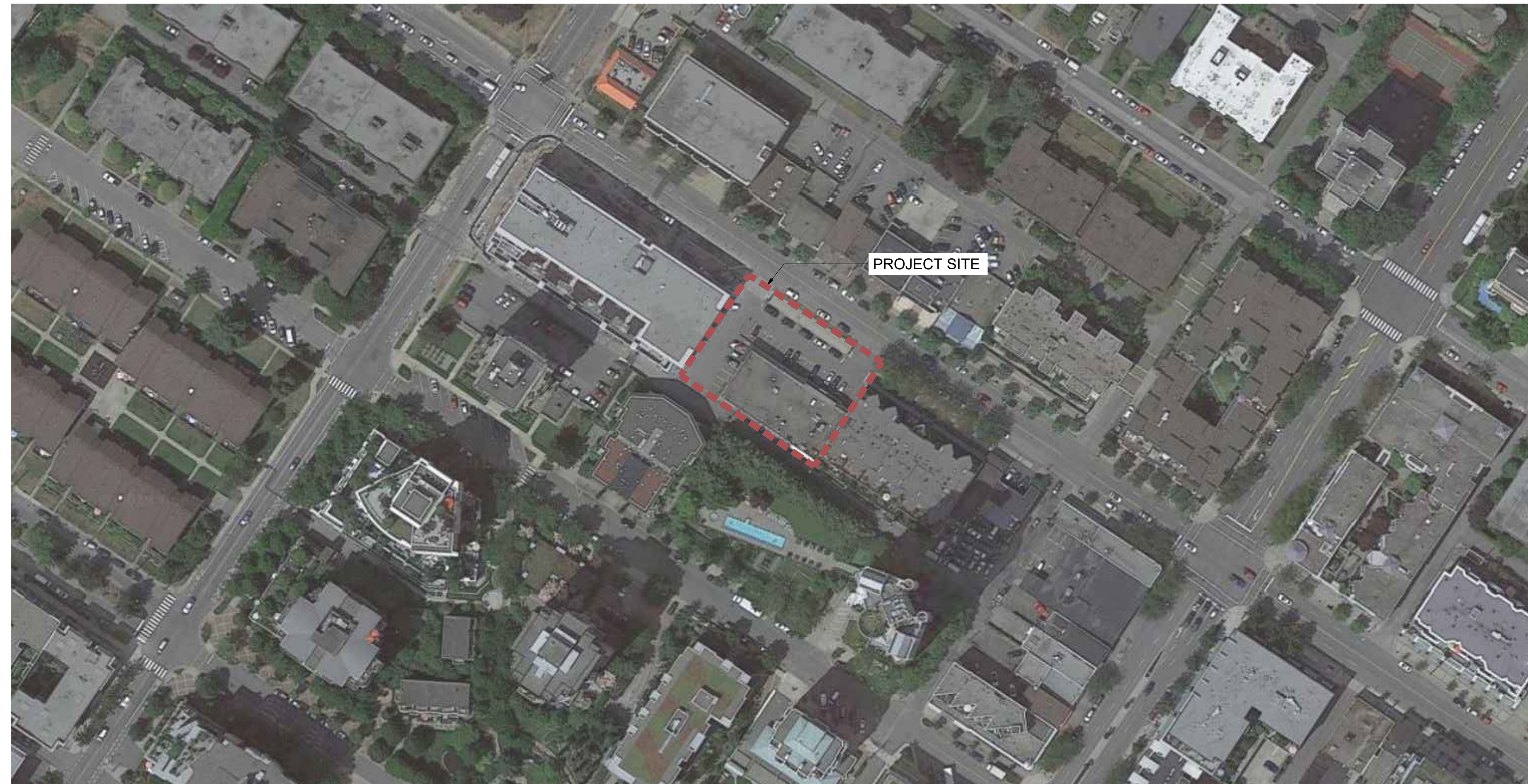


149 WEST 3RD

Issue for DP Amendment



Location Map (NTS)

Landscape Sheets

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	TREE AND SITE PLAN - GROUND FLOOR
L-02B	GRADING PLAN - GROUND FLOOR
L-03	PLANTING PLAN - GROUND AND LEVEL 3
L-04	SOIL DEPTH PLAN
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS

Contact Information

VDZ+A

Project Landscape Architecture
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 102 - 9181 Church Street
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Mount Pleasant Studio
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 Vancouver, British Columbia, V5T 3J7

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Contact Information

Anthem Properties

Project Owner
 Suite 1100 Bentall IV, 1055 Dunsmuir St,
 Vancouver, BC V7X 1K8

dys architecture

Project Building Architecture
 260 - 1770 Burrard Street, Vancouver BC
 BC V6J 3G7, Canada

No.	By:	Description	Date
14	DY	Issued for DP Amendment	Nov 02, 2023
13	NR	Re-issued for Building Permit	Jan 13, 2023
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1	DJ	Issue for Development Permit	Dec 18, 2019

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
 149 WEST 3RD STREET
 MIXED-USE DEVELOPMENT

Location:
 141-155 West 3rd Street,
 North Vancouver, BC, V7M 1E7

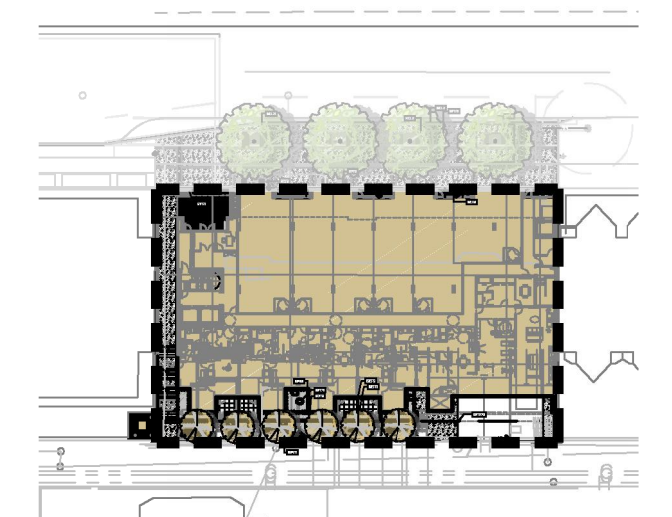
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Drawing Title:
COVER PAGE



VDZ Project #:
DP2019-50

Drawing #:
L-01



No.	By:	Description	Date
14	DY	Issued for DP Amendment	Nov 02, 2023
13	NR	Re-Issued for Building Permit	Jan 13, 2023
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No.	By:	Description	Date
1	DJ	Issue for Review	Dec 17, 2019

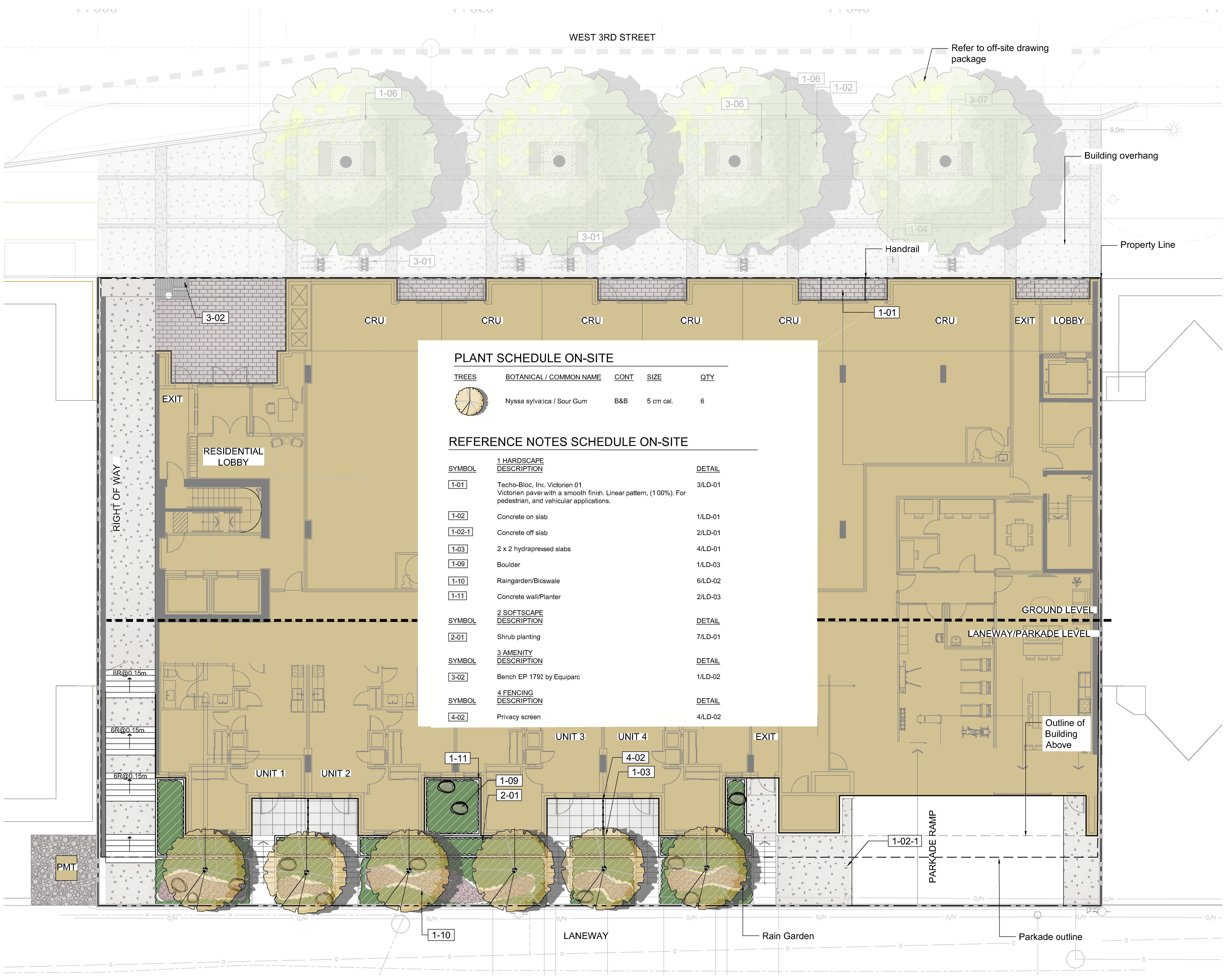
REVISIONS TABLE FOR SHEET

Project:
 149 WEST 3RD STREET
 MIXED-USE DEVELOPMENT

Location:
 141-155 West 3rd Street,
 North Vancouver, BC, V7M 1E7

Drawn: AL NR DR	Stamp:
Checked: DJ	
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Drawing Title: TREE AND SITE PLAN - GROUND FLOOR
 Vdz Project #: DP2019-50
 Drawing #: L-02A



PLANT SCHEDULE ON-SITE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Nyssa sylvatica / Sour Gum	B&B	5 cm cal.	6

REFERENCE NOTES SCHEDULE ON-SITE

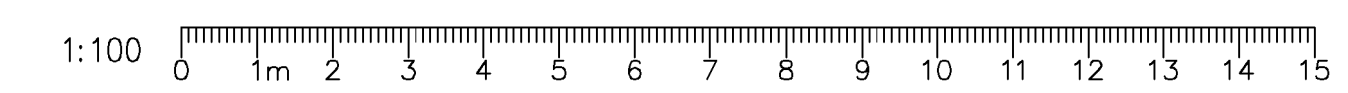
SYMBOL	1 HARDSCAPE DESCRIPTION	DETAIL
1-01	Techo-Bloc, Inc. Victorian 01 Victorian paver with a smooth finish. Linear pattern, (100%). For pedestrian, and vehicular applications.	3/LD-01
1-02	Concrete on slab	1/LD-01
1-02-1	Concrete off slab	2/LD-01
1-03	2 x 2 hydrapressed slabs	4/LD-01
1-09	Boulder	1/LD-03
1-10	Raingarden/Bioswale	6/LD-02
1-11	Concrete wall/Planter	2/LD-03

