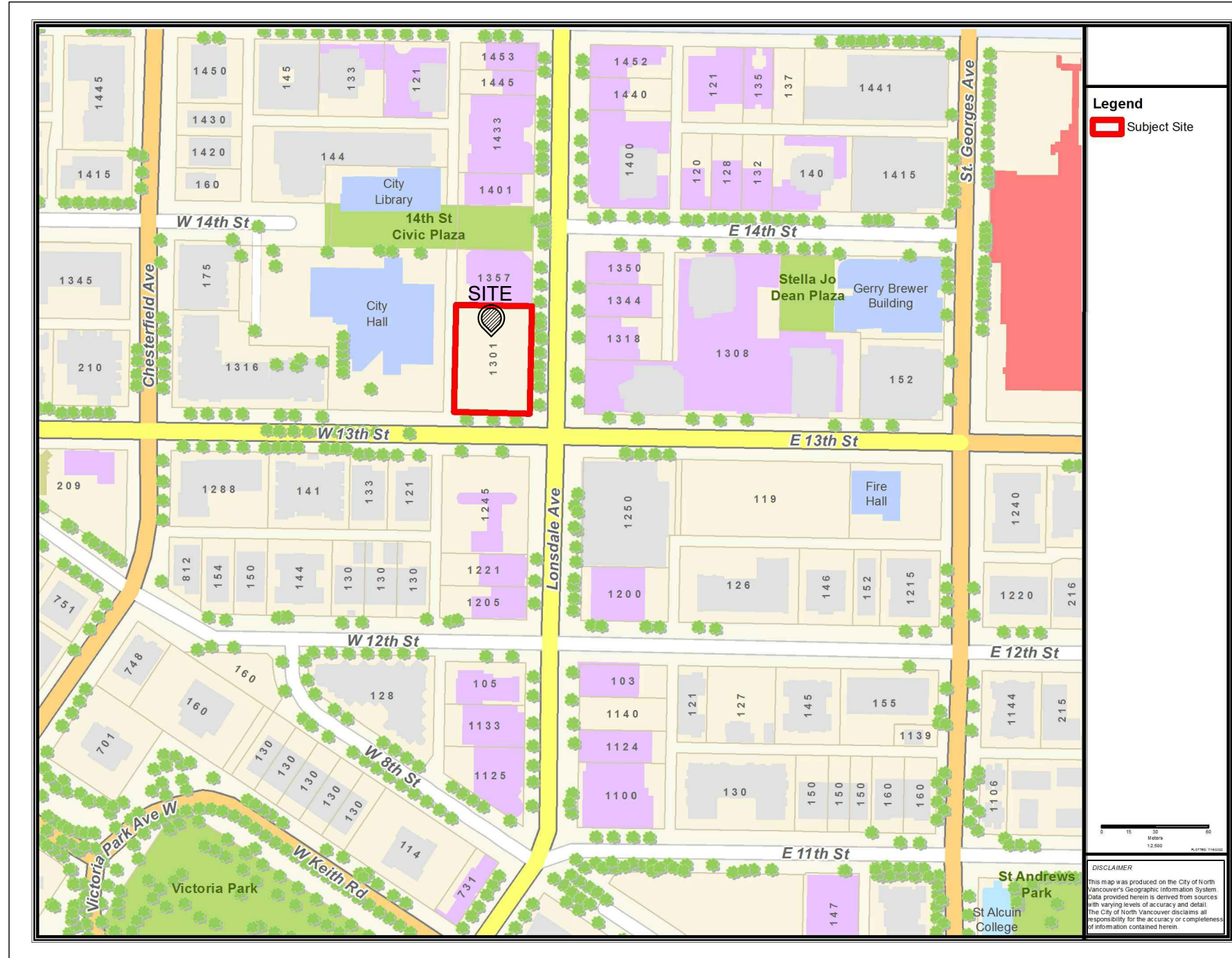


VICINITY MAP 



**PROJECT DATA**

**CIVIC ADDRESS:**  
1311 Lonsdale Avenue, North Vancouver BC

**PID:** 031-128-351

**LEGAL ADDRESS:**  
Plan EPP99828 District Lot 548 Land District 1  
Land District 36 & DL 549 Air Space Parcel 1

**ZONING:** CD-677

**BUILDING CODES:**  
BC Building Code 2018  
Part 3 – Group D – Business and Personal Services

**FLOOR AREA:**  
Existing Floor Area:  
CRU: 1,831 ft<sup>2</sup> / 170.1 m<sup>2</sup>

**TYPE OF PROJECT:** TENANT IMPROVEMENT

**NUMBER OF STOREYS:** 1 STOREY – Ground Floor Retail

**SPRINKLER:** Yes – Existing

**WASHROOMS:**  
1 Existing Male and 1 Female Washrooms for Commercial Tenants. (See Path Diagram on A0.1)

**SCOPE OF WORK:**  
CRU Tenant Improvement for a temporary condo sales center. Scope of project is to create a display suite to act as a representation of a typical unit plan for the condo development. The display suite will have non-functioning plumbing fixtures and kitchen appliances for representational purposes only.

