

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East, North Vancouver, BC

CLIENT:

DARWIN

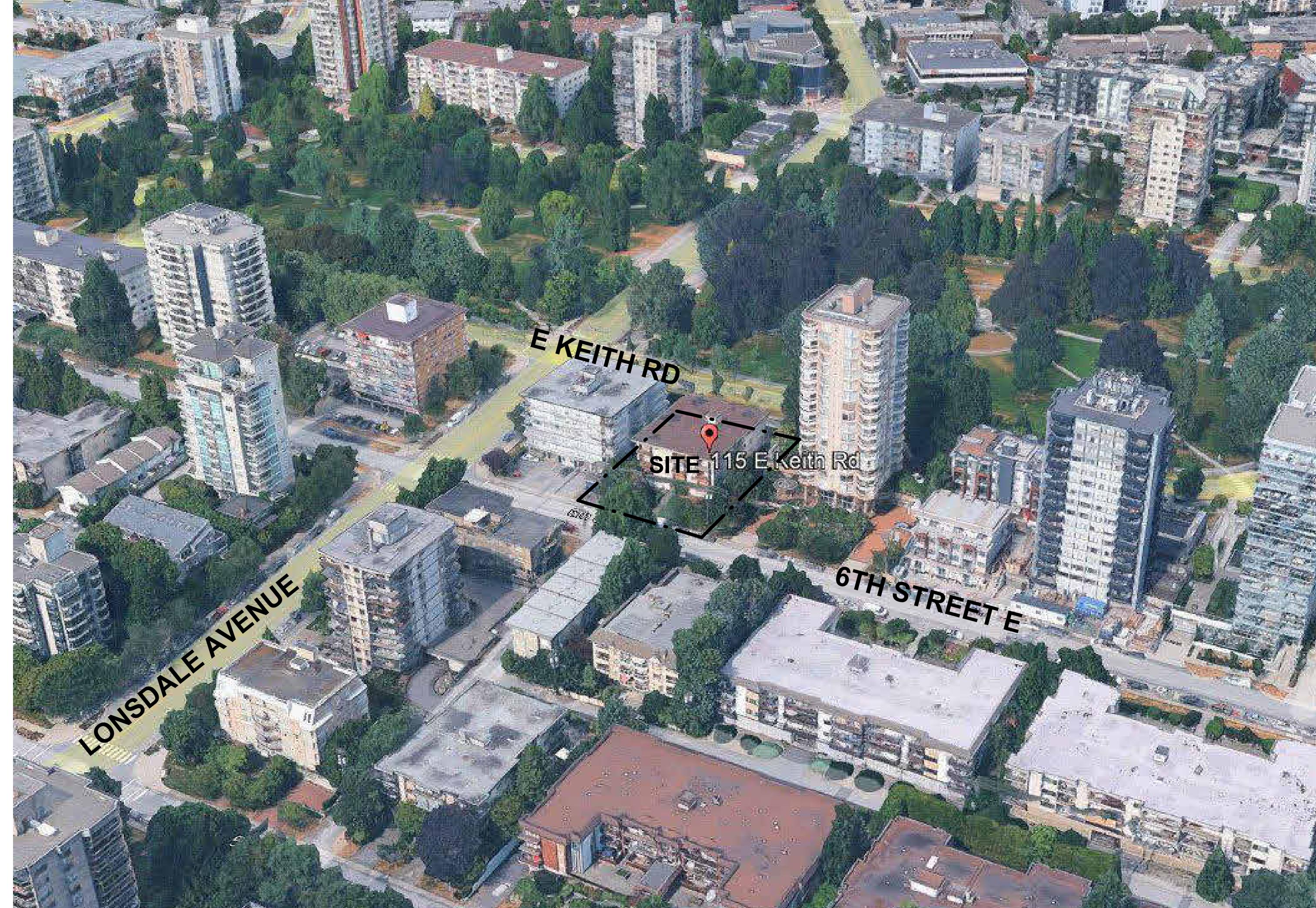
Building for Tomorrow

BFA studio
architects

600 - 355 Burrard Street
Vancouver, BC V6C 2G8



3D VIEWS



AERIAL PHOTO

NOTE: 3D PERSPECTIVES ARE APPROXIMATE ILLUSTRATION
OF BUILDINGS, REFER TO DETAILED DRAWINGS.

PROJECT / CONSULTANT TEAM										
CLIENT	ARCHITECT & INTERIORS	CIVIL CONSULTANT	LANDSCAPE ARCHITECT	GEOTECHNICAL CONSULTANT	MECHANICAL CONSULTANT	ELECTRICAL CONSULTANT	SURVEYOR	ENERGY CONSULTANT	SPRINKLER CONSULTANT	BUILDING ENVELOPE CONSULTANT
DARWIN PROPERTIES 404 - 197 FORESTER STREET NORTH VANCOUVER, BC	BFA STUDIO ARCHITECTS 600 - 355 BURRARD ST. VANCOUVER, BC	R.F. BINNIE & ASSOCIATES LTD. 300-4940 CANADA WAY BURNABY, BC	PERRY & ASSOCIATES 112 E BROADWAY VANCOUVER, BC	RAM CONSULTING 20 - 18 GOSTICK PLACE, NORTH VANCOUVER, BC	ROCKY POINT ENGINEERING LTD. 208-20171 92A AVENUE, LANGLEY, BC V1M 3A5	NEMETZ (S/A) & ASSOCIATES LTD. 2009 W 4TH AVE. VANCOUVER, BC	BENNETT LAND SURVEYING LTD. 201 - 275 FELL AVENUE NORTH VANCOUVER, BC	MURI CONSULTING GROUP INC. 3807 - 1480 HOWE STREET VANCOUVER, BC	ROCKY POINT ENGINEERING LTD. 208-20171 92A AVENUE, LANGLEY, BC V1M 3A5	BC BUILDING SCIENCE LTD. 536-8188 MANITOBA ST., VANCOUVER, BC V5X 0L5
STREETLIGHTING CONSULTANT DMD & ASSOCIATES ELECTRICAL CONSULTANTS LTD. 12 - 17358 104A AVE SURREY, BC	STRUCTURAL CONSULTANT RJC ENGINEERS 300 - 1285 W BROADWAY VANCOUVER, BC	ENVIRONMENTAL CONSULTANT KEYSTONE ENVIRONMENTAL LTD. 320 - 4400 DOMINION ST., BURNABY, BC	TELECOMMUNICATIONS CONSULTANT POSITRONICS 103 - 7088 VENTURA ST. DELTA, BC	COMMISSIONING CONSULTANT ROCKY POINT ENGINEERING LTD. 502 - 211 E GEORGIA ST. VANCOUVER, BC	CODE CONSULTANT GHL CONSULTANTS LTD. 700 W PENDER ST. VANCOUVER, BC	TRAFFIC ENGINEER WATT CONSULTING GROUP 380 - 825 HOMER ST VANCOUVER, BC	CONSTRUCTION EXPOSURE HAZARD ASSESSMENT CONSULTANT GHL CONSULTANTS LTD. 700 W PENDER ST. VANCOUVER, BC			
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18										

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REVISIONS			
NO.	DESCRIPTION	DATE	ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

GRAPHIC LEGEND	
P1	WALL TAG
101	DOOR TAG
P1	WINDOW TAG
R11	ROOF TAG
F1	FLOOR TAG
SIM	SECTION TAG
1 A101	DRAWING CALL-OUT TAG
1 A101	DRAWING CALL-OUT TAG
DXX	DETAIL CALL-OUT TAG
—	PROPERTY LINE
—	SETBACK LINE
SWM	MANIFOLD PANEL SYMBOL
ELEC	ELECT PANEL SYMBOL
WB	LAUNDRY WATER BOX SYMBOL
MED	MEDIA PANEL SYMBOL

PARTITION FIRE RESISTANCE RATING LEGEND	
	3/4 HOUR FIRE SEPARATION
	1 HOUR FIRE RESISTANCE RATING
	1 HOUR FIRE SEPARATION
	1.5 HOUR FIRE SEPARATION
	2 HOUR FIRE RESISTANCE RATING
	2 HOUR FIRE SEPARATION
	2 HOUR FIRE-WALL
	2 HOUR RATED SHAFT ASSEMBLY

ABBREVIATIONS LEGEND	
A.F.F.	ABOVE FINISHED FLOOR
A.B.	AIR BARRIER
ALUM.	ALUMINUM
ADO	AUTO DOOR OPERATOR
AD.	ADDITION
BG	BUILDING GRADE
B/S	BASMENT
BD.	BOARD
B.S.	BOTTOM OF SLAB
B.W.	BOTTOM OF WALL
BLDG.	BUILDING
C.B.	CATCH BASIN
C.I.P.	CAST-IN-PLACE
CLG.	CLADDING
CLG.	CEILING
C/L	CENTRE LINE
C/W	COMPLETE WITH
C/L.	CLEARANCE
CONC.	CONCRETE
CONT.	CONTINUOUS
CJ	CONTROL JOINT
CORR.	CORRIDOR
DIA.	DIAMETER
DN	DOWN
DWGS	DRAWINGS
DW	DISHWASHER
EG	EXISTING GRADE
ELECT.	ELECTRICAL
ELEV.	ELEVATION
ENCL.	ENCLOSURE
EQ.	EQUAL
EXT.	EXTERIOR
FEC	FLUSHING CABINET
F.D.	FLOOR DRAIN
FDN	FOUNDATION
FG	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
FTG.	FOOTING
GA.	GAUGE
GL.	GLASS
GR.	GRADE
GWB	GYPSUM WALLBOARD
H/C	HANDICAPPED
HT.	HEIGHT
HORIZ.	HORIZONTAL
H.B.	HORIZONTAL BUB
HR.	HOUR
HWH	HOT WATER HEATER
LINE.	LINE
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
NOT APPLICABLE	N/A
NOT IN CONTRACT	N.I.C.
NOT TO SCALE	N.T.S.
OC.	ON CENTRE
OPG.	OPEN
PLAN.	PLAN
P&S	PEEL & STICK
PLYWOOD	PLYWOOD
PREFIN.	PREFINISHED
P.T.	PRESSURE TREATED
P/L.	PROPERTY LINE
R.	RADIUS
R.	RISER
R.V.L.	RADIANT WATER LEADER
REQD.	REQUIRED
REV.	REVISION
R&S	ROD & SHELF
RM.	ROOF
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
SD.	SLAB DRAIN
STL.	STEEL
SPEC.	STRUCTURAL SPECIFICATION
SF	SQUARE FEET
SM	SQUARE METERS
S.S.	STAINLESS STEEL
STR.	STAIR



CONTEXT PLAN

THIS DOCUMENT HAS BEEN DIGITALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE ARCHITECTURAL INSTITUTE OF BC AND THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF BC. THE DOCUMENT IS A DIGITAL COPY OF THE ORIGINAL. IT IS THE RESPONSIBILITY OF THE SIGNER TO CERTIFY THAT THE DIGITAL COPY IS AN ACCURATE AND UNALTERED COPY AND THAT THE SIGNER IS THE INDIVIDUAL NAMED ON THE SIGNATURE LINE. THIS DOCUMENT IS A PROOF OF SIGNATURE AND NOT A CONTRACT. IT IS PROVIDED FOR INFORMATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE SIGNER TO KEEP THE DOCUMENT FOR A PERIOD OF 10 YEARS FROM THE DATE OF SIGNATURE.

PROJECT NO. 25611

PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

ABBREVIATION, LEGEND &
CONTEXT PLAN

SEAL

DRAWING NO. I REVISION

DATE 2025-07-04 DRAWN AZ/MC
SCALE CHECKED
HB

A002

GENERAL NOTES:

1.1 THE CONTRACTOR SHALL EXERCISE PROPER PRECAUTION TO VERIFY DIMENSIONS AND PROPERTY LINE BEARINGS BEFORE LAYING OUT WORK AND BE RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO EXERCISE SUCH PRECAUTION.

1.2 DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS TAKE PRIORITY OVER SMALLER SCALE DRAWINGS.

1.3 MAINTAIN AT ALL TIMES ON SITE, FOR REFERENCE, APPROVED BUILDING PERMIT DRAWINGS, POSTING CARDS, COPIES OF ALL REPORTS FROM THE MUNICIPALITY, INSPECTIONS, ADDENDA, CLARIFICATION DRAWINGS OR INTERIM REPORTS. DO NOT DAMAGE OR MARK APPROVED BUILDING PERMIT DRAWINGS. MAINTAIN ADDITIONAL SET OF DRAWINGS FOR NOTATION, ON SITE, INDICATING ALL CHANGES TO THE APPROVED PERMIT SET, FOR USE BY CONSULTANTS IN PREPARATION OF "RECORD DRAWINGS" AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

1.4 DEVIATIONS FROM THESE DRAWINGS ARE NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. CONTRACTOR IS TO KEEP A WRITTEN RECORD OF ALL CHANGES, NOTIFY THE ARCHITECT IMMEDIATELY OF ANY PROPOSED CHANGES IN THE WORK, AND NOT PROCEED WITH CHANGES UNTIL APPROVED. ON COMPLETION OF WORK, RETURN APPROVED PERMIT DRAWINGS TOGETHER WITH MARKED-UP SITE SET TO THE ARCHITECT, CLEARLY NOTING ANY INFORMATION TO FULLY DESCRIBE THE AS-BUILT CONDITION OF THE BUILDING.

1.5 ALL MATERIALS SHALL BE NEW AND OF THE QUALITY AND GRADE SPECIFIED. NO SECONDS, OFF GRADES OR MATERIALS, WHICH DO NOT MEET THE TOLERANCE SPECIFICATIONS WILL BE ACCEPTED IN THE FINISHED WORK.

