East 14th Street

Civic Address: 120-128 East 14th Street, North Vancouver, BC

Issue 05: RZ/DP Resubmission Friday, May 26, 2023

Note: Drawings only to scale when printed on 24x36 sheets



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A-8.301	Level 1 Area Overlay	1/8" =	1'-0", 1'	=	1'-
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	Level 4-20 (Typ.) Area Overlay	1/8" =	1'-0", 1'	=	1'-
A-8.304	Level 4-20 (TVD.) Area Overlav	1/0 -	- U . !	_	

CONTACT LIST

A-8.305

Client	Three Shores Development #245 – 9600 Cameron Street Burnaby, BC, V3J 7N3	Barry Savage	604.422.8718	bsavage@threeshores.ca
Architectural	Integra Architecture Inc. 2330-200 Granville Street Vancouver BC, V6C 1S4	Rhys Leitch Steve Watt	604.688.4220 604.688.4220	rhysl@integra-arch.com stevew@integra-arch.com
Civil	Binnie & Associates 300-4940 Canada Way Vancouver, BC V5G 4K6	Russell Warren	604.987.9070	rwarren@binnie.com
Landscape	Durante Kruek Ltd. 102-1637 West 5 th Avenue Vancouver, BC V6J 1N5	Stephen Vincent	604.684.4611	stephen@dkl.bc.ca
Code	MR Consulting 1281 20 th Street West Vancouver, BC V7V 3Z4	Mark Roozbahani	604.764.7709	mark@codeconsultant.ca

Level 21 Area Overlay

1/8" = 1'-0", 1' = 1'-0"



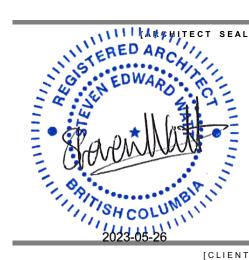
Integra

ARCHITECTURE INC.

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[PROJECT TEAM]



Three Shores Development

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East 14th Street

120-128 East 14th Street North Vancouver, BC

Cover

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Not To Scale	[SCA
Friday, May 26, 2023	[D A
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EAST 14TH STREET, NORTH VANCOUVER

PROJECT CONTACT: PROJECT ARCHITECT:	Three Shores Development								Commercial Unit Areas	<u> </u>	- -	Aroas I				<u> </u>	<u> </u>	otal linit A		
FROJECT ARCHITECT:	, ,	ores Development 120-128 East 14 architecture Inc. 200 Granville St.	th Street, North Vancouver, BC				T.604.505.8818 T.604.688.4220		Unit Types			Areas Subtotal				Total Area / Unit	# of Tot Units SF	otal Unit Area m²	% of Units	
PROJECT NUMBER:	21569	ircnitecture inc. 200 Granville St,	vancouver				1.004.088.4220		CRU-A		683.22	683.22				683.22	1 683.2	63.47	7.7%	Intoarc
CIVIC ADDRESS:	120-128 E14th St, North Vancouver								CRU-B		1,277.11	1,277.11				1,277.11	1 1,277.1	'.11 118.65	7.7%	Integra
LEGAL DESCRIPTION:	TBC								CRU-C		516.58	516.58				516.58	1 516.5	.58 47.99	7.7%	ARCHITECTURE INC
									CRU-D	L1	737.37	737.37				737.37	1 737.3		7.7%	
PROJECT DESCRIPTION:	21 Story Mixed-Use								Total Commercial Retail		1.000.00					3,214.28	4 3,214.2	298.62	30.8%	2330-200 Granville Stre Vancouver, BC, V6C 15
ZONING: Existing Zoning:	C1-B								CRU-E		1,383.26	1,383.26				1,383.26	1 1,383.2	3. 26 128.51	7.7%	www.integra-arch.co
Proposed Zoning: OCP Designation	CD (TBC) Mixed Use Level 4B								CRU-F		943.09	943.09				943.09	1 943.0	.09 87.62	7.7%	Telephone: 604 688 422
Development Permit Area ISSUE:	PRELIM								CRU-G		1,464.00	1,464.00				1,464.00	1 1,464. 0	136.01	7.7%	COPYRIGHT RESERVED. THIS DRAWING AND DESIGNAND AT ALL TIMES REMAINS THE EXCLUSIVE PROPI
DATE:	2023-05-26								CRU-H		1,630.41	1,630.41				1,630.41	1 1,630.4). 41 151.47	7.7%	OF INTEGRA ARCHITECTURE INC. AND CANNOT USED WITHOUT THE ARCHITECT'S CONS
									CRU-I		1,184.75	1,184.75				1,184.75	1 1,184.7	110.07	7.7%	
SITE AREA Total Site Area									CRU-J		1,059.89	1,059.89				1,059.89	1 1,059. 8	98.47	7.7%	
Total Gross Site Area		15,691	SF 1,457.73	m2					CRU-K		1,039.80	1,039.80				1,039.80	1 1,039 .8	96.60	7.7%	
Building Size Max. Building Height		222	ft 67.07	m (22 sto	rios)				CRU-L		1,864.54	1,864.54				1,864.54	1 1,864.	173.22	7.7%	
Max. Building Width & Length (at 2nd st		223 170 100	ft 67.97 ft 51.82 ft 30.48	m (22 810	nes)				CRU-M	L2	974.86	974.86				974.86	1 974.86		7.7%	
Max. Building Width & Length (including	ig and above old stoley)	100	11 30.46	111					Total Commercial Offices Total Commercial (Retail & Offices)							11,544.60	9.00 11,544. 13.00 14,758.	4.60 1,072.5 8.88 1,371.1	69.2% 100.0%	
Building Setbacks Flanking Lane Poor Let Line		10	ft 3.05	m 	*may be reduced to deep	for each 4ff of cotto	provided of Fractile 11:	ino (may 10th)												[PROJECT TE
Rear Lot Line Setback from Principal Buildings exceed	eding 4 storeys	20 80.00	ft 6.10 ft 24.38	m m	*may be reduced by 1ft fo	or each 1π of setback p	υιονιαθα at Front Lot Lir	ше (тах. 10ft)	HOUSING UNIT MIX	No.	Percentage									
FLOOR AREA RATIO (FAR)									Studio (Adaptable)	6	3.7%						Adaptable/Accessib Required		Units	
Maximum FAR Maximum Floor Area	3.00	-	SF 0.0	m2					Studio 1 Bedroom (Adaptable)	12	7.3%						·	25% 41		
Maximum Bonus Floor Area Maximum FAR	1.00 4.00	•	SF 0.0	m2					1 Bedroom 2 Bedroom (Adaptable)	53	32.3% 10.4%					,		71		
Proposed FAR	1.00								2 Bedroom 2 Bedroom 3 Bedroom	37	22.6%									
Proposed Floor Area Proposed Floor Area Exclusions		164,409.51 7,891.50	SF 15,274.0 SF 733.1	m2 m2					Total		100.0%	Family Sized Units 45	5.7%							
Proposed FAR	9.98	156,518.01	SF 14,540.9	m2					OFF-STREET PARKING											
Exclusion Summary Access to Outdoor Amenity	Min. No. Units Stair 01	Stair 02 Elevator per Unit				0.00 m2	Comments Active Design Guide		Residential Parking											
Adapt. Units Level 2 (20 sf/unit) Indoor Amenity - 15 SF/unit or lesser min 2% GFA (SF)	0 41 2,460 164 3,288	20.0	820.0 sq.ft. 2,460.0 sq.ft.			76.18 m2 228.54 m2	25.0% Units Min 15 SF / Unit * Max 5% of GFA = 8		Residential Parking Visitor Parking		Spaces Per Dwe Spaces Per Unit	elling Unit : (inclusive of total)		2.0 Spaces Required6.0 Spaces Required		153 Spaces Provid 13 Spaces Provid				
Lobby (Ground Floor) & Bicycle Storage	ne l		4.138.2 sq ft			384.45 m2	* Max 10% of GFA = 6		Disabled Parking Max. Small Cars Allowed		nclusive of total	,		6.4 Spaces Required 4.5 Spaces Max.		8 Spaces Provid 33 Spaces Provid	ded		* inclusive * inclusive	
up to max. area of 10% GFA (SF Stairs (From Parkade) Stairs (Active Design) - 8% max SF	13,153 max.		473.3 sq.ft. sq.ft.			43.97 m2 0.00 m2	0.00% (Floo	·	Parking Reduction TDM Measures	-10%	•			8.8 Spaces 9.0 Spaces Required		166 Spaces Provi	ided			
Total Exclusions From FSR			7,891.5 sq.ft.			733.14 m2								openion in the second						
GROSS FLOOR AREA (GFA)									Commercial Parking Commercial Parking			75 m2 (807.3 SF)		8.3 Spaces Required		15 Spaces Provi				
Floor Areas Level	Unit Areas	Common Areas				Total Area	Total Floor Ar	rea Efficienc	Disabled Parking Max. Small Cars Allowed		or Every 5-36 P of Provided Spa	arking Spaces (inclusive) ces		1.0 Spaces Required3.8 Spaces Max.		1 Spaces Provid 1 Spaces Provid			* inclusive * inclusive	
Level 1	0.00 3,214.28		vators Services/Storage 2.00 4,572.29			11,708.41	SF 11,708.41 1,0	m² ,087.77 27.5%	Shared Parking											
(includes CRU) Level 2	0.00 11,544.60		2.00 65.55			13,743.35	·	,276.83 84.0%	Commercial & Visitor Shared Parking	30%	of Commercial &	Visitor Parking		8.4 Spaces Max.		3 Spaces provide	ed			
Level 3	3,900.20	 	4.92 64.12			7,367.66		684.49 52.9%	Gross Total					7.3 Spaces Required		184 Spaces Provid				
Typical Floors - Level 4 - 20	Per 6,246.95	 		nit Areas 106.198.15	Sub Total 7,367.66	· .		1,636.41 84.8%	Commercial Loading Required	1 :	Spaces per 1,39	93.5 m2		1.0 Spaces Required		1 Space Provide		.0 FT) x 9.15m (30.0 FT) .85 FT) x 5.5m (18.0 FT)		
Level 21	Floor				,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	6.339.87		589.01 83.5%	_							·	ded * 2.7m (8.8			
	5 290 78	438.42 321.63 22	4 92 64 12				6 339 87 5									·	ded * 2.7m (8.8.			
Area Totals	5,290.78 15,437.93	438.42 321.63 22	4.92 64.12			0,339.07	6,339.87 5 164,409.51 15		Doubing Conner Discountings	Poquirod	Width v Longth	. Hainki				·	ded *2.7m (8.8			
		438.42 321.63 22	4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space	2.5m (8.20		8.0 FT) x 2.0m (6.56 FT)				·	ded * 2.7m (8.8			
SITE COVERAGE			4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space Small Cars Accessible	2.5m (8.20 2.43m (8.0 4.0m (13.1	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT)				·	ded * 2.7m (8.8			
SITE COVERAGE			4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space Small Cars	2.5m (8.20 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (5T) x 9.0m (30	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT)				·	ded * 2.7m (8.8			TERED ARCA
SITE COVERAGE Floor Areas	15,437.93 No Floor Area Total	Area S/C per Floor Total S/C SF SF 0.75 0.75	4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible	2.5m (8.20 2.43m (8.0 4.0m (13.1 4.0m (13.1	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (5 FT) x 9.0m (30 FT)	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT)				·	ded * 2.7m (8.8			
Floor Areas Level Level 1	No. Floor Area SF S 1 11,708.41 11,7	Area S/C per Floor Total S/C SF SF SF 08.41 0.75 0.75 0.75 0.88 0.88 7.66 0.47 0.47 0.47 50.22 0.47 7.98	4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width	2.5m (8.20 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (4 FT) x 9.0m (30 FT) FT)	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT)				·	ded * 2.7m (8.8			TERED ARCA
Floor Areas Level Level 1 Level 2 Level 3	No. Floor Area Total SF S S S S S S S S S S S S S S S S S S	Area S/C per Floor Total S/C SF SF SF SF SR-33.35 0.88 0.88 0.47 0.47 0.47 50.22 0.47 7.98	4.92 64.12			0,335.07	·		Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (4 FT) x 9.0m (30 FT) FT)	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT)				·	ded * 2.7m (8.8			TERED ARCAY
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20	No. Floor Area Total SF S S S S S S S S S S S S S S S S S S	Area S/C per Floor Total S/C SF SF SF SF SA.41 0.75 0.75 0.75 0.75 0.88 0.88 0.88 0.47 0.47 0.47 0.47 0.47 0.47 0.47 0.47				0,335.07	·		Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (4 FT) x 9.0m (30 FT) FT)	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT)				·				GIS EDWARD TO
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21	No. Floor Area SF S SF S S SF SF SF SF SF SF SF SF SF	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17	L18 L19 L20 L21		164,409.51 15	5,274.51 67%	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Pe	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT)	Vertical 35% Max Horizontal	86 Stalls		2 Spaces Provid	d d			TERED ARCAMEDWARD TO THE PROPERTY OF THE PROPE
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas	No. Floor Area SF S SF S S SF SF SF SF SF SF SF SF SF	Area S/C per Floor Total S/C SF SF SF SF SA.41 0.75 0.75 0.75 0.75 0.88 0.88 0.88 0.47 0.47 0.47 0.47 0.47 0.47 0.47 0.47	or of Units / Floor	L15 L16 L17	L18 L19 L20 L21		164,409.51 15	5,274.51 67%	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Pe	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT)		86 Stalls	Total Secure Res	246 Stalls Required 78 Stalls Provided 168 Stalls Provided	d d d			SH COLUMBIAN 2023-05-26
Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building	No. Floor Area SF S S S S S S S S S S S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1	L18 L19 L20 L21 1 1 1		Total Unit Arc SF 2,650.08 2	7:ea % of Uni	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 1.50	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit	Horizontal	86 Stalls	Total Secure Res	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 164 Stalls Provided 165 Stalls Provided 166 Stalls Provided 167 Stalls Provided 168 Stalls Provided	d d d d d d d d d d			SH COLUMBIAN 2023-05-26
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1	L18 L19 L20 L21 1 1 1		Total Unit Ard SF 2,650.08 2 7,950.24 7	76a % of Uni m² % of Uni 246.21 4%	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 1.50	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Pe	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit		86 Stalls		246 Stalls Required 78 Stalls Provided 16 Stalls Provided 16 Stalls Provided 16 Spaces Requi	d d d d d d d d d d			ON EDWARD OF THE PROPERTY OF T
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B1 (Adaptable) 1 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2 7,950.24 7	7ea % of Uni 246.21 4% 738.62 7%	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 1.50 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit Ing Units + 6 per 60 additional units Ing Units	Horizontal	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 164 Stalls Provided 16 Spaces Required 16 Spaces Provided 16 Spaces Provided 16 Spaces Required 17 Spaces Provided 18 Spaces Provided 19 Spaces Provided 19 Spaces Provided	d d d d di dired			SH COLUMBIA 2023-05-26
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B2 1 Bedroom Unit B2 1 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2 7,950.24 7	76a % of Uni m² % of Uni 246.21 4%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 1.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Units FA FA	Horizontal	86 Stalls		246 Stalls Required 78 Stalls Provided 168 Stalls Provided 164 Stalls Provided 16 Spaces Requi 16 Spaces Provided 16 Spaces Requi 16 Spaces Provided 16 Spaces Provided 16 Spaces Provided 17 Stalls Provided 18 Stalls Provided	d d d d d d d d d d d d d d d d d d d			SH COLUMBIA 2023-05-26
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2 7,950.24 7 11,420.82 1,4 9,495.54 8 9,065.59 8	7ea % of Uni m² % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10%	Parking Space Dimensions Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Provided Short Term Commercial - Visitor Required	2.5m (8.2c 2.43m (8.2c 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 1.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 164 Stalls Provided 16 Spaces Requi 16 Spaces Provided 16 Spaces Requi 16 Spaces Provided 16 Spaces Provided 17 Stalls Provided 18 Stalls Provided 19 Stalls Required 10 Stalls Provided 10 Spaces Requi 11 Stalls Required 12 Stalls Provided	d d d d d d d d d d d d d d d d d			Three Shores Developme
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2 7,950.24 7 11,420.82 1,4 9,495.54 8 9,065.59 8	7ea % of Uni m² % of Uni 246.21 4% 738.62 7% ,061.05 1800%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Provided Short Term Commercial - Visitor Required Secure Commercial - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Required 16 Spaces Required 16 Spaces Required 16 Spaces Required 17 Stalls Required 18 Stalls Provided 19 Stalls Required 19 Stalls Required 10 Stalls Provided 10 Stalls Required 10 Stalls Required 11 Stalls Required 12 Stalls Required 13 Stalls Required 14 Stalls Required	d d d d d d d d d d d d d d d d d			Three Shores Developme
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable)	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2,7,950.24 7,950.24 11,420.82 1,420.82 1,0795.68 1,0795.68	7ea % of Uni m² 446.21 4% 738.62 7% ,061.05 1800% 882.19 11%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided Short Term Commercial - Visitor Provided * 1 Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Required 16 Spaces Required 16 Spaces Required 16 Spaces Required 17 Stalls Required 18 Stalls Provided 19 Stalls Required 19 Stalls Required 10 Stalls Provided 10 Stalls Required 10 Stalls Required 11 Stalls Required 12 Stalls Required 13 Stalls Required 14 Stalls Required	d d d d d d d d d d d d d d d d d			Three Shores Developme
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Arc SF 2,650.08 2 7,950.24 7 11,420.82 1,4 9,495.54 8 9,065.59 8 10,795.68 1,4 13,797.71 1,5	7ea % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided * 1 Electrical outlet / 4 Bicycle Parking Space. STORAGE SPACES Storage Spaces	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 169 Stalls Provided 16 Spaces Required 16 Spaces Provided 16 Spaces Required 16 Spaces Required 16 Stalls Provided 16 Spaces Required 16 Stalls Provided 17 Stalls Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Spaces Required 10 Stalls Provided	d d d d d d d d ired ded			Three Shores Developme
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B2 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Ard SF 2,650.08 2,7,950.24 7,950.24 7,950.54 8,065.59 10,795.68 10,795.68 1,14,673.06 1,1	7ea % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided * 1 Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Required 16 Spaces Required 16 Spaces Required 16 Spaces Required 17 Stalls Required 18 Stalls Provided 19 Stalls Required 19 Stalls Required 10 Stalls Provided 10 Stalls Required 10 Stalls Required 11 Stalls Required 12 Stalls Required 13 Stalls Required 14 Stalls Required	d d d d d d d d ired ded			Three Shores Developme [PROJECT 120-128 East 14th Street North Vancouver, BC
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C2 2 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Ard SF 2,650.08 2,7,950.24 7,950.24 7,950.54 8,065.59 10,795.68 10,795.68 1,14,673.06 1,1	7ea % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Provided Short Term Commercial - Visitor Required Short Term Commercial - Visitor Provided * 1 Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided SOLID WASTE & RECYCLING	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Sicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks	86 Stalls	Total Short Term Re	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 169 Stalls Provided 16 Spaces Required 16 Spaces Provided 16 Spaces Required 16 Spaces Required 16 Stalls Provided 16 Spaces Required 16 Stalls Provided 17 Stalls Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Spaces Required 10 Stalls Provided	d d d d d d d d ired ded			Three Shores Developme [PROJECT 120-128 East 14th Street North Vancouver, BC
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3 2 Bedroom Unit C3 2 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2,7,950.24 7,950.24 7,950.54 9,495.54 8,065.59 10,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68	7ea % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided * I Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided Residential Garbane Residential Garbane	2.5m (8.2c 2.43m (8.0 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 1.0 6.0 6.0 6.0 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit rg Units + 6 per 60 additional units ng Units FA FA GFA GFA	Horizontal Racks	11.00	Total Short Term Res Total Secure Cor Total Short Term Cor	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 164 Stalls Provided 16 Spaces Requi 16 Spaces Provid 16 Spaces Requi 16 Spaces Requi 16 Spaces Requi 17 Stalls Provided 18 Spaces Requi 18 Spaces Requi 19 Spaces Requi 10 Stalls Provided 10 Spaces Requi 10 Stalls Provided 11 Spaces Requi 11 Spaces Requi	d d d d d d d dired ded d ired ired ired			Three Shores Developme [PROJ Last 14th Street 120-128 East 14th Street North Vancouver, BC
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3 2 Bedroom Unit C3 2 Bedroom Unit D1 3 Bedroom	No. Floor Area Total SF S S S S S S S S	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2,650.08 2,7,950.24 7,950.24 7,950.54 8,495.54 9,065.59 8,10,795.68 10,795.68 1,11,420.82 1,11,42	7ea % of Uni m² % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11% ,582.74 10%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided * I Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided Residential Garbage Min. Waste & Recycling Storage Area or	2.5m (8.2c 2.43m (8.2c 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 1.0 6.0 6.0 6.0 6.0 6.0 6.0 6.0 6	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) er Dwelling Unit er Dwelling Unit er Dwelling Unit FA FA GFA	Horizontal Racks		Total Short Term Res Total Secure Cor Total Short Term Cor m2 79.70 m2	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Requi 16 Spaces Requi 16 Spaces Requi 16 Spaces Requi 17 Stalls Required 18 Spaces Requi 19 Spaces Requi 10 Spaces Requi 10 Spaces Requi 11 Spaces Requi 12 Spaces Requi 13 Spaces Requi 14 Spaces Requi	d d d d d d d dired ded d d d ded ers Provided			Three Shores Developme [PROJECT 120-128 East 14th Street North Vancouver, BC
Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3	No. Floor Area Total	Area S/C per Floor Total S/C SF	or of Units / Floor	L15 L16 L17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L19 L20 L21 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		Total Unit Are SF 2,650.08 2,650.08 11,420.82 1,495.54 9,065.59 8 10,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68	rea m² % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11% ,582.74 10% ,460.00 11% 82.15 1%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Provided Short Term Commercial - Visitor Provided * I Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided Residential Garbage Min. Waste & Recycling Storage Area or Commercial Garbage Min. Waste & Recycling Storage Area or Commercial Garbage	2.5m (8.2c 2.43m (8.2c 4.0m (13.1 4.0m (13.1 2.7m (9.0 0.3m (1.0 6.7m (22.0 6.7m (22.0 1.50 1.0 6.0 6.0 6.0 6.0 6.0 6.0 6.0 6	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 4.1m (13.75 FT) or Dwelling Unit or Dwelling Unit or Dwelling Units FA FA GFA GFA GFA 0.486 m2 / unit	Horizontal Racks	11.00 Required Provided 8.00	Total Short Term Res Total Secure Cor Total Short Term Cor Total Short Term Cor 279.70 m2 61.10 m2 m2	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Requi 16 Spaces Provid 16 Spaces Requi 16 Spaces Requi 17 Stalls Required 18 Spaces Requi 19 Spaces Requi 10 Spaces Requi 10 Spaces Requi 11 Spaces Requi 12 Spaces Requi 13 Spaces Requi 14 Spaces Requi	d d d d d d d ired died ired ired ired			Three Shores Developme [PROJE 120-128 East 14th Street North Vancouver, BC
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3 2 Bedroom Unit C3 2 Bedroom Unit D1 3 Bedroom Unit PH1 2 Bedroom Unit PH2 2 Bedroom + Den	No. Floor Area SF S S S S S S S S	Area S/C per Floor Total S/C SF	Per of Units / Floor L10	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Total Units 6 12 18 18 17 18 17 18 17 18 17 18 17 18 17	Total Unit Are SF 2,650.08 2,650.08 7,950.24 7,950.24 11,420.82 1,49,495.54 9,065.59 8 10,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68 1,795.68	rea m² % of Uni 246.21 4% 738.62 7% ,061.05 1800% ,882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11% ,582.74 10% ,460.00 11% 82.15 1% 93.87 1%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Required Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Required Secure Commercial - Provided Short Term Commercial - Visitor Provided * I Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided Residential Garbage Min. Waste & Recycling Storage Area -Commercial Retail	2.5m (8.2c 2.43m (8.2c 4.0m (13.1 4.0m (13.1 2.7m (9.0) 0.3m (1.0) 6.7m (22.c 6.7m (22.c 1.50) 6.0 6.0 6.0 1.0 1.0 6.0 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (30 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period St	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) Per Dwelling Unit Per Dwelling Unit Ing Units + 6 per 60 additional units ing Units FA FA GFA GFA GFA GFA GFA GFA GFA GFA	Horizontal Racks	11.00 Required Provided 8.00	Total Short Term Res Total Secure Cor Total Short Term Cor m2 79.70 m2	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 16 Spaces Required 16 Spaces Provided 16 Spaces Provided 16 Spaces Required 16 Spaces Required 16 Spaces Required 16 Stalls Provided 17 Stalls Provided 18 Spaces Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Spaces Required 10 Stalls Provided 11 Spaces Required 12 Spaces Required 13 Spaces Required 14 Spaces Required 15 Stalls Provided 16 Stalls Provided 17 Spaces Required 18 Spaces Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Spaces Required 10 Spaces Required 10 Spaces Required 11 Spaces Required 12 Spaces Required 13 Spaces Required 14 Spaces Required 15 Stalls Provided 16 Spaces Required 17 Spaces Required 18 Spaces Required 19 Spaces Required 19 Spaces Required 10 Spaces R	d d d d d d d ired ded ired ired ired i			Three Shores Developme [PROJ Last 14th Street 120-128 East 14th Street North Vancouver, BC
SITE COVERAGE Floor Areas Level Level 1 Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Residential Unit Areas Unit Types - Building Unit A1 (Adaptable) Studio Unit A2 Studio Unit B1 (Adaptable) 1 Bedroom Unit B3 1 Bedroom Unit B4 1 Bedroom Unit C1 (Adaptable) 2 Bedroom Unit C2 2 Bedroom Unit C3 2 Bedroom Unit C3 1 Bedroom Unit C3 2 Bedroom Unit D1 3 Bedroom Unit D1 3 Bedroom	No. Floor Area SF St St St St St St St	Area S/C per Floor Total S/C SF SF SF SF SF SF SF S	Per of Units / Floor L10	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Total Units 6 12 18 18 17 18 17 18 17 18 17 18 17 18 17	Total Unit Arc SF 2,650.08 2,650.08 7,950.24 7,950.24 11,420.82 1,49495.54 9,065.59 8 10,795.68 1,4673.06 1,7036.04 1,5714.90 1,673.06 1,7036.04 1,673.06 1,7036.04 1,7036.04 1,7036.04 1,7036.04	rea m² % of Uni 246.21 4% 738.62 7% ,061.05 1800% 882.19 11% 842.24 10% ,002.98 11% ,281.88 10% ,363.20 11% ,582.74 10% ,460.00 11% 82.15 1%	Standard Space Small Cars Accessible Van Accessible Loading Min. Distance to Continuous Wall Min. Drive Aisle Width Min. Maneuvering Aisle Width BICYCLE STALLS Bicycle Spaces - Residential Secure Residential - Provided Short Term Residential - Visitor Required Short Term Residential - Visitor Provided Bicycle Spaces - Commercial Secure Commercial - Provided Short Term Commercial - Visitor Provided * I Electrical outlet / 4 Bicycle Parking Space STORAGE SPACES Storage Spaces Storage Spaces - Provided Residential Garbage Min. Waste & Recycling Storage Area or Commercial Garbage Min. Waste & Recycling Storage Area or Commercial Garbage	2.5m (8.2c 2.43m (8.2c 4.0m (13.1 4.0m (13.1 2.7m (9.0) 0.3m (1.0) 6.7m (22.c 6.7m (22.c 1.50) 6.0 6.0 6.0 1.0 1.0 6.0 6.0 6.0 6.0 6.0	FT) x 6.0m (1 FT) x 4.65m (2 FT) x 6.0m (2 FT) x 6.0m (3 FT) x 6.0m (3 FT) x 9.0m (30 FT) FT) FT) FT) Bicycle Stalls Period Sta	8.0 FT) x 2.0m (6.56 FT) 15.25 FT) x 2.0m (6.56 FT) 18.0 FT) x 2.3m (7.55 FT) 18.0 FT) x 2.3m (7.55 FT) .00 FT) x 4.1m (13.75 FT) Per Dwelling Unit Per Dwelling Unit Ing Units + 6 per 60 additional units ing Units FA FA GFA GFA GFA GFA GFA GFA GFA GFA	Horizontal Racks	11.00 Required Provided 8.00 8.00	Total Short Term Resolved Total Secure Constitution Total Short Term Constitution Term Constitution Total Short Term Constitution Term Constitut	246 Stalls Required 78 Stalls Provided 168 Stalls Provided 168 Stalls Provided 16 Spaces Required 16 Spaces Provided 16 Spaces Required 16 Spaces Required 16 Stalls Provided 18 Spaces Required 19 Spaces Required 10 Spaces Required 10 Stalls Provided 11 Stalls Provided 12 Spaces Required 13 Spaces Required 14 Spaces Required 15 Stalls Required 16 Stalls Provided 17 Stalls Required 18 Spaces Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Stalls Provided 10 Stalls Provided 11 Spaces Required 12 Spaces Required 13 Spaces Required 14 Stalls Provided 15 Stalls Required 16 Stalls Provided 16 Stalls Provided 17 Stalls Required 18 Spaces Required 18 Spaces Required 18 Spaces Required 19 Spaces Required 10 Spaces	d d d d d d d d ired ded ired ired ired			Three Shores Developme [PROJ East 14th Street 120-128 East 14th Street North Vancouver, BC

Combined Residential & Commercial Garbage

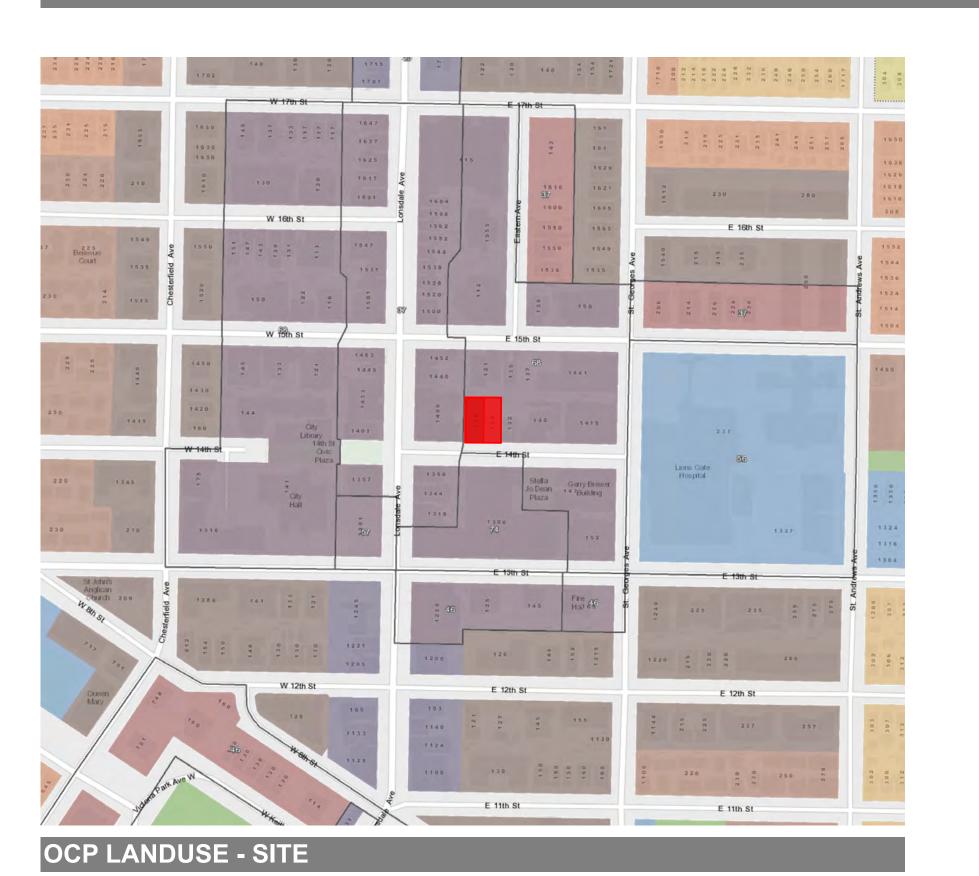


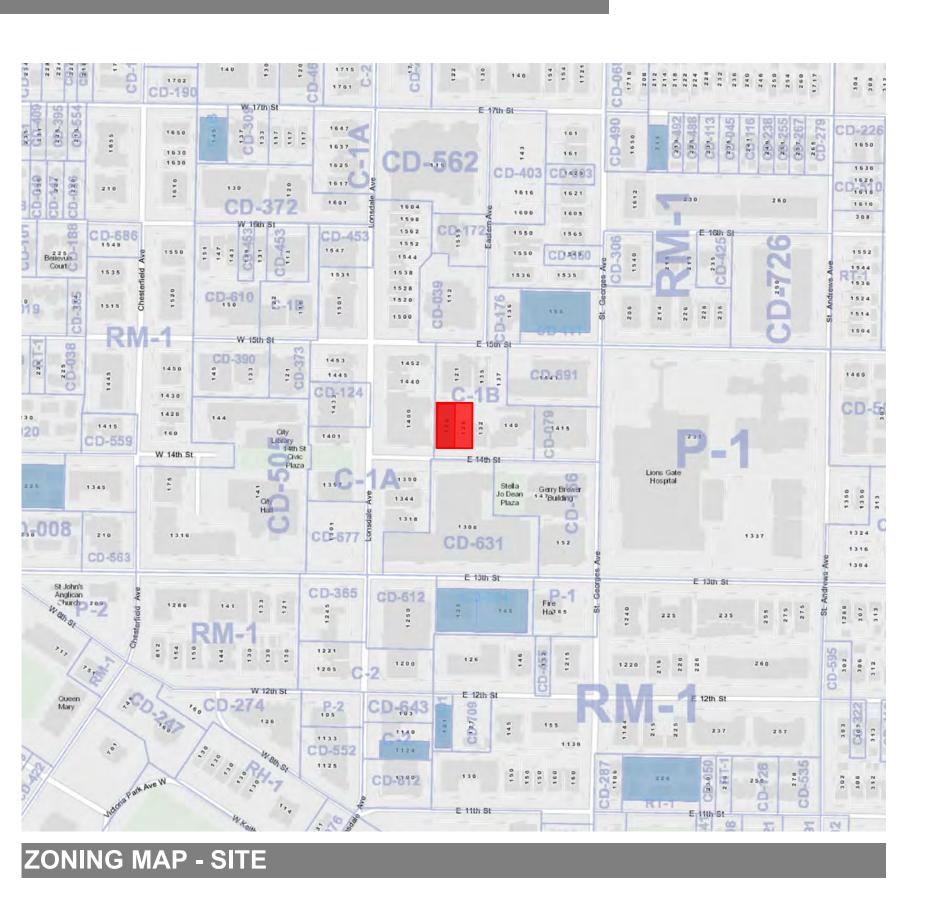
Total Required 97.30 m2
Total Provided 82.99 m2