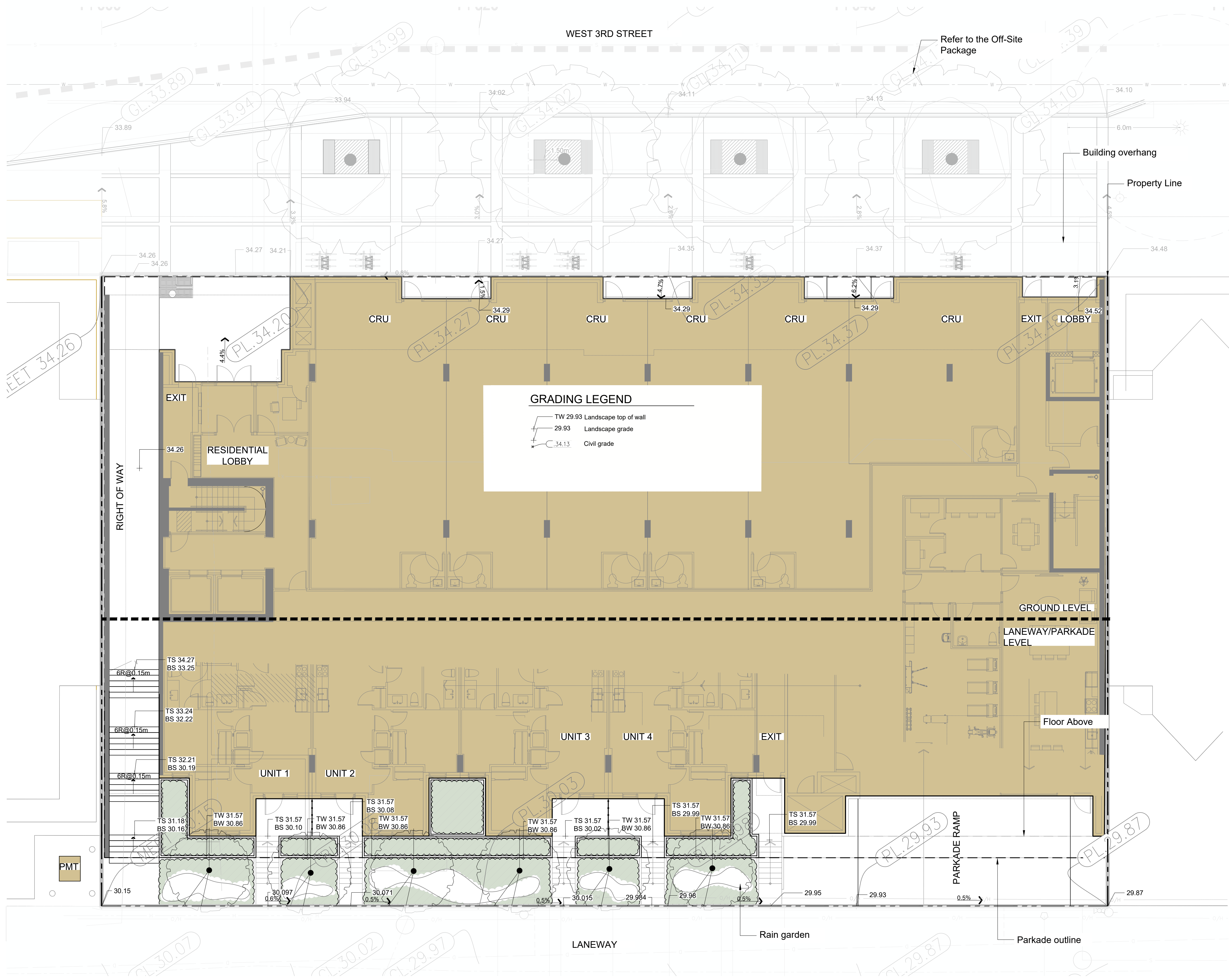
SYMBOL	2 SOFTSCAPE DESCRIPTION	DETAIL
2-01	Shrub planting	7/LD-01

SYMBOL	3 AMENITY DESCRIPTION	DETAIL
3-02	Bench EP 1792 by Equiparc	1/LD-02

SYMBOL	4 FENCING DESCRIPTION	DETAIL
4-02	Privacy screen	4/LD-02

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2019-50 149 WEST 3RD STREET\SHEETS\L-02A TREE AND SITE PLAN - GROUND FLOOR.DWG





GRADING LEGEND

- TW 29.93 Landscape top of wall
- 29.93 Landscape grade
- 34.13 Civil grade

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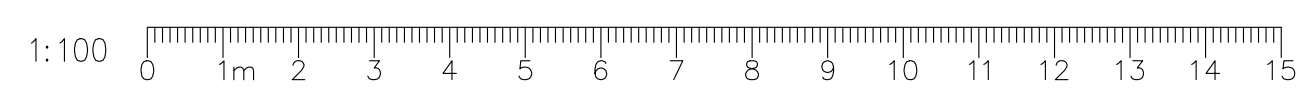
No.	By:	Description	Date
1	DJ	Issue for Review	Dec 17, 2019

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Project:
 149 WEST 3RD STREET
 MIXED-USE DEVELOPMENT

Location:
 141-155 West 3rd Street,
 North Vancouver, BC, V7M 1E7

Drawn: AL NR DR	Stamp:
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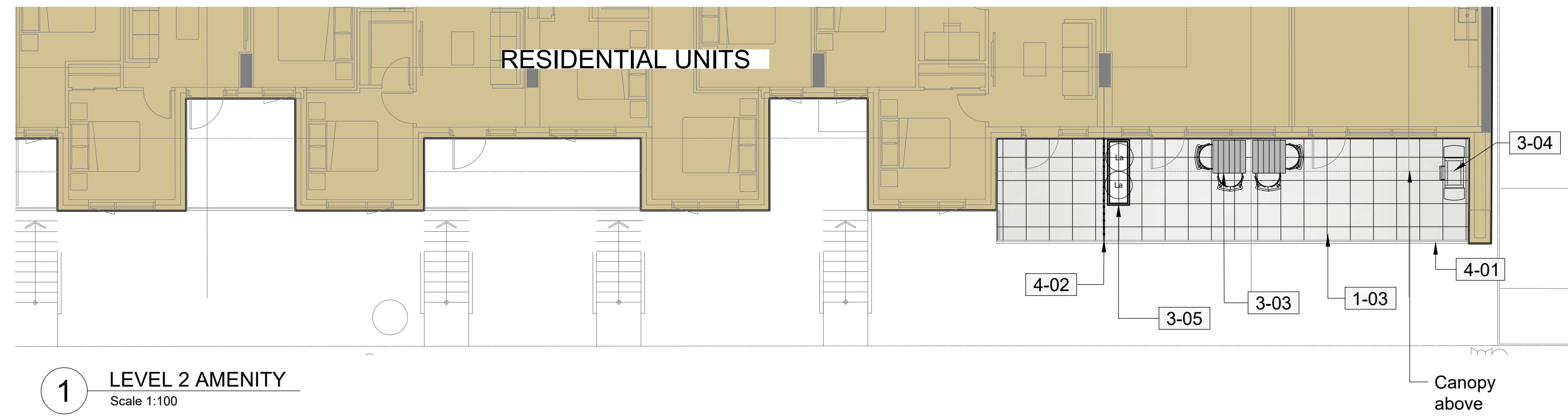
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Drawing Title:
GRADING PLAN - GROUND FLOOR



VDZ Project #:
DP2019-50

Drawing #:
L-02B



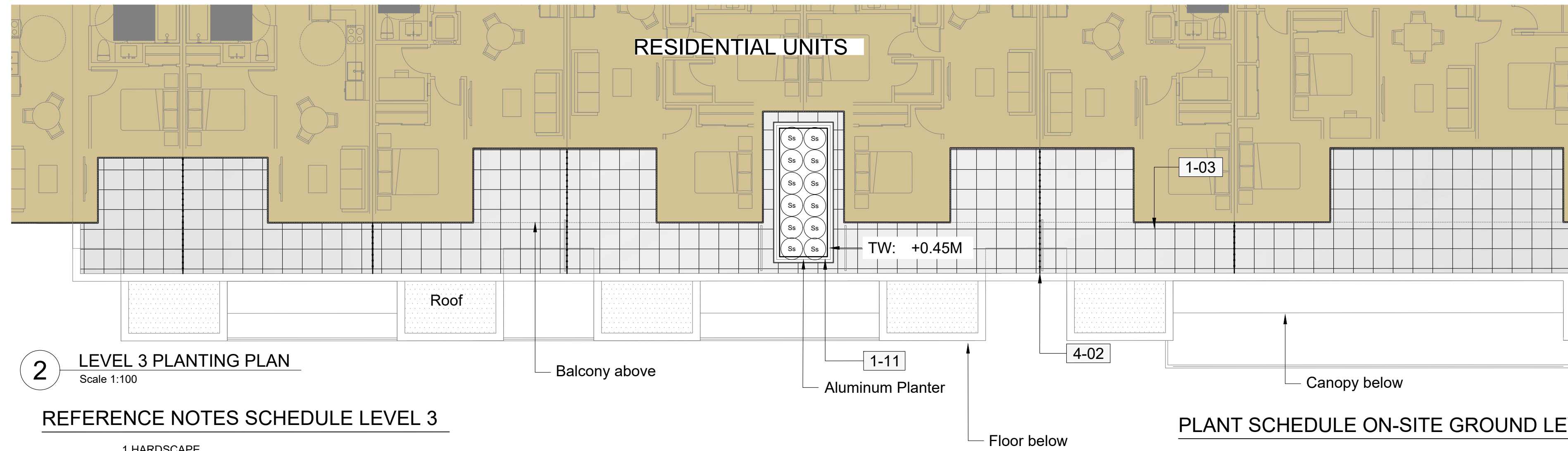
1 LEVEL 2 AMENITY
Scale 1:100

REFERENCE NOTES SCHEDULE LEVEL 2 AMENITY

SYMBOL	1 HARDSCAPE DESCRIPTION	QTY	DETAIL
1-03	2 x 2 hydropressed slabs	36.4 m ²	4/LD-01
SYMBOL	3 AMENITY DESCRIPTION	QTY	DETAIL
3-03	Picnic table and chairs	2/LD-02	
3-04	Barbeque	1	5/LD-02
3-05	Movable planter		3/LD-02
SYMBOL	4 FENCING DESCRIPTION	QTY	DETAIL
4-01	Guardrail, refer to Architecture		
4-02	Privacy screen		4/LD-02

PLANT SCHEDULE LEVEL 2

VINES	BOTANICAL / COMMON NAME	CONT	QTY
La	Lonicera acuminata / Honeysuckle	#1	2



2 LEVEL 3 PLANTING PLAN
Scale 1:100

REFERENCE NOTES SCHEDULE LEVEL 3

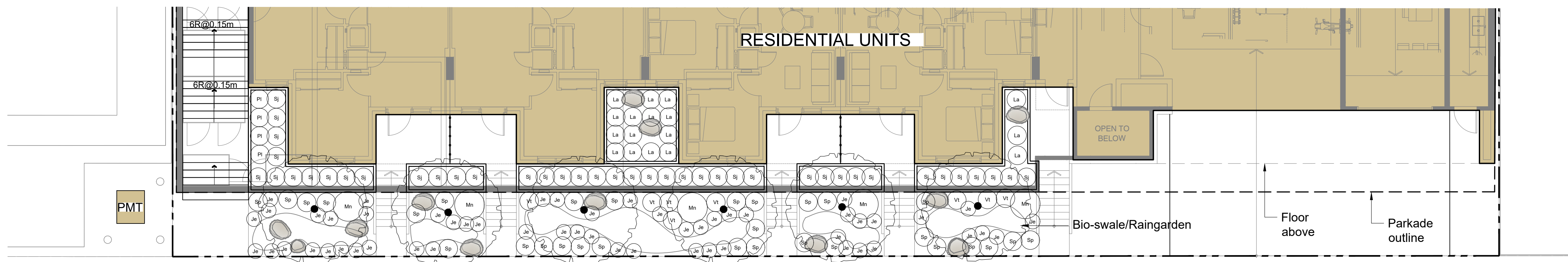
SYMBOL	1 HARDSCAPE DESCRIPTION	QTY	DETAIL
1-03	2 x 2 hydropressed slabs	144.1 m ²	4/LD-01
1-11	Concrete wall/Planter		5/LD-01

PLANT SCHEDULE LEVEL 3

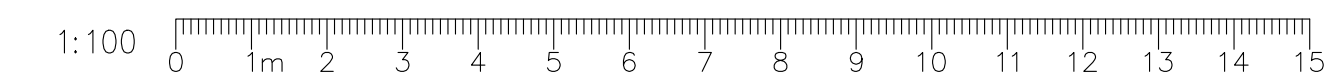
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
Sp	Spiraea japonica 'Anthony Waterer' / Anthony Waterer Japanese Spirea	#2	12

