

East 14th Street

Issue 01: RZ/DP Submission

Monday, January 31, 2022

Civic Address:
120-128 East 14th Street, North Vancouver, BC

Note: Drawings only to scale when printed on 24x36 sheets



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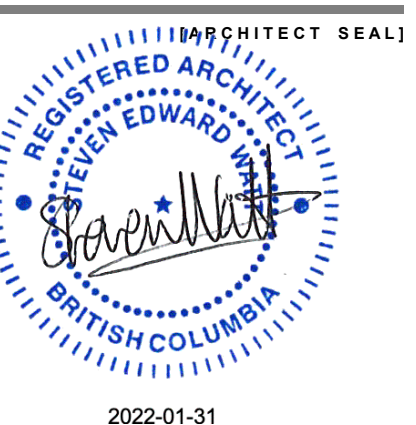


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[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Cover

21569

[PROJECT]

Not To Scale

[SCALE]

Monday, January 31, 2022

[DATE]

ISSUE 01 - RZ/DP APP.

[ISSUE]

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A-0.000

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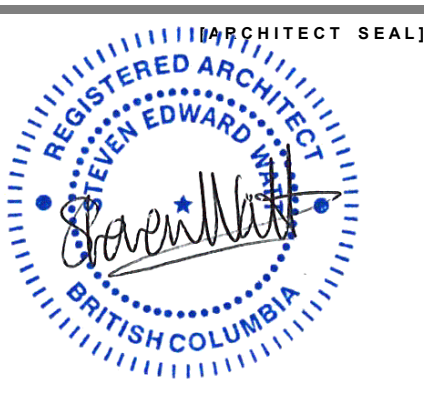
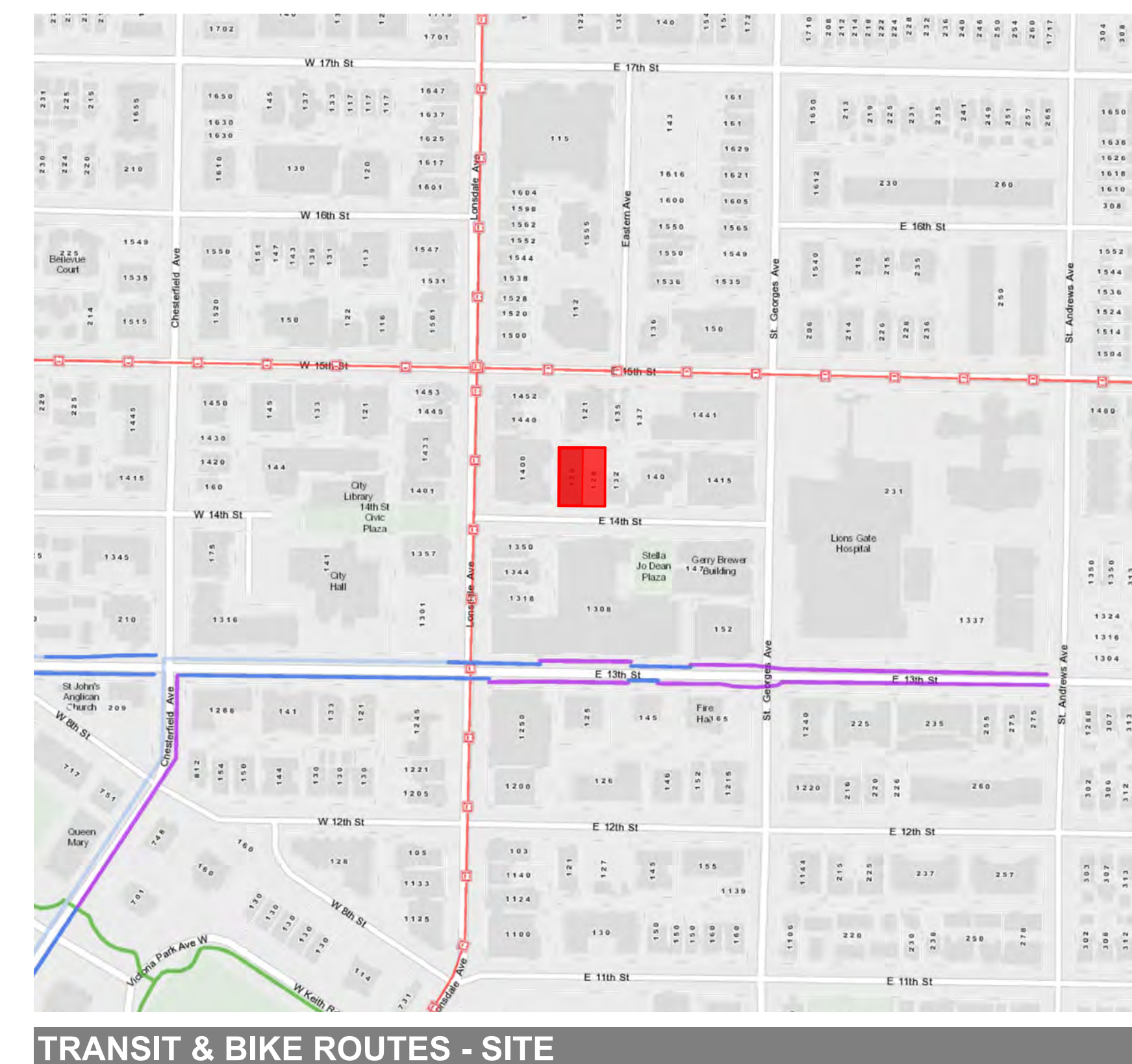
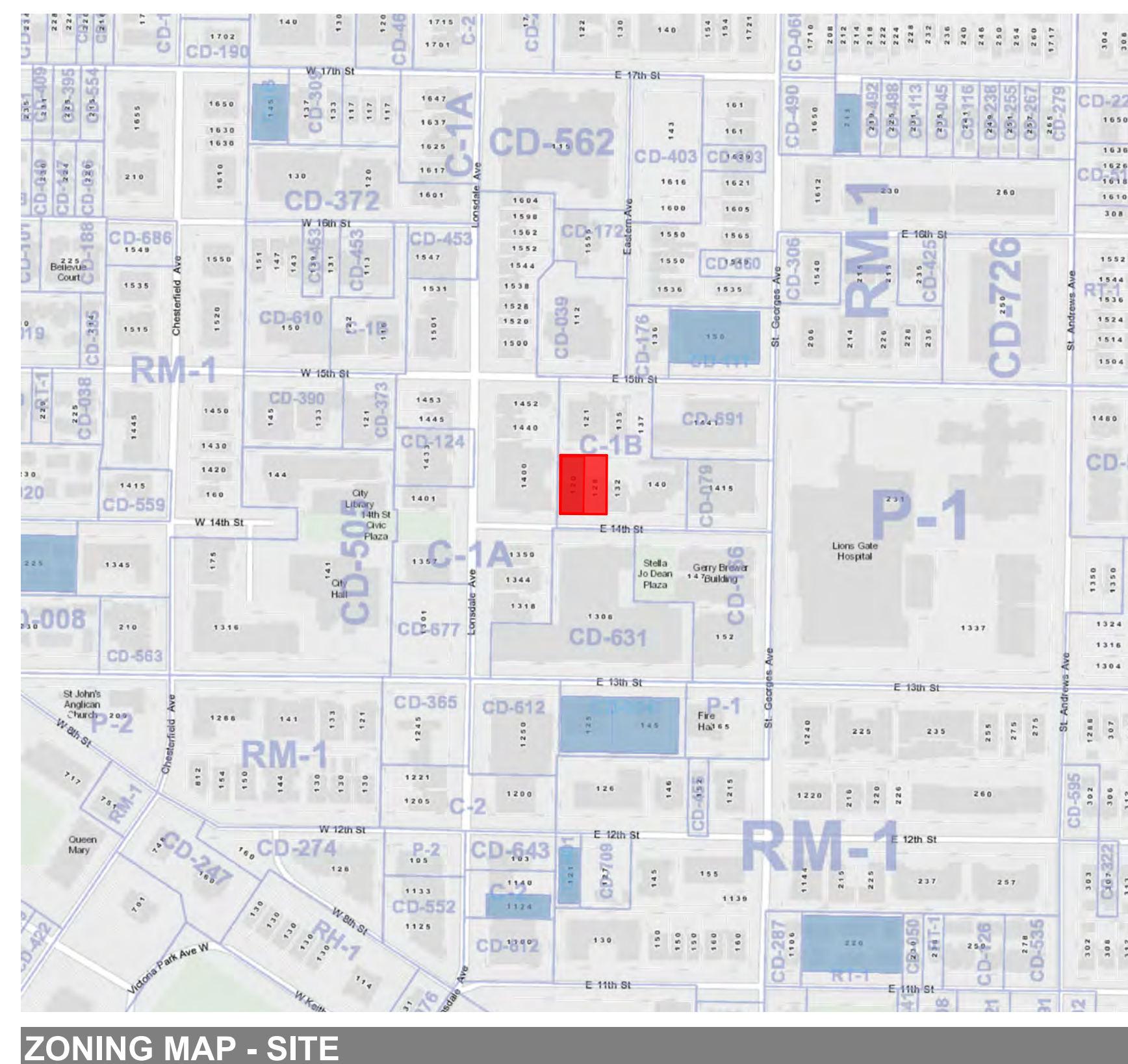
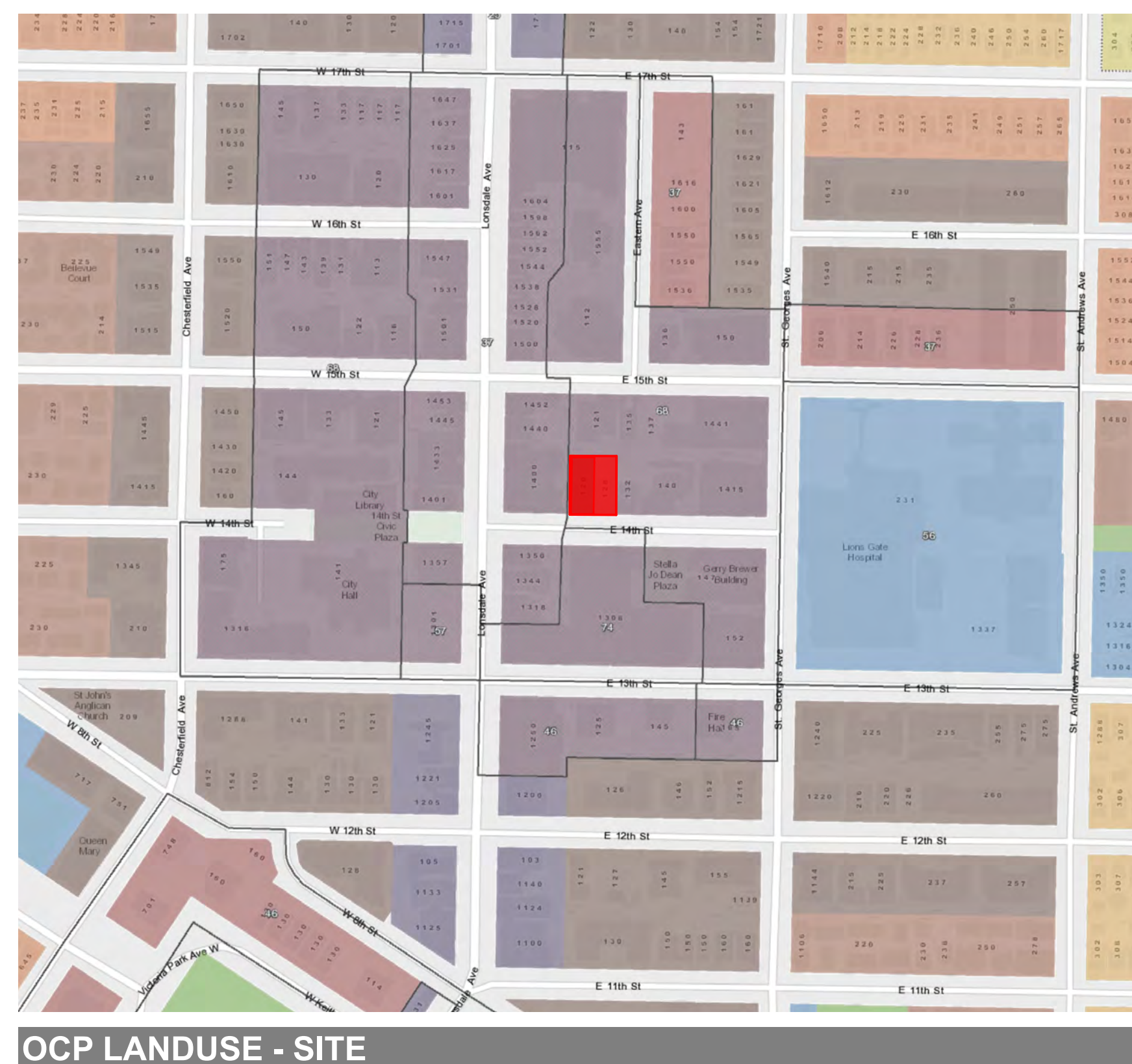
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OCP LANDUSE MAP - NORTH VANCOUVER



2022-01-31

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Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Context - Site
Location

[PROJECT]

21569

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[DATE]

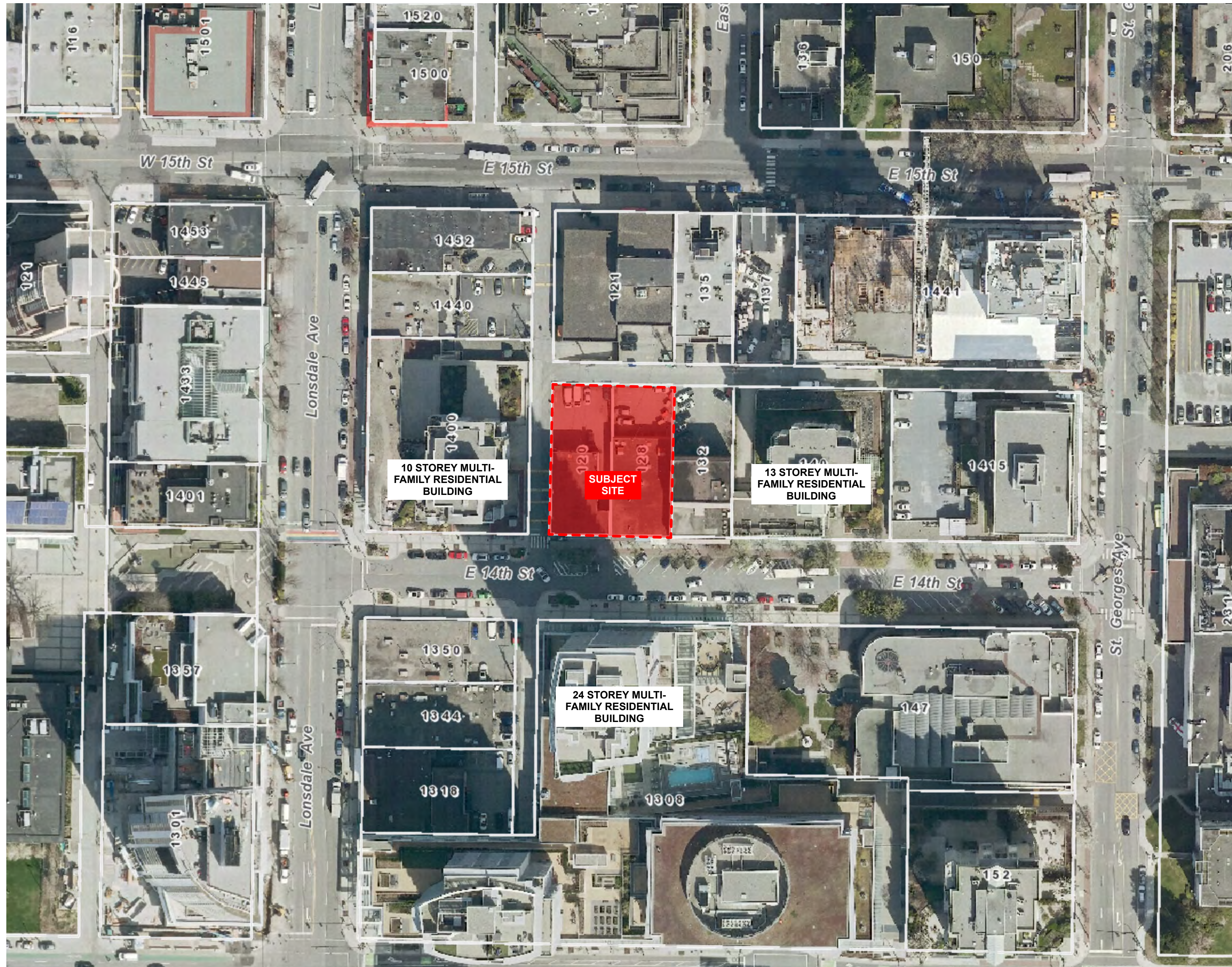
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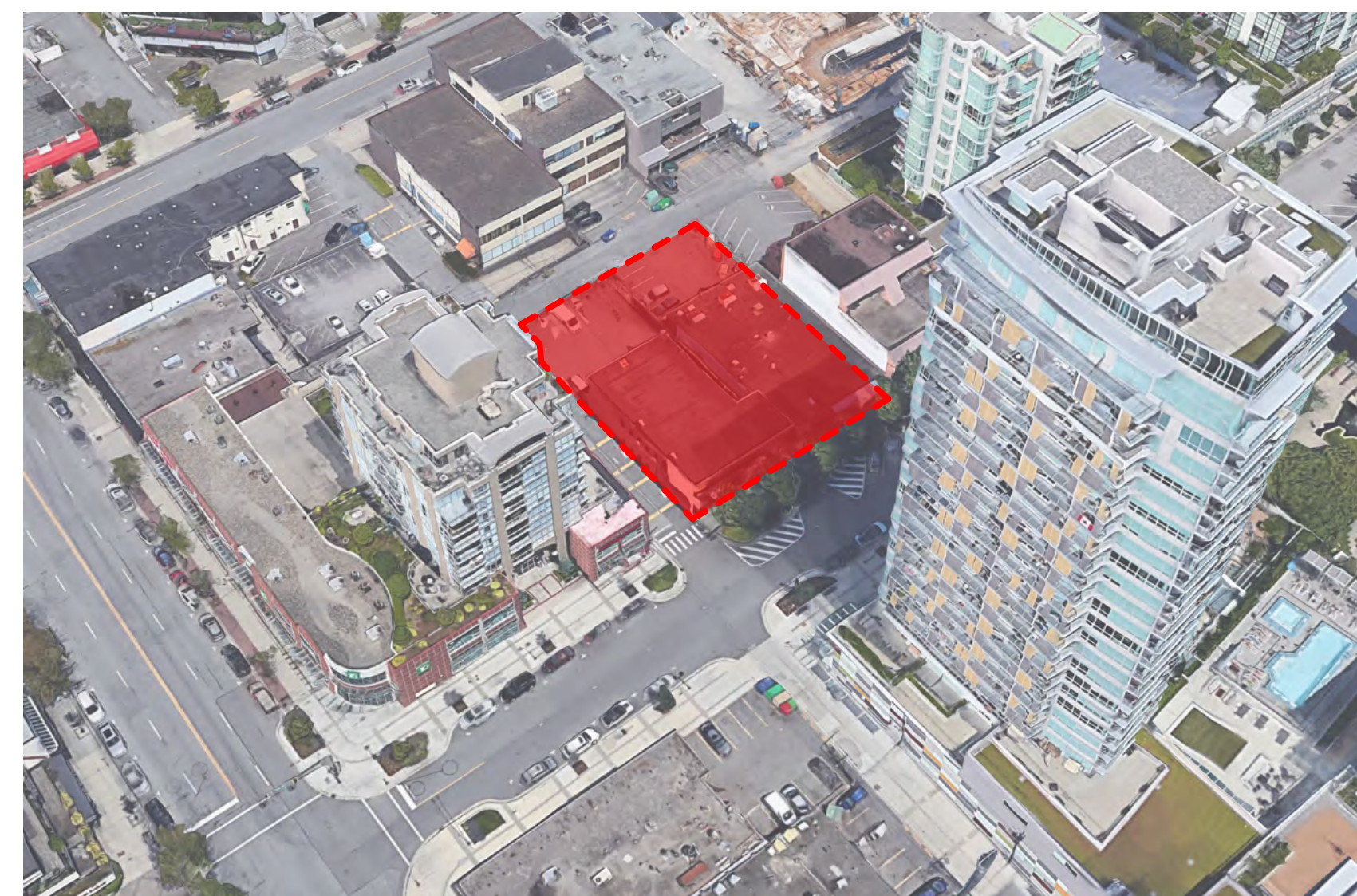
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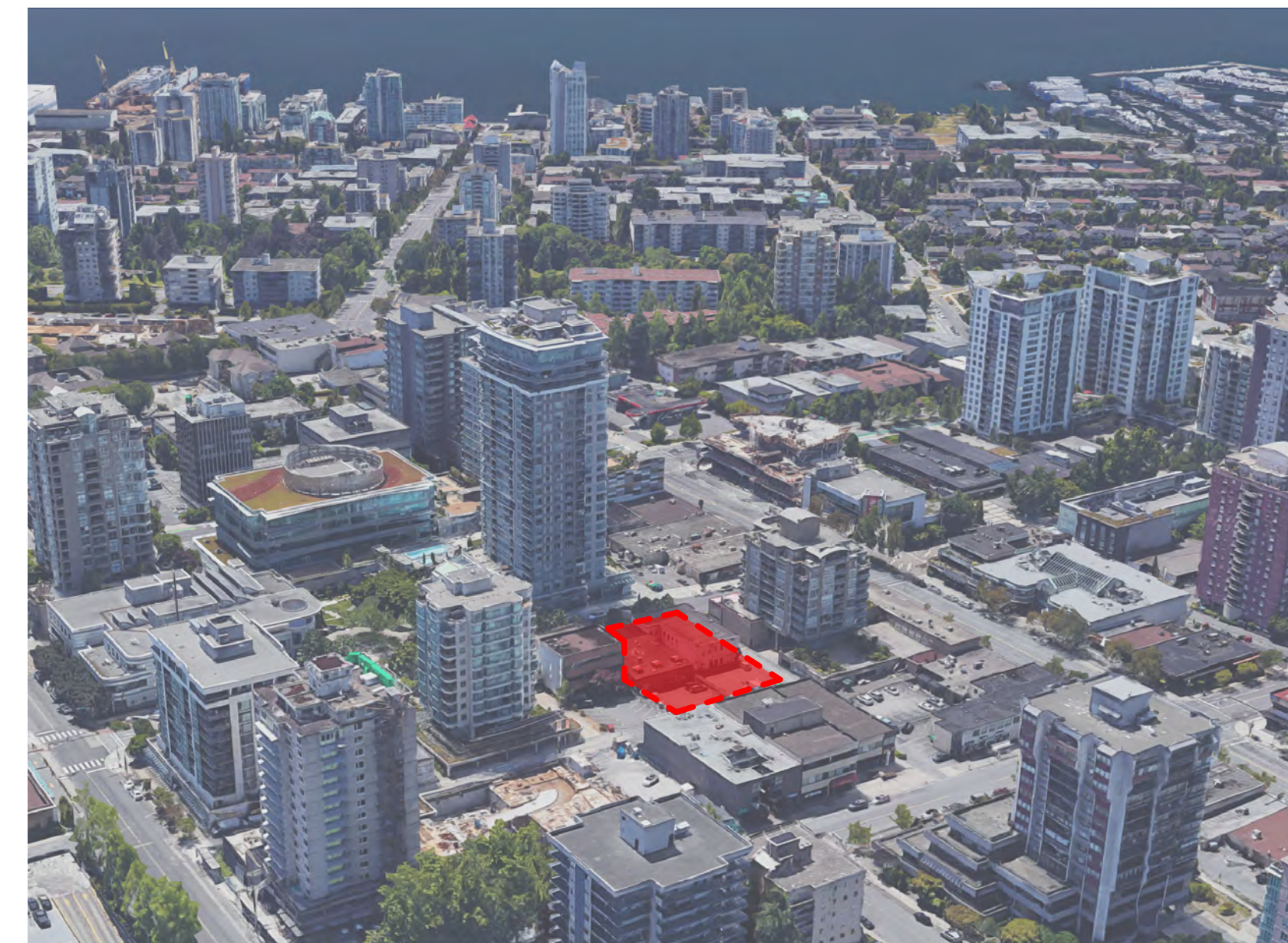
SITE - AERIAL CONTEXT



SITE - AERIAL CONTEXT



SITE - VIEW NORTH OF SITE TOWARDS MOUNTAINS



SITE - VIEW SOUTH OF SITE TOWARDS OCEAN



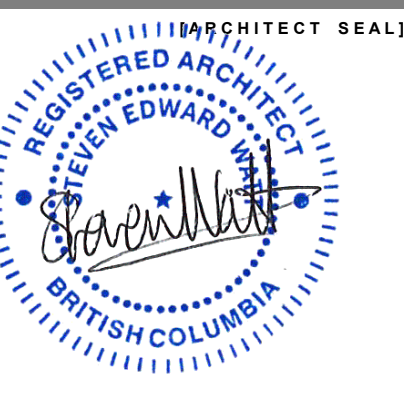
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East 14th Street

120-128 East 14th Street
 North Vancouver, BC

[TITLE]

Context - Aerial
 Perspective

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21569

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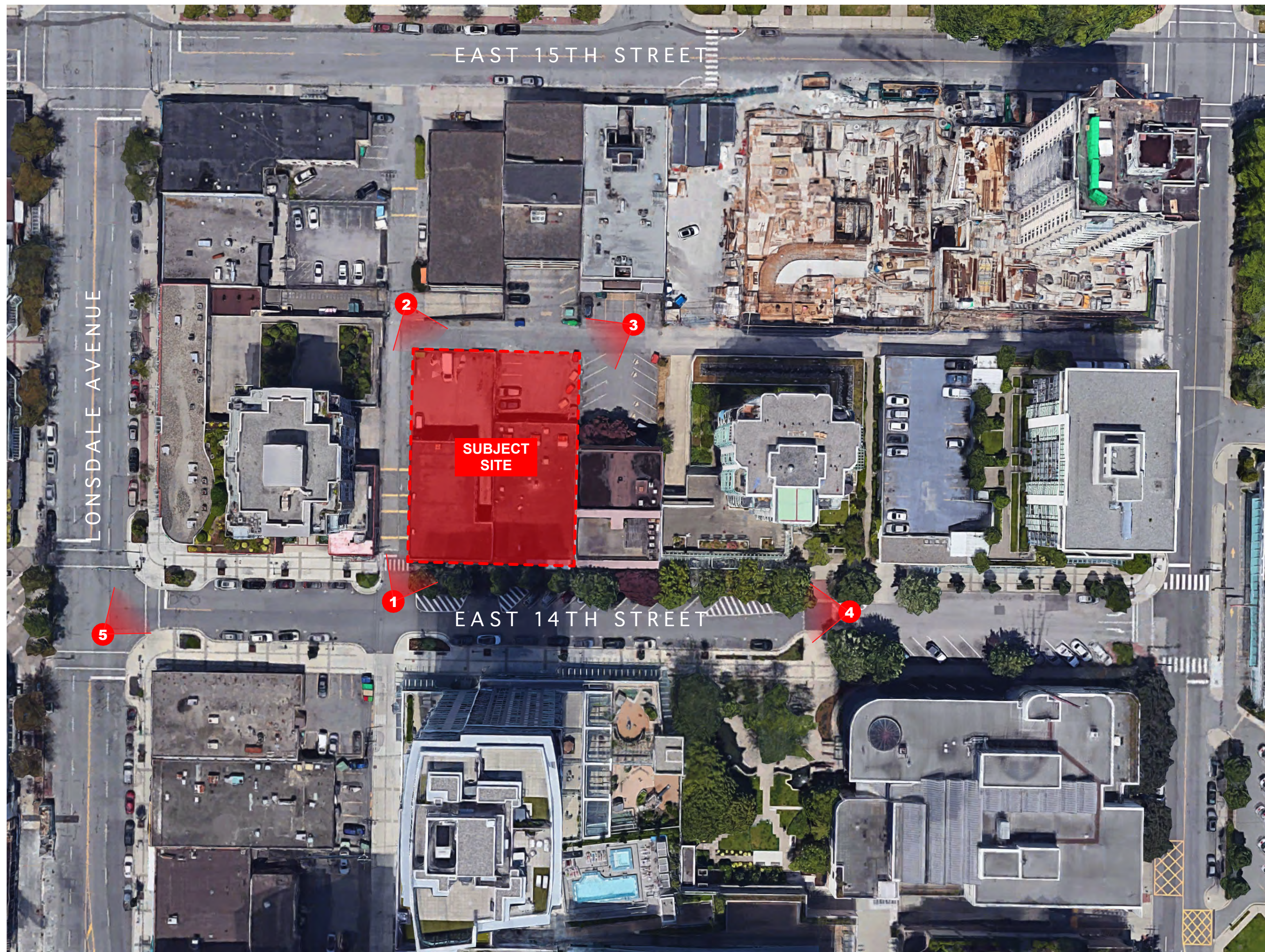
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1 VIEW FROM SOUTH WEST CORNER OF SITE



2 VIEW FROM NORTH WEST CORNER OF SITE



3 VIEW FROM NORTH EAST CORNER OF SITE



4 VIEW WEST DOWN E14TH STREET TOWARDS SITE



5 VIEW FROM INTERSECTION AT LONSDALE AVENUE & E14TH STREET

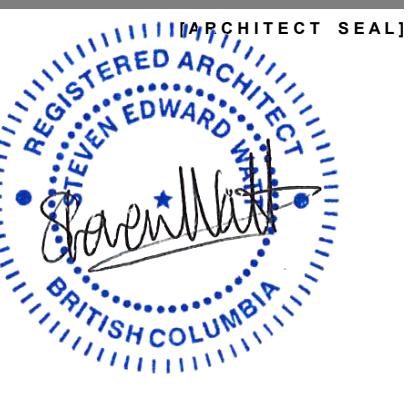


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Three Shores Development

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East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

**Site Context -
Street View
Photos**

[PROJECT]

21569

[SCALE]

Not To Scale

[DATE]

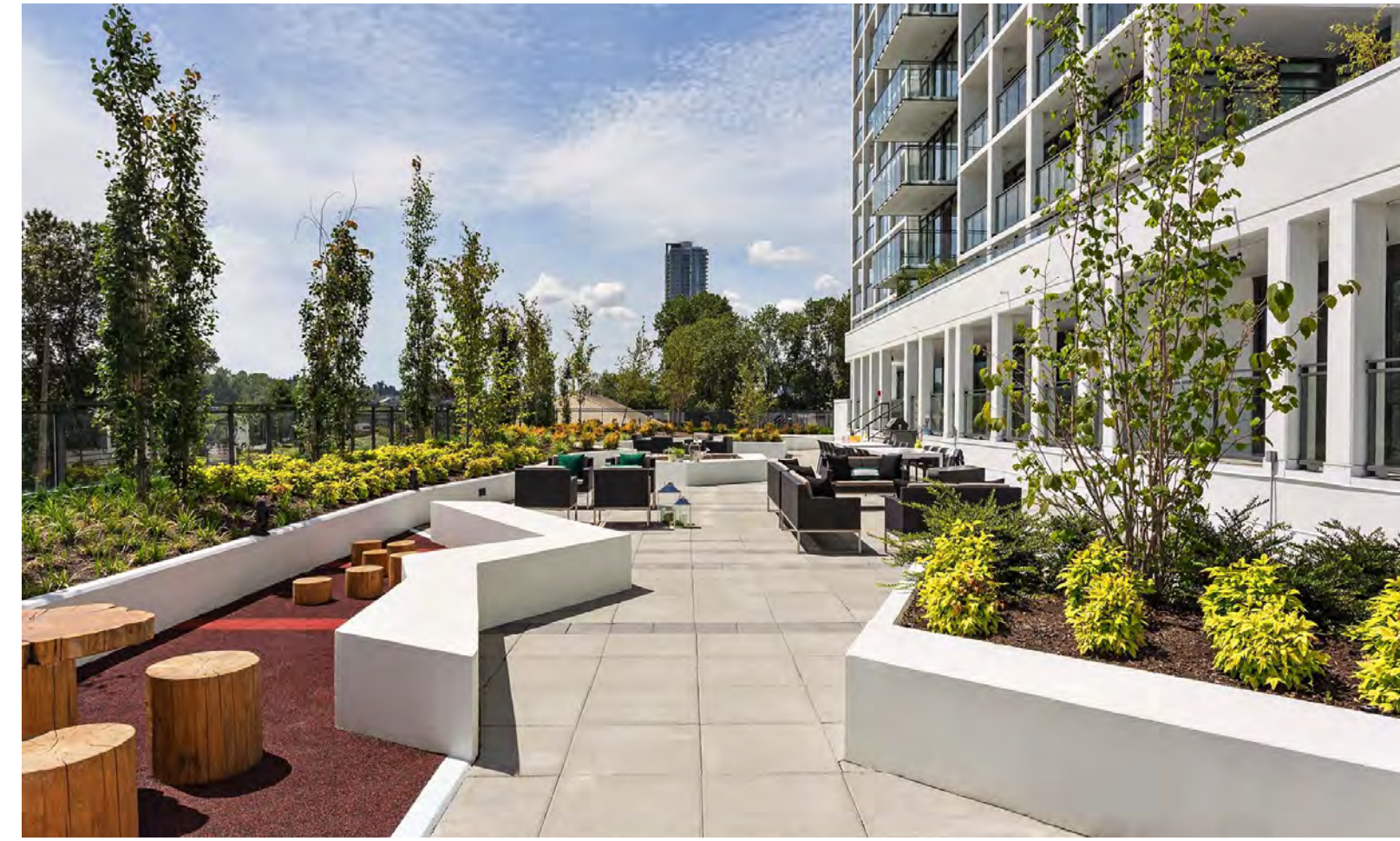
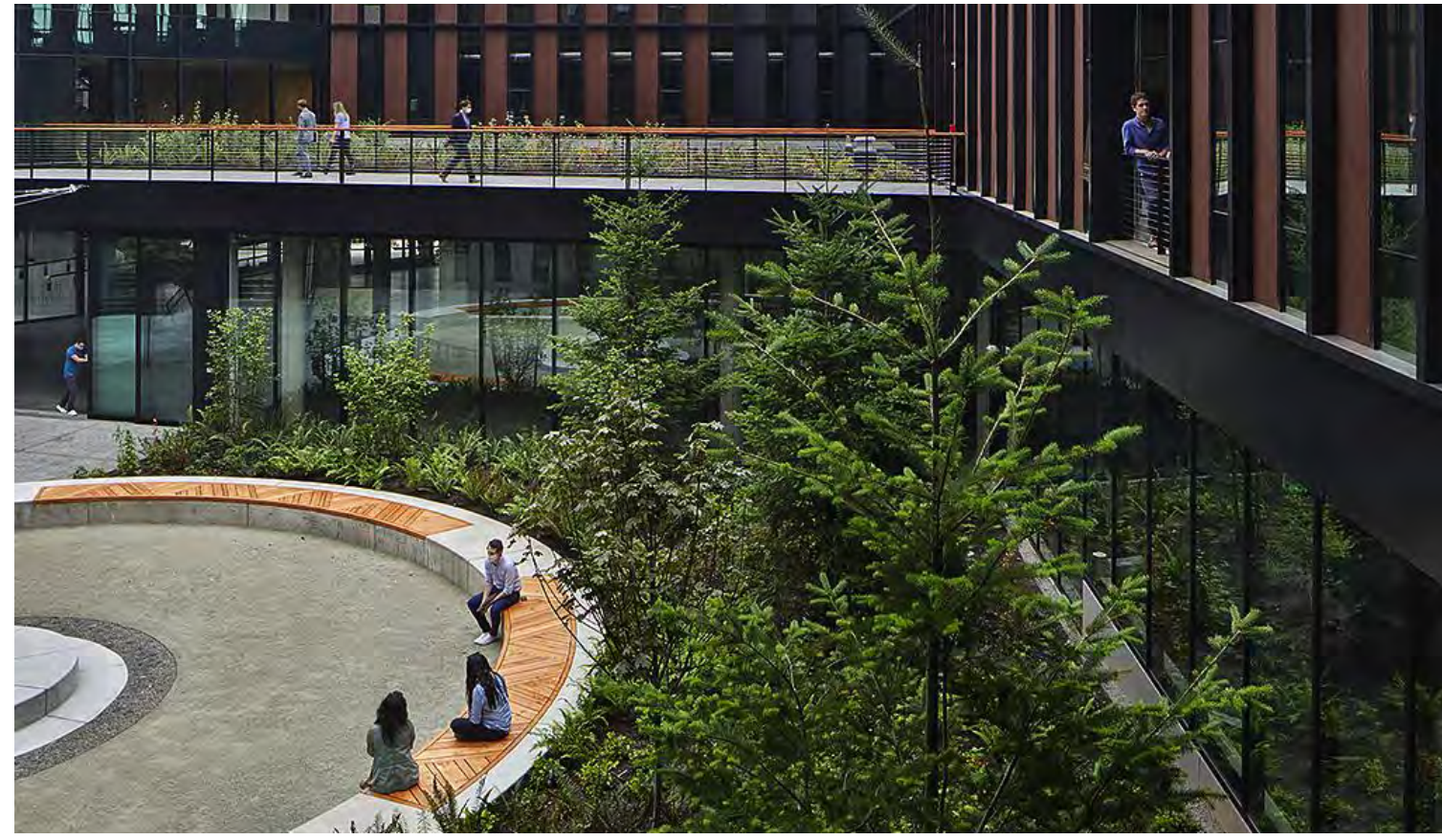
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PLANTERS & ROOFTOP VIEWS

PLANTERS | COMMUNAL GREENSPACE | VIEWS TOWARDS OCEAN AND MOUNTAINS

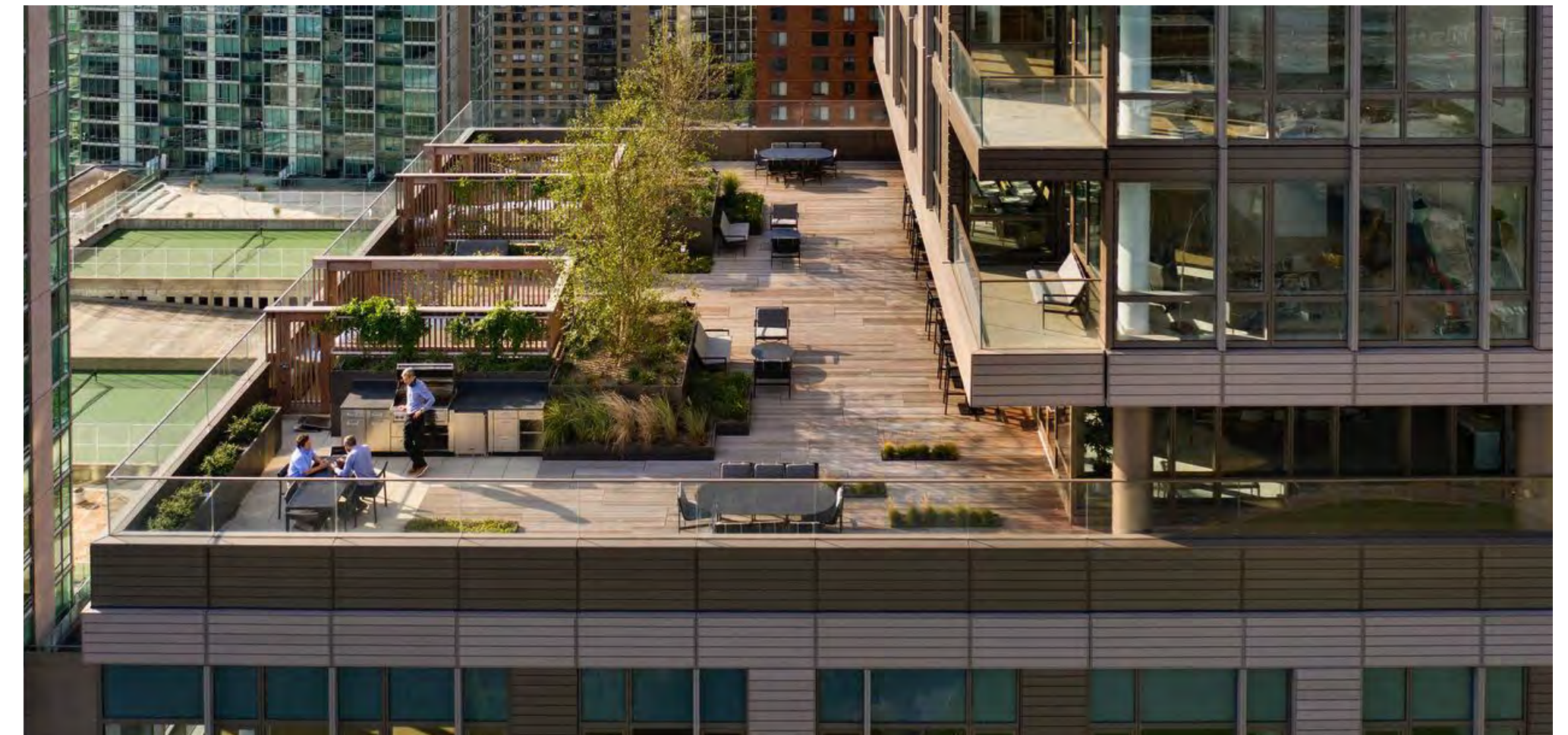


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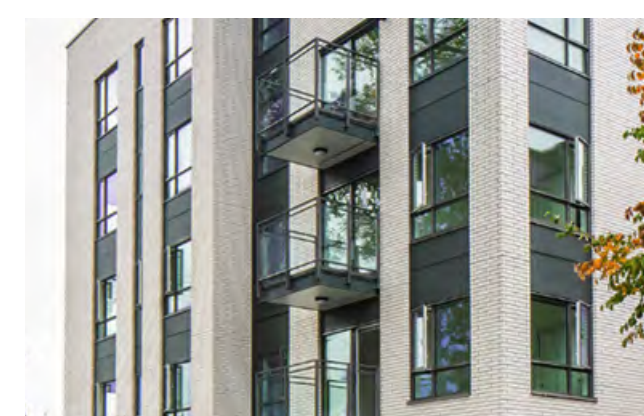
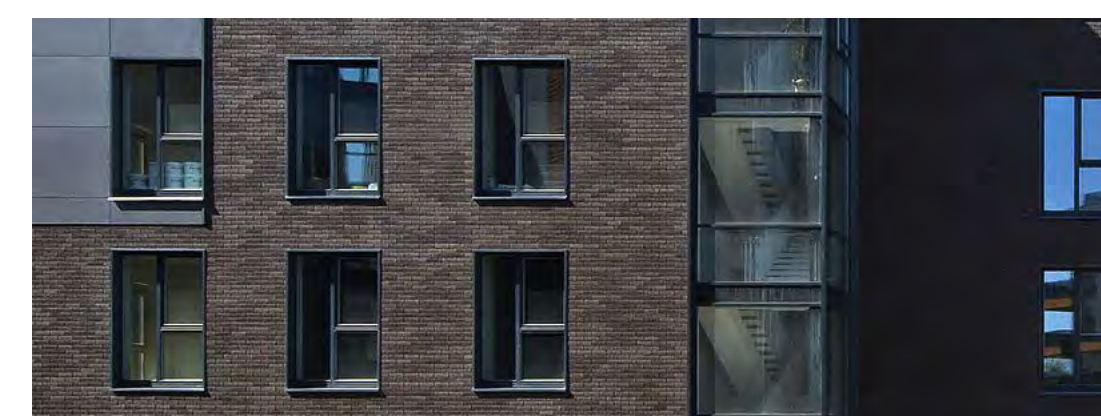
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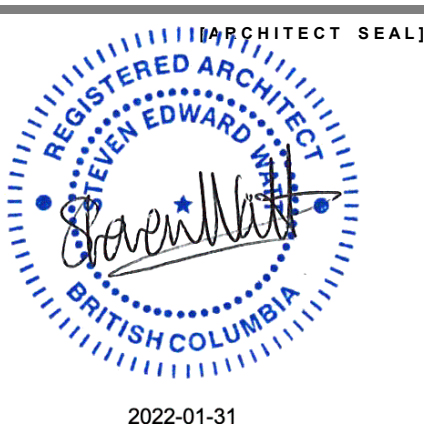
INDOOR & OUTDOOR AMENITY

