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Architectural Drawing Issues

2024-08-16	Issue 01 - DP Application
2024-11-06	Issue 02 - ADP
2024-11-12	Issue 03 - ADP R1
2025-08-01	Issue 04 - DP Resubmission
2025-10-31	Issue 05 - DP Resubmission
2026-01-09	Issue 06 - DP Resubmission
2026-02-25	Issue 07 - DP Resubmission
2026-03-19	Issue 08 - DP Resubmission
2026-04-28	Issue 09 - DP Resubmission

Architectural Project Information

Permit Numbers:
To be confirmed

Project Description:
6 Storey, Residential Woodframe Rental Apartment Building

Civic Address:
154 17th East, North Vancouver, BC

Legal Description:
LOTS 3 & 4; BOTH OF LOT C; BLOCK 5 OF BLOCK 18; DISTRICT LOT 549, GROUP 1, NWD, PLAN 6468

PID:
010-899-618 (LOT 3)
010-899-634 (LOT 4)

OCP:
Existing Zoning: RM-1
Proposed Zoning: CD

Note: Drawings only to scale when printed on 24x36 sheets

SIEGRIST ARCHITECTURE

E17th Rentals



Project Information
Project Number: 040
April 28, 2026
Issue 09 - DP Resubmission
154 17th East, North Vancouver, BC

A-0.101

APRIL 28 2026

1. SITE AREA															
1.1 Total Lot Area															
		Lot 3		6,599.00 SF		413.06 m ²									
		Lot 4		7,391.00 SF		698.64 m ²									
Total Gross Lot Area*				13,990.00 SF		1,299.70 m ²									
* NS Confirmed by Survey BY BENNETT LUND SURVEYING LTD ON JULY 26, 2022															
Zoning: CD-1 Based on MR-1															
2. FLOOR SPACE RATIO (FSR)															
2.1 Maximum FSR***															
Maximum Floor Area				2.00		36,374.00 SF		3,379.23 m ²							
2.2 Proposed FSR***															
Proposed Floor Area				2.00		36,437.79 SF		3,385.2 m ²							
Proposed Zoning				CD-1											
3. GROSS FLOOR AREA (GFA)															
Unit Types	Unit Areas				Total Unit Area				Number of Units / Floor	Total Units	Total Unit Area after Exclusions		% of Units		
	Exclusion Area		Unit Areas		after exclusion area is subtracted		Level 1 Floor Plan	Level 2 Floor Plan			Level 3 Floor Plan	Level 4 Floor Plan		Level 5 Floor Plan	Level 6 Floor Plan
Unit A1-A	0.00	0.00	417.20	38.76	417.20	38.76	1	1	1	1	1	1	2,803.20	262.56	11%
Studio + 1 Bath							417.20	417.20	417.20	417.20	417.20	417.20			
Unit A2-A	20.02	1.86	476.40	44.26	456.38	42.40	1	1	1	1	1	1	2,738.28	254.30	11%
Studio + 1 Bath							456.38	456.38	456.38	456.38	456.38	456.38			
Unit A2-B	20.02	1.86	475.10	44.14	455.08	42.26	1	1	1	1	1	1	2,730.48	253.07	11%
Studio + 1 Bath							455.08	455.08	455.08	455.08	455.08	455.08			
Unit A3-A	0.00	0.00	408.12	37.92	408.12	37.92	0	0	1	1	1	1	2,040.60	189.08	9%
Studio + 1 Bath							408.12	408.12	408.12	408.12	408.12	408.12			
Unit A3-B	0.00	0.00	406.86	37.80	406.86	37.80	0	0	1	1	1	1	2,034.30	188.89	9%
Studio + 1 Bath							406.86	406.86	406.86	406.86	406.86	406.86			
Unit D1-A	0.00	0.00	471.43	43.80	471.43	43.80	0	0	2	2	2	2	4,714.30	437.87	18%
1 Bed + 1 Bath							471.43	942.86	942.86	942.86	942.86	942.86			
Unit B1-B	0.00	0.00	471.43	43.80	471.43	43.80	1	0	0	0	0	0	471.43	43.80	2%
1 Bed + 1 Bath							471.43	0.00	0.00	0.00	0.00	0.00			
Unit B1-C	0.00	0.00	466.15	43.31	466.15	43.31	0	1	1	1	1	1	2,330.78	216.03	9%
1 Bed + 1 Bath							466.15	466.15	466.15	466.15	466.15	466.15			
Unit B1-D	0.00	0.00	470.05	43.67	470.05	43.67	1	0	0	0	0	0	470.05	43.67	2%
1 Bed + 1 Bath							470.05	0.00	0.00	0.00	0.00	0.00			
Unit C1-A	20.02	1.86	897.62	79.87	837.60	77.81	0	1	1	1	1	1	4,188.00	389.07	9%
2 Bed + 2 Bath							837.60	837.60	837.60	837.60	837.60	837.60			
Unit C1-B	20.02	1.86	882.31	80.11	842.29	78.25	1	0	0	0	0	0	842.29	78.25	2%
2 Bed + 2 Bath							842.29	0.00	0.00	0.00	0.00	0.00			
Unit D1-A	0.00	0.00	941.34	87.45	941.34	87.45	1	1	1	1	1	1	5,648.04	524.72	11%
3 Bed + 2 Bath							941.34	941.34	941.34	941.34	941.34	941.34			
Total							7	10	10	10	10	10	Total 57		
							4,653.77 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	30,711.72 SF	2,853.19	100%
							376.65 m ²	495.13 m ²	495.13 m ²	495.13 m ²	495.13 m ²	495.13 m ²	2816.21 m ²	263.19	
Total Residential Area - Apartments													30,711.72 SF		
Total Residential Efficiency above grade													84%		
CURRENT UNIT MIX															
													STUDIO	28	49%
													ONE BED	17	30%
													TWO BED	6	11%
													THREE BED	6	11%
Adaptable Units Required													Level 1		
													Level 2	25%	total Units
42 Level 1 Adaptable Units Required															
15 Level 2 Adaptable Units Required															
3.3 Total Building Area															
		Level P2 Floor Plan	Level P1 Floor Plan	Level 1 Floor Plan	Level 2 Floor Plan	Level 3 Floor Plan	Level 4 Floor Plan	Level 5 Floor Plan	Level 6 Floor Plan	Total Building Areas					
				4,653.77 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	5,331.99 SF	30,711.72 SF					
				1,917.77 SF	941.66 SF	941.66 SF	941.66 SF	941.66 SF	941.66 SF	5,726.67 SF					
				893.37 SF	398.01 SF	398.01 SF	398.01 SF	398.01 SF	398.01 SF	1,585.38 SF					
				398.01 SF	398.01 SF	398.01 SF	398.01 SF	398.01 SF	398.01 SF	1,585.38 SF					
				6,272.92 SF	6,273.25 SF	6,273.25 SF	6,273.25 SF	6,273.25 SF	6,273.25 SF	37,826.17 SF					
				550.77 m ²	627.25 m ²	627.25 m ²	627.25 m ²	627.25 m ²	627.25 m ²	17,619.11 m ²					
				576.65 m ²	576.65 m ²	576.65 m ²	576.65 m ²	576.65 m ²	576.65 m ²	2,853.19 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
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				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	444.04 m ²					
				1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	1,201.38 SF	4,805.52 SF					
				111.01 m ²	111.01 m ²	111.01 m ²	111.01 m ²	111.							



1 Perspective from 17th St. East



2 Perspective from 17th St. East

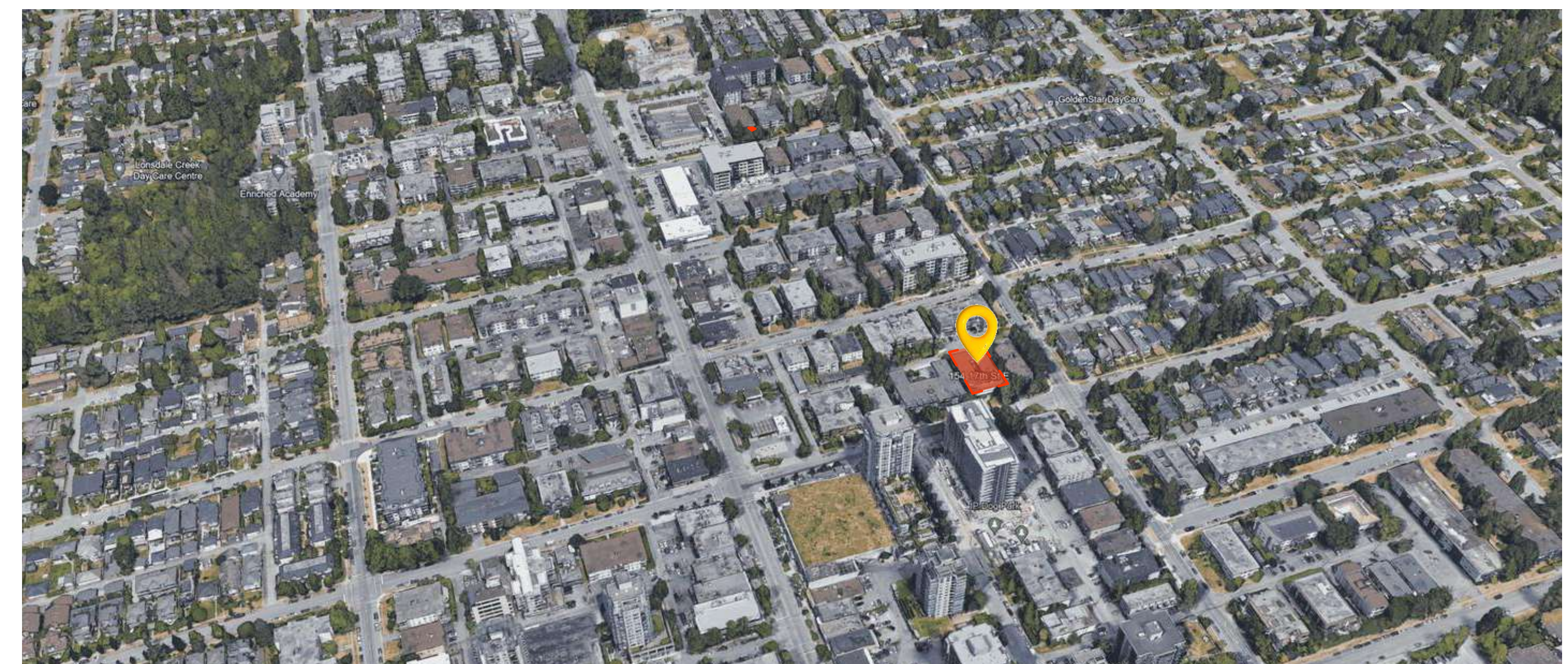
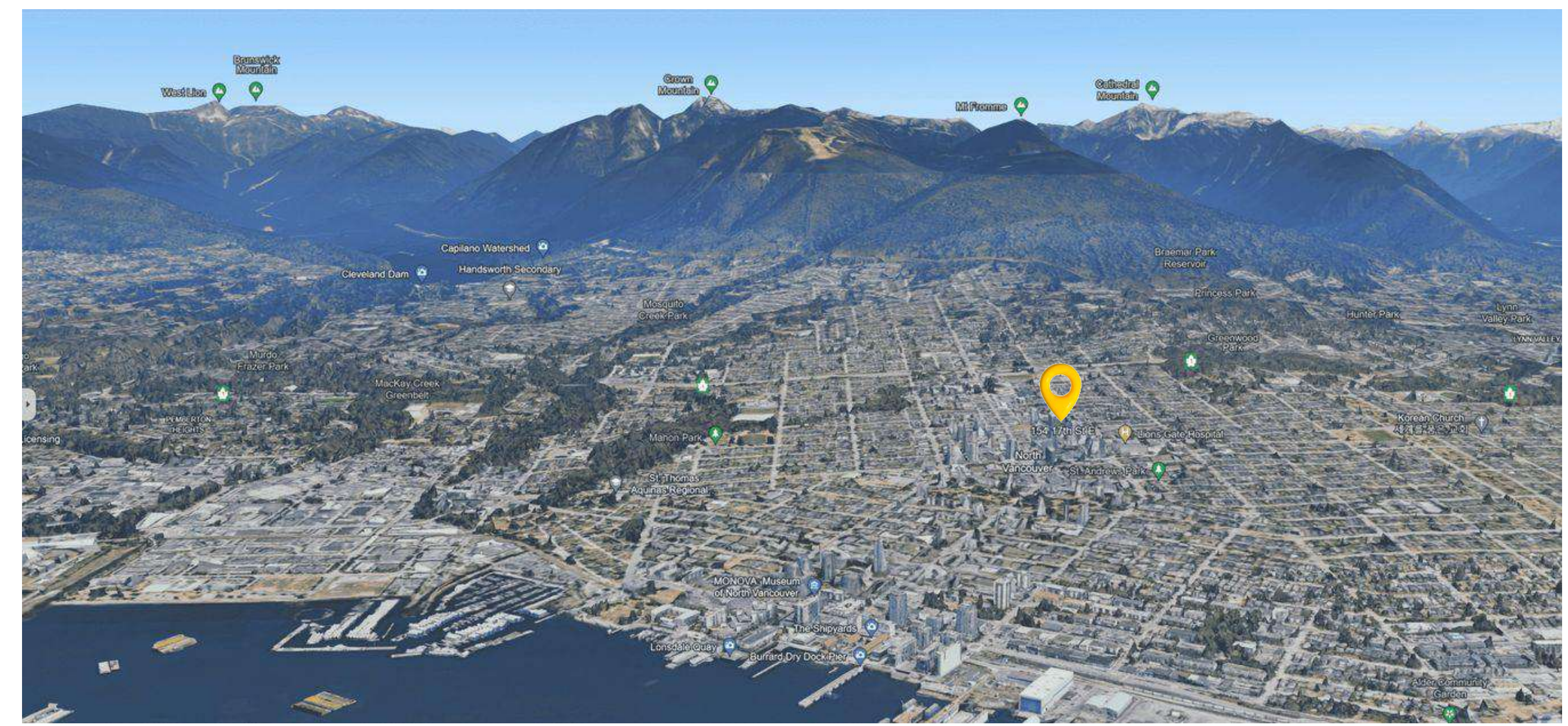
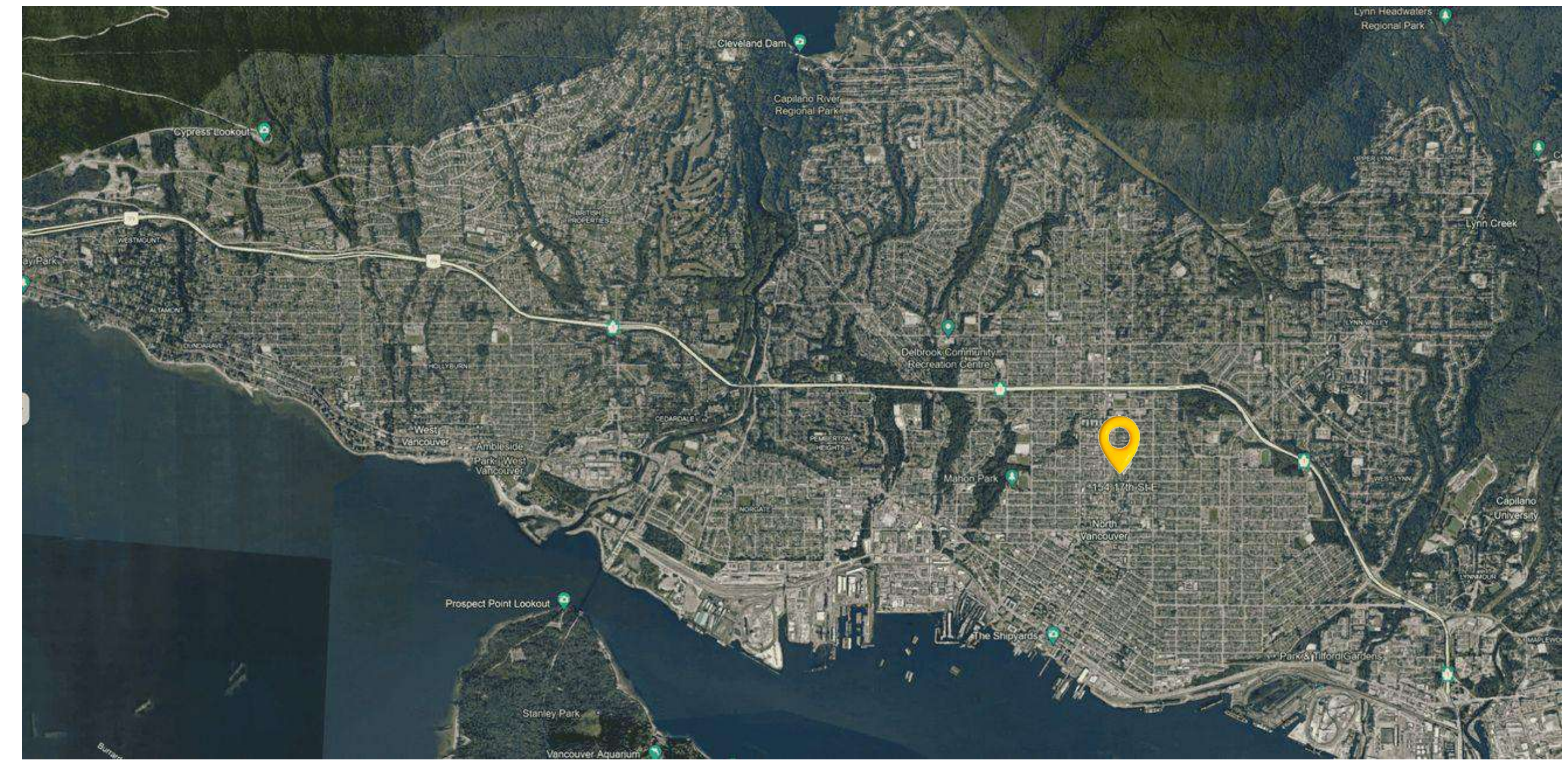
SIEGRIST



Perspective Render - Entry
 Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

A-0.201

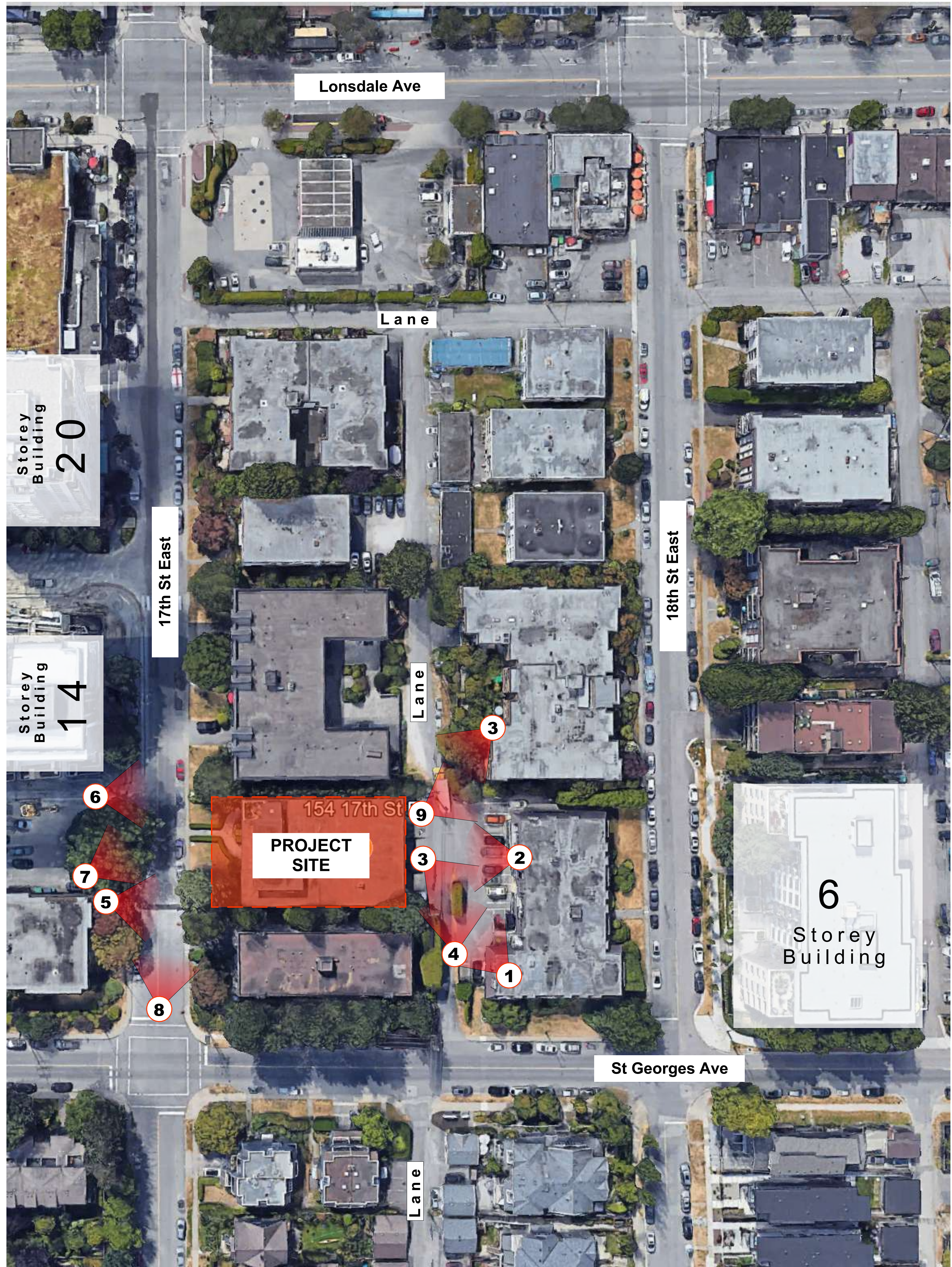
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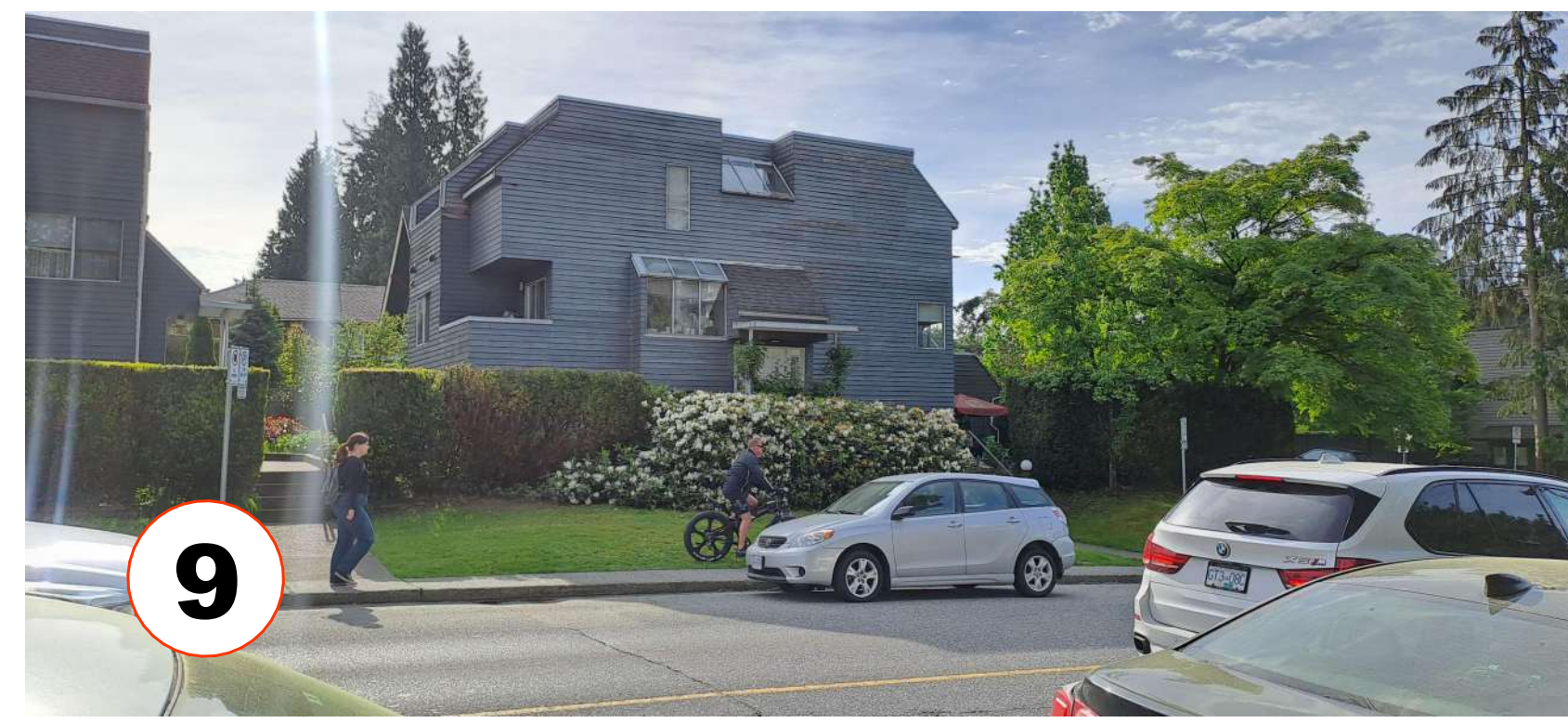
Context - Aerial Perspective
 Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC
A-0.320



SIEGRIST



Context - Street View Photos
 Project Number: 040
 April 28, 2024
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC
A-0.330



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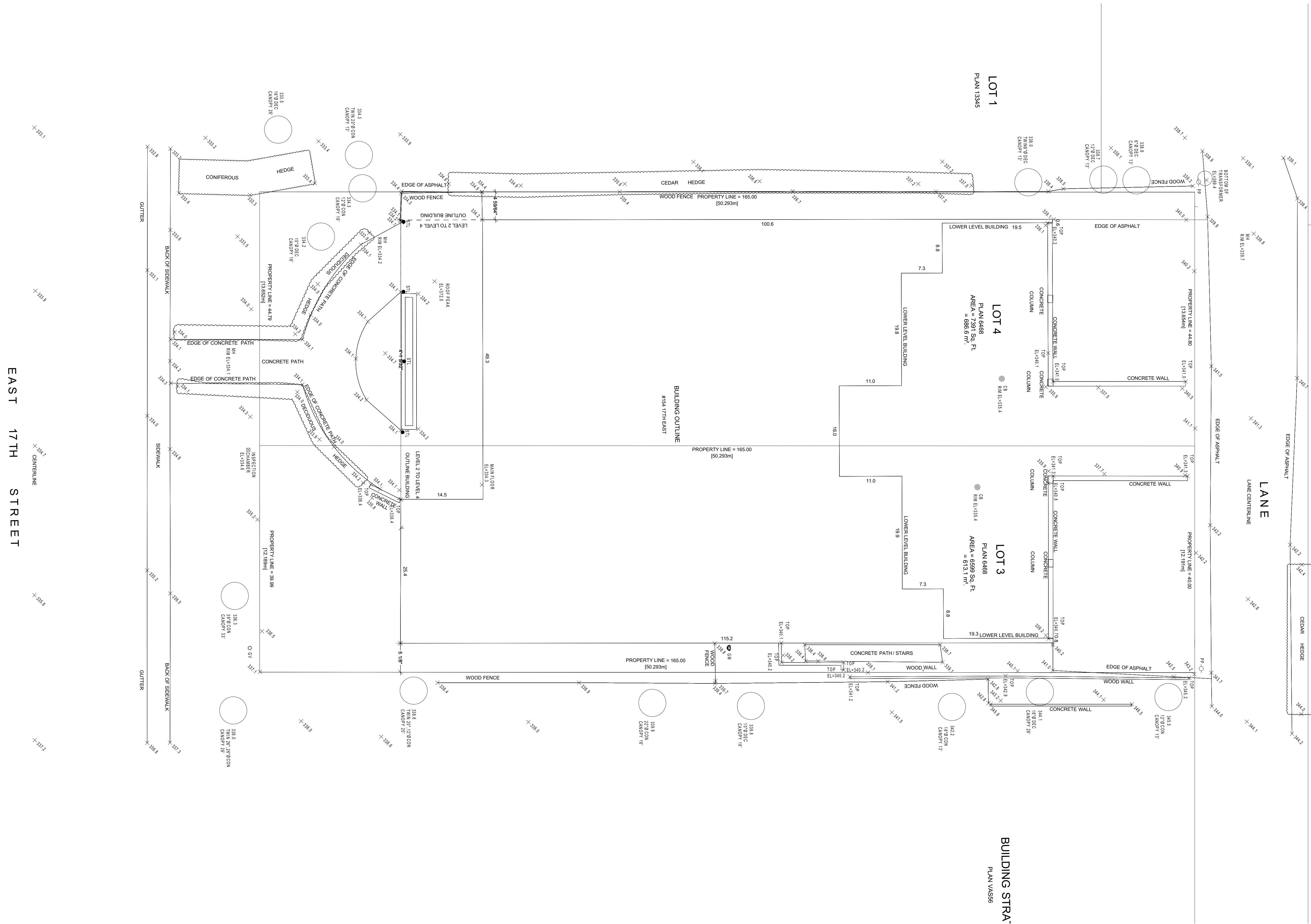


Context - Street View Photos

Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

A-0.340

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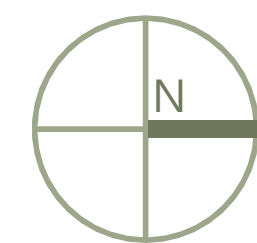


EAST 17TH STREET

Survey

SCALE: 1/8" = 1'-0"

Note: This drawing is not the legal survey. This drawing may have been modified from the original survey. Please refer to original signed and sealed survey if needed.



