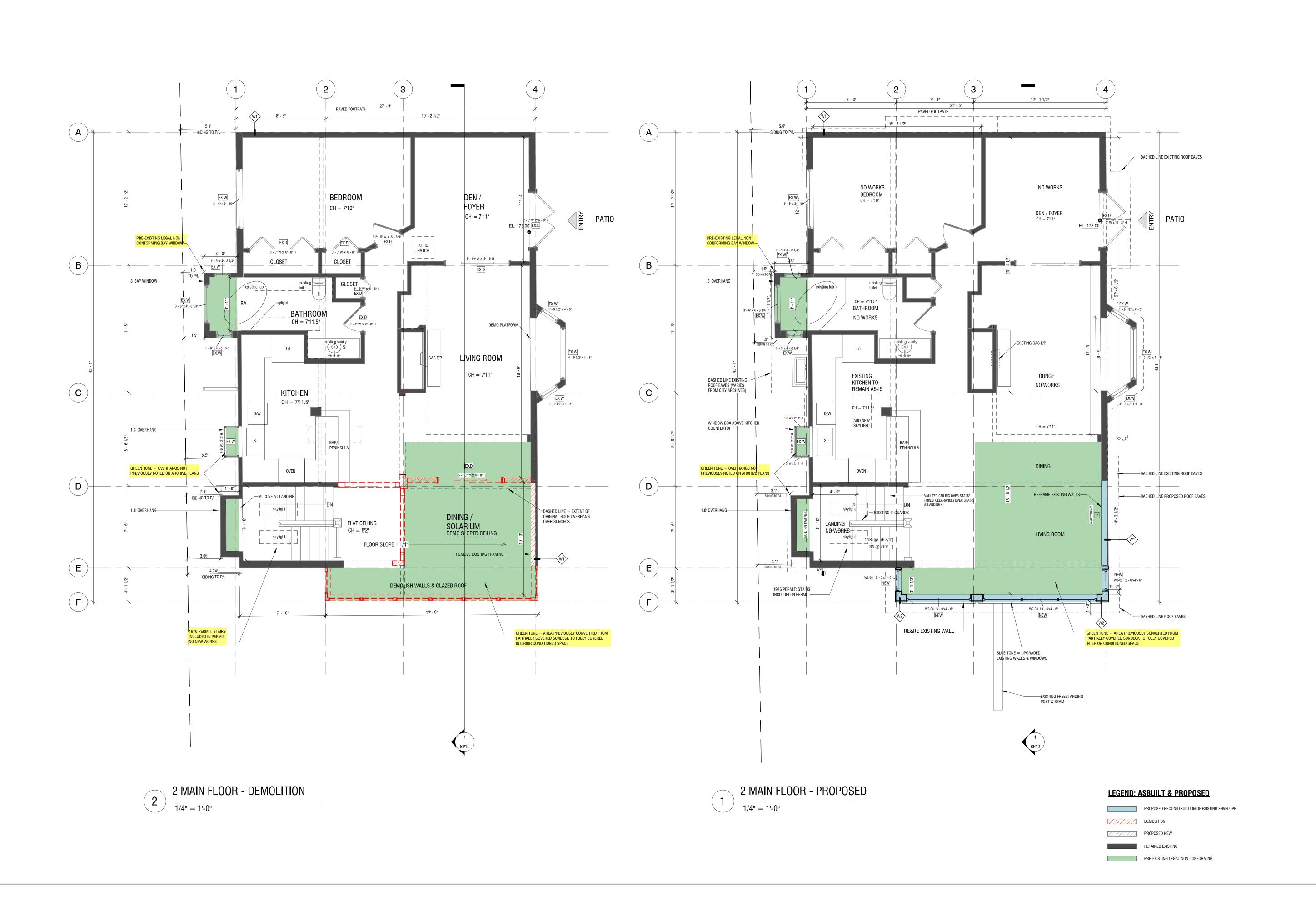




Project: 2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

FLOOR PLANS - LEVEL 1

Date:	28.05.25
Scale: @ 36"W x 24"H Sheet	As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2





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CORBELLA /

FONZO

FONZO

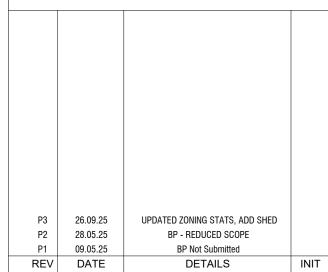
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Signature(s) Initials Date