**PROJECT DIRECTORY**

**CLIENT:**  
Three Shores Developments

**ARCHITECT:**  
Advent Architecture Inc.  
5545 Deerhorn Lane, North Vancouver, V7R 4S8  
Phone: 604.866.5555

**DESIGNER/PROJECT MANAGER:**  
Shawn Rassekh  
RAAF PROJECTS  
3102-1111 Richards St  
Vancouver, BC V6B 3E1  
Phone: 236-558-4452

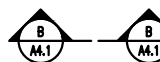
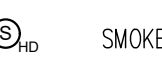










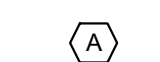



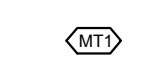

**PLUMBING & MECHANICAL:**  
Fluid Mechanical Engineering Ltd.  
2401-1188 Quebec Street  
Vancouver, B.C. V6A 4B3  
Phone: 604-263-3834

**ELECTRICAL:**  
VT Engineering  
6742 Fulton Ave  
Burnaby, BC V5E 3H1  
Phone: 604-771-5543

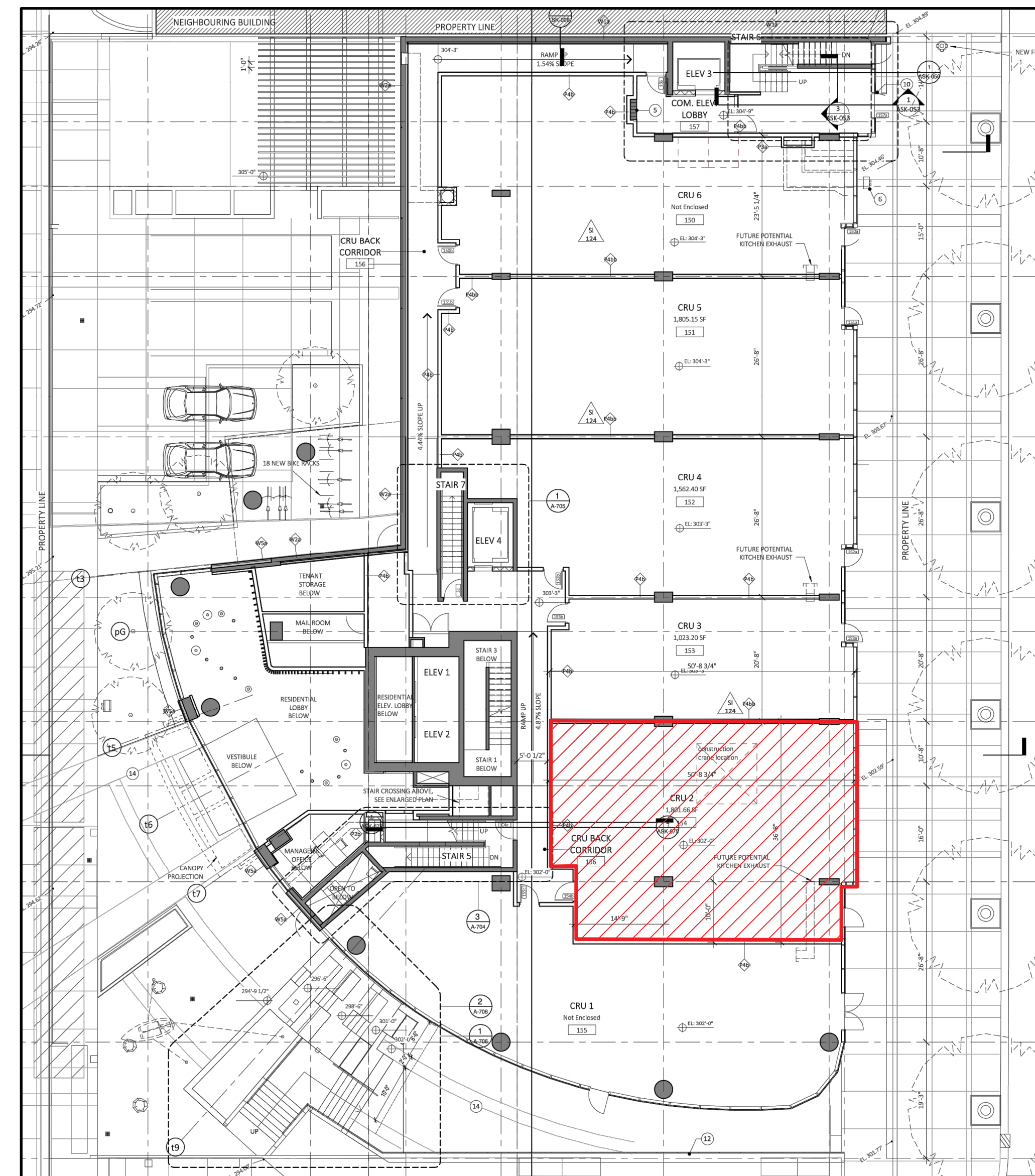
**ABBREVIATIONS**

ALUM	ALUMINUM	FC	FACE OF CONCRETE	OVR	OVERALL
AB	ANCHOR BOLT	FM	FEET PER MINUTE	PCF	POUNDS PER CUBIC FOOT
AHU	AIR HANDLER UNIT	FT	FOOT, FEET	PL	PLATE, PROPERTY LINE
BLK(G)	BLOCK(ING)	FT2	SQUARE FOOT (FEET)	PLYWD	PLYWOOD
BD	BOARD	FT3	CUBIC FEET	PSF	POUNDS PER SQ. FOOT
BLDG	BUILDING	FRRC	FURRING	PDR RM	POWDER ROOM
CAB	CABINET	GA	GAUGE	R(RAD)	RADIUS
CB	CATCH BASIN	GALV	GALVANIZED	RD	ROOF DRAIN
CD	CHANNEL	GI	GALVANIZED IRON	REC(RECT)	RECTANGLE/RECTILINE
CHNL	CHANNEL	GL	GLASS	REF	REFRIGERATOR
CLR	CLEAR	GYP	GYP SUM	RM	ROOM
CL	CENTER LINE	GYP BD	GYP SUM BOARD	SC	SOLID CORE
CO	CONCRETE OPENING	HB	HOSE BIB	SEC(SECT)	SECTION
CONC	CONCRETE	HC	HOLLOW CORE	SHF	SHEATHING
CONST	CONSTRUCTION	HDW	HARD WOOD	SHRG	SHORING
CONT	CONTINUOUS	HDWR	HARDWARE	SIM	SIMILAR
CONTR	CONTRACTOR	HORIZ	HORIZONTAL	S & P	SHELF & POLE
d	PENNY NAIL	HR	HANDRAIL	SO	SQUARE