PLANT SCHEDULE ON-SITE GROUND LEVEL

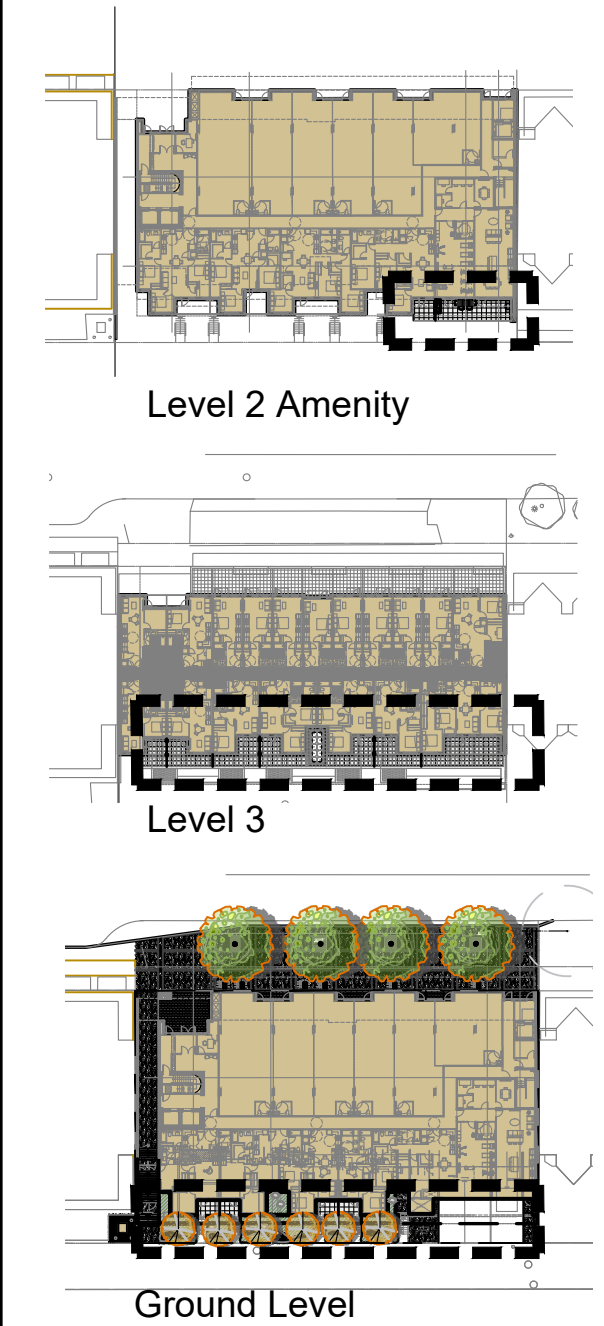
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
Mn	Mahonia nervosa / Oregon Grape	#2	5
Pl	Prunus lusitana 'Lolita' / Little Leafed Portugal Laurel	#2	4
Sp	Salix purpurea 'Nana' / Dwarf Arctic Willow	#2	30
Sk	Skimmia japonica / Skimmia	#2	41
Vt	Vaccinium ovatum 'Thunderbird' / Evergreen Huckleberry	#3	8
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY
Jr	Juncus effusus / Soft Rush	#1	54
VINES	BOTANICAL / COMMON NAME	CONT	QTY
La	Lonicera acuminata / Honeysuckle	#1	17



3 GROUND LEVEL PLANTING
Scale 1:100



Key Map (NTS)



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Project:
149 WEST 3RD STREET
MIXED-USE DEVELOPMENT

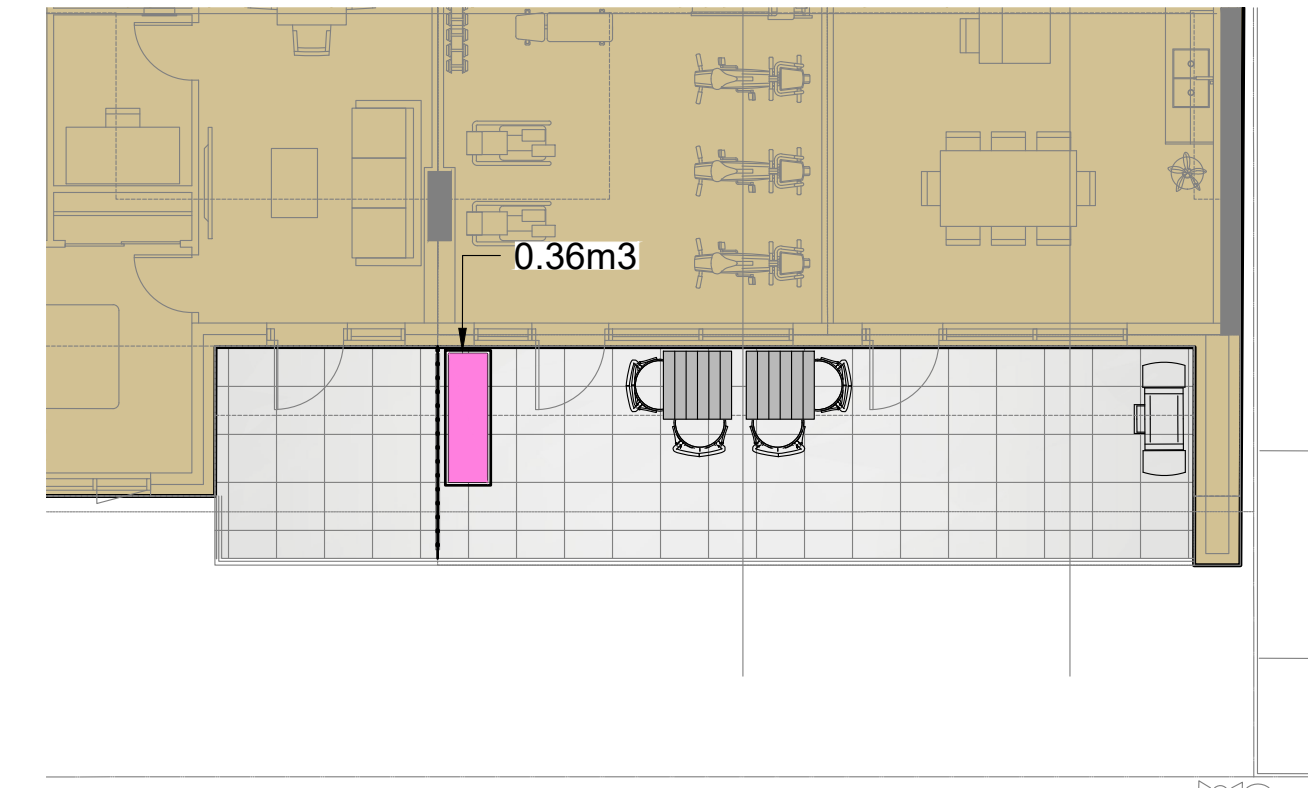
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141-155 West 3rd Street,
North Vancouver, BC, V7M 1E7

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Approved: DJ	Original Sheet Size: 24"x36"
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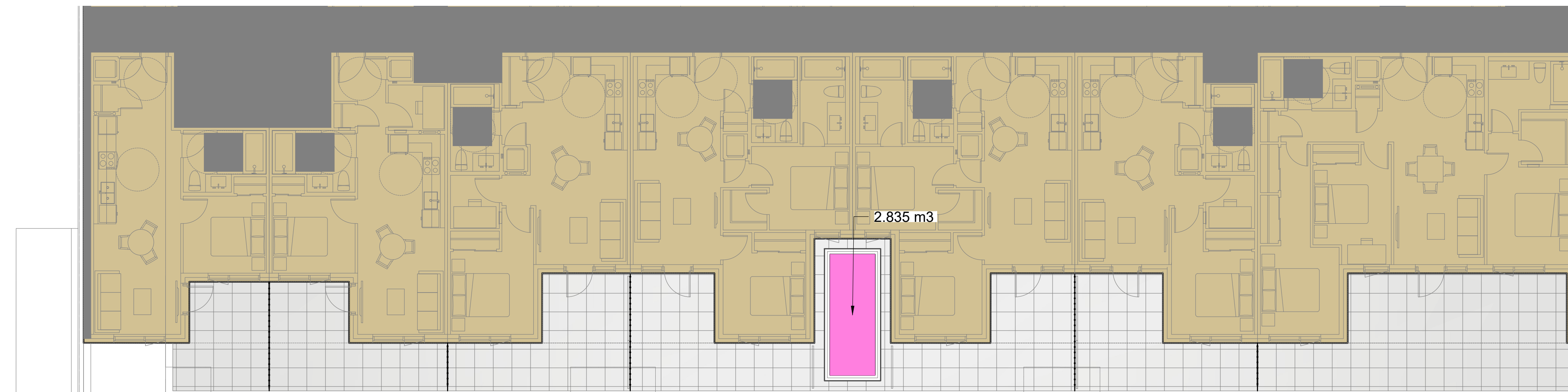
Z:\PROJECTS\DEVELOPMENT PERMITS\DP2019-50_149 WEST 3RD STREET\SHEETS\L-03 PLANTING PLAN - GROUND AND LEVEL 3.DWG

SOIL_VOLUME_LEGEND

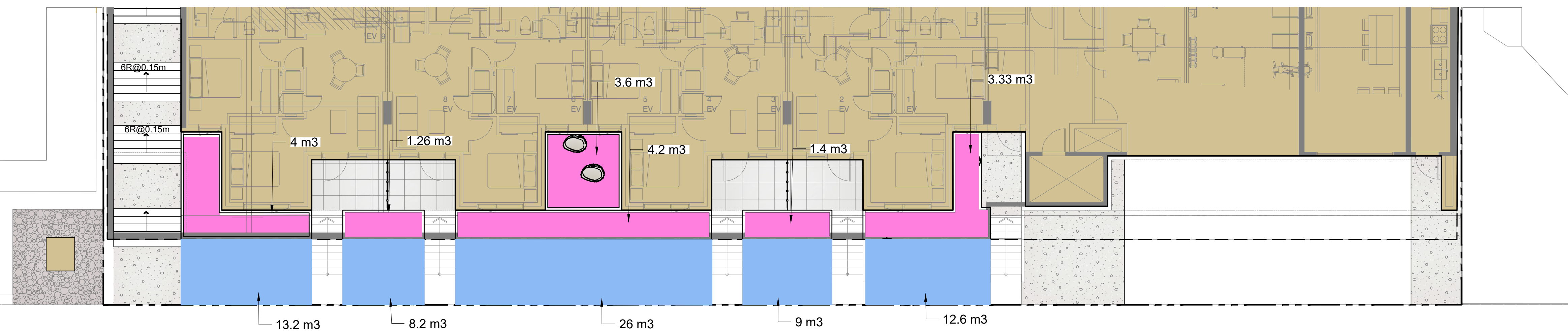
- 450 mm SOIL VOLUME
- 1m SOIL VOLUME



1 LEVEL 2
Scale 1:100

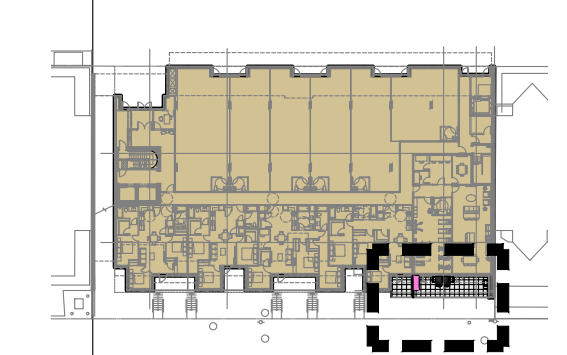


2 LEVEL 3
Scale 1:100

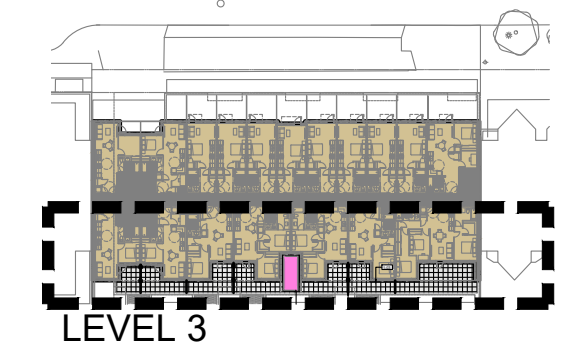


3 GROUND LEVEL
Scale 1:100

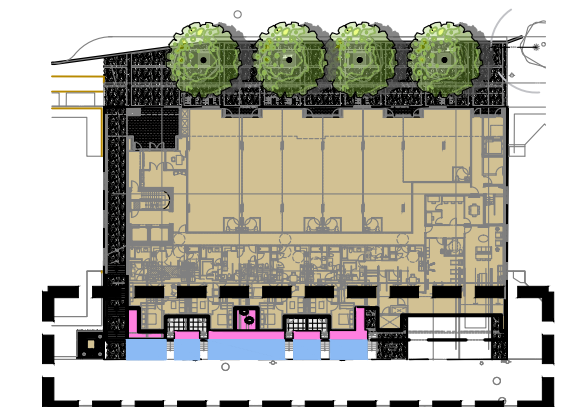
Key Map (NTS)



LEVEL 2



LEVEL 3



GROUND LEVEL

No.	By:	Description	Date
14	DY	Issued for DP Amendment	Nov 02, 2023
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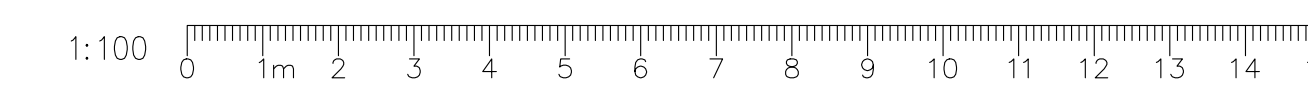
Project:
149 WEST 3RD STREET
MIXED-USE DEVELOPMENT

