



ZONING INQUIRY
127 EAST 12TH STREET

ZONING INQUIRY FOR A PROPOSED REZONING

RENTAL RESIDENTIAL

SITE DATA:		
SETBACKS:	FRONT:	15 FT
	WEST SIDE:	8 FT
	EAST SIDE:	8 FT
	LANE:	2 FT TO GARAGE
	LANE:	10 FT OTHER FLOORS

SITE AREA	126 FT x 140 FT = 17,640 SF
NEW FSR	2.6
ACTIVE LIVING FSR EXCLUSION	10%
ADAPTABLE LIVING	310 SF

SEE AREA CALCULATIONS A 2.15

HEIGHT	SIX STOREY
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<div><div></div><div>NORTH</div></div>	
1	2017-06-16
NO.	DATE
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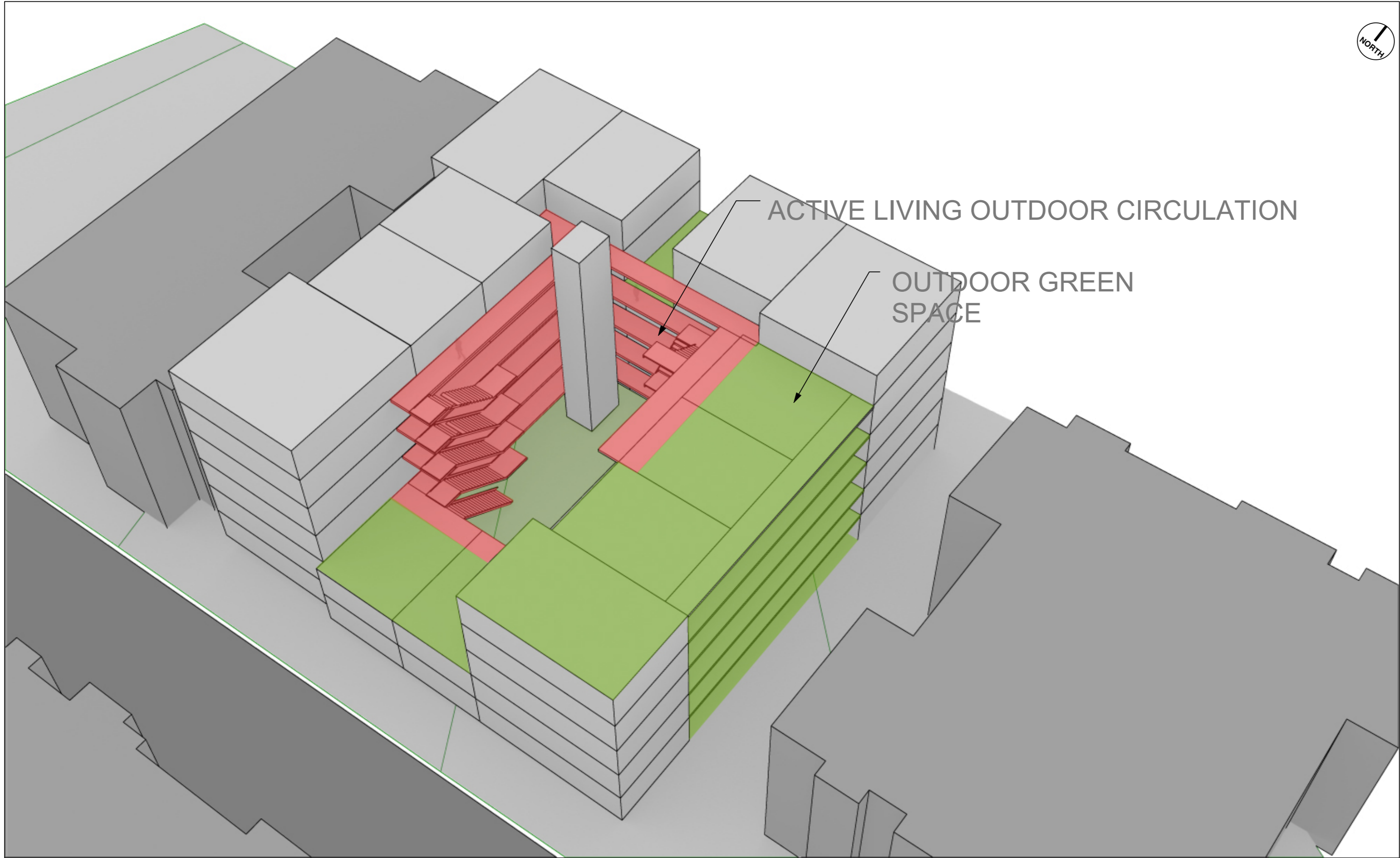
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PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
COVER SHEET		
SCALE NOTED	DATE JUNE 2017	SHEET NO. A0.0
DRAWN AM	CHECKED SM	



PROJECT INTENT

The project proposed for 127 E 12th Street is a 100% rental building with a mix of unit types intended to add to the number of rental units available in Central Lonsdale, North Vancouver. The building has been configured with the intent of providing healthy and community oriented development in keeping with the latest research and design thinking. The building conforms to North Vancouver’s Active Design Guidelines - a very progressive document outlining ways incorporating healthy and community living within new developments.

GENERAL CONFIGURATION

The general configuration of the building uses an interior courtyard configuration – which provides various benefits to the living and social spaces. The courtyard configuration also allows the building occupants to circulate in a central open area and to meet and socialize while they make their way to their units. The central courtyard space is passed through to reach the elevator and the stairs and the primary stairs will be exterior and very central as you enter the courtyard in order to encourage active living. The door to the elevator is purposefully not visible from the entry to the courtyard. The main stairway and circulation is meant to be the most attractive choice for moving around the building. As it is increasingly recognized that dense living in buildings with long closed corridors and elevators increases social isolation, this design attempts to take on these issues and propose an alternate, even while dealing with a modest rental building budget.

Light and Views

The courtyard configuration takes advantage of south light and valued sunlight in the common spaces because it opens to the south. In addition, because views are to the south-west and south-east, this configuration maximizes the views from as many units as possible (see attached study). Views are expected only from the 4th floor up.

Amenity spaces

The building has abundant indoor and outdoor social spaces for use by the residents including an amenity room on the ground floor, two communal roof decks – on the 3rd and 5th floors - and individual garden plots for the residents on the 6th floor. All amenity spaces open up onto the courtyard and to the common circulation area. The indoor amenity space at the ground level opens up to the courtyard, allowing activities to spill out into the courtyard in nice weather. This also facilitates meeting neighbours and social activities.

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PROJECT INTENT HEALTH & ACTIVE LIVING		
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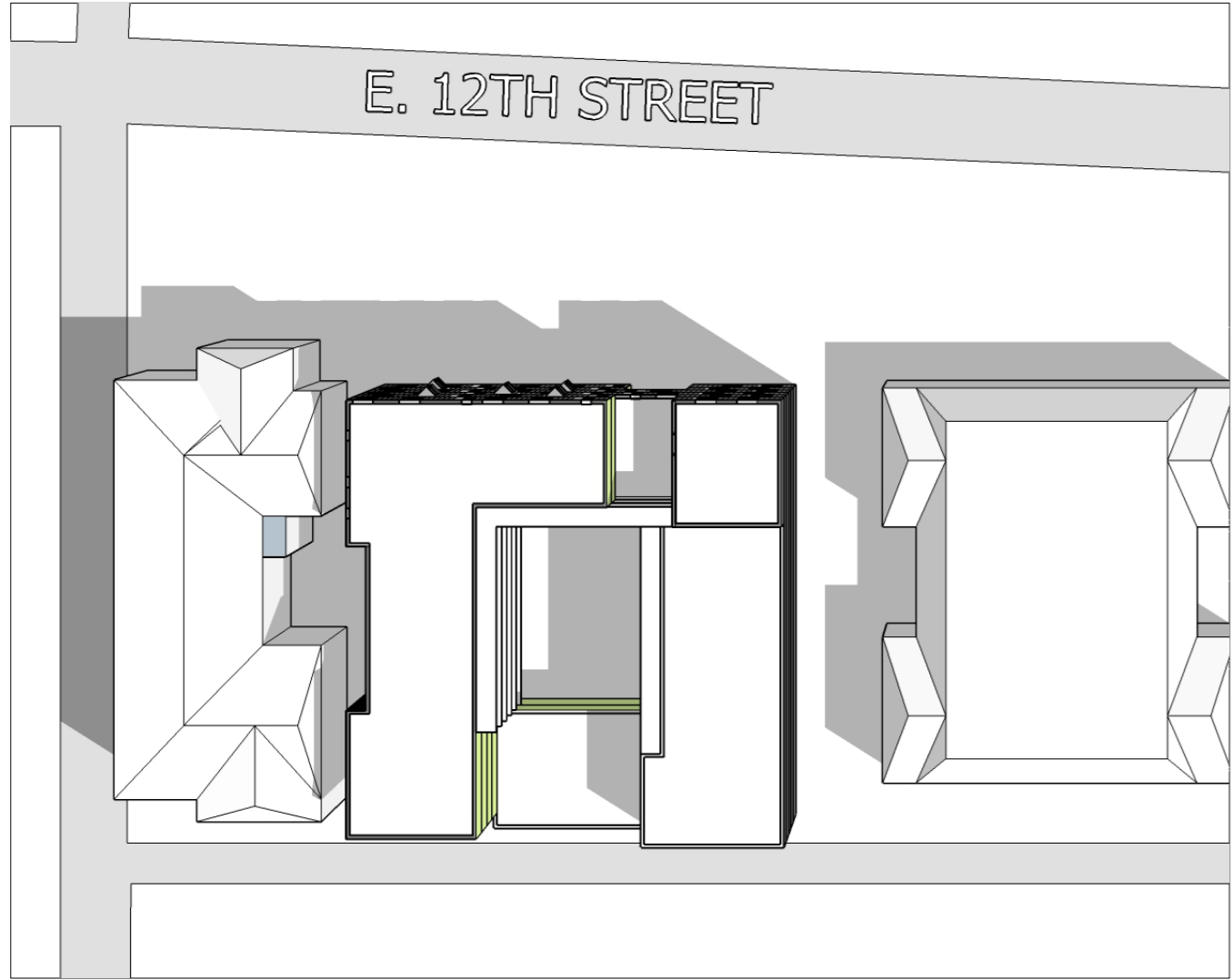
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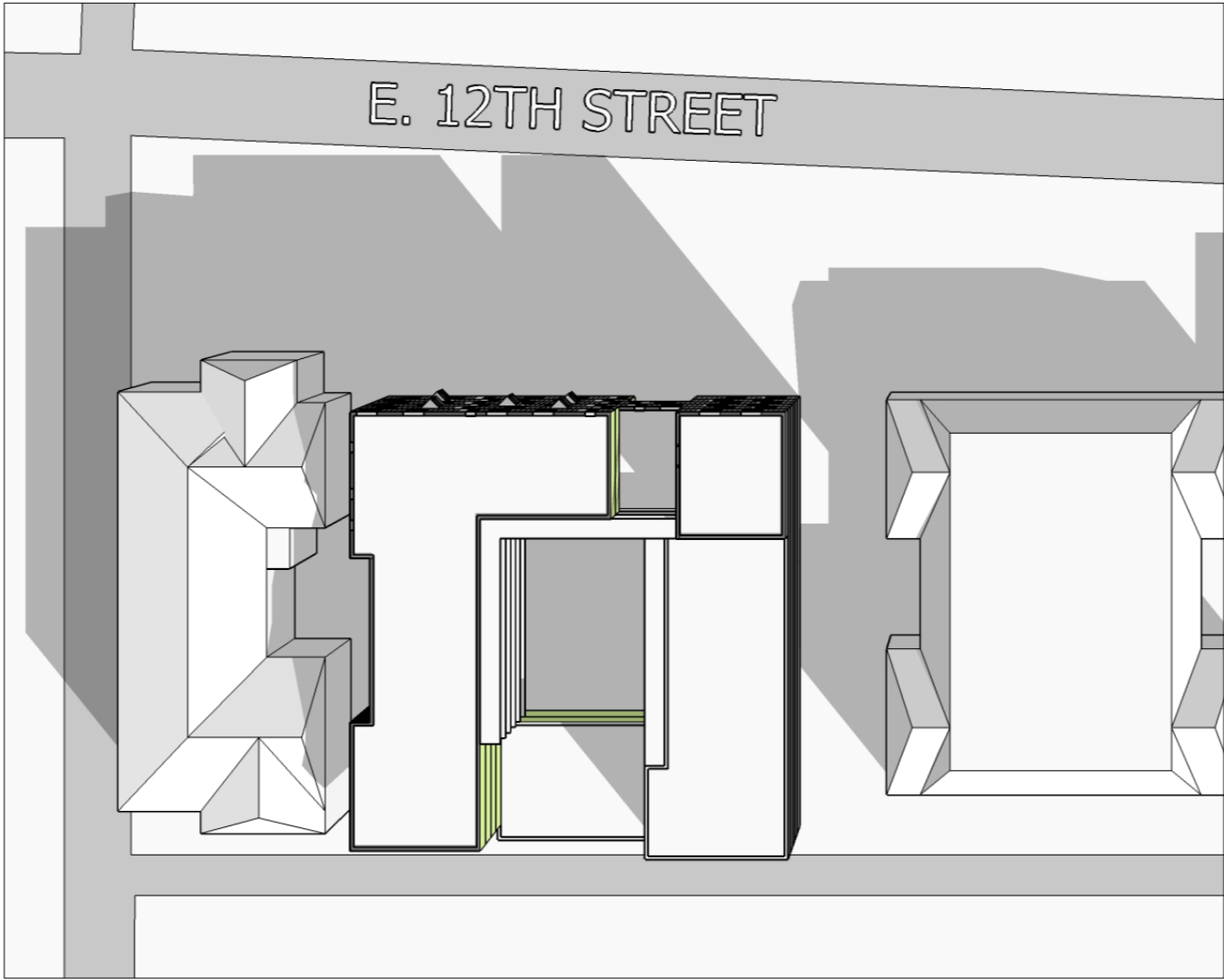
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DRAWING TITLE		
PROJECT INTENT		
SCALE NOTED	DATE JUNE 2017	SHEET NO.
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JUNE 21



