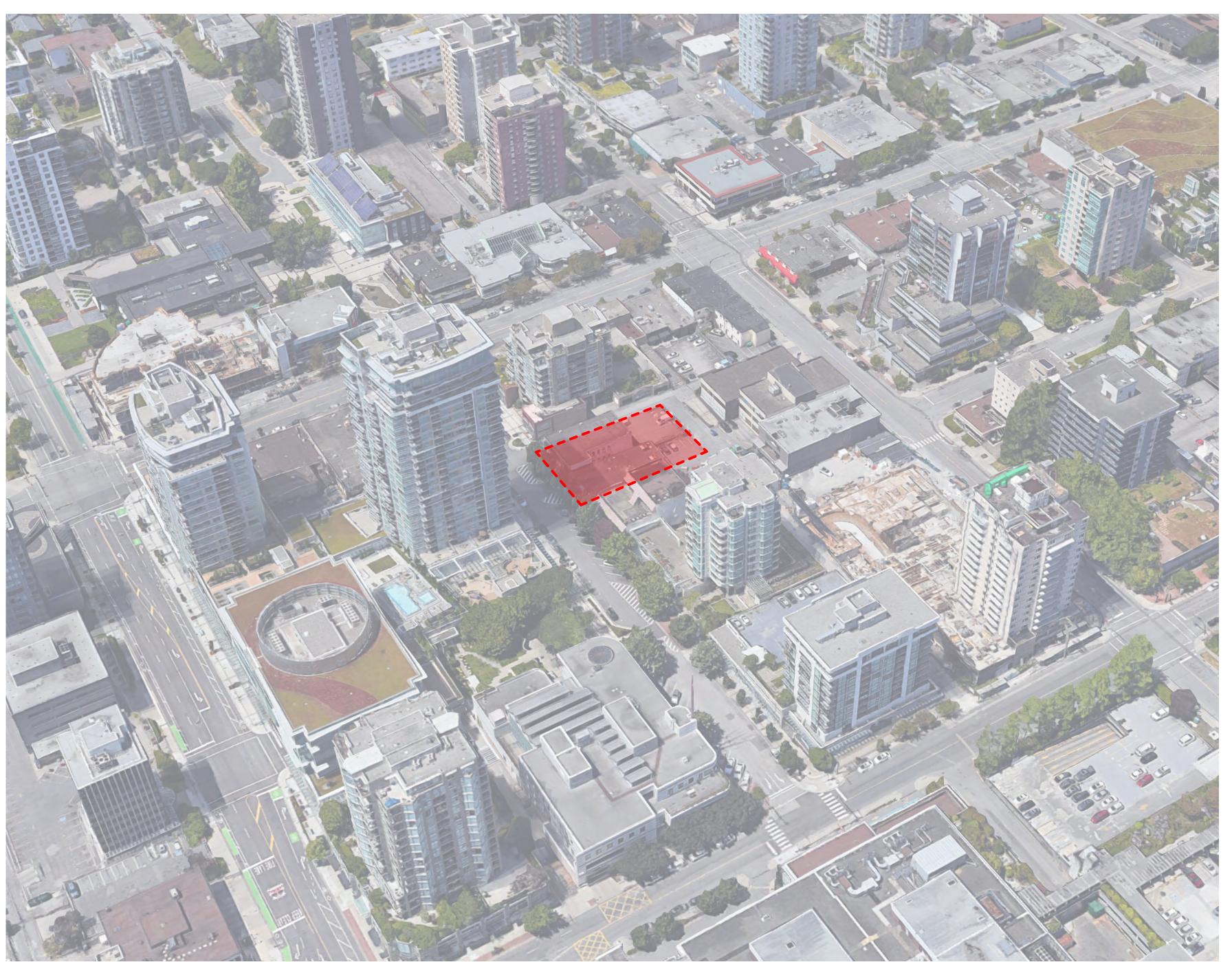
East 14th Street

Civic Address: 120-128 East 14th Street, North Vancouver, BC

Issue 01: RZ/DP Submission Monday, January 31, 2022

Note: Drawings only to scale when printed on 24x36 sheets



Architectural Drawing Index

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-	1:1.68
Perspectives	1:1.68
Site Plan	1/8" = 1'-0"
Fire Access Plan	3/32" = 1'-0"
Level P5 Floor Plan	1/8" = 1'-0"
Level P4 Floor Plan	1/8" = 1'-0"
Level P3 Floor Plan	1/8" = 1'-0"
Level P2 Floor Plan	1/8" = 1'-0"
Level P1 Floor Plan	1/8" = 1'-0"
Level 1 Floor Plan	1/8" = 1'-0"
Level 2 Floor Plan	1/8" = 1'-0"
Level 3 Floor Plan	1/8" = 1'-0"
Typical Floor Plan (L4-20)	1/8" = 1'-0"
Level 21 Floor Plan	1/8" = 1'-0"
	1' = 1'-0"
Unit Plans	
	4/00//
	1/32" = 1'-0"
	1/32" = 1'-0"
	1/16" = 1'-0"
	1/16" = 1'-0"
	1/16" = 1'-0"
West Elevation	1/16" = 1'-0"
Ruilding Sections	1/16" = 1'-0"
Building Sections Building Sections	1/16" = 1'-0"
Shadow Study	1:564.11
Shadow Study	1:564.11
Site Study 130-134 E 14th St - Data	
Site Study 130-134 E 14th St - Level 1	1/8" = 1'-0"
Site Study 130-134 E 14th St - Level 2	1/8" = 1'-0"
Site Study 130-134 E 14th St - Level 3	1/8" = 1'-0"
Site Study 130-134 E 14th St - Level 4	1/8" = 1'-0"
Level 1 Area Overlay	1/8" = 1'-0", 1' = 1'-
Level 2 Area Overlay	1/8" = 1'-0", 1' = 1'-
Level 3 Area Overlay	1/8" = 1'-0", 1' = 1'-
Lovoi o / lica o voliay	•
~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~	Site Plan Fire Access Plan Level P5 Floor Plan Level P4 Floor Plan Level P3 Floor Plan Level P1 Floor Plan Level P1 Floor Plan Level 1 Floor Plan Level 2 Floor Plan Level 3 Floor Plan Level 3 Floor Plan Typical Floor Plan Unit Plans West Street Elevation South & West Street Elevation North Elevation East Elevation South Elevation West Elevation Building Sections Building Sections Shadow Study Shadow Study Site Study 130-134 E 14th St - Level 1 Site Study 130-134 E 14th St - Level 2 Site Study 130-134 E 14th St - Level 3 Site Study 130-134 E 14th St - Level 4 Level 1 Area Overlay

CONTACT LIST

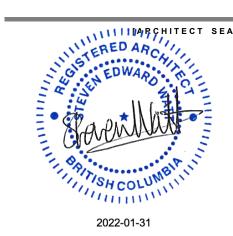
Client	Three Shores Development #245 – 9600 Cameron Street Burnaby, BC, V3J 7N3	Barry Savage	604.422.8718	bsavage@threeshores.ca
Architectural	Integra Architecture Inc. 2330-200 Granville Street Vancouver BC, V6C 1S4	Rhys Leitch Steve Watt	604.688.4220 604.688.4220	rhysl@integra-arch.com stevew@integra-arch.com
Civil	Binnie & Associates 300-4940 Canada Way Vancouver, BC V5G 4K6	Russell Warren	604.987.9070	rwarren@binnie.com
Landscape	Durante Kruek Ltd. 102-1637 West 5 th Avenue Vancouver, BC V6J 1N5	Stephen Vincent	604.684.4611	stephen@dkl.bc.ca
Code	MR Consulting 1281 20 th Street West Vancouver, BC V7V 3Z4	Mark Roozbahani	604.764.7709	mark@codeconsultant.ca



Integra ARCHITECTURE INC.

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[PROJECT TEA



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Cover

21569

Not To Scale

SSUE 01 - RZ/DP APP.

EAST 14TH STREET, NORTH VANCOUVER

MINISTER OR MAN AND AND AND AND AND AND AND AND AND A											Ea	st 14tl	h Street															
Magenta Mage	PROJECT OWNER:	Three Sh	nores Develop	ment																								
MADES ADMINES 1940	PROJECT CONTACT:	Barry Sav	/age		Three Sho	ores De	velopmen	t			120-12	28 East	14th Stree	et, North	h Vanco	uver, BC										T.604.505.88	18	
Column C	PROJECT ARCHITECT:			I	Integra Ard	chitectu	re Inc.				200 0	Granville	St, Vanco	ouver												T.604.688.422	20	
Registry Control 19 1 1 1 1 1 1 1 1 1																												
Part			E14th St, Nort	th Vancou	uver																							
Column C	LEGAL DESCRIPTION:	IRC																										
Column C	PROJECT DESCRIPTION:	21 Story	Mixed I Ise																									
1	ZONING:	21 01019	WIIXCU COC																									
1	Existing Zoning:																											
## Part	Proposed Zoning: OCP Designation																											
## MATE HAM	Development Permit Area																											
TRAIL PROVIDE TO THE TOTAL NAME AND THE TOTAL NAME																												
Mary	DATE:	2022-01-	29																									
The control of the co	SITE AREA																											
Column C	Total Site Area Total Gross Site Area										15,691		SF			1,457.75			m2									
Column C	Building Size																											
See Part of the proper plane p	Max. Building Height																		m									
The property of the property o			ve 3rd storev))																								
Part	Building Setbacks												ft															
Column C	Rear Lot Line												τι ft			6.10				*	may be re	duced b	y 1ft for	reach 1ft of se	etback	c provided at Fr	ont Lot Line (I	max. 10ft)
Contact Cont		eeding 4 sto	reys										ft														,	,
Section 1.50 1.00 1	FLOOR AREA RATIO (FAR)																											
Marchan Marc	Maximum FAR																											
Proposed Fig. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1.	Maximum Floor Area Maximum Bonus Floor Area									47	,073.5		SF			4,373.2			m2									
Part	Maximum FAR									62	2,764.7		SF			5,831.0			m2									
	Proposed FAR				_						_																	
Contact Cont	Proposed Floor Area Exclusions																											
Control Cont	Proposed FAR		10.04																									
Mary Mary Mary Mary Mary Mary Mary Mary	Exclusion Summary	Min.	No. Units		Stair 01		Stair 02		Elevator		per Uni	t	Total Ex	clusions	S													
Note 1965	Access to Outdoor Amenity Adapt. Units Level 2 (20 sf/unit)	0														sq.ft.								33.44	m2	25.0%	Units AD Lev	el 2
Part	Indoor Amenity - 15 SF/unit or lesser min 2% GFA (SF)										41.0		2.828.6													Min 15 SF / Ur	nit	
Part	Services (Ground Gloor)															•												
Property																sa.ft.						+						
Second Heat	Stairs (Active Design) - 8% max SF	13,336	max.										306.9			sq.ft.										0.00%	(Floor 1-6/Ro	of)
Line	Stairs (Active Design) - 8% max SF Total Exclusions From FSR	13,336	max.										306.9			sq.ft.										0.00%	(Floor 1-6/Ro	of)
Accorded 1	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA)	13,336	max.										306.9			sq.ft.										0.00%	(Floor 1-6/Ro	of)
Memory M	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas	13,336	Unit Areas										9,156.3			sq.ft.								850.64		Total Flo	por Area	
Second S	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas	13,336	Unit Areas SF						mmon	Sta	irs		9,156.3		rvices/Si	sq.ft. sq.ft.								850.64 Total Area		Total Flo	oor Area m²	Efficiency
Proof 1984 1985	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU)	13,336	Unit Areas SF						mmon	Sta	irs		9,156.3		rvices/Si	sq.ft. sq.ft.								850.64 Total Area		Total Flo	oor Area m²	Efficiency
Fig.	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2	13,336	Unit Areas SF 0.00	4,82	29.57			16	mmon 39.04	Sta 825	irs .15	31	9,156.3 vators		rvices/Si 5,297.	sq.ft. sq.ft.								Total Area 13,244.86		Total Flo SF 13,244.86	oor Area m² 1,230.52	Efficiency 36.5%
Second S	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU)	13,336	Unit Areas SF 0.00	4,82	29.57	1,8	11.70	16 97	mmon 69.04 71.84	Sta 825 367	.15 .98	31 31	9,156.3 vators 2.00		rvices/Si 5,297. 66.42	sq.ft. sq.ft. corage								Total Area 13,244.86 14,244.67		Total Flo SF 13,244.86 14,244.67	nor Area m² 1,230.52 1,323.41	Efficiency 36.5% 87.9%
Apartment Unit Arease March March	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2	Per	Unit Areas	4,82	29.57	1,8	11.70	16 97 40	71.84 02.03	Sta 825 367 367	.15 .98	31 31 21	9,156.3 vators 2.00 2.00 6.67		rvices/Si 5,297. 66.42	sq.ft. sq.ft. corage 40	Fotal U	nit Area	106,90	04.16	Sub Tota	1 7,3	81.26	Total Area 13,244.86 14,244.67 7,381.26		Total Flo SF 13,244.86 14,244.67 7,381.26	nor Area m ² 1,230.52 1,323.41 685.76	Efficiency 36.5% 87.9% 53.4%
Apartment Unit Areas Unit Types - Building	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48	4,82	29.57	1,8	11.70	16 97 40	71.84 02.03	Sta 825 367 367 367	.15 .98 .98	31 31 21 21	9,156.3 vators 2.00 2.00 6.67 6.67		rvices/St 5,297 66.42 66.48	sq.ft. sq.ft. corage 40	Fotal U	nit Area	106,90	04.16	Sub Tota	7,3	81.26	Total Area 13,244.86 14,244.67 7,381.26 125,481.42		Total Flo SF 13,244.86 14,244.67 7,381.26 125,481.42	oor Area m ² 1,230.52 1,323.41 685.76 11,657.89	Efficiency 36.5% 87.9% 53.4% 85.2%
Unit Types - Building Leve Set Unit Areas Set	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94	4,82	29.57	1,8	11.70	16 97 40	71.84 02.03	Sta 825 367 367 367	.15 .98 .98	31 31 21 21	9,156.3 vators 2.00 2.00 6.67 6.67		rvices/St 5,297 66.42 66.48	sq.ft. sq.ft. corage 40	Fotal U	nit Area	106,90	04.16	Sub Tota	1 7,3	81.26	Total Area 13,244.86 14,244.67 7,381.26 125,481.42		Total Flo SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43	nor Area m ² 1,230.52 1,323.41 685.76 11,657.89	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6%
Unit types - Building Cave SF L1 L2 L3 L4 L5 L5 L5 L7 L8 L9 L10 L11 L12 L13 L14 L15 L15	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94	4,82	29.57	1,8	11.70	16 97 40	71.84 02.03	Sta 825 367 367 367	.15 .98 .98	31 31 21 21	9,156.3 vators 2.00 2.00 6.67 6.67		rvices/St 5,297 66.42 66.48	sq.ft. sq.ft. corage 40	Fotal U	nit Area	106,90)4.16	Sub Tota	1 7,3	81.26	Total Area 13,244.86 14,244.67 7,381.26 125,481.42		Total Flo SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43	nor Area m ² 1,230.52 1,323.41 685.76 11,657.89	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6%
Study 1	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30	4,82	29.57	1,8	11.70	16 97 40	71.84 02.03	Sta 825 367 367 367	.15 .98 .98	31 31 21 21	9,156.3 vators 2.00 2.00 6.67 6.67	Sei	rvices/St 5,297. 66.42 66.48 66.48	sq.ft. sq.ft. corage 40	Γotal U	nit Area	106,90	04.16	Sub Tota	1 7,3		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43		Total Flo SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69%
Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF	4,82 12,5	29.57	2,3	85.22	16 97 40 44 38	71.84 02.03 11.65	Sta 825 367 367 367 367	.15 .98 .98 .98	31 31 21 21 21	9,156.3 vators 2.00 2.00 6.67 6.67	Ser	rvices/St 5,297. 66.42 66.48 66.48	sq.ft. sq.ft. corage 40								850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64	oor Area m ² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69%
Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF	4,82 12,5	29.57	2,3	85.22	16 97 40 44 38	71.84 02.03 11.65 37.36	Sta 825 367 367 367 367	98 98 98 98	31 31 21 21 21 Numl	9,156.3 vators 2.00 2.00 6.67 6.67 oer of Uni	Sei	rvices/Si 5,297. 66.42 66.48 66.48	sq.ft. sq.ft. corage 40 2 3 41 41 41 41 41 41 41 41 41 41 41 41 41	L14		L16	L17				Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units		Total Flo SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m²	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69%
Bedroom Bedr	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30	4,82 12,5	29.57	2,3 L3 1	11.70 85.22 L4 1	16 97 40 44 38	71.84 72.03 11.65 11.65	Sta 825 367 367 367 367	98 98 98 98	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni L10 1	Ser	rvices/St 5,297. 66.42 66.48 66.48	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	L16 1	L17 1	L18 L1 1 1	9 L20		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69%
Unit E2 639.30	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30	4,82 12,5	29.57	2,3 L3 1	11.70 85.22 L4 1	16 97 40 44 38	71.84 72.03 11.65 11.65	Sta 825 367 367 367 367	98 98 98 98	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni L10 1	Ser	rvices/St 5,297. 66.42 66.48 66.48	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	L16 1	L17 1	L18 L1 1 1	9 L20		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69%
Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30	4,82 12,5	29.57	2,3 L3 1	11.70 85.22 L4 1	16 97 40 44 38	71.84 02.03 11.65 11.65 11.65	Sta 825 367 367 367 367	98 98 98 4 1	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni L10 1	Ser	rvices/5i 5,297. 66.48 66.48 66.48 or L12 1	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	L16 1 1	1	L18 L1 1 1	9 L20		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
Betroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59	4,82 12,5	29.57	2,3 L3 1	11.70 85.22 L4 1	16 97 40 44 38	mmon 69.04 71.84 02.03 11.65 87.36	Sta 825 367 367 367 367 1 1	98 98 98 98 1	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 Der of Uni L10 1 1	Ser	rvices/Si 5,297 66.48 66.48 66.48 1	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	L16 1 1 1 1	1 1	L18 L1 1 1	9 L20		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17		Total Florence SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03	1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
2 Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30	4,82 12,5	29.57	1,8 2,3 1 1	11.70 85.22 L4 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1	98 98 98 98 1	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 Der of Uni L10 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	1 1 1	1 1 1	L18 L1 1 1	9 L20 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18		Total Floring SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
Redroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B2 1 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30	4,82 12,5	29.57	1,8 2,3 1 1	11.70 85.22 L4 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1	98 98 98 98 1	31 31 21 21 21 Numl L9 1	9,156.3 vators 2.00 2.00 6.67 6.67 Der of Uni L10 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1	sq.ft. sq.ft. corage 40 2 3 41 1	L14 1	L15 1	1 1 1	1 1 1	L18 L1 1 1	9 L20 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18		Total Floring SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
2 Bedroom 991.86 991.86 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B3 1 Bedroom Unit C1	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97	4,82 12,5	29.57	1,8 2,3 1 1	11.70 85.22 L4 1	16 97 40 44 38	mmon 69.04 71.84 02.03 11.65 87.36 11.65	Sta 825 367 367 367 367 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1	306.9 9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni L10 1 1 1 1		rvices/St 5,297. 66.48 66.48 66.48 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1	1 1 1 1	L15 1	1 1 1 1	1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46	589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
3 Bedroom 3 Bedroom 1	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B3 1 Bedroom Unit B3 1 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97	4,82 12,5	29.57	1,8 2,3 1 1 1	11.70 85.22 L4 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1	306.9 9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni 11 1 1 1 1	Ser	rvices/5i 5,297. 66.48 66.48 66.48 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1	1 1 1 1	L15 1	1 1 1 1 1	1 1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 18 17 18 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30	500 Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% % of Units 11.0%
2 Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C2 2 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03	4,82 12,5	29.57	1,8 2,3 1 1 1	11.70 85.22 L4 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1	306.9 9,156.3 vators 2.00 2.00 6.67 6.67 ber of Uni 11 1 1 1 1	Ser	rvices/5i 5,297. 66.48 66.48 66.48 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1	1 1 1 1	L15 1	1 1 1 1 1	1 1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 18 17 18 18		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30	500 Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
Unit PH1 921.78 85.64 2 Bedroom Unit PH2 1011.52 93.98 2 Bedroom + Den 1 1 1 1 1054.37 97.96 3 Bedroom Unit PH4 1143.96 18 Bedroom Unit PH5 1159.32 107.71	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C3 3 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03	4,82 12,5	29.57	1,8 2,3 1 1 1	11.70 85.22 L4 1 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/5i 5,297. 66.48 66.48 66.48 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1		Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17		Total Floring SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
2 Bedroom 1	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C3 3 Bedroom Unit C3 3 Bedroom Unit C4	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Floring SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
Unit PH2	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C3 3 Bedroom Unit C3 3 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1		850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Floring SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
2 Bedroom + Den	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C3 3 Bedroom Unit C3 3 Bedroom Unit C4	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	L21	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
## Sedroom ## ## ## ## ## ## ## ## ## ## ## ## ##	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C3 3 Bedroom Unit C4 2 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	L21	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92	oor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% ** of Units 11.0%
3 Bedroom	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit B1 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit PH1 2 Bedroom Unit PH1 2 Bedroom Unit PH2 2 Bedroom Unit PH3	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44 921.78	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	1 1	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92 921.78 1011.52	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% 43.3%
3 Bedroom 1159.32 107.71	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C3 3 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit PH1 2 Bedroom Unit PH1 2 Bedroom Unit PH2 2 Bedroom Unit PH3 3 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44 921.78 1011.52	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	1 1 1	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92 921.78 1011.52 1054.37	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03 85.64 93.98 97.96	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% 43.3%
	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit B1 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C2 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit PH1 2 Bedroom Unit PH1 3 Bedroom Unit PH2 2 Bedroom Unit PH3 3 Bedroom Unit PH4 3 Bedroom Unit PH4 3 Bedroom	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44 921.78 1011.52 1054.37	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	1 1 1	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92 921.78 1011.52 1054.37	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03 85.64 93.98 97.96	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% 43.3%
	Stairs (Active Design) - 8% max SF Total Exclusions From FSR GROSS FLOOR AREA (GFA) Floor Areas Level Level 1 (includes CRU) Level 2 Level 3 Typical Floors - Level 4 - 20 Level 21 Area Totals Apartment Unit Areas Unit Types - Building Unit A1 Studio Unit B 1 Bedroom Unit B1 1 Bedroom Unit B2 1 Bedroom Unit B3 1 Bedroom Unit C1 2 Bedroom Unit C3 3 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit C4 2 Bedroom Unit PH1 2 Bedroom Unit PH1 3 Bedroom Unit PH3 3 Bedroom Unit PH3 3 Bedroom Unit PH3 3 Bedroom Unit PH4	Per	Unit Areas SF 0.00 0.00 3,942.88 6,288.48 5,305.94 15,537.30 Unit Areas SF 436.30 562.50 533.59 639.30 595.97 813.90 818.03 991.86 881.44 921.78 1011.52 1054.37	4,82 12,5	29.57	1,8 2,3 1 1 1 1	11.70 85.22 L4 1 1 1 1	16 97 40 44 38	######################################	Sta 825 367 367 367 367 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	98 98 98 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	31 31 21 21 21 21 1 1 1 1 1 1	9,156.3 vators 2.00 2.00 6.67 6.67 1 1 1 1 1 1 1	Ser	rvices/Si 5,297. 66.48 66.48 66.48 1 1 1 1 1 1 1 1	sq.ft. sq.ft. sq.ft. corage 40 2 3 3 1 1 1 1 1 1 1	1 1 1 1 1	L15 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1	L18 L1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	9 L20 1 1 1 1 1 1 1 1 1	1 1 1	850.64 Total Area 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 Total Units 18 18 17 18 18 17 18 17		Total Flor SF 13,244.86 14,244.67 7,381.26 125,481.42 6,344.43 166,696.64 Total Ur SF 7853.40 10125.00 9071.03 11507.40 10727.46 13836.30 14724.54 16861.62 15865.92 921.78 1011.52 1054.37 1143.96	nor Area m² 1,230.52 1,323.41 685.76 11,657.89 589.43 15,487.00 nit Area m² 729.62 940.67 842.75 1069.10 996.64 1285.47 1367.99 1566.53 1474.03 85.64 93.98 97.96 106.28	Efficiency 36.5% 87.9% 53.4% 85.2% 83.6% 69% 43.3%

Commercial Unit Areas Unit Types	Level	Floor Area	Subtotal						Total	# of		Init Area	% of Units
CRU-A	L1	SF 540.86	540.86						540.86	Units	SF 540.86	m ² 50.25	7.1%
RU-B	L1	667.62								<u>'</u>			
RU-C	L1		667.62						667.62	1	667.62	62.02	7.1%
	LI	1556.41	1556.41						1556.41	1	1556.41	144.60	7.1%
RU-D	L1	718.75	718.75						718.75	1	718.75	66.77	7.1%
RU-E	L1	1345.93	1345.93						1345.93	1	1345.93	125.04	7.1%
RU-F	L2	1425.03	1425.03						1425.03	1	1425.03	132.39	7.1%
RU-G	L2	1119.53								<u> </u>			
			1119.53						1119.53	1	1119.53	104.01	7.1%
RU-H	L2	1476.50	1476.50						1476.50	1	1476.50	137.17	7.1%
RU-I	L2	988.02	988.02						988.02	1	988.02	91.79	7.1%
RU-J	L2	2025.03	2025.03						2025.03	1	2025.03	188.13	7.1%
RU-K	L2	1110.34	1110.34						1110.34	1	1110.34	103.15	7.1%
RU-L	L2	1060.38								<u> </u>			
			1060.38						1060.38	1	1060.38	98.51	7.1%
RU-M	L2	1215.59	1215.59						1215.59	1	1215.59	112.93	7.1%
RU-N	L2	2106.01	2106.01						2106.01	1	2106.01	195.65	7.1%
Tot	al								17,356.00	14	17,356.00	1,612.4	100
OUSING UNIT MIX													
	No.	Percentage						٨٥	daptable/Accessible Units		Required/Prov	vided	
tudio	18							AC	daptable/Accessible Office	•	25%	41	Units
Bedroom Bedroom	71 55	43.3% 33.5%									25%	41	Units
Bedroom	20	12.2%											
otal	164	100.0%	Family S	ized Units	45.7%								
FF-STREET PARKING													
partment Parking													
esidential Parking		Spaces Per Dwelling			172.2	Spaces Required			<u> </u>		Spaces Prov		
isitor Parking isabled Parking	0.1	Spaces Per Unit (inclusive of total	cusive of total)		16.4 6.5	Spaces Required Spaces Required					Spaces Provide		* inclusive * inclusive
ax. Small Cars Allowed		of Provided Spaces			85	Spaces Max.					Spaces Provi		* inclusive
arking Reduction TDM Measures otal	-10%				-19 169.7	Spaces Spaces Required				170	Spaces Provi	ded	
commercial Parking Commercial Parking	1.0	Spaces for each 75	m2 (807.3 SF)		21.5	Spaces Required				22	Spaces Provi	ded	
isabled Parking	1 Space	For Every 5-36 Parkir	ng Spaces (inclusive)		1.0	Spaces Required				1	Spaces Provi	ded	* inclusive
ax. Small Cars Allowed oading	25%	of Provided Spaces			6	Spaces Max.				3	Spaces Provi	aea	* inclusive
ommercial Loading Required	1	Spaces per 1900 m2	2		1	Spaces Required				1	Spaces Provi	ded	
otal					21.5	Spaces Required				22	Spaces Provi	ded	
ross Total					191.2	Spaces Required					Spaces Provi		
arking Space Dimensions	Peguireo	(Width x Length x Hei	(aht)										
andard Space	2.5m (8.2	0 FT) x 6.0m (19.69	9 FT) x 2.0m (6.56 FT)										
mall Cars ccessible			5 FT) x 2.0m (6.56 FT) 69 FT) x 2.3m (7.55 FT)										
an Accessible	4.8m (15	75 FT) x 6.0m (19.6	69 FT) x 2.3m (7.55 FT)										
oading in. Distance to Continuous Wall	•	4 FT) X 7.0m (22.97 8 FT) (1'-0")	7 FT) x 4.0m (13.12 FT)										
n. Drive Aisle Width	6.5m (21	33 FT) (21'-4")											
in. Maneuvering Aisle Width	6.5m (21	33 FT) (21'-4")											
ICYCLE STALLS													
icycle Spaces													
ecure Residential - Required ecure Residential - Provided	1.50	Bicycle Stalls Per Dw Bicycle Stalls Per Dw		Vertical 35% Max	· 86				246 Stalls Requi				
ecute Residential - Provided		Dicycle Stalls Fel Dw	Welling Offic	Horizontal	00				185 Stalls Provid	led			
torage Spaces								Total	251 Stalls Provid	led			
ecure Residential - Provided								Total	36 Storage Loc 36 Storage Loc				
								Total	36 Storage Loc	Kers P	rovided		
nort Term Residential - Visitor Req nort Term Residential - Visitor Prov		per 20-59 Dwelling L	Jnits + 6 per 60 additional un	its Racks					16 Spaces Req 16 Spaces Pro				
ion reminesidential - VISILUI PIOV	ide 0.0	POI 20-03 DWEIIIII C	Jinto	I/dU/S			_	Total	16 Spaces Prov				
ecure Commercial - Required	1 በ	per 250m2 of GFA							6 Stalls Requi	red			
ecure Commercial - Provided		per 250m2 of GFA		Vertical					0 Stalls Provid	led			
				Horizontal				Total	6 Stalls Provid				
	a.T	per 1000m2 of GFA											
and Torre Commercial 1 1/1 "		Dec JUDOM2 of GEA							10 Spaces Req	uired			
ort Term Commercial - Visitor Lon ort Term Commercial - Visitor Sho		per Entrance	·	Racks					10 Spaces Rec				

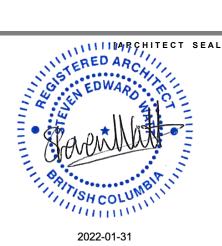
per m2 of floor area



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Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