_ Friday, May 26, 2023



OCP LANDUSE MAP - NORTH VANCOUVER









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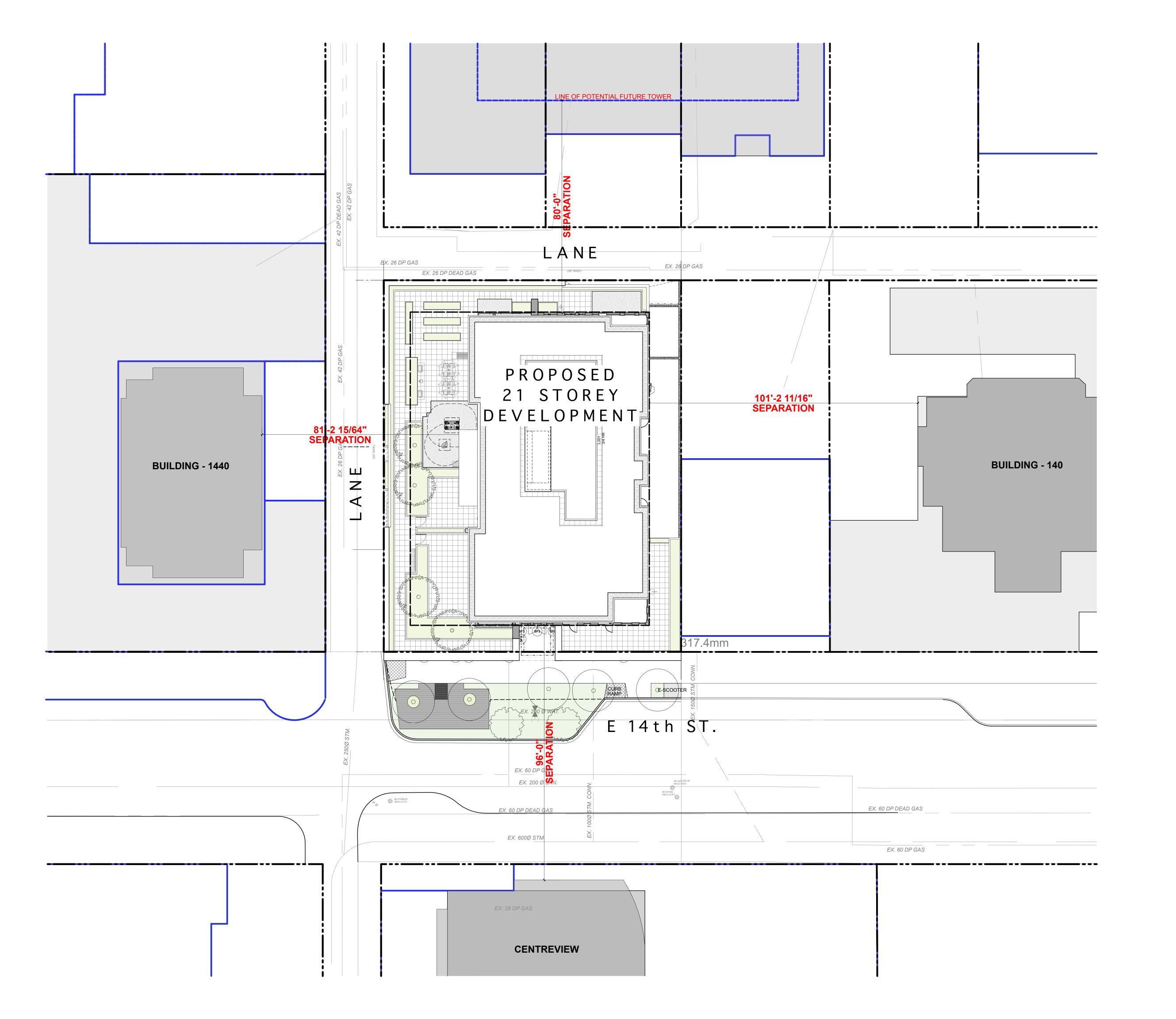
Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Context - Site Location

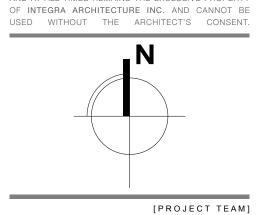
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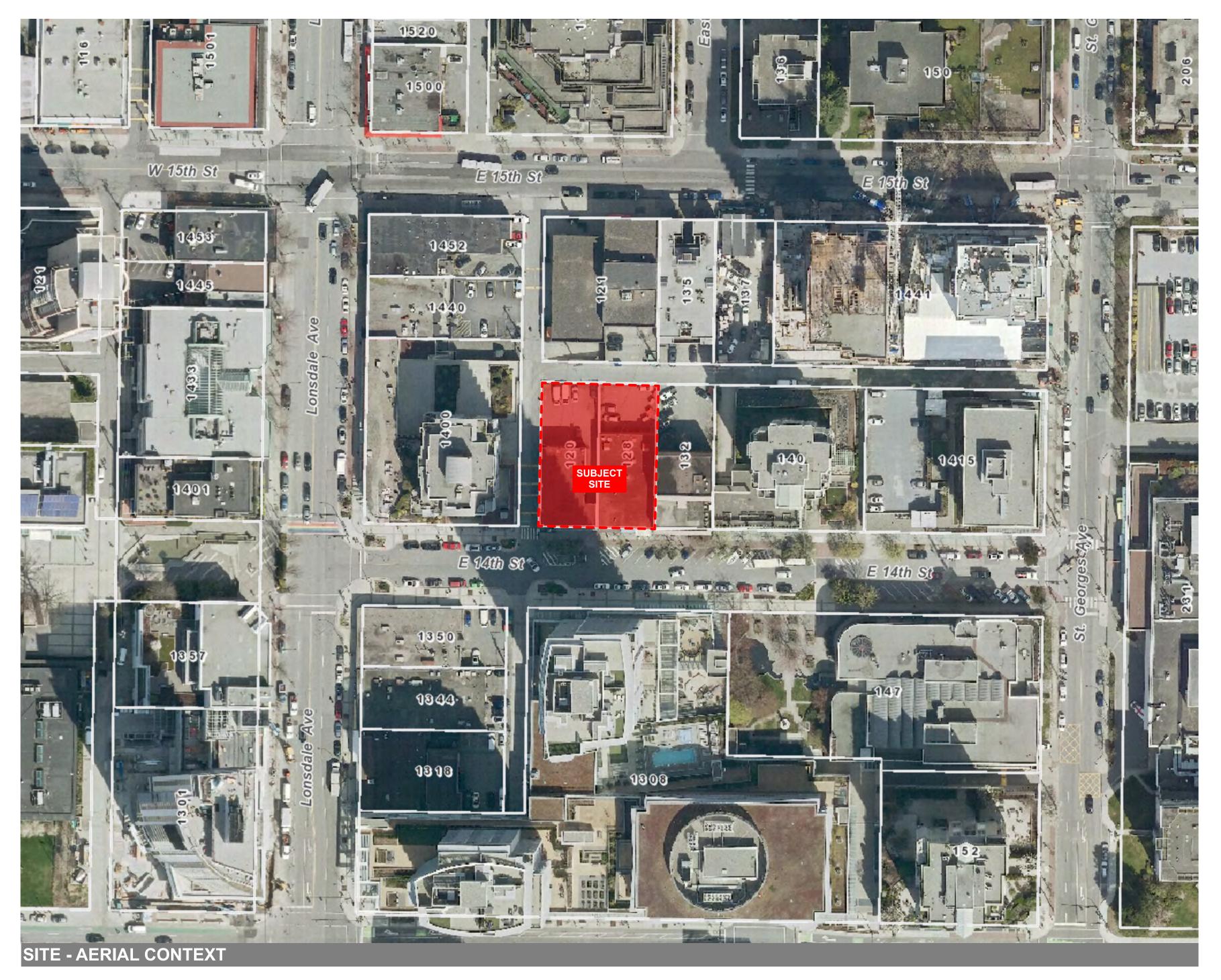
Context - Site Plan

21569 [PROJECT]

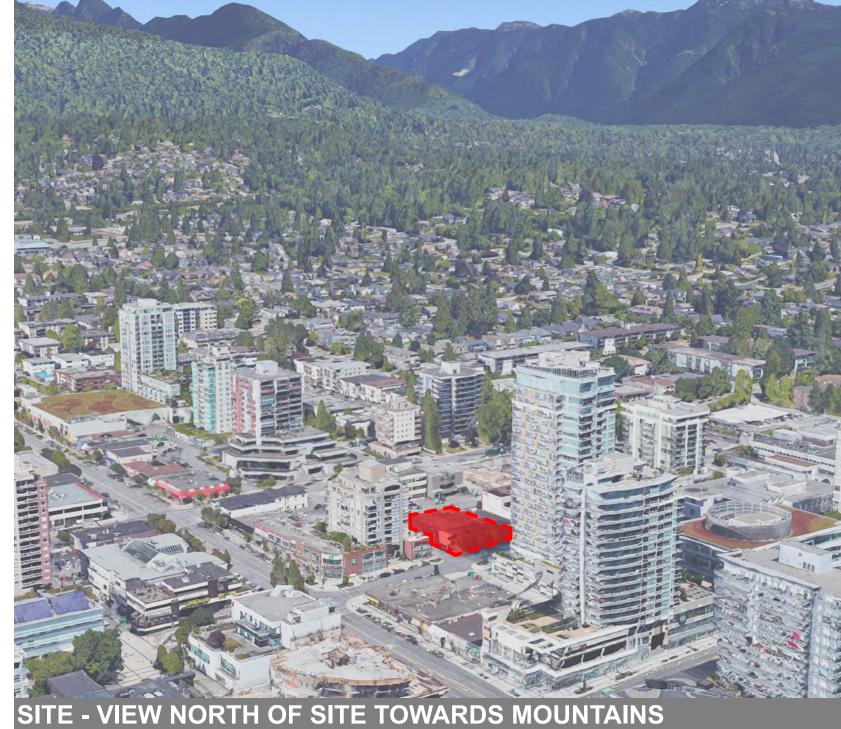
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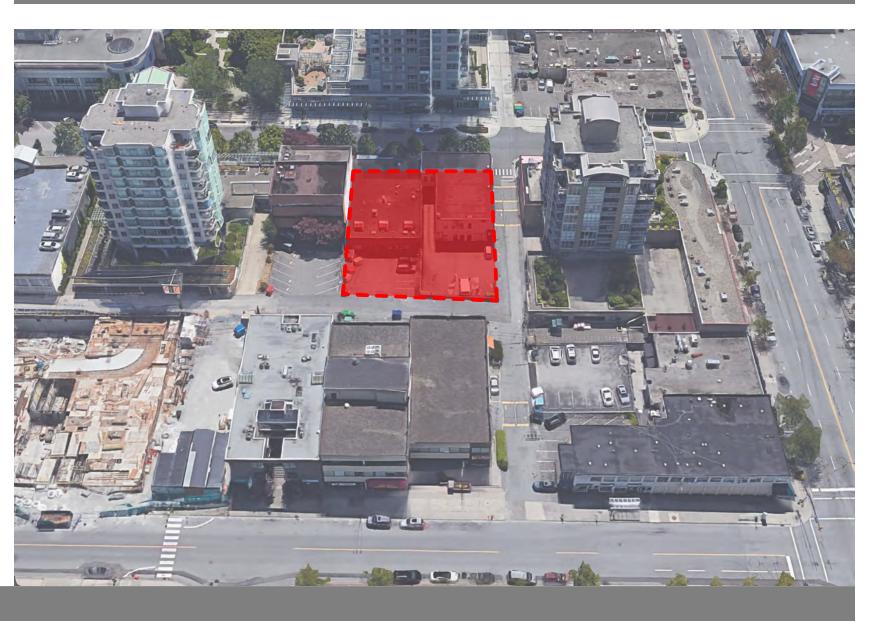
[TITLE]



SITE - AERIAL CONTEXT









[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

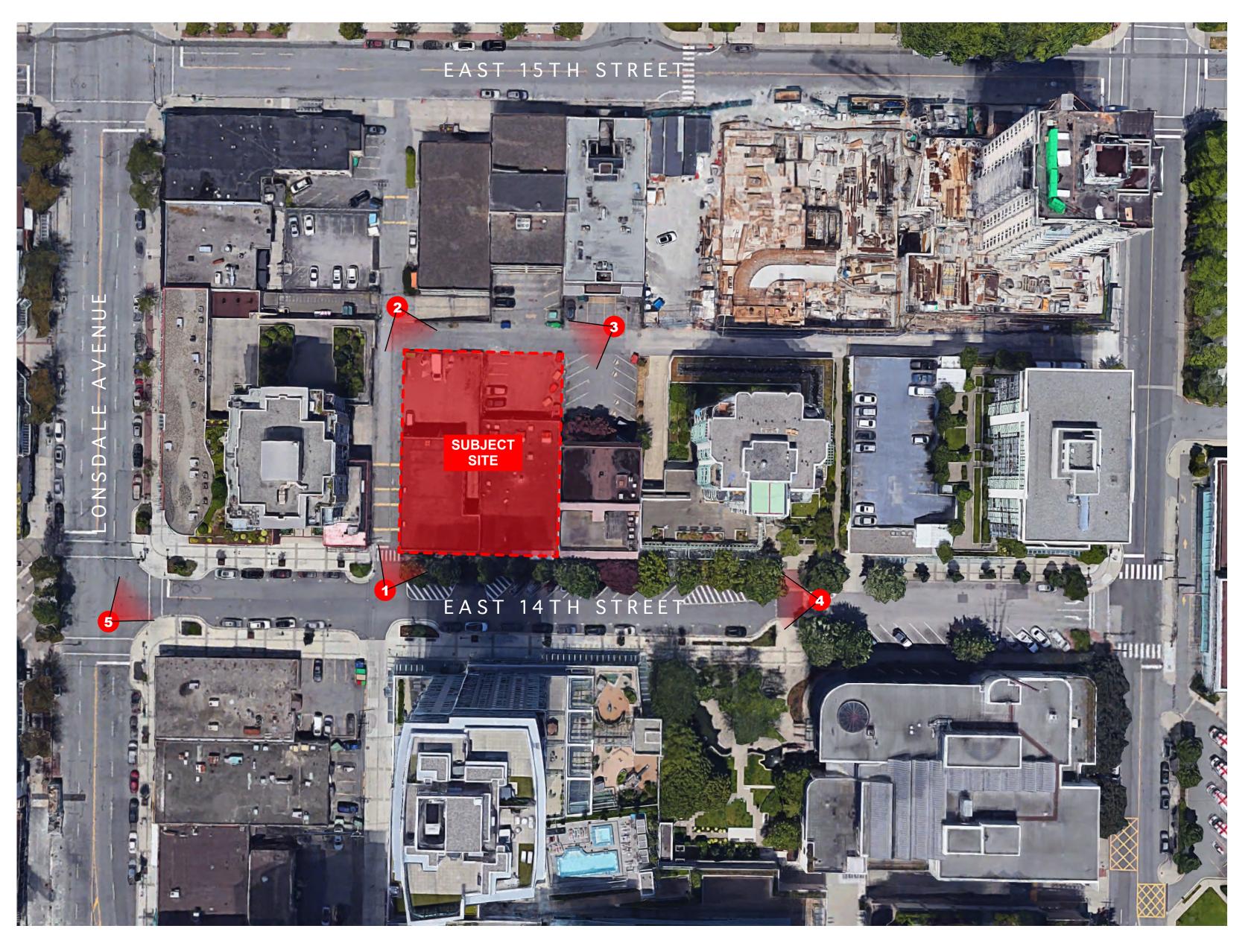
Context - Aerial Perspective

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Not To Scale

Friday, May 26, 2023

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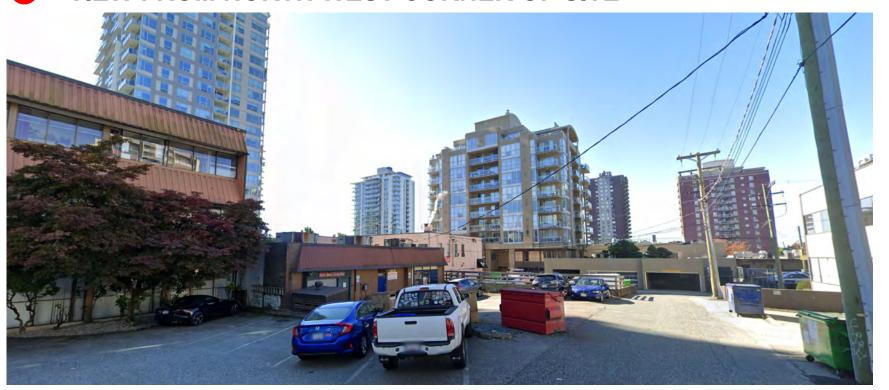




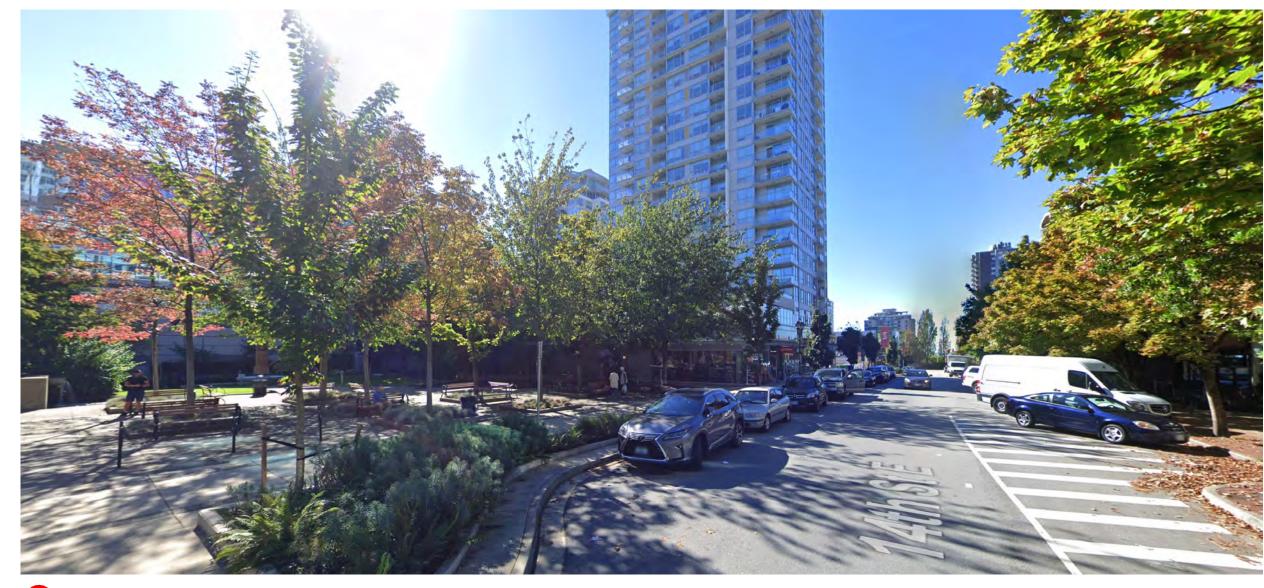
1 VIEW FROM SOUTH WEST CORNER OF SITE



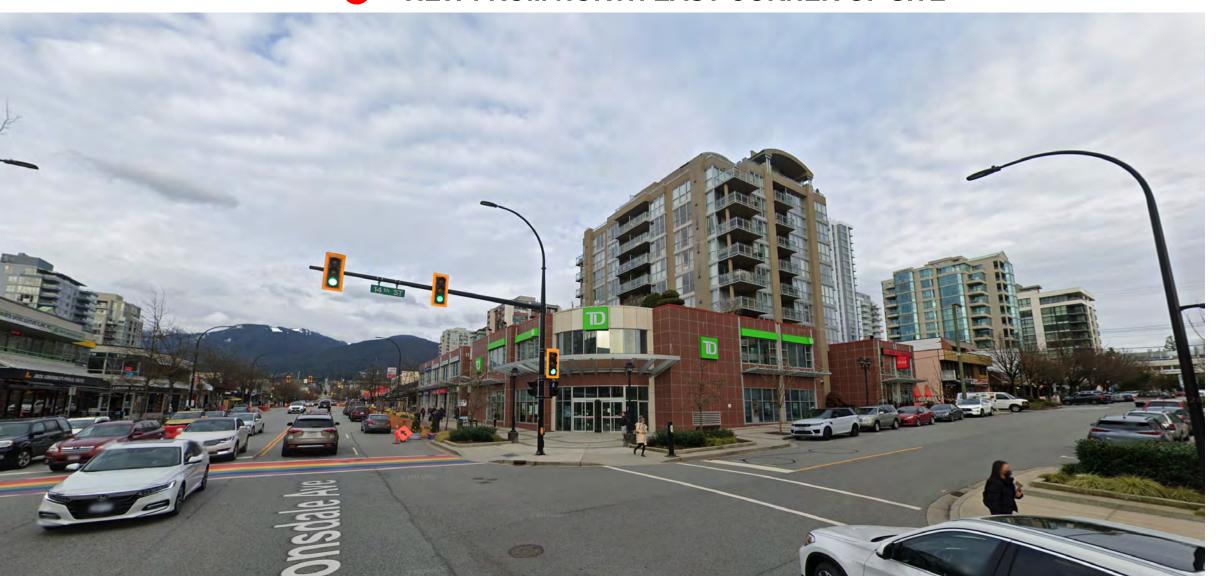
2 VIEW FROM NORTH WEST CORNER OF SITE



3 VIEW FROM NORTH EAST CORNER OF SITE



VIEW WEST DOWN E14TH STREET TOWARDS SITE



5 VIEW FROM INTERSECTION AT LONSDALE AVENUE & E14TH STREET



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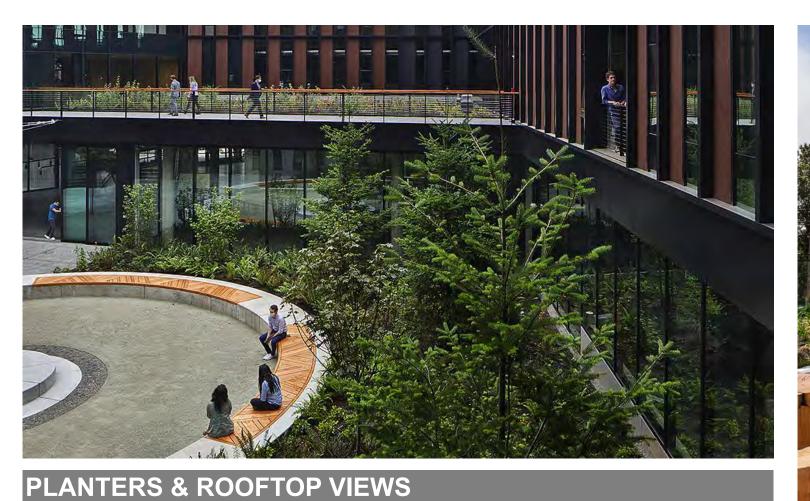
Three Shores Development

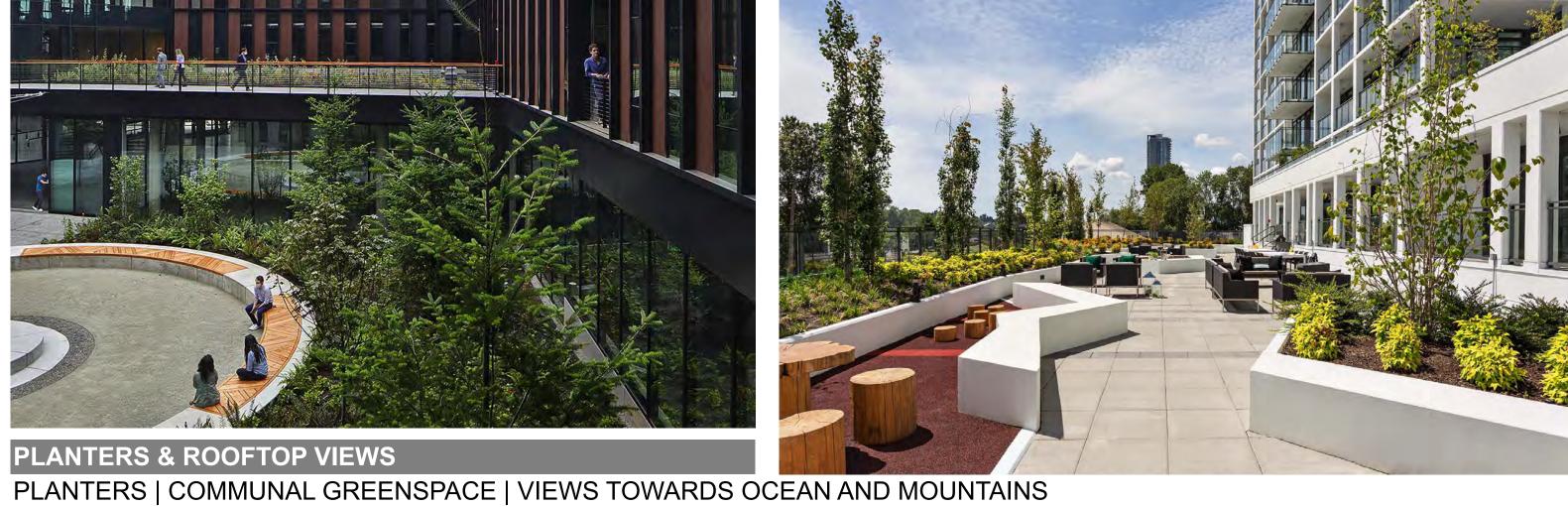
East 14th Street

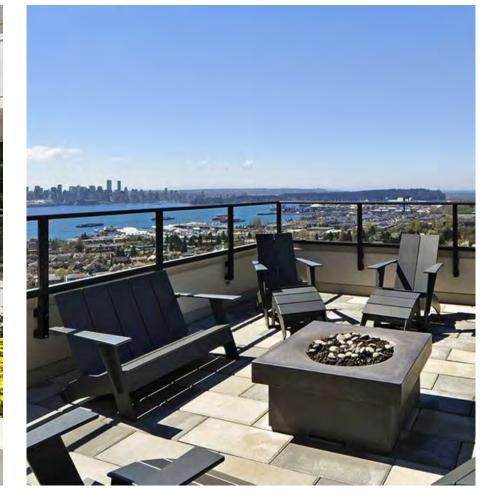
120-128 East 14th Street North Vancouver, BC

Site Context -Street View Photos

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[DATE]
[ISSUE]





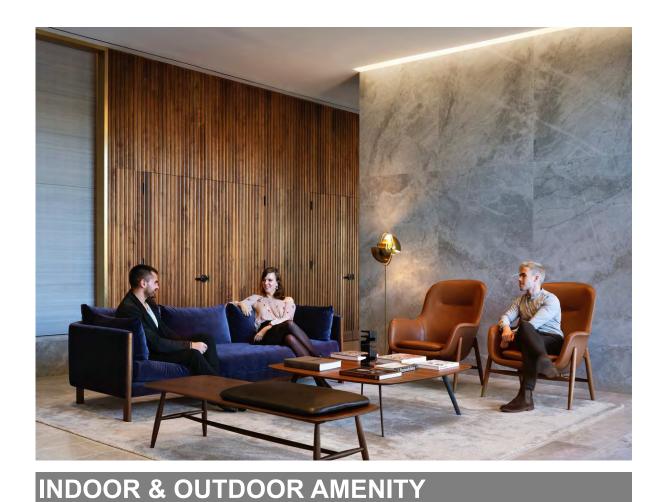






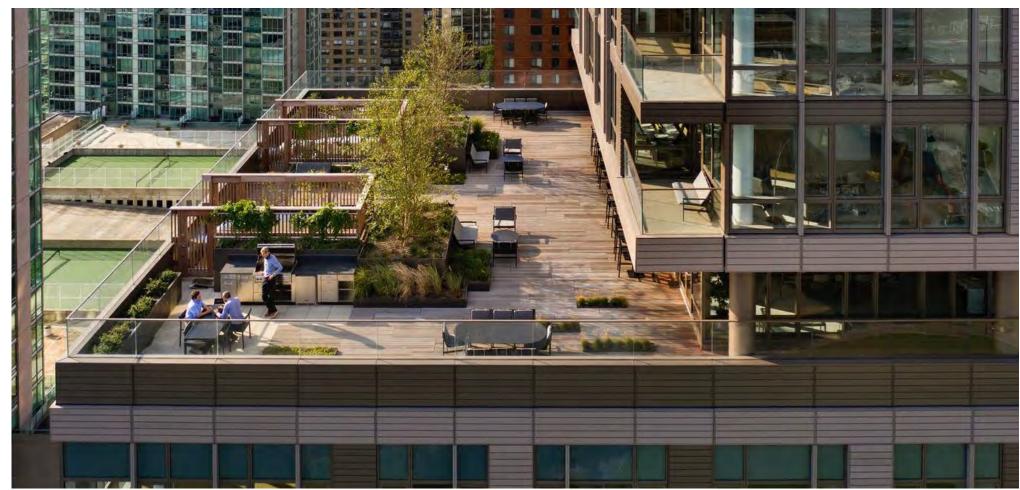


[PROJECT TEAM]









KITCHEN & LIVING AMENITY | INDOOR-OUTDOOR COMMUNAL SPACE



STREET PRESENCE & DESIGN













Concept Images Not To Scale

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COMMERCIAL PODIUM & RESIDENTIAL TOWER | MONOCHROMATIC BRICK & METAL PANELS | MODERN GLAZING | PRIVATE BALCONIES





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Three Shores Development

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[TITLE]

Perspectives

[PROJECT]
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Three Shores Development

East 14th Street

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Perspectives

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Friday, May 26, 2023	[DATE
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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Perspectives

21569	[PROJECT
Not To Scale	[SCALE
Friday, May 26, 2023	[DATE
ISSUE 05.1 - RZ/DP	[ISSUE



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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Perspectives

21569	[PROJECT]
Not To Scale	[SCALE]
Friday, May 26, 2023	[DATE]
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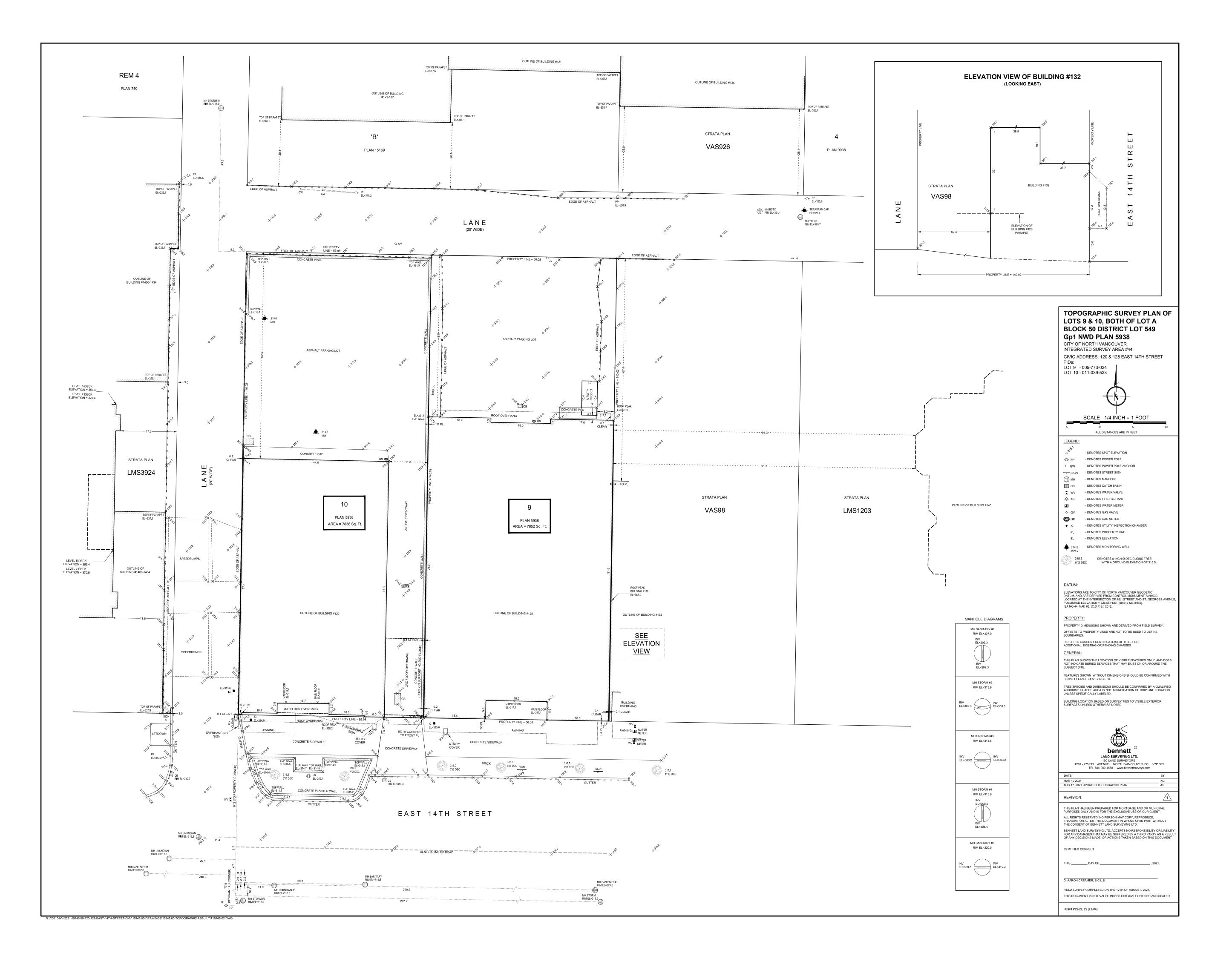
East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Perspectives

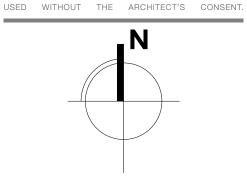
21569	[PROJECT]
Not To Scale	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]