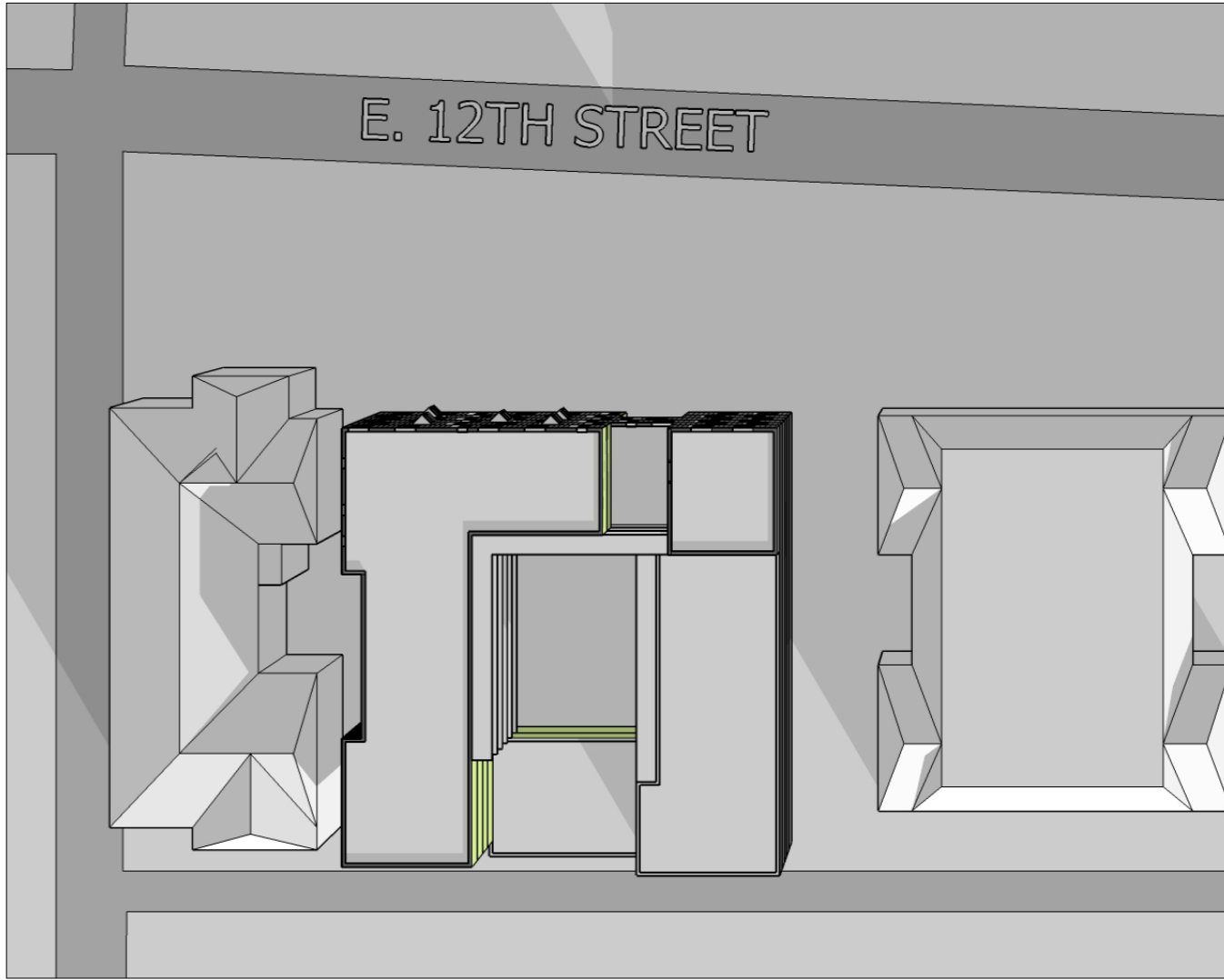
JUNE 21 @ 10:00 AM

SEPTEMBER 21

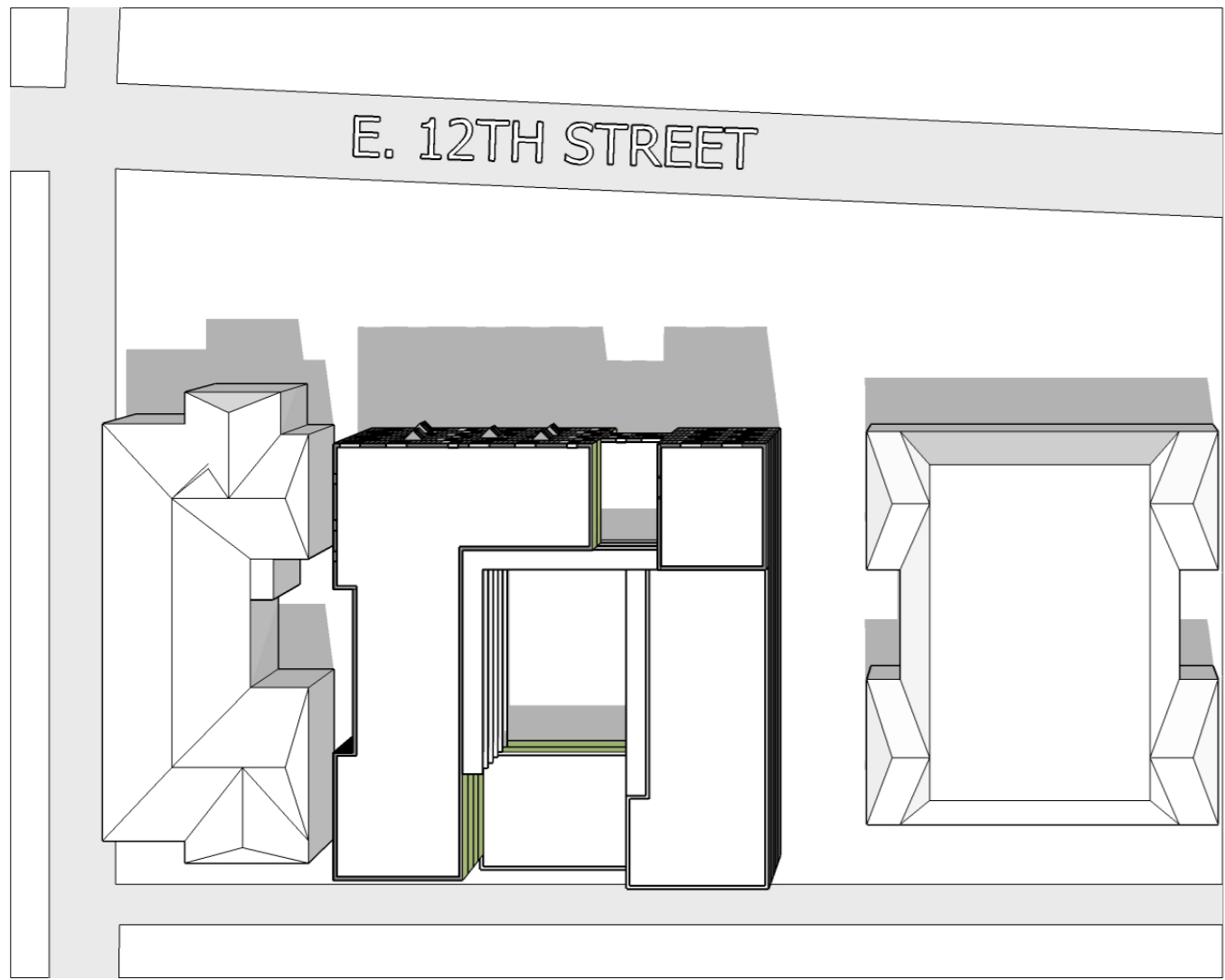


SEPTEMBER 21 @ 10:00 AM

DECEMBER 21



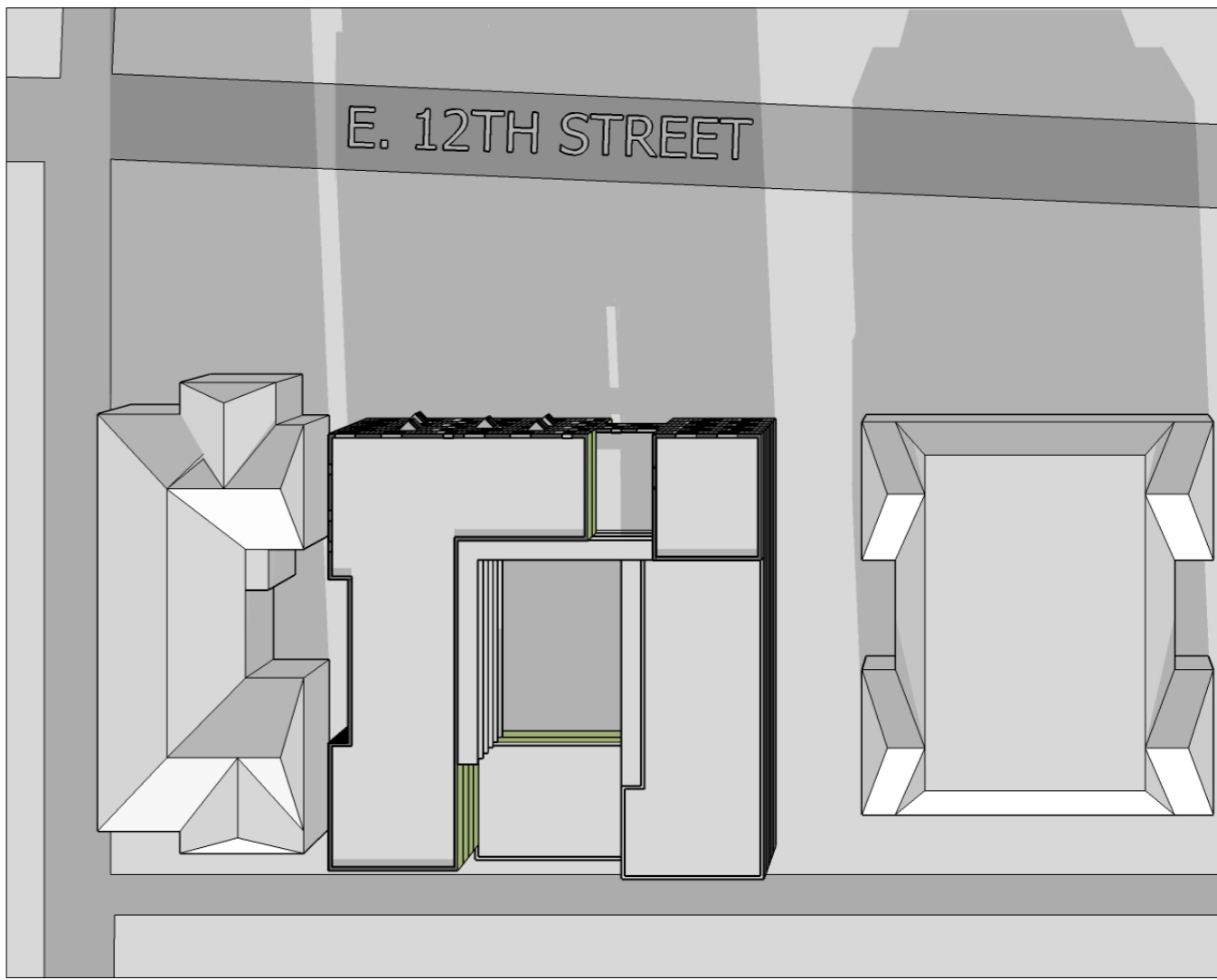
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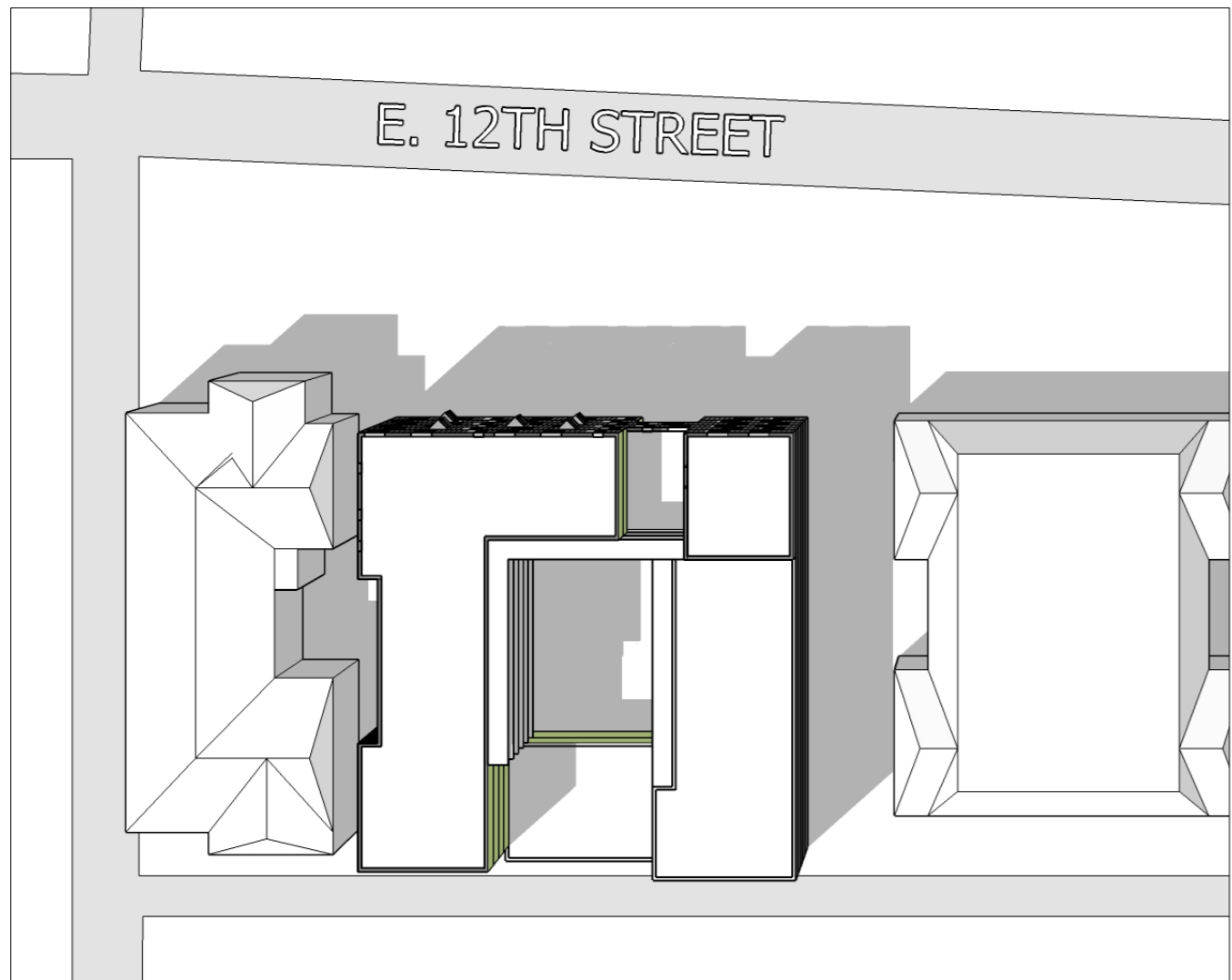
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SEPTEMBER 21 @ 12 NOON