Survey

Project Number: 040
April 28, 2026
Issue 09 - DP Resubmission
154 17th East, North Vancouver, BC

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

APPROX OUTLINE OF ADJACENT BUILDING

APPROX OUTLINE OF ADJACENT BUILDING

6 STORY RESIDENTIAL RENTAL BUILDING

Project Description:
6 Storey Wood Frame Residential Rental Building

Civil Address:
154 17th East, North Vancouver,

Legal Description:
LOTS 3 & 4; BOTH OF LOT C; BLOCK 5 OF BLOCK 18;
DISTRICT LOT 549, GROUP 1, NWD, PLAN 6468

Lot Area:
13,990.00 ft²

Lot Coverage:
6,359.30 ft²

Lot Coverage (%):
45%

STREET ADDRESS TO BE POSTED ON BUILDING OR PEDESTAL FACING THE ASSIGNED STREET.
SIZE OF NUMBERS TO CONFORM TO CONSTRUCTION BY-LAW PART 11.
BUILDING SETBACK FROM STREET: 0-15m
MINIMUM NON-ILLUMINATED CHARACTER SIZE: 100mm
MINIMUM ILLUMINATED CHARACTER SIZE: 80mm

MAX 1.5m SETBACK FROM STREET
MIN 0.75m SETBACK FROM STREET

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

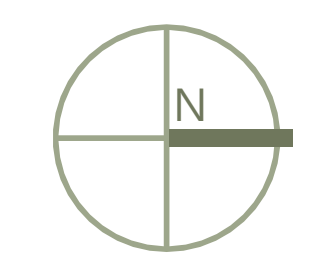
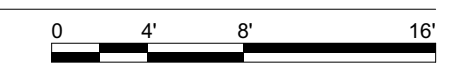
POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

POTENTIAL PUBLIC ART LOCATION TRC

1 Site Plan
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

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APPROX OUTLINE OF ADJACENT BUILDING

APPROX OUTLINE OF ADJACENT BUILDING

6 STORY RESIDENTIAL RENTAL BUILDING

Project Description:
6 Storey Wood Frame Residential Rental Building

Civil Address:
154 17th East, North Vancouver,

Legal Description:
LOTS 3 & 4; BOTH OF LOT C; BLOCK 5 OF BLOCK 18;
DISTRICT LOT 549, GROUP 1, NWD, PLAN 6468

Lot Area:
13,990.00 ft²

Lot Coverage:
6,359.30 ft²

Lot Coverage (%):
45%

PARKADE ACCESS

OUTDOOR AMENITY

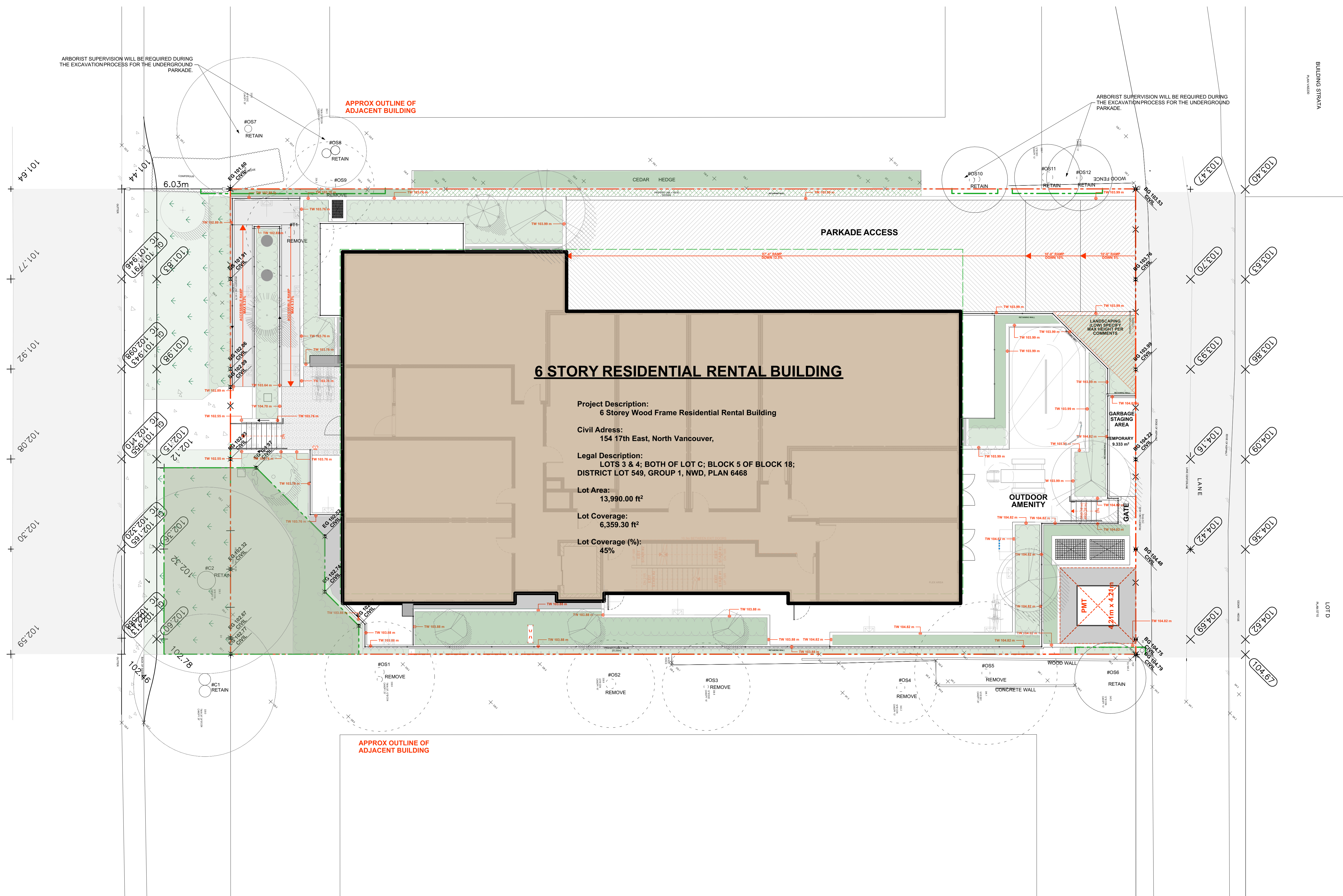
LANDSCAPING (LOW SPECIFY MAX HEIGHT PER COMMENTS)

GARBAGE STAGING AREA

TEMPORARY 8,533 sq'f

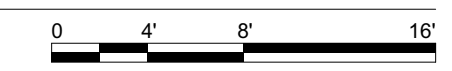
GATE

PMT 42'6" x 4.23'6"

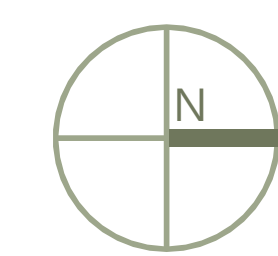


1 Landscape Plan

SCALE: 1/8" = 1'-0"



SIEGRIST



Landscape Plan
Project Number: 040
April 28, 2026
Issue 09 - DP Resubmission
154 17th East, North Vancouver, BC

A-1.300

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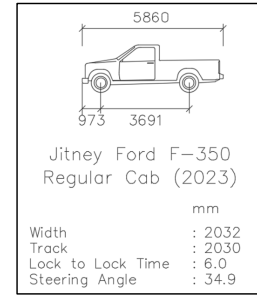


Figure 1 - F-350 Design Vehicle Specifications

The drawings assess both a bin carried by the truck, as well as one that is towed. Actual operations will depend on the collection contractor and bin pull-out service used. There are several contractors in the lower mainland providing this service, which use different vehicles.

Operations

Refuse collection operations requires one visitor parking space to be left open on collection days for jitney turnaround.

Signage directing visitors not to park in this space on collection days is required. Installed signage should include a specific day of the week or month, and applicable hours, based on further coordination with a waste hauler and bin pull-out service provider. The building manager must keep signage current to ensure this space is available when needed.

The building has only about 40 parking spaces, with about 55 units. In this transit friendly location with local services within walking distance, this may generate about 15 vehicle trips in the peak AM and PM hours. This is about 1 trip every 4 minutes. Because of this relatively low level of trip generation, interactions between resident vehicles and refuse collection vehicles are expected to be minimal.

The drawings also include convex mirrors on the P1 level to improve visibility between vehicles.

Circulation Drawings

Sheet 1 of the Refuse Collection Plan Drawings show operations at grade. The jitney truck is able to complete a three-point turn at the end of the driveway ramp to access the garbage staging area, and return to the parking ramp. This functions for both towed and carried bins.

Sheet 2 of the Refuse Collection Plan Drawings shows two potential turnaround situations on P1. The top panels show typical operations with the jitney carrying a bin, while the bottom two panels show inbound and outbound movements of a jitney towing a bin.

Overall, the movements of the jitney appear acceptable.

Circulation for a collection vehicle has not been checked, as the lane accommodates this today and no changes are proposed.

Recommendations

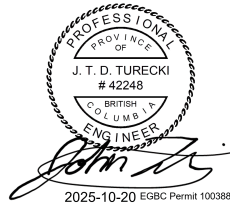
Removal of encroaching vegetation in the lane is recommended to allow for jitney turnarounds at the top of the driveway ramp.

The building manager must keep signage in visitor parking spaces current to ensure these spaces are available for turnaround on collection days.

Additional Information

Additional information regarding refuse collection bin quantity and layout is provided with the development permit submission.

Project No: 058-001
 Project Name: 154 17th St East
 Prepared By: John Turecki P.Eng.
 Step One Mobility Planning and Engineering Ltd.
 4644 51 Street
 Delta, BC
 V4K 2V7
 EGBC Permit: 1003889
 Reviewed By: John Turecki P.Eng.
 Date: October 20, 2025
 Document Status: Final Rev 1



To: Andrew Martins
 Siegrist Architecture
 416 West Pender Street, Vancouver, V6B 1T5

Date: October 20, 2025

RE: 154 17th Street East - Refuse Collection Plan

Step One Mobility has prepared a refuse collection circulation plan for your project at 154 17th Street East in the City of North Vancouver. This plan reviews the general collection operations, provides vehicle movement tracking diagrams for key locations, and makes recommendations for the parking areas to support operations. This plan must be read in conjunction with the remainder of the development permit submission which includes additional information on the refuse collection program.

The proposed refuse collection operation will use a jitney vehicle to relocate bins to and from the lane on collection day. This operation is typical in the lower mainland for higher density buildings where refuse storage at grade is not possible.

Design Vehicle

This plan includes three drawings (the Refuse Collection Plan Drawings) demonstrating circulation for a typical jitney truck bringing bins to and from the lane for collection. The design vehicle is a Ford F-350, shown with a typical 4yd. dumpster bin attached to the rear. Dimensions for an F-350 are shown in Figure 1.

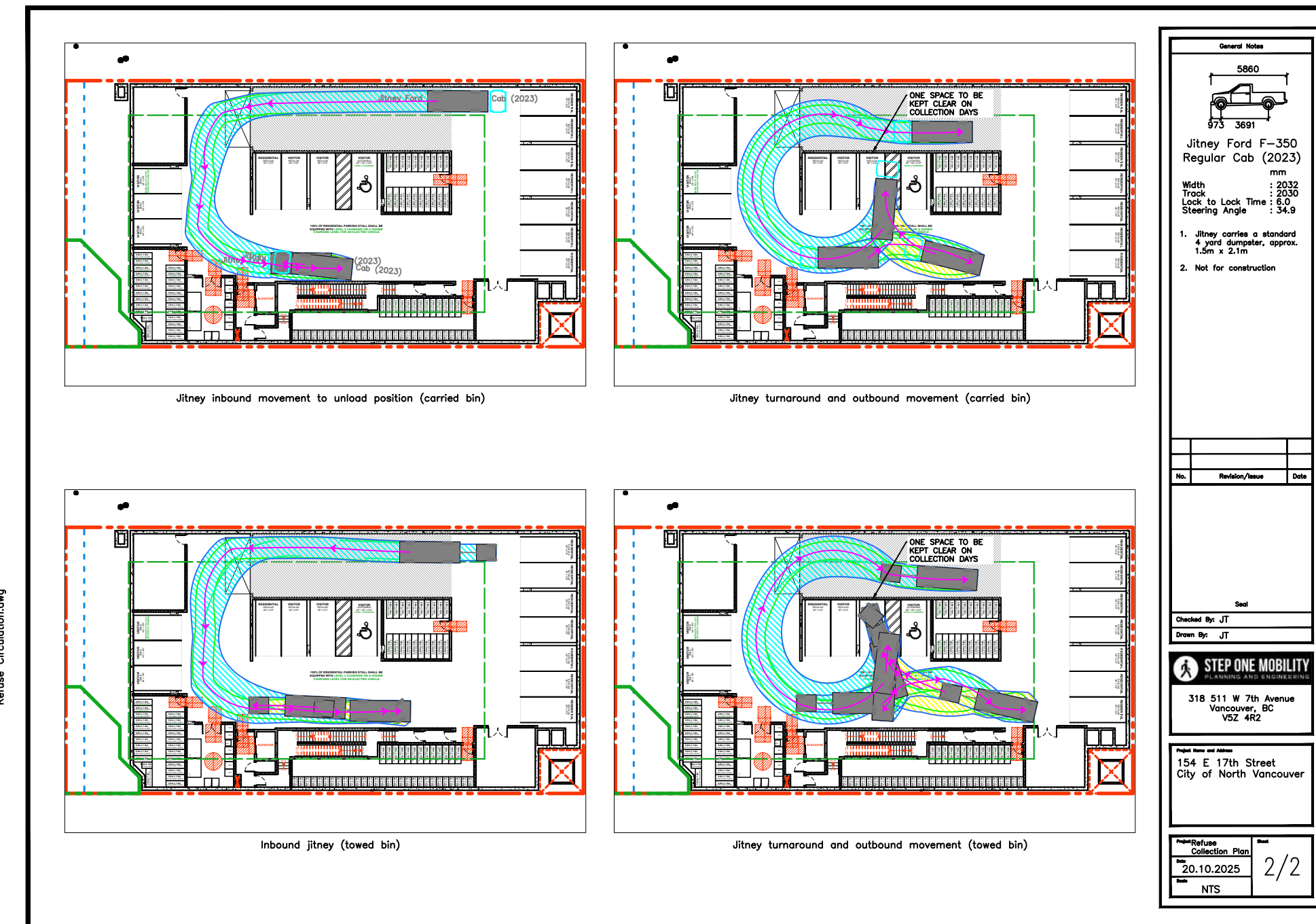
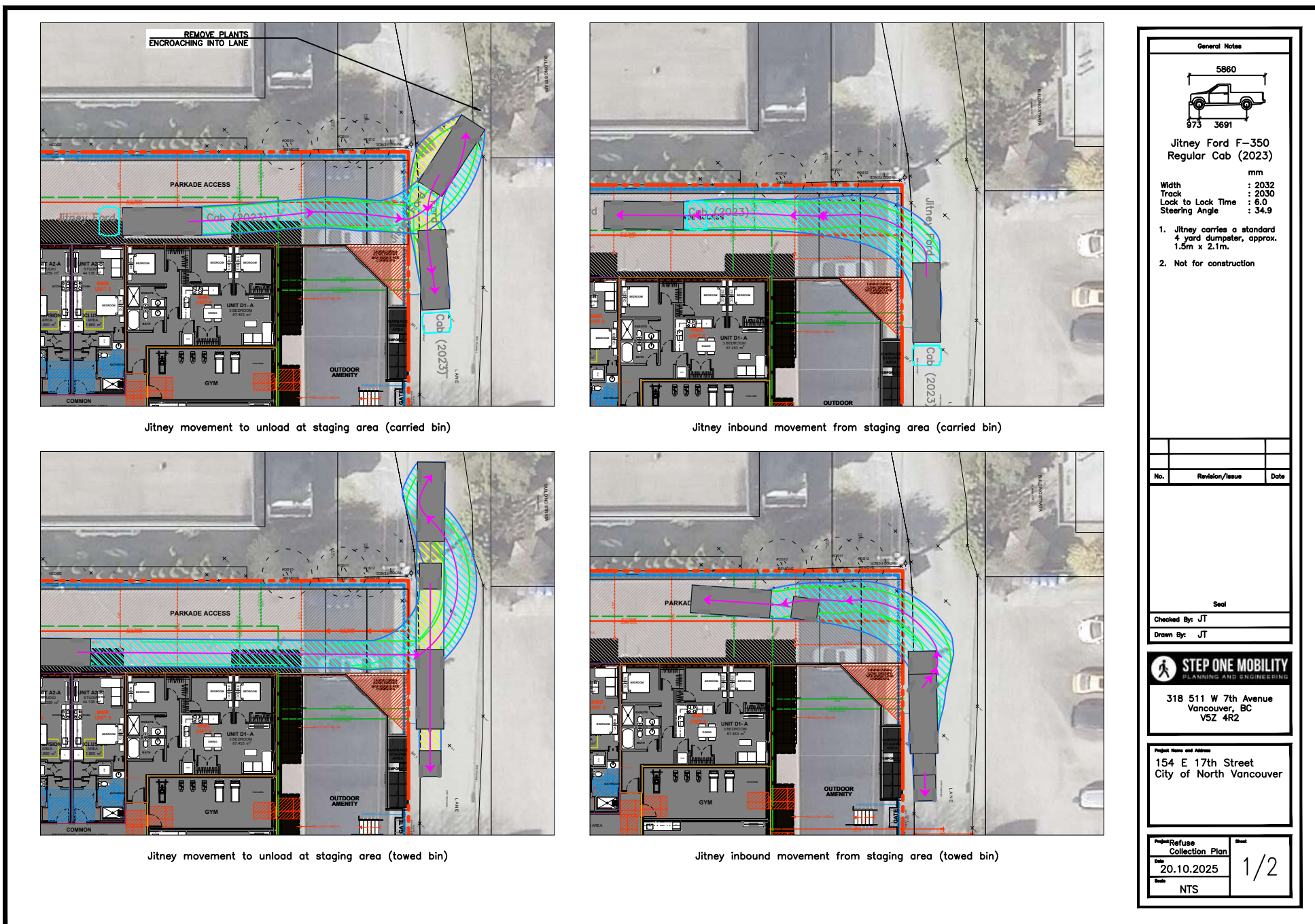
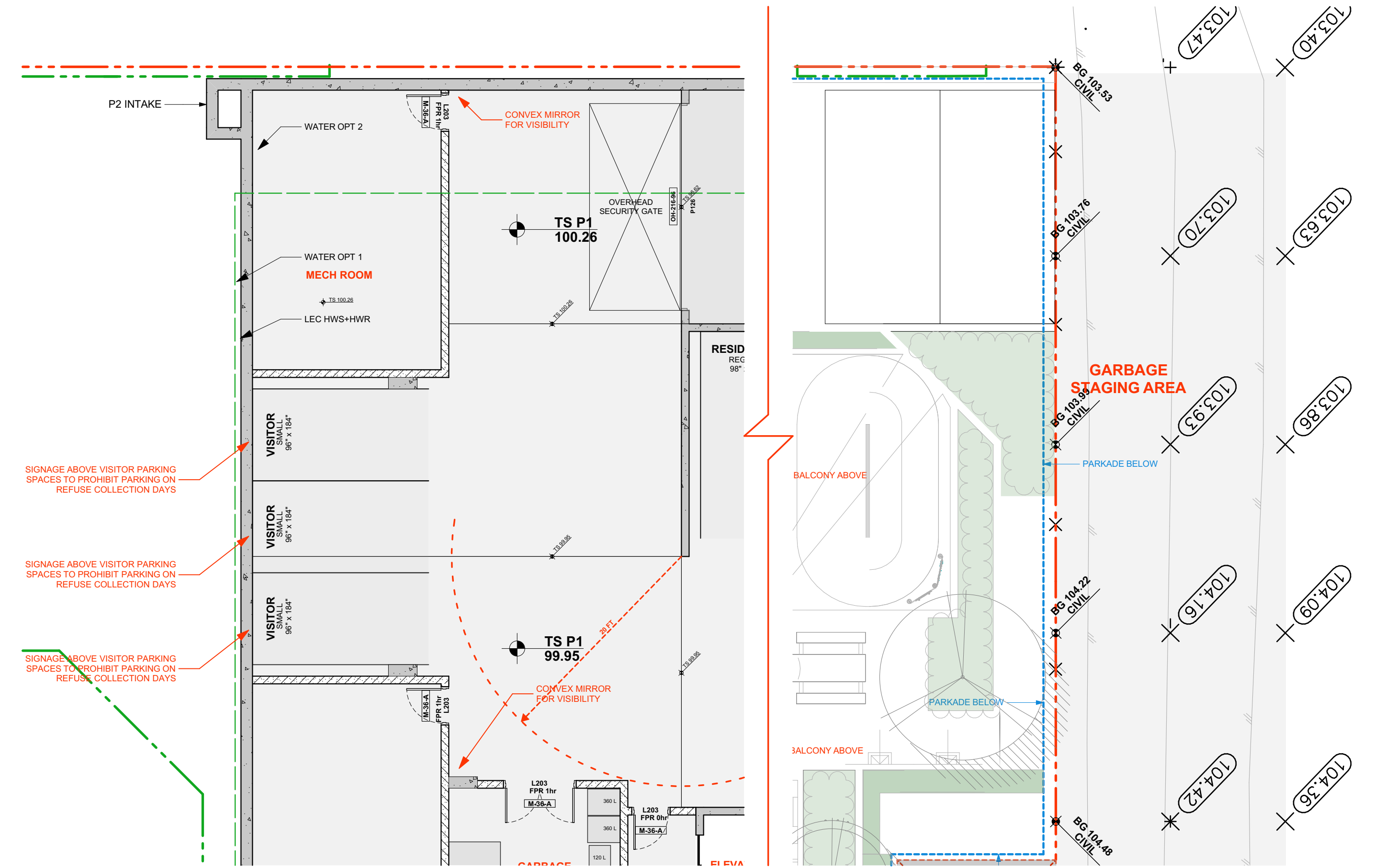
154 17th St East - Refuse Collection Plan
 Final Rev 1 - 2024-10-20



154 17th St East - Refuse Collection Plan
 Final Rev 1 - 2024-10-20



154 17th St East - Refuse Collection Plan
 Final Rev 1 - 2024-10-20



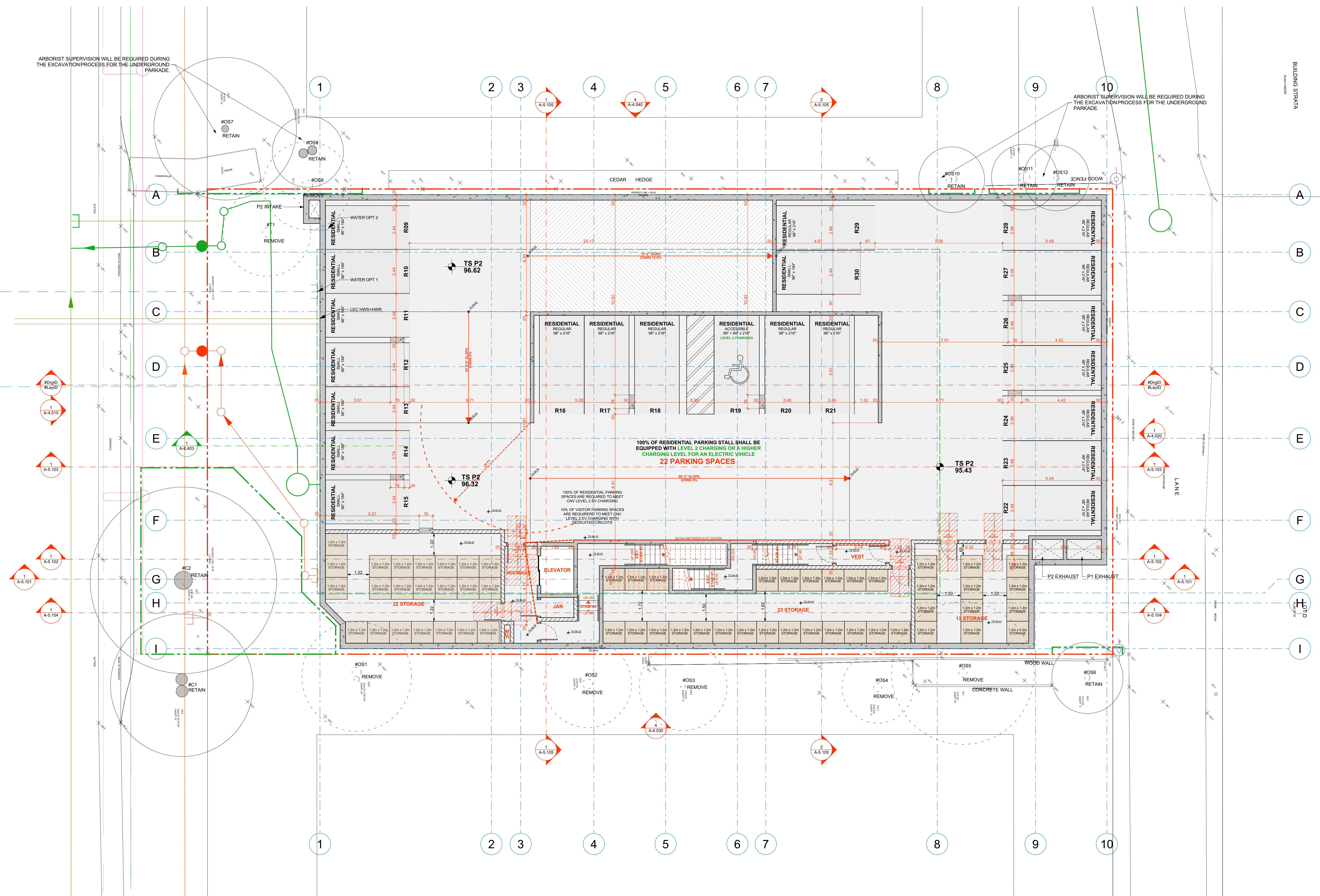
30 TOTAL RESIDENTIAL SPACES PROVIDED

SPACES PROVIDED

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

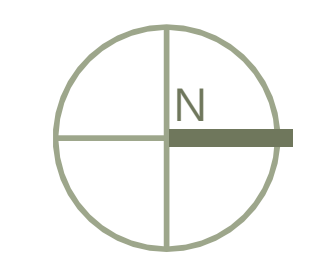
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
NUMBER