dB	DECIBEL	HW(H)	HOT WATER (HEATER)	SS	SERVICE SINK
DD	DECK DRAIN	ID	INSIDE DIAMETER	S. STL	STAINLESS STEEL
DBL	DOUBLE	INCH(“)	INCH	STD	STANDARD
DET	DETAIL	INSUL	INSULATION	STOR(ST)	STORAGE
DIA	DIAMETER	INT	INTERIOR	STL	STEEL
DISP	DISPOSAL	IRR	IRRIGATION	SW	SWITCH
DN	DOWN	KIT	KITCHEN	SYS(SYST)	SYSTEM
DS	DOWNSPOUT	LAV	LAVATORY	TB	TOWEL BAR
DWG	DRAWING	LB.(#)	POUND	T&G	TONQUE AND GROOVE
EA	EACH	MAX	MAXIMUM	THK	THICK
EL	ELEVATION	MECH	MECHANICAL	TPH	TOWEL PAPER HOLDER
ELECT	ELECTRICAL	MED CAB	MEDICINE CABINET	TW	TOP OF WALL
EQ	EQUAL	MET	METAL	TYP	TYPICAL
EXT	EXTERIOR	MIN	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
FA	FIRE ALARM	MISC	MISCELLANEOUS	V	VENT
FAU	FORCE AIR UNIT	MFR (MFR)	MANUFACTURER	VERT	VERTICAL
FD	FLOOR DRAIN	NIC	NOT IN CONTACT	W/	WITH
FHC	FIRE HOSE CABINET	NO.(#)	NUMBER	WC	WATER CLOSET
FIR(FL)	FLOOR	NTS	NOT TO SCALE	WH	WATER HEATER
FOB	FACE OF BLOCK	OC	ON CENTER	WP	WATERPROOF
FOS	FACE OF STUD	OD	OUTSIDE DIAMETER	WT	WEIGHT
		OTO	OUT TO OUT		

**SYMBOLS**

	SECTION MARKER		SMOKE & CARBON MONOXIDE DETECTOR
	ELEVATION MARKER		MECHANICAL VENTILATION
	INTERIOR ELEVATION MARKER		FIRE EXTINGUISHER
	NORTH ARROW		HOSE BIB
	WALL TYPE		WATER STUB OUT
	KEYNOTE		GAS STUB OUT
	WINDOW MARKER		FLOOR LEVEL CHANGE
	DOOR MARKER		WATER CURTAIN
	MATERIAL KEYNOTE		FIRE DEPARTMENT CONNECTION

KEY PLAN - 1/16" = 1'-0"



**SHEET INDEX**

- ARCHITECTURAL
- A0.0 Cover Sheet
- A0.1 Bathroom Pathway Diagram
- A1.0 Existing & Proposed Plan
- A2.0 RCP & Wall Details



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Owner

**120 E14th Sales Center**  
Project

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North Vancouver, BC  
Location