KITCHEN & LIVING AMENITY | INDOOR-OUTDOOR COMMUNAL SPACE



STREET PRESENCE & DESIGN

COMMERCIAL PODIUM & RESIDENTIAL TOWER | MONOCHROMATIC BRICK & METAL PANELS | MODERN GLAZING | PRIVATE BALCONIES



2022-01-31

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Three Shores Development

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East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Concept Images

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21569

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Monday, January 31, 2022

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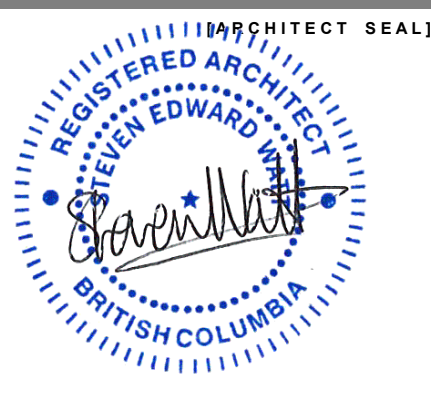


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East 14th Street

120-128 East 14th Street
North Vancouver, BC

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Perspectives

21569 [PROJECT]

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Monday, January 31, 2022 [DATE]

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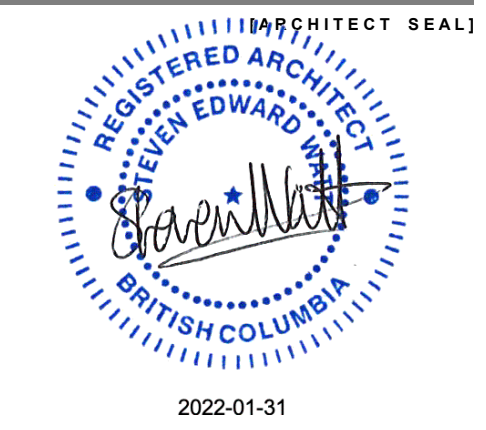


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North Vancouver, BC

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Perspectives

21569 [PROJECT]

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Monday, January 31, 2022 [DATE]

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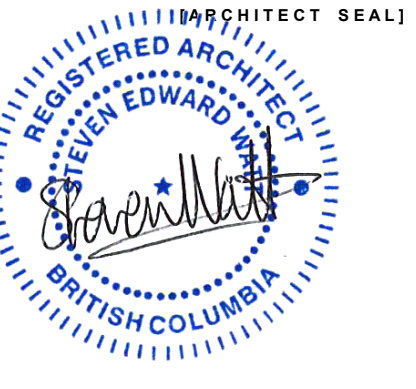
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Three Shores Development

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120-128 East 14th Street
North Vancouver, BC

[TITLE]

Perspectives

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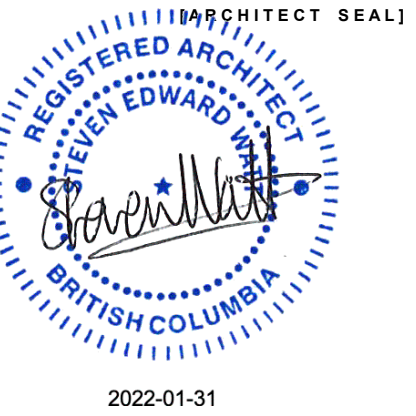
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North Vancouver, BC

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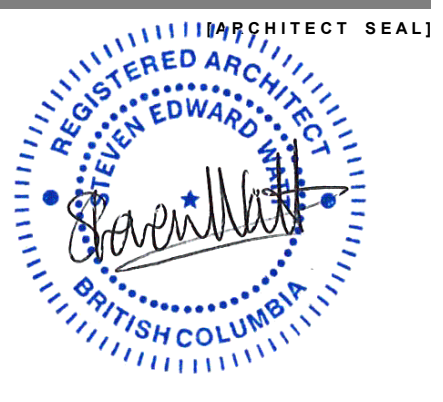
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North Vancouver, BC

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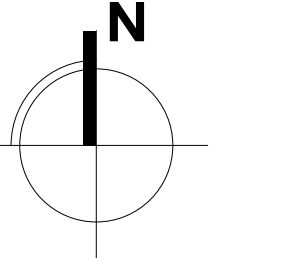


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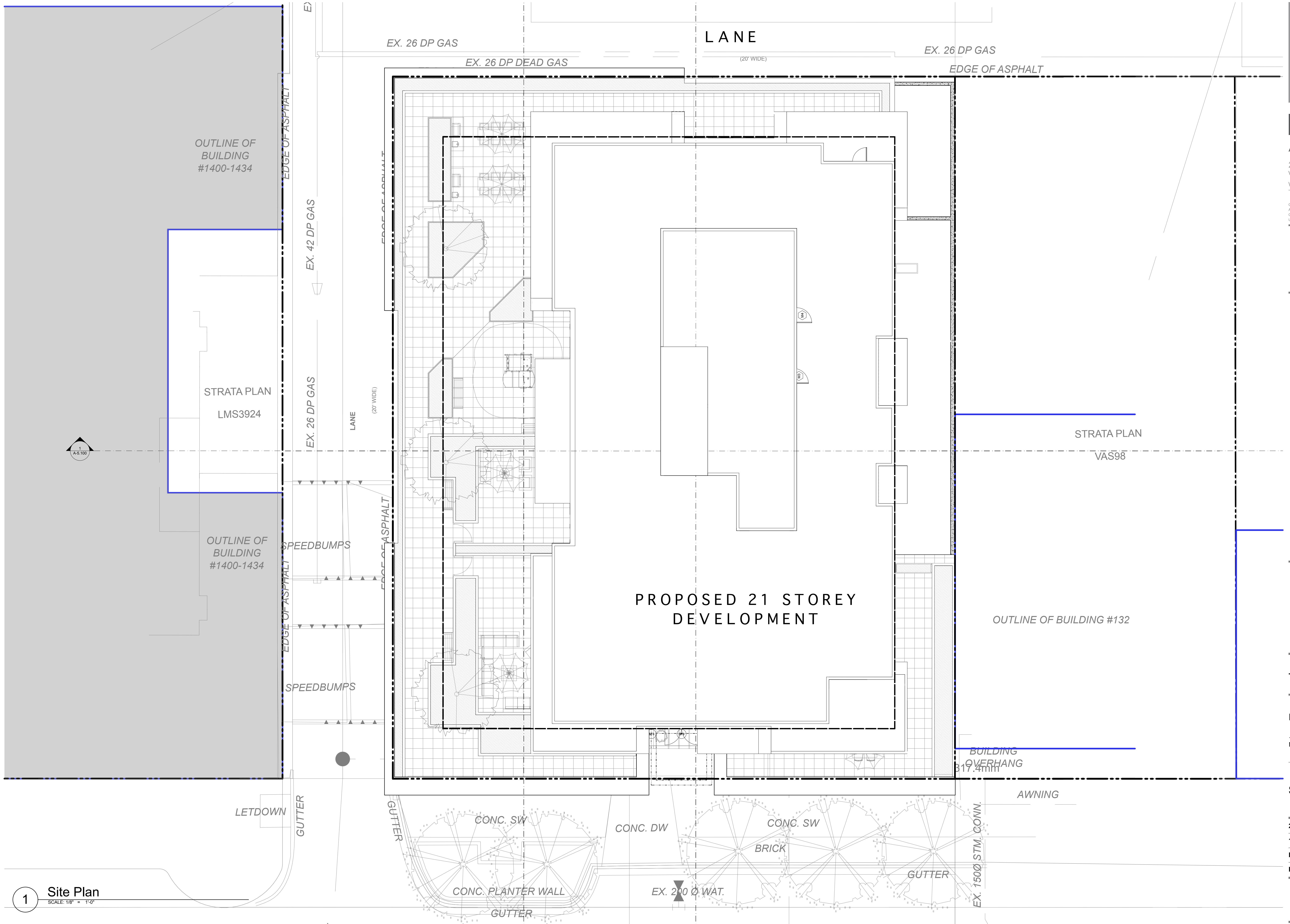
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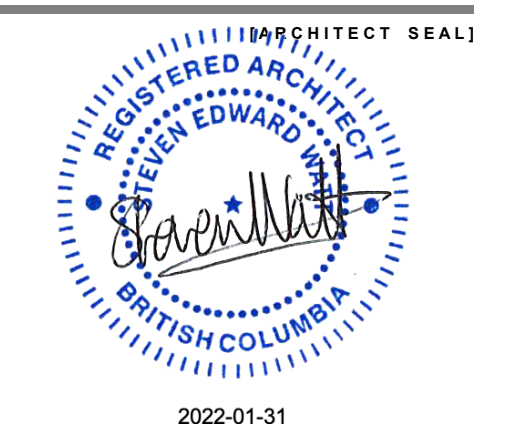
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PROPOSED 21 STOREY DEVELOPMENT



Three Shores Development

East 14th Street

120-128 East 14th Street
North Vancouver, BC

Site Plan

21569 [PROJECT]
1/8" = 1'-0" [SCALE]
Monday, January 31, 2022 [DATE]
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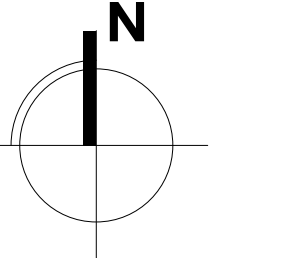


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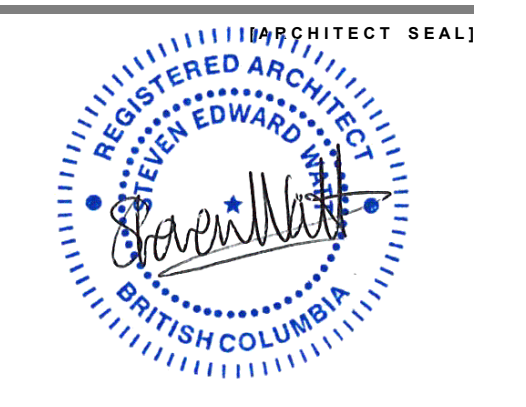
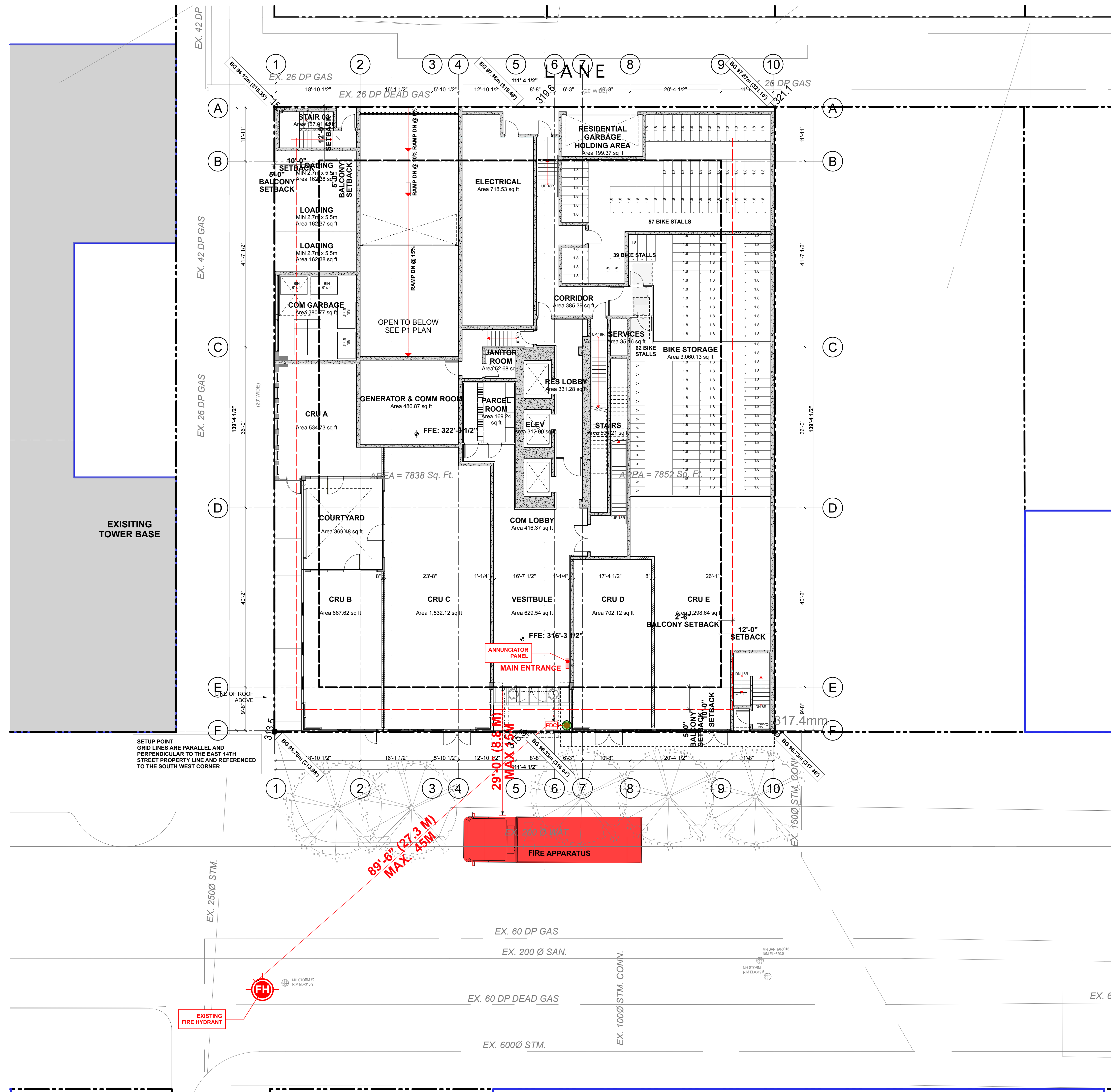
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Three Shores Development

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East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Fire Access Plan

[PROJECT]

21569

[SCALE]

3/32" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

ISSUE 01 - RZ/DP APP.

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A-1.001

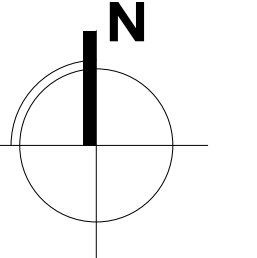


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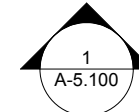
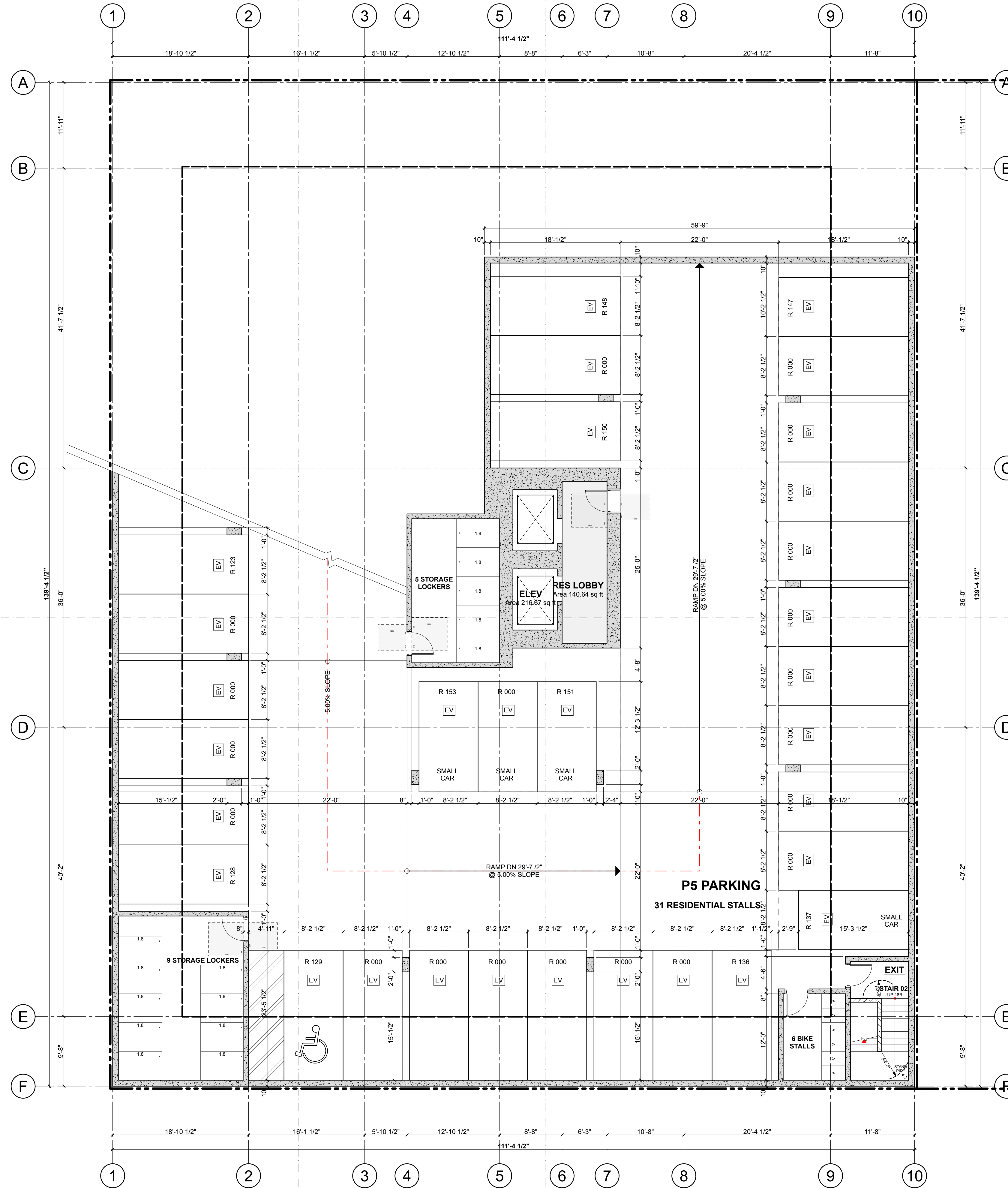
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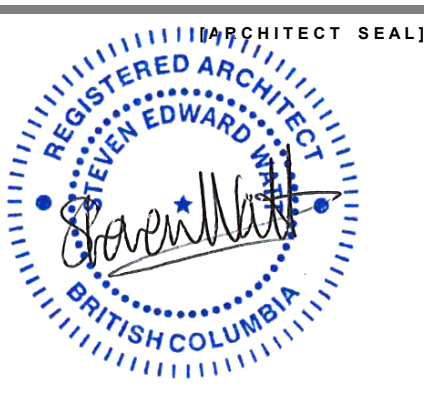


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1 Level P5 Parking Plan

SCALE: 1/8" = 1'-0"



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Three Shores Development

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East 14th Street

120-128 East 14th Street
North Vancouver, BC

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Level P5 Floor Plan

[PROJECT]

21569

1/8" = 1'-0"

Monday, January 31, 2022

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A-2.001

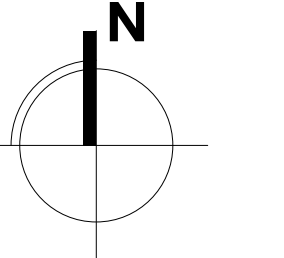


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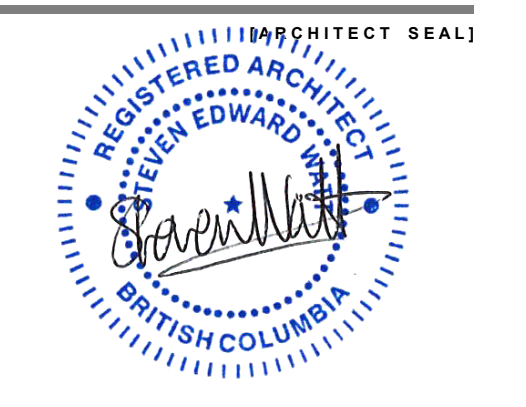
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Level P4 Floor Plan

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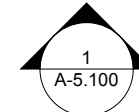
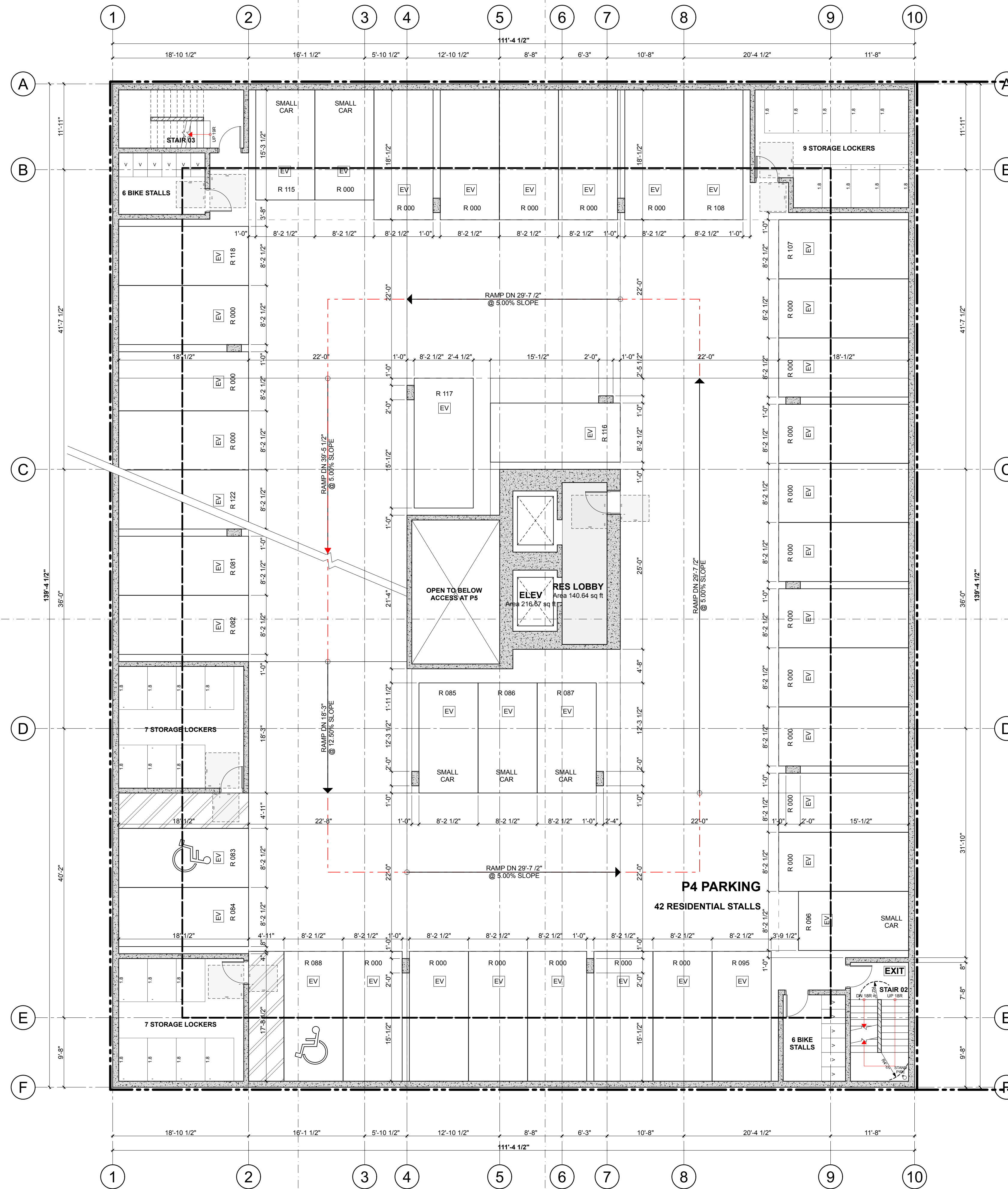
1/8" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

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A-2.002



1 Level P4 Parking Plan

SCALE: 1/8" = 1'-0"

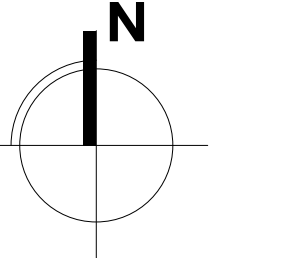


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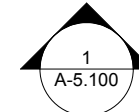
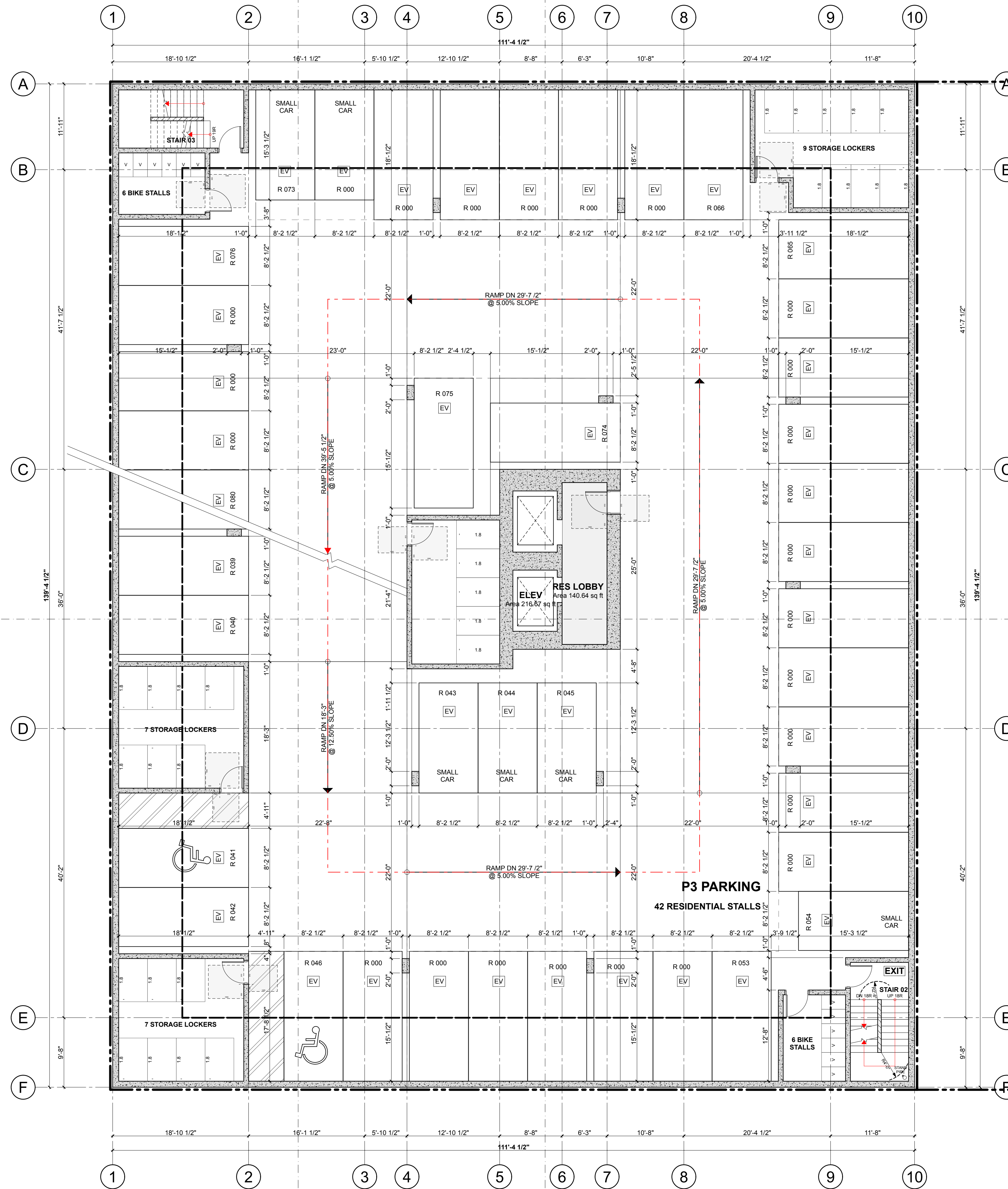
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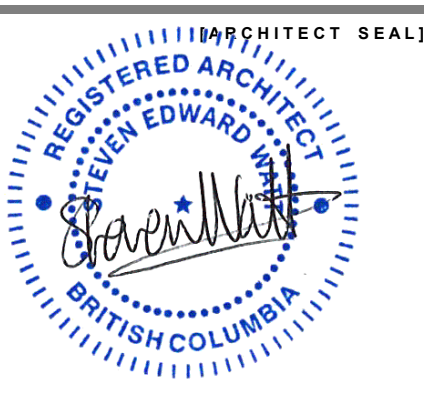


[PROJECT TEAM]



1 Level P3 Parking Plan

SCALE: 1/8" = 1'-0"



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level P3 Floor Plan

[PROJECT]

21569

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

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[DRAWING]

A-2.003

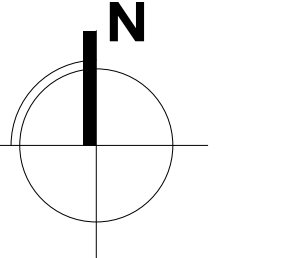


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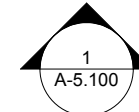
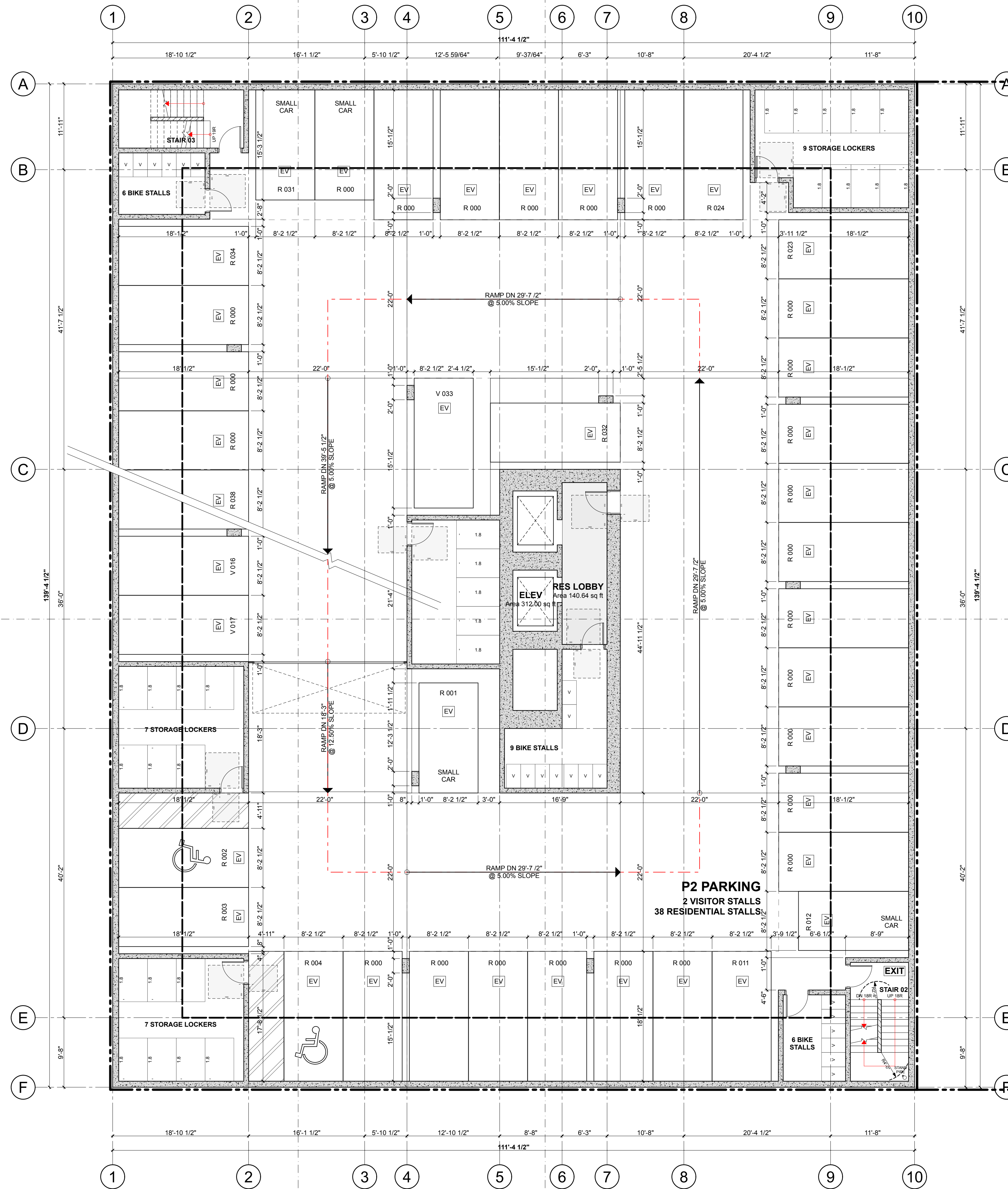
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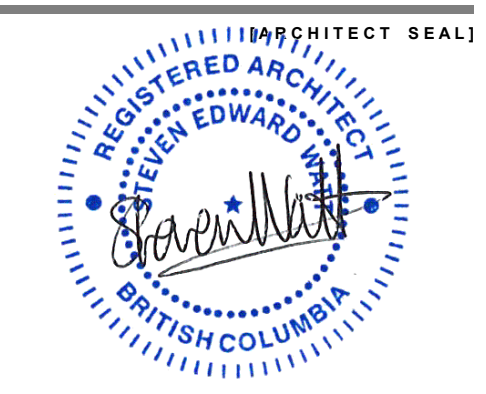
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1 Level P2 Parking Plan
SCALE: 1/8" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level P2 Floor Plan

[PROJECT]

21569

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

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[DRAWING]

A-2.004

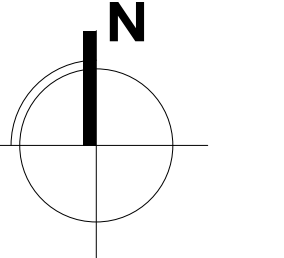


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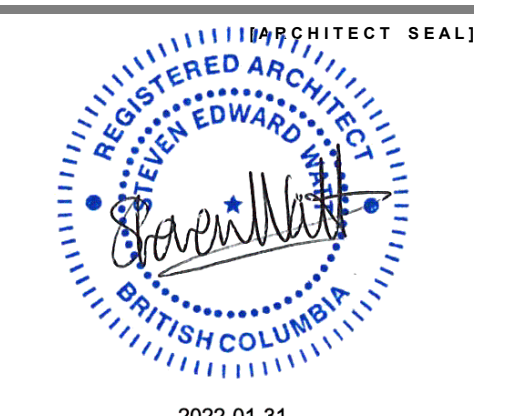
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2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level P1 Floor Plan

[PROJECT]

21569

[SCALE]

1/8" = 1'-0"

[DATE]

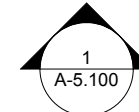
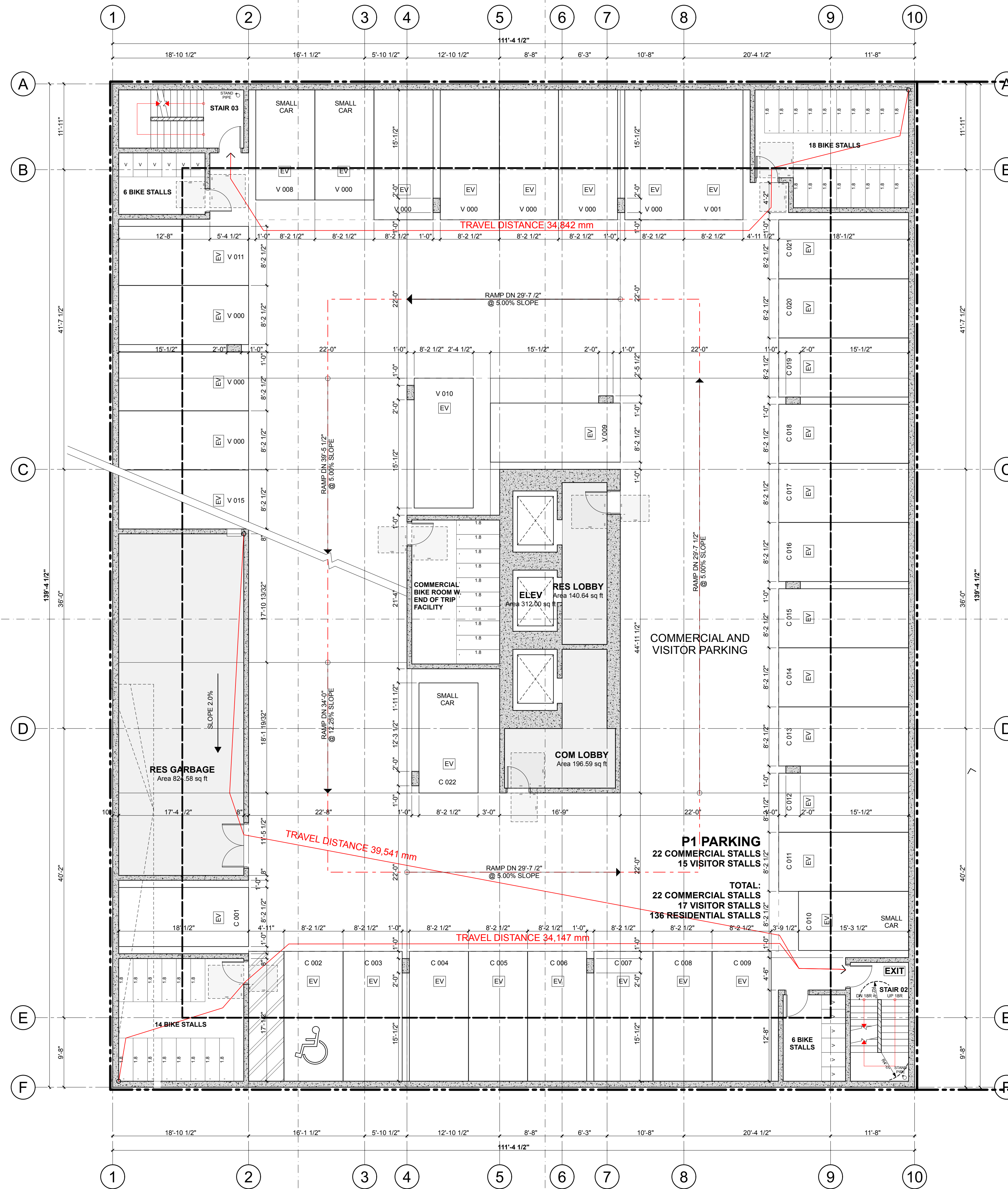
Monday, January 31, 2022

[ISSUE]

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[DRAWING]

A-2.005



1 Level P1 Parking Plan

SCALE: 1/8" = 1'-0"