1.6 ALL WORK PERFORMED ON THIS PROJECT IS TO BE IN STRICT ACCORDANCE WITH THE CURRENT BUILDING CODE. THE CONDITIONS OF THE BUILDING PERMIT CAN NOT BE CHANGED WITHOUT WRITTEN APPROVAL FROM THE AUTHORITY HAVING JURISDICTION. ALL WORK IS TO CONFORM TO THE EXCISES MINIMUM STANDARDS OF THE CANADIAN STANDARDS ASSOCIATION, IN ACCORDANCE WITH THE BY-LAWS, THE WORKERS' COMPENSATION BOARD AND THE MANUFACTURERS' SPECIFICATIONS FOR MATERIAL SUPPLIED FOR THIS PROJECT, AS APPLICABLE. IT IS INCUMBENT ON THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE BUILDING CODE.

1.7 INTERIOR DIMENSIONS ARE TAKEN TO FACE OF STUD. EXTERIOR DIMENSIONS ARE TAKEN TO THE FACE OF EXTERIOR SHEATHING. DIMENSIONS OF CONCRETE OR MASONRY COMPONENTS ARE TAKEN TO THE FACE OF CONCRETE OR MASONRY. DIMENSIONS OF STEEL COMPONENTS ARE TAKEN TO THE FACE OF STEEL STUD.

1.8 PARTY WALLS ARE TO BE CONSTRUCTED FOR THEIR FULL HEIGHT AS A CONTINUOUS FIRE SEPARATION AS PER WALL SCHEDULE. ALL PARTITION WALLS ARE TO BE CONSTRUCTED AS A CONTINUOUS FIRE STOPPING ASSEMBLY. PARTITION WALLS ARE TO BE PLACED IN PARTY WALLS. BACK TO BACK SERVICE PENETRATIONS MUST BE OFFSET BY A MINIMUM OF 12". ALL PENETRATIONS IN A PARTY WALL OR CORRIDOR WALL TO BE FIRE STOPPED. THE AIR SPACE MUST BE OPEN AND UNOBSTRUCTED. IT IS INCUMBENT ON THE GENERAL CONTRACTOR TO COORDINATE THE WORK TO ENSURE ITEMS SUCH AS THE PLUMBING AND GAS LINES TO NOT INTO THE AIR SPACE.

1.9 SHOP DRAWINGS AND SPECIFICATIONS, COMPLETE WITH ASSURANCE OF DESIGN AND COMMITMENT FOR FIELD REVIEW, LETTERS OF ASSURANCE (SCHEDULES S-B AND S-C), ARE TO BE PROVIDED FOR ALL HANDRAILS, GUARDRAILS, CANOPIES, WINDOW TRUSSES AND OTHER PREFABRICATED ELEMENTS NOTED IN THE DRAWINGS. THESE SUBMITTALS ARE TO BE PREPARED THROUGH THE CONTRACTOR'S ENGINEER AND SUBMITTED TO THE ARCHITECT AND APPROVED PRIOR TO FABRICATION AND INSTALLATION. FIELD REVIEW REPORTS BY THE SIGNING ENGINEER ARE TO BE SUBMITTED TO THE CONTRACTOR AND ARCHITECT. FINAL DESIGN DRAWINGS TO BE PROVIDED AT THE END OF THE JOB FOR INCLUSION IN THE RECORD SET SUBMISSION.

1.10 SPECIFICATIONS ISSUED FOR ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE TO BE TAKEN IN CONJUNCTION WITH, AND FORM AN INTEGRAL PART OF, THE CONTRACT DOCUMENTS.

1.11 THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING A FIRE SAFETY PLAN IN ACCORDANCE WITH THE CURRENT BC FIRE CODE, FOR APPROVAL BY THE BUILDING AND FIRE DEPARTMENTS.

2.0 SITE WORK:
2.1 FOR SITE AND LANDSCAPE INFORMATION AND DETAILS, THE CONTRACTOR SHALL REFER TO THE DRAWINGS AND SPECIFICATIONS PREPARED BY THE GEOTECHNICAL ENGINEER, ELECTRICAL ENGINEER, MECHANICAL ENGINEER, LANDSCAPE ARCHITECT, CIVIL ENGINEER AND THE ARBOURIST.

2.2 SIDEWALKS, STREET LIGHTING, TREES AND ROADWAYS TO BE REPAVED BY THE CONTRACTOR TO THE STANDARDS AND SATISFACTION OF THE MUNICIPAL ENGINEER.

2.3 SLOPE ALL PATIOS AND WALKWAYS AWAY FROM BUILDINGS AT A MINIMUM OF 2% AND A MAXIMUM OF 5% FOR DRAINAGE. SEE LANDSCAPE DRAWINGS FOR THE THICKNESS OF FINISHES AND DRAINAGE LAYER.

3.0 CONCRETE:
3.1 REFER TO THE BUILDING ENVELOPE ENGINEER'S DETAILS OR ADDITIONAL REQUIREMENTS.

3.2 ALL VERTICAL CONCRETE CORNERS TO BE CHAMFERED 3/4" UNLESS OTHERWISE NOTED.

3.3 PROVIDE VERTICAL CONTROL JOINTS AT MAX. 16'-0" O.C. AT ALL PARKADE WALLS. REFER TO STRUCTURAL DRAWINGS.

3.4 ALL EXPOSED CONCRETE TO BE ARCHITECTURAL FINISH. SEE STRUCTURAL DRAWINGS FOR NOTES ON STRIPPING.

3.5 ANY CHANGES IN CONCRETE GRADES WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER, LANDSCAPE ARCHITECT AND ARCHITECT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT.

3.6 CONTRACTOR SHALL REVIEW DRAWINGS FOR EXTENT OF EXPOSED ARCHITECTURAL FINISH CONCRETE AND SHALL ENSURE THAT THE APPROPRIATE SUBCONTRACTORS ARE AWARE OF THE REQUIRED LEVEL OF FINISH.

5.0 METALS:
5.1 FOR ALL CONCRETE REINFORCING REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS.

5.2 PROVIDE HANDRAILS TO A MINIMUM 3/4" AND MAXIMUM 4" ABOVE NOSE FOR ALL STAIRS FORMING PART OF AN EXIT ROUTE AND HAVING 3 OR MORE RISERS. PROVIDE CONTINUOUS HANDRAIL, ONE SIDE OF STAIRS LESS THAN 3 1/2" HIGH, AND HANDRAILS ON BOTH SIDES OF STAIRS WIDER THAN 3 1/2". REFER TO DETAILS FOR SPECIFIC DIMENSIONAL REQUIREMENTS. SUBMIT TO THE ARCHITECT AND ENGINEER SHOP DRAWINGS, COMPLETE WITH LETTERS OF ASSURANCE, TOGETHER WITH CALCULATIONS SEALED BY THE SPECIALTY ENGINEER INDICATING DETAILS OF CONNECTIONS MADE TO THE BUILDING STRUCTURE.

5.3 HANDRAILS TO BE CONTINUOUS ALONG FULL LENGTH OF STAIR AND BEYOND TOP AND BOTTOM RISER AS PER THE CURRENT BUILDING CODE. PROVIDE SLOPED TRANSITION FOR CONTINUOUS HANDRAIL AT STAIR LANDINGS - NO VERTICAL DROPS.

5.4 GUARDS TO BE 3/4" (U.N.C.) HIGH AND HAVE NO CLEAR OPENING GREATER THAN 4". HANDRAILS AND GUARDS TO MEET THE LOADING REQUIREMENTS OF THE CURRENT BUILDING CODE. SHOP DRAWINGS MUST BE SUBMITTED FOR ARCHITECTS AND ENGINEER'S REVIEW PRIOR TO MANUFACTURE. ENGINEER TO PROVIDE FIELD REVIEW OF INSTALLED GUARDS, INCLUDING FIELD REVIEW REPORT. GUARDRAILS ARE SUBJECT TO CODE REQUIREMENTS FOR NON-CLIMBABILITY.

5.5 HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER NOT LESS THAN 1 1/4" AND NOT MORE THAN 1 5/8". REFER TO ARCHITECTURAL DETAILS.

5.6 CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL DECORATIVE METAL FENCES, GATES AND RELATED ACCESSORIES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE ARCHITECT.

6.0 WOOD & PLASTICS:
6.1 WOOD FRAMING SHALL BE PROTECTED FROM RAIN AND SNOW DURING CONSTRUCTION. WOOD FRAMING SHALL BE BELOW THE MAXIMUM ALLOWABLE MOISTURE CONTENT OF 19% AT THE TIME OF INSULATING AND INSTALLING THE VAPOR BARRIER. MOISTURE CONTENT OF 19% IS TO BE DETERMINED BY THE MANUFACTURER AND TESTED BY THE CONTRACTOR. REFER TO THE DRAWINGS TO REVIEW AND APPROVAL OF MOISTURE CONTENT BY THE BUILDING INSPECTOR, BUILDING ENVELOPE ENGINEER AND ARCHITECT. PROTECT WOOD MEMBERS ADJACENT TO CONCRETE WITH CLOSED CELL FOAM GASKET OR 45LB DAMP PROOF COURSE.

6.3 PROVIDE SOLID BLOCKING OVER ALL SUITE DEMISING WALLS, CORRIDOR WALLS, AND EXIT PARTITIONS. PROVIDE SOLID BLOCKING BEHIND ALL ATTACHMENTS AND IN WALLS OF TUBS AND SHOWERS FOR FUTURE GRAB BARS.

6.4 ALIGN ALL WINDOW AND DOOR HEADS AS PER WINDOW SCHEDULE AND ELEVATIONS.

6.5 CONTRACTOR TO CONFIRM THAT ALL CLEARANCES TO APPLIANCES (INCLUDING KITCHEN APPLIANCES AND GAS FIREPLACES) CONFORM TO MANUFACTURER'S SPECIFICATIONS. ALL STACKED WASHER AND DRYER LOCATIONS TO SUFFICIENT VERTICAL BLOCKING BEHIND DRYWALL TO FIX APPLIANCES AS PER MANUFACTURER'S SPECIFICATIONS.

6.6 PROVIDE MIN. CLEARANCE BETWEEN COMBUSTIBLE MATERIAL AND KITCHEN COOKTOPS AND OVENS AS PER THE CURRENT BUILDING CODE.

6.7 ALL WOODWORK TO MEET AWMAC STANDARDS.

6.8 AT ALL INTERIOR 1HR RATED LOAD PARTITIONS - PROVIDE MIN. 5/8" TYPE 'X' GYPSUM BOARD AROUND THE INSIDE OF ALL SERVICE OPENINGS GREATER THAN 160CM² (5'X5') TO MAINTAIN THE REQUIRED FIRE RESISTANCE RATING - ELECTRICAL PANELS, MEDIA BOXES, MANIFOLD, WASHER/DRYER SHUT-OFF BOXES, ETC. - FRAME ROUGH-OPENINGS ACCORDINGLY.

7.0 THERMAL AND MOISTURE PROTECTION:
7.1 REFER TO THE BUILDING ENVELOPE ENGINEER'S DETAILS FOR ADDITIONAL REQUIREMENTS.

7.2 ALL EXPOSED FLASHINGS ARE TO BE PRE-FINISHED STEEL IN STANDARD COLOUR. FLASHING OVER PARAPET AT ROOF LEVEL OR PARAPET STEEL FLASHING ARE TO HAVE STANDING SEAL, LOGIC OR MECHANICALLY FASTENED THROUGH SIDES ONLY AND CAULKED AT ALL LAPS. FASTENERS AND FLASHING ARE TO BE COMPATIBLE WITH RESPECT TO CORROSION. REVIEW AND APPROVAL BY THE BUILDING ENVELOPE AND ROOFING INSPECTOR IS REQUIRED.

7.3 ALL ROOFING AND WATERPROOF MEMBRANES ARE TO BE INSTALLED TO MEET 5-YEAR RCABC STANDARDS. SUPPLIER AND INSTALLER ARE TO PROVIDE A MINIMUM WARRANTY PRODUCT AND INSTALLATION GUARANTEE.

7.4 ALL CONCRETE WALLS BELOW GRADE TO BE SBS SHEET-APPLIED WATERPROOFING ON EXTERIOR FACE AS PER MANUFACTURER'S SPECIFICATIONS. CONCRETE SURFACE TO BE PREPARED SUFFICIENTLY SO THAT WATERPROOFING IS CONTINUOUS OVER ALL Voids, AIR BUBBLES, AND PIN-HOLES. CONCRETE WALLS WITH HABITABLE SPACE BELOW GRADE TO BE PROVIDED WITH WATERPROOF MEMBRANE TO STANDARDS ACCEPTABLE BY BUILDING ENVELOPE ENGINEER.

7.5 VAPOUR AND AIR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS AND EDGES ARE SEALED WITH CAULKING AT FRAMING MEMBERS, FURRING OR BLOCKING AND LAPS. ALL HOLES THROUGH VAPOUR AND AIR BARRIERS, SUCH AS THOSE CUT OUT FOR INSTALLATION OF ELECTRICAL BOXES OR DUCT WORK, SHALL BE SEALED TO MAINTAIN THE CONTINUITY OF THE VAPOUR AND AIR BARRIERS OVER THE EXTERIOR SURFACE AS PER THE CURRENT BUILDING CODE.

7.6 PROVIDE FLASHING, INCLUDING BUT NOT LIMITED TO, OVER ALL EXTERIOR DOORS AND WINDOWS, EXPOSED CURBES, PARAPETS, TOPS OF WALLS AND AT FLOOR LEVEL (THRU-WALL) UNLESS DETAILED OTHERWISE.