1 Level P2 Parking Plan
SCALE: 1/8" = 1'-0"

SIEGRIST



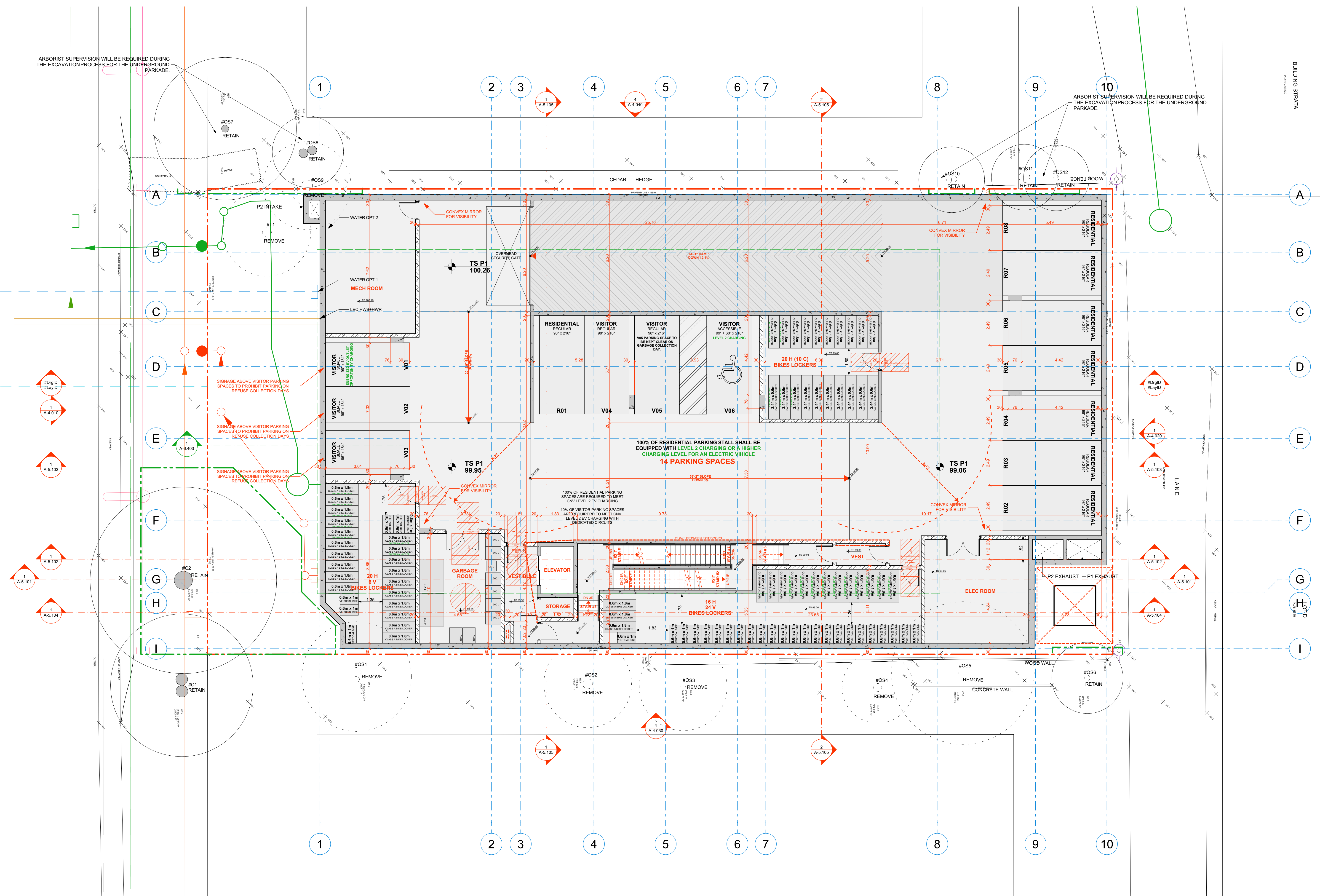
Level P2 Parking Plan
 Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

A-2.010

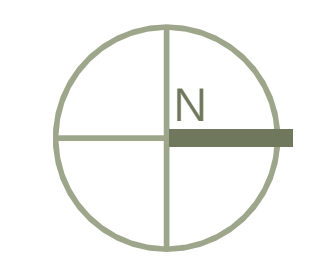
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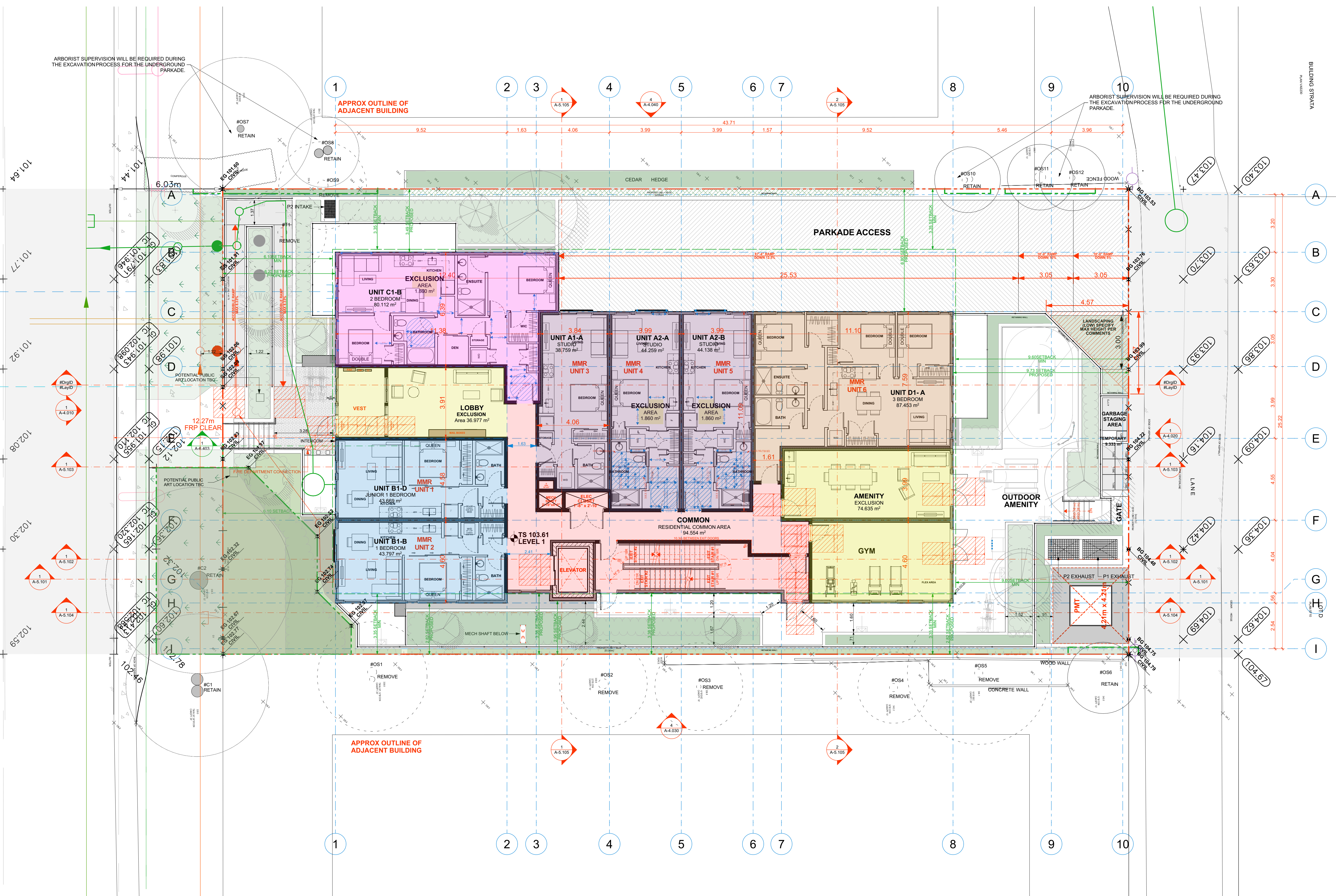
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

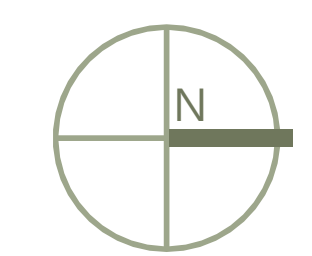


1 Level P1 Parking Plan
SCALE: 1/8" = 1'-0"





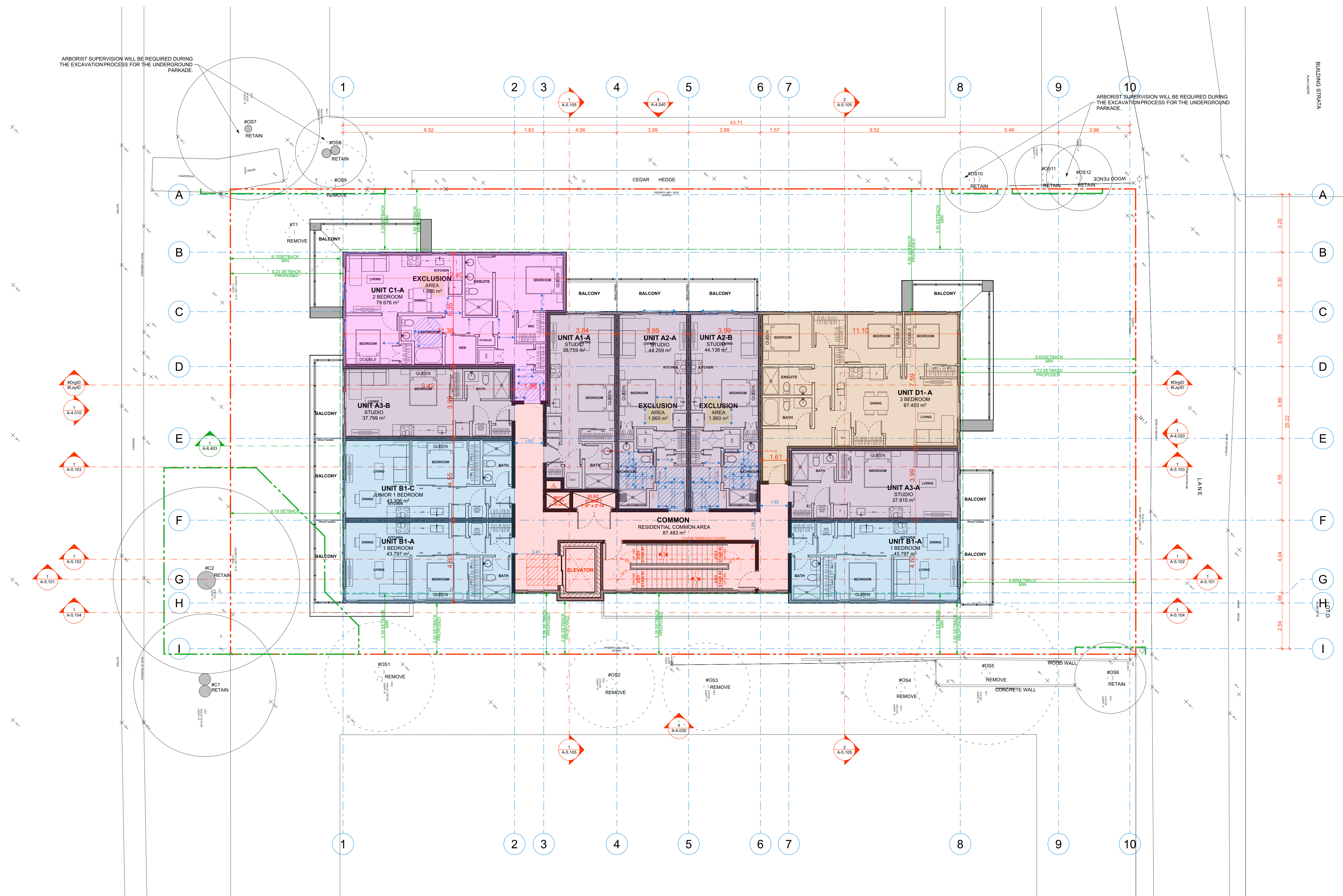
1 Level 1 Floor Plan
SCALE: 1/8" = 1'-0"



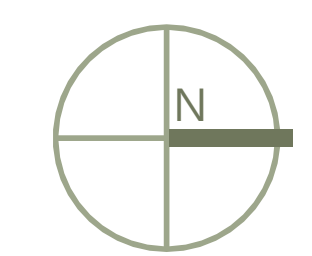
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



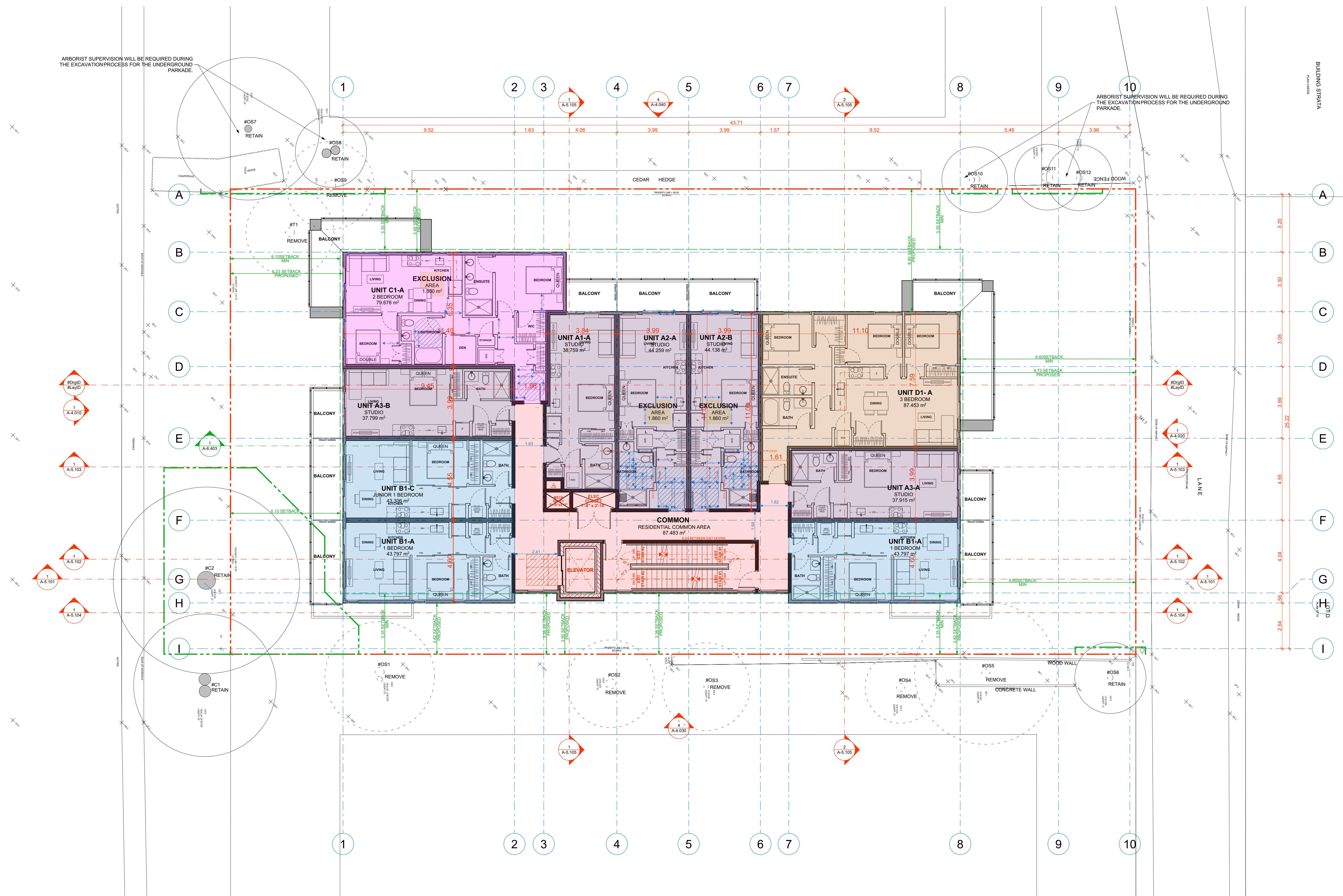
1 Level 2 Floor Plan
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

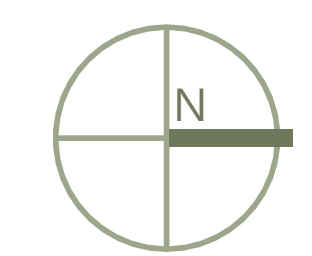
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANUAL



1 Level 3 Floor Plan
SCALE: 1/8" = 1'-0"

SIEGRIST



Level 3 Floor Plan
 Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

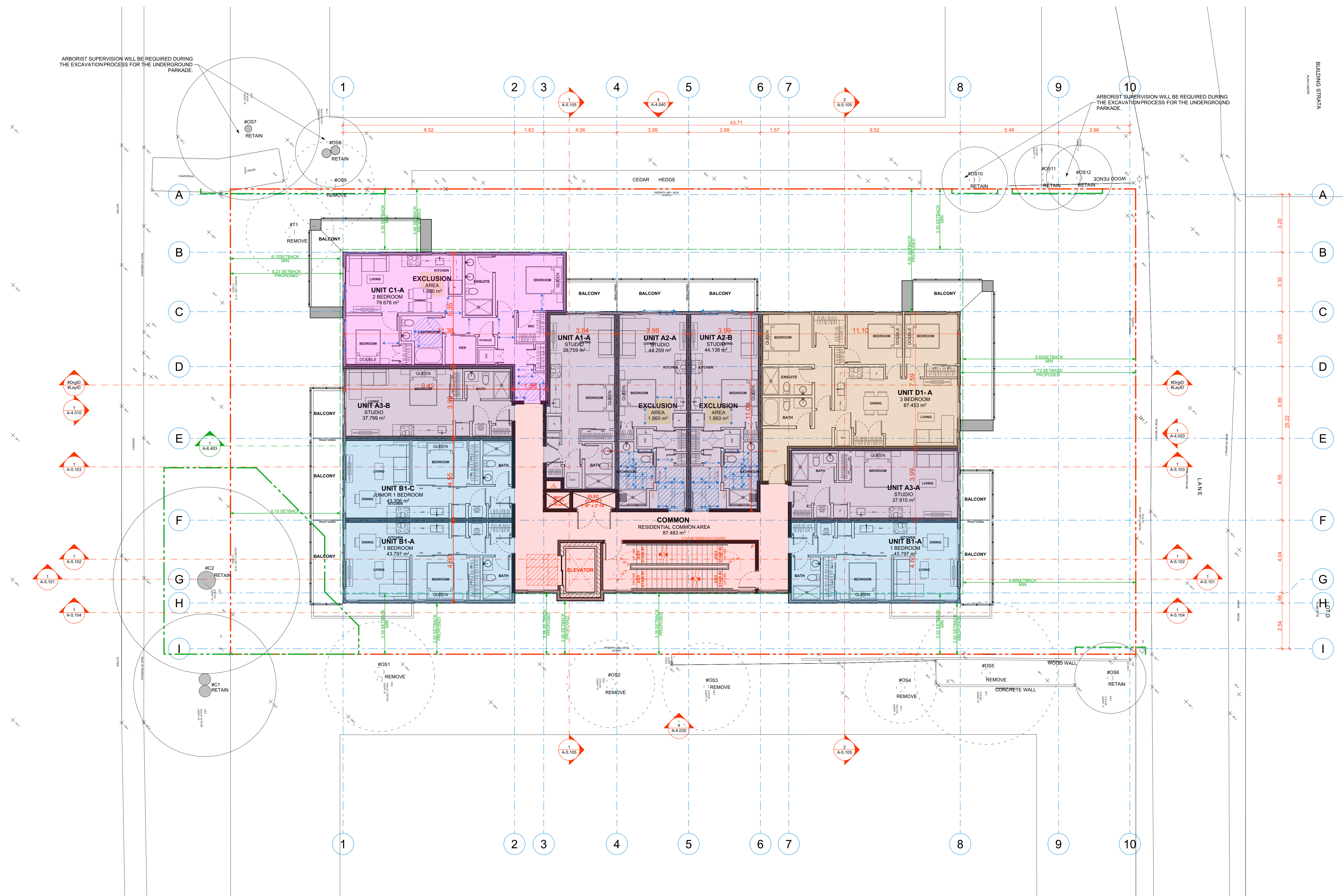
A-2.103

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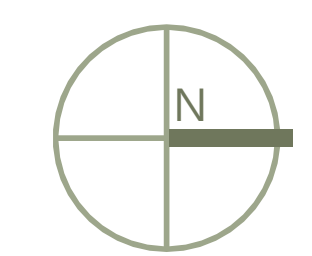
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANUAL



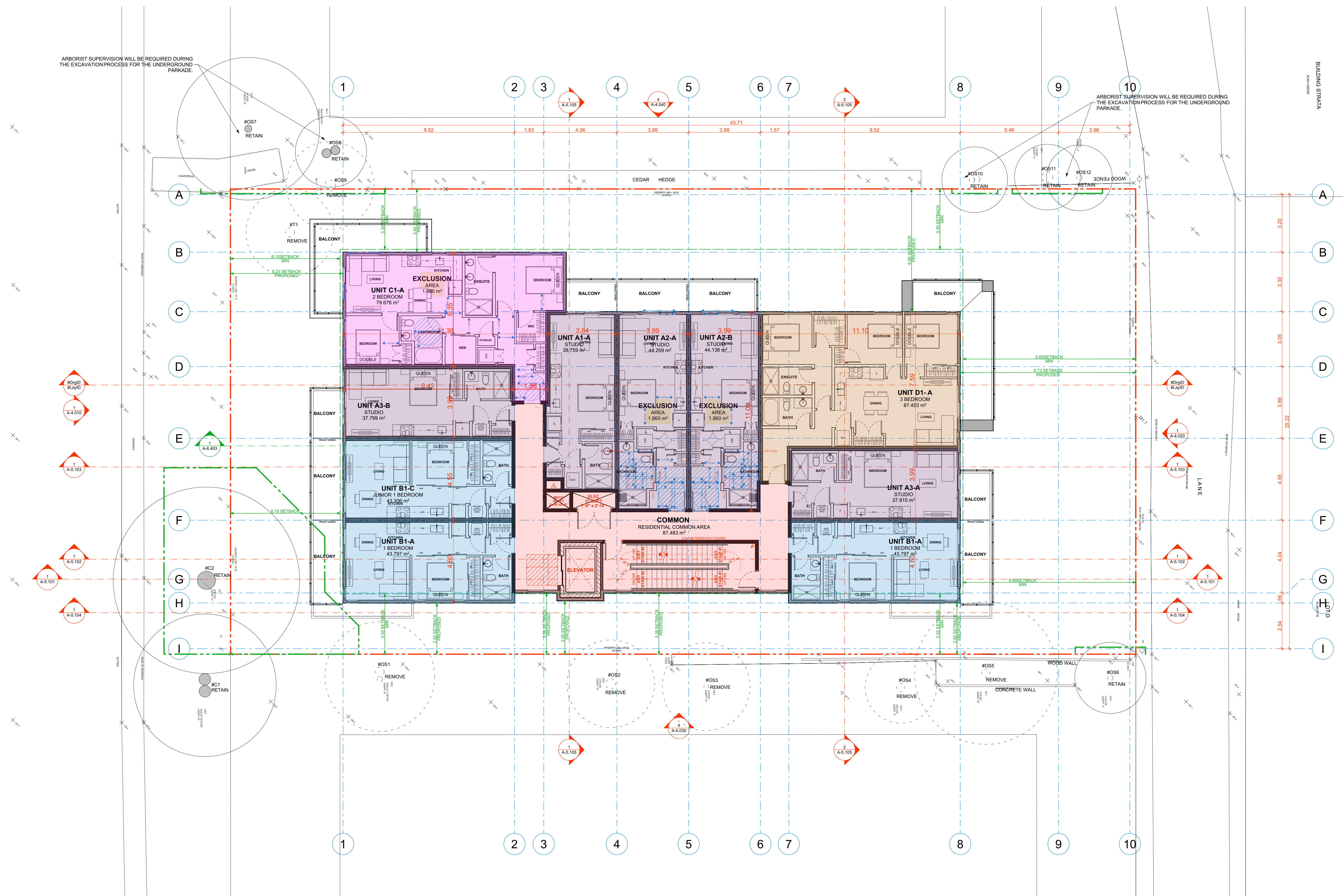
1 Level 4 Floor Plan
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

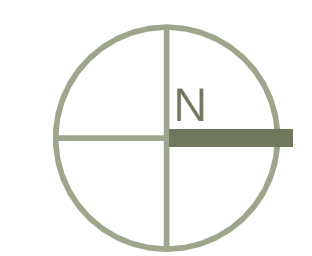
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



1 Level 5 Floor Plan
SCALE: 1/8" = 1'-0"

SIEGRIST



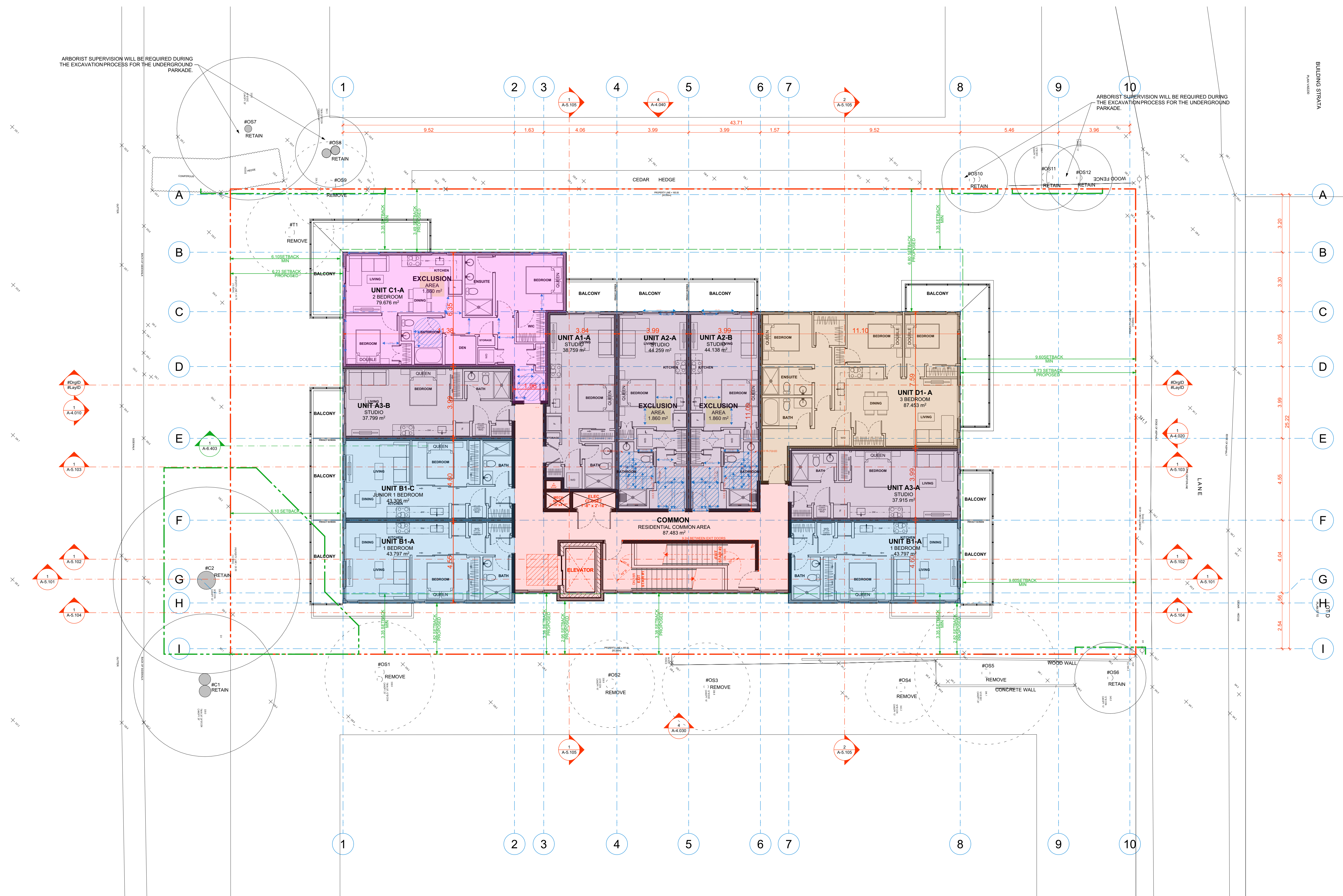
Level 5 Floor Plan
 Project Number: 040
 April 28, 2025
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

A-2.105

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

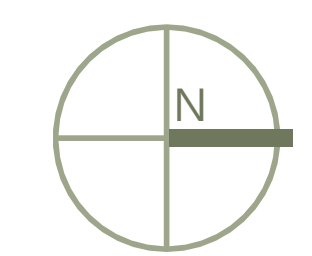
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



1 Level 6 Floor Plan
SCALE: 1/8" = 1'-0"

SIEGRIST



Level 6 Floor Plan
 Project Number: 040
 April 28, 2025
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC
A-2.106

TABLE C

TECHNICAL CRITERIA FOR UNIVERSAL DESIGN DWELLING UNITS

Note: Table incorporates key requirements only - source should be referenced for further detail as required.