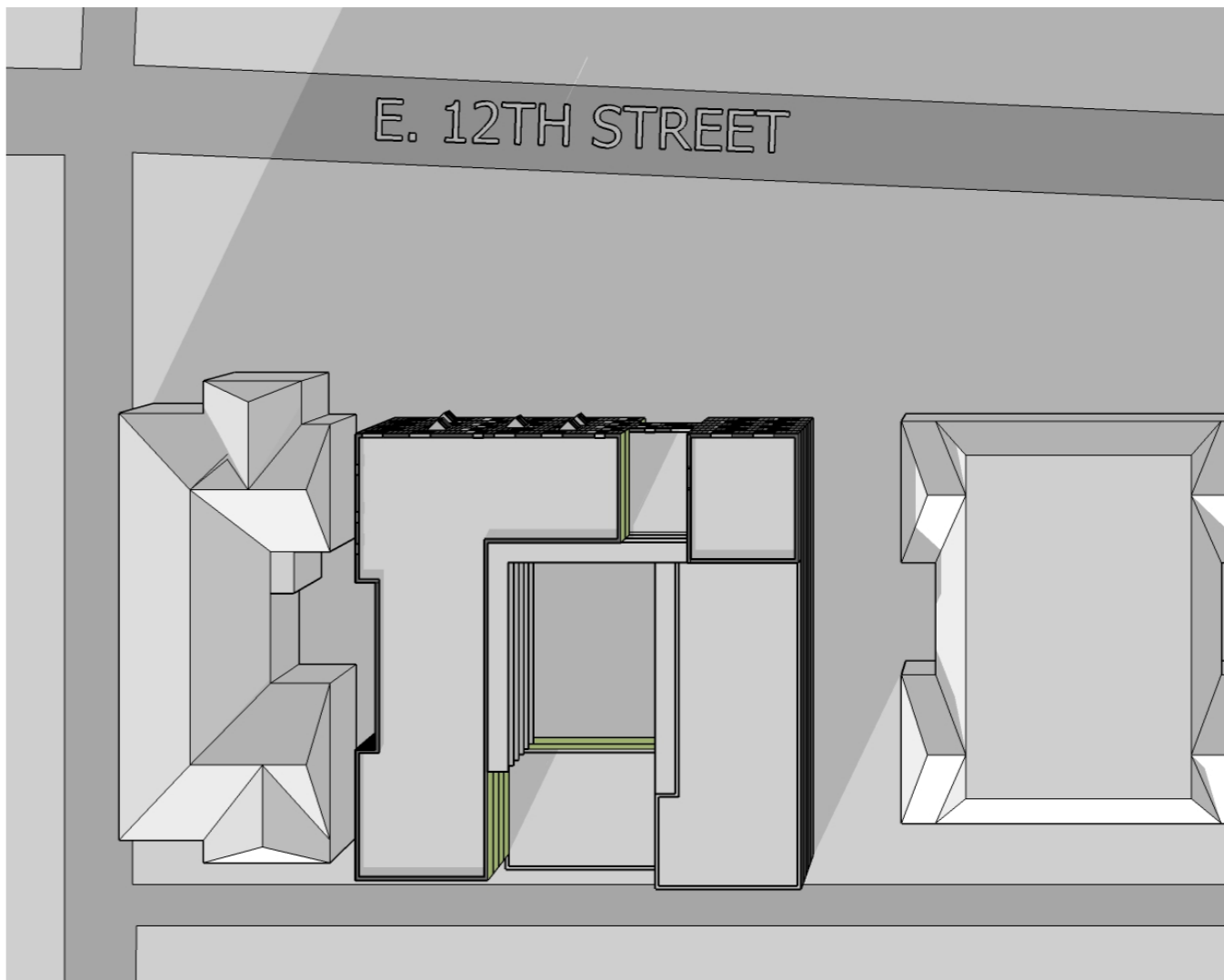
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JUNE 21 @ 2:00 PM



SEPTEMBER 21 @ 2:00 PM



DECEMBER 21 @ 2:00 PM

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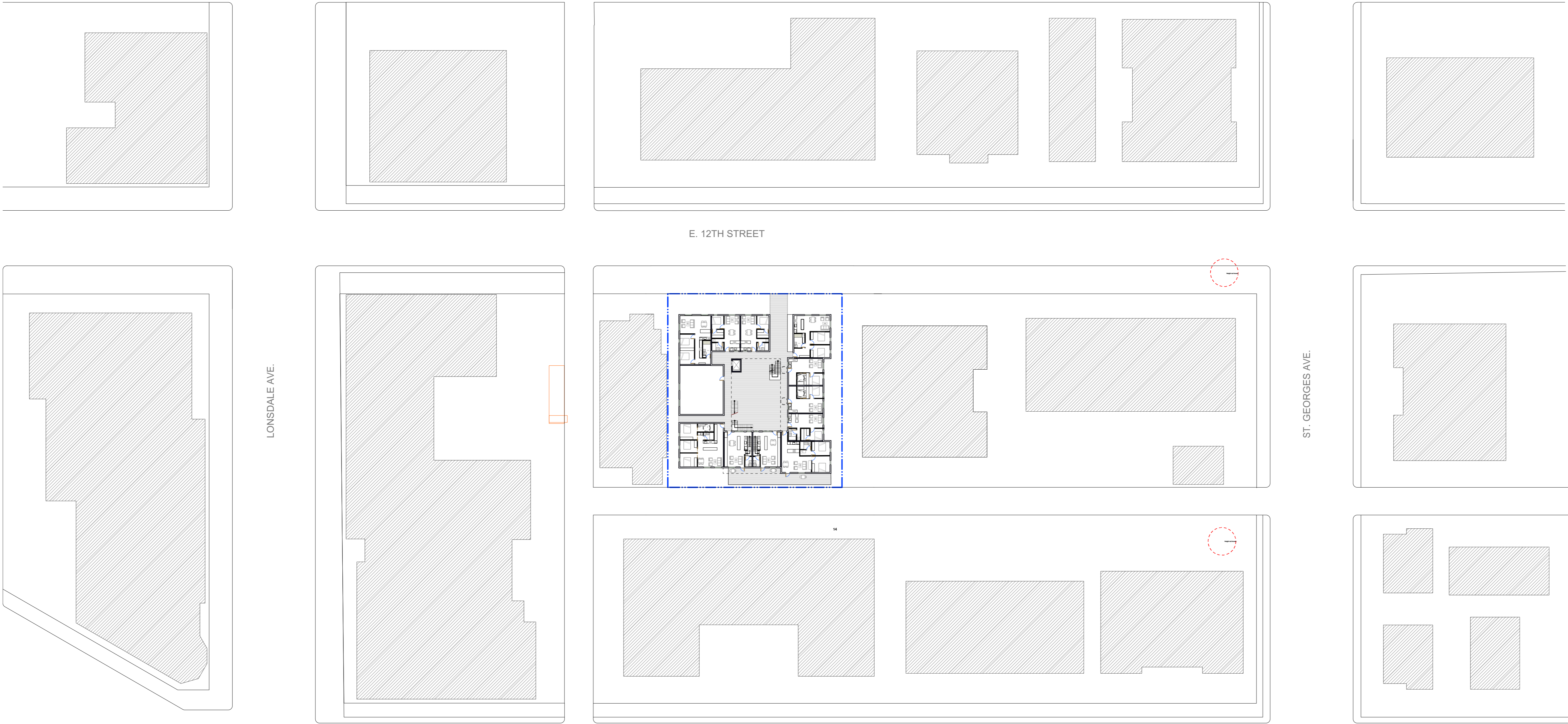
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DRAWING TITLE		
SHADOW STUDIES		
SCALE NOTED	DATE	SHEET NO.
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AM	SM	



E. 12TH STREET

LONSDALE AVE.

ST. GEORGES AVE.



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1 **CONTEXT PLAN**
1:500

PROJECT

EAST 12th STREET
127 EAST 12TH STREET
NORTH VANCOUVER, BC

DRAWING TITLE

CONTEXT PLAN

SCALE 1:500	DATE JUNE 2017	SHEET NO. A1.0
DRAWN AM	CHECKED SM	



1 CONTEXT ELEVATION LOOKING SOUTH
1:250



2 CONTEXT ELEVATION LOOKING SOUTH
N/A



3 CONTEXT ELEVATION LOOKING NORTH
N/A

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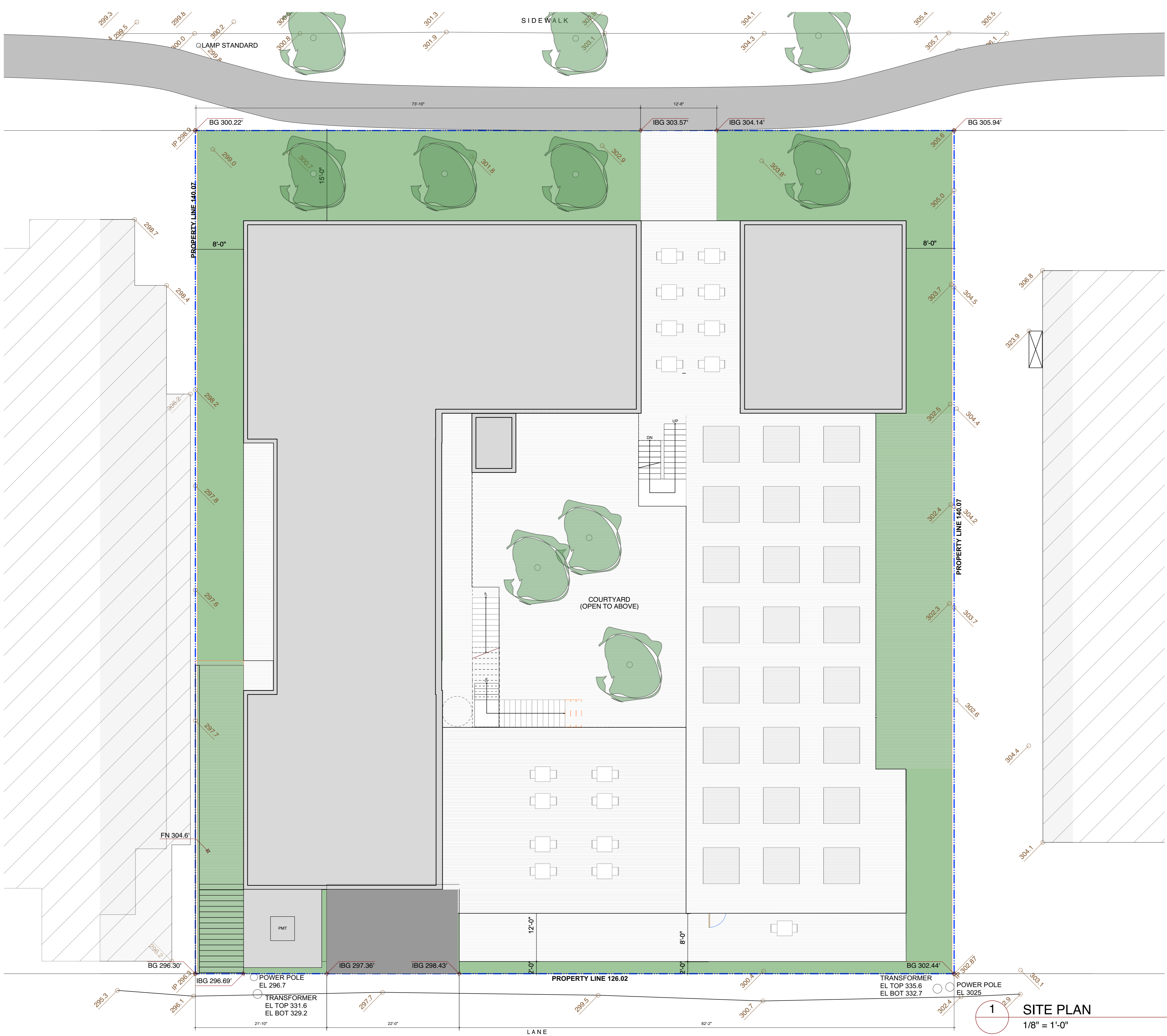
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CONTEXT ELEVATION		
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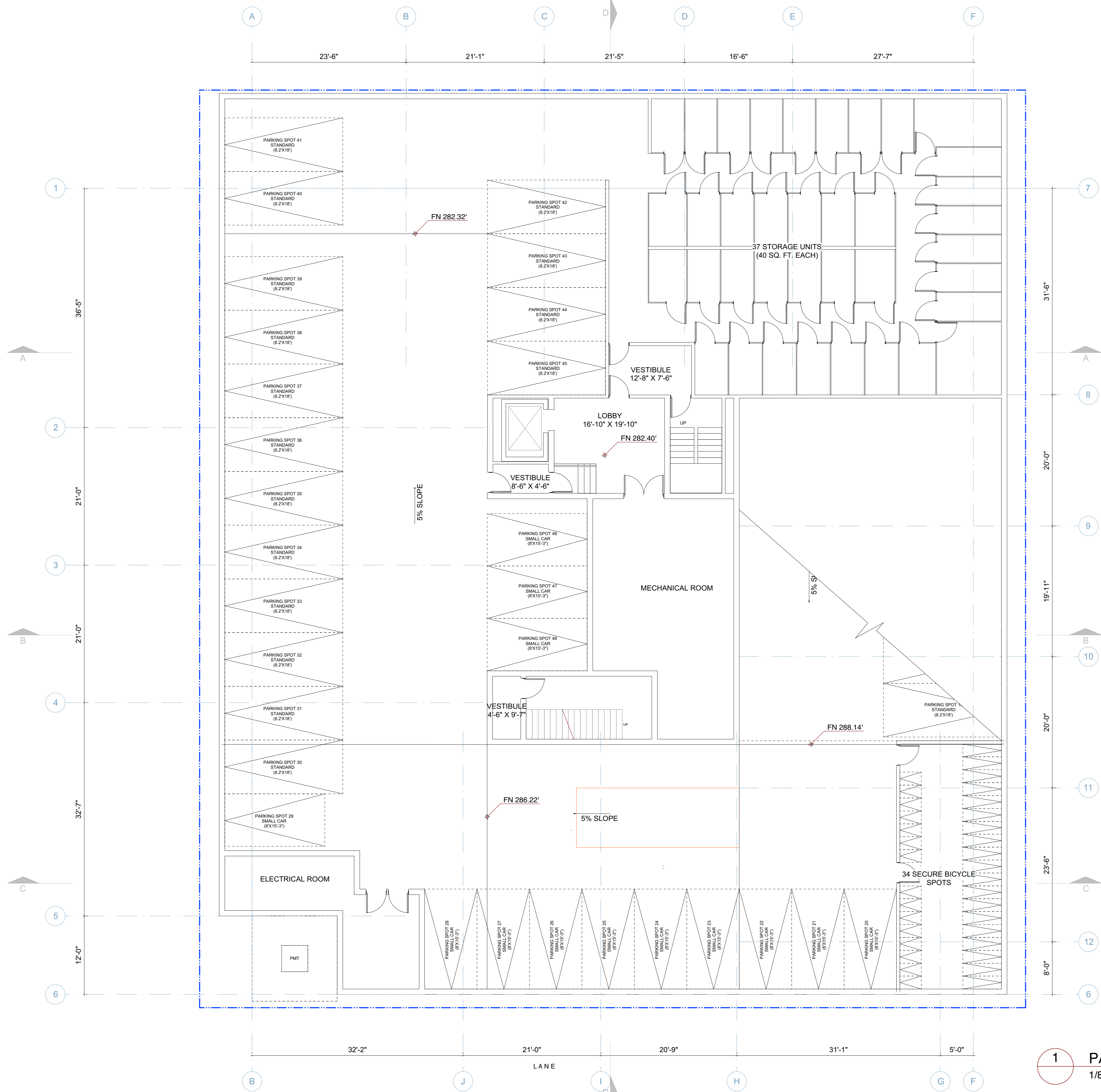
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SITE PLAN		
SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A1.2
DRAWN AM	CHECKED SM	