7.7 PROVIDE A WATERPROOF MEMBRANE, WITH PRIMER COMPATIBLE WITH SUBSTRATE MATERIAL, AT ALL BUILDING OPENINGS AND THE TOP OF PONY WALLS AND ROOF PARAPETS. APPLICATION TO BE THE SILL OF OPENINGS IN THE FRAMING AND UP THE SIDE OF THE WALL, FULLY INTEGRATED AND LAPPED WITH THE AIR BARRIER MEMBRANE. REFER TO ARCHITECTURAL AND BUILDING ENVELOPE ENGINEER'S DETAILS.

7.8 PROVIDE WATERPROOF MEMBRANE IN A SADDLE FLASHING AT ALL WALL/WALL AND PARAPET/WALL CONDITIONS. CONTRACTOR SHALL REVIEW SEQUENCE OF MATERIAL INSTALLATION WITH THE ARCHITECT AND THE BUILDING ENVELOPE ENGINEER.

7.9 WATERPROOF MEMBRANES FOR DECKS OVER HABITABLE AREAS TO BE APPROVED FOR USE IN RESIDENTIAL APPLICATIONS, TO MINIMUM STANDARD OF SHEET WATERPROOF MEMBRANE OR PRIOR APPROVED EQUIVALENT. SUPPLIER AND INSTALLER ARE TO PROVIDE A MINIMUM WRITTEN PRODUCT AND INSTALLATION GUARANTEE TO COORDINATE WITH THE SCOPE OF WORK. PROVIDE CERTIFICATION THAT MATERIAL CONFORMS TO THE REQUIREMENTS OF CSA-S413-14 TO THE ARCHITECT PRIOR TO USE.

7.10 CONTRACTOR TO PROVIDE ARCHITECT WITH A COPY OF ROOFING AND FLASHING TEST REPORT FROM A BUILDING ENVELOPE ENGINEER, TO BE NAMED PRIOR TO START OF ROOFING.

7.11 CONTRACTOR SHALL PROVIDE A FIELD MOCK-UP AND PRODUCT SAMPLES FOR CONNECTION OF GUTTERS TO RAIN WATER LEADERS AND DRAINS WHERE DRAINAGE IS TAKEN BACK INTO THE BUILDING. REQUIRED DRAWINGS ARE TO INDICATE, BUT ARE NOT LIMITED TO, METAL FLASHING, MEMBRANES AND CAULKING DETAILS. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO THE START OF WORK.

7.12 INSULATE ALL STUD CAVITIES WHERE MECHANICAL AND PLUMBING LINES RUN THROUGH. ALL DRAINAGE OFFSETS WITHIN DROPPED CEILING SPACES TO BE PACKED WITH MINERAL WOOL INSULATION TO SURROUND PIPES.

7.13 INSULATE VENTILATION DUCTS THAT PASS-THROUGH BALCONY, SOFFIT, OR ATTIC SPACES. LOCATE SOFFIT VENTS TO THE OUTSIDE EDGE OF THE SOFFIT. PROVIDE SEALED 6ML POLY BARRIER AT ALL SOFFIT VENT TERMINATIONS FOR 3' BEYOND ALL SIDES OF VENT.

7.14 ALL EXTERIOR DRAINS THAT EXTEND THROUGH HEATED SPACE ARE TO BE INSULATED AND WRAPPED WITH CONTINUOUS VAPOUR RETARDER.

7.15 ROOF VENTILATION SHALL BE MADE CONTINUOUS UNLESS NOTED OTHERWISE SO THAT MAXIMUM EAVE TO EAVE VENTILATION IS PROVIDED. LEAD SPACES BLOCKED BY ROOF PROJECTIONS OR OTHER STRUCTURES SUCH AS FIRE STOP, COMPARTMENTALIZATION, SHALL BE VENTED BY PRE-MANUFACTURED ROOF VENTS AS LOCATED ON ROOF PLAN AND COUNTER FLASHER AS PER RCABC RECOMMENDATION AND INTEGRATED AS PER BUILDING ENVELOPE DETAIL. SIZE OF ROOF VENTS TO BE DETERMINED BASED ON SPECIFIC TYPE USED. CLEAR VENT AREA TO BE STRICTLY IN ACCORDANCE WITH VENTILATION AREA REQUIREMENTS FOR CURRENT BUILDING CODE AND "NATURAL AIRFLOW VENTILATORS FOR BUILDINGS". SUBMIT PRODUCT DATA SHEET AND TEST CERTIFICATIONS FOR ALL VENTILATION PRODUCTS TO THE ARCHITECT/BUILDING ENVELOPE ENGINEER/ROOFING INSPECTOR FOR APPROVAL PRIOR TO MANUFACTURING OR ORDERING. WRITTEN SPECIFICATIONS ARE TO INCLUDE THE EQUIVALENT "EFFECTIVE CLEAR AREA" FOR ALL VENTS.

7.16 AIR BARRIER MEMBRANES SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS AND EDGES ARE SEALED AT FRAMING MEMBERS, FURRING OR BLOCKING. ALL HOLES THROUGH AIR BARRIER SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER OVER THE ENTIRE SURFACE TO COMPLY WITH CAN2-51-32 AND INSPECTED AND APPROVED BY BUILDING ENVELOPE ENGINEER. REFER TO ARCHITECT'S DETAILS FOR INSTALLATION AND LAPPING REQUIREMENTS.

7.17 ALL WALL PLATES TO BE SET ON SILL GASKETS AND BE ANCHORED AS PER STRUCTURAL DRAWINGS.

7.18 ALL EXTERIOR SEALANTS SHALL BE 1-PART URETHANE BASED OR APPROVED ALTERNATE. SILICONE BASED SEALANTS ARE NOT ACCEPTABLE FOR EXTERIOR USE. CONTRACTOR TO PROVIDE PRODUCT SPECIFICATIONS FOR ALL PROPOSED CAULKING AND SEALANTS FOR REVIEW BY THE ARCHITECT AND BUILDING ENVELOPE CONSULTANT PRIOR TO THE START OF INSTALLATION.

7.19 ALL PIPING, INCLUDING TRAPS AND TOILET FLANGES, TUBING, DUCTS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRESTOP OR A WALL/ROOF ASSEMBLY SHALL BE SEALED AT THE PENETRATION. ALL PIPING, DUCTS, TUBING, DRAINS, SHOWER HEADS, AND OTHER EQUIPMENT THAT PENETRATE A FIRESTOP OR A WALL/ROOF ASSEMBLY SHALL BE SEALED. CONTRACTOR IS TO SUBMIT WRITTEN FIRE-STOPPING SYSTEM DOCUMENTATION TO THE ARCHITECT FOR PRE-APPROVED. A MOCKUP OF ALL TYPICAL INSTALLATIONS IS TO BE PROVIDED FOR THE ARCHITECT AND APPROVING AUTHORITY PRIOR TO COMPLETION OF ALL SITE LOCATIONS.

7.20 NO SERVICE PENETRATIONS INTO A PARTY WALL MAY BE LARGER THAN 4" SQUARE. SERVICE PENETRATIONS ON EITHER SIDE OF A FIRE SEPARATION (IE. EXIT STAIR, CORRIDOR AND/ OR PARTY-WALL) ARE NOT PERMITTED TO BACK ON TO ONE ANOTHER, AND ARE TO BE AVOIDED BY PLACING EACH ONE IN ANOTHER SERVICE PENETRATION. LOCATE STUD CAVITIES AND PLUMBING OTHER THAN SERVICE PENETRATIONS IN THE PARTY WALL. SERVICE PENETRATIONS ARE TO BE LOCATED IN THE PLUMBING SPACES IN THE CENTER OF EACH SIDE OF THE STUD CAVITY. ALL PENETRATIONS IN THE PARTY WALL MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIALS TO THE GYPSUM WALL BOARD PER MANUFACTURER'S TESTED APPROVED SPECIFICATIONS.

7.21 PROVIDE ACCESS TO EVERY ATTIC OR CONCEALED ROOF SPACE MORE THAN 800MM HIGH AS PER THE CURRENT BUILDING CODE AND MAINTAIN THE REQUIRED FIRE SEPARATION WHERE APPLICABLE. ROOF ACCESS HATCHES TO ROOFS TO BE MIN. 3' X 4' CLEAR OPENING.

7.22 GYPSUM WALL BOARD TO RUN CONTINUOUSLY BEHIND BATHROOMS, CEILING DROPS, AND FIREPLACES TO COMPLETE RATED WALL ASSEMBLY BETWEEN UNITS. PRIOR TO BEING FURRED OUT TO RECEIVE FIREPLACE, GYPSUM WALL BOARD TO RUN CONTINUOUSLY BEHIND BATHTUBS AND SHOWERS, WITH WATER RESISTANT WALL BOARD PLACED OVER RATED WALLS THAT SURROUND TUB.

6.0 DOORS AND WINDOWS:
6.1 ALL WINDOWS AND DOORS SHALL CONFORM TO THE MOST CURRENT EDITION OF THE CURRENT BUILDING CODE AND NAFS-11 STANDARDS.

6.2 ALL DIMENSIONS ARE TO BE CONFIRMED WITH SITE CONDITIONS.

6.3 WINDOW SUPPLIER(S) SHALL PROVIDE LETTERS OF ASSURANCE FOR DESIGN AND REVIEW OF WINDOWS WITH RESPECT TO STRUCTURAL ASPECTS. SHOP DRAWINGS SHALL BE REQUIRED PRIOR TO MANUFACTURE. SHOP DRAWINGS TO BEAR SEAL OF STRUCTURAL ENGINEER REGISTERED IN THE PROVINCE OF BC. ENGINEER TO PROVIDE LETTERS OF ASSURANCE (SCHEDULES S-B AND S-C) AND FIELD REVIEW FOR COMPONENTS COVERED. SHOP DRAWINGS TO CONFIRM CERTIFICATION OF WINDOW ASSEMBLY FOR AIR AND WATER INFILTRATION RATINGS.

6.4 WINDOWS AND DOORS SHALL BE DESIGNED AND INSTALLED TO RESIST WIND PRESSURE AND SEISMIC EFFECTS, AND CONFORM TO THE CURRENT BUILDING CODE, NAFS-11, AND CSA A440-S1.

6.5 SITE TESTING TO BE REVIEWED BY THE BUILDING ENVELOPE ENGINEER AND ARCHITECT. TESTING IS REQUIRED ON A MINIMUM OF 1% OF THE WINDOWS. SHOULD ANY OF THE WINDOWS FAIL, THE WINDOWS(M) MUST BE REPAIRED AND RE-TESTED, PLUS TWO ADDITIONAL WINDOWS. PLEASE NOTE THAT ALL TESTING MUST BE DONE TO THE WINDOWS AS SUPPLIED WITH NO TEMPORARY MODIFICATIONS TO THE ASSEMBLY, I.E. BLOCKING THE DRAINAGE HOLES.

6.6 ENTRY DOORS AND WINDOWS WITHIN 2 M OF ADJACENT GRADE TO BE PROTECTED FOR RESISTANCE TO FORCED ENTRY TO CONFORM WITH THE CURRENT BUILDING CODE.

6.7 ALL WINDOWS ABOVE THE GROUND FLOOR WITH OPENING PANELS NOT ABOVE BALCONIES, TO HAVE FIXED LIGHTS WITHIN 1070MM(42") ABOVE FINISHED FLOOR. ALL WINDOW COMPONENTS AT OR BELOW THE HEIGHT OF 1070MM(42") ABOVE FINISHED FLOOR, TO MEET THE REQUIREMENTS FOR A GUARDRAIL AND BE PROTECTED IN ACCORDANCE WITH THE CURRENT BUILDING CODE.

6.8 ALL WINDOWS AND DOORS TO CONFORM TO THE SAFETY GLASS REQUIREMENTS OF THE CURRENT BUILDING CODE.

6.9 ALL DOORS, WINDOWS, AND SKYLIGHTS TO CONFORM TO THE PERFORMANCE AND SECURITY REQUIREMENTS OF THE CURRENT BUILDING CODE.

6.10 ALL SUITE ENTRY DOORS TO HAVE VIEWERS AS PER THE CURRENT BUILDING CODE.

6.11 HINGES TO EXTERIOR OUTSWING DOORS TO HAVE NON-REMOVABLE PINS.

6.12 ALL UNIT ENTRIES AND SWINGING PATIO DOORS TO HAVE DEAD BOLTS WITH A MIN. 1" THROW CONFORMING TO THE CURRENT BUILDING CODE.

6.13 DOOR STRIKE PLATES ARE TO BE FASTENED TO FRAMES CONFORMING TO THE CURRENT BUILDING CODE.

6.14 BLOCKING IS REQUIRED AT LOCK HEIGHT OF EXTERIOR DOORS AND FRAMES TO CONFORMING TO THE CURRENT BUILDING CODE.

6.15 ALL INTERIOR UNRATED DOORS TO BE UNDERCUT BY 1/2" ABOVE THE FLOOR COVERING.

6.16 ALL EXTERIOR DOORS SHALL CONFORM TO CAN/CSA 0132.2 AND SHALL BE CLEARLY LABELED AS PER THE CURRENT BUILDING CODE.

6.17 MIRRORED CLOSET DOORS REQUIRE SAFETY BACKING AND SHALL CONFORM TO CAN/CSB-82.6-M AND TO THE CURRENT BUILDING CODE.

6.18 ALL GLASS REQUIRED TO BE TEMPERED OR LAMINATED GLASS SHALL BE LABELED PERMANENTLY AS SUCH. WOOD DOORS ARE TO BE PERMANENTLY LABELED TO PROVIDE THE MANUFACTURER'S NAME, YEAR OF MANUFACTURING, EXTERIOR GRADE CSA 0132.2, AS PER BULLETIN 10

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING
DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

3D VIEWS - NORTH

SEAL

DRAWING NO. I REVISION

A009

NOTE: 3D PERSPECTIVES ARE APPROXIMATE
ILLUSTRATION OF BUILDINGS, REFER TO DETAILED
DRAWINGS.