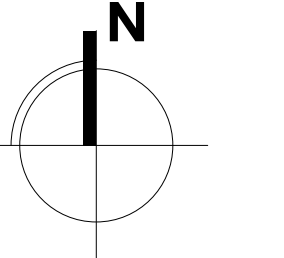


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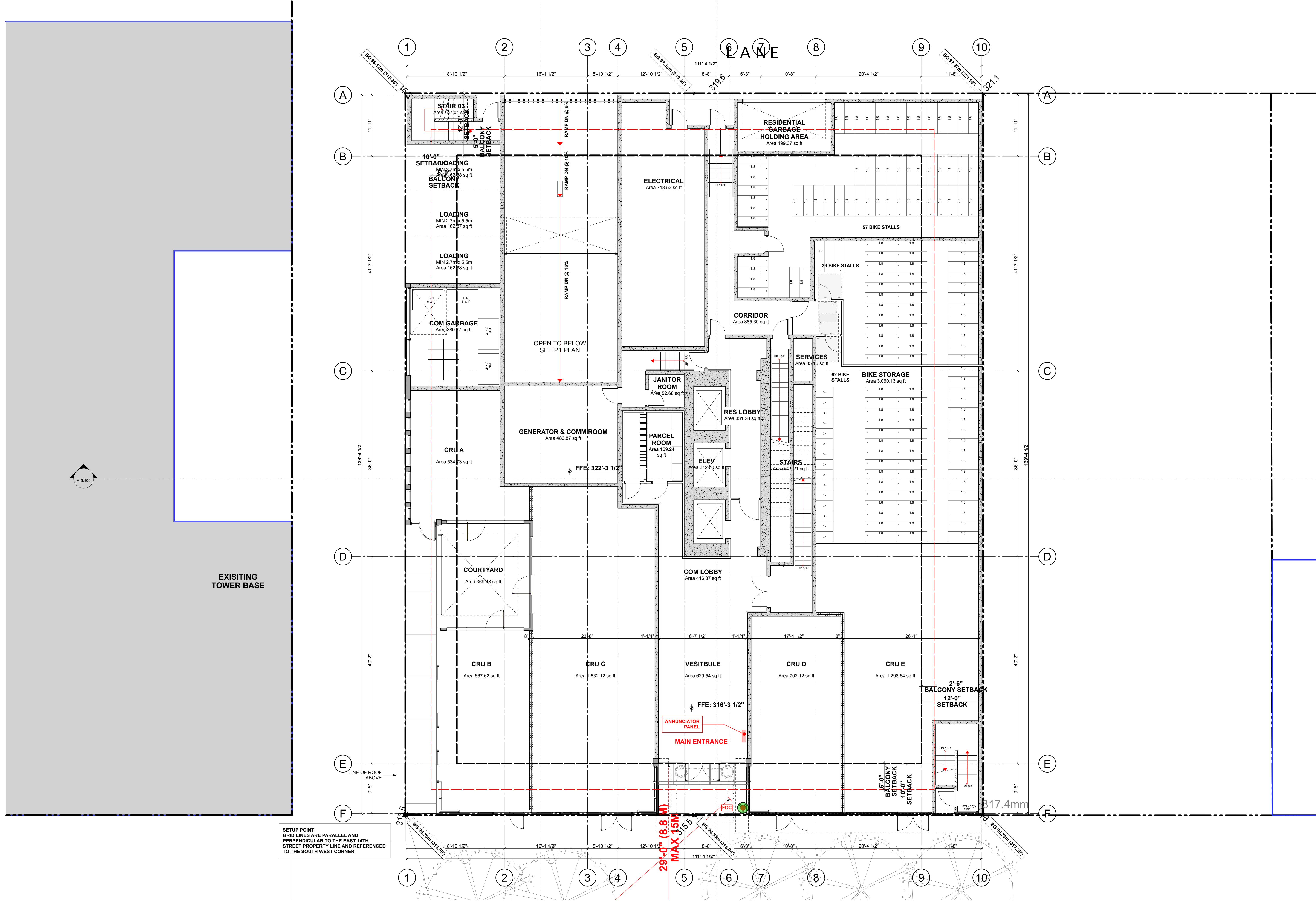
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SETUP POINT
GRID LINES ARE PARALLEL AND
PERPENDICULAR TO THE EAST 14TH
STREET PROPERTY LINE AND REFERENCED
TO THE SOUTH WEST CORNER



2022-01-31
[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 1 Floor Plan

21569 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

1 Level 1 Floor Plan
SCALE: 1/8" = 1'-0"

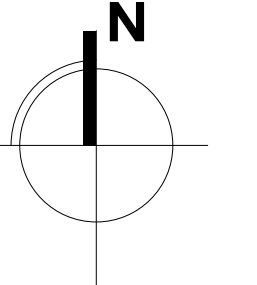


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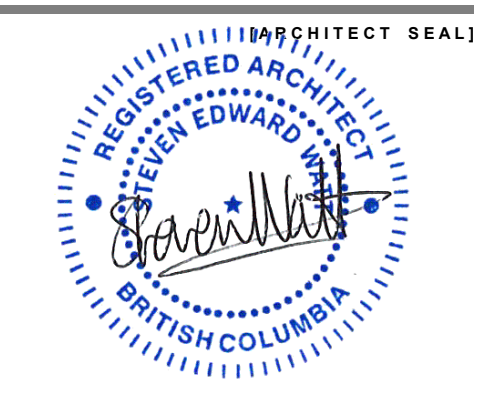
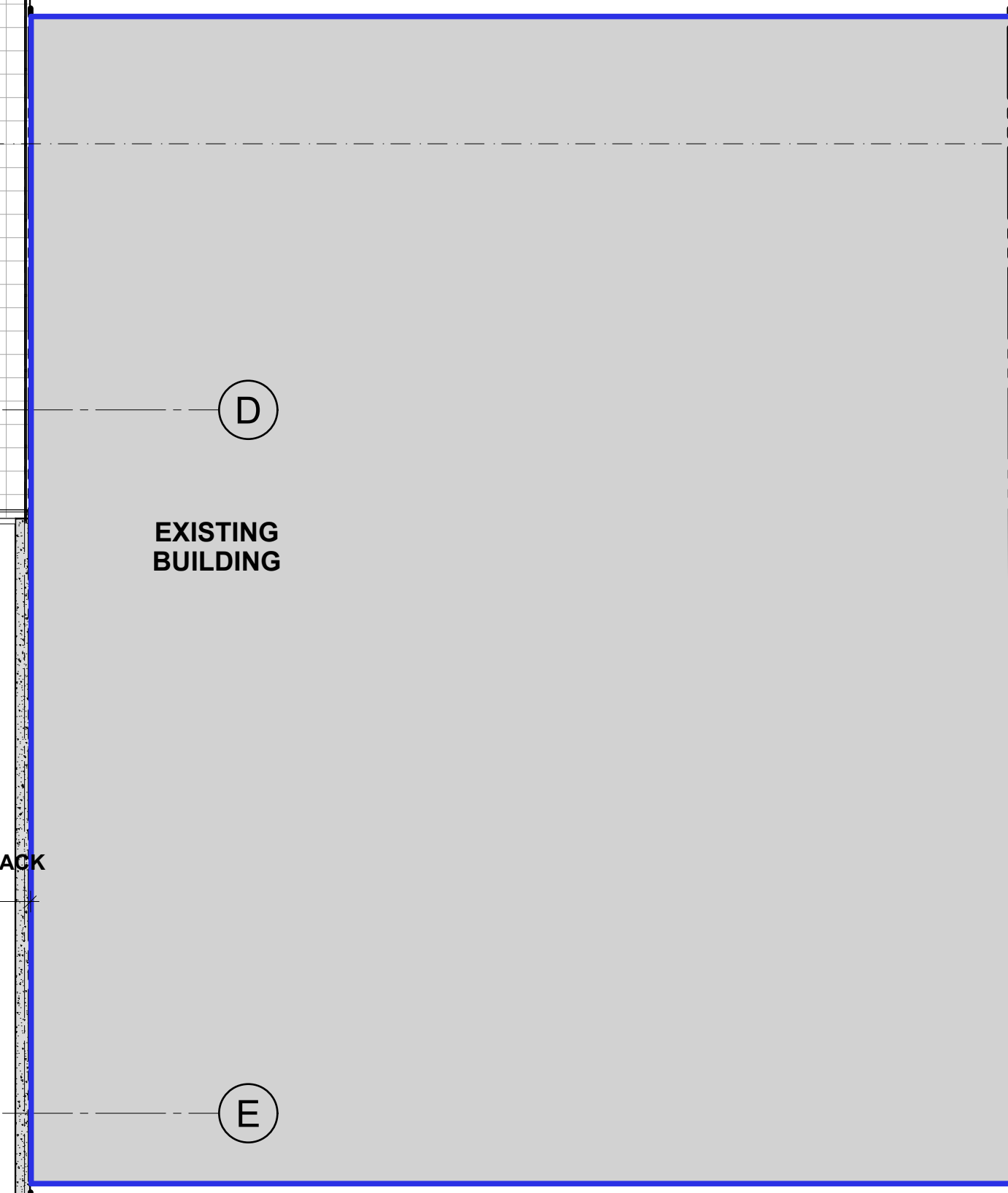
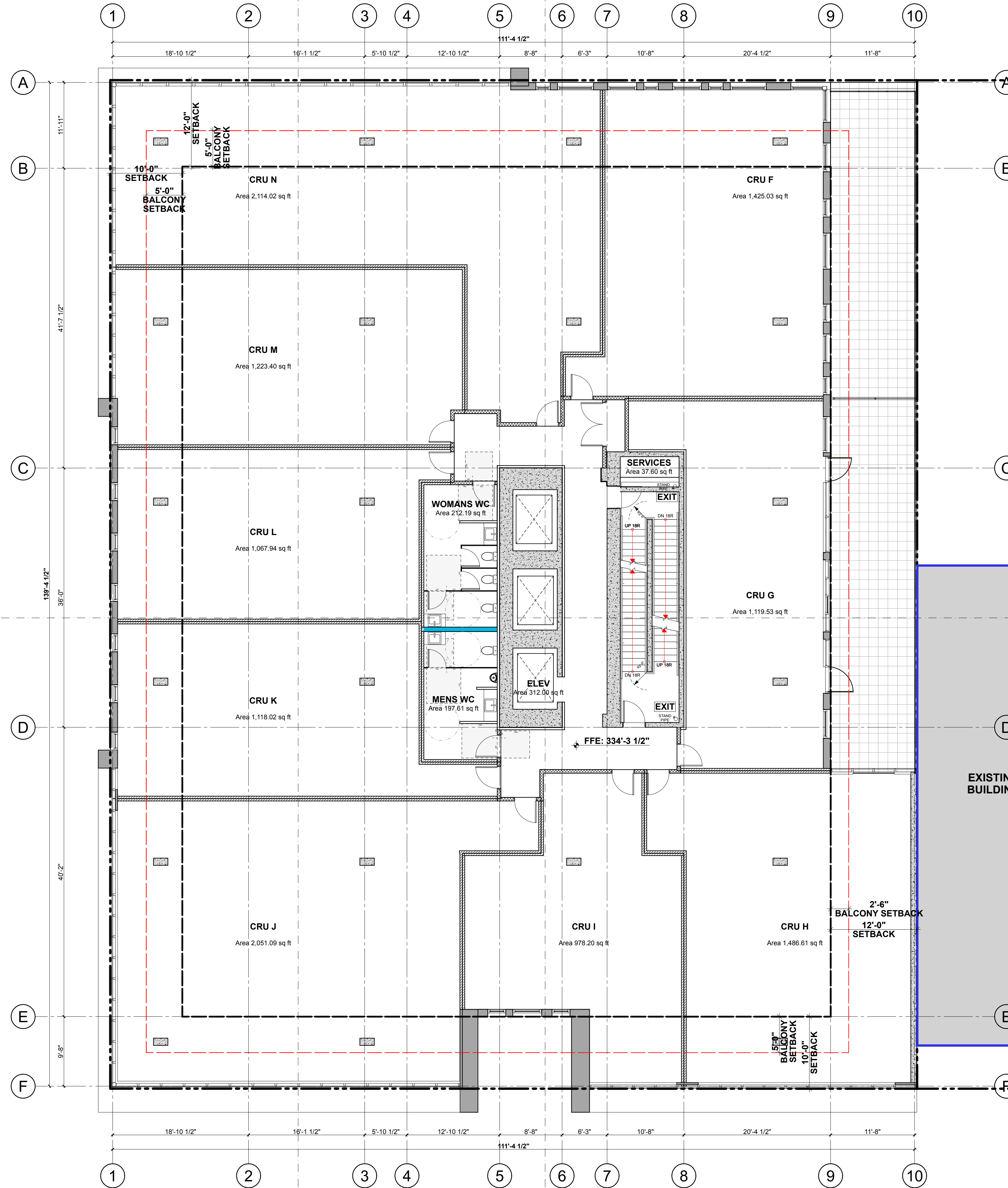
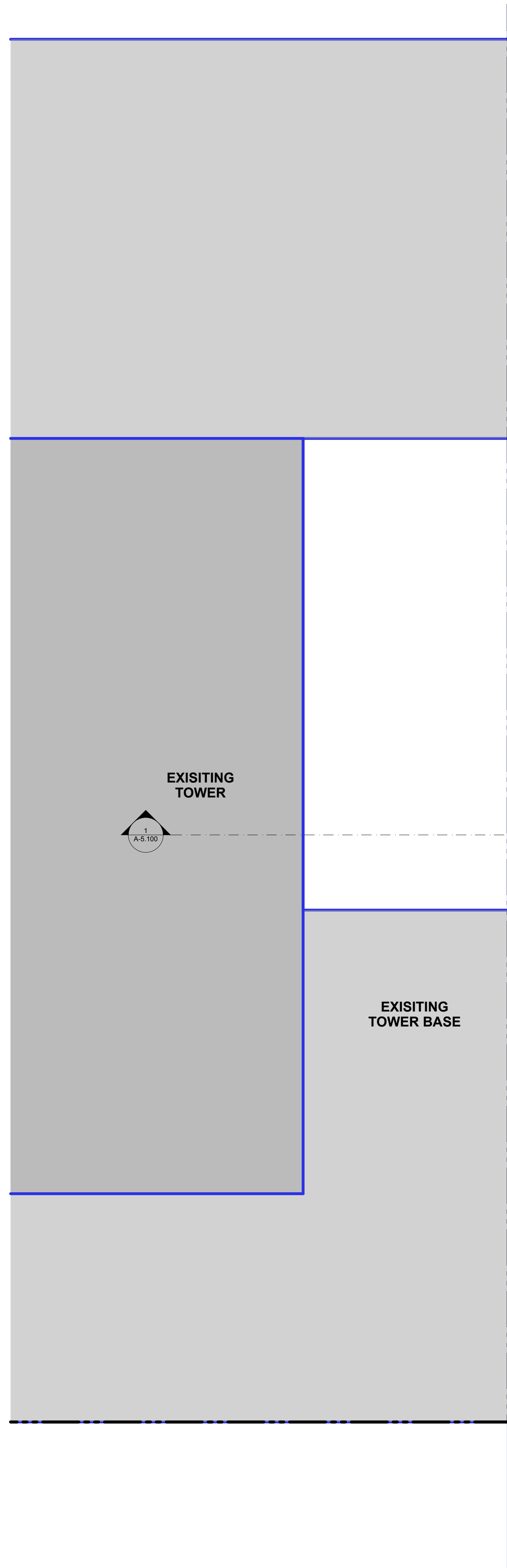
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2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 2 Floor Plan

21569 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

A-2.201

1 Level 2 Floor Plan

SCALE: 1/8" = 1'-0"

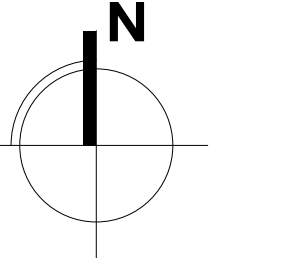


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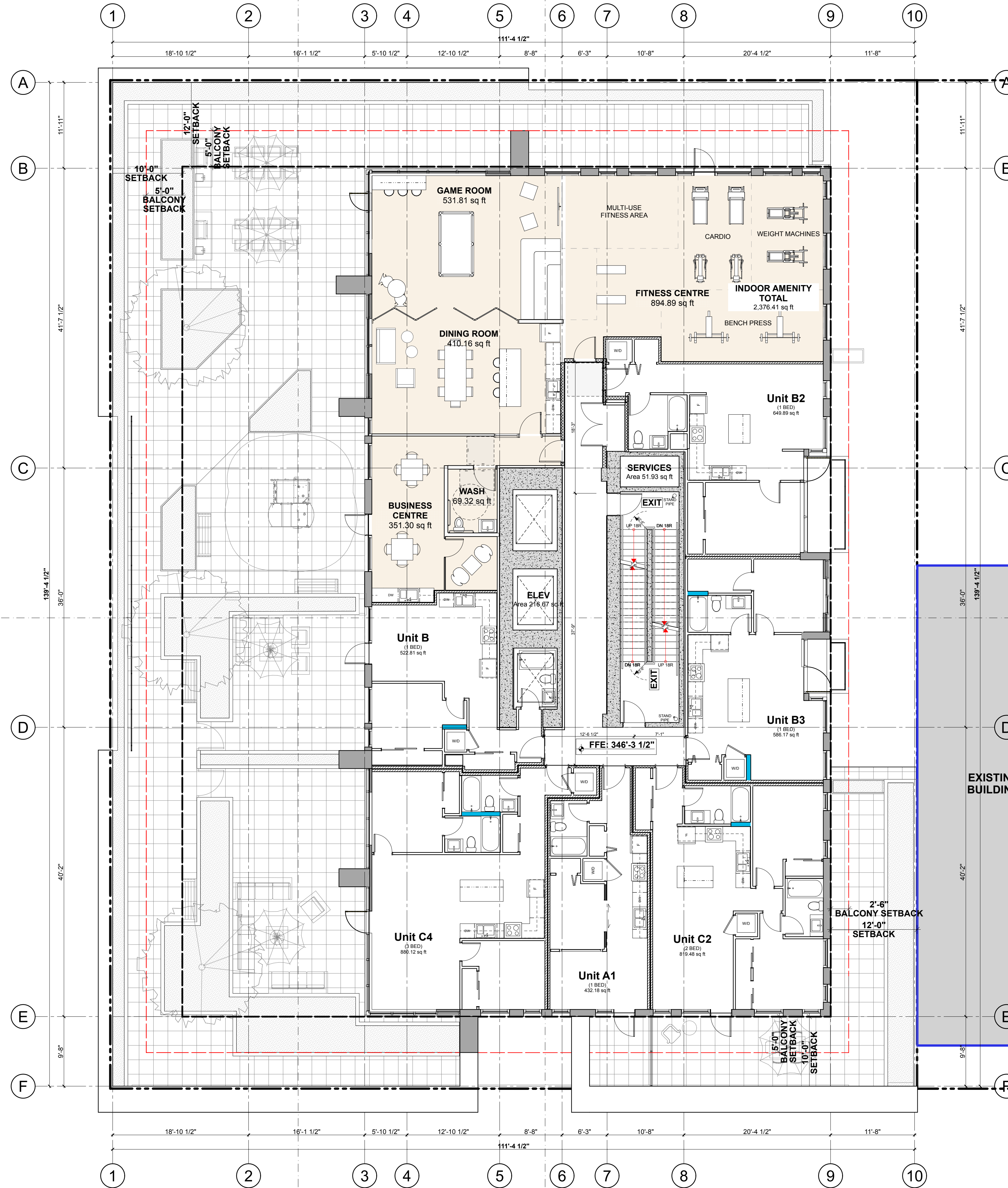
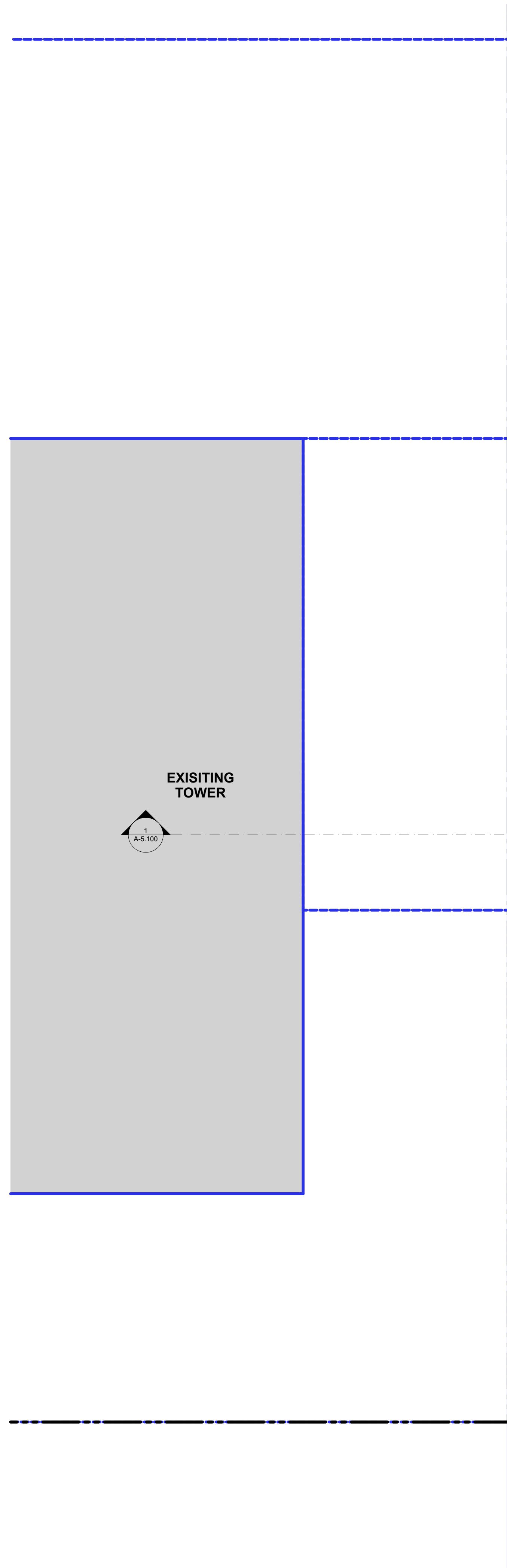
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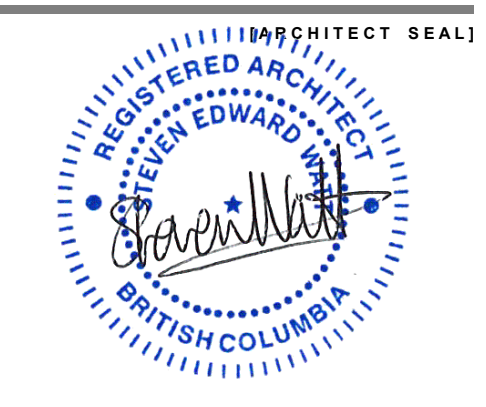


[PROJECT TEAM]



1 Level 3 Floor Plan

SCALE: 1/8" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 3 Floor Plan

21569 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

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[DRAWING]

A-2.301

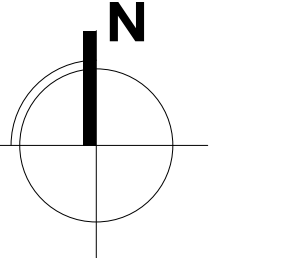


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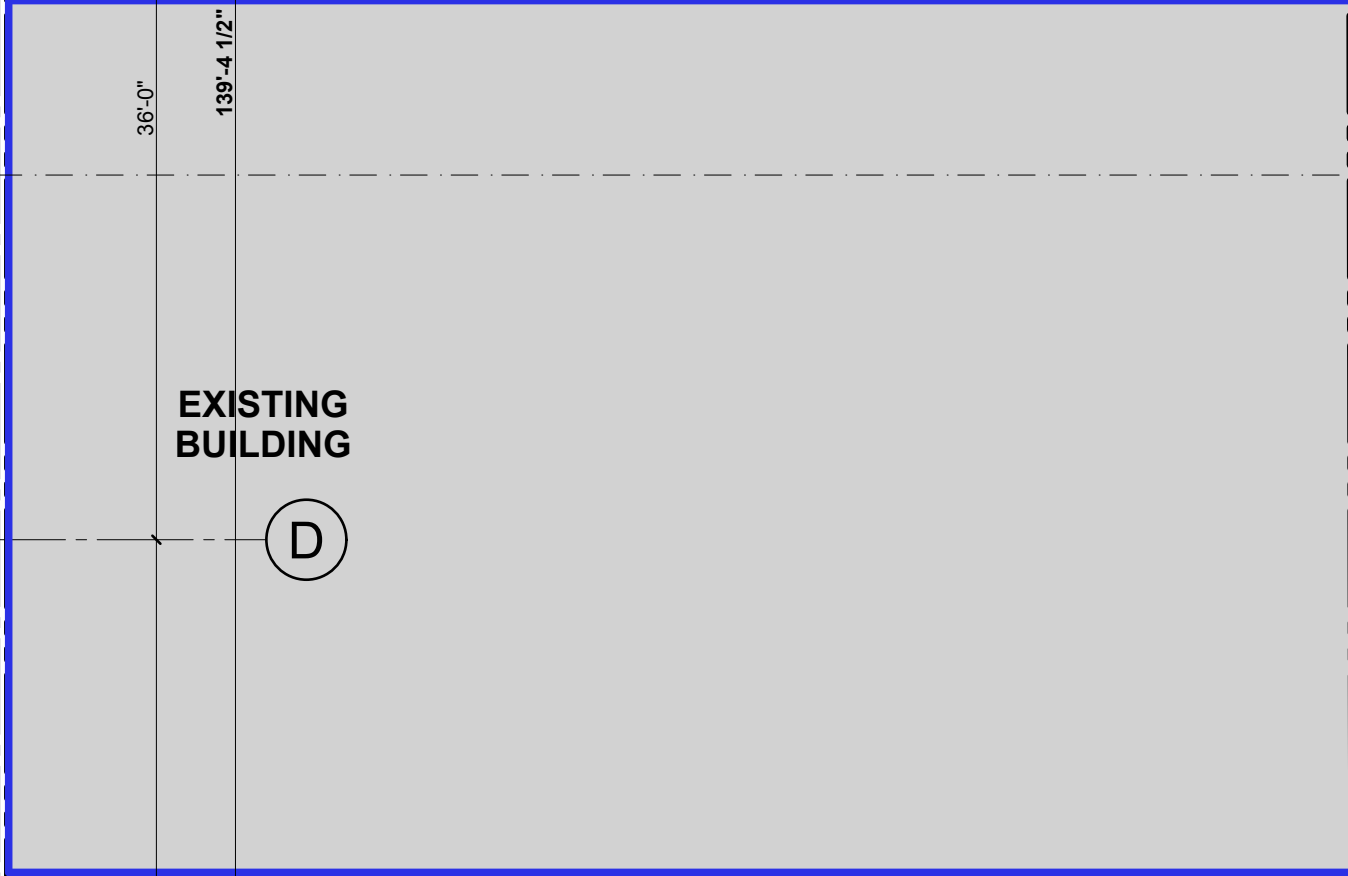
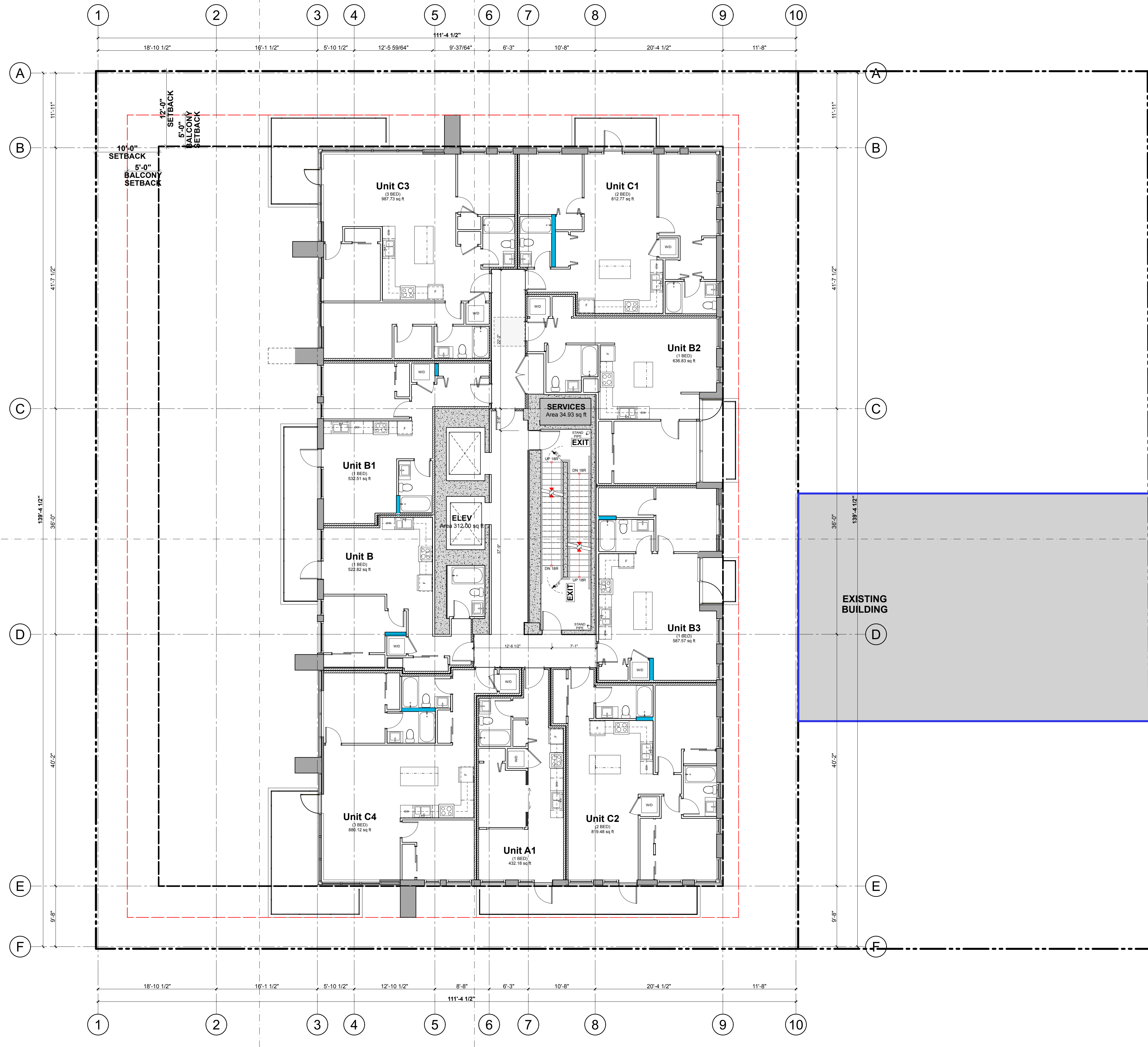
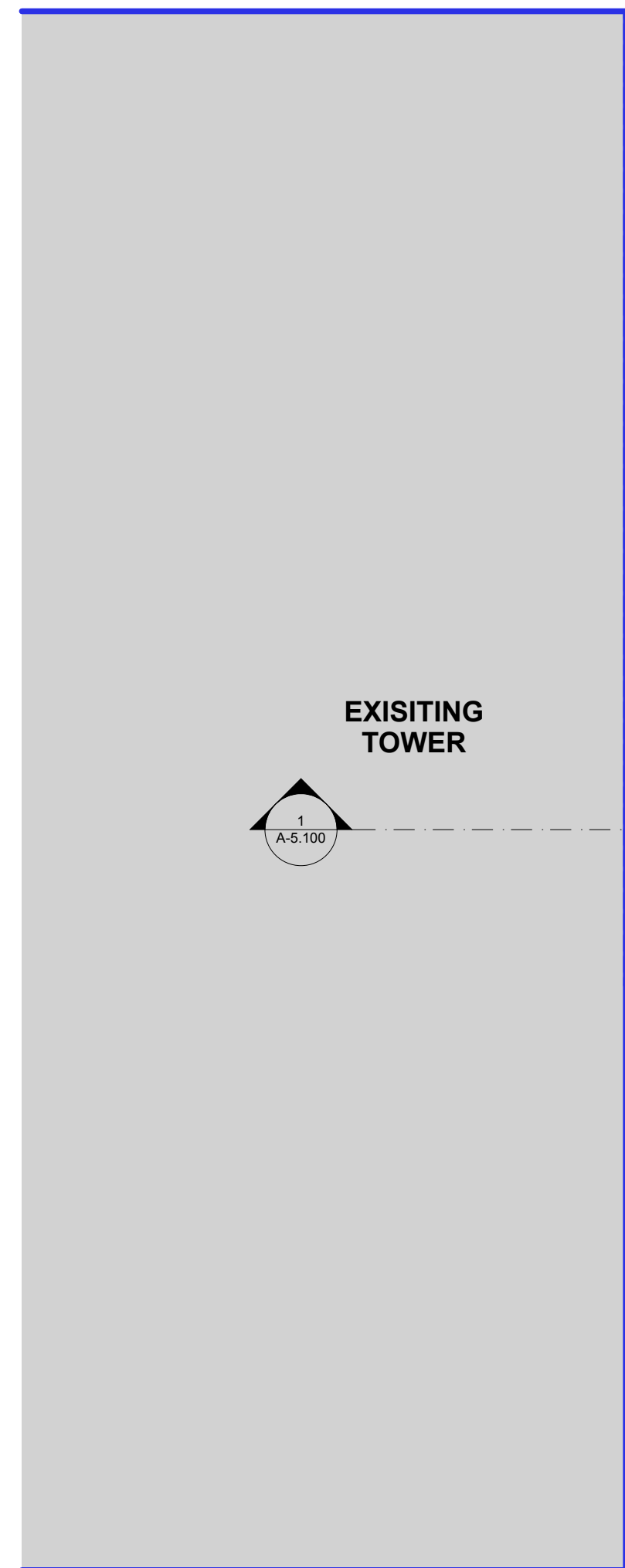
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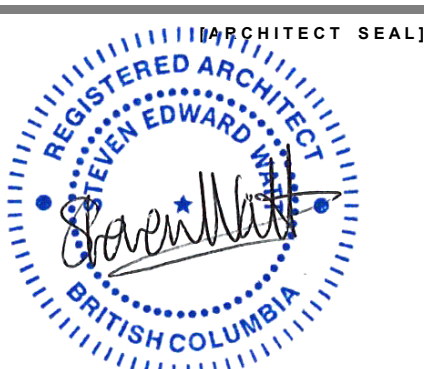


[PROJECT TEAM]



1 Level 4 Floor Plan

SCALE: 1/8" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Typical Floor Plan (L4-20)

[PROJECT]

21569

1/8" = 1'-0"

Monday, January 31, 2022

ISSUE 01 - RZ/DP APP.

[DRAWING]

A-2.401

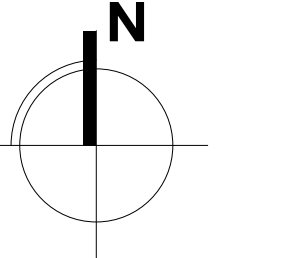


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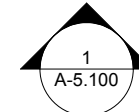
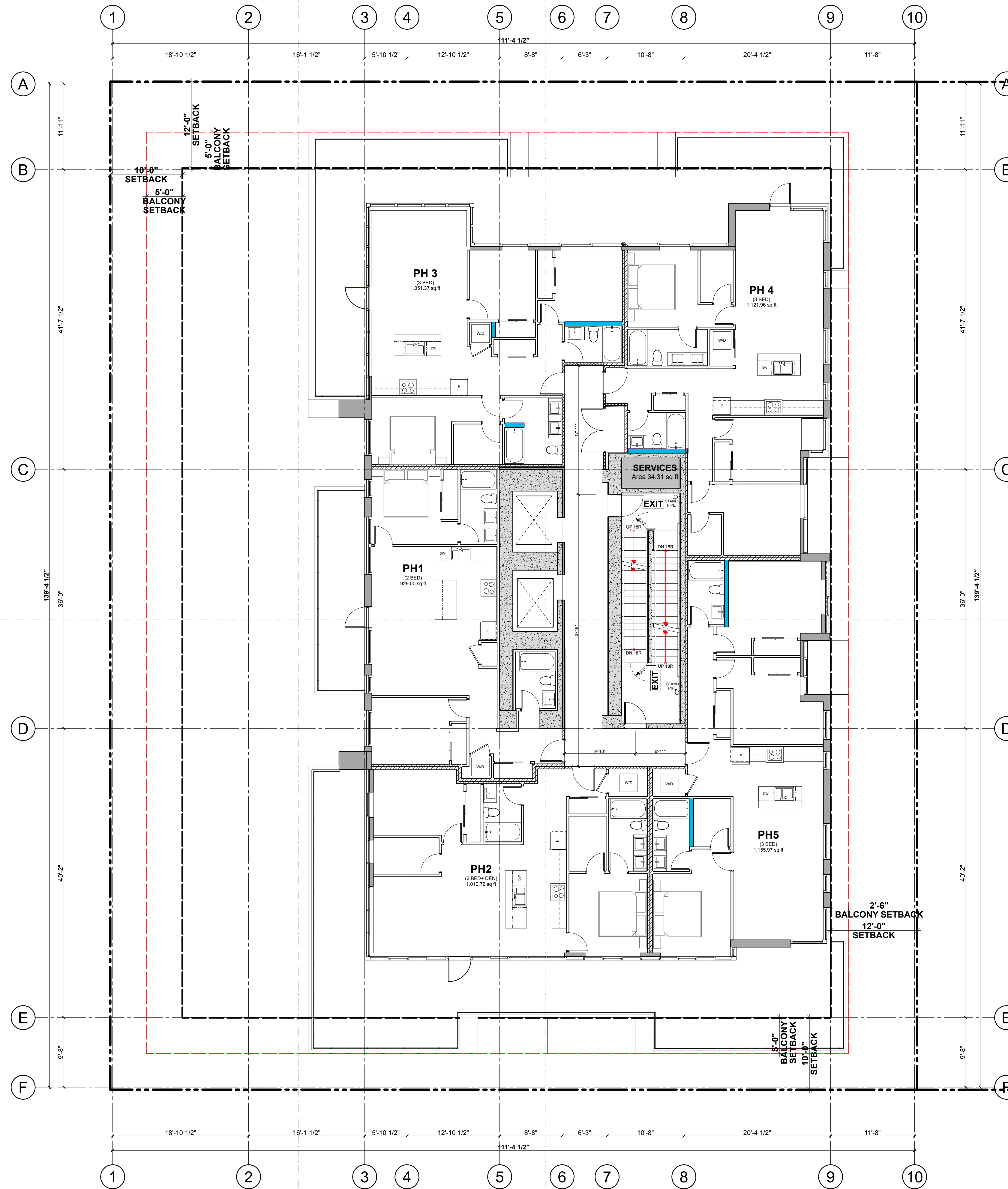
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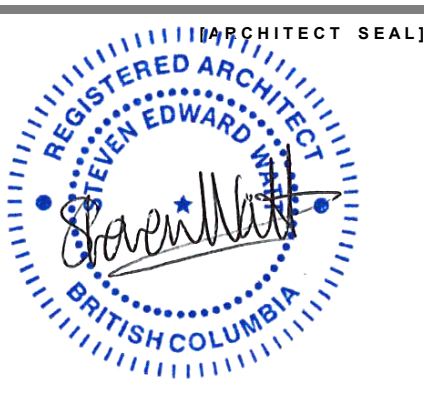
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[PROJECT TEAM]



1 Level 21 Floor Plan
SCALE: 1/8" = 1'-0"



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 21 Floor Plan

[PROJECT]

21569

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

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[DRAWING]

A-2.501

DRAWING LIST

UNIT PLANS 11X17	
A-7.000	COVER PAGE
A-7.001	NOTES
A-7.002	KEY PLAN 1/16" = 1'-0"
A-7.003	SOLID BLOCKING DETAILS 1/4" = 1'-0"
A-7.010	Unit A1 1/4" = 1'-0"
A-7.011	Unit B 1/4" = 1'-0"
A-7.012	Unit B1 1/4" = 1'-0"
A-7.013	Unit B2 ADAPTABLE 1/4" = 1'-0"
A-7.014	Unit B3 1/4" = 1'-0"
A-7.014	Unit C1 1/4" = 1'-0"
A-7.014	Unit C2 1/4" = 1'-0"
A-7.014	Unit C3 1/4" = 1'-0"
A-7.014	Unit C4 1/4" = 1'-0"



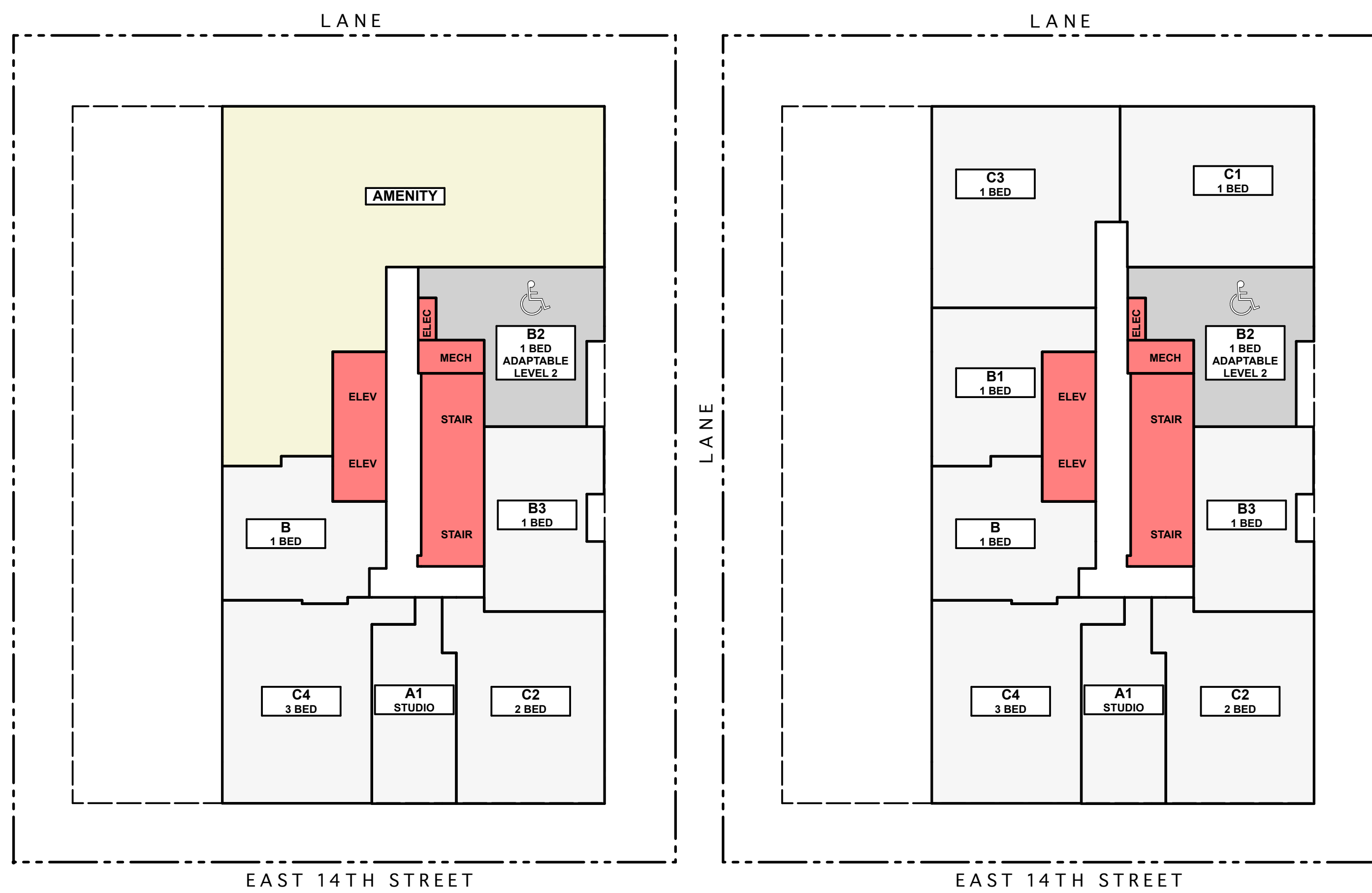
THREE SHORES DEVELOPMENT
E14th St
120-128 East 14th Street North Vancouver, BC

COVER PAGE
21569
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2022-01-31
ISSUE 01 - RZ/DP APP.