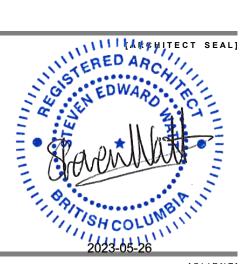


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[1

East 14th Street

120-128 East 14th Street North Vancouver, BC

Survey

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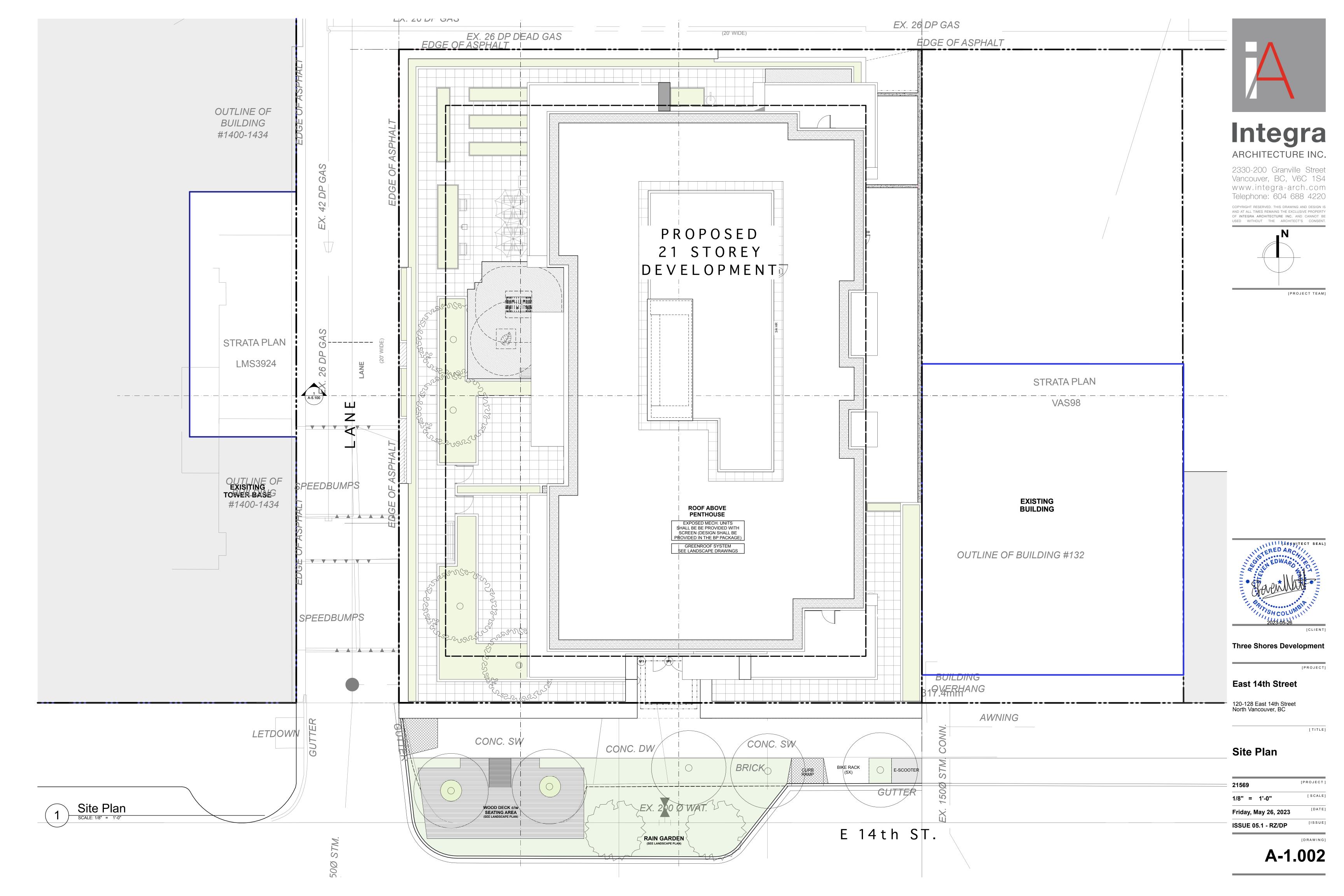
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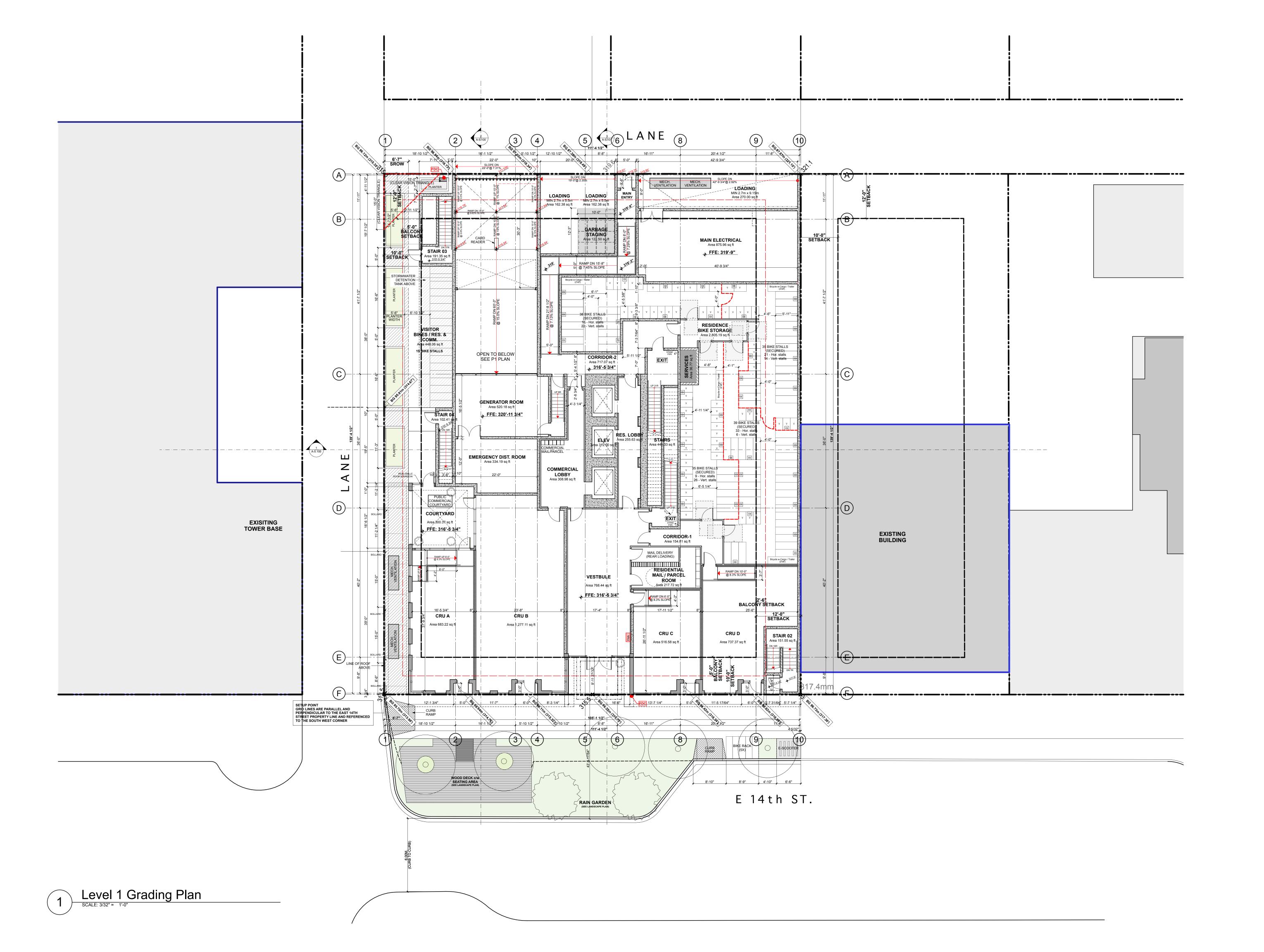
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[SCALE]

Friday, May 26, 2023

A-1.001

[TITLE]

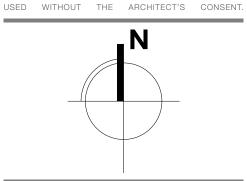






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Three Shores Development

[PROJECT]

[TITLE]

East 14th Street

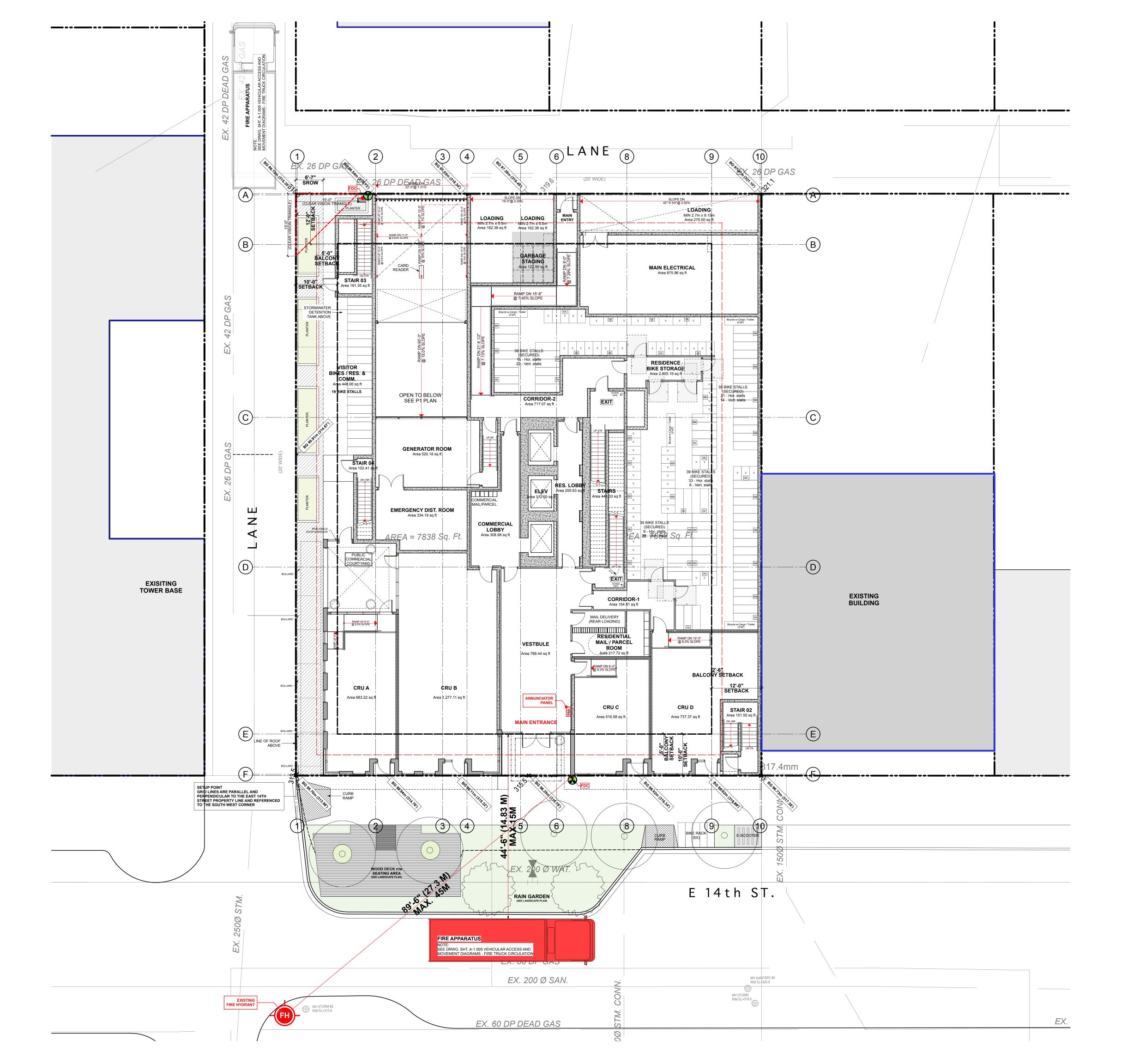
120-128 East 14th Street North Vancouver, BC

Grading Plan

ISSUE 05.1 - RZ/DP

21569	[PROJECT
	[SCALE
Friday, May 26, 2023	[DATE

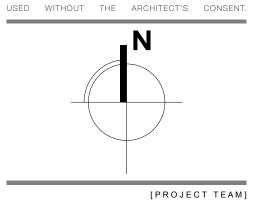
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Three Shores Development

East 14th Street

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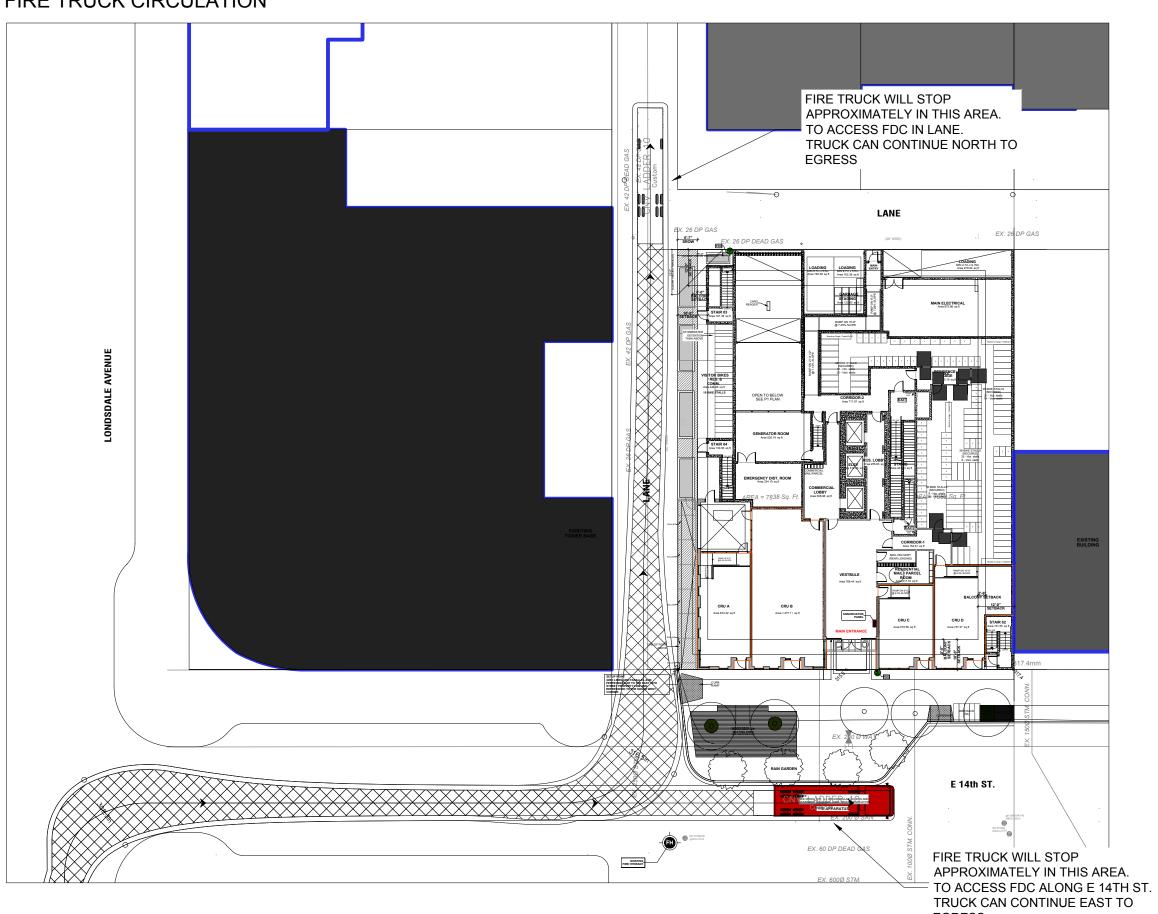
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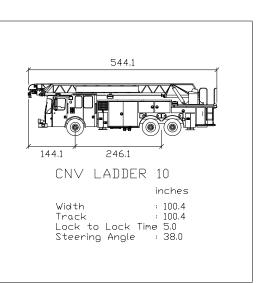
Fire Access Plan

21569	[PROJECT]
3/32" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]

A-1.004

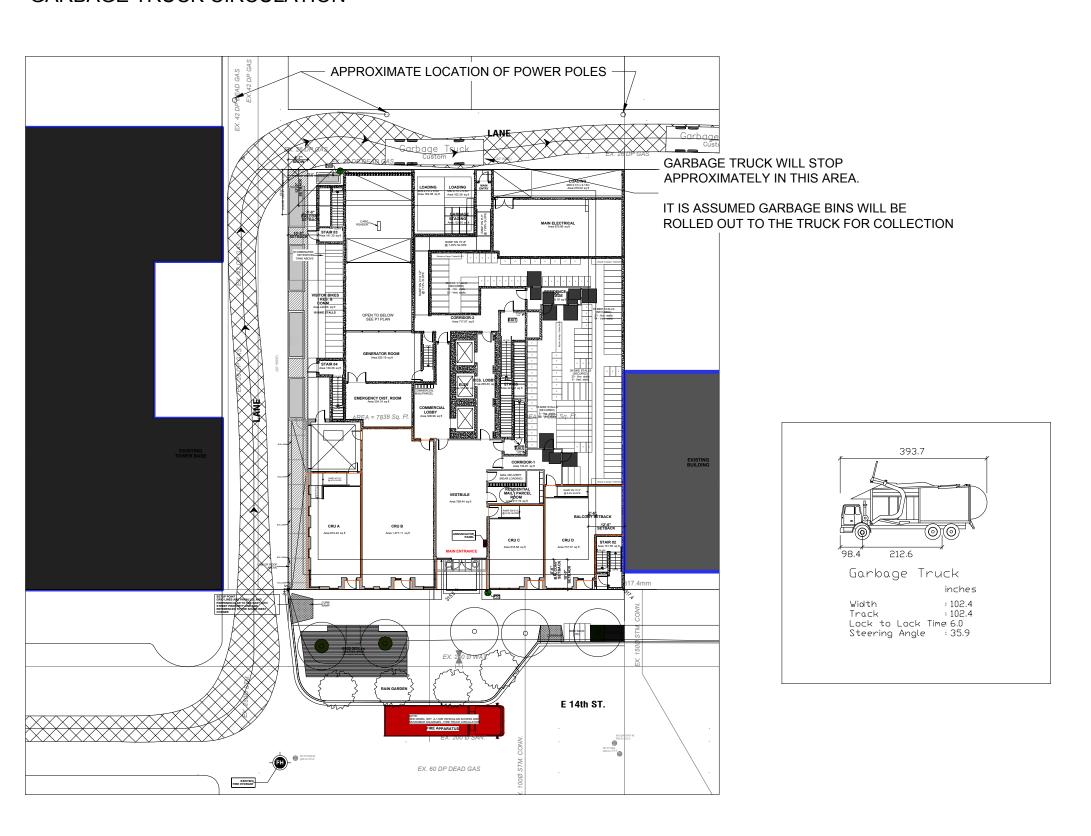
120-128 EAST 14TH STREET FIRE TRUCK CIRCULATION





1 Fire Truck Circulation

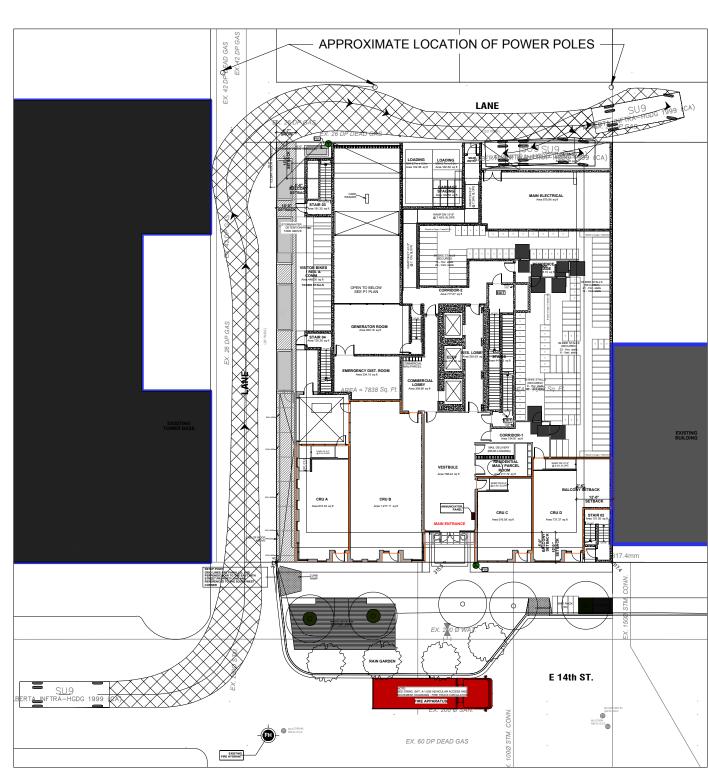
120-128 EAST 14TH STREET GARBAGE TRUCK CIRCULATION

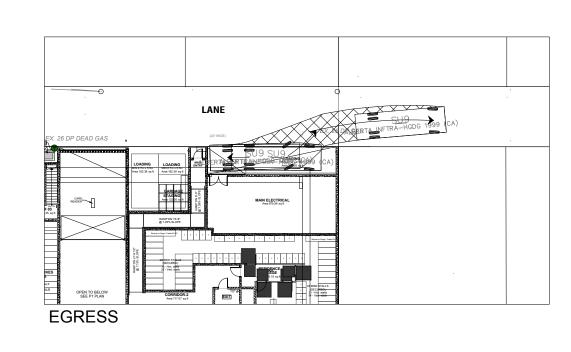


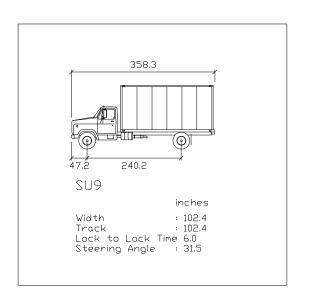
Garbage Circulation

SCALE: 1' = 1'-0"

120-128 EAST 14TH STREET LOADING TRUCK CIRCULATION





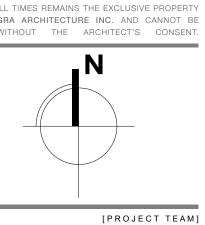


ENTRANCE

3 Loading Truck Circulation

SCALE: 1' = 1'-0"







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East 14th Street

120-128 East 14th Street North Vancouver, BC

Vehicular Access and Movement Diagrams

21569 [PROJECT]

[SCALE]

Friday, May 26, 2023

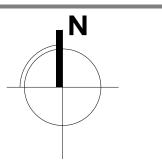
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Three Shores Development

[PROJECT]

[TITLE]

120-128 East 14th Street North Vancouver, BC

Level P5 Floor

[PROJECT]

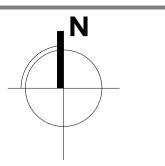
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Three Shores Development

[PROJECT]

[TITLE]

120-128 East 14th Street North Vancouver, BC

Level P4 Floor

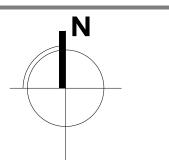
[PROJECT] [SCALE] Friday, May 26, 2023





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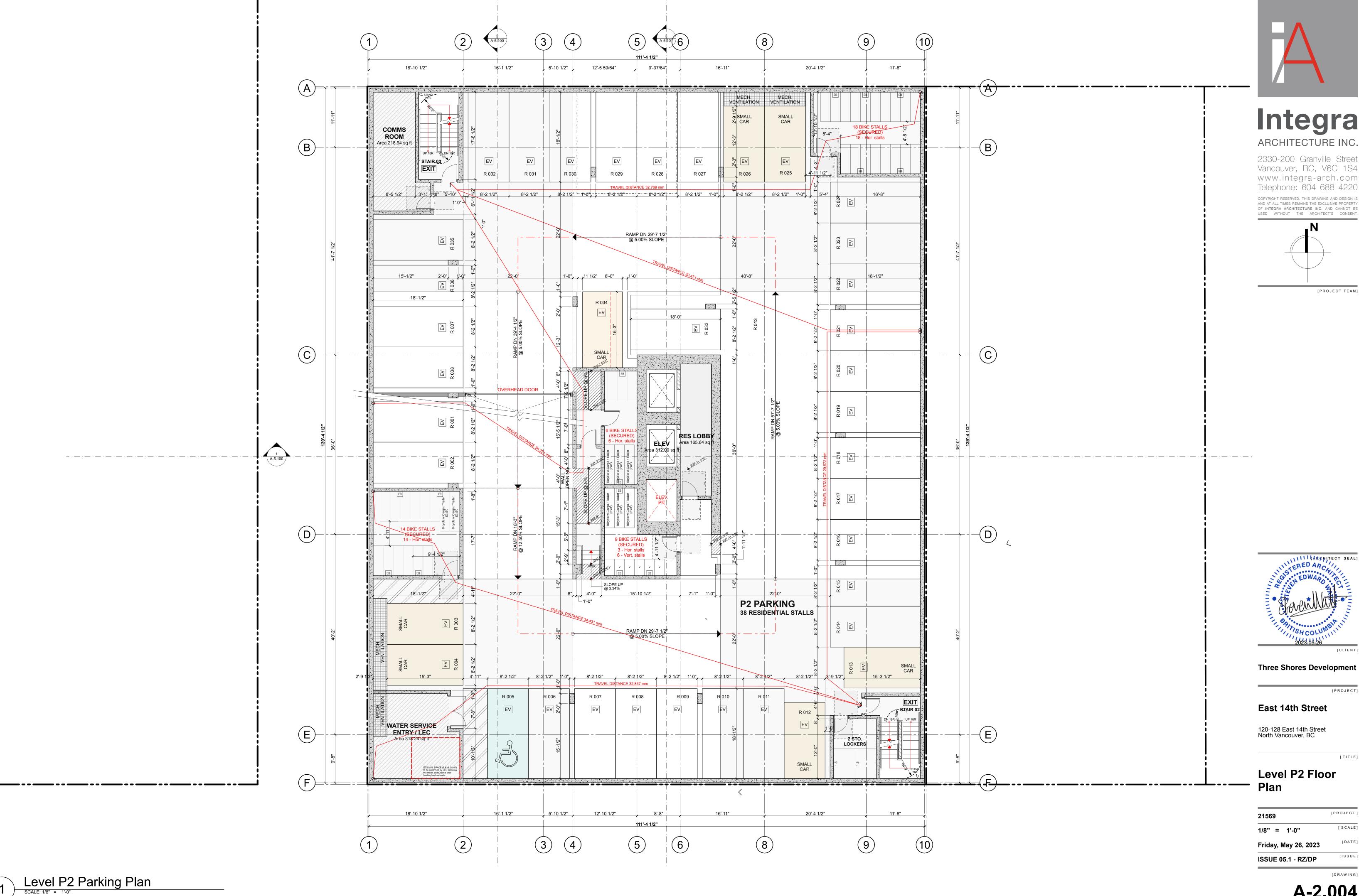
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120-128 East 14th Street North Vancouver, BC

Level P3 Floor

[PROJECT]

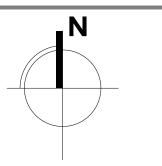
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Three Shores Development

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[TITLE]

120-128 East 14th Street North Vancouver, BC

Level P2 Floor

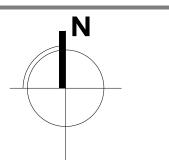
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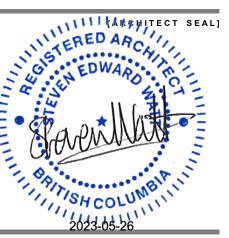


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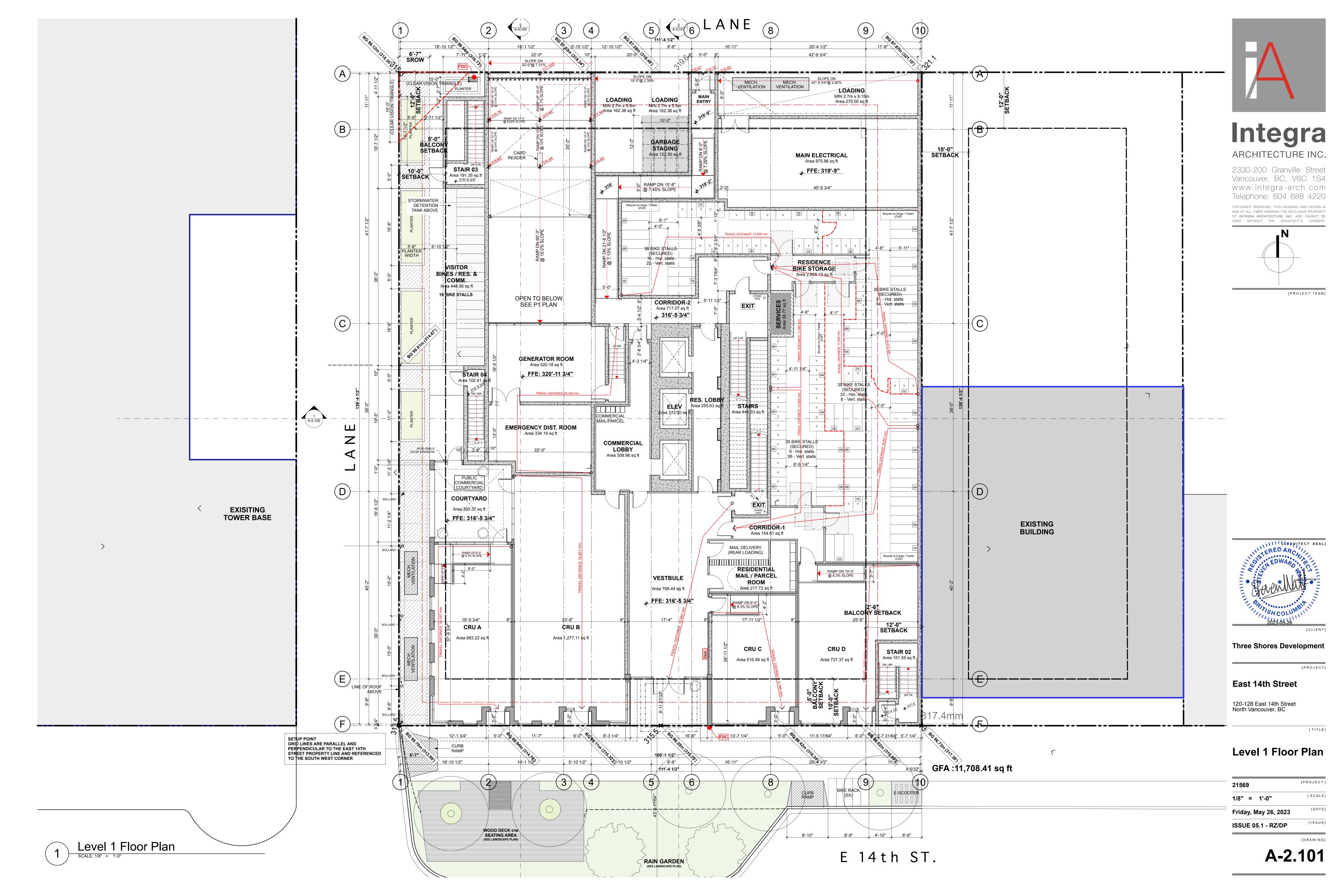
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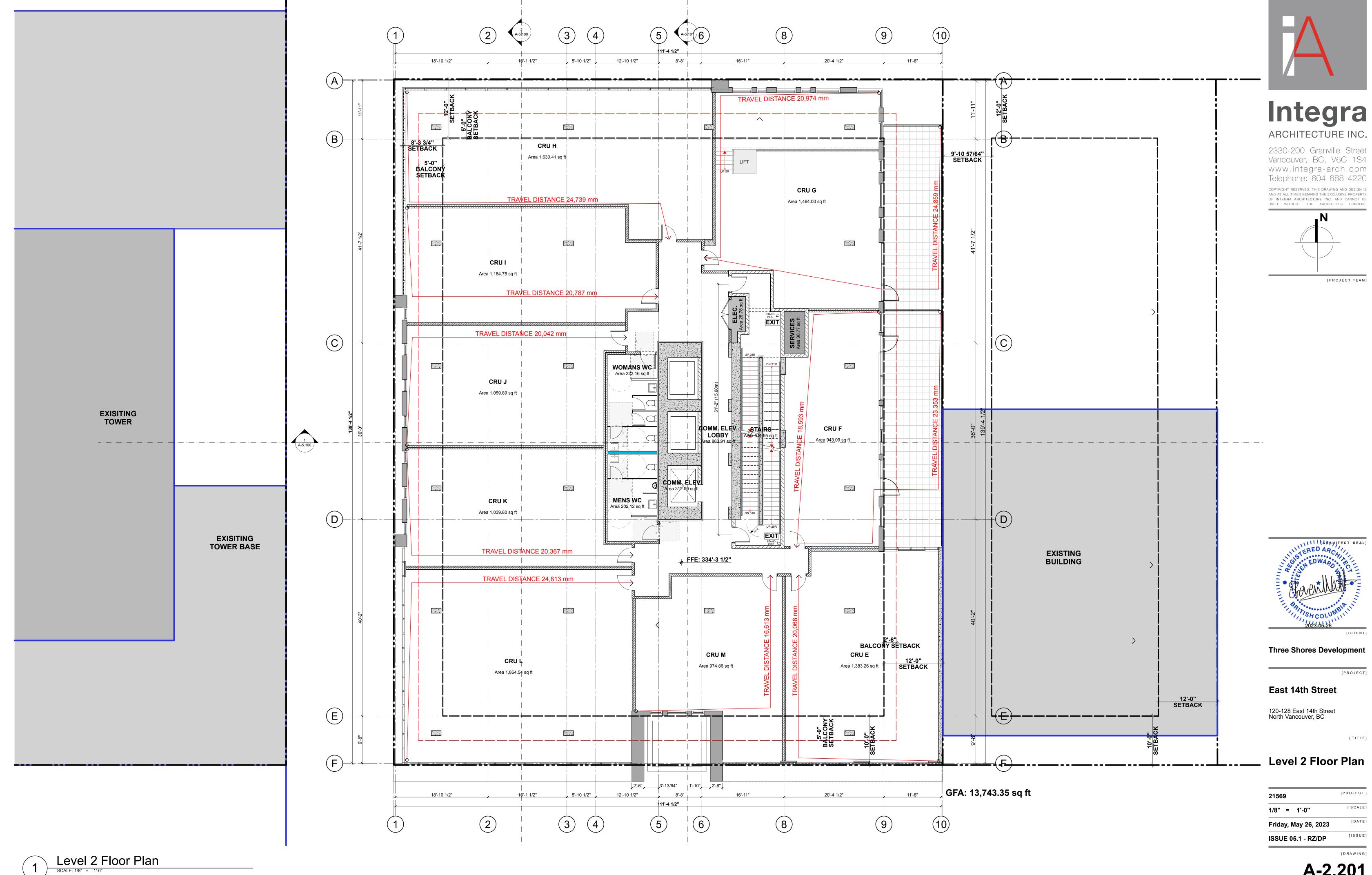
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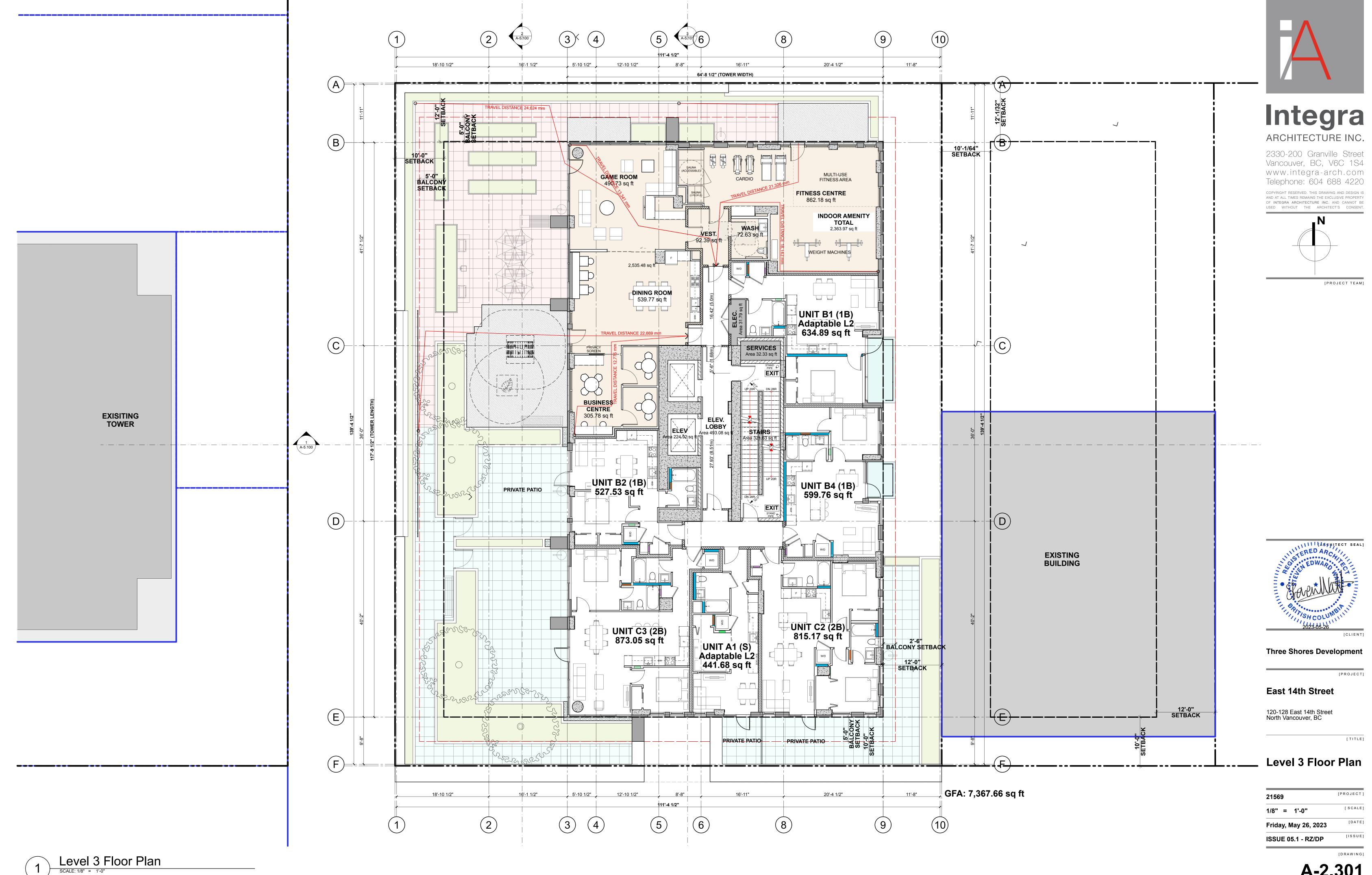
Level P1 Floor