1 PARKING PLAN 2
1/8" = 1'-0"

1	2017-06-16
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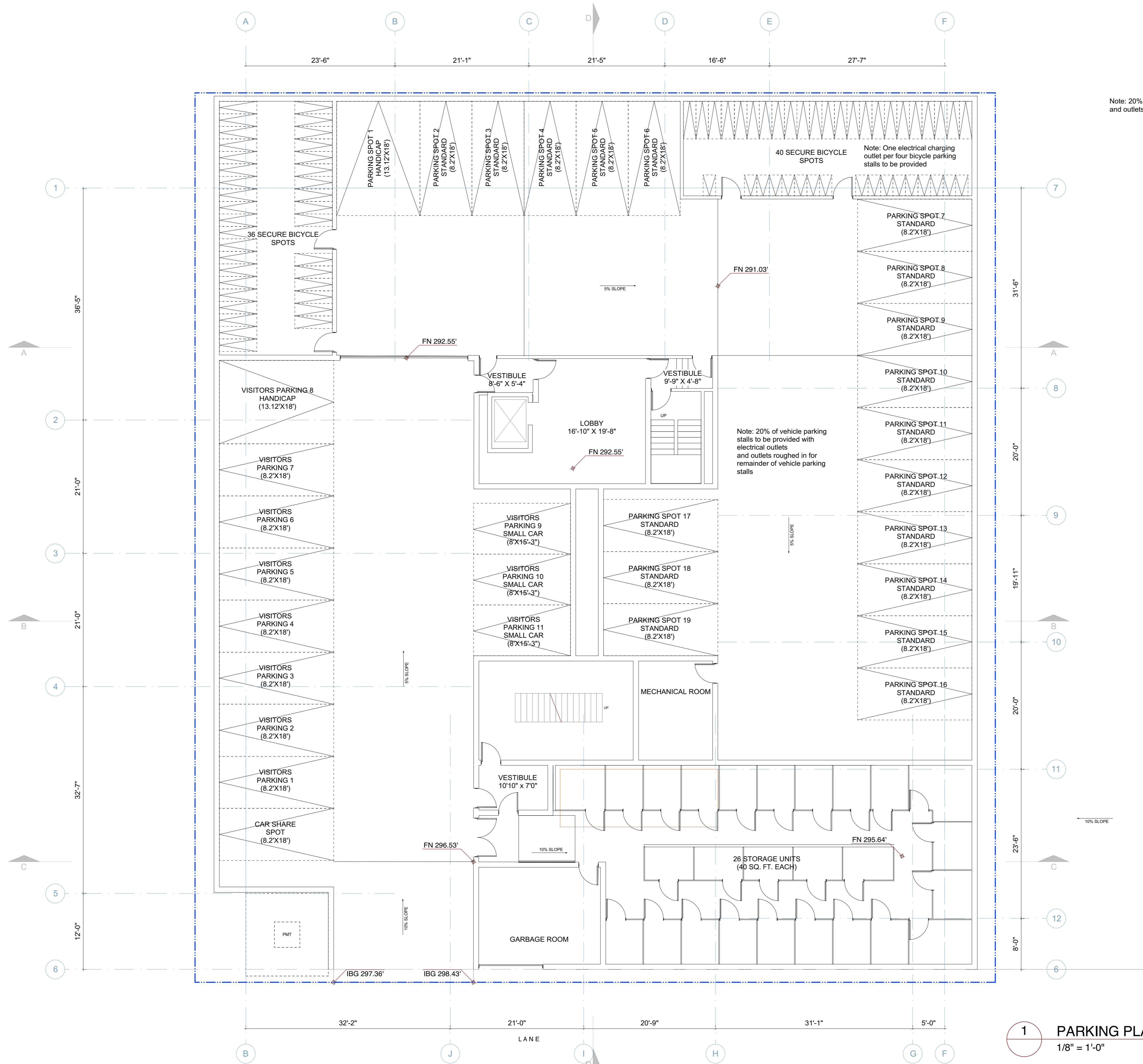
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PARKING PLAN P2		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.0
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AM	SM	



Note: 20% of vehicle parking stalls to be provided with electrical outlets and outlets roughed in for remainder of vehicle parking stalls

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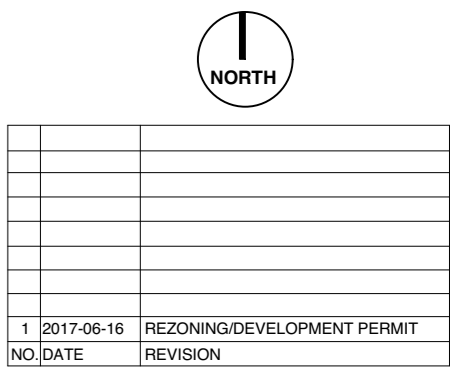
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PARKING PLAN P1		
SCALE	DATE	SHEET NO.
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1 PARKING PLAN 1
1/8" = 1'-0"



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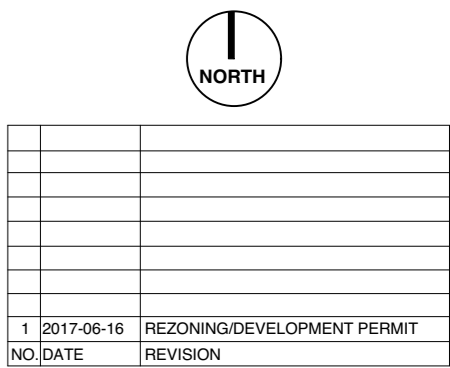
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GROUND FLOOR PLAN

SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A2.2
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SECOND FLOOR PLAN

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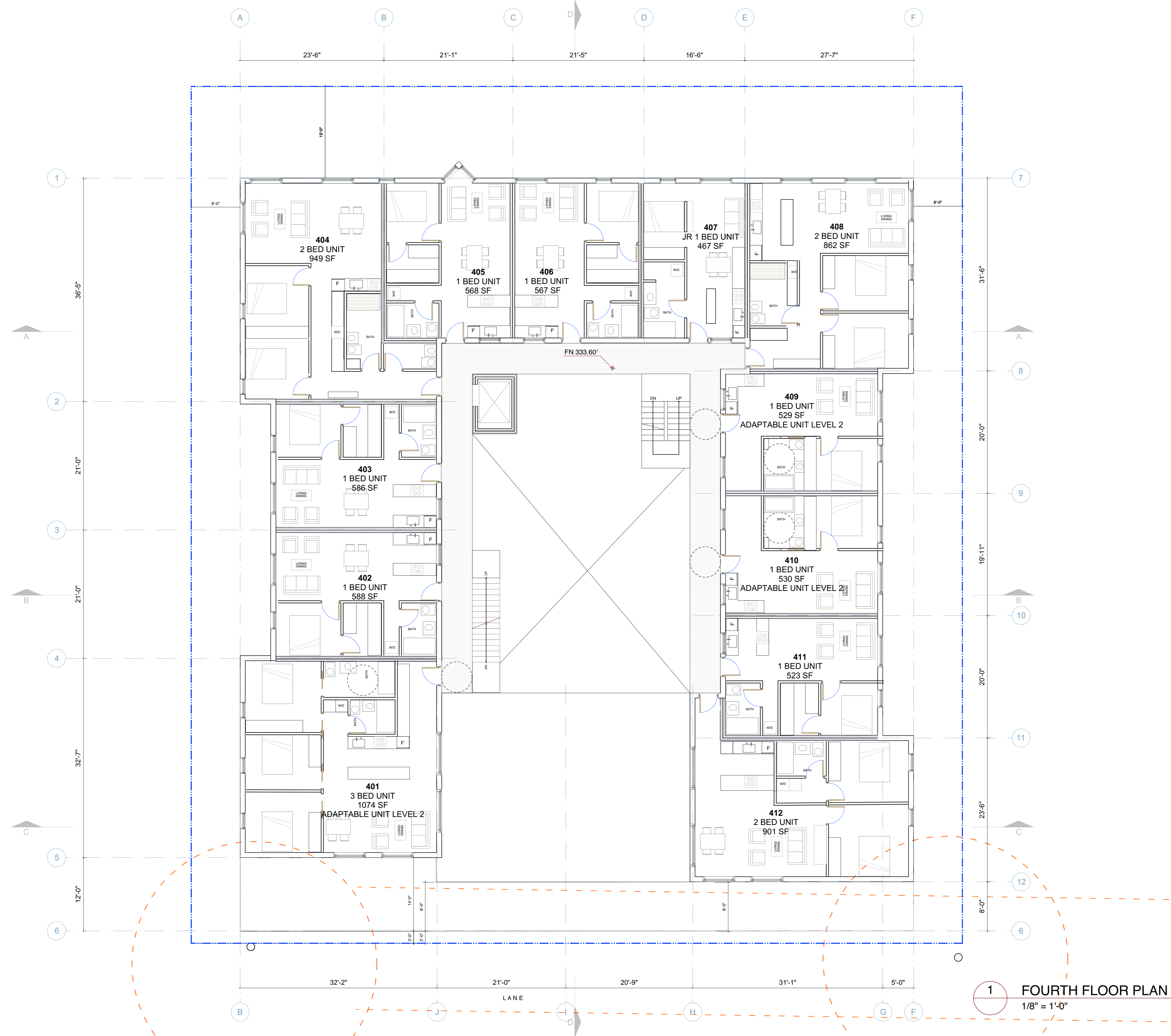
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DRAWING TITLE		
THIRD FLOOR PLAN		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.4
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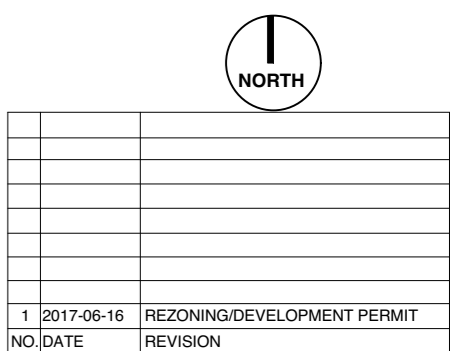
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DRAWING TITLE		
FOURTH FLOOR PLAN		
SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A2.5
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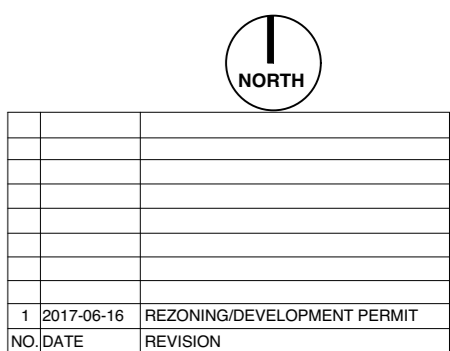
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127 EAST 12TH STREET
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FIFTH FLOOR PLAN

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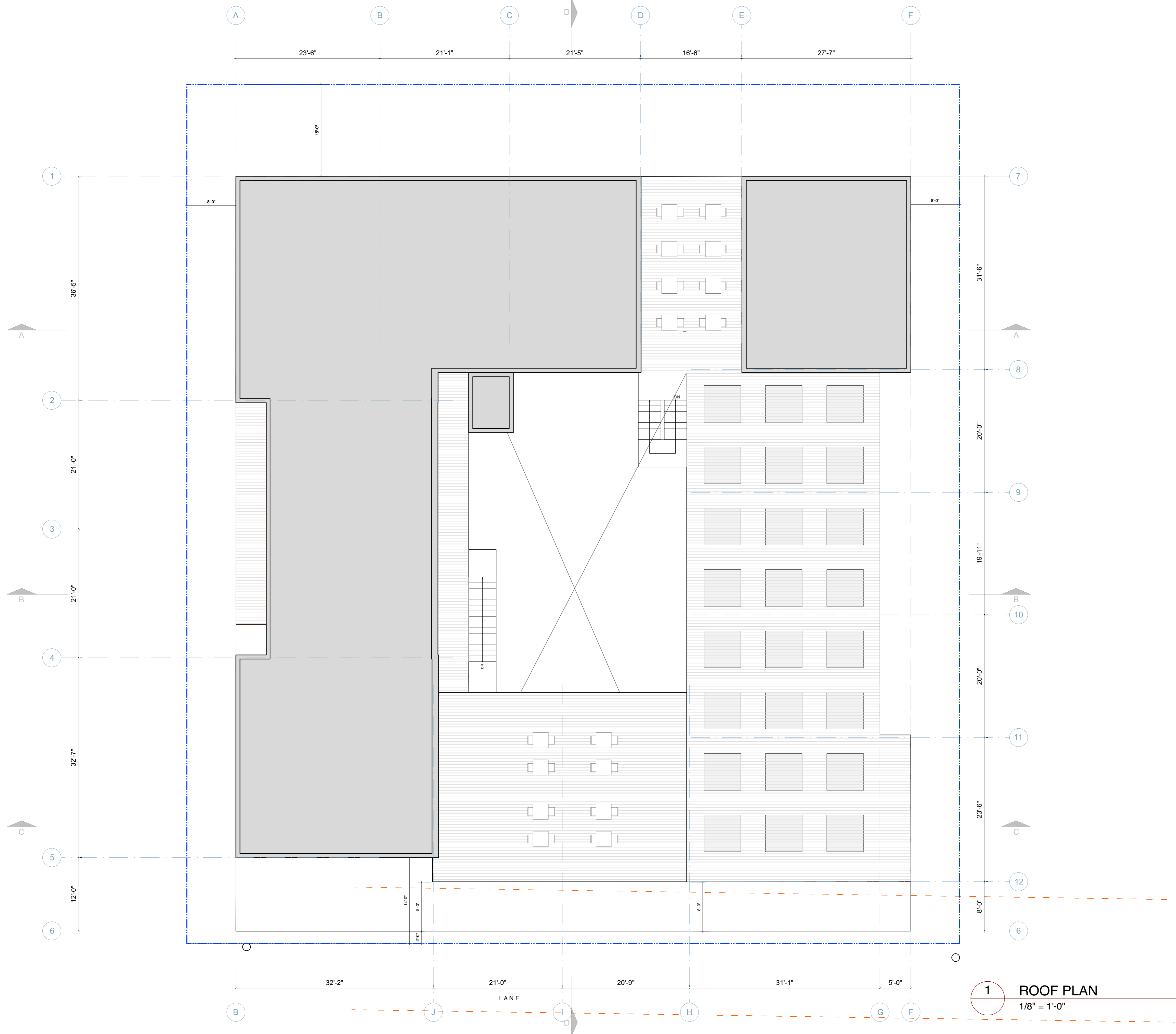
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127 EAST 12TH STREET
NORTH VANCOUVER, BC