A-7.000

E14th St
120-128 East 14th Street North Vancouver BC Canada

ISSUE 01 - RZ/DP APP.



3rd FLOOR - KEY PLAN

TYPICAL FLOOR - KEY PLAN (3RD TO 5TH SIM)

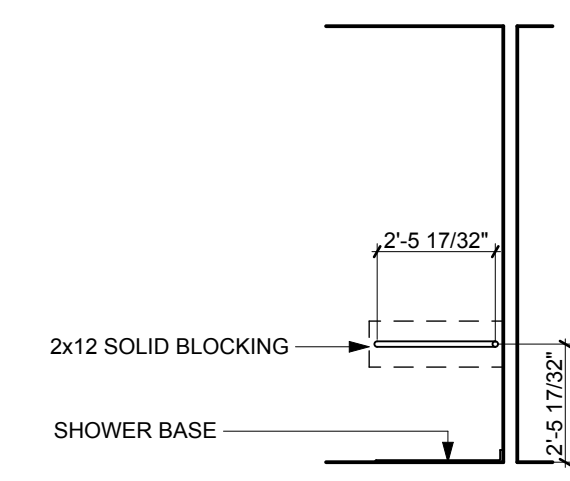


THREE SHORES DEVELOPMENT
E14th St
120-128 East 14th Street North Vancouver, BC

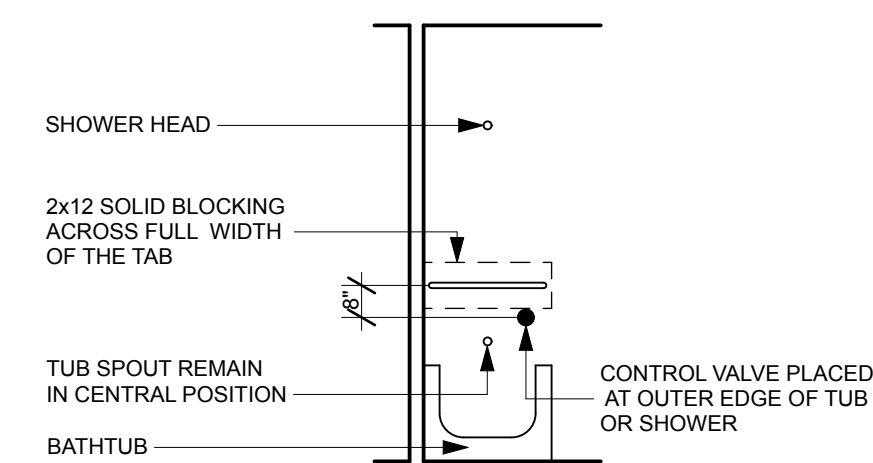
KEY PLAN
21569
NOT TO SCALE
2022-01-31
ISSUE 01 - RZ/DP APP.

A-7.002

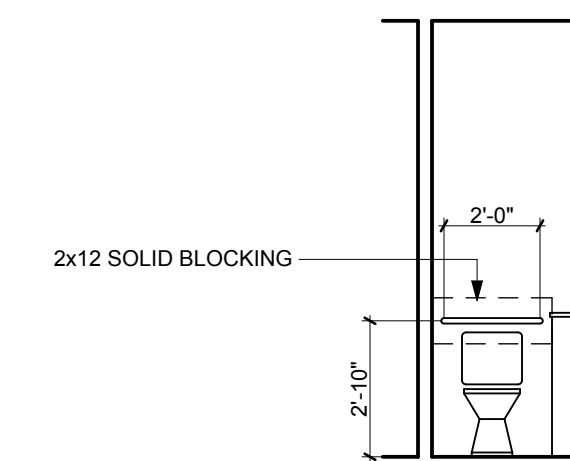
SOLID BLOCKING DETAILS



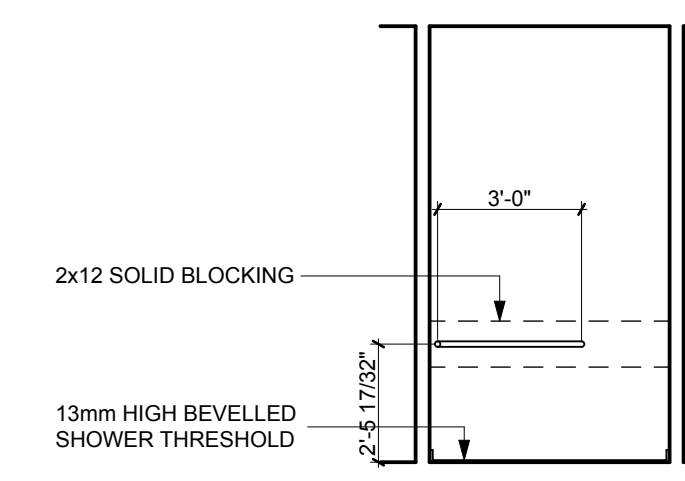
SHOWER SIDE ELEVATION (BOTH SIDES)



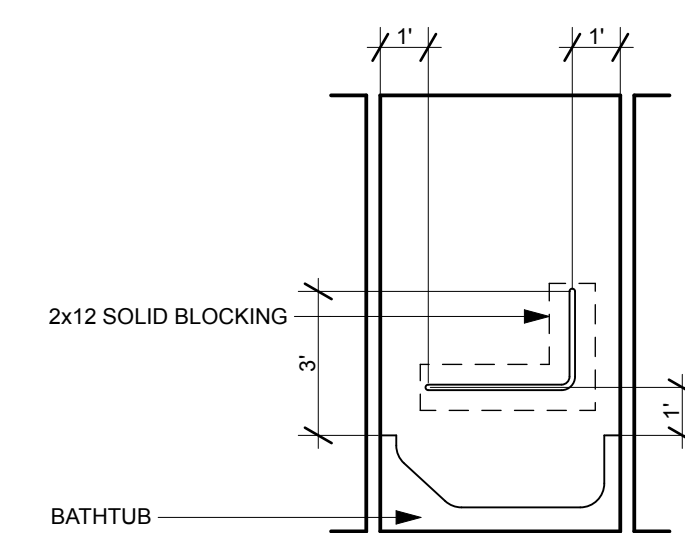
BATHTUB SIDE ELEVATION 1



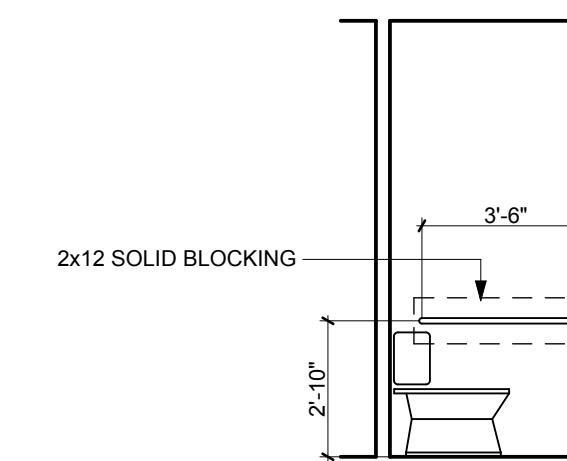
WATER CLOSET FRONT ELEVATION



SHOWER FRONT ELEVATION



BATHTUB FRONT ELEVATION



WATER CLOSET SIDE ELEVATION

SYMBOLS AND LEGENDS:

- WINDOW TYPE
- DOOR TYPE DOOR RATING (HRS)
- INDICATES WALL TYPE / WALL RATING (HR)
- CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING
- EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
- PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
- CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
- INTERIOR SERVICE WALL - PLUMBING / HVAC 2x6 WALL
- SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
- INDICATES ELECTRICAL PANEL
- INDICATES MEDIA PANEL
- INDICATES MANIFOLD PLUMBING PANEL
- SUITE NO.
- STRATA LOT NO.
- UNIT TYPE
- APPROX. NET AREA
- INDICATES DROPPED CEILING

NOTES:

- SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS
- SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION
- PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET
- MIRROR DIMENSIONS TO BE CONFIRMED ON SITE
- AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS - STUD SPACING TO BE MINIMUM OF 16" o.c.
- PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS
- PROVIDE 37" (WIDTH) AND 70" (HEIGHT) CLEAR BETWEEN BASEBOARD & COUNTER TOP FOR FRIDGES - CONFIRM W/OWNER
- BATHROOM & LAUNDRY CEILINGS (EXCEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE PLUMBING & VENTING ABOVE (MIN 2.1 m CEILING HEIGHT)
- KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'-0" HEIGHT TO ACCOMMODATE PLUMBING & VENTING ABOVE. MIN HEIGHT 2.44m
- SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS, TILE PATTERNS, CABINETS, PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN SCOPES OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS
- ALL VENTILATION DUCTS THAT PASS THROUGH UNHEATED ATTIC SPACES ARE TO BE INSULATED - SEE MECH DWGS
- PROVIDE MIN 32" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS
- PROVIDE SEPARATE PRICE FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET
- FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO EXTEND PAST FACE OF KITCHEN CABINETS
- EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS
- LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER DRYER.
- PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.



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THREE SHORES DEVELOPMENT
E14th St
120-128 East 14th Street North Vancouver, BC

NOTES
21569
NOT TO SCALE
2022-01-31
ISSUE 01 - RZ/DP APP.

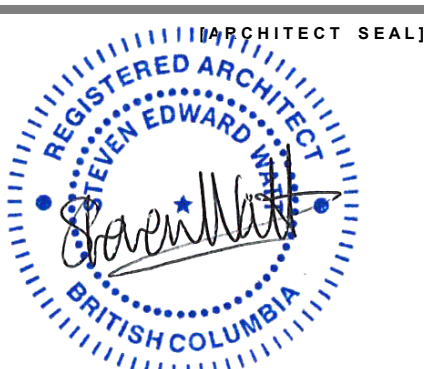
A-7.001



THREE SHORES DEVELOPMENT
E14th St
120-128 East 14th Street North Vancouver, BC

KEY PLAN
21569
NOT TO SCALE
2022-01-31
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A-7.003 ISSUE 01 - RZ/DP APP.



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Unit Plans

SOLID BLOCKING DETAILS
21569
NOT TO SCALE
2022-01-31
ISSUE 01 - RZ/DP APP.

Monday, January 31, 2022

A-7.003 ISSUE 01 - RZ/DP APP.

A-3.000



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[PROJECT TEAM]



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[PROJECT TEAM]

[ARCHITECT SEAL]

THREE SHORES DEVELOPMENT

E14th St

120-128 East 14th Street
North Vancouver, BC

Unit B2 ADAPTABLE

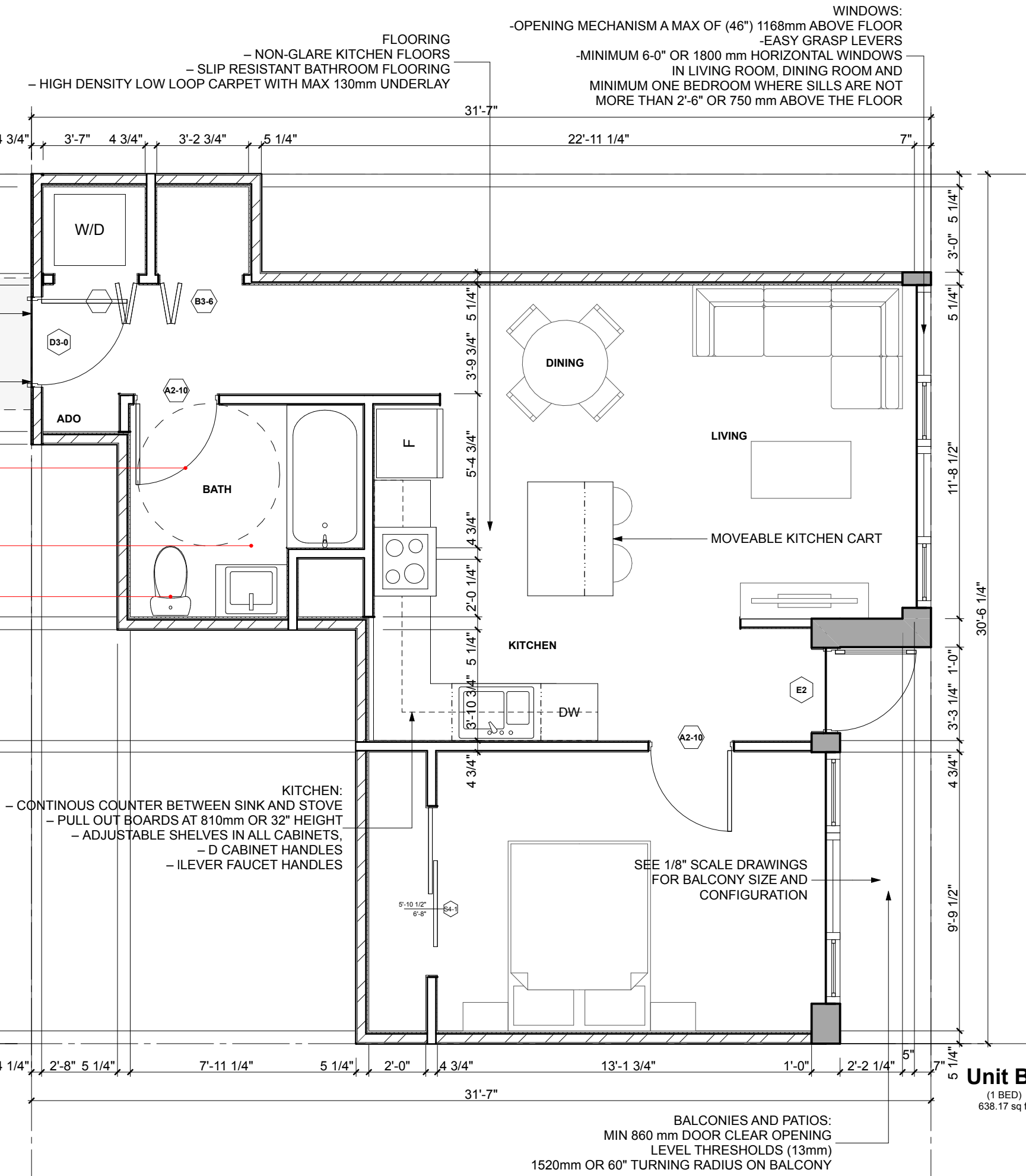
21569

1/4" = 1'-0"

2022-01-31

ISSUE 01 - RZ/DP APP.

A-7.013



WINDOWS:
-OPENING MECHANISM A MAX OF (46") 1168mm ABOVE FLOOR
-EASY GRASP LEVERS
-NON-GLARE KITCHEN FLOORS
-SLIP RESISTANT BATHROOM FLOORING
-HIGH DENSITY LOW LOOP CARPET WITH MAX 130mm UNDERLAY

FLOORING

UNIT ENTRY DOOR
- SUITE ENTRY DOOR MIN 910mm WIDE
- ADJUSTABLE DOOR CLOSERS TO REDUCE FORCE NECESSARY TO OPEN DOOR TO 50lb (22N)
- LEVER DOOR HANDLE
- ROUGH IN FOR POWER OPERATED DOOR

A CLEAR FLOOR SPACE, EXCLUSIVE OF DOOR SWING, NOT LESS THAN 760 MM WIDE BY 1350 MM DEEP CONNECTING TO THE ROUTE THROUGH THE DOORWAY

A MINIMUM OF ONE BATHROOM SHALL BE DESIGNED WITH A CLEAR FLOOR AREA IN FRONT OF THE SINK NOT LESS THAN 760 MM WIDE BY 1350 MM DEEP, CENTERED ON THE LAVATORY

A CLEAR DIMENSION OF 800 MM FROM THE FRONT EDGE OF THE TOILET TO THE FACING WALL

W/D

ADD

BATH

DINING

LIVING

MOVEABLE KITCHEN CART

KITCHEN

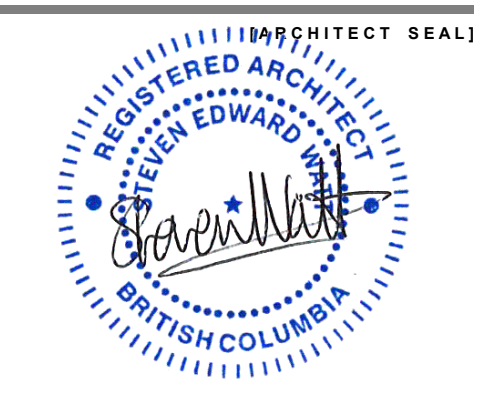
KITCHEN:
- CONTINUOUS COUNTER BETWEEN SINK AND STOVE
- PULL OUT BOARDS AT 810mm OR 32" HEIGHT
- ADJUSTABLE SHELVES IN ALL CABINETS
- D CABINET HANDLES
- ILEVER FAUCET HANDLES

SEE 1/8" SCALE DRAWINGS FOR BALCONY SIZE AND CONFIGURATION

BALCONIES AND PATIOS:
MIN 860 mm DOOR CLEAR OPENING
LEVEL THRESHOLDS (13mm)
1520mm OR 60" TURNING RADIUS ON BALCONY

Unit B2
(1 BED)
638.17 sq ft

- NOTES:
- ALL DOORWAYS WITHIN UNIT SHALL HAVE A CLEAR MINIMUM OPENING WIDTH OF NOT LESS THAN 800mm
 - INTERNAL UNIT CORRIDORS AND PASSAGEWAYS SHALL BE A MINIMUM OF 850mm IN WIDTH
 - POCKET DOORS IN SMALL SPACES WITH HEAVY DUTY HARDWARE AND D-HANDLES
 - WALLS ADJACENT TO THE TOILET, BATHTUB OR SHOWER SHALL ACCOMMODATE FUTURE INSTALLATION OF GRAB BARS WHICH WILL RESIST VERTICAL LOAD NOT LESS THAN 1.3 kN
 - FAUCETS SHALL BE DESIGNED TO BE OPERABLE WITHOUT TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST
 - PRESSURE BALANCED TUB/SHOWER VALVES
 - ADJUSTABLE HEIGHT SHOWER HEAD OR HAND HELD SHOWER HEAD ON ADJUSTABLE BRACKET
 - OFFSET PLUMBING FOR VANITY
 - TOILET LOCATED ADJACENT TO WALL
 - TUB CONTROL VALVE PLACED AT OUTER EDGE OF TUB WITH SPOUT IN MIDDLE
 - WIRING FOR VISUAL ALARM SHALL BE TIED INTO FIRE ALARM SYSTEM FOR INSTALLATION OF SUCH ALARM IN LIVING ROOM AND BEDROOMS
 - ELECTRICAL, TELEPHONE CABLE AND DATA OUTLETS SHALL BE LOCATED BETWEEN 455 mm and 1200 mm ABOVE THE FLOOR
 - SWITCHES AND CONTROLS SHALL BE LOCATED 900 AND 1200 ABOVE THE FLOOR AND OPERABLE WITH A CLOSED FIST
 - ROCKER SWITCH
 - DUPLEX OUTLETS BESIDE PHONE JACKS



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Unit Plans

21569 [PROJECT]

As Noted [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

A-3.001

ADAPTABLE DESIGN GUIDELINES

DESIGN ELEMENTS

City of North Vancouver Zoning Bylaw, 1995, No. 6700 Amendment Bylaw No. 2005, No. 7721 - Figure 5 - 1

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BUILDING ACCESS	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair	Outside stairs – maximum degree of colour contrast on nosing of each stair
BUILDING ACCESS	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues	Curb cuts have tactile and visual cues
BUILDING ACCESS	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks	Unobstructed access to main building entrances from street/sidewalks
BUILDING ACCESS		Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each unit	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to door latch) * - garbage and recycling receptacles and storage lockers - no stairs within building circulation including corridors on residential levels - accessible storage lockers for each Level 3 unit
BUILDING ACCESS	Canopy over main building entrances (3' or 915mm) and enterphone	Canopy over main building entrances (3' or 915mm) and enterphone.	Canopy over main building entrances (3' or 915mm) and enterphone.
BUILDING ACCESS		Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided.	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parkade level where disability parking is provided.
BUILDING ACCESS	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached.	Disability Parking provided in accordance with Zoning bylaw Figure 9-4 as attached
BUILDING ACCESS		3' or 915mm building and suite entry doors	3' or 915mm building and suite entry doors
BUILDING ACCESS	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)
BUILDING ACCESS	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *	Accessible building enterphone, call buttons and, where provided, suite door bells *

* Illustrations available
** Options considered

Design Elements
July 2005

- 1 of 3 -

DESIGN ELEMENTS

3 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
COMMON AREAS		Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *
CIRCULATION	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
CIRCULATION		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
SUITE CIRCULATION		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
SUITE CIRCULATION		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*
DOORS		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening*	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
PATIOS & BALCONIES		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2' - 10" or 860mm clear door opening
PATIOS & BALCONIES		Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum 1/2" or 13mm threshold **
PATIOS & BALCONIES		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
WINDOWS		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS		Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750mm above the floor	Provide minimum 6'-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750mm above the floor
KITCHEN		Continuous counter between sink and stove*	Continuous counter between sink and stove*
KITCHEN			Sink cabinet minimum 2'8" or 810mm wide
KITCHEN			Provide sufficient space for future installation of cooktop and wall oven
KITCHEN			Provide for potential 2'8" or 810mm wide undercounter workspace
KITCHEN			Lower edge of upper cupboards 4'6" or 1350mm above floor

* Illustrations available
** Options considered

Design Elements
July 2005

- 2 of 3 -

DESIGN ELEMENTS

4 of 11

	LEVEL ONE	LEVEL TWO	LEVEL THREE
KITCHEN			Minimum 4' or 1220mm floor space between base cabinets / walls (possible with removal of sink cabinet) *
MIN. ONE BATHROOM		Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
MIN. ONE BATHROOM		Provide turning radius within bathroom (may result from removal of vanity cabinet)*	Provide turning radius within bathroom (may result from removal of vanity cabinet)*
MIN. ONE BATHROOM		3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
MIN. ONE BATHROOM		Tub control valve placed at outer edge of tub, with tub spout remaining in central position *	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
MIN. ONE BATHROOM		Accessible storage *	Accessible storage*
MIN. ONE BATHROOM			Provide pocket door or door swing out *
MIN. ONE BATHROOM			Space under sink minimum 2'8" or 810mm wide *
MIN. ONE BATHROOM			Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
MIN. ONE BEDROOM			Sufficient manoeuvring room between closet and double bed *
MIN. ONE BEDROOM			Provide 3' or 915mm access to window opening *
LAUNDRY FACILITIES			Provide front loading side-by-side washer / dryer in-suite or in common area
LAUNDRY FACILITIES			4' or 1220mm manoeuvring space in front of washer / dryer

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

* Illustrations available
** Options considered

Design Elements
July 2005

- 3 of 3 -

DESIGN ELEMENTS

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION		Slip resistant flooring	Slip resistant flooring
CIRCULATION		Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum 1/2" or 13mm height	High density, low level loop carpet and underlay maximum 1/2" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

* Illustrations available

- 1 of 3 -

Fixtures & Finishes
July 2005

FIXTURES & FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and sink at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
KITCHEN			Where regular refrigerator installed initially, provide adequate space for side by side model
KITCHEN			Contrasting knobs on stove / cook top

* Illustrations available

- 2 of 3 -

Fixtures & Finishes
July 2005

FIXTURES & FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
MIN. ONE BATHROOM	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
MIN. ONE BATHROOM	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
MIN. ONE BATHROOM		Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
MIN. ONE BATHROOM		Provision for vanity sink removal	Provision for vanity sink removal
MIN. ONE BATHROOM		Adjustable height shower head or hand-held shower head on adjustable bracket*	Adjustable height shower head or hand-held shower head on adjustable bracket *
MIN. ONE BATHROOM			Water temperature regulator on tub / shower faucet
LIVING ROOM		One switched electrical outlet	One switched electrical outlet
BEDROOMS		Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
BEDROOMS		Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
BEDROOMS	Telephone jack	Telephone jack	Telephone jack
IN-SUITE STORAGE		Provide light and electrical outlet	Provide light and electrical outlet

LEVEL 1 ALL UNITS
LEVEL 2 ADAPTABLE UNIT: B2

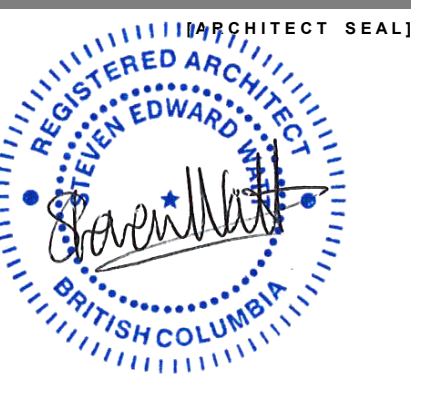


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[PROJECT TEAM]



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Unit Plans

21569

[PROJECT]

As Noted

[SCALE]

Monday, January 31, 2022

[DATE]

ISSUE 01 - RZ/DP APP.

[ISSUE]

[DRAWING]

A-3.002



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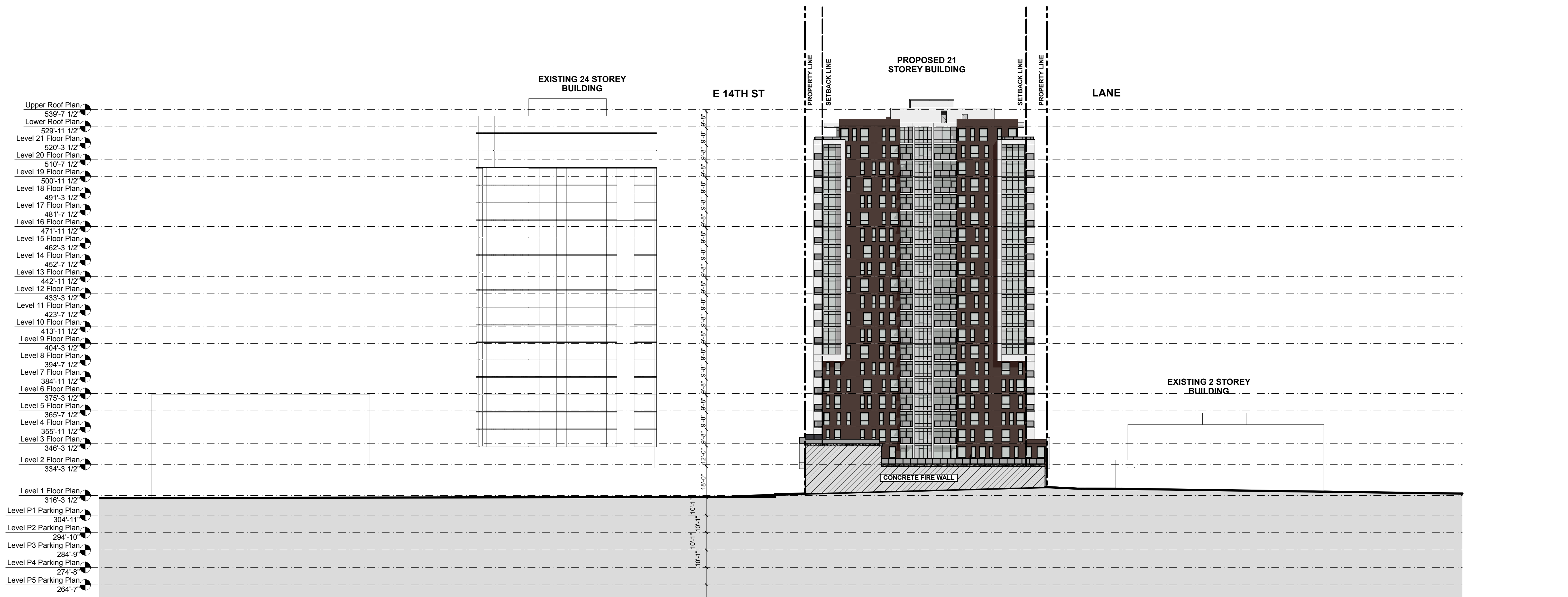
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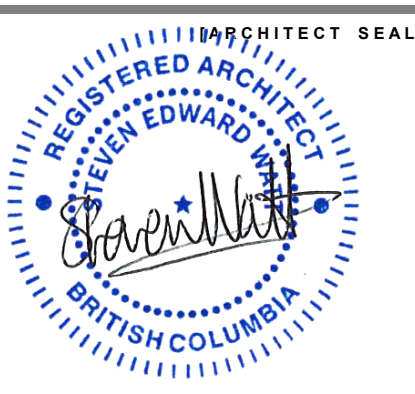
[PROJECT TEAM]



1 North - Street Elevation
SCALE: 1/32" = 1'-0"



1 East - Street Elevation
SCALE: 1/32" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

North & East
Street Elevation

[PROJECT]

21569

1/32" = 1'-0"

Monday, January 31, 2022

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[PROJECT TEAM]

- Upper Roof Plan
- Lower Roof Plan
- Level 21 Floor Plan
- Level 20 Floor Plan
- Level 19 Floor Plan
- Level 18 Floor Plan
- Level 17 Floor Plan
- Level 16 Floor Plan
- Level 15 Floor Plan
- Level 14 Floor Plan
- Level 13 Floor Plan
- Level 12 Floor Plan
- Level 11 Floor Plan
- Level 10 Floor Plan
- Level 9 Floor Plan
- Level 8 Floor Plan
- Level 7 Floor Plan
- Level 6 Floor Plan
- Level 5 Floor Plan
- Level 4 Floor Plan
- Level 3 Floor Plan
- Level 2 Floor Plan
- Level 1 Floor Plan
- Level P1 Parking Plan
- Level P2 Parking Plan
- Level P3 Parking Plan
- Level P4 Parking Plan
- Level P5 Parking Plan

LONSDALE AVE

EXISTING 10 STOREY BUILDING

PROPOSED 21 STOREY BUILDING

EXISTING 12 STOREY BUILDING

PROPERTY LINE

SETBACK LINE

SETBACK LINE

PROPERTY LINE

81'-2 9/32"

101'-2 29/32"

1 South - Street Elevation

SCALE: 1/32" = 1'-0"

E 15TH STREET

LANE

PROPOSED 21 STOREY BUILDING

E 14TH ST

EXISTING 24 STOREY BUILDING

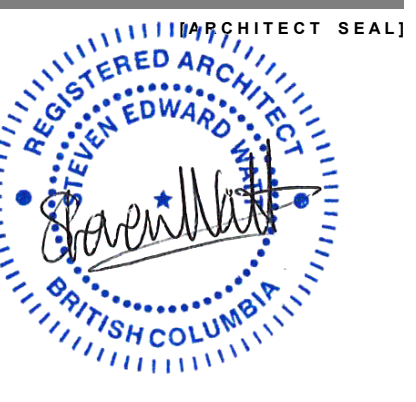
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- Level 10 Floor Plan
- Level 9 Floor Plan
- Level 8 Floor Plan
- Level 7 Floor Plan
- Level 6 Floor Plan
- Level 5 Floor Plan
- Level 4 Floor Plan
- Level 3 Floor Plan
- Level 2 Floor Plan
- Level 1 Floor Plan
- Level P1 Parking Plan
- Level P2 Parking Plan
- Level P3 Parking Plan
- Level P4 Parking Plan
- Level P5 Parking Plan

EXISTING 2 STOREY BUILDING

95'-11 7/8"

1 West - Street Elevation

SCALE: 1/32" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

South & West Street Elevation

[PROJECT]

21569 [SCALE]

1/32" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

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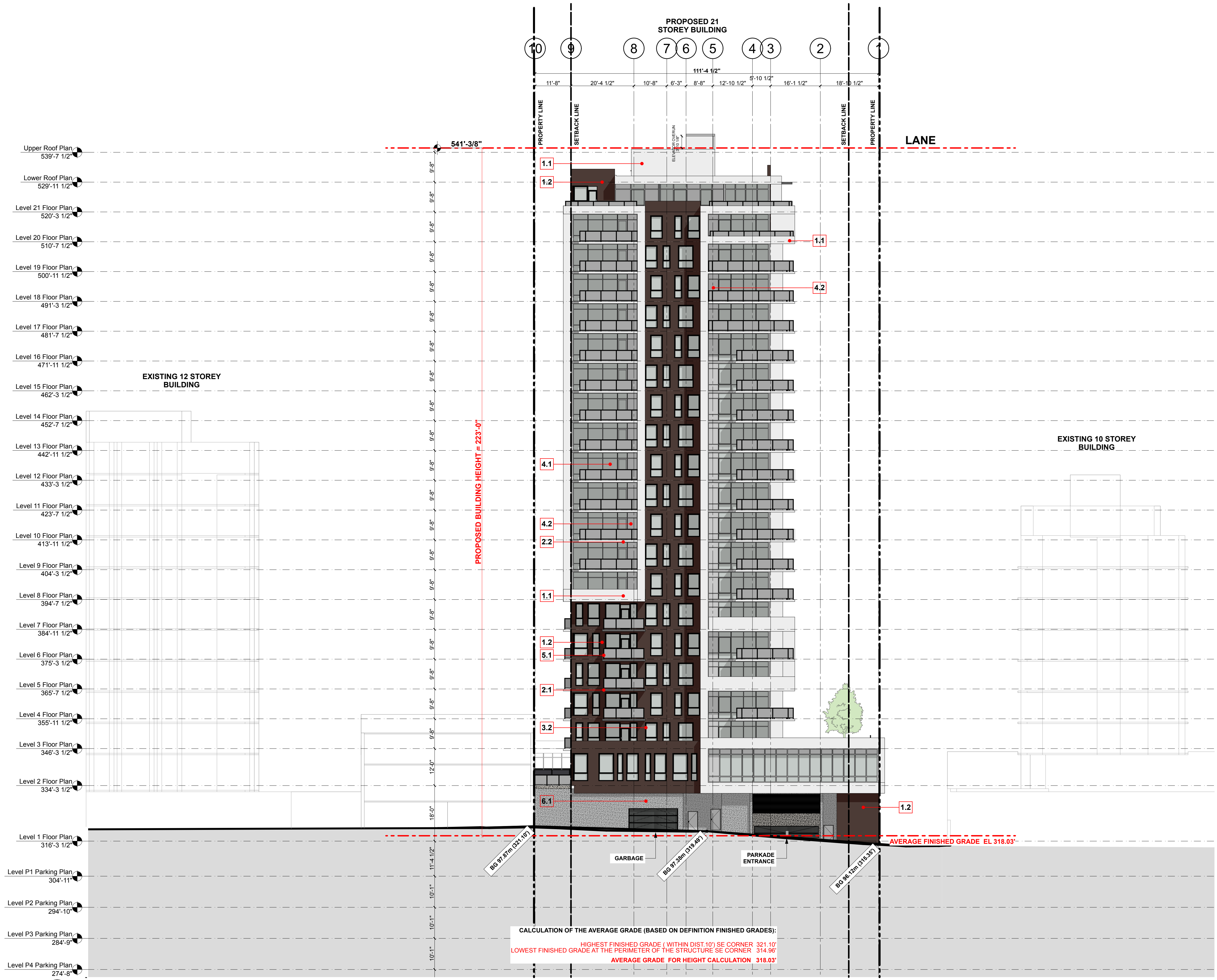
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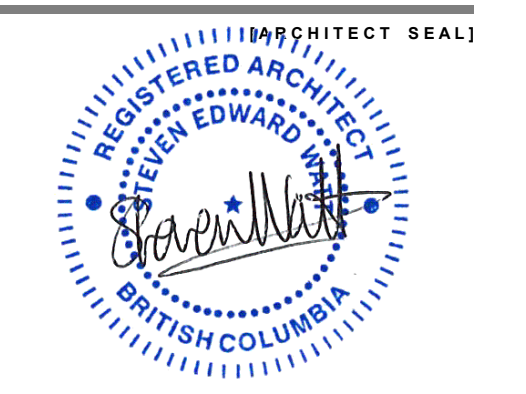
[PROJECT TEAM]



1 North - Building Elevation
SCALE: 1/16" = 1'-0"

CALCULATION OF THE AVERAGE GRADE (BASED ON DEFINITION FINISHED GRADES):
 HIGHEST FINISHED GRADE (WITHIN DIST.10' SE CORNER 321.10'
 LOWEST FINISHED GRADE AT THE PERIMETER OF THE STRUCTURE SE CORNER 314.96'
 AVERAGE GRADE FOR HEIGHT CALCULATION 318.03'

Color	Material	Finish/Texture	Notes	Application
ALUMINUM CLADDING				
1.1	White	N/A	Aluminum Composite Panel	Smooth Exterior Walls
1.2	Black Walnut	N/A	Aluminum Composite Panel	Smooth Exterior Walls
SOFFIT/FASCIA				
2.1	Dark Gray	N/A	Elastomeric Paint	Balcony
2.2	White	N/A	Elastomeric Paint	Balcony
WINDOWS FRAME				
3.1	White	N/A	Window Wall system	Residential Windows
3.2	Black	N/A	Window Wall system	Storefront Windows & Doors
GLASS				
4.1	Clear	N/A	Low E double glazed	Window Wall
4.2	Spandrel	N/A	Spandrel	Spandrel
RAILINGS				
5.1	Charcoal	N/A	Pre-Finished Aluminum Frame w/ Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
5.2	White	N/A	Pre-Finished Aluminum Frame w/ Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
STRUCTURE				
6.1	Light Gray	N/A	Architectural Exposed Concrete	Concrete Cast in place and Landscape Retaining Walls



2022-01-31 [CLIENT]

Three Shores Development [PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

North Elevation

21569 [PROJECT]

1/16" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

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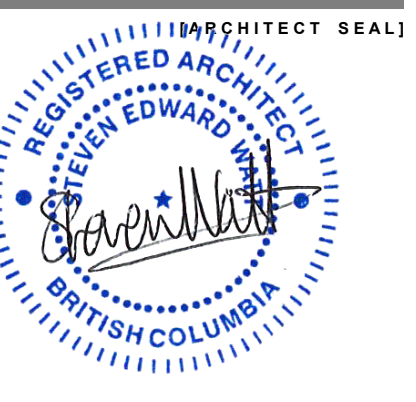
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[PROJECT TEAM]



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

East Elevation

21569

[PROJECT]

1/16" = 1'-0"

[SCALE]

Monday, January 31, 2022

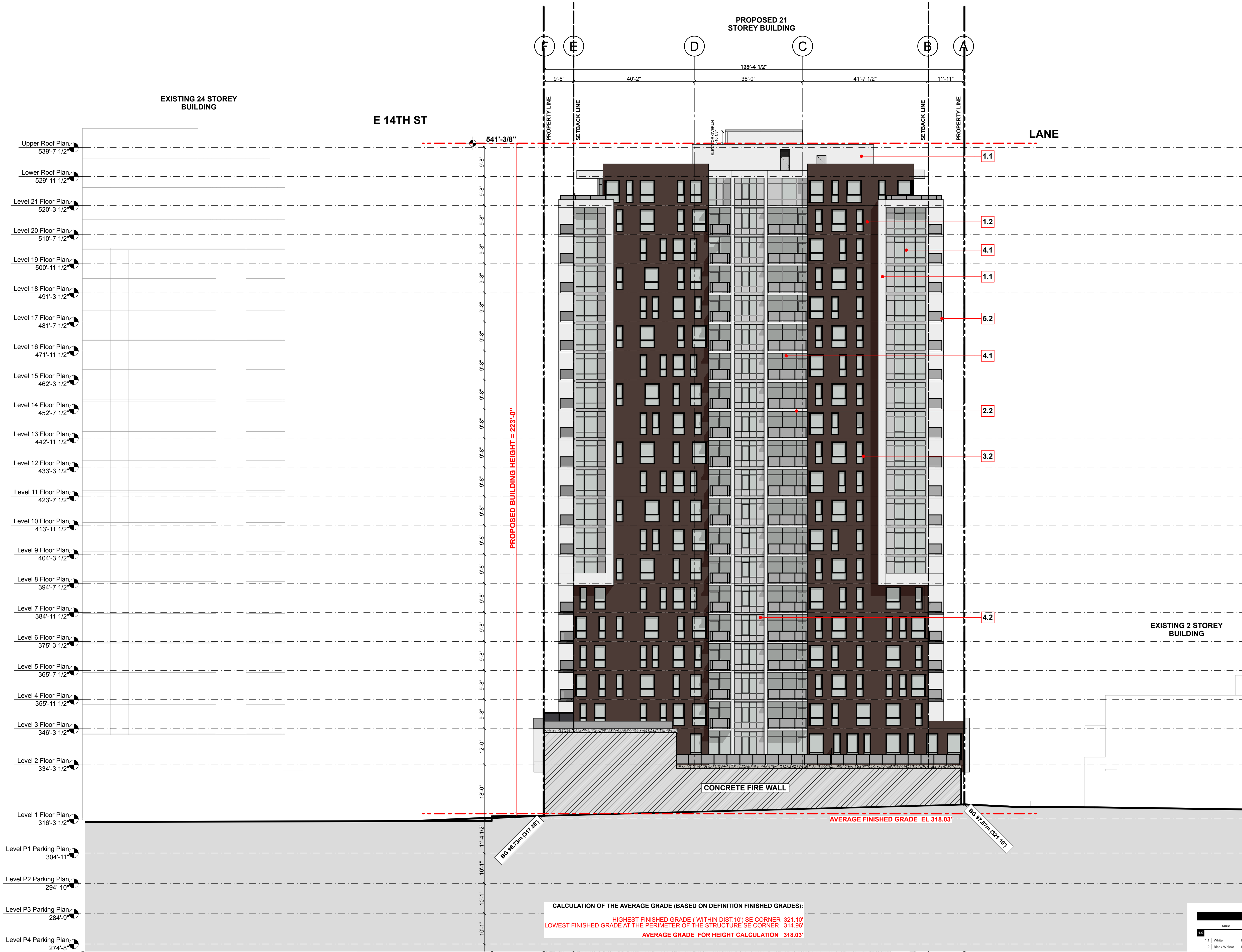
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[ISSUE]