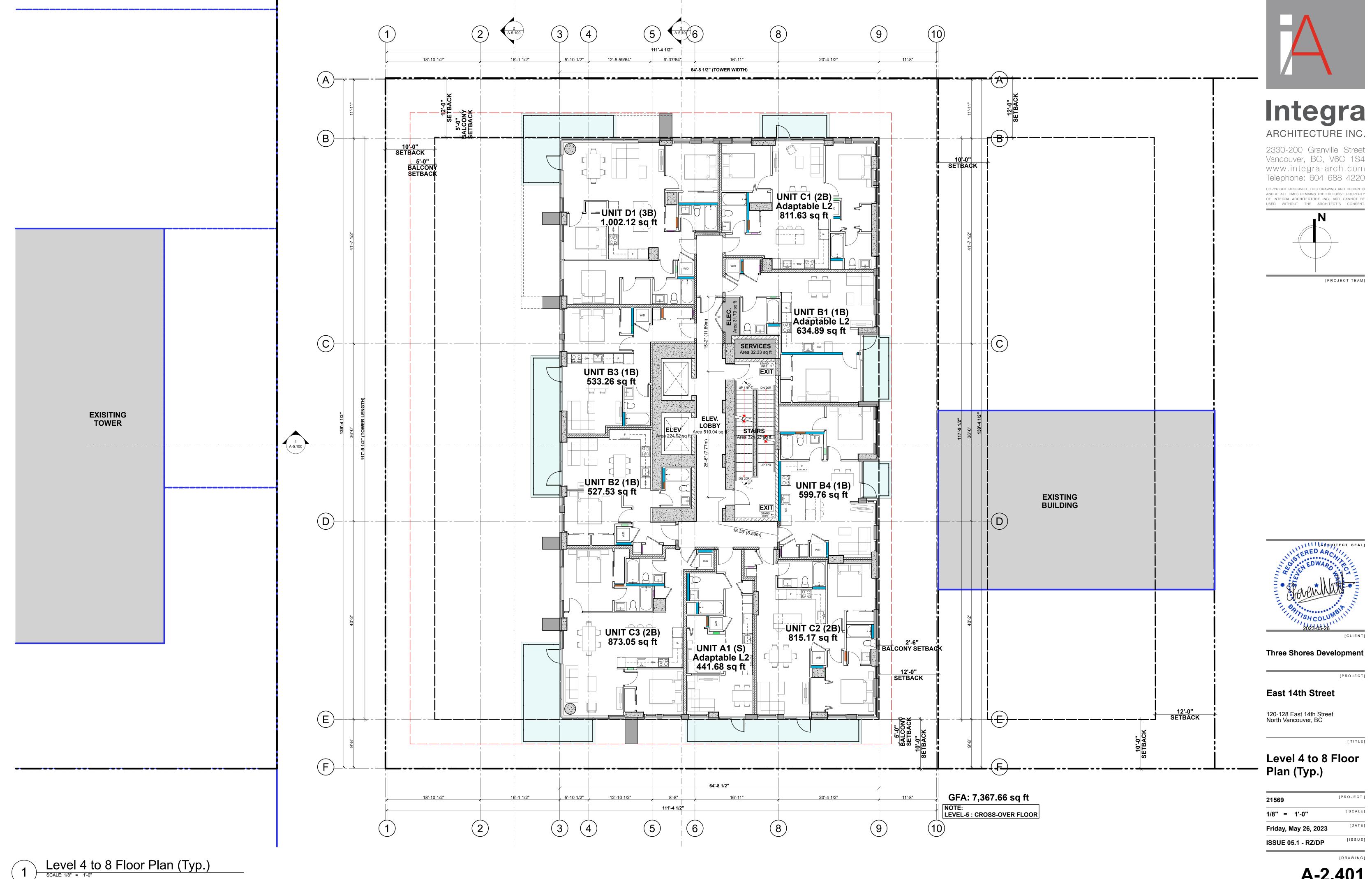
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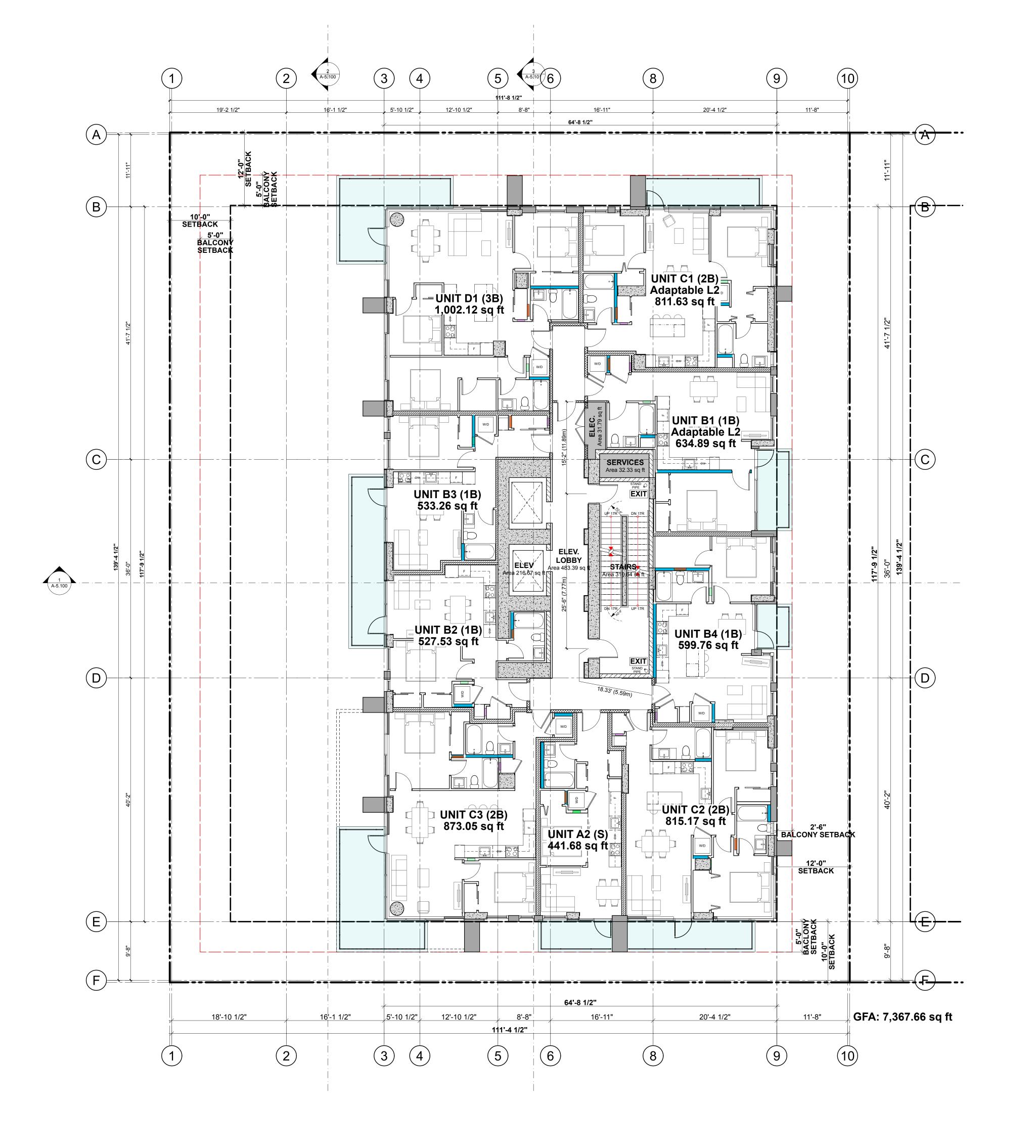
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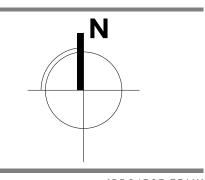






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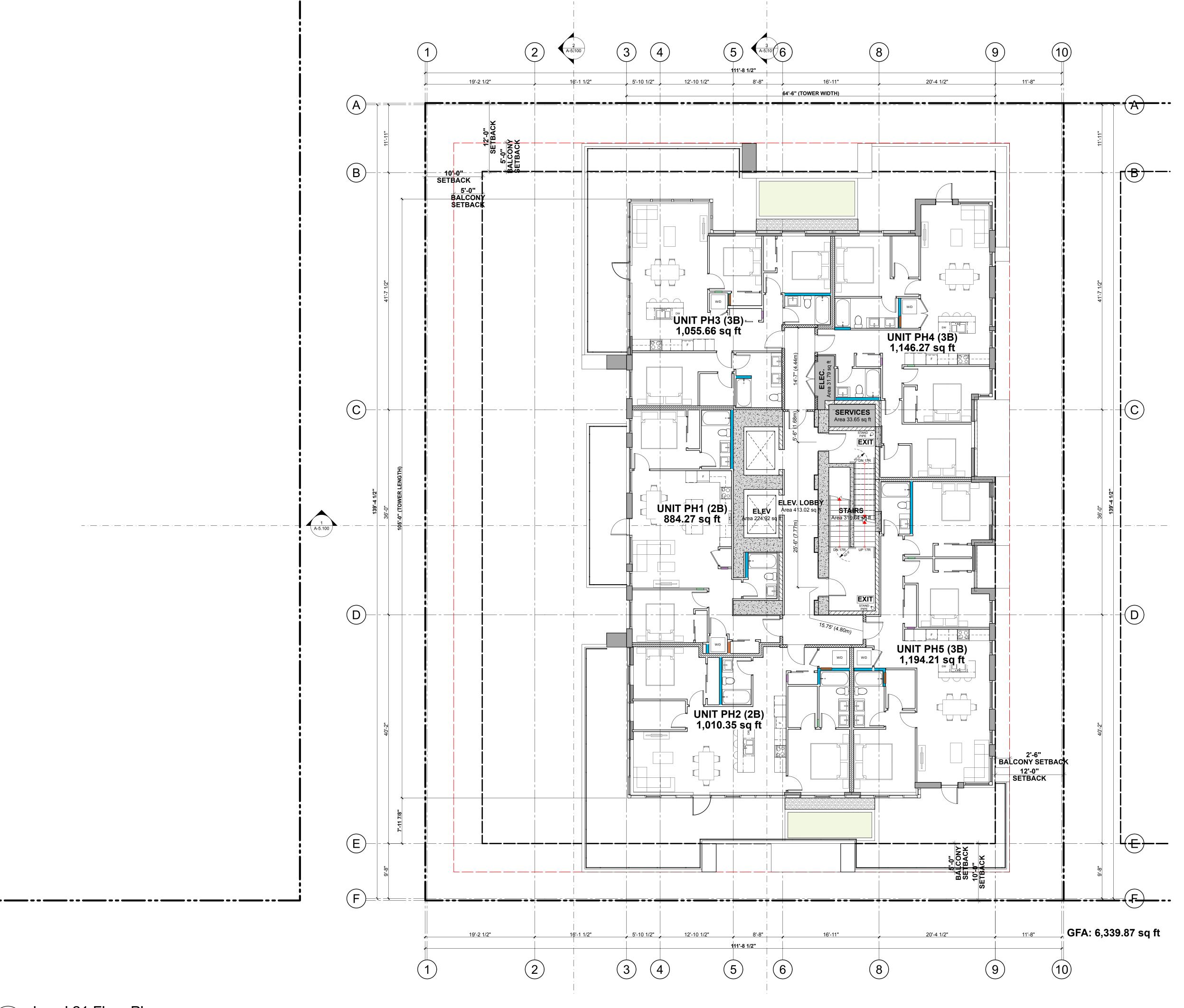
East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 9 to 20 Floor Plan (Typ.)

[TITLE]

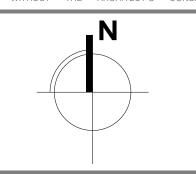
21569	[PROJECT]
1/8" = 1'-0"	[SCALE
Friday, May 26, 2023	[DATE]
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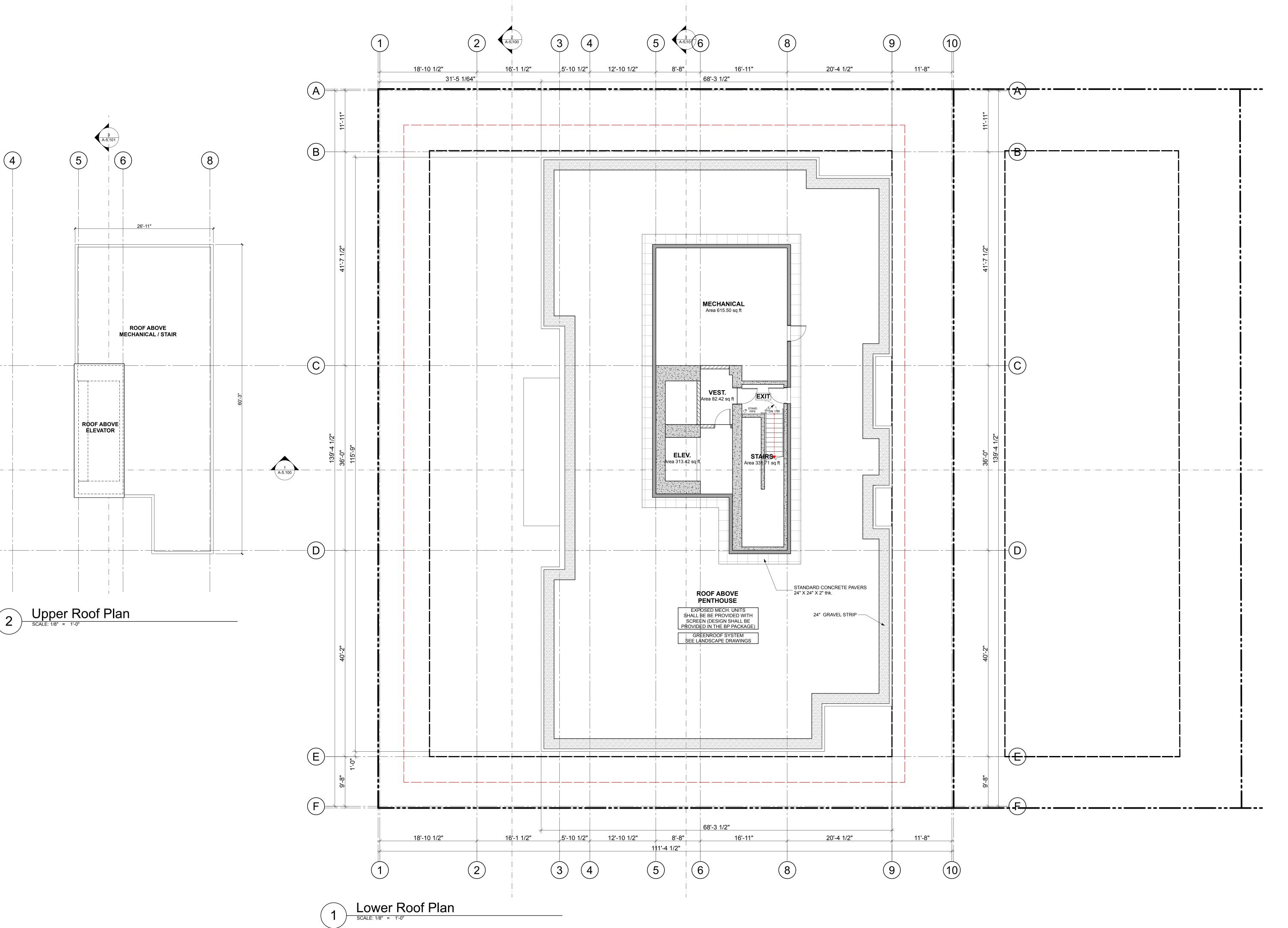
East 14th Street

120-128 East 14th Street North Vancouver, BC

evel 21 Floor

Level 21 Floor Plan

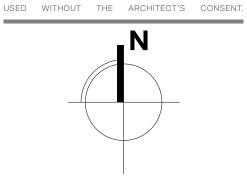
21569	[PROJECT]
1/8" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
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Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Lower Roof Plan

21569 [PROJECT]

[SCALE]

Friday, May 26, 2023 [DATE]

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DRAWING LIST

N-7.000	COVER PAGE			
A-7.001	NOTES			
A-7.002	SOLID BLOCKING DETAILS	1/4"	=	1'-0"
A-7.003	KEY PLANS	1/16"	=	1'-0"
A-7.004	KEY PLANS	1/16"	=	1'-0"
A-7.010	Unit A1 (ADAPTABLE L2)	1/4"	=	1'-0"
A-7.011	Unit A2	1/4"	=	1'-0"
A-7.012	Unit B1 (ADAPTABLE L2)	1/4"	=	1'-0"
A-7.013	Unit B2	1/4"	=	1'-0"
A-7.014	Unit B3	1/4"	=	1'-0"
A-7.015	Unit B4	1/4"	=	1'-0"
A-7.016	Unit C1 (ADAPTABLE L2)	1/4"	=	1'-0"
A-7.017	Unit C2	1/4"	=	1'-0"
A-7.018	Unit C3	1/4"	=	1'-0"
A-7.019	Unit D1	1/4"	=	1'-0"
A-7.020	Unit PH1	1/4"	=	1'-0"
A-7.021	Unit PH2	1/4"	=	1'-0"
A-7.022	Unit PH3	1/4"	=	1'-0"
A-7.023	Unit PH4	1/4"	=	1'-0"
A-7.024	Unit PH5	1/4"	=	1'-0"



THREE SHORES DEVELOPMENT E14th St

COVER PAGE

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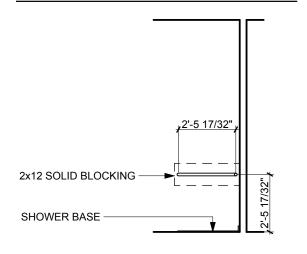
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120-128 East 14th Street North Vancouver BC Canada

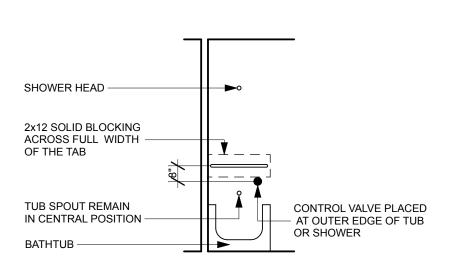
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E14th St

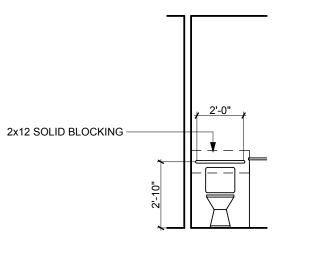




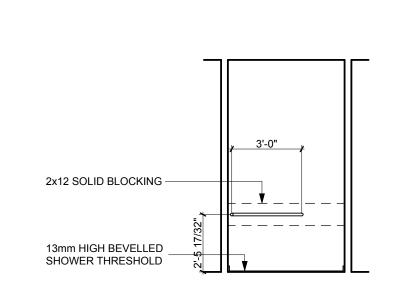
SHOWER SIDE ELEVATION (BOTH SIDES)



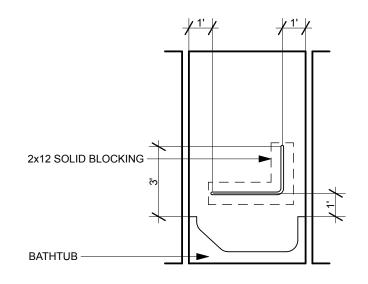
BATHTUB SIDE ELEVATION 1



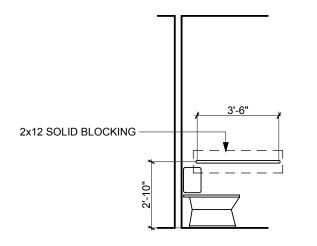
WATER CLOSET FRONT ELEVATION



SHOWER FRONT ELEVATION



BATHTUB FRONT ELEVATION



WATER CLOSET SIDE ELEVATION

SYMBOLS AND LEGENDS: (→ WINDOW TYPE DOOR TYPE DOOR RATING (HRS) CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING RATED PARTY WALL & EXTERIOR WALL SEE 1/8" SCALE PLANS FOR LOCATION OF PARTY WALL - 1 HOUR FIRE RESISTANCE RATING CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING INTERIOR SERVICE WALL - PLUMBING / HVAC 2x6 WALL SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING INDICATES ELECTRICAL PANEL INDICATES MEDIA PANEL INDICATES MANIFOLD PLUMBING PANEL STRATA LOT NO. UNIT TYPE APPROX. NET AREA [////] INDICATES DROPPED CEILING NOTES: 1. SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS 2. SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION

- 3. PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET
- 4. MIRROR DIMENSIONS TO BE CONFIRMED ON SITE
- 5. AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS STUD SPACING TO BE MINIMUM
- 6. PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS
- 7. PROVIDE 37" (WIDTH) AND 70" (HEIGHT) CLEAR BETWEEN BASEBOARD & COUNTER TOP FOR FRIDGES - CONFIRM W/OWNER
- 8. BATHROOM & LAUNDRY CEILINGS (EXEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE PLUMBING & VENTING ABOVE (MIN 2.1 m CEILING HEIGHT)
- 9. KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'-0" HEIGHT TO ACCOMMODATE PLUMBING & VENTING ABOVE. MIN HEIGHT 2.44m
- 10. SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS, TILE PATTERNS, CABINETS, PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN SCOPES OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS
- 11. ALL VENTILATION DUCTS THAT PASS THOUGH UNHEATED ATTIC SPACES ARE TO BE INSULATED - SEE MECH DWGS
- 12. PROVIDE MIN 32" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS
- 13. PROVIDE SEPARATE PRICE FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET
- 14. FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO EXTEND PAST FACE OF KITCHEN CABINETS
- 15. EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS
- 16. LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER

17. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.

FIGURE 3.8.54. - Shower Compartment

2x12 SOLID BLOCKING ACROSS FULL WIDTH

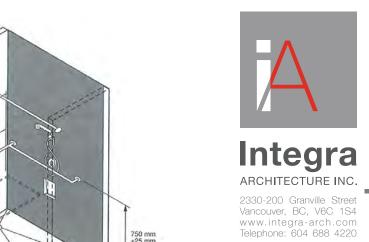
BATHTUB SIDE ELEVATION 2

PROVIDE SOLID BLOCKING IN WALLS OF TUB/SHOWER

AND TOILET AREAS AND BEHIND TOWEL BARS IN AT LEAST ONE BATHROOM OF ALL UNITS

OF THE TAB

BATHTUB -



Integra

THREE SHORES DEVELOPMENT

E14th St

NOTES

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2023-05-24 ISSUE 05.1 - RZ/DP ARCHITECTURE INC.

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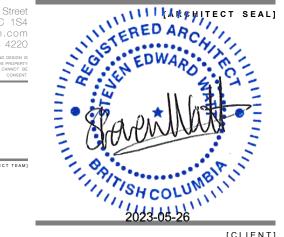
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[PROJECT TEAM]

IPROJECT TEAM] Telephone: 604 688 4220



Three Shores Development

East 14th Street

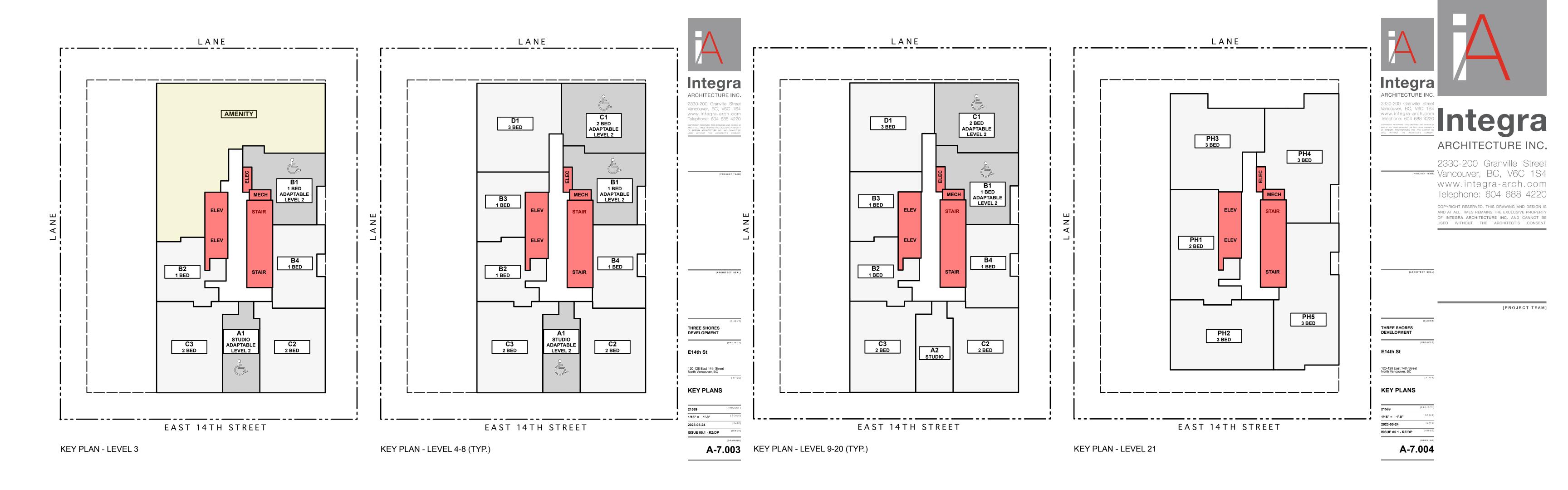
120-128 East 14th Street North Vancouver, BC

THREE SHORES DEVELOPMENT		[TITLE]
E14th St	Unit Plans	
120-128 East 14th Street North Vancouver, BC		
SOLID BLOCKING DETAILS	21569	[PROJECT]
IPROJECT I	As Noted	[SCALE]

NOT TO SCALE Friday, May 26, 2023 2023-05-24 ISSUE 05.1 - RZ/DP

A-7.002

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Three Shores Development

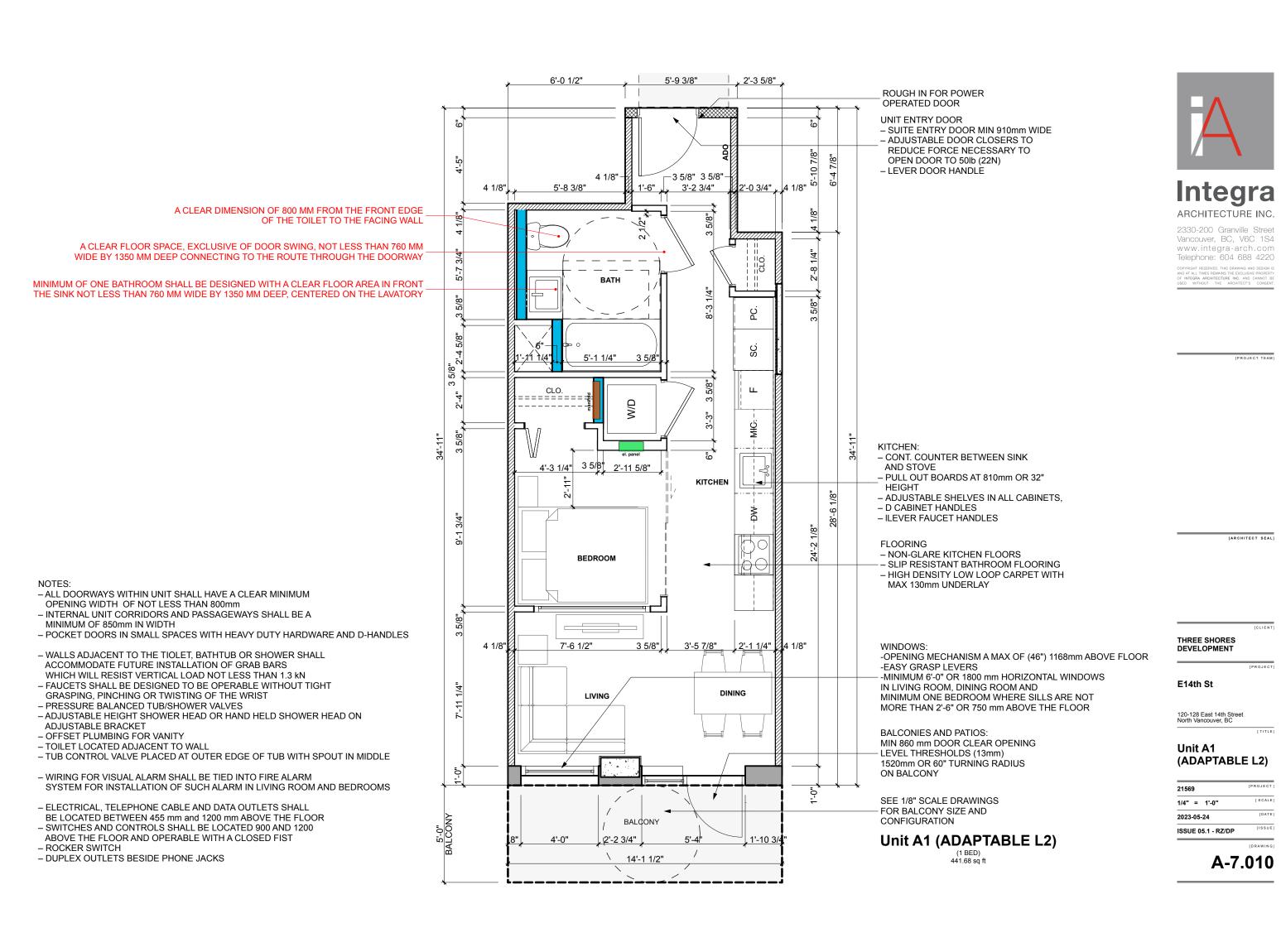
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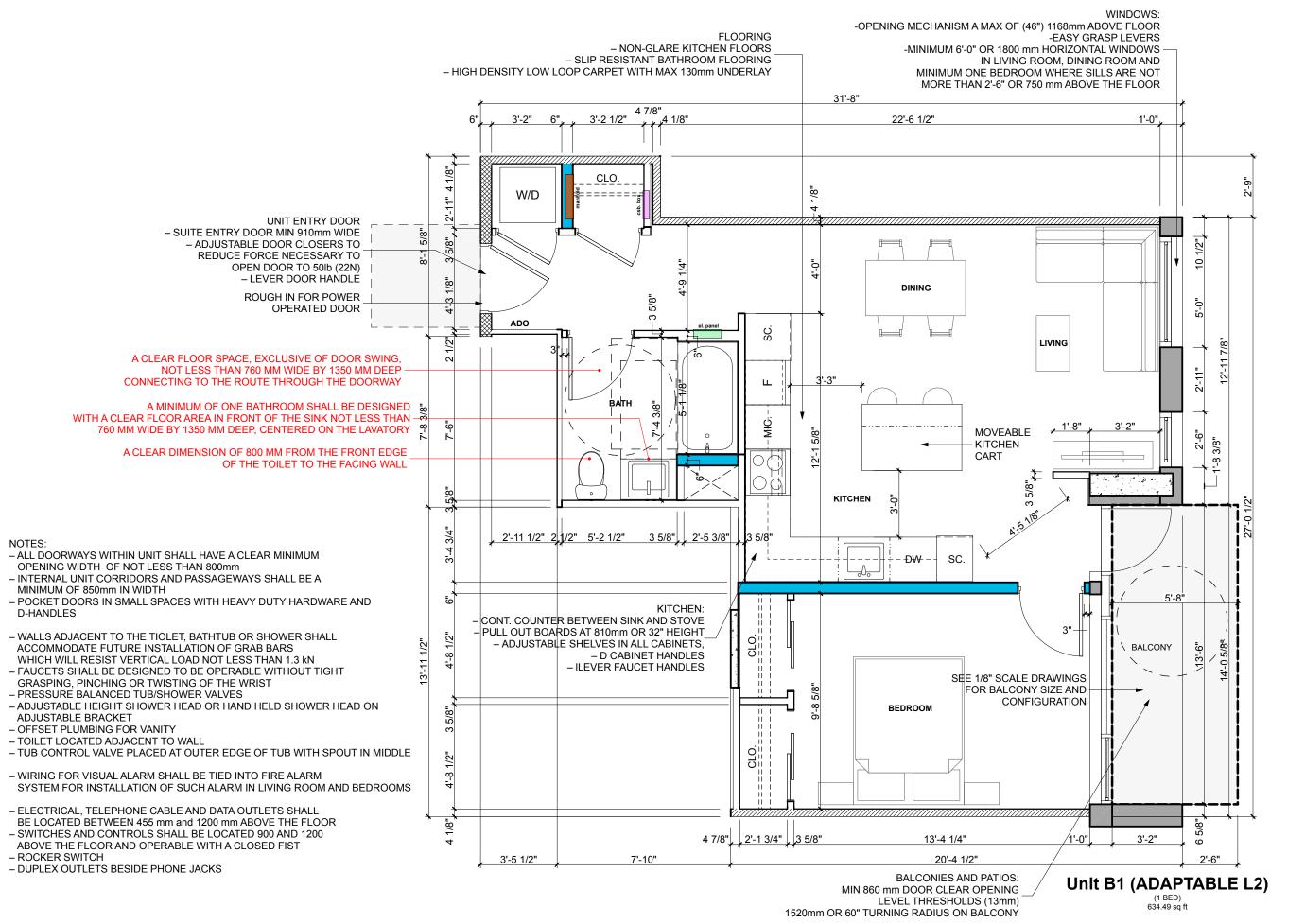
120-128 East 14th Street North Vancouver, BC