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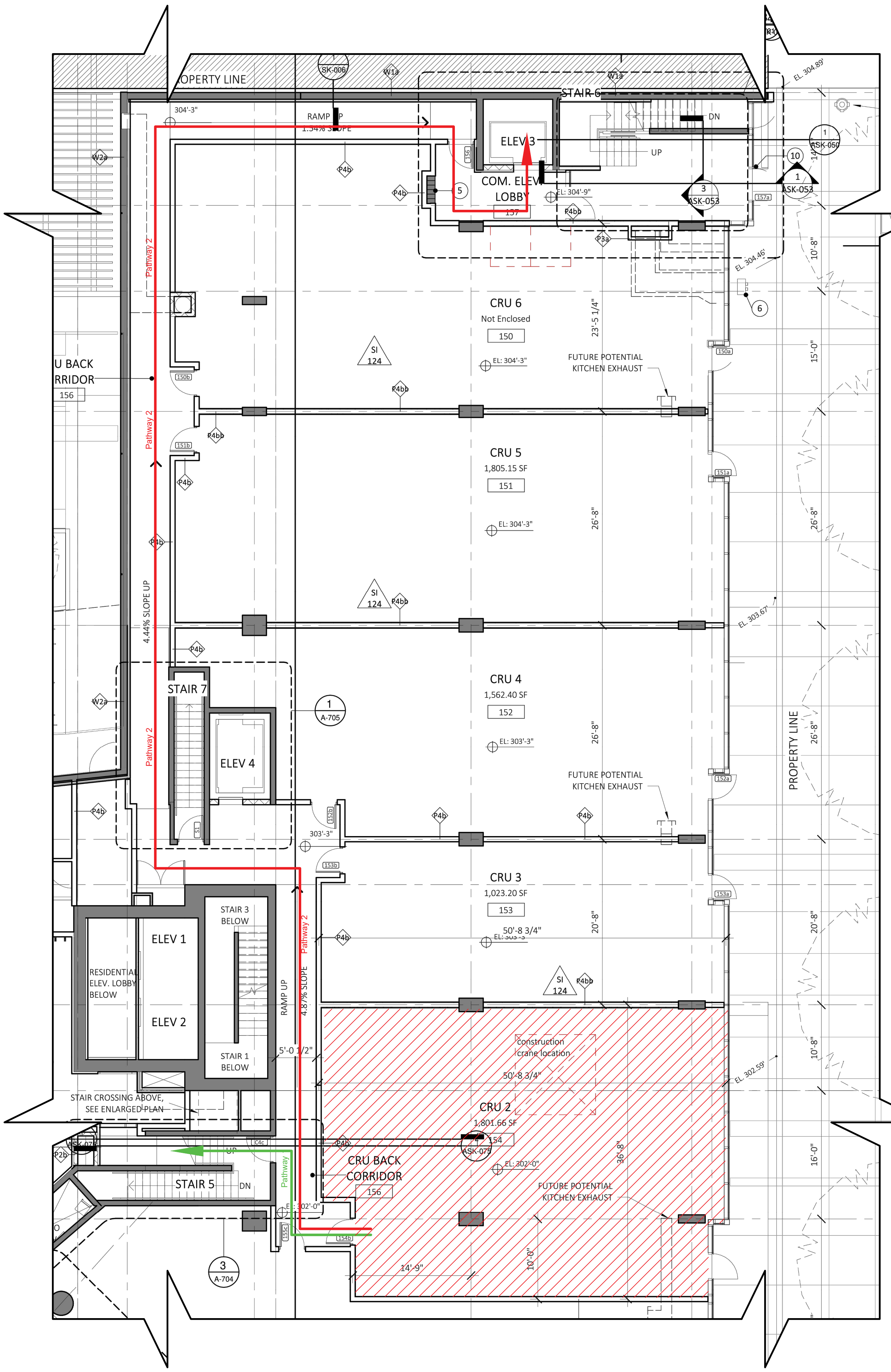
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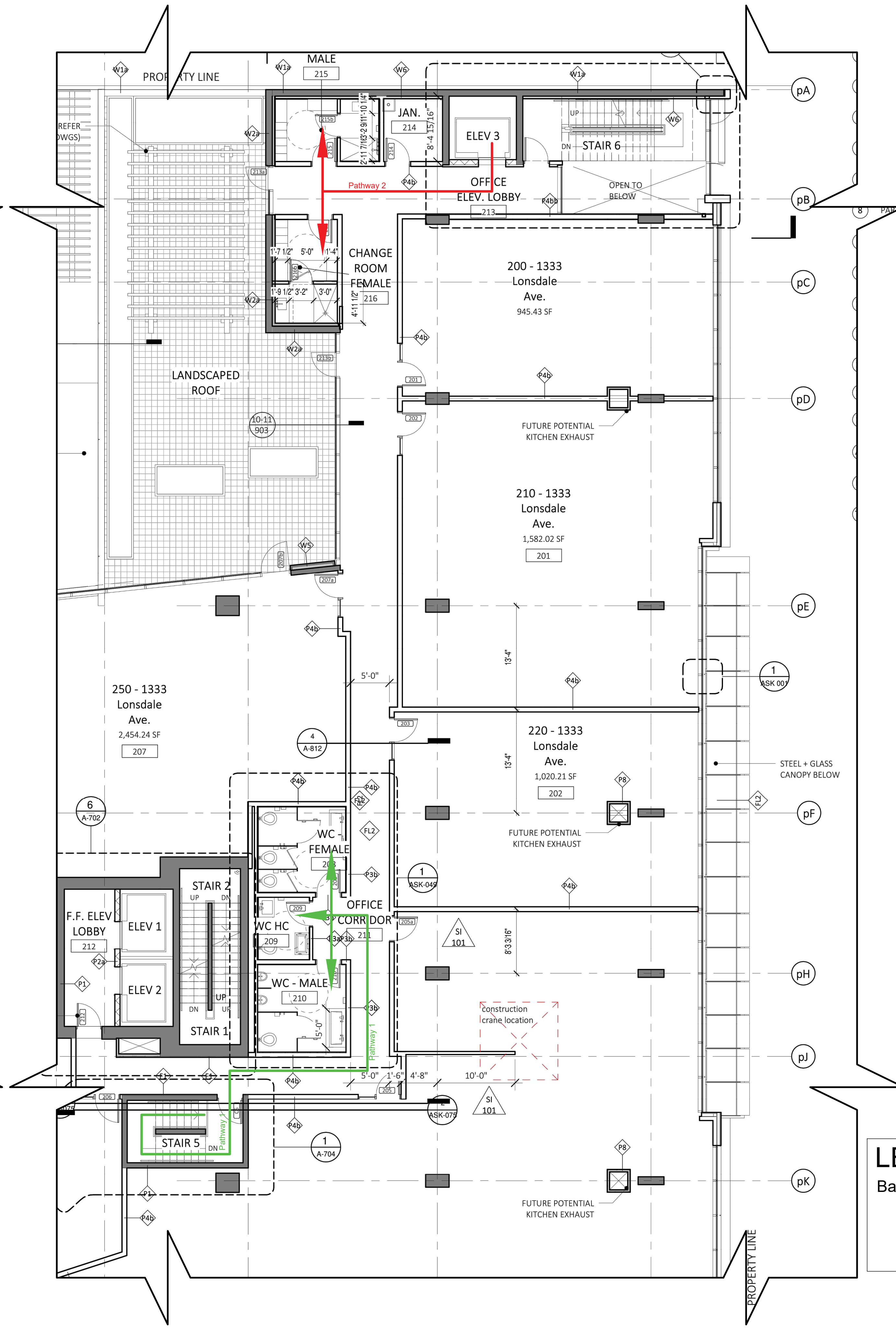
Content