[DRAWING]

A-4.200



Code	Material	Manufacturer	Finish	Notes
ALUMINUM CLADDING				
1.1	White	N/A	Aluminum Composite Panel	Smooth
1.2	Black Walnut	N/A	Aluminum Composite Panel	Smooth
SOFFIT/FASCIA				
2.1	Dark Gray	N/A	Elastomeric Paint	Balcony
2.2	White	N/A	Elastomeric Paint	Balcony
WINDOWS FRAME				
3.1	White	N/A	Window Wall system	Residential Windows
3.2	Black	N/A	Window Wall system	Storefront Windows & Doors
GLASS				
4.1	Clear	N/A	Low E double glazed	Window Wall
4.2	Spandrel	N/A	Window Glass	Spandrel
RAILINGS				
5.1	Charcoal	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal
5.2	White	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal
STRUCTURE				
6.1	Light Gray		Architectural Exposed Concrete	Concrete
				Cast in place and Landscape Retaining Walls

1 East - Building Elevation
SCALE: 1/16" = 1'-0"



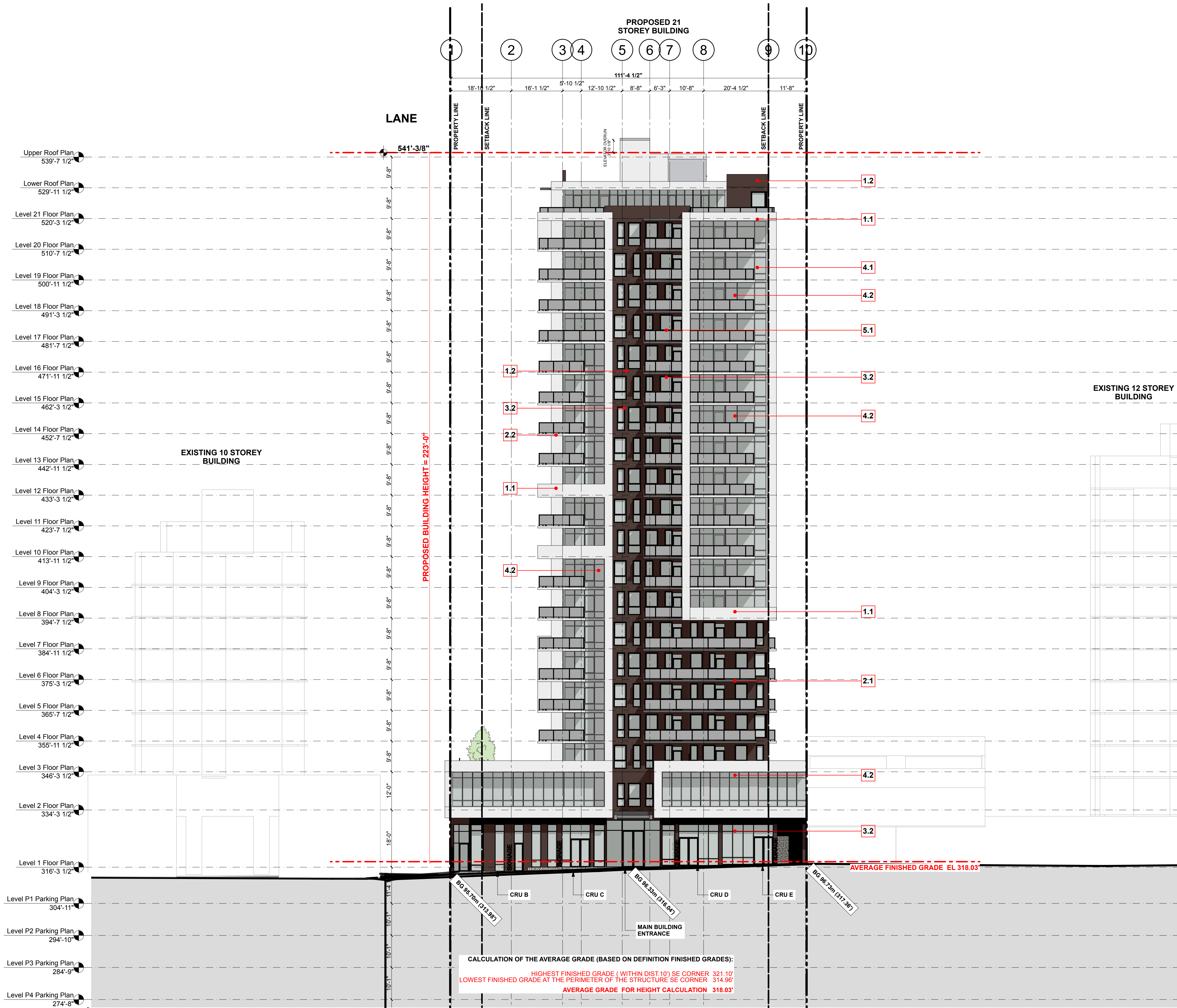
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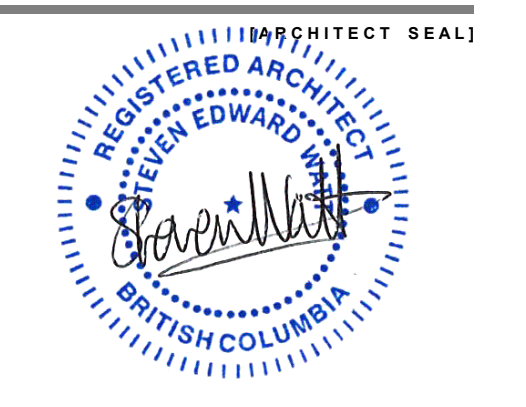
[PROJECT TEAM]



CALCULATION OF THE AVERAGE GRADE (BASED ON DEFINITION FINISHED GRADES):
 HIGHEST FINISHED GRADE (WITHIN DIST. 10') SE CORNER 321.10'
 LOWEST FINISHED GRADE AT THE PERIMETER OF THE STRUCTURE SE CORNER 314.90'
 AVERAGE GRADE FOR HEIGHT CALCULATION 318.03'

Code	Material	Finish	Color	Notes
ALUMINUM CLADDING				
1.1	White	N/A	Aluminum Composite Panel	Smooth Exterior Walls
1.2	Black Walnut	N/A	Aluminum Composite Panel	Smooth Exterior Walls
SOFFIT/FASCIA				
2.1	Dark Gray	N/A	Elastomeric Paint	Balcony
2.2	White	N/A	Elastomeric Paint	Balcony
WINDOWS FRAME				
3.1	White	N/A	Window Wall system	Residential Windows
3.2	Black	N/A	Window Wall system	Storefront Windows & Doors
GLASS				
4.1	Clear	N/A	Low E double glazed	Window Wall
4.2	Spandrel	N/A	Window Wall	Spandrel
RAILINGS				
5.1	Charcoal	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
5.2	White	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal Railings @ Entry Stairs, Balconies, Roof Decks
STRUCTURE				
6.1	Light Gray		Architectural Exposed Concrete	Concrete Cast in-place and Landscape Retaining Walls

1 South - Building Elevation
SCALE: 1/16" = 1'-0"



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

South Elevation

21569 [PROJECT]

1/16" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

A-4.300



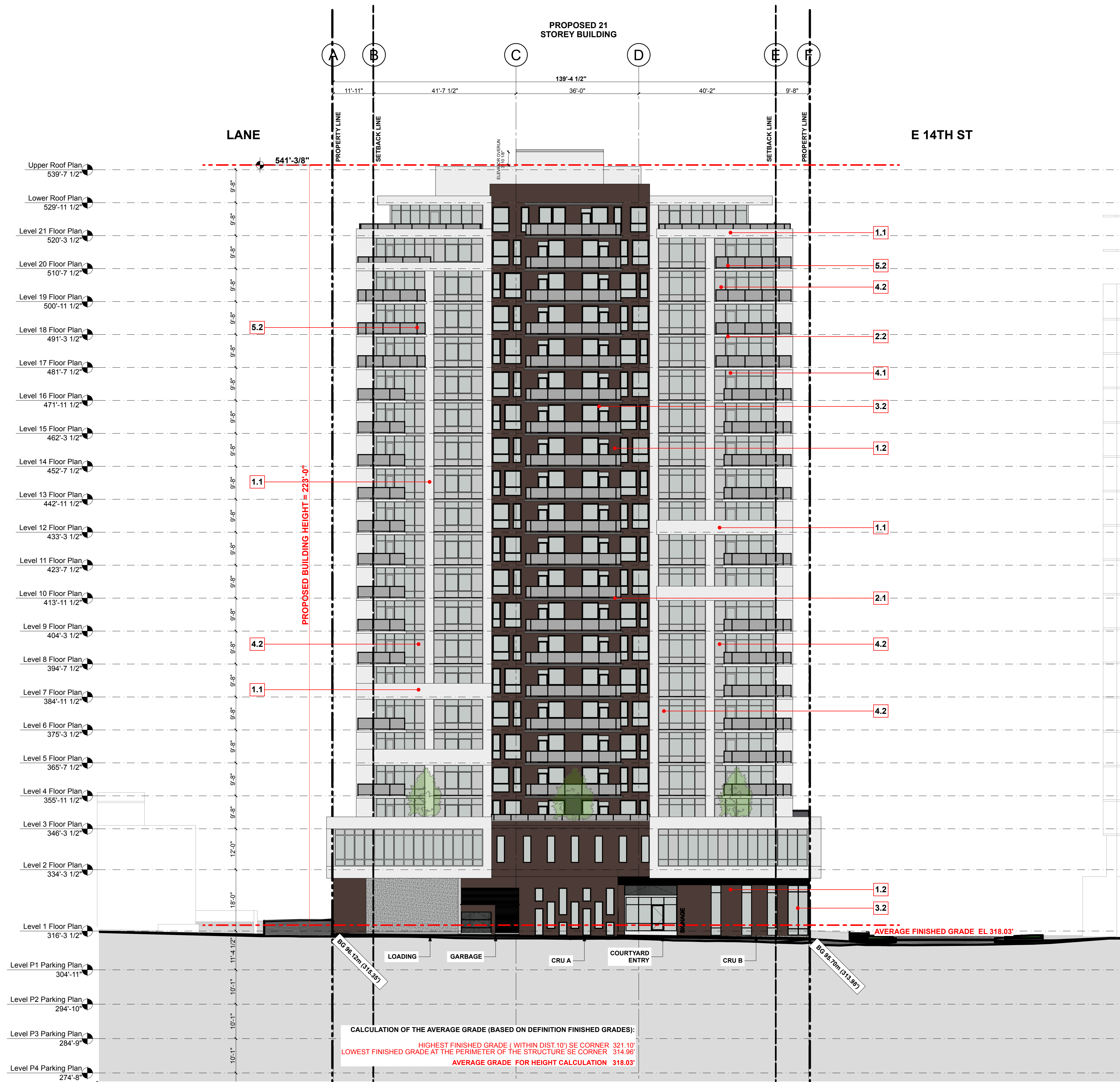
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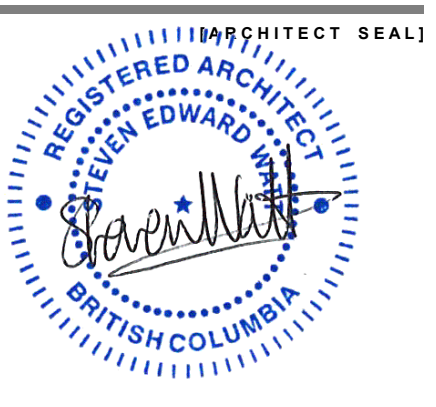
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[PROJECT TEAM]



1 West - Building Elevation
SCALE: 1/16" = 1'-0"

Color	Material	Finish/Texture	Notes	Location	
ALUMINUM CLADDING					
1.1	White	N/A	Aluminum Composite Panel	Smooth	Exterior Walls
1.2	Black Walnut	N/A	Aluminum Composite Panel	Smooth	Exterior Walls
SOFFIT/FASCIA					
2.1	Dark Gray	N/A	Elastomeric Paint		Balcony
2.2	White	N/A	Elastomeric Paint		Balcony
WINDOWS FRAME					
3.1	White	N/A	Window Wall system		Residential Windows
3.2	Black	N/A	Window Wall system		Storefront Windows & Doors
GLASS					
4.1	Clear	N/A	Low E double glazed		Window Wall
4.2	Spandrel	N/A	Spandrel		Spandrel
RAILINGS					
5.1	Charcoal	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
5.2	White	N/A	Pre-Finished Aluminum Frame + Clear Safety Glass	Clear / Charcoal	Railings @ Entry Stairs, Balconies, Roof Decks
STRUCTURE					
6.1	Light Gray		Architectural Exposed Concrete	Concrete	Cast in place and Landscape Retaining Walls



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

West Elevation

[PROJECT]

21569

[SCALE]

1/16" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

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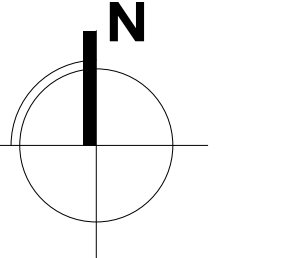


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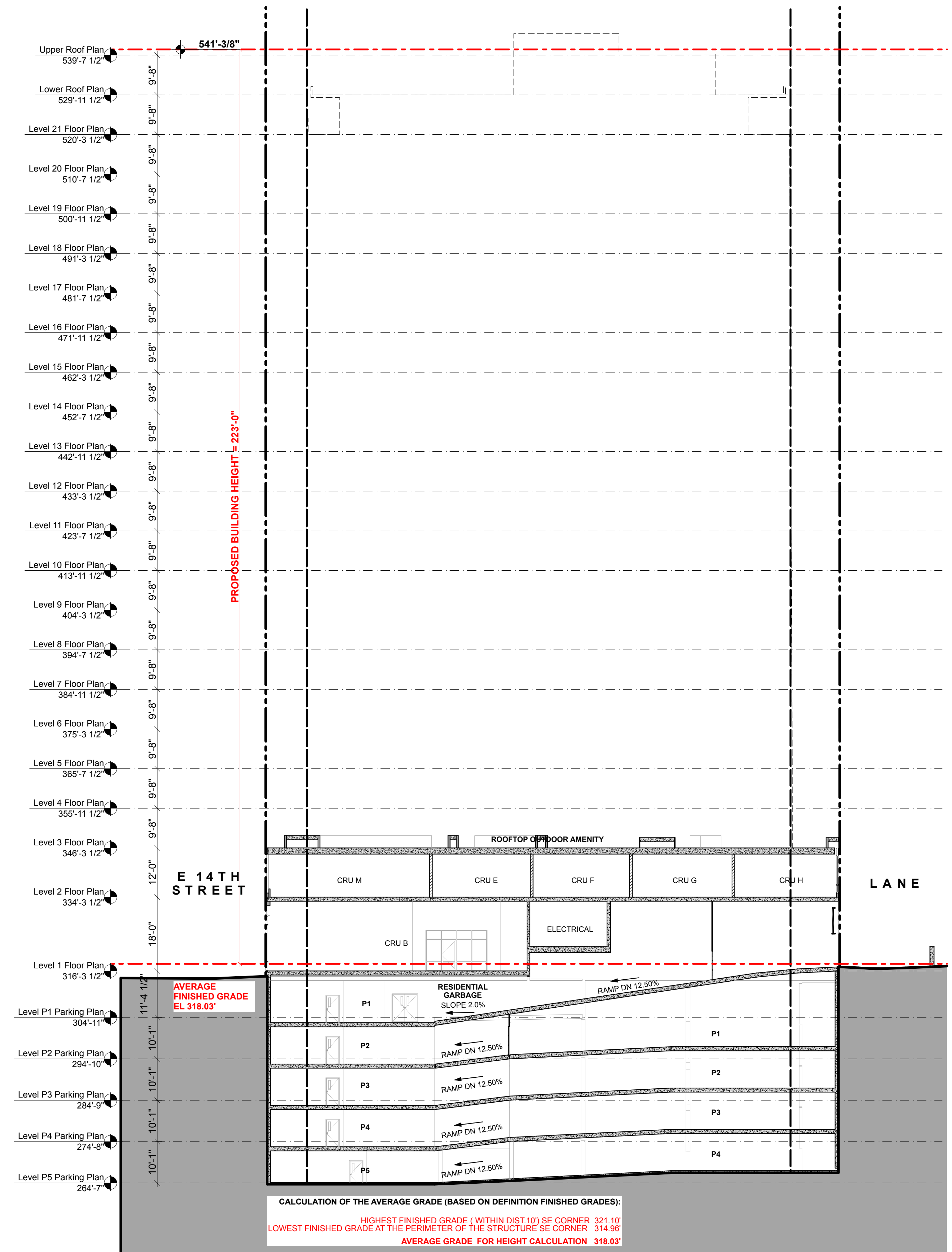
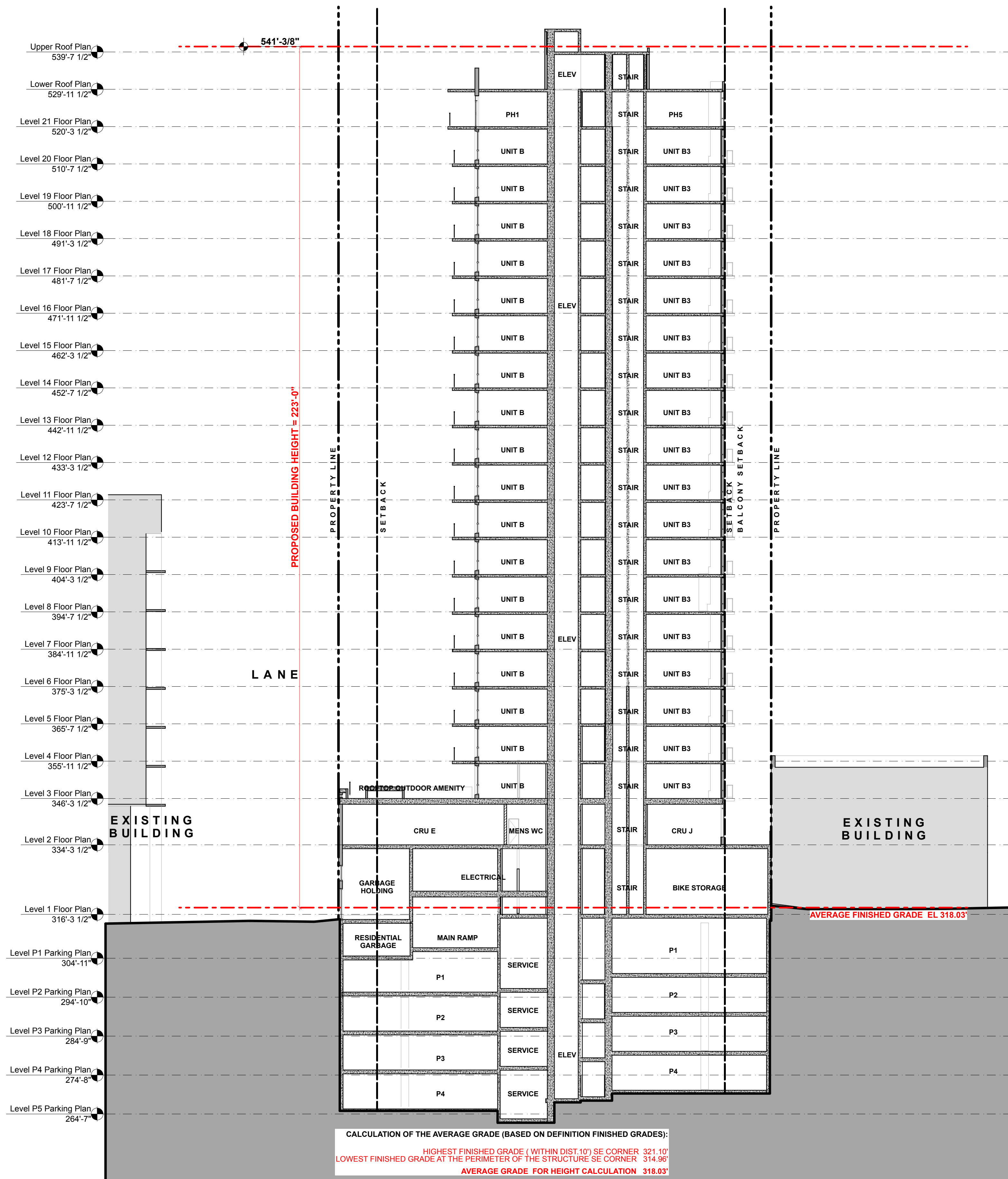
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Three Shores Development

East 14th Street

120-128 East 14th Street
North Vancouver, BC

Building Sections

21569 [PROJECT]

1/16" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

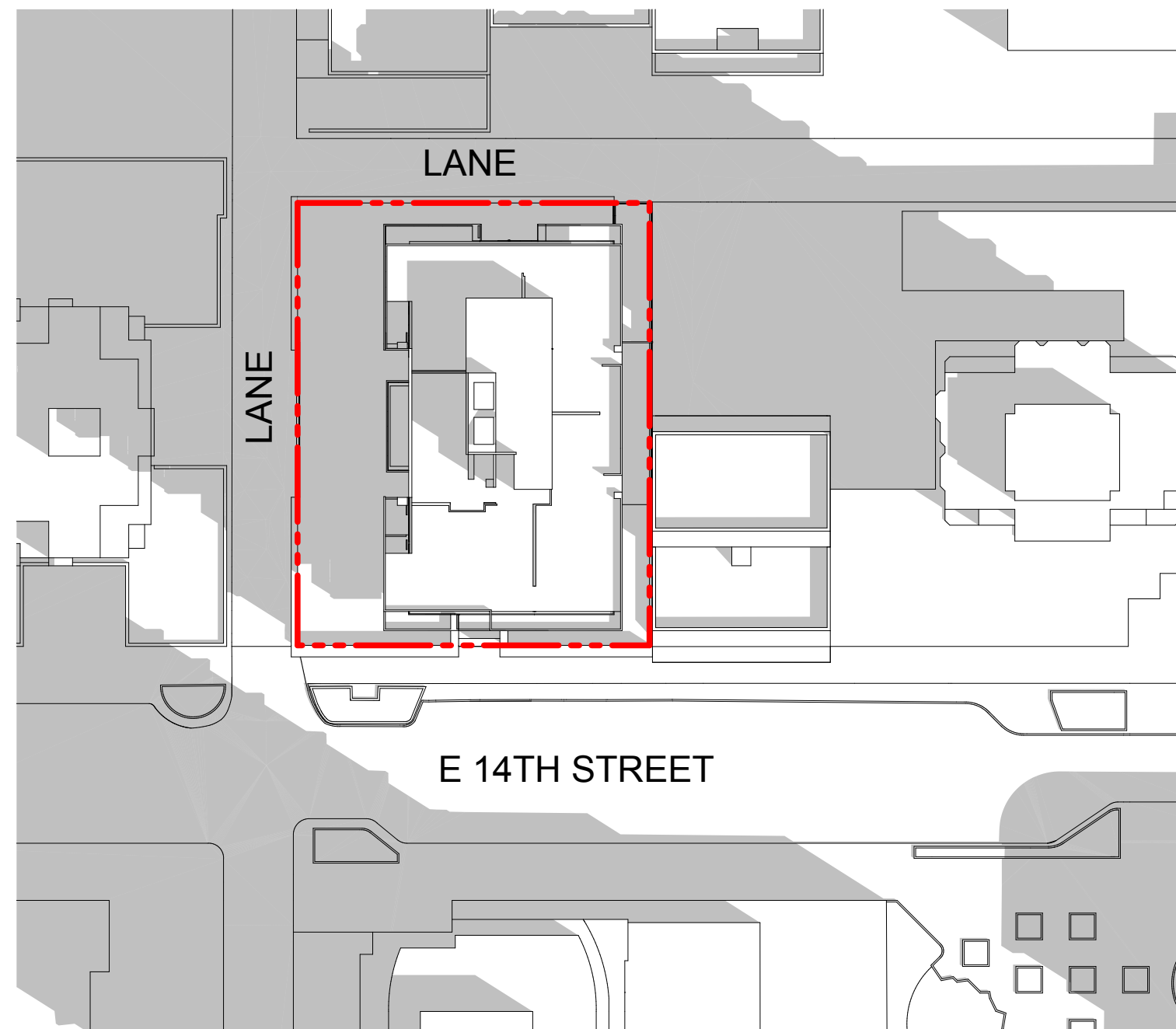
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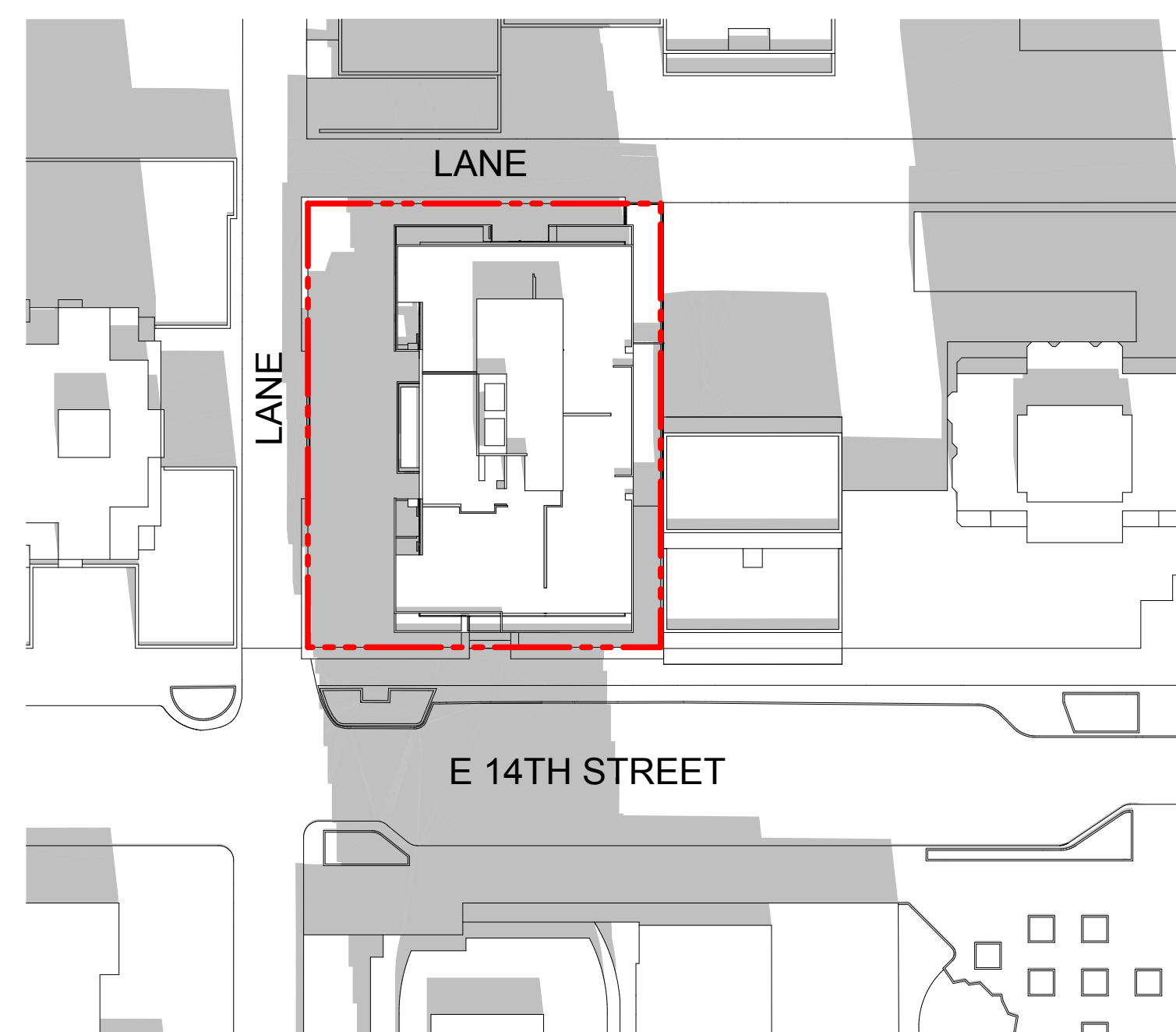
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SCALE: 1/16" = 1'-0"

1 Building Section - North-South
SCALE: 1/16" = 1'-0"

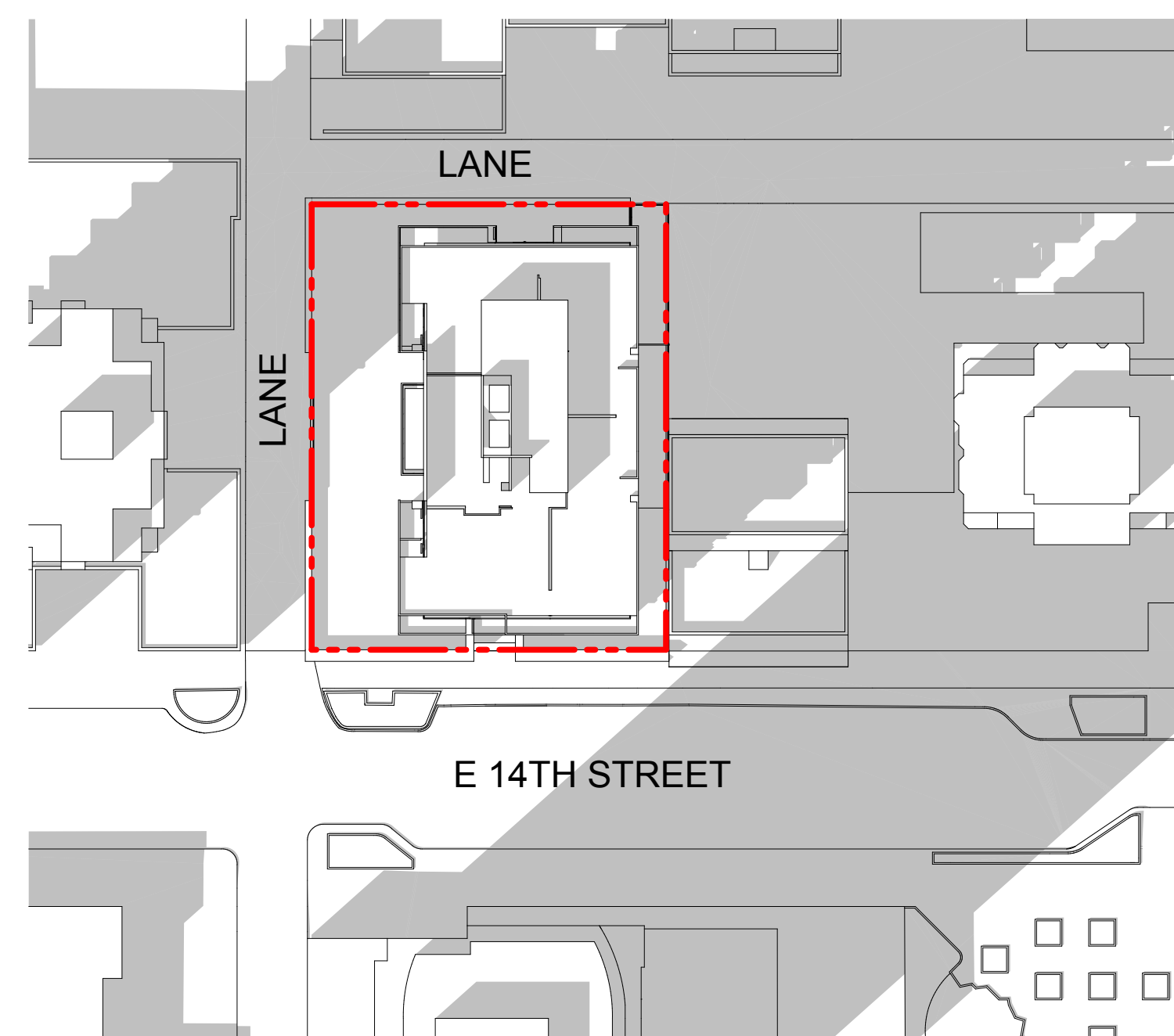
SPRING EQUINOX
MARCH 21



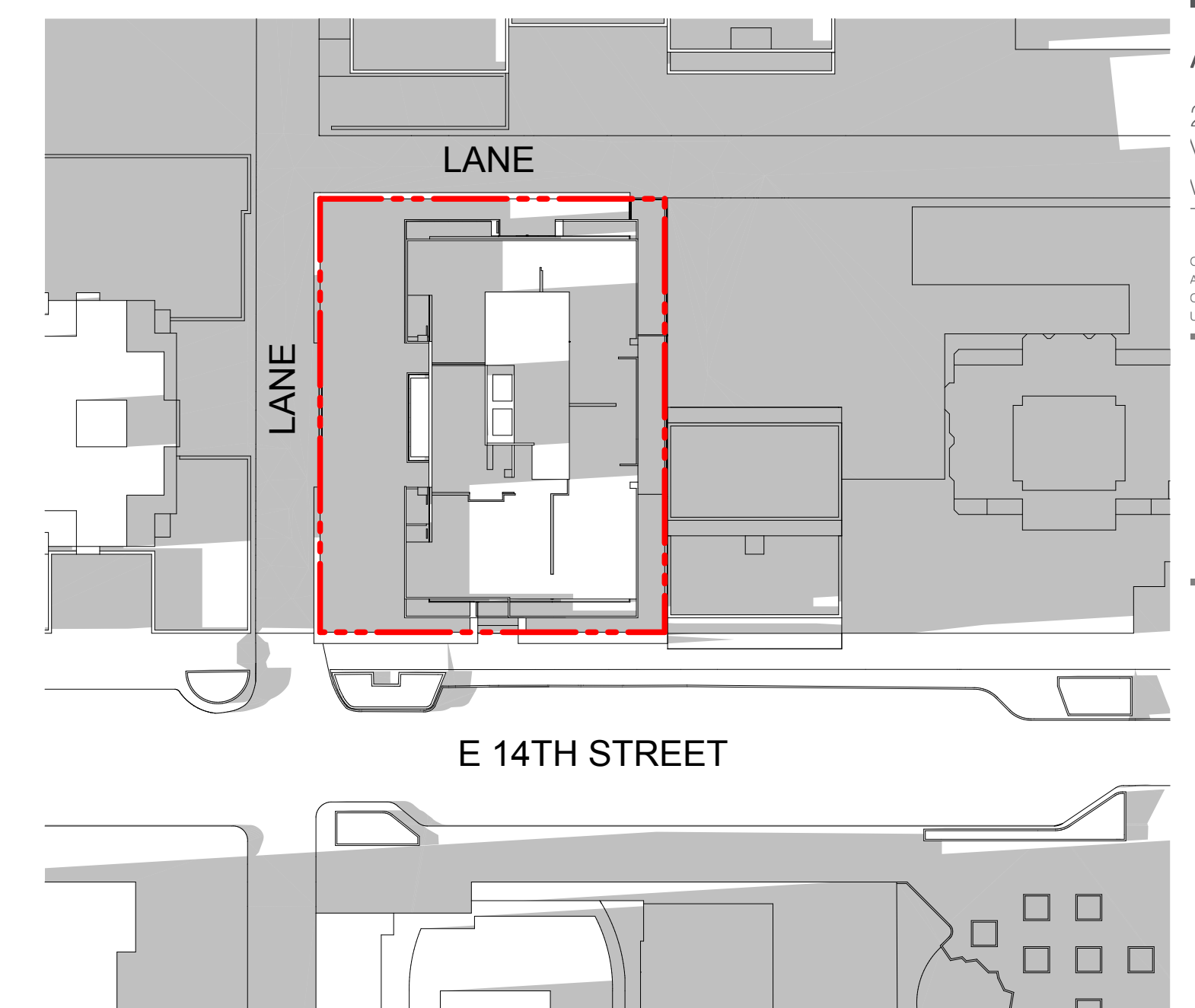
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12 PM

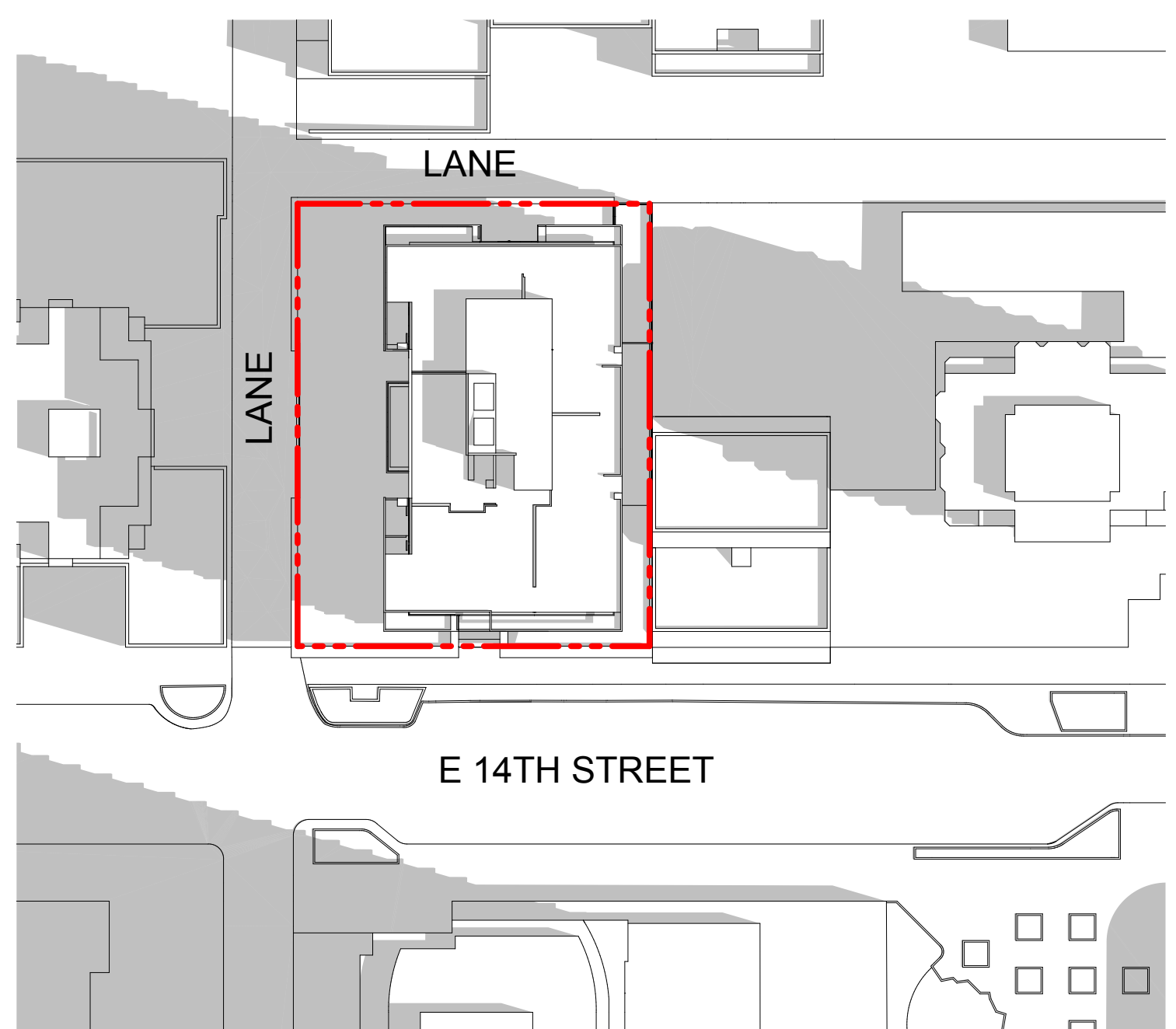


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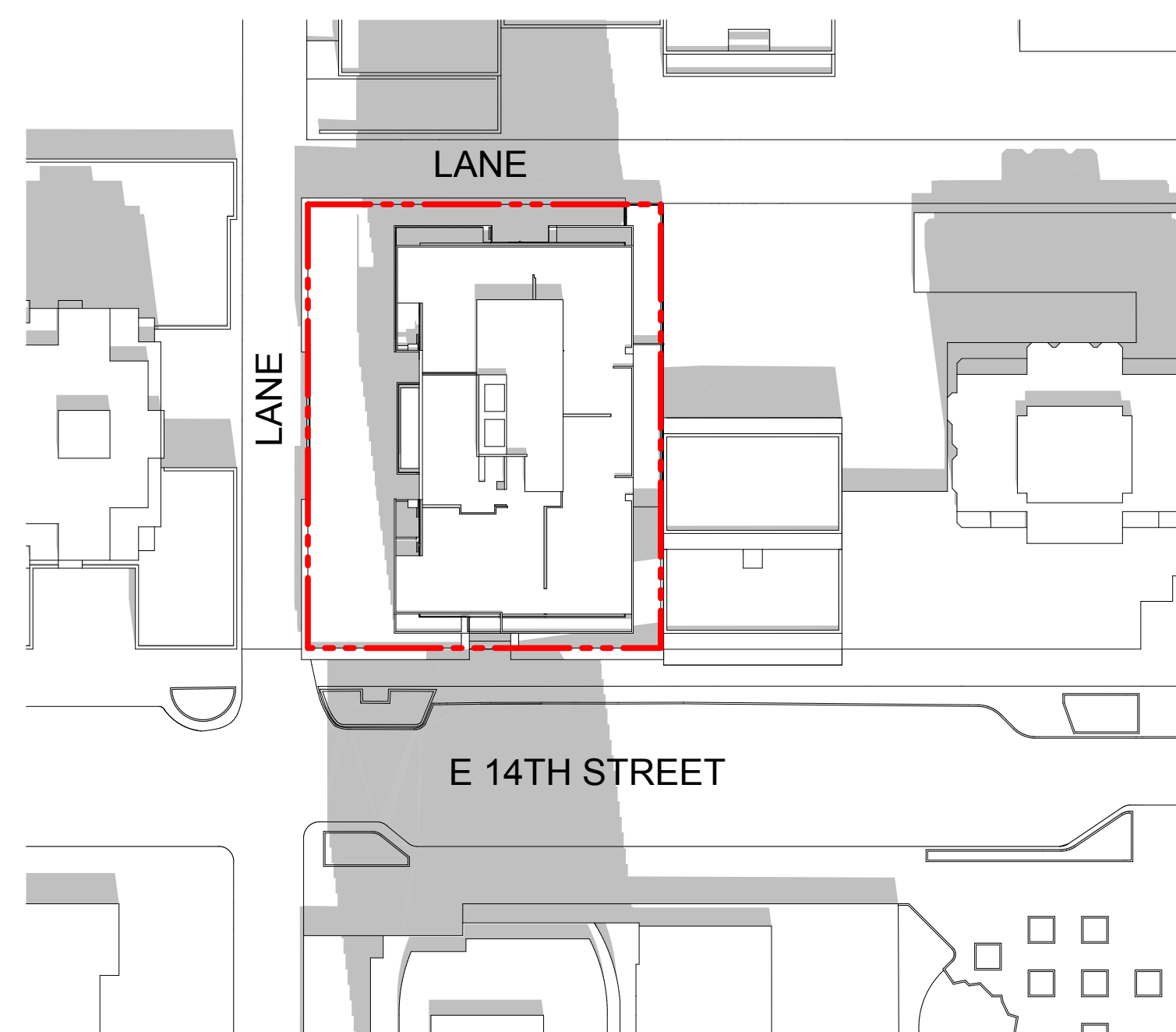


