

# 133 East 4th

## Issue - ISSUE 05 - DP RESUBMISSION

### Thursday, May 27, 2021

Civic Address:  
133 E 4th Street, North Vancouver, British Columbia

#### Architectural Drawing Issues

2020-02-13	Issue 1 - Preliminary Inquiry
2020-09-01	Issue 2 - RZ DP Submission
2020-11-27	Issue 3 - ADP Submission
2021-05-19	Issue 4 - ITC Presentation

Note: Drawings only to scale when printed on 24x36 sheets



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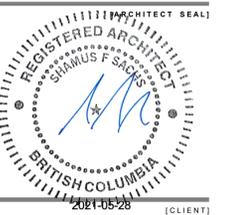
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[PROJECT TEAM]



Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

Cover

[PROJECT]

20507

[SCALE]

Not To Scale

[DATE]

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

[DRAWING]

# A-0.000

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Project Name: 133 E4th St, North Vancouver, BC  
Client: Three Shores Development

Project: 20507  
Date: **May 27/2021**  
Issue: DP Resubmission

**PROJECT DATA - DP RESUBMISSION** 6-STOREY PURPOSE BUILT RENTAL BUILDING

EXISTING ADDRESS  
PROPOSED ADDRESS  
LEGAL DESCRIPTION

PROJECT ARCHITECT: Integra Architecture  
PROJECT OWNER: Three Shores Development  
OCP LAND USE DESIGNATION: Residential Level 5: Medium Density Apartment R5  
EXISTING ZONING: RM-1  
PROPOSED ZONING: CD

<b>SITE AREA :</b>				
Gross Site Area		5,996 sq.ft.	557.01 m2	
Road Dedications	TBC	- sq.ft.	- m2	
Net Site Area		5,996 sq.ft.	557.01 m2	
Max FSR (Gross Site Area)	1.60 OCP Density	9,593 sq.ft.	891.22 m2	
Max Bonus FSR	1.00 With Public Benefits			
Max FSR (Gross Site Area)	<b>2.60 Purpose Built Rental Housing</b>	<b>15,589 sq.ft.</b>	<b>1,448.2 m2</b>	
Total Proposed Gross Floor Area		20,148 sq.ft.	1,871.8 m2	
Total Proposed Exclusions		4,837 sq.ft.	449.3 m2	
<b>Proposed FSR (Gross site area)</b>	<b>2.55</b>	<b>15,311 sq.ft.</b>	<b>1,422.5 m2</b>	
Max. Site Coverage	50%	2,997.85 sq.ft.	278.51 m2	
<b>Lot Coverage</b>	<b>51%</b>	<b>3,031 sq.ft.</b>	<b>281.61 m2</b>	

UNIT SUMMARY:														
Unit Type	P1	1st	2nd	3rd	4th	5th	6th	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m2)	%	Unit Mix
A1 - Studio								0	0	-		0.0	0.0%	0% Studio
B1 - 1Bed		1	1	1	1	1	1	6	398.5	2,391.06		222.1	26.1%	52.2% 1 Bed
B2 - 1Bed		1	1	1	1	1	1	6	398.5	2,391.06	6	222.1	26.1%	
C1 - 2Bed			1	1	1	1	1	5	689.6	3,447.80		320.3	21.7%	2 Bed
D1 - 3Bed		1	1	1	1	1	1	6	730.6	4,383.6		407.2	26.1%	26.1% 3 Bed
<b>Total</b>		<b>3</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>23</b>		<b>12,614</b>		<b>1,171.8</b>	<b>100.0%</b>	<b>100%</b>

FSR CALCULATION:									
Exclusion Summary	Min.	No Units	Stair 01			per Unit	Total Exclusions		Comments
Access to Outdoor Amenity							0.00 sq.ft.	0.00 m2	Active Design Guidelines
Adaptable Units Level 2 ( 20 sf / unit )	0	6				20.0	120.00 sq.ft.	11.15 m2	25.0% Units AD Level 2
Indoor Amenity min 2% / 15sf unit	345	23	Max 5% excluded =	1007.40	sq.ft.	24.1	554.41 sq.ft.	51.53 m2	Min 15 SF / Unit
Day Care							2550.51 sq.ft.	237.04 m2	Active Design Guidelines
Bike Store							sq.ft.	0.00 m2	
Stairs (Active Design) - 8% max			2056.00	8% of GFA	1611.842		1611.84 sq.ft.	149.74 m2	8.0% (Floor 1-6)
<b>Total Exclusions From FSR</b>							<b>4,836.8 sq.ft.</b>	<b>449.35 m2</b>	

Gross Floor Area	Unit Area	Common Area	Total GFA	Efficiency L1 - L6
Gross Area - P1	0.00 sq.ft.	224.67 sq.ft.	2,775.18 sq.ft.	258 m2 0.0%
Gross Area - 1st Floor	1,527.64 sq.ft.	1,503.65 sq.ft.	3,031.29 sq.ft.	282 m2 50.4%
Gross Area - 2nd Floor	2,217.01 sq.ft.	651.30 sq.ft.	2,868.31 sq.ft.	266 m2 77.3%
Gross Area - 3rd Floor	2,217.01 sq.ft.	651.30 sq.ft.	2,868.31 sq.ft.	266 m2 77.3%
Gross Area - 4th Floor	2,217.01 sq.ft.	651.30 sq.ft.	2,868.31 sq.ft.	266 m2 77.3%
Gross Area - 5th Floor	2,217.01 sq.ft.	651.30 sq.ft.	2,868.31 sq.ft.	266 m2 77.3%
Gross Area - 6th Floor	2,217.01 sq.ft.	651.30 sq.ft.	2,868.31 sq.ft.	266 m2 77.3%
Gross Area - Roof	0.00 sq.ft.	0.00 sq.ft.	0.00 sq.ft.	- m2 0.0%
<b>Total Gross Area</b>	<b>12,613 sq.ft.</b>	<b>4,984.8</b>	<b>20,148.0 sq.ft.</b>	<b>1,872 m2 Overall: 72.6%</b>

PARKING SPACES:			
Minimum Parking Required	23 units @	0.50 space/unit	12 spaces
Visitor Parking Required	23 units @	0.10 space/unit	2 spaces inclusive of required parking
Parking Reduction	0%		0.0 spaces
Total Parking Required			14 spaces
<b>Total Parking Provided</b>			<b>2 spaces</b>
Disabled Parking Required:			2 spaces inclusive of required parking
Level 1 - Adaptable Units		25 - 50 Level 1 AD Units	0 spaces
Level 2 / 3 - Adaptable Units	0	1 - 25 Level 2 AD Units	2 spaces
<b>Disabled Parking Provided:</b>			<b>0 space inclusive of required parking</b>
Max. Small Cars	35% of required spaces		1 spaces max
<b>Provided Small Cars</b>	<b>0% of provided spaces</b>		<b>0 spaces</b>

BICYCLE SPACES:			
Required Secure Bicycle Parking	23 units	1.5 spaces/unit	35 spaces long term
<b>Provided Secure Bicycle Parking</b>	<b>23 units</b>	<b>1.5 spaces/unit</b>	<b>35 spaces long term</b>
Max vertical parking Spaces		35% max	0 spaces long term
Required Short Term Bicycle Parking			0 spaces short term
<b>Provided Short Term Bicycle Parking</b>			<b>6 spaces short term</b>
Parkade not to exceed 1m (3.3 ft.) above average finished grade along perimeter of structure DOES NOT COMPLY			
			<b>41 spaces total bicycle spaces provided</b>

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed  
Note 2: All areas are approximate and are for zoning purposes only  
Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls  
Note 4: Dedications and setbacks subject to City of North Vancouver approval

PROJECT SUMMARY:					
ZONING EXISTING	REQUIRED / PERMITTED		PROPOSED		VARIANCE
OCP LAND USE DESIGNATION - Medium Density Apartment R5	Residential Level 5				NO
SITE AREA	5,996 sq.ft.	557 m2	5,996 sq.ft.	557 m2	NO
UNIT NUMBER	not specified	not specified	23		NO
OCP DENSITY ( w/ exclusions ) Purpose Built Rental Housing	1.6 + 1.0 FSR	1,448 m2	2.55 FSR	1,422 m2	NO
SITE COVERAGE	50%	279 m2	51%	282 m2	YES
BUILDING HEIGHT - Storeys ( OCP Schedule 1)	6 Storeys (59.0 - 62.3 ft)		6 Storeys	(68.875 ft)	NO
BUILDING HEIGHT - Measured from Average Grade	59.0 - 62.3 ft	18.19 m	68.875 ft	20.993 m	YES
Average Finished Grade -	144.4 ft	44.00 m geodetic			
Geodetic Max. Allowed Height -	19 m	206.7 ft	63.00 m geodetic	205.088 ft	NO
Proposed Elevation			211.625 ft	64.503 m	YES
Building Height from Average Grade			68.875 ft	20.993 m	YES
FRONT YARD (E. 4th St)	20.00 ft	6.10 m	10.00 ft	3.05 m	YES
REAR YARD - EAST (Lane)	20.00 ft	6.10 m	16.75 ft	5.11 m	YES
INTERIOR SIDE YARD (West PL)	15.00 ft	4.57 m	9.00 ft	2.74 m	YES
INTERIOR SIDE YARD (East PL)	15.00 ft	4.57 m	5.00 ft	1.52 m	YES
PARKING SPACES Rental Housing	0.60 space/unit	14 spaces		2 spaces	YES
EV CHARGING STATIONS All Residential Parking Spaces	47 spaces	47 spaces		0 spaces	YES
BICYCLE SPACES	1.50 space/unit	35 Class A		36 Class A	NO
		6 Class B		6 Class B	NO

OUTDOOR AMENITY AREA						
Garden Plots Active Design Guidelines	2.2 m2 / 4 units	138.0 sq.ft.	12.7 m2	504.9 sq.ft.	46.9 m2	NO

PARKING DIMENSIONS (no column encroachments)	Width		Length		Height	
	m	ft.	m	ft.	m	ft.
Standard Cars	2.500	8.20	5.486	18.00	2.134	7.00
Small Cars	2.500	8.20	4.650	15.26	2.134	7.00
Disabled Parking	4.000	13.12	5.486	18.00	2.134	7.00
Additional width at walls	0.305	1.00				

MINIMUM AISLE	90 degrees		60 degrees		45 degrees	
	m	ft.	m	ft.	m	ft.
One-Way Traffic	6.700	21.98	5.280	17.32	3.860	12.66
Two-Way Traffic	6.700	21.98	6.096	20.00	6.096	20.00

GARBAGE (WEEKLY):

Multi-Family Residential	no. of units	Est. volume/unit	Total Volume	Container capacity	
Garbage	23 units	95 L	2185 L	2294 L (3 cu.yd.)	1 serviced twice/wk
NSRP Newprints	23 units	8.5 L	196 L	360 L (95 gal)	1
NSRP Mixed Papers	23 units	15 L	345 L	360 L (95 gal)	1
NSRP Mixed Containers	23 units	9 L	207 L	360 L (95 gal)	1
Cardboard	23 units	30 L	690 L	1529 L (2 cu.yd.)	0
Food Scraps	23 units	14 L	322 L	240 L (64 gal)	1

Multi-Family Residential	no. of units	Space/unit	Total Space	
Minimum space required	23 units	0.486 m2	11.2 m2	120.32 sq.ft. Min 11 m2
Max additional space required	23 units	0.486 m2	11 m2	
Max total space required	23 units	0.972 m2	22 m2	
Space proposed	23 units	0.972 m2	22 m2	121.14 sq.ft.

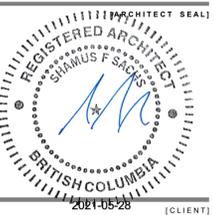


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Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

Project Statistics

20507 [PROJECT]

Not To Scale [SCALE]

Thursday, May 27, 2021 [DATE]

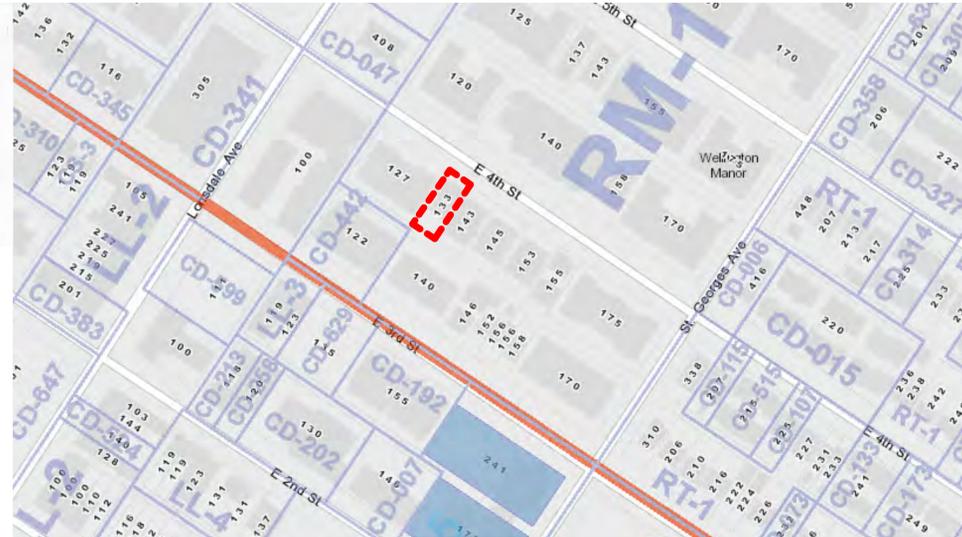
ISSUE 05 - DP RESUBMISSION [E]

[DRAWING]

**A-0.101**

**Legend**

- Property Zoning**
- Zoning Boundaries
  - Setback Arc
  - Zoning Special
  - Setback Line
  - Land Use Contracts
  - Land Use Contracts



**Legend**

- Property**
- Residential Apt Development Permit (Pending)
  - Duplex Development Permit
  - E3rd/Moodyville Development Permit
  - Duplex Development Permit (Pending)



**Legend**

- Property**
- 2014 OCP Land Use**
- 2014 OCP Maximum Height Limits (m)
  - 2014 OCP Special Study Areas
  - 2014 OCP Land Use
  - Residential Level 1
  - Residential Level 2
  - Residential Level 3
  - Residential Level 4A
  - Residential Level 4B
  - Residential Level 5
  - Residential Level 6
  - Mixed Use Level 1
  - Mixed Use Level 2
  - Mixed Use Level 3
  - Mixed Use Level 4A
  - Mixed Use Level 4B
  - Harbourside
  - Waterfront (Mixed Use)
  - Parks, Recreation & Open Space
  - School & Institutional
  - Commercial
  - Mixed Employment
  - Industrial

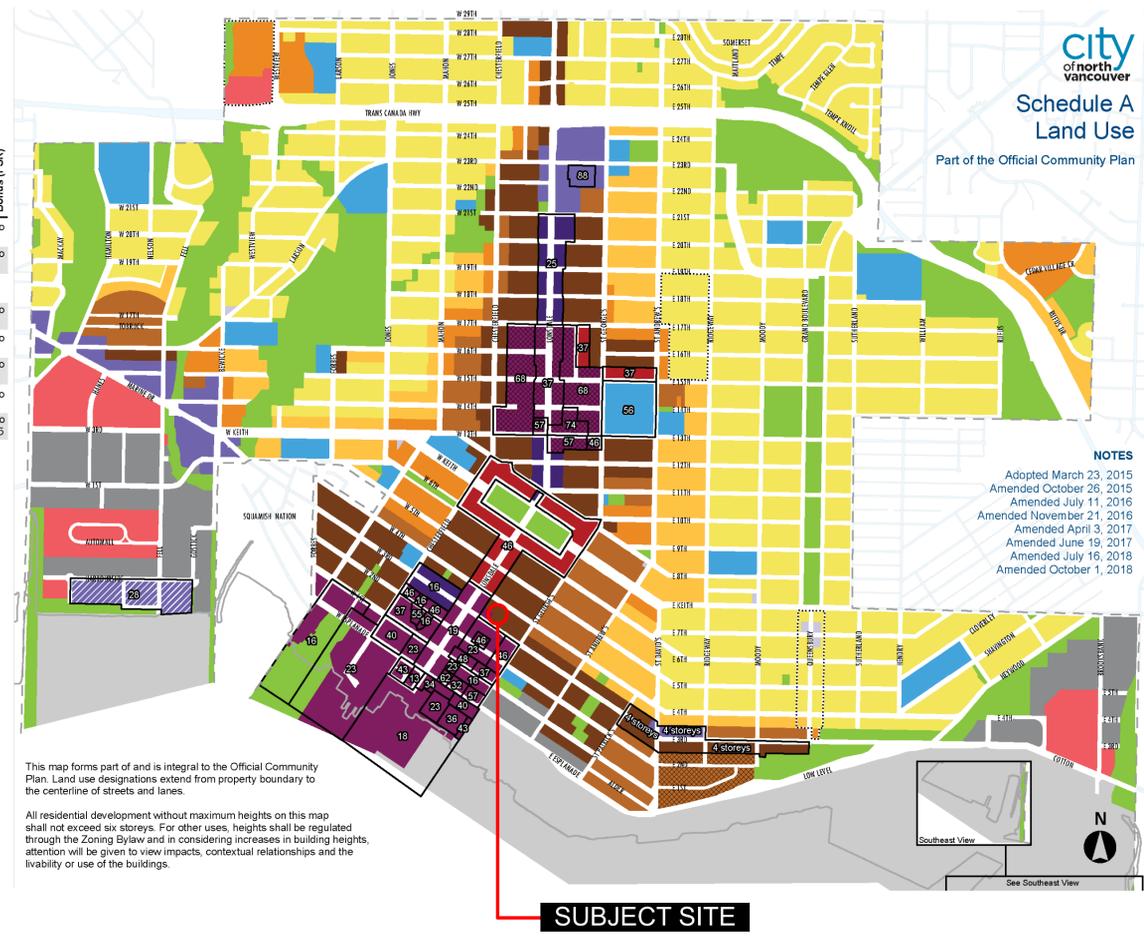


**Land Use Designation**  
This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Land Use Designation	OCF Density (FSR)
Residential Level 1 (Low Density)	0.5
Residential Level 2 (Low Density)	0.5
Residential Level 3 (Low Density)	0.75
Residential Level 4A (Medium Density)	1.0
Residential Level 4B (Medium Density)	1.25
Residential Level 5 (Medium Density)	1.6
Residential Level 6 (High Density)	2.3
Mixed Use Level 1 (Low Density)	1.0
Mixed Use Level 2 (Medium Density)	2.0
Mixed Use Level 3 (Medium Density)	2.3
Mixed Use Level 4A (High Density)	2.6
Mixed Use Level 4B (High Density)	3.0
Harbourside Waterfront (Mixed Use)	2.05
Parks, Recreation & Open Space	
School & Institutional	
Commercial	
Mixed Employment	
Industrial	
Maximum Building Heights in Metres	
Special Study Area	
City Boundary	

**Example Height Equivalencies**

Metres	Approx. Storeys
12-13	4
18-19	6
23-25	8
37	12
48	15
55-56	18
68	22
74	24
88	30



**OCP - MID-RISE APARTMENT MEDIUM DENSITY R5:**

- 1.6 FSR (MAX BONUS FSR 1.0)
- 1.0 FSR BONUS WITH PUBLIC BENEFITS:
  - 1) SECURE MARKET RENTAL HOUSING OR NON-MARKET RENTAL
  - 2) COMMUNITY AMENITY SPACE
- MAX HEIGHT 6 STOREY

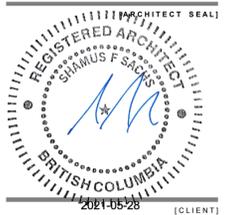
**APPLICABLE GUIDELINES:**

- 2018 DENSITY BONUS AND COMMUNITY BENEFITS POLICY
- ACTIVE DESIGN GUIDELINES
- ADAPTABLE DESIGN GUIDELINES
- SUSTAINABLE DESIGN GUIDELINES
- CPTED PRINCIPLES