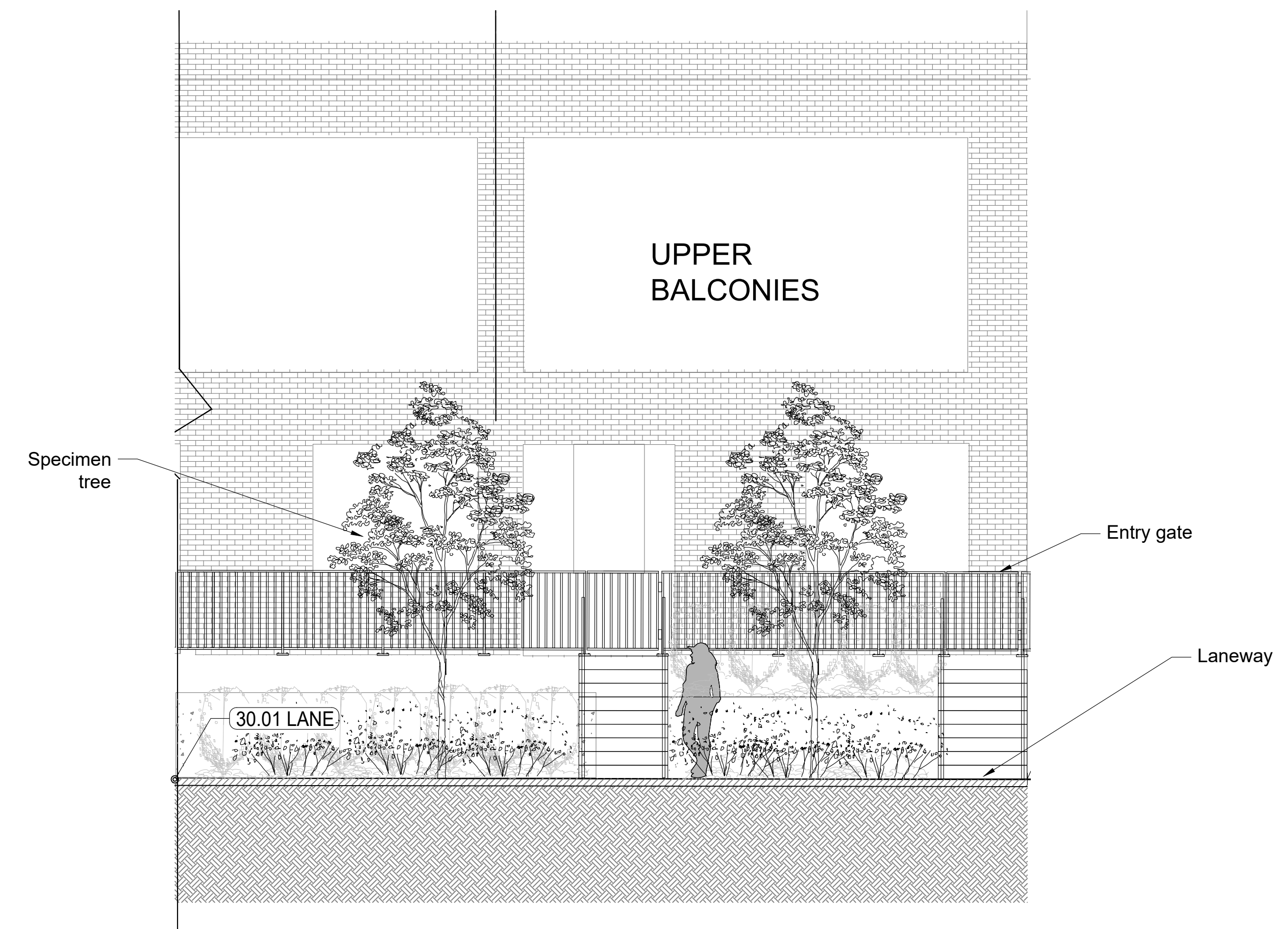
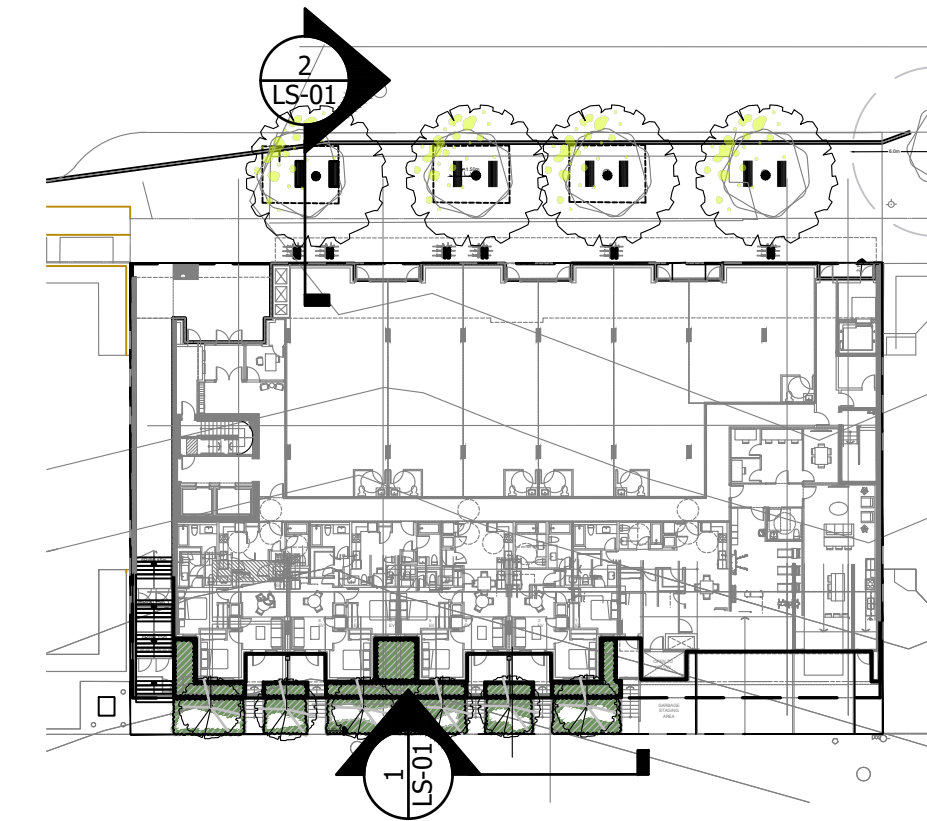
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North Vancouver, BC, V7M 1E7

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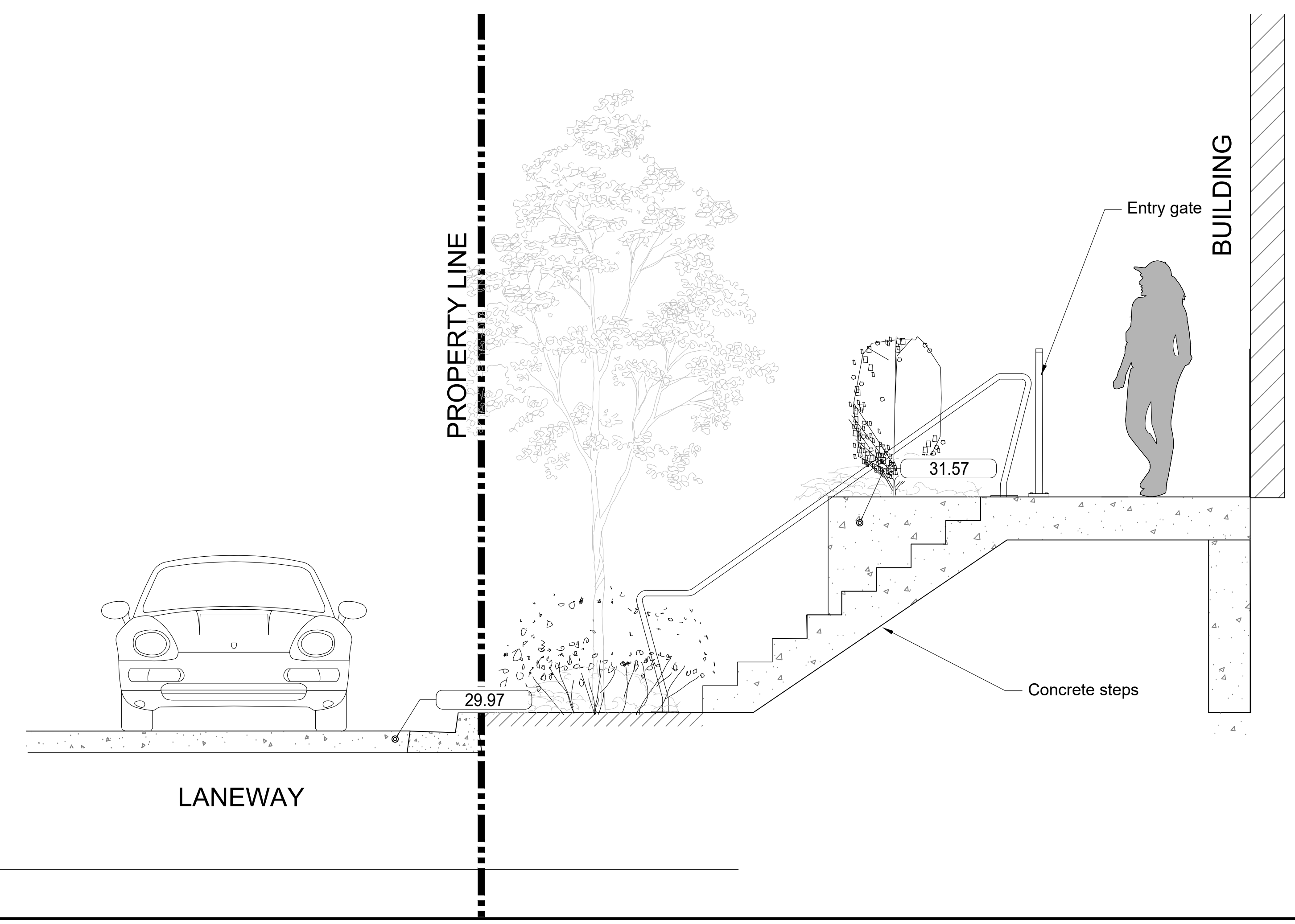
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1:100

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1 SECTION 1
Scale 1:50



2 SECTION 3
Scale 1:25

No.	By:	Description	Date
14	DY	Issued for DP Amendment	Nov 02, 2023
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Project:
149 WEST 3RD STREET
MIXED-USE DEVELOPMENT

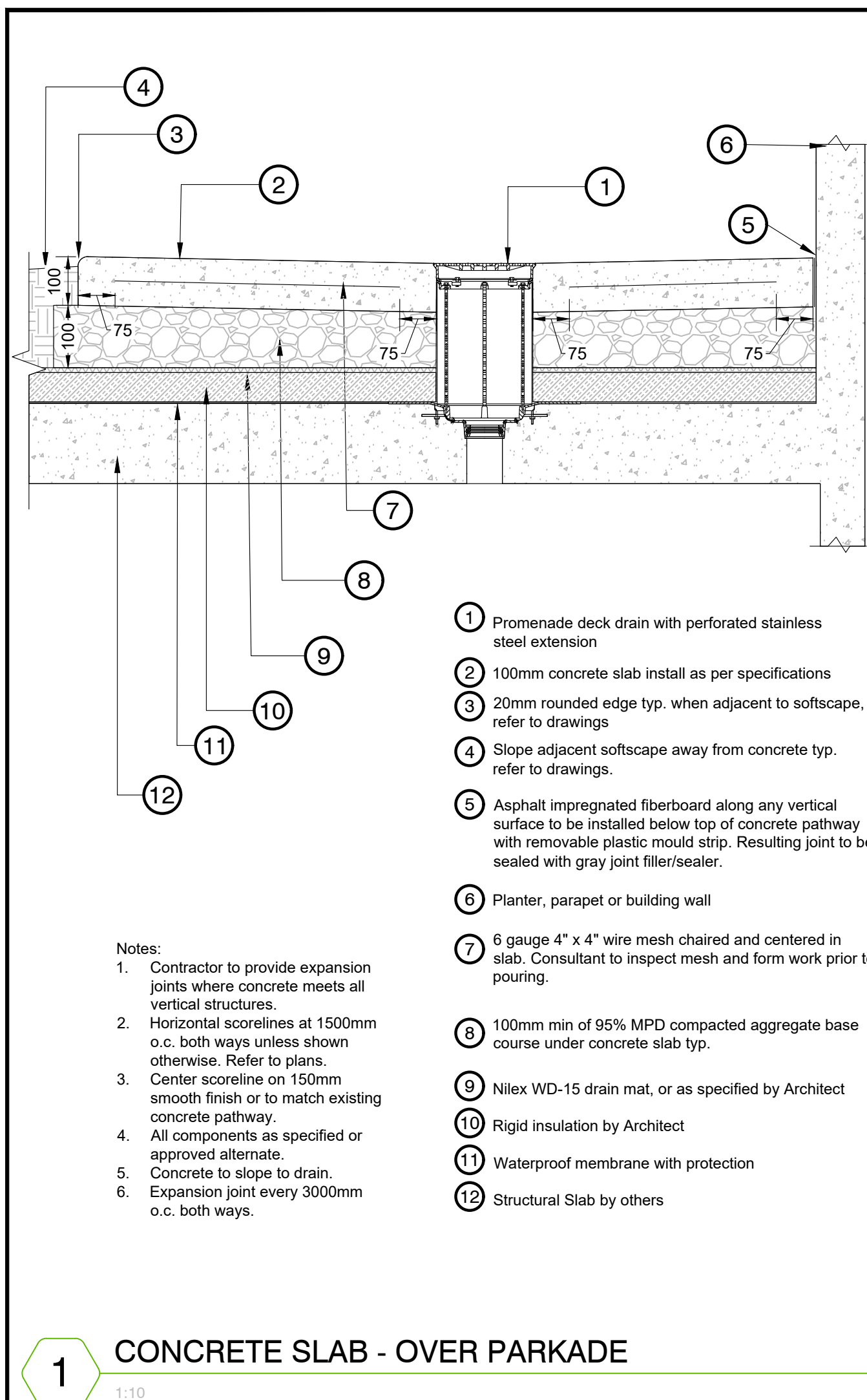
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North Vancouver, BC, V7M 1E7