DRAWING TITLE

SIXTH FLOOR PLAN

SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A2.7
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1 ROOF PLAN
1/8" = 1'-0"

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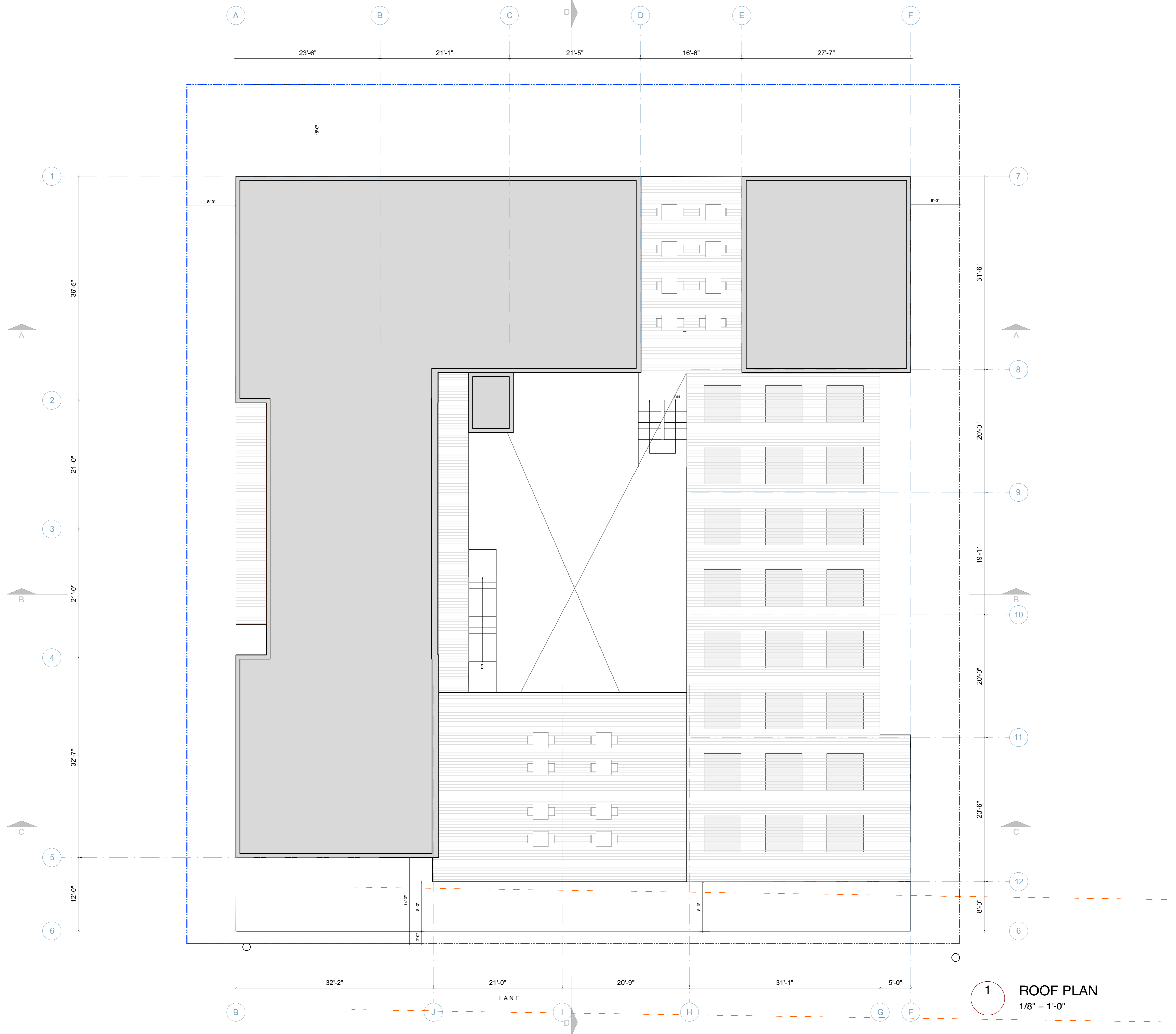
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DRAWING TITLE		
ROOF PLAN		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.8
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1 ROOF PLAN
1/8" = 1'-0"

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NO.	DATE
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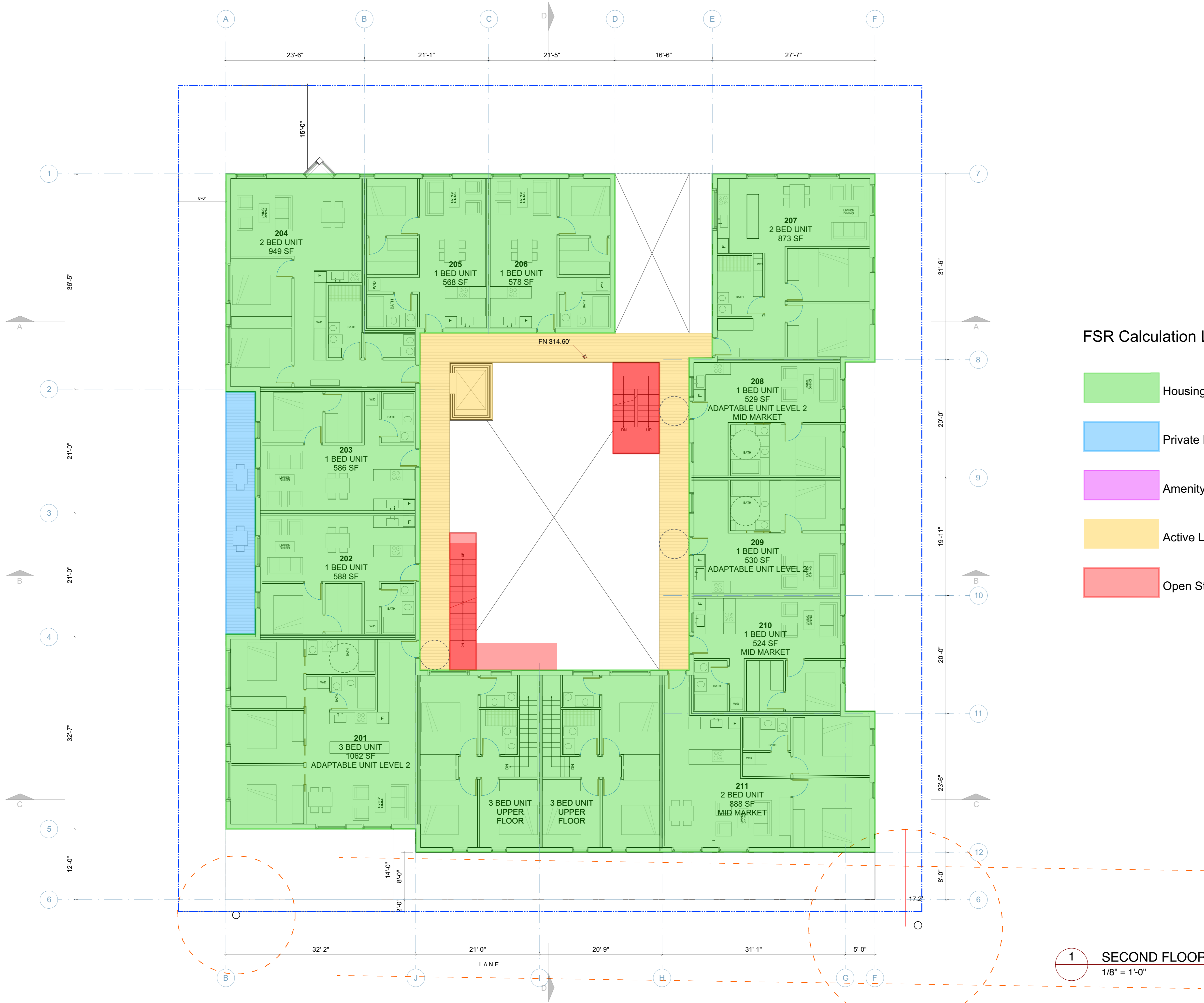
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DRAWING TITLE		
ROOF PLAN		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.8
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FSR Calculation Legend

- Housing
- Private Decks/Patios
- Amenity Room
- Active Living Circulation
- Open Stairway

1	2017-06-16
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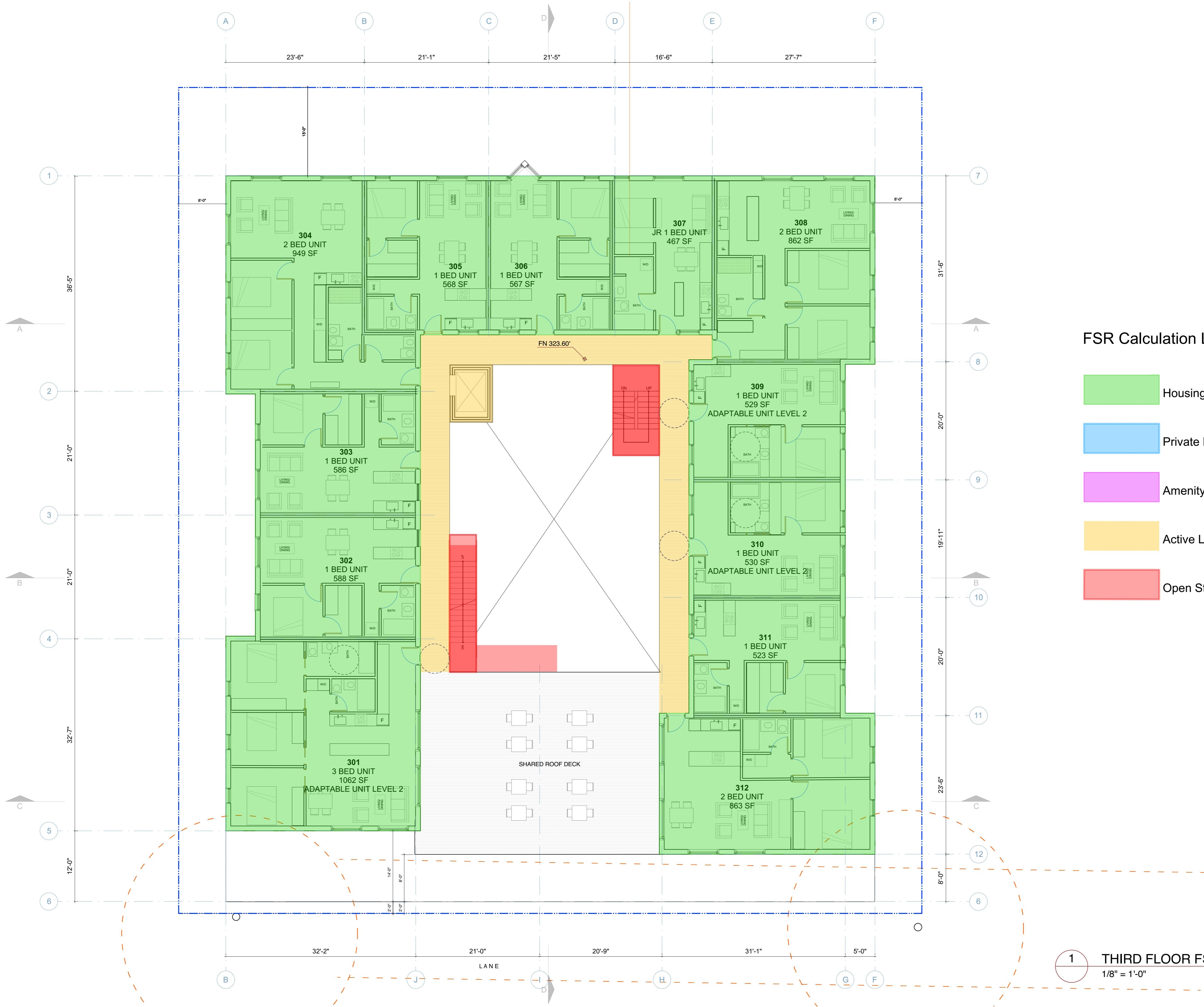
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DRAWING TITLE		
SECOND FLOOR PLAN		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.10
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1 SECOND FLOOR FSR PLAN
1/8" = 1'-0"



FSR Calculation Legend

- Housing
- Private Decks/Patios
- Amenity Room
- Active Living Circulation
- Open Stairway