**A0.0**

Sheet



Ground Floor CRU Plan  
1/8" = 1'-0"



Second Floor Plan  
1/8" = 1'-0"

**LEGEND:**  
 Bathroom Pathways:  
 Pathway 1 →  
 Pathway 2 →



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Bathroom Path  
 Content

**A0.1**  
 Sheet

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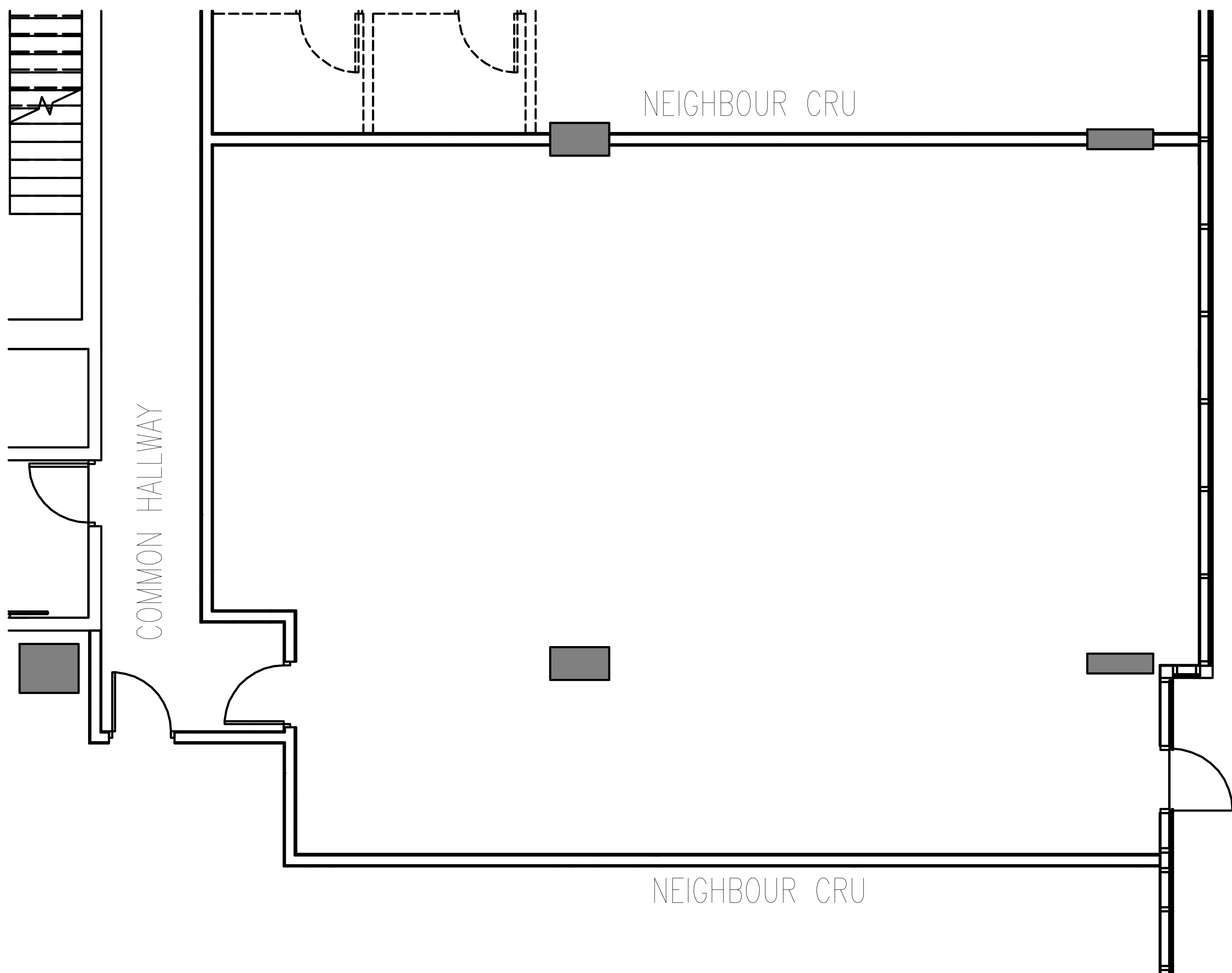
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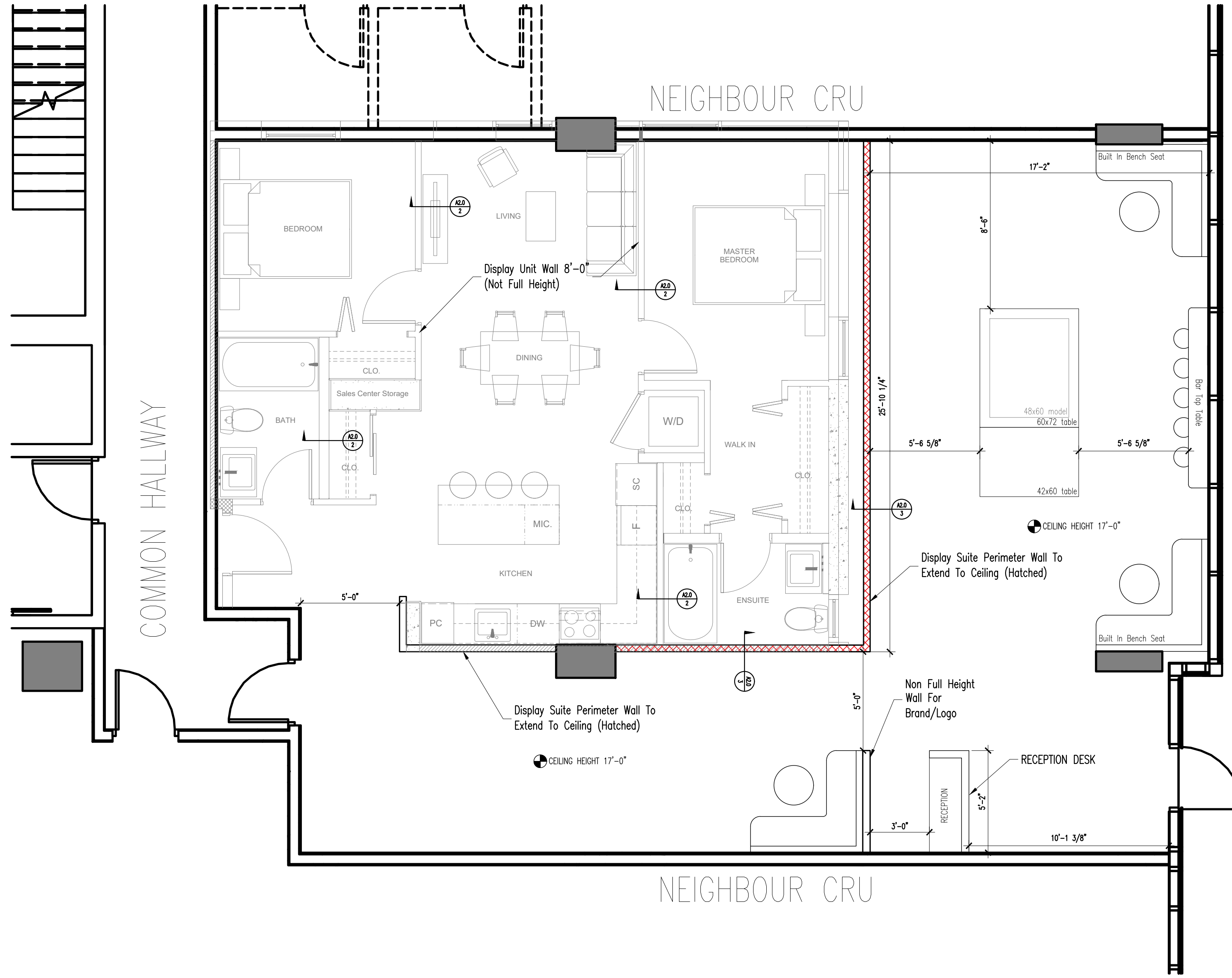
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Existing CRU Plan **1**  
1/4" = 1'-0"