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Drawing Title:
SECTIONS

VDZ Project #:
DP2019-50

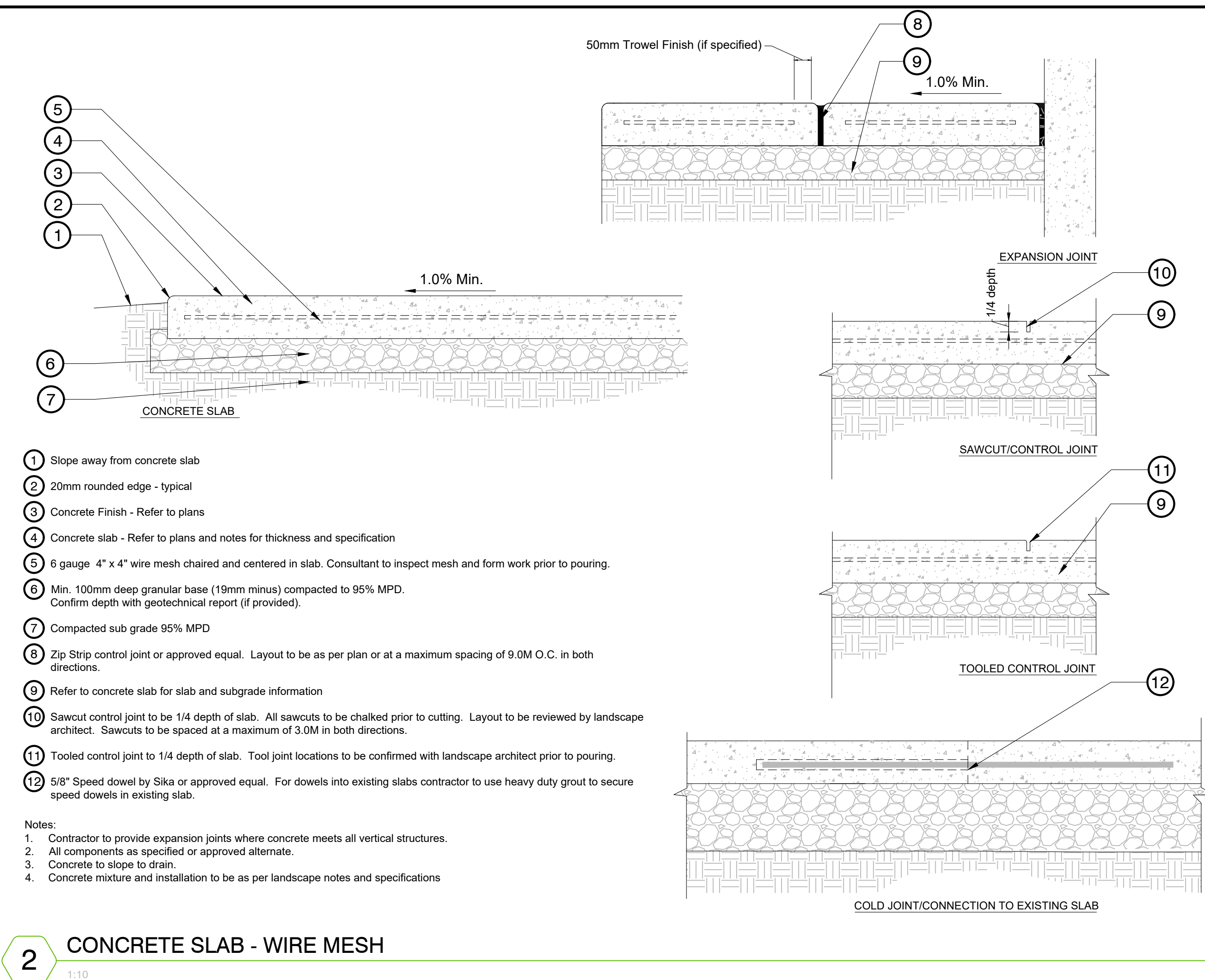
Drawing #:
LS-01



- 1 Promenade deck drain with perforated stainless steel extension
- 2 100mm concrete slab install as per specifications
- 3 20mm rounded edge typ. when adjacent to softscape, refer to drawings
- 4 Slope adjacent softscape away from concrete typ. refer to drawings.
- 5 Asphalt impregnated fiberboard along any vertical surface to be installed below top of concrete pathway with removable plastic mould strip. Resulting joint to be sealed with gray joint filler/sealer.
- 6 Planter, parapet or building wall
- 7 6 gauge 4" x 4" wire mesh chaired and centered in slab. Consultant to inspect mesh and form work prior to pouring.
- 8 100mm min of 95% MPD compacted aggregate base course under concrete slab typ.
- 9 Nilix WD-15 drain mat, or as specified by Architect
- 10 Rigid insulation by Architect
- 11 Waterproof membrane with protection
- 12 Structural Slab by others

1 CONCRETE SLAB - OVER PARKADE

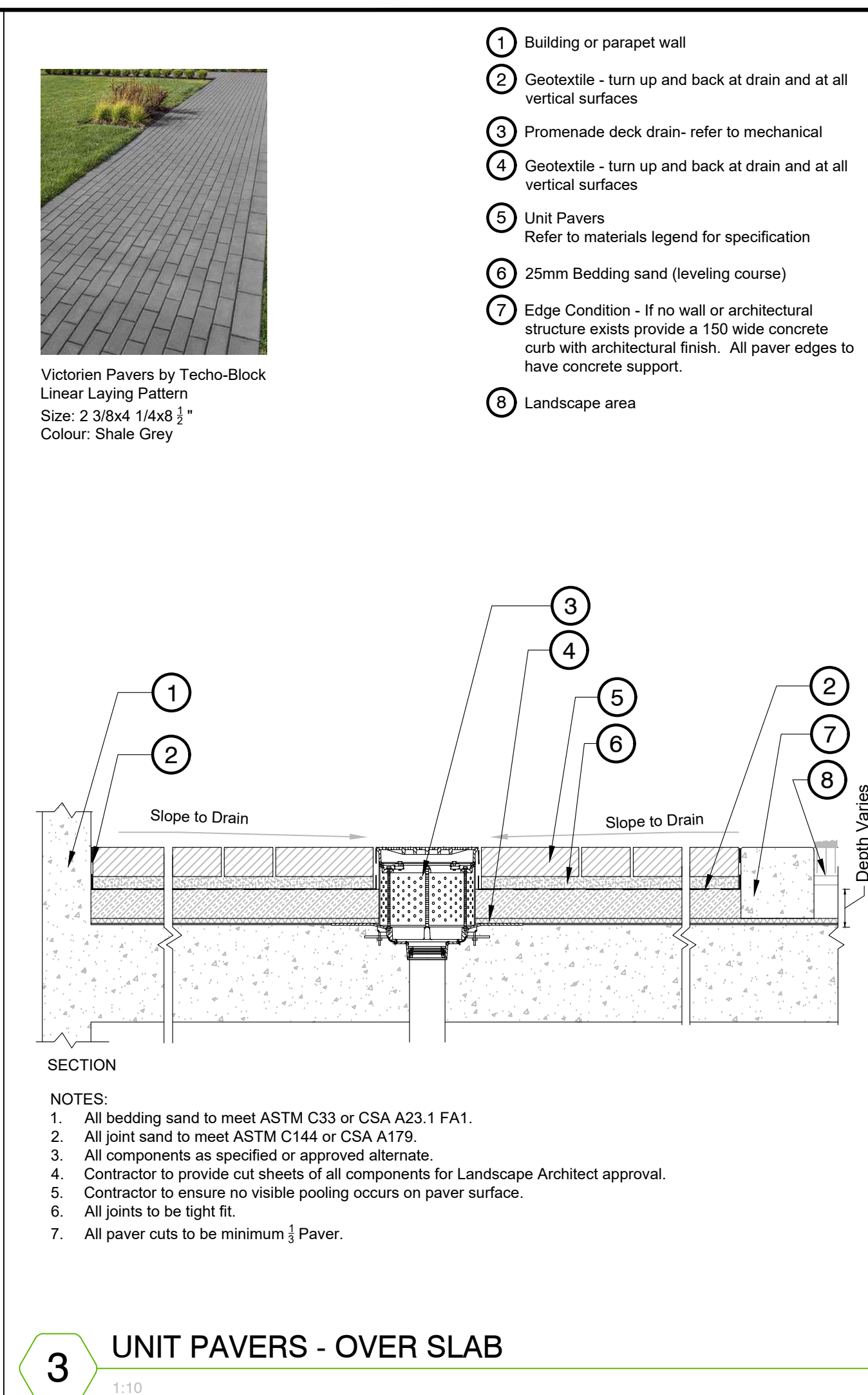
1:10



- 1 Slope away from concrete slab
- 2 20mm rounded edge - typical
- 3 Concrete Finish - Refer to plans
- 4 Concrete slab - Refer to plans and notes for thickness and specification
- 5 6 gauge 4" x 4" wire mesh chaired and centered in slab. Consultant to inspect mesh and form work prior to pouring.
- 6 Min. 100mm deep granular base (19mm minus) compacted to 95% MPD. Confirm depth with geotechnical report (if provided).
- 7 Compacted sub grade 95% MPD
- 8 Zip Strip control joint or approved equal. Layout to be as per plan or at a maximum spacing of 9.0M O.C. in both directions.
- 9 Refer to concrete slab for slab and subgrade information
- 10 Sawcut control joint to be 1/4 depth of slab. All sawcuts to be chalked prior to cutting. Layout to be reviewed by landscape architect. Sawcuts to be spaced at a maximum of 3.0M in both directions.
- 11 Tooled control joint to 1/4 depth of slab. Tool joint locations to be confirmed with landscape architect prior to pouring.
- 12 5/8" Speed dowel by Sika or approved equal. For dowels into existing slabs contractor to use heavy duty grout to secure speed dowels in existing slab.