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**Three Shores**

**133 East 4th**

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**Context - Zoning & OCP**

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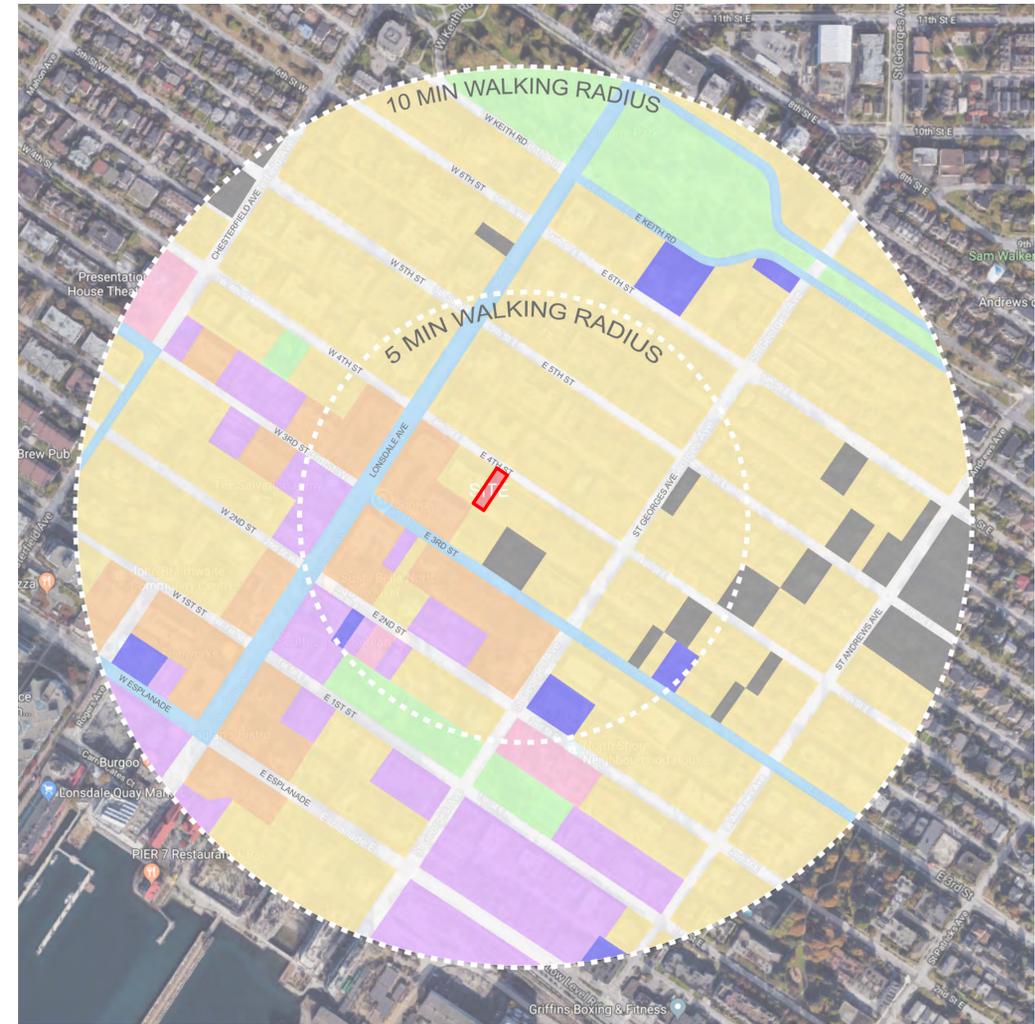
**A-0.310**



3D Aerial View Looking South East



3D Aerial View Looking North West



- PARKS
- TRANSIT ROUTE
- REZONING APPLICATION
- COMMUNITY BUILDINGS
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY RESIDENTIAL
- SINGLE-FAMILY RESIDENTIAL



View Along E 4th St Looking West



View Along E 4th St Looking East



View of Site from Lane



View Along Lane looking East



Elevation along E 4th St



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[PROJECT TEAM]



[CLIENT]

## Three Shores

[PROJECT]

## 133 East 4th

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## Context - Site Photos

20507

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[DRAWING]

# A-0.320



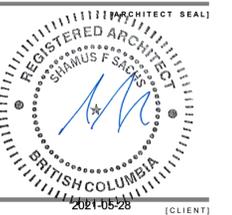
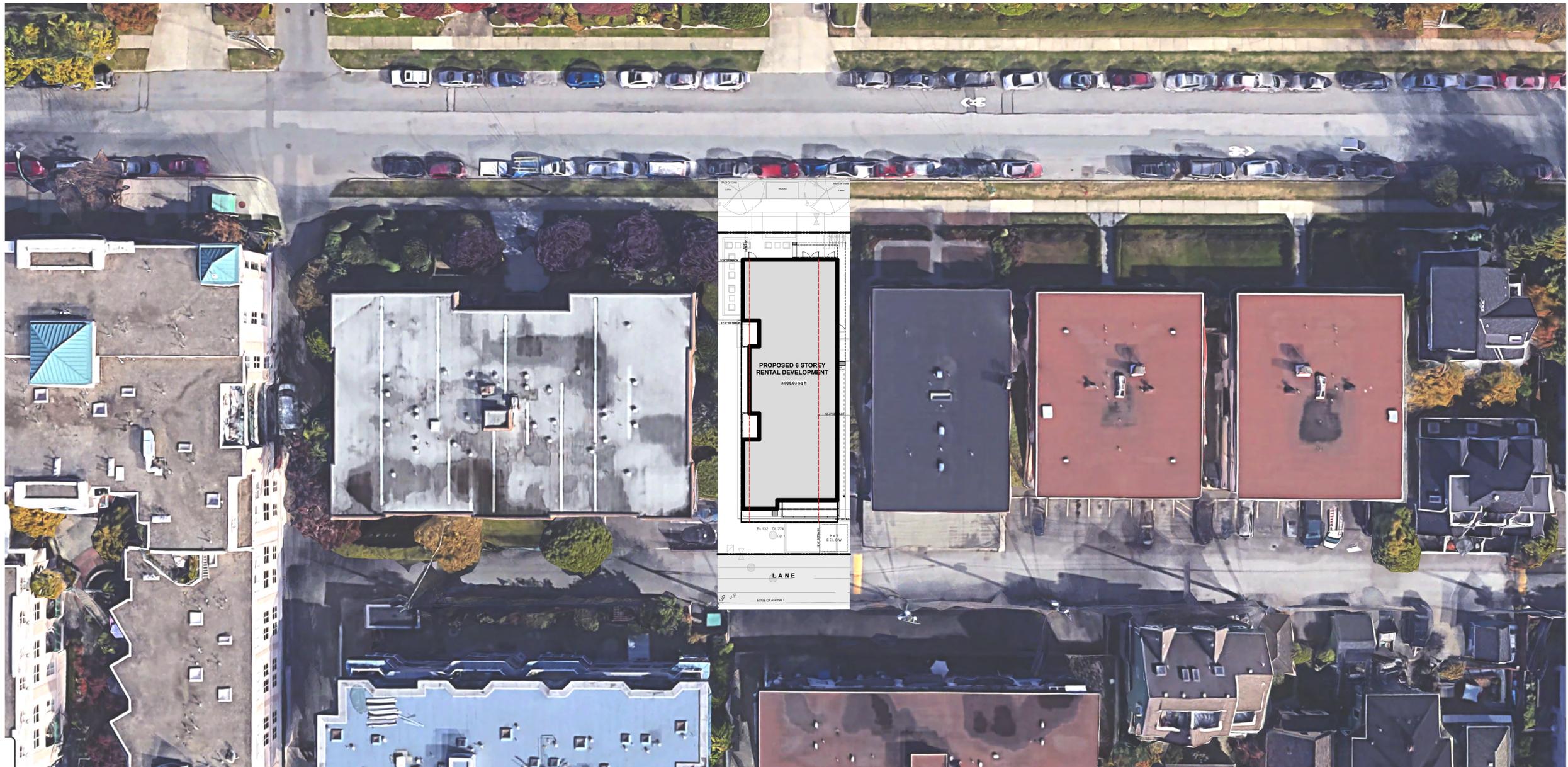
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Three Shores

[PROJECT]

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## Context Plan

20507

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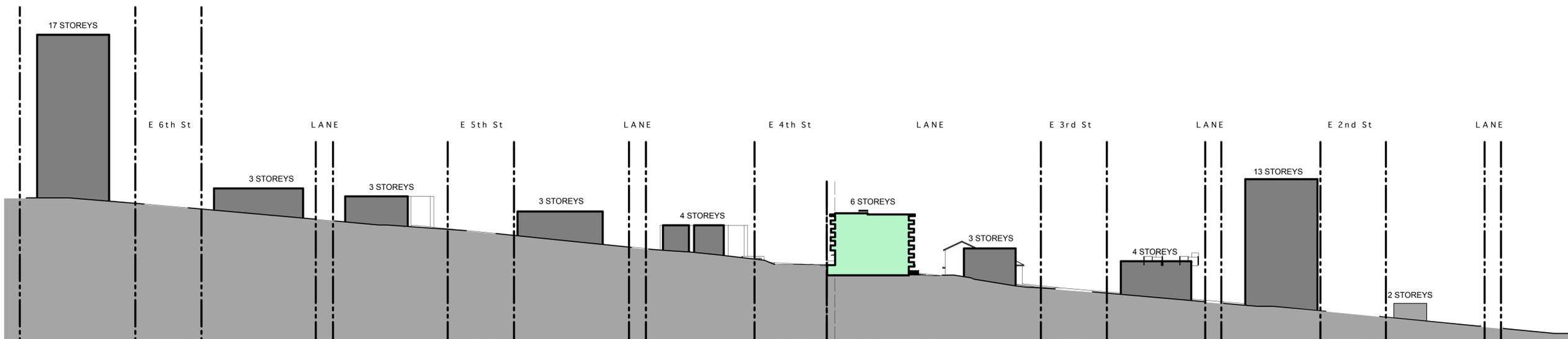
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ISSUE 05 - DP RESUBMISSION<sup>E</sup>

[DRAWING]

# A-0.330



1 N/S Overall Section  
SCALE: 1/164" = 1'-0"



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Three Shores

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133 East 4th

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Perspective  
Render

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ISSUE 05 - DP RESUBMISSION

**A-0.610**



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**133 East 4th**

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**Perspective  
 Render**

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**ISSUE 05 - DP RESUBMISSION<sup>E1</sup>**

**A-0.620**



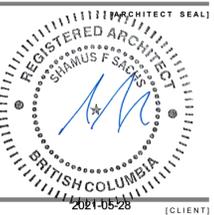
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## Perspective Render

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# A-0.630



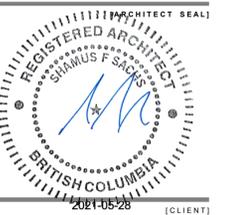
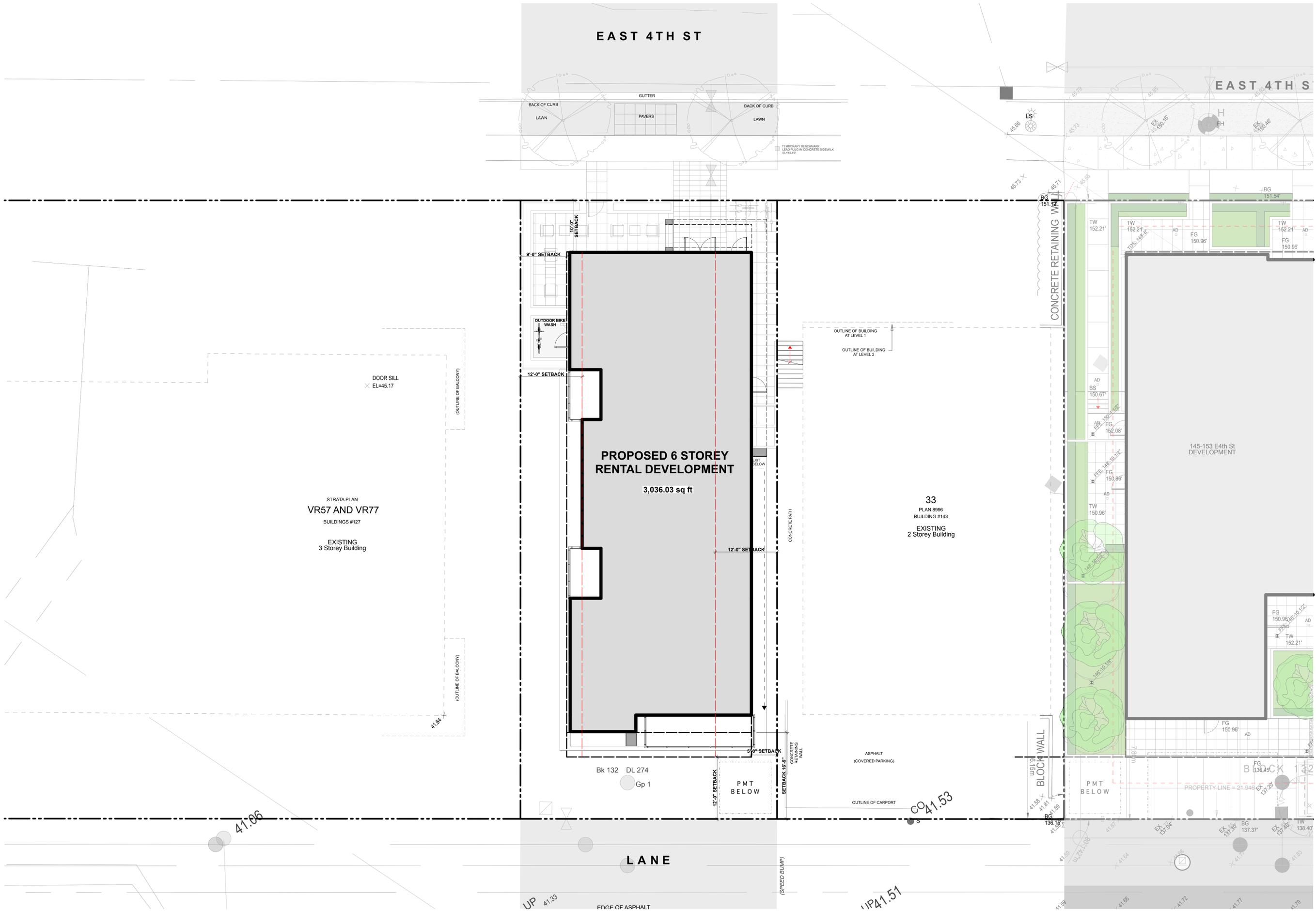
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[PROJECT TEAM]



Three Shores  
[PROJECT]

**133 East 4th**  
133 E 4th Street  
North Vancouver, British Columbia  
[TITLE]

**Site Plan**

20507 [PROJECT]  
[SCALE]  
Thursday, May 27, 2021 [DATE]  
ISSUE 05 - DP RESUBMISSION [REVISION]  
[DRAWING]

1 Site Plan  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

**A-1.100**



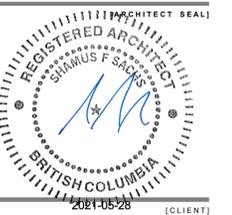
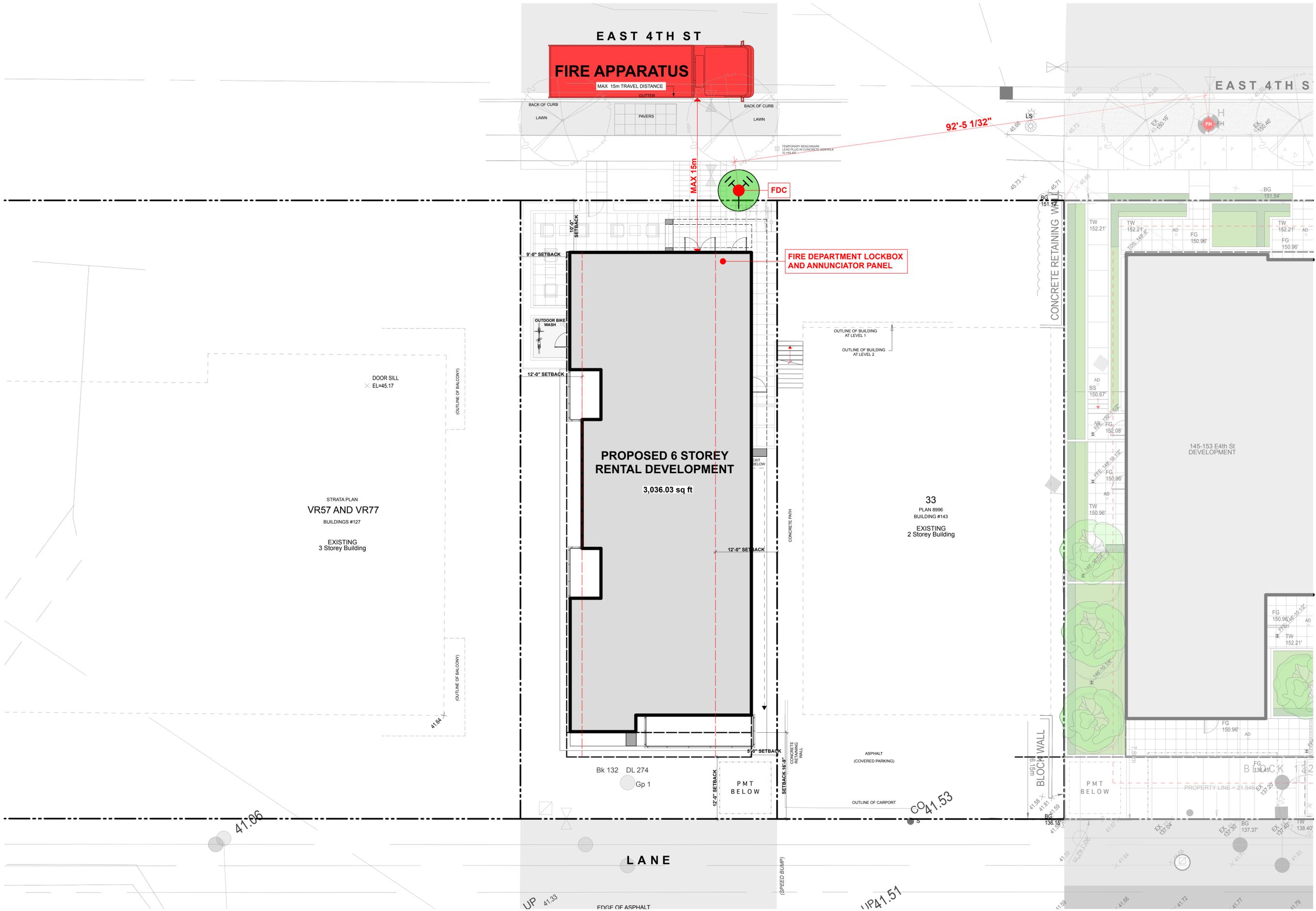
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[PROJECT TEAM]



Three Shores  
[PROJECT]

**133 East 4th**  
133 E 4th Street  
North Vancouver, British Columbia  
[TITLE]

**Fire Access Plan**

20507 [PROJECT]  
[SCALE]  
Thursday, May 27, 2021 [DATE]  
ISSUE 05 - DP RESUBMISSION [REVISION]  
[DRAWING]