Proposed CRU Plan **2**  
1/4" = 1'-0"



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PLANS  
Content

**A1.0**  
Sheet

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**Three Shores Development**  
Owner

**120 E14th Sales Center**  
Project

**1311 Lonsdale Ave**  
**North Vancouver, BC**  
Location

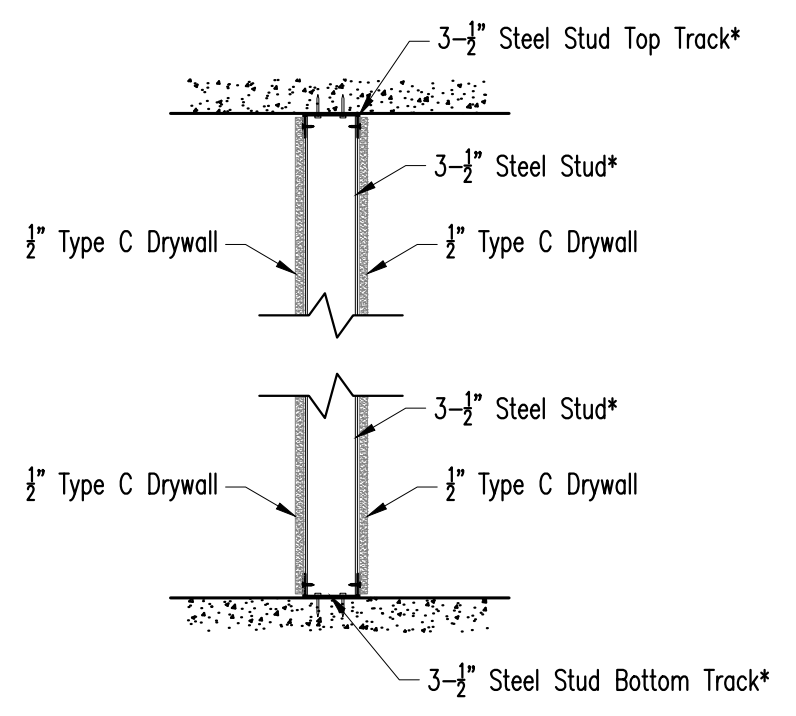
10 06 2022 BP Application Rev 1  
07 05 2022 BP Application  
Date (m/d/y): Submittal