5.00 m2 79.70 m2

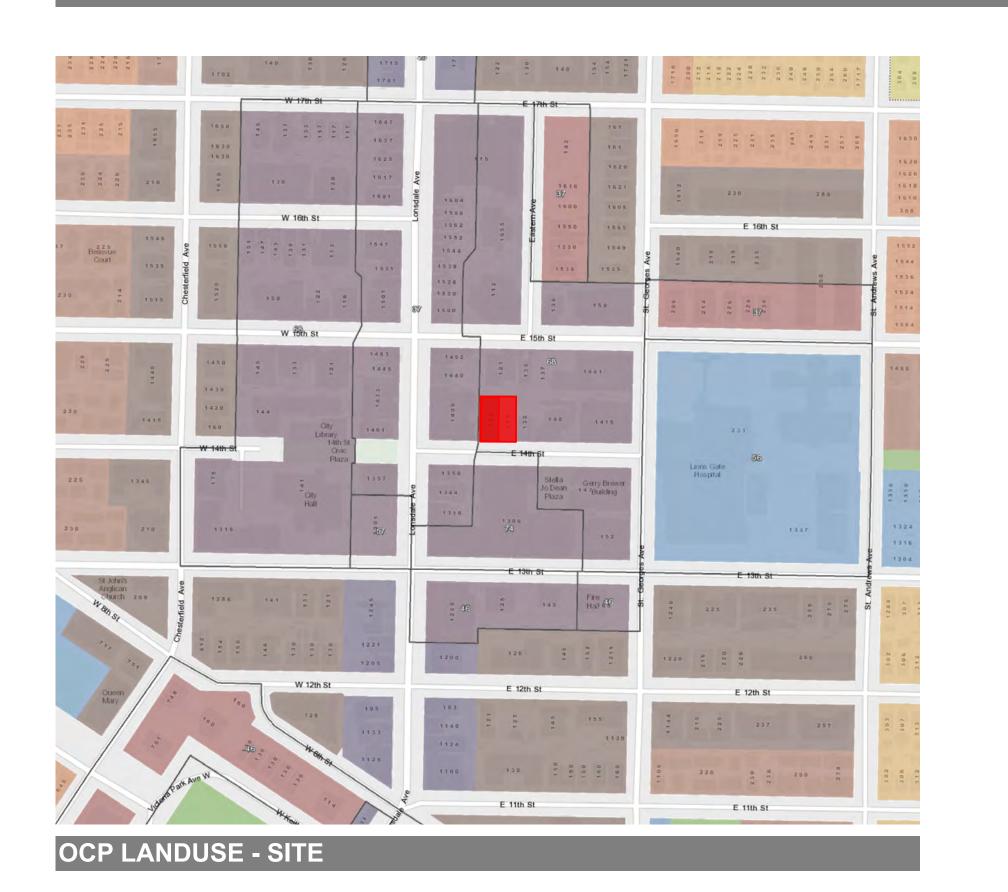
37.08 m2

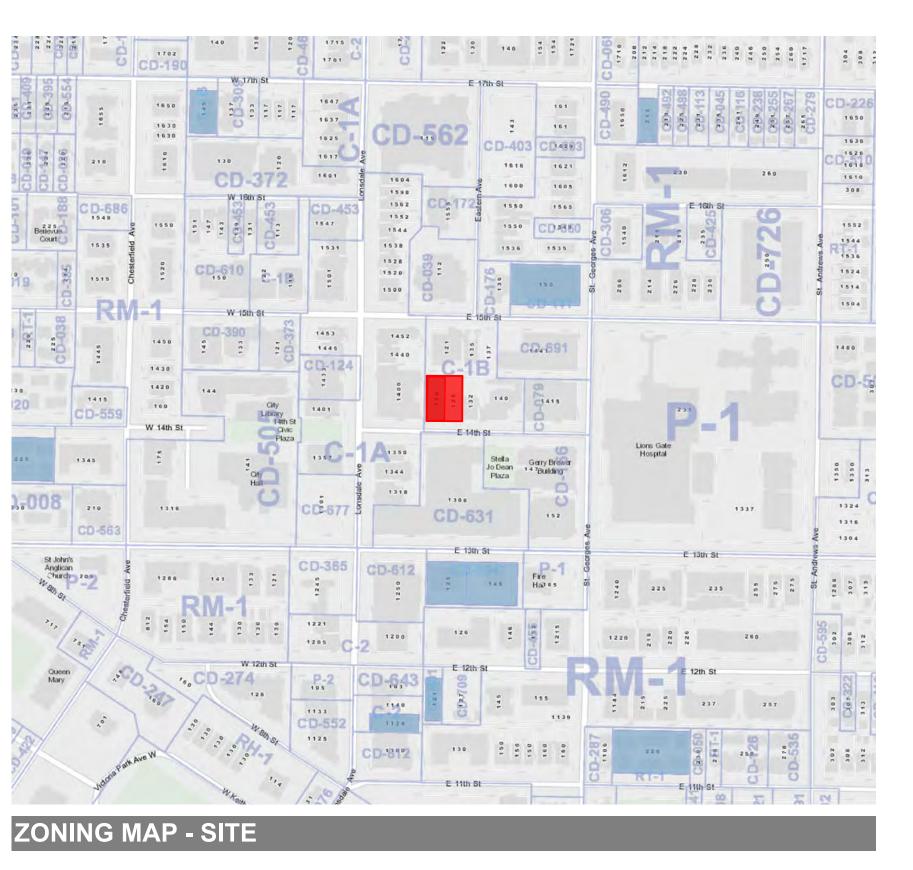
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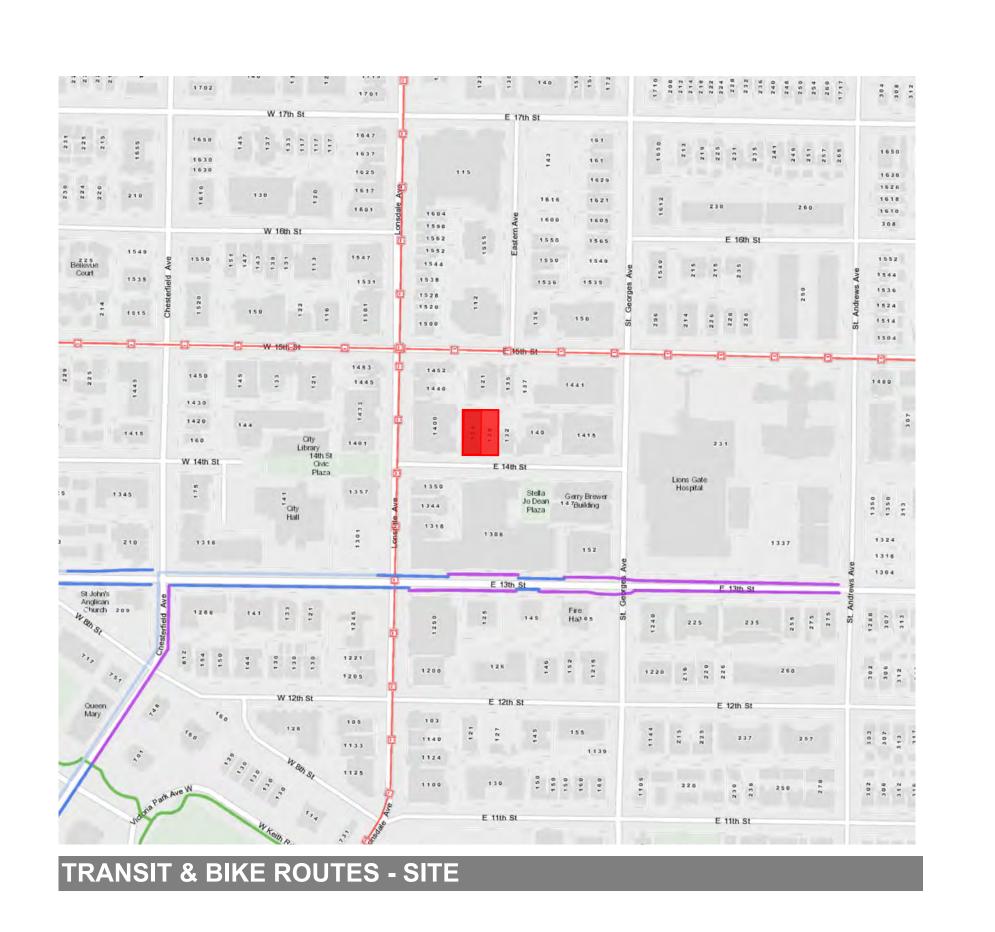
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OCP LANDUSE MAP - NORTH VANCOUVER





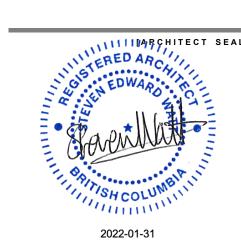




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East 14th Street

120-128 East 14th Street North Vancouver, BC

Context - Site Location

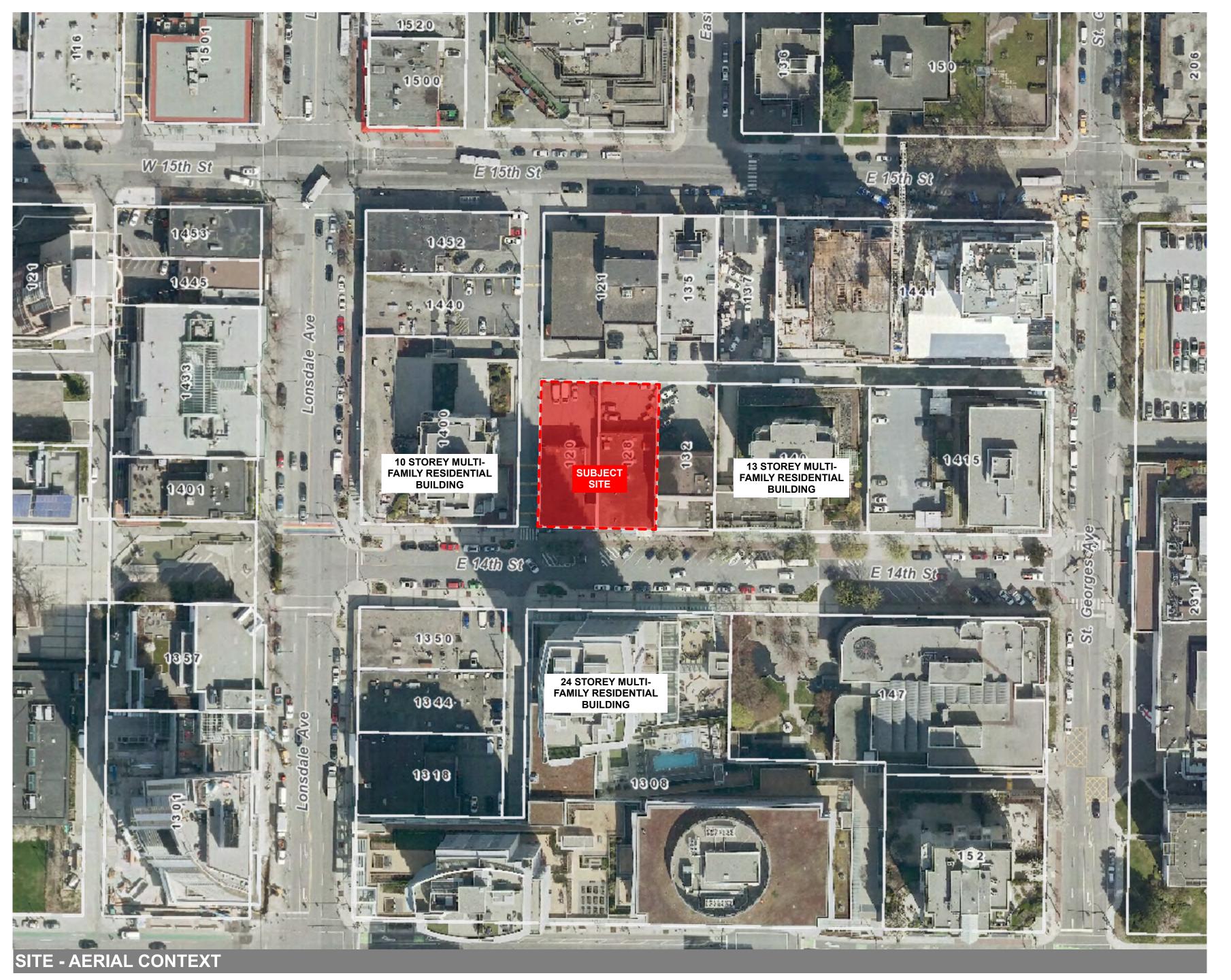
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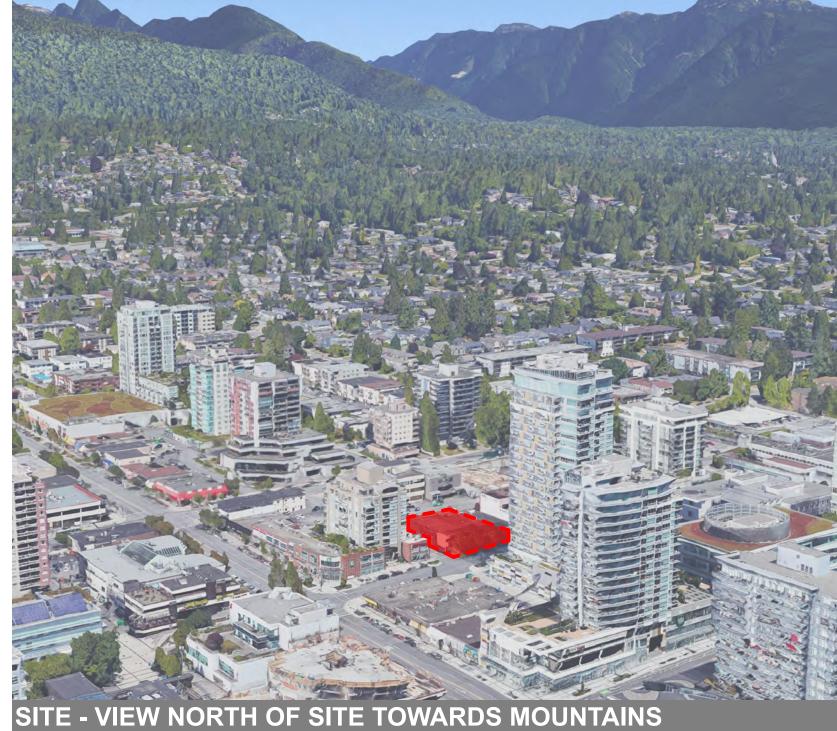
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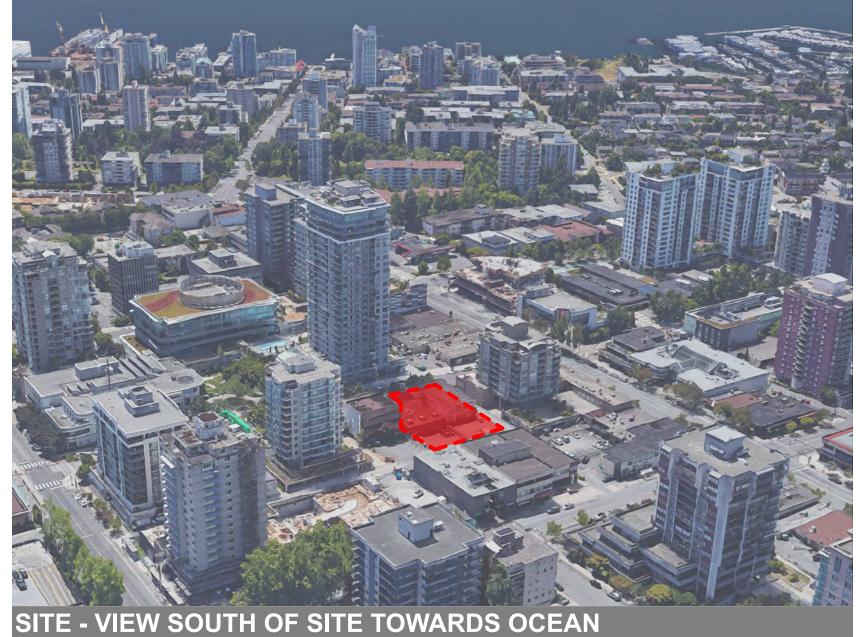
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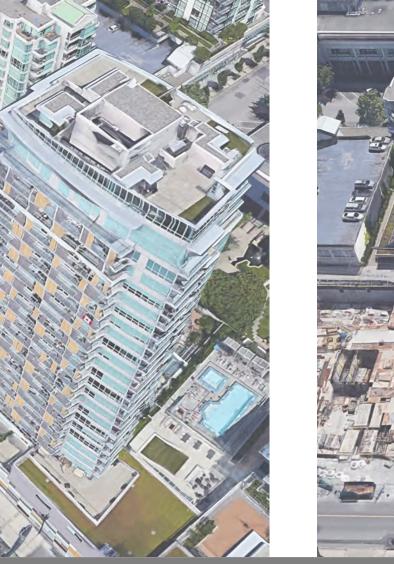
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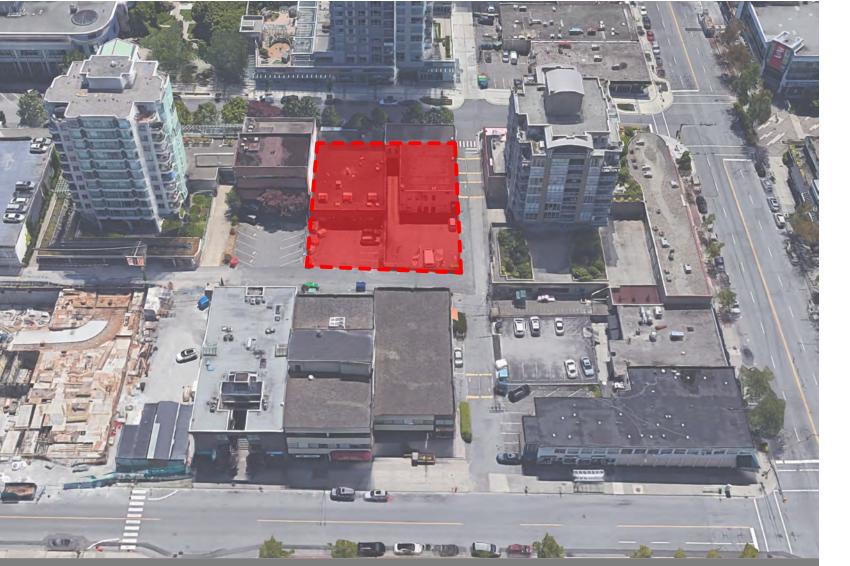


SITE - AERIAL CONTEXT











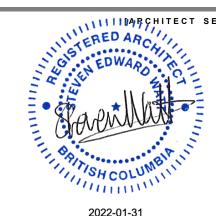
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East 14th Street

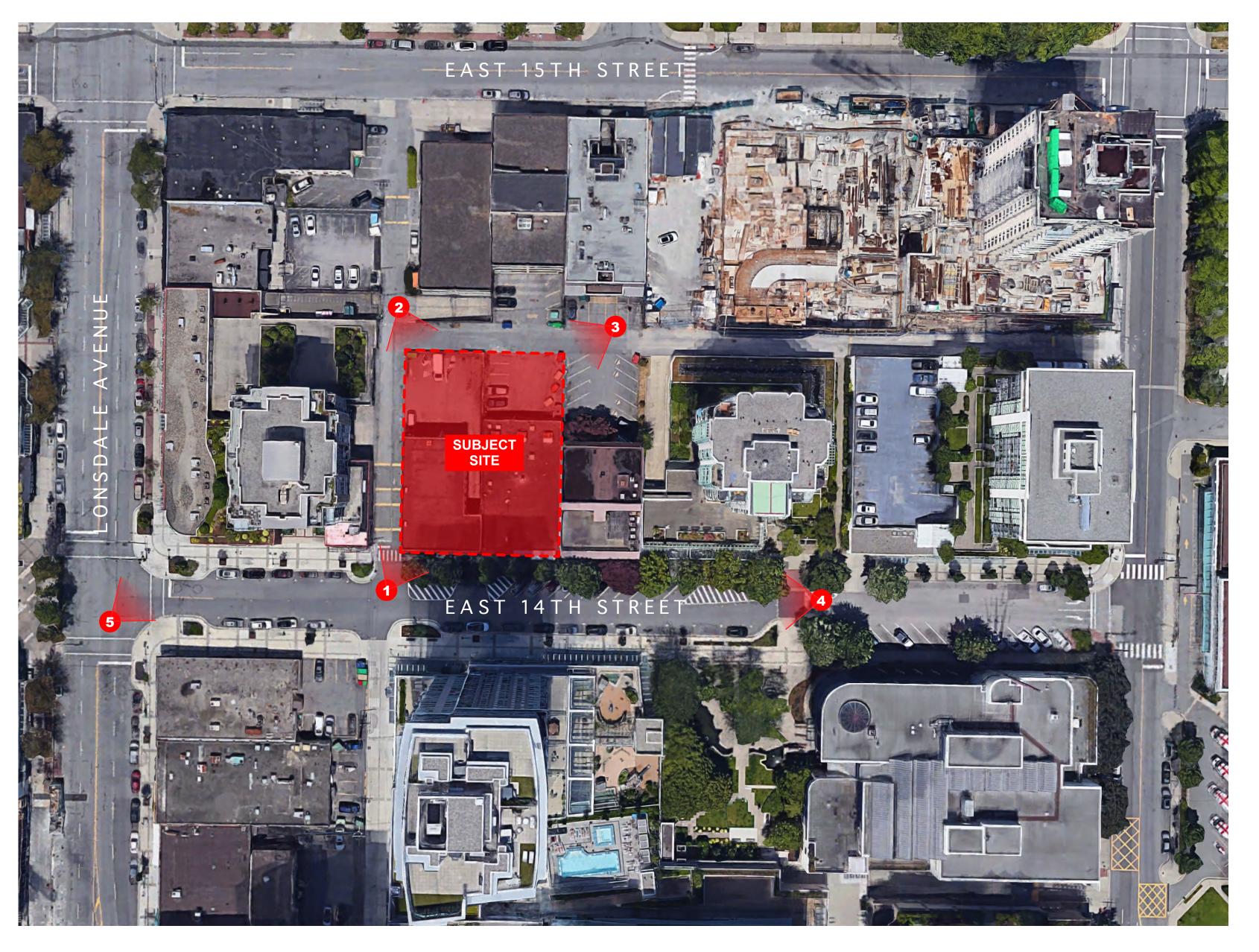
120-128 East 14th Street North Vancouver, BC

Context - Aerial Perspective

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Monday, January 31, 2022

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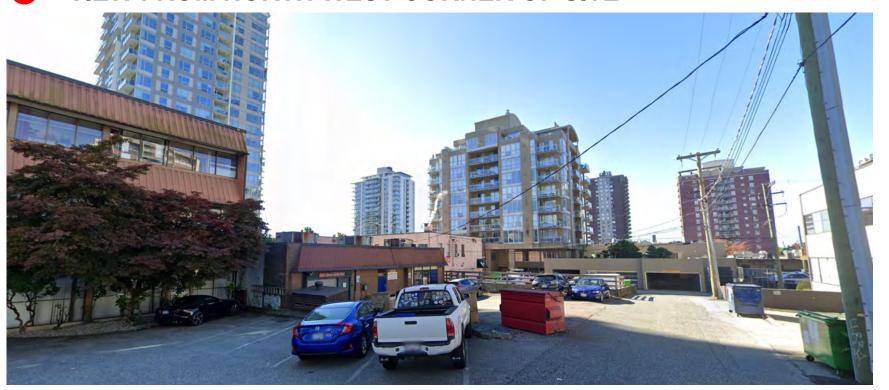




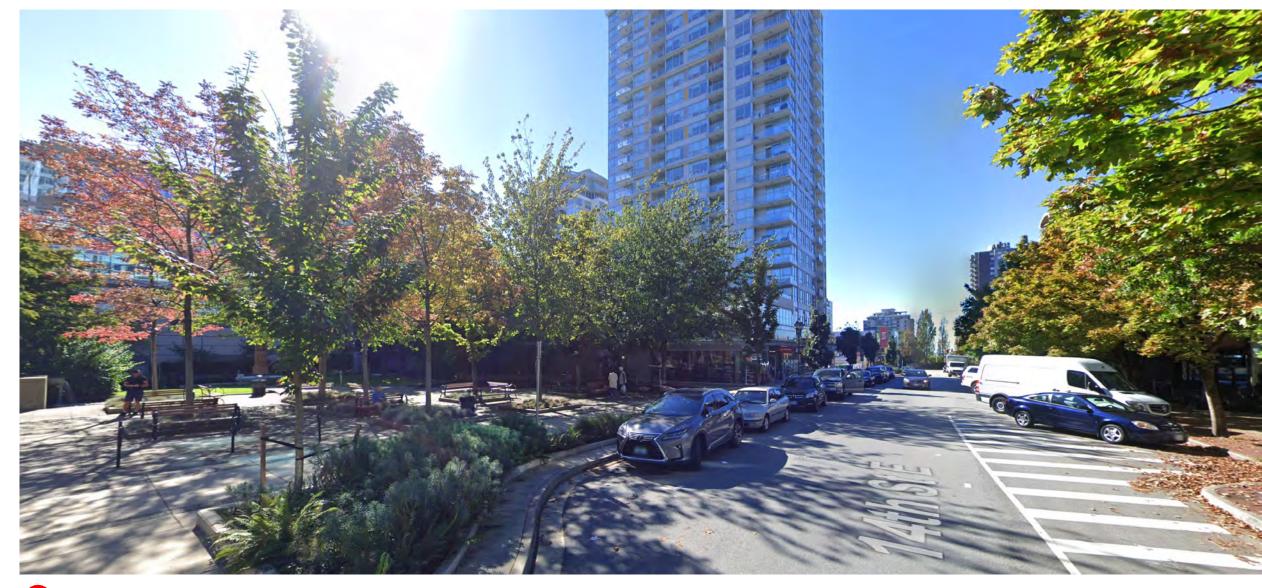
1 VIEW FROM SOUTH WEST CORNER OF SITE



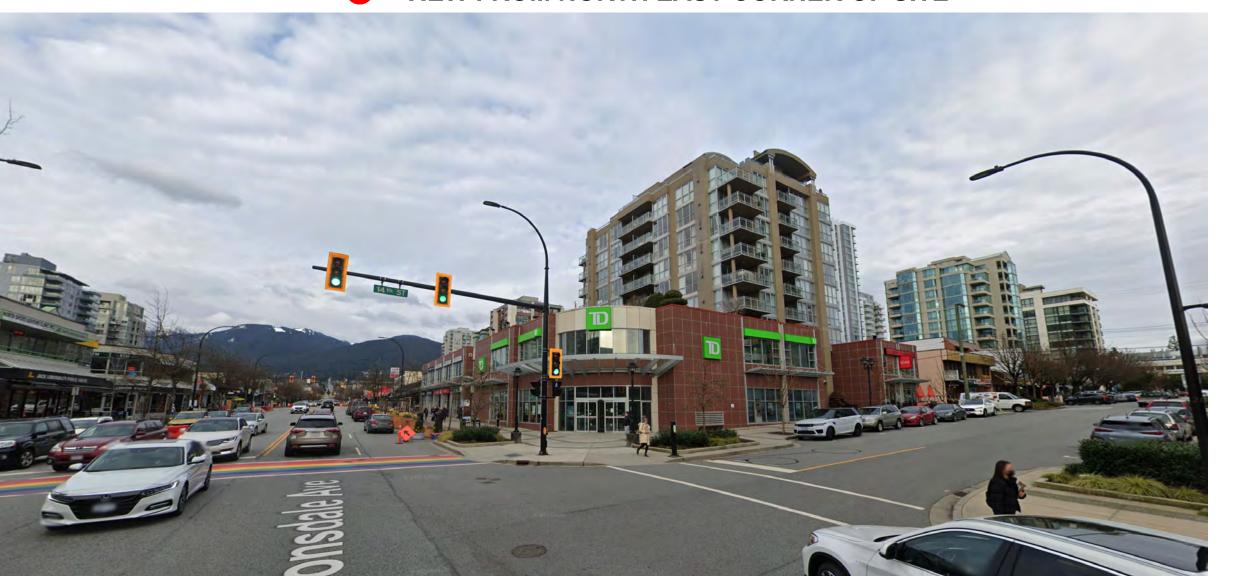
2 VIEW FROM NORTH WEST CORNER OF SITE



3 VIEW FROM NORTH EAST CORNER OF SITE



VIEW WEST DOWN E14TH STREET TOWARDS SITE



5 VIEW FROM INTERSECTION AT LONSDALE AVENUE & E14TH STREET



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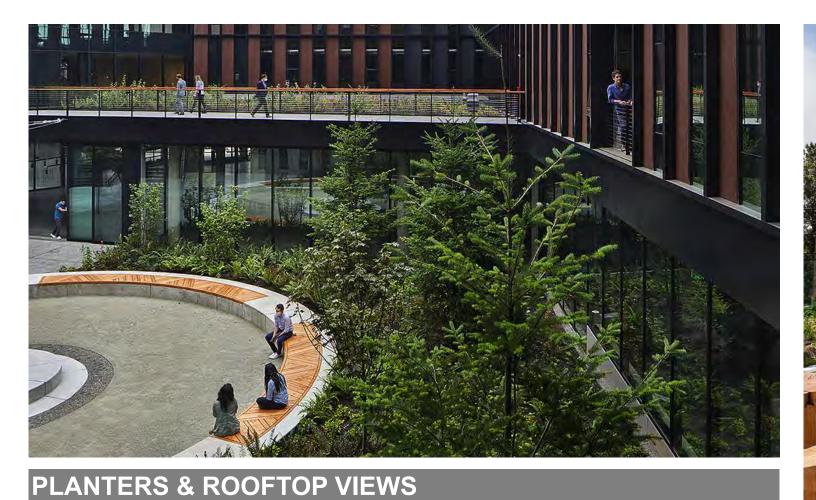
East 14th Street

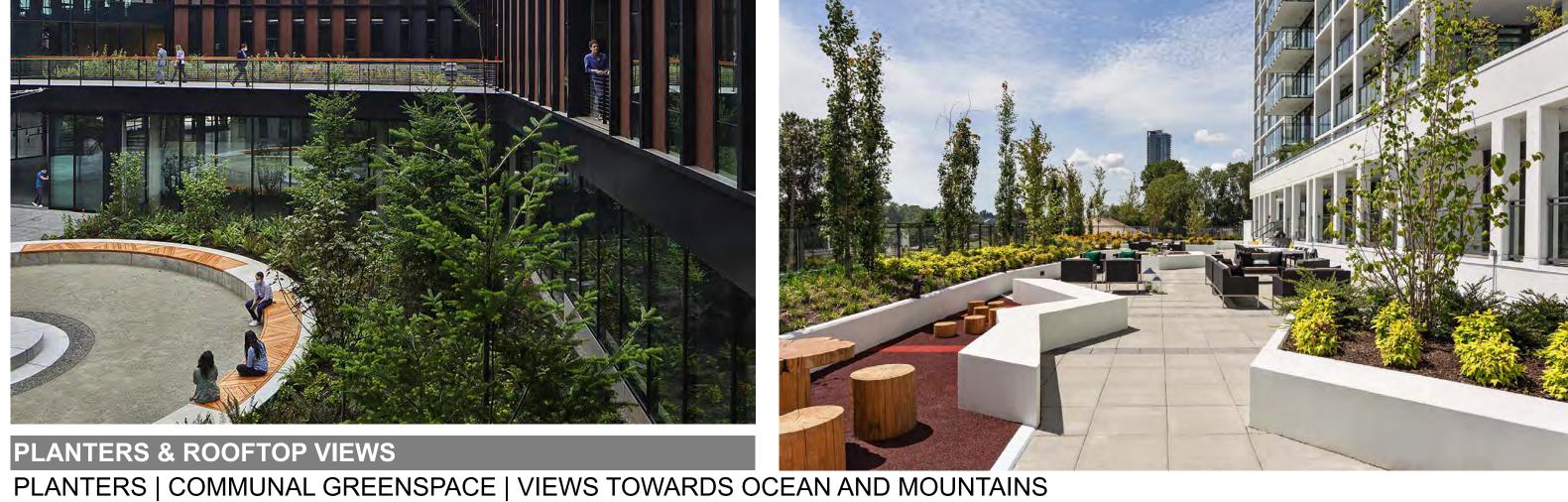
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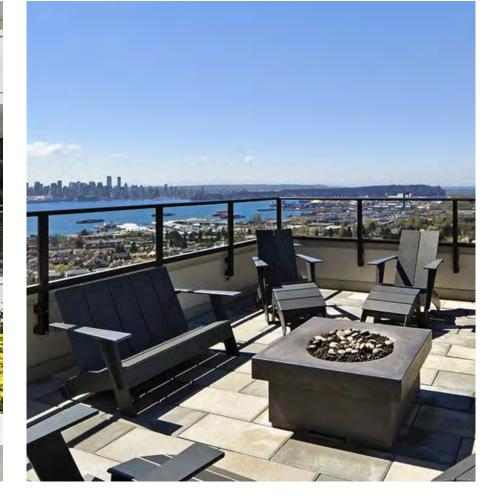
Site Context -Street View Photos

Monday, January 31, 2022 [DATE]

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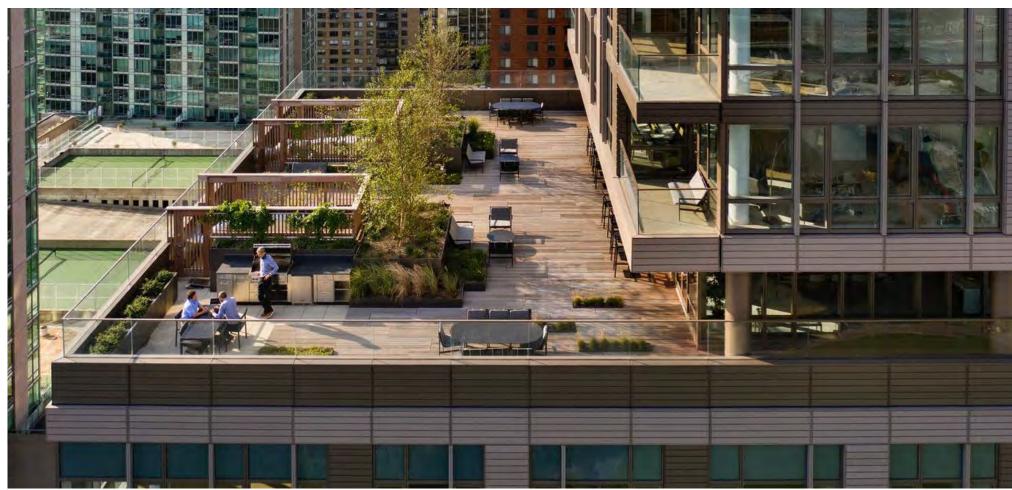


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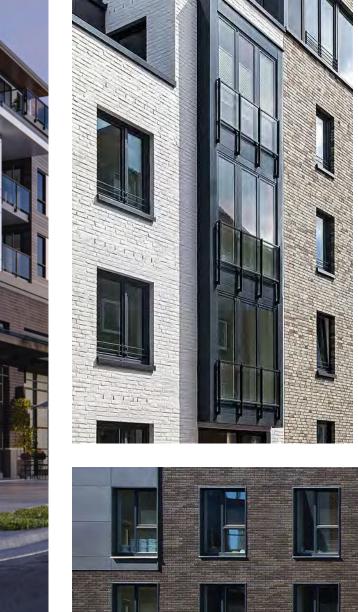
KITCHEN & LIVING AMENITY | INDOOR-OUTDOOR COMMUNAL SPACE