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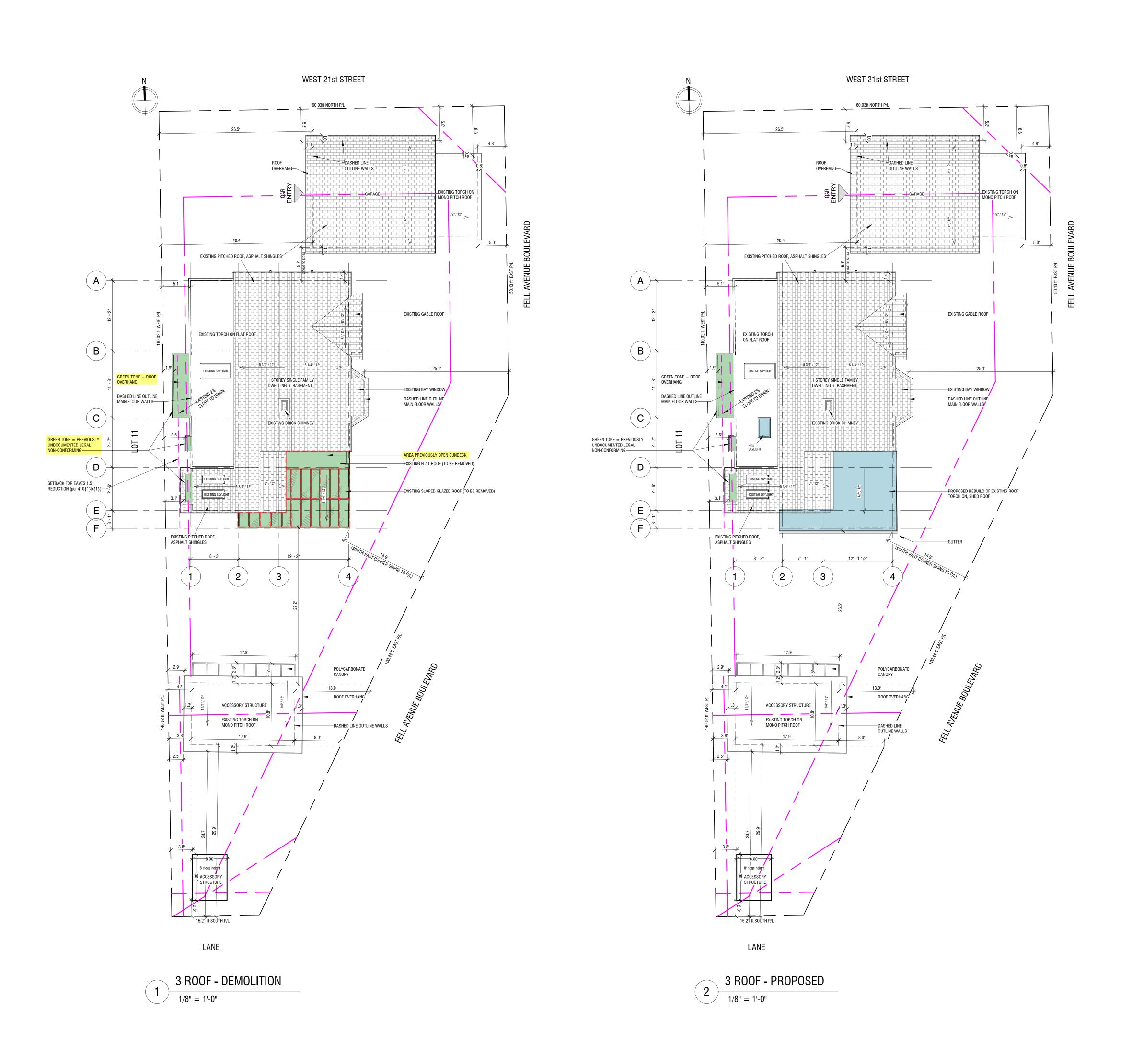




2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

FLOOR PLANS - LEVEL 2
ASBUILT & PROPOSED

Sheet No:	BP4	
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5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE"
6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN

DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS.

7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS.