1/4" = 1'-0"  
Scale

**RCP & Details**  
Content

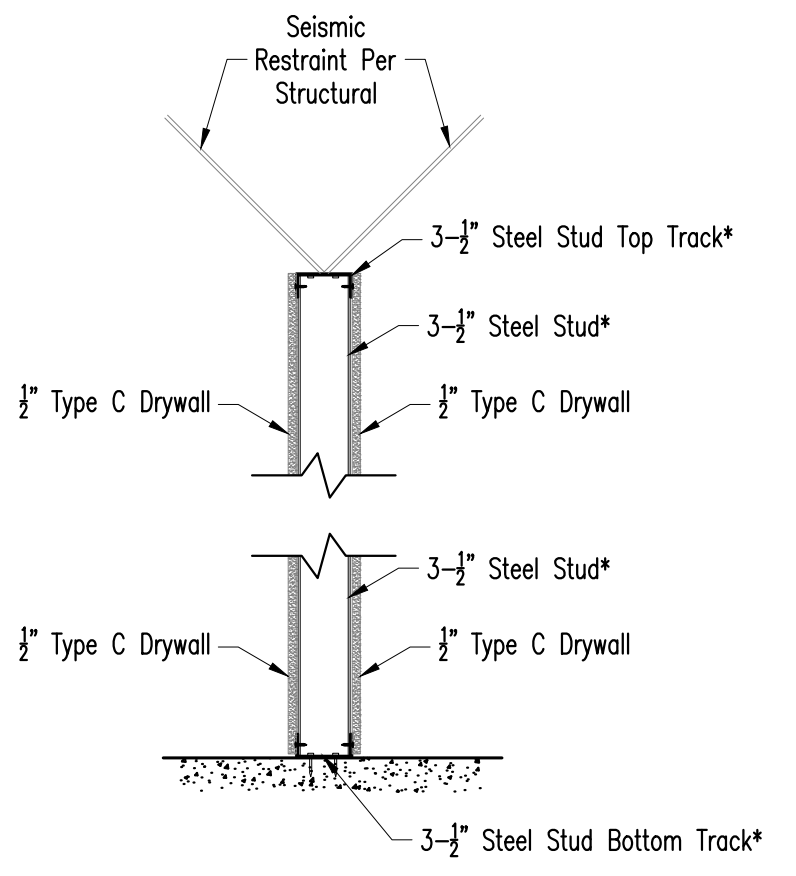
**A2.0**  
Sheet

\*Steel Stud Connection Details to be Confirmed by Structural Engineer

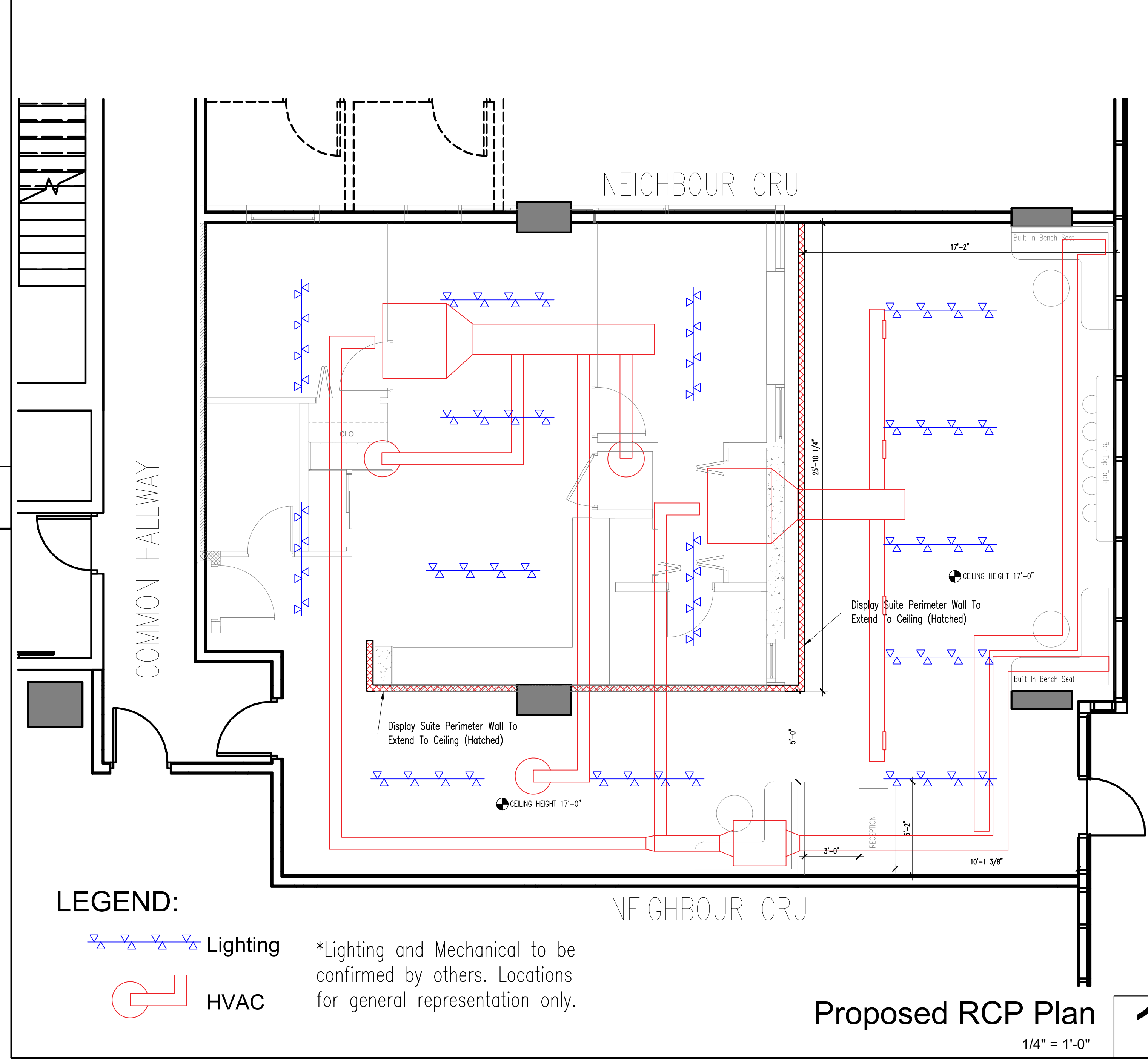


**Wall 2: Full Height Wall Detail** 3  
1" = 1'-0"

\*Steel Stud Connection Details to be Confirmed by Structural Engineer



**Wall 1: Partial Height Wall Detail** 2  
1" = 1'-0"



**LEGEND:**

- Lighting
- HVAC

\*Lighting and Mechanical to be confirmed by others. Locations for general representation only.

**Proposed RCP Plan** 1  
1/4" = 1'-0"