2 CONCRETE SLAB - WIRE MESH

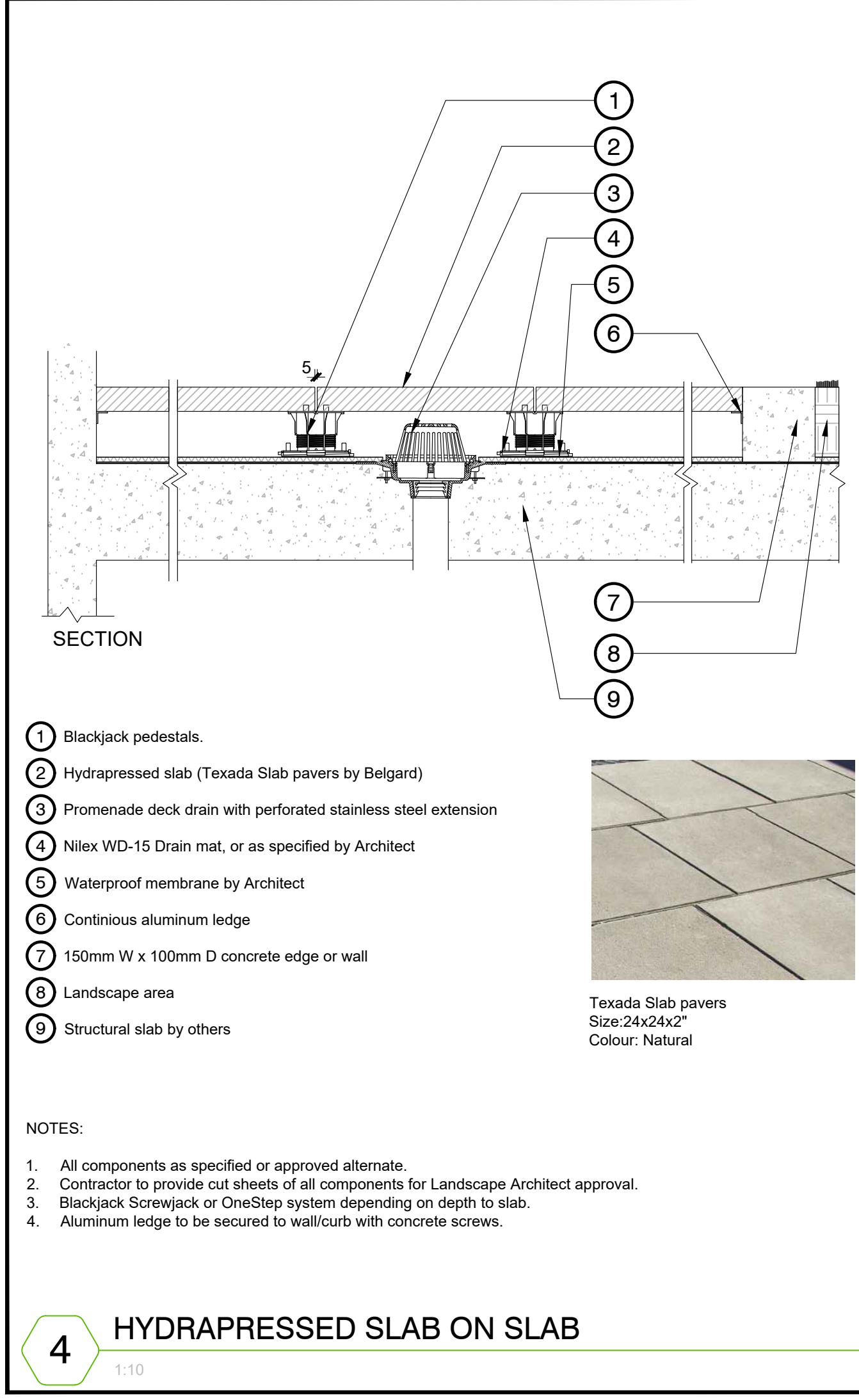
1:10



- 1 Building or parapet wall
- 2 Geotextile - turn up and back at drain and at all vertical surfaces
- 3 Promenade deck drain- refer to mechanical
- 4 Geotextile - turn up and back at drain and at all vertical surfaces
- 5 Unit Pavers Refer to materials legend for specification
- 6 25mm Bedding sand (leveling course)
- 7 Edge Condition - If no wall or architectural structure exists provide a 150 wide concrete curb with architectural finish. All paver edges to have concrete support.
- 8 Landscape area

3 UNIT PAVERS - OVER SLAB

1:10



- 1 Blackjack pedestals.
- 2 Hydrapressed slab (Texada Slab pavers by Belgard)
- 3 Promenade deck drain with perforated stainless steel extension
- 4 Nilix WD-15 Drain mat, or as specified by Architect
- 5 Waterproof membrane by Architect
- 6 Continuous aluminum ledge
- 7 150mm W x 100mm D concrete edge or wall
- 8 Landscape area
- 9 Structural slab by others

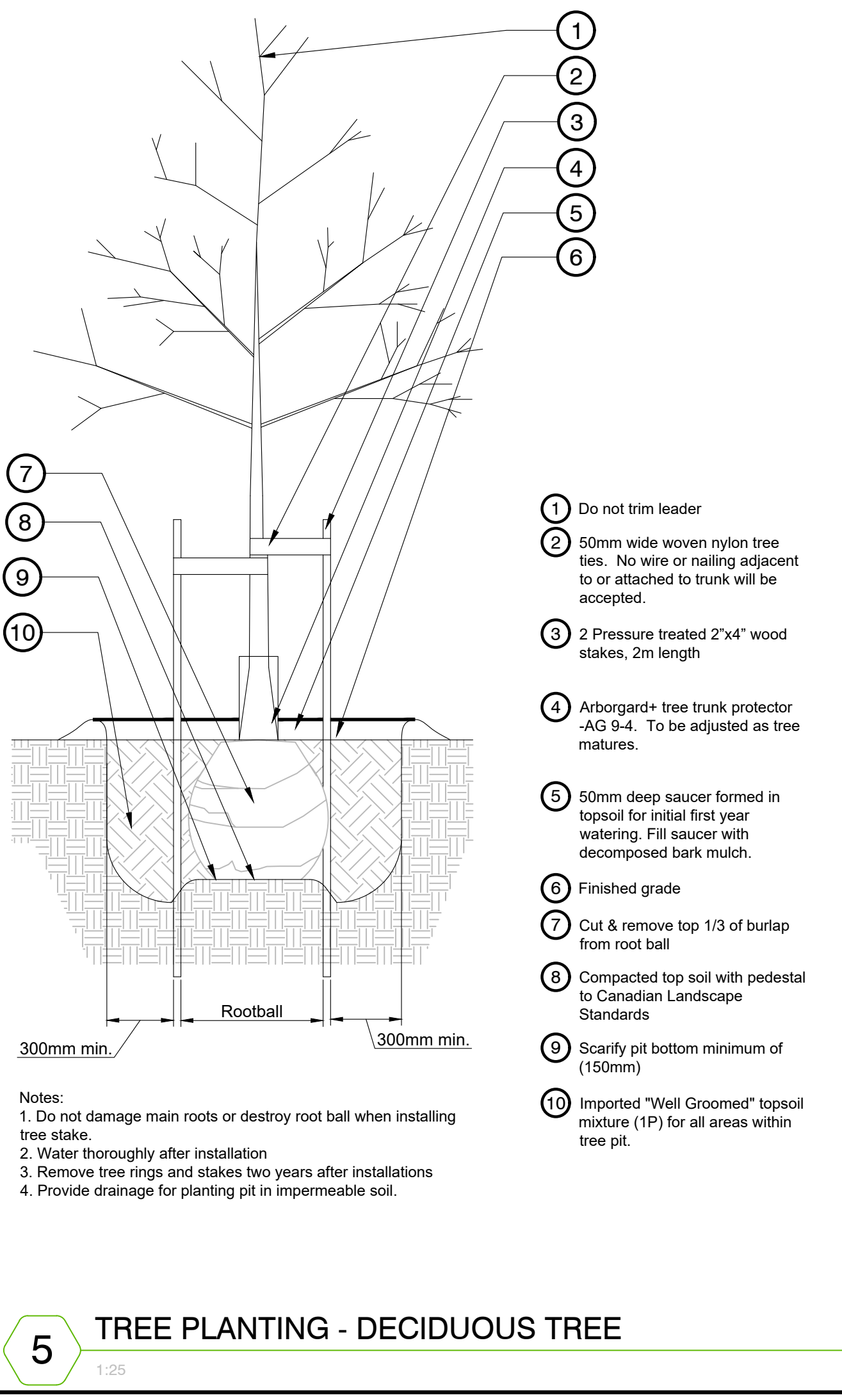


Texada Slab pavers
Size: 24x24x2"
Colour: Natural

- NOTES:
1. All components as specified or approved alternate.
 2. Contractor to provide cut sheets of all components for Landscape Architect approval.
 3. Blackjack Screwjack or OneStep system depending on depth to slab.
 4. Aluminum ledge to be secured to wall/curb with concrete screws.

4 HYDRAPRESSED SLAB ON SLAB

1:10

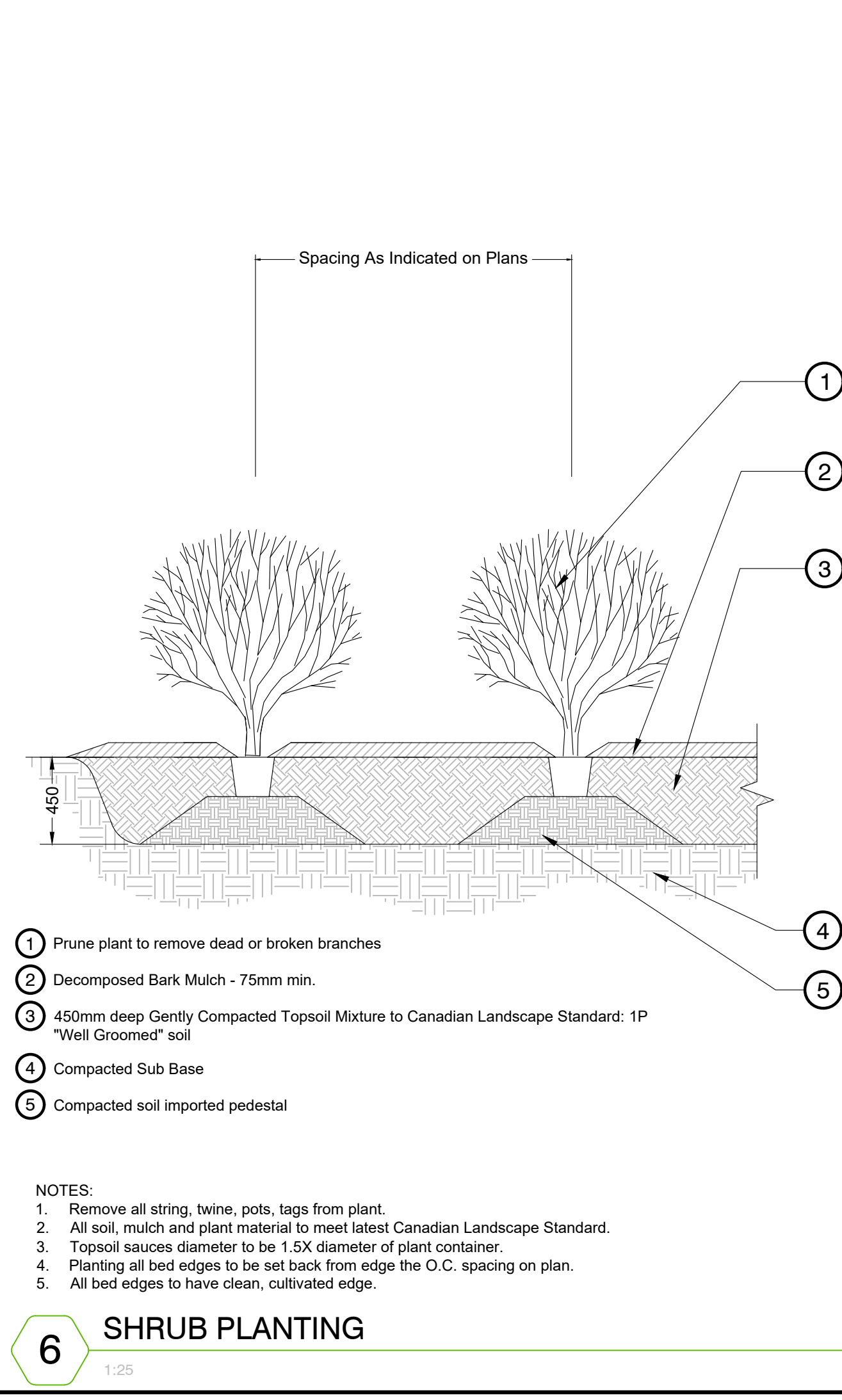


- 1 Do not trim leader
- 2 50mm wide woven nylon tree ties. No wire or nailing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Arborgard+ tree trunk protector -AG 9-4. To be adjusted as tree matures.
- 5 50mm deep saucer formed in topsoil for initial first year watering. Fill saucer with decomposed bark mulch.
- 6 Finished grade
- 7 Cut & remove top 1/3 of burlap from root ball
- 8 Compacted top soil with pedestal to Canadian Landscape Standards
- 9 Scarify pit bottom minimum of (150mm)
- 10 Imported "Well Groomed" topsoil mixture (1P) for all areas within tree pit.

- NOTES:
1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation
 3. Remove tree rings and stakes two years after installations
 4. Provide drainage for planting pit in impermeable soil.