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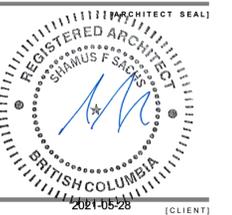
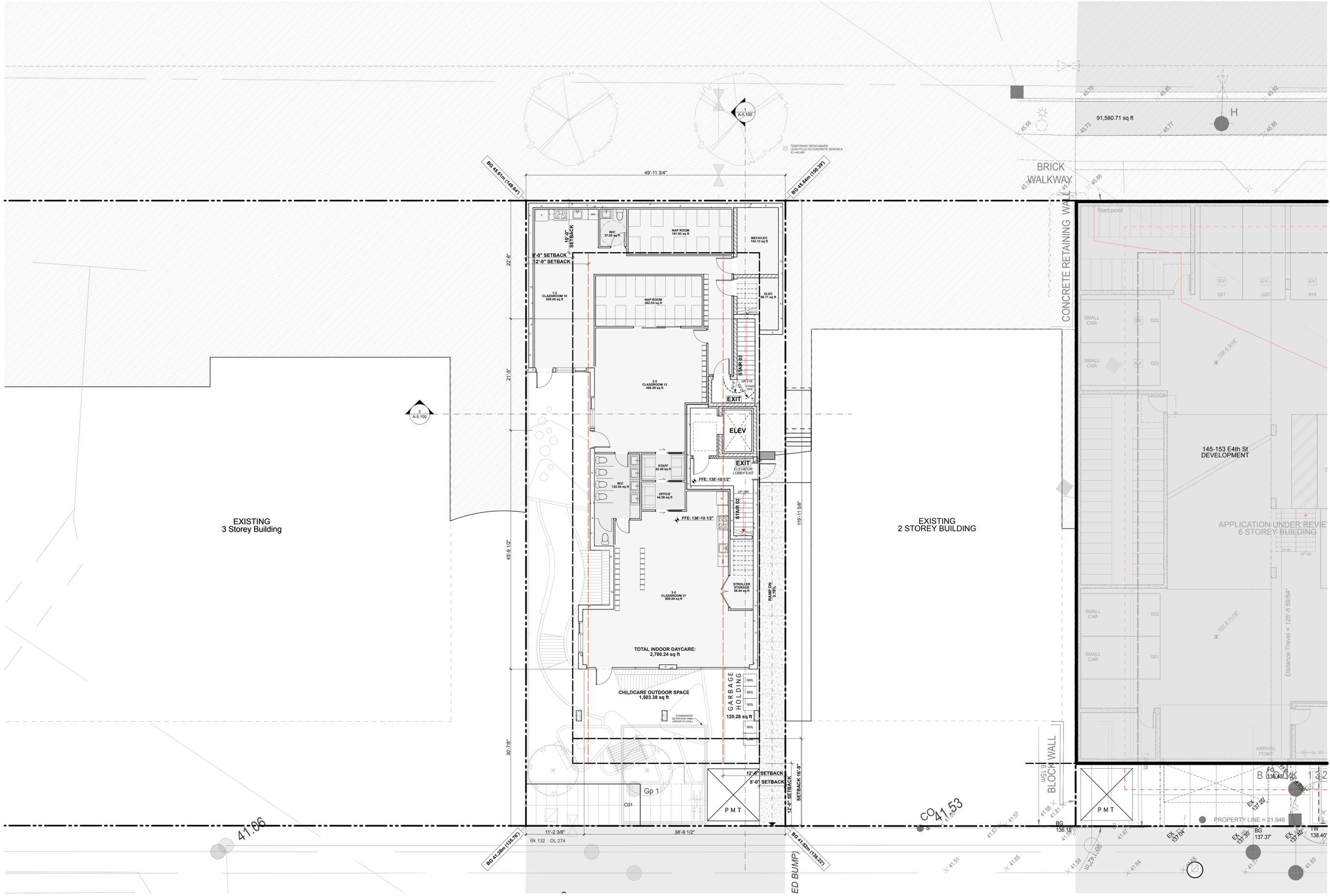
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[PROJECT TEAM]



Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

Level P1 Plan

20507

[SCALE]

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

[DRAWING]



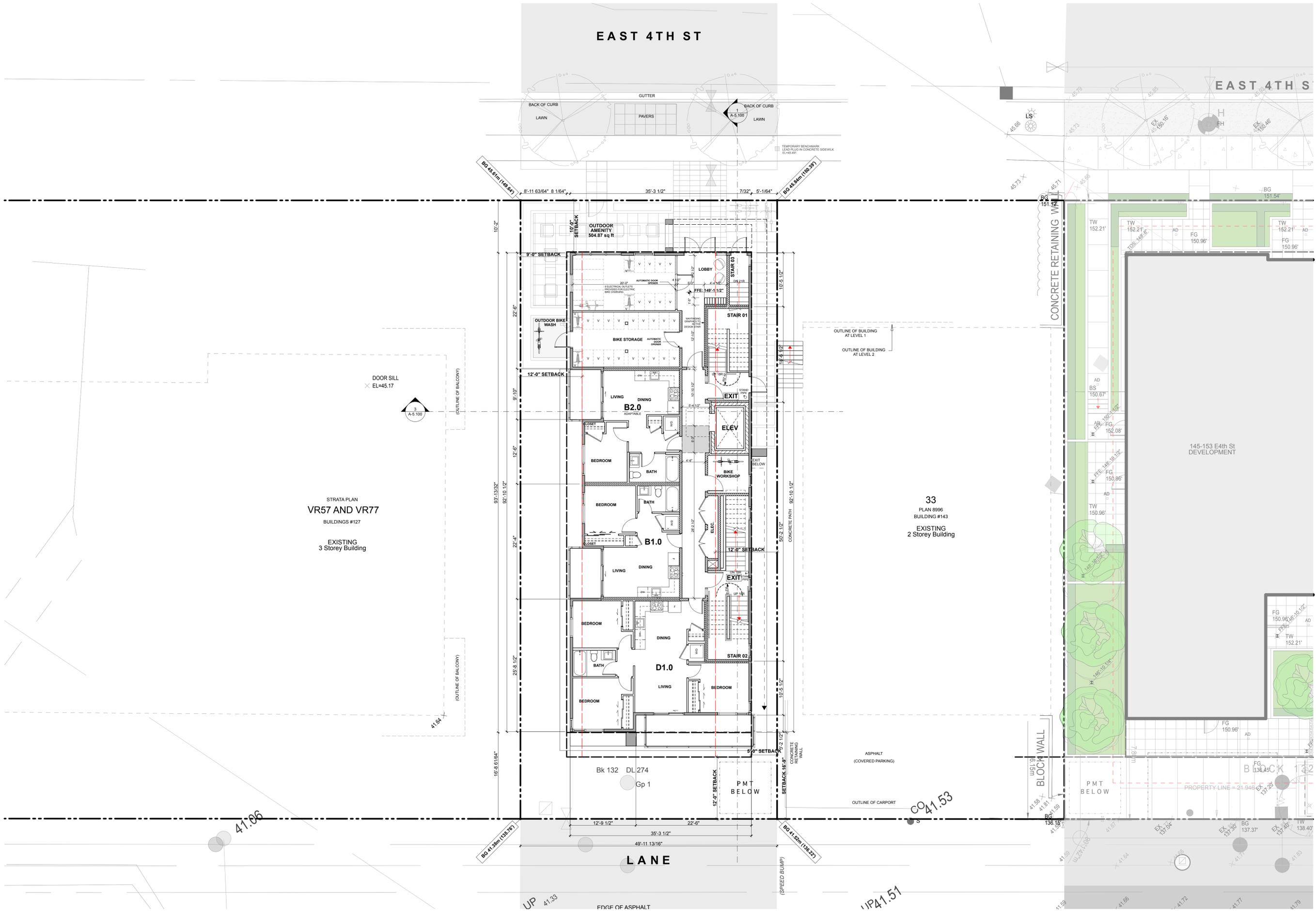
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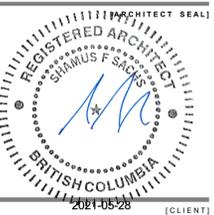
[PROJECT TEAM]



STRATA PLAN  
VR57 AND VR77  
BUILDINGS #127  
EXISTING  
3 Storey Building

33  
PLAN 8996  
BUILDING #143  
EXISTING  
2 Storey Building

145-153 E4th St  
DEVELOPMENT



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

**Level 1 Floor Plan**

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

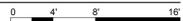
ISSUE 05 - DP RESUBMISSION [E]

[DRAWING]

**A-2.100**

1 Level 1 Floor Plan

SCALE: 1/8" = 1'-0"





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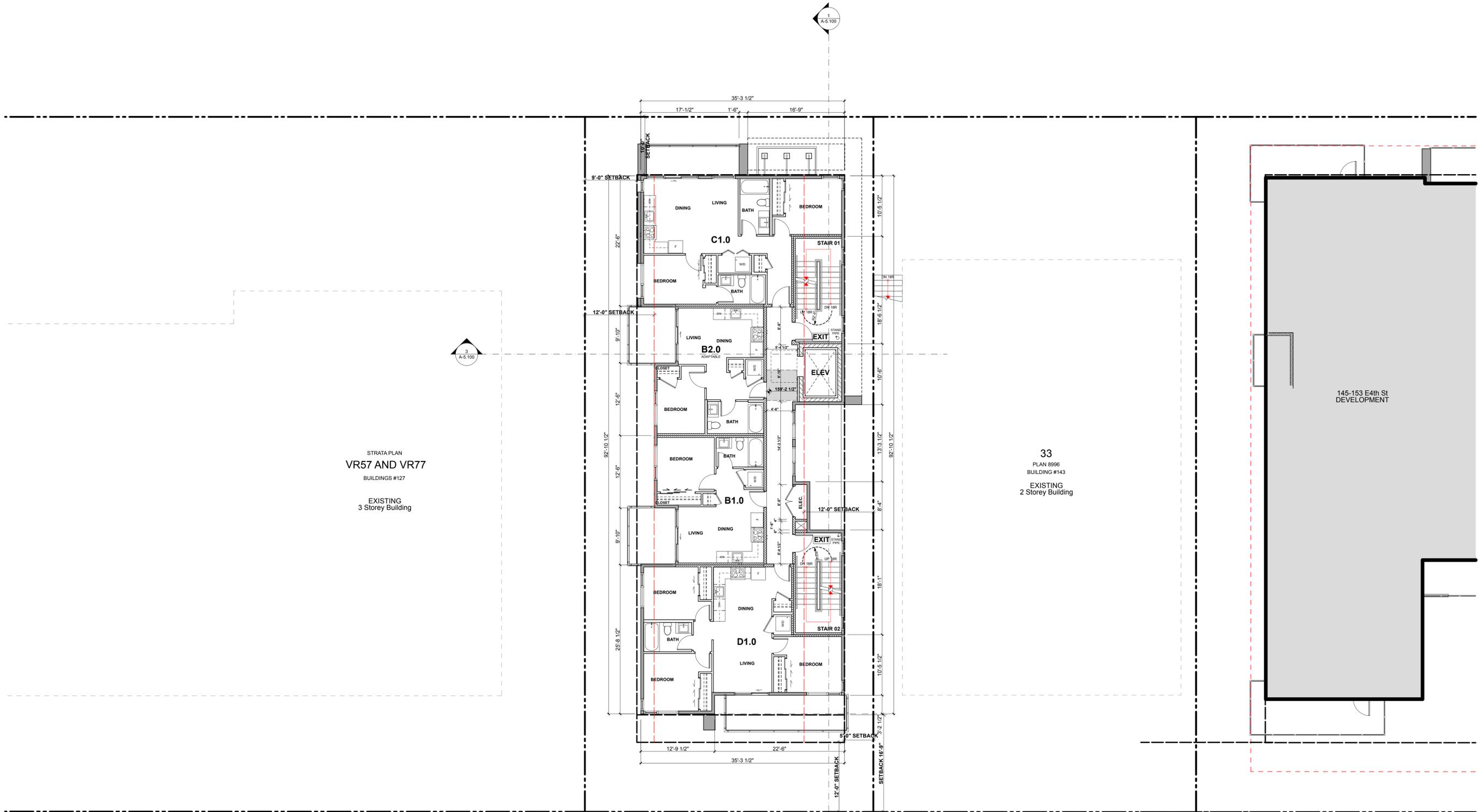
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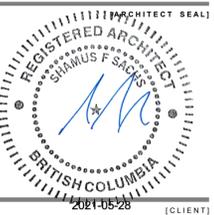
[PROJECT TEAM]



STRATA PLAN  
VR57 AND VR77  
BUILDINGS #127  
EXISTING  
3 Storey Building

33  
PLAN 8996  
BUILDING #143  
EXISTING  
2 Storey Building

145-153 E4th St  
DEVELOPMENT



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

## Level 2 Floor Plan

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [REVISION]

[DRAWING]

# A-2.200



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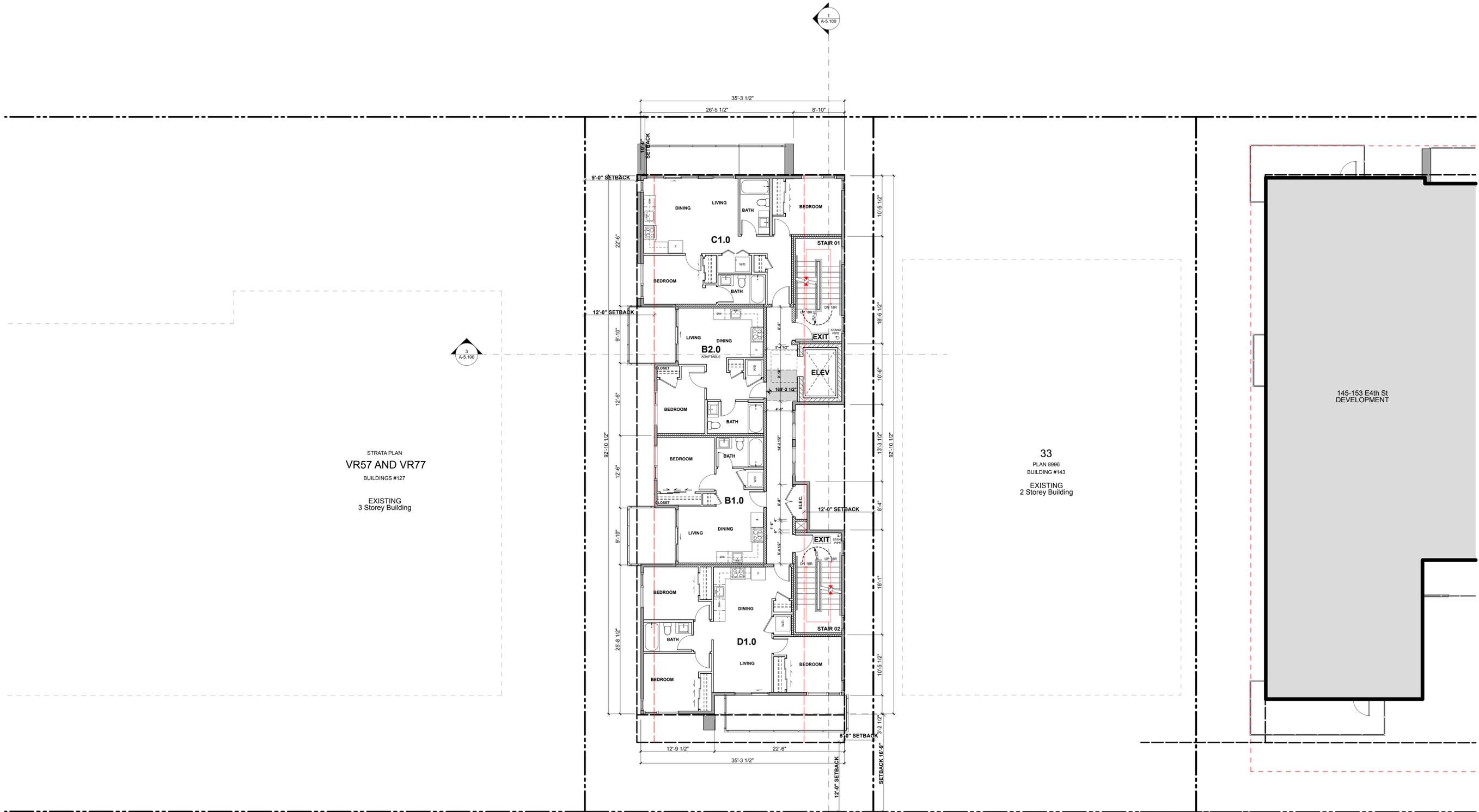
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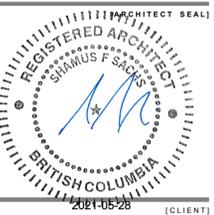
[PROJECT TEAM]



STRATA PLAN  
VR57 AND VR77  
BUILDINGS #127  
EXISTING  
3 Storey Building

33  
PLAN 8996  
BUILDING #143  
EXISTING  
2 Storey Building

145-153 E4th St  
DEVELOPMENT



Three Shores  
[PROJECT]

133 East 4th  
133 E 4th Street  
North Vancouver, British Columbia  
[TITLE]

## Level 3 Floor Plan

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [REVISION]

[DRAWING]

# A-2.300



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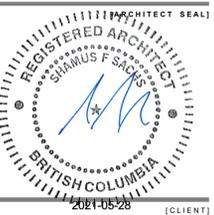
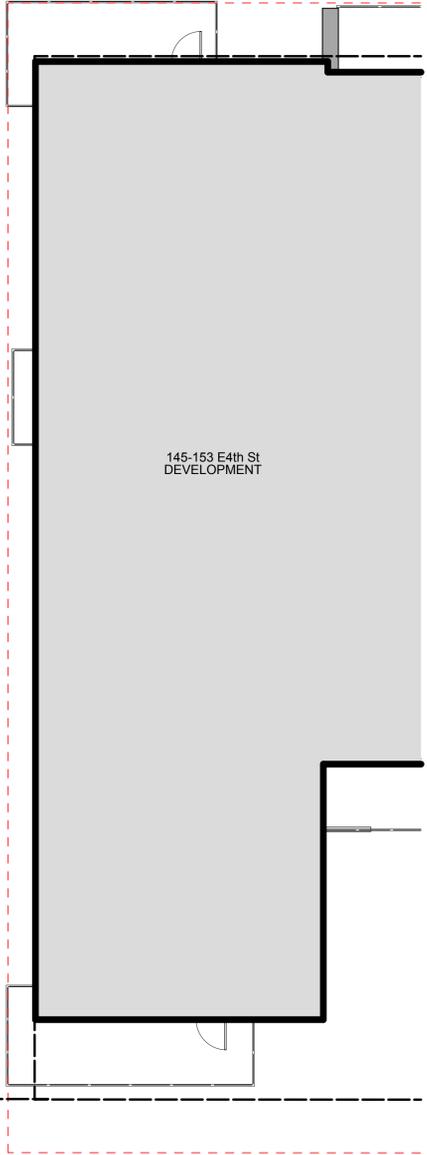
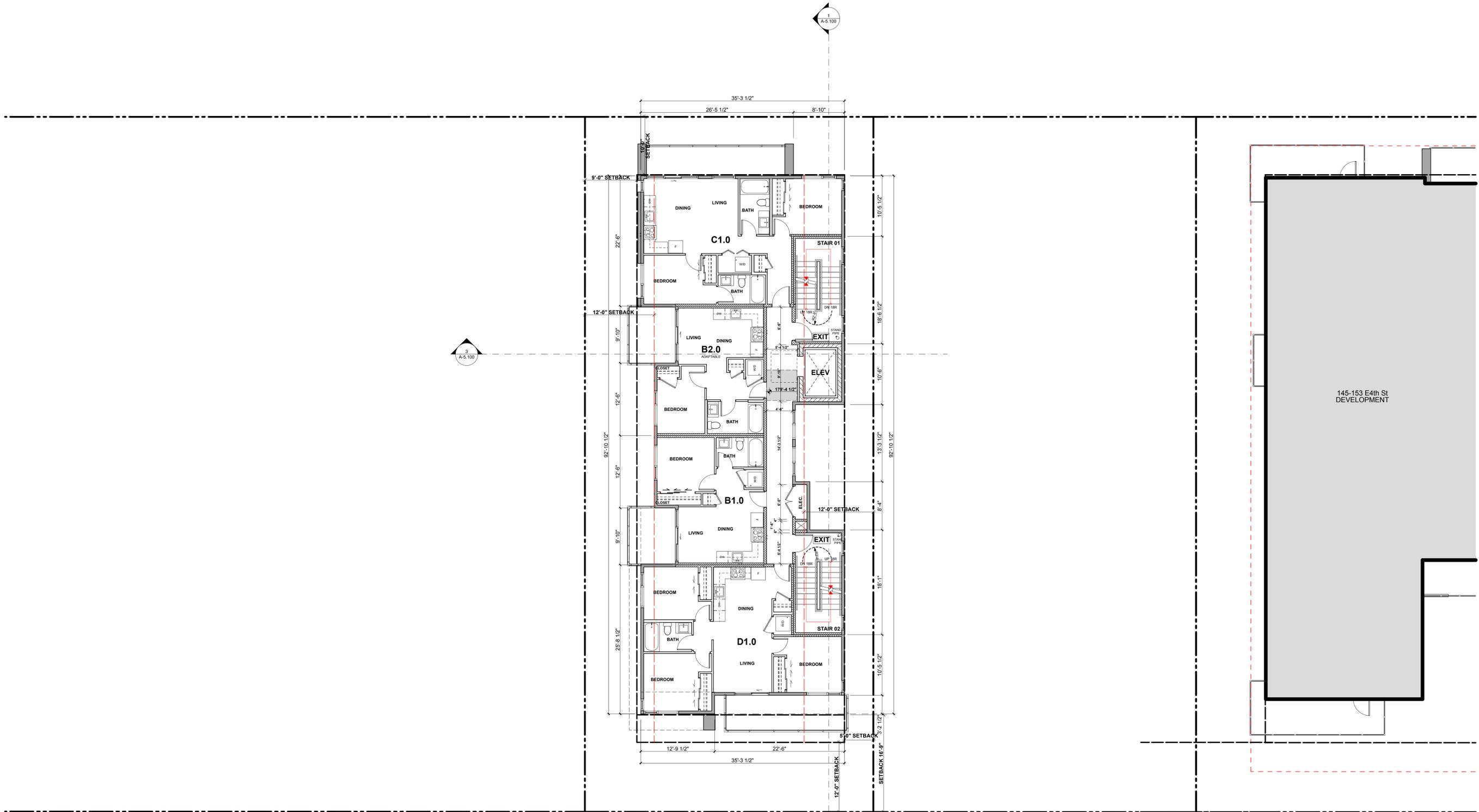
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[PROJECT TEAM]



Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

## Level 4 Floor Plan

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [DRAWING]

[DRAWING]

# A-2.400



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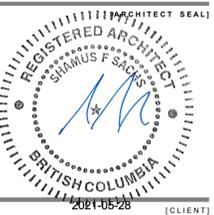
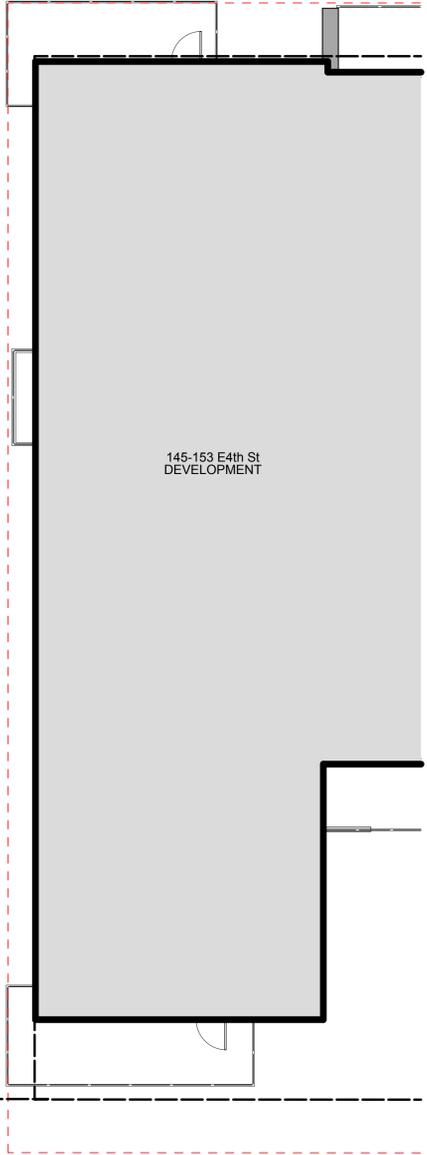
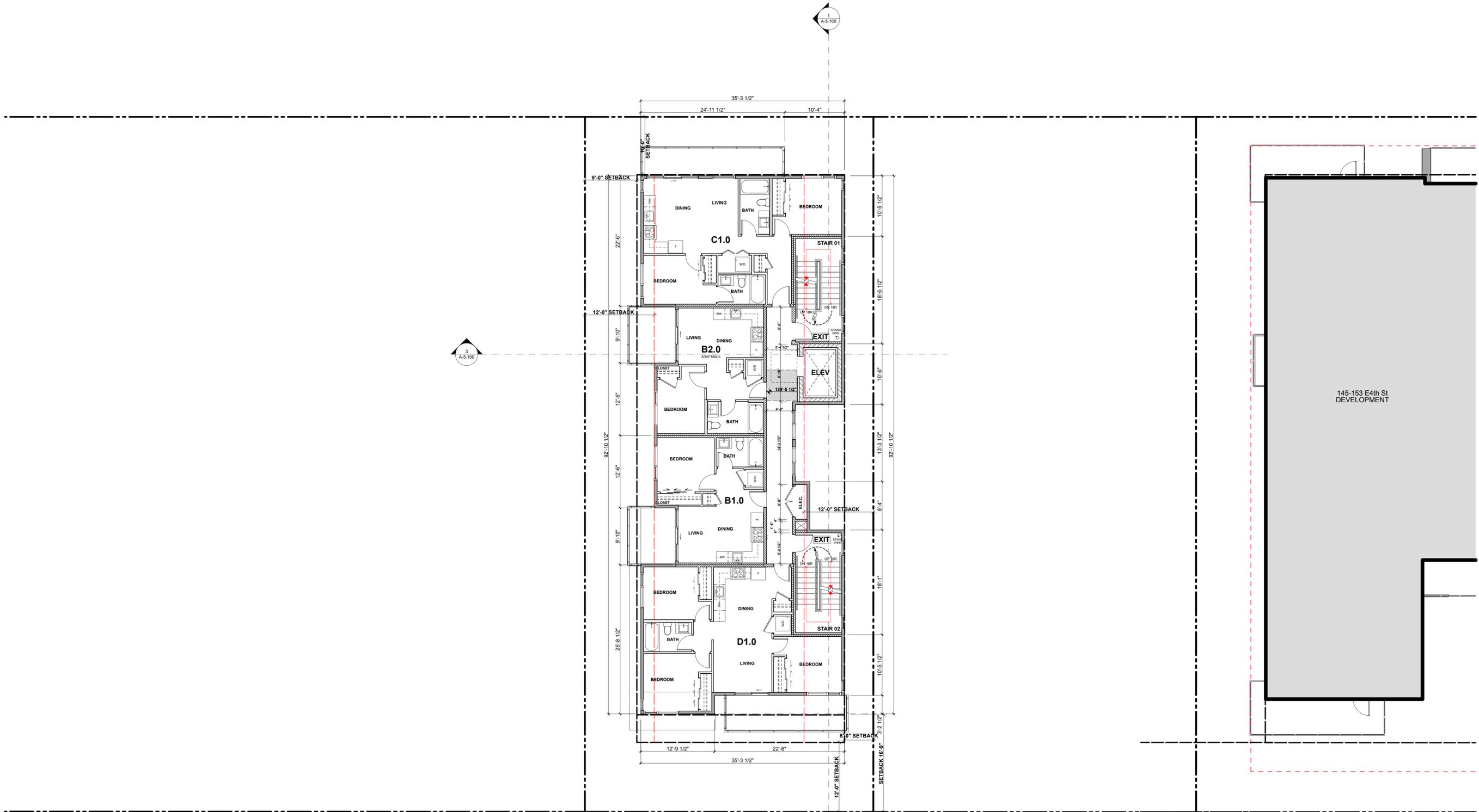
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[PROJECT TEAM]



[CLIENT]

Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

## Level 5 Floor Plan

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [DRAWING]

[DRAWING]

# A-2.500

## 1 Level 5 Floor Plan

SCALE: 1/8" = 1'-0"







DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>BUILDING ACCESS</b>	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
<b>BUILDING ACCESS</b>	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
<b>BUILDING ACCESS</b>	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
<b>BUILDING ACCESS</b>		Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each unit	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each Level 3 unit
<b>BUILDING ACCESS</b>	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone
<b>BUILDING ACCESS</b>		Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided
<b>BUILDING ACCESS</b>	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
<b>BUILDING ACCESS</b>		3' or 915mm building and suite entry doors	3' or 915mm building and suite entry doors
<b>BUILDING ACCESS</b>	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)
<b>BUILDING ACCESS</b>	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *

\* Illustrations available  
\*\* Options considered

DESIGN ELEMENTS

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>BASIC</b>	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
<b>BASIC</b>	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
<b>BASIC</b>	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
<b>BASIC</b>	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
<b>BASIC</b>	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
<b>BASIC</b>	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
<b>CIRCULATION</b>	Slip resistant flooring	Slip resistant flooring	Slip resistant flooring
<b>CIRCULATION</b>	Colour contrasting exit doors	Colour contrasting exit doors	Colour contrasting exit doors
<b>BUILDING MEETING / AMENITY ROOMS</b>		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
<b>UNIT ENTRIES</b>		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
<b>UNIT ENTRIES</b>		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
<b>UNIT ENTRIES</b>			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
<b>UNIT FLOORING</b>		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
<b>UNIT FLOORING</b>		High density, low level loop carpet and underlay maximum 1/2" or 13mm height	High density, low level loop carpet and underlay maximum 1/2" or 13mm height
<b>PATIOS AND BALCONIES</b>		Outdoor light fixture provided	Outdoor light fixture provided
<b>PATIOS AND BALCONIES</b>		Electrical outlet provided	Electrical outlet provided

\* Illustrations available

FIXTURES & FINISHES



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[PROJECT TEAM]

COMMON AREAS	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>CIRCULATION</b>	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
<b>CIRCULATION</b>		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
<b>SUITE CIRCULATION</b>		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
<b>SUITE CIRCULATION</b>		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms) *	Provide wiring for an automatic door opener for the suite entry door
<b>DOORS</b>		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
<b>PATIOS &amp; BALCONIES</b>		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2' - 10" or 860mm clear door opening
<b>PATIOS &amp; BALCONIES</b>		Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold**
<b>PATIOS &amp; BALCONIES</b>		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
<b>WINDOWS</b>		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
<b>WINDOWS</b>		Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor
<b>KITCHEN</b>		Continuous counter between sink and stove*	Continuous counter between sink and stove*
<b>KITCHEN</b>		Sink cabinet minimum 2'8" or 810mm wide	Sink cabinet minimum 2'8" or 810mm wide
<b>KITCHEN</b>		Provide sufficient space for future installation of cooktop and wall oven	Provide sufficient space for future installation of cooktop and wall oven
<b>KITCHEN</b>		Provide for potential 2'8" or 810mm wide undercounter workspace	Provide for potential 2'8" or 810mm wide undercounter workspace
<b>KITCHEN</b>		Lower edge of upper cupboards 4'6" or 1350mm above floor	Lower edge of upper cupboards 4'6" or 1350mm above floor

\* Illustrations available  
\*\* Options considered

DESIGN ELEMENTS

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
<b>ELECTRICAL</b>		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
<b>ELECTRICAL</b>		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
<b>ELECTRICAL</b>	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
<b>ELECTRICAL</b>	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
<b>ELECTRICAL</b>		Rocker switches	Rocker switches
<b>ELECTRICAL</b>			Double bulb ceiling fixtures
<b>ELECTRICAL</b>			Provide wiring for automatic door opener and strike at unit entry
<b>WINDOWS</b>		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
<b>KITCHEN</b>		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
<b>KITCHEN</b>		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
<b>KITCHEN</b>		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "I" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "I" cabinet handles
<b>KITCHEN</b>		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
<b>KITCHEN</b>			Drawer storage in key areas*
<b>KITCHEN</b>			Provision for removal of sink cabinet and lowering of counter height
<b>KITCHEN</b>			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
<b>KITCHEN</b>			Provision for the future installation of at least one counter receptacle in front of cabinets
<b>KITCHEN</b>			Where regular refrigerator installed initially, provide adequate space for side by side model
<b>KITCHEN</b>			Contrasting knobs on stove / cook top

\* Illustrations available

FIXTURES & FINISHES



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

**ADAPTABLE  
UNITS DESIGN  
GUIDELINES**

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

**A-3.001**

\* Illustrations available  
\*\* Options considered

DESIGN ELEMENTS

**LEVEL 1 ALL UNITS  
LEVEL 2 ADAPTABLE UNIT: B2 (1 BEDROOM)**

FIXTURES & FINISHES



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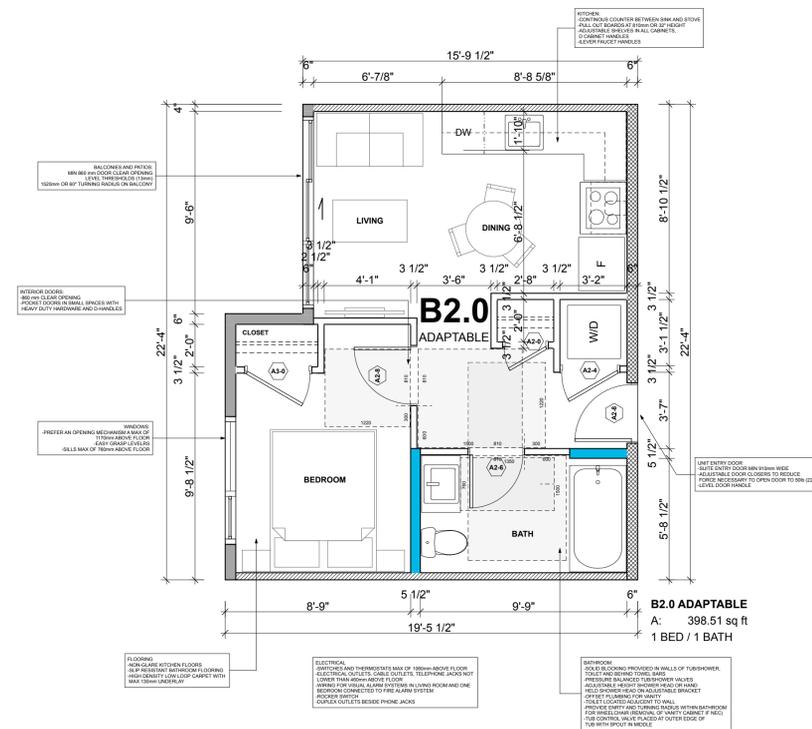
### SYMBOLS AND LEGENDS:

- WINDOW TYPE
  - DOOR TYPE  
DOOR RATING (HRS)
  - INDICATES WALL TYPE / WALL RATING (HR)
  - CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
  - EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
  - PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
  - CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
  - INTERIOR LOAD BEARING 2 x 6 WALL
  - INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
  - INTERIOR SERVICE WALL - PLUMBING / HVAC 2x6 WALL
  - SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
  - CONCRETE COLUMN
  - INDICATES ELECTRICAL PANEL
  - INDICATES MEDIA PANEL
  - INDICATES MANIFOLD PLUMBING PANEL
  - |        |
|--------|
| 888    |
| sl 8   |
| A      |
| 888.88 |

 SUITE NO.  
STRATA LOT NO.  
UNIT TYPE  
APPROX. NET AREA
  - INDICATES DROPPED CEILING
- SEE 1/8" SCALE PLANS FOR LOCATION OF RATED PARTYWALL & EXTERIOR WALL

### NOTES:

1. SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS
2. SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION
3. PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET
4. MIRROR DIMENSIONS TO BE CONFIRMED ON SITE
5. AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS - STUD SPACING TO BE MINIMUM OF 16" o.c.
6. PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS
7. PROVIDE 37" (WIDTH) AND 70" (HEIGHT) CLEAR BETWEEN BASEBOARD & COUNTER TOP FOR FRIDGES - CONFIRM W/OWNER
8. BATHROOM & LAUNDRY CEILINGS (EXCEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE PLUMBING & VENTING ABOVE (MIN 2.1 m CEILING HEIGHT)
9. KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'-0" HEIGHT TO ACCOMMODATE PLUMBING & VENTING ABOVE. MIN HEIGHT 2.44m
10. SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS, TILE PATTERNS, CABINETS, PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN SCOPES OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS
11. ALL VENTILATION DUCTS THAT PASS THROUGH UNHEATED ATTIC SPACES ARE TO BE INSULATED - SEE MECH DWGS
12. PROVIDE MIN 32" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS
13. PROVIDE SEPARATE PRICE FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET
14. FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO EXTEND PAST FACE OF KITCHEN CABINETS
15. EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS
16. LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER DRYER.
17. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.



**Unit B2 (ADAPTABLE)**  
SCALE: 1/4" = 1'-0"



### Three Shores

[PROJECT]

### 133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

### UNIT PLANS ADAPTABLE

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [REVISION]

[DRAWING]

# A-3.002



# Integra

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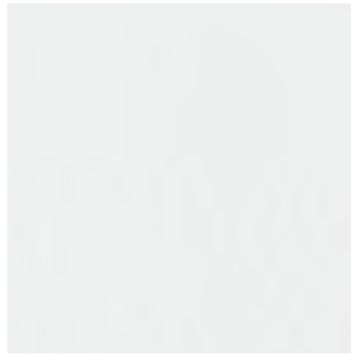
[PROJECT TEAM]



**1.1** | JAMES HARDIE COLORPLUS COLLECTION  
**HardiePanel - smooth texture**  
 Colour: BM - COAT OF ARMS 763



**3.1** | EXTERIOR TRIMS  
 Colour: BM - ONYX 2133-10



**1.2** | JAMES HARDIE COLORPLUS COLLECTION  
**HardiePanel - smooth texture**  
 Colour: ARCTIC WHITE



**1.3** | JAMES HARDIE COLLECTION  
**HardiePlank Lap Siding**  
**Select Cedarmill texture**  
 Colour: ARCTIC WHITE



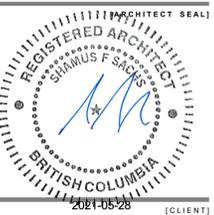
**1.4** | JAMES HARDIE COLLECTION  
**HardiePlank Lap Siding**  
**Select Cedarmill texture**  
 Colour: IRON GREY



**1.5** | WOODTONE  
**Horizontal 6" Fibre Cement Cladding**  
 Colour: OLD CHERRY - RUSTIC SERIES

## Material and Colour Legend

Colour	Manufacturer	Product (to match)	Finish (to match)	Location
<b>1.0 CLADDING</b>				
1.1   Teal		HardiePanel With Colour Match Trim	Benjamin Moore - <b>Coat of Arms 763</b>	Selected Exterior Walls
1.2   White		HardiePanel With Colour Match Trim	James Hardie - <b>Arctic White</b>	Selected Exterior Walls
1.3   White		HardiPlank Lap Siding - Select Cedarmill Texture, 7" Exposure	James Hardie - <b>Arctic White</b>	Exterior Walls
1.4   Dark Gray		HardiPlank Lap Siding - Select Cedarmill Texture, 7" exposure	James Hardie - <b>Iron Gray</b>	Exterior Walls
1.5   Stained Cedar		Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>	Exterior Walls / Soffits
<b>2.0 SOFFIT</b>				
2.1   Stained Cedar		Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>	Roof / Balcony Soffits
2.2   White			Benjamin Moore - <b>Mirage White 2116-70</b>	Roof / Balcony Soffits
<b>3.0 TRIMS</b>				
3.1   Black			Benjamin Moore - <b>Onyx 2133-10</b>	Hardie trims - Beam, Column, balcony edge
3.2   White			Benjamin Moore - <b>Mirage White 2116-70</b>	Hardie trims - Beam, Column, balcony edge
<b>4.0 ROOFS</b>				
4.1   Grey	TBC		TBC	SBS Membrane at flat roofs
<b>5.0 WINDOWS</b>				
5.1   Black		Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Residential Windows
5.2   White		Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Residential Windows
<b>6.0 DOORS</b>				
6.1   Black		Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Residential Doors
6.2   White		Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Residential Doors
6.3   White		Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Entry Doors
6.4   Black		Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Entry Doors
<b>7.0 RAILINGS</b>				
7.1   Black		Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
7.2   White		Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
<b>8.0 STRUCTURE</b>				
8.1   Light Grey		Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls
<b>9.0 METALS</b>				
9.1   Charcoal		Pre-Finished Metal Flashing	Black - Satin	Flashing @ Roofs/Opening, Downspouts, Gutters
9.2   White		Pre-Finished Metal Flashing	White - Satin	Flashing @ Roofs/Opening, Downspouts, Gutters