DATE 2025-07-04 DRAWN
AZ
SCALE
HB
CHECKED



3D VIEW FROM NORTH SIDE - E KEITH RD

REVISIONS
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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING
DEVELOPMENT
115 Keith Road East,
North Vancouver, BC
DRAWING TITLE

3D VIEWS - SOUTH

SEAL

DRAWING NO. | REVISION
|

A010

DATE 2025-07-04 DRAWN
SCALE AZ
HB
REVISION
CHECKED



3D VIEW FROM SOUTH SIDE - 6TH STREET E

NOTE: 3D PERSPECTIVES ARE APPROXIMATE
ILLUSTRATION OF BUILDINGS, REFER TO DETAILED
DRAWINGS.

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING
DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

3D VIEWS - ENTRY

SEAL

DRAWING NO. I REVISION

A011
DATE 2025-07-04 DRAWN AZ
SCALE CHECKED HB



3D VIEW OF ENTRY FROM NORTH SIDE - E KEITH RD

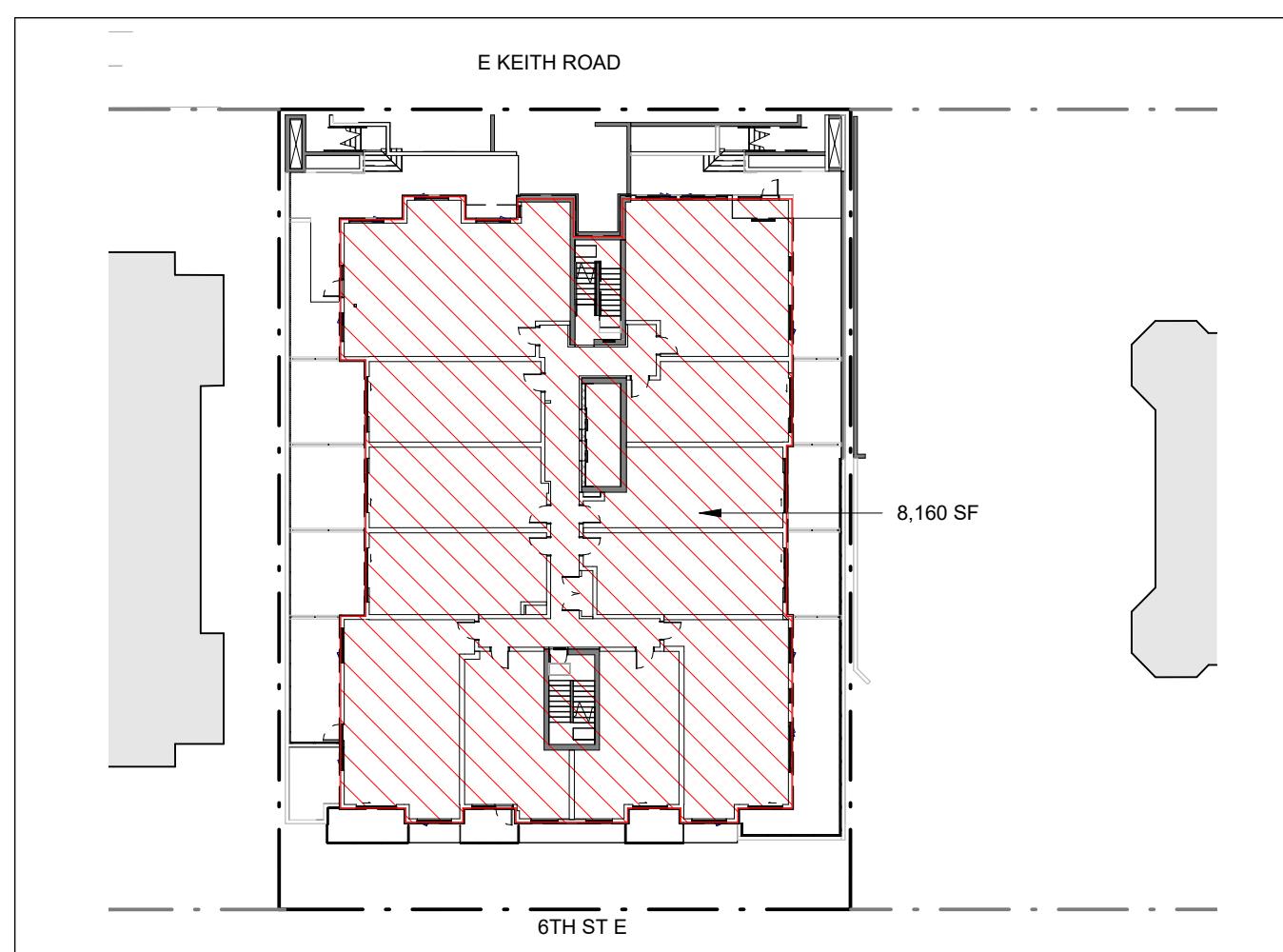
NOTE: 3D PERSPECTIVES ARE APPROXIMATE
ILLUSTRATION OF BUILDINGS, REFER TO DETAILED
DRAWINGS.

PROJECT DATA

SUMMARY

ZONING	CD-741
UNITS	81
STOREY	6
DENSITY	3.3
DENSITY AREA	46,164 SF
PARKING	38
LONG TERM BICYCLE STALLS	122
SHORT TERM BICYCLE STALLS	12

LOT COVERAGE CALCULATION



LOT COVERAGE CALCULATION

SITE AREA : 13,988.90 SF
 HORIZONTAL AREA WITHIN VERTICAL PROJECTION OF
 OUTERMOST WALLS, EXCLUDING EXTERIOR WALL THICKNESS
 IN EXCESS OF 6.5 INCHES : 8,160 SF
PROPOSED LOT COVERAGE :58%
MAXIMUM LOT COVERAGE :57%

NOTE:
 1. CALCULATION BASED ON CITY OF NORTH VANCOUVER
 ZONING BYLAW

PROJECT INFORMATION / ZONING DATA										
PROJECT DESCRIPTION / USE	6 STOREY, 81 UNITS RESIDENTIAL BUILDING, INCLUDING TWO LEVELS OF UNDERGROUND PARKING									
LEGAL DESCRIPTION	LOT A (REFERENCE PLAN 9816) BLOCK 114 DISTRICT LOT 274 GP1 NWD PLAN 878									
CIVIC ADDRESS PRESENT	115 KEITH ROAD EAST, NORTH VANCOUVER, BC, V7L 1V1									
CIVIC ADDRESS FUTURE	115 KEITH ROAD EAST, NORTH VANCOUVER, BC, V7L 1V1									
BCBC 2024 CODE SUMMARY	C (3.2.2.51) & F3 (3.2.1.2), SPRINKLER NFPA 13, ENERGY STEP CODE 3									
TOTAL LOT AREA	13,989	SF	1,299.6	SM						
LOT SIZE (APPROXIMATE FRONTAGE)			FT	M						
	NORTH / EAST KEITH ROAD	100.00	30.5							
	EAST	139.92	42.6							
	SOUTH / 6TH STREET EAST	99.92	30.5							
	WEST	139.92	42.6							
OCP LAND USE DESIGNATION	HIGH RISE APARTMENT - RESIDENTIAL LEVEL 6 - R6									
ZONING	CD-741									
PROPOSED NUMBER OF RESIDENTIAL UNITS	81									
REQUIRED / ALLOWED										
			SF	SM			SF	SM		
DENSITY / GROSS BUILDING AREA			46,164	4289			46,164	4289	REFER TO DETAILED CALCULATIONS ON A016	
	FAR	3.30					3.30			
SITE COVERAGE		57.0%	MAX.			58.0%			REFER TO DETAILED CALCULATIONS ON A017	
AVERAGE GRADE					226.20	FT	68.95	M	REFER TO DETAILED CALCULATIONS ON A102	
BUILDING HEIGHT	100.00	FT	30.48	M	89.42	FT	27.26	M	ALL HEIGHT AND AVERAGE GRADE INFORMATION IS PROVIDED AS GEODETIC VALUES	
NUMBER OF STOREY		6				6				
BUILDING SETBACKS										
NORTH / EAST KEITH ROAD	15.00	FT	4.6	M	15.00	FT	4.6	M	AS PER CD-741 (5) (a), (b) & (c) FROM THE CITY OF NORTH VANCOUVER ZONING BYLAW	
EAST	10.00	FT	3.0	M	10.00	FT	3.0	M		
SOUTH / 6TH STREET EAST	15.00	FT	4.6	M	15.00	FT	4.6	M		
WEST	10.50	FT	3.2	M	10.50	FT	3.2	M		
MINIMUM DWELLING UNIT SIZE		MIN. AREA	400	37			465	43	REFER TO DETAILED CALCULATIONS ON A017	
OFF-STREET PARKING	38	STALLS			38	STALLS			REFER TO DETAILED CALCULATIONS ON A020	
BICYCLE STORAGE - LONG TERM	122	STALLS			122	STALLS				
BICYCLE STORAGE - SHORT TERM	12	STALLS			12	STALLS				
GARBAGE / RECYCLING / STORAGE			423.63	39.36			533.00	49.52		
NOTES:										
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS										
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF NORTH VANCOUVER BYLAWS										
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC										

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PROJECT NO. 25611
 PROJECT RESIDENTIAL BUILDING DEVELOPMENT
 115 Keith Road East, North Vancouver, BC

DRAWING TITLE
 PROJECT DATA, SUMMARY & LOT COVERAGE
 SEAL

A015
 DRAWING NO. I REVISION
 DATE 2025-11-24 DRAWN AZ
 SCALE 1/32" = 1'-0" CHECKED HB
 1/32" = 1'-0" HB

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REVISIONS
 NO. DESCRIPTION DATE
 ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

UNIT MATRIX

STATISTICS

Required minimum 3 Bedrooms	10%	8.1
Provided 3 Bedrooms	11%	9
Min Level 2 Adaptable Units Required (according to CNV guideline)	25%	20.25
Min Adaptable Units Required (as per BCBC 2024)	20%	16.2
Adaptable Units Provided	25%	20

Total Area	58431	
Exclusion Areas	Area	Notes
(1) Exterior Wall thickness beyond 6.5" to max 12"	393	Exterior Wall thickness in excess of 0.165 metres (6.5 inches) up to a maximum exclusion of 0.305 metres (12 inches) provided that the wall thickness is utilized for the provision of insulating materials and/or protection against wind, water and vapour;
Basement Area Except for Visible Stairways (includes the following 2 exclusions (2) & (21)(a))	7951	
(2) Portion of floor used for Bicycle Parking	NA	
(21)(a) Any area of Dwelling Unit located in a Basement or Cellar within a Rental Apartment Residential Use		“Basement” means the space between two floor levels, the lower floor of which is more than one foot but less than five feet below Average Grade. “Cellar” means the space directly below the First Storey, the lower floor of which is
(12) Lobby Areas maximum 0.1 FSR or 10% GFA, whichever is greater	194	proposed exclusion is: 0.42% GFA
(14) Adaptable Design Dwelling Units, 20sf/Level 2, 25sf/Level 3 / Min 25% Level 2 as per Adaptable Design Guideline (excluding ground floor AD units)	340	assuming 17 Level 2 AD units above ground
(15) Common Amenity Area maximum 5% GFA	965	proposed exclusion is: 2% of GFA
(17)(a) Green Building Systems - in suite HRV maximum 15sf per unit	0	potential exclusion to be confirmed by mech consultant
(17)(b) Green Building Systems - Mechanical Room maximum 100sf	0	potential exclusion to be confirmed by mech consultant
(18) Common Stairways & Landings (visible)	2424	
(23) Roof Deck		

Site Area	13989	SF	1299.6	SM
Max FSR	3.30			
Max FSR	46164	SF	4289	SM
Proposed FSR Area	46164	SF	4289	SM
Proposed FSR Ratio	3.30			

AMENITY AREA CALCULATIONS		SF			
Minimum Amenity = the lesser of	1.4 sqm(15sqft) per unit	1215			
or	2% of GFA	923			
	Provided on Level 1 & Roof (Indoor)	965			
	Provided on Rooftop (Outdoor)	1504			

Notes:

1. Gross Area excludes balconies and decks.
2. All areas are approximate and will be adjusted during working drawing.

Notes:

- .. All areas are approximate and will be adjusted during working drawing.
- 2. All calculations are based on city of North Vancouver zoning by-law where applicable.
- 3. Units located on the ground floor has a suffix (G) to its name and the area varies slightly because of different construction type.