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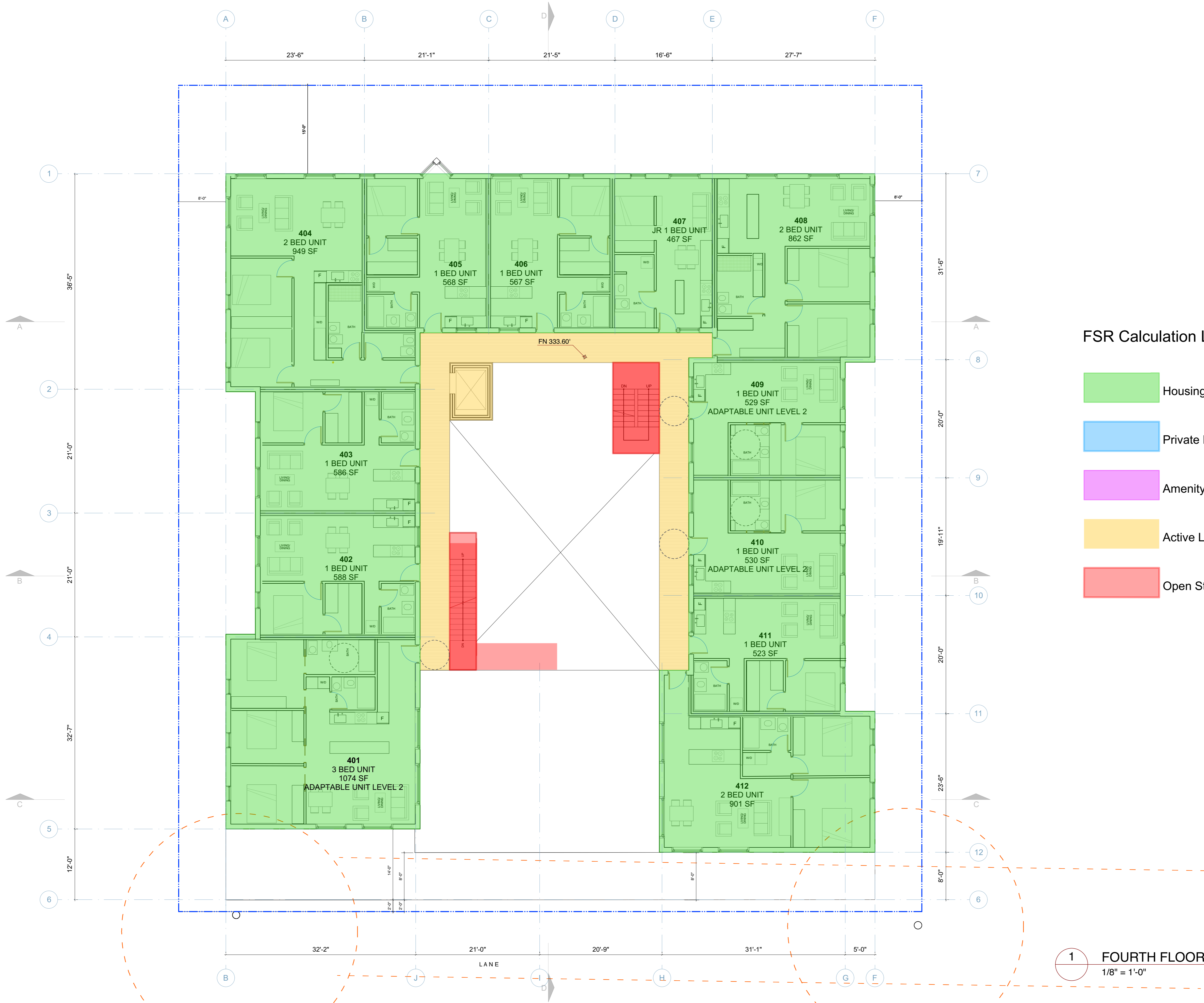
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THIRD FLOOR PLAN		
SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A2.11
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FSR Calculation Legend

- Housing
- Private Decks/Patios
- Amenity Room
- Active Living Circulation
- Open Stairway

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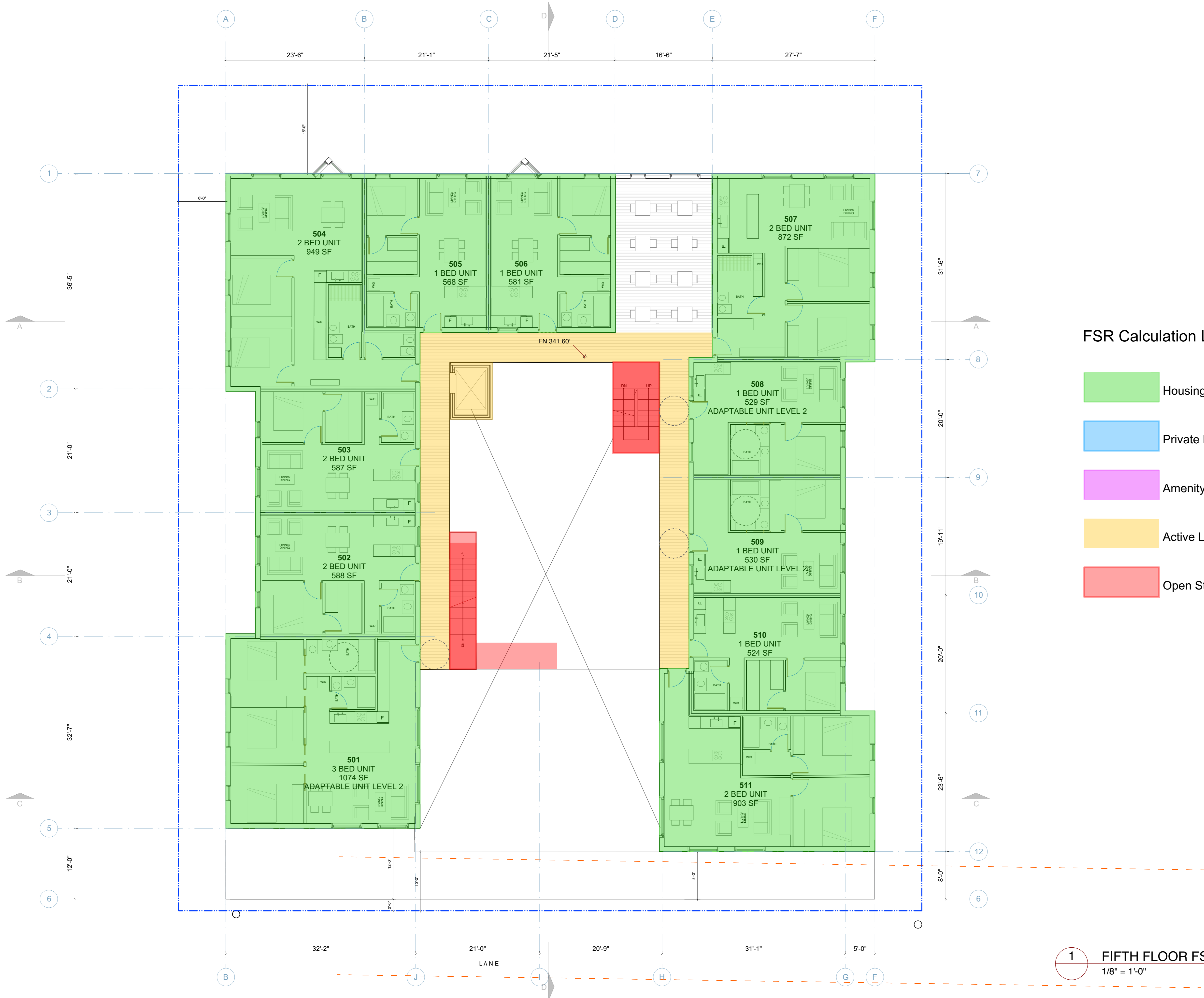
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FOURTH FLOOR PLAN		
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FSR Calculation Legend

- Housing
- Private Decks/Patios
- Amenity Room
- Active Living Circulation
- Open Stairway

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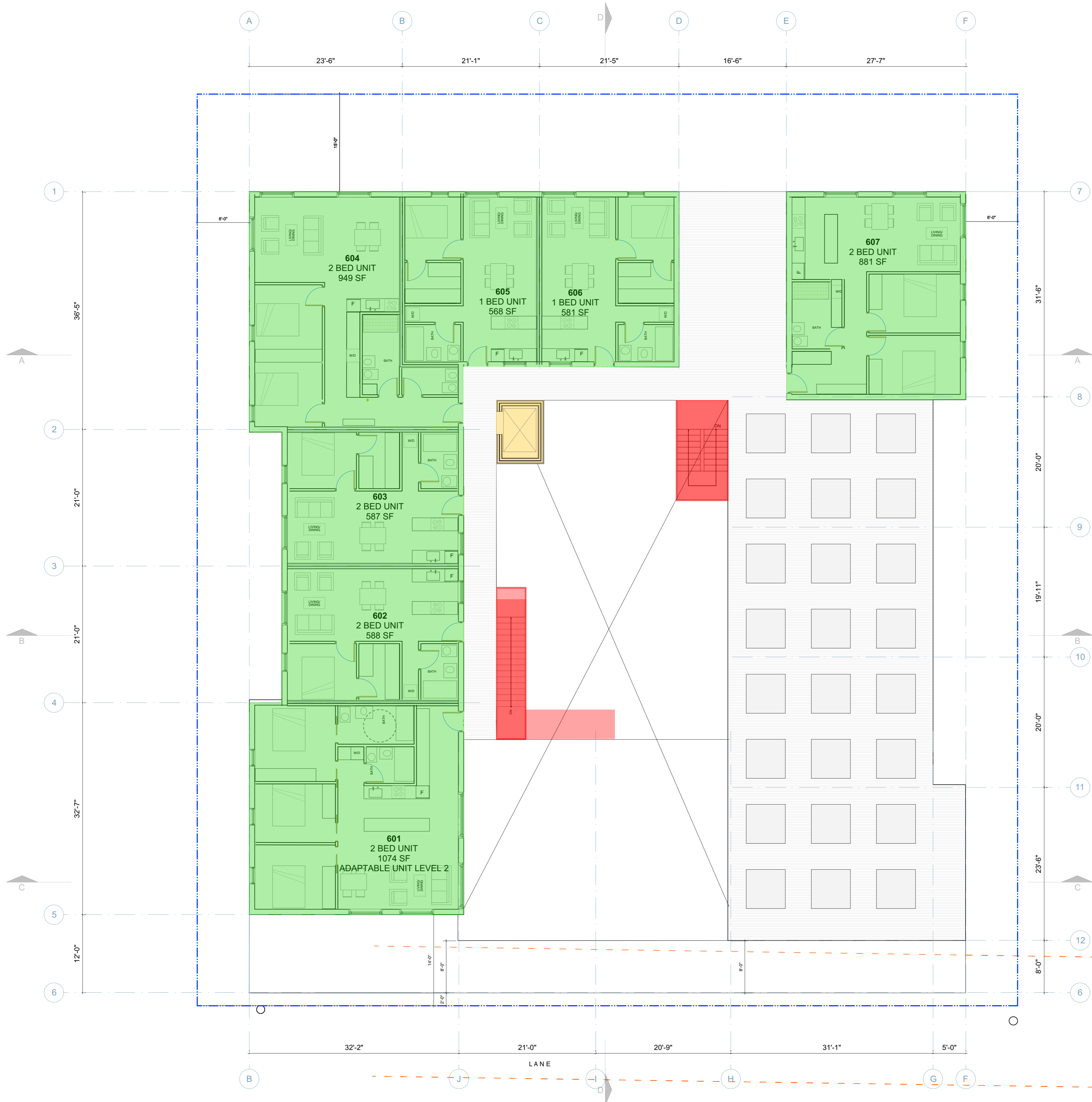
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DRAWING TITLE		
FIFTH FLOOR PLAN		
SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A2.13
DRAWN AM	CHECKED SM	

1 FIFTH FLOOR FSR PLAN
1/8" = 1'-0"



FSR Calculation Legend

- Housing
- Private Decks/Patios
- Amenity Room
- Active Living Circulation
- Open Stairway

1	2017-06-16
NO.	DATE
	REVISION

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Ph: 604-687-1294 Fax: 604-687-1310

PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
SIXTH FLOOR PLAN		
SCALE	DATE	SHEET NO.
1/8"=1'-0"	JUNE 2017	A2.14
DRAWN AM	CHECKED SM	

1 SIXTH FLOOR FSR PLAN
1/8" = 1'-0"

PERMITTED FSR	
SITE AREA	17,640.00 SQ. FT.
FSR	2.6
ACTIVE LIVING FSR EXCLUSION	10%
ADAPTABLE LIVING	310 SQ. FT.

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NO.	DATE
	REVISION

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PROPOSED FSR						
FLOOR	HOUSING	PRIVATE DECK/ PATIOS	ACTIVE LIVING CIRCULATION	OPEN STAIRWAY*	AMENITY*	SUB-TOTAL
GF	7,534.20 SQ. FT.	0 SQ. FT.	1087.58 SQ. FT.	279.94 SQ. FT.	1,217.89 SQ. FT.	8,621.78 SQ. FT.
2F	8,956.42 SQ. FT.	205.32 SQ. FT.	840.00 SQ. FT.	226.37 SQ. FT.	0 SQ. FT.	10,001.74 SQ. FT.
3F	8,119.53 SQ. FT.	0 SQ. FT.	870.17 SQ. FT.	225.43 SQ. FT.	0 SQ. FT.	8,989.70 SQ. FT.
4F	8,149.39 SQ. FT.	0 SQ. FT.	837.91 SQ. FT.	226.30 SQ. FT.	0 SQ. FT.	8,987.30 SQ. FT.
5F	7,708.75 SQ. FT.	0 SQ. FT.	836.00 SQ. FT.	226.30 SQ. FT.	0 SQ. FT.	8,544.75 SQ. FT.
6F	5,226.79 SQ. FT.	0 SQ. FT.	71.47 SQ. FT.	226.30 SQ. FT.	0 SQ. FT.	5,298.26 SQ. FT.
SUB-TOTAL	45,695.08 SQ. FT.	205.32 SQ. FT.	4,543.13 SQ. FT.	1,410.54 SQ. FT.	1,217.89 SQ. FT.	50,443.53 SQ. FT.
*SHARED AMENITY SPACES AND OPEN STAIRWAYS WERE NOT INCLUDED IN THE FINAL FSR CALCULATIONS.						