Three Shores

133 East 4th

133 E 4th Street  
 North Vancouver, British Columbia

## Material Board

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

A-4.000



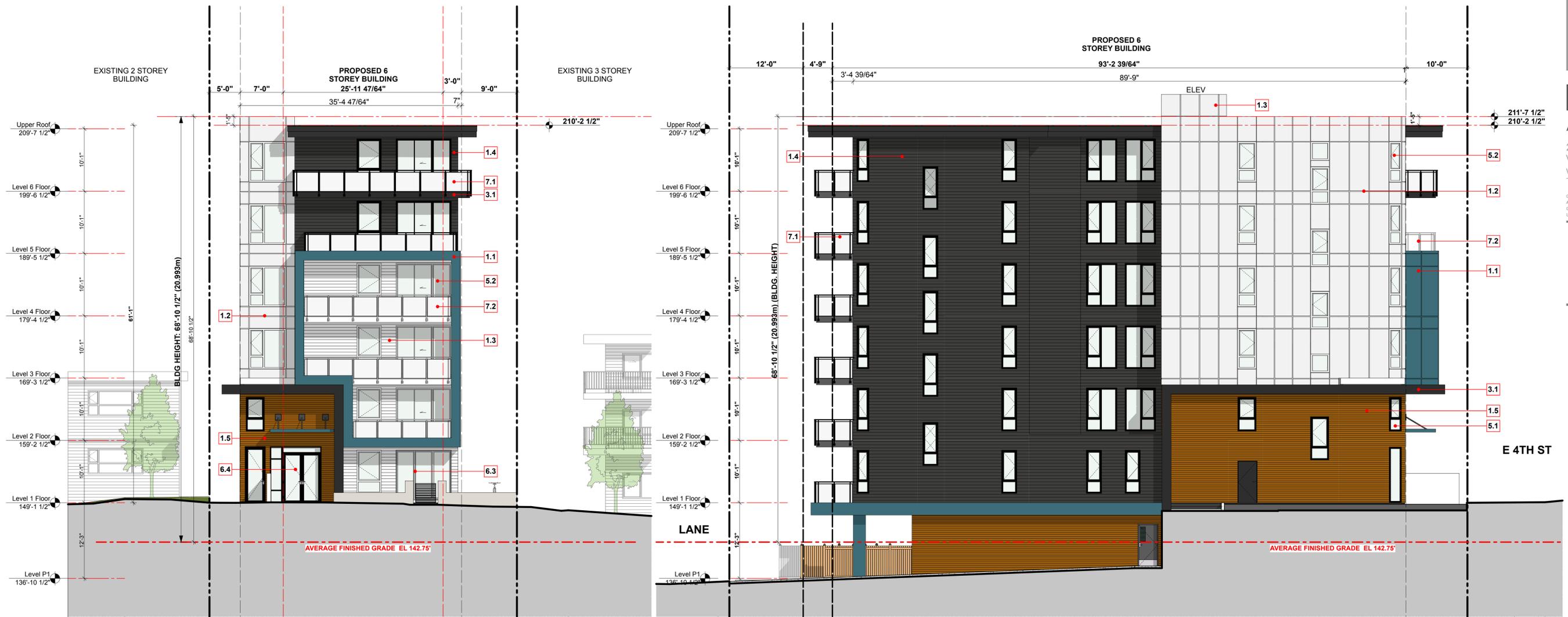
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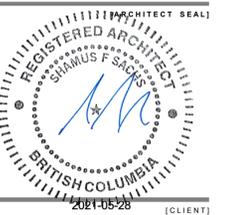
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[PROJECT TEAM]



**2 East 4th St. - NE Elevation**  
SCALE: 1/8" = 1'-0"  
0 4 8 16'

**1 SE Elevation**  
SCALE: 1/8" = 1'-0"  
0 4 8 16'



**Three Shores**  
[PROJECT]

**133 East 4th**  
133 E 4th Street  
North Vancouver, British Columbia  
[TITLE]

## Building Elevations

**20507** [PROJECT]  
[SCALE]  
**Thursday, May 27, 2021** [DATE]  
**ISSUE 05 - DP RESUBMISSION** [REVISION]

[DRAWING]

**A-4.100**

Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
<b>CLADDING</b>				
1.0				
1.1	Teal	HardiePanel With Colour Match Trim	Benjamin Moore - <b>Coat of Arms 763</b>	Selected Exterior Walls
1.2	White	HardiePanel With Colour Match Trim	James Hardie - <b>Arctic White</b>	Selected Exterior Walls
1.3	White	HardiPlank Lap Siding - Select Cedarmill Texture, 7" Exposure	James Hardie - <b>Arctic White</b>	Exterior Walls
1.4	Dark Gray	HardiPlank Lap Siding - Select Cedarmill Texture, 7" exposure	James Hardie - <b>Iron Gray</b>	Exterior Walls
1.5	Stained Cedar	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>	Exterior Walls / Soffits
<b>SOFFIT</b>				
2.0				
2.1	Stained Cedar	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>	Roof / Balcony Soffits
2.2	White		Benjamin Moore - <b>Mirage White 2116-70</b>	Roof / Balcony Soffits
<b>TRIMS</b>				
3.0				
3.1	Black		Benjamin Moore - <b>Onyx 2133-10</b>	Hardie trims - Beam, Column, balcony edge
3.2	White		Benjamin Moore - <b>Mirage White 2116-70</b>	Hardie trims - Beam, Column, balcony edge
<b>ROOFS</b>				
4.0				
4.1	Grey	TBC	TBC	SBS Membrane at flat roofs

<b>WINDOWS</b>				
5.0				
5.1	Black	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Residential Windows
5.2	White	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Residential Windows
<b>DOORS</b>				
6.0				
6.1	Black	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Residential Doors
6.2	White	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Residential Doors
6.3	White	Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White	Entry Doors
6.4	Black	Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black	Entry Doors
<b>RAILINGS</b>				
7.0				
7.1	Black	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
7.2	White	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
<b>STRUCTURE</b>				
8.0				
8.1	Light Grey	Architectural Exposed Concrete	Concrete	Cast-in-place and Landscape Retaining Walls
<b>METALS</b>				
9.0				
9.1	Charcoal	Pre-Finished Metal Flashing	Black - Satin	Flashing @ Roofs/Opening, Downspouts, Gutters
9.2	White	Pre-Finished Metal Flashing	White - Satin	Flashing @ Roofs/Opening, Downspouts, Gutters



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[PROJECT TEAM]

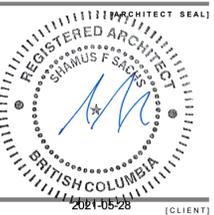


**2** Lane - SW Elevation  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

**1** NW Elevation  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

Material and Colour Legend				
Colour	Manufacturer	Product (to match)	Finish (to match)	Location
<b>C L A D D I N G</b>				
1.0				
1.1	HardiePanel With Colour Match Trim	Benjamin Moore - <b>Coat of Arms 763</b>		Selected Exterior Walls
1.2	HardiePanel With Colour Match Trim	James Hardie - <b>Arctic White</b>		Selected Exterior Walls
1.3	HardiPlank Lap Siding - Select Cedarmill Texture, 7" Exposure	James Hardie - <b>Arctic White</b>		Exterior Walls
1.4	HardiPlank Lap Siding - Select Cedarmill Texture, 7" exposure	James Hardie - <b>Iron Gray</b>		Exterior Walls
1.5	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>		Exterior Walls / Soffits
<b>S O F F I T</b>				
2.0				
2.1	Woodtone - Rustic Series, 6" Fibre Cement Cladding	Woodtone - <b>Old Cherry</b>		Roof / Balcony Soffits
2.2	White	Benjamin Moore - <b>Mirage White 2116-70</b>		Roof / Balcony Soffits
<b>T R I M S</b>				
3.0				
3.1	Black	Benjamin Moore - <b>Onyx 2133-10</b>		Hardie trims - Beam, Column, balcony edge
3.2	White	Benjamin Moore - <b>Mirage White 2116-70</b>		Hardie trims - Beam, Column, balcony edge
<b>R O O F S</b>				
4.0				
4.1	Grey	TBC	TBC	SBS Membrane at flat roofs

W I N D O W S			
5.0			
5.1	Black	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black Residential Windows
5.2	White	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White Residential Windows
<b>D O O R S</b>			
6.0			
6.1	Black	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black Residential Doors
6.2	White	Vinyl Windows and Doors c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White Residential Doors
6.3	White	Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - White Entry Doors
6.4	Black	Aluminum Door c/w matching Flashing and Trim	Tiger Drylac Powder Coat Paint - Black Entry Doors
<b>R A I L I N G S</b>			
7.0			
7.1	Black	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
7.2	White	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
<b>S T R U C T U R E</b>			
8.0			
8.1	Light Grey	Architectural Exposed Concrete	Concrete Cast-in-place and Landscape Retaining Walls
<b>M E T A L S</b>			
9.0			
9.1	Charcoal	Pre-Finished Metal Flashing	Black - Satin Flashing @ Roofs/Opening, Downspouts, Gutters
9.2	White	Pre-Finished Metal Flashing	White - Satin Flashing @ Roofs/Opening, Downspouts, Gutters



**Three Shores**  
[PROJECT]

**133 East 4th**  
133 E 4th Street  
North Vancouver, British Columbia  
[TITLE]

**Building Elevations**  
20507 [PROJECT]  
[SCALE]  
Thursday, May 27, 2021 [DATE]  
ISSUE 05 - DP RESUBMISSION [REVISION]  
[DRAWING]

**A-4.200**



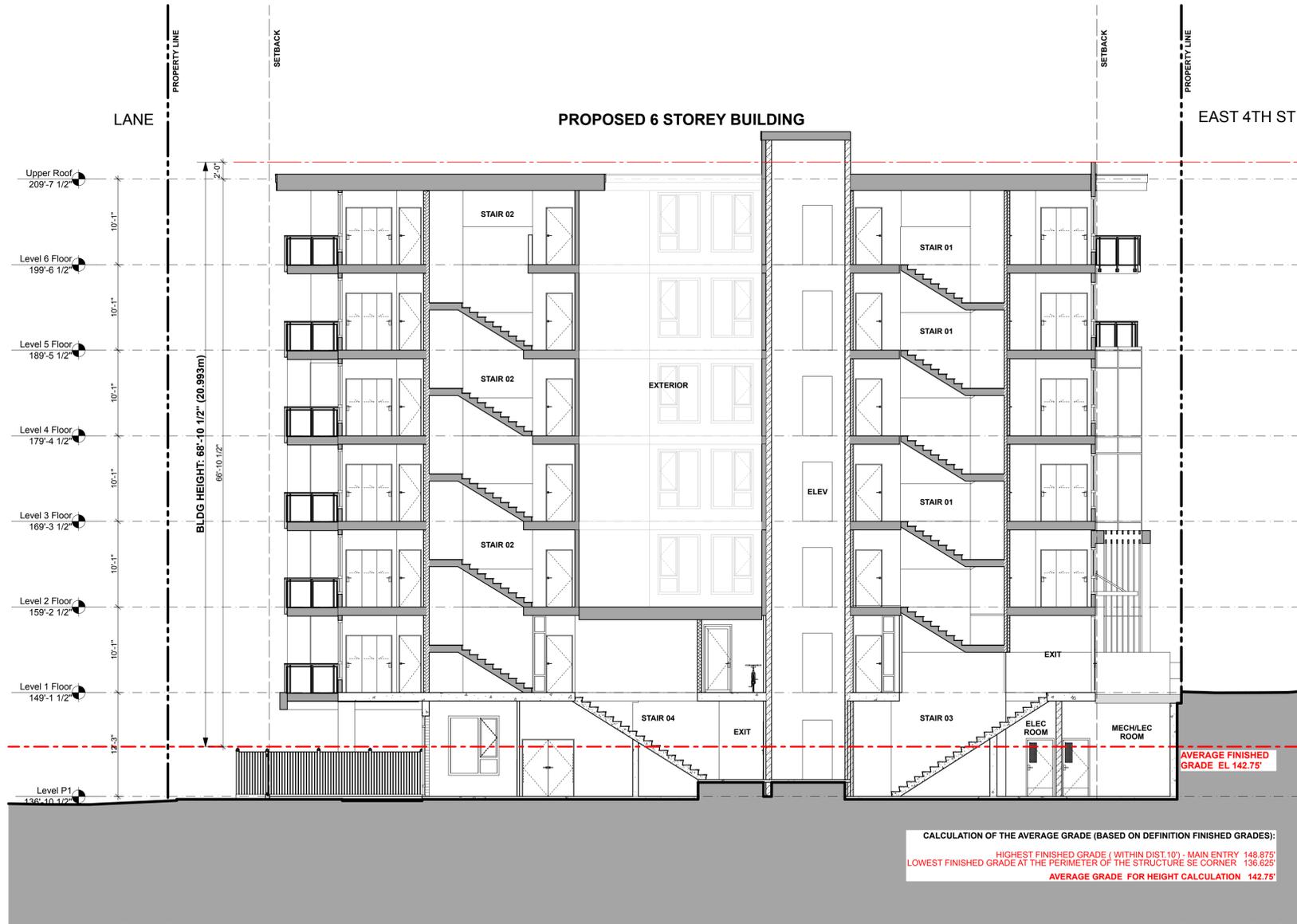
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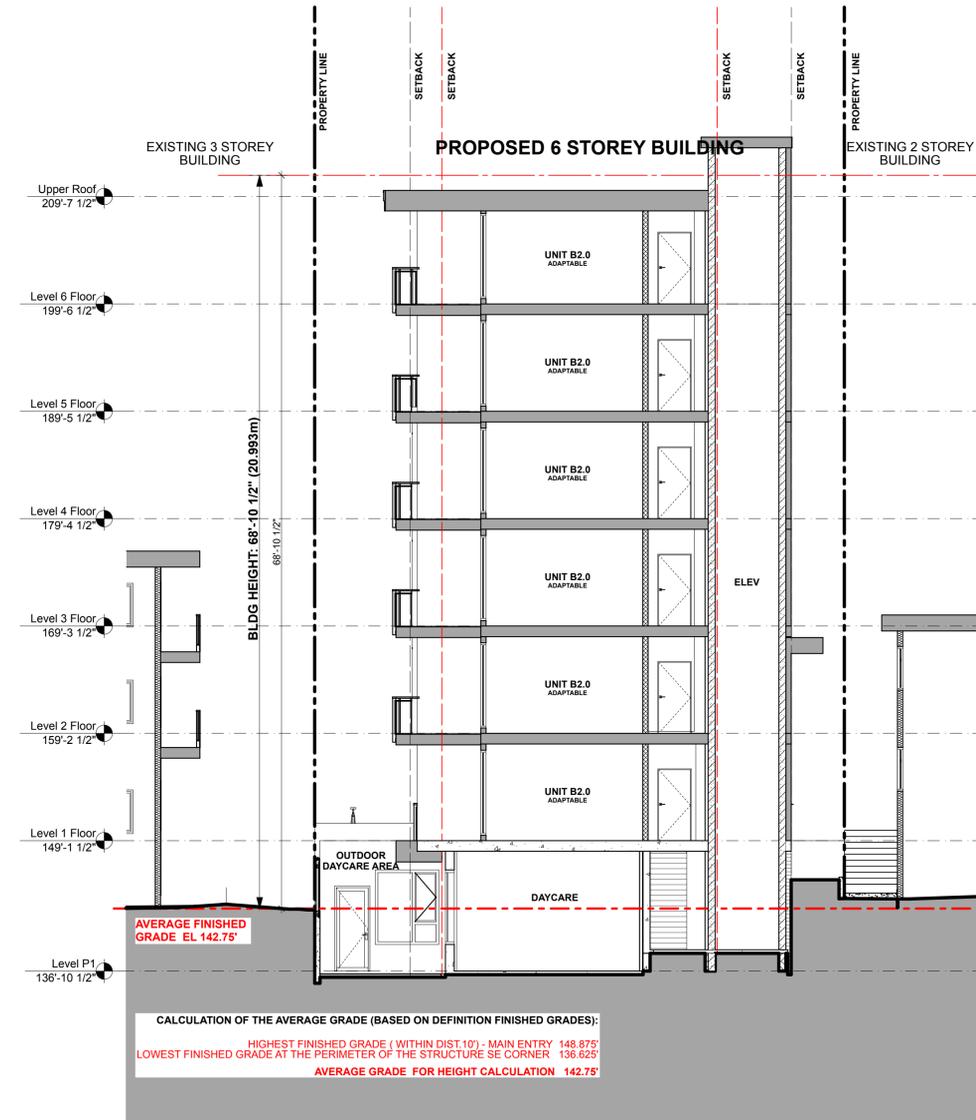
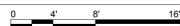
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[PROJECT TEAM]



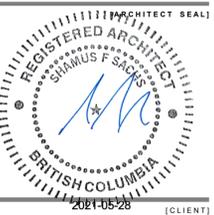
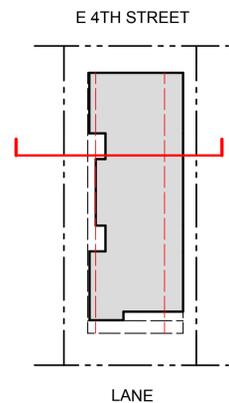
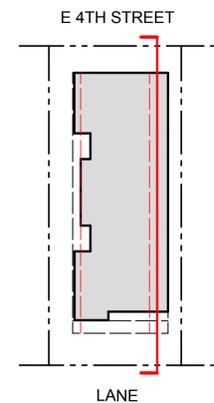
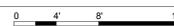
1 N/S Site Section

SCALE: 1/8" = 1'-0"



3 E/W Site Section

SCALE: 1/8" = 1'-0"



Three Shores

[PROJECT]

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

Site Sections

20507

[PROJECT]

[SCALE]

Thursday, May 27, 2021

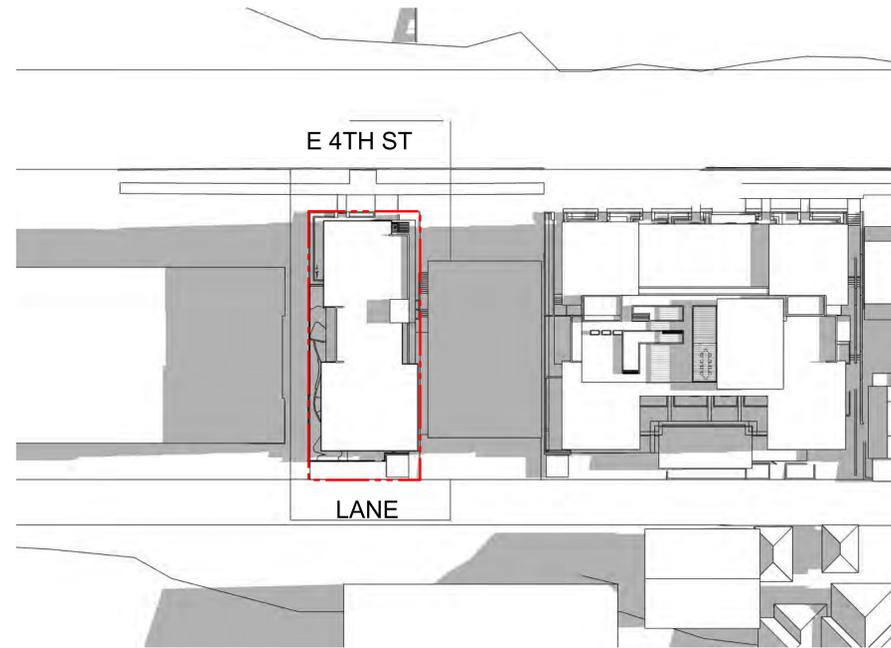
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ISSUE 05 - DP RESUBMISSION

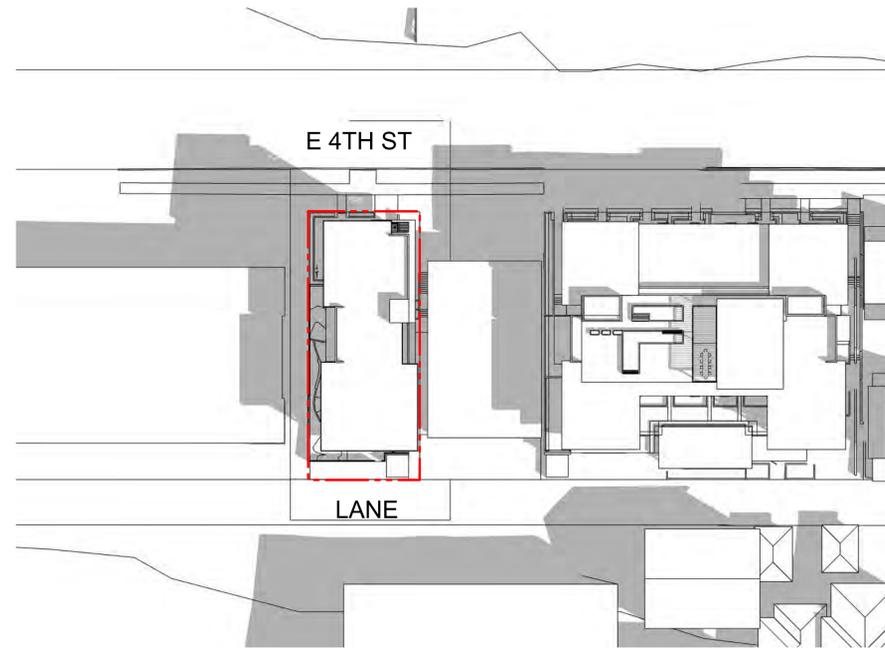
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A-5.100