8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN

UNCHANGED
9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR
BEFORE FINAL COMPLETION & SIGN OFF OF WORKS
11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED.
SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
12/ DO NOT SCALE FROM DRAWINGS, FIGURE DIMENSIONS TO BE TAKEN IN

13/THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR DESIGN BUILD

BUILDING PERMIT PLANS

NOT FOR CONSTRUCTION UNLESS STAMPED AND APPROV
BY THE AUTHORITY HAVING JURISDICTION

CORBELLA /

FONZO

RESIDENCE

| Vee hereby certify that the current drawings have been explained in detail, and are completed to our satisfaction, & agree that the project is ready to proceed to the next stage

| Signature(s) | Initials | Date |

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



 P3
 26.09.25
 UPDATED ZONING STATS, ADD SHED

 P2
 28.05.25
 BP - REDUCED SCOPE

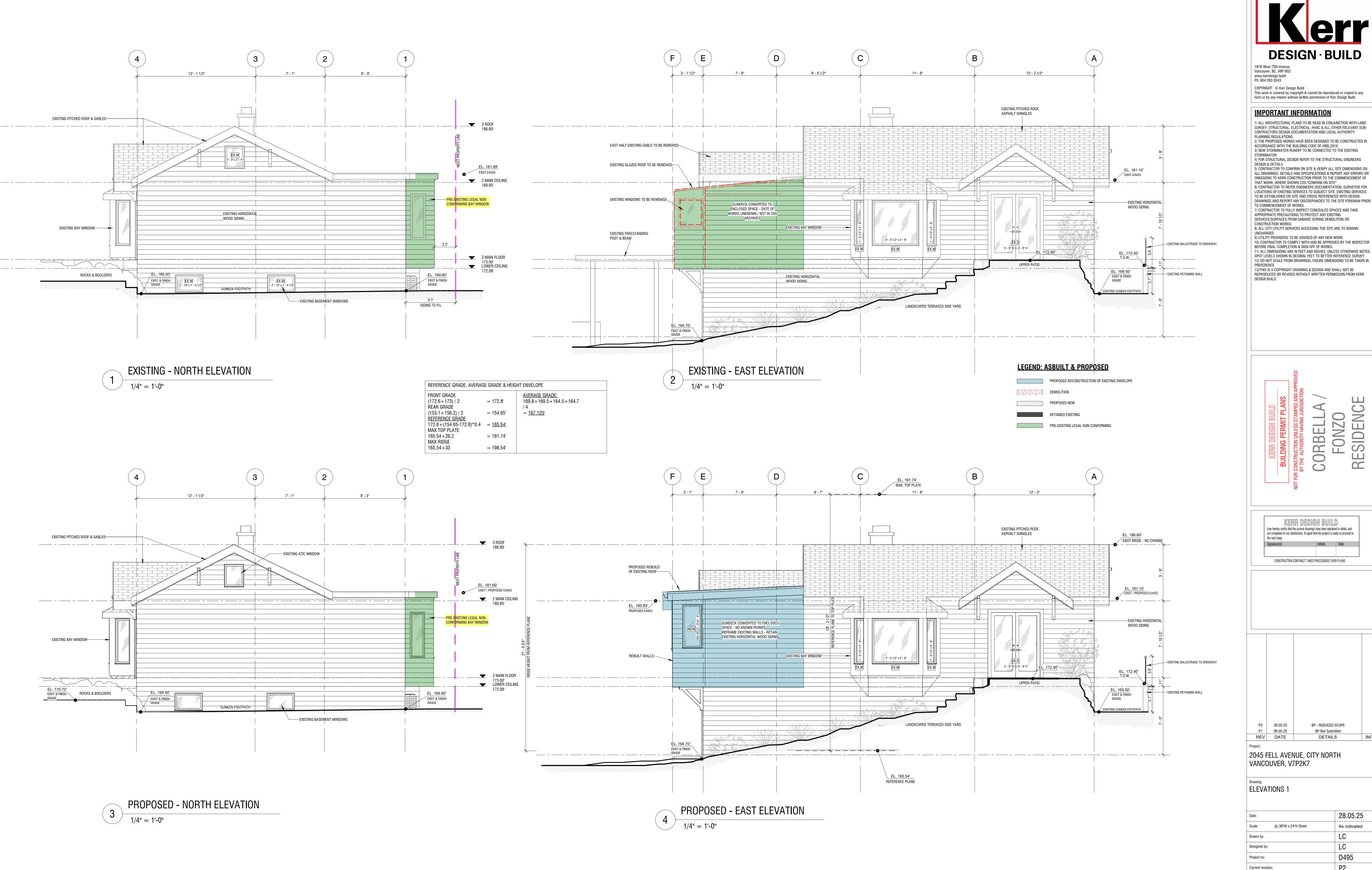
 P1
 09.05.25
 BP Not Submitted

 REV
 DATE
 DETAILS

Project: 2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

FLOOR PLANS - ROOF

26.09.25
1/8" = 1'-0"
LC
LC
D495
P3





2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING

5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS "CONFIRM ON SITE" 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR