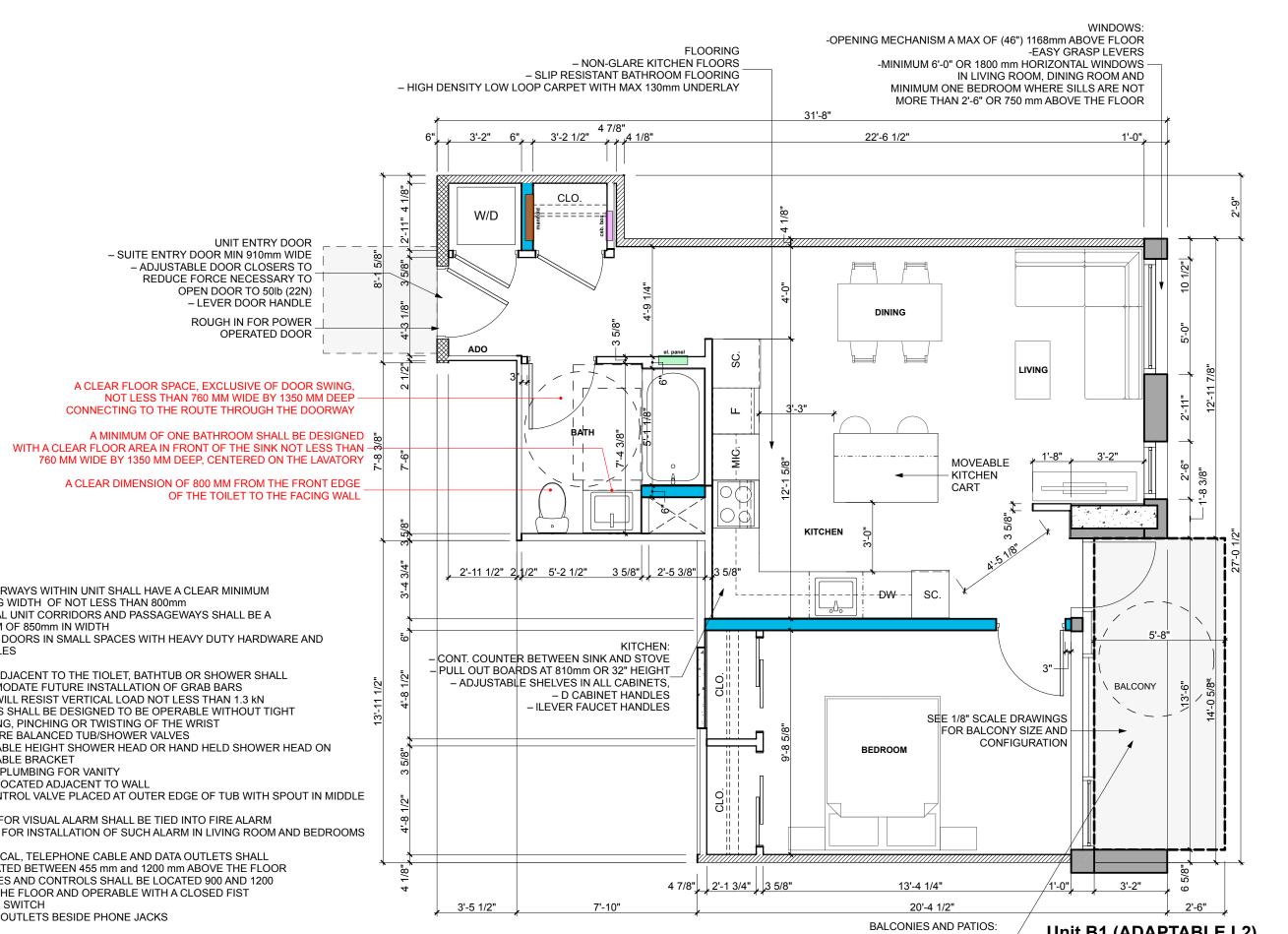
[TITLE]

Unit Plans

21569	[PROJECT]
As Noted	[SCALE]
Friday, May 26, 2023	[DATE]
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THREE SHORES DEVELOPMENT

E14th St 120-128 East 14th Street North Vancouver, BC

> Unit B1 (ADAPTABLE L2)

1/4" = 1'-0" 2023-05-24 ISSUE 05.1 - RZ/DP

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2330-200 Granville Street Vancouver, BC, V6C 1S4 Telephone: 604 688 4220

RED ARC

NITECT SEAL]

Three Shores Development

[PROJECT]

[TITLE]

East 14th Street

120-128 East 14th Street

North Vancouver, BC

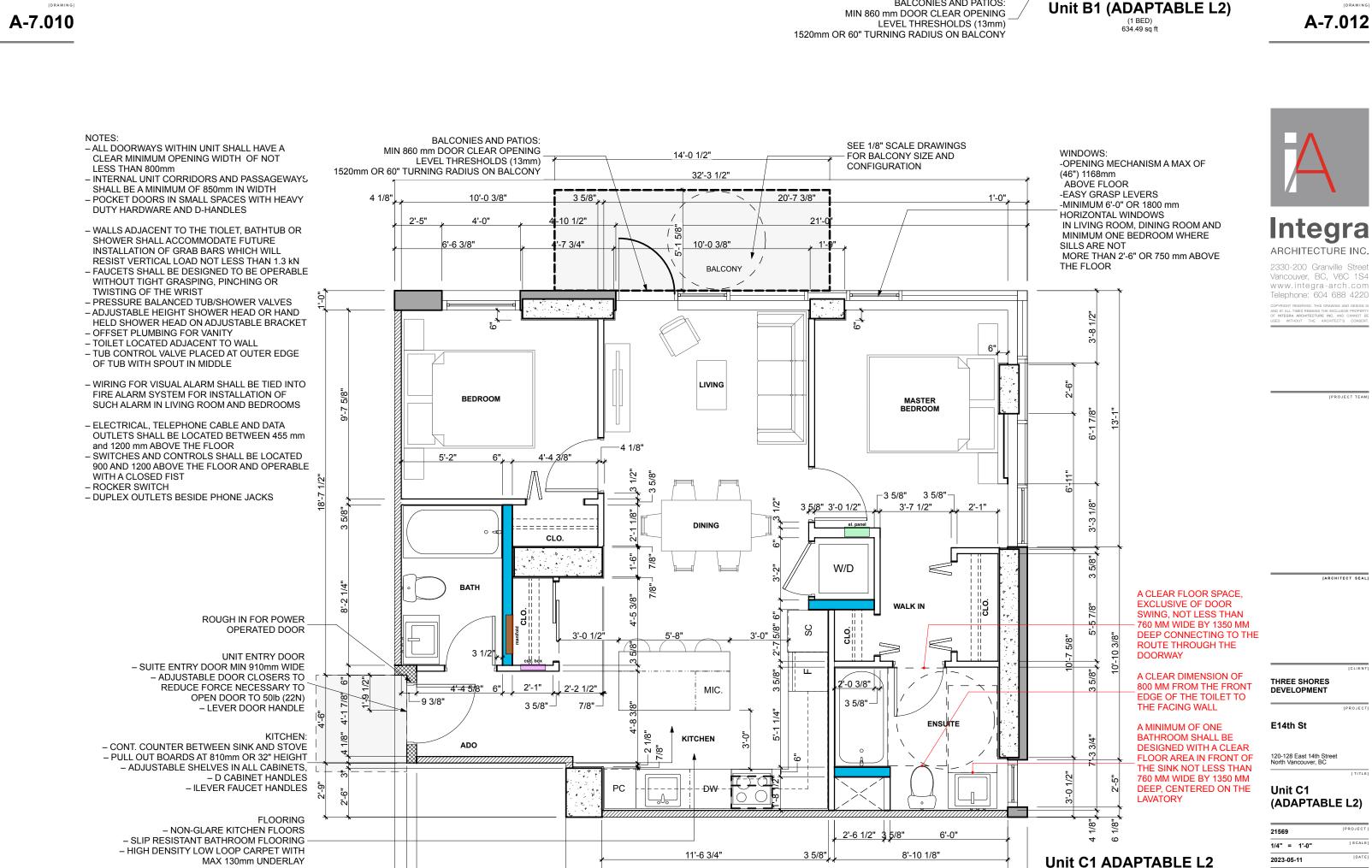
Unit Plans

(ADAPTABLE L2) 1/4" = 1'-0" 2023-05-11 ISSUE 05 - RZ/DP Resubmission

[PROJECT]

[SCALE] [DATE] Friday, May 26, 2023 **A-7.016** ISSUE 05.1 - RZ/DP

A-3.003



7'-7 1/2"

LEVEL TWO

Unobstructed access to main building entrances

from parking levels containing accessible

610mm clear wall space adjacent to door

garbage and recycling receptacles and

accessible storage lockers for each unit

Canopy over main building entrances (3' or

Provide automatic door opener for at least one

Disability Parking provided in accordance with

Accessible building enterphone, call buttons and,

3' or 915mm building and suite entry doors

Flush thresholds throughout the building

building entry door at ground level as well as

underground parkade level where disability

doors leading into the building on each

Coning bylaw Figure 9-4 as attached.

(maximum ½" or 13mm height)

where provided, suite door bells *

5' or 1520mm turning radius in front *

Provide 5' or 1520mm turning radius inside and

outside the entry corridor of each dwelling unit *

Provide wiring for an automatic door opener for

Provide 2' or 610mm clear wall space adjacent to

Minimum one bathroom, minimum one bedroom

Minimum one door 2' - 10" or 860mm clear door

Minimum 5' or 1520mm turning radius on patio /

Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)

Provide minimum 6-0' or 1800mm horizontal

Continuous counter between sink and stove*

windows in living room, dining room and minimum

one bedroom where sills are not more than 2'- 6"

oilet located adjacent to wall (min 3' or 915mm

3' or 915mm clearance along full length of tub *

tub spout remaining in central position *

from removal of vanity cabinet)*

Accessible storage *

- 3 of 3-

Provide turning radius within bathroom (may result

Minimum one patio or balcony doorsill with

maximum ½" or 13mm threshold**

or 750mm above the floor

- 2 of 3-

and storage room doors 2'-10" or 860mm clear

door latches where door swings toward user (pocket doors acceptable for bathrooms and

service access areas) *

the suite entry door

bedrooms)*

no stairs within building circulation including

parking (5' or 1520mm corridors; 2' or

Outside stairs – maximum degree of colour

Curb cuts have tactile and visual cues

corridors on residential levels

2 of 11

LEVEL THREE

from parking levels containing accessible

parking (5' or 1520mm corridors; 2' or

garbage and recycling receptacles and

including corridors on residential levels

accessible storage lockers for each Level

no stairs within building circulation

Canopy over main building entrances (3' or

Provide automatic door opener for at least one

building entry door at ground level as well as

underground parkade level where disability

Disability Parking provided in accordance with

3' or 915mm building and suite entry doors

Flush thresholds throughout the building

Accessible building enterphone, call buttons

and 5' or 1520mm turning radius in front *

Provide 5' or 1520mm turning radius inside

Provide wiring for an automatic door opener

Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm

clear wall space adjacent to door latches

Minimum one bathroom, minimum one

bedroom and storage room doors 2'-10" or

Minimum one door 2 - 10" or 860mm clear

Minimum one patio or balcony doorsill with

Minimum 5' or 1520mm turning radius on patio

maximum 1/2" or 13mm threshold **

Opening mechanism maximum 46" or

1168mm above floor (provide notation on

windows in living room, dining room and

minimum one bedroom where sills are not

more than 2'- 6" or 750mm above the floor

Sink cabinet minimum 2'8" or 810mm wide Provide sufficient space for future installation

Provide for potential 2'8" or 810mm wide

Lower edge of upper cupboards 4'6" or

Minimum 4' or 1220mm floor space between

Toilet located adjacent to wall (min 4'6" or

Provide turning radius within bathroom (may

3' or 915mm clearance along full length of tub

with tub spout remaining in central position *

Provide pocket door or door swing out *
Space under sink minimum 2'8" or 810mm

Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x

5'-0" or 910mm x 1500mm - refer to the 1998

BC Building Access Handbook for details Sufficient manoeuvring room between closet

Provide 3' or 915mm access to window

dryer in-suite or in common area

Provide front loading side-by-side washer /

4' or 1220mm manoeuvring space in front of

result from removal of vanity cabinet)*

base cabinets / walls (possible with removal of

Design Elements

4 of 11

of cooktop and wall oven

undercounter workspace

1350mm above floor

sink cabinet) *

Accessible storage*

and double bed *

Tub control valve placed at outer edge of tub, with | Tub control valve placed at outer edge of tub,

Continuous counter between sink and stove*

where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*

and outside the entry corridor of each dwelling

for service access areas) *

for the suite entry door

860mm clear opening

Design Elements

3 of 11

and, where provided, suite door bells *

doors leading into the building on each

Zoning bylaw Figure 9-4 as attached

(maximum ½" or 13mm height)

610mm clear wall space adjacent to door

Outside stairs – maximum degree of colour

contrast on nosing of each stair

entrances from street/sidewalks

Unobstructed internal access:

storage lockers

915mm and enterphone

parking is provided

Accessible mailboxes for all AD Level 2 units, and Accessible mailboxes for all AD Level 3 units,

Corridors minimum 4' or 1220mm wide (except for | Corridors minimum 4' or 1220mm wide (except

3 unit

Curb cuts have tactile and visual cues

Unobstructed access to main building

Fixtures & Finishes

Where regular refrigerator installed initially.

Contrasting knobs on stove / cook top

provide adequate space for side by side model

Fixtures & Finishes

July 2005

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION		Slip resistant flooring	Slip resistant flooring
CIRCULATION		Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum ½" or 13mm height	High density, low level loop carpet and underlay maximum ½" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

	LEVEL ONE	LEVEL TWO	LEVEL THREE 7 of 1
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and strike at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
			Whore regular refrigerator installed initially

- 1 of 3

* Illustrations available	- 2 of 3	Fixtures & Finishes July 2005

	LEVEL ONE	LEVEL TWO	LEVEL THREE 8 of 11
MIN. ONE BATHROOM	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
MIN. ONE BATHROOM	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
MIN. ONE BATHROOM		Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
MIN. ONE BATHROOM		Provision for vanity sink removal	Provision for vanity sink removal
MIN. ONE BATHROOM		Adjustable height shower head or hand-held shower head on adjustable bracket*	Adjustable height shower head or hand-held shower head on adjustable bracket *
MIN. ONE BATHROOM			Water temperature regulator on tub / shower faucet
LIVING ROOM		One switched electrical outlet	One switched electrical outlet
BEDROOMS		Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
BEDROOMS		Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
BEDROOMS	Telephone jack	Telephone jack	Telephone jack
IN-SUITE STORAGE		Provide light and electrical outlet	Provide light and electrical outlet

LEVEL 1 - ALL UNITS LEVEL 2 - ADAPTABLE UNITS: A1, B1 & C1

* Illustrations available

KITCHEN

KITCHEN

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[PROJECT TEAM]

11111 KARSHITECT SEAL]

Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Unit Plans

[PROJECT] [SCALE] **As Noted** [DATE] Friday, May 26, 2023 ISSUE 05.1 - RZ/DP

A-3.004

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

contrast on nosing of each stair

rom street/sidewalks Unobstructed internal access:

storage lockers

915mm) and enterphone

parking is provided

- 1 of 3-

LEVEL ONE

Inobstructed access to main building entrances

Outside stairs – maximum degree of colour

Canopy over main building entrances (3' or

Disability Parking provided in accordance with

Zoning bylaw Figure 9-4 as attached

and, where provided, suite door bells *

maximum 1/2" or 13mm height)

Flush thresholds throughout the building

Accessible building enterphone, call buttons

Corridors minimum 4' or 1220mm wide (except

for service access areas) *

contrast on nosing of each stair

Curb cuts have tactile and visual cues

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

BUILDING ACCESS

* Illustrations available

COMMON AREAS

CIRCULATION

CIRCULATION

SUITE CIRCULATION

SUITE CIRCULATION

PATIOS & BALCONIES

PATIOS & BALCONIES

PATIOS & BALCONIES

DOORS

WINDOWS

WINDOWS

KITCHEN

KITCHEN

KITCHEN

KITCHEN

KITCHEN

KITCHEN

MIN. ONE BATHROOM

MIN. ONE BEDROOM

MIN. ONE BEDROOM

LAUNDRY FACILITIES

LAUNDRY FACILITIES

* Illustrations available

** Options considered

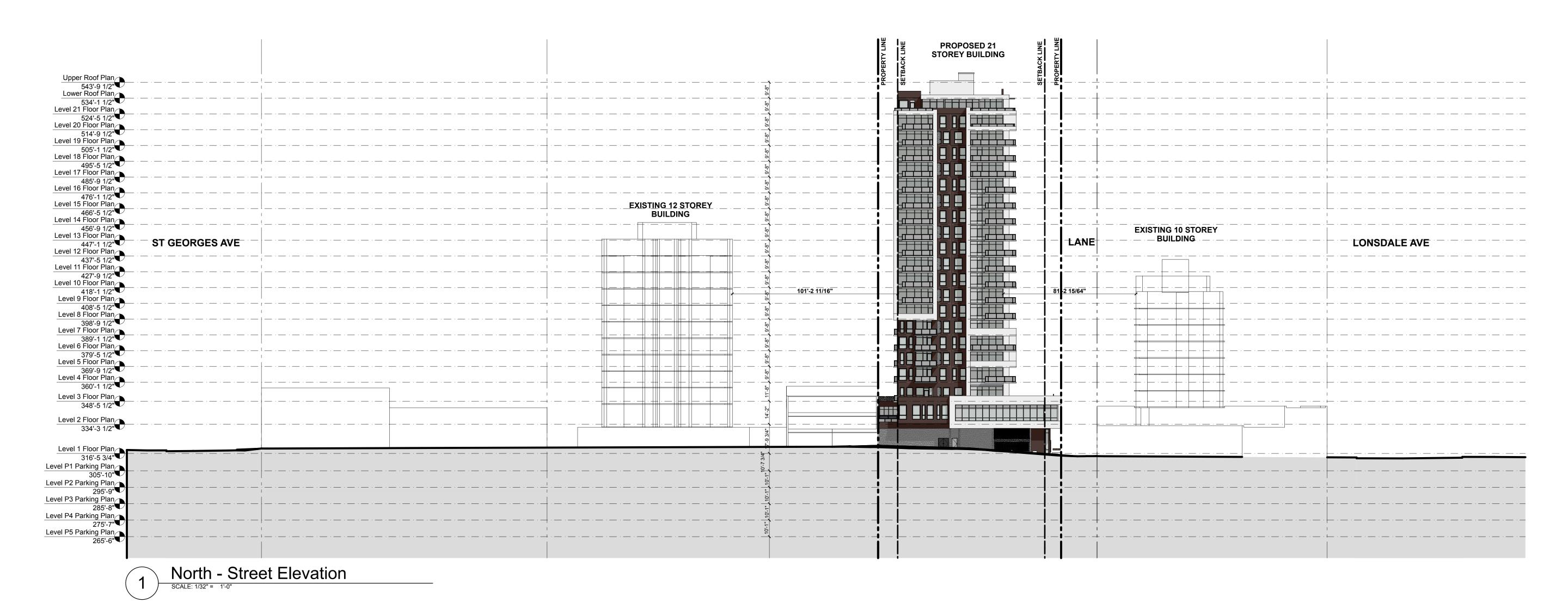
S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

* Illustrations available

** Options considered

** Options considered

Design Elements July 2005



PROPOSED 21 STOREY BUILDING **EXISTING 24 STOREY** BUILDING E 14TH ST LANE Upper Roof Plan 543'-9 1/2" Lower Roof Plan 534'-1 1/2" Level 21 Floor Plan 524'-5 1/2" Level 20 Floor Plan 514'-9 1/2" Level 19 Floor Plan Level 18 Floor Plan Level 17 Floor Plan 485'-9 1/2" Level 16 Floor Plan 476'-1 1/2" Level 15 Floor Plan 466'-5 1/2" Level 14 Floor Plan 456'-9 1/2" Level 13 Floor Plan Level 12 Floor Plan 437'-5 1/2" Level 11 Floor Plan 427'-9 1/2" Level 10 Floor Plan 418'-1 1/2" Level 9 Floor Plan 408'-5 1/2" Level 8 Floor Plan Level 7 Floor Plan Level 6 Floor Plan 379'-5 1/2" BUILDING Level 5 Floor Plan 369'-9 1/2" Level 4 Floor Plan 360'-1 1/2" Level 3 Floor Plan 348'-5 1/2" Level 2 Floor Plan 334'-3 1/2" Level 1 Floor Plan 316'-5 3/4" Level P1 Parking Plan 305'-10" Level P2 Parking Plan 295'-9" Level P3 Parking Plan 285'-8" Level P5 Parking Plan 265'-6"

East - Street Elevation



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[PROJECT TEAM]



Three Shores Development

[PROJECT]

[TITLE]

East 14th Street

120-128 East 14th Street North Vancouver, BC

North & East Street Elevation

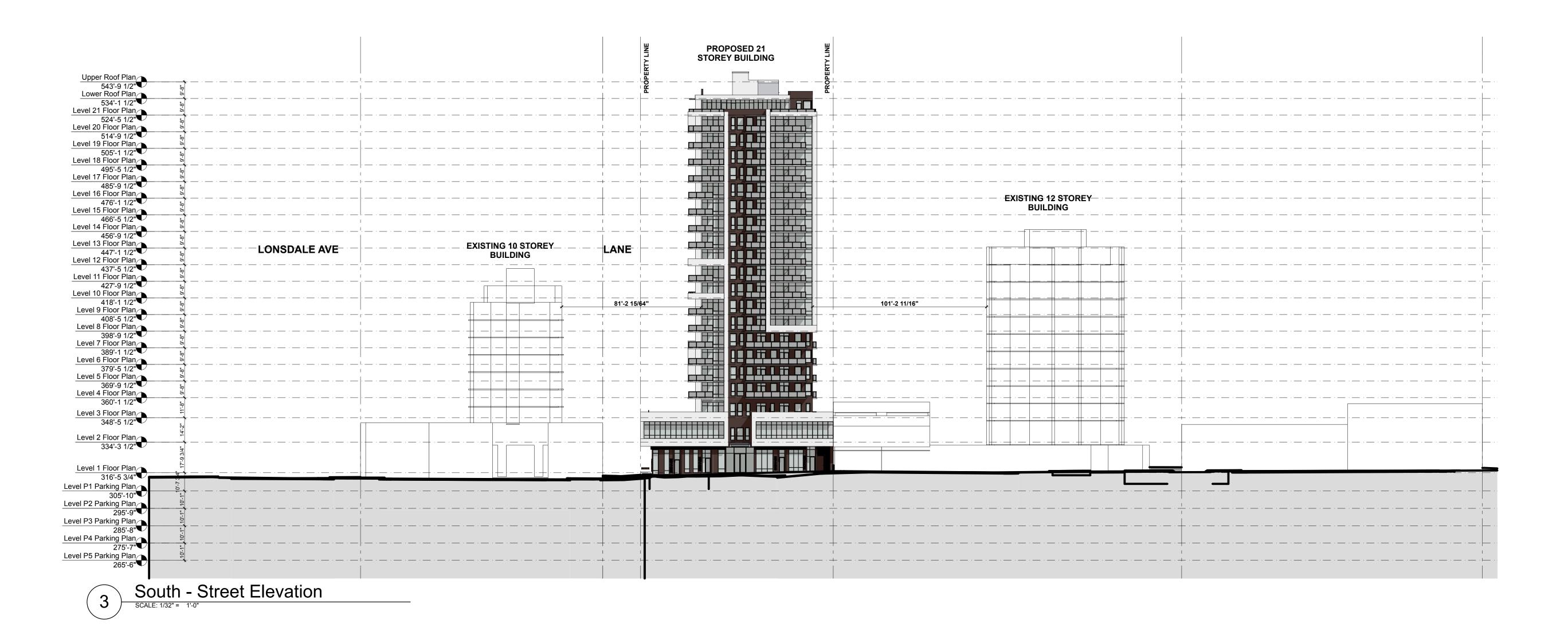
21569

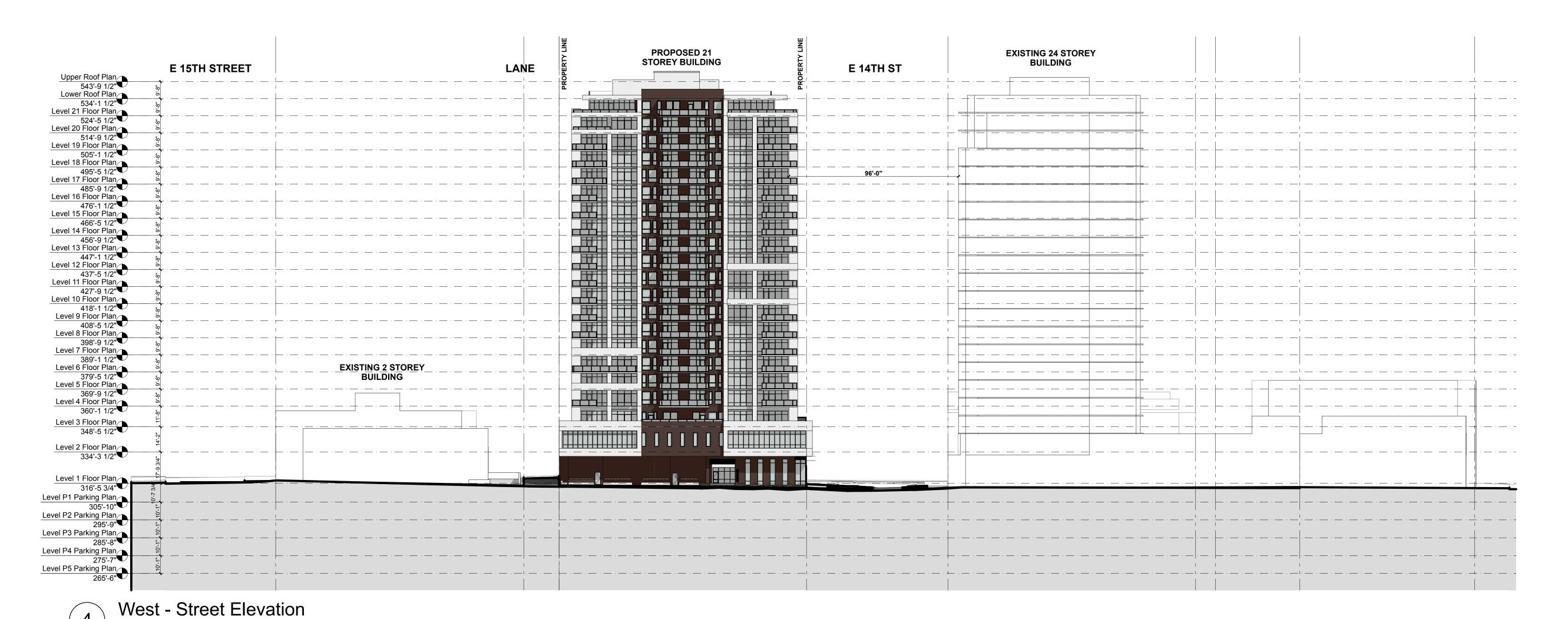
1/32" = 1'-0"

Friday, May 26, 2023

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A-4.001







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East 14th Street

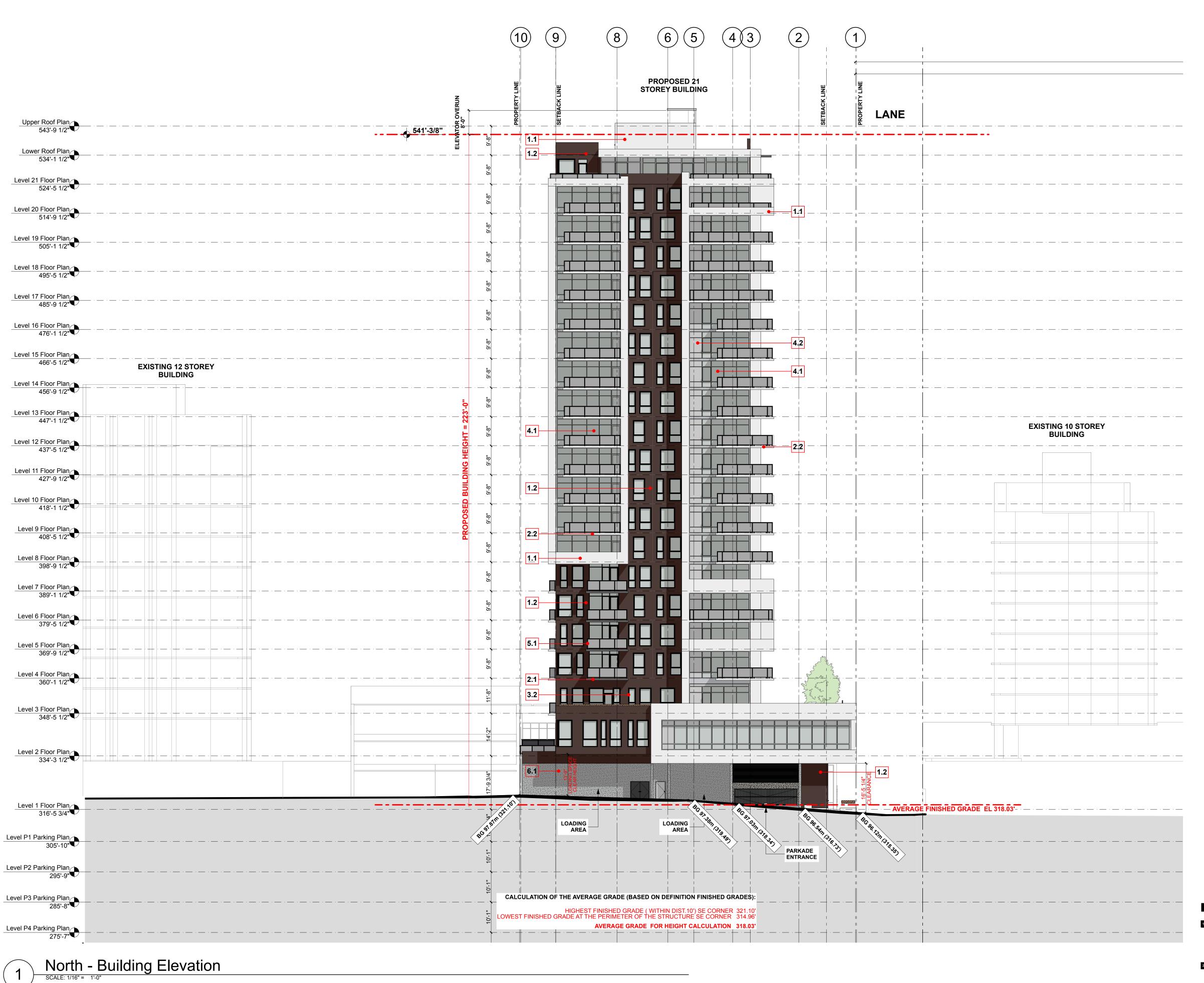
[PROJECT]

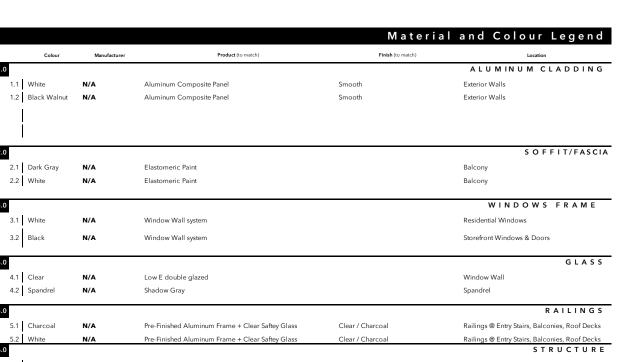
[TITLE]

120-128 East 14th Street North Vancouver, BC

South & West **Street Elevation**

21569	[PROJECT]
1/32" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]







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[PROJECT]

East 14th Street

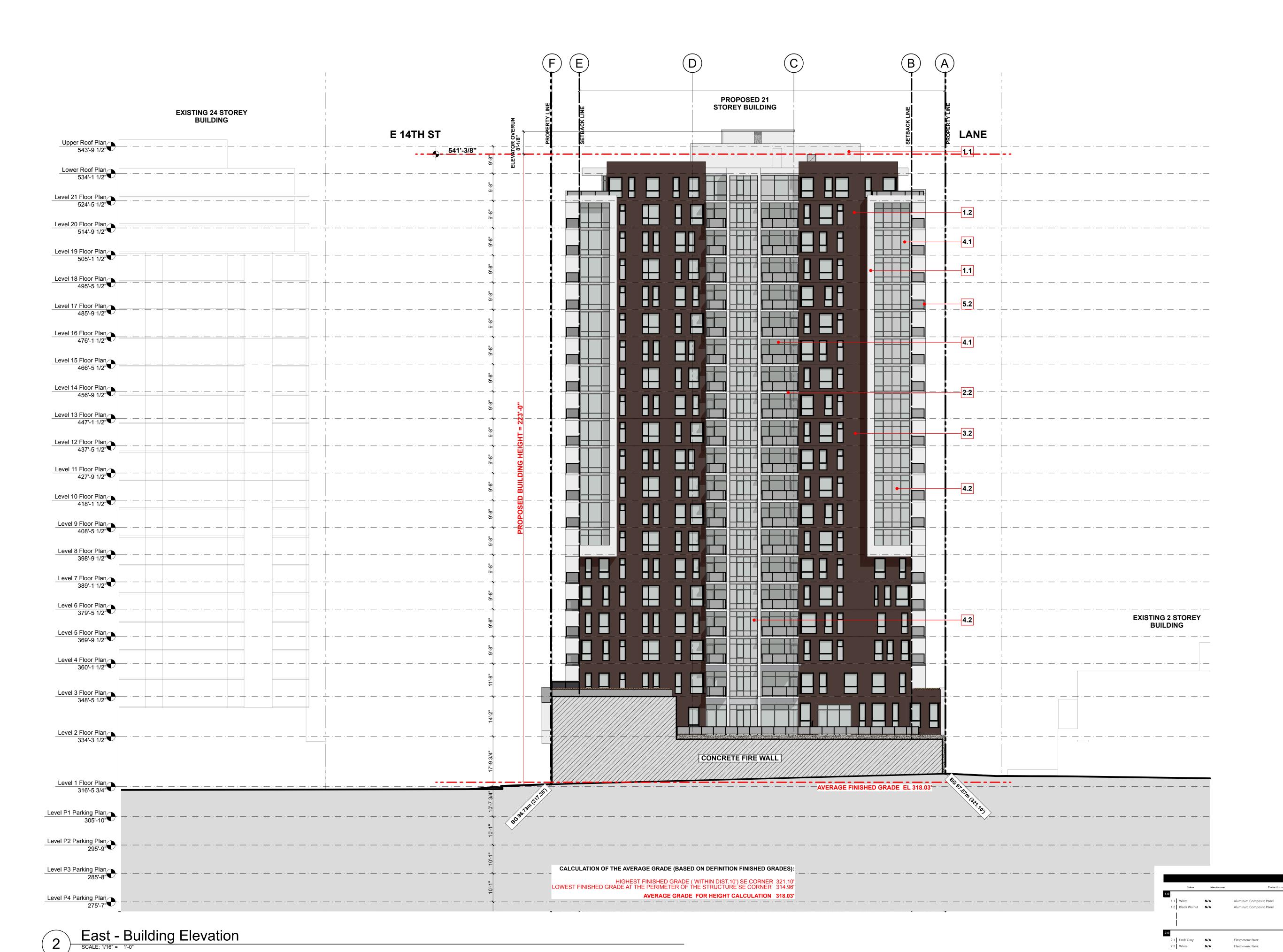
120-128 East 14th Street North Vancouver, BC