Note: Unless noted otherwise, all dimensions are in millimeters.

INDEX

NHS = National Housing Strategy
 BP = Better practice
 CSA = CSA B651: Accessible design for the built environment

PATH = PATH Housing Series: Universal Design and Accessible Housing
 (http://homelesshub.ca/sites/default/files/HousingSeries_AccessibleHousing.pdf)

ID	Category	Sub-Category	Key Features	Source
C1	Application	Entry and Circulation	Accessible route through the main entry door and continuous through all the rooms on the entry level of the unit	PATH
C2	Application	Access to Spaces and Fixtures	Accessible route to the required floor spaces, leading to all kitchen appliances and to all bathroom fixtures making these spaces and fixtures accessible. The route must also connect with all secondary exterior doors. Spaces include the storage areas and exterior balconies and patios that are part of the dwelling unit.	PATH
C3	Application	Multi-story Dwelling Units	Configure unit to allow future installation of wheelchair platform lift to provide access to upper or lower floors, without the need for structural alterations to the unit	BP
C4	Exterior Circulation	Routes	Width at least 920	CSA 7.3.1.1
C5	Exterior Circulation	Surfaces	Stable, firm and slip resistant surfaces	CSA 7.3.1.1
C6	Exterior Circulation	Surfaces	Level, or sloped no steeper than the ratio of 1:20 (5%)	CSA 7.3.1.1
C7	Exterior Circulation	Surfaces	Cross-slope no steeper than the ration of 1:50 (2%)	CSA 7.3.1.1
C8	Exterior Circulation	Edge Protection	Edge protection provided at grade changes and other potential hazards	CSA 7.3.1.1
C9	Entrances and Doors	Entrance Landings	Min 1500 x 1500	CSA 7.3.1.2
C10	Entrances and Doors	Entrance Doors	No Step - Threshold no more than 13	CSA 7.3.2
C11	Entrances and Doors	Entrance Doors	Clear opening width of at least 810	CSA 7.3.2

TABLE C (continued)

ID	Category	Sub-Category	Key Features	Source
C12	Entrances and Doors	Entrance Doors	Accessible door hardware	PATH
C13	Interior Circulation	Corridors	At least 920 wide	CSA 7.3.3.1
C14	Interior Circulation	Corridors	No steps or changes in level	CSA 7.3.3.1
C15	Interior Circulation	Doors and Doorways	Threshold no more than 13 - level threshold preferred	CSA 7.3.3.2
C16	Interior Circulation	Doors and Doorways	Clear opening width of at least 810	CSA 7.3.3.2
C17	Interior Circulation	Doors and Doorways	Accessible door hardware	PATH
C18	Environmental Controls	Controls	Located 380-1220 from floor, with space in front to accommodate a wheelchair	PATH
C19	Washroom	Reinforcement	Provide appropriate structural support for grab bars in walls around toilet	CSA 7.4.3.7
C20	Washroom	Reinforcement	Provide appropriate structural support for grab bars in walls around bathtub	CSA 7.4.3.9
C21	Washroom	Reinforcement	Provide appropriate structural support for grab bars in walls around shower stall	CSA 7.4.3.10
C22	Washrooms and kitchens	Usability	Kitchens and bathrooms must provide sufficient maneuvering space for wheelchair users to approach, operate most appliances and fixtures, and exit.	PATH

ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5-1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BUILDING ACCESS	Outside stairs - maximum degree of colour contrast on nosing of each stair	Outside stairs - maximum degree of colour contrast on nosing of each stair	Outside stairs - maximum degree of colour contrast on nosing of each stair
BUILDING ACCESS	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
BUILDING ACCESS	Unobstructed access to main building entrances from streets/sidewalks	Unobstructed access to main building entrances from streets/sidewalks	Unobstructed access to main building entrances from streets/sidewalks
BUILDING ACCESS	Unobstructed internal access from parking levels containing accessible parking (5' or 1500mm) corridors, 2' or 610mm clear wall space adjacent to door leaf ¹	Unobstructed internal access from parking levels containing accessible parking (5' or 1500mm) corridors, 2' or 610mm clear wall space adjacent to door leaf ¹	Unobstructed internal access from parking levels containing accessible parking (5' or 1500mm) corridors, 2' or 610mm clear wall space adjacent to door leaf ¹
BUILDING ACCESS	Canopy over main building entrances (3' or 915mm) and entrance	Canopy over main building entrances (3' or 915mm) and entrance	Canopy over main building entrances (3' or 915mm) and entrance
BUILDING ACCESS	Disability Parking provided in accordance with Zoning Bylaw Figure 9.4 as attached	Disability Parking provided in accordance with Zoning Bylaw Figure 9.4 as attached	Disability Parking provided in accordance with Zoning Bylaw Figure 9.4 as attached
BUILDING ACCESS	Flush thresholds throughout the building (maximum 3/8" or 10mm height)	Flush thresholds throughout the building (maximum 3/8" or 10mm height)	Flush thresholds throughout the building (maximum 3/8" or 10mm height)
BUILDING ACCESS	Accessible building entrance, call buttons and, where provided, suite door bells ²	Accessible building entrance, call buttons and, where provided, suite door bells ²	Accessible building entrance, call buttons and, where provided, suite door bells ²

¹ Illustrations available - Options considered
² Illustrations available - Options considered

2 of 1

COMMON AREAS	LEVEL ONE	LEVEL TWO	LEVEL THREE
CIRCULATION	Corridors minimum 4' or 1200mm wide (except for service access areas)	Corridors minimum 4' or 1200mm wide (except for service access areas)	Corridors minimum 4' or 1200mm wide (except for service access areas)
CIRCULATION	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit ¹	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit ¹	Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit ¹
SUITE CIRCULATION	Provide wing for an automatic door opener for the suite entry door	Provide wing for an automatic door opener for the suite entry door	Provide wing for an automatic door opener for the suite entry door
SUITE CIRCULATION	Provide 2' or 610mm clear wall space adjacent to door handles where door swings toward user (pocket doors acceptable for bedrooms and bedrooms)	Provide 2' or 610mm clear wall space adjacent to door handles where door swings toward user (pocket doors acceptable for bedrooms and bedrooms)	Provide 2' or 610mm clear wall space adjacent to door handles where door swings toward user (pocket doors acceptable for bedrooms and bedrooms)
DOORS	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening ¹	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening ¹	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening ¹
PATIOS & BALCONES	Minimum one patio or balcony door with maximum 3/8" or 10mm threshold ²	Minimum one patio or balcony door with maximum 3/8" or 10mm threshold ²	Minimum one patio or balcony door with maximum 3/8" or 10mm threshold ²
PATIOS & BALCONES	Minimum 5' or 1500mm turning radius on patio / balcony	Minimum 5' or 1500mm turning radius on patio / balcony	Minimum 5' or 1500mm turning radius on patio / balcony
WINDOWS	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS	Provide minimum 6'-0" or 1800mm horizontal window in living room, dining room and minimum one bedroom where sill are not more than 2'-6" or 762mm above the floor	Provide minimum 6'-0" or 1800mm horizontal window in living room, dining room and minimum one bedroom where sill are not more than 2'-6" or 762mm above the floor	Provide minimum 6'-0" or 1800mm horizontal window in living room, dining room and minimum one bedroom where sill are not more than 2'-6" or 762mm above the floor
KITCHEN	Continuous counter between sink and stove ³	Continuous counter between sink and stove ³	Continuous counter between sink and stove ³
KITCHEN	Provide sufficient space for future installation of cooling and wall oven	Provide sufficient space for future installation of cooling and wall oven	Provide sufficient space for future installation of cooling and wall oven
KITCHEN	Provide for potential 28" or 810mm wide undercounter appliance	Provide for potential 28" or 810mm wide undercounter appliance	Provide for potential 28" or 810mm wide undercounter appliance
KITCHEN	Lower edge of upper cupboards 4" or 100mm above floor	Lower edge of upper cupboards 4" or 100mm above floor	Lower edge of upper cupboards 4" or 100mm above floor

3 of 1

COMMON AREAS	LEVEL ONE	LEVEL TWO	LEVEL THREE
KITCHEN	Minimum 4' or 1200mm floor space between lower cabinets / walls (possible with removal of sink cabinet) ⁴	Minimum 4' or 1200mm floor space between lower cabinets / walls (possible with removal of sink cabinet) ⁴	Minimum 4' or 1200mm floor space between lower cabinets / walls (possible with removal of sink cabinet) ⁴
MIN. ONE BATHROOM	Toilet located adjacent to wall (min 3' or 915mm length) ⁵	Toilet located adjacent to wall (min 4' or 1370mm length) ⁵	Toilet located adjacent to wall (min 4' or 1370mm length) ⁵
MIN. ONE BATHROOM	Provide turning radius within bathroom (may result from removal of vanity cabinet)	Provide turning radius within bathroom (may result from removal of vanity cabinet)	Provide turning radius within bathroom (may result from removal of vanity cabinet)
MIN. ONE BATHROOM	2' or 610mm clearance along full length of tub	2' or 610mm clearance along full length of tub	2' or 610mm clearance along full length of tub
MIN. ONE BATHROOM	Provide pocket door or door swing out ⁶	Provide pocket door or door swing out ⁶	Provide pocket door or door swing out ⁶
MIN. ONE BATHROOM	Provide 3' or 915mm access to window opening ⁷	Provide 3' or 915mm access to window opening ⁷	Provide 3' or 915mm access to window opening ⁷
MIN. ONE BATHROOM	Provide front loading side-by-side washer / dryer in suite or in common area	Provide front loading side-by-side washer / dryer in suite or in common area	Provide front loading side-by-side washer / dryer in suite or in common area
LAUNDRY FACILITIES	4' or 1200mm maneuvering space in front of washer / dryer	4' or 1200mm maneuvering space in front of washer / dryer	4' or 1200mm maneuvering space in front of washer / dryer

⁴ Illustrations available - Options considered
⁵ Illustrations available - Options considered
⁶ Illustrations available - Options considered
⁷ Illustrations available - Options considered

4 of 1

10-08-18

BE A PART OF THE NEXT GENERATION OF HOUSING!



- If a building has washing machines and dryers, public toilets, bathing facilities, and lockers, one of each must be accessible.

3. Usable Doors

Accessibility requirements apply to all doors—doors into the building, doors connecting corridors, and doors into and throughout the apartment. Doors must provide at least 32 inches of clearance. Many localities increased the clearance to 36 inches for building entrance doors. Door hardware must also be usable. For example, for someone with arthritis in the hands, doorknobs are not usable. Lever handles and push plates are examples of usable door hardware.

4. Accessible Route Into and Through the Dwelling Unit

The accessible route must pass through the main entry door and continue through all the rooms in the unit. The accessible route must go to the required floor spaces, lead to all kitchen appliances and to all bathroom fixtures making these spaces and fixtures accessible. The route must also connect with all secondary exterior doors. The accessible route must be sufficiently wide without any abrupt changes in level so residents with disabilities, and their guests with disabilities, can safely use all rooms and spaces. These spaces include the storage areas and, under most circumstances, exterior balconies and patios that may be part of the dwelling unit.

5. Accessible Locations for Environmental Controls

Environmental controls include light switches, electrical outlets, and thermostats. These controls must be from 15-48 inches above the floor.

6. Reinforced Bathroom Walls to Attach Grab Bars

The builder is not required to install grab bars, but the builder must reinforce the bathroom walls so that the resident can mount grab bars safely to walls around the toilet, bathtub, and shower.

7. Usable Kitchens and Bathrooms

Usable kitchens and bathrooms are not necessarily required to provide wheelchair-turning space, but must provide sufficient maneuvering space for wheelchair users to approach, operate most appliances and fixtures, and exit.

Fully Accessible Units ("504 Units")

In all residential buildings that receive Federal funding for construction, rehabilitation, rental subsidies, or other purposes, at least 5 percent of the dwelling units must be fully accessible for residents with mobility disabilities. In addition, at least 2 percent must include sensory aides for residents with visual or hearing disabilities. Fully accessible units are sometimes called "504 units" because Section 504 of the Rehabilitation Act regulations applies the accessibility requirements to housing created or maintained using Federal funds.

Federally assisted housing includes—but is not limited to—Supportive Housing Programs (SHP), Housing Opportunities for Persons with AIDS (HOPWA), and Shelter Plus Care (S+C).

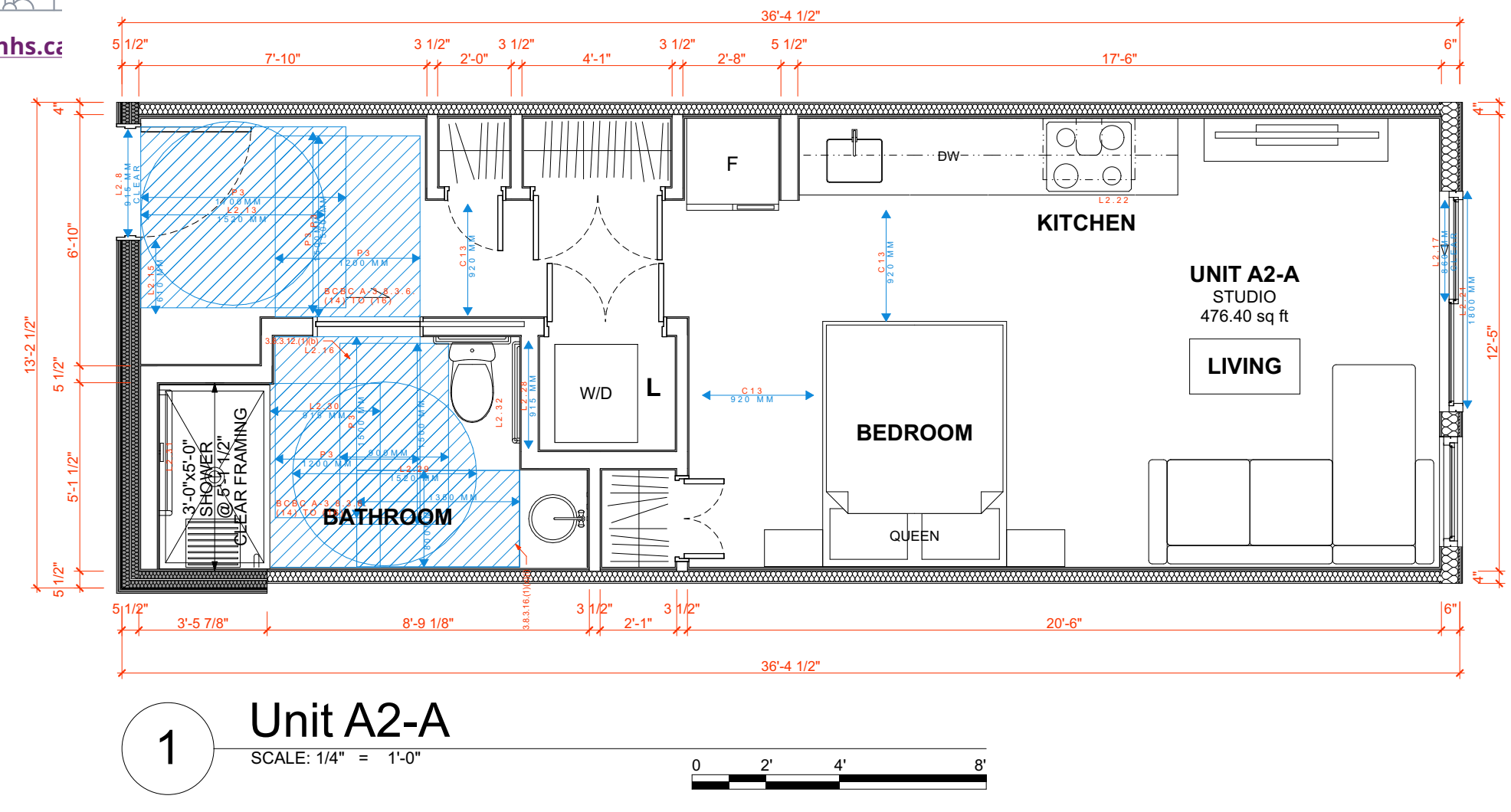


Housing Series:
 Universal Design and Accessible Housing
 Bonnie Milstein

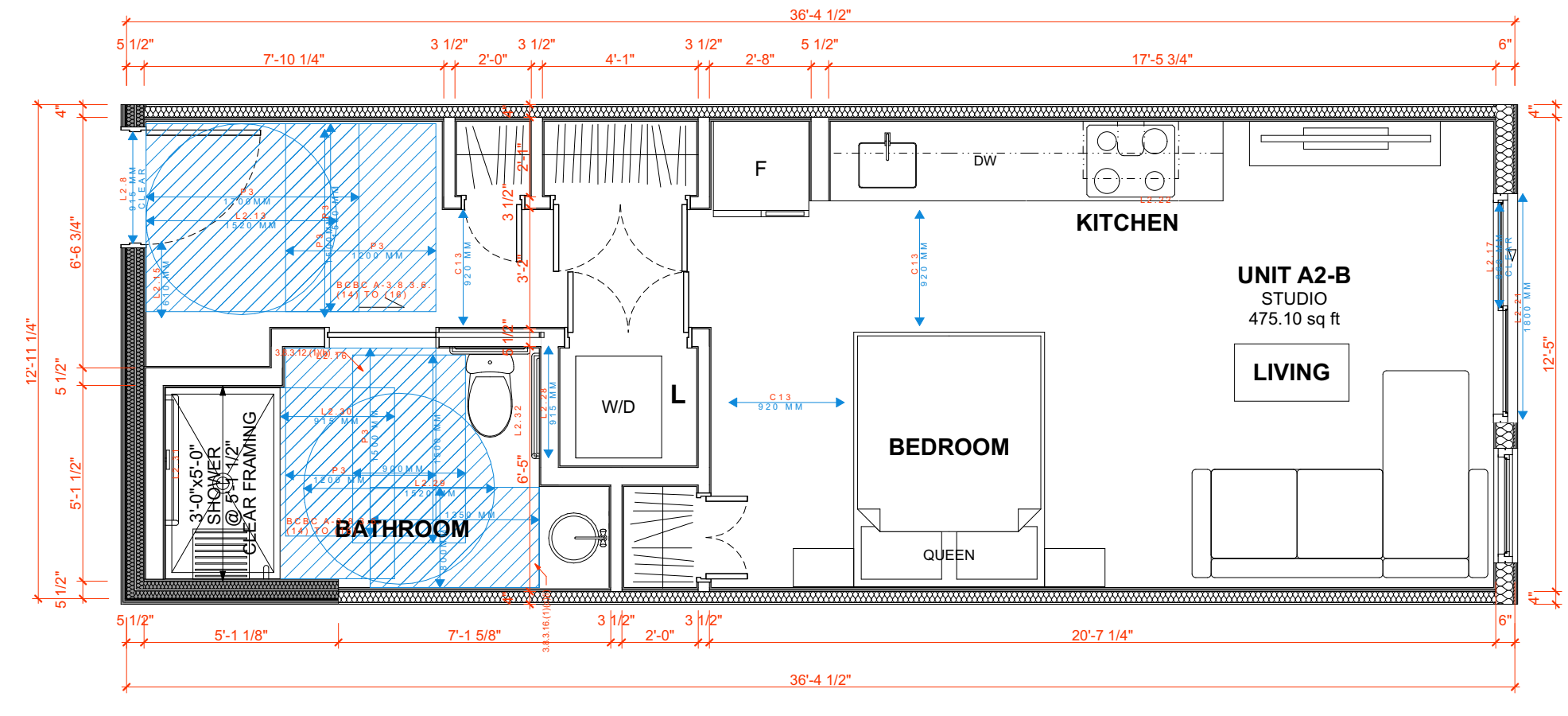
Universal design is a framework for the design of places, objects, information, communication, and policy to be usable by the widest range of people in the widest range of situations without special or separate design. Most simply, universal design is the human-centered design of everything with everyone in mind. The [Federal Fair Housing Act](#) requires seven universal design features in residential buildings built after 1991 that have four or more units. In buildings with elevators, 100 percent of the dwelling units must include these seven features, while in non-elevator buildings all ground floor units must include them.

The Seven Features of Universal Design

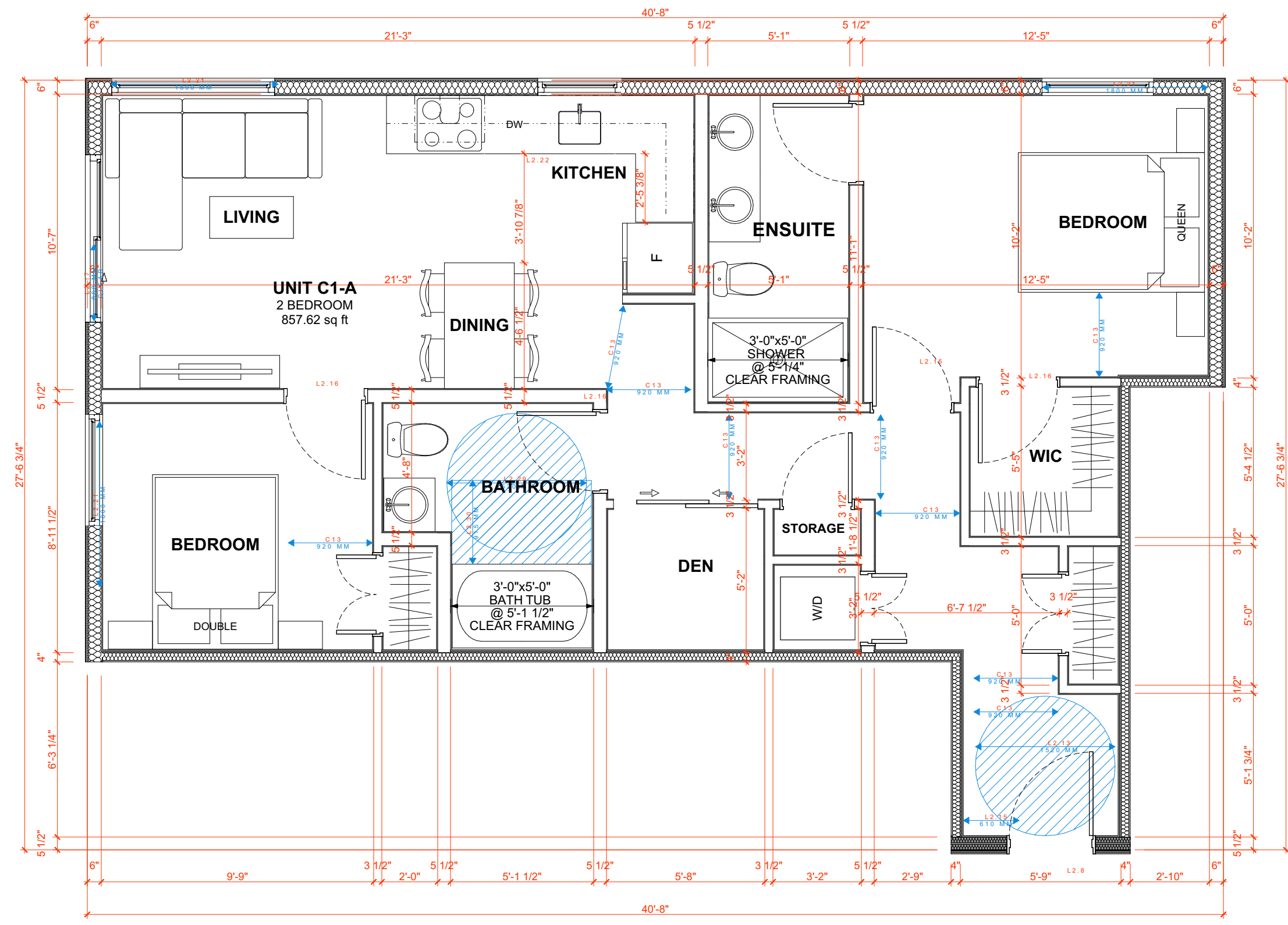
- 1. Accessible Building Entrance on an Accessible Route**
 Each residential building must have at least one accessible entrance. An "accessible route" is a continuous, unobstructed path through sites and buildings. The route must connect the accessible entrance with public transportation stops, accessible parking spaces, accessible passenger loading zones, and public streets and sidewalks.
- 2. Accessible and Usable Public and Common Use Areas**
 Examples of public and common use areas include mailboxes, laundry rooms, community rooms, on-site walkways, parking, lobbies, corridors, drinking fountains, playgrounds, and rental offices. "Accessible and Usable" mean that:
 - Public and common use areas must be located on the ground floor if the building has no elevator.
 - Corridors must remain free of both temporary and permanent obstructions.
 - Accessible parking is located on the shortest possible accessible circulation route to an accessible building entrance.



1 Unit A2-A
 SCALE: 1/4" = 1'-0"



2 Unit A2-B
 SCALE: 1/4" = 1'-0"



3 Unit C1-A
 SCALE: 1/4" = 1'-0"



Unit Plans
 Project Number: 040
 April 28, 2026
 Issue 09 - DP Resubmission
 154 17th East, North Vancouver, BC

A-3.101

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 APRIL 28 2026



MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
 Note: Contractor to provide submittals and samples if a product change is proposed.

Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A	Dark Grey	HARDIEPLANK® LAP SIDING CEDARMILL all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.1-A Colour	Iron Grey JamesHardie
1.2 PANEL SIDING			
1.2-C	Medium Grey	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.2-C Colour	Grey Slate JamesHardie
1.2-E	Black	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10 JamesHardie
1.2-F	Brown/Orange	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-F Colour all flashings above/within - Match 1.2-F Colour	Painted - RAL 8004 JamesHardie
2.0 SOFFIT			
2.1	Cedar	JamesHardie™ + Woodstone RusticSeries™ 12" Exposure	Mountain Cedar JamesHardie
3.0 ROOFS			
3.1	Black	2-Layer SBS membrane	Standard Colour - Black
4.0 DOORS			
4.1	Black	Entry Doors	Standard Colour - Black with Glazing where applicable
4.2	Black	Metal Door	Standard Colour - Black
4.3	Black	Garage Overhead Gate	Standard Colour - Black
5.0 WINDOWS			
5.1	Black	Vinyl Windows	
6.0 TRIMS / FASCIAS			
6.1	Dark Grey	HardieTrim® Boards 5/4 Rustic	Iron Gray JamesHardie
7.0 RAILINGS			
7.1	Black	Aluminum Guard Railing	Black Frames with Glazing
7.2	Orange	Vertical Metal Slats Privacy Screen	Black Frames
8.0 ACCESSORIES			
8.1	Mixed	Flashings	See Cladding notes in 1.0
8.2	Aluminum	Solar Sunshades - optional - depending on energy model	
9.0 STRUCTURE			
9.1	Wood	Glulam Engineered Timber	Exposed Engineered Wood

"Average Grade" means the average of:
 (1) The highest finished ground level on the Lot within 3.048 metres (10 feet) of the Structure; and
 (2) The lowest finished ground level at the perimeter outside wall of the Structure (excluding sunken patios to a combined maximum 9.29 square metres (100 square feet) and window wells). (Bylaw 7135, July 23, 2012)



1 South Elevation
 SCALE: 1/8" = 1'-0"



MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
 Note: Contractor to provide submittals and samples if a product change is proposed.

Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A	Dark Grey	HARDIEPLANK® LAP SIDING CEDARMILL all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.1-A Colour	Iron Grey JamesHardie
1.2 PANEL SIDING			
1.2-C	Medium Grey	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.2-C Colour	Grey Slate JamesHardie
1.2-E	Black	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10 JamesHardie
1.2-F	Brown/Orange	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-F Colour all flashings above/within - Match 1.2-F Colour	Painted - RAL 8004 JamesHardie
2.0 SOFFIT			
2.1	Cedar	JamesHardie™ + Woodstone RusticSeries™ 12" Exposure	Mountain Cedar JamesHardie
3.0 ROOFS			
3.1	Black	2-Layer SBS membrane	Standard Colour - Black
4.0 DOORS			
4.1	Black	Entry Doors	Standard Colour - Black with Glazing where applicable
4.2	Black	Metal Door	Standard Colour - Black
4.3	Black	Garage Overhead Gate	Standard Colour - Black
5.0 WINDOWS			
5.1	Black	Vinyl Windows	
6.0 TRIMS / FASCIA S			
6.1	Dark Grey	HardieTrim® Boards 5/4 Rustic	Iron Gray JamesHardie
7.0 RAILINGS			
7.1	Black	Aluminum Guard Railing	Black Frames with Glazing
7.2	Orange	Vertical Metal Slats Privacy Screen	Black Frames
8.0 ACCESSORIES			
8.1	Mixed	Flashings	See Cladding notes in 1.0
8.2	Aluminum	Solar Sunshades - optional - depending on energy model	
9.0 STRUCTURE			
9.1	Wood	Glulam Engineered Timber	Exposed Engineered Wood

"Average Grade" means the average of:

- (1) The highest finished ground level on the Lot within 3.048 metres (10 feet) of the Structure; and
- (2) The lowest finished ground level at the perimeter outside wall of the Structure (excluding sunken patios to a combined maximum 9.29 square metres (100 square feet) and window wells), (Bylaw 7135, July 23, 2012)



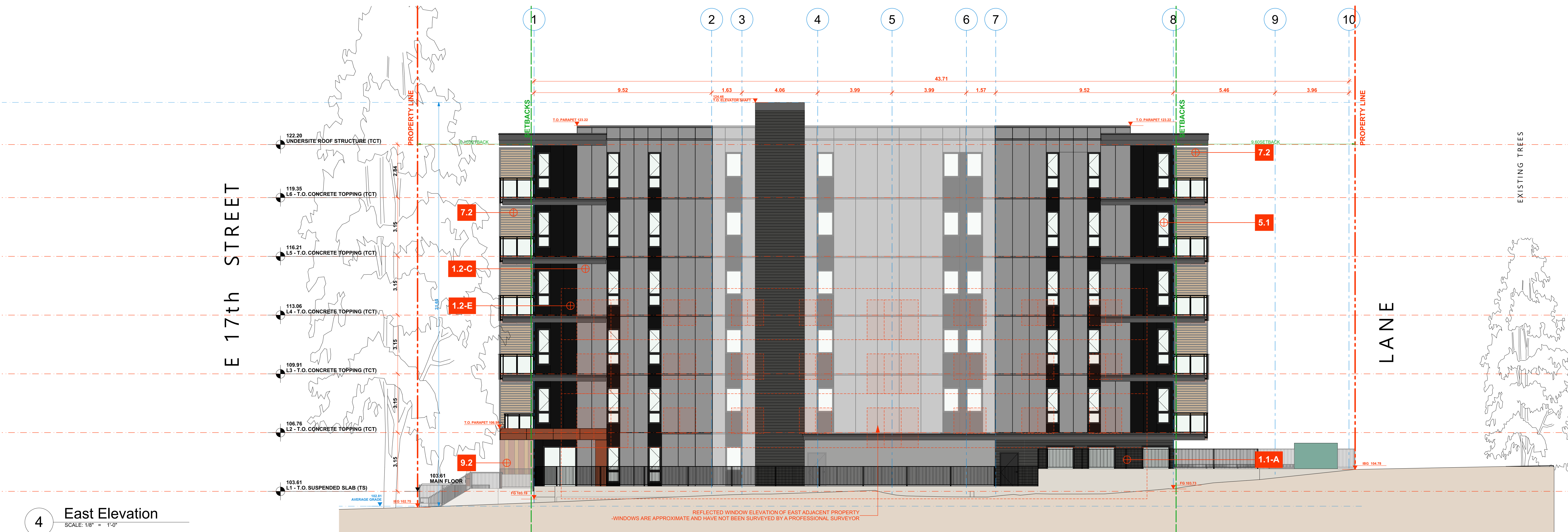
MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
 Note: Contractor to provide substitutes and samples if a product change is proposed.

Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A	DARK GREY HARDIEPLANK® LAP SIDING CEDARMILL all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.1-A Colour	Iron Grey	JamesHardie
1.2 PANEL SIDING			
1.2-C	MEDIUM GREY 48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.2-C Colour	Grey Slate	JamesHardie
1.2-E	BLACK 48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10	JamesHardie
1.2-F	BROWN/ORANGE 48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-F Colour all flashings above/within - Match 1.2-F Colour	Painted - RAL 8004	JamesHardie
2.0 SOFFIT			
2.1	CEDAR JamesHardie™ + Woodstone RusticSeries™ 12" Exposure	Mountain Cedar	JamesHardie
3.0 ROOFS			
3.1	BLACK 2-Layer SBS membrane	Standard Colour - Black	
4.0 DOORS			
4.1	BLACK Entry Doors	Standard Colour - Black with Glazing where applicable	
4.2	BLACK Metal Door	Standard Colour - Black	
4.3	BLACK Garage Overhead Gate	Standard Colour - Black	
5.0 WINDOWS			
5.1	BLACK Vinyl Windows		
6.0 TRIMS FASCIA S			
6.1	DARK GREY HardieTrim® Boards 5/4 Rustic	Iron Gray	JamesHardie
7.0 RAILINGS			
7.1	BLACK Aluminum Guard Railing	Black Frames with Glazing	
7.2	ORANGE Vertical Metal Slats Privacy Screen	Black Frames	
8.0 ACCESSORIES			
8.1	MIXED Flashings	See Cladding notes in 1.0	
8.2	ALUMINUM Solar Sunshades - optional - depending on energy model		
9.0 STRUCTURE			
9.1	WOOD Glulam Engineered Timber	Exposed Engineered Wood	



"Average Grade" means the average of:
 (1) The highest finished ground level on the Lot within 3.048 metres (10 feet) of the Structure; and
 (2) The lowest finished ground level at the perimeter outside wall of the Structure (excluding sunken patios to a combined maximum 9.29 square metres (100 square feet) and window wells). (Bylaw 7135, July 23, 2012)



4 East Elevation
 SCALE: 1/8" = 1'-0"



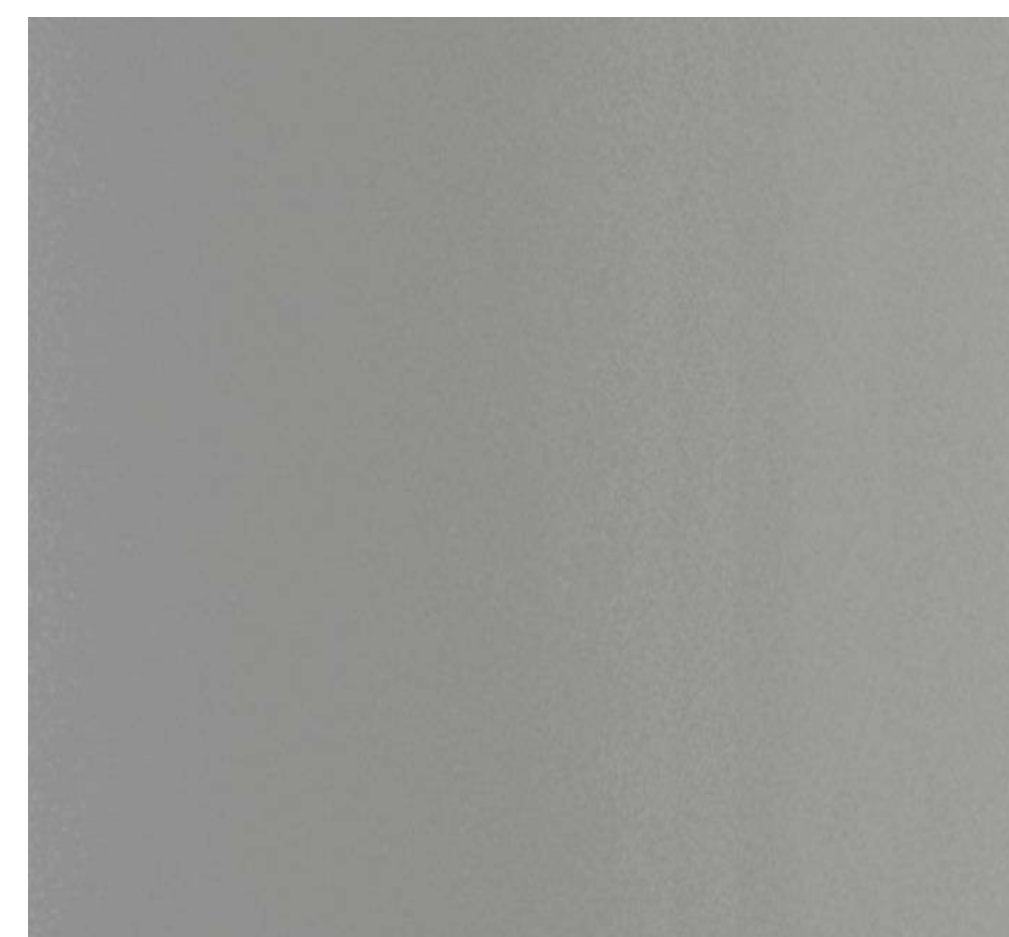
MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
 Note: Contractor to provide submittals and samples if a product change is proposed.

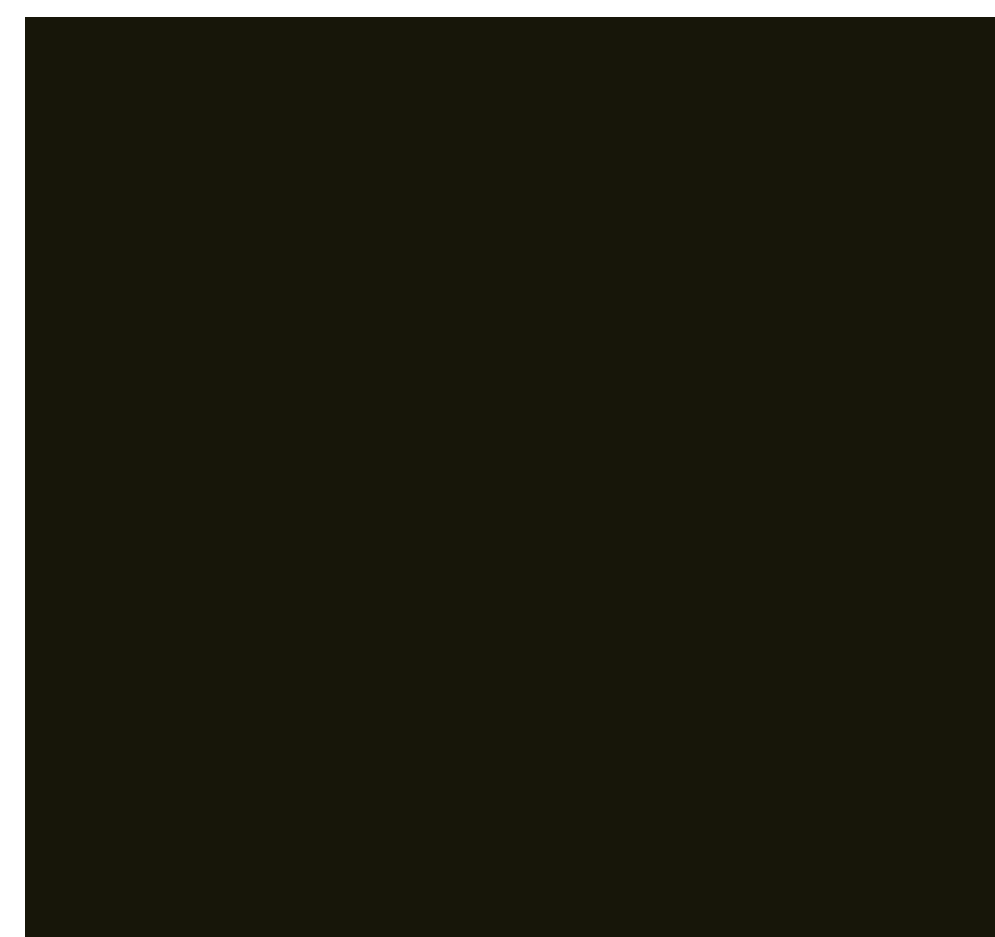
Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A Dark Grey	HARDIEPLANK® LAP SIDING CEDARMILL all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.1-A Colour	Iron Grey	JamesHardie
1.2 PANEL SIDING			
1.2-C Medium Grey	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-C Colour all flashings above/within - Match 1.2-C Colour	Grey Slate	JamesHardie
1.2-E Black	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10	JamesHardie
1.2-F Brown/Orange	48" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-F Colour all flashings above/within - Match 1.2-F Colour	Painted - RAL 8004	JamesHardie
2.0 SOFFIT			
2.1 Cedar	JamesHardie™ + Woodtone RusticSeries™ 12" Exposure	Mountain Cedar	JamesHardie
3.0 ROOFS			
3.1 Black	2-Layer SBS membrane	Standard Colour - Black	
4.0 DOORS			
4.1 Black	Entry Doors	Standard Colour - Black with Glazing where applicable	
4.2 Black	Metal Door	Standard Colour - Black	
4.3 Black	Garage Overhead Gate	Standard Colour - Black	
5.0 WINDOWS			
5.1 Black	Vinyl Windows		
6.0 TRIMS FASCIA S			
6.1 Dark Grey	HardieTrim® Boards 5/4 Rustic	Iron Gray	JamesHardie
7.0 RAILINGS			
7.1 Black	Aluminum Guard Railing	Black Frames with Glazing	
7.2 Orange	Vertical Metal Slats Privacy Screen	Black Frames	
8.0 ACCESSORIES			
8.1 Mixed	Flashings	See Cladding notes in 1.0	
8.2 Aluminum	Solar Sunshades - optional - depending on energy model		
9.0 STRUCTURE			
9.1 Wood	Glulam Engineered Timber	Exposed Engineered Wood	



1.1-A JamesHardie™
Hardie® Lap Siding Select Cedarmill®
Iron Gray



1.2-C JamesHardie™
HardiePanel® Vertical Siding
Grey Slate



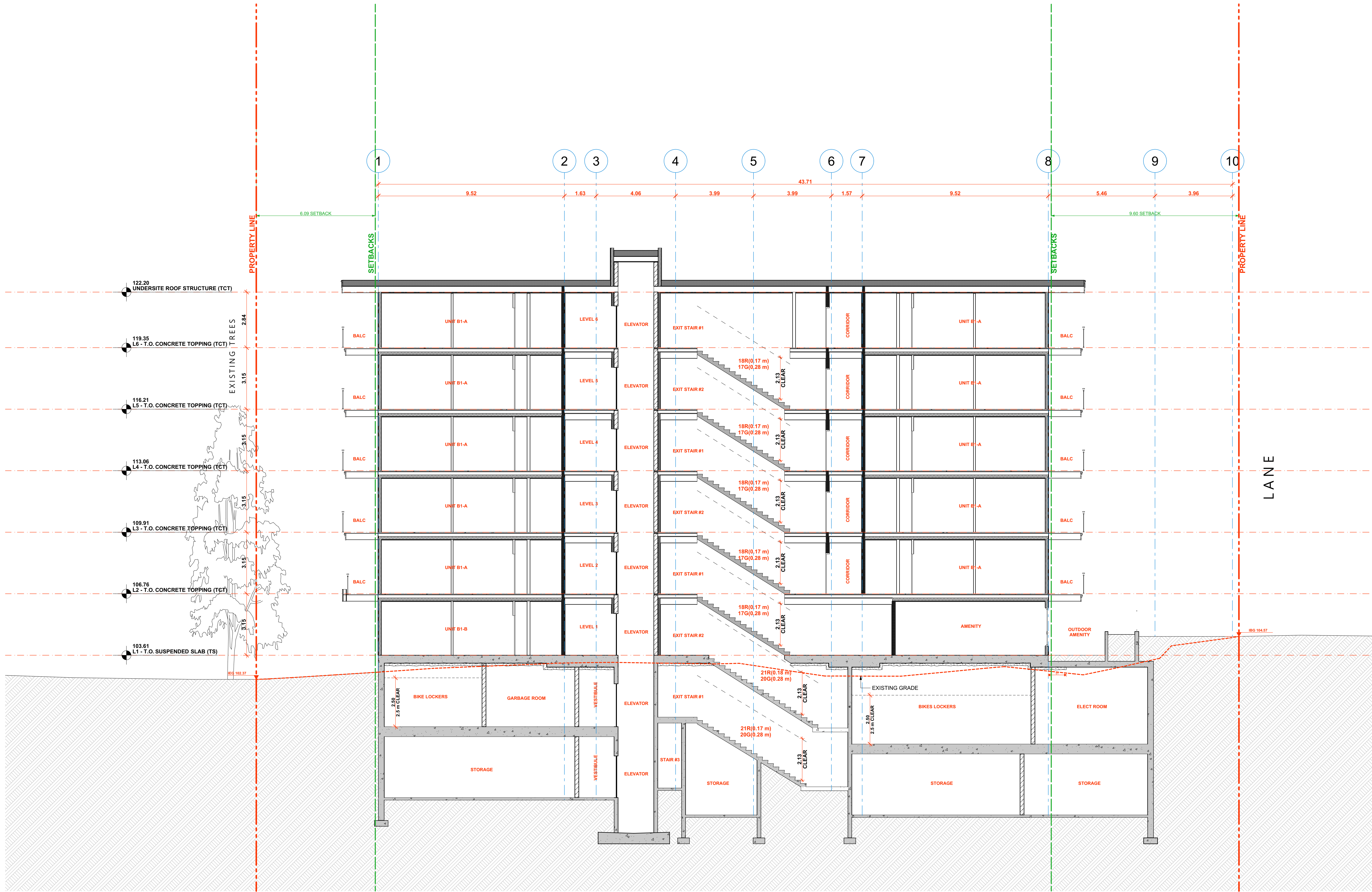
1.2-E JamesHardie™
Painted - Benjamin Moore
Twilight Zone 2127-10



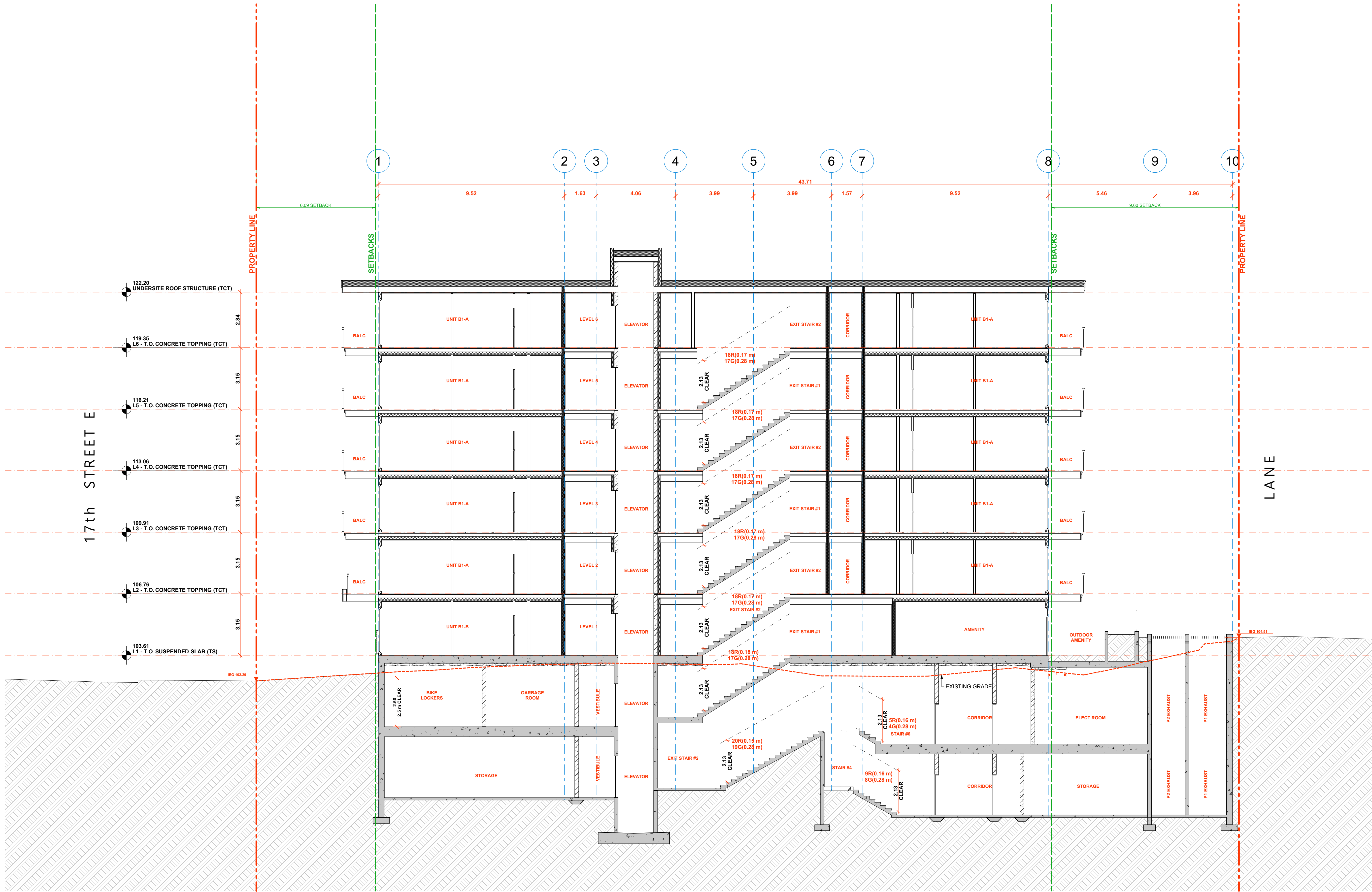
1.2-F JamesHardie™
Painted - TBC
RAL 8004



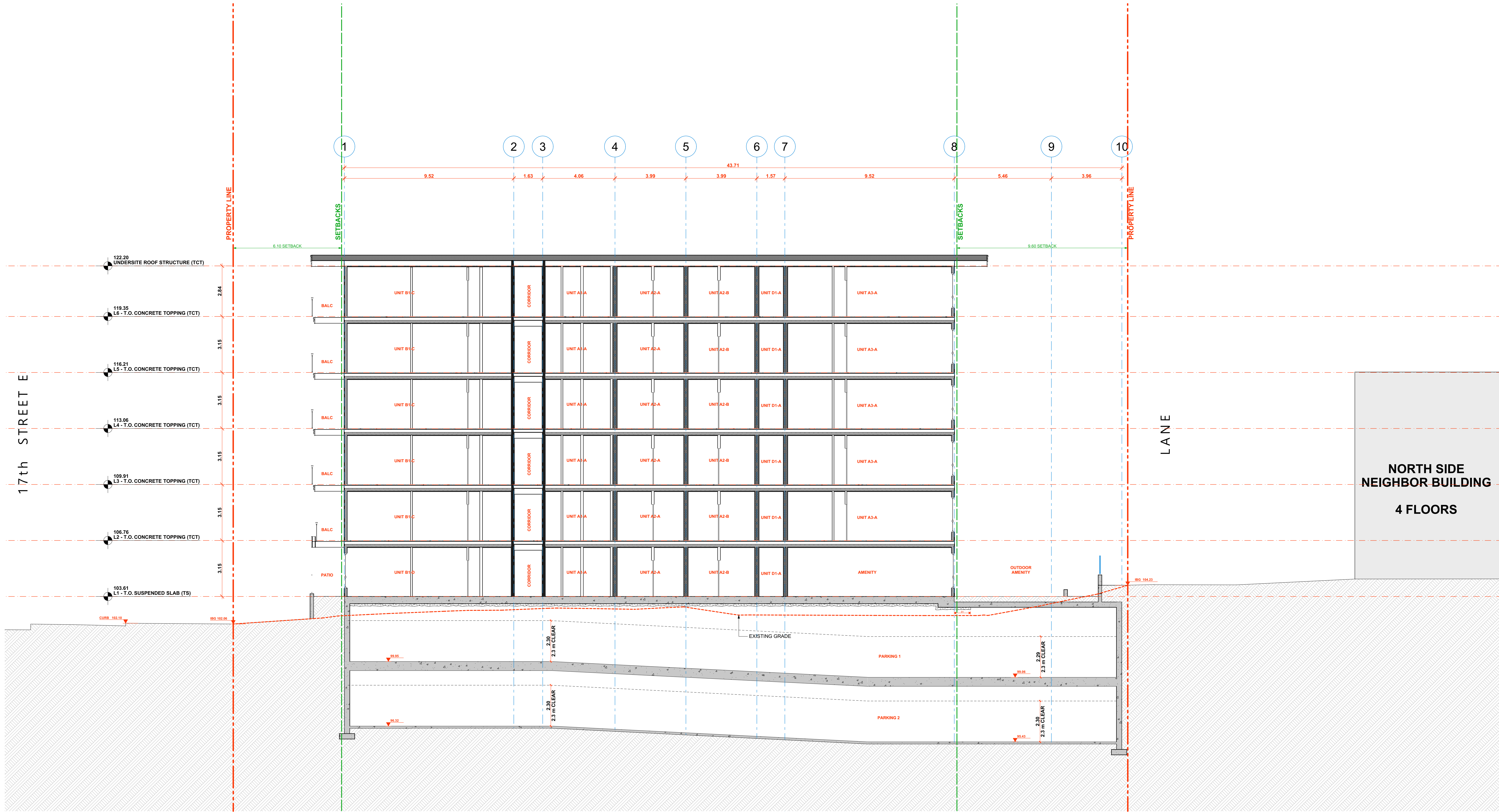
2.1 JamesHardie™
Woodtone Soffit
Mountain Cedar