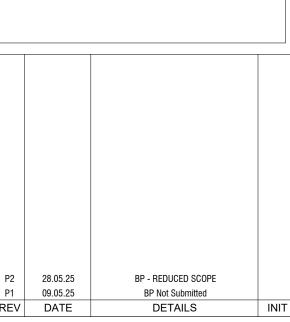
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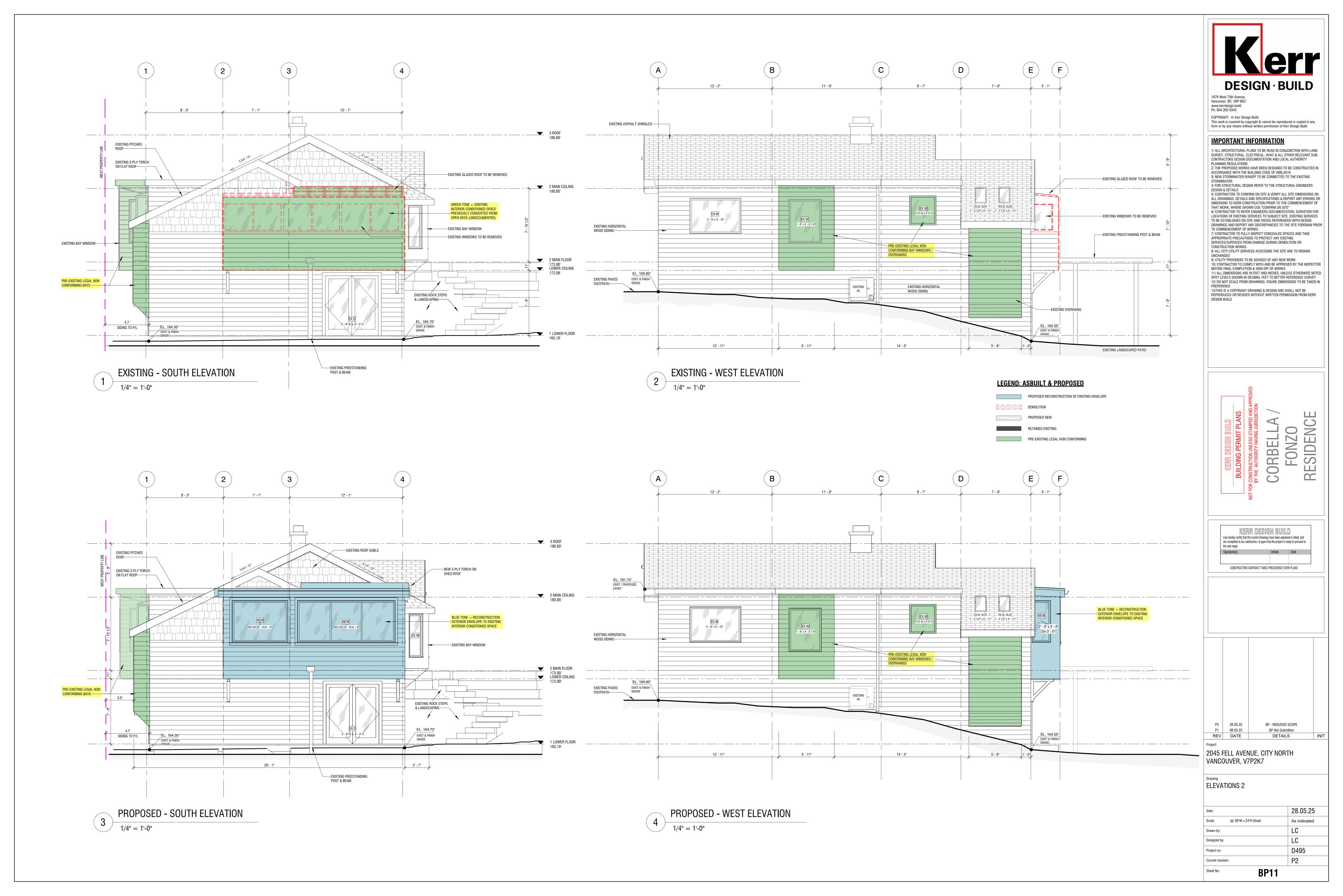