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OBJECT NO. 25611

JECT

**RESIDENTIAL BUILDING
DEVELOPMENT**

115 Keith Road East,
N. Y. P.

North Vancouver, BC

STATISTICS & UNIT MATRIX

A016

TE	DRAWN
025-07-04	AZ
ALE	CHECKED
	HB

Parking Summary - 81 Units

		Unit Count	Required	Provided	Notes/ Reference
Parking Calculation					
Required Number of Parking (Residential)	908(3)	$81 \times 0.5 = 40.50$	40.50	41.0	
Required Number of Visitor Stalls		$81 \times 0.1 = 8.10$	8.10	8.0	
Parking Reduction					
Parking Reduction - Residential Stalls		10% = 4.86	4.86	5.0	Reduction allowance from City of North Vancouver. Shall not reduce Visitor Parking requirement.
					Car Share Stall excluded from total required parking stalls
					905(d) Minimum vehicle parking requirement, without reduction in minimum Visitor Parking requirement, shall be reduced by four parking spaces.
Alternate Parking Reduction	Car Share Parking - 2 stalls provided	$2 \times 4 = 8.00$	8.00	8.0	Car share stalls count in required number of parking
Accessible Parking Space Calculation					
Required Accessible Parking Spaces	0.038 stalls per unit CoNV Parking Bylaw <u>or</u> minimum 4 stalls as per Level 2	74x 0.038 = 2.812 <u>or</u> minimum 4	4	4	Included within total required parking stalls
Required Number of Parking (Residential) After Reduction	908(3)	$81 \times 0.5 = 40.50$	40.50	28	28
Required Number of Visitor Stalls After Reduction		$81 \times 0.1 = 8.10$	8.10	8	8
Provided Car Share Stalls				2	2
Total Stalls Including Car Share				38	38

Parking Stall Types (Calculations based on required number of parking stalls only)

Parking Stall Types (Calculations based on Required Number of parking stalls only)			
	Size	Provided	Notes
Standard Stalls	8'-0"X18'-0"	18	
Small Cars	7'-7"X15'-2"	14	<i>Maximum 39% small car allowed.</i> <i>Providing 39% small car.</i>
Accessible Parking Spalls	13'-1 1/2"X18'-0"	4	
Car Share Stalls		2	<i>Dimensions to be confirmed by provider</i>
Total Stalls Required		38	

Note

1. Calculations are based on City of North Vancouver Parking By-law
2. The parking stall type distribution has been determined based on the minimum required parking stalls in accordance with City of North Vancouver By-law. In addition, two (2) small car stalls have been provided over and above the bylaw requirement.

EV Charging Requirement

EV Charging Requirement		
	Requirements	Provided
Residential Stalls	All stalls requires Energized outlet (min. Level 2 Charging) (Including disability parking for residential parkade)	Energized outlet (Level 2) will be provided for all stalls
Visitor Stalls	All visitor stalls requires Energized outlet (min. Level 2 Charging) (Including disability parking for residential parkade)	Energized outlet (Level 2) will be provided for all stalls
Shared Stalls	All stalls requires Energized outlet (Charging level to conform with car share requirement)	Energized outlet (charging level to comply with car share requirement) will be provided for all car share stalls)

Bicycle Space Calculation - 81 Units

Bicycle Space Calculation - 81 Units					
Type		Units	Required	Provided	Reference
Long Term		81 x 1.5 =	122	122	<i>Figure 10A-02 -Parking Provision by Class of Building - Minimum Required Bicycle Parking Spaces</i>
Short Term		81	12	12	<i>Figure 10A-02 - 60 or more units: 6 spaces per every 60 units or part thereof</i>

Bicycle Space Mix

Bicycle Space Mix					
Oversized	0.9mx2.4m (3'X7'11")		6	6	Figure 10A-02 -Parking Provision by Class of Building - Minimum Required Bicycle Parking Spaces
Vertical	0.6mx1.0m (2'X3'4")	35%	43	42	Maximum 35% vertical space allowed. Providing 34% vertical space.
Horizontal	0.6mx1.8m (2'X6')	65%	73	74	
Total			122	122	

Note:

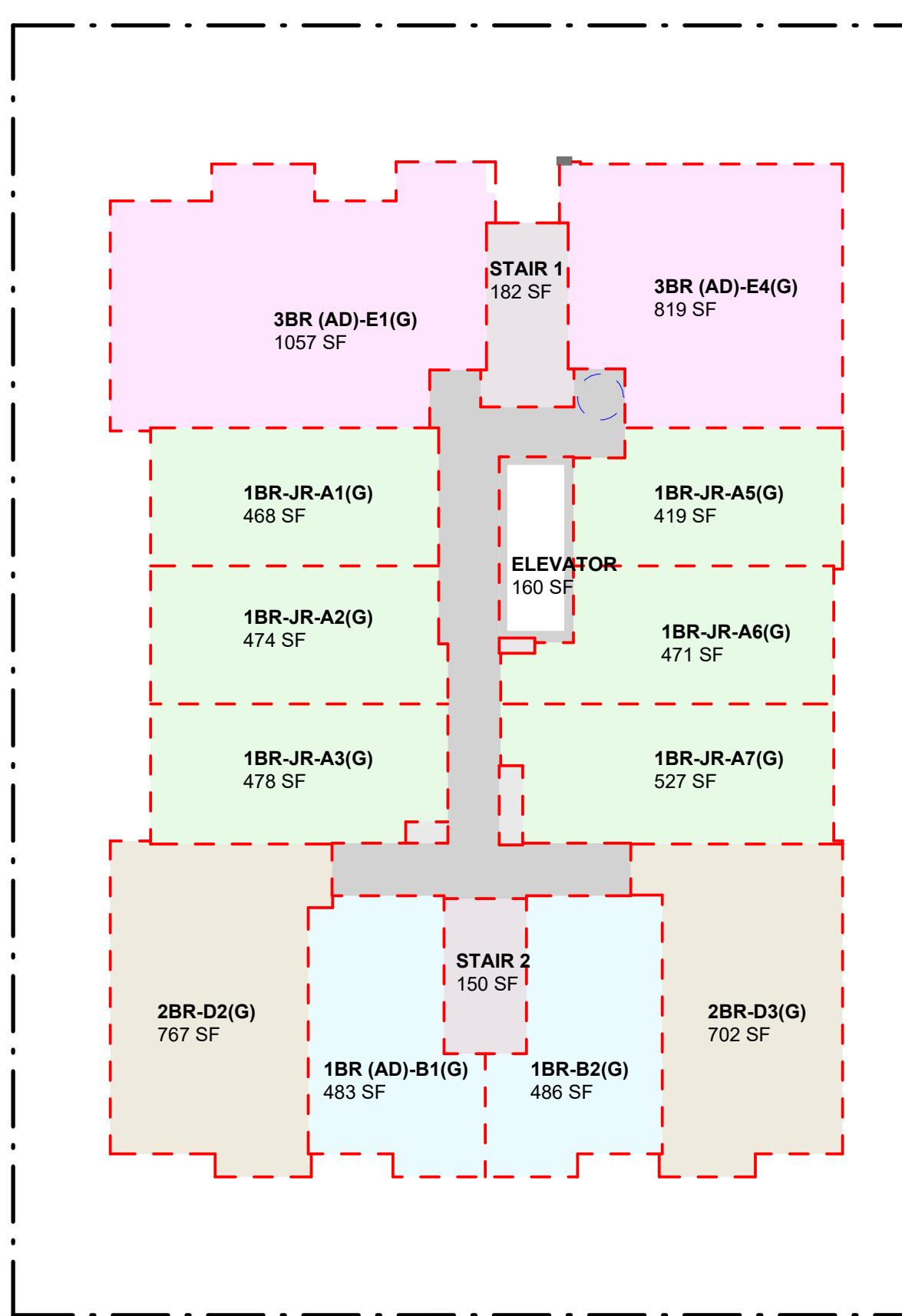
1. Calculations are based on City of North Vancouver Parking By-law Part 10A: Bicycle Parking and Access Regulations

Garbage & Recycling Facilities Requirements - 81 Units

Size	No. of Units	m ²	m ²	sq. ft.	Reference
Minimum Required Room Size	81 x	0.486 =	39.366	423.63	<i>Figure 4-3 - Recycling AND Garbage Storage Facility Requirements</i>
Total			39.366	423.63	
Total Provided			49.5	533.0	