STREET PRESENCE & DESIGN

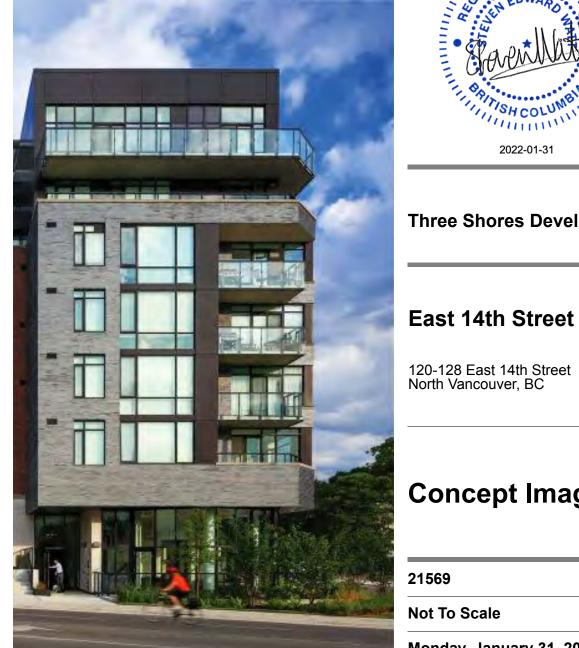














Concept Images

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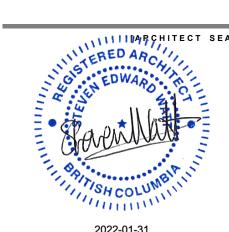


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Three Shores Development

East 14th Street

[TITLE]

120-128 East 14th Street North Vancouver, BC

Perspectives

Not To Scale

Monday, January 31, 2022 [DATE]







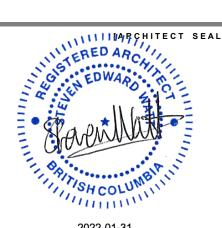
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Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Perspectives

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[TITLE]

Three Shores Development

East 14th Street

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Perspectives

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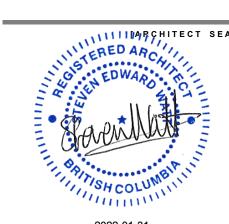


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Three Shores Development

East 14th Street

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Perspectives

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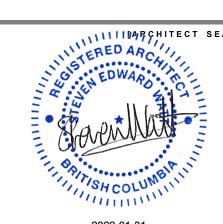
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[PROJECT TEAM]



2022-01-31

Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

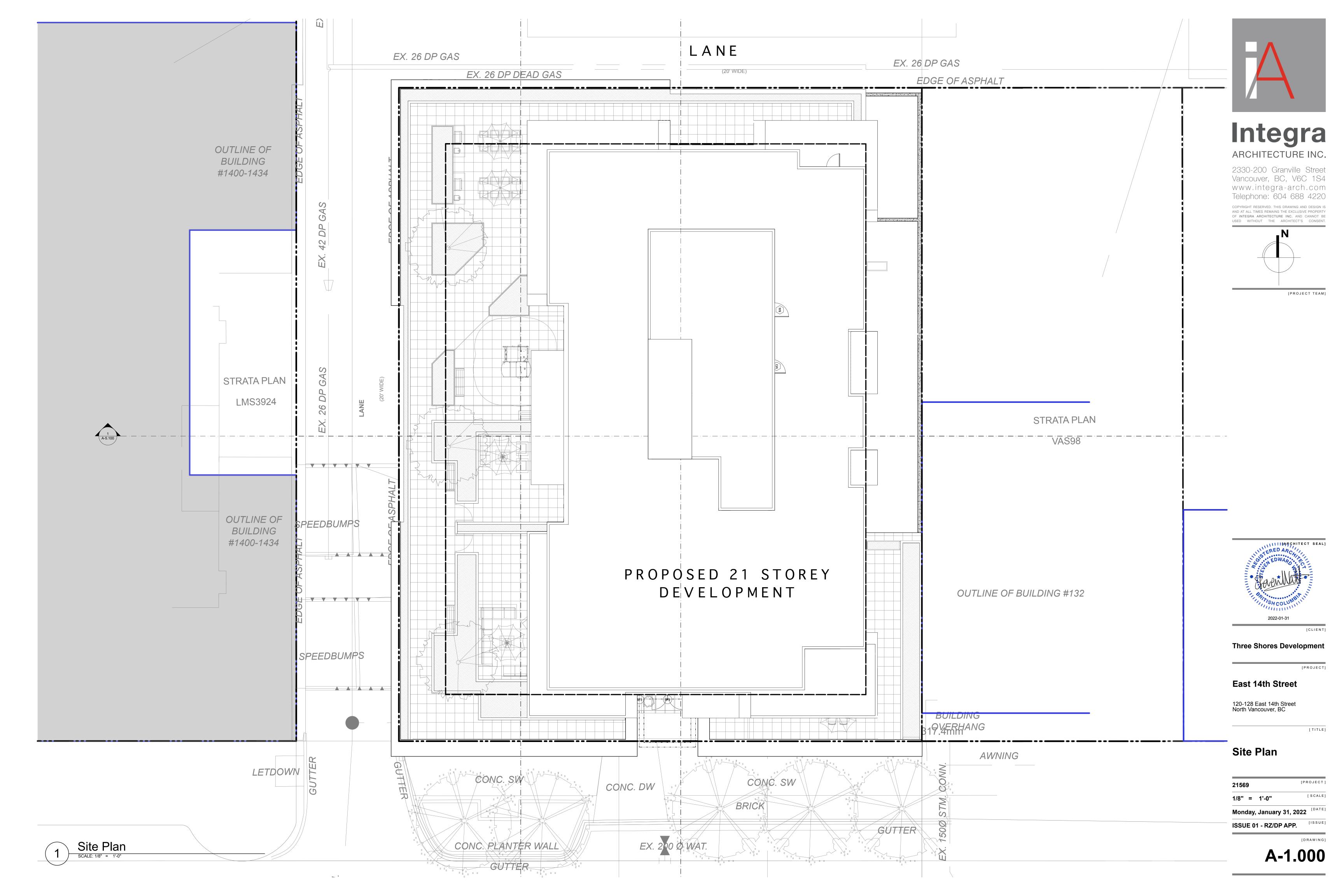
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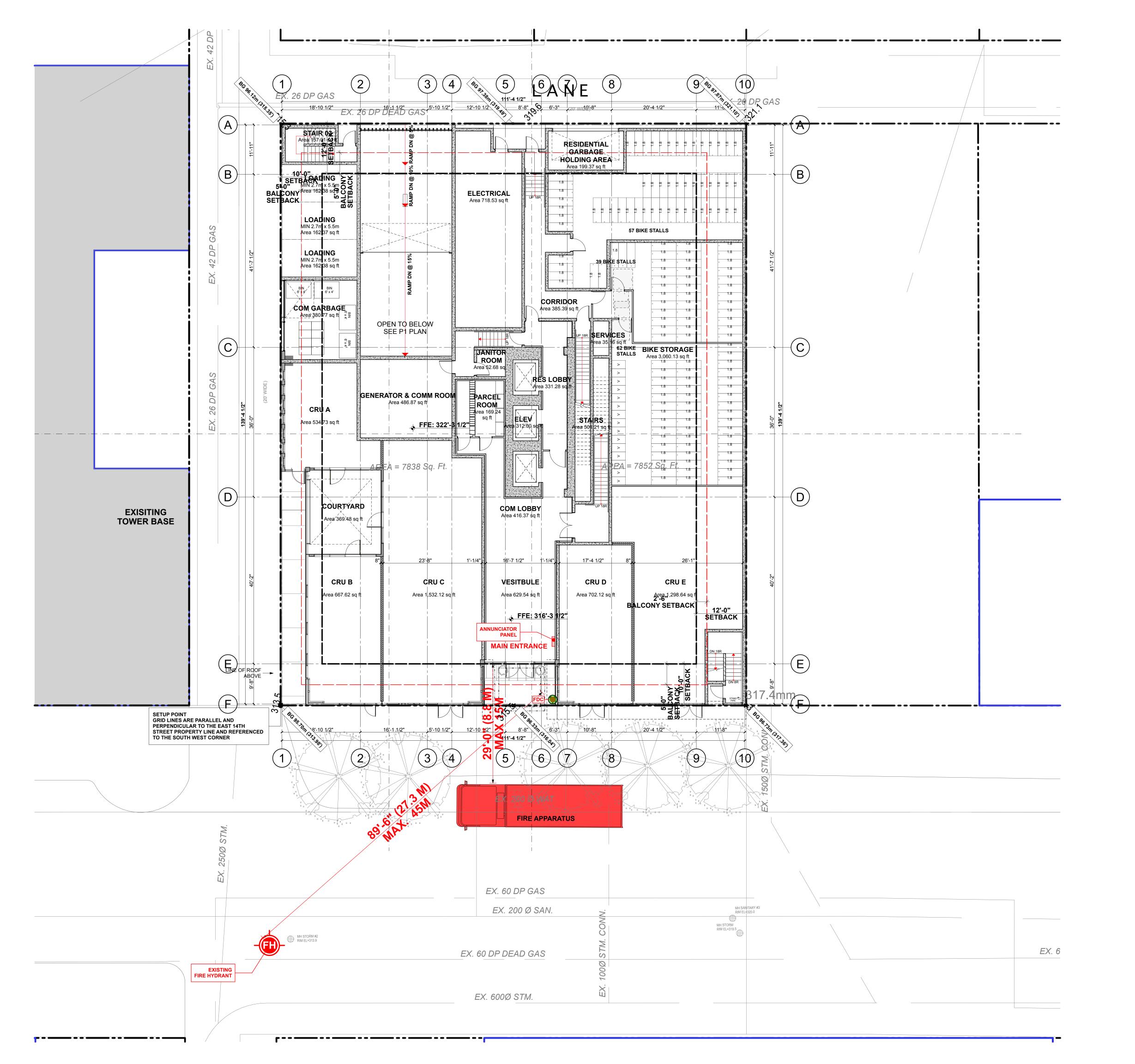
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Not To Scale

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP. [ISSUE]



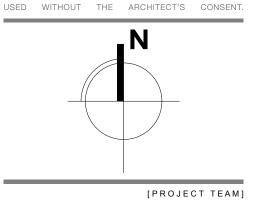




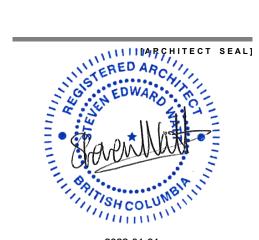
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[CLIENT]

Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

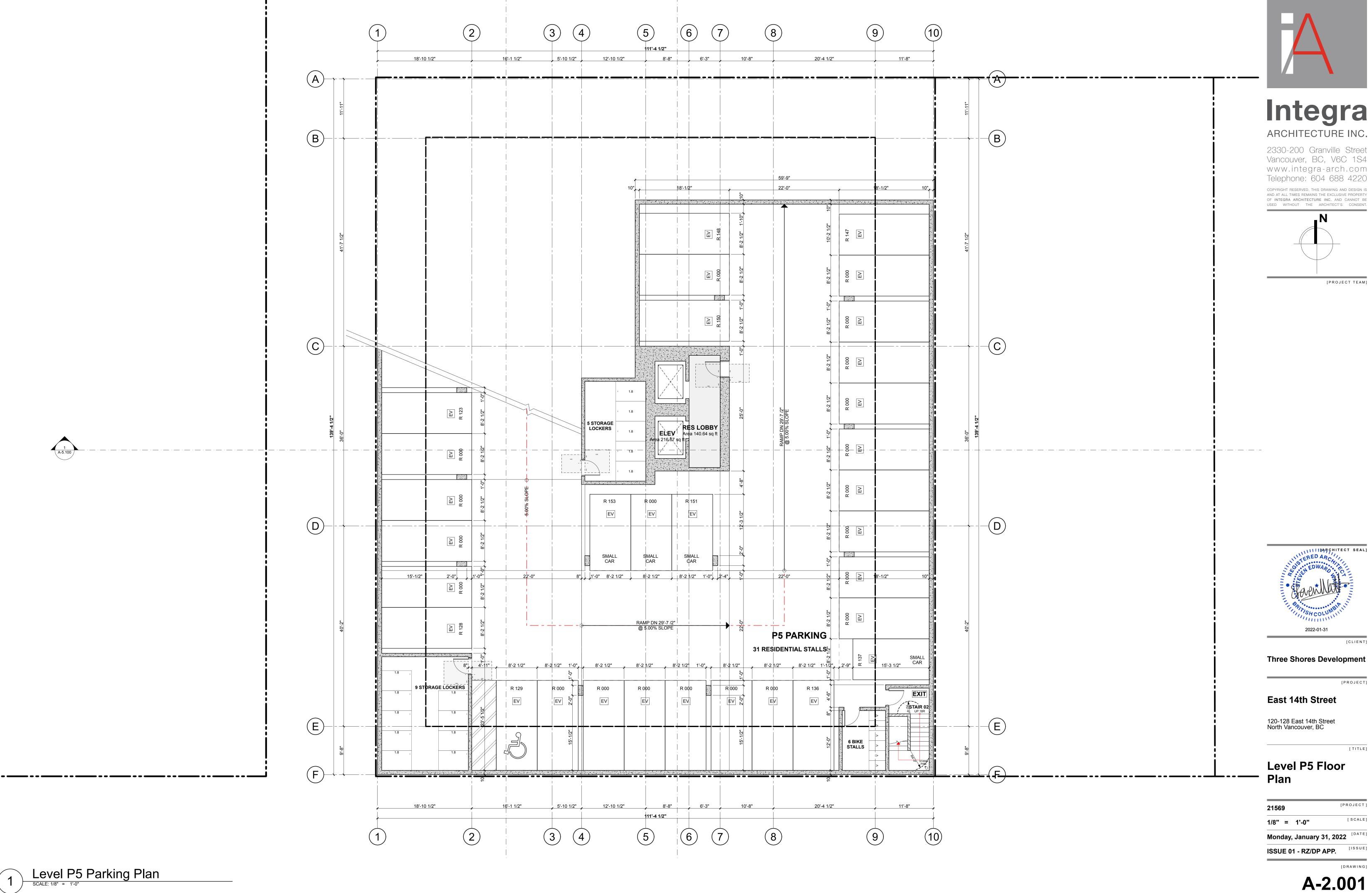
Fire Access Plan

[TITLE]

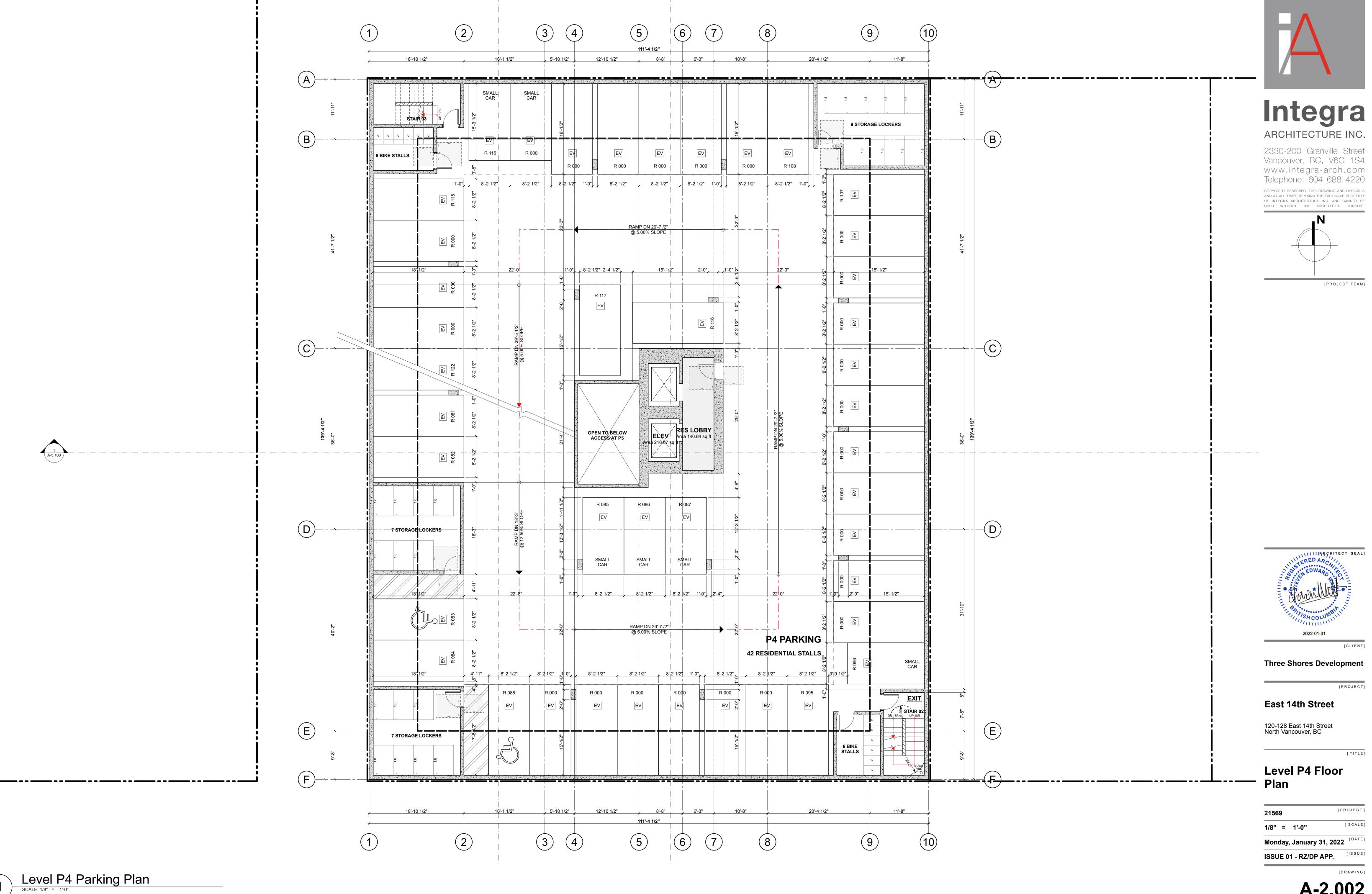
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Monday, January 31, 202	22

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[PROJECT TEAM]

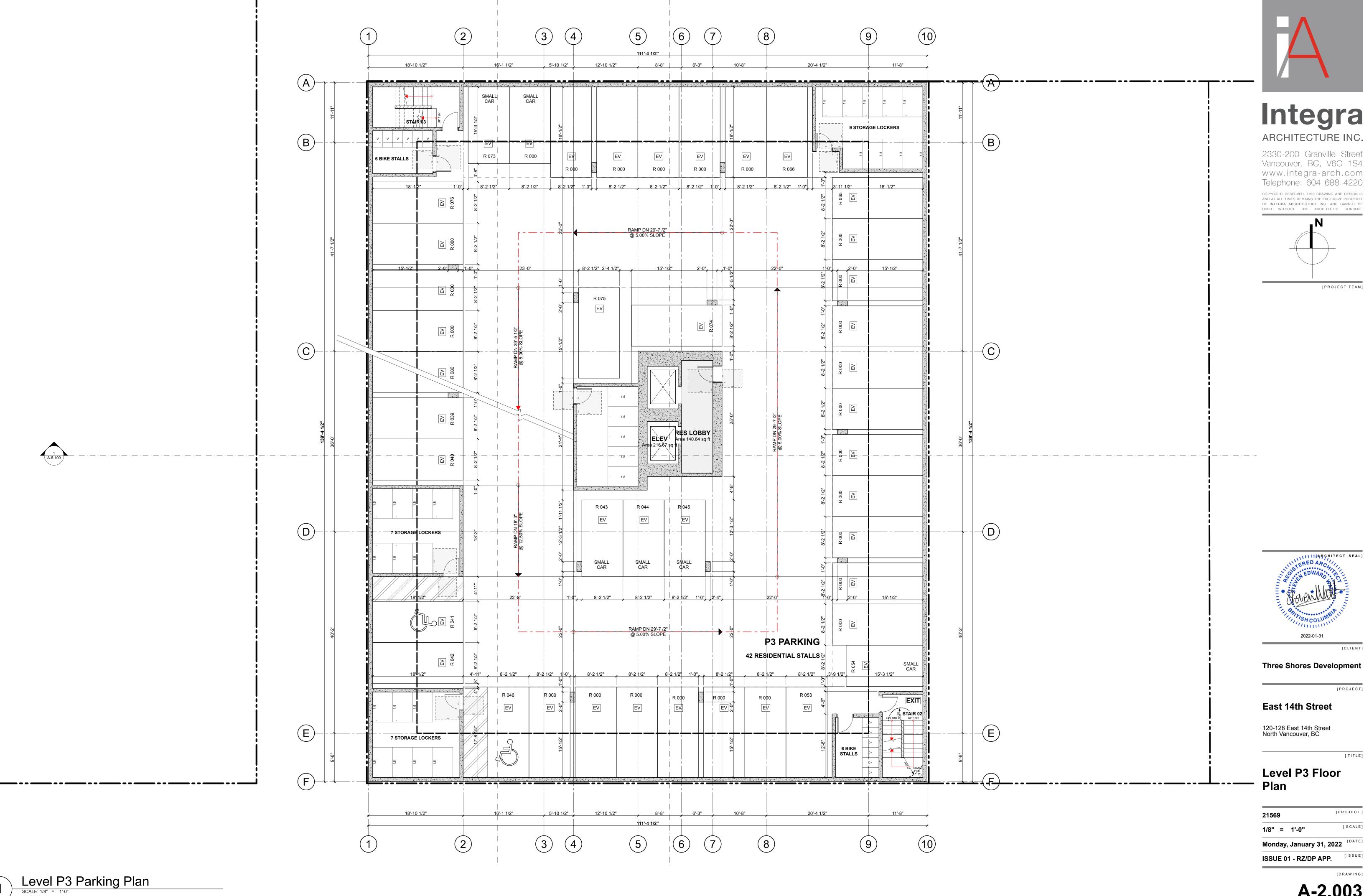


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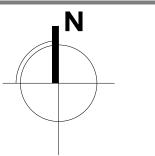
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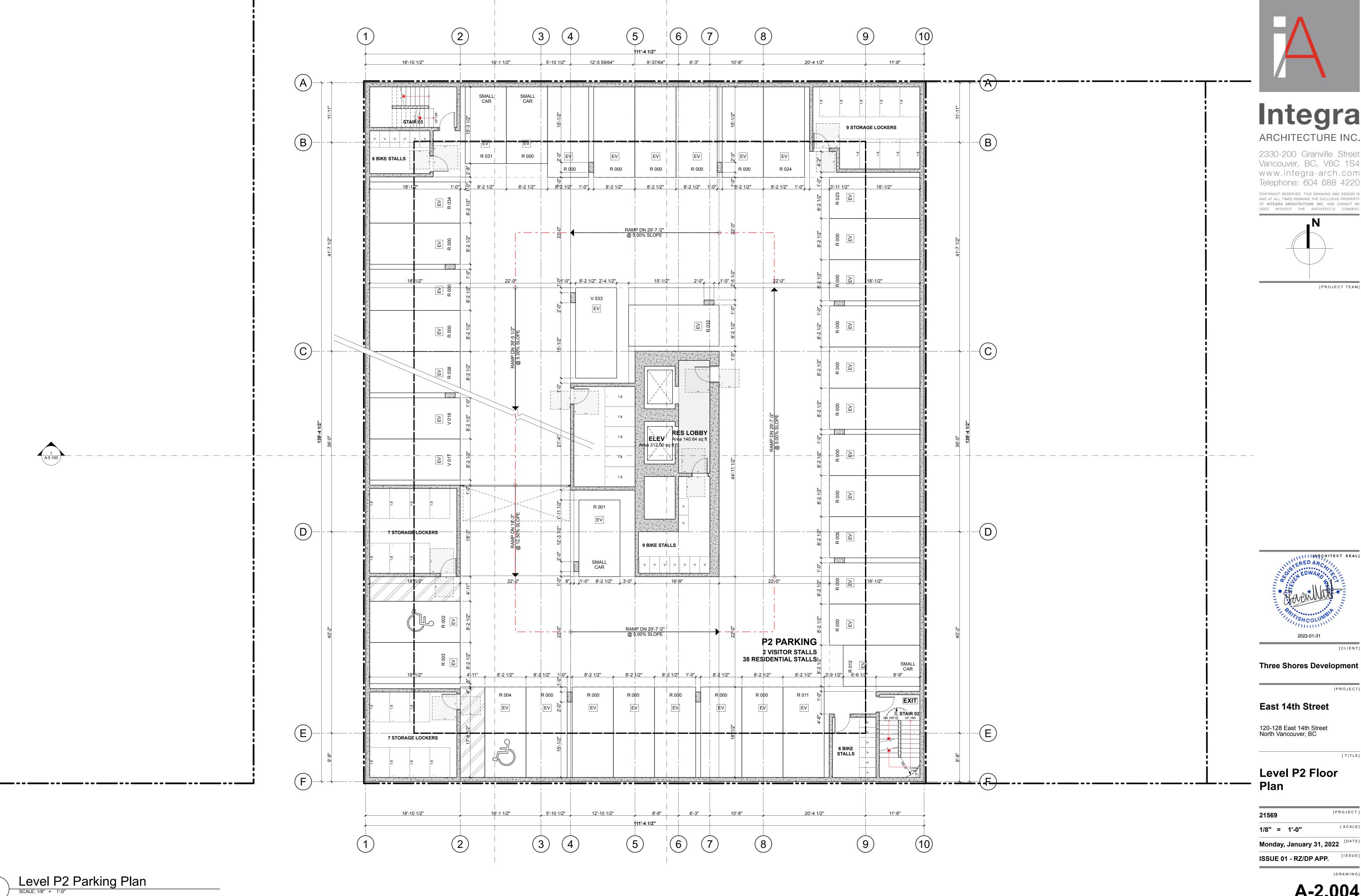
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Three Shores Development

Level P3 Floor

[PROJECT] Monday, January 31, 2022

A-2.003

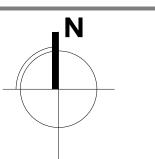




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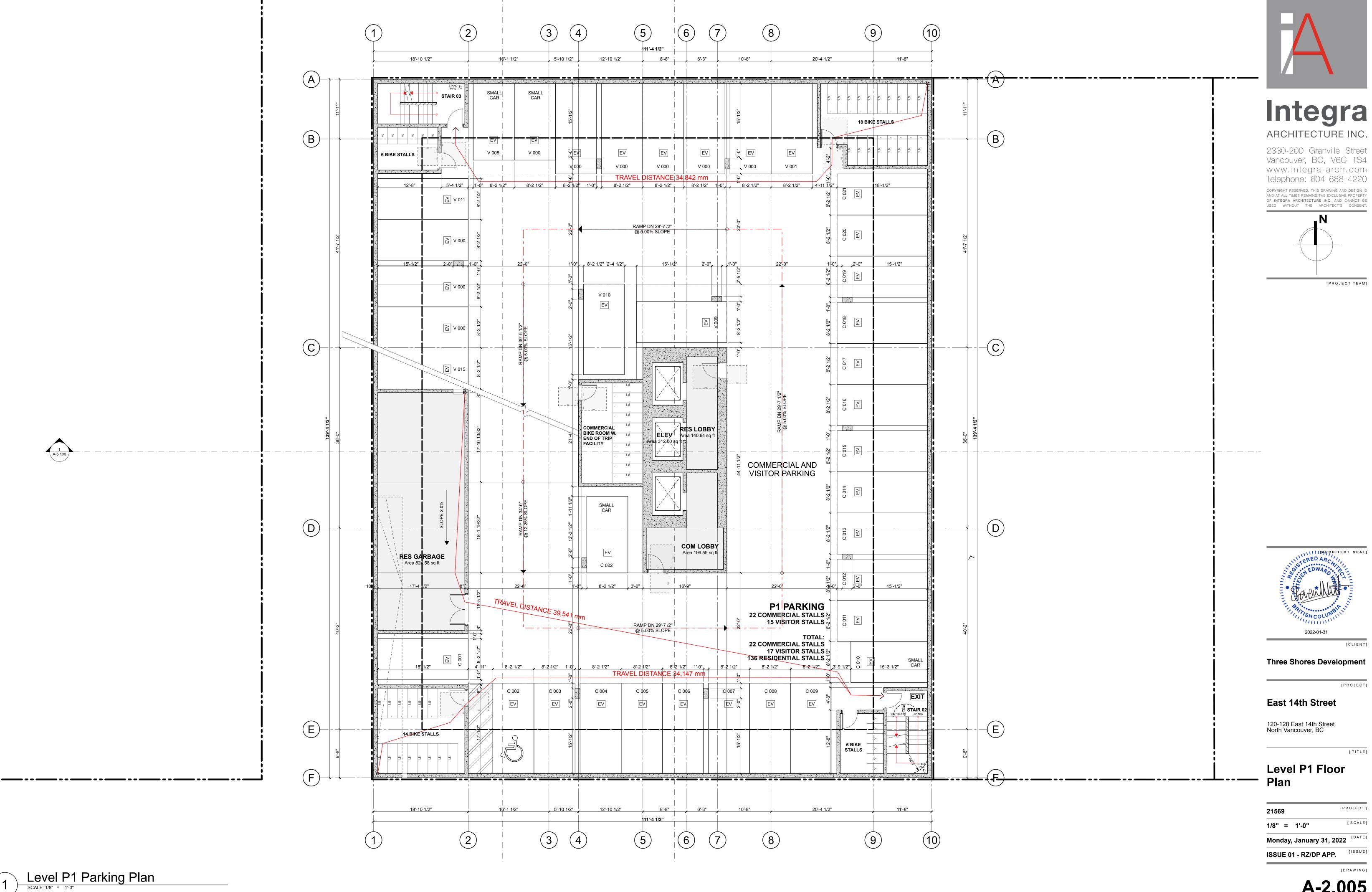
Three Shores Development

Level P2 Floor

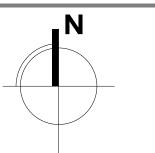
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[PROJECT] Monday, January 31, 2022

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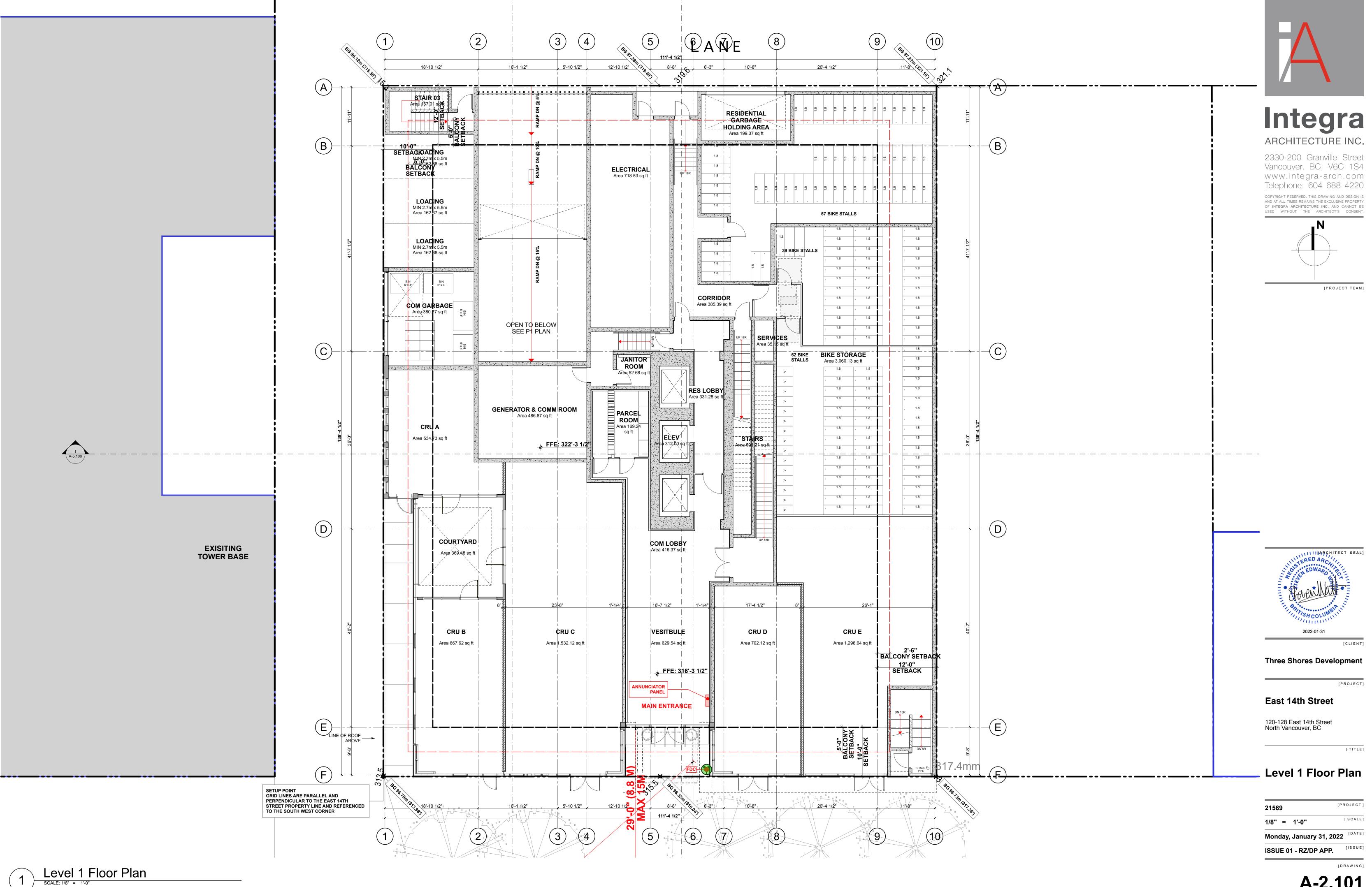
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[PROJECT] Monday, January 31, 2022