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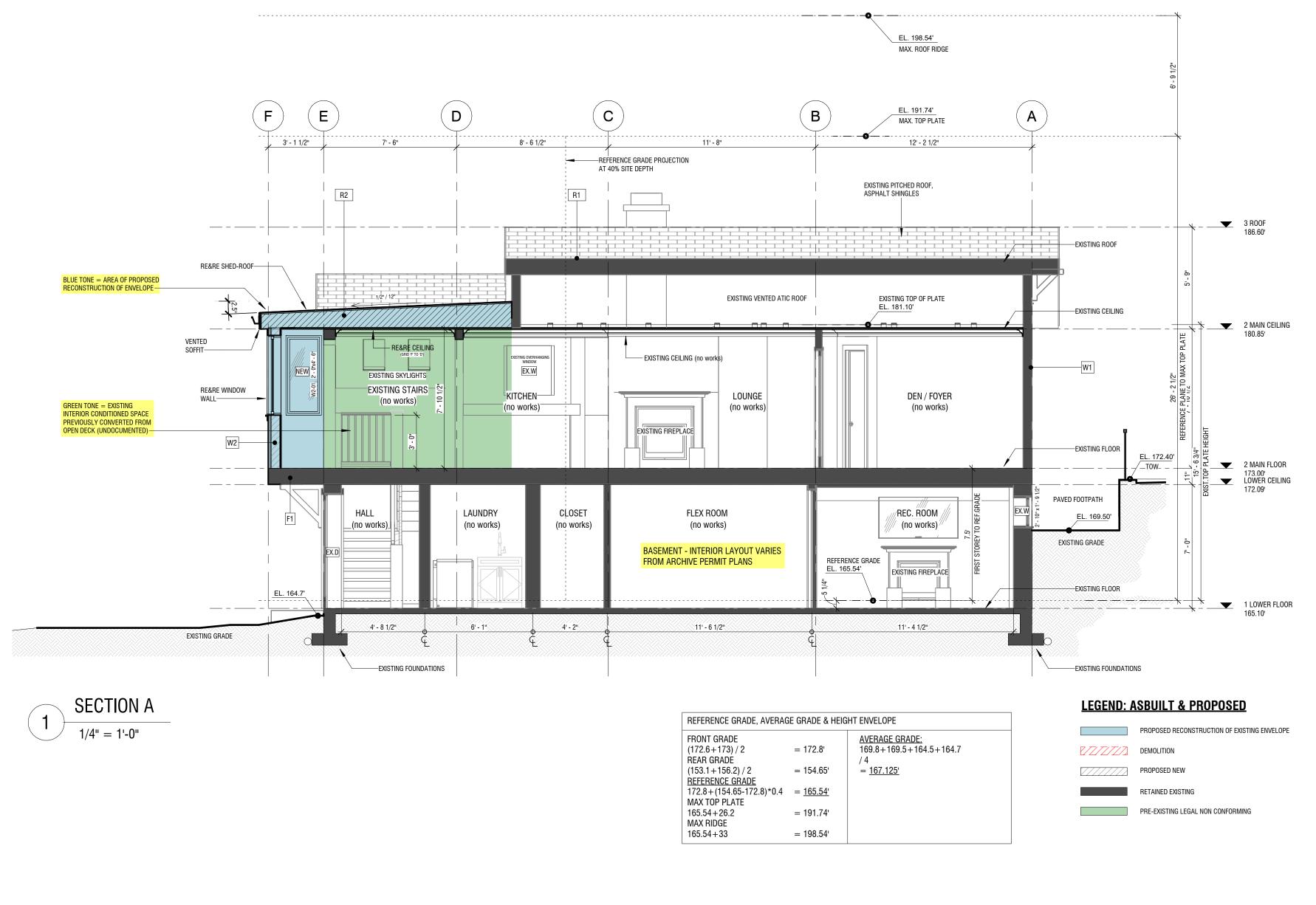
SIDENCE