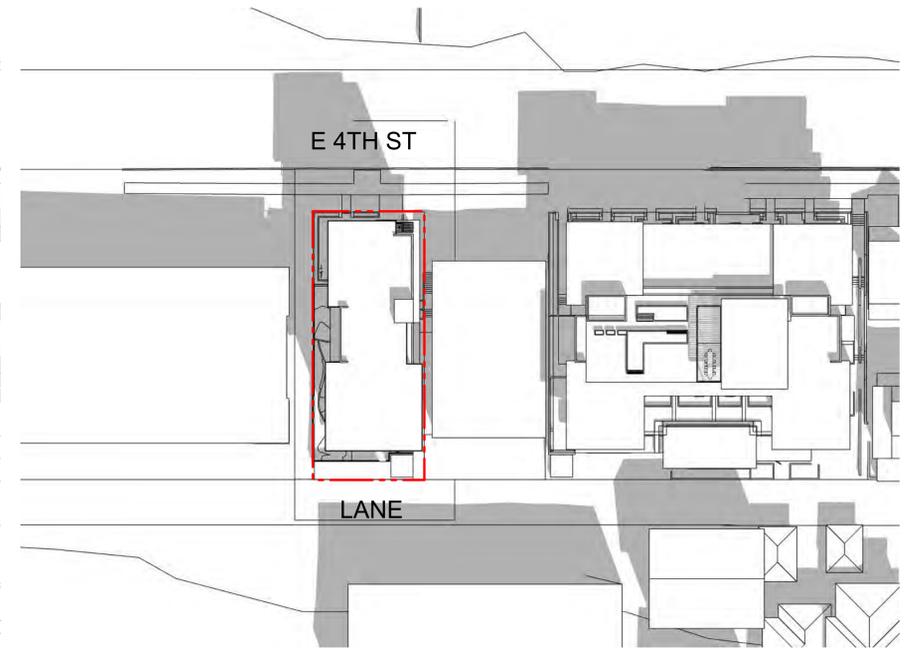
SPRING EQUINOX  
MARCH 21



10 AM

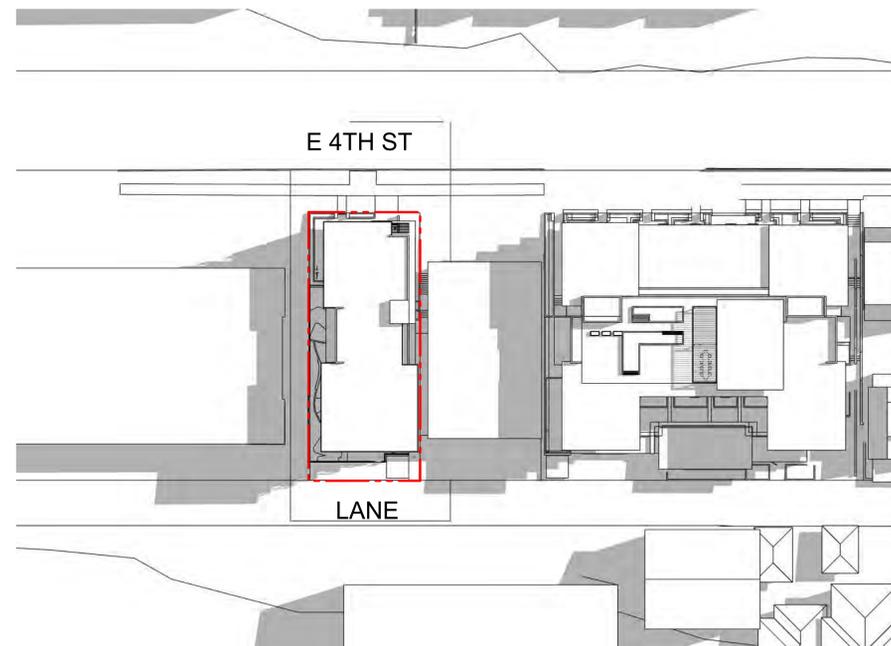


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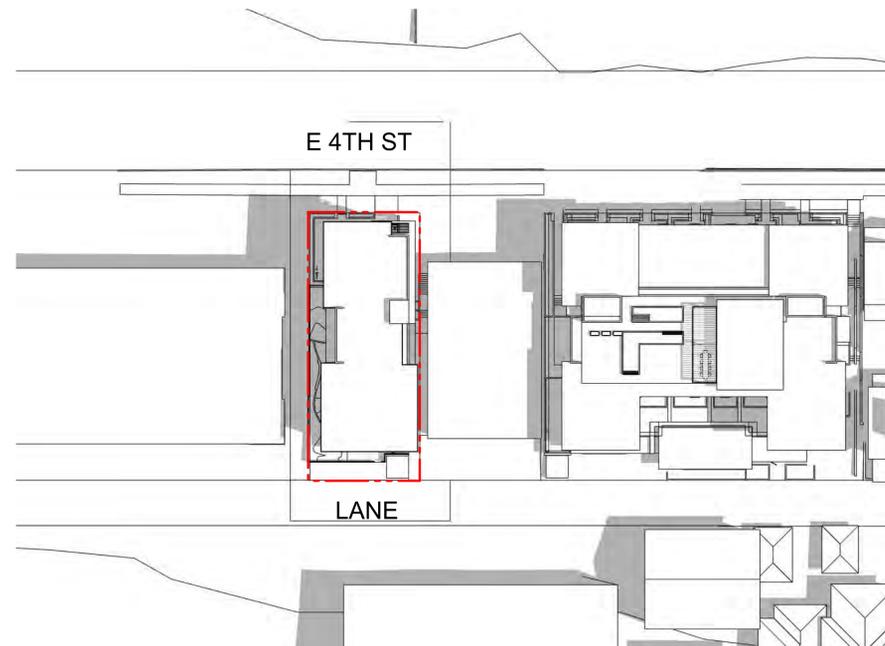


2 PM

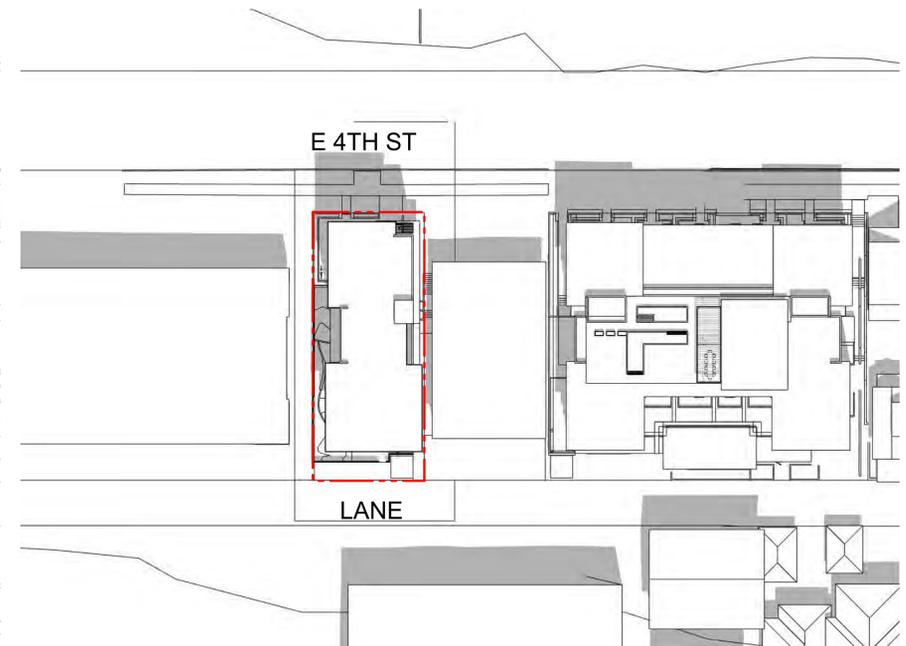
SUMMER SOLSTICE  
JUNE 21



10 AM



12 PM



2 PM

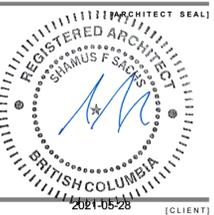


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[PROJECT TEAM]



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

Shadow Study

20507

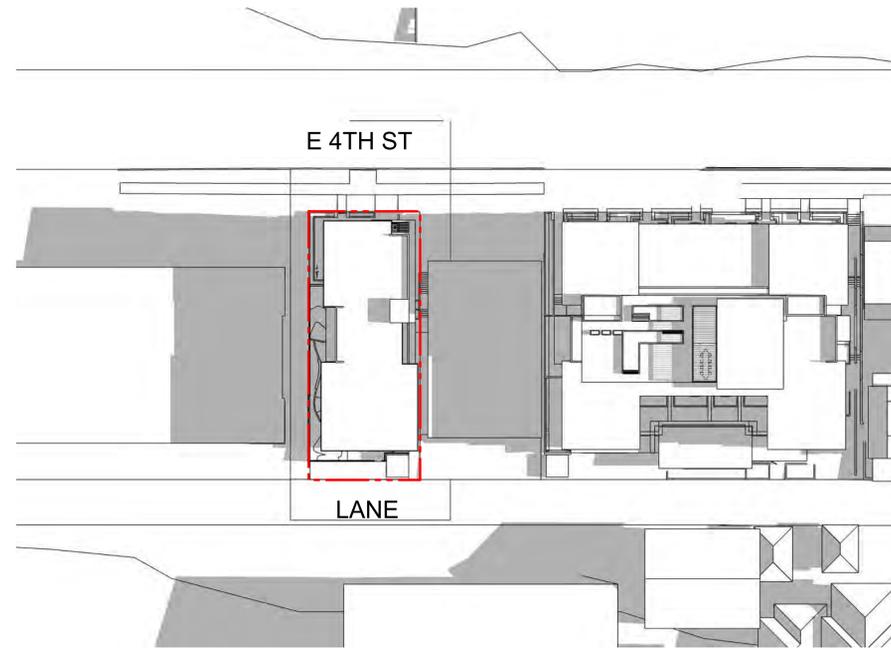
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Thursday, May 27, 2021

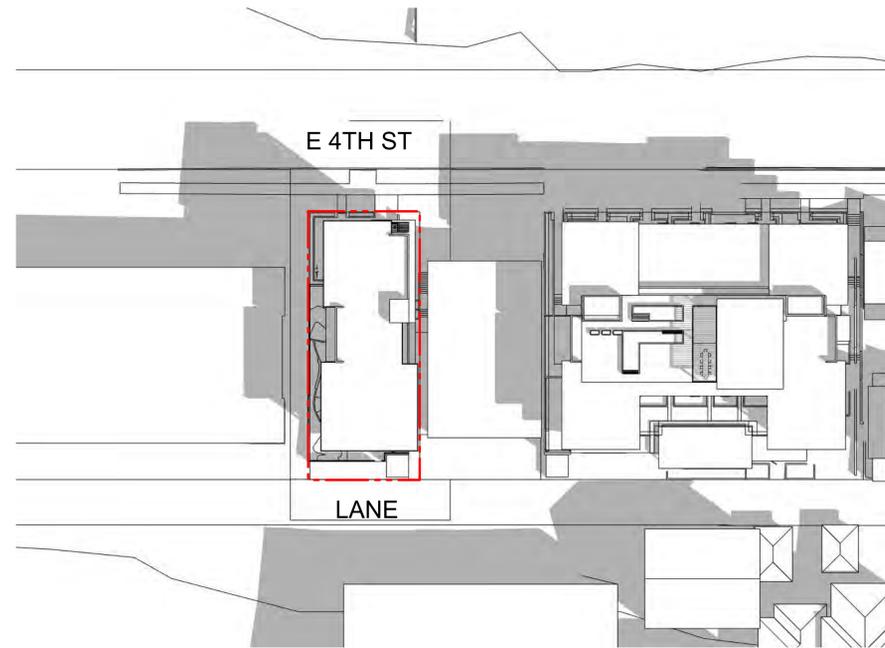
ISSUE 05 - DP RESUBMISSION

**A-8.100**

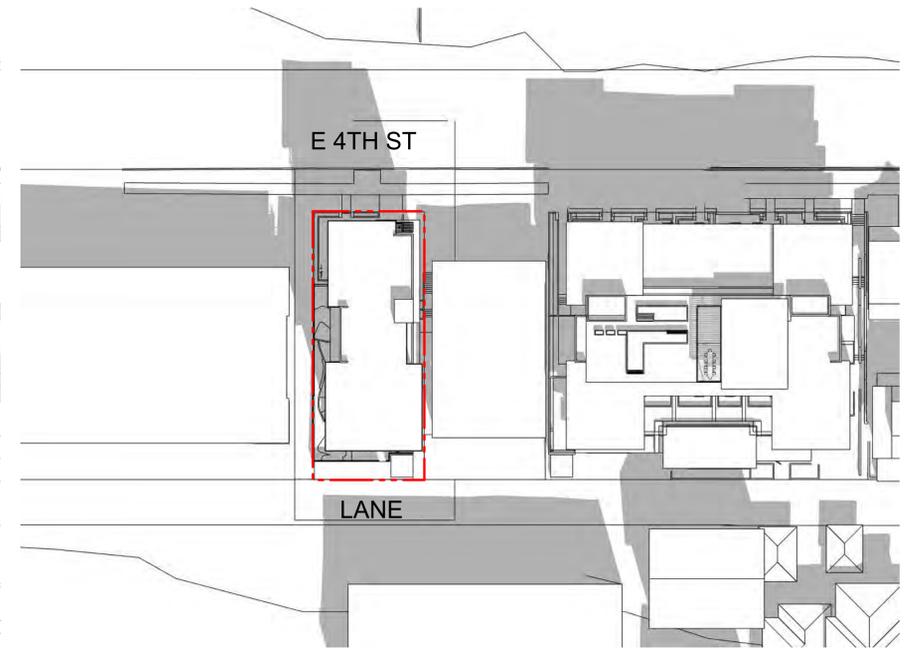
FALL EQUINOX  
SEPTEMBER 23



10 AM

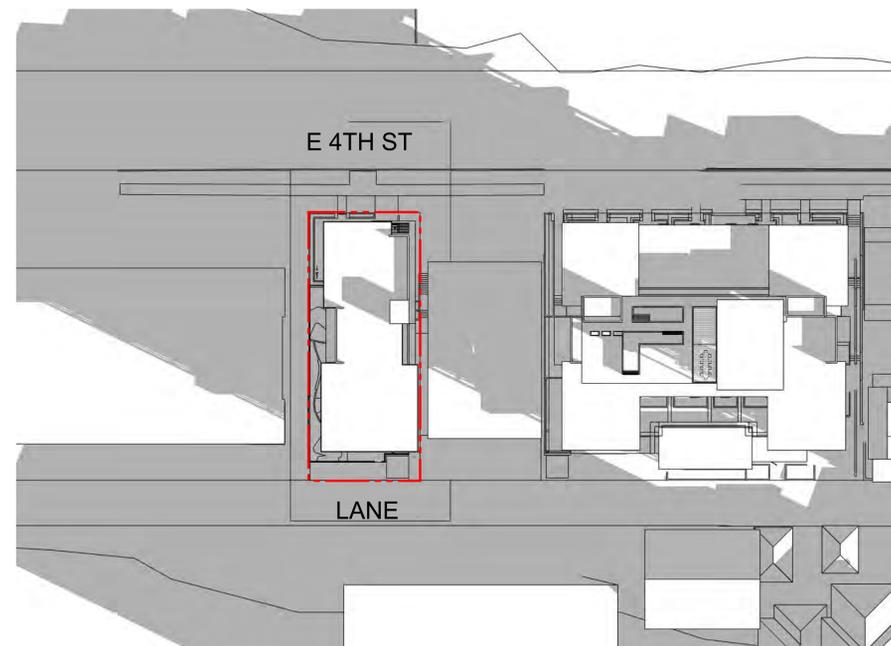


12 PM

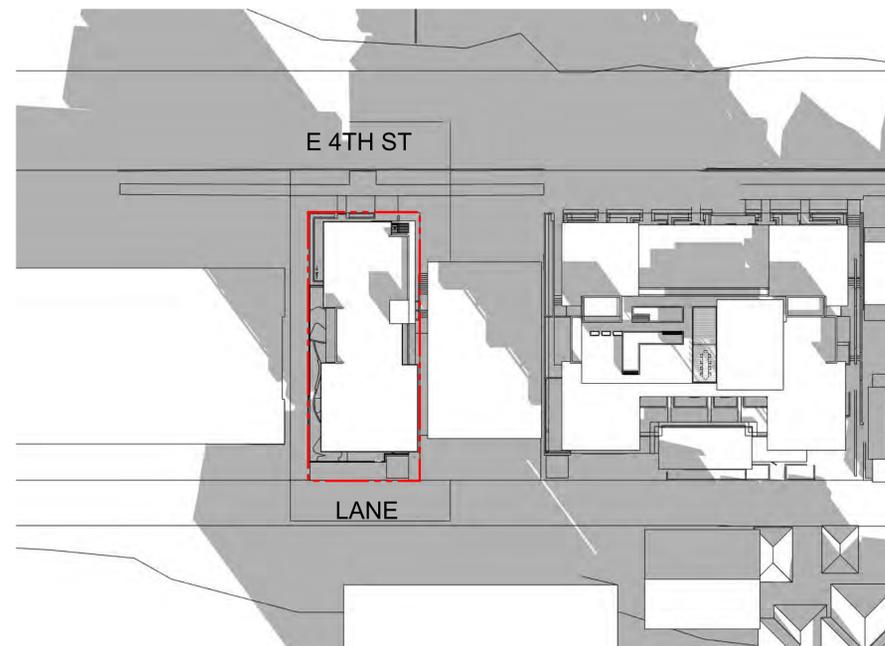


2 PM

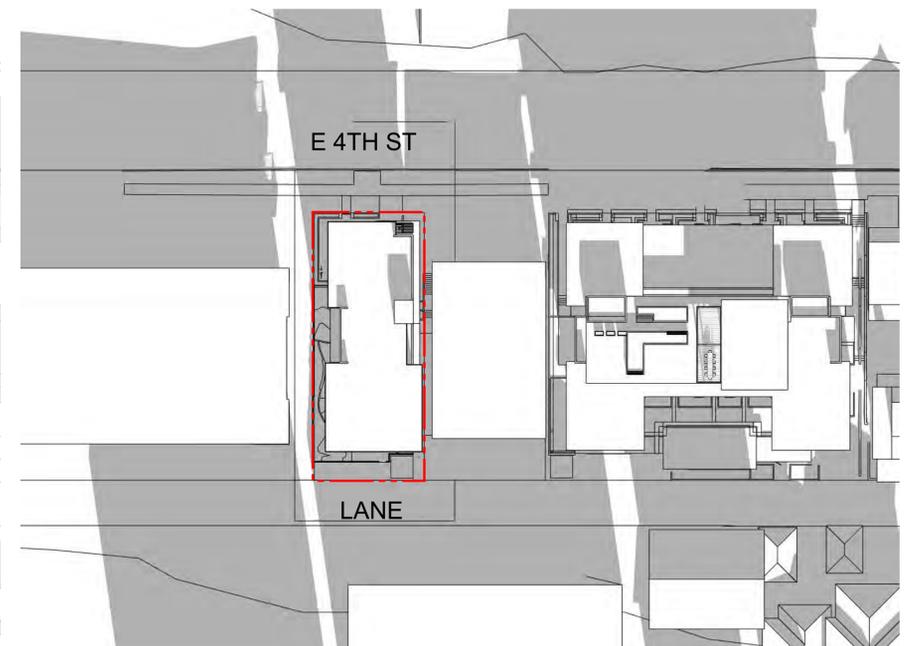
WINTER SOLSTICE  
DECEMBER 21



10 AM



12 PM



2 PM

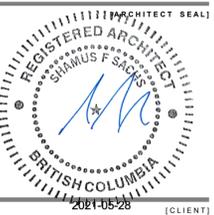


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[PROJECT TEAM]