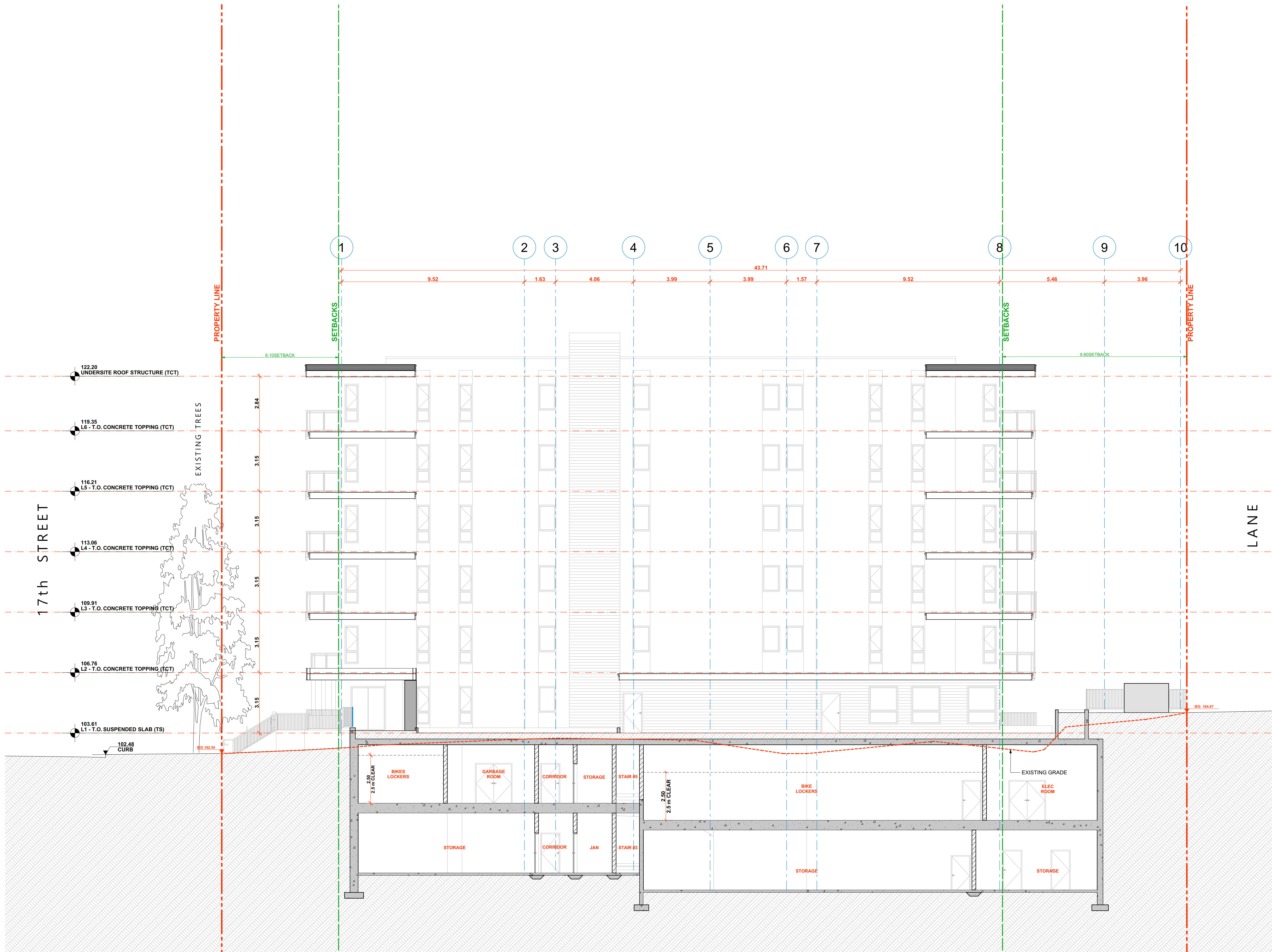
1 Building Section - North-South 01
 SCALE: 1/8" = 1'-0"



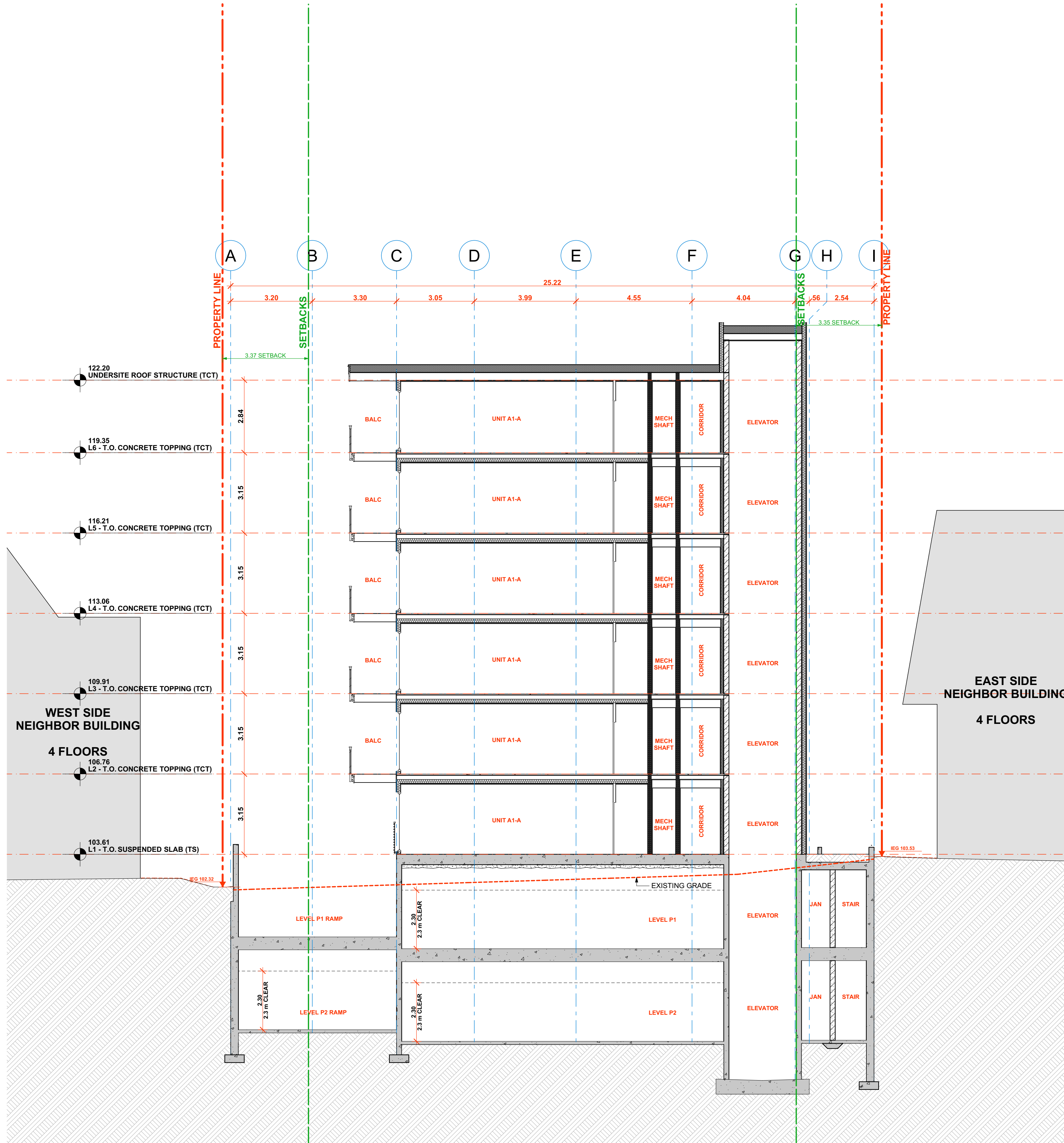
1 Building Section - North-South 02
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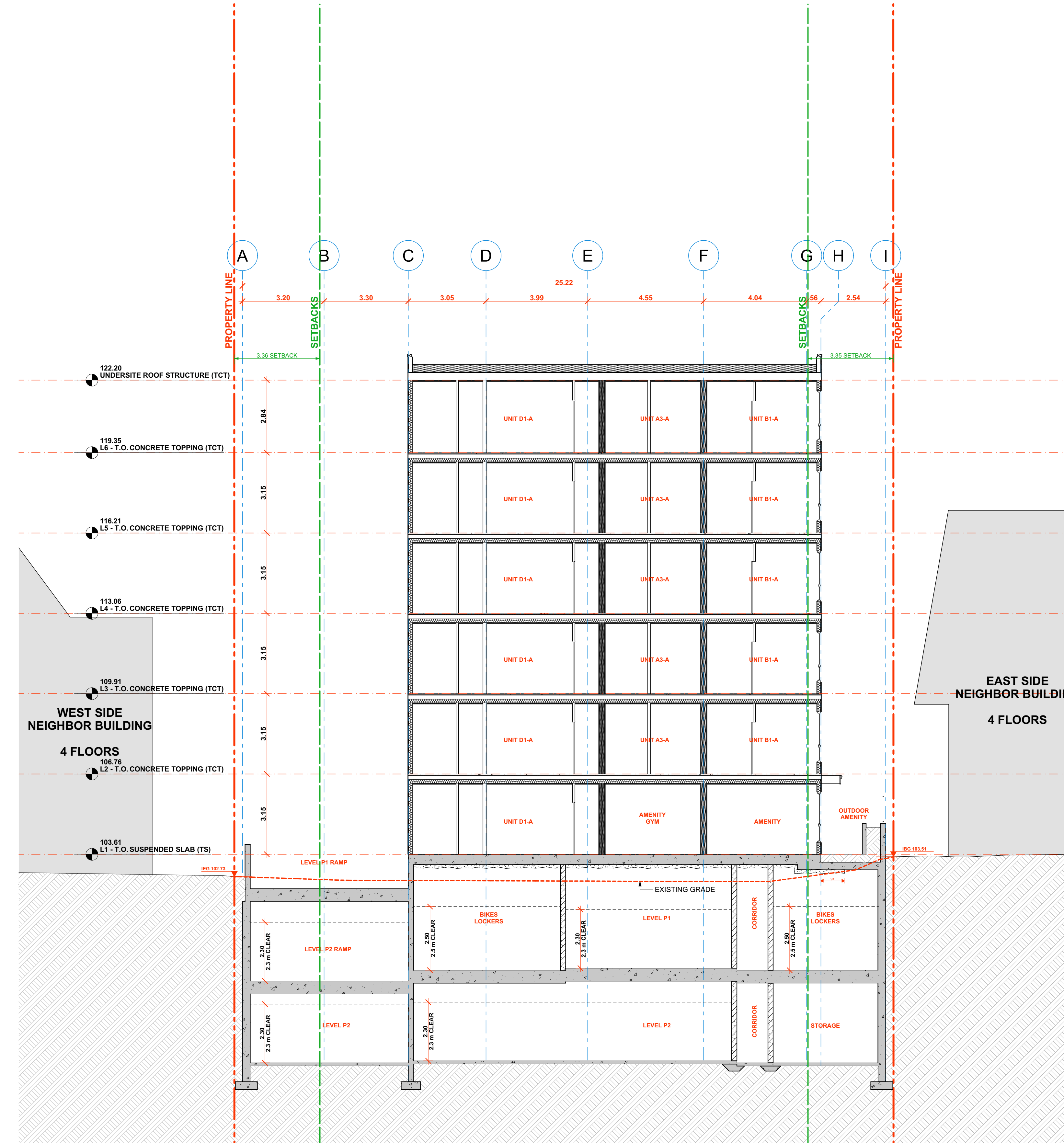
1 Building Section - North-South 03
SCALE: 1/8" = 1'-0"



1 Building Section - North-South 04
SCALE: 1/8" = 1'-0"



1 Building Section - East-West 01
SCALE: 1/8" = 1'-0"

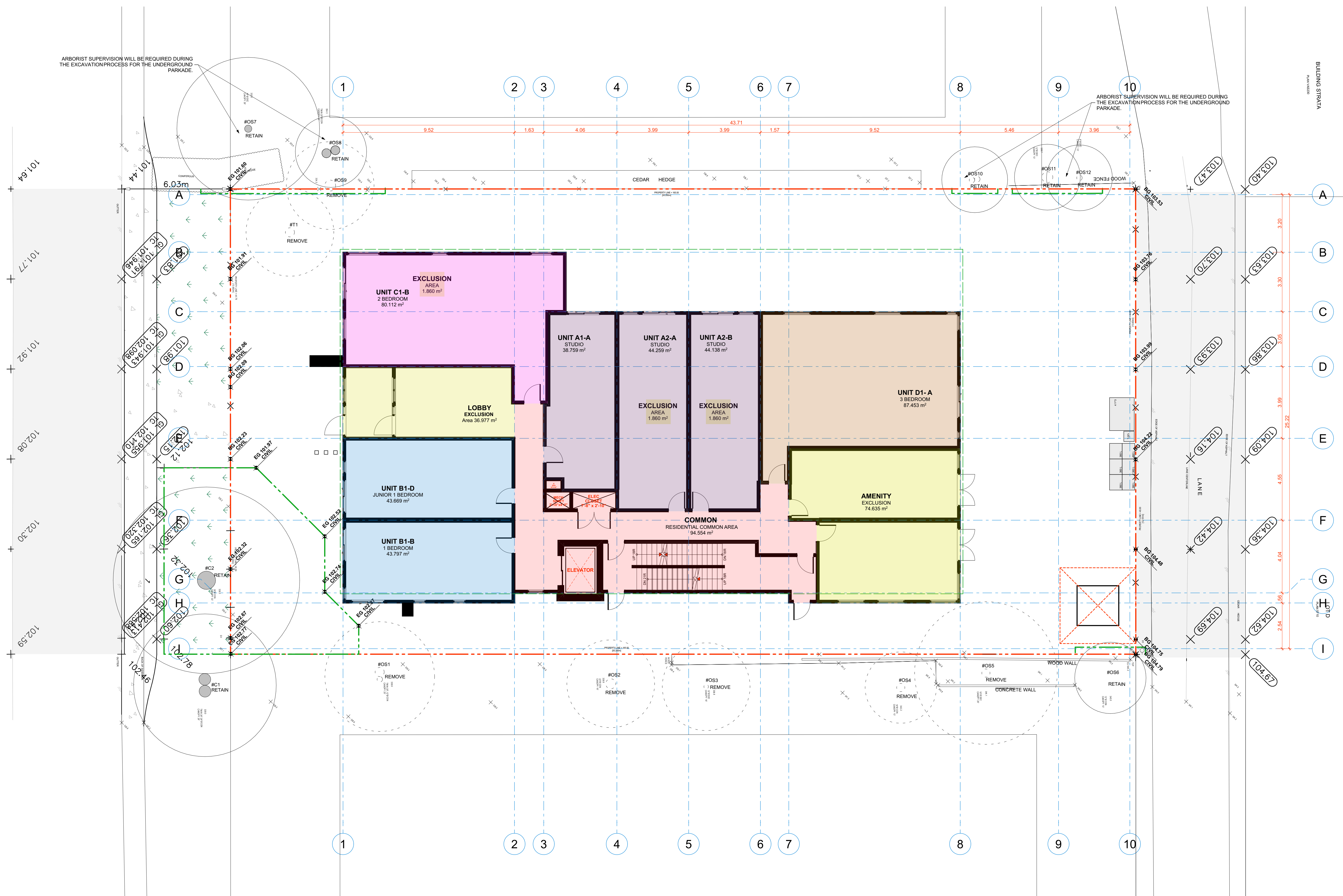


2 Building Section - East-West 02
SCALE: 1/8" = 1'-0"

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



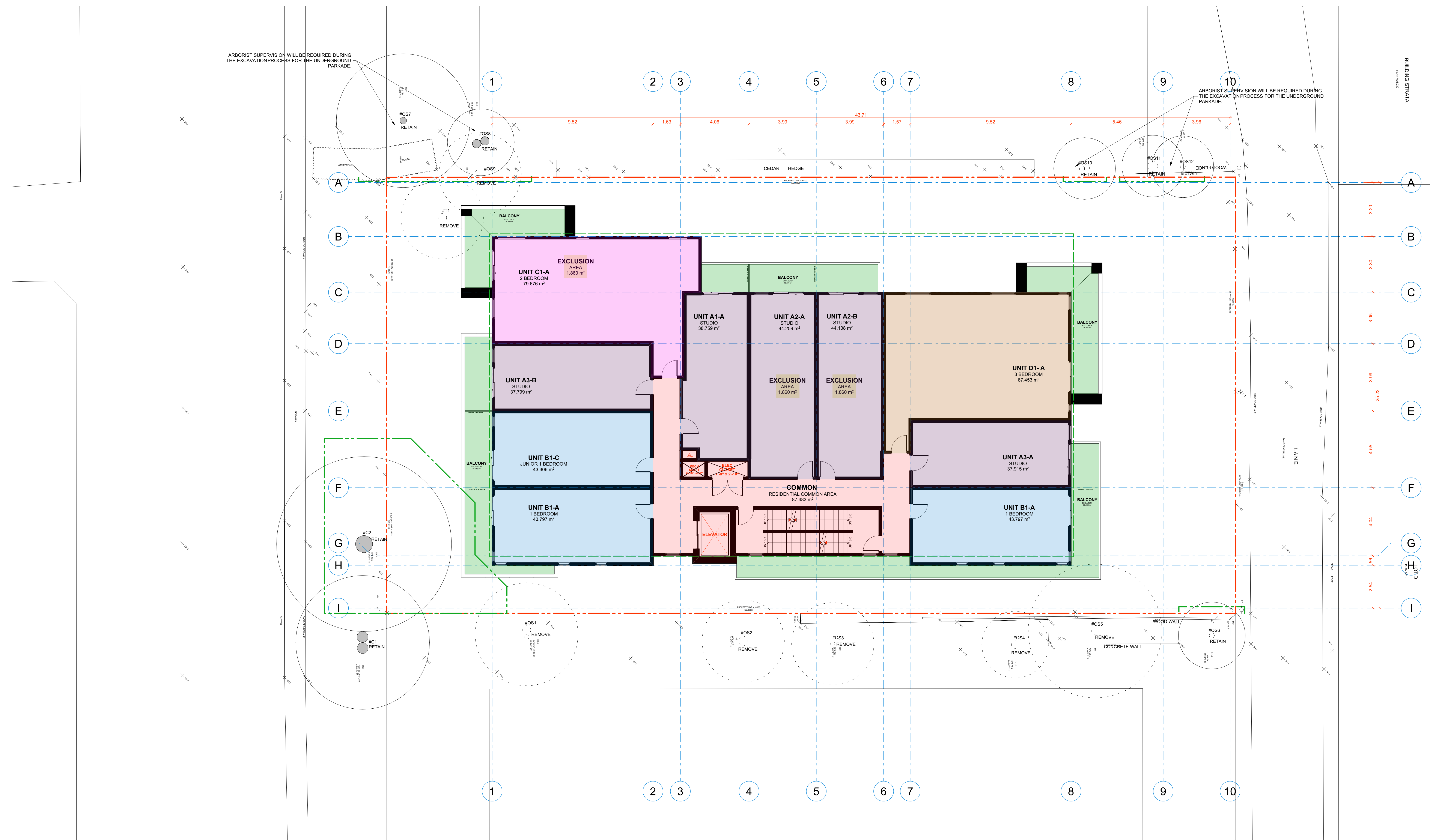
1 Level 1 - FSR Overlay
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



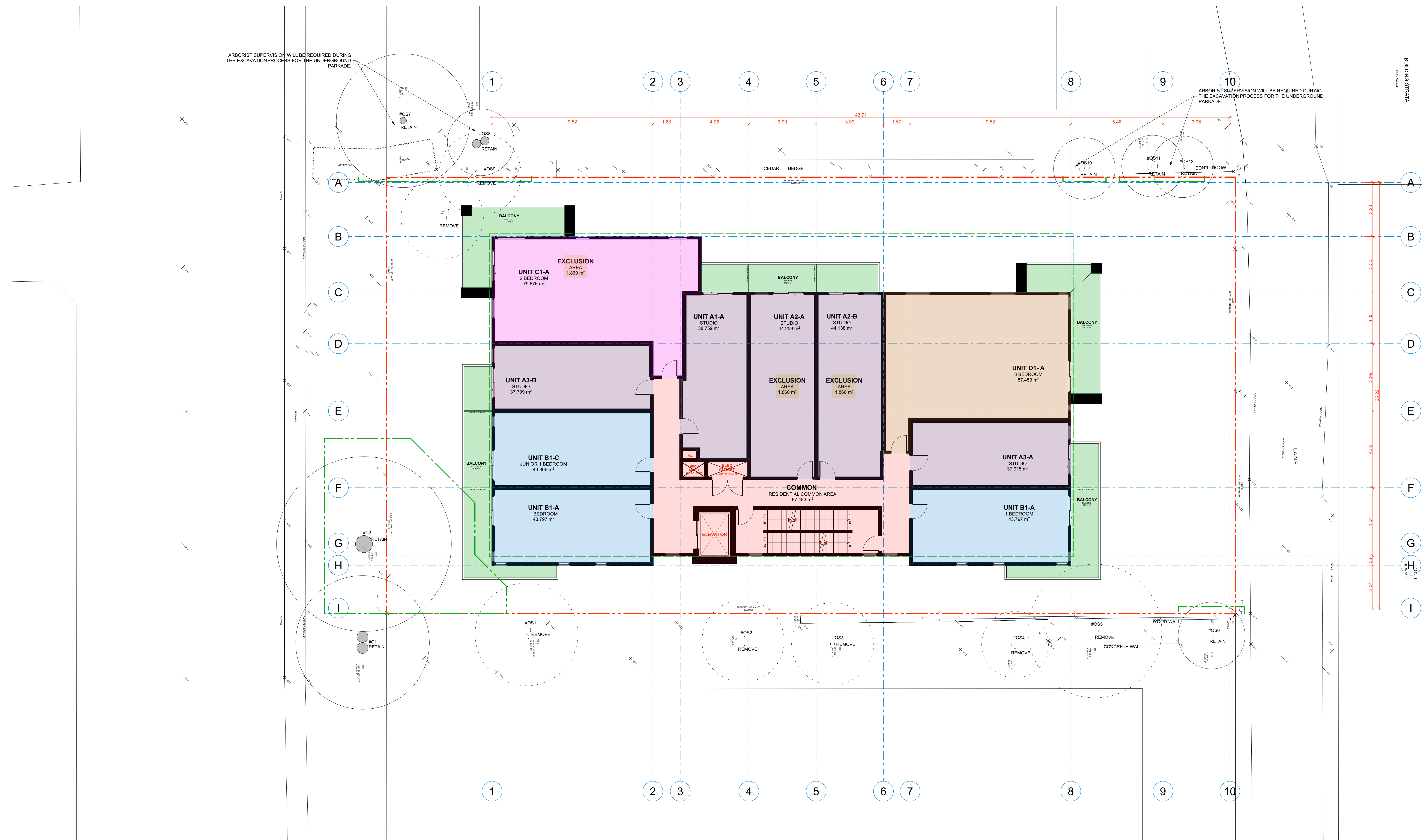
1 Level 2 - FSR Overlay
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT



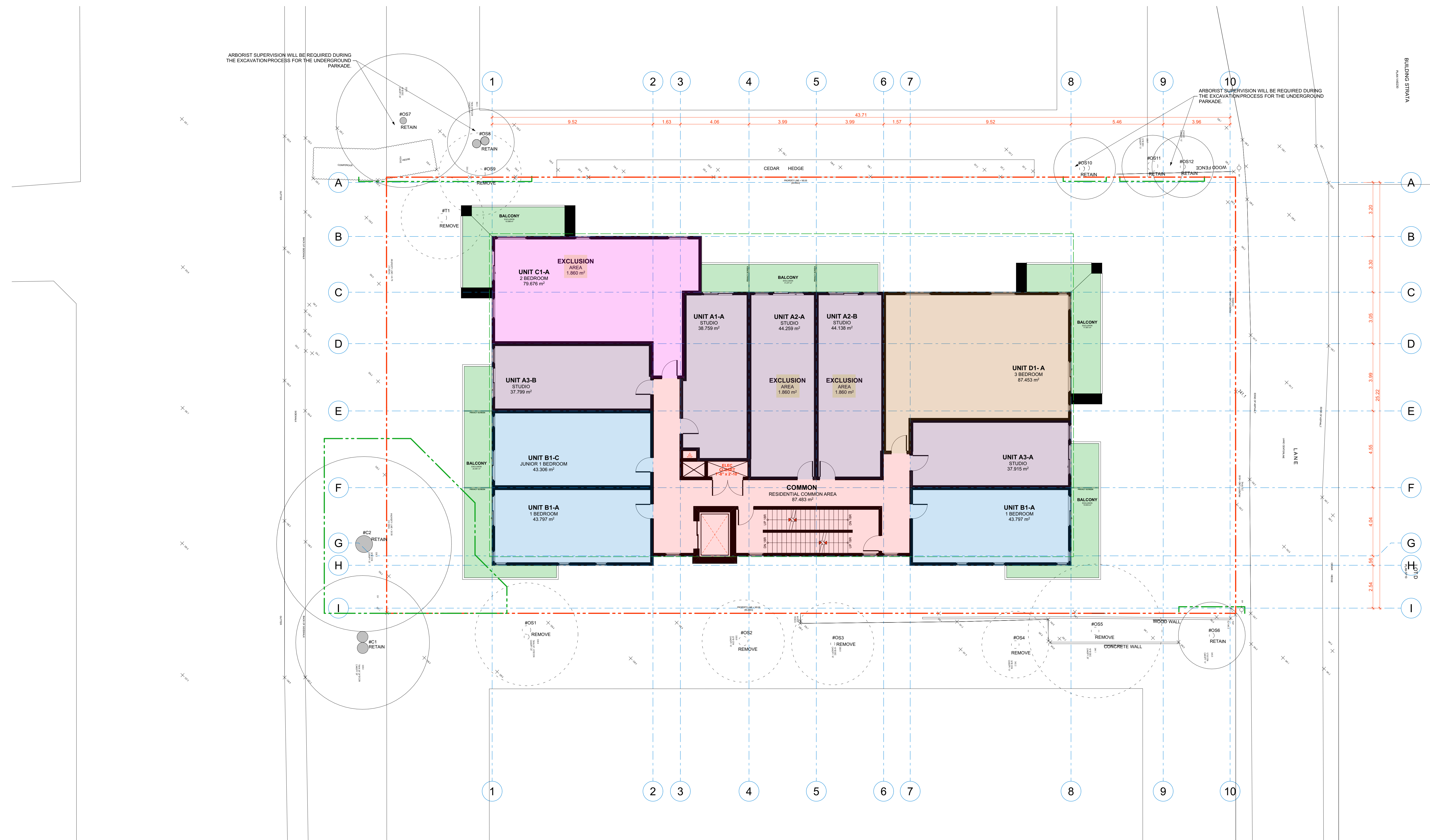
1 Level 3 - FSR Overlay
SCALE: 1/8" = 1'-0"



ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT

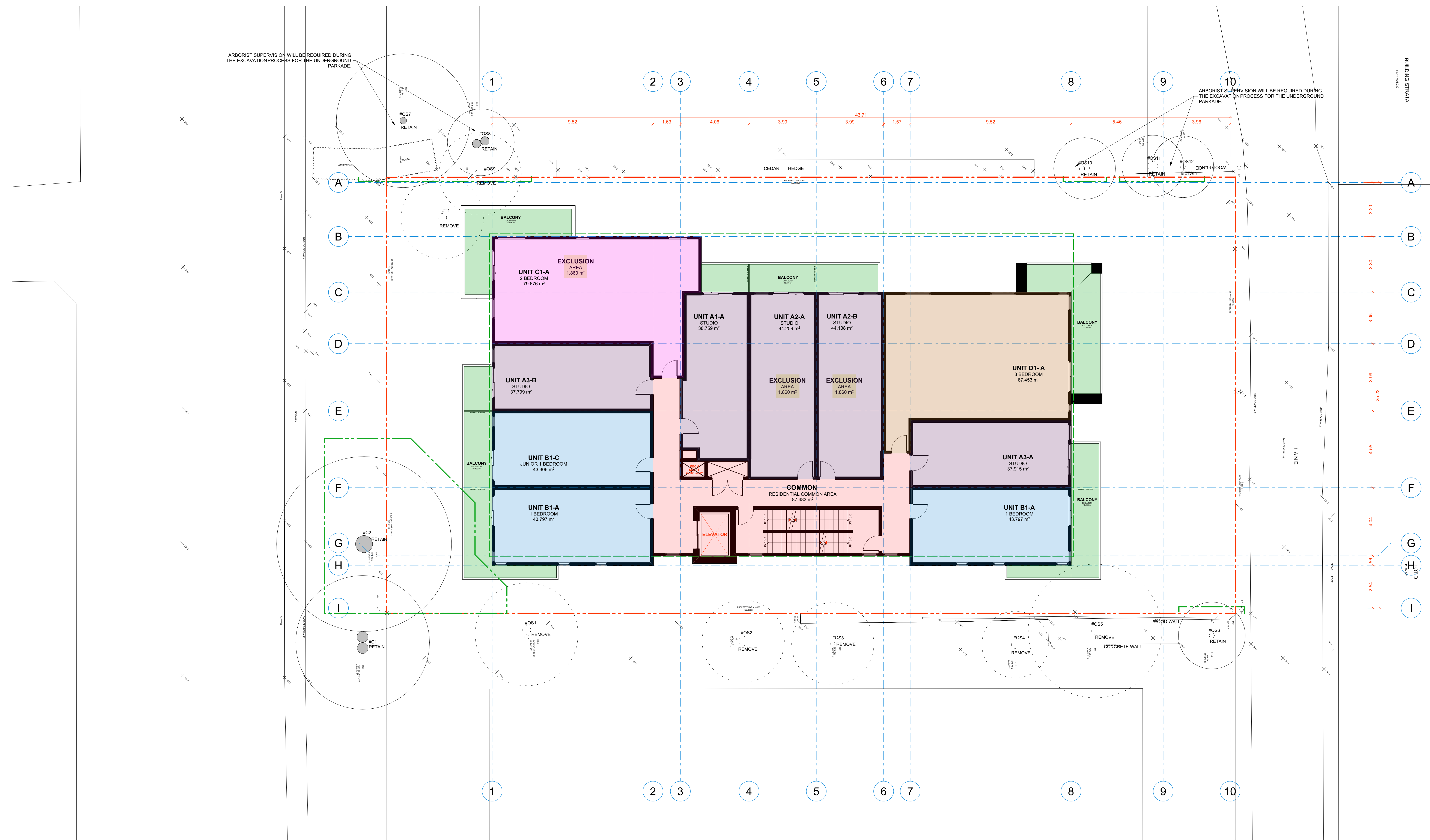


1 Level 4 - FSR Overlay
SCALE: 1/8" = 1'-0"

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT

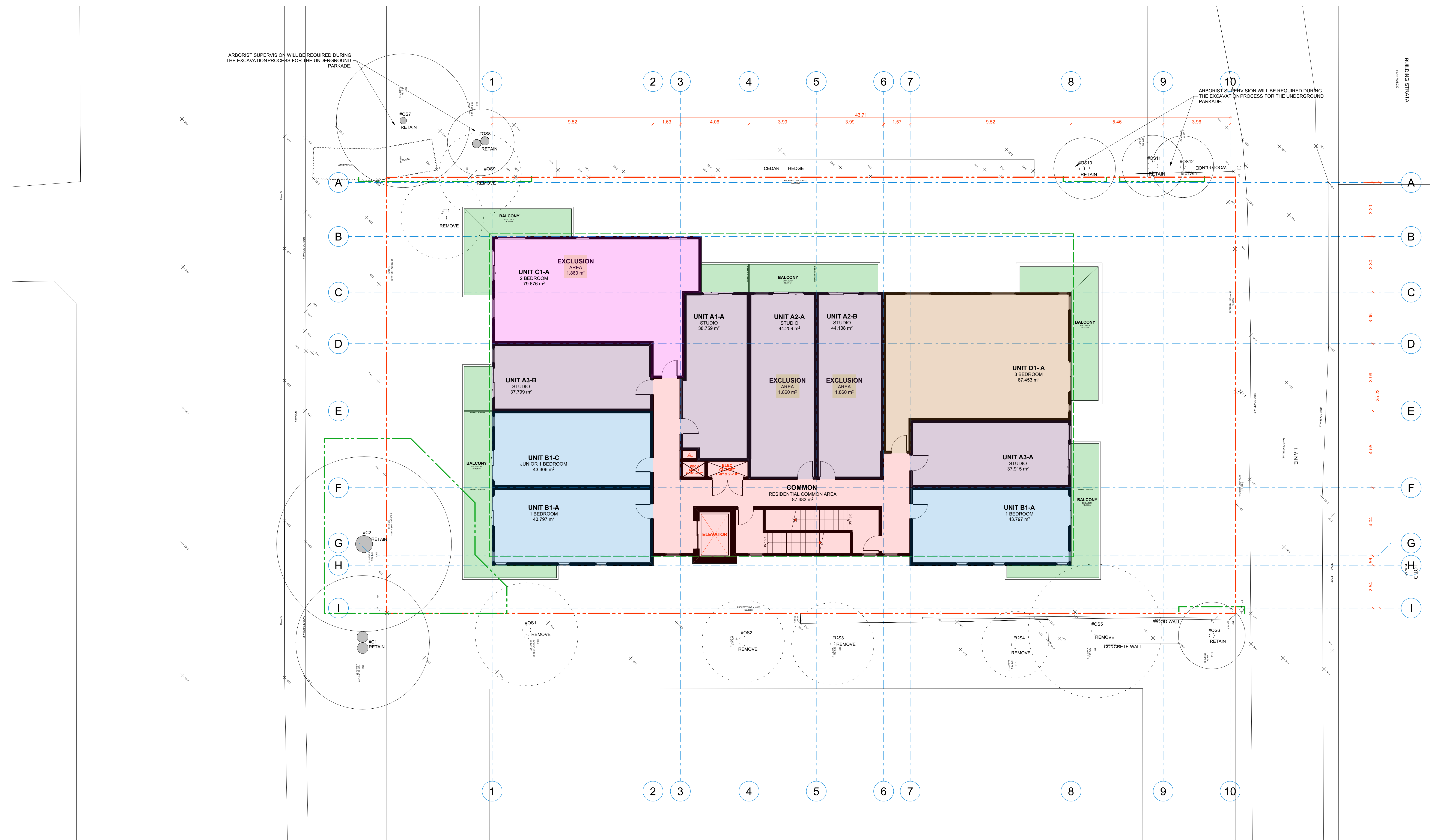


1 Level 5 - FSR Overlay
SCALE: 1/8" = 1'-0"

ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

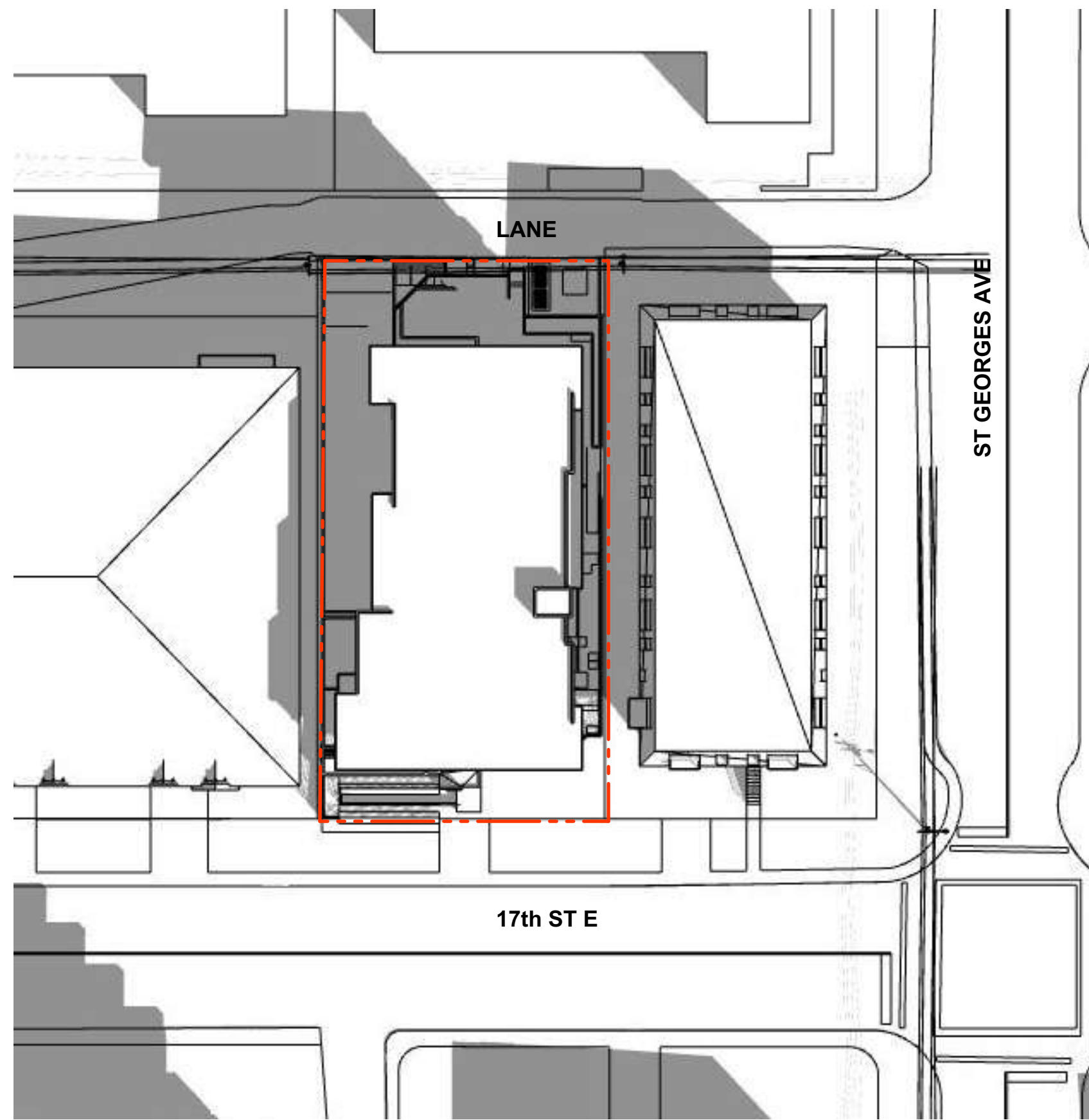
ARBORIST SUPERVISION WILL BE REQUIRED DURING THE EXCAVATION PROCESS FOR THE UNDERGROUND PARKADE.

BUILDING STRATA
MANAGEMENT

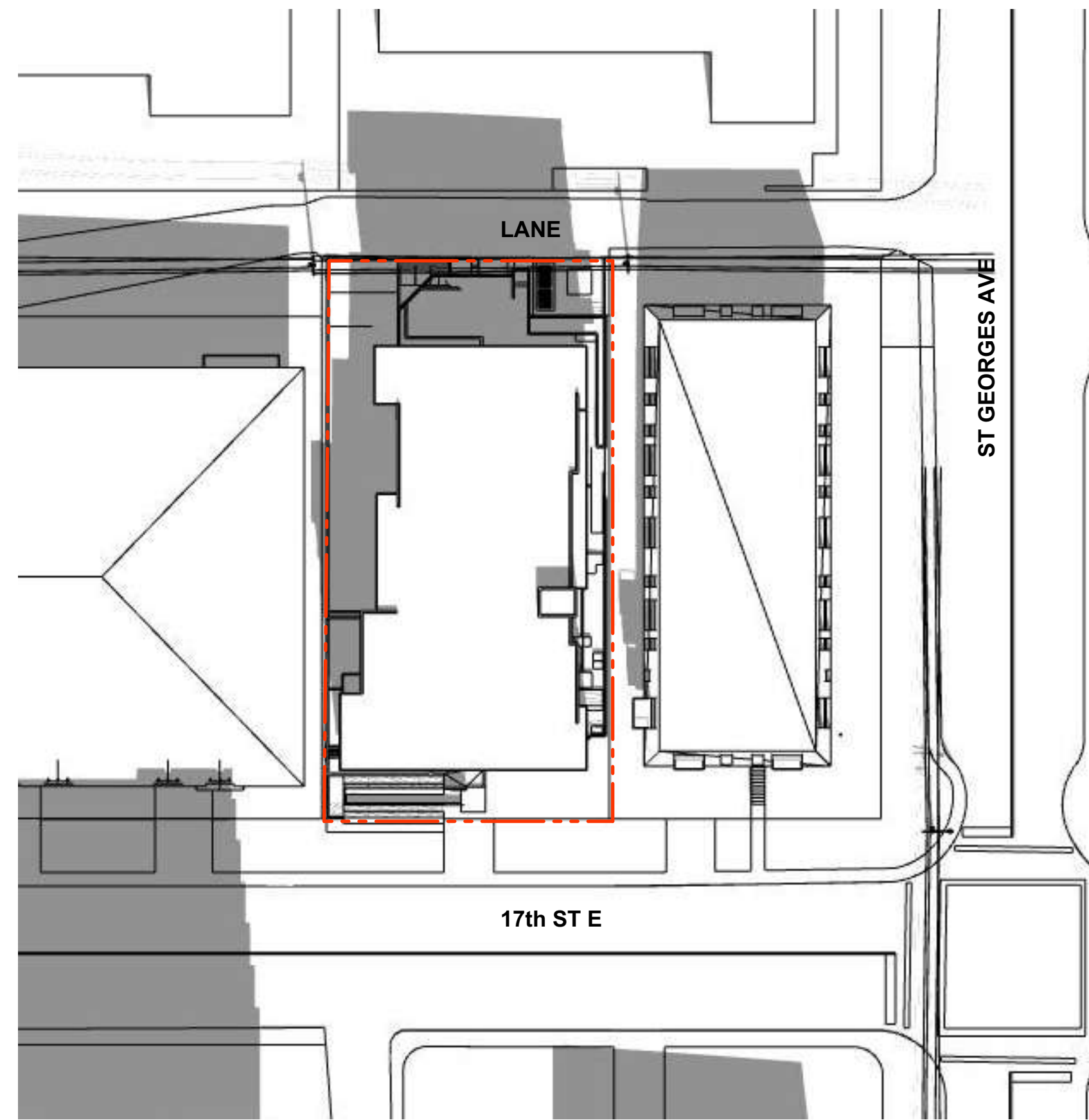
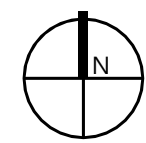


1 Level 6 - FSR Overlay
SCALE: 1/8" = 1'-0"

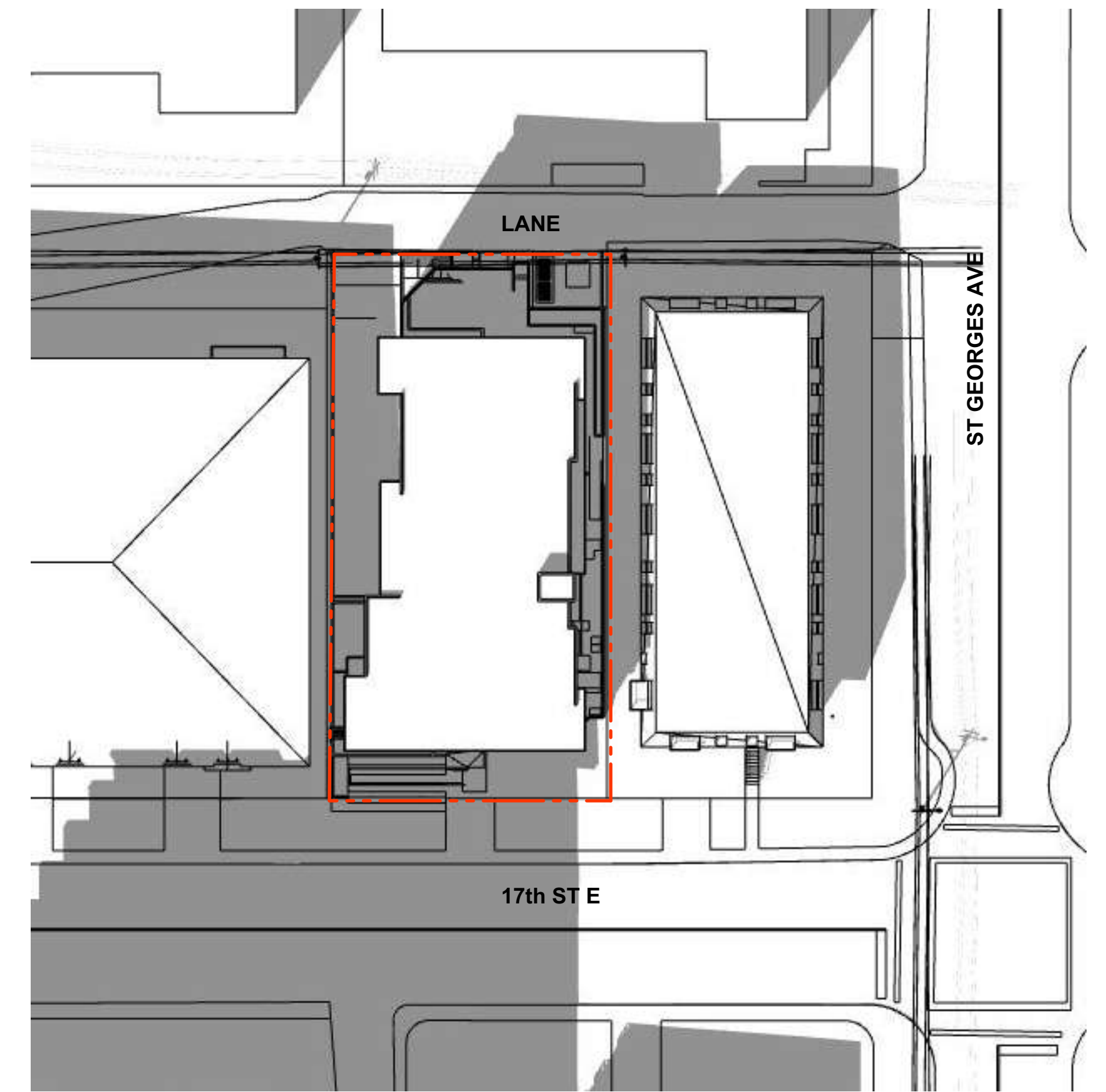
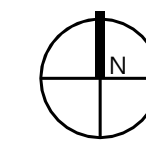




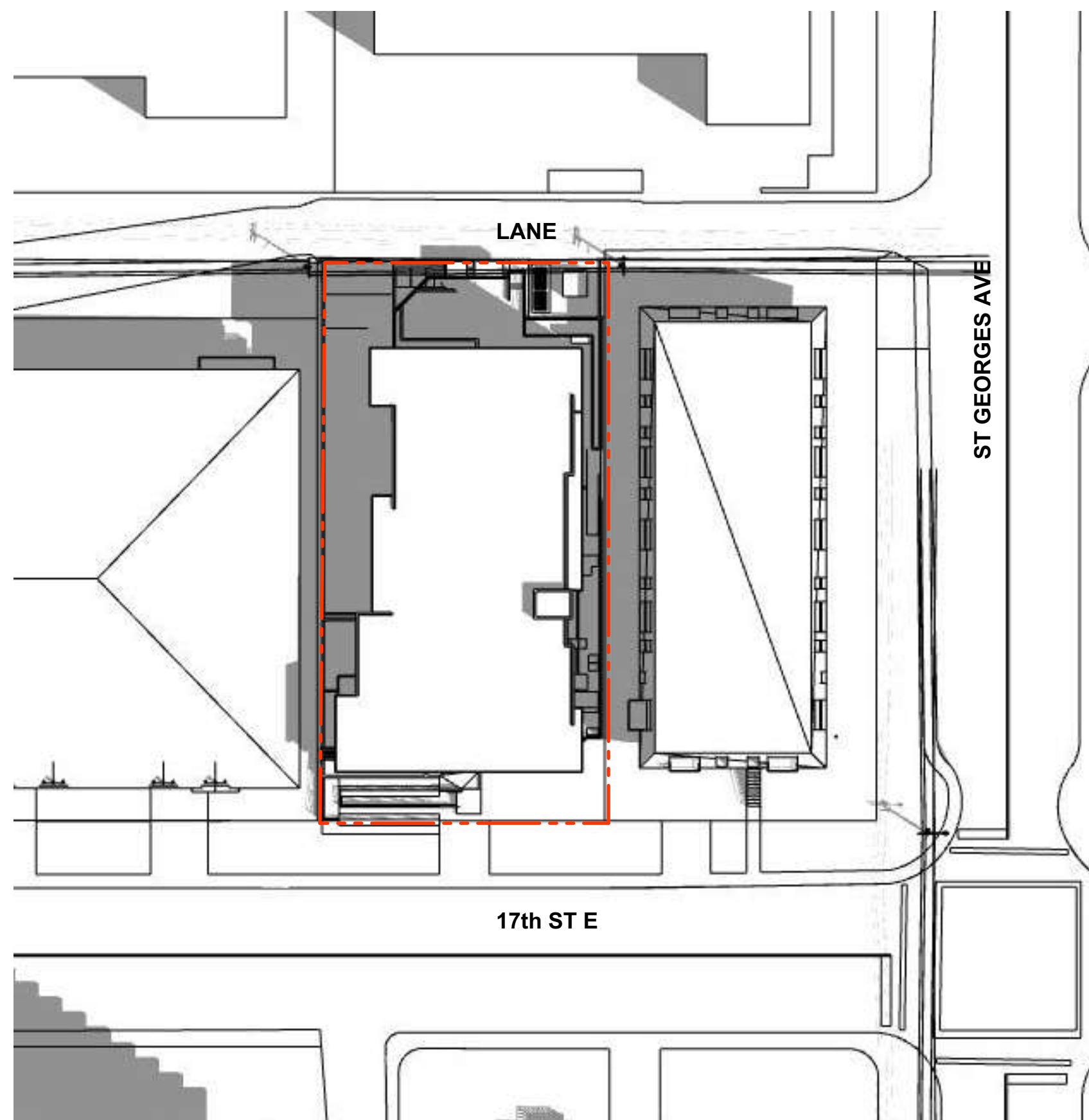
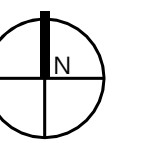
1 Shadow Studies - March 21st - 10 am



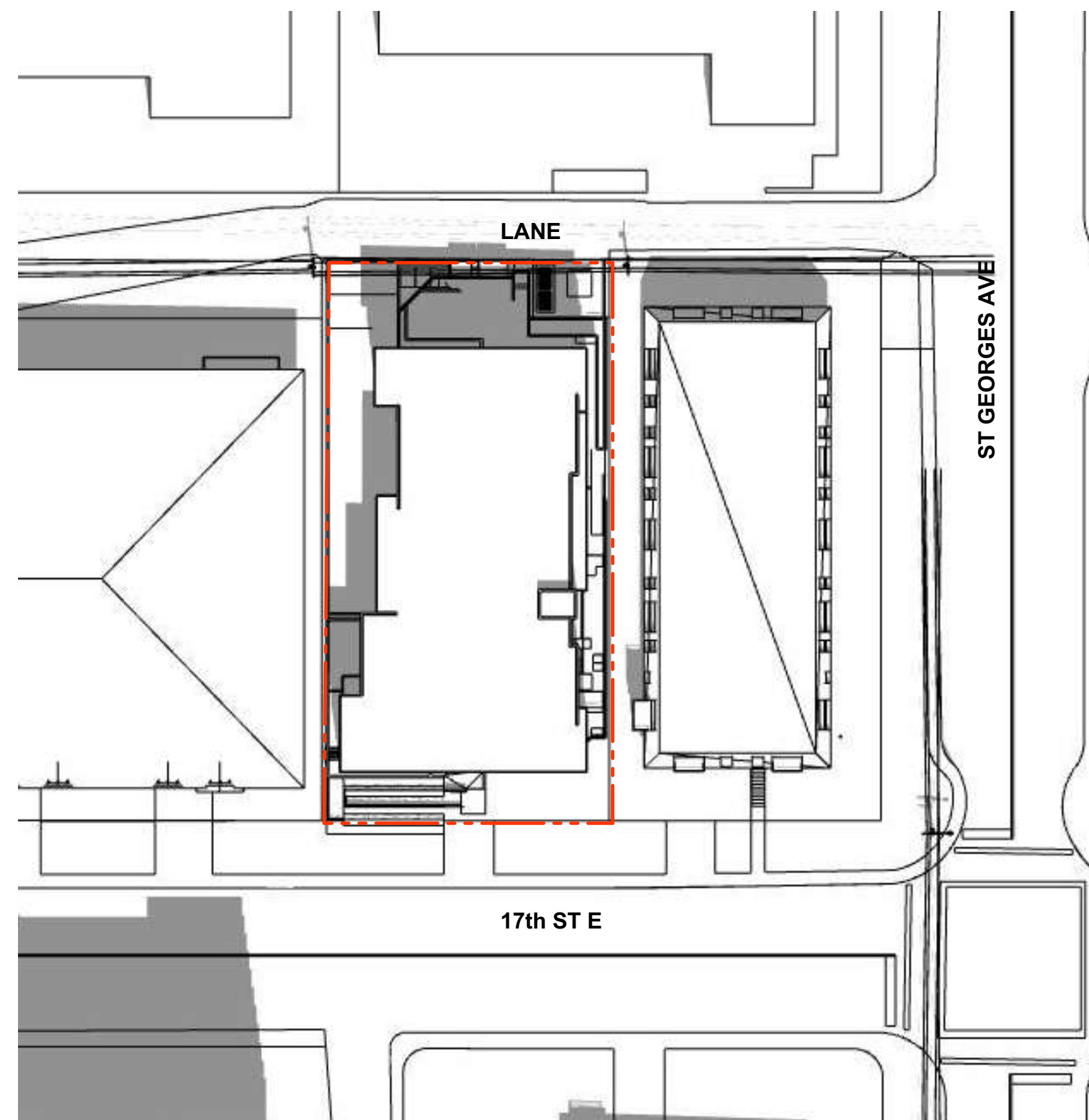
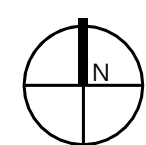
2 Shadow Studies - March 21st - 12 pm