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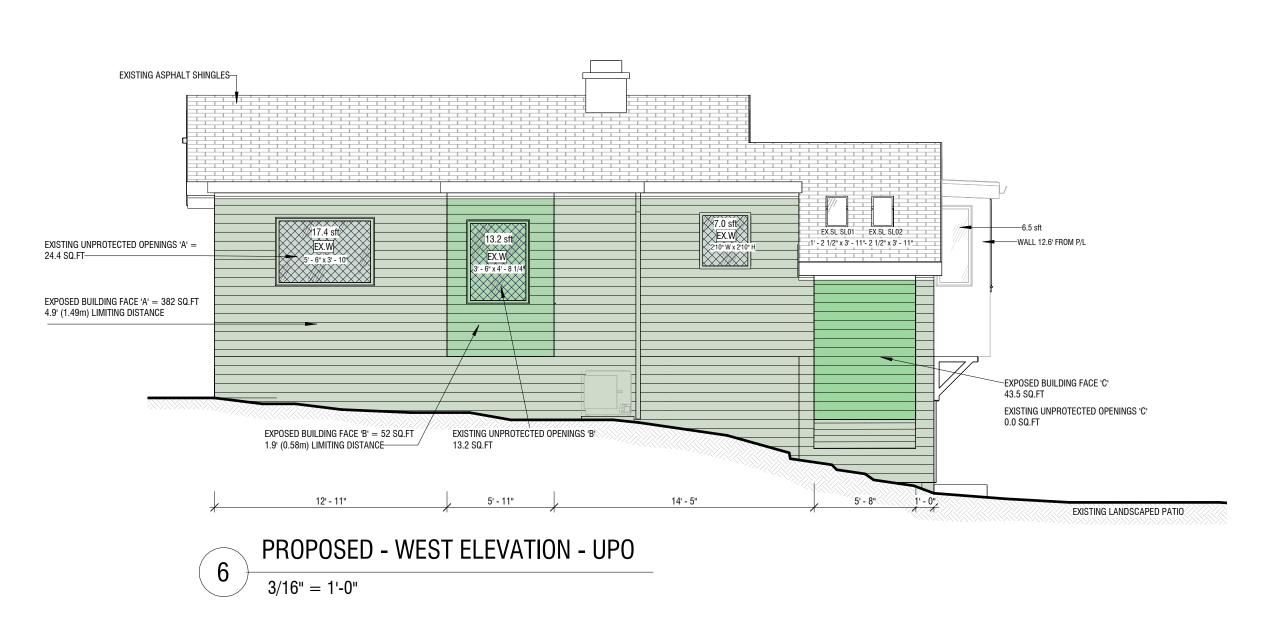


Date:	28.05.25
Scale: @ 36"W x 24"H Sheet	As indicated
Drawn by:	LC
Designed by:	LC
Project no:	D495
Current revision:	P2









	SPATIAL SEPARATION WEST							
	LD - (m) EX. EBF A (sm) PROP. EBF (sm) EX. U.P.O. (sm) PROP. UPO (sm) ALLOWABLE UPO (sm) ALLOWABLE UPO (%) PROP. UPO (%)							PROP. UPO (%)
WEST	1.43	35.48	35.48	2.27	2.27	2.76	7.77	6.36%



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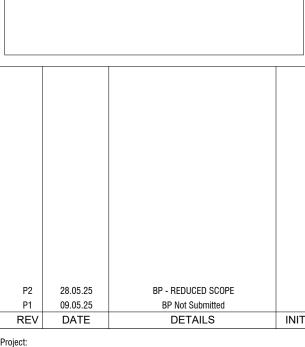
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SIDENCE R