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

**Shadow Study**

20507

1:97.04

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

**A-8.200**



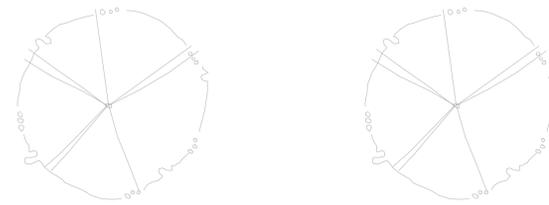
# Integra

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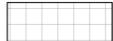
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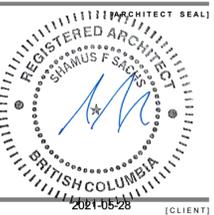
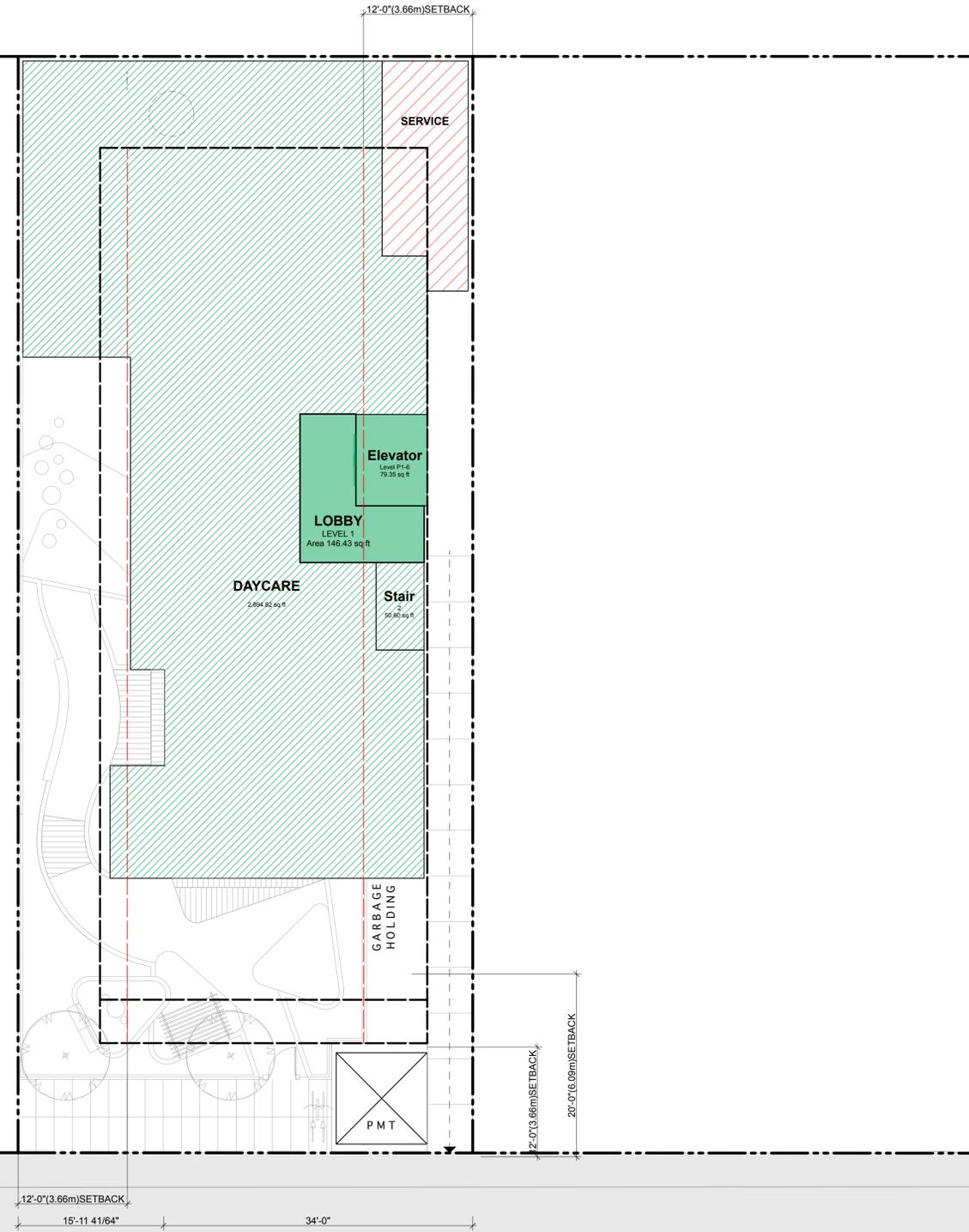
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[PROJECT TEAM]



- AREAS INCLUDED IN THE FSR CALCULATION**
-  AREA - GROSS FLOOR AREA FOR FSR
  -  AREA - UNIT
  -  AREA - ACTIVE DESIGN - ACCESS TO OUTDOOR AMENITY (AREA EXCLUSION FROM FSR) MAX 8%

- AREAS NOT INCLUDED IN THE FSR CALCULATION**
-  AREA - OPEN BALCONY AND UNIT DECK AREA
  -  AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
  -  AREA - SERVICE ROOMS UIG PARKING, GARBAGE



[CLIENT]

**Three Shores**

[PROJECT]

**133 East 4th**

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

**P1 FSR Overlays**

**20507**

[PROJECT]

[SCALE]

**Thursday, May 27, 2021**

[DATE]

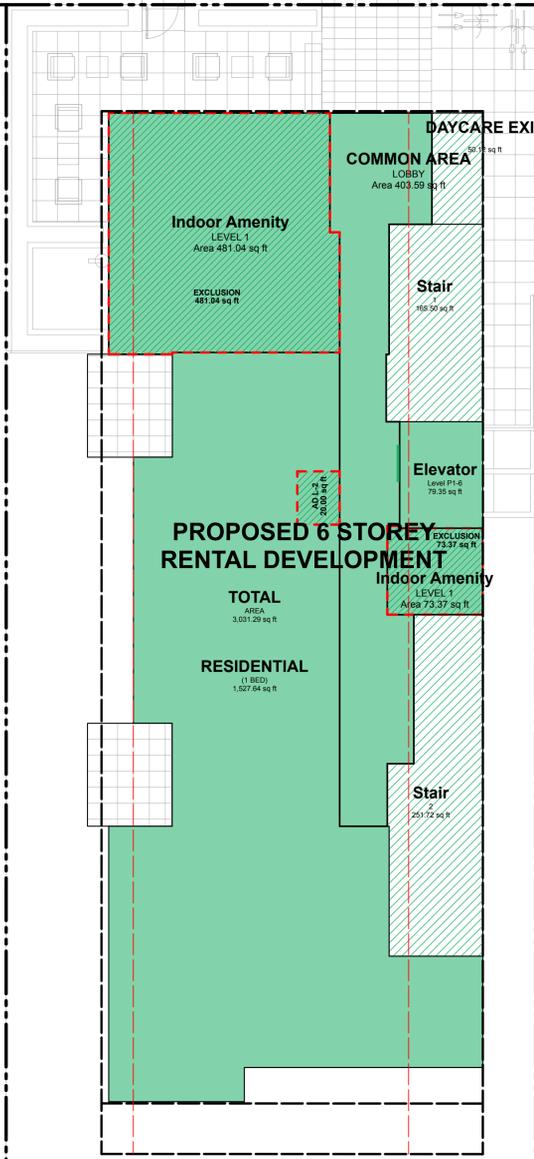
**ISSUE 05 - DP RESUBMISSION**

[DRAWING]

**A-9.210**



[PROJECT TEAM]



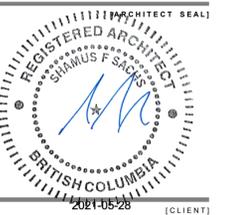
**AREAS INCLUDED IN THE FSR CALCULATION**

- AREA - GROSS FLOOR AREA FOR FSR
- AREA - UNIT
- EXCLUSIONS  
STAIR AREA - ACTIVE DESIGN  
(AREA EXCLUSION FROM FSR) MAX 8%

**AREAS NOT INCLUDED IN THE FSR CALCULATION**

- AREA - OPEN BALCONY AND UNIT DECK AREA
- AREA - COMMON STORAGE / BICYCLE LOCKERS PARKING
- AREA - SERVICE ROOMS UIG PARKING, GARBAGE

LANE



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

**Level 1 FSR  
Overlays**

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

**A-9.220**



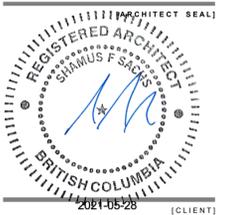
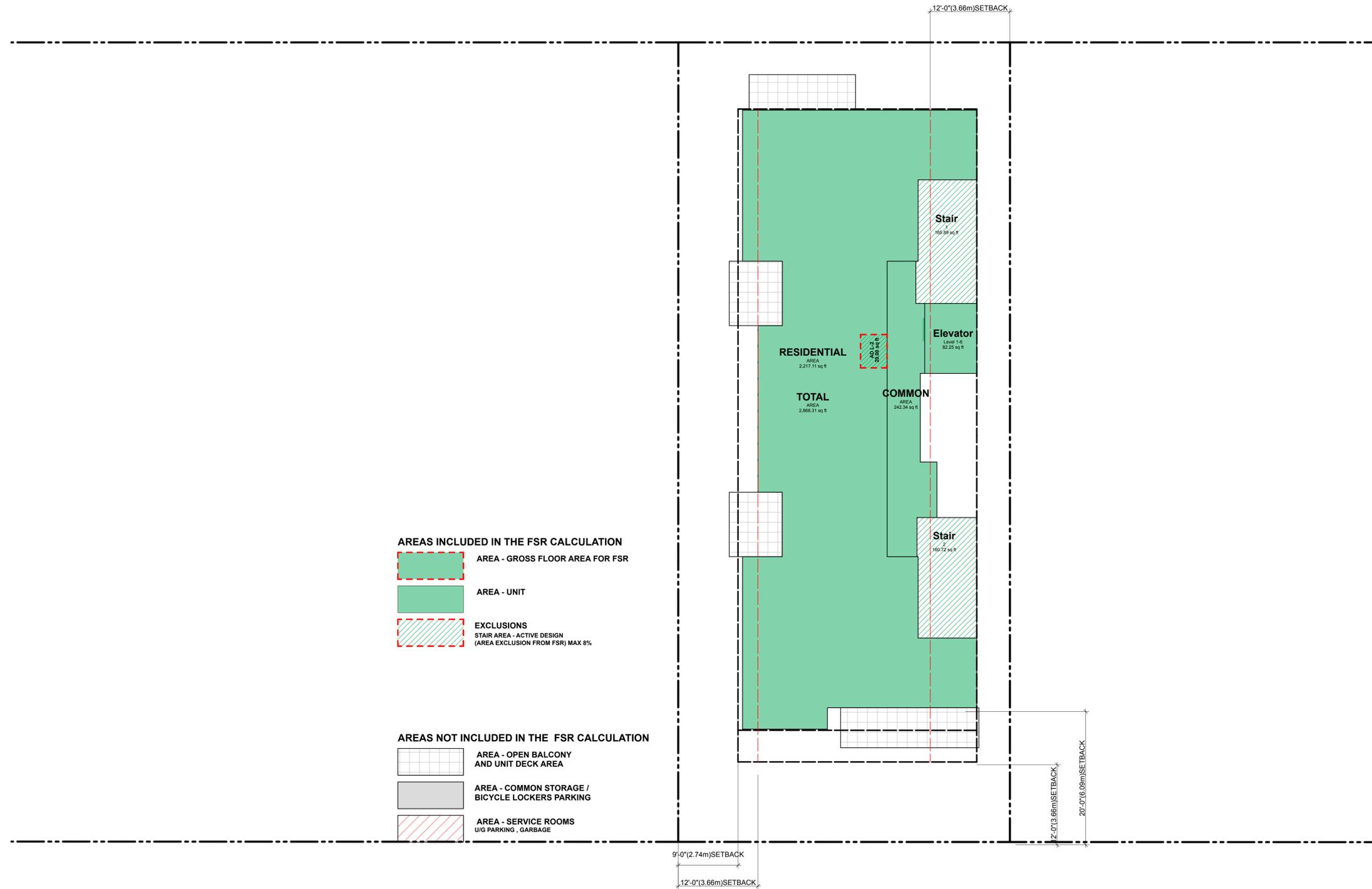
# Integra

ARCHITECTURE INC.

2330-200 Granville Street  
Vancouver, BC, V6C 1S4  
www.integra-arch.com  
Telephone: 604 688 4220

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[PROJECT TEAM]



Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

Level 2 FSR  
Overlays

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

A-9.230



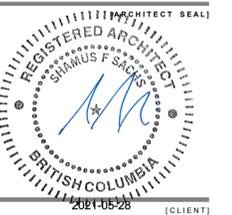
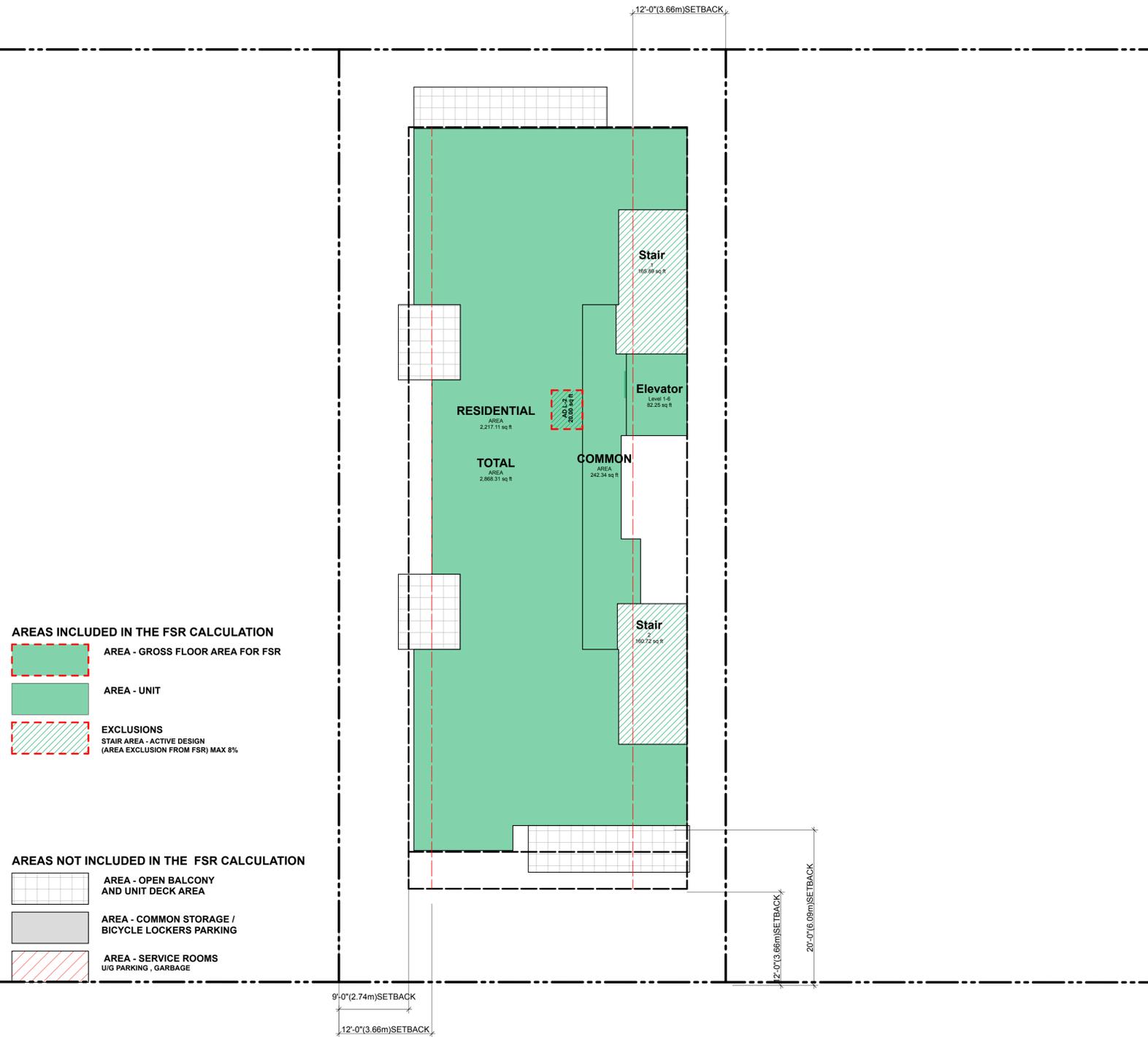
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[PROJECT TEAM]



[CLIENT]

### Three Shores

[PROJECT]

### 133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

### Level 3 FSR Overlays

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [REVISION]

[DRAWING]

# A-9.240



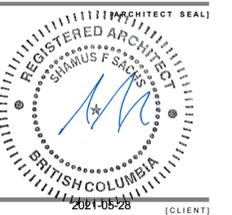
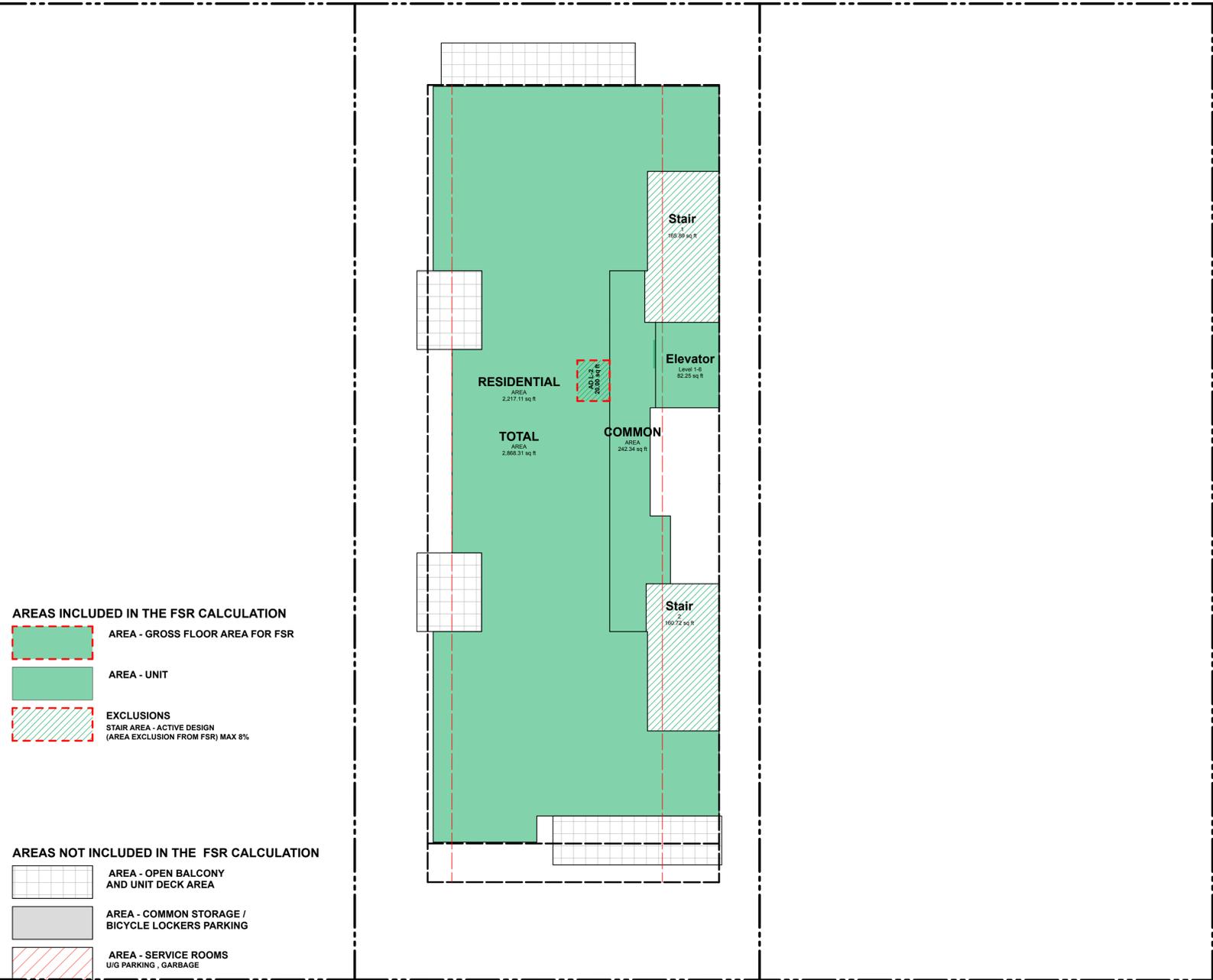
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Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