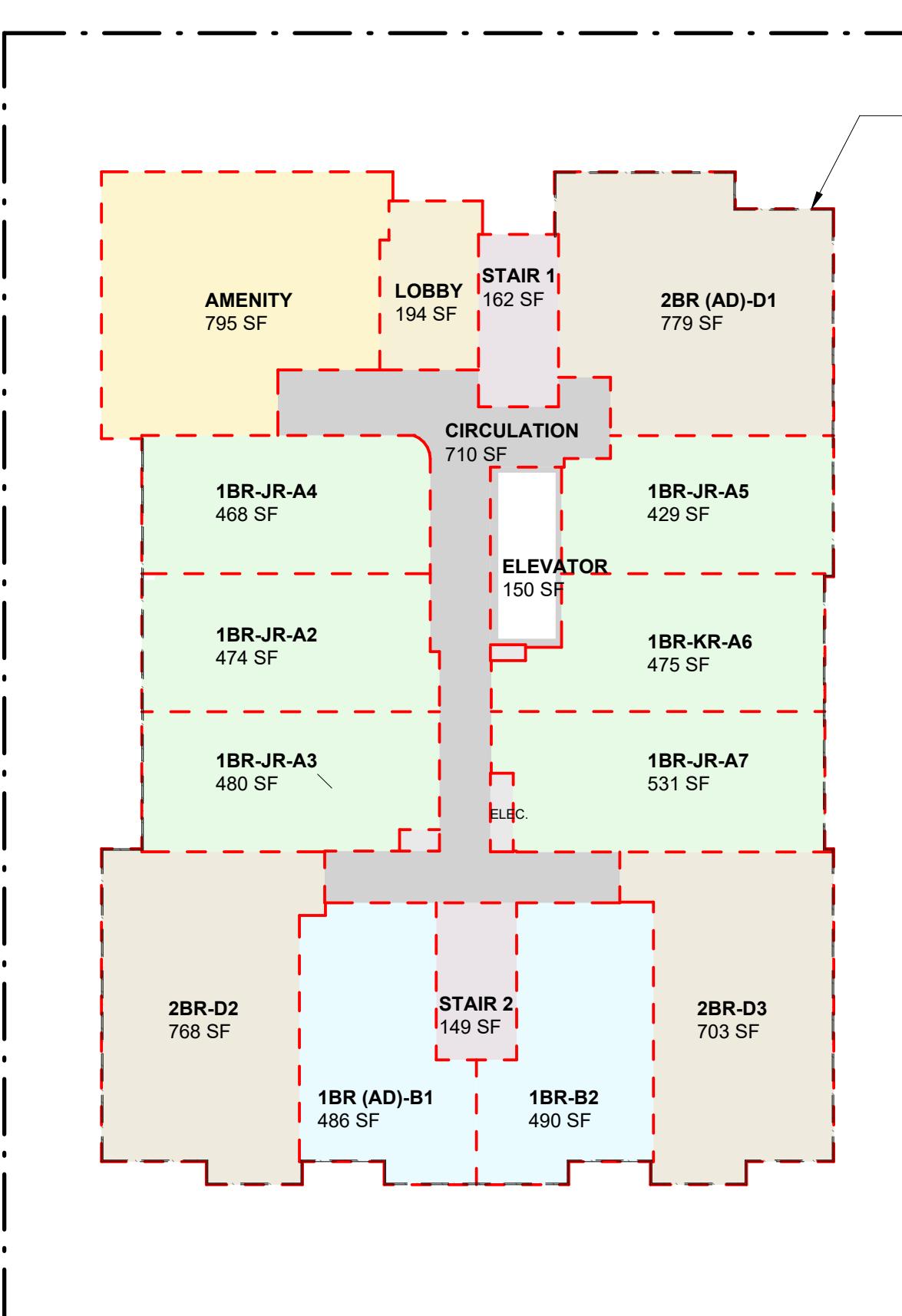
Note

1. Calculations are based on City of North Vancouver "Recycling and Garbage Storage Facility Requirements"



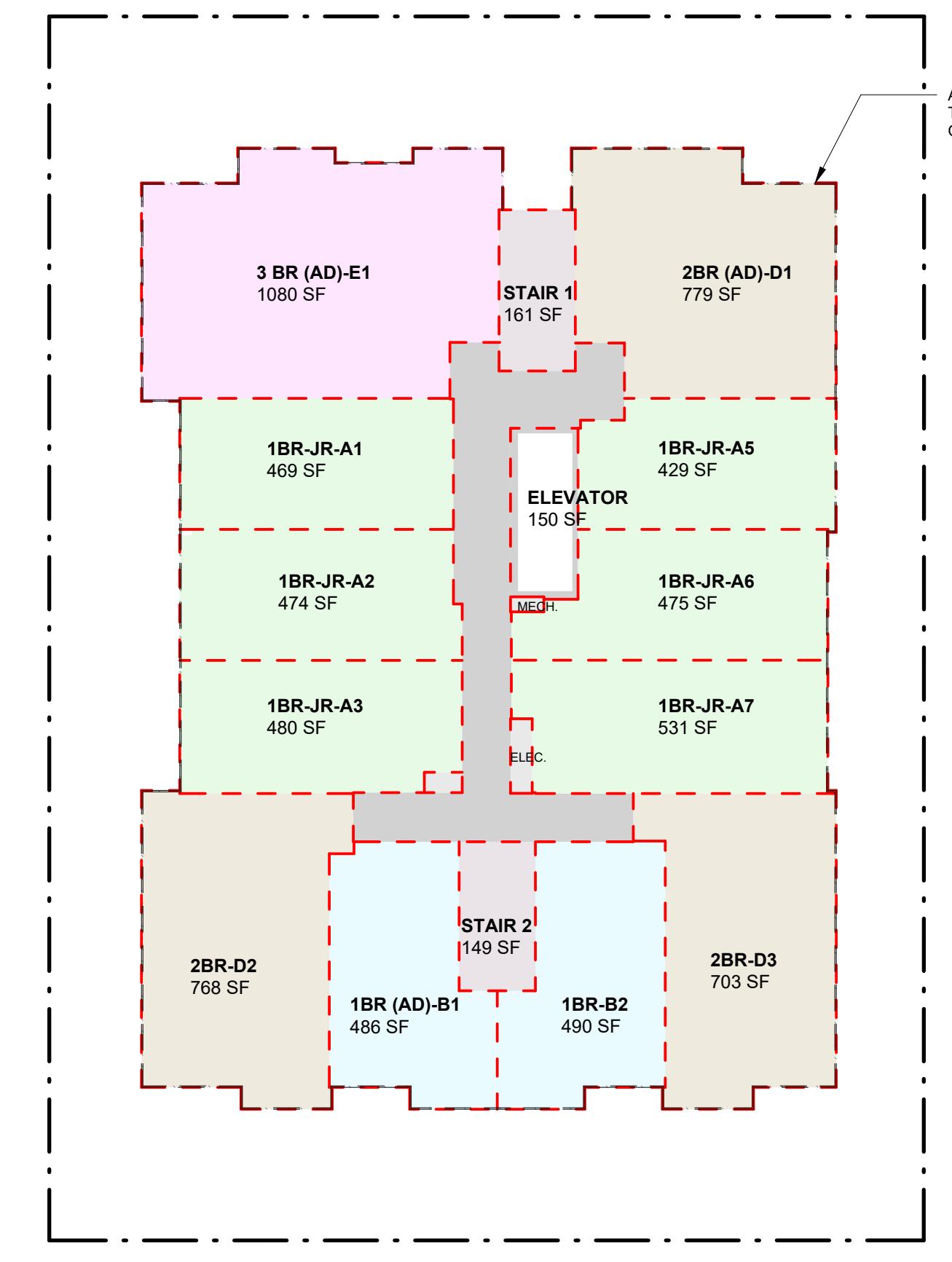
1 GROUND LEVEL

Ground Floor Area Calculation			
Department	Name	Area	Count
Circulation	ELEVATOR	160 SF	1
Circulation	CIRCULATION	600 SF	1
Circulation: 2		760 SF	2
Residential Area	3BR (AD)-E1(G)	1057 SF	1
Residential Area	3BR (AD)-E4(G)	819 SF	1
Residential Area	2BR-D3(G)	702 SF	1
Residential Area	1BR-B2(G)	486 SF	1
Residential Area	1BR (AD)-B1(G)	483 SF	1
Residential Area	2BR-D2(G)	767 SF	1
Residential Area	1BR-JR-A3(G)	478 SF	1
Residential Area	1BR-JR-A1(G)	468 SF	1
Residential Area	1BR-JR-A2(G)	474 SF	1
Residential Area	1BR-JR-A5(G)	419 SF	1
Residential Area	1BR-JR-A6(G)	471 SF	1
Residential Area	1BR-JR-A7(G)	527 SF	1
Residential Area: 12		7152 SF	12
Service Room	MECH SHAFT	6 SF	1
Service Room	ELEC CLOSET	22 SF	1
Service Room	MECH SHAFT	11 SF	1
Service Room: 3		39 SF	3
Visible Stair	STAIR 2	150 SF	1
Visible Stair	STAIR 1	182 SF	1
Visible Stair: 2		332 SF	2
Grand total: 10		8284 SF	10



2 LEVEL 1

Level 1 Area Calculation			
Department	Name	Area	Count
Amenity	AMENITY	795 SF	1
Amenity: 1		795 SF	1
Circulation	ELEVATOR	150 SF	1
Circulation	CIRCULATION	710 SF	1
Circulation: 2		860 SF	2
Lobby	LOBBY	194 SF	1
Lobby: 1		194 SF	1
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	2BR-D3	703 SF	1
Residential Area	2BR-D2	768 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR (AD)-B1	486 SF	1
Residential Area	1BR-B2	490 SF	1
Residential Area	1BR-JR-A4	468 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area	1BR-KR-A6	475 SF	1
Residential Area: 11		6083 SF	11
Service Room	MECH SHAFT	7 SF	1
Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	10 SF	1
Service Room: 3		38 SF	3
Visible Stair	STAIR 2	149 SF	1
Visible Stair	STAIR 1	162 SF	1
Visible Stair: 2		311 SF	2
Grand total: 20		8280 SF	20



LEVEL 2-5

Level 2-4 Area Calculation			
Department	Name	Area	Count
Circulation	ELEVATOR	150 SF	1
Circulation	CIRCULATION	590 SF	1
Circulation: 2		740 SF	2
Residential Area	3 BR (AD)-E1	1080 SF	1
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	2BR-D3	703 SF	1
Residential Area	1BR-B2	490 SF	1
Residential Area	1BR (AD)-B1	486 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	1BR-JR-A1	469 SF	1
Residential Area	2BR-D2	768 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A6	475 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area: 12		7163 SF	12
Service Room	MECH SHAFT	7 SF	1
Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	10 SF	1
Service Room: 3		38 SF	3
Visible Stair	STAIR 2	149 SF	1
Visible Stair	STAIR 1	161 SF	1
Visible Stair: 2		309 SF	2
Grand total: 10		8250 SF	10

SIONS
DESCRIPTION _____ DATE _____
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

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PROJECT NO. 25611

PROJECT RESIDENTIAL BUILDING

DEVELOPMENT 115 Keith Road East,

North Vancouver, BC

FSR OVERLAYS CALCULATION

1

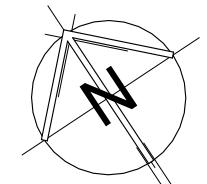
DRAWING NO. _____ REVISION _____

A019

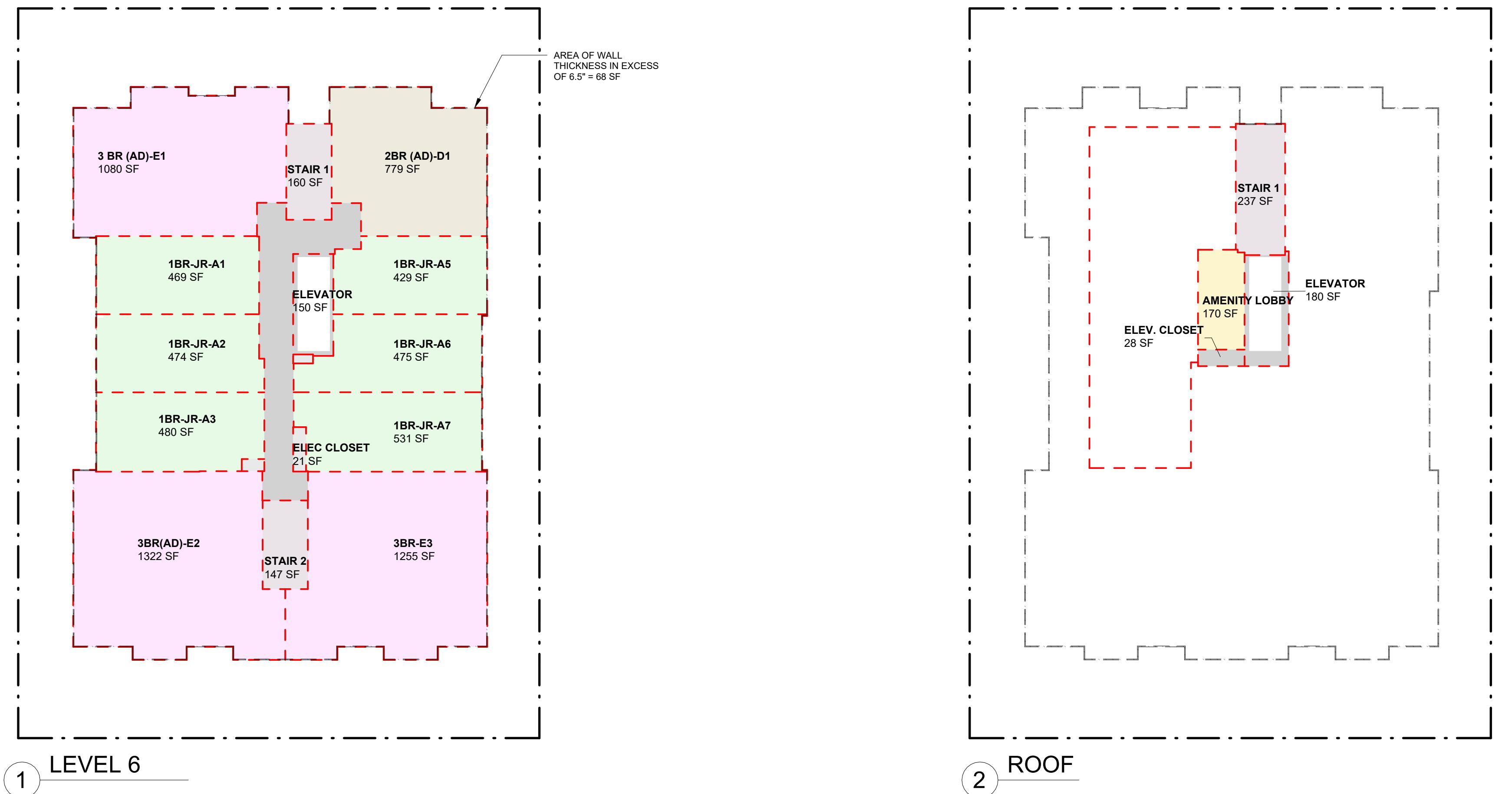
DATE	DRAWN
2025-07-04	AZ
SCALE	CHECKED
1/16" = 1'-0"	HB

REVISIONS		
NO.	DESCRIPTION	DATE
	ISSUED FOR DEVELOPMENT VARIANCE	2025-12-18

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Level 6 Area Calculation

Department	Name	Area	Count
Circulation	CIRCULATION	461 SF	1
Circulation	ELEVATOR	150 SF	1
Circulation: 2		611 SF	2

Residential Area	3 BR (AD)-E1	1080 SF	1
Residential Area	1BR-JR-A1	469 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	3BR(AD)-E2	1322 SF	1
Residential Area	3BR-E3	1255 SF	1
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A6	475 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area: 10		7294 SF	10

Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	7 SF	1
Service Room	MECH SHAFT	10 SF	1

Service Room: 3 38 SF 3

Visible Stair	STAIR 2	147 SF	1
Visible Stair	STAIR 1	160 SF	1

Visible Stair: 2 308 SF 2

Grand total: 17 8250 SF 17

Roof Area Calculation

Department	Name	Area	Count
Amenity	AMENITY LOBBY	170 SF	1
Amenity: 1		170 SF	1

Circulation	ELEVATOR	180 SF	1
Circulation	ELEV. CLOSET	28 SF	1
Circulation: 2		209 SF	2