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A-2.101

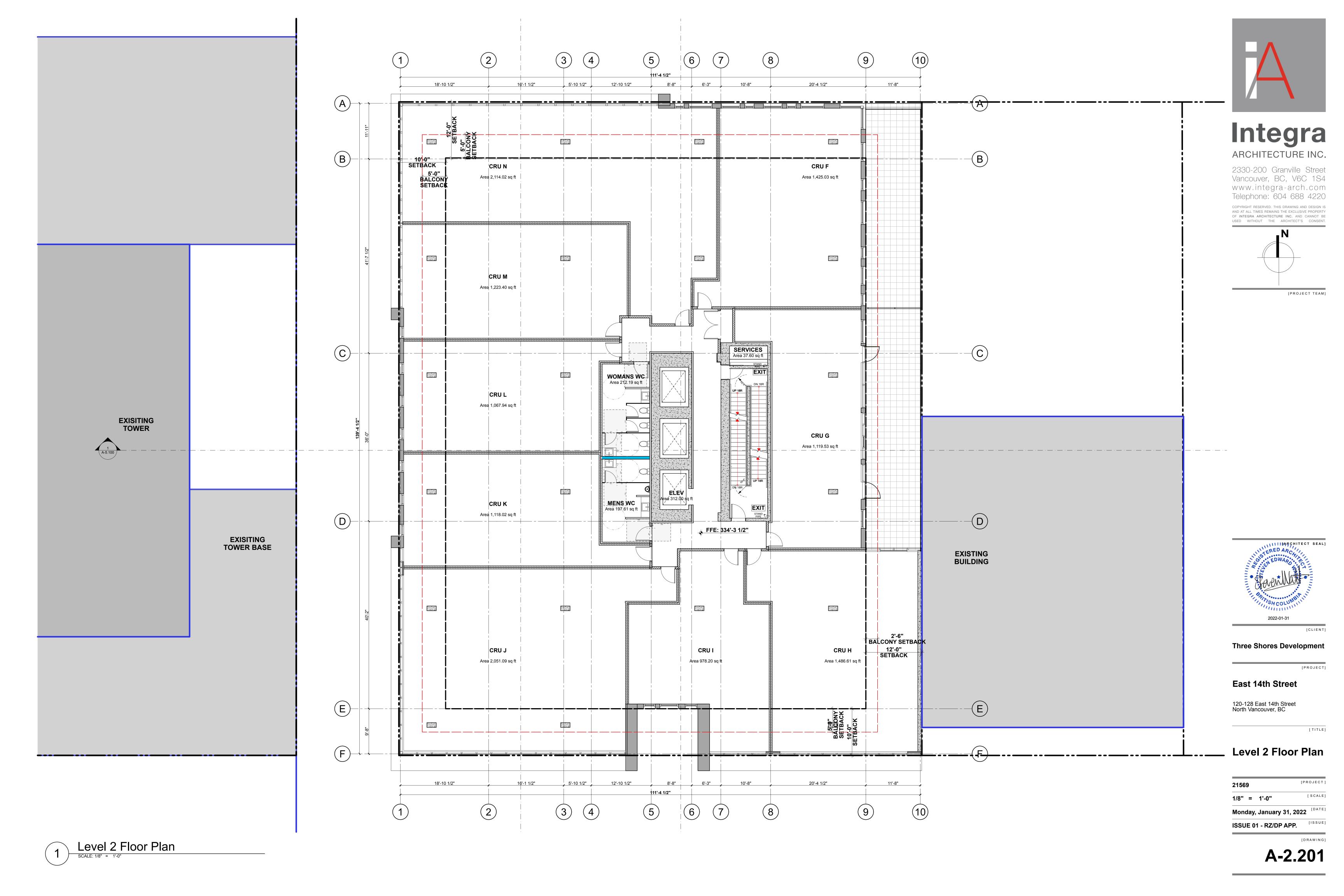
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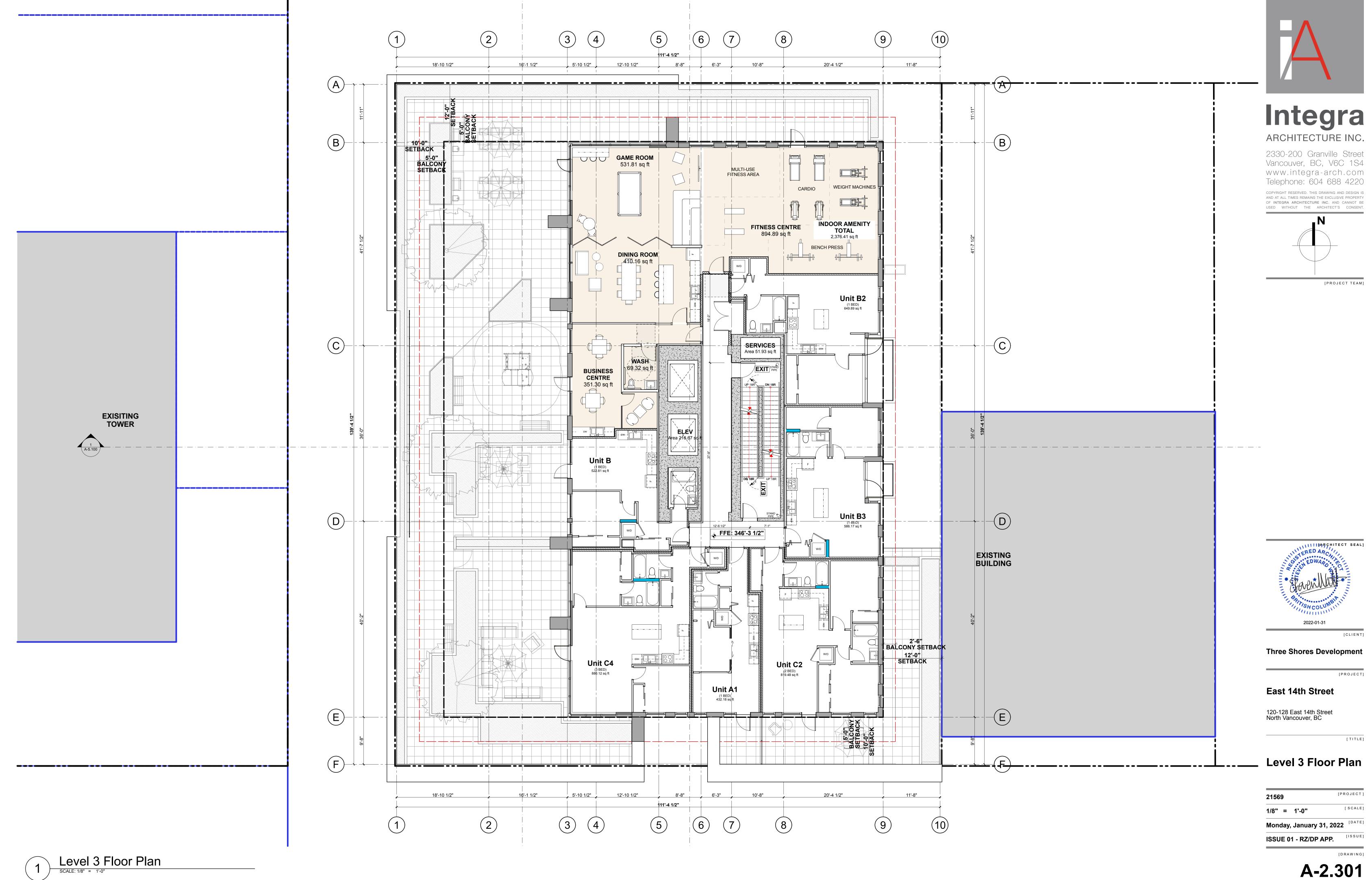
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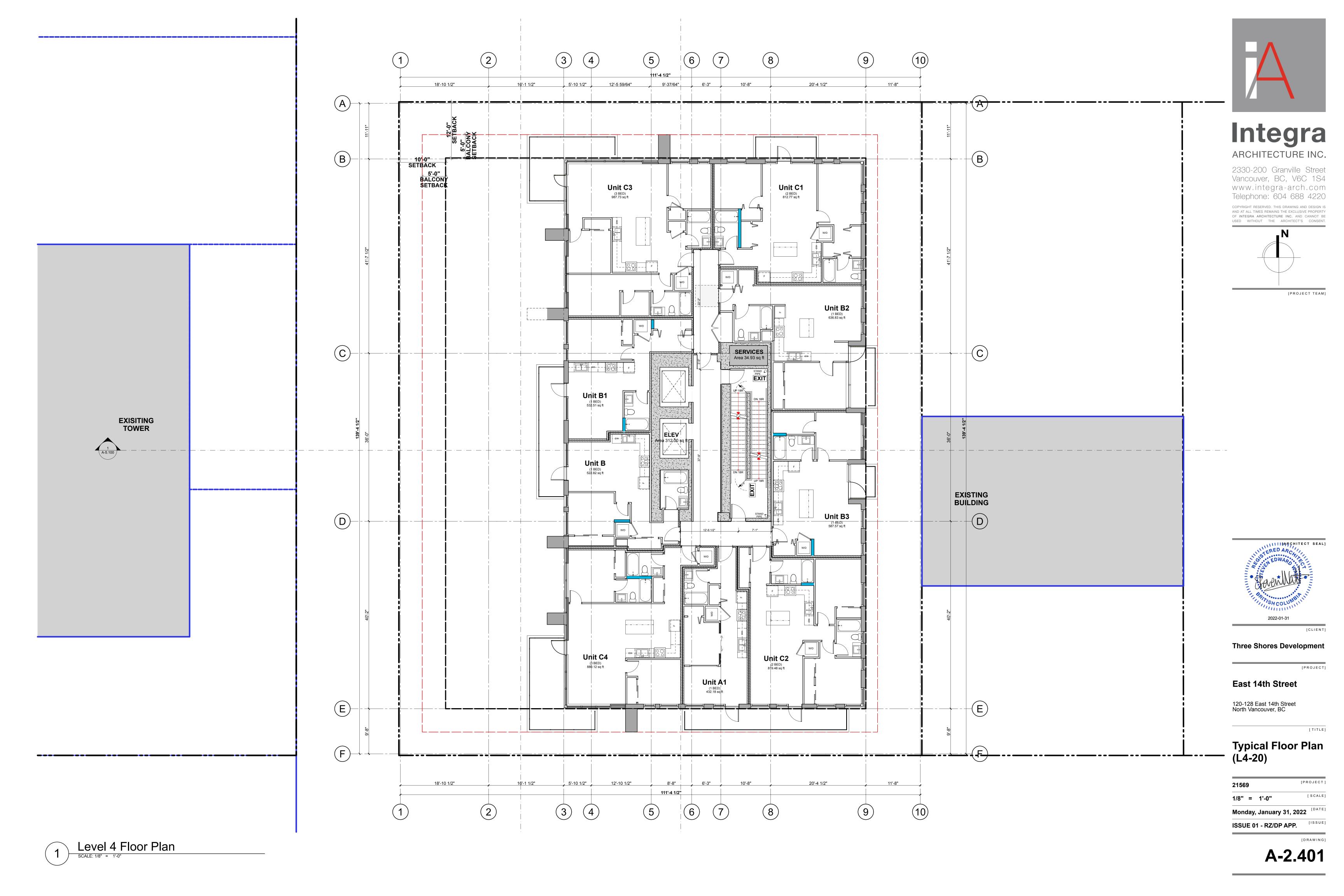
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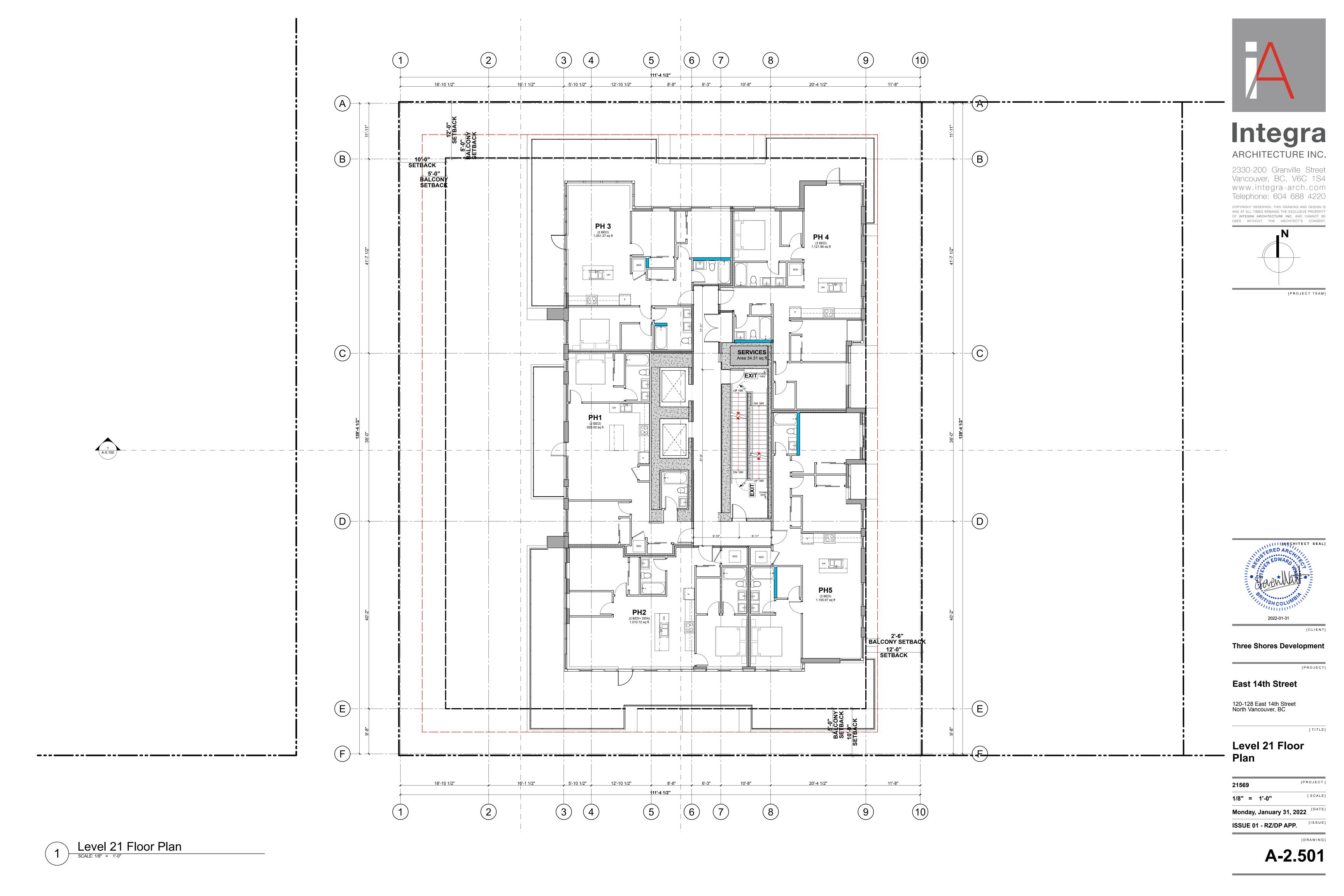
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[PROJECT TEAM]









DRAWING LIST

A-7.014

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JNIT PLANS 1 A-7.000	COVER PAGE			
A-7.001	NOTES			
A-7.002	KEY PLAN	1/16"	=	1'-0"
A-7.003	SOLID BLOCKING DETAILS	1/4"	=	1'-0"
A-7.010	Unit A1	1/4"	=	1'-0"
A-7.011	Unit B	1/4"	=	1'-0"
A-7.012	Unit B1	1/4"	=	1'-0"
A-7.013	Unit B2 ADAPTABLE	1/4"	=	1'-0"

Unit B3

Unit C1

Unit C2

Unit C3

Unit C4

120-128 East 14th Street North Vancouver BC Canada

LANE

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1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

E14th St

THREE SHORES DEVELOPMENT

E14th St

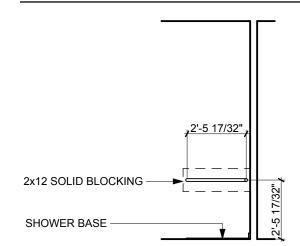
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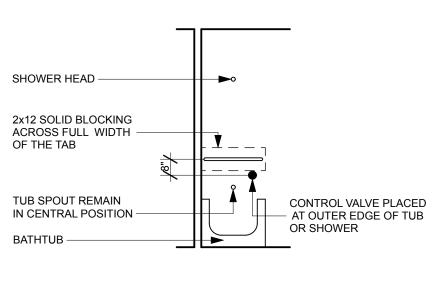
ISSUE 01 - RZ/DP APP.

A-7.000

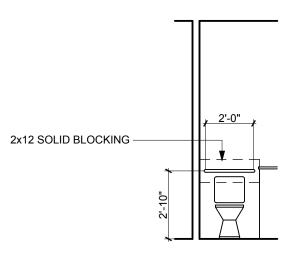
SOLID BLOCKING DETAILS



SHOWER SIDE ELEVATION (BOTH SIDES)

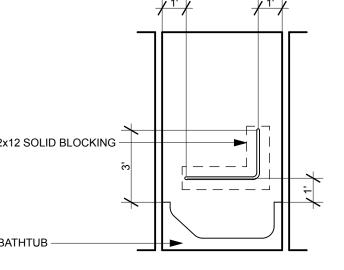


BATHTUB SIDE ELEVATION 1



WATER CLOSET FRONT ELEVATION

SHOWER FRONT ELEVATION



WATER CLOSET SIDE ELEVATION



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[PROJECT TEAM]

THREE SHORES DEVELOPMENT

E14th St

11. ALL VENTILATION DUCTS THAT PASS THOUGH UNHEATED ATTIC SPACES ARE TO BE

NOTES

NOT TO SCALE 2022-01-31 ISSUE 01 - RZ/DP APP.

A-7.001



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2022-01-31

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[CLIENT]

Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC THREE SHORES DEVELOPMENT

E14th St **Unit Plans**

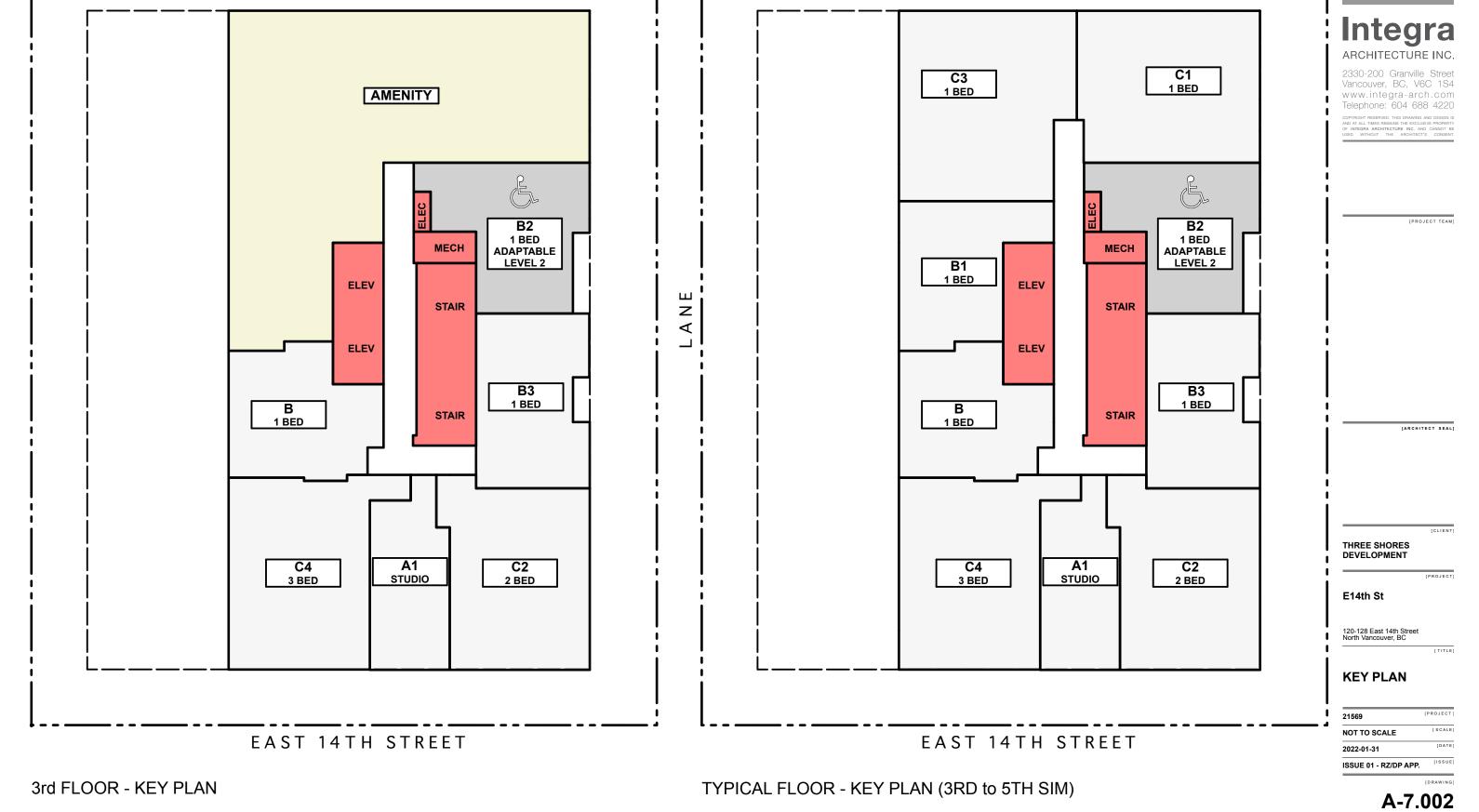
SOLID BLOCKING DETAILS

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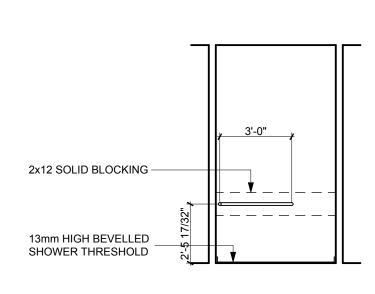
Monday, January 31, 2022 [DATE] **A-7.003**ISSUE 01 - RZ/DP APP.

A-3.000

[TITLE]



LANE



SYMBOLS AND LEGENDS:

W2/0hr INDICATES WALL TYPE / WALL RATING (HR)

CONCRETE WALL - 1, 1.5 OR 2 HOUR FIRE RESISTANCE RATING

INTERIOR LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING

EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING

CORRIDOR WALL - 1 HOUR FIRE RESISTANCE RATING

INTERIOR SERVICE WALL - PLUMBING / HVAC 2x6 WALL SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING

INDICATES ELECTRICAL PANEL

INDICATES MANIFOLD PLUMBING PANEL

2. SEE 1/8" SCALE DWGS. FOR BALCONY RAILING CONFIGURATION 3. PROVIDE 4 EVENLY DISTRIBUTED SHELVES IN EACH LINEN CLOSET

PLUMBING & VENTING ABOVE (MIN 2.1 m CEILING HEIGHT)

TO ACCOMMODATE PLUMBING & VENTING ABOVE. MIN HEIGHT 2.44m

SCOPES OF WORK, DRAWINGS AND/OR INTERIOR DESIGN SPECIFICATIONS

12. PROVIDE MIN 32" CLEAR FINISH DIMENSION INSIDE ALL LAUNDRY CLOSETS

4. MIRROR DIMENSIONS TO BE CONFIRMED ON SITE

1. SEE 1/8" SCALE DWGS. FOR EXTENT OF EXTERIOR WALLS @ PARTY WALL LOCATIONS

5. AT ALL KITCHEN, BATHROOM CABINET, & BATHTUB WALLS - STUD SPACING TO BE MINIMUM

7. PROVIDE 37" (WIDTH) AND 70" (HEIGHT) CLEAR BETWEEN BASEBOARD & COUNTER TOP FOR

8. BATHROOM & LAUNDRY CEILINGS (EXEPT BELOW ROOF) TO BE DROPPED TO ACCOMMODATE

9. KITCHEN, LIVING ROOM, BEDROOMS (WHERE INDICATED) TO BE DROPPED TO 8'-0" HEIGHT

10. SEE INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR DETAILS, TILE PATTERNS, CABINETS,

13. PROVIDE SEPARATE PRICE FOR OPTIONAL DOOR OVERHEIGHT DOOR AT LAUNDRY CLOSET

14. FINISHED BULKHEAD WIDTH ABOVE KITCHEN CABINETS IS NOT TO EXCEED 11" & IS NOT TO

16. LOCATE WASHER DRYER BOX ALONG SIDE WALL ADJACENT TO FRONT OF WASHER

17. PROVIDE WIRING FOR AN AUTOMATIC DOOR OPENER FOR DOORS WHERE INDICATED.

480 mm _____ ±50 mm SEAT

PASS THROUGH, STAIRS, FIREPLACES - ADVISE OWNER OF ANY DISCREPANCIES BETWEEN

6. PROVIDE A MIN. 1/2" CLEARANCE ON EACH SIDE OF RANGE TO KITCHEN CABINETS

INDICATES MEDIA PANEL

STRATA LOT NO.

APPROX. NET AREA

[////] INDICATES DROPPED CEILING

UNIT TYPE

FRIDGES - CONFIRM W/OWNER

INSULATED - SEE MECH DWGS

EXTEND PAST FACE OF KITCHEN CABINETS

15. EACH KITCHEN TO HAVE A MIN OF ONE BANK OF DRAWERS

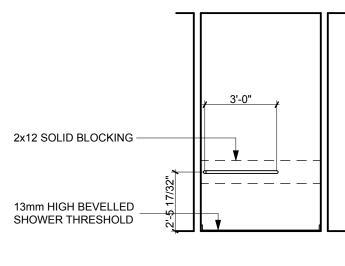
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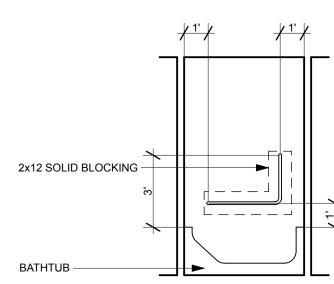
NOTES:

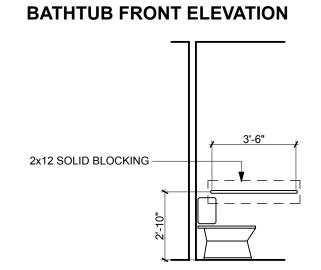
PARTY WALL - 1 HOUR FIRE RESISTANCE RATING

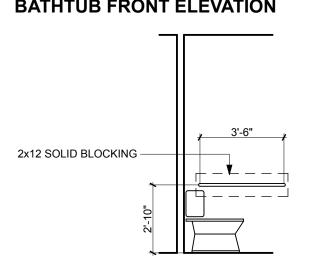
✓ WINDOW TYPE

DOOR TYPE DOOR RATING (HRS)









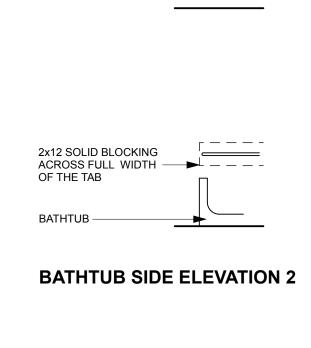
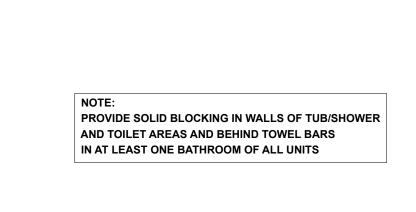
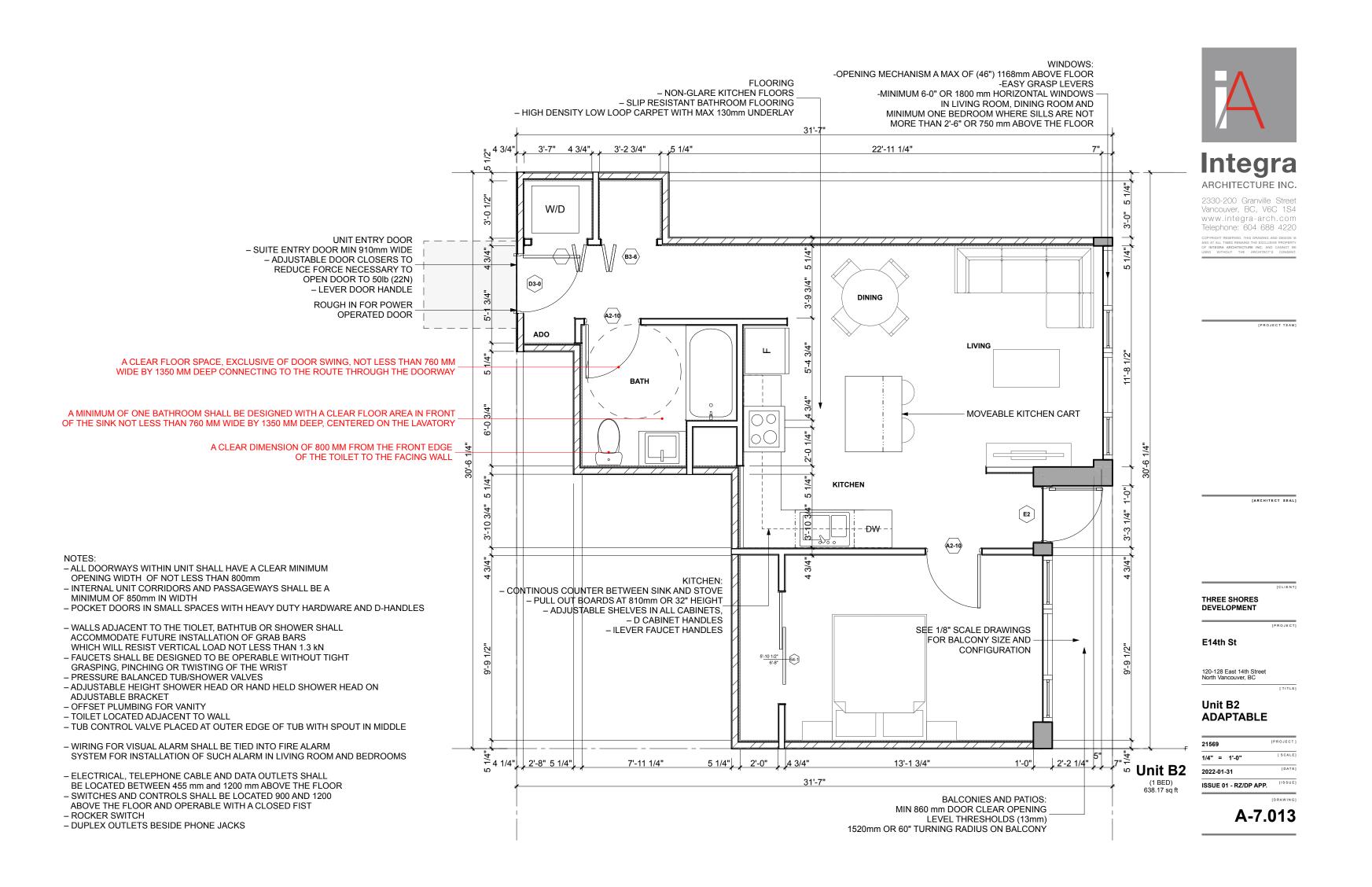


FIGURE 3.8.54. - Shower Compartment







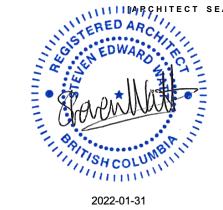
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[PROJECT TEAM]



2022-01-31

[TITLE]

[PROJECT]

Three Shores Development

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East 14th Street

120-128 East 14th Street North Vancouver, BC

Unit Plans

21569 As Noted

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP.