[TITLE]

North Elevation

21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]
	[DRAWING]

A-4.100





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[PROJECT TEAM]



Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

ALUMINUM CLADDING

Railings @ Entry Stairs, Balconies, Roof Decks

Balcony

Balcony

Residential Windows Storefront Windows & Doors

Window Wall

Spandrel

2.1 Dark Gray N/A

N/A

N/A

Elastomeric Paint

Low E double glazed

Pre-Finished Aluminum Frame + Clear Saftey Glass

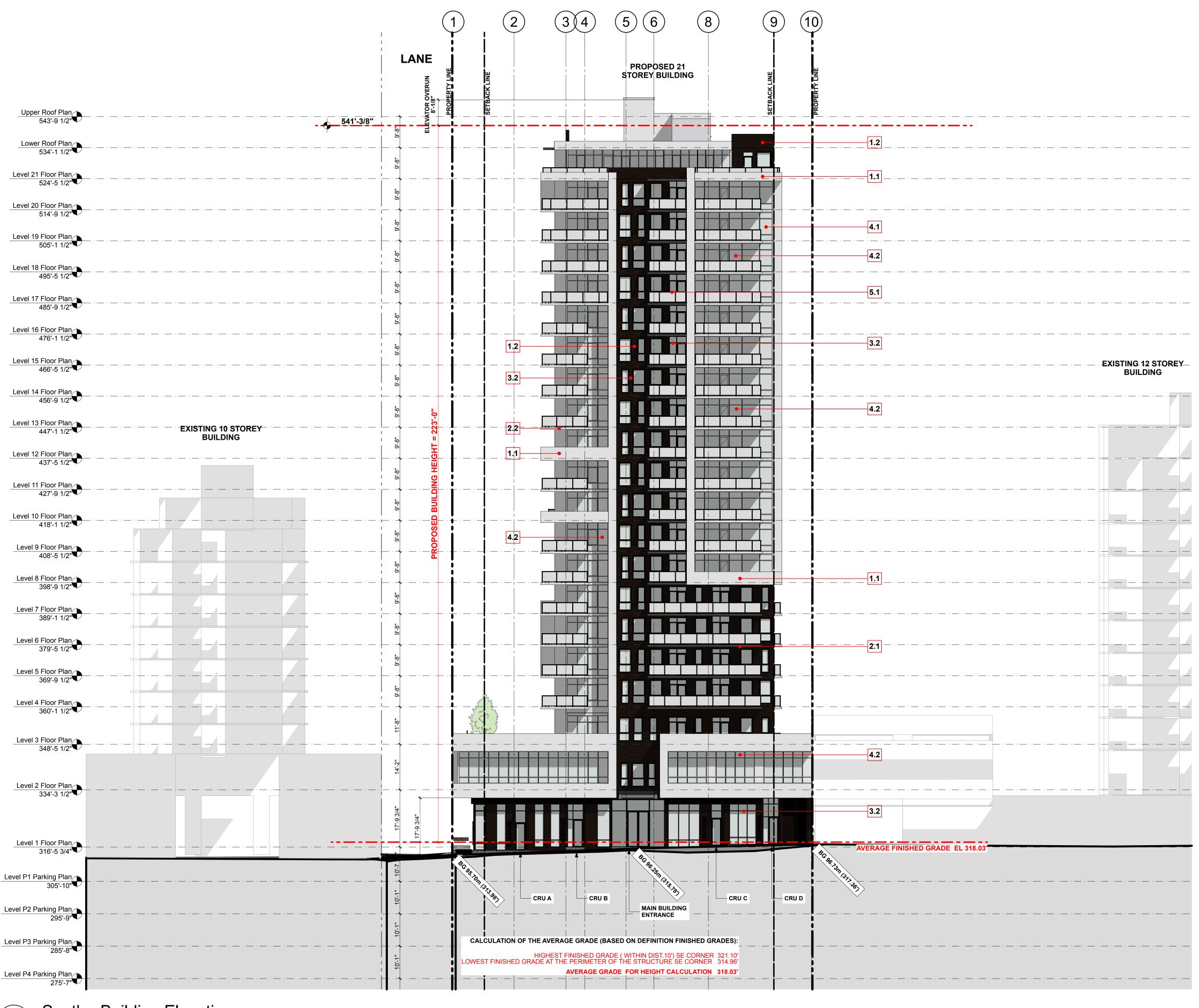
Shadow Gray

[TITLE]

East Elevation

[PROJECT]
[SCALE]
[DATE]
[ISSUE]

A-4.200







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Three Shores Development

[PROJECT]

[TITLE]

East 14th Street

120-128 East 14th Street North Vancouver, BC

Material and Colour Legend

Balcony

Balcony

Residential Windows Storefront Windows & Doors

Window Wall

Spandrel

2.1 Dark Gray N/A

N/A

N/A

Elastomeric Paint

Low E double glazed

Pre-Finished Aluminum Frame + Clear Saftey Glass

Shadow Gray

ALUMINUM CLADDING

WINDOWS FRAME

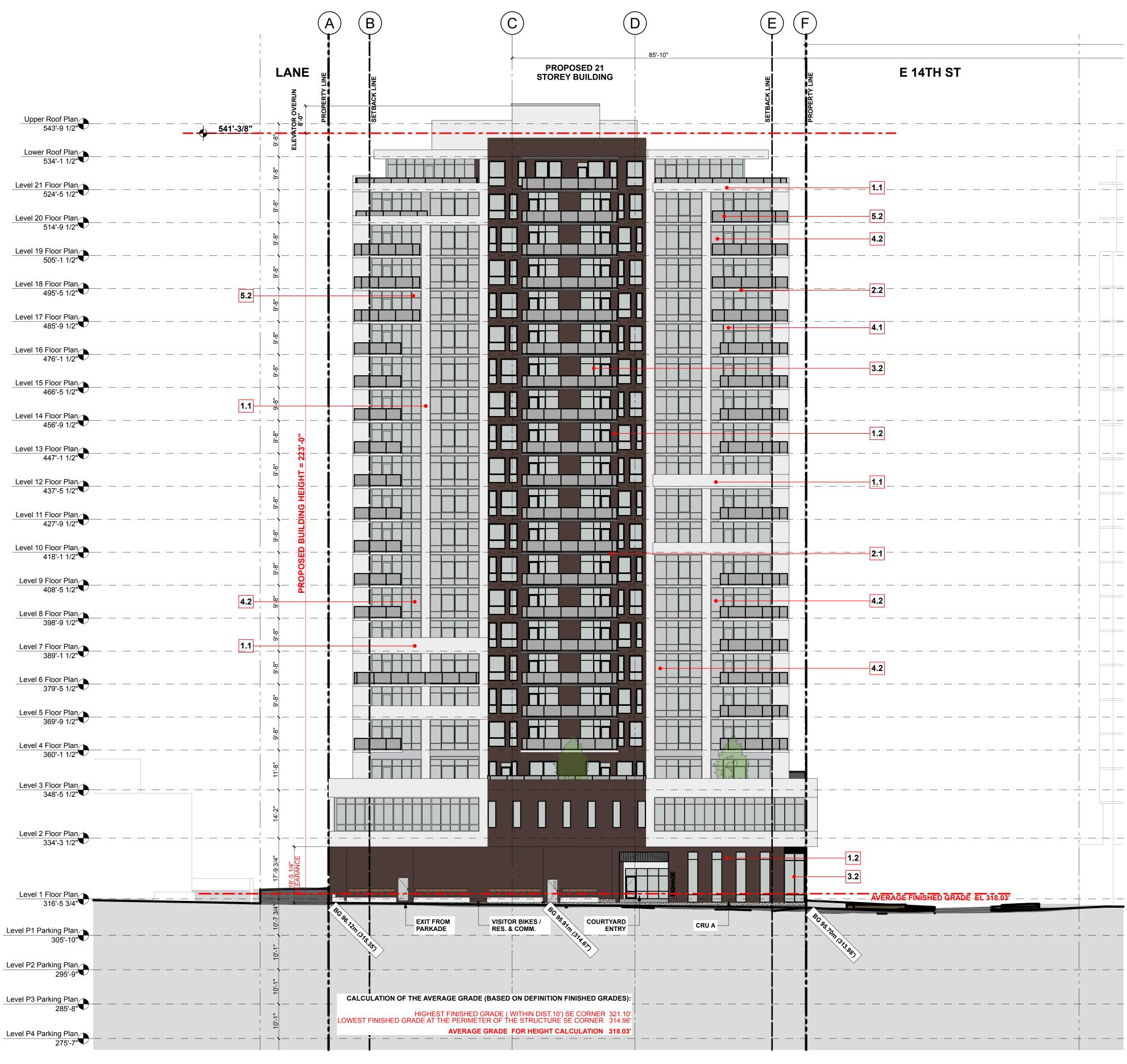
Railings @ Entry Stairs, Balconies, Roof Decks Railings @ Entry Stairs, Balconies, Roof Decks
S T R U C T U R E

RAILINGS

South Elevation

21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]
	[DRAWING]

A-4.300



West - Building Elevation

SCALE: 1/16" = 1'-0"



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[PROJECT TEAM]



Three Shores Development

East 14th Street

[PROJECT]

[TITLE]

120-128 East 14th Street North Vancouver, BC

Material and Colour Legend

Exterior Walls

Balcony

Balcony

Residential Windows

Window Wall

Spandrel

Clear / Charcoal

Storefront Windows & Doors

Railings @ Entry Stairs, Balconies, Roof Decks

Railings @ Entry Stairs, Balconies, Roof Decks
STRUCTURE

2.1 Dark Gray N/A

N/A

N/A

N/A

Elastomeric Paint

Window Wall system

Window Wall system

Low E double glazed Shadow Gray

Pre-Finished Aluminum Frame + Clear Saftey Glass

ALUMINUM CLADDING

S O F F I T / F A S C I A

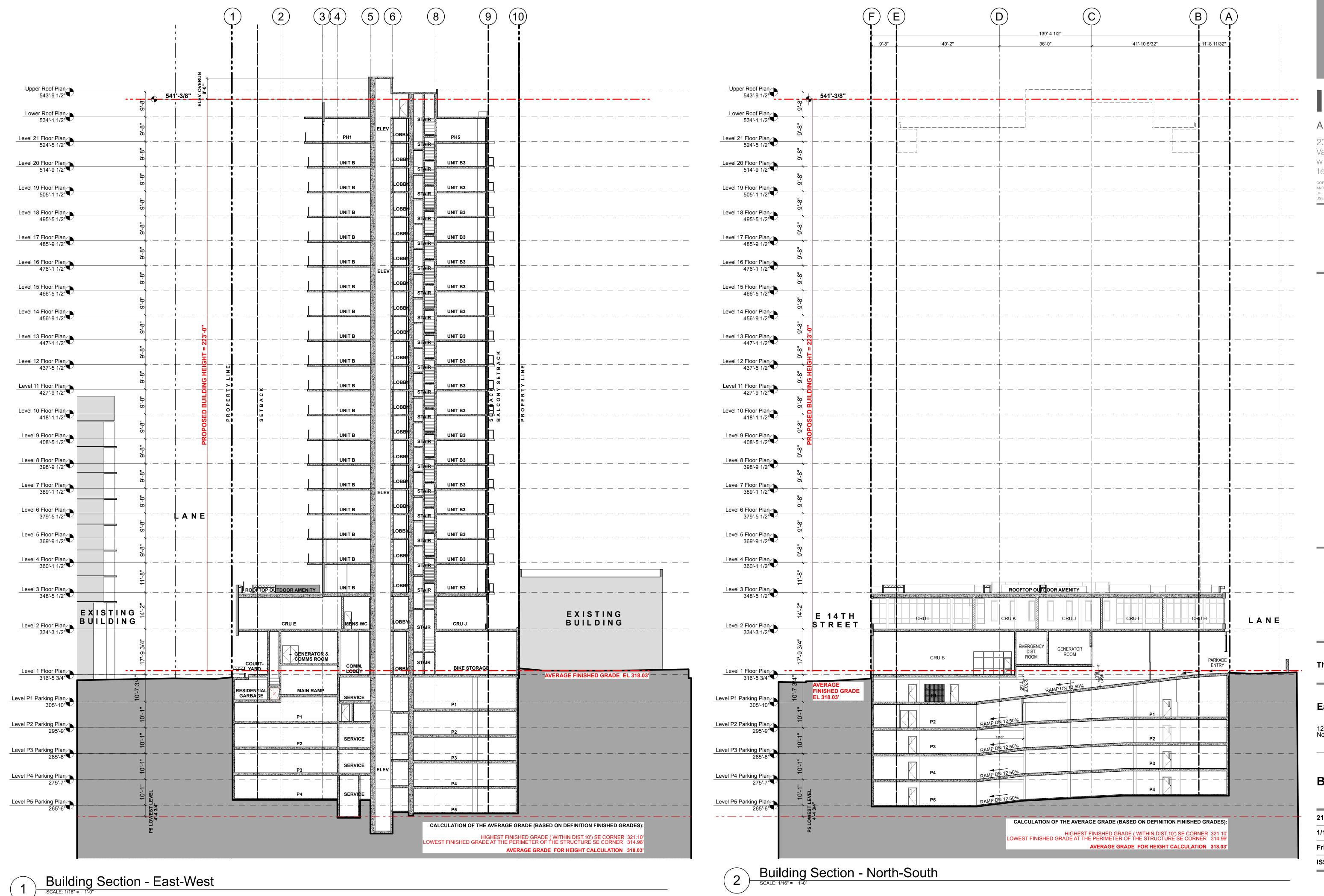
GLASS

RAILINGS

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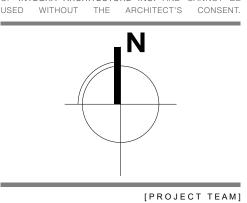
21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]
	[DRAWING]

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[PROJECT]

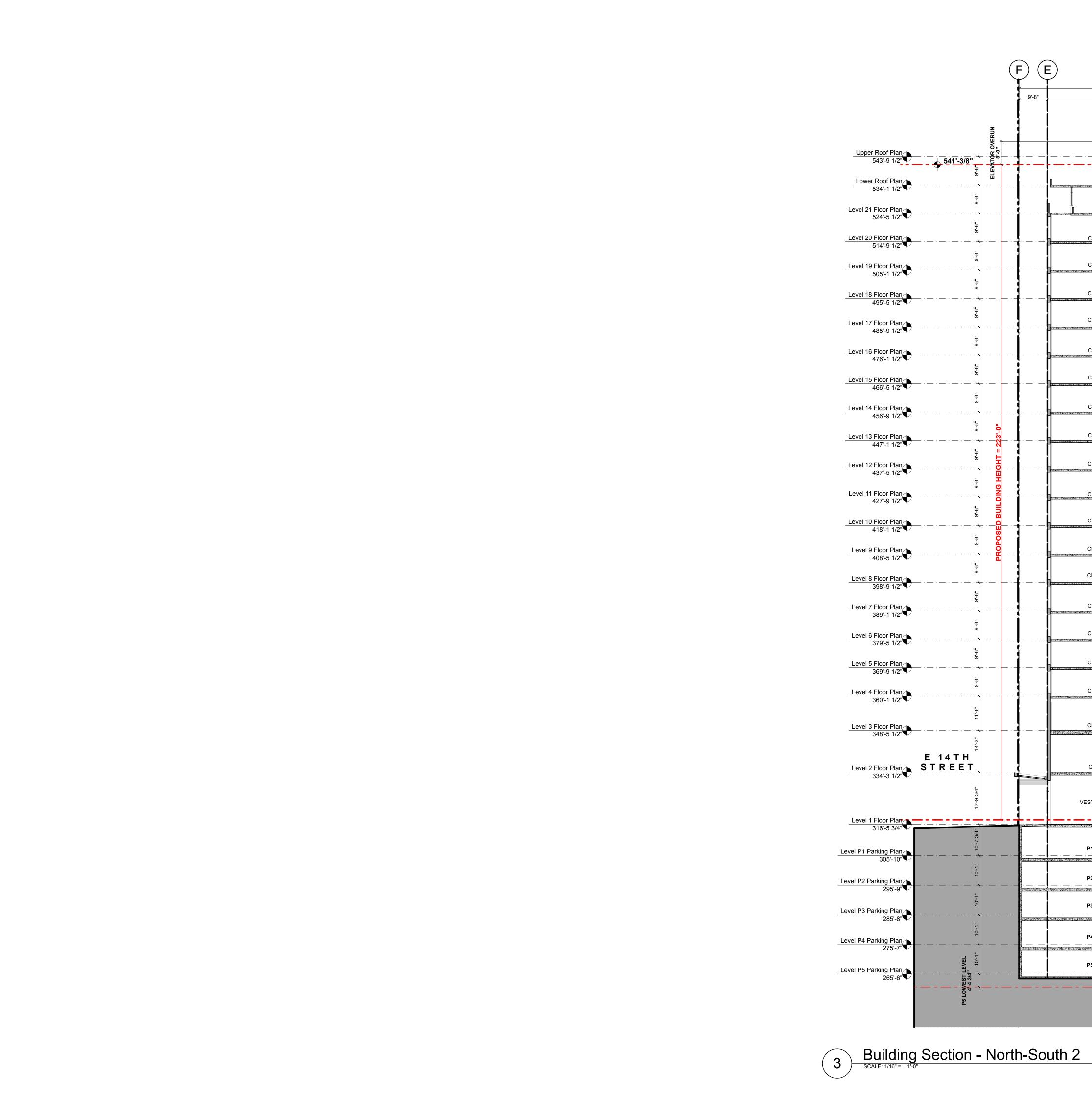
East 14th Street

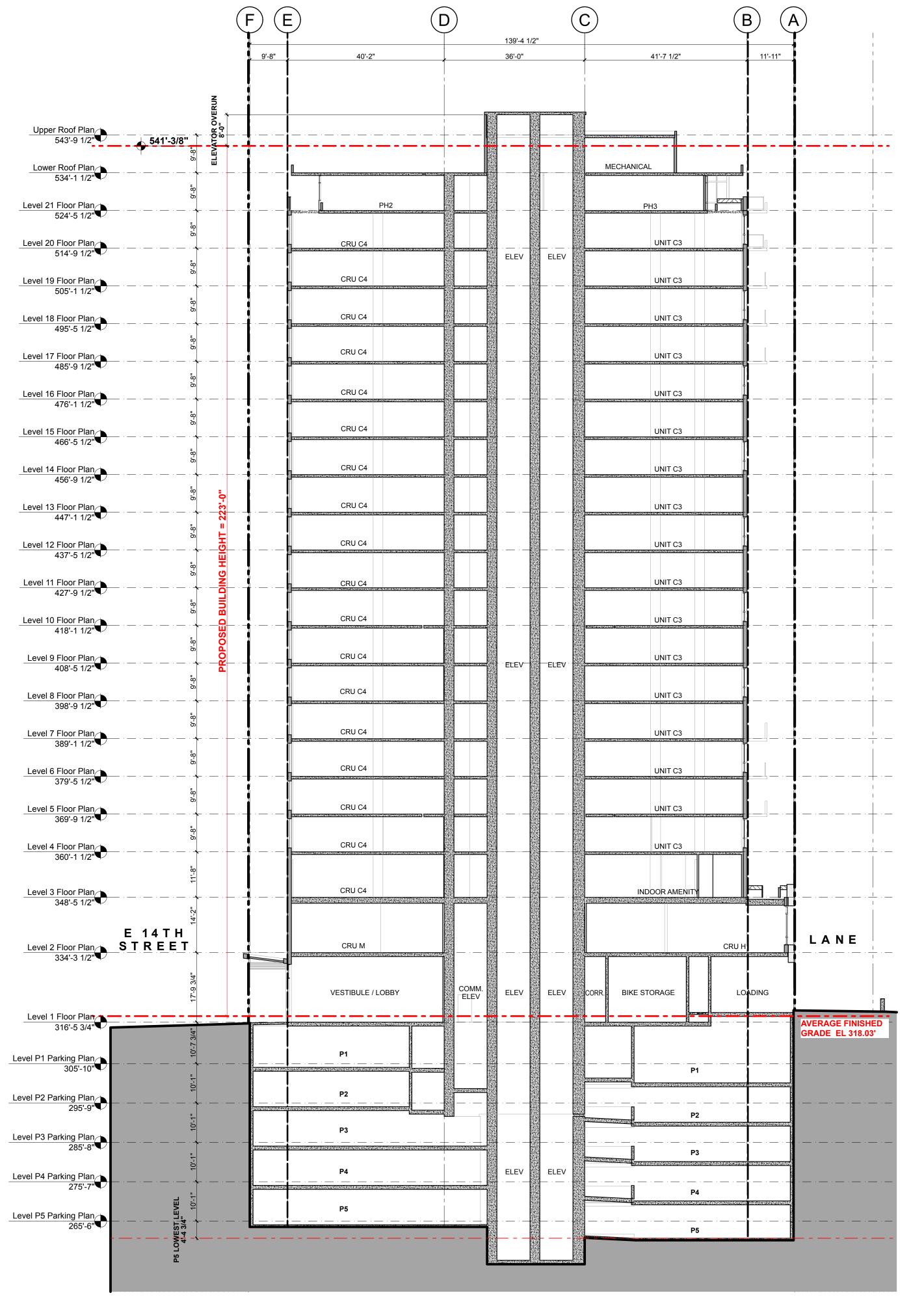
120-128 East 14th Street North Vancouver, BC

[TITLE]

Building Sections

21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]

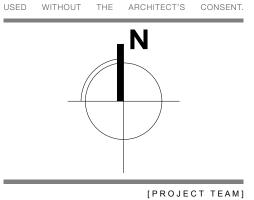






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Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

Building Sections

21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Friday, May 26, 2023	[DATE]
ISSUE 05.1 - RZ/DP	[ISSUE]

A-5.101

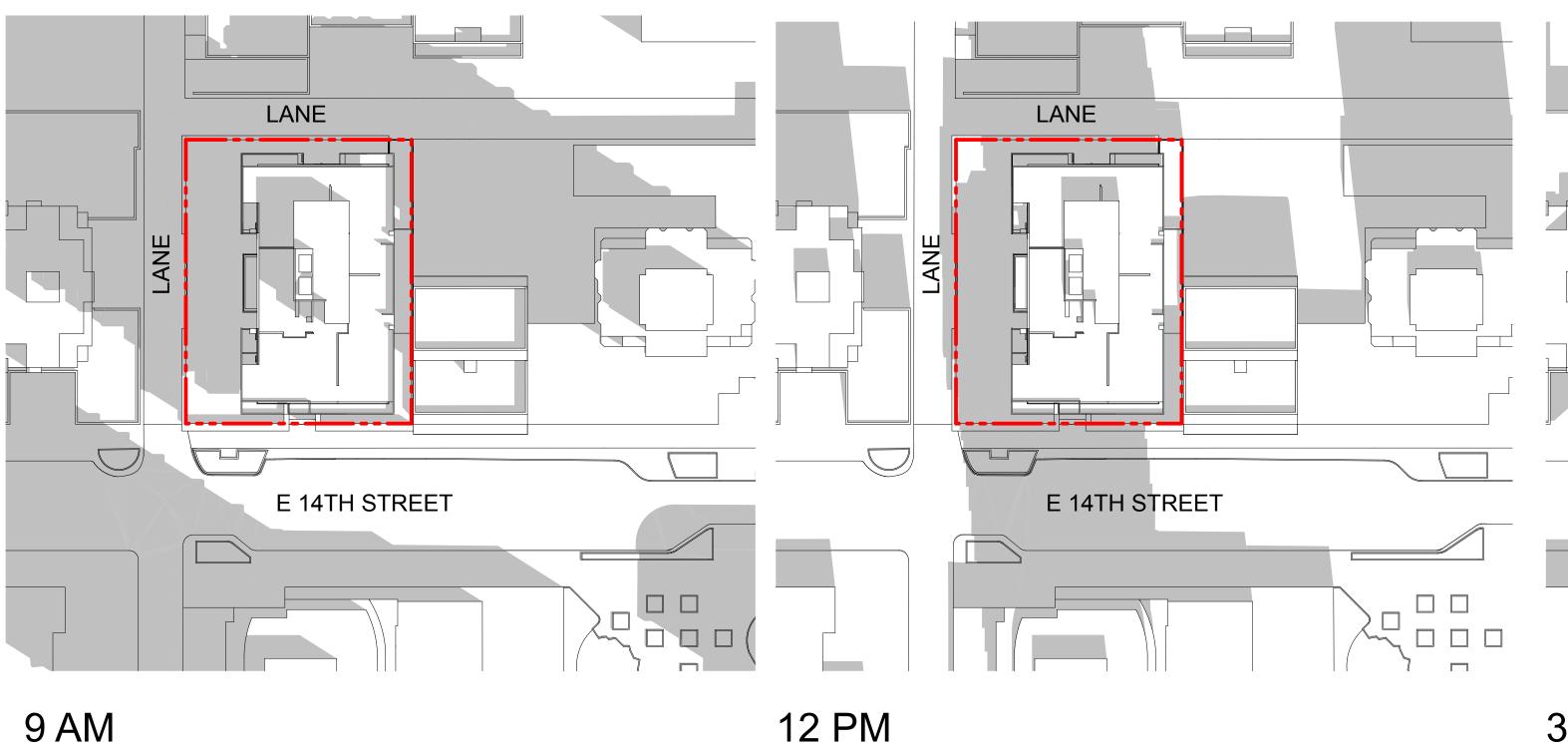
SPRING EQUINOX MARCH 21

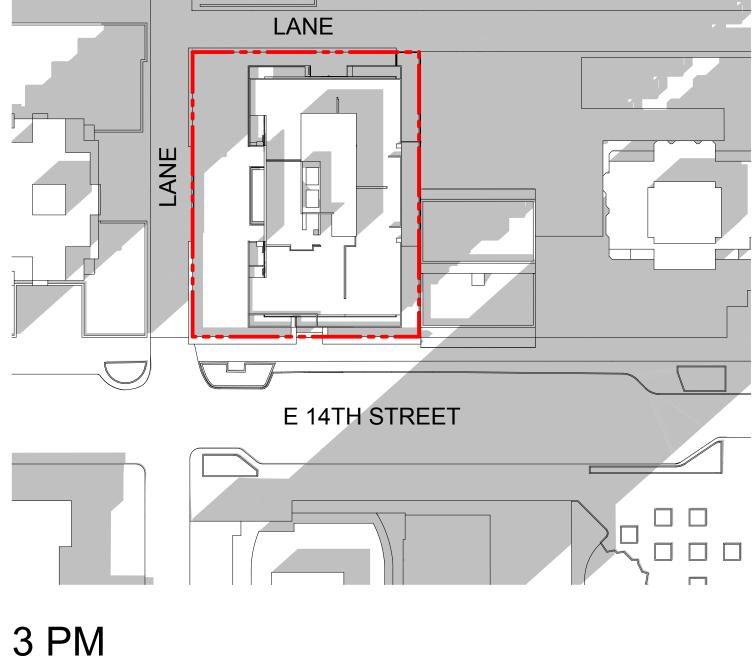


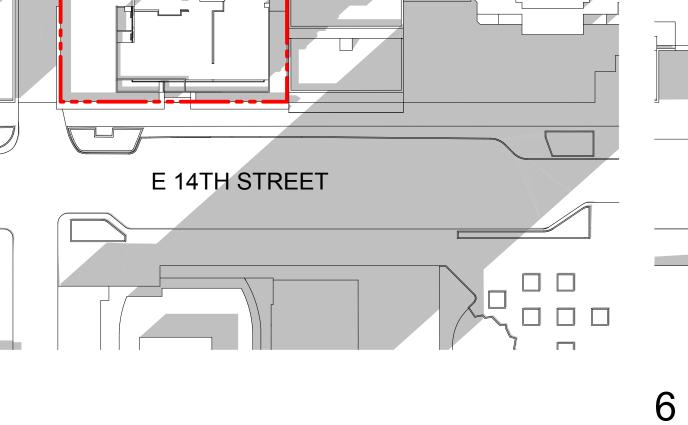


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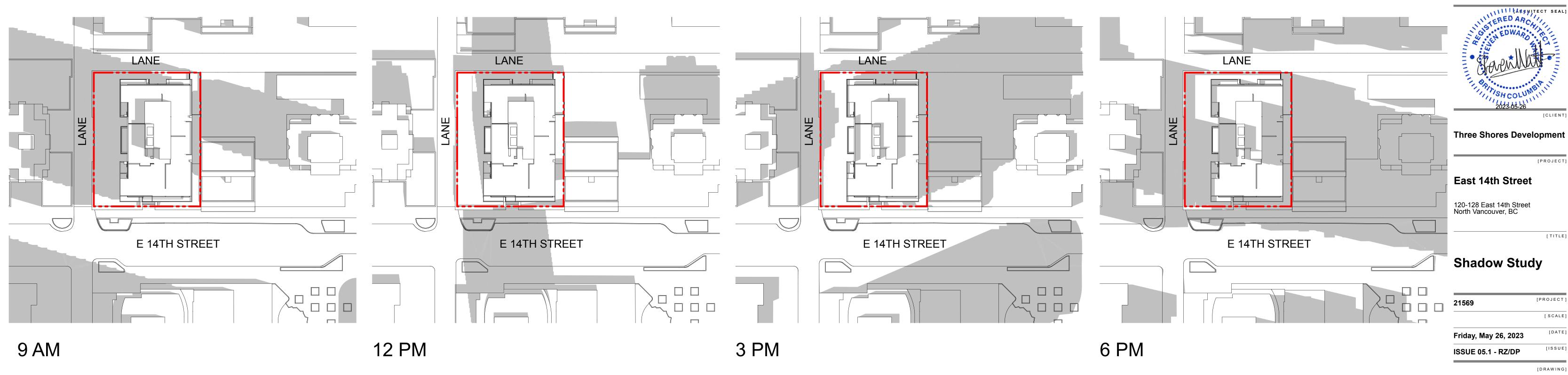




LANE

E 14TH STREET

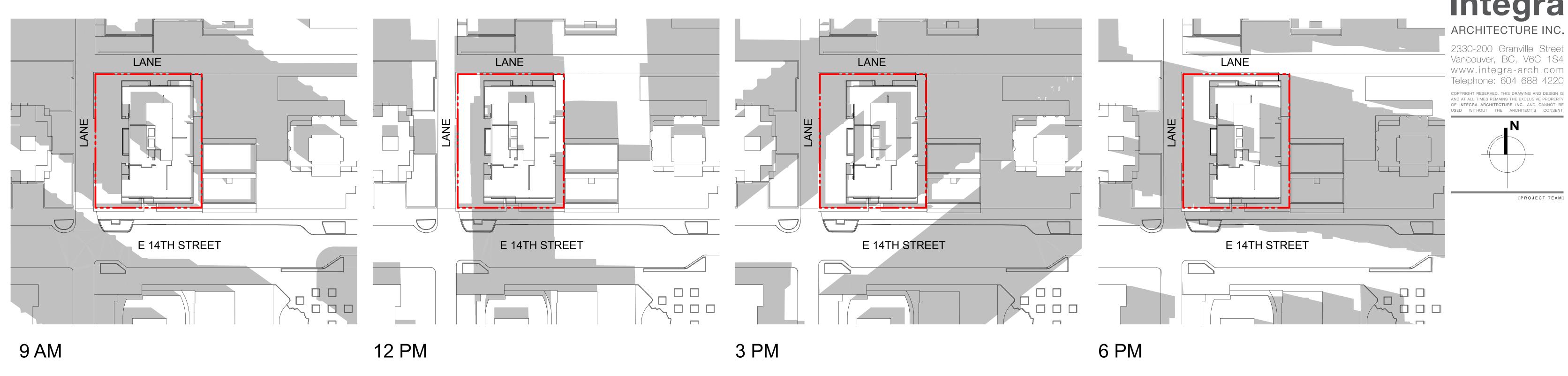
SUMMER SOLSTICE JUNE 21



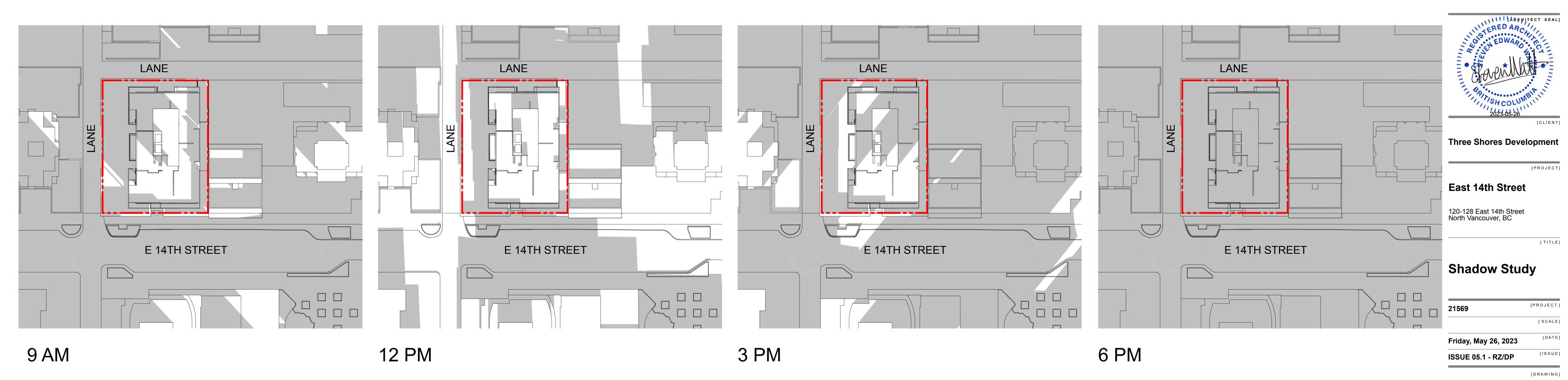
FALL EQUINOX SEPTEMBER 23



[PROJECT TEAM]