Visible Stair	STAIR 1	237 SF	1
Visible Stair: 1		237 SF	1

Grand total: 4 616 SF 4

PROJECT NO. 25611

PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East, North Vancouver, BC

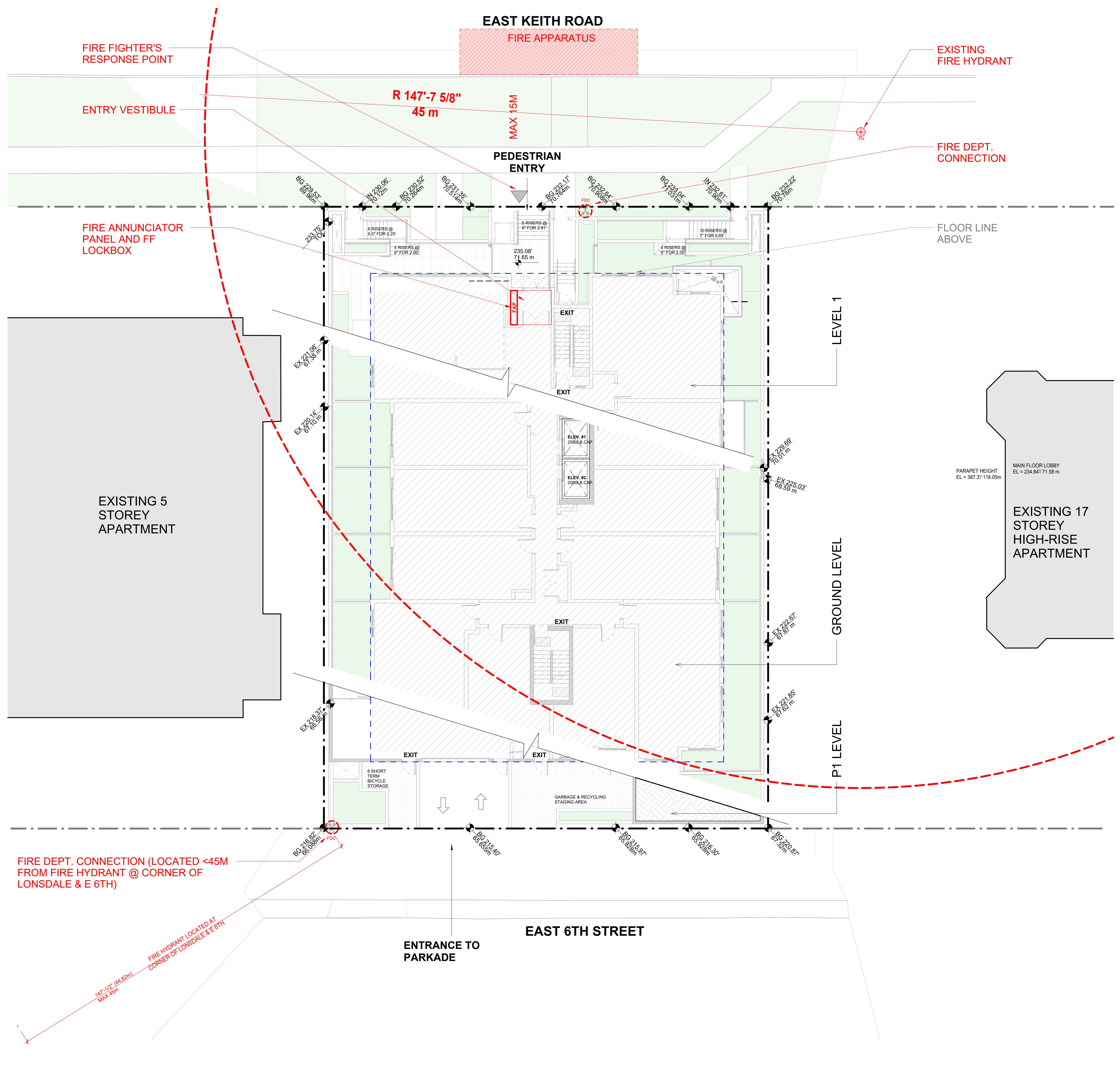
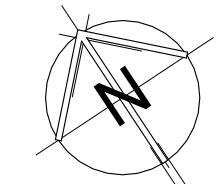
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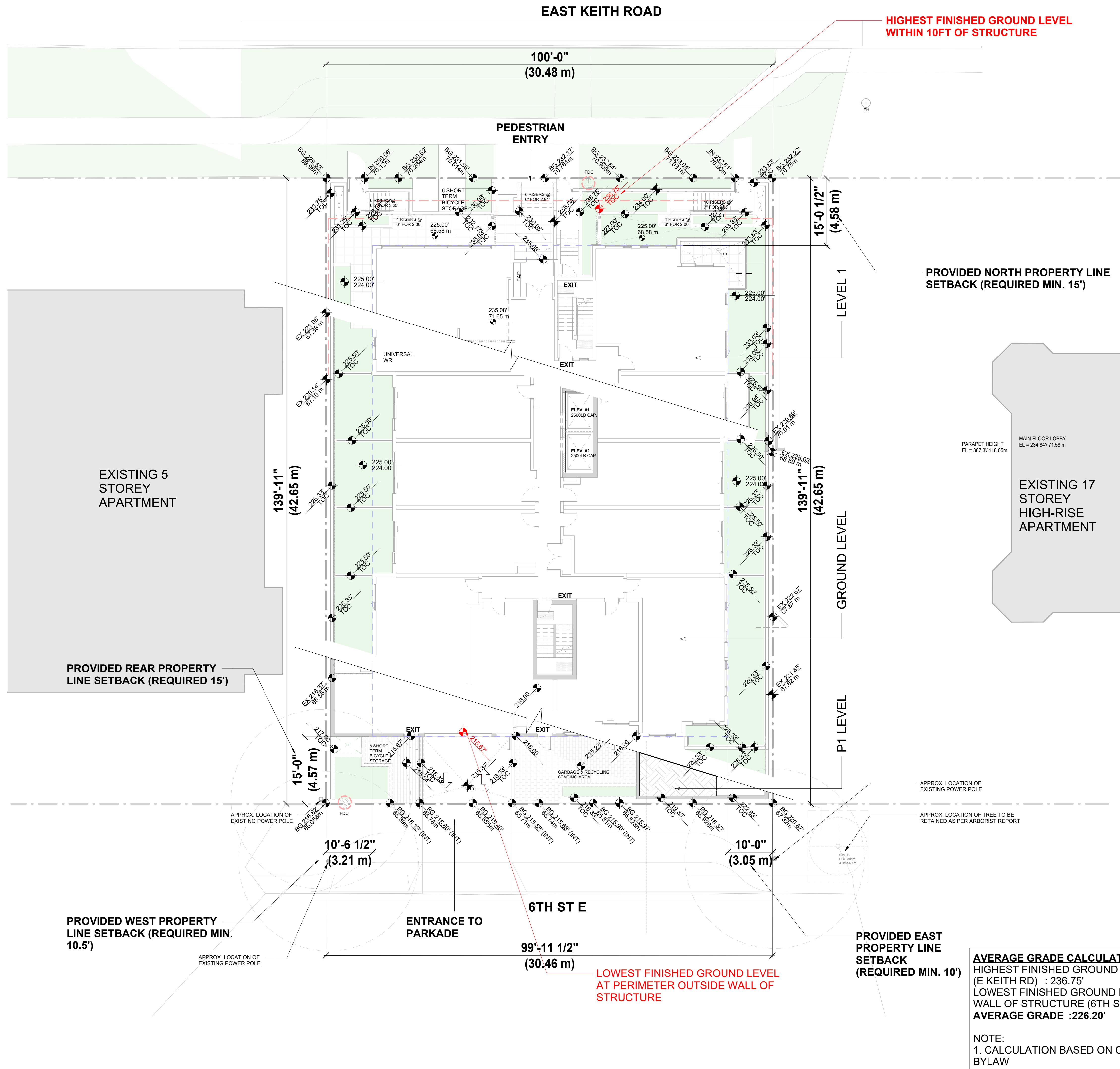
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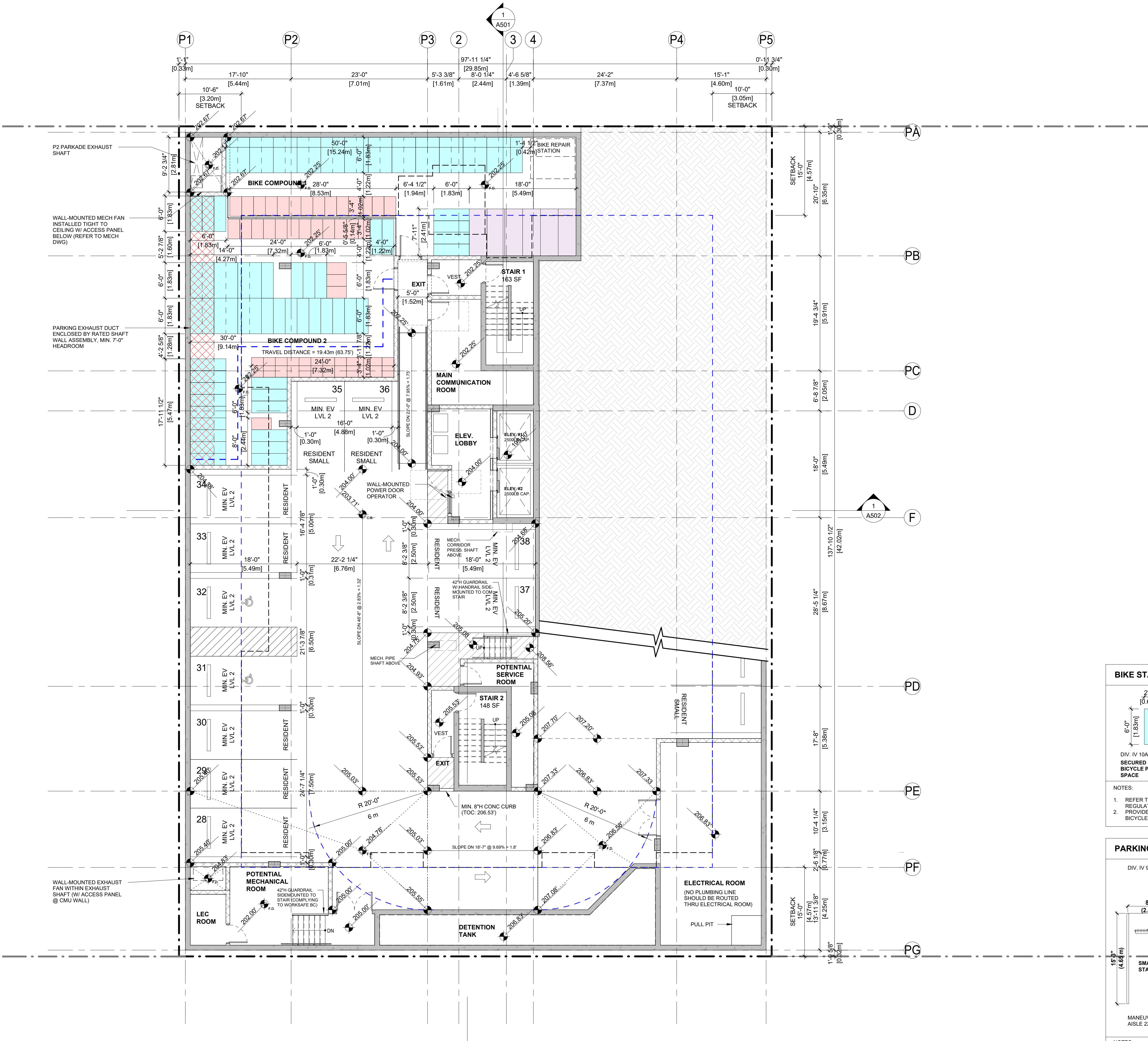
DRAWING NO. | REVISION

A020

DATE 2025-07-04 DRAWN AZ
SCALE 1/16" = 1'-0" CHECKED HB







GENERAL NOTES	
1. MAINTAIN CLEAR HEIGHT BELOW ALL STRUCTURE AND SERVICES: MIN. 2.0m (6.56') HEADROOM FOR ALL DRIVEWAY RAMPS AND ENTRANCE GARAGES.	
2. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.	
3. PAINT ALL PARKING STALL NUMBERS, LINES AND DESIGNATIONS (SMALL CAR & DISABLED PARKING).	
4. PAINT ALL EXIT PATH DESIGNATIONS.	
5. PAINT ALL NON-INSULATED CEILINGS WHITE.	
6. PAINT ALL COLUMNS AND WALLS WHITE WITH MIN. LRV OF 75% NO MORE THAN 300 MM ABOVE FLOOR CONTINUING TO CEILING TO NO LESS THAN 2.5 M ABOVE FLOOR.	
7. PAINT ALL STORAGE AND LOCKER ROOMS WHITE.	
8. CEILING INSULATION TO EXTEND 4'-0" PAST LINE OF HEATED SPACE ABOVE.	
9. ALL PARKADE STORAGE ROOM CEILINGS ARE TO BE INSULATED (INCLUDING ROOMS THAT ARE BEYOND BUILDING ABOVE).	
10. VISITOR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BYLAW SECTION 908 - "VISITOR PARKING ONLY".	
11. PER SEC. IV OF CNV ZONING BYLAW, ALL SPACES REQUIRED FOR RESIDENTIAL USE SHALL INCLUDE AN ENERGIZED OUTLET CAPABLE OF LEVEL 2 CHARGING FOR AN ELECTRIC VEHICLE EXCEPT SPACES FOR VISITOR PARKING (REFER TO EV CHARGING STATISTICS).	
12. SMALL CAR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BYLAW SECTION 908 - "SMALL CAR ONLY".	
13. AS PER CNV ZONING BYLAW SECTION 1002 (b), LOADING SPACES SHALL BE NO LESS THAN 2.743M (9.0') IN WIDTH, 9.144M (30') IN LENGTH, AND 4.191M (13.75') IN HEIGHT.	
14. PROVIDE VERTICAL CONTROL JOINTS @ MAX 16'-0" O.C. AT ALL PARKADE WALLS.	
15. PROVIDE 3/4" CHAMFER AT ALL VERTICAL CONCRETE CORNERS UNLESS OTHERWISE NOTED.	
16. PROVIDE 3/4" THICK FIRE RETARDANT TREATED PLYWOOD BACKING AT ELECTRICAL ROOM WALLS. SEE ELECTRICAL DRAWINGS FOR DETAILS.	
17. PROVIDE SIGNAGE INDICATING HEADROOM CLEARANCE AT PARKADE ENTRY.	
18. PROVIDE WALL-MOUNTED SIGNAGES FOR ALL ACCESSIBLE PARKADE STALLS IN ADDITION TO THE FLOOR SYMBOL MARKINGS.	
19. PROVIDE HORIZONTAL & VERTICAL BIKE RACKS AS IDENTIFIED IN THE PARKADE DRAWINGS. PROVIDE SUBMITTAL FOR REVIEW.	
20. ALL PARKING, LOADING & BIKE STG AS PER CITY OF NORTH VANCOUVER BY-LAW.	
21. PARKING SPACES DELINEATED BY PAINTED SOLID LINES OR OTHER ACCEPTABLE PAVEMENT MARKING DEVICE FOR EACH PARKING AND NUMBERED FOR IDENTIFICATION. DELINEATION PAINT LINE SHOULD BE 4" WIDE.	
22. EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS OF NOT LESS THAN 6" IN HEIGHT.	
23. PARKING AREA LIGHTING SHALL BE ILLUMINATED ONLY WITH SHIELDED LIGHTING SO THAT GLARE DOES NOT IMPACT MOTORISTS ON ADJACENT STREETS OR LANES.	
24. GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN BRITISH COLUMBIA CERTIFYING COMPLIANCE.	
25. PROVIDE CASH ALLOWANCE FOR BOLLARDS & WALL MOUNTED/ COLUMN MOUNTED PIPE GUARDS FOR ALL EXPOSED PLUMBING & ELECTRICAL PIPING WITHIN THE PARKADE AREA. ALL BOLLARDS AND PIPE GUARDS SHOULD BE PAINTED WITH HIGH VISIBILITY YELLOW PAINT.	
26. FIRE-RATED PROTECTION SHOULD BE PROVIDED FOR ALL SERVICE LINES RELATED TO LIFE-SAFETY & ECOMM CONDUITS.	
27. 2HR FIRE RATED ENCLOSURE TO BE PROVIDED FOR EMERGENCY POWER CONDUITS FOR FIREFIGHTER ELEVATORS.	
28. FFC DENOTES FIRE EXTINGUISHER CABINET. SURFACE MOUNTED CABINET SHOULD BE USED IN PARKADE UNO.	
29. PROVIDE RATED SHAFT ASSEMBLY ENCLOSURE WITHIN EXIT & EXIT VESTIBULE FOR ANY SERVICES WHICH ARE NOT SERVICING THE SPACE.	