A-3.001

Flush thresholds throughout the building

Accessible building enterphone, call buttons and,

(maximum ½" or 13mm height)

where provided, suite door bells *

* Illustrations available

** Options considered

Design Elements
July 2005

Flush thresholds throughout the building

Accessible building enterphone, call buttons and, where provided, suite door bells *

(maximum ½" or 13mm height)

BUILDING ACCESS

BUILDING ACCESS

3 of 11

Flush thresholds throughout the building

Accessible building enterphone, call buttons

and, where provided, suite door bells *

(maximum ½" or 13mm height)

2 of 11

COMMON AREAS		Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front *	Accessible mailboxes for all AD Level 3 units, and 5' or 1520mm turning radius in front *
CIRCULATION	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *	Corridors minimum 4' or 1220mm wide (except for service access areas) *
CIRCULATION		Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit *
SUITE CIRCULATION		Provide wiring for an automatic door opener for the suite entry door	Provide wiring for an automatic door opener for the suite entry door
SUITE CIRCULATION		Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*	Provide wiring for an automatic door opener for the suite entry door. Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)*
DOORS		Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening"	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening
PATIOS & BALCONIES		Minimum one door 2' - 10" or 860mm clear door opening	Minimum one door 2 - 10" or 860mm clear door opening
PATIOS & BALCONIES		Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold**	Minimum one patio or balcony doorsill with maximum ½" or 13mm threshold **
PATIOS & BALCONIES		Minimum 5' or 1520mm turning radius on patio / balcony	Minimum 5' or 1520mm turning radius on patio / balcony
WINDOWS		Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)
WINDOWS		Provide minimum 6-0' or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor	Provide minimum 6-0' or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'- 6" or 750mm above the floor
KITCHEN		Continuous counter between sink and stove*	Continuous counter between sink and stove*
KITCHEN			Sink cabinet minimum 2'8" or 810mm wide
KITCHEN			Provide sufficient space for future installation of cooktop and wall oven
KITCHEN			Provide for potential 2'8" or 810mm wide undercounter workspace
KITCHEN			Lower edge of upper cupboards 4'6" or 1350mm above floor

* Illustrations available

** Options considered - 2 of 3- Jul

4 of 11

Design Elements July 2005

KITCHEN		Minimum 4' or 1220mm floor space between base cabinets / walls (possible with removal of sink cabinet) *
MIN. ONE BATHROOM	Toilet located adjacent to wall (min 3' or 915mm length) *	Toilet located adjacent to wall (min 4'6" or 1370mm length) *
MIN. ONE BATHROOM	Provide turning radius within bathroom (may result from removal of vanity cabinet)*	Provide turning radius within bathroom (may result from removal of vanity cabinet)*
MIN. ONE BATHROOM	3' or 915mm clearance along full length of tub *	3' or 915mm clearance along full length of tub *
MIN. ONE BATHROOM	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *	Tub control valve placed at outer edge of tub, with tub spout remaining in central position *
MIN. ONE BATHROOM	Accessible storage *	Accessible storage*
MIN. ONE BATHROOM		Provide pocket door or door swing out *
MIN. ONE BATHROOM		Space under sink minimum 2'8" or 810mm wide *
MIN. ONE BATHROOM		Provide for the possible future installation of an accessible shower stall, sized at least 3'-0" x 5'-0" or 910mm x 1500mm - refer to the 1998 BC Building Access Handbook for details
MIN. ONE BEDROOM		Sufficient manoeuvring room between closet and double bed *
MIN. ONE BEDROOM		Provide 3' or 915mm access to window opening *
LAUNDRY FACILITIES		Provide front loading side-by-side washer / dryer in-suite or in common area
LAUNDRY FACILITIES		4' or 1220mm manoeuvring space in front of washer / dryer

S:\COMMUNITY PLANNING\Adaptable Design\Handouts\Design Elements Handout.doc

* Illustrations available

** Options considered - 3 of 3-

ADAPTABLE DESIGN GUIDELINES

FIXTURES AND FINISHES

	LEVEL ONE	LEVEL TWO	LEVEL THREE
BASIC	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
BASIC	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
BASIC	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)	No polished finish on building entry flooring (provide flooring samples)
BASIC	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)
BASIC	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours	Signage throughout common areas has well contrasted colours
BASIC	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons	Elevators have well contrasted control buttons
CIRCULATION		Slip resistant flooring	Slip resistant flooring
CIRCULATION		Colour contrasting exit doors	Colour contrasting exit doors
BUILDING MEETING / AMENITY ROOMS		Provide carpet and drapes to absorb sound and decrease echoes	Provide carpet and drapes to absorb sound and decrease echoes
UNIT ENTRIES		Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
UNIT ENTRIES		Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
UNIT ENTRIES			Two door viewers: 3'5" or 1050mm and 5' or 1520mm
UNIT FLOORING		Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
UNIT FLOORING		High density, low level loop carpet and underlay maximum ½" or 13mm height	High density, low level loop carpet and underlay maximum ½" or 13mm height
PATIOS AND BALCONIES		Outdoor light fixture provided	Outdoor light fixture provided
PATIOS AND BALCONIES		Electrical outlet provided	Electrical outlet provided

- 1 of 3

		7	T = 642
	LEVEL ONE	LEVEL TWO	LEVEL THREE 7 of 11
ELECTRICAL		Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor
ELECTRICAL		Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
ELECTRICAL	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack
ELECTRICAL	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
ELECTRICAL		Rocker switches	Rocker switches
ELECTRICAL			Double bulb ceiling fixtures
ELECTRICAL			Provide wiring for automatic door opener and strike at unit entry
WINDOWS		Easily grasped and operated mechanism for opening and locking windows	Easily grasped and operated mechanism for opening and locking windows
KITCHEN		Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
KITCHEN		Pull-out work boards at 2'8" or 810mm height *	Pull-out work boards at 2'8" or 810mm height *
KITCHEN		Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
KITCHEN		Adjustable shelves in all cabinets	Adjustable shelves in all cabinets
KITCHEN			Drawer storage in key areas*
KITCHEN			Provision for removal of sink cabinet and lowering of counter height
KITCHEN			Provision in water supply and drain to allow for a 4" (100mm) drop in sink height (offset plumbing)
KITCHEN			Provision for the future installation of at least one counter receptacle in front of cabinets
KITCHEN			Where regular refrigerator installed initially, provide adequate space for side by side model
KITCHEN			Contrasting knobs on stove / cook top

	LEVEL ONE	LEVEL TWO	LEVEL THREE 8 of 1
MIN. ONE BATHROOM	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *	Solid blocking provided in walls of tub / shower and toilet areas, and behind towel bars *
MIN. ONE BATHROOM	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves	Pressure balanced tub / shower valves
MIN. ONE BATHROOM		Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
MIN. ONE BATHROOM		Provision for vanity sink removal	Provision for vanity sink removal
MIN. ONE BATHROOM		Adjustable height shower head or hand-held shower head on adjustable bracket*	Adjustable height shower head or hand-held shower head on adjustable bracket *
MIN. ONE BATHROOM			Water temperature regulator on tub / shower faucet
LIVING ROOM		One switched electrical outlet	One switched electrical outlet
BEDROOMS		Three-way switched outlet at bed area and doorway	Three-way switched outlet at bed area and doorway
BEDROOMS		Provide light fixture in or adjacent to closet	Provide light fixture in or adjacent to closet
BEDROOMS	Telephone jack	Telephone jack	Telephone jack
IN-SUITE STORAGE		Provide light and electrical outlet	Provide light and electrical outlet

- 2 of 3

LEVEL 1 ALL UNITS LEVEL 2 ADAPTABLE UNIT: B2

* Illustrations available

* Illustrations available

6 of 11

Fixtures & Finishes

Fixtures & Finishes

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[PROJECT TEAM]



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Three Shores Development

[PRO

East 14th Street

120-128 East 14th Street North Vancouver, BC

Unit Plans

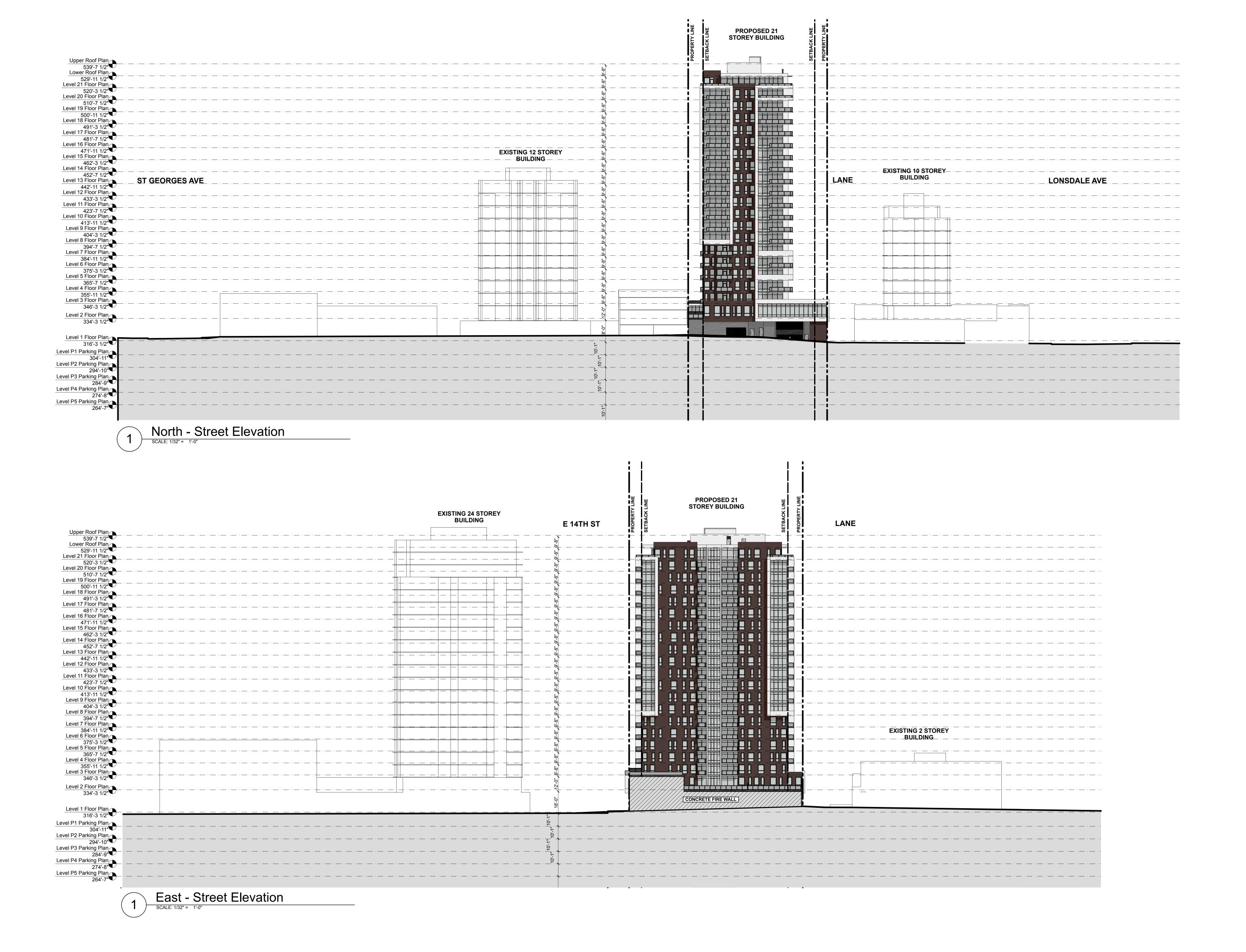
21569 [PROJ

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A-3.002





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2022-01-31 [CLIENT]

Three Shores Development

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

North & East Street Elevation

21569

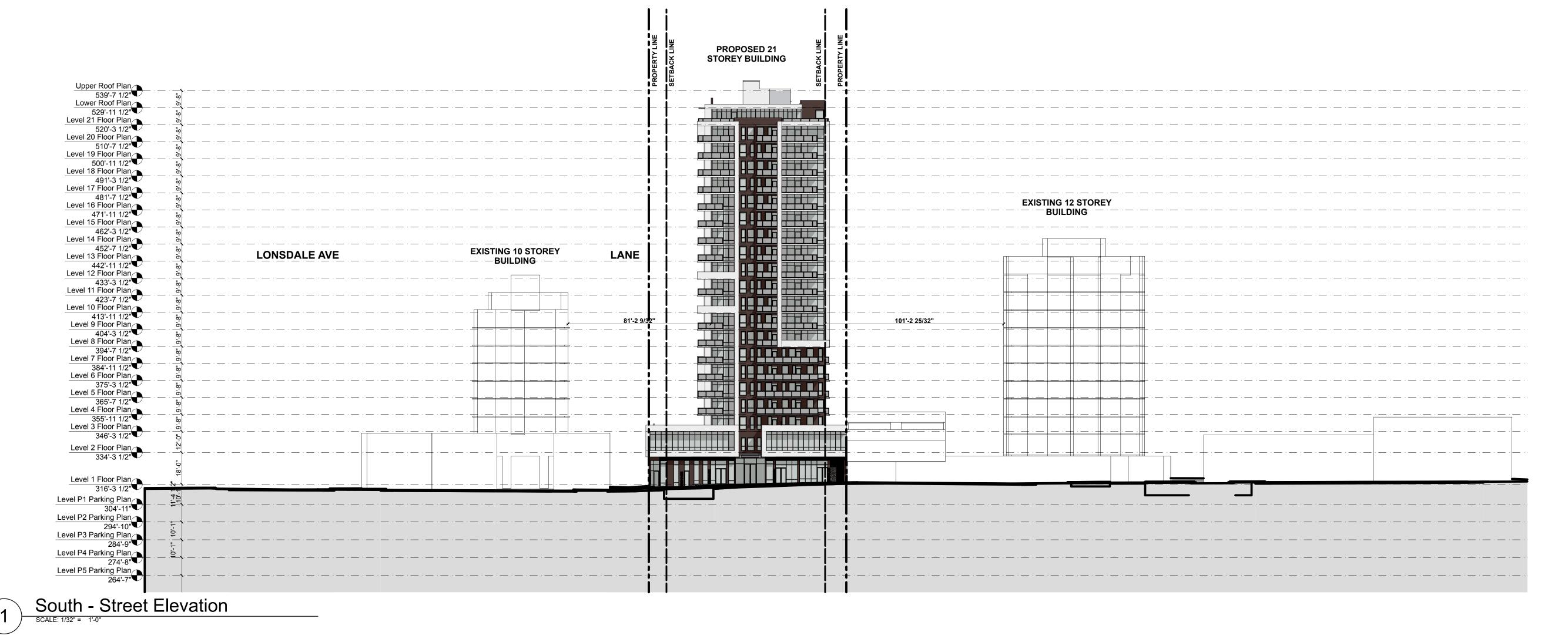
1/32" = 1'-0"

Monday, January 31, 2022

[PROJECT]

[SCALE]

ISSUE 01 - RZ/DP APP.



PROPOSED 21 **EXISTING 24 STOREY** STOREY BUILDING **BUILDING** E 15TH STREET LANE E 14TH ST Upper Roof Plan 539'-7 1/2" Lower Roof Plan 529'-11 1/2" Level 21 Floor Plan 520'-3 1/2" Level 20 Floor Plan 510'-7 1/2" ! **= ..:=_=:**.**=** ! Level 19 Floor Plan 500'-11 1/2" Level 18 Floor Plan 491'-3 1/2" !**!.!!..!!**..!! Level 17 Floor Plan 481'-7 1/2" Level 16 Floor Plan 471'-11 1/2" !**!!..!!..!!**! Level 15 Floor Plan 462'-3 1/2" **2! <u>i 2 - 2 î</u>.!**! Level 14 Floor Plan 452'-7 1/2" Level 13 Floor Plan 442'-11 1/2" Level 12 Floor Plan 433'-3 1/2" !**!......**! Level 11 Floor Plan 423'-7 1/2" Level 10 Floor Plan 413'-11 1/2" ! **= _ = = = : . =** ! Level 9 Floor Plan 404'-3 1/2" Level 8 Floor Plan 394'-7 1/2" Level 7 Floor Plan 384'-11 1/2" **EXISTING 2 STOREY** Level 6 Floor Plan 375'-3 1/2" !**!!..!!..!!**! Level 5 Floor Plan 365'-7 1/2" Level 4 Floor Plan 355'-11 1/2" Level 3 Floor Plan 346'-3 1/2" Level 2 Floor Plan 334'-3 1/2" Level 1 Floor Plan 316'-3 1/2" Level P1 Parking Plan 304'-11" Level P2 Parking Plan 294'-10" Level P3 Parking Plan 284'-9" Level P4 Parking Plan 274'-8" Level P5 Parking Plan 264'-7"

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2022-01-31 [CLIENT]

Three Shores Development

[PROJECT]

[TITLE]

East 14th Street

120-128 East 14th Street North Vancouver, BC

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South & West Street Elevation

21569

1/32" = 1'-0"

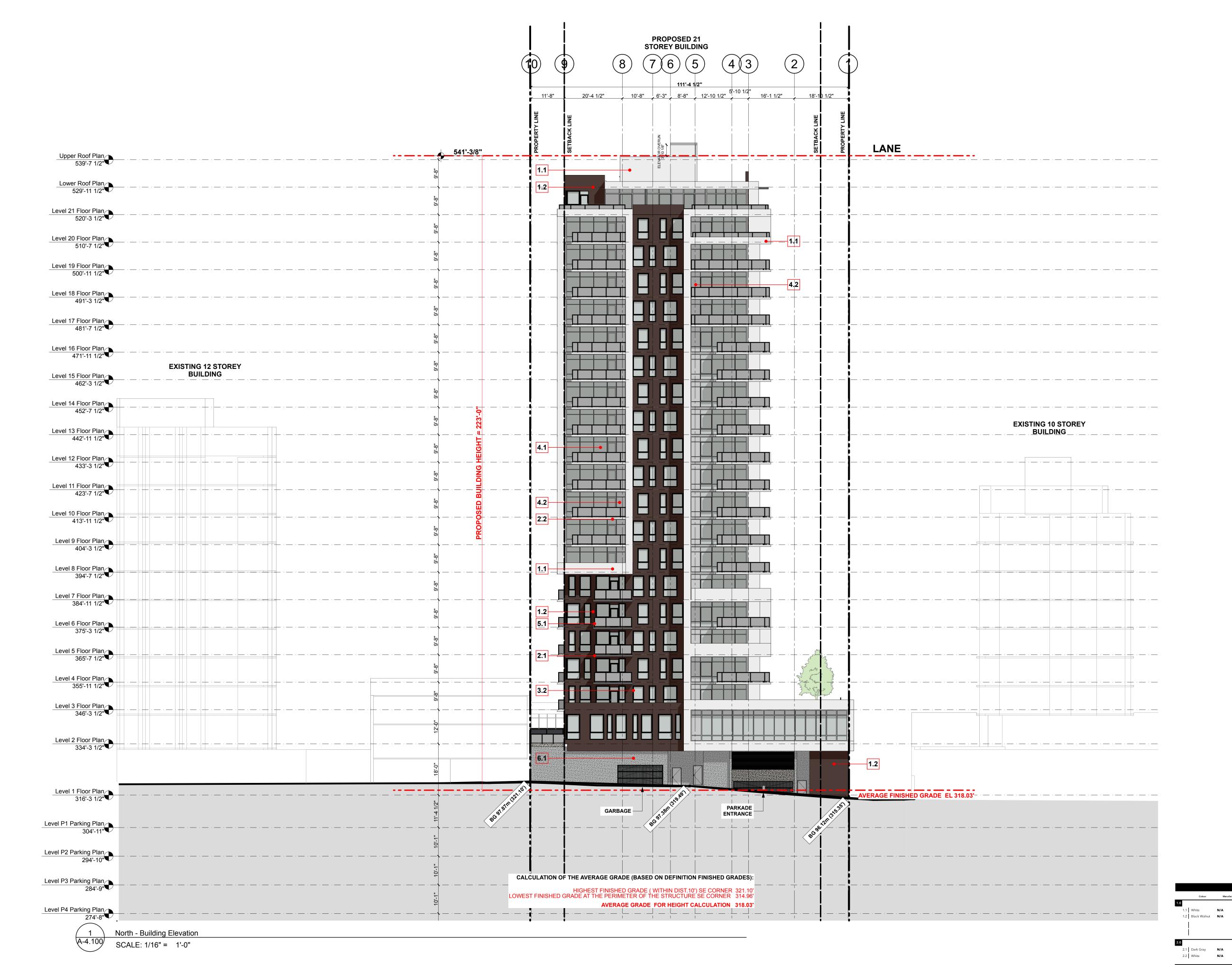
[SCALE]

Monday, January 31, 2022

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West - Street Elevation





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Three Shores Development

[CLIENT]

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

Material and Colour Legend

Balcony

Balcony

Residential Windows
Storefront Windows & Doors

Window Wall Spandrel

Elastomeric Paint

Low E double glazed

Pre-Finished Aluminum Frame + Clear Saftey Glass Clear / Charcoal

N/A

ALUMINUM CLADDING

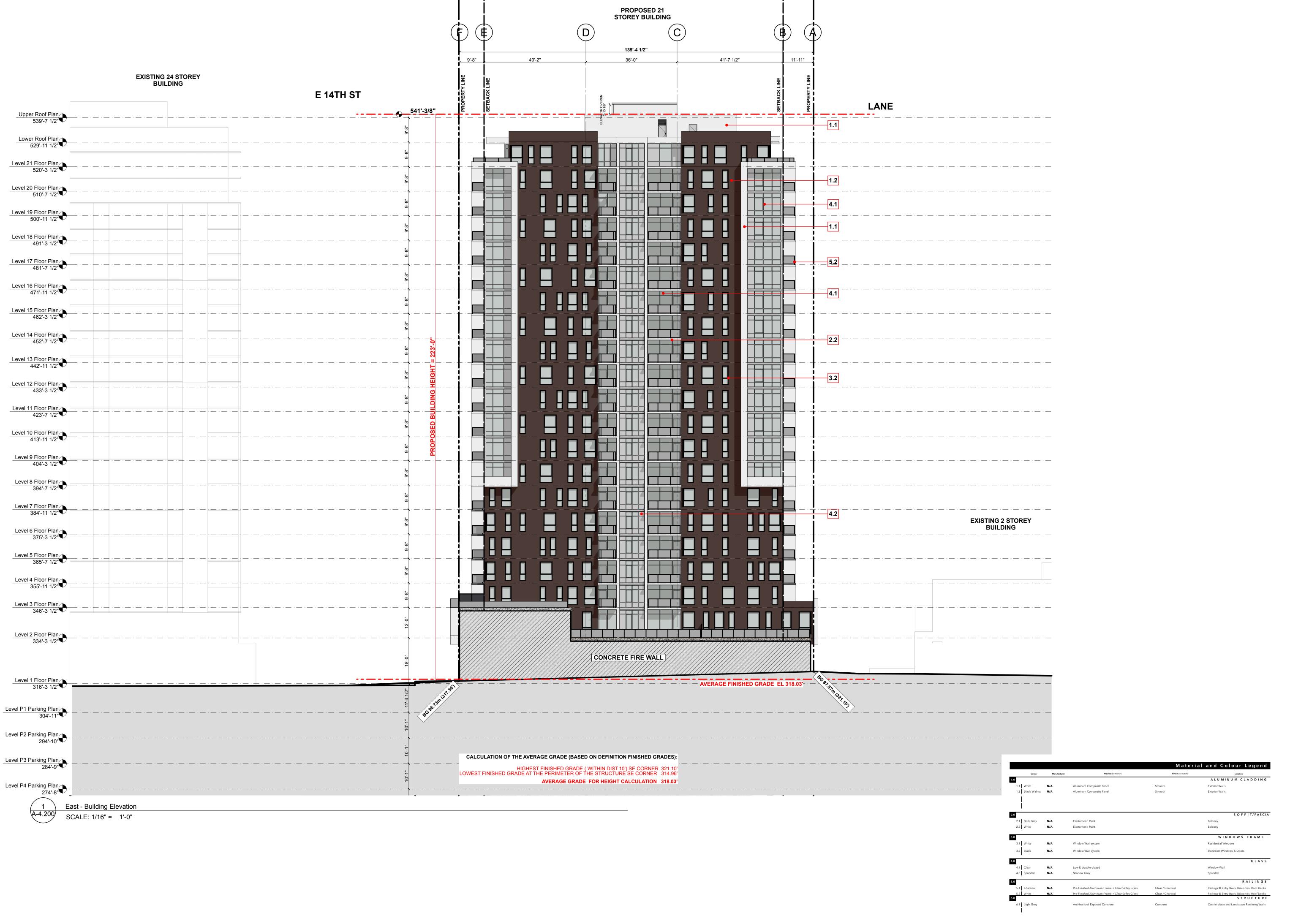
RAILINGS

Railings @ Entry Stairs, Balconies, Roof Decks

[TITLE]

North Elevation

21569 [PI	ROJECT]
1/16" = 1'-0"	[SCALE]
Monday, January 31, 2022	[DATE]
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Three Shores Development

[CLIENT]

[TITLE]

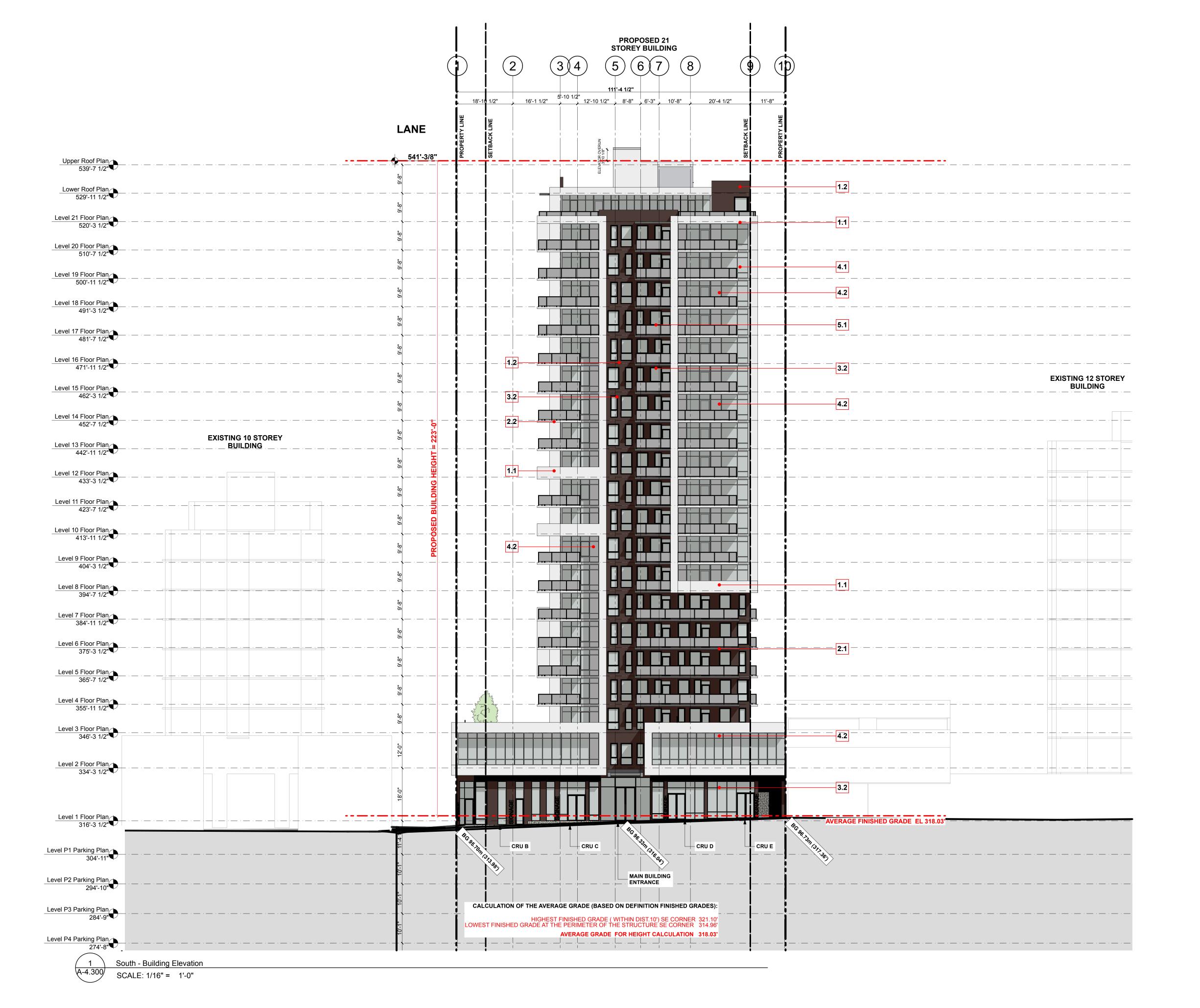
[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

East Elevation

1/16" = 1'-0"	SCALE]
Monday, January 31, 2022	[DATE]
SSUE 01 - RZ/DP APP.	[ISSUE]





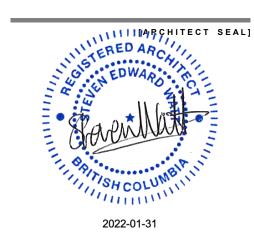
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Three Shores Development

[CLIENT]

[PROJECT]

[TITLE]

East 14th Street

120-128 East 14th Street North Vancouver, BC

Material and Colour Legend

Balcony

Balcony

Residential Windows Storefront Windows & Doors

Window Wall

Spandrel

2.1 Dark Gray N/A

N/A

N/A

Elastomeric Paint

Low E double glazed

Pre-Finished Aluminum Frame + Clear Saftey Glass Clear / Charcoal

Shadow Gray

ALUMINUM CLADDING

S O F F I T / F A S C I A

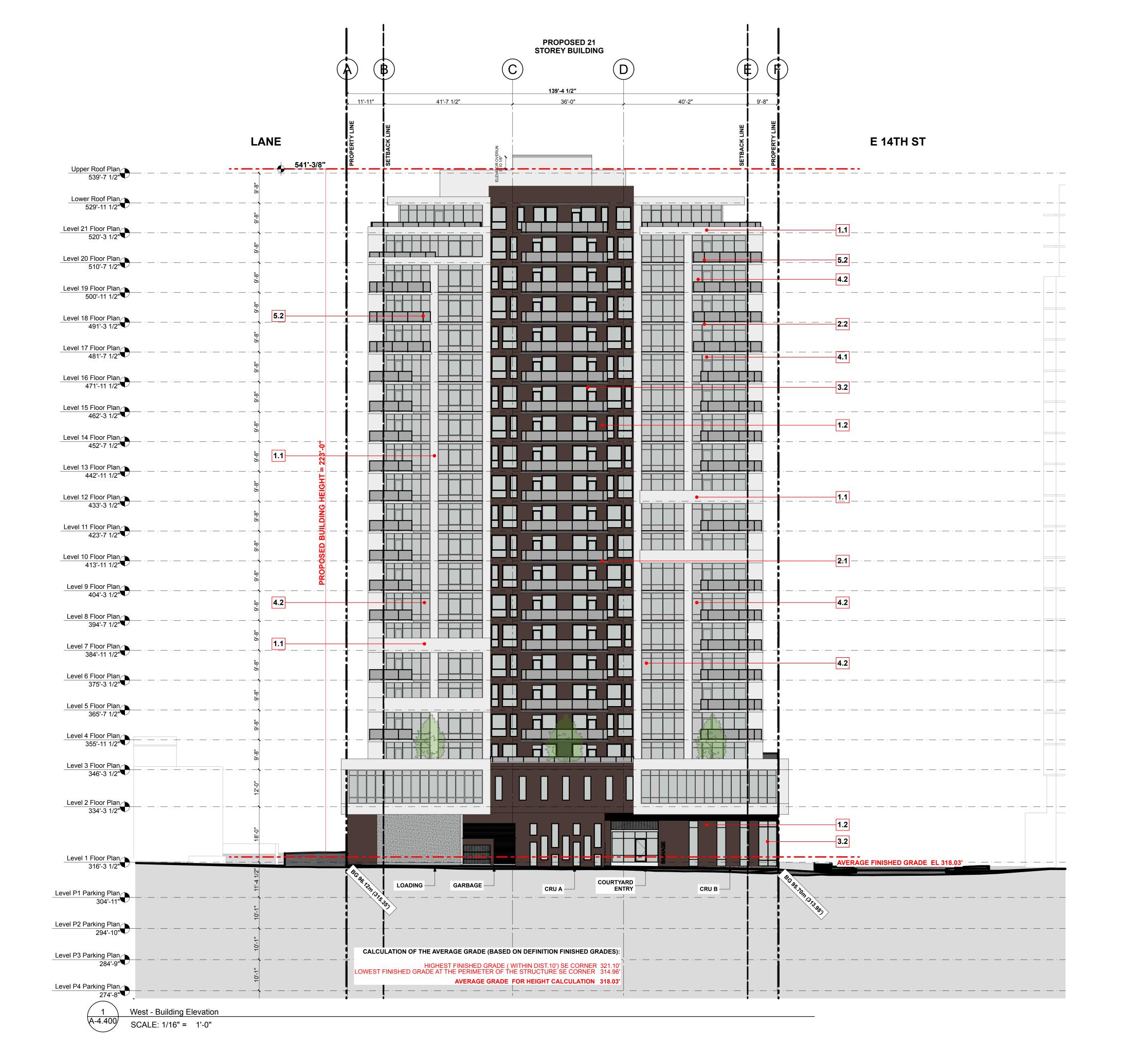
RAILINGS

Railings @ Entry Stairs, Balconies, Roof Decks

Railings @ Entry Stairs, Balconies, Roof Decks
S T R U C T U R E

South Elevation

21569	[PROJECT]
1/16" = 1'-0"	[SCALE]
Monday, January 31, 20	022 [DATE]
ISSUE 01 - RZ/DP APP.	[ISSUE]
	[DRAWING]