WINTER SOLSTICE DECEMBER 21



EAST 14TH STREET, NORTH VANCOUVER

PROJECT OWNER: Three Shores Development PROJECT CONTACT: T.604.505.8818 Barry Savage Three Shores Development 120-128 East 14th Street, North Vancouver, BC PROJECT ARCHITECT: Integra Architecture Inc. T.604.688.4220 Rhys Leitch 200 Granville St, Vancouver PROJECT NUMBER: 21569 CIVIC ADDRESS: 130-134 E14th St, North Vancouver LEGAL DESCRIPTION: **PROJECT DESCRIPTION:** 21 Story Mixed Use ZONING: Existing Zoning: Proposed Zoning: C1-B CD (TBC) OCP Designation Mixed Use Level 4B Development Permit Area ISSUE: PRELIM DATE: 2023-04-17 SITE AREA Total Site Area
Total Gross Site Area Building Size
Max. Building Height 15.24 51.82 Max. Building Width & Length (at 2nd storey) 170 Max. Building Width & Length (including and above 3rd storey) 30.48 100 Building Setbacks
Flanking Lane Rear Lot Line 10 ft 3.05 m *may be reduced by 1ft for each 1ft of setback provided at Front Lot Line (max. 10ft) Setback from Principal Buildings exceeding 4 storeys 80.00 ft 24.38 FLOOR AREA RATIO (FAR) Maximum FAR
Maximum Floor Area 23,494.0 2,182.6 m2 Maximum Bonus Floor Area Maximum FAR 23,494.0 SF 2,182.6 m2 Proposed FAR
Proposed Floor Area 16,477.17 Proposed Floor Area Exclusions
Proposed FAR 610.24 15,866.93 1,474.1 m2 lesser min 2% GFA (SF)

GROSS FLOOR AREA (GFA)

Total Exclusions From FSR

Short Term Commercial - Visitor Required Short Term Commercial - Visitor Provided 6.0 per 1000m2 of GFA

Lovel				Com	mon Areas			Total Area	Total Flo	or Area	Efficiency
Level		CRU	Amenity / Lobby	Common/Storage	Stairs	Elevators	Services	Total Alea	SF	m²	Efficiency
Level 1 (includes CRU)		1,648.25	553.45	95.50	440.53	77.94	460.24	3,275.91	3,275.91	304.35	50.3%
Level 2		4,779.94		941.52	314.33	77.94	29.25	6,142.98	6,142.98	570.72	77.8%
Level 3		2,847.10		260.52	314.33	77.94	29.25	3,529.14	3,529.14	327.88	80.7%
Level 4		2,847.10		260.52	314.33	77.94	29.25	3,529.14	3,529.14	327.88	80.7%
Area Totals									16,477.17	1,530.82	709

Commercial Unit Areas												
	Floor Areas							Total	# of	Total Un	nit Area	% of Unit
Unit Types	Level	SF	Subtotal					Total	Units	SF	m²	% OF UNIT
CRU-A	L1	751.38	751.38					751.38	1	751.38	69.81	8.3%
CRU-B	L1	896.87	896.87					896.87	1	896.87	83.32	8.3%
CRU-C	L2	1,242.94	1,242.94					1,242.94	1	1,242.94	115.47	8.3%
CRU-D	L2	851.29	851.29					851.29	1	851.29	79.09	8.3%
CRU-E	L2	1,298.17	1,298.17					1,298.17	1	1,298.17	120.60	8.3%
CRU-F	L2	1,387.54	1,387.54					1,387.54	1	1,387.54	128.91	8.3%
CRU-G	L3	1,005.15	1,005.15					1,005.15	1	1,005.15	93.38	8.3%
CRU-H	L3	1,089.65	1,089.65					1,089.65	1	1,089.65	101.23	8.3%
CRU-I	L3	752.30	752.30					752.30	1	752.30	69.89	8.3%
CRU-J	L3	1,005.15	1,005.15					1,005.15	1	1,005.15	93.38	8.3%
CRU-K	L3	1,089.65	1,089.65					1,089.65	1	1,089.65	101.23	8.3%
CRU-L	L3	752.30	752.30					752.30	1	752.30	69.89	8.3%
	otal			1				40 400 00		12.122.39	1.126.21	10

OFF-STREET PARKING					
Commercial Parking					
Commercial Parking	1.0 Spaces for each 75 m2 (807.3 SF)	15.0	Spaces Required	15 Spaces Provided	
Disabled Parking	1 Space For Every 5-36 Parking Spaces (inclusive)	1.0	Spaces Required	1 Spaces Provided	* inclusive
Max. Small Cars Allowed	35% of Provided Spaces	5	Spaces Max.	6 Spaces Provided	* inclusive
Loading					
Commercial Loading Required	1 Spaces per 1900 m2	1	Spaces Required	1 Spaces Provided	
Total		15.0	Spaces Required	15 Spaces Provided	
Gross Total		15.0	Spaces Required	15 Spaces Provided	

Total		15.0	Spaces Required		15 Spaces Provided
Gross Total		15.0	Spaces Required		15 Spaces Provided
Parking Space Dimensions					
	Required (Width x Length x Height)				
Standard Space	2.5m (8.20 FT) x 6.0m (18.0 FT) x 2.0m (6.56 FT)				
Small Cars	2.43m (8.0 FT) x 4.65m (15.25 FT) x 2.0m (6.56 FT)				
Accessible	4.0m (13.12 FT) x 6.0m (18.0 FT) x 2.3m (7.55 FT)				
Van Accessible	4.0m (13.12 FT) x 6.0m (18.0 FT) x 2.3m (7.55 FT)				
Loading	2.7m (9.0 FT) x 9.0m (30.00 FT) x 4.1m (13.75 FT)				
Min. Distance to Continuous Wall	0.3m (1.0 FT)				
Min. Drive Aisle Width	6.7m (22.0 FT)				
Min. Maneuvering Aisle Width	6.7m (22.0 FT)				
BICYCLE STALLS					
Bicycle Spaces					
Secure Commercial - Required	1.0 per 250m2 of GFA				5 Stalls Required
Secure Commercial - Provided	1.0 per 250m2 of GFA			Total Secure Commercial	4 Stalls Provided



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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Site Study 130-134 E 14th St - Data

21569

Not To Scale

Friday, May 26, 2023

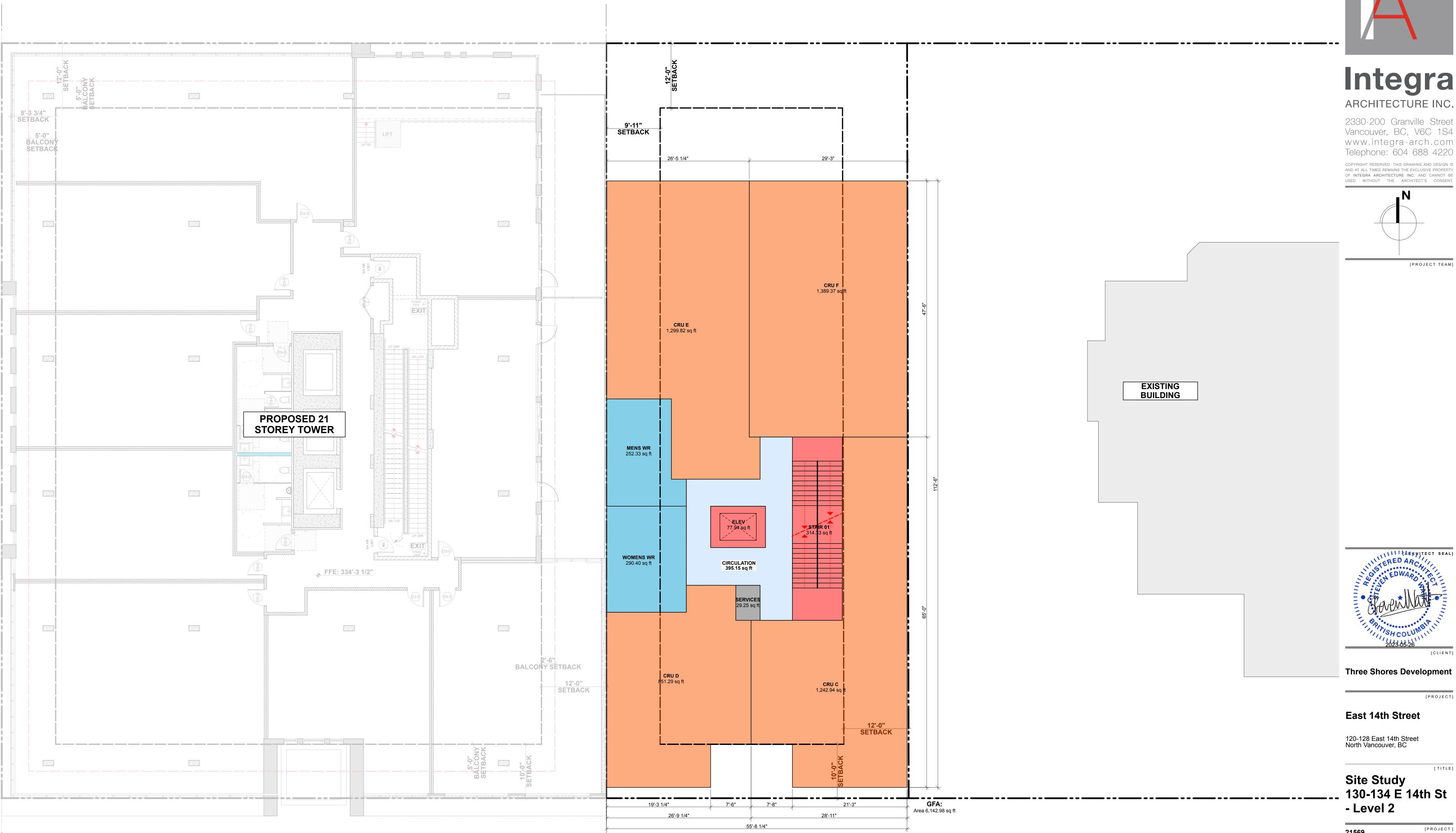
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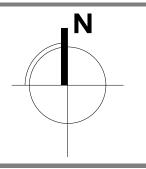
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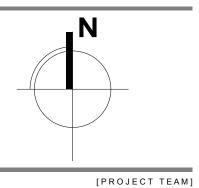
Site Study 130-134 E 14th St - Level 2

[PROJECT] Friday, May 26, 2023 ISSUE 05.1 - RZ/DP





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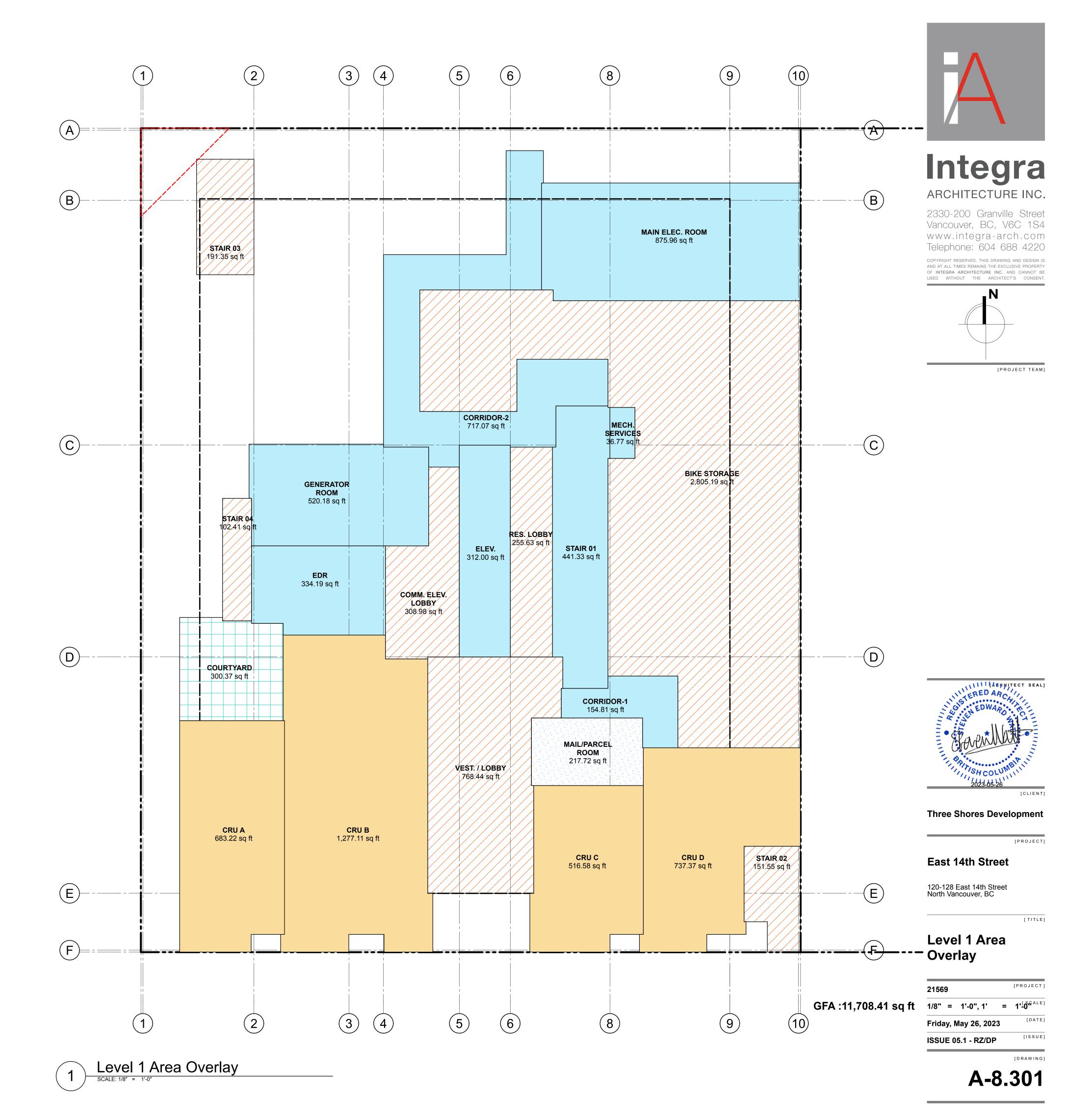
Three Shores Development

120-128 East 14th Street North Vancouver, BC

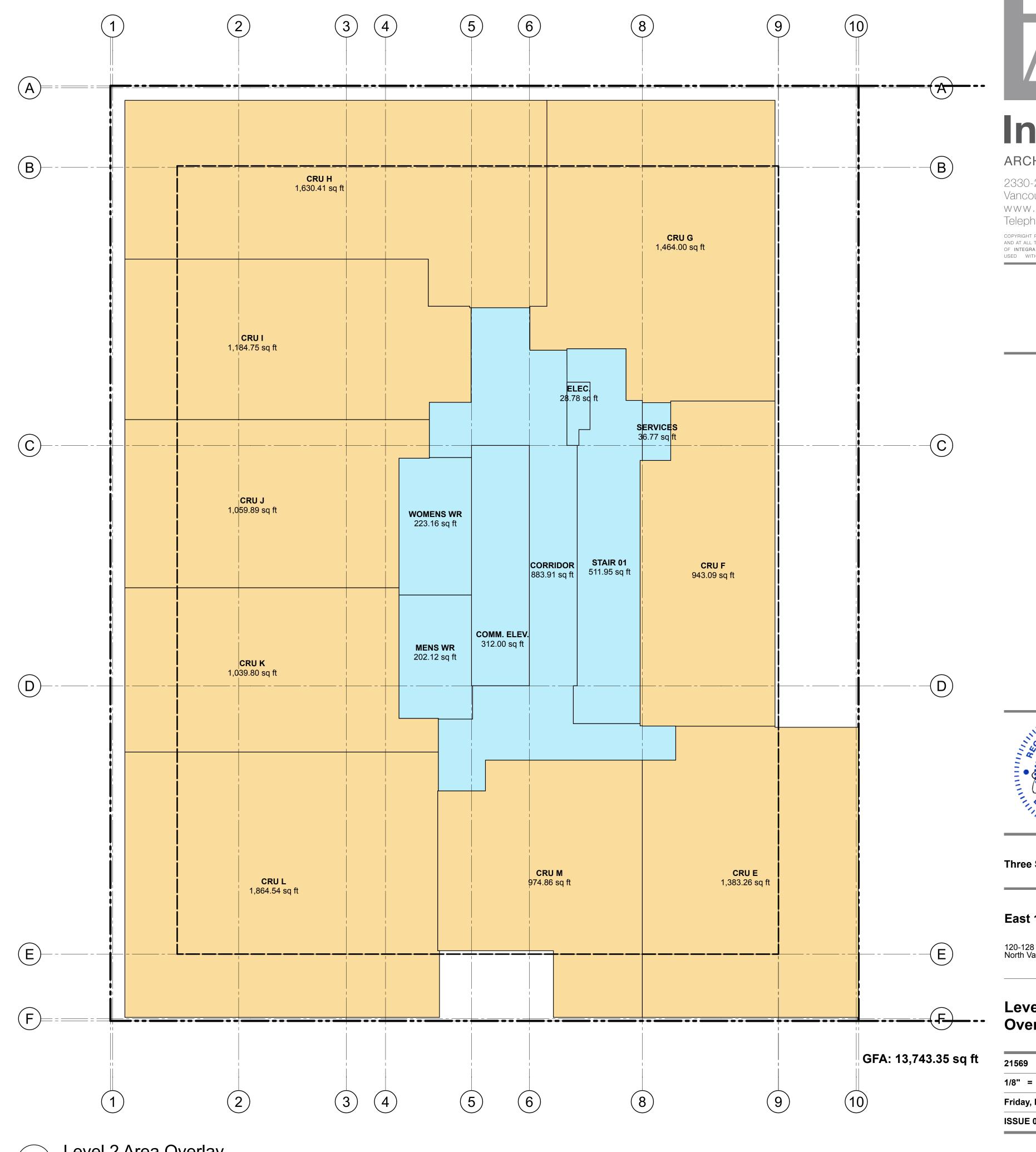
Site Study 130-134 E 14th St - Level 3 & 4 <u>(Typ.)</u>

[PROJECT] Friday, May 26, 2023 ISSUE 05.1 - RZ/DP

evel 1 Floor Plan	Zone Categor Circulation			Level 19 Floor Plan	Zone Category		l .	
				Level 19 Floor Flair	16.			
	Circulation	CORRIDOR-1 CORRIDOR-2	154.81 717.07		Circulation Circulation	CORRIDOR ELEC.		478.69 31.79
	Circulation Circulation	EDR ELEV.	334.19 312.00		Circulation Circulation	ELEVATOR SERVICES		216.67 33.65
	Circulation	GENERATOR ROOM	520.18		Circulation	STAIR 01		310.64
	Circulation Circulation	MAIL/PARCEL ROOM MAIN ELEC. ROOM	217.72 875.96	Level 20 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation Circulation	MECH. SERVICES STAIR 01	36.77 441.33		Circulation Circulation	CORRIDOR ELEC.		478.69 31.79
	Commercial Commercial	CRU A	683.22 1,277.11		Circulation	ELEVATOR		216.67
	Commercial	CRU C	516.58		Circulation Circulation	SERVICES STAIR 01		33.65 310.64
evel 2 Floor Plan	Commercial	CRU D	737.37	Level 21 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation	COMM. ELEV.	312.00	Level 21 Floor Plan	Circulation	CORRIDOR		438.41
	Circulation Circulation	CORRIDOR ELEC.	883.91 28.78		Circulation Circulation	ELEC. ELEVATOR		31.79 224.92
	Circulation Circulation	MENS WR SERVICES	202.12 36.77		Circulation	SERVICES		32.33
	Circulation	STAIR 01	511.95		Circulation Residential	STAIR 01 APARTMENTS		321.63 5,290.78
	Circulation Commercial	WOMENS WR CRU E	223.16 1,383.26					158,472.59
	Commercial Commercial	CRU F CRU G	943.09 1,464.00					
	Commercial	CRU H	1,630.41	LEVEL	FA AREA	LEV	GFA EL	AREA
	Commercial Commercial	CRU J	1,184.75 1,059.89	Level 1 Floor Plan	44.700.44	Level 12 Floor I	Plan	7,007,00
	Commercial Commercial	CRU K CRU L	1,039.80 1,864.54	Level 2 Floor Plan	11,708.41	Level 13 Floor I	Plan	7,367.66
I O Els Blan	Commercial	CRU M	974.86	1. 1051 81	13,743.35		<u> </u>	7,367.66
evel 3 Floor Plan	Circulation	CORRIDOR	493.08	Level 3 Floor Plan	7,367.66	Level 14 Floor I	Plan	7,367.66
	Circulation Circulation	ELEC. ELEVATOR	31.79 224.92	Level 4 Floor Plan	<u> </u>	Level 15 Floor I	Plan	
	Circulation	SERVICES	32.33	Level 5 Floor Plan	7,367.66	Level 16 Floor I	Plan	7,367.66
	Circulation Residential	STAIR 01 APARTMENTS	321.63 3,900.20		7,367.66			7,367.66
evel 4 Floor Plan				Level 6 Floor Plan	7,367.66	Level 17 Floor I	Plan	7,367.66
	Circulation Circulation	CORRIDOR ELEC.	510.04 31.79	Level 7 Floor Plan	<u> </u>	Level 18 Floor I	Plan	
	Circulation Circulation	ELEVATOR SERVICES	224.92 32.33	Level 8 Floor Plan	7,367.66	Level 19 Floor I	 Plan	7,367.66
	Circulation	STAIR 01	321.63		7,367.66			7,367.66
evel 5 Floor Plan	Residential	APARTMENTS	6,246.95	Level 9 Floor Plan	7,367.66	Level 20 Floor I	Plan	7,367.66
	Circulation	CORRIDOR	478.69	Level 10 Floor Plan	· · · · · · · · · · · · · · · · · · ·	Level 21 Floor I	Plan	
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 11 Floor Plan	7,367.66			6,339.87 164,409.51
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	LOVEL IT FIGURE FIAM	7,367.66			104,403.51
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evel 6 Floor Plan	Circulation	CORRIDOR	478.69	LEVEL		XCLUSIONS e Name		AREA
	Circulation	ELEC.	31.79	Level 1 Floor Plan	Inus oronios			
	Circulation Circulation	ELEVATOR	216.67 33.65		BIKE STORAGE COMM. ELEV. LO	OBBY		2,805.19 308.98
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23		COURTYARD			300.37
evel 7 Floor Plan	Incesidential	[AFAIXTIVILINTS]	0,370.23		RES. LOBBY STAIR 02			255.63 151.55
	Circulation Circulation	CORRIDOR ELEC.	478.09 31.79		STAIR 03			191.35
	Circulation	ELEVATOR	216.67		STAIR 04 VEST. / LOBBY			102.41 768.44
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 3 Floor Plan				
evel 8 Floor Plan	Residential	APARTMENTS	6,378.23		INDOOR AMENI	ТҮ		2,363.97 7,247.89
evel o Floor Plan	Circulation	CORRIDOR	478.09					
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	LEVEL		MENT AREA		ADEA
	Circulation	SERVICES	33.65	Level 3 Floor Plan	Zone Category	Name		AREA
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 4 Floor Plan	Residential	APARTMENTS		3,900.20
evel 9 Floor Plan	Circulation	CORRIDOR	470.60	Level 4 Floor Plan	Residential	APARTMENTS		6,246.95
	Circulation	ELEC.	478.69 31.79	Level 5 Floor Plan	Decidential	APARTMENTS	•	6,378.23
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 6 Floor Plan	Residential	APARTMENTS		0,376.23
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 7 Floor Plan	Residential	APARTMENTS		6,378.23
evel 10 Floor Plan	reordential		·		Residential	APARTMENTS		6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 8 Floor Plan	Residential	APARTMENTS		6 279 22
	Circulation	ELEVATOR	216.67	Level 9 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Lovel 40 Floor Plan	Residential	APARTMENTS		6,378.23
evel 11 Floor Plan	Residential	APARTMENTS	6,378.23	Level 10 Floor Plan	Residential	APARTMENTS		6,378.23
ever ii i iooi i iaii	Circulation	CORRIDOR	478.69	Level 11 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 12 Floor Plan	Residential	AFARTWENTS		0,378.23
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 13 Floor Plan	Residential	APARTMENTS		6,378.23
	Residential	APARTMENTS	6,378.23	LOVEL TO FIGUR FIGHT	Residential	APARTMENTS		6,378.23
evel 12 Floor Plan	Circulation	CORRIDOR	478.69	Level 14 Floor Plan	Residential	APARTMENTS		6.070.00
	Circulation	ELEC.	31.79	Level 15 Floor Plan				6,378.23
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 16 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Feat 10 LIOOL LIAU	Residential	APARTMENTS		6,378.23
evel 13 Floor Plan				Level 17 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 18 Floor Plan			L	
	Circulation Circulation	ELEVATOR SERVICES	216.67	Level 19 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation	STAIR 01	33.65 310.64		Residential	APARTMENTS		6,378.23
evel 14 Floor Plan	Residential	APARTMENTS	6,378.23	Level 20 Floor Plan	Residential	APARTMENTS		6,378.23
	Circulation	CORRIDOR	478.69	Level 21 Floor Plan				•
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Residential	APARTMENTS		5,290.78 117,489.61
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64			<u> </u>		117,403.01
	Residential	APARTMENTS	6,378.23	LEVEL	CF Zone Category	RU AREA Name		AREA
evel 15 Floor Plan	Circulation	CORRIDOR	478.69	LEVEL Level 1 Floor Plan			<u> </u>	
	Circulation	ELEC.	31.79		Commercial	CRU A		683.22
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65		Commercial Commercial	CRU B CRU C		1,277.11 516.58
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level C E'	Commercial	CRU D		737.37
evel 16 Floor Plan	•		·	Level 2 Floor Plan	Commercial	CRU E		1,383.26
	Circulation	CORRIDOR ELEC.	478.69 31.79		Commercial	CRU F		943.09
	Circulation Circulation	ELEVATOR	31.79 216.67		Commercial Commercial	CRU G CRU H		1,464.00 1,630.41
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64		Commercial	CRU I		1,184.75
	Residential	APARTMENTS	6,378.23		Commercial Commercial	CRU J CRU K		1,059.89 1,039.80
	Circulation	CORRIDOR	478.69		Commercial	CRU L		1,864.54
evel 17 Floor Plan		ELEC.	31.79		Commercial	CRU M		974.86
evel 17 Floor Plan	Circulation						J	44 750 00
evel 17 Floor Plan	Circulation Circulation Circulation	ELEVATOR SERVICES	216.67 33.65					14,758.88
evel 17 Floor Plan	Circulation Circulation Circulation Circulation	ELEVATOR SERVICES STAIR 01	216.67 33.65 310.64					14,758.88
	Circulation Circulation Circulation Circulation Residential	ELEVATOR SERVICES STAIR 01 APARTMENTS	216.67 33.65 310.64 6,378.23					14,758.88
vel 17 Floor Plan	Circulation Circulation Circulation Circulation	ELEVATOR SERVICES STAIR 01	216.67 33.65 310.64					14,758.88



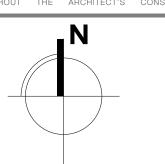
LEVEL	Zone Catego	ry Name	AREA	LEVEL	Zone Category	Name	AREA
evel 1 Floor Plan		- 1		Level 19 Floor Plan		!	
	Circulation Circulation	CORRIDOR-1 CORRIDOR-2	154.81 717.07	-	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79
	Circulation Circulation	EDR ELEV.	334.19 312.00	1	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65
	Circulation	GENERATOR ROOM	520.18		Circulation	STAIR 01	310.64
	Circulation Circulation	MAIL/PARCEL ROOM MAIN ELEC. ROOM	217.72 875.96	Level 20 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	MECH. SERVICES STAIR 01	36.77 441.33		Circulation Circulation	CORRIDOR ELEC.	478.69 31.79
	Commercial	CRU A	683.22		Circulation	ELEVATOR	216.67
	Commercial Commercial	CRU B CRU C	1,277.11 516.58]	Circulation Circulation	SERVICES STAIR 01	33.65 310.64
evel 2 Floor Plan	Commercial	CRU D	737.37	Lavel 24 Flags Plan	Residential	APARTMENTS	6,378.23
	Circulation	COMM. ELEV.	312.00	Level 21 Floor Plan	Circulation	CORRIDOR	438.41
	Circulation Circulation	CORRIDOR ELEC.	883.91 28.78	-	Circulation Circulation	ELEC. ELEVATOR	31.79 224.92
	Circulation Circulation	MENS WR SERVICES	202.12 36.77]	Circulation	SERVICES	32.33
	Circulation	STAIR 01	511.95	1	Circulation Residential	STAIR 01 APARTMENTS	321.63 5,290.78
	Circulation Commercial	WOMENS WR CRU E	223.16 1,383.26				158,472.59
	Commercial Commercial	CRU F CRU G	943.09 1,464.00	-			054
	Commercial	CRU H	1,630.41 1,184.75	LEVEL	FA AREA	LEVI	GFA AREA
	Commercial Commercial	CRU J	1,059.89	Level 1 Floor Plan	44.700	Level 12 Floor P	
	Commercial Commercial	CRU K CRU L	1,039.80 1,864.54	Level 2 Floor Plan	11,708.4	Level 13 Floor F	7,367.66 Plan
vel 3 Floor Plan	Commercial	CRU M	974.86	Level 2 Floor Plan	13,743.3		7,367.66
evel 3 Floor Plan	Circulation	CORRIDOR	493.08	Level 3 Floor Plan	7,367.6	Level 14 Floor F	7,367.66
	Circulation Circulation	ELEC. ELEVATOR	31.79 224.92	Level 4 Floor Plan		Level 15 Floor P	<u> </u>
	Circulation	SERVICES	32.33	Level 5 Floor Plan	7,367.6	Level 16 Floor F	7,367.66 Plan
	Circulation Residential	STAIR 01 APARTMENTS	321.63 3,900.20		7,367.6	66	7,367.66
vel 4 Floor Plan			,	Level 6 Floor Plan	7,367.6	Level 17 Floor F	Plan 7,367.66
	Circulation Circulation	CORRIDOR ELEC.	510.04 31.79	Level 7 Floor Plan	<u>'</u>	Level 18 Floor F	Plan
	Circulation Circulation	ELEVATOR SERVICES	224.92 32.33	Level 8 Floor Plan	7,367.6	Level 19 Floor F	7,367.66 Plan
	Circulation Residential	STAIR 01 APARTMENTS	321.63 6,246.95		7,367.6	66	7,367.66
vel 5 Floor Plan	•		0,240.95	Level 9 Floor Plan	7,367.6	Level 20 Floor F	Plan 7,367.66
_	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 10 Floor Plan	<u> </u>	Level 21 Floor P	Plan
	Circulation	ELEVATOR	216.67	Level 11 Floor Plan	7,367.6	00	6,339.87 164,409.5 1
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64		7,367.6	66	, , , , , , , , , , , , , , , , , , , ,
evel 6 Floor Plan	Residential	APARTMENTS	6,378.23		GFA	EXCLUSIONS	
VI IOOI PIAII	Circulation	CORRIDOR	478.69	LEVEL		ne Name	AREA
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 1 Floor Plan	BIKE STORAG	E	2,805.19
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	1	COMM. ELEV.	LOBBY	308.98
	Residential	APARTMENTS	6,378.23]	COURTYARD RES. LOBBY		300.37 255.63
evel 7 Floor Plan	Circulation	CORRIDOR	478.09		STAIR 02		151.55
	Circulation	ELEC.	31.79		STAIR 03 STAIR 04		191.35 102.41
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	-	VEST. / LOBBY	,	768.44
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 3 Floor Plan	INDOOR AMEN	NITY	2,363.97
evel 8 Floor Plan	reolaemar		0,010.20				7,247.89
	Circulation Circulation	CORRIDOR ELEC.	478.09 31.79		ΑΡΑΙ	RTMENT AREA	
	Circulation	ELEVATOR	216.67	LEVEL	Zone Category	Name	AREA
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 3 Floor Plan	Residential	APARTMENTS	3,900.20
evel 9 Floor Plan	Residential	APARTMENTS	6,378.23	Level 4 Floor Plan			· · · · · · · · · · · · · · · · · · ·
	Circulation	CORRIDOR	478.69	Level 5 Floor Plan	Residential	APARTMENTS	6,246.95
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Residential	APARTMENTS	6,378.23
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 6 Floor Plan	Residential	APARTMENTS	6,378.23
	Residential	APARTMENTS	6,378.23	Level 7 Floor Plan			<u> </u>
evel 10 Floor Plan	Circulation	CORRIDOR	478.69	Level 8 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Residential	APARTMENTS	6,378.23
	Circulation	SERVICES	33.65	Level 9 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 10 Floor Plan			· ·
evel 11 Floor Plan				Level 11 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79		Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 12 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	STAIR 01	310.64	Level 13 Floor Plan			,
evel 12 Floor Plan	Residential	APARTMENTS	6,378.23	Level 14 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79		Residential	APARTMENTS	6,378.23
	Circulation	ELEVATOR	216.67	Level 15 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 16 Floor Plan			,
vel 13 Floor Plan	Residential	APARTMENTS	6,378.23	Level 17 Floor Plan	Residential	APARTMENTS	6,378.23
VEL 13 FIOOF PIAN	Circulation	CORRIDOR	478.69		Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 18 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	SERVICES STAIR 01	33.65 310.64	Level 19 Floor Plan			
	Circulation Residential	APARTMENTS	6,378.23	Level 20 Floor Plan	Residential	APARTMENTS	6,378.23
evel 14 Floor Plan	Circulation	CORRIDOR	478.69	Lovel 04 Etc. Etc.	Residential	APARTMENTS	6,378.23
	Circulation	ELEC.	31.79	Level 21 Floor Plan	Residential	APARTMENTS	5,290.78
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65				117,489.61
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23			CRU AREA	
vel 15 Floor Plan		•	·	LEVEL	Zone Category	Name	AREA
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 1 Floor Plan	Commercial	CRU A	683.22
	Circulation	ELEVATOR	216.67	11	Commercial	CRU B	1,277.11
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64]	Commercial Commercial	CRU C	516.58 737.37
vel 16 Floor Plan	Residential	APARTMENTS	6,378.23	Level 2 Floor Plan			
VOLTOTIOUI FIAII	Circulation	CORRIDOR	478.69]	Commercial Commercial	CRU E	1,383.26 943.09
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	11	Commercial	CRU G	1,464.00
	Circulation	SERVICES	33.65	11	Commercial Commercial	CRU H CRU I	1,630.41 1,184.75
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23]	Commercial	CRU J	1,059.89
	<u> </u>			1.1	Commercial	CRU K	1,039.80
evel 17 Floor Plan		CORRIDOR	·	11			1 964 54
vel 17 Floor Plan	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79		Commercial Commercial	CRU L CRU M	974.86
vel 17 Floor Plan	Circulation Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Commercial	CRU L	1,864.54 974.86 14,758.88
vel 17 Floor Plan	Circulation Circulation	ELEC.	31.79		Commercial	CRU L	974.86





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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 2 Area

[TITLE]

Overlay

21569

1/8" = 1'-0", 1' = 1'-0" [DATE]