5 TREE PLANTING - DECIDUOUS TREE

1:25

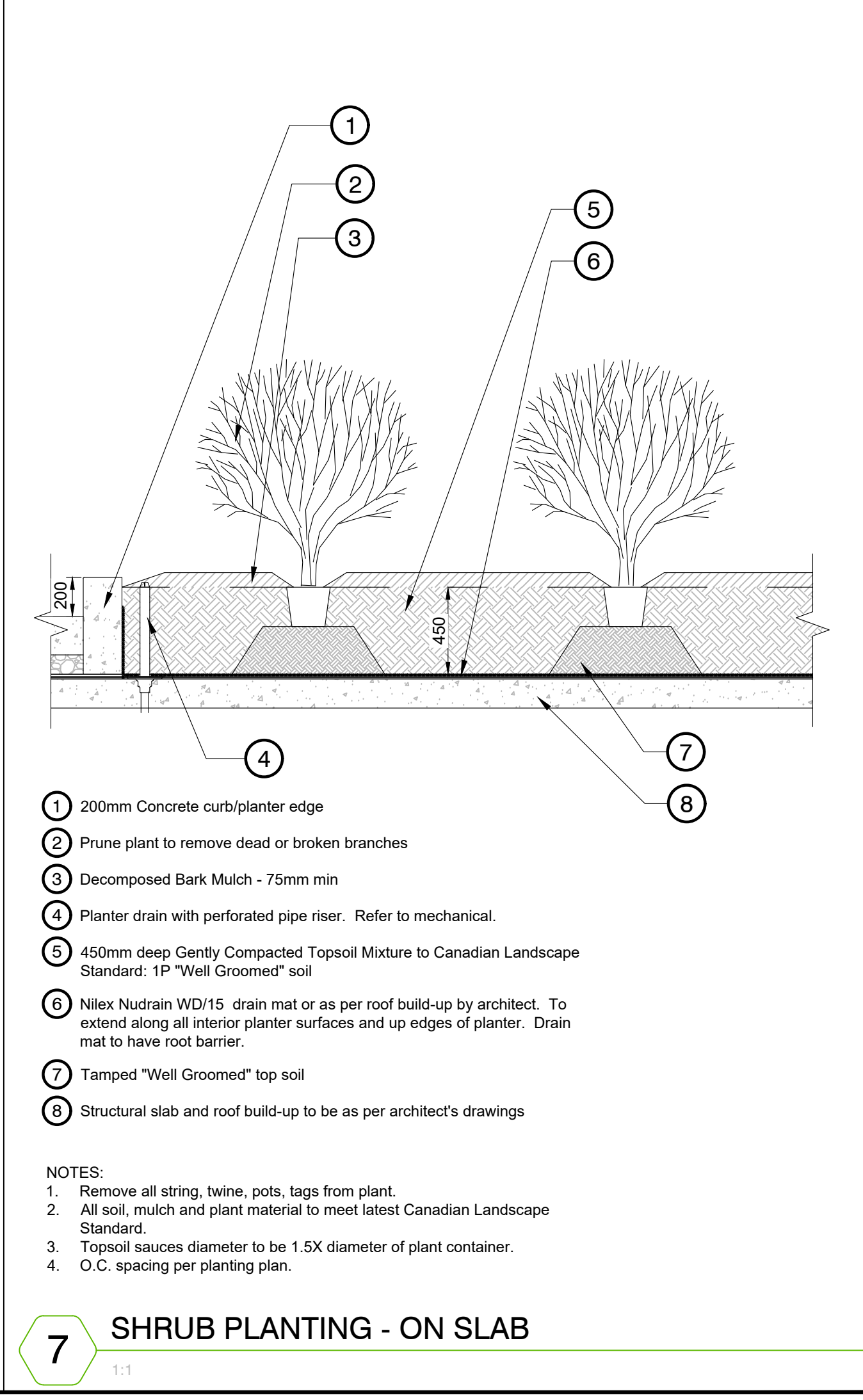


- 1 Prune plant to remove dead or broken branches
- 2 Decomposed Bark Mulch - 75mm min.
- 3 450mm deep Gently Compacted Topsoil Mixture to Canadian Landscape Standard: 1P "Well Groomed" soil
- 4 Compacted Sub Base
- 5 Compacted soil imported pedestal

- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. Planting all bed edges to be set back from edge the O.C. spacing on plan.
 5. All bed edges to have clean, cultivated edge.

6 SHRUB PLANTING

1:25



- 1 200mm Concrete curb/planter edge
- 2 Prune plant to remove dead or broken branches
- 3 Decomposed Bark Mulch - 75mm min
- 4 Planter drain with perforated pipe riser. Refer to mechanical.
- 5 450mm deep Gently Compacted Topsoil Mixture to Canadian Landscape Standard: 1P "Well Groomed" soil
- 6 Nilix Nudrain WD/15 drain mat or as per roof build-up by architect. To extend along all interior planter surfaces and up edges of planter. Drain mat to have root barrier.
- 7 Tamped "Well Groomed" top soil
- 8 Structural slab and roof build-up to be as per architect's drawings

- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

7 SHRUB PLANTING - ON SLAB

1:1

No.	By:	Description	Date
14	DY	Issued for DP Amendment	Nov 02, 2023
13	NR	Re-issued for Building Permit	Jan 13, 2023
12	NR	Issued for Building Permit	Nov 30, 2022
11	DY	Re-Issue for Re-zoning	Feb 03, 2022
10	DY	Re-Issue for Re-zoning	Dec 21, 2021
9	ET	Re-Issue for Re-zoning	Dec 16, 2021
8	DY	Re-Issue for DP	Nov 22, 2021
7	DY	Issue for Development Permit	Oct 29, 2021
6	DJ	Issue for Development Permit	July 20, 2021
5	DJ	Issue for Development Permit	July 09, 2021
4	DR	Issue for Development Permit	Mar 31, 2020
3	DR	Issue for Development Permit	Mar 26, 2020
2	DJ	Issue for Re-zoning	Mar 13, 2020
1	DJ	Issue for Development Permit	Dec 18, 2019

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project:
149 WEST 3RD STREET
MIXED-USE DEVELOPMENT

Location:
141-155 West 3rd Street,
North Vancouver, BC, V7M 1E7

Drawn: AL NR	Stamp:
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Checked: DJ	Original Sheet Size: 24"x36"
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Approved: DJ	Scale: As Shown
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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2019-50_149 WEST THIRD\DWGS\SHEETS\LD-01 DETAILS.DWG



PLATFORM SEATING BY EQUIPARC

Type: EP 1792-WC-P-RB-T3
 Size: 1765mm X 1112mm X 727mm
 Frame: 6mm (1/4") and 13mm (1/2") aluminum laser cuts and flats and 48mm (1,90") aluminum tube
 Support: 10mm (3/8") and 13mm (1/2") hot-dipped galvanized steel laser cuts and flats
 Finish: Polyester powder coat
 Slats: IPE/JAT: 25mm X 64mm (1" X 2 1/2")
 DFP/Plastic: 38mm X 64mm (1 1/2" X 2 1/2") (Walnut recycled plastic)

Fasteners: Stainless steel
 This bench must be anchored.

Manufacturer: EQUIPARC 1 800 363-9264
 info@equiparc.com
 1001 James-Brodie Street
 Saint-Jean-sur-Richelieu
 J2X 0C1, QC, Canada

Equiparc

EP 2820-4 Table

SPECIFICATIONS
 Frame: Aluminum components
 Finish: Polyester powder coated
 Slats: 38mm X 64mm (1 1/2" X 2 1/2")
 Fasteners: Stainless steel

COVERINGS
 YRPU Grey recycled plastic | DFP Select Douglas fir
 SRPU Sand recycled plastic | JAT Jatoba
 CRPU Olive recycled plastic | IPE Ipe
 CRPU Cedar recycled plastic | HWA Select hardwood
 WRPU Walnut recycled plastic

OPTION
 PARA Modified for parasol

Depth: 698mm (27 1/2") Length: 698mm (27 1/2") Height: 762mm (30") Weight: 25 kg (55 lbs)

This table must be anchored.
 Our warranty applies when our product is properly assembled and anchored.

CONCRETE SLAB AND ANCHORS
 OS-HOI 1 slab 914mm X 914mm X 152mm (36" X 36" X 6")
 QAV 4 drop-in anchors with stainless steel hex head bolts
 HVA 4 drop-in anchors with stainless steel thruproof bolts
 4 adhesive anchors with stainless steel threaded rods and thruproof nuts

Equiparc

EP 1793 Bistro chair

SPECIFICATIONS
 Frame: 38mm (1 1/2"), 5mm (3/16"), 6mm (1/4"), 10mm (3/8") steel laser cuts
 Finish: Zinc rich primer and polyester powder coated

Length: 582mm (23") Depth: 455mm (18") Height: 853mm (33 1/2") Weight: 20 kg (45 lb)

OPTIONS
 WA Without anchoring plates (For restricted areas only)

This chair must be anchored.
 Our warranty applies when our product is properly installed and anchored.

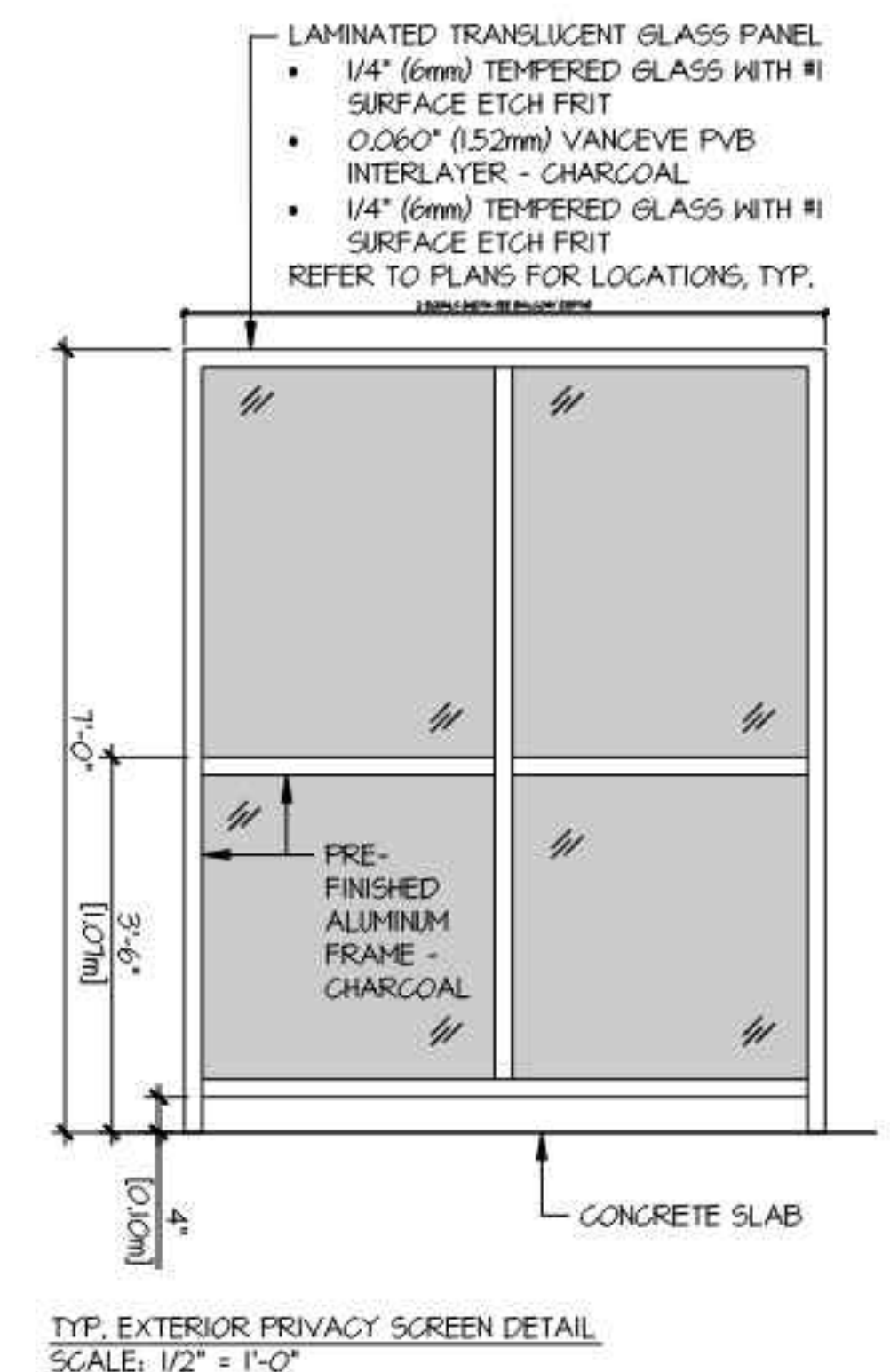
CONCRETE SLABS AND ANCHORS
 1 slab 914mm X 914mm X 152mm (36" X 36" X 6")
 OS-HOI 4 drop-in anchors with stainless steel hex head bolts
 QAV 4 drop-in anchors with stainless steel thruproof bolts

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 DESIGN | DURABILITY | EXPERTISE 1000 James-Brodie Street, Saint-Jean-sur-Richelieu, Québec, J2X 0C1, Canada
 Tel: 800-363-9264 Fax: 819-882-0024 www.equiparc.com info@equiparc.com



PLANTER 48xL
 Model: Object Outdoors Partition
 Size: 72"L x 20"W x 24"H, 48"L x 24"W x 24"H, refer to plan
 Material: Hand crafted with 1/8" thick commercial grade aluminum & premium powder coat finish

PLANTER Cube
 Model: Object Outdoors Partition
 Size: 20"L x 20"W x 24"H, refer to plan
 Material: Hand crafted with 1/8" thick commercial grade aluminum & premium powder coat finish