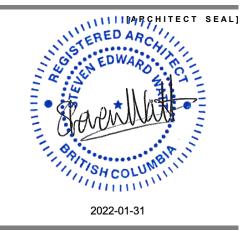
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Three Shores Development

[PROJECT]

[CLIENT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

Material and Colour Legend

Balcony

Balcony

Residential Windows
Storefront Windows & Doors

Window Wall

Spandrel

2.1 Dark Gray N/A

N/A

N/A

Elastomeric Paint

Window Wall system

Window Wall system

Low E double glazed Shadow Gray

Pre-Finished Aluminum Frame + Clear Saftey Glass Clear / Charcoal

ALUMINUM CLADDING

S O F F I T / F A S C I A

GLASS

RAILINGS

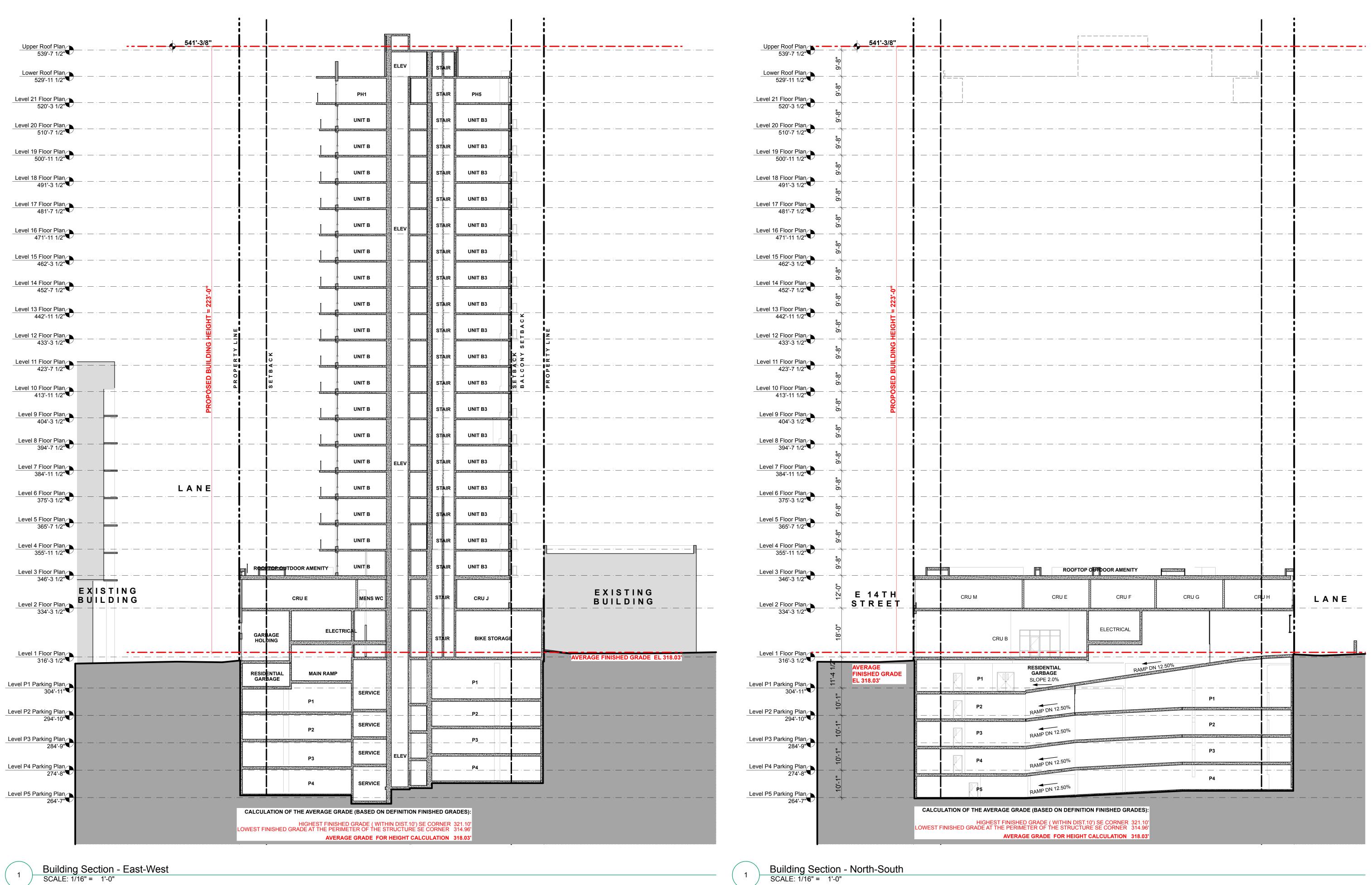
Railings @ Entry Stairs, Balconies, Roof Decks

Railings @ Entry Stairs, Balconies, Roof Decks
STRUCTURE

[TITLE]

West Elevation

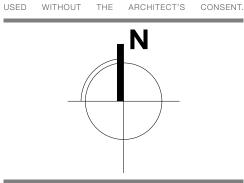
	[PROJECT]
1/16" = 1'-0"	[SCALE]
Monday, January 31, 20	022 [DATE]
ISSUE 01 - RZ/DP APP.	[ISSUE]





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Three Shores Development

[CLIENT]

[PROJECT]

East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

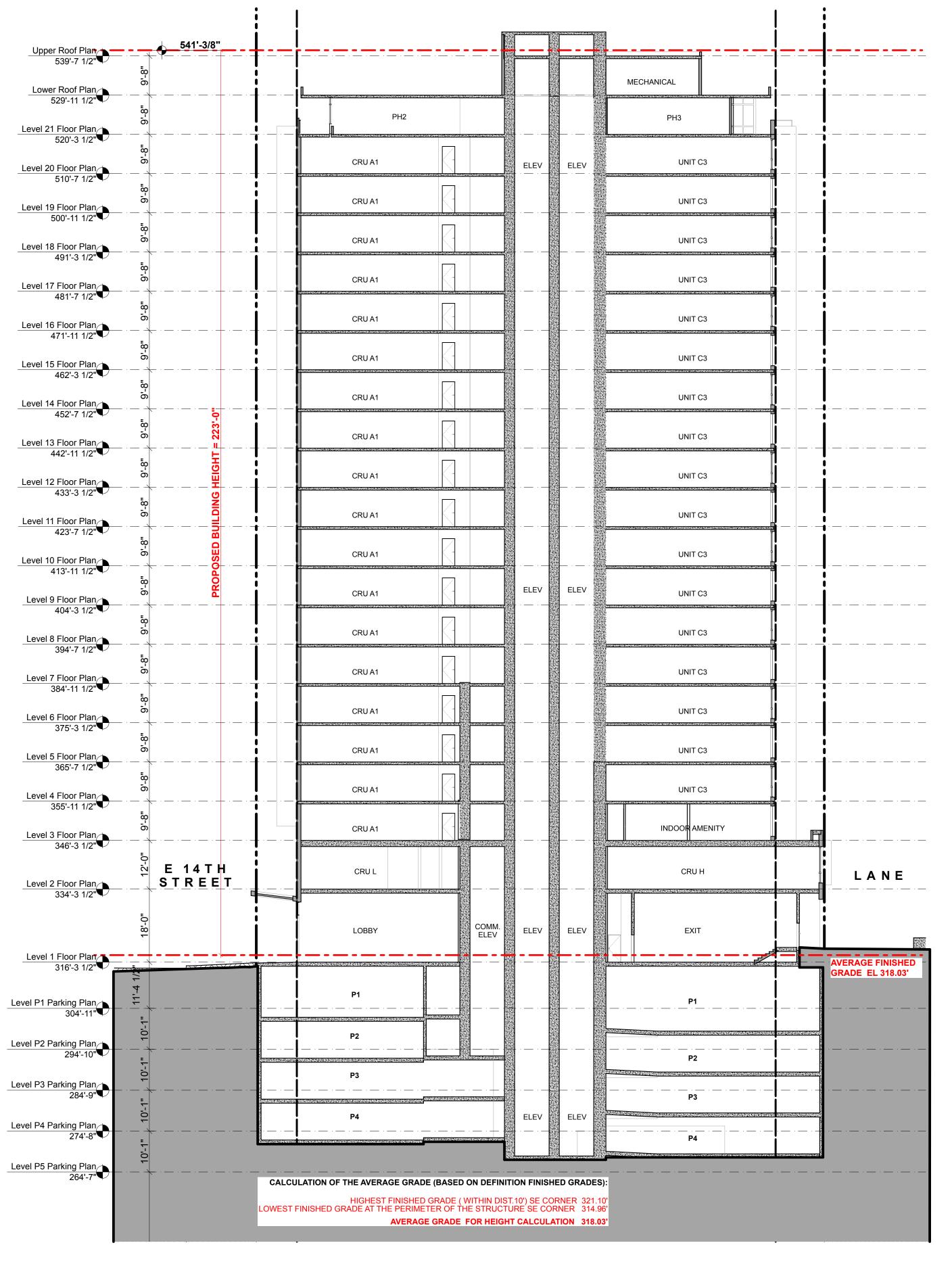
Building Sections

[PROJECT] [SCALE] 1/16" = 1'-0" Monday, January 31, 2022 [DATE]

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Building Section - North-South 2

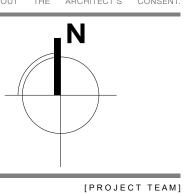
SCALE: 1/16" = 1'-0"

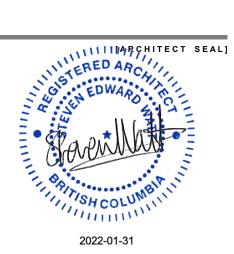


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Three Shores Development

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East 14th Street

120-128 East 14th Street North Vancouver, BC

[TITLE]

[PROJECT]

Building Sections

21569

1/16" = 1'-0"

[SCALE]

Monday, January 31, 2022

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A-5.101

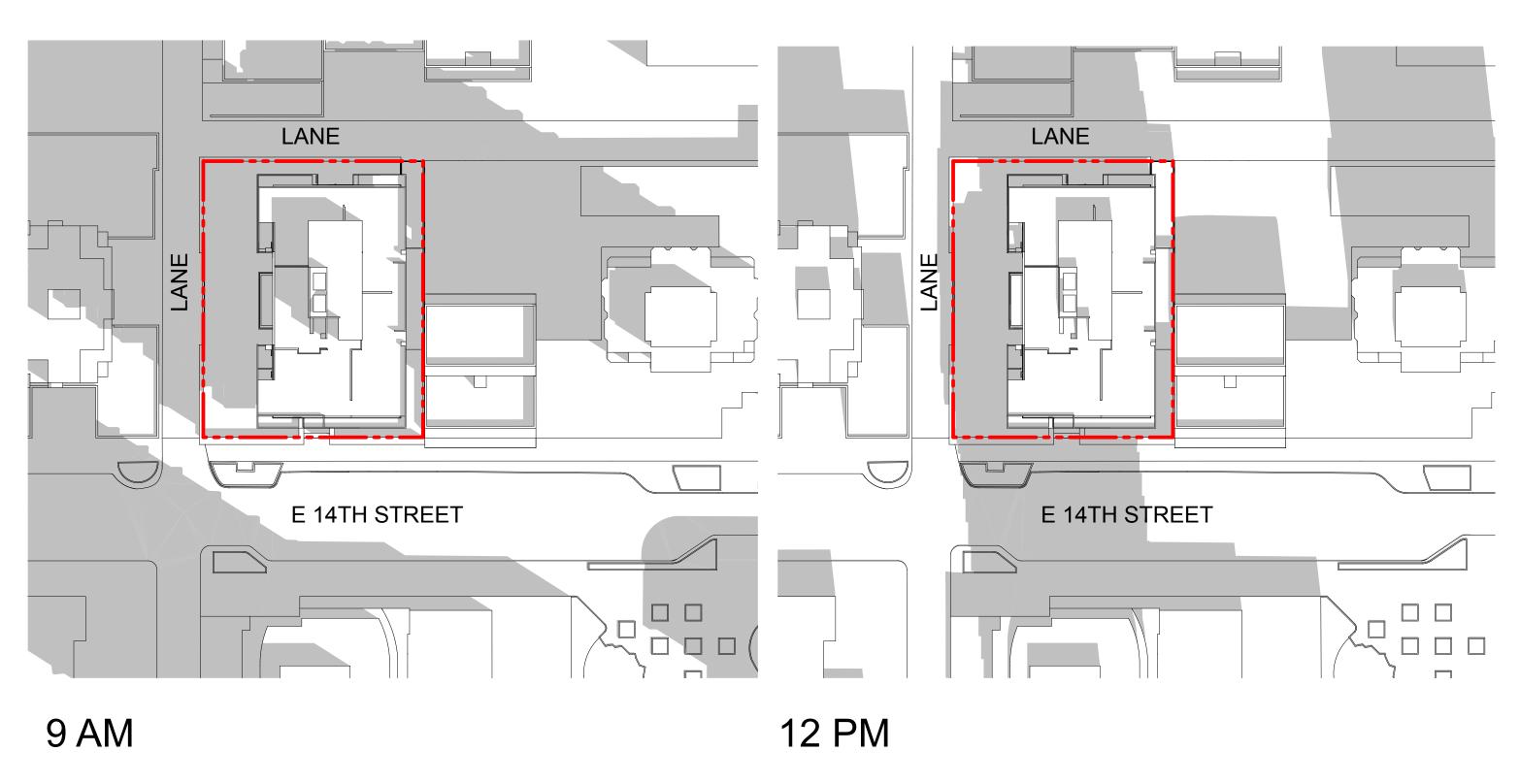
SPRING EQUINOX MARCH 21

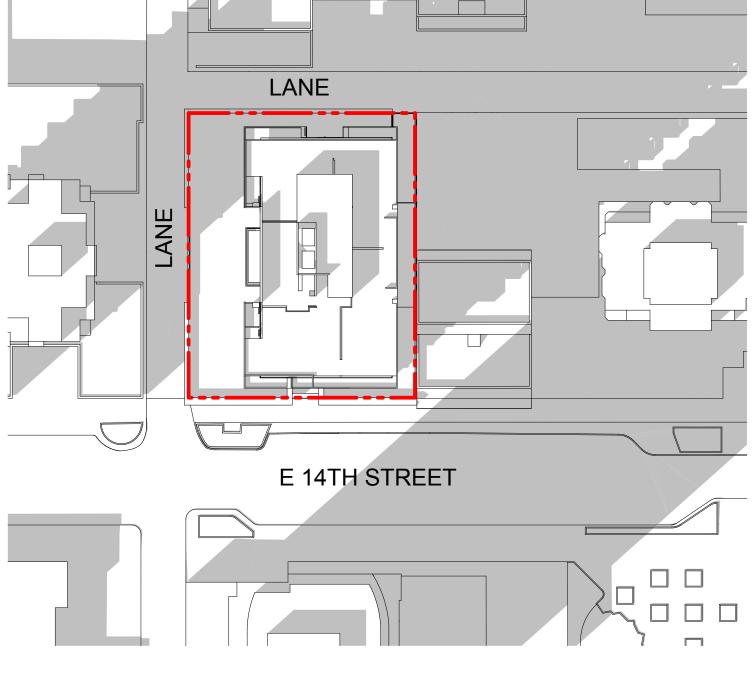


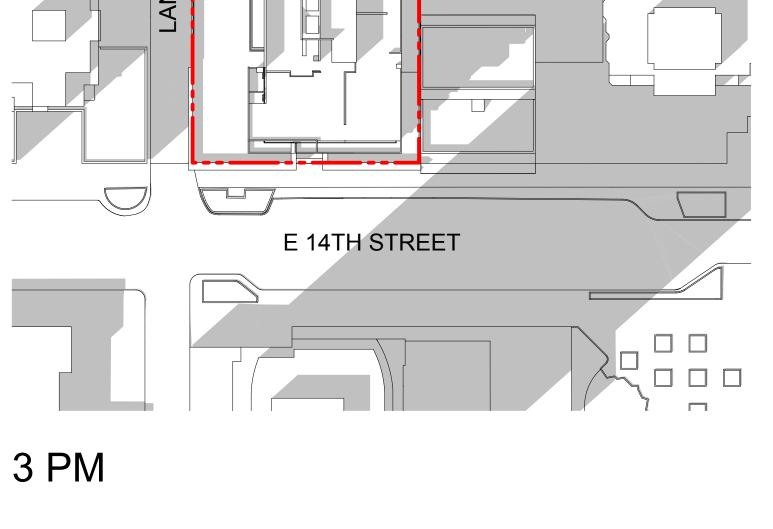


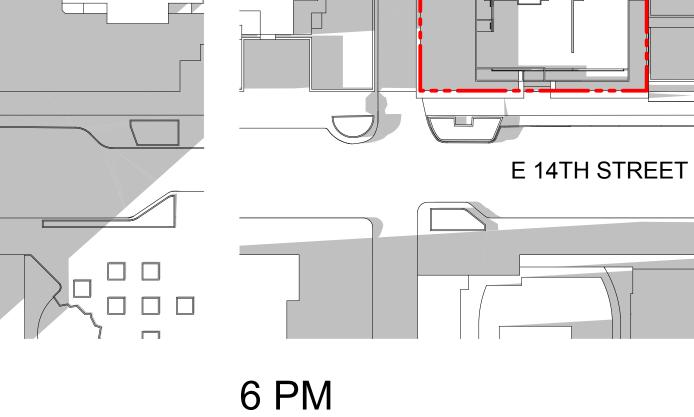
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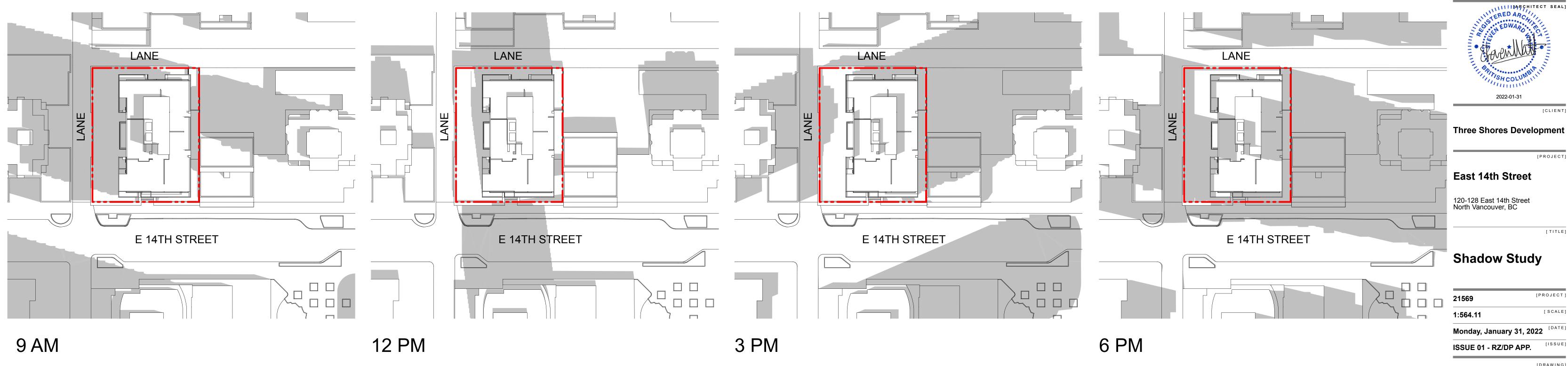






LANE

SUMMER SOLSTICE JUNE 21

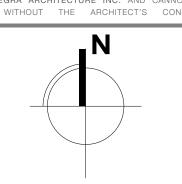


FALL EQUINOX SEPTEMBER 23

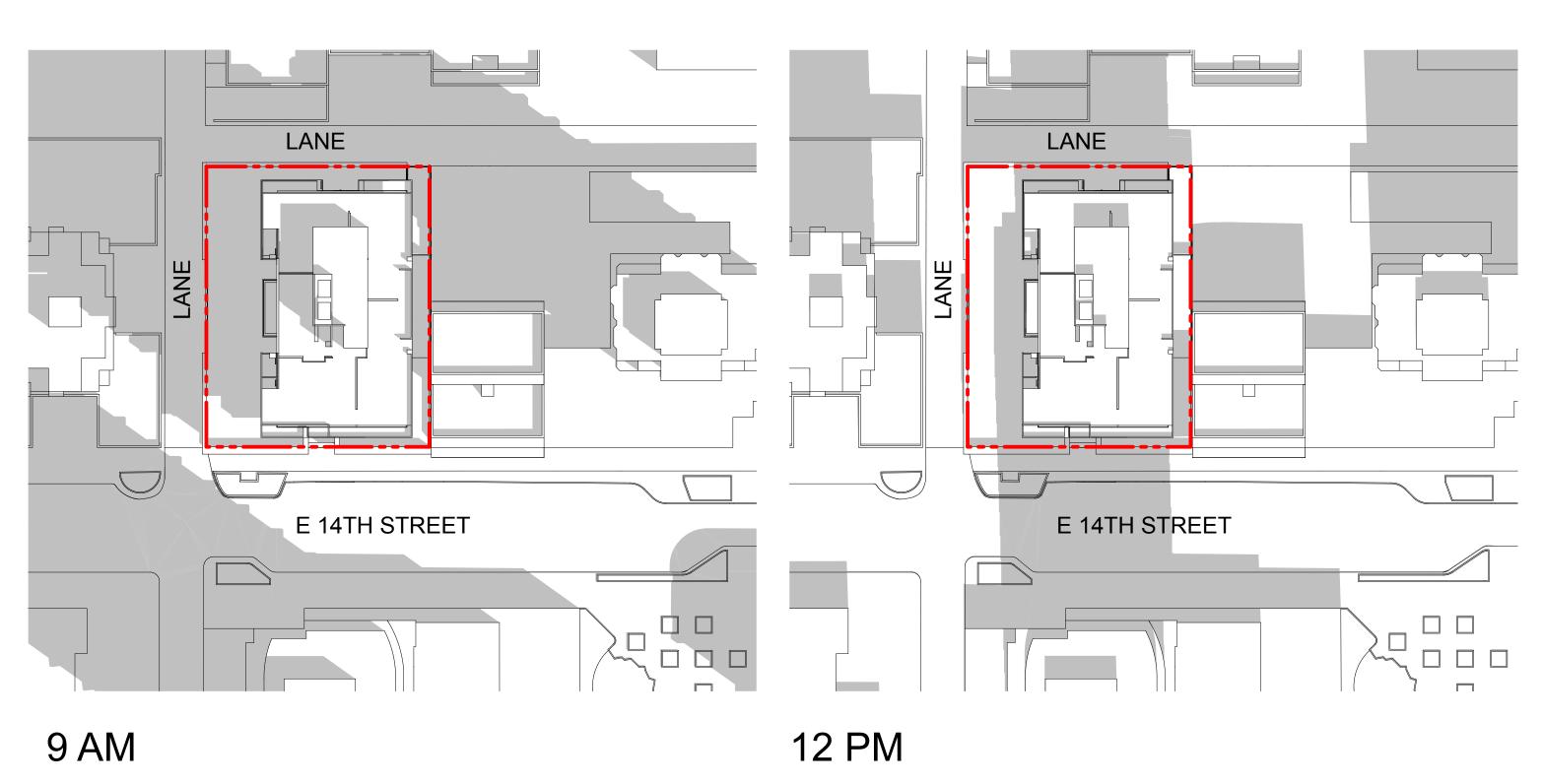


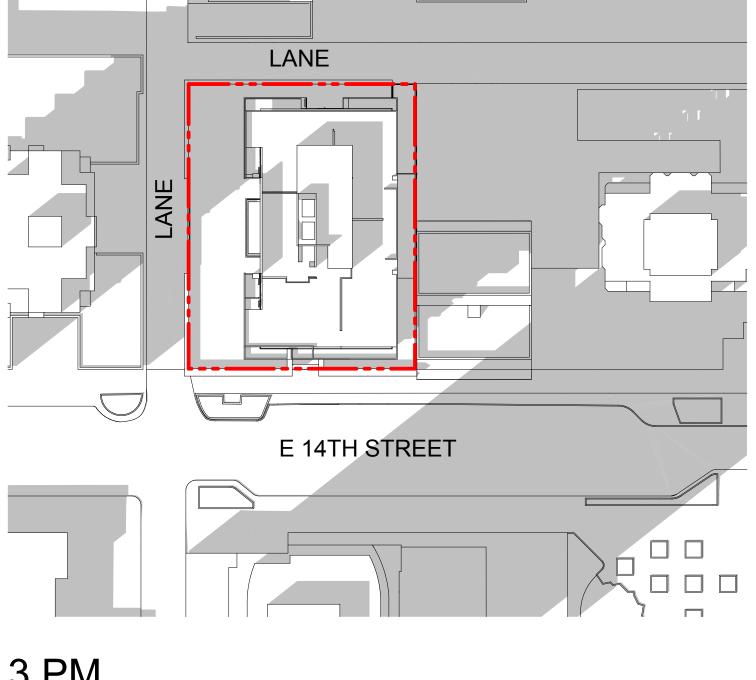


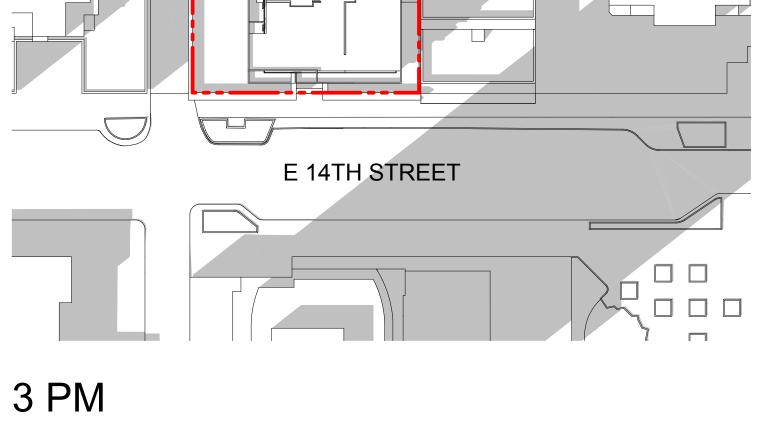
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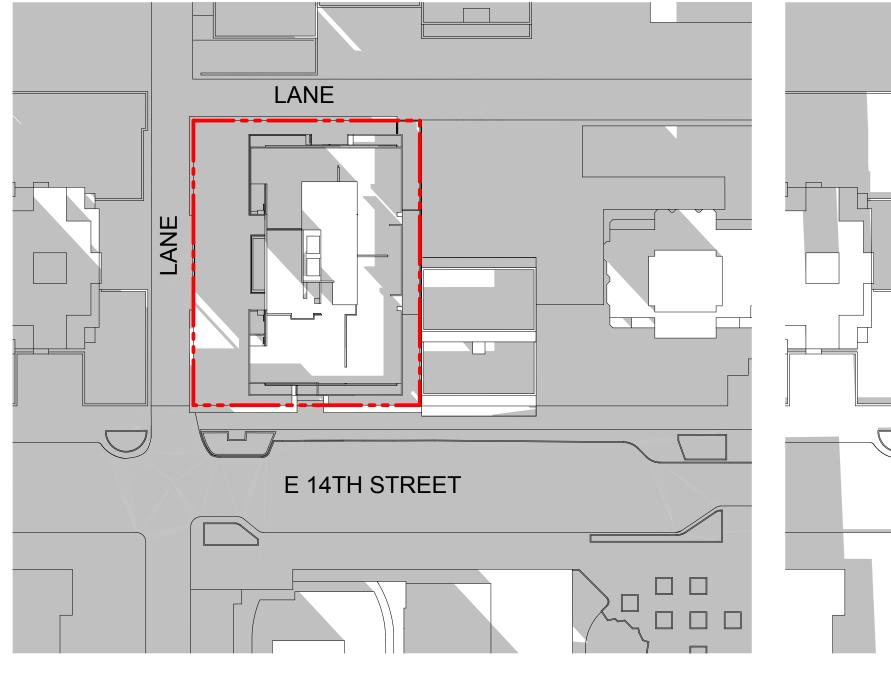


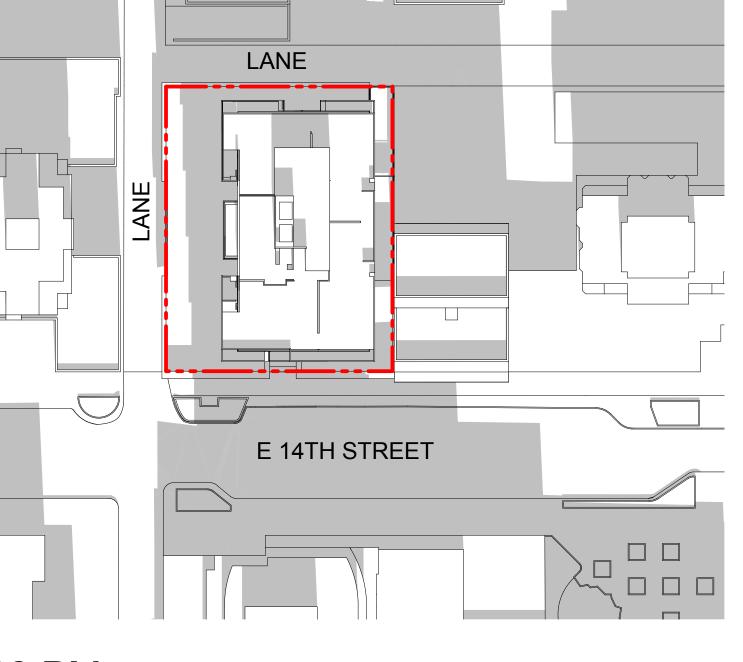


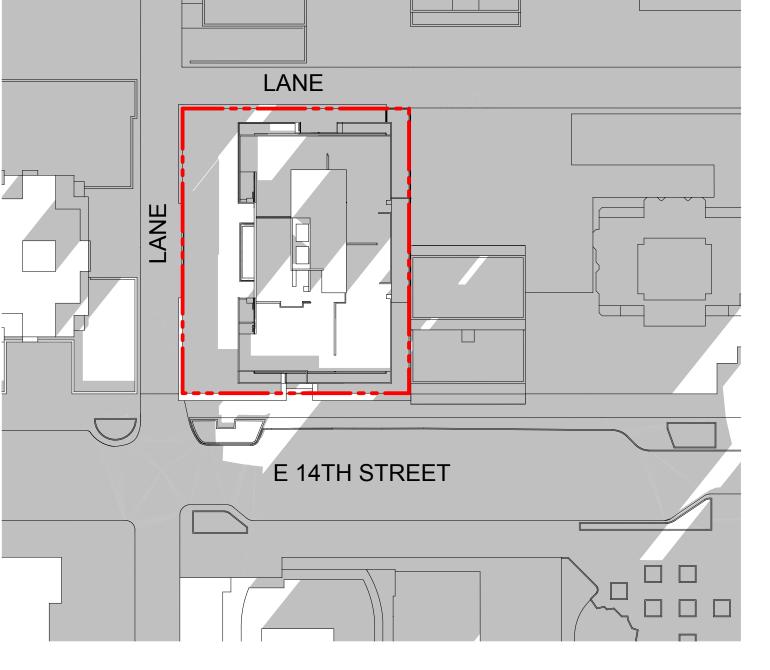


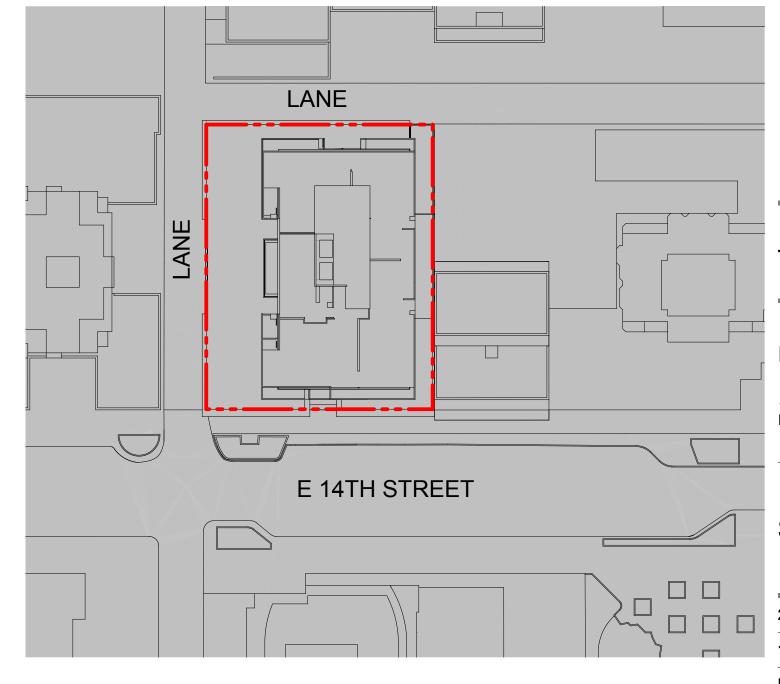
WINTER SOLSTICE DECEMBER 21

9 AM









LANE

E 14TH STREET

LANE	ERED ARC EDWAR SH COLUMBIA 2022-01-31
LANE TO THE TOTAL	Three Shores Development [PROJECT] East 14th Street
E 14TH STREET	120-128 East 14th Street North Vancouver, BC
	21569 [PROJECT] 1:564.11
	Monday, January 31, 2022