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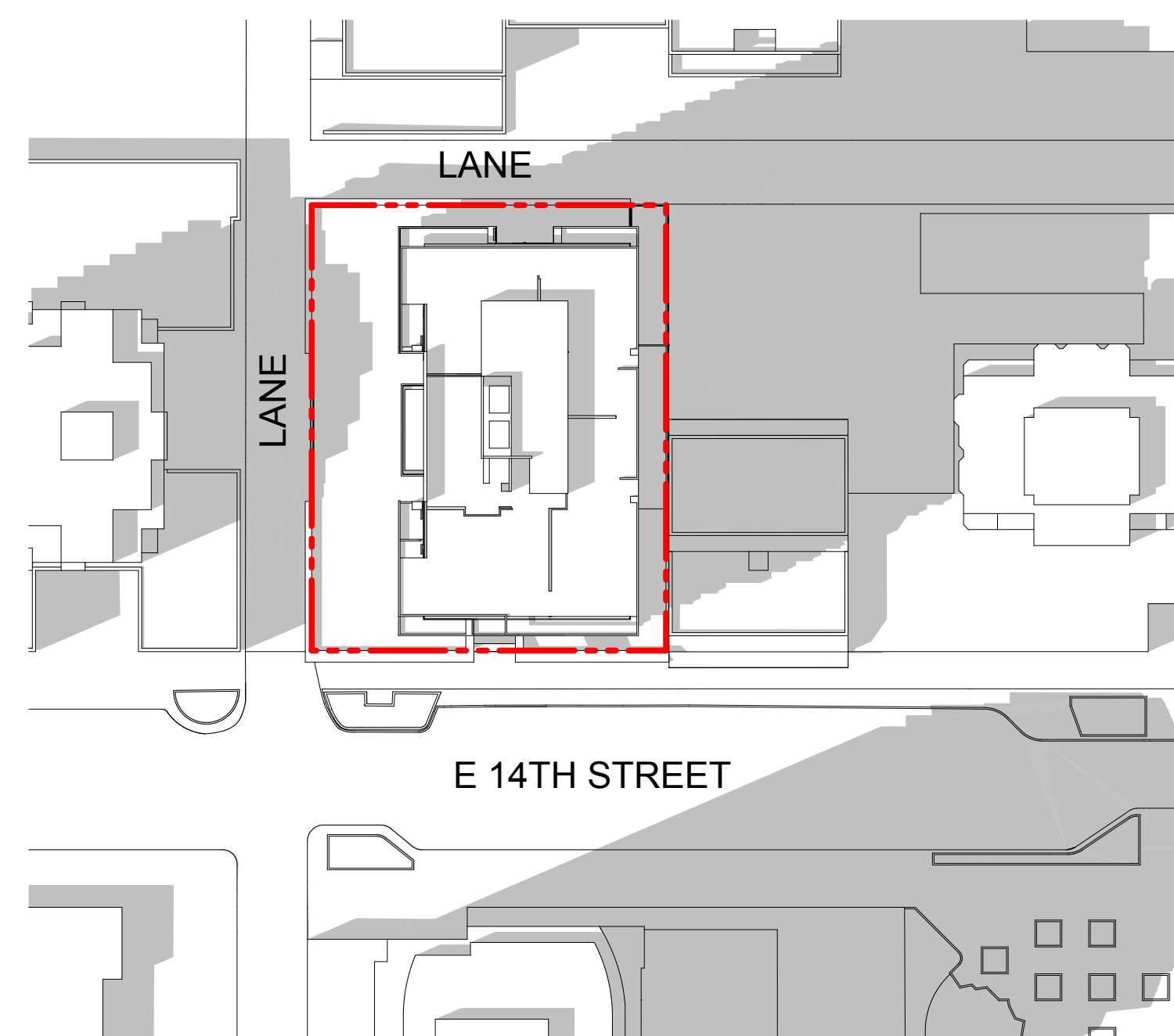
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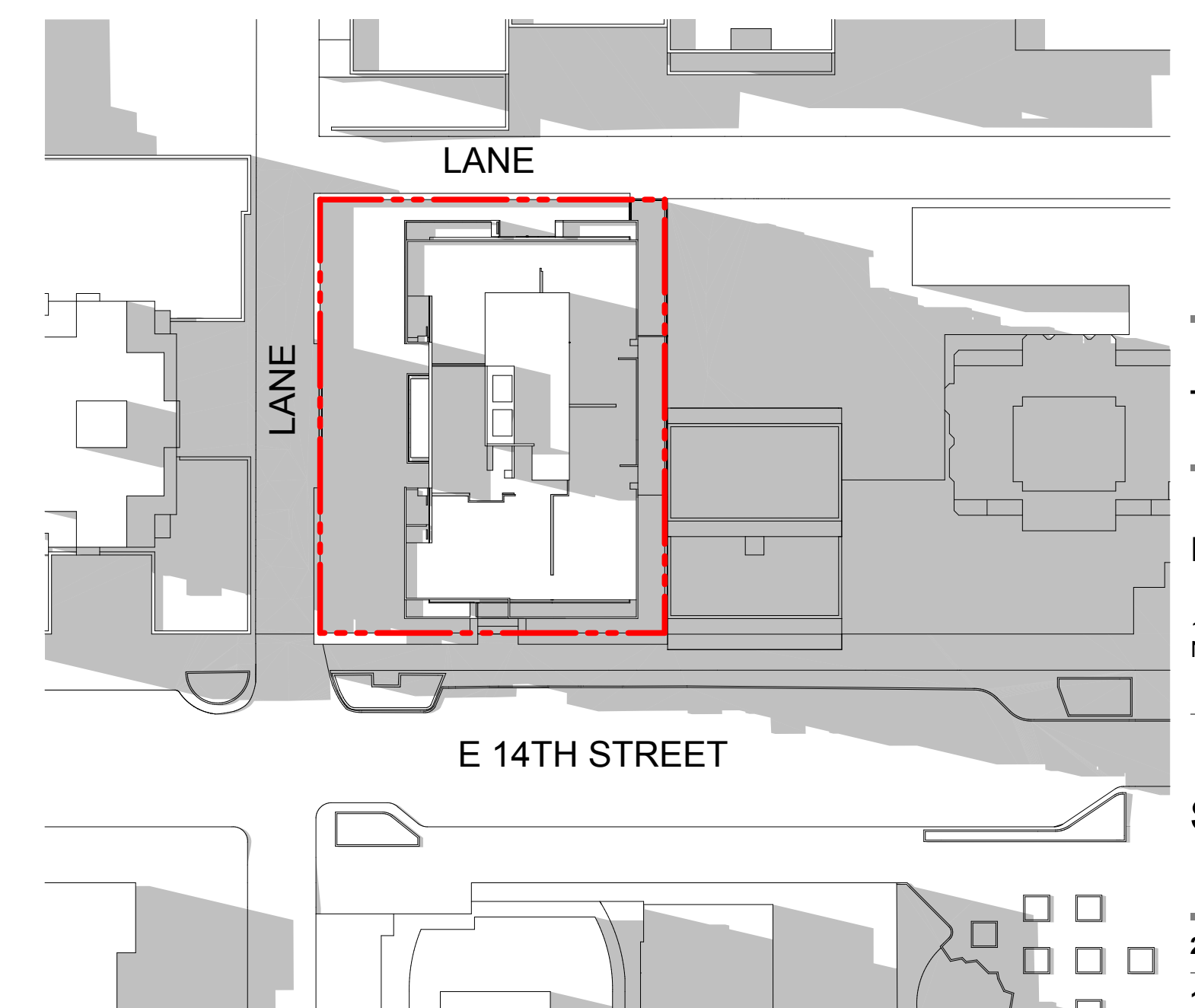
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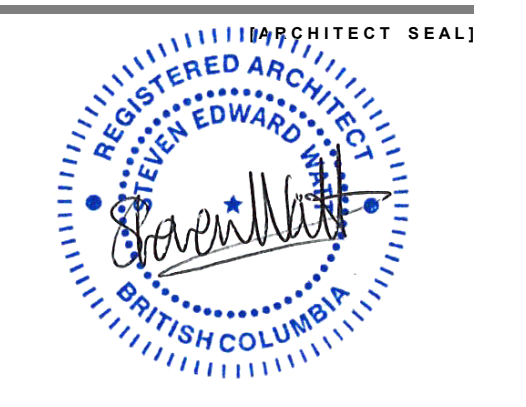
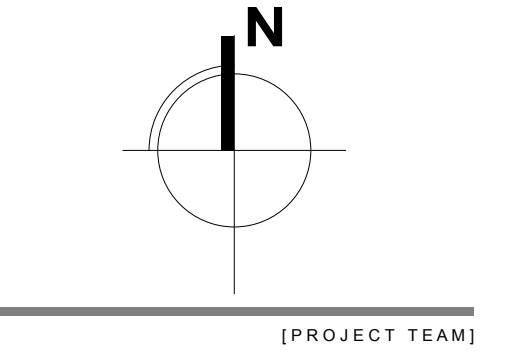
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Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Shadow Study

[PROJECT]

21569 [SCALE]

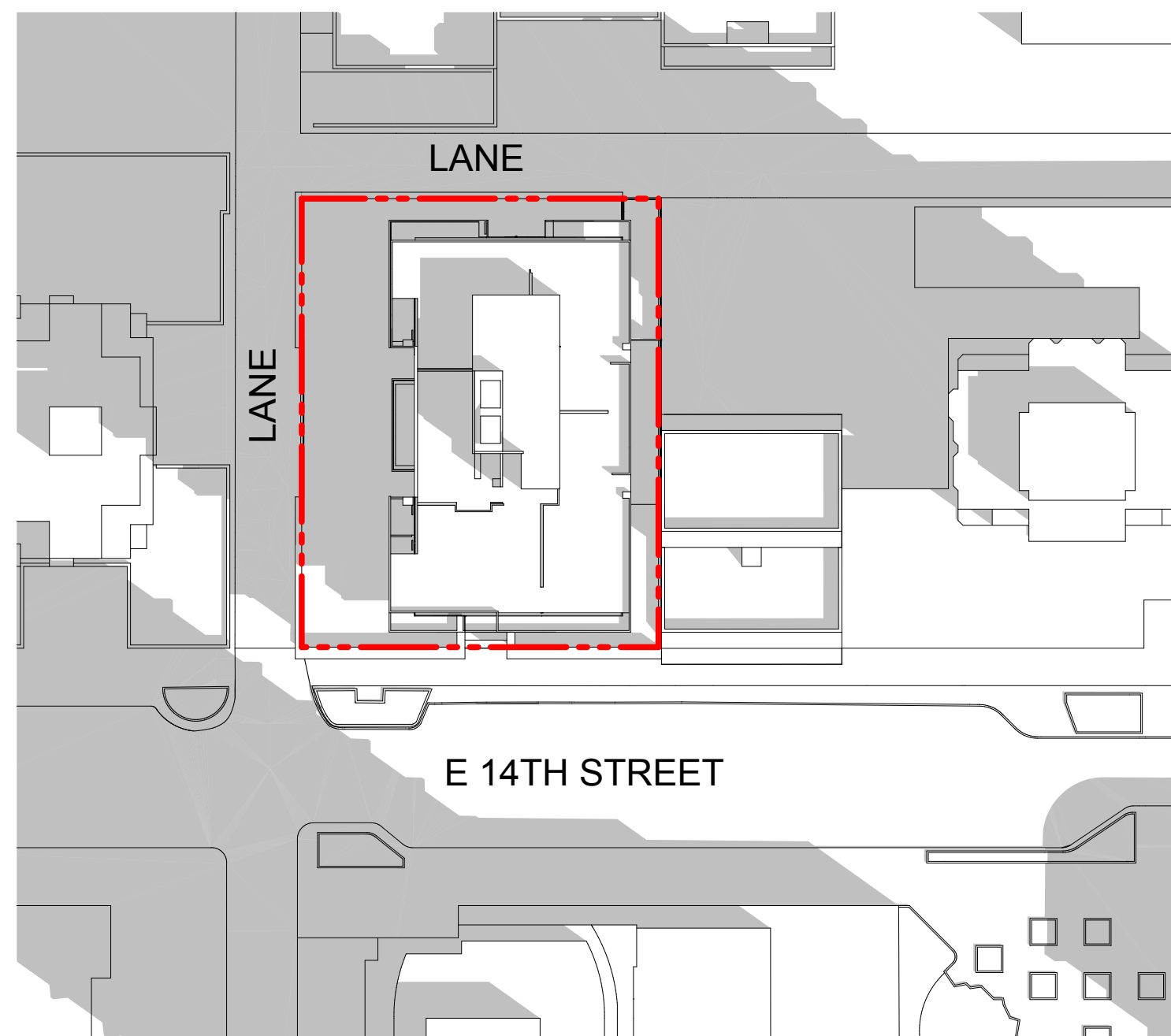
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Monday, January 31, 2022 [ISSUE]

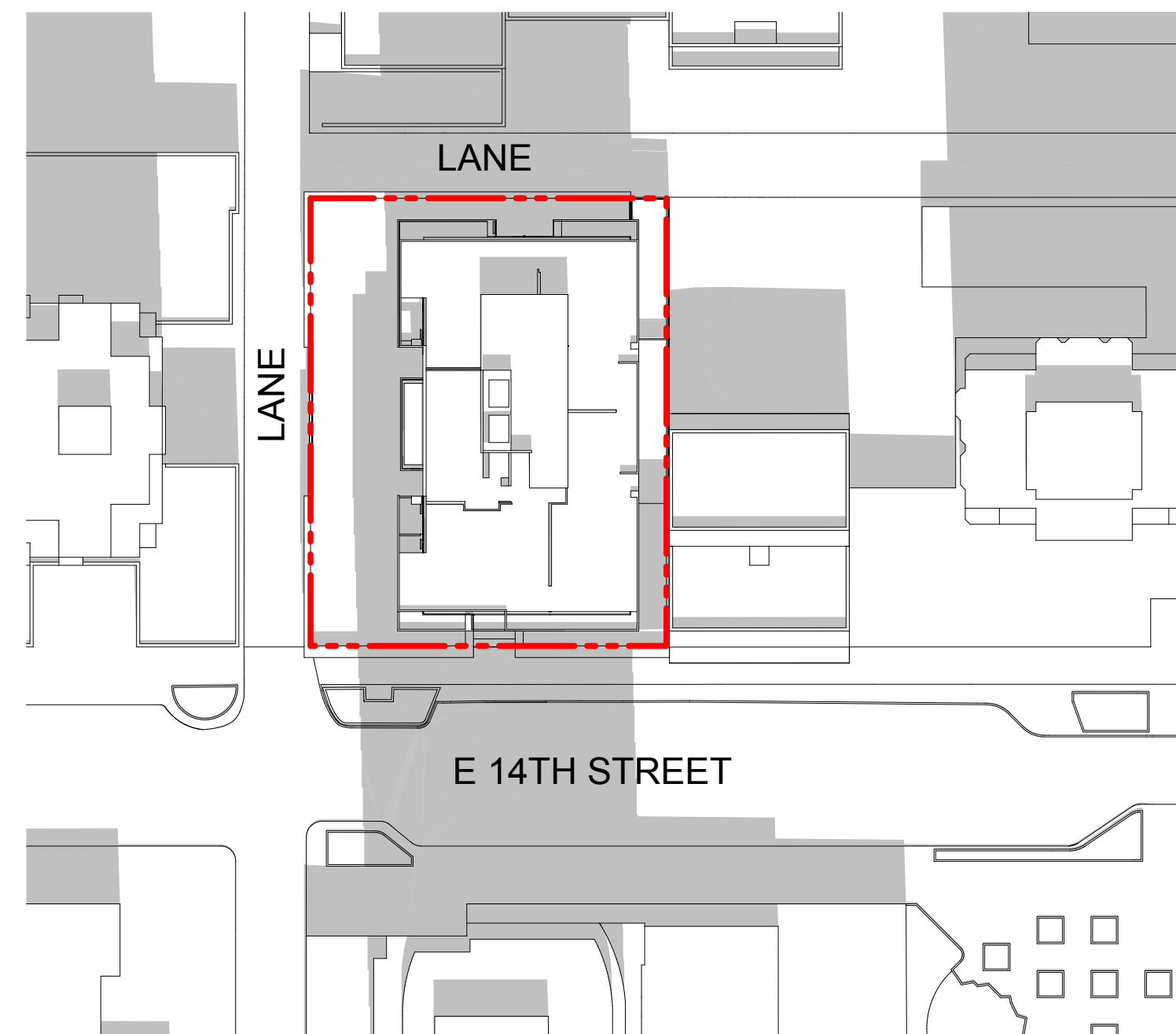
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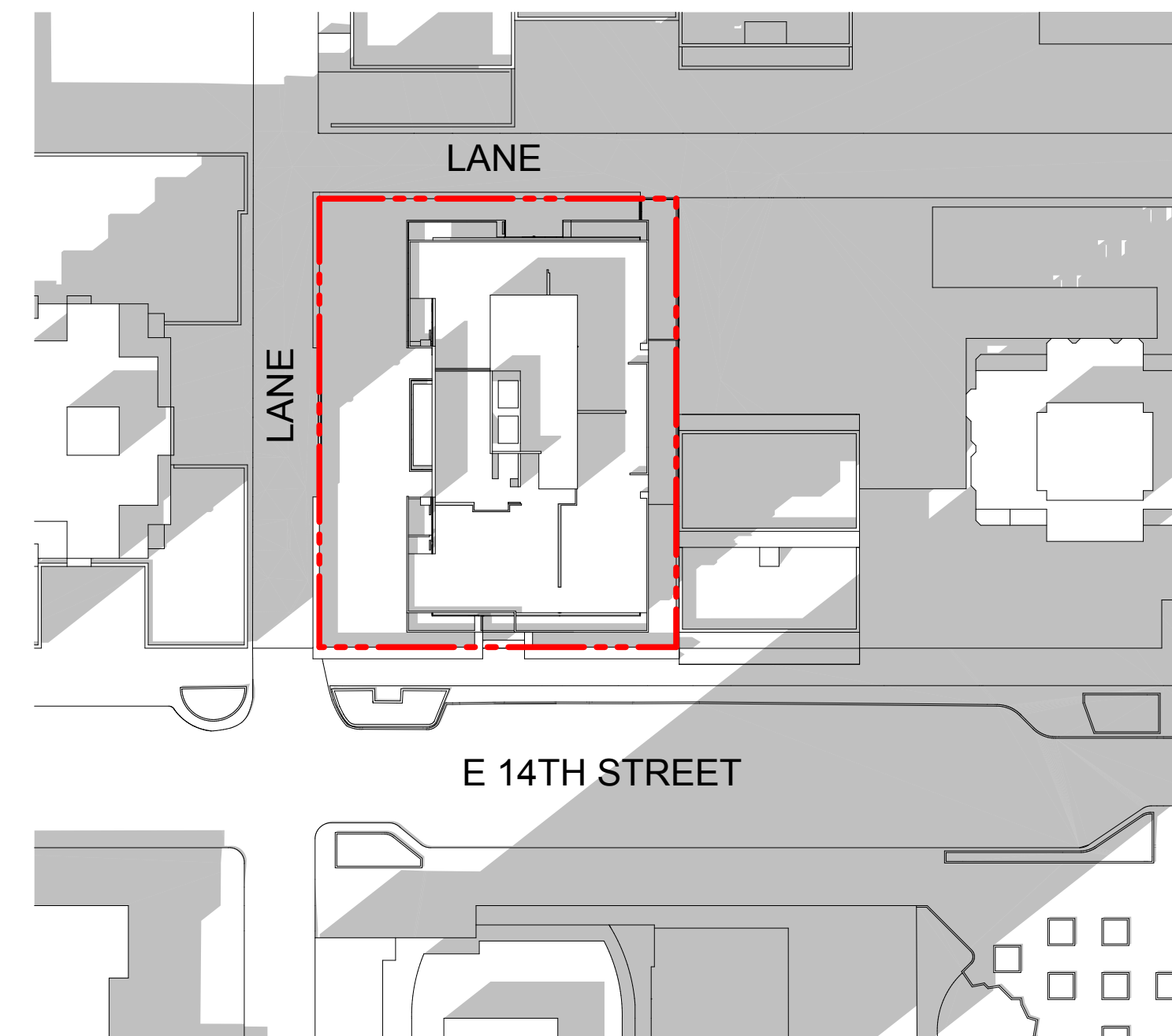
FALL EQUINOX
SEPTEMBER 23



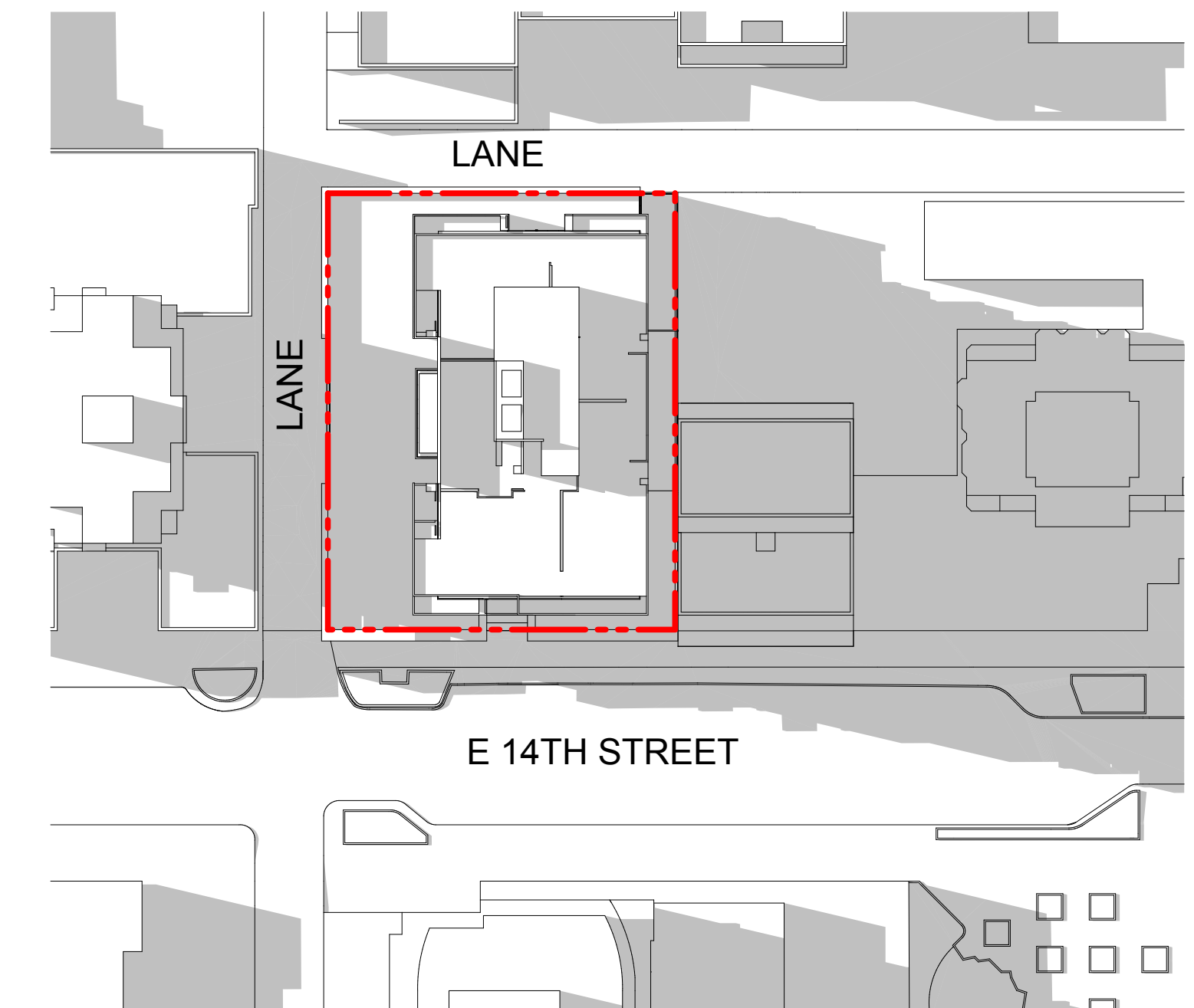
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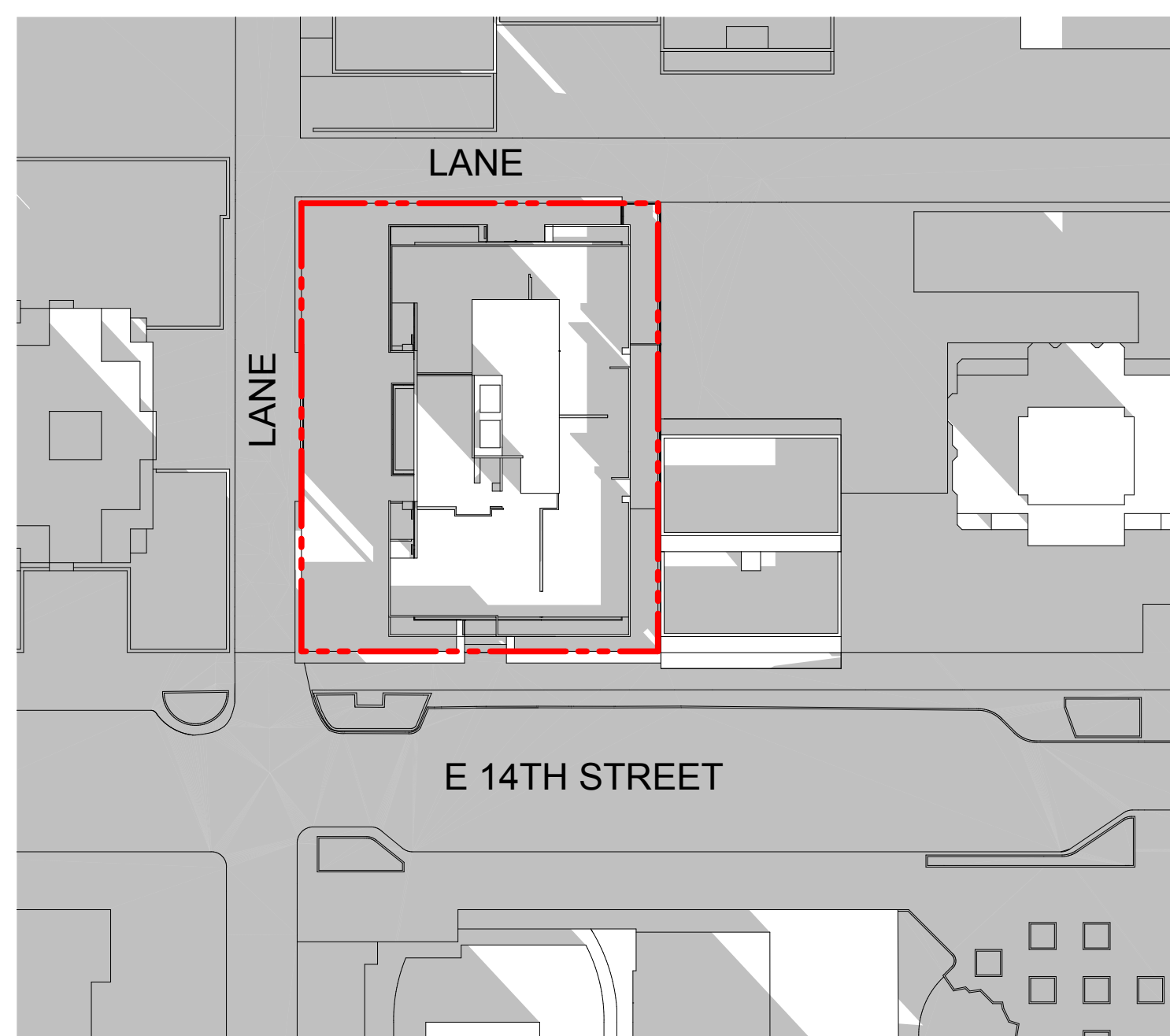


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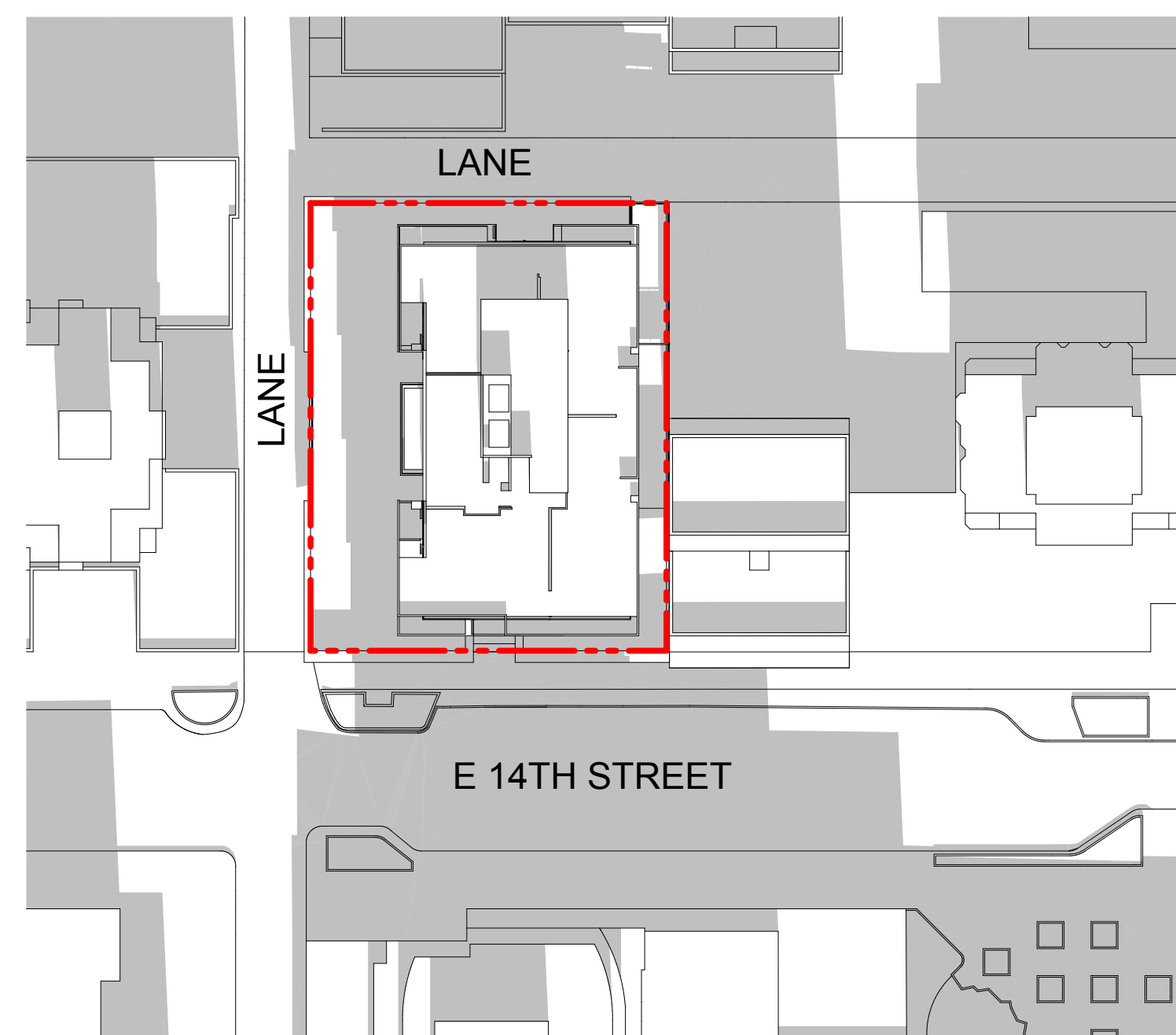


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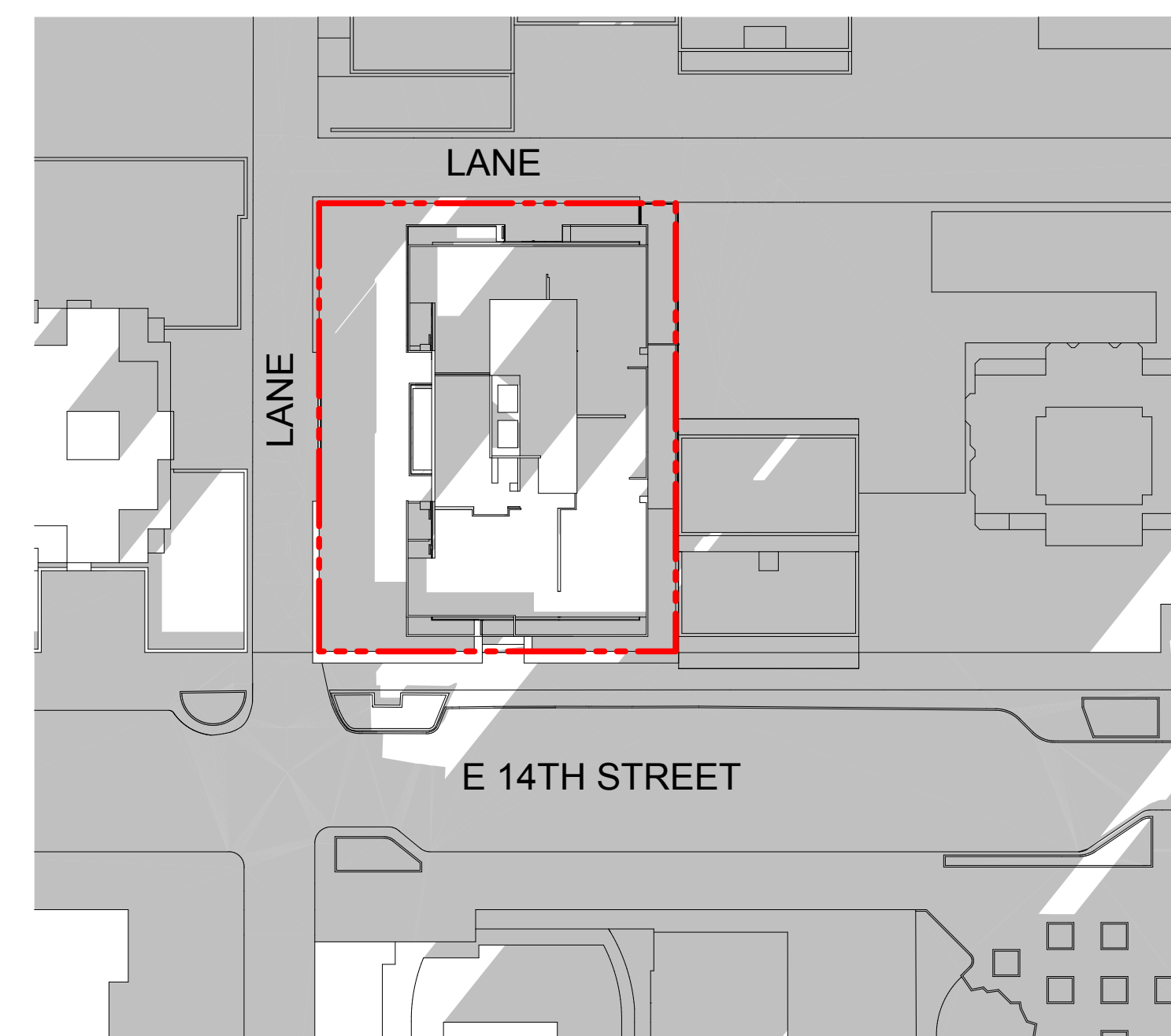
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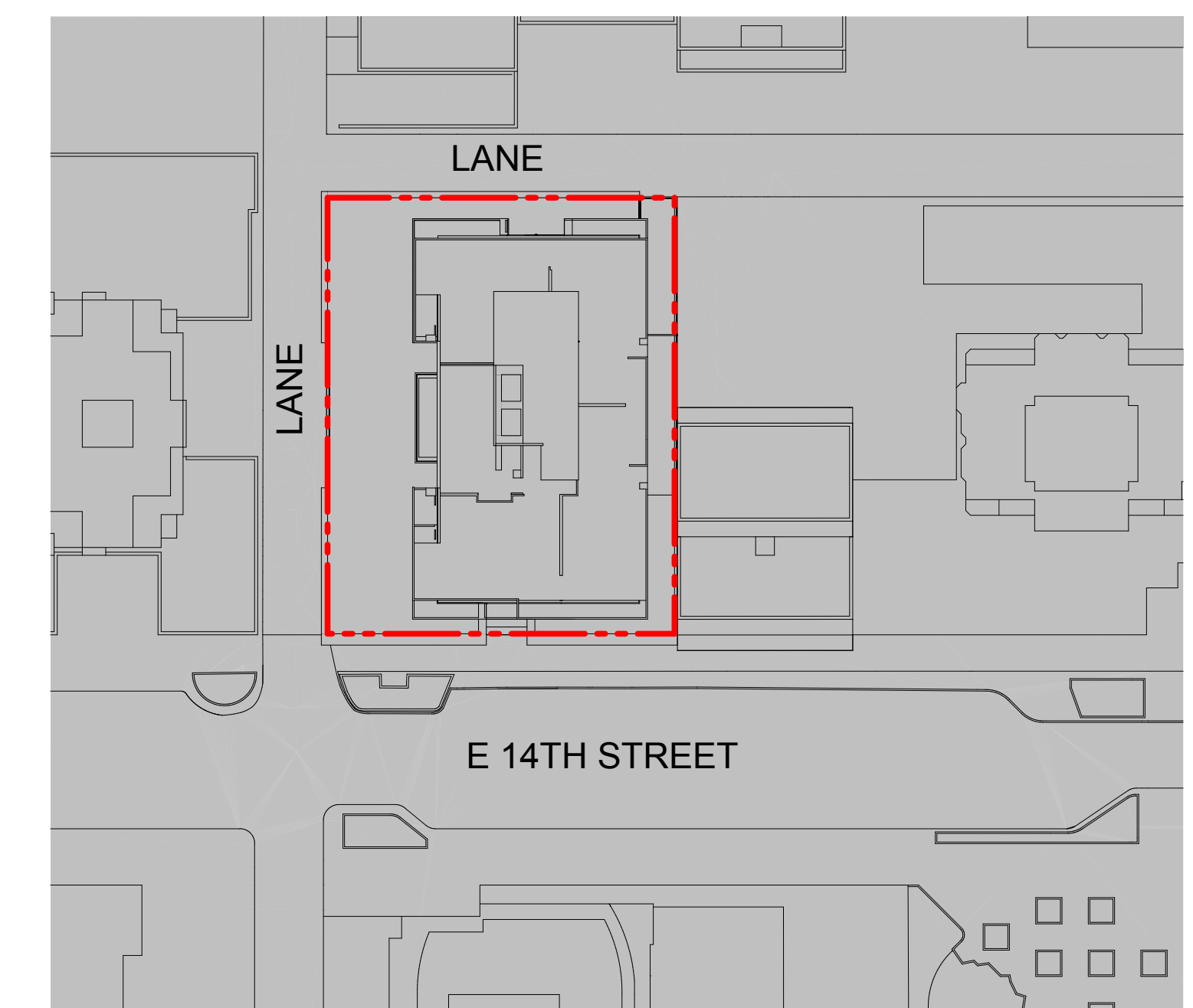
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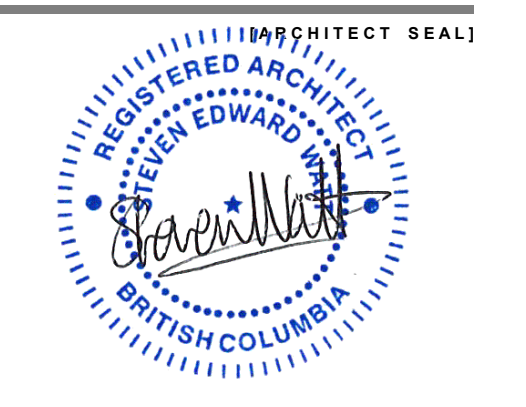
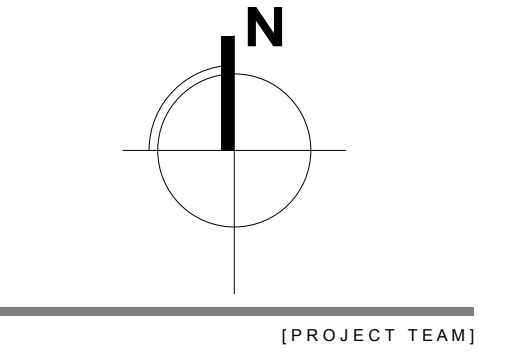
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[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Shadow Study

[PROJECT]

21569

[SCALE]

Monday, January 31, 2022

[ISSUE]

ISSUE 01 - RZ/DP APP.