1 EQUIPARC BENCH
 1:10

2 EQUIPARC TABLE AND CHAIRS
 1:10

3 OBJECT OUTDOORS PLANTER
 1:1

4 PRIVACY SCREEN AS PER ARCHITECTURE
 NTS



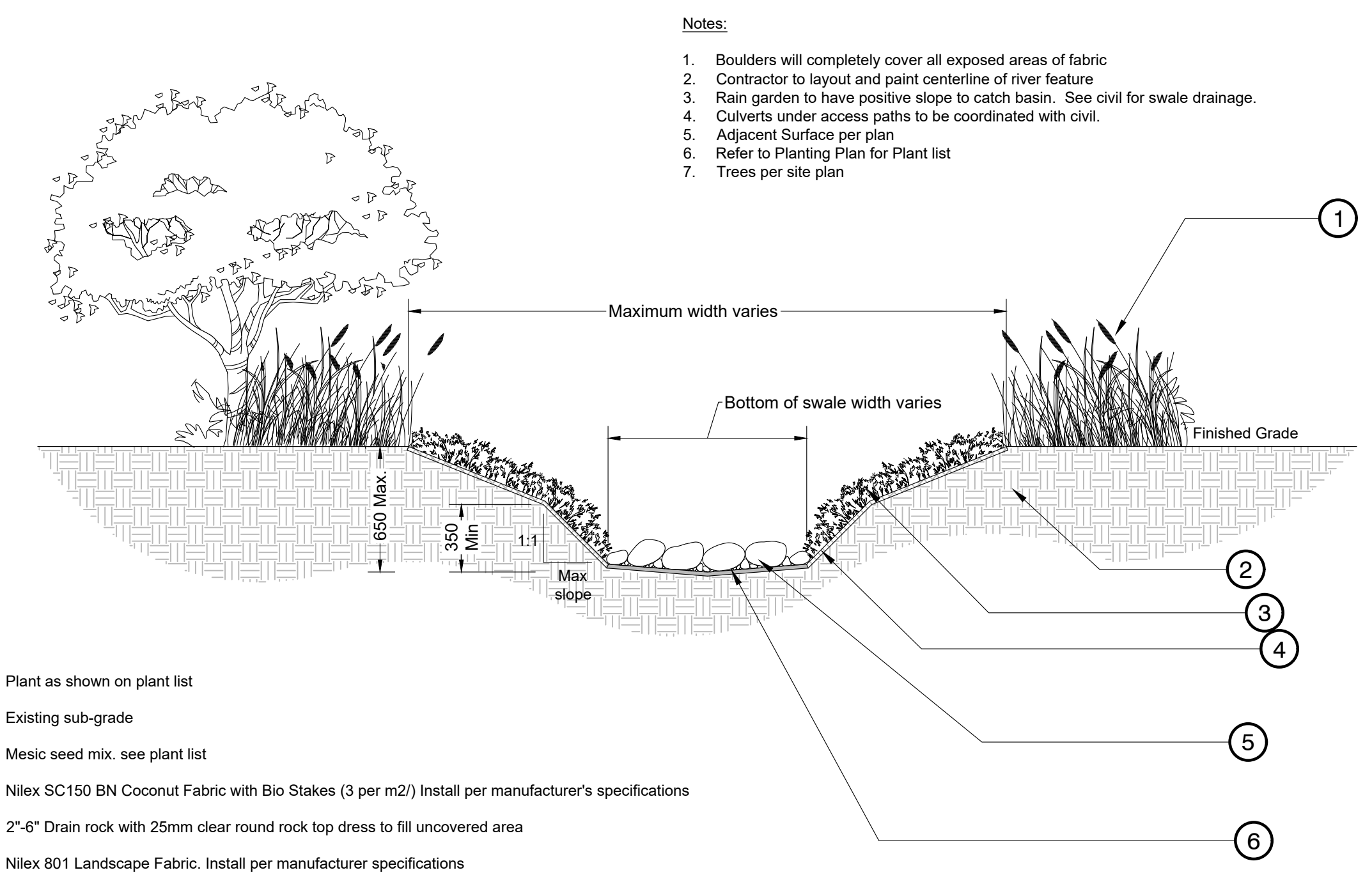
Specifications	Material
Material	All 304 Stainless Steel
Cooking Surface	540 sq inches (36" x 48")
Primary Burner BTUs	60,000
Secondary Burner BTUs	60,000
Cut Out Dimensions	32" x 30" (24" x 24")

Supplier: Fire Magic
 Product name: A540I



OUTDOOR KITCHEN SINK AND GRILL CABINET SET
 Model: NewAge Products 65087
 Material: Stainless Steel
 Size: Sink Cabinet: 32" W x 23" D x 34.75" H
 Bar Cabinet: 32" W x 23" D x 34.5" H
 Insert Grill Cabinet: 33" W x 23" D x 34.75" H
 Supplier: Lowe's 1-888-985-6937 or approved equal

5 OUTDOOR KITCHEN
 NTS



- ① Plant as shown on plant list
- ② Existing sub-grade
- ③ Mesic seed mix, see plant list
- ④ Nixex SC150 BN Coconut Fabric with Bio Stakes (3 per m2) Install per manufacturer's specifications
- ⑤ 2'-6" Drain rock with 25mm clear round rock top dress to fill uncovered area
- ⑥ Nixex 801 Landscape Fabric. Install per manufacturer specifications

6 RAIN GARDEN WITH DRAIN ROCK
 1:25

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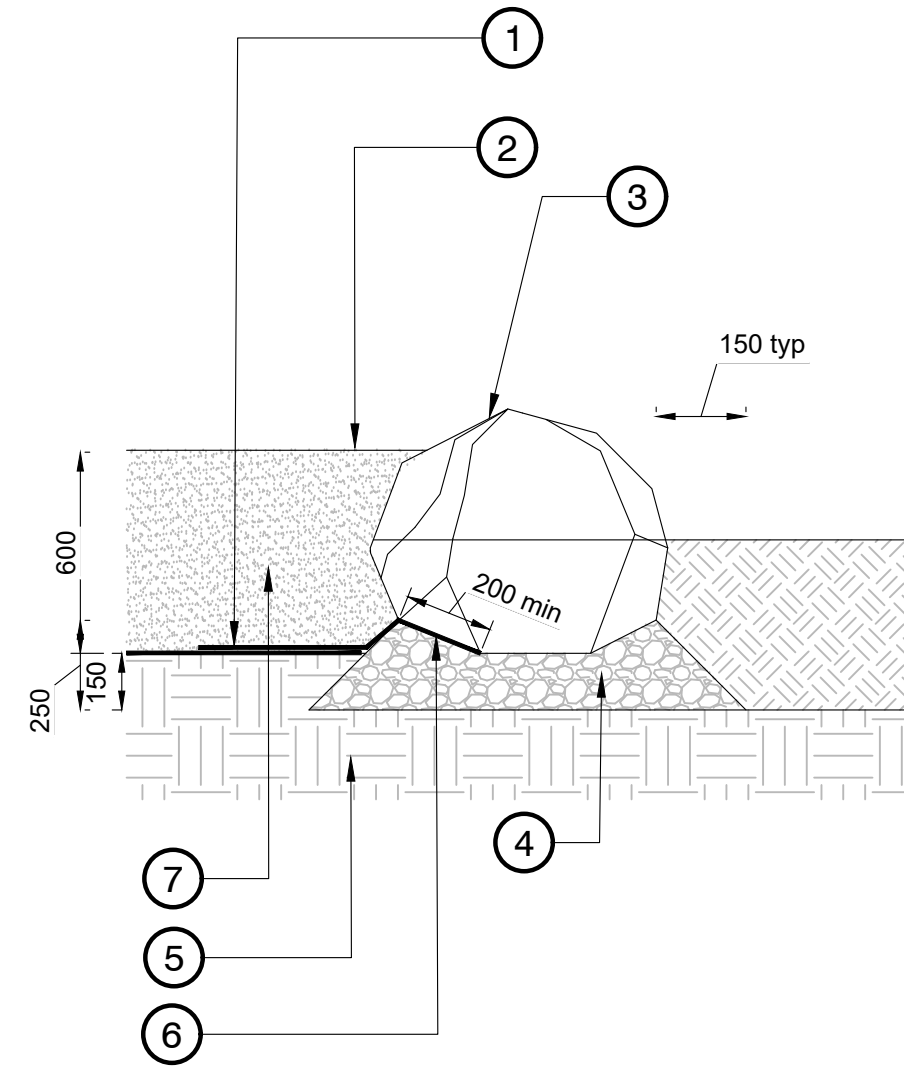
No.	By:	Description	Date

Project:
 149 WEST 3RD STREET
 MIXED-USE DEVELOPMENT

Location:
 141-155 West 3rd Street,
 North Vancouver, BC, V7M 1E7

Drawn: AL	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

- 1 Landscape Fabric overlaps 450mm min.
- 2 Adjacent surface varies, refer to plan
- 3 Basalt Boulder by Northwest Landscape & Stone Supply. Refer to plan for Sizing
- 4 150mm granular base (19mm minus) compacted to 95% MPD
- 5 Subgrade compacted to 95% MPD
- 6 Landscape Fabric overlap with boulder 200mm - Typ.
- 7 Sand

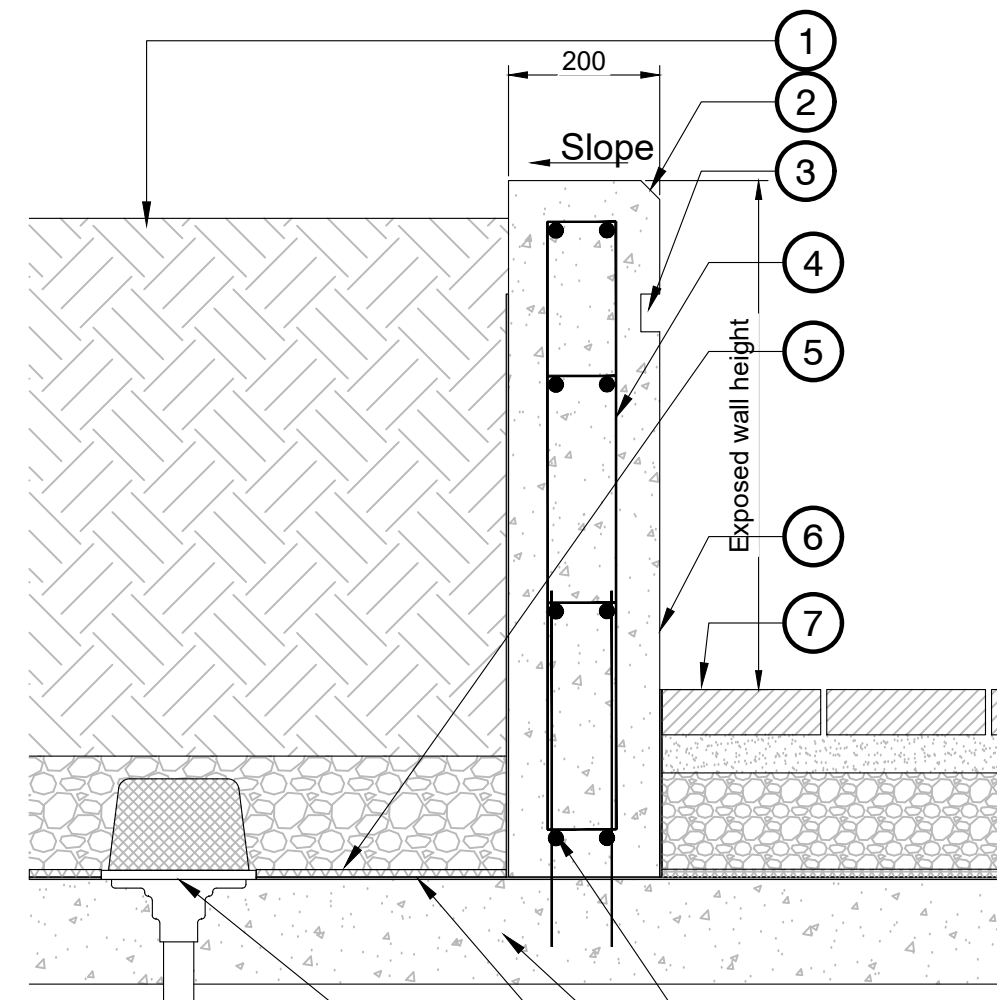


Notes:

- 1. Boulders to be installed by the Contractor.
- 2. Set boulders 1/3 to 1/2 a below grade.
- 3. No cracked or broken edges shall be exposed above finish grade.
- 4. Mortar between consecutive boulders. Minimize acute upward facing angles to ensure no entrapment. Landscape architect to review and approve boulder placement prior to application of mortar.
- 5. Refer to plans and sections for size and location of boulders.
- 6. Boulders may require stacking to meet depth requirements.

1 BOULDER

1:20



- 1 Growing medium to BC Landscape Standard, latest edition
- 2 25mm chamfer
- 3 25x50mm reveal
- 4 10M rebar @ 300mm O.C. each way
- 5 Nilix NuDrain PD-20 drain mat
- 6 Concrete wall, light sandblast finish
- 7 Finished grade, refer to site plan
- 8 10M dowels
- 9 Structureal slab, refer to Architects drawing
- 10 Waterproof membrane, by Architect
- 11 Planter area drain. WADE 3200-PA or approved alternate

NOTES:

- 1. Coordinate wall tie in to slab with Architect and Structural Engineer.
- 2. All walls over 1.2m in height will need to be Structurally Engineered.
- 3. All planters to be connected to Slab drainage system.

2 CONCRETE RAISED PLANTER

1:10

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 VZ Project #: **DP2019-50**
 Drawing #: **LD-03**