Shadow S	Study
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1:564.11	[SCALE]
Monday, January 31, 2022	[DATE]
ISSUE 01 - RZ/DP APP.	[ISSUE]

12 PM 3 PM

6 PM

EAST 14TH STREET, NORTH VANCOUVER

East 14th Street

200 Granville St, Vancouver

PROJECT CONTACT: 120-128 East 14th Street, North Vancouver, BC Barry Savage Three Shores Development

PROJECT ARCHITECT: Integra Architecture Inc. PROJECT NUMBER:

Three Shores Development

21569 CIVIC ADDRESS: 130-134 E14th St, North Vancouver

LEGAL DESCRIPTION: TBC

PROJECT OWNER:

PROJECT DESCRIPTION: 21 Story Mixed Use

ZONING: Existing Zoning: Proposed Zoning:

OCP Designation

C1-B CD (TBC) Mixed Use Level 4B Development Permit Area

ISSUE: PRELIM DATE: 2022-01-31

SITE AREA						
Total Site Area						
Total Gross Site Area		7,831	SF	727.55	m2	
Building Size						
Max. Building Height		50	ft	15.24	m	
Max. Building Width & Length (at 2nd store)	<i>(</i>)	170	ft	51.82	m	
Max. Building Width & Length (including and	d above 3rd storey)	100	ft	30.48	m	
Building Setbacks						
Flanking Lane		10	ft	3.05	m	
Rear Lot Line		10	ft	3.05	m	*may be reduced by 1ft for each 1ft of setback provided at Front Lot Line (max. 10ft)
Setback from Principal Buildings exceeding 4 storeys		80.00	ft	24.38	m	
FLOOR AREA RATIO (FAR)						
Maximum FAR						
Maximum Floor Area	3.00	23,494.0	SF	2,182.6	m2	
Maximum Bonus Floor Area	0.00					
Maximum FAR	3.00	23,494.0	SF	2,182.6	m2	
Proposed FAR						
Proposed Floor Area		22,100.20	SF	2,053.2	m2	
Proposed Floor Area Exclusions		1,377.05	SF	127.9	m2	
Proposed FAR	2.65	20,723.15	SF	1,925.2	m2	

Exclusion Summary	Min.	No. Units	Stair 01	Stair 02	Elevator	per Unit	Total Exclusions	,		Comments
Access to Outdoor Amenity									1 00.0	m2 Active Design Guidelines
Adapt. Units Level 2 (20 sf/unit)	0					20.0	0.0	sq.ft.	1 00.0	m2 25.0% Units AD Level 2
Indoor Amenity - 15 SF/unit or	0								1 00.0	m2 Min 15 SF / Unit
lesser min 2% GFA (SF)	442	443.41						sq.ft.	1 00.0	n2
Services							1,377.1	sq.ft.		
Stairs (Active Design) - 8% max SF	1,768	max.						sq.ft.	1 00.0	m2 0.00% (Floor 1-6/Roof)
Total Exclusions From ESP							1 377 1	ea ff	127 93 1	n2

GROSS FLOOR AREA (GFA)

Floor Areas																	
Lovel					С	common Areas								Total Area	Total Flo	or Area	Efficiency
Level			CRU	Amenity / Lobby	Common/Storage	Stairs	Elevators	Services						Total Alea	SF	m ²	Liliciency
Level 1			3,354.76	711.40	416.81	336.32	140.38	1,377.05						6,336.72	6,336.72	588.71	52.9%
(includes CRU)			0,004.70	711.40	410.01	000.02	140.00	1,011.00						0,000.72	0,000.72	000:71	02.070
Level 2			6,879.22		550.88	180.56	140.38	40.00						7,791.04	7,791.04	723.83	88.3%
Level 3			3,557.62		67.66	180.56	140.38	40.00						3,986.22	3,986.22	370.34	89.2%
Level 4			3,557.62		67.66	180.56	140.38	40.00						3,986.22	3,986.22	370.34	89.2%
Area Totals															22,100.20	2,053.23	80%
						•		•		-							·

Area Totals									22,100.20	2,053.23	80%
Commercial Unit Areas											
	Level	Floo	or Areas				Total	# of	Total Ur	nit Area	% of Units
Unit Types	Level	SF	Subtotal				าบเลา	Units	SF	m²	% OF OTHES
CRU-A	L1	1747.70	1747.70				1747.70	1	1747.70	162.37	7.1%
CRU-B	L1	1607.06	1607.06				1607.06	1	1607.06	149.30	7.1%
CRU-C	L2	2059.30	- 2059.30				2059.30	1	2059.30	191.32	7.1%
CRU-D	L2	1766.78	1766.78				1766.78	1	1766.78	164.14	7.1%
CRU-E	L2	1427.13	1427.13				1427.13	1	1427.13	132.58	7.1%
CRU-F	L2	1626.01	1626.01				1626.01	1	1626.01	151.06	7.1%
CRU-G	L3	1065.80	1065.80				1065.80	1	1065.80	99.02	7.1%
CRU-H	L3	969.94	969.94				969.94	1	969.94	90.11	7.1%
CRU-I	L3	858.51	- 858.51				858.51	1	858.51	79.76	7.1%
CRU-J	L3	663.37	- 663.37				663.37	1	663.37	61.63	7.1%
CRU-K	L4	1065.80	1065.80				1065.80	1	1065.80	99.02	7.1%
CRU-L	L4	969.94	969.94				969.94	1	969.94	90.11	7.1%
CRU-M	L4	858.51	- 858.51				858.51	1	858.51	79.76	7.1%
CRU-N	L4	663.37	- 663.37				663.37	1	663.37	61.63	7.1%
Tota	I						17,349.22	14	17,349.22	1,611.8	100%

FF-STREET	PARKING

Commercial Parking					
Commercial Parking	1.0 Spaces for each 75 m2 (807.3 SF)	21.5	Spaces Required	20 Spaces Provided	
Disabled Parking	1 Space For Every 5-36 Parking Spaces (inclusive)	1.0	Spaces Required	1 Spaces Provided * inc	lusive
Max. Small Cars Allowed	25% of Provided Spaces	5	Spaces Max.	0 Spaces Provided * inc	lusive
Loading					
Commercial Loading Required	1 Spaces per 1900 m2	1	Spaces Required	1 Spaces Provided	
Total		21.5	Spaces Required	20 Spaces Provided	
O Tutal		04.5	Outside Day Start	00 00 00 00 00 00 00	

Parking Space Dimensions	
	Required (Width x Length x Height)
Standard Space	2.5m (8.20 FT) x 6.0m (19.69 FT) x 2.0m (6.56 FT)
Small Cars	2.3m (7.55 FT) x 4.8m (15.75 FT) x 2.0m (6.56 FT)
Accessible	4.8m (15.75 FT) x 6.0m (19.69 FT) x 2.3m (7.55 FT)
Van Accessible	4.8m (15.75 FT) x 6.0m (19.69 FT) x 2.3m (7.55 FT)
Loading	3.0m (9.84 FT) x 7.0m (22.97 FT) x 4.0m (13.12 FT)
Min. Distance to Continuous Wall	0.3m (0.98 FT) (1'-0")
Min. Drive Aisle Width	6.5m (21.33 FT) (21'-4")
Min. Maneuvering Aisle Width	6.5m (21.33 FT) (21'-4")



T.604.505.8818

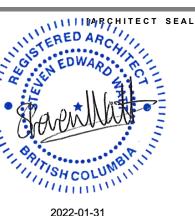
T.604.688.4220

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Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

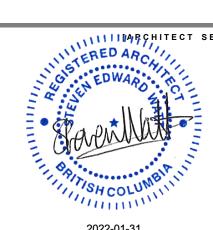
Site Study 130-134 E 14th St - Data

Monday, January 31, 2022 [DATE]

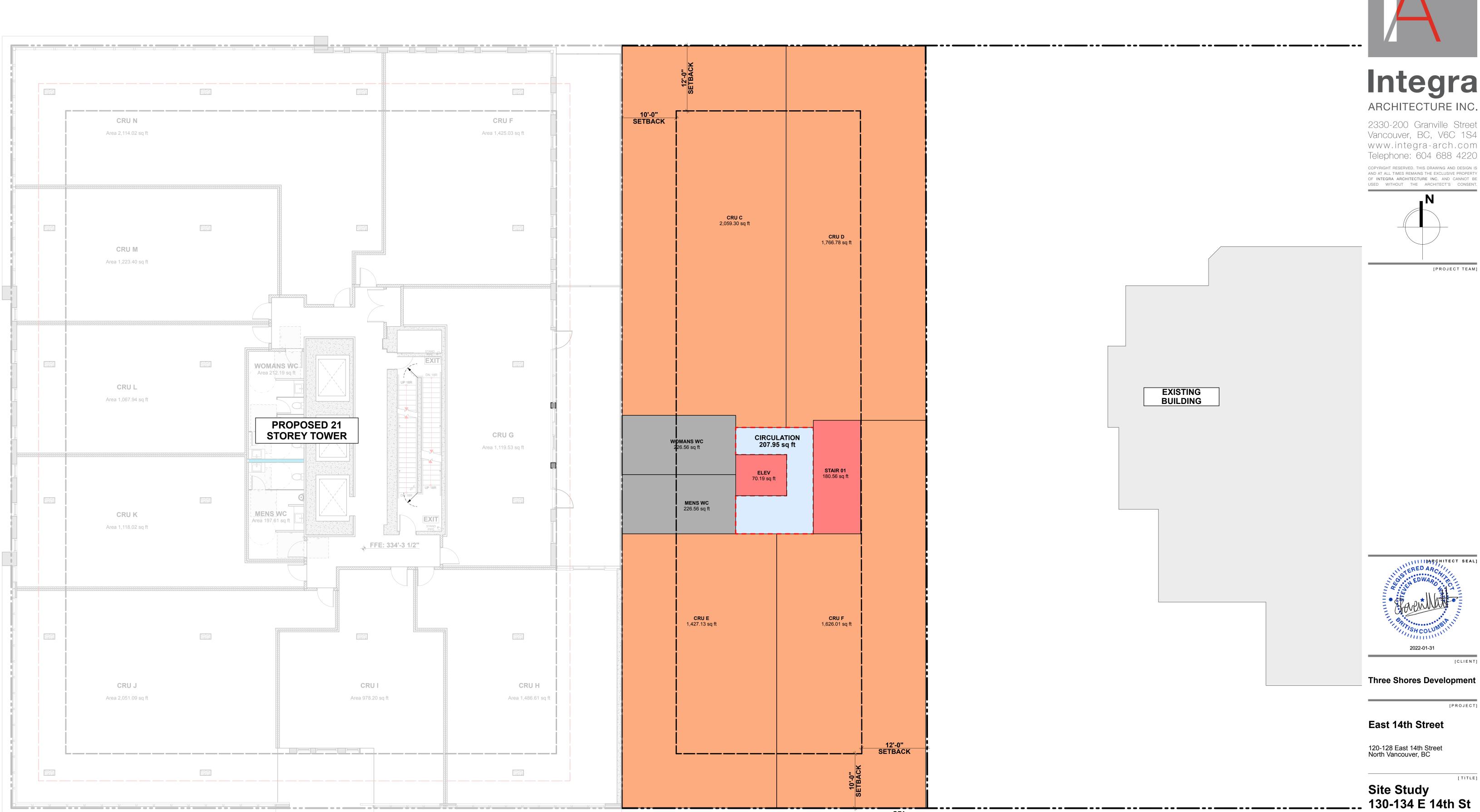
ISSUE 01 - RZ/DP APP.

LANE Integra **STAIR 02** 155.76 sq ft ARCHITECTURE INC. 10'-0" SETBACK 1,298.17 sq ft OF INTEGRA ARCHITECTURE INC. AND CANNOT BE USED WITHOUT THE ARCHITECT'S CONSENT. [PROJECT TEAM] CIRCULATION 562.63 sq ft EXISTING BUILDING CRUA **PROPOSED 21** STOREY TOWER Area 534.73 sq ft FFE: 322'-3 1/2" **STAIR 01** 180.56 sq ft COURTYARD Area 369.48 sq ft **CRU A** 1,747.70 sq ft **LOBBY** 711.40 sq ft **CRU B** 1,531.43 sq ft CRU B CRU C CRU D CRU E Area 667.62 sq ft Area 1,532.12 sq ft Area 702.12 sq ft Area 1,298.64 sq ft **Three Shores Development** FFE: 316'-3 1/2" **East 14th Street MAIN ENTRANCE** 12'-0" SETBACK 120-128 East 14th Street North Vancouver, BC ROOF BOVE Site Study 130-134 E 14th St **GFA:** Area 6,336.72 sq ft - Level 1 GROSS SITE AREA Area 7,831.33 sq ft Monday, January 31, 2022 [DATE] 130-134 E 14th St. - Level 1 Floor Plan

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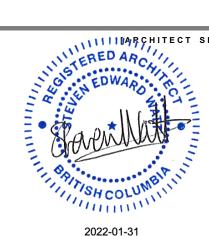
[PROJECT]



GFA: Area 7,791.04 sq ft

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[PROJECT TEAM]



- Level 2

[PROJECT]

Monday, January 31, 2022 [DATE]



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[PROJECT TEAM]

Three Shores Development

120-128 East 14th Street North Vancouver, BC

Site Study 130-134 E 14th St - Level 3

[PROJECT]

Monday, January 31, 2022 [DATE]

130-134 E 14th St. - Level 3 Floor Plan

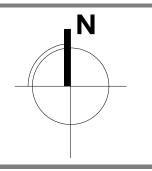




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EXISTING BUILDING [PROJECT TEAM]



2022-01-31 [CLIENT]

Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Site Study 130-134 E 14th St - Level 4

21569

1/8" = 1'-0"

[PROJECT]

Monday, January 31, 2022 [DATE]

ISSUE 01 - RZ/DP APP.

A-8.204



Unit C3

(3 BED) 987.73 sq ft

Unit B1

Unit B

Unit C4
(3 BED)
880.12 sq ft

PROPOSED 21 STOREY TOWER

Unit A1

Unit C1

Unit B2

10'-0" SETBACK

> **CRU K** 1,065.80 sq ft

> > **ELEV** 70.19 sq ft

CRU M 858.51 sq ft CIRCULATION 177.85 sq ft

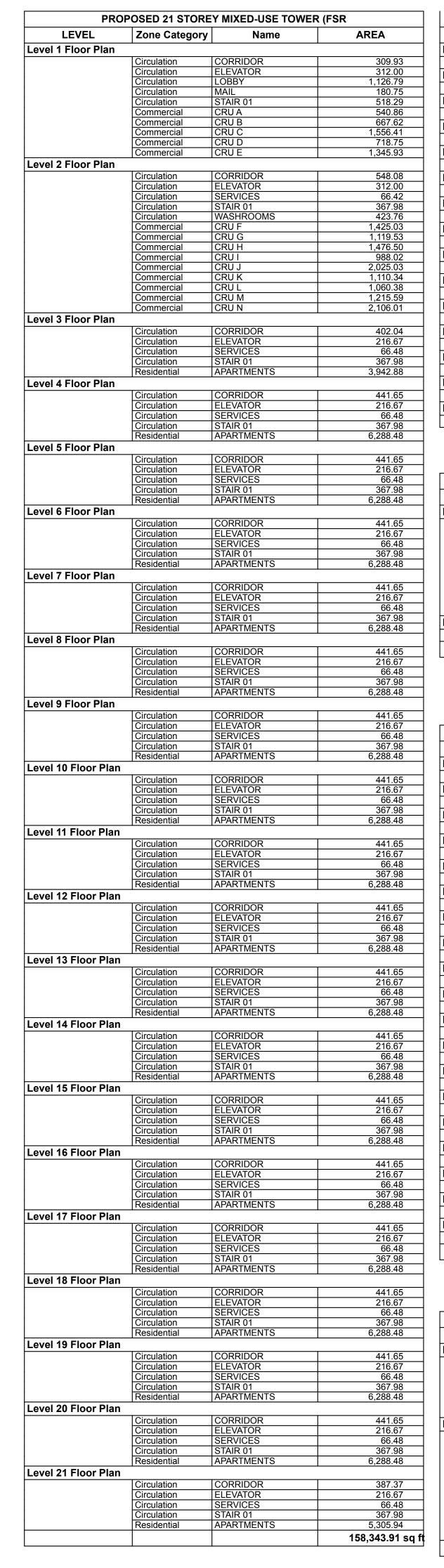
CRU L 969.94 sq ft

180.56 sq ft

CRU N 663.37 sq ft

12'-0" SETBACK

GFA:Area 3,986.22 sq ft



GFA	1	
LEVEL	AREA	LEVEL
Level 1 Floor Plan		Level 16 Floor Pla
	13,244.86	
Level 2 Floor Plan		Level 17 Floor Pla
	14,244.67	
Level 3 Floor Plan		Level 18 Floor Pla
	7,381.26	
Level 4 Floor Plan		Level 19 Floor Pla
	7,381.26	
Level 5 Floor Plan		Level 20 Floor Pla
	7,381.26	
Level 6 Floor Plan		Level 21 Floor Pla
	7,381.26	
Level 7 Floor Plan		
	7,381.26	
Level 8 Floor Plan		
	7,381.26	
Level 9 Floor Plan		
	7,381.26	
Level 10 Floor Plan		
	7,381.26	
Level 11 Floor Plan		
	7,381.26	
Level 12 Floor Plan		
	7,381.26	
Level 13 Floor Plan		
	7,381.26	
Level 14 Floor Plan		
	7,381.26	7
Level 15 Floor Plan		7
	7,381.26	

GFA

AREA

7,381.26

7,381.26

7,381.26

7,381.26

7,381.26

6,344.43

166,696.64 sq ft

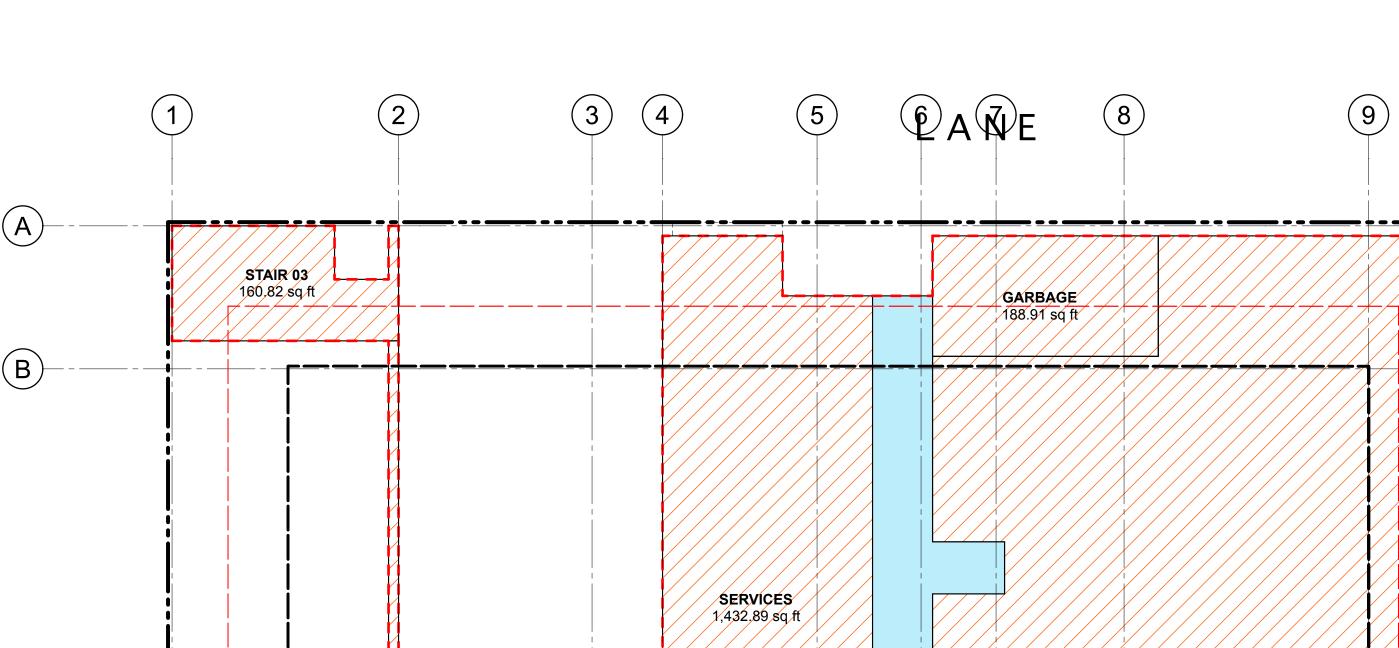
Level 1 Area Overlay

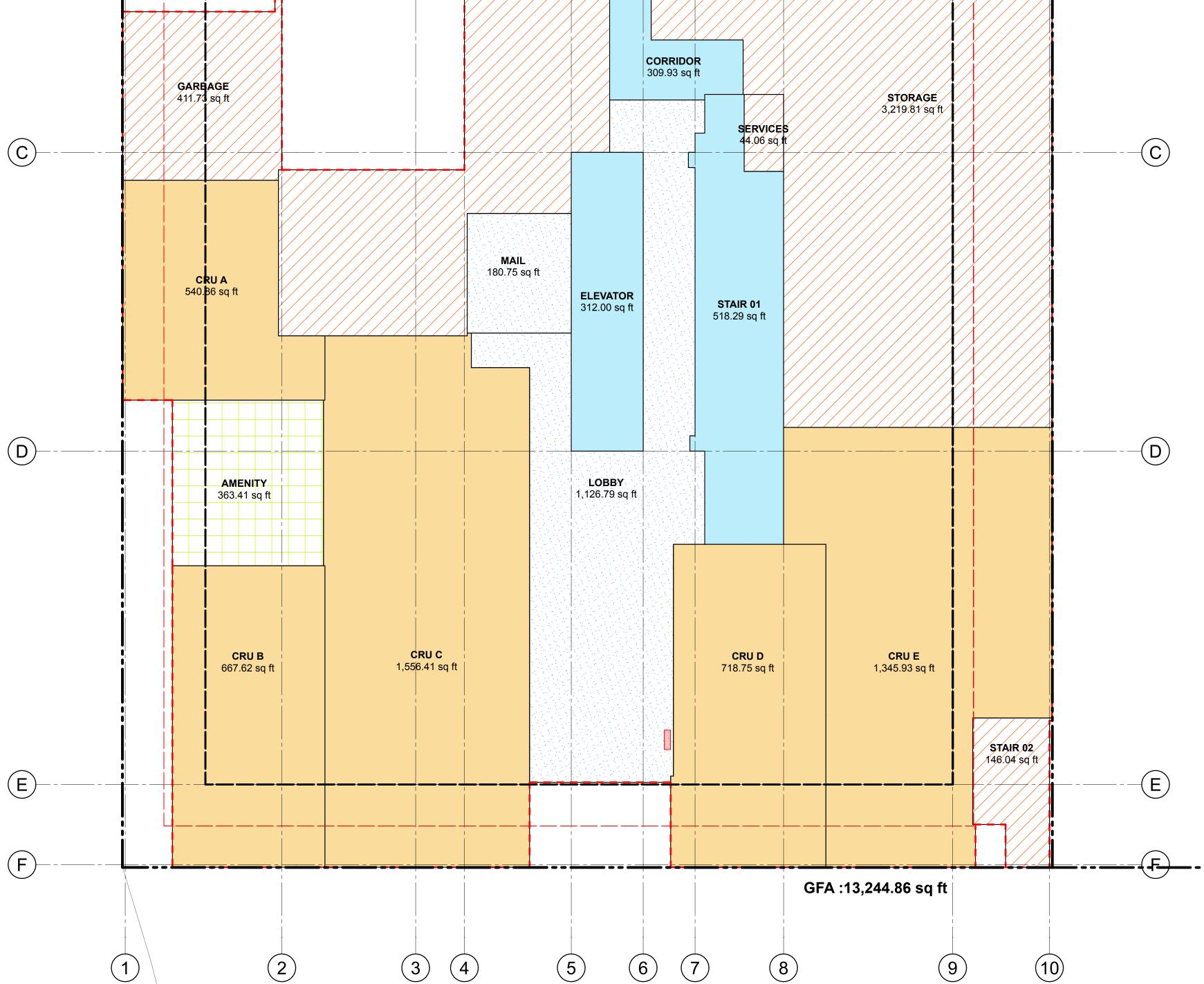
SCALE: 1/8" = 1'-0"

GFA EXCLUSIONS				
LEVEL	Zone Name	AREA		
Level 1 Floor Plan				
	AMENITY	363.41		
	GARBAGE	188.91		
	GARBAGE	411.73		
	SERVICES	44.06		
	SERVICES	1,432.89		
	STAIR 02	146.04		
	STAIR 03	160.82		
	STORAGE	3,219.81		
Level 3 Floor Plan				
	AMENITY	2,385.22		
		8,352.89 sq		

APARTMENT AREA				
LEVEL	Zone Category	Name	AREA	
Level 3 Floor Plan	•		•	
	Residential	APARTMENTS	3,942.88	
Level 4 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 5 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 6 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 7 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 8 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 9 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 10 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 11 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 12 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 13 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 14 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 15 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 16 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 17 Floor Plan	•	•	•	
	Residential	APARTMENTS	6,288.48	
Level 18 Floor Plan	•	•	•	
	Residential	APARTMENTS	6,288.48	
Level 19 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 20 Floor Plan				
	Residential	APARTMENTS	6,288.48	
Level 21 Floor Plan	•		•	
	Residential	APARTMENTS	5,305.94	
			116,152.98 s	

CRU AREA				
LEVEL	Zone Category	Name	AREA	
Level 1 Floor Plan	1	•	•	
	Commercial	CRU A	540.86	
	Commercial	CRU B	667.62	
	Commercial	CRU C	1,556.41	
	Commercial	CRU D	718.75	
	Commercial	CRU E	1,345.93	
Level 2 Floor Plan]			
	Commercial	CRU F	1,425.03	
	Commercial	CRU G	1,119.53	
	Commercial	CRU H	1,476.50	
	Commercial	CRU I	988.02	
	Commercial	CRU J	2,025.03	
	Commercial	CRU K	1,110.34	
	Commercial	CRU L	1,060.38	
	Commercial	CRU M	1,215.59	
	Commercial	CRU N	2,106.01	
			17,356.00 sc	



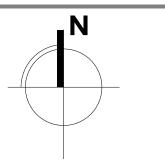




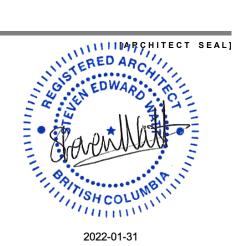
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[PROJECT TEAM]



[CLIENT] **Three Shores Development**

East 14th Street

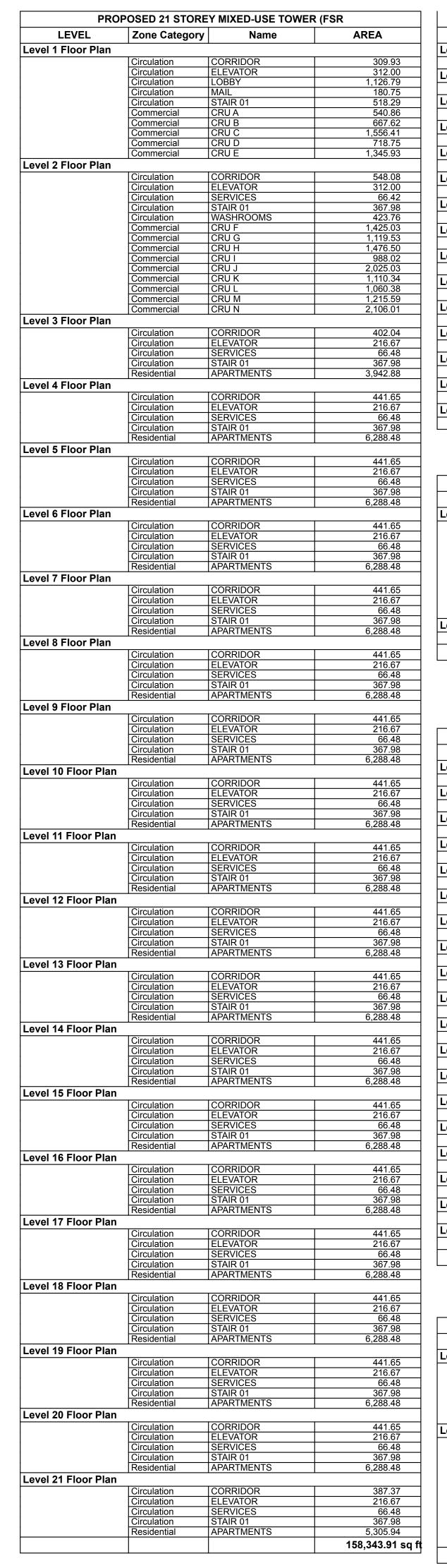
120-128 East 14th Street North Vancouver, BC

Level 1 Area **Overlay**

[PROJECT]

[TITLE]

Monday, January 31, 2022 [DATE]



GFA	
LEVEL	AREA
Level 1 Floor Plan	
	13,244.86
Level 2 Floor Plan	
	14,244.67
Level 3 Floor Plan	
	7,381.26
Level 4 Floor Plan	
	7,381.26
Level 5 Floor Plan	7.004.00
	7,381.26
Level 6 Floor Plan	7 004 00
aval 7 Flagri Plan	7,381.26
Level 7 Floor Plan	7 204 20
Level 8 Floor Plan	7,381.26
Level 6 Floor Plan	7,381.26
Level 9 Floor Plan	7,361.20
Level 9 Floor Flair	7,381.26
Level 10 Floor Plan	7,301.20
	7,381.26
Level 11 Floor Plan	.,000
	7,381.26
Level 12 Floor Plan	,
	7,381.26
Level 13 Floor Plan	·
	7,381.26
Level 14 Floor Plan	
	7,381.26
Level 15 Floor Plan	
	7,381.26

GFA

AREA

7,381.26

7,381.26

7,381.26

7,381.26

7,381.26

6,344.43 166,696.64 sq ft

(D)