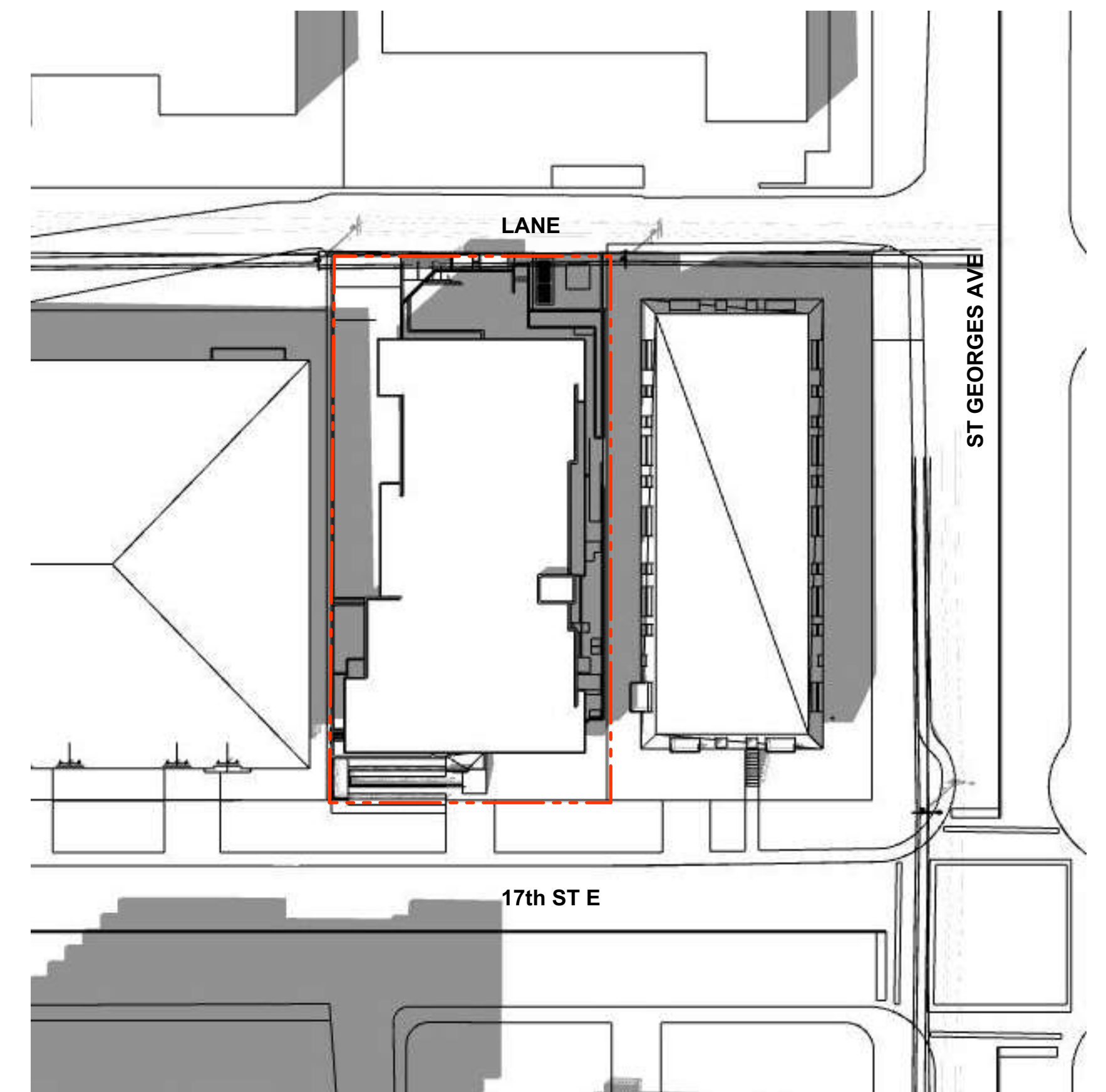
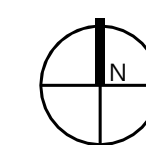
3 Shadow Studies - March 21st - 2 pm



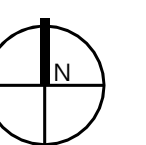
4 Shadow Studies - June 21st - 10 am

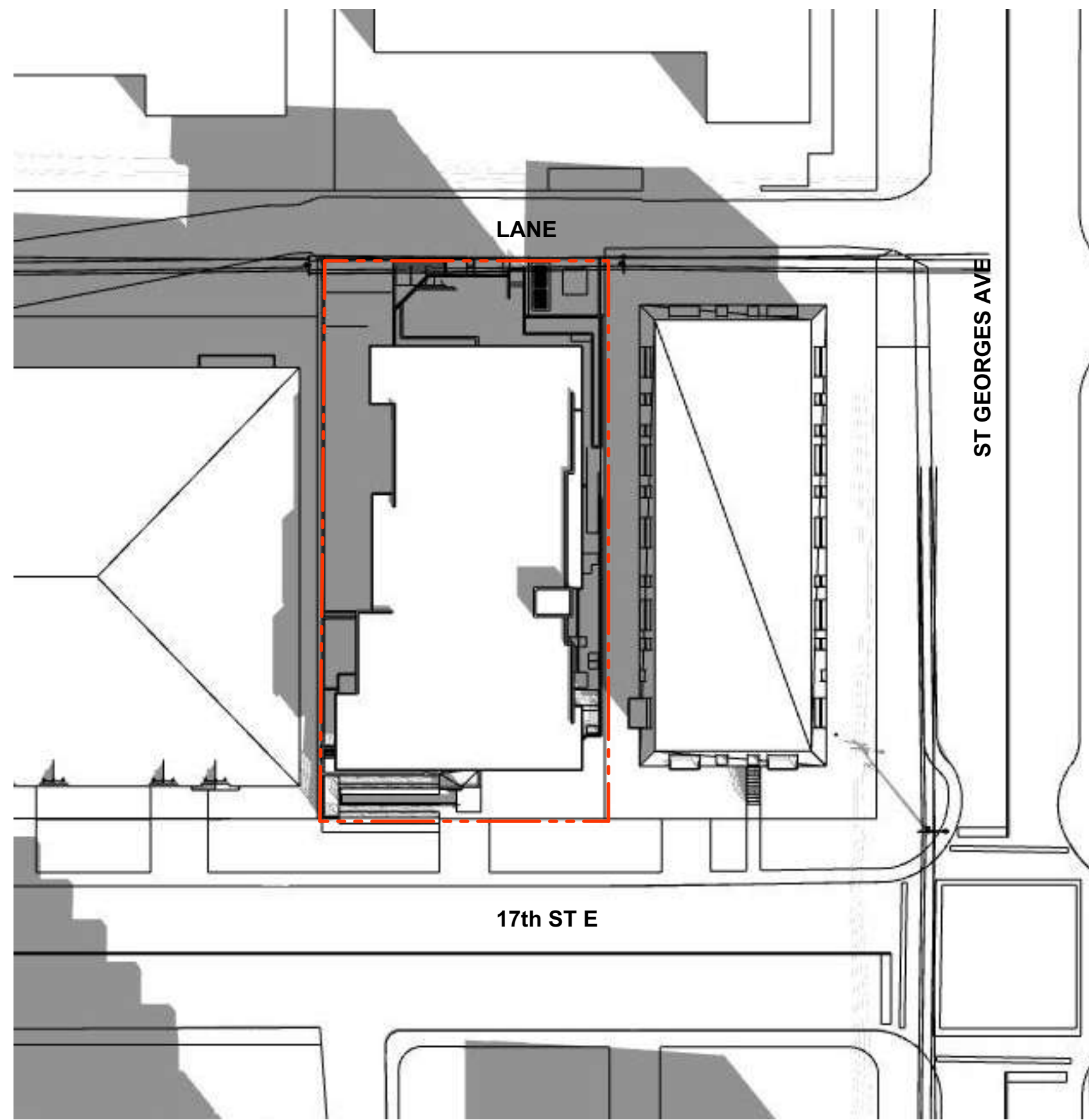


5 Shadow Studies - June 21st - 12 pm

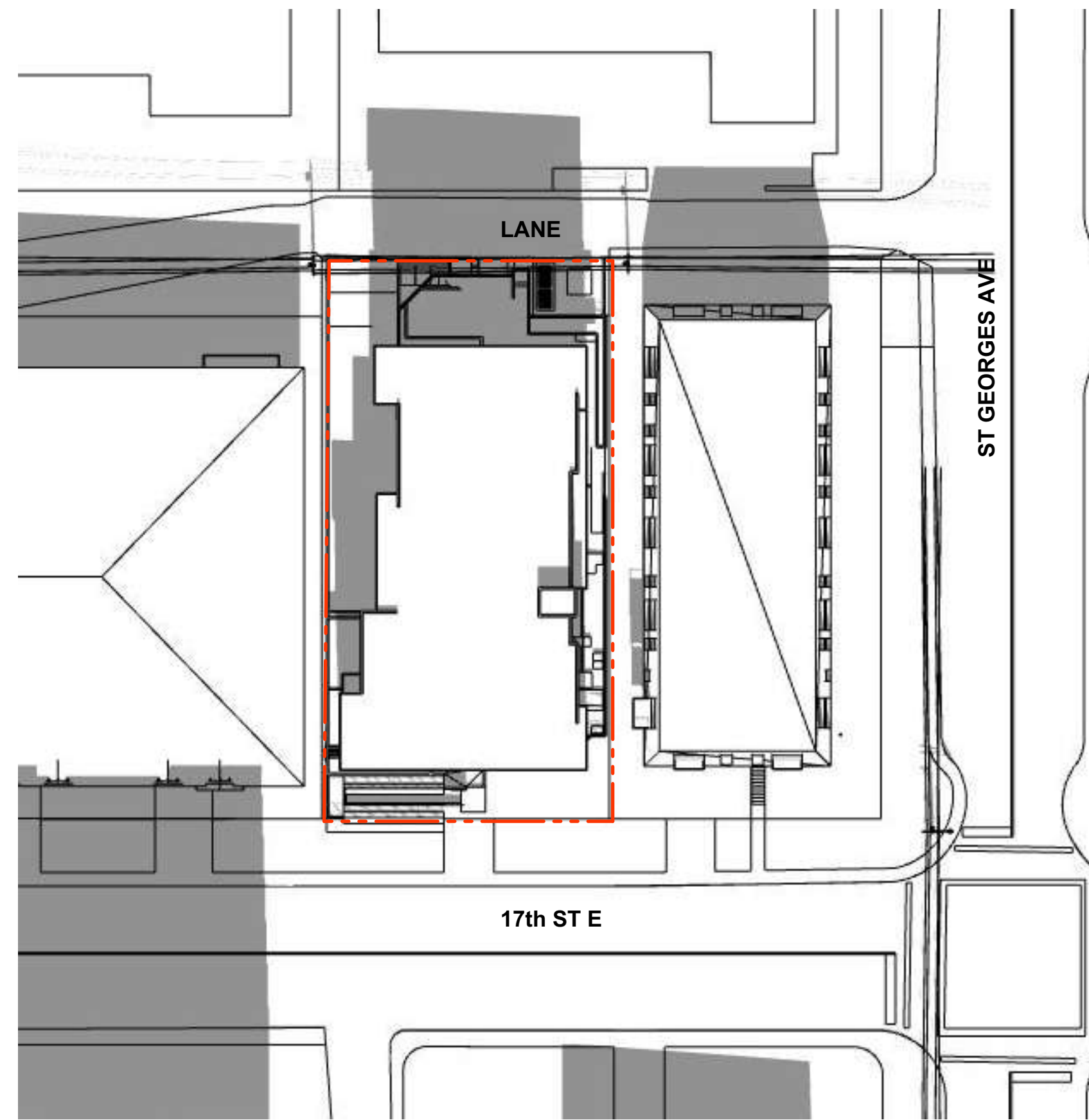
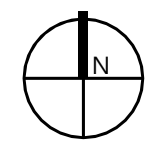


6 Shadow Studies - June 21st - 2 pm

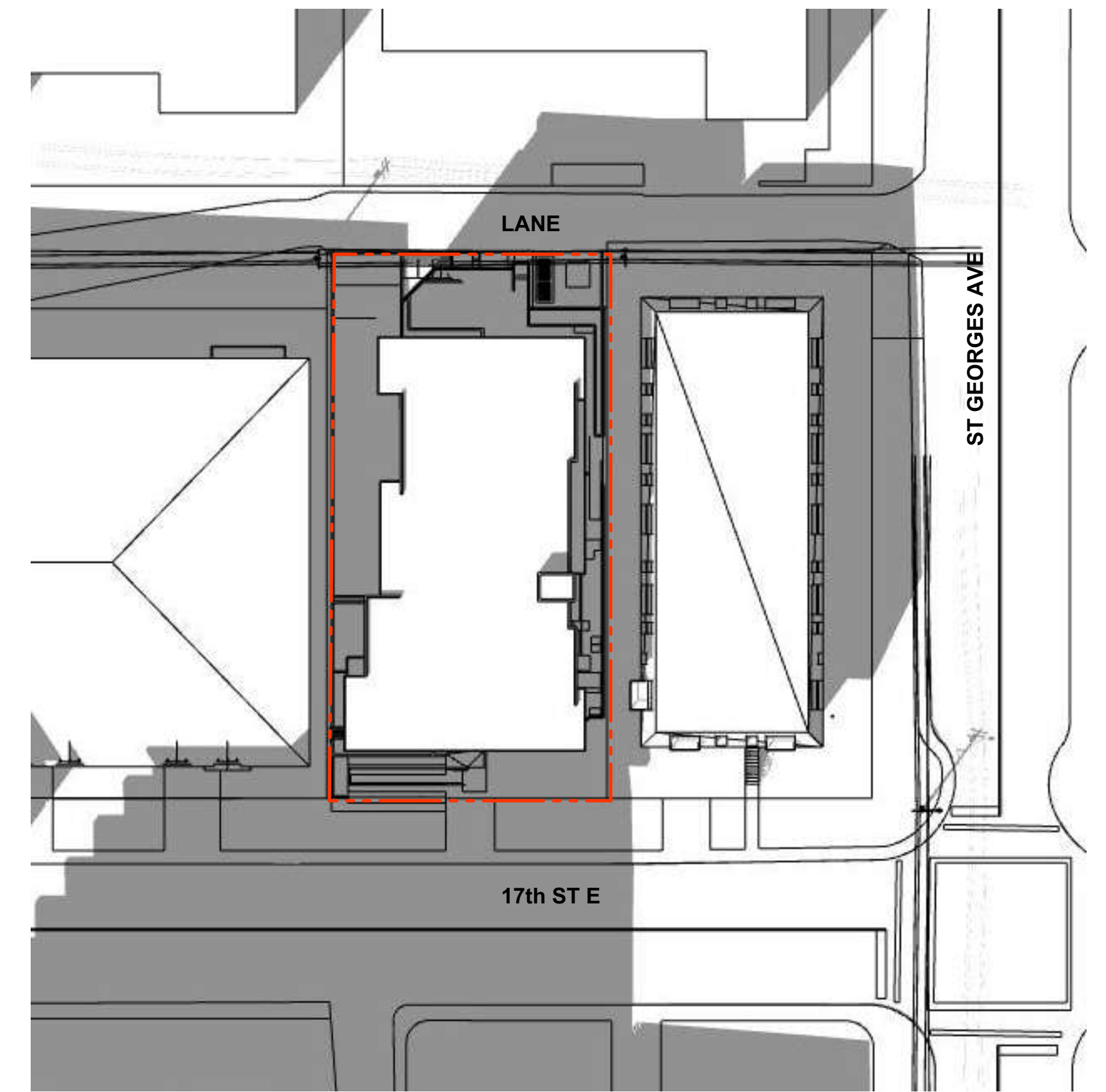
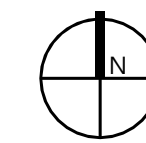




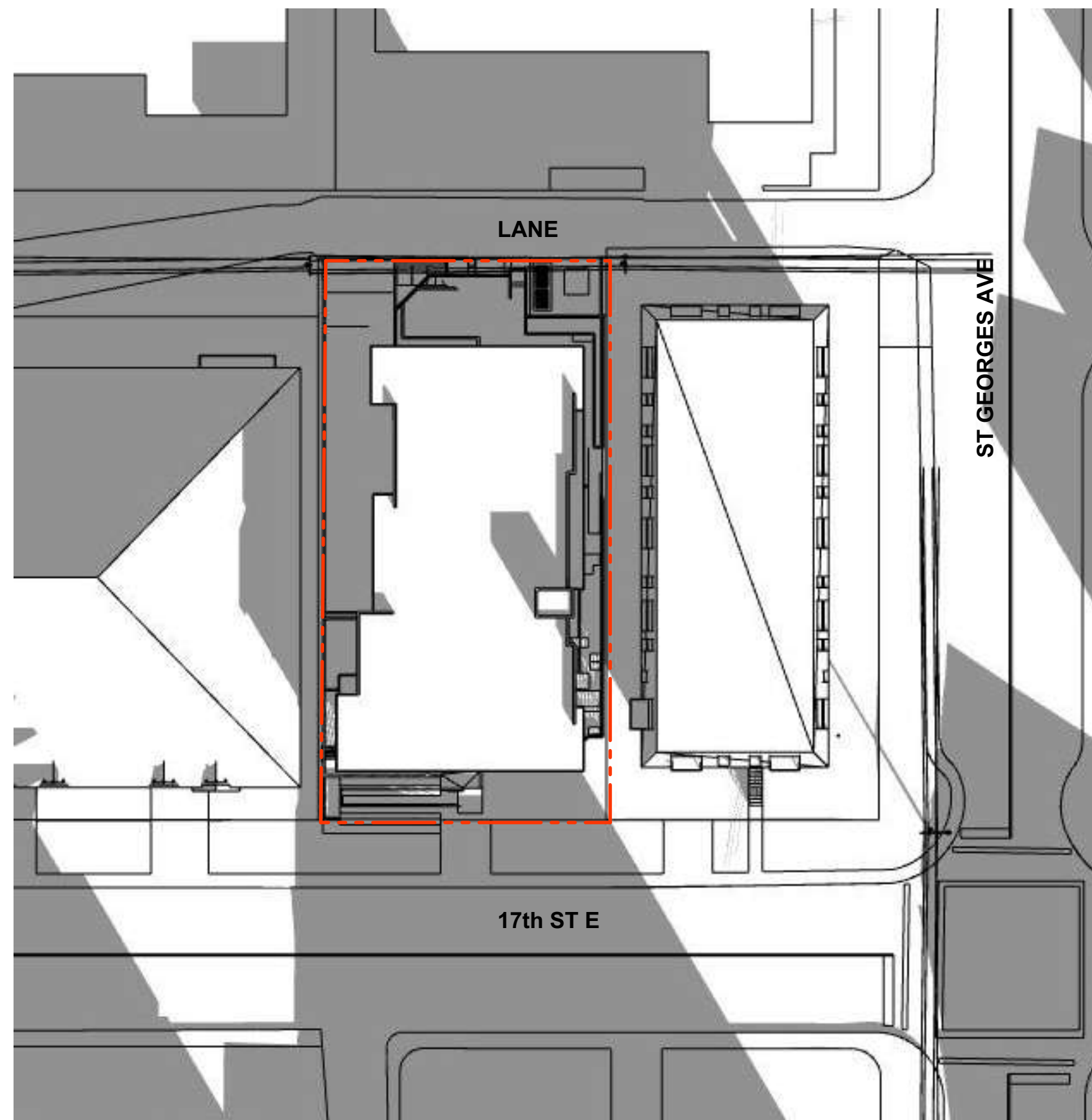
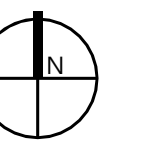
1 Shadow Studies - September 21st - 10 am



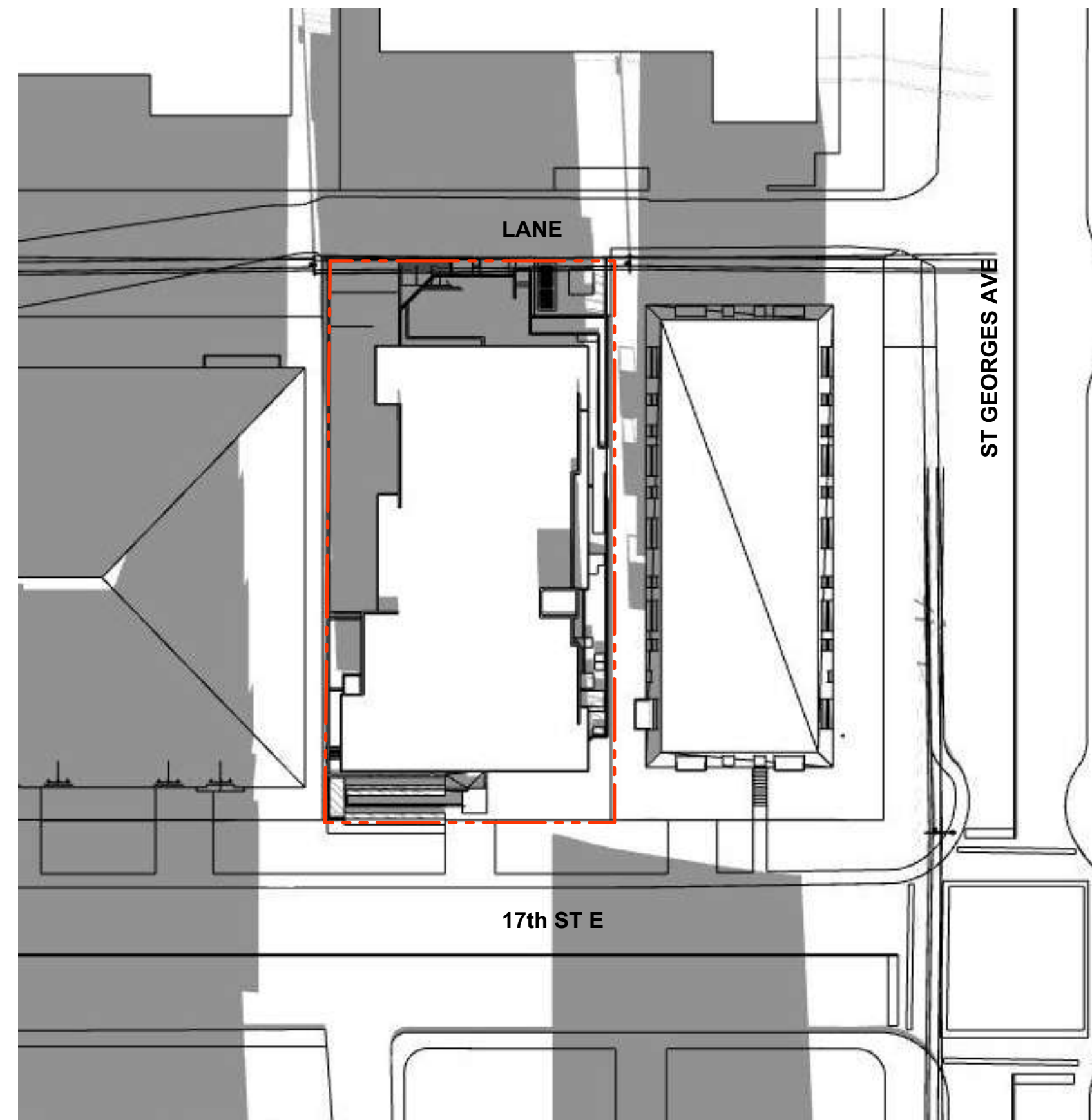
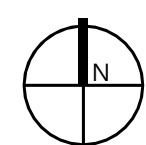
2 Shadow Studies - September 21st - 12 pm



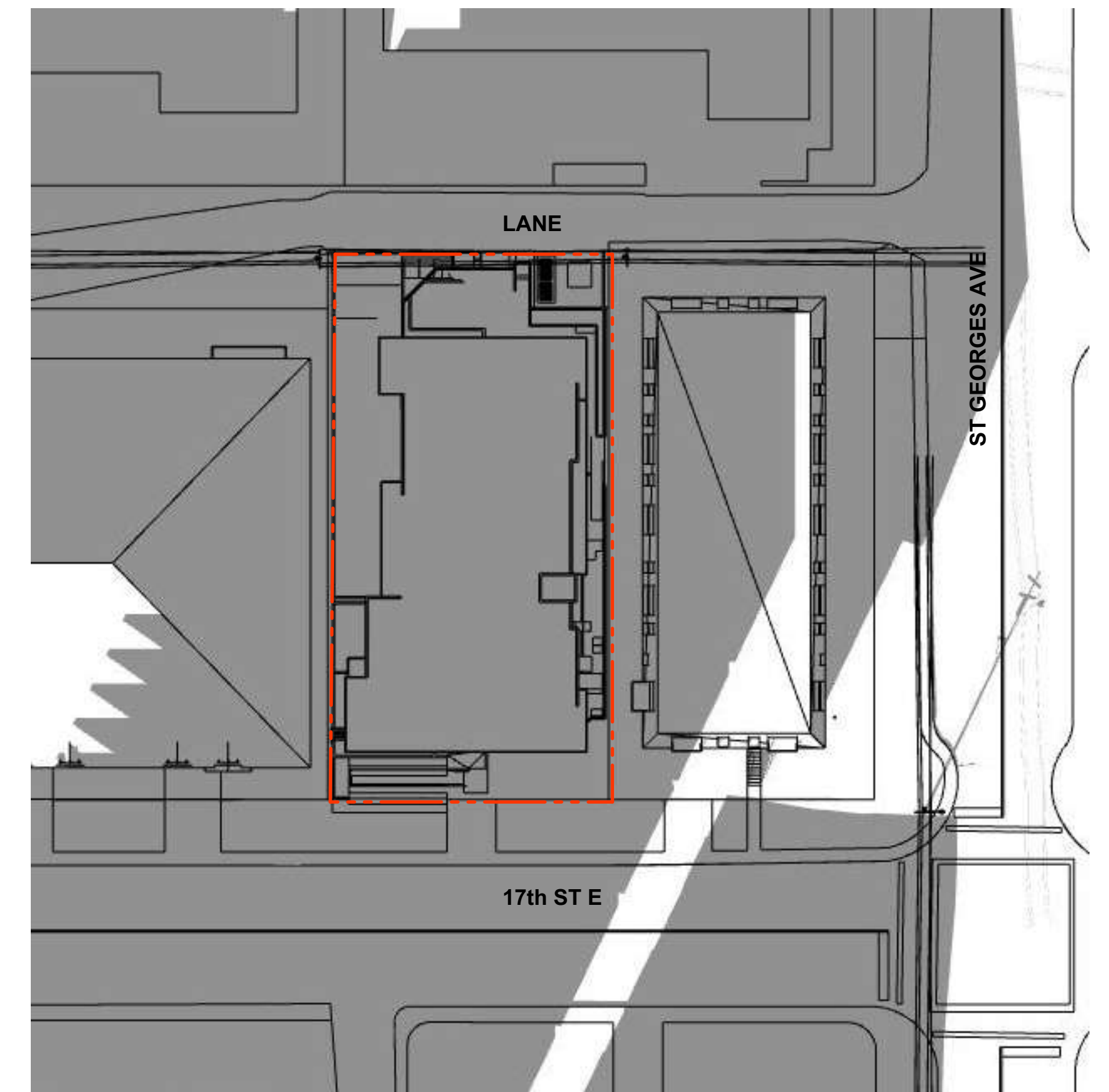
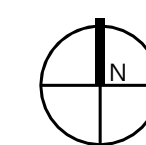
3 Shadow Studies - September 21st - 2 pm



4 Shadow Studies - December 21st - 10 am



5 Shadow Studies - December 21st - 12 pm



6 Shadow Studies - December 21st - 2 pm