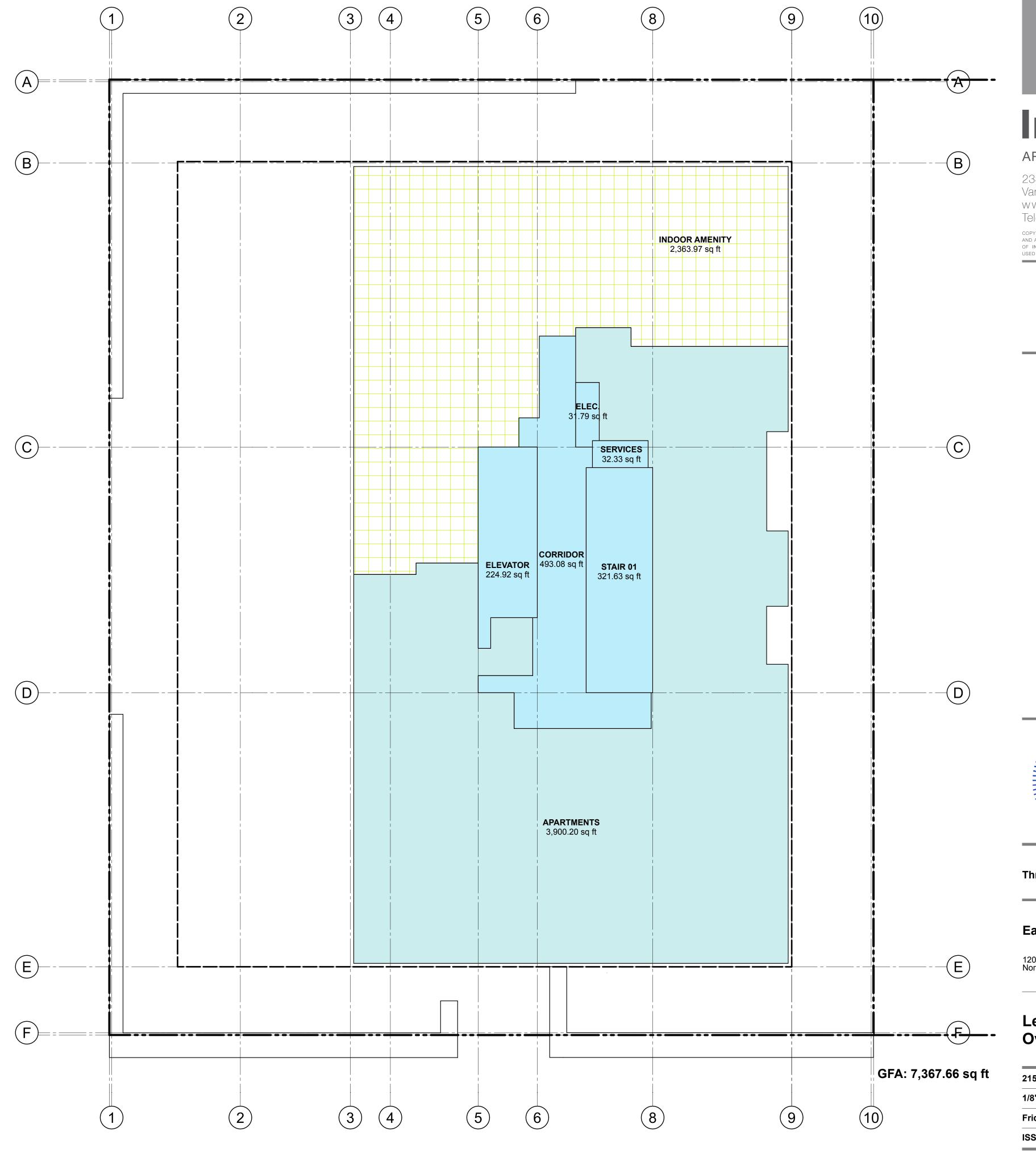
Friday, May 26, 2023

[ISSUE 05.1 - RZ/DP]

Level 2 Area Overlay

SCALE: 1/8" = 1'-0"

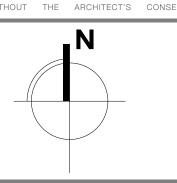
LEVEL Level 1 Floor Plan	Circulation Circulation	y Name	AREA	LEVEL	Zone Category	Name	AREA
	Circulation			Level 19 Floor Plan			
		CORRIDOR-1 CORRIDOR-2	154.81 717.07	-	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79
	Circulation Circulation	EDR ELEV.	334.19 312.00]	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65
	Circulation Circulation	GENERATOR ROOM MAIL/PARCEL ROOM	520.18 217.72	1	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23
	Circulation	MAIN ELEC. ROOM MECH. SERVICES	875.96 36.77	Level 20 Floor Plan			
	Circulation Circulation	STAIR 01	441.33		Circulation Circulation	CORRIDOR ELEC.	478.69 31.79
	Commercial Commercial	CRU A CRU B	683.22 1,277.11		Circulation Circulation	ELEVATOR SERVICES	216.67 33.65
	Commercial Commercial	CRU C CRU D	516.58 737.37		Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23
vel 2 Floor Plan	•	·		Level 21 Floor Plan	Residential	APARTIVIENTS	0,376.23
	Circulation Circulation	COMM. ELEV.	312.00 883.91		Circulation Circulation	CORRIDOR ELEC.	438.41 31.79
	Circulation Circulation	ELEC. MENS WR	28.78 202.12]	Circulation	ELEVATOR SERVICES	224.92 32.33
	Circulation Circulation	SERVICES STAIR 01	36.77 511.95	1	Circulation Circulation	STAIR 01	321.63
	Circulation	WOMENS WR	223.16		Residential	APARTMENTS	5,290.78 158,472.5 9
	Commercial Commercial	CRU E CRU F	1,383.26 943.09				100, 112100
	Commercial Commercial	CRU G CRU H	1,464.00 1,630.41		FA		GFA
	Commercial Commercial	CRU I CRU J	1,184.75 1,059.89	LEVEL Level 1 Floor Plan	AREA	LEVEL Level 12 Floor Plan	AREA
	Commercial	CRU K	1,039.80	Level 2 Floor Plan	11,708.41	Level 13 Floor Plan	7,367.66
	Commercial Commercial	CRU L CRU M	1,864.54 974.86	Level 2 Floor Plan	13,743.35		7,367.66
vel 3 Floor Plan	Circulation	CORRIDOR	493.08	Level 3 Floor Plan	7,367.66	Level 14 Floor Plan	7,367.66
	Circulation Circulation	ELEC.	31.79	Level 4 Floor Plan	7,367.60	Level 15 Floor Plan	· ·
	Circulation Circulation	ELEVATOR SERVICES	224.92 32.33	Lovel 5 Floor Plon	7,367.66		7,367.66
	Circulation Residential	STAIR 01 APARTMENTS	321.63 3,900.20	Level 5 Floor Plan	7,367.66	Level 16 Floor Plan	7,367.66
vel 4 Floor Plan	Residential	AFARTIMENTS	3,900.20	Level 6 Floor Plan	7 267 66	Level 17 Floor Plan	
	Circulation Circulation	CORRIDOR ELEC.	510.04 31.79	Level 7 Floor Plan	7,367.66	Level 18 Floor Plan	
	Circulation	ELEVATOR	224.92	Level 8 Floor Plan	7,367.66	Level 19 Floor Plan	7,367.66
	Circulation Circulation	SERVICES STAIR 01	32.33 321.63		7,367.66	5	7,367.66
vel 5 Floor Plan	Residential	APARTMENTS	6,246.95	Level 9 Floor Plan	7,367.66	Level 20 Floor Plan	7,367.66
i iooi r iall	Circulation	CORRIDOR	478.69	Level 10 Floor Plan		Level 21 Floor Plan	
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 11 Floor Plan	7,367.66	<u> </u>	6,339.87 164,409.5 1
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level II Floor Plan	7,367.66	<u> </u>	164,409.51
	Residential	APARTMENTS	310.64 6,378.23				
vel 6 Floor Plan	Circulation	CORRIDOR	478.69	LEVEL		EXCLUSIONS le Name	AREA
	Circulation	ELEC.	31.79	Level 1 Floor Plan		. 1	0.005.46
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65		BIKE STORAGE COMM. ELEV. L		2,805.19 308.98
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23		COURTYARD		300.37
vel 7 Floor Plan	Troolderida				RES. LOBBY STAIR 02		255.63 151.55
	Circulation Circulation	CORRIDOR ELEC.	478.09 31.79		STAIR 03		191.35
	Circulation	ELEVATOR	216.67	-	STAIR 04 VEST. / LOBBY		102.41 768.44
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 3 Floor Plan			
evel 8 Floor Plan	Residential	APARTMENTS	6,378.23		INDOOR AMENI	ITY	2,363.97 7,247.8 9
	Circulation	CORRIDOR	478.09			•	·
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	LEVEL	Zone Category	TMENT AREA Name	AREA
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 3 Floor Plan			
	Residential	APARTMENTS	6,378.23	Level 4 Floor Plan	Residential	APARTMENTS	3,900.20
evel 9 Floor Plan	Circulation	CORRIDOR	478.69		Residential	APARTMENTS	6,246.95
	Circulation	ELEC.	31.79	Level 5 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 6 Floor Plan			· · · · · · · · · · · · · · · · · · ·
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 7 Floor Plan	Residential	APARTMENTS	6,378.23
vel 10 Floor Plan					Residential	APARTMENTS	6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 8 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 9 Floor Plan			
	Circulation	STAIR 01	310.64	Level 10 Floor Plan	Residential	APARTMENTS	6,378.23
vel 11 Floor Plan	Residential	APARTMENTS	6,378.23		Residential	APARTMENTS	6,378.23
	Circulation	CORRIDOR	478.69	Level 11 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 12 Floor Plan	·		
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64	Level 13 Floor Plan	Residential	APARTMENTS	6,378.23
vol 40 FI F:	Residential	APARTMENTS	6,378.23		Residential	APARTMENTS	6,378.23
vel 12 Floor Plan	Circulation	CORRIDOR	478.69	Level 14 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67	Level 15 Floor Plan			
	Circulation	SERVICES	33.65	Level 16 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23		Residential	APARTMENTS	6,378.23
vel 13 Floor Plan	Circulation			Level 17 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 18 Floor Plan			
	Circulation Circulation	ELEVATOR SERVICES	216.67 33.65	Level 19 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation	STAIR 01 APARTMENTS	310.64		Residential	APARTMENTS	6,378.23
vel 14 Floor Plan	Residential	TOTALTMENTS	6,378.23	Level 20 Floor Plan	Residential	APARTMENTS	6,378.23
	Circulation Circulation	CORRIDOR ELEC.	478.69 31.79	Level 21 Floor Plan			· · · · · · · · · · · · · · · · · · ·
	Circulation	ELEVATOR	216.67	1	Residential	APARTMENTS	5,290.78 117,489.6 1
	Circulation Circulation	SERVICES STAIR 01	33.65 310.64		•		
	Residential	APARTMENTS	6,378.23	LEVEL	Zone Category	RU AREA Name	AREA
/AI 15 LIAA. '''-'	Circulation	CORRIDOR	478.69	Level 1 Floor Plan			
/el 15 Floor Plan	Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Commercial Commercial	CRU A CRU B	683.22 1,277.11
/el 15 Floor Plan	Circulation	SERVICES	33.65	11	Commercial	CRU C	516.58
vel 15 Floor Plan	Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23	Level 2 Floor Plan	Commercial	CRU D	737.37
vel 15 Floor Plan				Level 2 Floor Plan	Commercial	CRU E	1,383.26
vel 15 Floor Plan			470.00	11	Commercial	CRU F	943.09
	Circulation	CORRIDOR ELEC.	478.69 31.79	11			1 464 00
	Circulation Circulation Circulation	ELEC. ELEVATOR	31.79 216.67		Commercial Commercial	CRU G CRU H	1,464.00 1,630.41
	Circulation Circulation Circulation Circulation Circulation	ELEC. ELEVATOR SERVICES STAIR 01	31.79 216.67 33.65 310.64		Commercial Commercial	CRU H CRU I	1,630.41 1,184.75
vel 16 Floor Plan	Circulation Circulation Circulation Circulation	ELEC. ELEVATOR SERVICES	31.79 216.67 33.65		Commercial	CRU H	1,630.41 1,184.75 1,059.89
	Circulation Circulation Circulation Circulation Circulation Residential	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR	31.79 216.67 33.65 310.64 6,378.23		Commercial Commercial Commercial Commercial	CRU H CRU I CRU J CRU K CRU L	1,630.41 1,184.75 1,059.89 1,039.80 1,864.54
vel 16 Floor Plan	Circulation Circulation Circulation Circulation Circulation Residential Circulation Circulation	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC.	31.79 216.67 33.65 310.64 6,378.23 478.69 31.79		Commercial Commercial Commercial	CRU H CRU I CRU J CRU K	1,630.41 1,184.75 1,059.89 1,039.80 1,864.54 974.86
vel 16 Floor Plan	Circulation Circulation Circulation Circulation Circulation Residential Circulation Circulation Circulation Circulation Circulation Circulation	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES	31.79 216.67 33.65 310.64 6,378.23 478.69 31.79 216.67 33.65		Commercial Commercial Commercial Commercial	CRU H CRU I CRU J CRU K CRU L	1,630.41 1,184.75 1,059.89 1,039.80 1,864.54
el 16 Floor Plan	Circulation Circulation Circulation Circulation Circulation Residential Circulation Circulation Circulation Circulation	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR	31.79 216.67 33.65 310.64 6,378.23 478.69 31.79 216.67		Commercial Commercial Commercial Commercial	CRU H CRU I CRU J CRU K CRU L	1,630.4 1,184.7 1,059.8 1,039.8 1,864.5 974.8



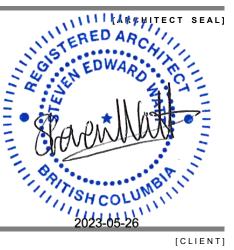


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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 3 Area Overlay

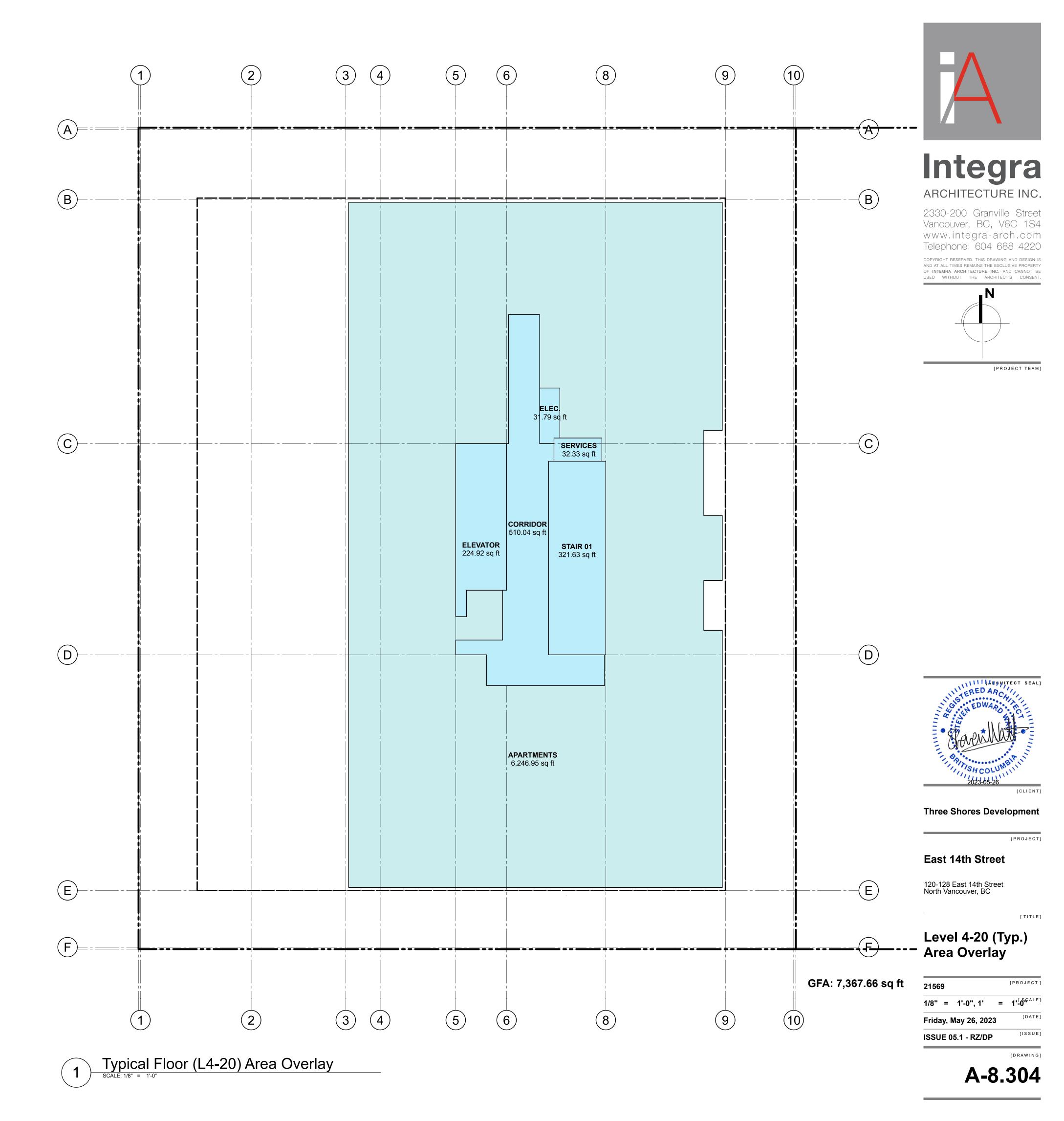
[TITLE]

21569	[PROJECT]				
1/8" = 1'-0", 1' =	1'-0° (SALE)				
Friday, May 26, 2023					
ISSUE 05.1 - RZ/DP	[ISSUE]				

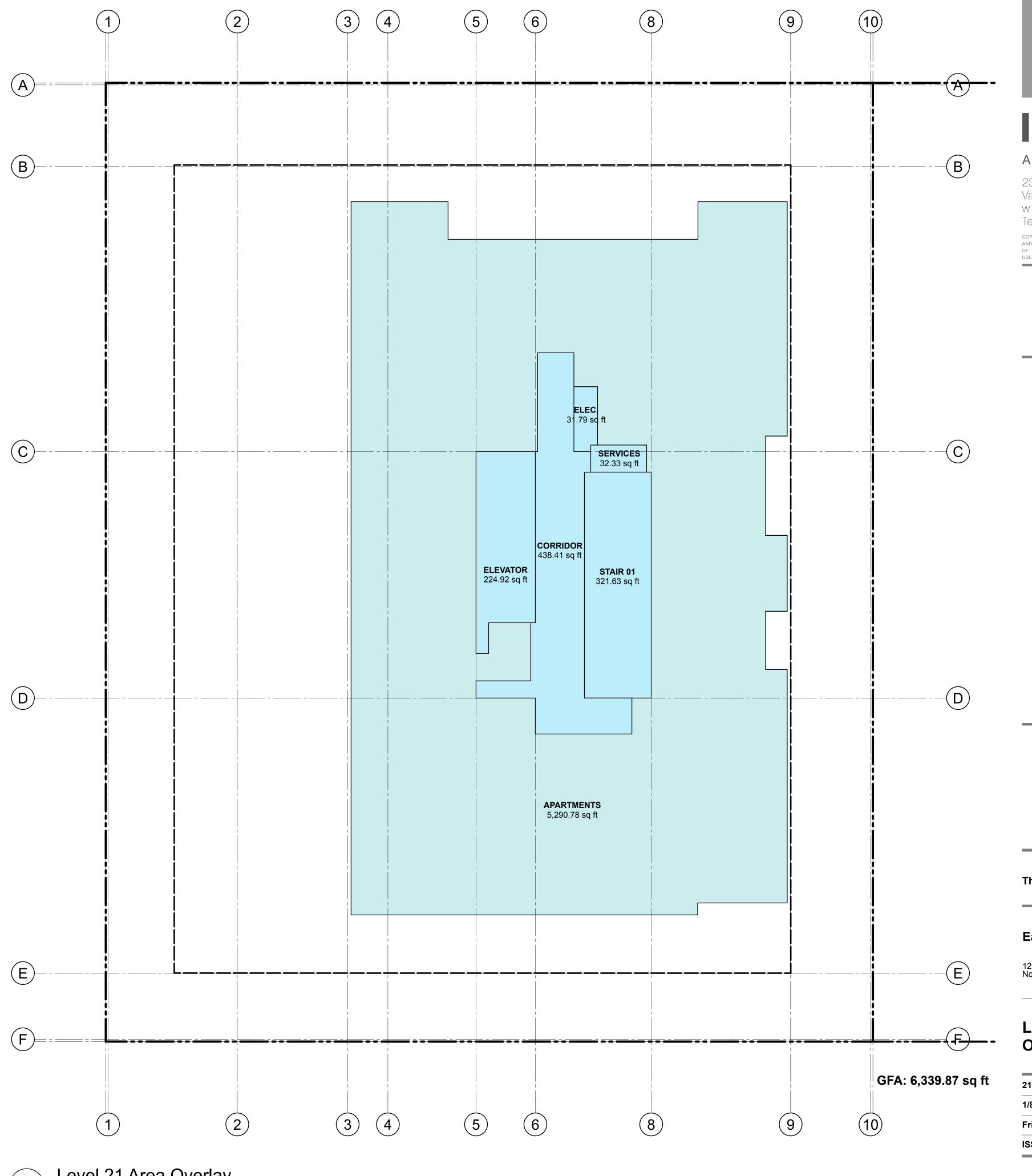
Level 3 Area Overlay

SCALE: 1/8" = 1'-0"

Circulation	Level 20 Floor Plan Level 21 Floor Plan Level 21 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan		Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 16 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS The Name	Plan Plan	478.69 31.79 216.67 33.65 310.64 6,378.23 478.69 31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Circulation CORRIDOR-2 717.07	Level 21 Floor Plan G LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan	Circulation Circulation Circulation Residential Circulation Circu	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS LEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 19 Floor F Level 20 Floor F ELEVEL STAIR F LEVEL STAIR	Plan Plan	31.79 216.67 33.65 310.64 6,378.23 478.69 31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Circulation EDR 334.19	Level 21 Floor Plan G LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan	Circulation Circulation Residential Circulation Circu	ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS LEVATOR SERVICES STAIR 01 APARTMENTS LEVEL 12 Floor F LEVEL 14 Floor F LEVEL 15 Floor F LEVEL 17 Floor F LEVEL 17 Floor F LEVEL 18 Floor F LEVEL 19 Floor F LEVEL 19 Floor F LEVEL 19 Floor F ELEVEL 1	Plan Plan	216.67 33.65 310.64 6,378.23 478.69 31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Circulation GENERATOR ROOM 520.18	Level 21 Floor Plan G LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan	Circulation Residential Circulation Residential FA AREA 11,708.4 13,743.33 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 RESIDENTIAL TOTAL T	STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS Level 21 Floor F EXCLUSIONS Level 21 Floor F	Plan Plan	310.64 6,378.23 478.69 31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Circulation	Level 21 Floor Plan G LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan	Circulation Circulation Circulation Circulation Circulation Residential Circulation Circulation Circulation Circulation Circulation Circulation Circulation Residential Graulation Tracelation Trace	CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS LEVEL 12 Floor FI LEVEL 13 Floor FI LEVEL 14 Floor FI LEVEL 15 Floor FI LEVEL 16 Floor FI LEVEL 17 Floor FI LEVEL 18 Floor FI LEVEL 19 FLO	Plan Plan	478.69 31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Circulation	Level 21 Floor Plan G LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 10 Floor Plan	Circulation Circulation Circulation Residential Circulation Circulation Circulation Circulation Circulation Circulation Circulation Residential FA AREA 11,708.4 13,743.39 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 FA BIKE STORAGE COMM. ELEV. L	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS LEVEL 12 Floor FEEE LEVEL 14 Floor FEEEE LEVEL 15 Floor FEEEEEEEEEEEEEEEEEEEEEEEEEEEEEEEEEEE	Plan Plan	31.79 216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Commercial CRU A 683 22	Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan	Circulation Circulation Circulation Residential	ELEVATOR SERVICES STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 17 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS LEXIT STATE STA	Plan Plan	216.67 33.65 310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Commercial CRU C 516.58 Commercial CRU D 737.37	Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan	Circulation Residential Circulation Circulation Circulation Circulation Circulation Circulation Residential	STAIR 01 APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS LEXALT STATE LEVEL 18 Floor F LEVEL 19 Floor F LEVEL 19 Floor F LEVEL 21 Floor F EXCLUSIONS	Plan Plan	310.64 6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66
Plan	Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan	Circulation Circulation Circulation Circulation Circulation Circulation Circulation Residential	APARTMENTS CORRIDOR ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS LEXALT SAME EXCLUSIONS LEVEL 18 FLOOR F LEVEL 19 FLOOR F LEVEL 21 FLOOR F	Plan Plan	6,378.23 438.41 31.79 224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 6,339.87
Circulation COMM. ELEV. 312.00	Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan	Circulation Circulation Circulation Circulation Circulation Residential Circulation Residential Circulation Residential Circulation Circulation Residential Circulation	ELEC. ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 16 Floor F Level 17 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F	Plan Plan	31.79 224.92 32.33 321.63 3,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 6,339.87
Circulation ELEC. 28.78	LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan Level 11 Floor Plan	Circulation Circulation Circulation Residential AREA 11,708.4 13,743.33 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 AREA 11,708.4 13,743.33	ELEVATOR SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 16 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F	Plan Plan	224.92 32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 6,339.87
Circulation SERVICES 36.77	LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan Level 11 Floor Plan	Circulation Circulation Residential AREA 11,708.4 13,743.33 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 AREA	SERVICES STAIR 01 APARTMENTS Level 12 Floor F Level 13 Floor F Level 14 Floor F Level 16 Floor F Level 17 Floor F Level 18 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F	Plan Plan	32.33 321.63 5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 6,339.87
Circulation STAIR 01 511.95	LEVEL Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 4 Floor Plan Level 5 Floor Plan Level 6 Floor Plan Level 7 Floor Plan Level 9 Floor Plan Level 10 Floor Plan Level 11 Floor Plan Level 11 Floor Plan	Residential	Level 13 Floor F Level 14 Floor F Level 15 Floor F Level 16 Floor F Level 17 Floor F Level 19 Floor F Level 20 Floor F Level 21 Floor F EXCLUSIONS The Name	Plan Plan	5,290.78 158,472.59 AREA 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 7,367.66 6,339.87
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Floor Plan Circulation CORRIDOR 478.69		Residential	APARTMENTS		6,246.95
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Circulation SERVICES 33.65	Level 6 Floor Plan				·
CirculationSTAIR 01310.64ResidentialAPARTMENTS6,378.23	Level 7 Floor Plan	Residential	APARTMENTS		6,378.23
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Residential APARTMENTS 6,378.23		Residential	APARTMENTS		6,378.23
Circulation CORRIDOR 478.69	Level 11 Floor Plan	Residential	APARTMENTS		6,378.23
CirculationELEC.31.79CirculationELEVATOR216.67	Level 12 Floor Plan	!			
CirculationSERVICES33.65CirculationSTAIR 01310.64	Level 13 Floor Plan	Residential	APARTMENTS		6,378.23
Residential APARTMENTS 6,378.23		Residential	APARTMENTS		6,378.23
2 Floor Plan Circulation CORRIDOR 478.69	Level 14 Floor Plan	Residential	APARTMENTS		6,378.23
Circulation ELEC. 31.79 Circulation ELEVATOR 216.67	Level 15 Floor Plan				·
Circulation SERVICES 33.65	Level 16 Floor Plan	Residential	APARTMENTS		6,378.23
CirculationSTAIR 01310.64ResidentialAPARTMENTS6,378.23		Residential	APARTMENTS		6,378.23
3 Floor Plan	Level 17 Floor Plan	Residential	APARTMENTS		6,378.23
CirculationCORRIDOR478.69CirculationELEC.31.79	Level 18 Floor Plan			I	·
CirculationELEVATOR216.67CirculationSERVICES33.65	Level 19 Floor Plan	Residential	APARTMENTS		6,378.23
Circulation STAIR 01 310.64		Residential	APARTMENTS		6,378.23
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Circulation ELEVATOR 216.67		Residential	APARTMENTS		5,290.78 117,489.61
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5 Floor Plan Circulation CORRIDOR 478.69	Level 1 Floor Plan				
Circulation ELEC. 31.79		Commercial Commercial	CRU A CRU B		683.22 1,277.11
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CirculationSTAIR 01310.64ResidentialAPARTMENTS6,378.23	Lovel 2 Floor Plan	Commercial	CRU D		737.37
6 Floor Plan	Level 2 Floor Plan	Commercial	CRU E		1,383.26
CirculationCORRIDOR478.69CirculationELEC.31.79		Commercial	CRU F		943.09
Circulation ELEVATOR 216.67		Commercial Commercial	CRU G CRU H		1,464.00 1,630.41
CirculationSERVICES33.65CirculationSTAIR 01310.64		Commercial	CRU I		1,184.75
Residential APARTMENTS 6,378.23 7 Floor Plan		Commercial Commercial	CRU J CRU K		1,059.89 1,039.80
Circulation CORRIDOR 478.69		Commercial	CRU L		1,864.54
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Circulation SERVICES 33.65		<u> </u>	1	I	17,790.00
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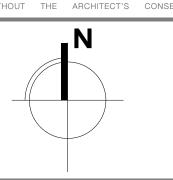
Comparison Com	LEVEL	Zone Categor	PREY MIXED-USE TOWER (F ry Name	AREA	LEVEL	Zone Category	Y MIXED-USE TOWER (Name	AREA
Company	evel 1 Floor Plan	Circulation	LCORRIDOR 1	154.01	Level 19 Floor Plan	Circulation	LCORRIDOR	478.69
Charleson Char		Circulation	CORRIDOR-2	717.07		Circulation	ELEC.	31.79
Counting		Circulation	ELEV.	312.00		Circulation	SERVICES	216.67 33.65
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CAMPACH CAMP	evel 2 Floor Plan				Level 21 Floor Plan	Circulation	I CORRIDOR	438.41
Displayer Disp						Circulation	ELEC.	31.79 224.92
Charles of Train Charles Charl		Circulation	MENS WR	202.12		Circulation	SERVICES	32.33
Contraction		Circulation	STAIR 01	511.95				321.63 5,290.78
Commercial Com		Commercial	CRU E	1,383.26				158,472.59
Land			CRU G	1,464.00		SFΔ		GFA
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Commission Com			CRU J CRU K		Level 1 Floor Plan	11,708.41		7,367.66
March Price Price March Price March Price March Price March Marc		Commercial	CRU L	1,864.54	Level 2 Floor Plan	12 7/2 25		7,367.66
Control Cont	vel 3 Floor Plan		•		Level 3 Floor Plan	<u>'</u>	Level 14 Floor Plan	,
Circulation P. P. MATCH 7-9-0 17-87 15-10					Level 4 Floor Plan	7,367.66		7,367.66
Transcript		Circulation	ELEVATOR	224.92		7,367.66	3	7,367.66
Ved A Floor Plan		Circulation	STAIR 01	321.63	Level 5 Floor Plan	7,367.66		7,367.66
Closed Company Compa	vel 4 Floor Plan	Residential	APARTMENTS	3,900.20	Level 6 Floor Plan	7,007,00		7,007,00
Concidence	_				Level 7 Floor Plan		Level 18 Floor Plan	7,367.66
Consideration Consideratio		Circulation	ELEVATOR	224.92	Level 8 Floor Plan	7,367.66		7,367.66
Control Cont		Circulation	STAIR 01	321.63		7,367.66	3	7,367.6
Circulation Control	vel 5 Floor Plan	Residential	APARTMENTS	6,246.95	Level 9 Floor Plan	7 367 66		7,367.60
Circulation C.E. C. WINDER S. G. F. C. WINDER S. G. G. G. WINDER S. G. G. WINDER S. G. G. G. G. G. WINDER S. G. G. G. G. WINDER S. G. G. G. G. G. G. WINDER S. G. G. G. G. G. G. G. WINDER S. G.	2 19011				Level 10 Floor Plan		Level 21 Floor Plan	,
Condition STOCKES 3.56		Circulation	ELEVATOR	216.67	Level 11 Floor Plan	7,367.66	5	6,339.87 164,409.5 7
Residential APRITIEUTS 6,272.25		Circulation	STAIR 01	310.64		7,367.66	5	1 23 1, 10010
Croutation Coffered 476 69 Condition File Corporation Condition File Corporation Condition Coffered Condition Coffered Condition Coffered Condition Coffered vel 6 Floor Plan	Residential	APARTMENTS	6,378.23		GFA E	XCLUSIONS		
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	vei / Floor Plan	Circulation	CORRIDOR	478.09				151.55 191.35
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REGIONAL PROPERTIES Comparison Compa		Circulation	SERVICES	33.65	Level 3 Floor Plan	VEST. / LOBBY		768.44
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Very Floor Plan		Circulation	SERVICES	33.65		Zone Category	Name	AREA
Page					Level 4 Floor Plan	Residential	APARTMENTS	3,900.20
Circulation ELEC 31,79 Circulation ELEVATOR 216,67 Circulation ELEVATOR 216,67 Circulation ELEVATOR 23,85 Circulation ELEVATOR 23,16	vel 9 Floor Plan	Circulation	CORRIDOR	478.69		Residential	APARTMENTS	6,246.95
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Circulation SERVICES 33.85 Residential APARTMENTS APARTM		Circulation	ELEC.	31.79	Lavel 40 Flace Black	Residential	APARTMENTS	6,378.23
Residential APARTMENTS 6,378.23					Level 12 Floor Plan	Residential	APARTMENTS	6,378.23
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Circulation ELEVATOR 216.67 Circulation SERVICES 33.65 Circulation SERVICES 33.65 Circulation STAR 01 310.44 Residential APARTMENTS	vel 12 Floor Plan				Level 14 Floor Plan			· · · · · · · · · · · · · · · · · · ·
Circulation ELEVATOR 216.67		Circulation	ELEC.	31.79	Level 15 Floor Plan	Residential	APARTMENTS	6,378.23
Circulation		Circulation	ELEVATOR	216.67		Residential	APARTMENTS	6,378.23
Circulation CORRIDOR 478.69		Circulation	STAIR 01	310.64	Level 16 Floor Plan	Residential	APARTMENTS	6,378.23
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Circulation ELEVATOR 216.67 Circulation SERVICES 33.65 Circulation STAIR 01 310.64 Residential APARTMENTS APART			ELEC.		Level 18 Floor Plan			· · · · · · · · · · · · · · · · · · ·
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1		Circulation Residential	STAIR 01 APARTMENTS	310.64 6,378.23				
rel 18 Floor Plan Circulation CORRIDOR 478.69	el 18 Floor Plan	•						





ARCHITECTURE INC.

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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 21 Area Overlay

[TITLE]

21569	[PROJECT]		
1/8" = 1'-0", 1' =	1'-0° CALE		
Friday, May 26, 2023	[DATE]		
ISSUE 05.1 - RZ/DP	[ISSUE]		
	ID DAWING 1		

Level 21 Area Overlay

SCALE: 1/8" = 1'-0"