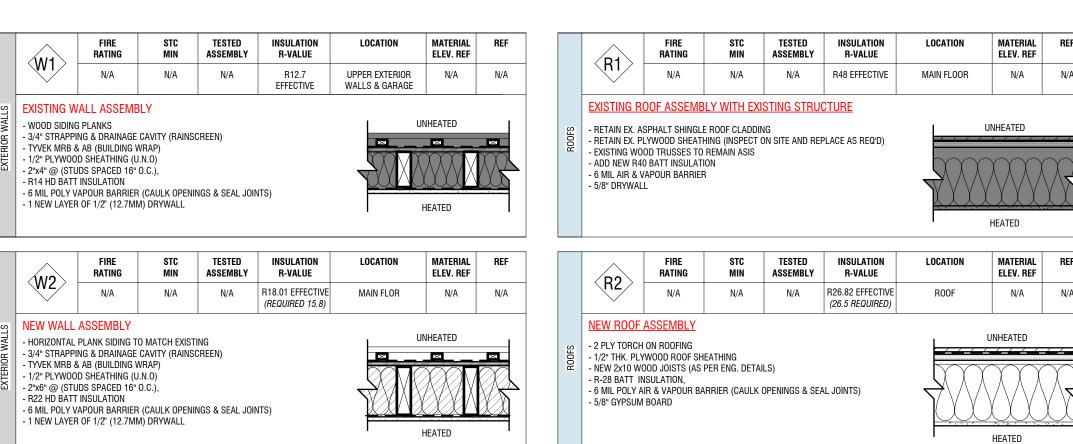
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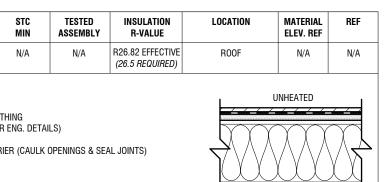


2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

SECTIONS & UPO

Date:		28.05.25
Scale:	@ 36"W x 24"H Sheet	As indicated
Drawn by:		LC
Designed by:		LC
Project no:		D495
Current revision	:	P2





TESTED INSULATION ASSEMBLY R-VALUE

R24 EFFECTIVE SOUTH OVERHANG

HEATED

STC Min

EXISTING FLOOR ASSEMBLY (NEW INTERIOR FINISH)

- 1x4 T&G WOOD VENTED SOFFITS (MIN 1:150 VENTILATION REQ'D)

RATING

- NEW ENGINEERED WOOD FLOOR FINISH

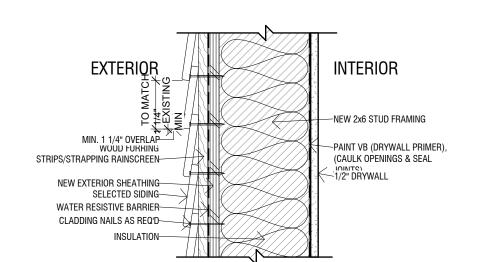
- EXISTING PLYWOOD SHEATHING - EXISTING 2X10 FLOOR JOISTS