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PROJECT

EAST 12th STREET
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NORTH VANCOUVER, BC

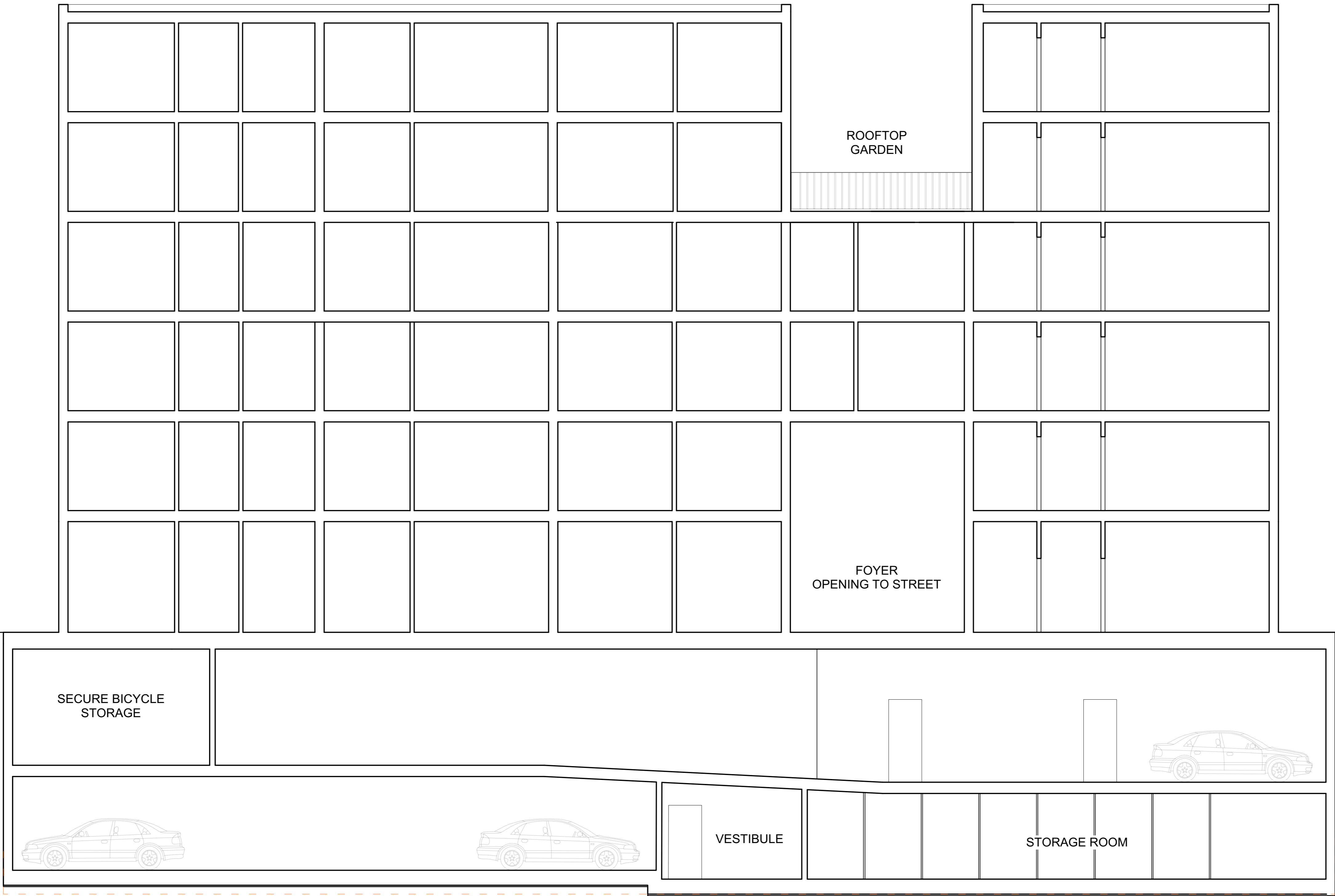
DRAWING TITLE

FSR CALCULATIONS

SCALE NOTED	DATE JUNE 2017	SHEET NO. A2.15
DRAWN AM	CHECKED SM	

PL

PL



- T.O. ELEVATOR
- T.O. ROOF
- T.O. SIXTH FLOOR
- T.O. FIFTH FLOOR
- T.O. FOURTH FLOOR
- T.O. THIRD FLOOR
- T.O. SECOND FLOOR
- T.O. GROUND FLOOR
- T.O. P1 FLOOR
- T.O. P2 FLOOR

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PROJECT

EAST 12th STREET
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DRAWING TITLE

SECTION A-A

SCALE
3/16"=1'-0"

DATE
JUNE 2017

SHEET NO.
A3.0

DRAWN
AM

CHECKED
SM

1 SECTION A
3/16" = 1'-0"

PL

PL



T.O. ELEVATOR

T.O. ROOF

T.O. SIXTH FLOOR

T.O. FIFTH FLOOR

T.O. FOURTH FLOOR

T.O. THIRD FLOOR

T.O. SECOND FLOOR

T.O. GROUND FLOOR

T.O. P1 FLOOR

T.O. P2 FLOOR

AMENITY ROOM

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PROJECT

EAST 12th STREET
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DRAWING TITLE

SECTION B-B

SCALE 3/16"=1'-0"	DATE JUNE 2017	SHEET NO. A3.1
DRAWN AM	CHECKED SM	

1

SECTION B

3/16" = 1'-0"

PL



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PROJECT

EAST 12th STREET
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DRAWING TITLE

SECTION C-C

SCALE 3/16"=1'-0"	DATE JUNE 2017	SHEET NO. A3.2
DRAWN AM	CHECKED SM	

1 SECTION C
3/16" = 1'-0"

PL

PL



T.O. ELEVATOR

366.60'

T.O. ROOF

360.10'

T.O. SIXTH FLOOR

350.60'

T.O. FIFTH FLOOR

341 60'

T.O. FOURTH FLOOR

332.60'

! T.O. THIRD FLOOR

323.60'

T.O. SECOND FLOOR

314 60'

T.O. GROUND FLOOR

304 60'

T.O. P1 FLOOR

292.55'

T O P2 FLOOR

282.32'

1	2017-06-16	REZONING/DEVELOPMENT PERM
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PROJECT

EAST 12th STREET
127 EAST 12TH STREET
NORTH VANCOUVER, BC

DRAWING TITLE

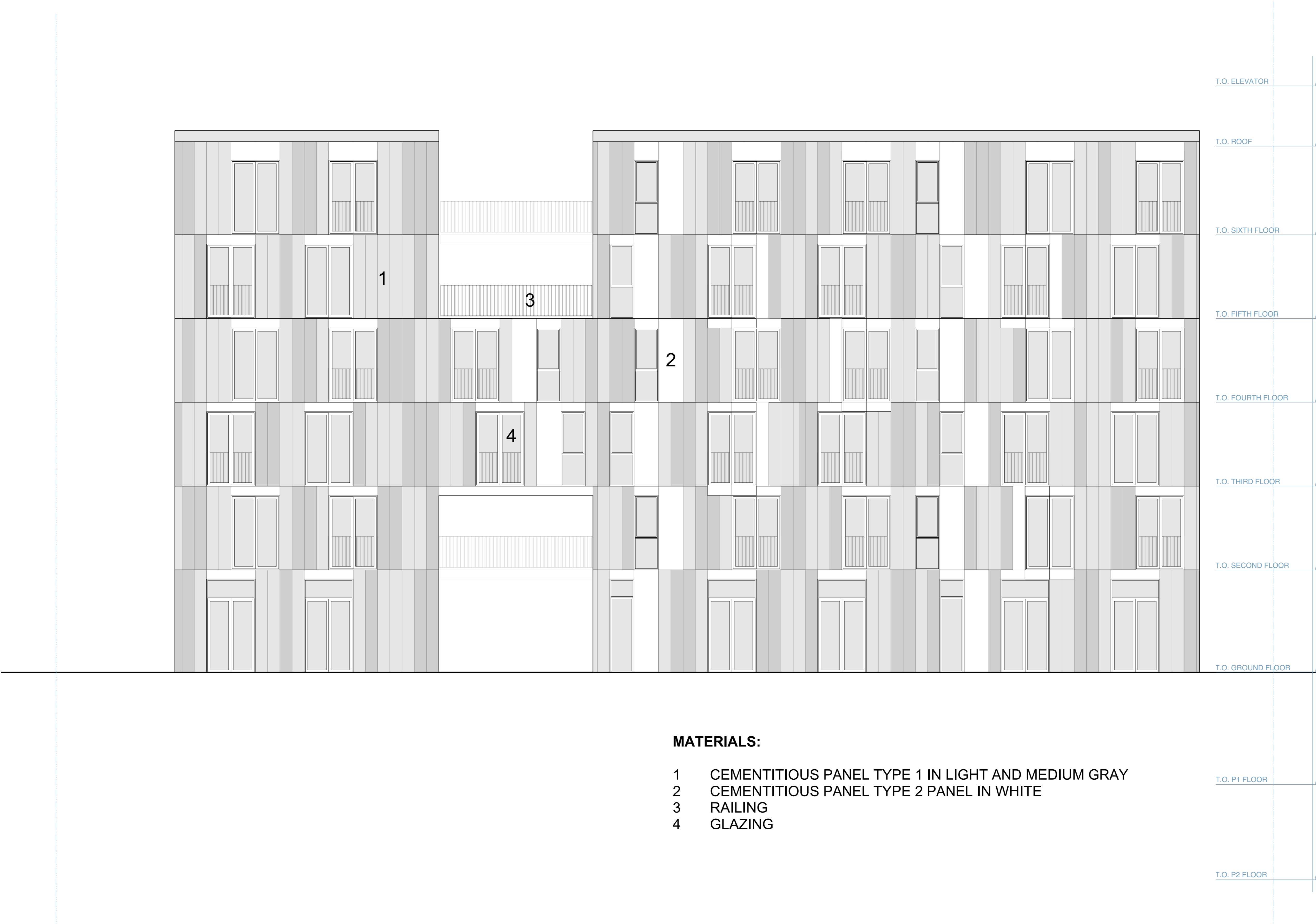
SECTION D-D

SCALE 3/16"=1'-0"	DATE JUNE 2017	SHEET NO. A3.3
DRAWN AM	CHECKED SM	



SECTION D

3/16" = 1'-0"



MATERIALS:

- 1 CEMENTITIOUS PANEL TYPE 1 IN LIGHT AND MEDIUM GRAY
- 2 CEMENTITIOUS PANEL TYPE 2 PANEL IN WHITE
- 3 RAILING
- 4 GLAZING

1

NORTH ELEVATION

3/16" = 1'-0"

1	2017-06-16
NO.	DATE
REZONING/DEVELOPMENT PERMIT	REVISION

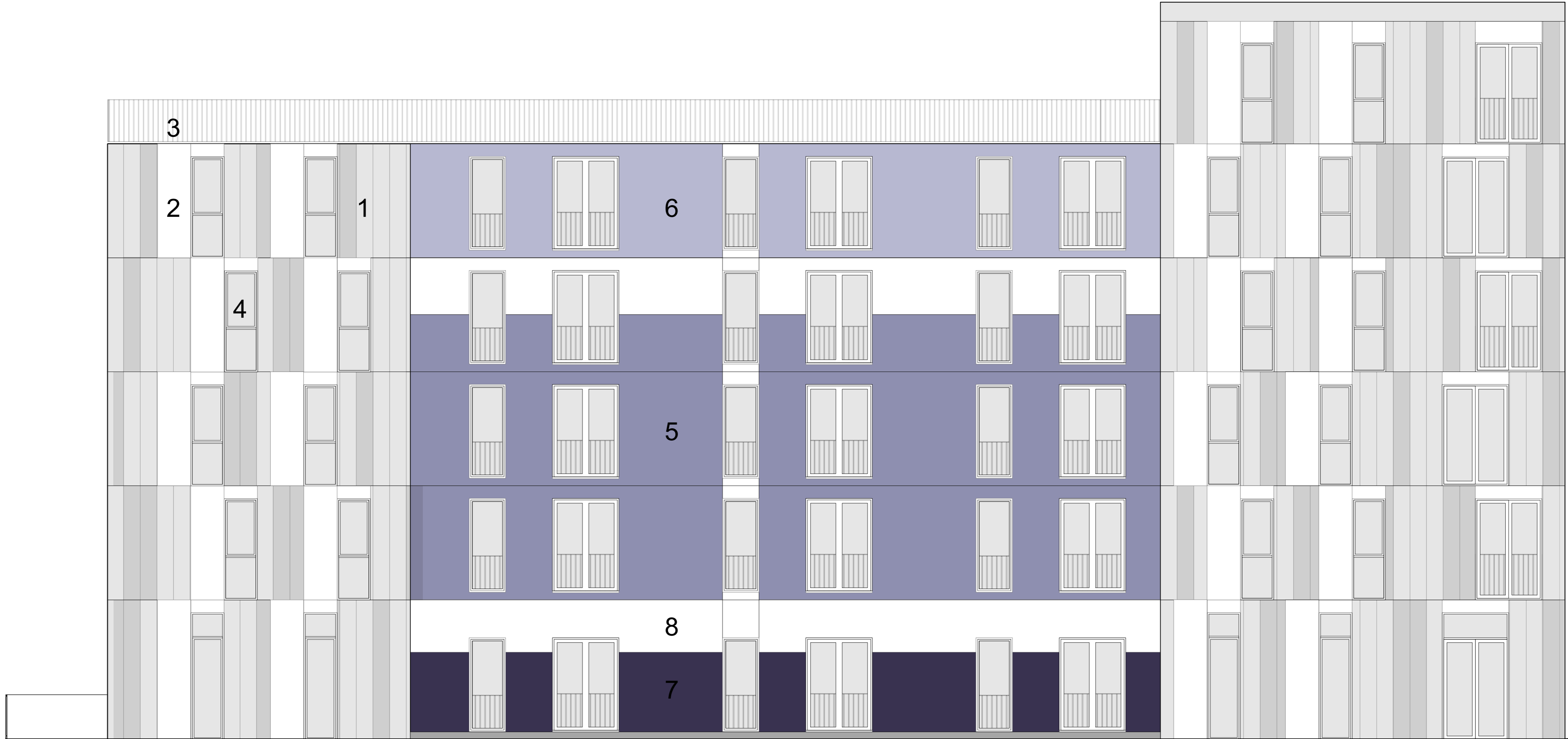
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PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
NORTH ELEVATION ALONG 12th STREET		
SCALE	DATE	SHEET NO.
3/16"=1'-0"	JUNE 2017	A3.4
DRAWN	CHECKED	
AM	SM	



MATERIALS:

- 1 CEMENTITIOUS PANEL TYPE 1 IN LIGHT AND MEDIUM GRAY
- 2 CEMENTITIOUS PANEL TYPE 2 PANEL IN WHITE
- 3 RAILING
- 4 GLAZING
- 5 STUCCO IN MID VIOLET (BENJAMIN MOORE 2070-40)
- 6 STUCCO IN LIGHT VIOLET (BENJAMIN MOORE 2070-60)
- 7 STUCCO IN DARK VIOLET (BENJAMIN MOORE 2068-10)
- 8 STUCCO IN WHITE

1 EAST ELEVATION
3/16" = 1'-0"

1	2017-06-16 REZONING/DEVELOPMENT PERMIT
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PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
EAST ELEVATION		
SCALE	DATE	SHEET NO.
3/16"=1'-0"	JUNE 2017	A3.5
DRAWN	CHECKED	
AM	SM	



MATERIALS:

- 1 CEMENTITIOUS PANEL TYPE 1 IN LIGHT AND MEDIUM GRAY
- 2 CEMENTITIOUS PANEL TYPE 2 IN WHITE
- 3 RAILING
- 4 GLAZING
- 5 STUCCO IN MID VIOLET (BENJAMIN MOORE 2070-40)
- 6 STUCCO IN LIGHT VIOLET (BENJAMIN MOORE 2070-60)
- 7 STUCCO IN DARK VIOLET (BENJAMIN MOORE 2068-10)
- 8 STUCCO IN WHITE

T.O. ELEVATOR

366.60'

T.O. ROOF

360.10'

T.O. SIXTH FLOOR

350.60'

T.O. FIFTH FLOOR

341.60'

T.O. FOURTH FLOOR

332.60'

T.O. THIRD FLOOR

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T.O. SECOND FLOOR

314.60'

T.O. GROUND FLOOR

304.60'

T.O. P1 FLOOR

292.55'

T.O. P2 FLOOR

282.32'