LEVEL

Level 16 Floor Plan

Level 17 Floor Plan

Level 18 Floor Plan

Level 19 Floor Plan

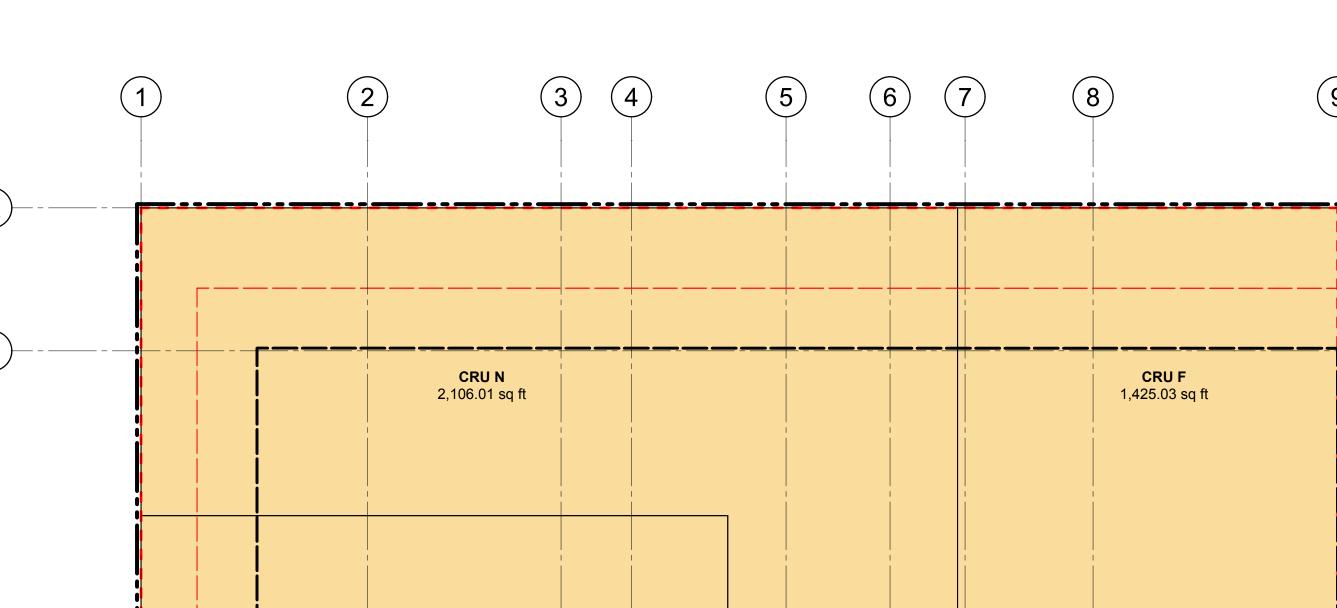
Level 20 Floor Plan

Level 21 Floor Plan

GFA EXCLUSIONS			
LEVEL	Zone Name	AREA	
Level 1 Floor Plan			
	AMENITY	363.41	
	GARBAGE	188.91	
	GARBAGE	411.73	
	SERVICES	44.06	
	SERVICES	1,432.89	
	STAIR 02	146.04	
	STAIR 03	160.82	
	STORAGE	3,219.81	
Level 3 Floor Plan			
	AMENITY	2,385.22	
		8,352.89 sc	

	APARTMENT AREA				
LEVEL	Zone Category	Name	AREA		
Level 3 Floor Plan					
	Residential	APARTMENTS	3,942.88		
Level 4 Floor Plan	•		•		
	Residential	APARTMENTS	6,288.48		
Level 5 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 6 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 7 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 8 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 9 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 10 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 11 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 12 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 13 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 14 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 15 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 16 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 17 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 18 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 19 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 20 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 21 Floor Plan					
	Residential	APARTMENTS	5,305.94		
			116,152.98 sq 1		

	CRU AREA				
LEVEL	Zone Category	Name	AREA		
Level 1 Floor Plan	•	•	•		
	Commercial	CRU A	540.86		
	Commercial	CRU B	667.62		
	Commercial	CRU C	1,556.41		
	Commercial	CRU D	718.75		
	Commercial	CRU E	1,345.93		
Level 2 Floor Plan			•		
	Commercial	CRU F	1,425.03		
	Commercial	CRU G	1,119.53		
	Commercial	CRU H	1,476.50		
	Commercial	CRU I	988.02		
	Commercial	CRU J	2,025.03		
	Commercial	CRU K	1,110.34		
	Commercial	CRU L	1,060.38		
	Commercial	CRU M	1,215.59		
	Commercial	CRU N	2,106.01		
			17,356.00 sq f		



SERVICES

66.42 sq ft

STAIR 01

367.98 sq ft

CRU G

1,119.53 sq ft

CRU H 1,476.50 sq ft

GFA: 14,244.67 sq ft

8

ELEVATOR

312.00 sq ft

CORRIDOR 548.08 sq ft

CRU I 988.02 sq ft

5

WASHROOMS

423.76 sq ft

CRU M 1,215.59 sq ft

CRU L

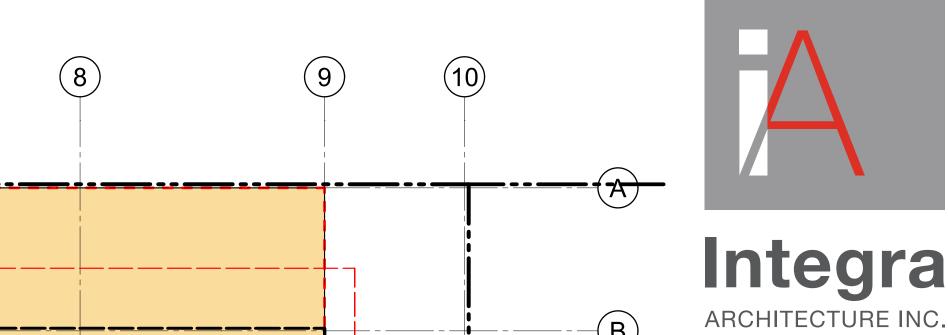
1,060.38 sq ft

CRU K

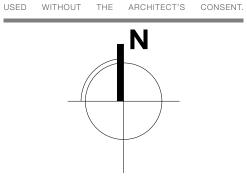
CRU J

2,025.03 sq ft

1,110.34 sq ft



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[PROJECT TEAM]



-(D)

[CLIENT]

East 14th Street

Three Shores Development

120-128 East 14th Street North Vancouver, BC

Level 2 Area **Overlay**

[TITLE]

[PROJECT] Monday, January 31, 2022 [DATE]

Level 2 Area Overlay

SCALE: 1/8" = 1'-0"

LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation Circulation	LOBBY	312.00 1,126.79
	Circulation Circulation Commercial	MAIL STAIR 01 CRU A	180.75 518.29 540.86
	Commercial Commercial	CRU B	667.62 1,556.41
	Commercial Commercial	CRU D	718.75 1,345.93
Level 2 Floor Plan	Circulation	CORRIDOR	548.08
	Circulation Circulation	ELEVATOR SERVICES	312.00 66.42
	Circulation Circulation	STAIR 01 WASHROOMS	367.98 423.76
	Commercial Commercial	CRU F	1,425.03 1,119.53
	Commercial Commercial	CRU H CRU I	1,476.50 988.02
	Commercial Commercial	CRU J CRU K	2,025.03 1,110.34
	Commercial Commercial	CRU L CRU M	1,060.38 1,215.59
Level 3 Floor Plan	Commercial	CRU N	2,106.01
	Circulation Circulation	CORRIDOR ELEVATOR	402.04 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 4 Floor Plan	Residential	APARTMENTS	3,942.88
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 5 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98 6.288.48
Level 6 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 7 Floor Plan			·
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 8 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 9 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 10 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 11 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation Circulation	SERVICES STAIR 01	216.67 66.48 367.98
_evel 12 Floor Plan	Residential	APARTMENTS	6,288.48
Level 12 1 1001 Flair	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 14 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 17 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation	STAIR 01	66.48 367.98 6,288.48
Level 21 Floor Plan	•		·
	Circulation	ELEVATOR	387.37 216.67 66.48
	Circulation Circulation Residential	STAIR 01 APARTMENTS	367.98 5,305.94
Level 21 Floor Plan	Circulation Circulation Residential Circulation Circulation Circulation Circulation	SERVICES STAIR 01 APARTMENTS CORRIDOR ELEVATOR SERVICES STAIR 01	6,2

GFA	1	
LEVEL	AREA	LEVEL
Level 1 Floor Plan		Level 16 Floor Pla
	13,244.86	
Level 2 Floor Plan		Level 17 Floor Pla
	14,244.67	
Level 3 Floor Plan		Level 18 Floor Pla
	7,381.26	
Level 4 Floor Plan		Level 19 Floor Pla
	7,381.26	
Level 5 Floor Plan		Level 20 Floor Pla
	7,381.26	
Level 6 Floor Plan		Level 21 Floor Pla
	7,381.26	
Level 7 Floor Plan		
	7,381.26	
Level 8 Floor Plan		
	7,381.26	
Level 9 Floor Plan		
	7,381.26	_
Level 10 Floor Plan		
	7,381.26	
Level 11 Floor Plan		_
	7,381.26	
Level 12 Floor Plan	7.004.00	
Land 40 Flag Bi	7,381.26	_
Level 13 Floor Plan	= 004.00	_
Laval 44 Flage Black	7,381.26	_
Level 14 Floor Plan	7.004.00	_
Laval 45 Flags Plan	7,381.26	
Level 15 Floor Plan	= 004.00	_
	7,381.26	

GFA

AREA

E

Level 3 Area Overlay

SCALE: 1/8" = 1'-0"

GFA EXCLUSIONS			
LEVEL	Zone Name	AREA	
Level 1 Floor Plan			
	AMENITY	363.41	
	GARBAGE	188.91	
	GARBAGE	411.73	
	SERVICES	44.06	
	SERVICES	1,432.89	
	STAIR 02	146.04	
	STAIR 03	160.82	
	STORAGE	3,219.81	
Level 3 Floor Plan			
	AMENITY	2,385.22	
		8,352.89 sq	

APARTMENT AREA					
LEVEL	Zone Category	Name	AREA		
Level 3 Floor Plan		•	•		
	Residential	APARTMENTS	3,942.88		
Level 4 Floor Plan		•			
	Residential	APARTMENTS	6,288.48		
Level 5 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 6 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 7 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 8 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 9 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 10 Floor Plan		•	•		
	Residential	APARTMENTS	6,288.48		
Level 11 Floor Plan		•			
	Residential	APARTMENTS	6,288.48		
Level 12 Floor Plan		•	,		
	Residential	APARTMENTS	6,288.48		
Level 13 Floor Plan			,		
	Residential	APARTMENTS	6,288.48		
Level 14 Floor Plan			,		
	Residential	APARTMENTS	6,288.48		
Level 15 Floor Plan			-,		
	Residential	APARTMENTS	6,288.48		
Level 16 Floor Plan			-,		
	Residential	APARTMENTS	6,288.48		
Level 17 Floor Plan			,		
	Residential	APARTMENTS	6,288.48		
Level 18 Floor Plan		,	3,233113		
	Residential	APARTMENTS	6,288.48		
Level 19 Floor Plan	1100100111101	77	0,200.10		
	Residential	APARTMENTS	6,288.48		
Level 20 Floor Plan		1	0,200.10		
	Residential	APARTMENTS	6,288.48		
Level 21 Floor Plan	. toolaontaal	7.1.7.1.1.III.	0,200.40		
	Residential	APARTMENTS	5,305.94		
	. toolaontaal	7.1.7.1.VIIIIEITIO	116,152.98 s		
			110,102.30 8		

CRU AREA						
LEVEL	Zone Category	Name	AREA			
Level 1 Floor Plan	1	•	•			
	Commercial	CRU A	540.86			
	Commercial	CRU B	667.62			
	Commercial	CRU C	1,556.41			
	Commercial	CRU D	718.75			
	Commercial	CRU E	1,345.93			
Level 2 Floor Plan]					
	Commercial	CRU F	1,425.03			
	Commercial	CRU G	1,119.53			
	Commercial	CRU H	1,476.50			
	Commercial	CRU I	988.02			
	Commercial	CRU J	2,025.03			
	Commercial	CRU K	1,110.34			
	Commercial	CRU L	1,060.38			
	Commercial	CRU M	1,215.59			
	Commercial	CRU N	2,106.01			
			17,356.00 sc			



SERVICES 66.48 sq ft

STAIR 01 367.98 sq ft

APARTMENTS 3,942.88 sq ft

8

CORRIDOR 402.04 sq ft

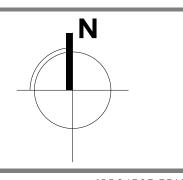
ELEVATOR 216.67 sq ft

5

6



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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 3 Area Overlay

[TITLE]

Monday, January 31, 2022 [DATE]

LEVEL	Zone Category	Y MIXED-USE TOWER Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation Circulation Circulation	ELEVATOR LOBBY MAIL	312.00 1,126.79 180.75
	Circulation Circulation Commercial	STAIR 01 CRU A	518.29 540.86
	Commercial Commercial	CRU B CRU C	667.62 1,556.41
Laval 2 Flags Dlas	Commercial Commercial	CRU D CRU E	718.75 1,345.93
Level 2 Floor Plan	Circulation Circulation	CORRIDOR ELEVATOR	548.08 312.00
	Circulation Circulation	SERVICES STAIR 01	66.42 367.98
	Circulation Commercial	WASHROOMS CRU F	423.76 1,425.03
	Commercial Commercial	CRU G CRU H	1,119.53 1,476.50
	Commercial Commercial	CRU J CRU K	988.02 2,025.03 1,110.34
	Commercial Commercial	CRU L CRU M	1,060.38 1,215.59
Level 3 Floor Plan	Commercial	CRU N	2,106.01
	Circulation Circulation	CORRIDOR ELEVATOR	402.04 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 3,942.88
Level 4 Floor Plan			,
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 5 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
Level 6 Floor Plan	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
LOVELO I IUUI FIAII	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 7 Floor Plan	Residential	APARTMENTS	6,288.48
<u></u>	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 8 Floor Plan	•		,
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 9 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	SERVICES	216.67 66.48
Level 10 Floor Plan	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 10 Floor Plan	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 11 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 12 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 13 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
1445	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 14 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation Circulation	ELEVATOR SERVICES STAIR 01	216.67 66.48 367.98
Level 15 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01	66.48 367.98 6.288.48
Level 16 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 17 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
Lovel 40 Flace Pl	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 18 Floor Plan	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98 6.288.48
Level 20 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 21 Floor Plan	Circulation	CORRIDOR	387.37
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation	STAIR 01	367.98

GFA		
LEVEL	AREA	LEVEL
Level 1 Floor Plan		Level 16 Floor Pla
	13,244.86	
Level 2 Floor Plan		Level 17 Floor Pla
	14,244.67	
Level 3 Floor Plan		Level 18 Floor Pla
	7,381.26	
Level 4 Floor Plan		Level 19 Floor Pla
	7,381.26	
Level 5 Floor Plan		Level 20 Floor Pla
	7,381.26	
Level 6 Floor Plan		Level 21 Floor Pla
	7,381.26	
Level 7 Floor Plan		
	7,381.26	
Level 8 Floor Plan		
	7,381.26	
Level 9 Floor Plan		
	7,381.26	
Level 10 Floor Plan		
	7,381.26	
Level 11 Floor Plan		
	7,381.26	
Level 12 Floor Plan		
	7,381.26	
Level 13 Floor Plan		
	7,381.26	
Level 14 Floor Plan	·	
	7,381.26	
Level 15 Floor Plan	•	
	7,381.26	

AREA

7,381.26

7,381.26

7,381.26

7,381.26

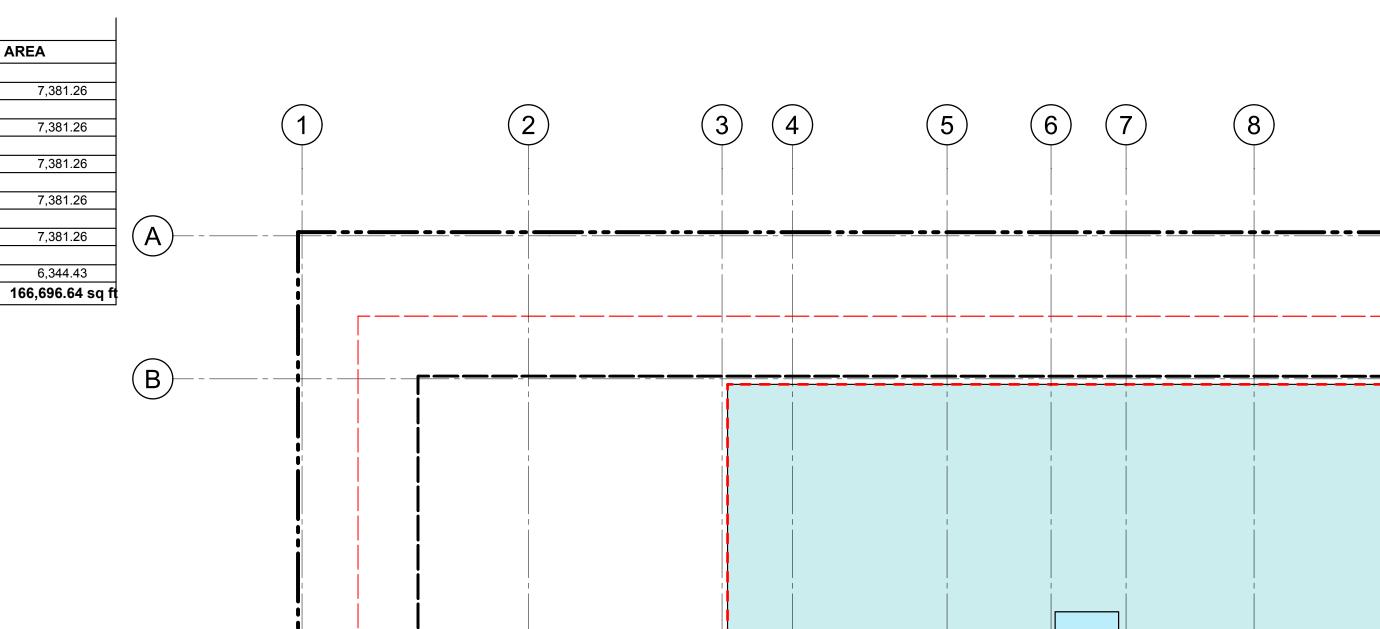
7,381.26

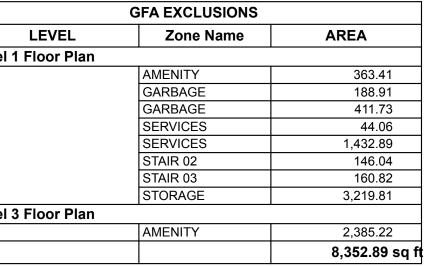
6,344.43

	GFA EXCLUSIONS	
LEVEL	Zone Name	AREA
Level 1 Floor Plan		
	AMENITY	363.41
	GARBAGE	188.91
	GARBAGE	411.73
	SERVICES	44.06
	SERVICES	1,432.89
	STAIR 02	146.04
	STAIR 03	160.82
	STORAGE	3,219.81
Level 3 Floor Plan	<u> </u>	
	AMENITY	2,385.22

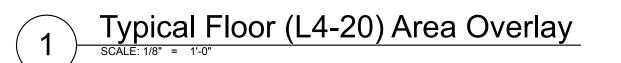
APARTMENT AREA					
LEVEL	Zone Category	Name	AREA		
Level 3 Floor Plan			!		
	Residential	APARTMENTS	3,942.88		
Level 4 Floor Plan		•			
	Residential	APARTMENTS	6,288.48		
Level 5 Floor Plan		•			
	Residential	APARTMENTS	6,288.48		
Level 6 Floor Plan		•			
	Residential	APARTMENTS	6,288.48		
Level 7 Floor Plan		•	,		
	Residential	APARTMENTS	6,288.48		
Level 8 Floor Plan	·	ı	, , ,		
	Residential	APARTMENTS	6,288.48		
Level 9 Floor Plan		ı	, , ,		
	Residential	APARTMENTS	6,288.48		
Level 10 Floor Plan	l		,		
	Residential	APARTMENTS	6,288.48		
Level 11 Floor Plan			-,		
	Residential	APARTMENTS	6,288.48		
Level 12 Floor Plan			-,		
	Residential	APARTMENTS	6,288.48		
Level 13 Floor Plan			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	Residential	APARTMENTS	6,288.48		
Level 14 Floor Plan			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	Residential	APARTMENTS	6,288.48		
Level 15 Floor Plan			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	Residential	APARTMENTS	6,288.48		
Level 16 Floor Plan			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	Residential	APARTMENTS	6,288.48		
Level 17 Floor Plan			-,		
	Residential	APARTMENTS	6,288.48		
Level 18 Floor Plan		1	3,200.10		
	Residential	APARTMENTS	6,288.48		
Level 19 Floor Plan	1001000000	1	1,200.10		
	Residential	APARTMENTS	6,288.48		
Level 20 Floor Plan	. 100.00.1001	1	0,200.10		
	Residential	APARTMENTS	6,288.48		
Level 21 Floor Plan	. toolaalitta		0,200.40		
	Residential	APARTMENTS	5,305.94		
	. 100/00/100/		116,152.98 s		
		1	110,132.90		

CRU AREA						
LEVEL	Zone Category	Name	AREA			
Level 1 Floor Plan	•		•			
	Commercial	CRU A	540.86			
	Commercial	CRU B	667.62			
	Commercial	CRU C	1,556.41			
	Commercial	CRU D	718.75			
	Commercial	CRU E	1,345.93			
Level 2 Floor Plan						
	Commercial	CRU F	1,425.03			
	Commercial	CRU G	1,119.53			
	Commercial	CRU H	1,476.50			
	Commercial	CRU I	988.02			
	Commercial	CRU J	2,025.03			
	Commercial	CRU K	1,110.34			
	Commercial	CRU L	1,060.38			
	Commercial	CRU M	1,215.59			
	Commercial	CRU N	2,106.01			
			17,356.00 sc			





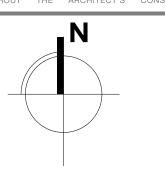
C					ELEVATO 216.67 so	CORRIDOR 441.65 sq ft	SERVICES 66.48 sq ft STAIR 01 367.98 sq ft			
D										D
							APARTMENTS 6,288.48 sq ft			
E										E
(F)								GFA: 7,381.26 sq ft		F
	1	2	3	4	5	6 7	8		9) (10	



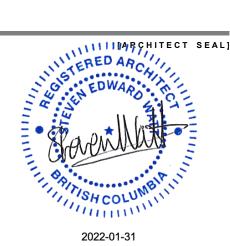


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[PROJECT TEAM]



Three Shores Development

East 14th Street

120-128 East 14th Street North Vancouver, BC

Typical Floor (L4-20) Area Overlay

Monday, January 31, 2022 [DATE]

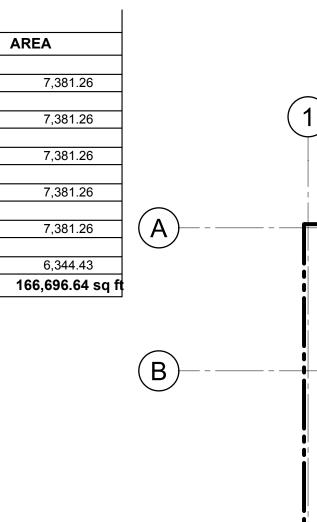
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	Circulation	CORRIDOR	309.93
	Circulation Circulation	ELEVATOR LOBBY	312.00 1,126.79 180.75
	Circulation Circulation Commercial	MAIL STAIR 01 CRU A	518.29 540.86
	Commercial Commercial	CRU B	667.62 1,556.41
	Commercial Commercial	CRU D CRU E	718.75 1,345.93
Level 2 Floor Plan	Circulation	CORRIDOR	548.08
	Circulation Circulation	ELEVATOR SERVICES	312.00 66.42
	Circulation Circulation Commercial	STAIR 01 WASHROOMS CRU F	367.98 423.76 1,425.03
	Commercial Commercial	CRU G	1,119.53 1,476.50
	Commercial Commercial	CRU I CRU J	988.02 2,025.03
	Commercial Commercial	CRU K CRU L CRU M	1,110.34 1,060.38 1,215.59
Level 3 Floor Plan	Commercial Commercial	CRU N	2,106.01
Level 3 i looi i lali	Circulation Circulation	CORRIDOR ELEVATOR	402.04 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 4 Floor Plan	Residential	APARTMENTS	3,942.88
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 5 Floor Plan		•	,
	Circulation Circulation Circulation	CORRIDOR ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 6 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
Lagar St	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 7 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation Circulation	SERVICES STAIR 01	216.67 66.48 367.98
Level 8 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 9 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 10 Floor Plan		CORRIDOR	441.65
	Circulation Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 11 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 12 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation Circulation	SERVICES STAIR 01	216.67 66.48 367.98
Level 13 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 14 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 15 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 16 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation	ELEVATOR SERVICES STAIR 01	216.67 66.48 367.98
Level 17 Floor Plan	Circulation Residential	APARTMENTS	6,288.48
_ovoi ir i loui Fidii	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 18 Floor Plan	Residential	APARTMENTS	6,288.48
<u> </u>	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation	SERVICES STAIR 01	66.48 367.98
Level 19 Floor Plan	Residential	APARTMENTS	6,288.48
	Circulation Circulation	CORRIDOR ELEVATOR	441.65 216.67
	Circulation Circulation Residential	SERVICES STAIR 01 APARTMENTS	66.48 367.98 6,288.48
Level 20 Floor Plan	Circulation	CORRIDOR	441.65
	Circulation Circulation Circulation	ELEVATOR SERVICES	441.65 216.67 66.48
	Circulation Residential	STAIR 01 APARTMENTS	367.98 6,288.48
Level 21 Floor Plan	Circulation	CORRIDOR	387.37
	Circulation Circulation	ELEVATOR SERVICES	216.67 66.48
	Circulation	STAIR 01	367.98

GFA		
LEVEL	AREA	LEVEL
Level 1 Floor Plan		Level 16 Floor Pla
	13,244.86	
Level 2 Floor Plan		Level 17 Floor Pla
	14,244.67	
Level 3 Floor Plan		Level 18 Floor Pla
	7,381.26	
Level 4 Floor Plan		Level 19 Floor Pla
	7,381.26	
Level 5 Floor Plan		Level 20 Floor Pla
	7,381.26	
Level 6 Floor Plan		Level 21 Floor Pla
	7,381.26	
Level 7 Floor Plan		
	7,381.26	
Level 8 Floor Plan		
	7,381.26	
Level 9 Floor Plan		
	7,381.26	
Level 10 Floor Plan		
	7,381.26	
Level 11 Floor Plan		
	7,381.26	
Level 12 Floor Plan		
	7,381.26	
Level 13 Floor Plan		
	7,381.26	
Level 14 Floor Plan		
	7,381.26	
Level 15 Floor Plan		
	7,381.26	7

GFA EXCLUSIONS						
LEVEL	LEVEL Zone Name					
Level 1 Floor Plan						
	AMENITY	363.41				
	GARBAGE	188.91				
	GARBAGE	411.73				
	SERVICES	44.06				
	SERVICES	1,432.89				
	STAIR 02	146.04				
	STAIR 03	160.82				
	STORAGE	3,219.81				
Level 3 Floor Plan						
	AMENITY	2,385.22				
		8,352.89 sq				

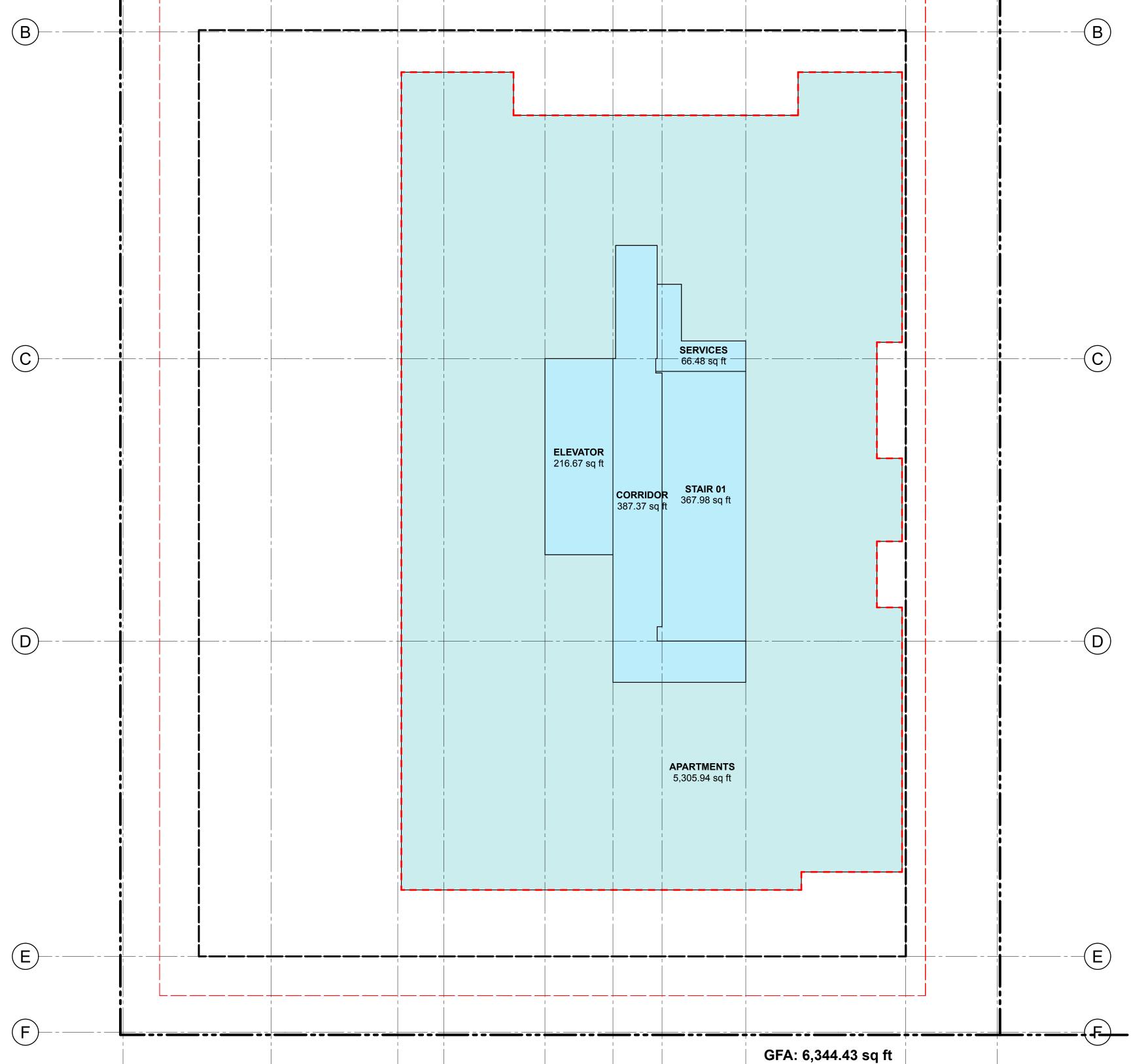
APARTMENT AREA					
LEVEL	Zone Category	Name	AREA		
Level 3 Floor Plan	•	•	•		
	Residential	APARTMENTS	3,942.88		
Level 4 Floor Plan	•				
	Residential	APARTMENTS	6,288.48		
Level 5 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 6 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 7 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 8 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 9 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 10 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 11 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 12 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 13 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 14 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 15 Floor Plan			_		
	Residential	APARTMENTS	6,288.48		
Level 16 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 17 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 18 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 19 Floor Plan					
	Residential	APARTMENTS	6,288.48		
Level 20 Floor Plan			_		
	Residential	APARTMENTS	6,288.48		
Level 21 Floor Plan			_		
	Residential	APARTMENTS	5,305.94		
			116,152.98 sc		

CRU AREA			
LEVEL	Zone Category	Name	AREA
Level 1 Floor Plan	•		
	Commercial	CRU A	540.86
	Commercial	CRU B	667.62
	Commercial	CRU C	1,556.41
	Commercial	CRU D	718.75
	Commercial	CRU E	1,345.93
Level 2 Floor Plan	•		
	Commercial	CRU F	1,425.03
	Commercial	CRU G	1,119.53
	Commercial	CRU H	1,476.50
	Commercial	CRU I	988.02
	Commercial	CRU J	2,025.03
	Commercial	CRU K	1,110.34
	Commercial	CRU L	1,060.38
	Commercial	CRU M	1,215.59
	Commercial	CRU N	2,106.01
			17,356.00 sq f



Level 21 Area Overlay

SCALE: 1/8" = 1'-0"



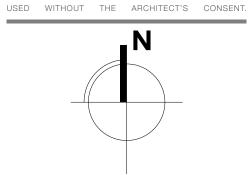
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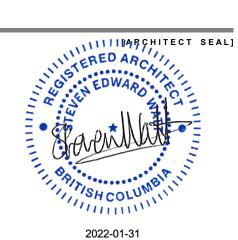


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[PROJECT TEAM]



Three Shores Development

[TITLE]

East 14th Street

120-128 East 14th Street North Vancouver, BC

Level 21 Area Overlay

Monday, January 31, 2022 [DATE]