Level 4 FSR  
Overlays

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

A-9.250



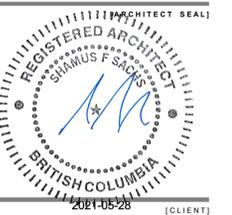
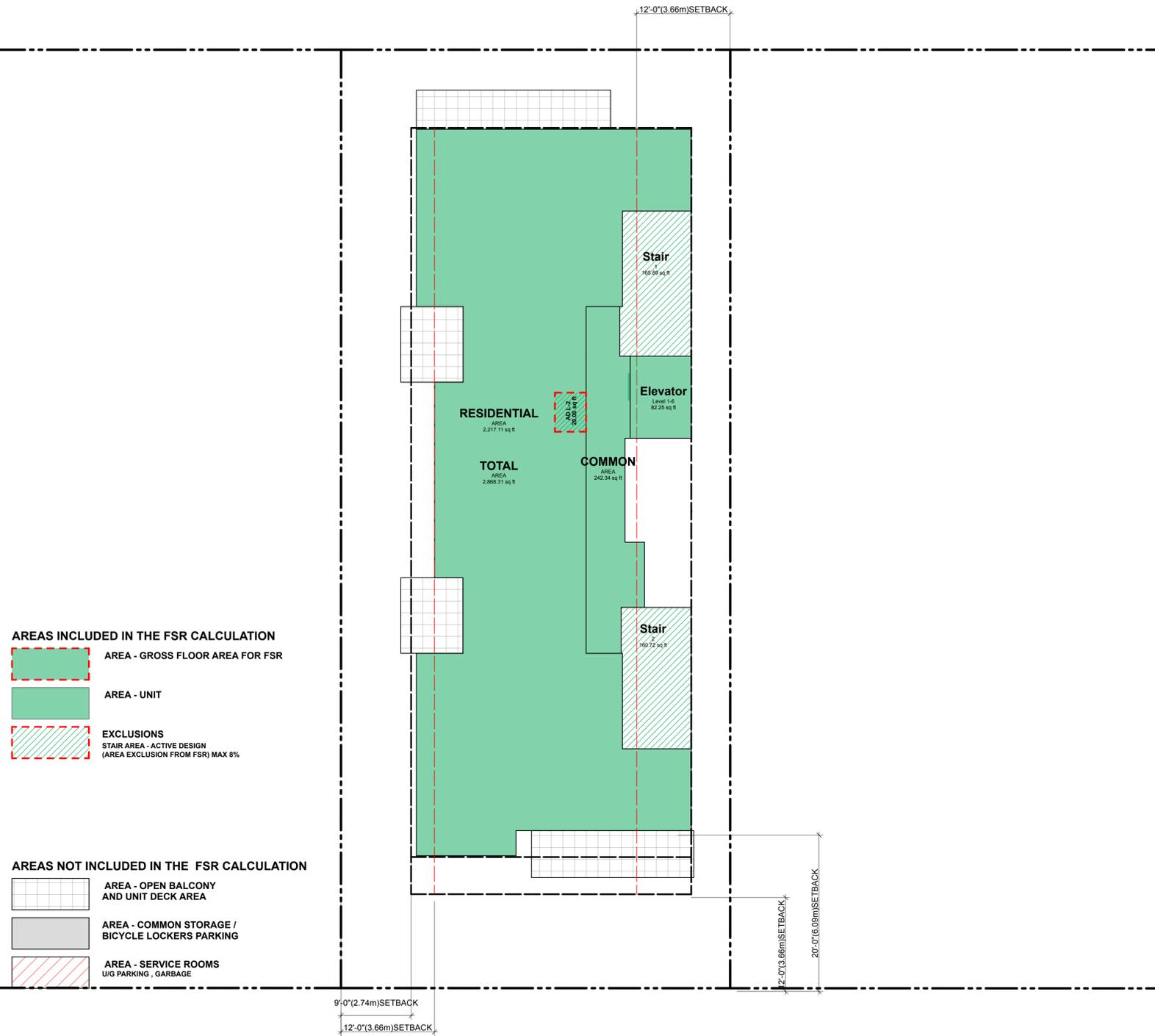
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[PROJECT TEAM]



[CLIENT]

### Three Shores

[PROJECT]

### 133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

[TITLE]

### Level 5 FSR Overlays

20507 [PROJECT]

[SCALE]

Thursday, May 27, 2021 [DATE]

ISSUE 05 - DP RESUBMISSION [DRAWING]

[DRAWING]

# A-9.260



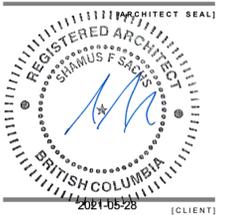
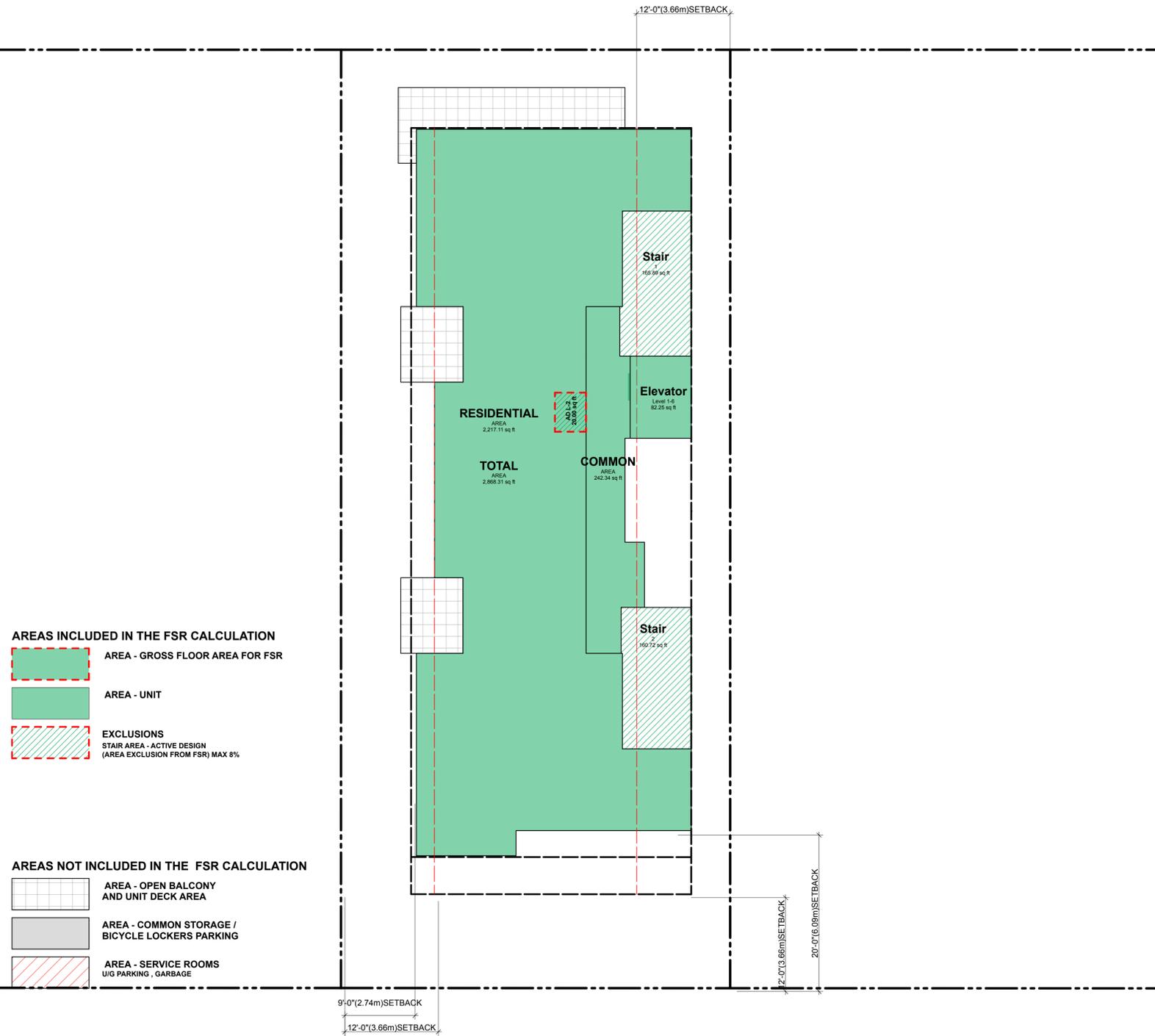
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Three Shores

133 East 4th

133 E 4th Street  
North Vancouver, British Columbia

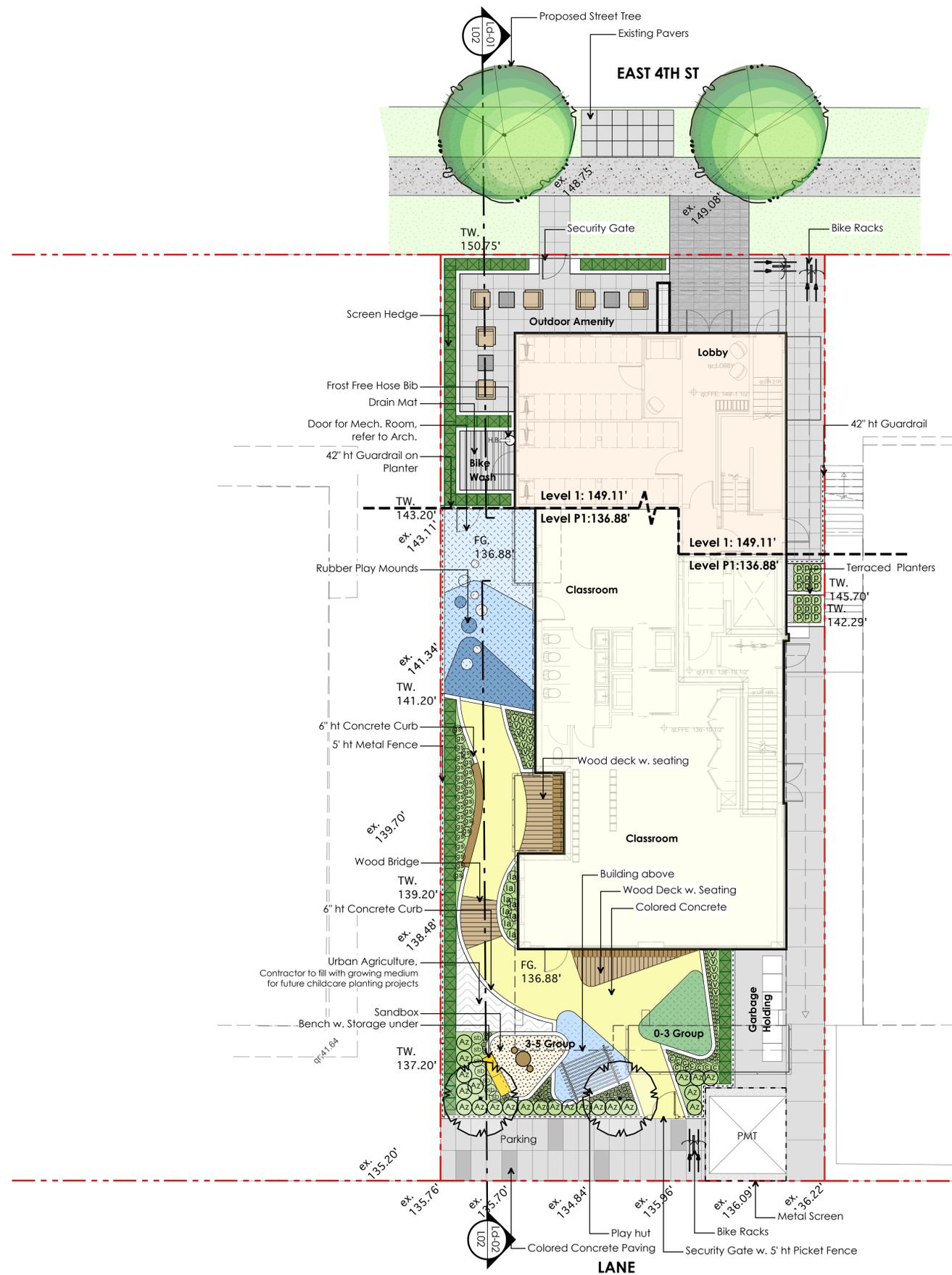
Level 6 FSR  
Overlays

20507

Thursday, May 27, 2021

ISSUE 05 - DP RESUBMISSION

A-9.270



### Hard Surfacing

	Cast In Place Concrete Paving - Sidewalk Refer to City of North Vancouver Standard
	Cast In Place Concrete Paving - on site Finish: light broom 100mm thick
	Hydrapressed Concrete Slab Pavers Size: 24" x 24" x 2" thk. Colour: natural Supplier: Abbotsford Concrete (604-892-4967)
	Granite Stone Pavers Size: 12" x 24" x 1.5" thk.
	Gravel Strip

	Paired in Place Safey Surfacing Color 1 Thickness: 3" Color Blend: 50% Teal, 50% Pearl Supplied by: Marathon Surfaces
	Paired in Place Safey Surfacing Color 1 Thickness: 3" Color Blend: Teal Supplied by: Marathon Surfaces
	Paired in Place Safey Surfacing Color 1 Thickness: 3" Color Blend: 50% Teal, 50% Rainbow Blue Supplied by: Marathon Surfaces
	Paired in Place Safey Surfacing Color 1 Thickness: 3" Color Blend: Rainbow Green Supplied by: Marathon Surfaces
	Paired in Place Safey Surfacing Color 1 Thickness: 3" Color Blend: Signal Green Supplied by: Marathon Surfaces
	Coloured Concrete Colour Integral coloured concrete, Broom finish, sawcut as 1500mm 17 o.c. max. Colour: Harvest Gold (5084) by Davis Colours.
	Wood Deck 2x6 cedar deck boards
	Play Sand Sharp/course grain play sand

### Soft Landscape

	Planting Bed
	Privacy Hedging
	Sand Based Sodded Lawn
	Urban Agriculture

### PLANT LIST

TREES	Qty.	Botanical Name	Common Name	Size/Spacing
	2	Acer rubrum 'Scarson' (Stree Trees)	Red Sunset Maple	7cm cal. B&B
	2	Counus kousa 'Fireworks'	Kousa Dogwood (Pink)	5cm cal. B&B
SHRUBS, GROUNDCOVERS, GRASS	Qty.	Botanical Name	Common Name	Size/Spacing
Az	22	Azalea 'Hino White'	Azalea Hino White	#2 pot, 18" O.C.
c	9	Carex 'Ice Dance'	Variegated Japanese Sedge	#1 pot 12" O.C.
f	73	Fragaria 'Tristar'	Everbearing Strawberry	4" pot, 6" o.c.
gs	25	Gaultheria Shallon	Salal	#1 pot 15" O.C.
la	8	Lavendula angustifolia 'Hidcote'	Hidcote English Lavender	#2 pot 18" O.C.
p	18	Polystichum munitum	Sword Fern	#2 pot 16" O.C.
sb	7	Stachys byzantina 'Big Ears'	Lamb's Ear	#1 pot, 12" o.c.
e	69	Thymus pseudolanuginosus	Woolly Thyme	#1 pot, 12" o.c.
⊠	90	Taxus media x hicksii	Yew Hedge (Male only)	4' ht
V	20	Vaccinium 'Northsky'	Dwarf Blueberry	#2 pot 12" O.C

### GENERAL IRRIGATION NOTES:

- All items as specified Rainbird or pre-approved equals.
- Irrigation system to be design build. Irrigation plan to be submitted to Landscape Architect and CNV Parks & Engineering for review & approval prior to installation. Adjust as required with the input of the Landscape Architect. All adjustments to be pre-approved before proceeding with the work. Head to head coverage is desired where practical.
- Backflow Preventer, Blowout Tee and Controller to be installed to meet local plumbing codes.
- Exact locations and layout to be approved by Landscape Architect prior to installation. No valves or valve boxes to be located within hard paved surfaces. Adjust all head locations, heights, and overall performance of the system to the satisfaction of the Landscape Architect.
- All valve boxes to have 6" of drain rock in base.
- Install sleeving for pipes below all paved surfaces.
- Minimum 16" cover over all irrigation lines.
- Irrigation is to be provided to all soft landscape areas.
- Offsite Irrigation: City of North Vancouver forces to install an irrigation box and stub out for the offsite irrigation system (supply from building irrigation system). Location to be determined at the building permit design stage.

### GENERAL PLANTING NOTES:

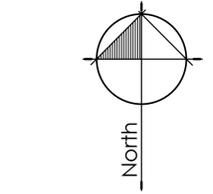
- All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Current Edition of the Canadian Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- All trees to be staked in accordance with CSLA Standards.

### Furniture + Structure

	Custom Wooden Bench - Ipe W/ Light Strip at bottom
	Bala Bike Racks (3) - Supplied by Landscape Farms - Stainless steel surface, mount to concrete
	5' ht Metal Fence
	Metal access gate w. graphic design
	Log Table and Chairs
	Benches with Storage Under
	Play Hut

### Grading + Drainage

TS 10.00m	Top of stair
BS 10.00m	Bottom of stair
TW 10.00m	Top of Wall
BW 10.00m	Bottom of Wall
10.00m	Spot elevation
FG 10.00m	Finished grade
BG 10.00m	Building grade
- 1%	Direction/percent slope
- - - - -	Break in slope
AD	Area drain
DN/AR	Direction/number of risers down
X 1.00	Existing elevation (as per survey)
- - - - -	Property line
- - - - -	P1 Outline



2	May 14, 2021	Re-Issued for Rezoning
1	Aug 31, 2020	Issued for Rezoning
no.:	date:	Item:

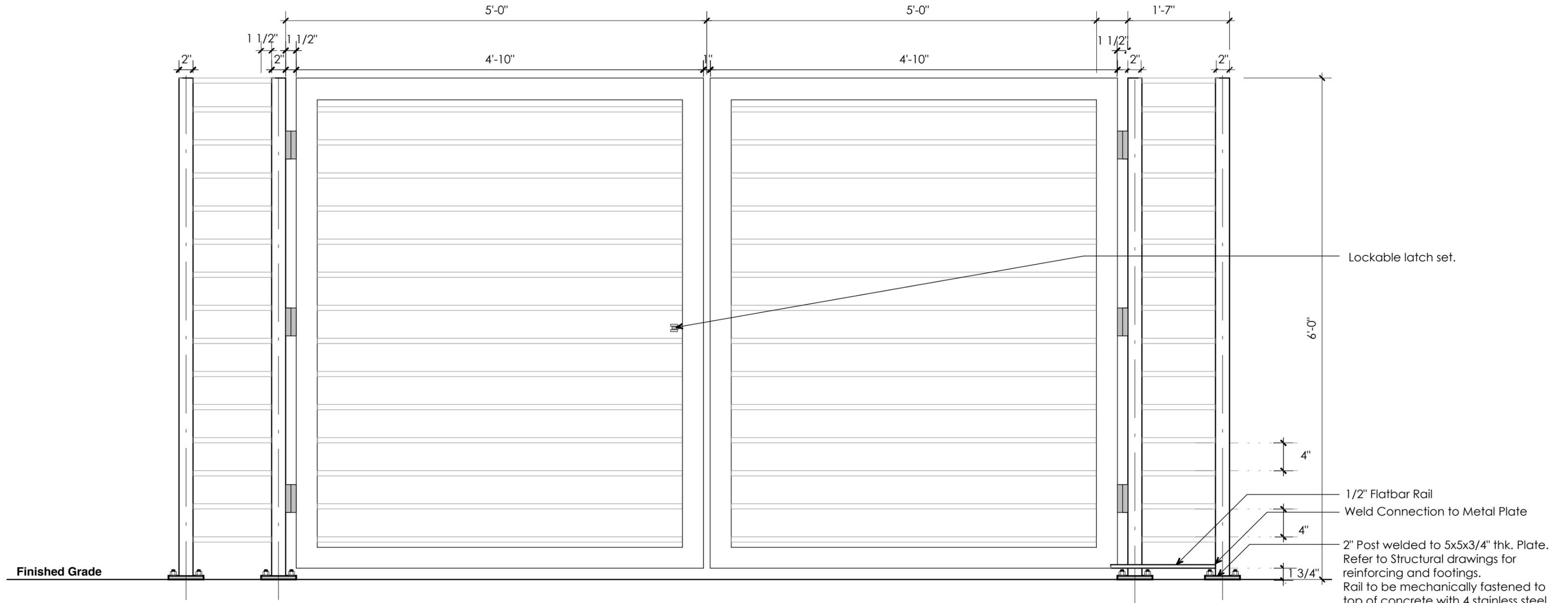


Project:  
**133 East 4th Street,  
North Vancouver**

Drawn by: QJ  
Checked by: SV  
Date: Feb 12, 2020  
Scale: 1/8" = 1'-0"

Drawing Title:  
**Landscape Site Plan**

Project No.:  
**20041**  
Sheet No.:



PMT Screen - Front Elevation

**PROVIDE SHOP DRAWINGS AT EACH ANCHOR LOCATION**

Ld-01  
L-1.1

PMT Screen - Ground Level  
Scale 1" = 1'-0"