1	2017-06-16
NO.	DATE
	REVISION

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PROJECT

EAST 12th STREET
127 EAST 12TH STREET
NORTH VANCOUVER, BC

DRAWING TITLE

SOUTH ELEVATION
ALONG LANE

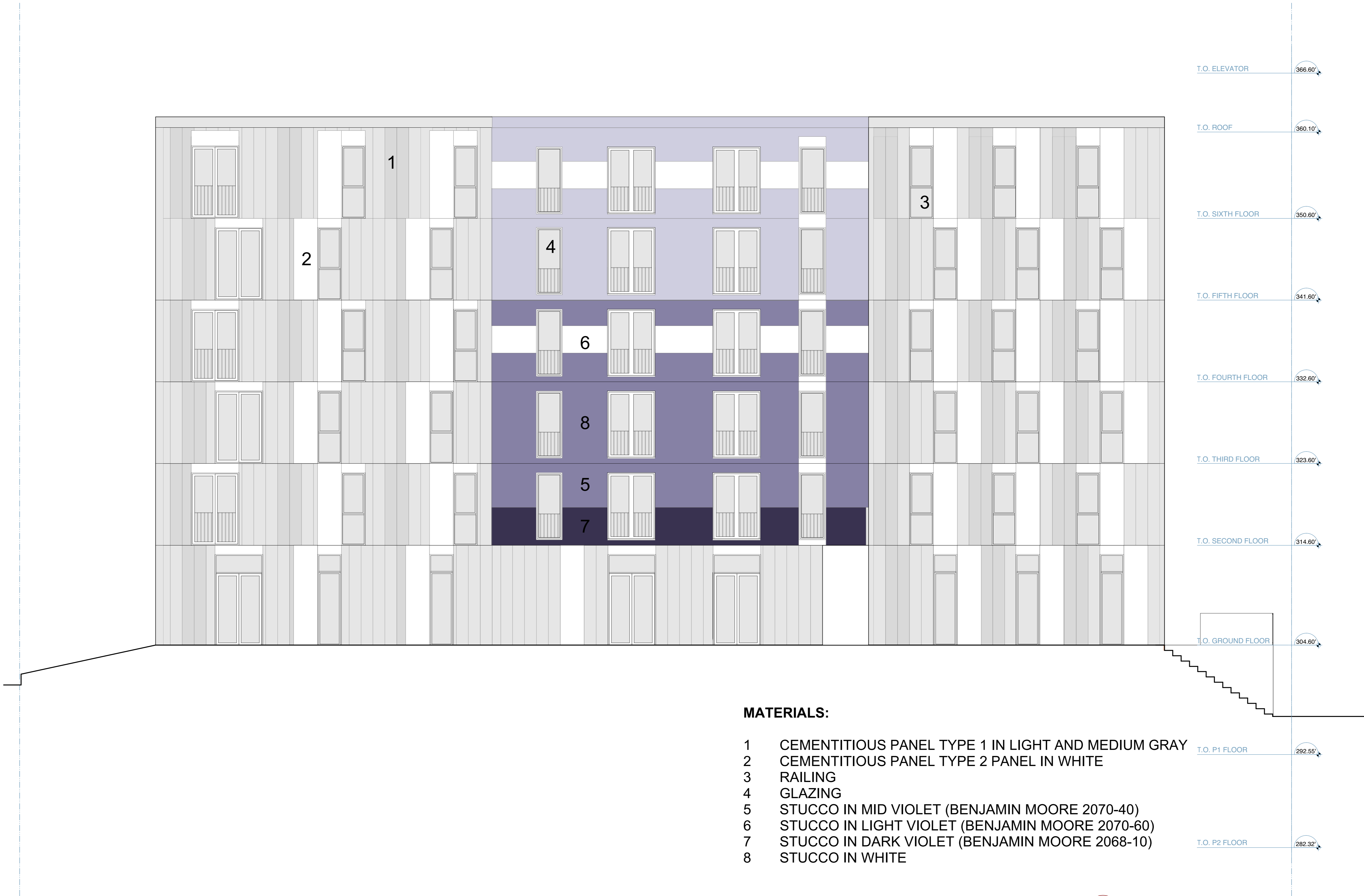
SCALE
3/16"=1'-0"

DATE
JUNE 2017

DRAWN
AM

SHEET NO.
A3.6

CHECKED
SM



MATERIALS:

- 1 CEMENTITIOUS PANEL TYPE 1 IN LIGHT AND MEDIUM GRAY
- 2 CEMENTITIOUS PANEL TYPE 2 PANEL IN WHITE
- 3 RAILING
- 4 GLAZING
- 5 STUCCO IN MID VIOLET (BENJAMIN MOORE 2070-40)
- 6 STUCCO IN LIGHT VIOLET (BENJAMIN MOORE 2070-60)
- 7 STUCCO IN DARK VIOLET (BENJAMIN MOORE 2068-10)
- 8 STUCCO IN WHITE

1 WEST ELEVATION
3/16" = 1'-0"

1	2017-06-16
NO.	DATE
	REVISION

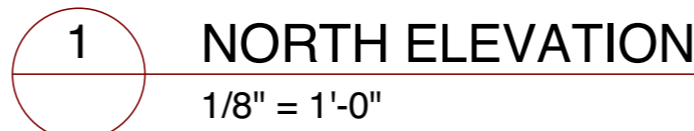
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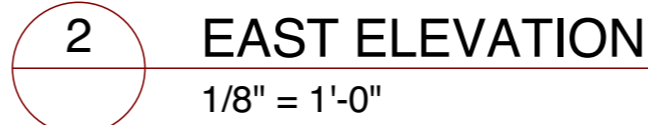
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PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
WEST ELEVATION		
SCALE	DATE	SHEET NO.
3/16"=1'-0"	JUNE 2017	A3.7
DRAWN	CHECKED	
AM	SM	



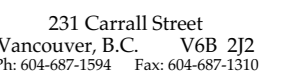
2 EAST ELEVATION
1/8" = 1'-0"



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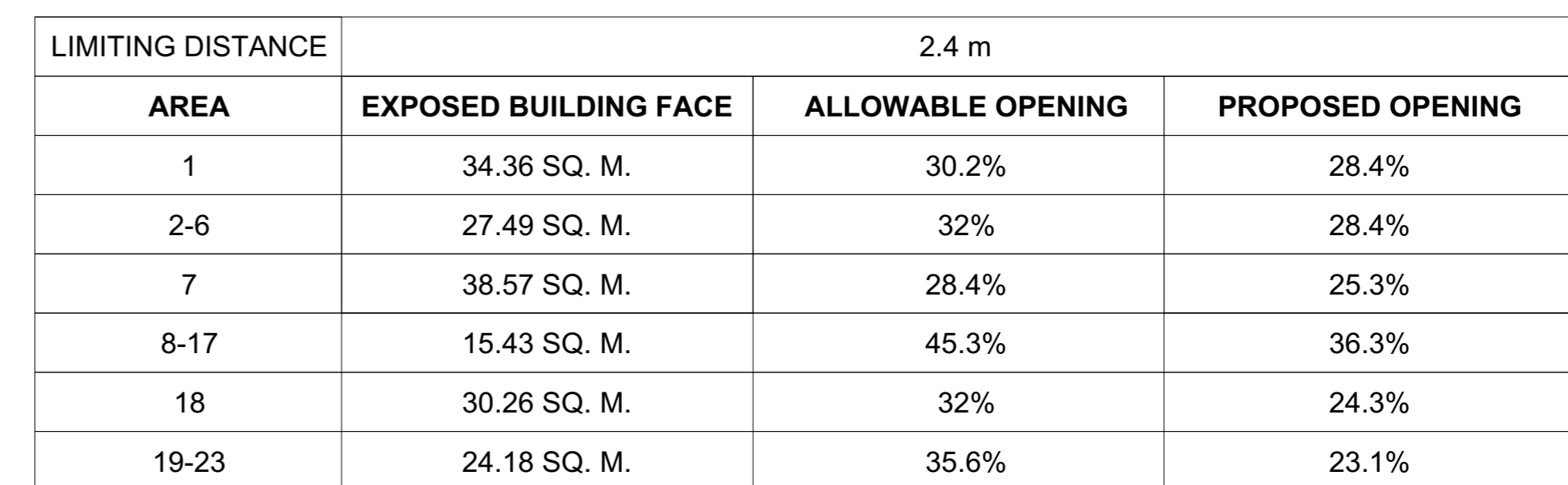
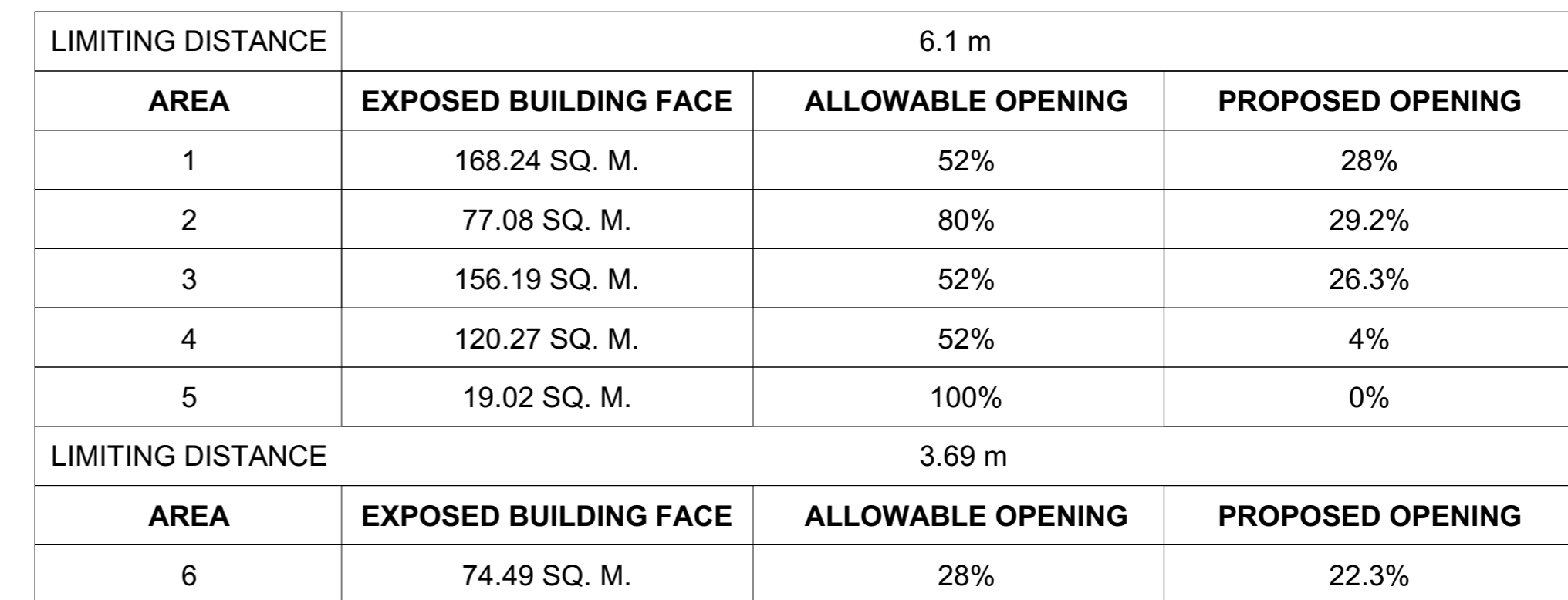
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EAST 12th STREET
127 EAST 12TH STREET
NORTH VANCOUVER, BC

SPATIAL SEPARATIONS

SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A3.8
DRAWN AM	CHECKED SM	

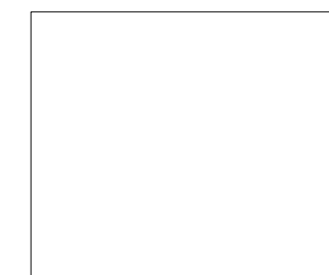


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PROJECT

EAST 12th STREET
127 EAST 12TH STREET
NORTH VANCOUVER, BC

DRAWING TITLE

SPATIAL SEPARATIONS
CONT.

SCALE 1/8"=1'-0"	DATE JUNE 2017	SHEET NO. A3.9
DRAWN AM	CHECKED SM	

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1 Gaoler's Mews
Gastown, Vancouver



2 Olympic Village
South East False Creek, Vancouver



3 Burrard Hotel
Burrard Street, Vancouver

1	2017-06-16
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PROJECT		
EAST 12th STREET 127 EAST 12TH STREET NORTH VANCOUVER, BC		
DRAWING TITLE		
LOCAL PRECEDENTS		
SCALE NOTED	DATE JUNE 2017	SHEET NO. A4.0
DRAWN AM	CHECKED SM	



far left: Ercilla and Campo | Social Dwelling
near left: 521 Carrall Street
below left: Gardner 1050 by LOHA Architects
below: S333 | Schots 1 & 2



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NO. DATE	REVISION

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PROJECT

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NORTH VANCOUVER, BC

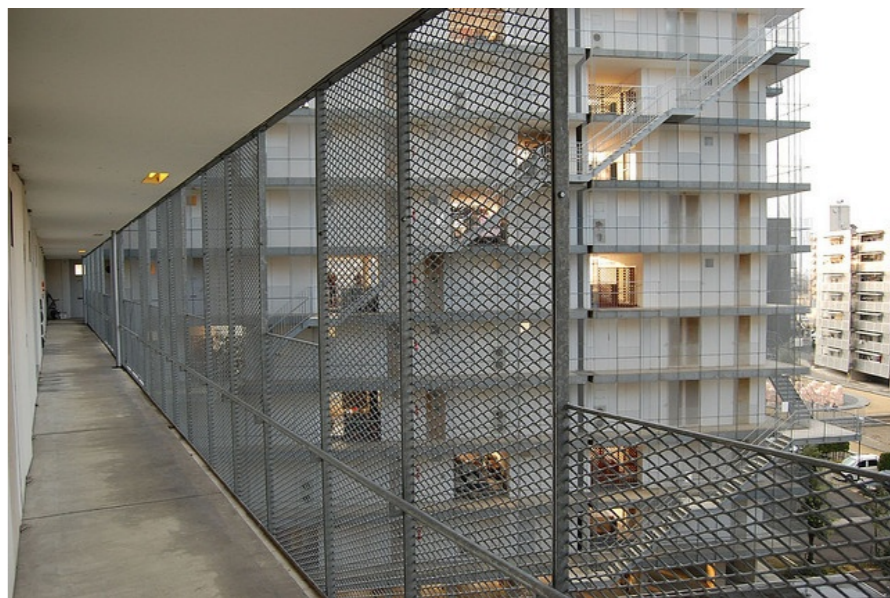
DRAWING TITLE

CIRCULATION PRECEDENTS

SCALE NOTED	DATE JUNE 2017	SHEET NO. A4.1
DRAWN AM	CHECKED SM	



1 Le Vialenc by Atelier du Rouget Simon
Aurillac, France



2 Kitagawa Project by SANAA
Kitagawa, Japan

1	2017-06-16
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PROJECT		
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DRAWING TITLE		
INTERNATIONAL PRECEDENTS		
SCALE NOTED	DATE JUNE 2017	SHEET NO. A4.2
DRAWN AM	CHECKED SM	