[DRAWING]

A-8.102

EAST 14TH STREET, NORTH VANCOUVER

East 14th Street

PROJECT OWNER:	Three Shores Development			
PROJECT CONTACT:	Barry Savage	Three Shores Development	120-128 East 14th Street, North Vancouver, BC	T.604.505.8818
PROJECT ARCHITECT:		Integra Architecture Inc.	200 Granville St, Vancouver	T.604.688.4220
PROJECT NUMBER:	21569			
CIVIC ADDRESS:	130-134 E14th St, North Vancouver			
LEGAL DESCRIPTION:	TBC			
PROJECT DESCRIPTION:	21 Story Mixed Use			
ZONING:				
Existing Zoning:	C1-B			
Proposed Zoning:	CD (TBC)			
OCF Designation:	Mixed Use Level 4B			
Development Permit Area:				
ISSUE:	PRELIM			
DATE:	2022-01-31			

SITE AREA

Total Site Area				
Total Gross Site Area	7,831	SF	727.55	m ²
Building Size				
Max. Building Height	50	ft	15.24	m
Max. Building Width & Length (at 2nd storey)	170	ft	51.82	m
Max. Building Width & Length (including and above 3rd storey)	100	ft	30.48	m
Building Setbacks				
Flanking Lane	10	ft	3.05	m
Rear Lot Line	10	ft	3.05	m
Setback from Principal Buildings exceeding 4 storeys	80.00	ft	24.38	m

FLOOR AREA RATIO (FAR)

Maximum FAR				
Maximum Floor Area	3.00		23,494.0	SF
Maximum Bonus Floor Area	0.00			
Maximum FAR	3.00		23,494.0	SF
Proposed FAR				
Proposed Floor Area			22,100.20	SF
Proposed Floor Area Exclusions			1,377.05	SF
Proposed FAR	2.65		20,723.15	SF

Exclusion Summary	Min.	No. Units	Stair 01	Stair 02	Elevator	per Unit	Total Exclusions	Comments
Access to Outdoor Amenity								0.00 m ² Active Design Guidelines
Adapt. Units Level 2 (20 sf/unit)	0					20.0	0.0	0.00 m ² 25.0% Units AD Level 2
Indoor Amenity - 15 SF/unit or lesser min 2% GFA (SF)	442	443.41						0.00 m ² Min 15 SF / Unit
Services								0.00 m ²
Stairs (Active Design) - 8% max SF	1,768	max.					1,377.1	0.00 m ² (Floor 1-6/Roof)
Total Exclusions From FSR							1,377.1	127.93 m²

GROSS FLOOR AREA (GFA)

Level	CRU	Amenity / Lobby	Common Areas				Services	Total Area	Total Floor Area		Efficiency
			Common/Storage	Stairs	Elevators	SF			m ²		
Level 1 (includes CRU)	3,354.76	711.40	416.81	336.32	140.38	1,377.05	6,336.72	6,336.72	588.71	52.9%	
Level 2	6,879.22		550.88	180.56	140.38	40.00	7,791.04	7,791.04	723.83	88.3%	
Level 3	3,557.62		67.66	180.56	140.38	40.00	3,986.22	3,986.22	370.34	89.2%	
Level 4	3,557.62		67.66	180.56	140.38	40.00	3,986.22	3,986.22	370.34	89.2%	
Area Totals									22,100.20	2,053.23	80%

Commercial Unit Areas

Unit Types	Level	Floor Areas		Total	# of Units	Total Unit Area		% of Units
		SF	Subtotal			SF	m ²	
CRU-A	L1	1747.70	1747.70	1747.70	1	1747.70	162.37	7.1%
CRU-B	L1	1607.06	1607.06	1607.06	1	1607.06	149.30	7.1%
CRU-C	L2	2059.30	2059.30	2059.30	1	2059.30	191.32	7.1%
CRU-D	L2	1766.78	1766.78	1766.78	1	1766.78	164.14	7.1%
CRU-E	L2	1427.13	1427.13	1427.13	1	1427.13	132.58	7.1%
CRU-F	L2	1626.01	1626.01	1626.01	1	1626.01	151.06	7.1%
CRU-G	L3	1065.80	1065.80	1065.80	1	1065.80	99.02	7.1%
CRU-H	L3	969.94	969.94	969.94	1	969.94	90.11	7.1%
CRU-I	L3	858.51	858.51	858.51	1	858.51	79.76	7.1%
CRU-J	L3	663.37	663.37	663.37	1	663.37	61.63	7.1%
CRU-K	L4	1065.80	1065.80	1065.80	1	1065.80	99.02	7.1%
CRU-L	L4	969.94	969.94	969.94	1	969.94	90.11	7.1%
CRU-M	L4	858.51	858.51	858.51	1	858.51	79.76	7.1%
CRU-N	L4	663.37	663.37	663.37	1	663.37	61.63	7.1%
Total				17,349.22	14	17,349.22	1,611.8	100%

OFF-STREET PARKING

Commercial Parking				
Commercial Parking	1.0 Spaces for each 75 m ² (807.3 SF)	21.5	Spaces Required	20 Spaces Provided
Disabled Parking	1 Space For Every 5-36 Parking Spaces (inclusive)	1.0	Spaces Required	1 Spaces Provided * inclusive
Max. Small Cars Allowed	25% of Provided Spaces	5	Spaces Max.	0 Spaces Provided * inclusive
Loading				
Commercial Loading Required	1 Spaces per 1900 m ²	1	Spaces Required	1 Spaces Provided
Total		21.5	Spaces Required	20 Spaces Provided
Gross Total		21.5	Spaces Required	20 Spaces Provided

Parking Space Dimensions

	Required (Width x Length x Height)
Standard Space	2.5m (8'20 FT) x 6.0m (19'69 FT) x 2.0m (6'56 FT)
Small Cars	2.3m (7'55 FT) x 4.8m (15'75 FT) x 2.0m (6'56 FT)
Accessible	4.8m (15'75 FT) x 6.0m (19'69 FT) x 2.3m (7'55 FT)
Van Accessible	4.8m (15'75 FT) x 6.0m (19'69 FT) x 2.3m (7'55 FT)
Loading	3.0m (9'84 FT) x 7.0m (22'97 FT) x 4.0m (13'12 FT)
Min. Distance to Continuous Wall	0.3m (0'98 FT) (1'-0")
Min. Drive Aisle Width	6.5m (21'33 FT) (21'-4")
Min. Maneuvering Aisle Width	6.5m (21'33 FT) (21'-4")



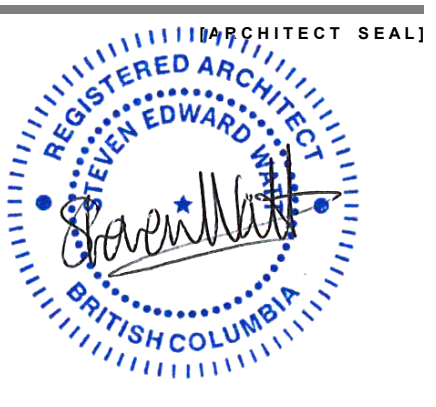
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[PROJECT TEAM]



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Site Study 130-134 E 14th St - Data

21569

[SCALE]

Not To Scale

[DATE]

Monday, January 31, 2022

[ISSUE]

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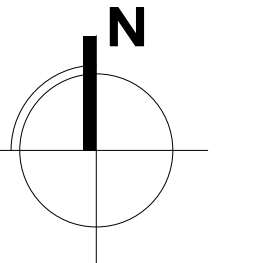


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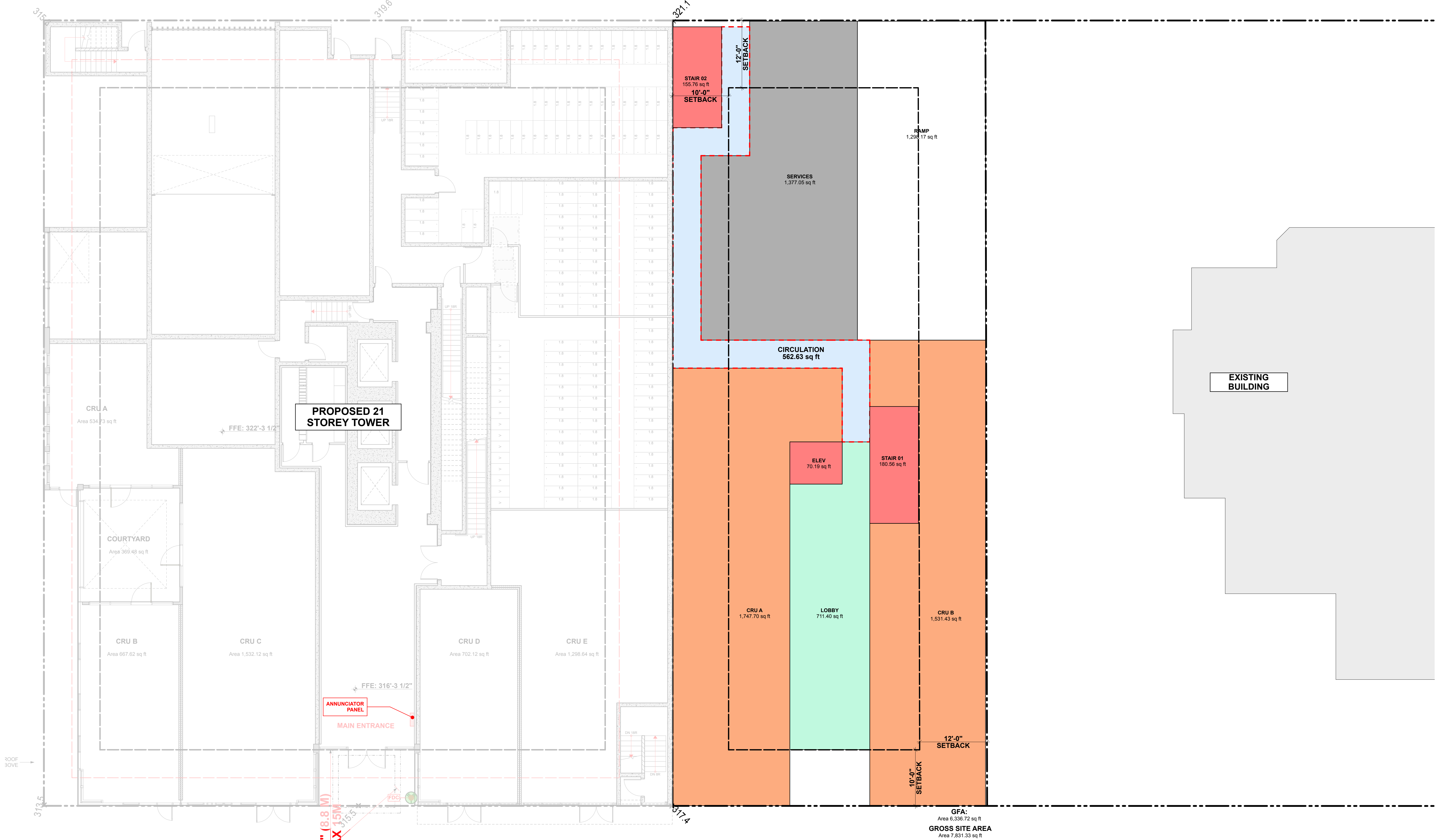
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[PROJECT TEAM]

LANE



PROPOSED 21 STOREY TOWER

EXISTING BUILDING

29'-0" (8.8 M)
MAX
3'-5 1/2"

ANNUNCIATOR PANEL
MAIN ENTRANCE

STAIR 02
155.76 sq ft
10'-0" SETBACK

12'-0" SETBACK

SERVICES
1,377.05 sq ft

RAMP
1,298.17 sq ft

CIRCULATION
562.63 sq ft

ELEV
70.19 sq ft

STAIR 01
180.56 sq ft

CRU A
1,747.70 sq ft

LOBBY
711.40 sq ft

CRU B
1,531.43 sq ft

CRU A
Area 534.73 sq ft

FFE: 322'-3 1/2"

COURTYARD
Area 369.48 sq ft

CRU B
Area 667.62 sq ft

CRU C
Area 1,532.12 sq ft

CRU D
Area 702.12 sq ft

CRU E
Area 1,298.64 sq ft

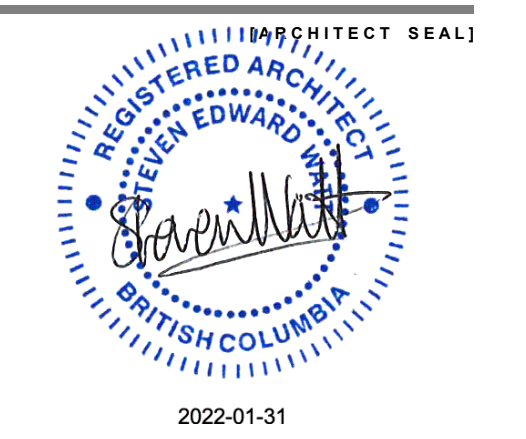
FFE: 316'-3 1/2"

ROOF SOFFIT

DN. STAIR

317.4

GFA:
Area 6,336.72 sq ft
GROSS SITE AREA
Area 7,831.33 sq ft



Three Shores Development

East 14th Street

120-128 East 14th Street
North Vancouver, BC

Site Study
130-134 E 14th St
- Level 1

21569

1/8" = 1'-0"

Monday, January 31, 2022

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[DRAWING]

A-8.201

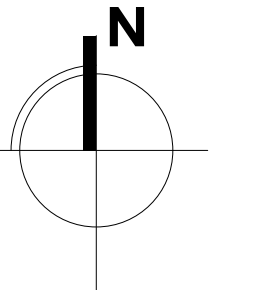


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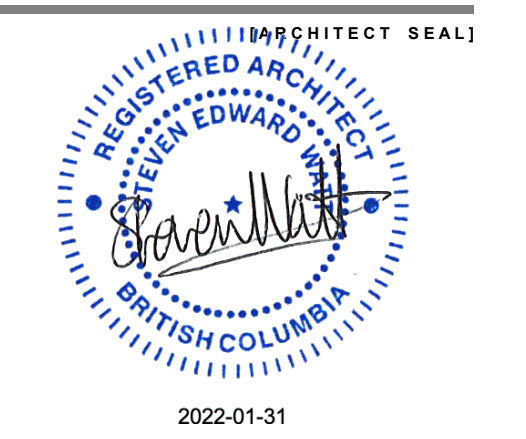
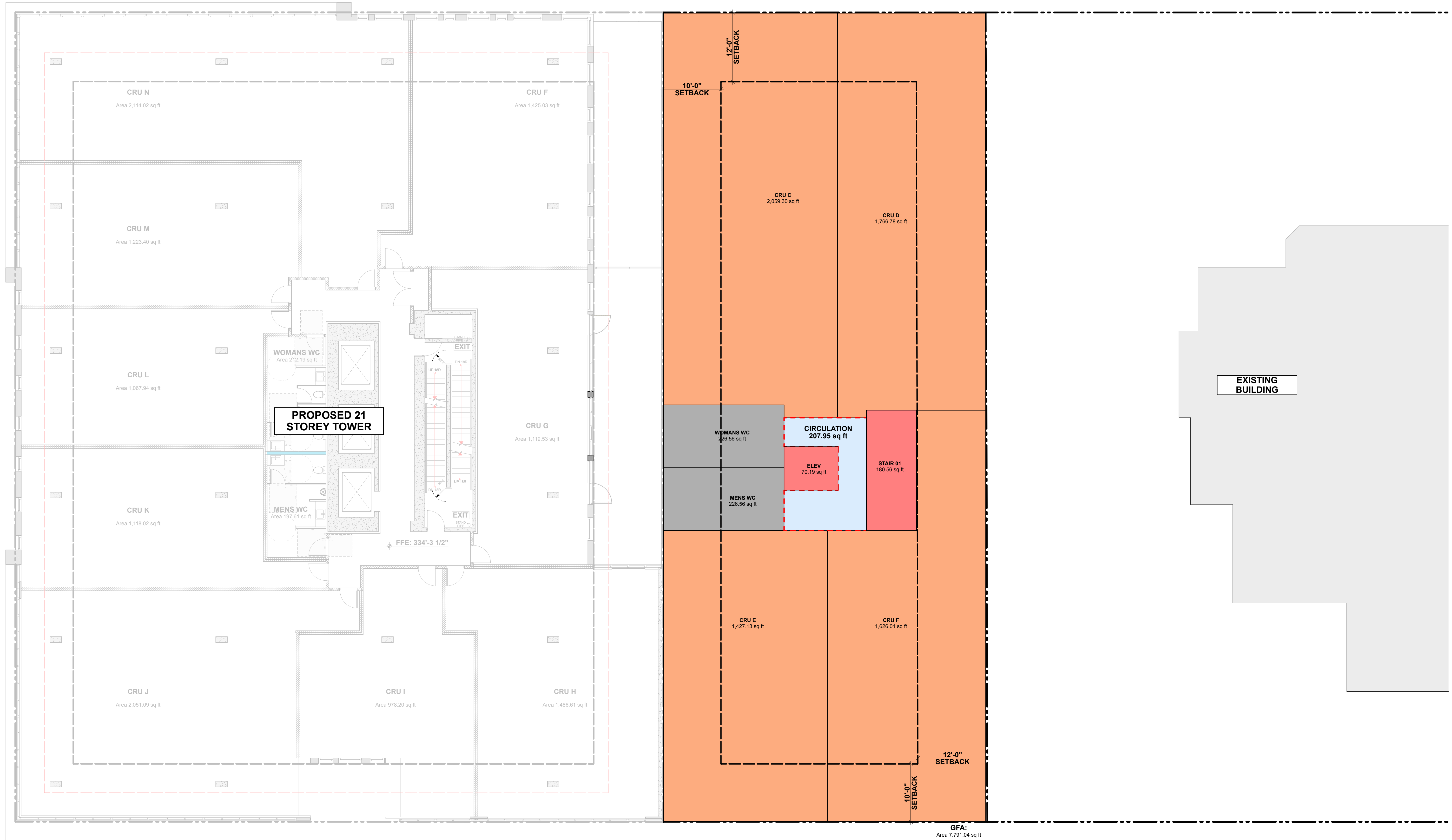
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[PROJECT TEAM]



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Site Study
130-134 E 14th St
- Level 2

21569 [PROJECT]

1/8" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

A-8.202

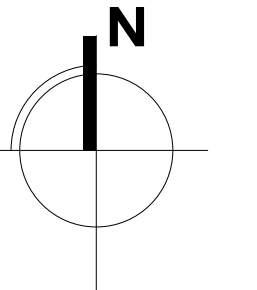


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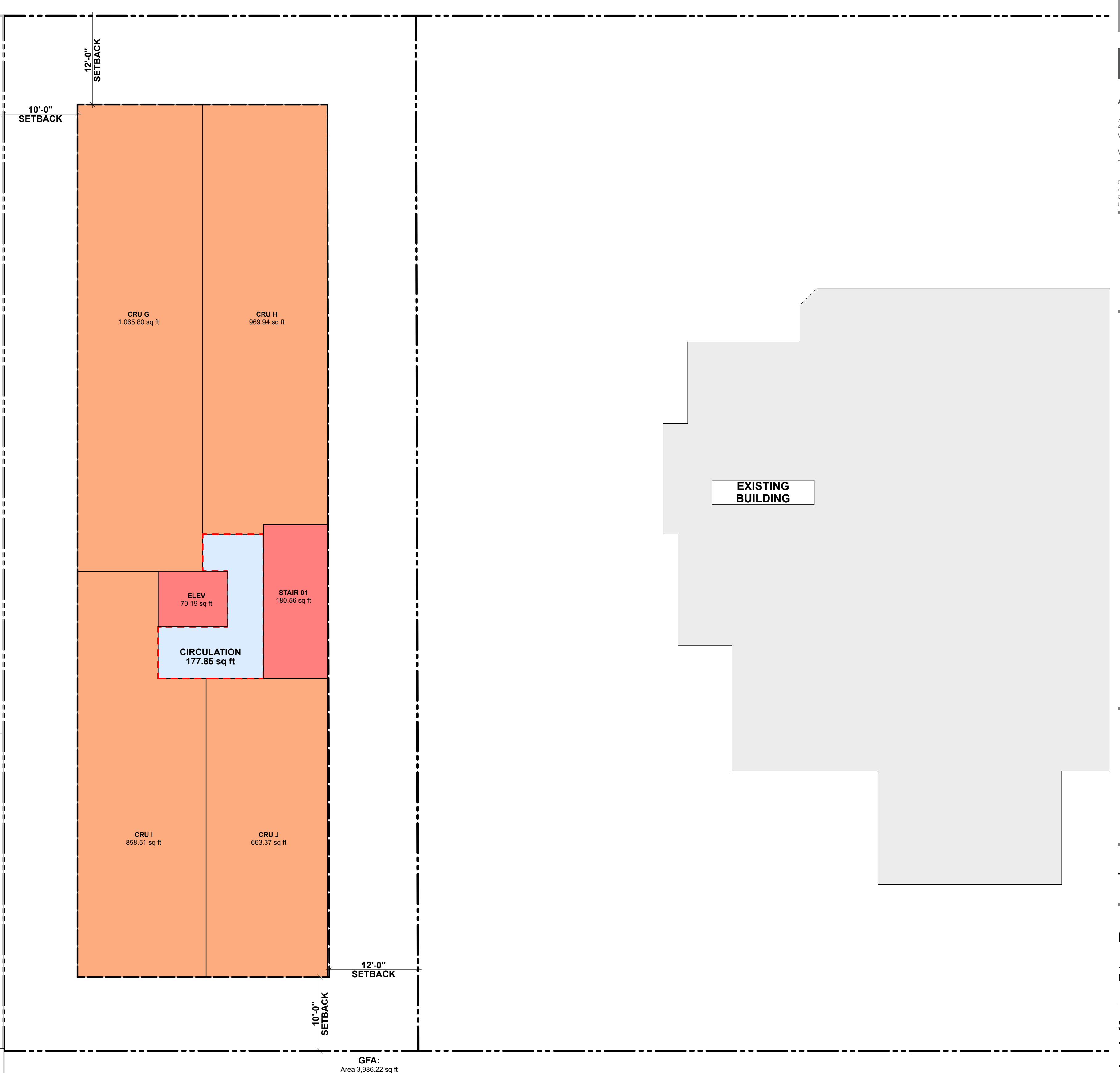
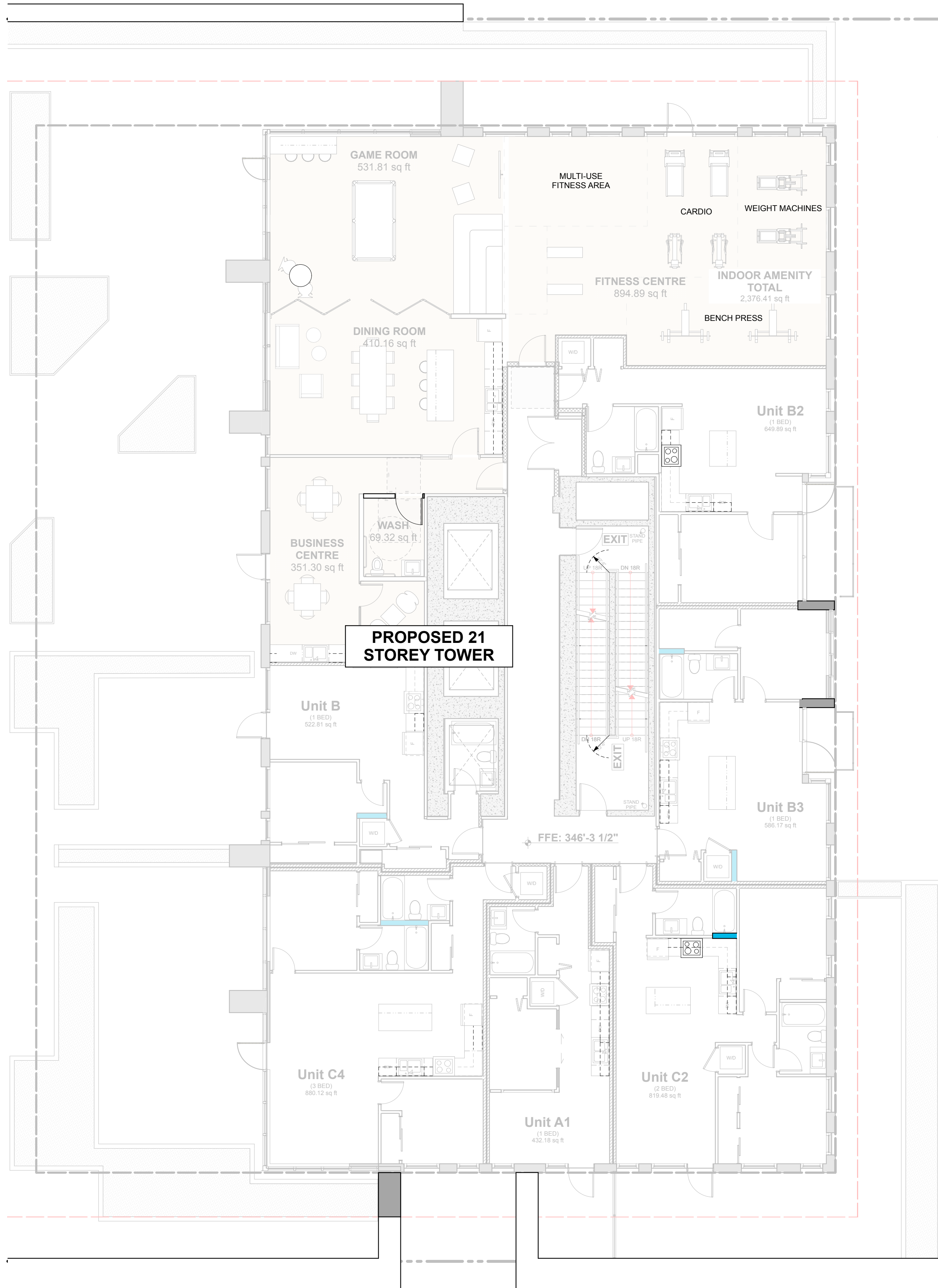
ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

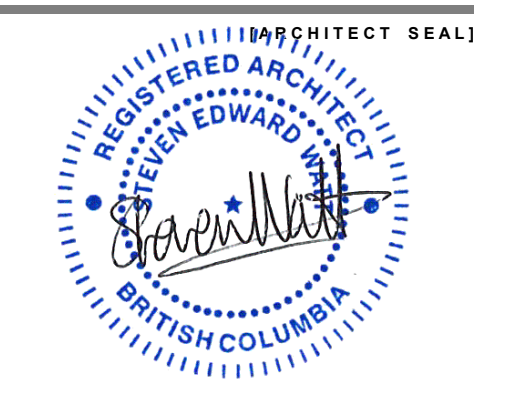
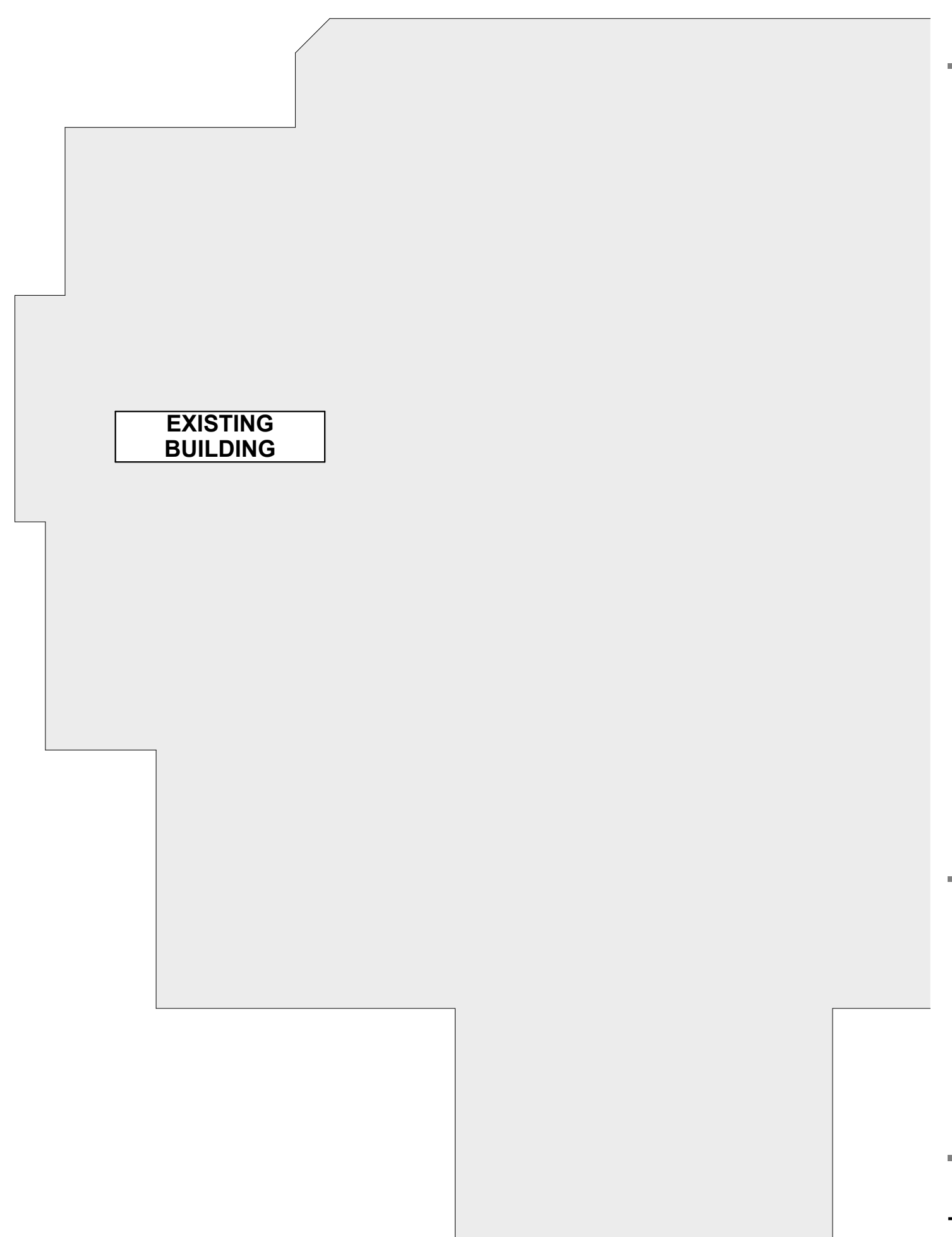
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[PROJECT TEAM]



GFA:
Area 3,986.22 sq ft



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Site Study
130-134 E 14th St
- Level 3

[PROJECT]

21569

[SCALE]

1/8" = 1'-0"

[DATE]

Monday, January 31, 2022

[ISSUE]

ISSUE 01 - RZ/DP APP.

[DRAWING]

A-8.203

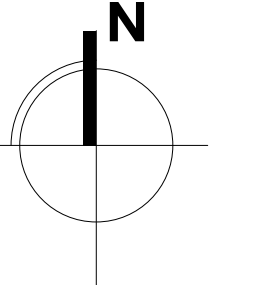


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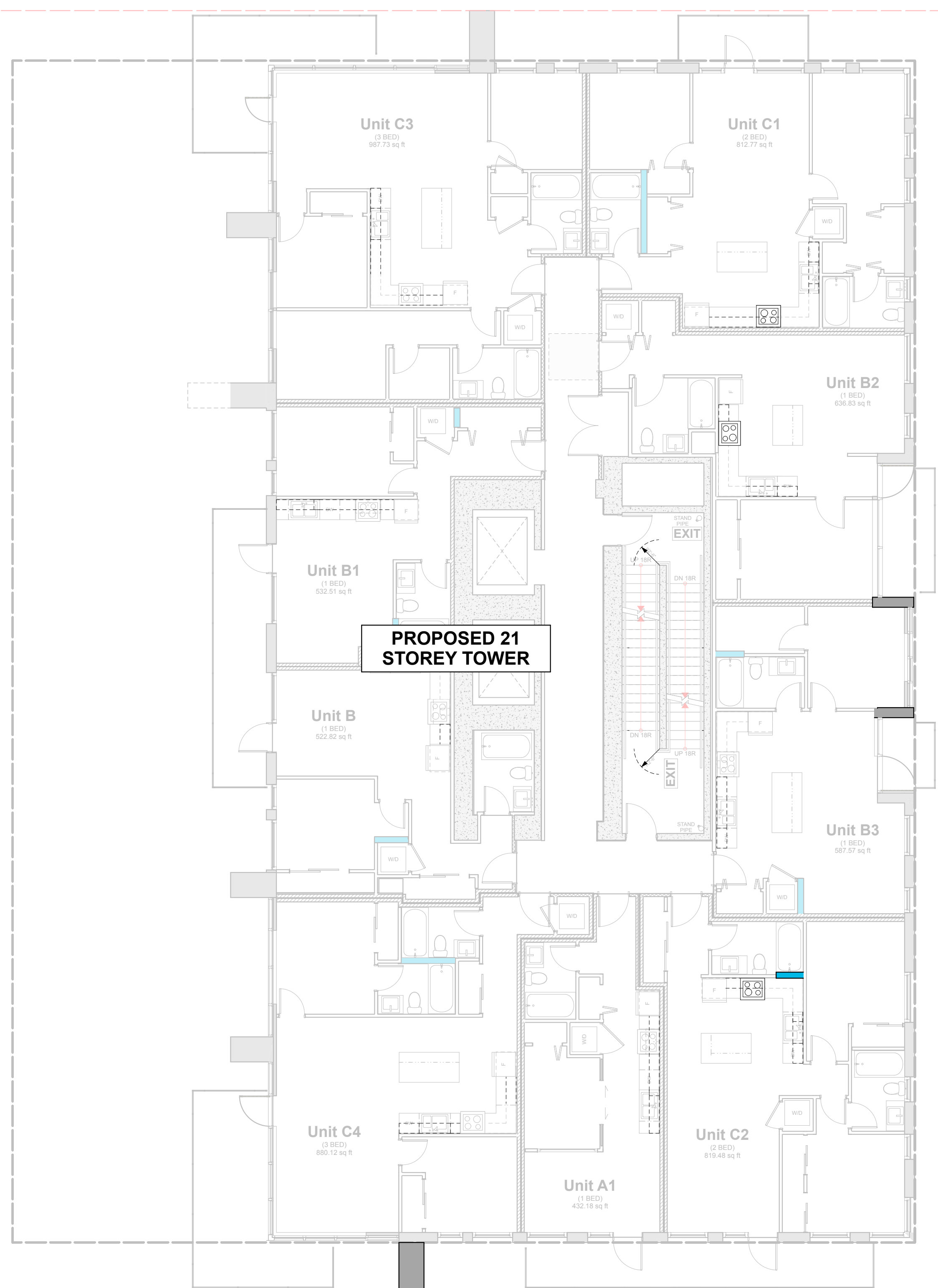
ARCHITECTURE INC.

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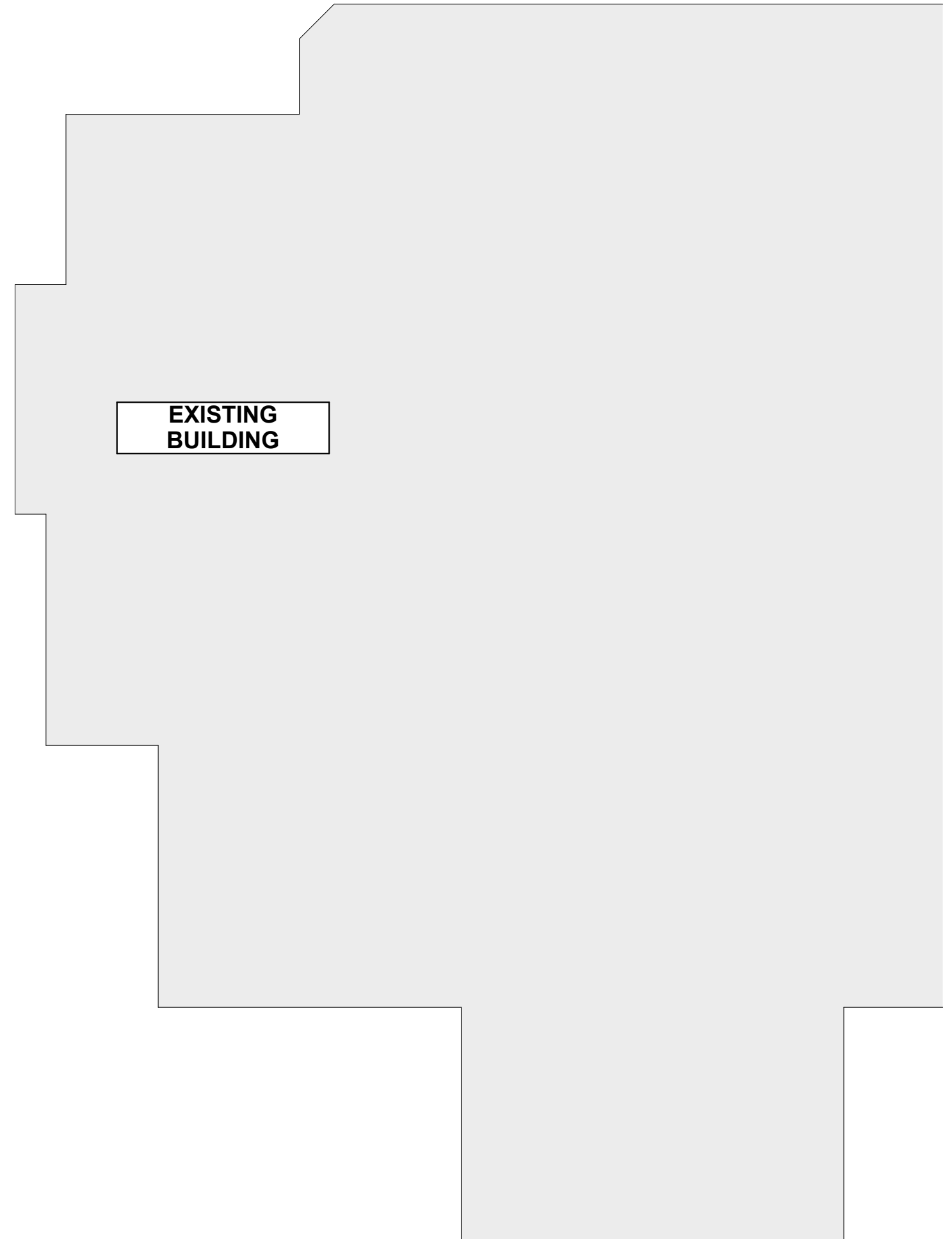
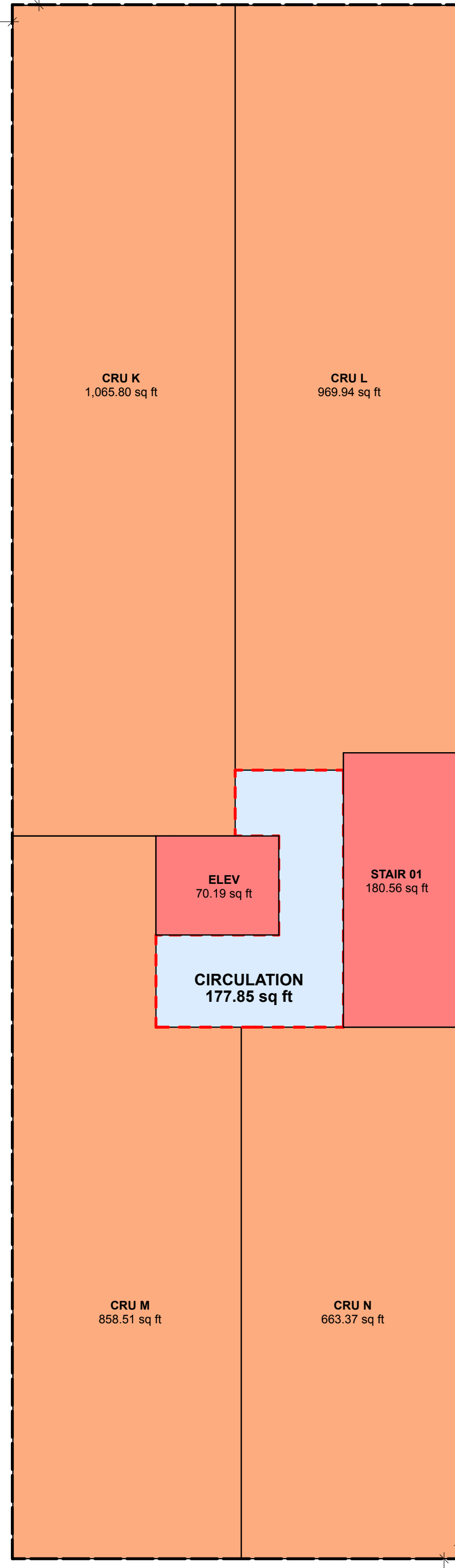
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[PROJECT TEAM]



PROPOSED 21 STOREY TOWER



EXISTING BUILDING

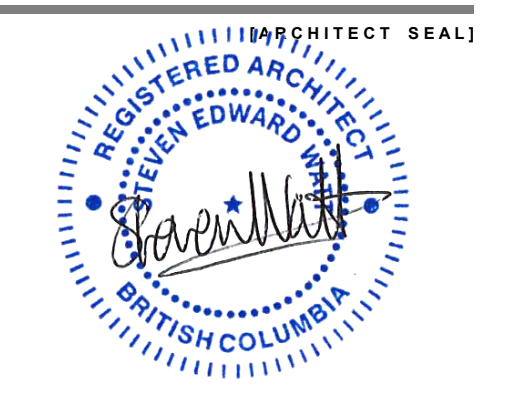
12'-0" SETBACK

10'-0" SETBACK

10'-0" SETBACK

12'-0" SETBACK

GFA:
Area 3,986.22 sq ft



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]
**Site Study
130-134 E 14th St
- Level 4**

[PROJECT]
21569

[SCALE]
1/8" = 1'-0"

[DATE]
Monday, January 31, 2022

[ISSUE]
ISSUE 01 - RZ/DP APP.