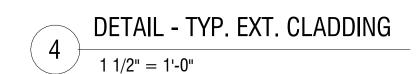
REFER CEA REPORT & ENG. DETAILS

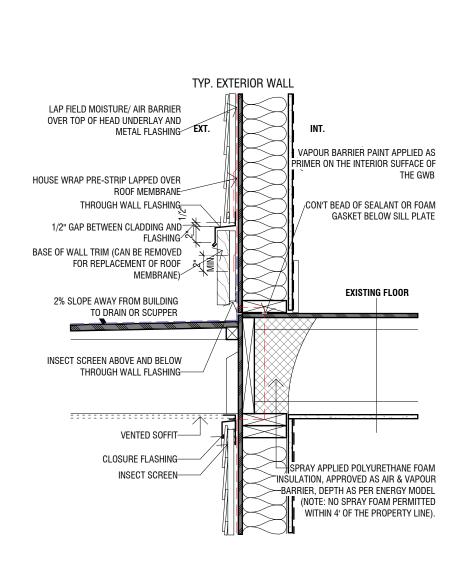
- EXISTING BATT INSULATION

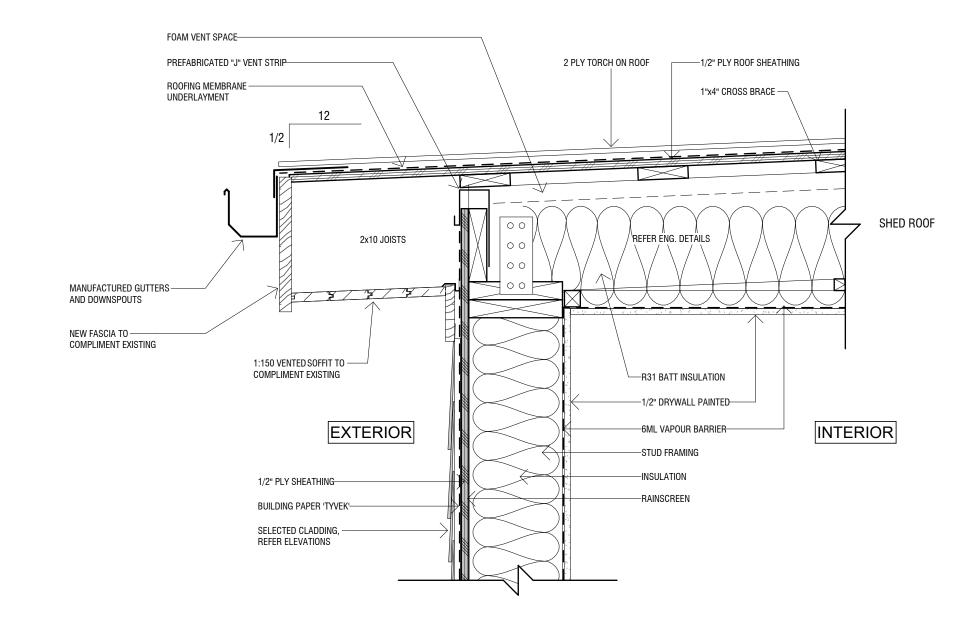
CONSTRUCTION ASSEMBLIES

Prescriptive path of compliance for Part 9 Section 9.36 and 9.32

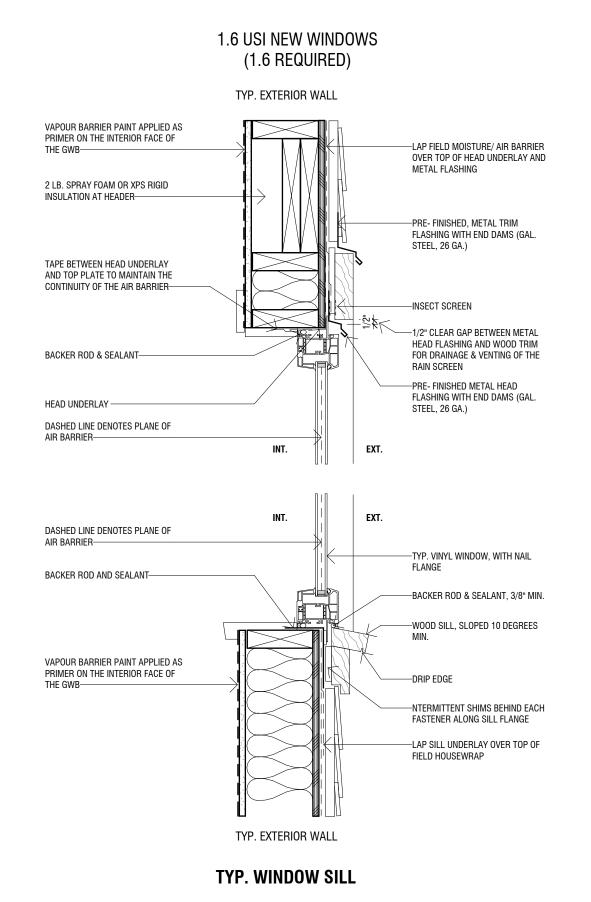
















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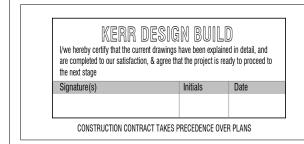
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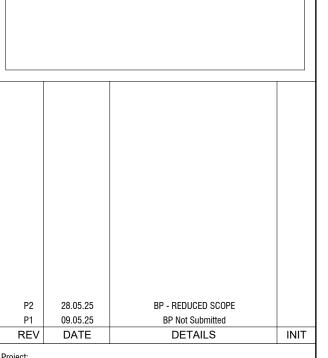
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SIDENCE





2045 FELL AVENUE, CITY NORTH VANCOUVER, V7P2K7

S

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