[DRAWING]

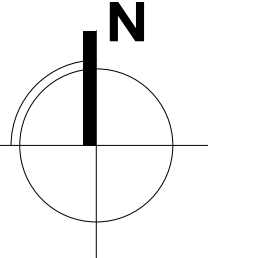
A-8.204



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[PROJECT TEAM]

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation	ELEVATOR	312.00
	Circulation	LOBBY	1,126.79
	Circulation	MAIL	180.75
	Circulation	STAIR 01	518.29
	Commercial	CRU A	540.86
Level 2 Floor Plan	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
	Commercial	CRU D	718.75
	Commercial	CRU E	1,345.93
	Circulation	CORRIDOR	548.08
	Circulation	ELEVATOR	312.00
Level 3 Floor Plan	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Circulation	WASHROOMS	423.76
	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01
	Circulation	CORRIDOR	402.04
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	3,942.88
	Level 4 Floor Plan	Circulation	CORRIDOR
Circulation		ELEVATOR	216.67
Circulation		SERVICES	66.48
Circulation		STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 5 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 6 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 7 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 8 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 9 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 10 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 11 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 12 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 13 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 14 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 15 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 16 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 17 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 18 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 19 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 20 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	6,288.48	
Level 21 Floor Plan	Circulation	CORRIDOR	387.37
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Residential	APARTMENTS	5,305.94	
158,343.91 sq ft			

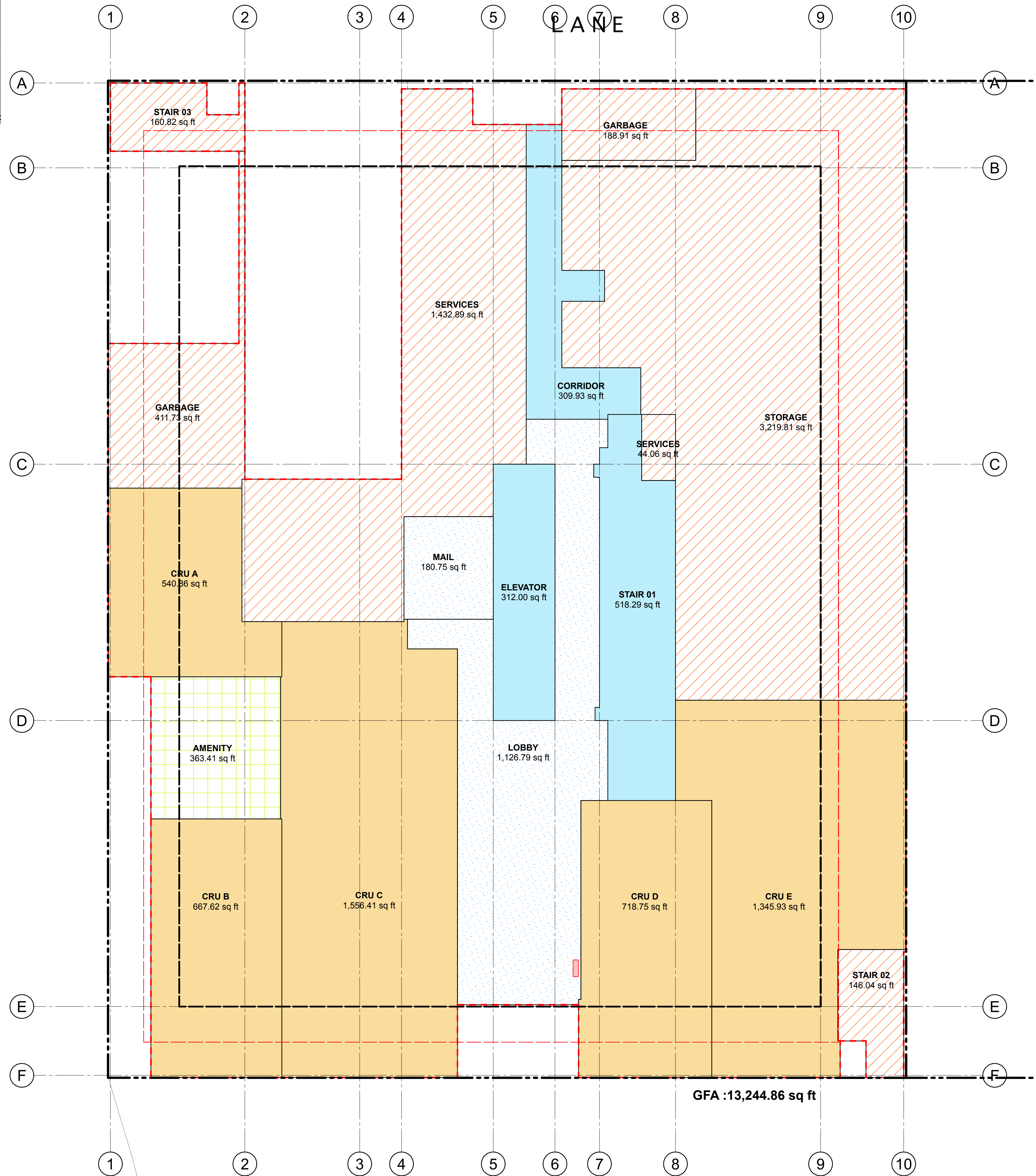
GFA	
LEVEL	AREA
Level 1 Floor Plan	13,244.86
Level 2 Floor Plan	14,244.67
Level 3 Floor Plan	7,381.26
Level 4 Floor Plan	7,381.26
Level 5 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 7 Floor Plan	7,381.26
Level 8 Floor Plan	7,381.26
Level 9 Floor Plan	7,381.26
Level 10 Floor Plan	7,381.26
Level 11 Floor Plan	7,381.26
Level 12 Floor Plan	7,381.26
Level 13 Floor Plan	7,381.26
Level 14 Floor Plan	7,381.26
Level 15 Floor Plan	7,381.26
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
166,696.64 sq ft	

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan	AMENITY	363.41
	GARBAGE	188.91
	GARBAGE	411.73
	SERVICES	44.06
	SERVICES	1,432.89
Level 3 Floor Plan	STAIR 02	146.04
	STAIR 03	160.82
	STORAGE	3,219.81
	AMENITY	2,385.22
	8,352.89 sq ft	

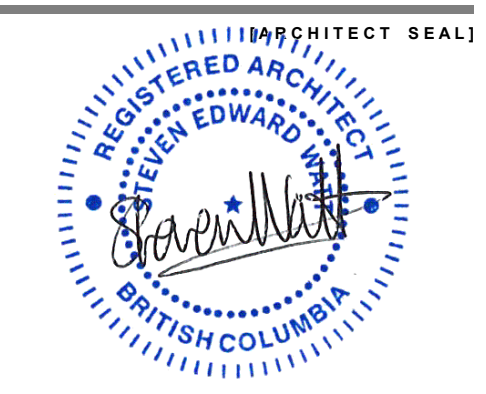
APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,942.88
Level 4 Floor Plan	Residential	APARTMENTS	6,288.48
Level 5 Floor Plan	Residential	APARTMENTS	6,288.48
Level 6 Floor Plan	Residential	APARTMENTS	6,288.48
Level 7 Floor Plan	Residential	APARTMENTS	6,288.48
Level 8 Floor Plan	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Residential	APARTMENTS	6,288.48
Level 10 Floor Plan	Residential	APARTMENTS	6,288.48
Level 11 Floor Plan	Residential	APARTMENTS	6,288.48
Level 12 Floor Plan	Residential	APARTMENTS	6,288.48
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
Level 14 Floor Plan	Residential	APARTMENTS	6,288.48
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
Level 17 Floor Plan	Residential	APARTMENTS	6,288.48
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
Level 21 Floor Plan	Residential	APARTMENTS	5,305.94
116,152.98 sq ft			

CRU AREA				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Commercial	CRU A	540.86	
	Commercial	CRU B	667.62	
	Commercial	CRU C	1,556.41	
	Commercial	CRU D	718.75	
	Commercial	CRU E	1,345.93	
Level 2 Floor Plan	Commercial	CRU F	1,425.03	
	Commercial	CRU G	1,119.53	
	Commercial	CRU H	1,476.50	
	Commercial	CRU I	988.02	
	Commercial	CRU J	2,025.03	
	Commercial	CRU K	1,110.34	
	Commercial	CRU L	1,060.38	
	Commercial	CRU M	1,215.59	
	Commercial	CRU N	2,106.01	
	17,356.00 sq ft			

GFA	
LEVEL	AREA
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
66,696.64 sq ft	



1 Level 1 Area Overlay



2022-01-31

Three Shores Development

East 14th Street

120-128 East 14th Street
North Vancouver, BC

Level 1 Area Overlay

21569
1/8" = 1'-0", 1" = 1'-0"
Monday, January 31, 2022
ISSUE 01 - RZ/DP APP.

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan			
Circulation	CORRIDOR		309.93
Circulation	ELEVATOR		312.00
Circulation	LOBBY		1,126.79
Circulation	MAIL		180.75
Circulation	STAIR 01		518.29
Commercial	CRU A		540.86
Commercial	CRU B		667.62
Commercial	CRU C		1,556.41
Commercial	CRU D		718.75
Commercial	CRU E		1,345.93
Level 2 Floor Plan			
Circulation	CORRIDOR		548.08
Circulation	ELEVATOR		312.00
Circulation	SERVICES		66.42
Circulation	STAIR 01		367.98
Circulation	WASHROOMS		423.76
Commercial	CRU F		1,425.03
Commercial	CRU G		1,119.53
Commercial	CRU H		1,476.50
Commercial	CRU I		988.02
Commercial	CRU J		2,025.03
Commercial	CRU K		1,110.34
Commercial	CRU L		1,060.38
Commercial	CRU M		1,215.59
Commercial	CRU N		2,106.01
Level 3 Floor Plan			
Circulation	CORRIDOR		402.04
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		3,942.88
Level 4 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 5 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 6 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 7 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 8 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 9 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 10 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 11 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 12 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 13 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 14 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 15 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 16 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 17 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 18 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 19 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 20 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 21 Floor Plan			
Circulation	CORRIDOR		387.37
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		5,305.94
158,343.91 sq ft			

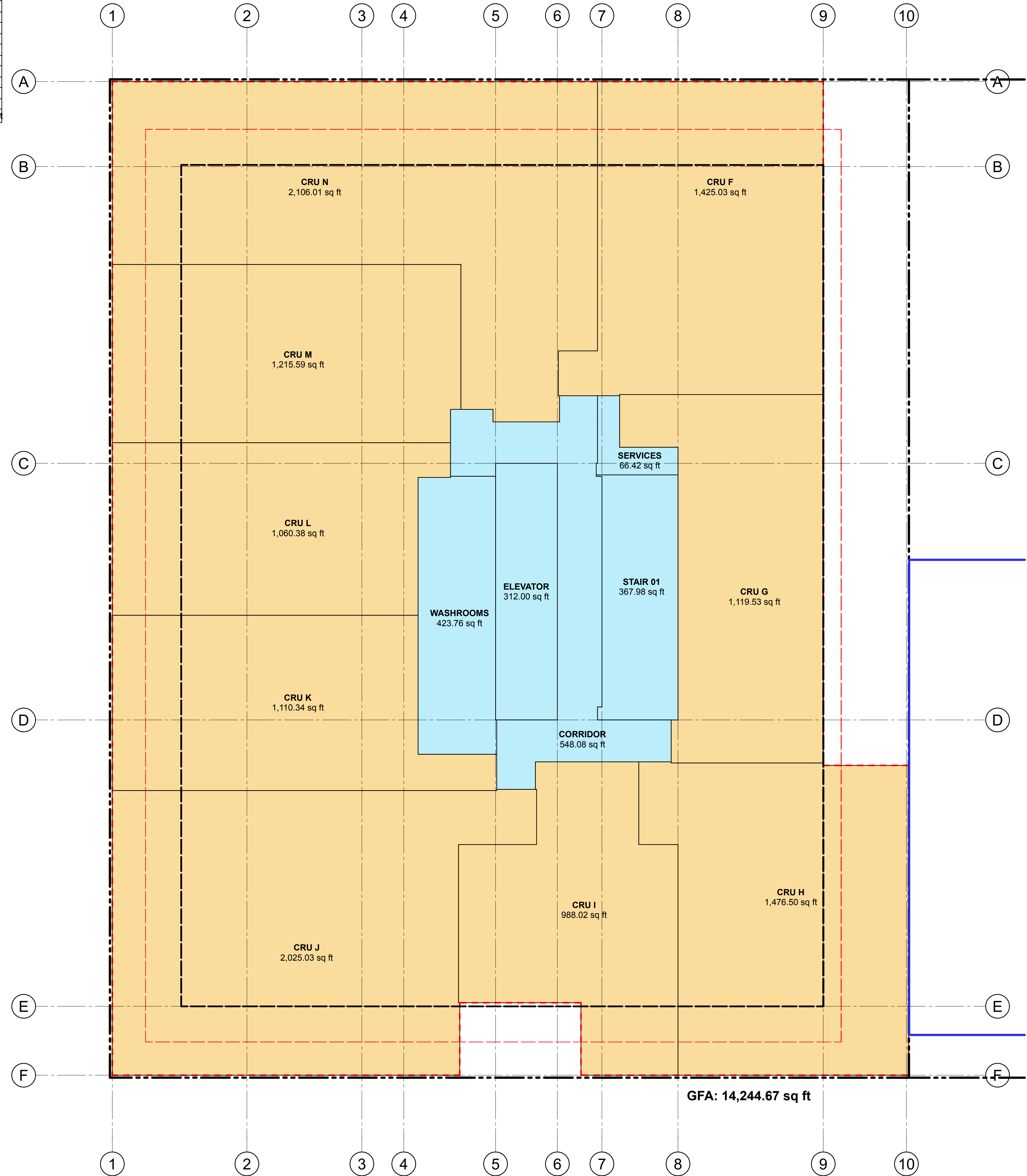
GFA	
LEVEL	AREA
Level 1 Floor Plan	13,244.86
Level 2 Floor Plan	14,244.67
Level 3 Floor Plan	7,381.26
Level 4 Floor Plan	7,381.26
Level 5 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 7 Floor Plan	7,381.26
Level 8 Floor Plan	7,381.26
Level 9 Floor Plan	7,381.26
Level 10 Floor Plan	7,381.26
Level 11 Floor Plan	7,381.26
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Level 13 Floor Plan	7,381.26
Level 14 Floor Plan	7,381.26
Level 15 Floor Plan	7,381.26
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
166,696.64 sq ft	

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan		
AMENITY		363.41
GARBAGE		188.91
GARBAGE		411.73
SERVICES		44.06
SERVICES		1,432.89
STAIR 02		146.04
STAIR 03		160.82
STORAGE		3,219.81
Level 3 Floor Plan		
AMENITY		2,385.22
8,352.89 sq ft		

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan			
Residential	APARTMENTS		3,942.88
Level 4 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 5 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 6 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 7 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 8 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 9 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 10 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 11 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 12 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 13 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 14 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 15 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 16 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 17 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 18 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 19 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 20 Floor Plan			
Residential	APARTMENTS		6,288.48
Level 21 Floor Plan			
Residential	APARTMENTS		5,305.94
116,152.98 sq ft			

CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan			
Commercial	CRU A		540.86
Commercial	CRU B		667.62
Commercial	CRU C		1,556.41
Commercial	CRU D		718.75
Commercial	CRU E		1,345.93
Level 2 Floor Plan			
Commercial	CRU F		1,425.03
Commercial	CRU G		1,119.53
Commercial	CRU H		1,476.50
Commercial	CRU I		988.02
Commercial	CRU J		2,025.03
Commercial	CRU K		1,110.34
Commercial	CRU L		1,060.38
Commercial	CRU M		1,215.59
Commercial	CRU N		2,106.01
17,356.00 sq ft			

GFA	
LEVEL	AREA
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
166,696.64 sq ft	



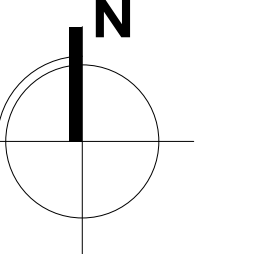
1 Level 2 Area Overlay
SCALE: 1/8" = 1'-0"



Integra
ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
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[PROJECT TEAM]



2022-01-31

[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 2 Area
Overlay

21569

[PROJECT]

1/8" = 1'-0", 1" = 1'-0"

[SCALE]

Monday, January 31, 2022

[DATE]

ISSUE 01 - RZ/DP APP.

[ISSUE]

[DRAWING]

A-8.302

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan			
Circulation	CORRIDOR		309.93
Circulation	ELEVATOR		312.00
Circulation	LOBBY		1,126.79
Circulation	MAIL		180.75
Circulation	STAIR 01		518.29
Commercial	CRU A		540.86
Commercial	CRU B		667.62
Commercial	CRU C		1,556.41
Commercial	CRU D		718.75
Commercial	CRU E		1,345.93
Level 2 Floor Plan			
Circulation	CORRIDOR		548.08
Circulation	ELEVATOR		312.00
Circulation	SERVICES		66.42
Circulation	STAIR 01		367.98
Circulation	WASHROOMS		423.76
Commercial	CRU F		1,425.03
Commercial	CRU G		1,119.53
Commercial	CRU H		1,476.50
Commercial	CRU I		988.02
Commercial	CRU J		2,025.03
Commercial	CRU K		1,110.34
Commercial	CRU L		1,060.38
Commercial	CRU M		1,215.59
Commercial	CRU N		2,106.01
Level 3 Floor Plan			
Circulation	CORRIDOR		402.04
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		3,942.88
Level 4 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 5 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 6 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 7 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 8 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 9 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 10 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 11 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 12 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 13 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 14 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 15 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 16 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 17 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 18 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 19 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 20 Floor Plan			
Circulation	CORRIDOR		441.65
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		6,288.48
Level 21 Floor Plan			
Circulation	CORRIDOR		387.37
Circulation	ELEVATOR		216.67
Circulation	SERVICES		66.48
Circulation	STAIR 01		367.98
Residential	APARTMENTS		5,305.94
			158,343.91 sq ft

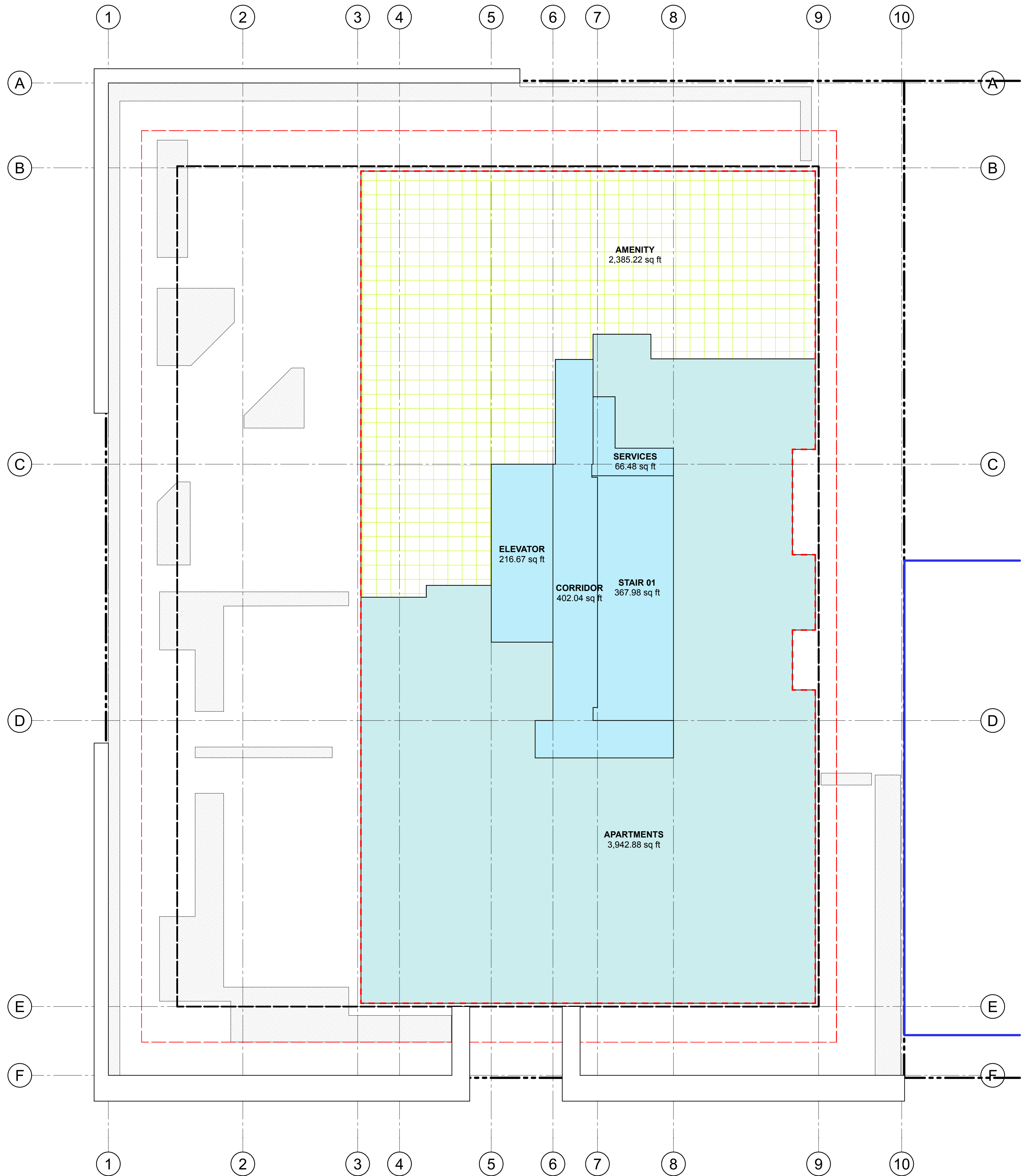
GFA	
LEVEL	AREA
Level 1 Floor Plan	13,244.86
Level 2 Floor Plan	14,244.67
Level 3 Floor Plan	7,381.26
Level 4 Floor Plan	7,381.26
Level 5 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 7 Floor Plan	7,381.26
Level 8 Floor Plan	7,381.26
Level 9 Floor Plan	7,381.26
Level 10 Floor Plan	7,381.26
Level 11 Floor Plan	7,381.26
Level 12 Floor Plan	7,381.26
Level 13 Floor Plan	7,381.26
Level 14 Floor Plan	7,381.26
Level 15 Floor Plan	7,381.26
Level 16 Floor Plan	6,344.43
Level 17 Floor Plan	
Level 18 Floor Plan	
Level 19 Floor Plan	
Level 20 Floor Plan	
Level 21 Floor Plan	
	166,696.64 sq ft

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan	AMENITY	363.41
	GARBAGE	188.91
	GARBAGE	411.73
	SERVICES	44.06
	SERVICES	1,432.89
	STAIR 02	146.04
	STAIR 03	160.82
	STORAGE	3,219.81
Level 3 Floor Plan	AMENITY	2,385.22
		8,352.89 sq ft

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,942.88
Level 4 Floor Plan	Residential	APARTMENTS	6,288.48
Level 5 Floor Plan	Residential	APARTMENTS	6,288.48
Level 6 Floor Plan	Residential	APARTMENTS	6,288.48
Level 7 Floor Plan	Residential	APARTMENTS	6,288.48
Level 8 Floor Plan	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Residential	APARTMENTS	6,288.48
Level 10 Floor Plan	Residential	APARTMENTS	6,288.48
Level 11 Floor Plan	Residential	APARTMENTS	6,288.48
Level 12 Floor Plan	Residential	APARTMENTS	6,288.48
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
Level 14 Floor Plan	Residential	APARTMENTS	6,288.48
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
Level 17 Floor Plan	Residential	APARTMENTS	6,288.48
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
Level 21 Floor Plan	Residential	APARTMENTS	5,305.94
			116,152.98 sq ft

CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Commercial	CRU A	540.86
	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
	Commercial	CRU D	718.75
	Commercial	CRU E	1,345.93
Level 2 Floor Plan	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01
			17,356.00 sq ft

GFA	
LEVEL	AREA
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
	166,696.64 sq ft



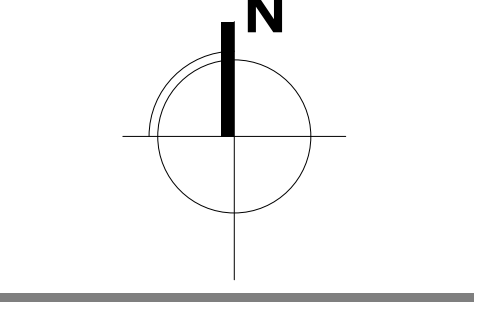
1 Level 3 Area Overlay
SCALE: 1/8" = 1'-0"



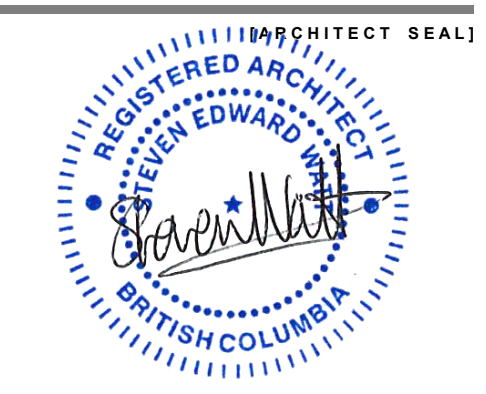
Integra
ARCHITECTURE INC.

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Vancouver, BC, V6C 1S4
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[PROJECT TEAM]



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 3 Area Overlay

[PROJECT]

1/8" = 1'-0", 1" = 1'-0" [SCALE]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]

[DRAWING]

A-8.303

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation	ELEVATOR	312.00
	Circulation	LOBBY	1,126.79
	Circulation	MAIL	180.75
	Circulation	STAIR 01	518.29
	Commercial	CRU A	540.86
Level 2 Floor Plan	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
	Commercial	CRU D	718.75
	Commercial	CRU E	1,345.93
	Circulation	CORRIDOR	548.08
Level 3 Floor Plan	Circulation	ELEVATOR	312.00
	Circulation	SERVICES	66.42
	Circulation	STAIR 01	367.98
	Circulation	WASHROOMS	423.76
	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01
Level 4 Floor Plan	Circulation	CORRIDOR	402.04
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Level 5 Floor Plan	Residential	APARTMENTS	3,942.88
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
Level 6 Floor Plan	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
Level 7 Floor Plan	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
Level 8 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Level 10 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
Level 11 Floor Plan	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
Level 12 Floor Plan	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
Level 13 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
Level 14 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
Level 16 Floor Plan	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
Level 17 Floor Plan	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
Level 18 Floor Plan	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
Level 19 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
Level 21 Floor Plan	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
Level 1 Floor Plan	Circulation	SERVICES	66.48
	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	6,288.48
	Commercial	CRU A	540.86
Level 2 Floor Plan	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
	Commercial	CRU D	718.75
	Commercial	CRU E	1,345.93
	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01

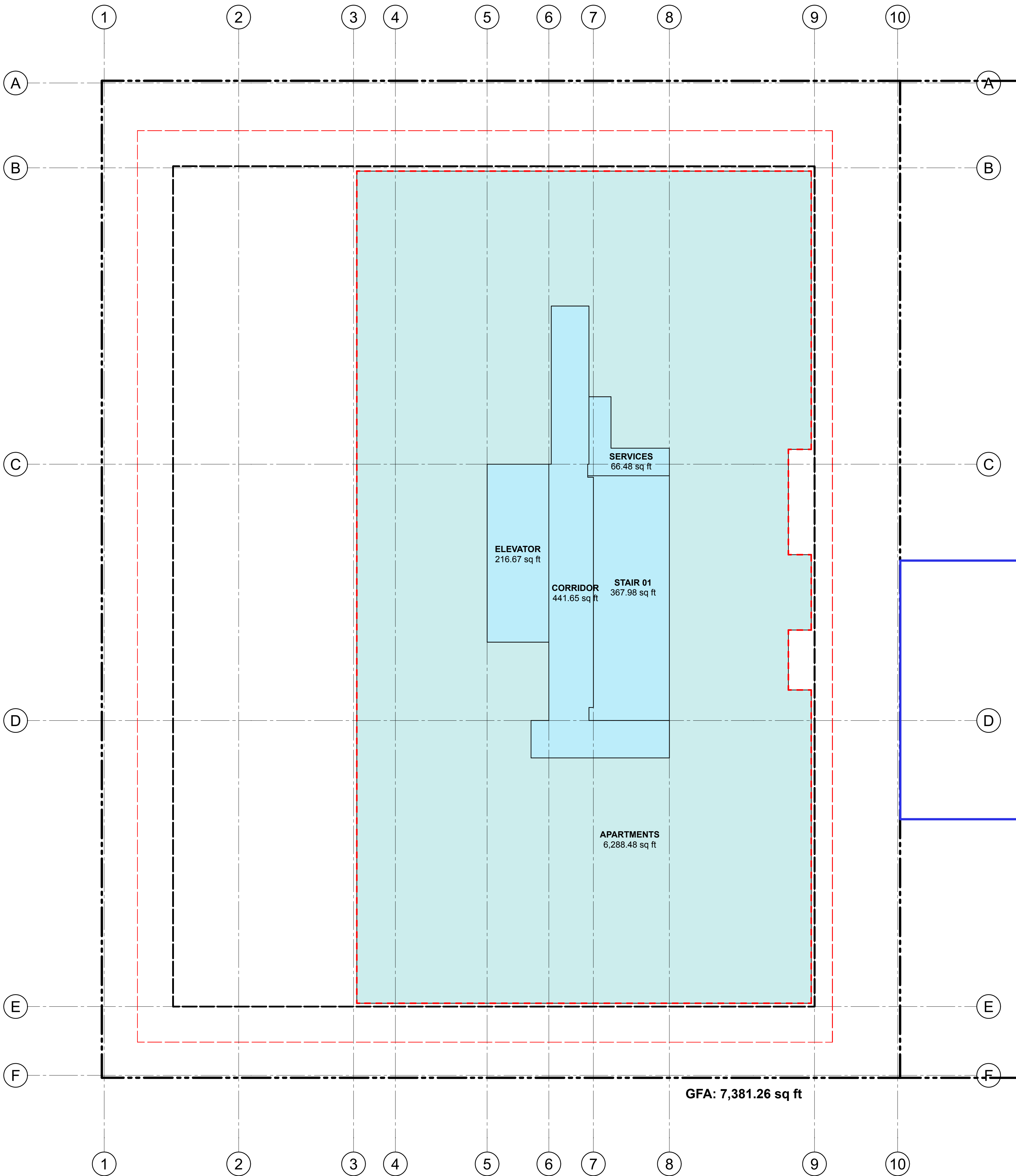
GFA	
LEVEL	AREA
Level 1 Floor Plan	13,244.86
Level 2 Floor Plan	14,244.67
Level 3 Floor Plan	7,381.26
Level 4 Floor Plan	7,381.26
Level 5 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 7 Floor Plan	7,381.26
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Level 12 Floor Plan	7,381.26
Level 13 Floor Plan	7,381.26
Level 14 Floor Plan	7,381.26
Level 15 Floor Plan	7,381.26
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
Total	166,696.64 sq ft

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan	AMENITY	363.41
	GARBAGE	188.91
	GARBAGE	411.73
	SERVICES	44.06
	SERVICES	1,432.89
	STAIR 02	146.04
Level 3 Floor Plan	STAIR 03	160.82
	STORAGE	3,219.81
	AMENITY	2,385.22
Total		8,352.89 sq ft

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,942.88
Level 4 Floor Plan	Residential	APARTMENTS	6,288.48
Level 5 Floor Plan	Residential	APARTMENTS	6,288.48
Level 6 Floor Plan	Residential	APARTMENTS	6,288.48
Level 7 Floor Plan	Residential	APARTMENTS	6,288.48
Level 8 Floor Plan	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Residential	APARTMENTS	6,288.48
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Level 12 Floor Plan	Residential	APARTMENTS	6,288.48
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
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Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
Level 17 Floor Plan	Residential	APARTMENTS	6,288.48
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
Level 21 Floor Plan	Residential	APARTMENTS	5,305.94
Total			116,152.98 sq ft

CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Commercial	CRU A	540.86
	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
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	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01

GFA	
LEVEL	AREA
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
Total	166,696.64 sq ft



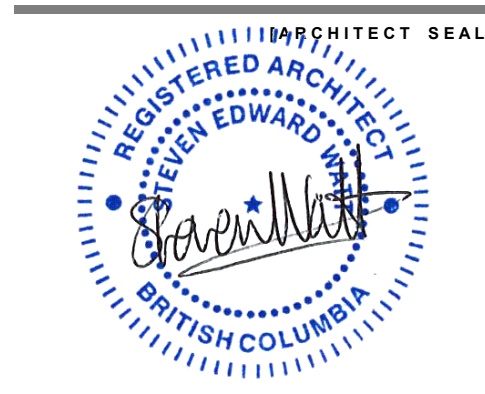
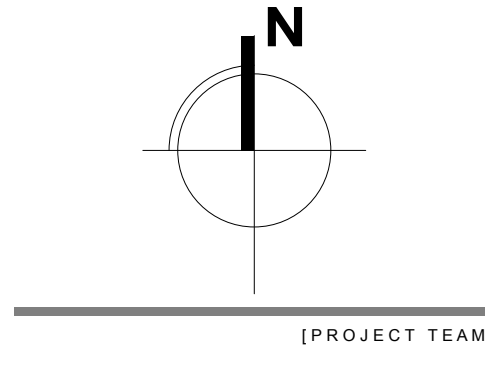
1 Typical Floor (L4-20) Area Overlay
SCALE: 1/8" = 1'-0"



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[CLIENT]
Three Shores Development

[PROJECT]
East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]
Typical Floor (L4-20) Area Overlay

[PROJECT]
21569

[SCALE]
1/8" = 1'-0", 1" = 1'-0"

[DATE]
Monday, January 31, 2022

[ISSUE]
ISSUE 01 - RZ/DP APP.

[DRAWING]
A-8.304

PROPOSED 21 STOREY MIXED-USE TOWER (FSR)			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation	ELEVATOR	312.00
	Circulation	LOBBY	1,126.79
	Circulation	MAIL	180.75
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	Commercial	CRU A	540.86
	Commercial	CRU B	667.62
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	Commercial	CRU E	1,345.93
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	Circulation	ELEVATOR	312.00
	Circulation	SERVICES	66.42
	Circulation	STAIR 01	367.98
Level 3 Floor Plan	Circulation	WASHROOMS	423.76
	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01
	Circulation	CORRIDOR	402.04
Level 4 Floor Plan	Circulation	ELEVATOR	216.67
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	Circulation	STAIR 01	367.98
	Residential	APARTMENTS	3,942.88
Level 5 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 6 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 7 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 8 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 10 Floor Plan	Circulation	CORRIDOR	441.65
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Level 19 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 20 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	6,288.48
Level 21 Floor Plan	Circulation	CORRIDOR	387.37
	Circulation	ELEVATOR	216.67
	Circulation	SERVICES	66.48
	Residential	APARTMENTS	5,305.94
			158,343.91 sq ft

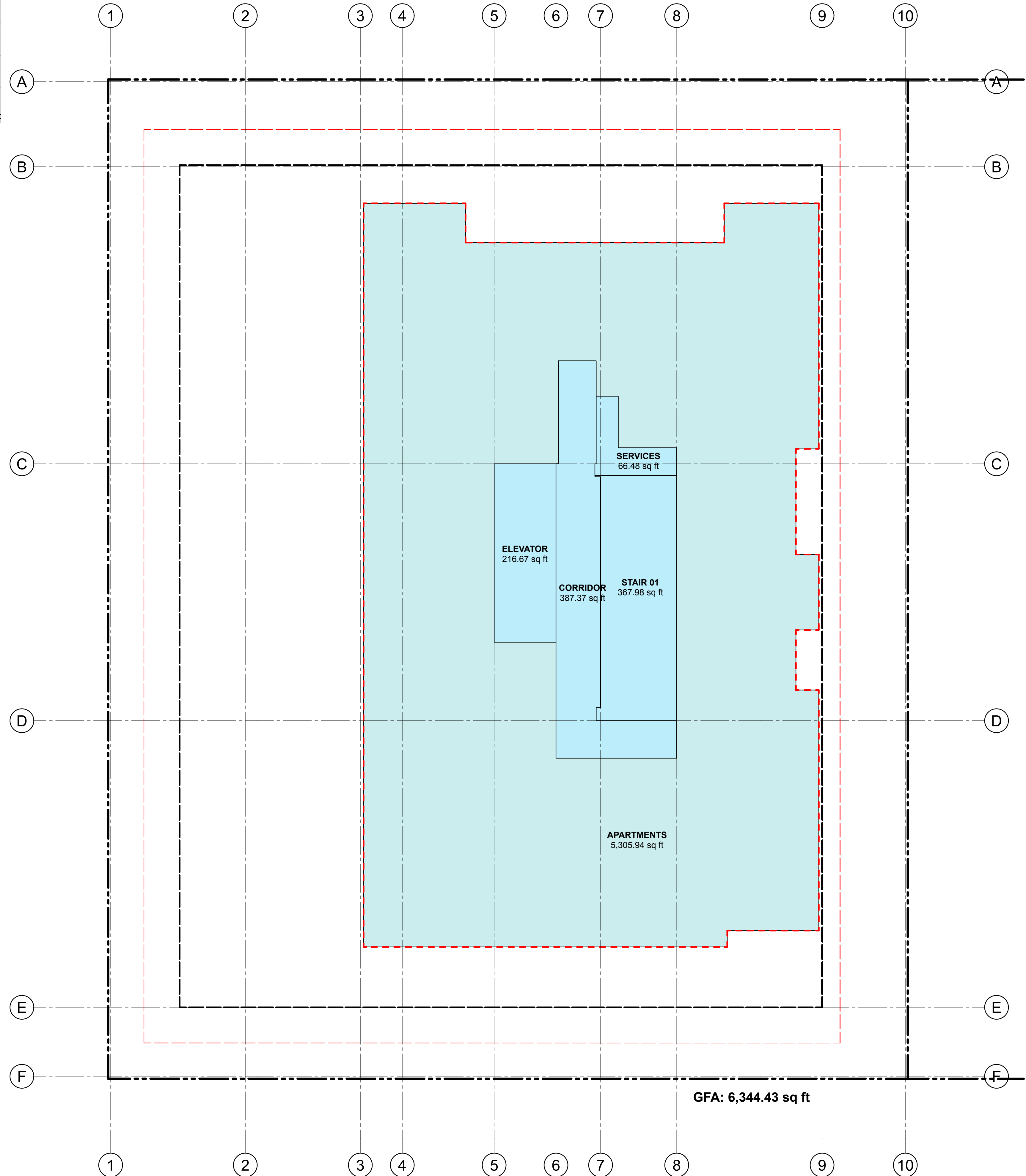
GFA	
LEVEL	AREA
Level 1 Floor Plan	13,244.86
Level 2 Floor Plan	14,244.67
Level 3 Floor Plan	7,381.26
Level 4 Floor Plan	7,381.26
Level 5 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 7 Floor Plan	7,381.26
Level 8 Floor Plan	7,381.26
Level 9 Floor Plan	7,381.26
Level 10 Floor Plan	7,381.26
Level 11 Floor Plan	7,381.26
Level 12 Floor Plan	7,381.26
Level 13 Floor Plan	7,381.26
Level 14 Floor Plan	7,381.26
Level 15 Floor Plan	7,381.26
Level 16 Floor Plan	6,344.43
166,696.64 sq ft	

GFA EXCLUSIONS		
LEVEL	Zone Name	AREA
Level 1 Floor Plan	AMENITY	363.41
	GARBAGE	188.91
	GARBAGE	411.73
	SERVICES	44.06
	SERVICES	1,432.89
	STAIR 02	146.04
Level 3 Floor Plan	STAIR 03	160.82
	STORAGE	3,219.81
	AMENITY	2,385.22
		8,352.89 sq ft

APARTMENT AREA			
LEVEL	Zone Category	Name	AREA
Level 3 Floor Plan	Residential	APARTMENTS	3,942.88
Level 4 Floor Plan	Residential	APARTMENTS	6,288.48
Level 5 Floor Plan	Residential	APARTMENTS	6,288.48
Level 6 Floor Plan	Residential	APARTMENTS	6,288.48
Level 7 Floor Plan	Residential	APARTMENTS	6,288.48
Level 8 Floor Plan	Residential	APARTMENTS	6,288.48
Level 9 Floor Plan	Residential	APARTMENTS	6,288.48
Level 10 Floor Plan	Residential	APARTMENTS	6,288.48
Level 11 Floor Plan	Residential	APARTMENTS	6,288.48
Level 12 Floor Plan	Residential	APARTMENTS	6,288.48
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
Level 14 Floor Plan	Residential	APARTMENTS	6,288.48
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
Level 17 Floor Plan	Residential	APARTMENTS	6,288.48
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
Level 21 Floor Plan	Residential	APARTMENTS	5,305.94
			116,152.98 sq ft

CRU AREA				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	Commercial	CRU A	540.86	
	Commercial	CRU B	667.62	
	Commercial	CRU C	1,556.41	
	Commercial	CRU D	718.75	
	Commercial	CRU E	1,345.93	
Level 2 Floor Plan	Commercial	CRU F	1,425.03	
	Commercial	CRU G	1,119.53	
	Commercial	CRU H	1,476.50	
	Commercial	CRU I	988.02	
	Commercial	CRU J	2,025.03	
	Commercial	CRU K	1,110.34	
	Commercial	CRU L	1,060.38	
	Commercial	CRU M	1,215.59	
	Commercial	CRU N	2,106.01	
				17,356.00 sq ft

GFA	
LEVEL	AREA
Level 16 Floor Plan	7,381.26
Level 17 Floor Plan	7,381.26
Level 18 Floor Plan	7,381.26
Level 19 Floor Plan	7,381.26
Level 20 Floor Plan	7,381.26
Level 21 Floor Plan	6,344.43
6,344.43	



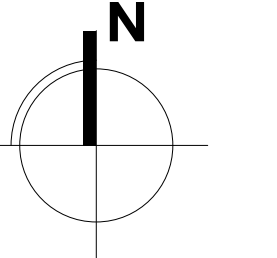
1 Level 21 Area Overlay
SCALE: 1/8" = 1'-0"



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[PROJECT TEAM]



[CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street
North Vancouver, BC

[TITLE]

Level 21 Area Overlay

[PROJECT]

1/8" = 1'-0", 1" = 1'-0" SCALE

[DATE]

Monday, January 31, 2022

[ISSUE]

ISSUE 01 - RZ/DP APP.

[DRAWING]

A-8.305