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE P2 PARKING PLAN

SEAL

BIKE STALL DIMENSIONS			
2'-0" [0.61m]	2'-0" [0.61m]	3'-0" [0.91m]	1'-0" [0.30m]
6'-0" [1.83m]	11'-0" [3.35m]	7'-11" [2.41m]	6'-0" [1.83m]
DIV. IV 10A02-1 (a) SECURED BIKE PARKING SPACE	DIV. IV 10A02-2 (a) SECURED BIKE PARKING SPACE	SECURED OVERSIZE BIKE PARKING SPACE	DIV. IV 10A02-1 (a) SHORT-TERM BIKE PARKING SPACE

NOTES:

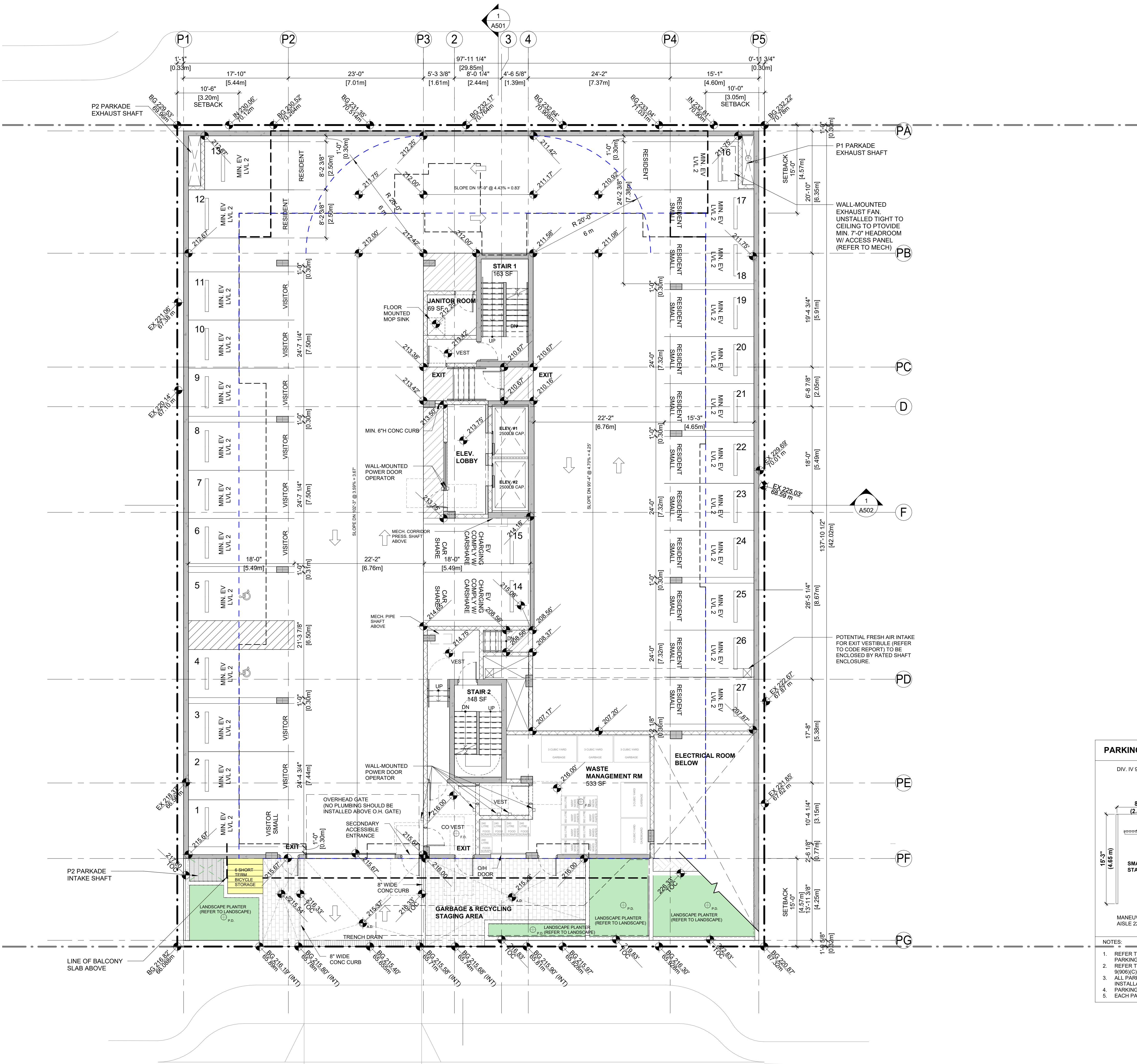
- REFER TO CITY OF NORTH VANCOUVER BYLAW DIVISION IV PART 10A BIKE PARKING AND ACCESS REGULATIONS.
- PROVIDE ONE ELECTRICAL OUTLET FOR EVERY FOUR (4) BIKE PARKING SPACES WITHIN THE BIKE COMPOUND.

PARKING STALL AND LOADING BAY DIMENSIONS			
DIV. IV 906-3 (a) (ii)	DIV. IV 906-3 (a) (i)	DIV. IV 906-3 (a) (iii)	DIV. IV 906-3 (c)
8'-0" (2.44 m)	8'-2 1/2" (2.50 m)	1'-0" (0.30 m)	13'-1 1/2" (4.00 m)
15'-5" (4.68 m)	18'-0" (5.48 m)	5'-0" (1.52 m)	4'-11" (1.50 m)
SMALL STALL	STANDARD STALL	MIDPOINT	MANEUVERING AISLE 22'
MANEUVERING AISLE 22'	MANEUVERING AISLE 22'	MANEUVERING AISLE 22'	MANEUVERING AISLE 22'

NOTES:

- REFER TO CITY OF NORTH VANCOUVER BYLAW DIVISION IV: PARKING AND LOADING STANDARDS FOR PARKING REQUIREMENTS.
- REFER TO CITY OF NORTH VANCOUVER BYLAW DIVISION IV: PARKING AND LOADING STANDARDS PART 906-3 (a) (i) LOADING BAY REQUIREMENTS.
- ALL PARKING STALLS SHALL BE PROVIDED WITH AN ELECTRICAL CONNECTION FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT.
- EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS.

A201
DATE 2025-06-16 DRAWN AZ
SCALE 1/8" = 1'-0" CHECKED HB
1/8" = 1'-0" HB

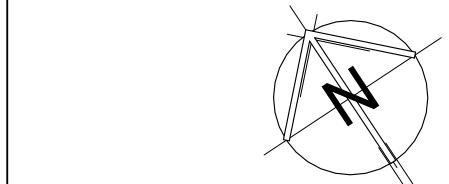


GENERAL NOTES	
1.	MAINTAIN CLEAR HEIGHT BELOW ALL STRUCTURE AND SERVICES: MIN. 2.0m (6.56') HEADROOM FOR ALL DRIVEWAY RAMPS AND ENTRANCE GARAGES.
2.	REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
3.	PAINT ALL PARKING STALL NUMBERS, LINES AND DESIGNATIONS (SMALL CAR & DISABLED PARKING).
4.	PAINT ALL EXIT PATH DESIGNATIONS.
5.	PAINT ALL NON-INSULATED CEILINGS WHITE.
6.	PAINT ALL COLUMNS AND WALLS WHITE WITH MIN. LRV OF 75% NO MORE THAN 300 mm ABOVE FLOOR CONTINUING TO CEILING TO NO LESS THAN 2.5 m ABOVE FLOOR.
7.	PAINT ALL STORAGE AND LOCKER ROOMS WHITE.
8.	CEILING INSULATION TO EXTEND 4'-0" PAST LINE OF HEATED SPACE ABOVE.
9.	ALL PARKADE STORAGE ROOM CEILINGS ARE TO BE INSULATED (INCLUDING ROOMS THAT ARE BEYOND BUILDING ABOVE).
10.	VISITOR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BY-LAW SECTION 908 - "VISITOR PARKING ONLY"
11.	PER SEC. 1 OF CNV ZONING BY-LAW, ALL SPACES REQUIRED FOR RESIDENTIAL USE SHALL INCLUDE AN ENERGIZED OUTLET CAPABLE OF LEVEL 2 CHARGING FOR AN ELECTRIC VEHICLE EXCEPT SPACES FOR VISITOR PARKING (REFER TO EV CHARGING STATISTICS)
12.	SMALL CAR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BY-LAW SECTION 908 - "SMALL CAR ONLY".
13.	AS PER CNV ZONING BY-LAW SECTION 1002 (b), LOADING SPACES SHALL BE NO LESS THAN 2.743M (9.0') IN WIDTH, 9.144M (30'-0") IN LENGTH, AND 4.191M (13.75') IN HEIGHT.
14.	PROVIDE VERTICAL CONTROL JOINTS @ MAX 16'-0" o.c. AT ALL PARKADE WALLS.
15.	PROVIDE 3/4" CHAMFER AT ALL VERTICAL CONCRETE CORNERS UNLESS OTHERWISE NOTED.
16.	PROVIDE 3/4" THICK FIRE RETARDANT TREATED PLYWOOD BACKING AT ELECTRICAL ROOM WALLS. SEE ELECTRICAL DRAWINGS FOR DETAILS.
17.	PROVIDE SIGNAGE INDICATING HEADROOM CLEARANCE AT PARKADE ENTRY.
18.	PROVIDE WALL-MOUNTED SIGNAGES FOR ALL ACCESSIBLE PARKADE STALLS IN ADDITION TO THE FLOOR SYMBOL MARKINGS.
19.	PROVIDE HORIZONTAL & VERTICAL BIKE RACKS AS IDENTIFIED IN THE PARKADE DRAWINGS (PROVIDE SUBMITTAL FOR REVIEW).
20.	ALL PARKING, LOADING & CYCLE STG AS PER CITY OF NORTH VANCOUVER BY-LAW
21.	PARKING SPACES DELINEATED BY PAINTED SOLID LINES OR OTHER ACCEPTABLE PAVEMENT MARKING DEVICE FOR EACH PARKING AND NUMBERED FOR IDENTIFICATION. DELINEATION PAINT LINE SHOULD BE 4" WIDE.
22.	EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS OF NO LESS THAN 6" IN HEIGHT.
23.	PARKING AREA LIGHTING SHALL BE ILLUMINATED ONLY WITH SHIELDED LIGHTING SO THAT GLARE DOES NOT IMPACT MOTORISTS ON ADJACENT STREETS OR LANES.
24.	GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY PENG REGISTERED IN BRITISH COLUMBIA CERTIFYING COMPLIANCE.
25.	PROVIDE CASH ALLOWANCE FOR BOLLARDS & WALL MOUNTED/ COLUMN MOUNTED PIPE GUARDS FOR ALL EXPOSED PLUMBING & ELECTRICAL PIPING LOCATED IN PARKADE AREA. ALL BOLLARDS AND PIPE GUARDS SHOULD BE PAINTED WITH HIGH-VISIBILITY YELLOW PAINT.
26.	FIRE-RATED PROTECTION SHOULD BE PROVIDED FOR ALL SERVICE LINES RELATED TO LIFE-SAFETY & ECOMM CONDUITS.
27.	2HR FIRE RATED ENCLOSURE TO BE PROVIDED FOR EMERGENCY POWER CONDUITS FOR FIREFIGHTER ELEVATORS.
28.	FFC DENOTES FIRE EXTINGUISHER CABINET. SURFACE MOUNTED CABINET SHOULD BE USED IN PARKADE UNO.
29.	PROVIDE RATED SHAFT ASSEMBLY ENCLOSURE WITHIN EXIT & EXIT VESTIBULE FOR ANY SERVICES WHICH ARE NOT SERVICING THE SPACE

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www.bfastudioarchitects.com info@bfastudioarchitects.com

REVISIONS
NO. DESCRIPTION ISSUED FOR DEVELOPMENT VARIANCE DATE 2025-12-18

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE P1 PARKING PLAN

SEAL

PARKING STALL AND LOADING BAY DIMENSIONS	
DIV. IV 906-3 (a) (ii)	DIV. IV 906-3 (a) (i)
8'-0" (2.44 m)	8'-2 1/2" (2.50 m)
1'-0" (0.30 m)	1'-1" (0.33 m)
WHEEL STOP WHERE REQUIRED	
1'-8" (0.51 m)	1'-1" (0.33 m)
STANDARD STALL	
1'-0" (0.30 m)	1'-1" (0.33 m)
MANEUVERING AISLE 22'	
5'-7" (1.70 m)	5'-7" (1.70 m)
MANEUVERING AISLE 22'	
4'-11" (1.50 m)	4'-11" (1.50 m)
NOTES:	
1. REFER TO CITY OF NORTH VANCOUVER BY-LAW DIVISION IV: PARKING AND LOADING STANDARDS FOR PARKING REQUIREMENTS.	
2. REFER TO CITY OF NORTH VANCOUVER BY-LAW DIVISION IV: PARKING AND LOADING STANDARDS PART 9(906)(C)(i) FOR LIGHTING REQUIREMENTS.	
3. REFER TO CITY OF NORTH VANCOUVER BY-LAW DIVISION IV: PARKING AND LOADING STANDARDS PART 9(906)(C)(ii) FOR ELECTRICAL CONNECTION FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT.	
4. PARKING SPACES DELINEATED BY 4" WIDE PAINTED SOLID LINES FOR EACH STALL.	
5. EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS.	

A202
DATE 2025-06-16 DRAWN AZ
SCALE 1/8" = 1'-0" CHECKED HB

REVISIONS
NO. DESCRIPTION DATE
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

WASTE MANAGEMENT ROOM

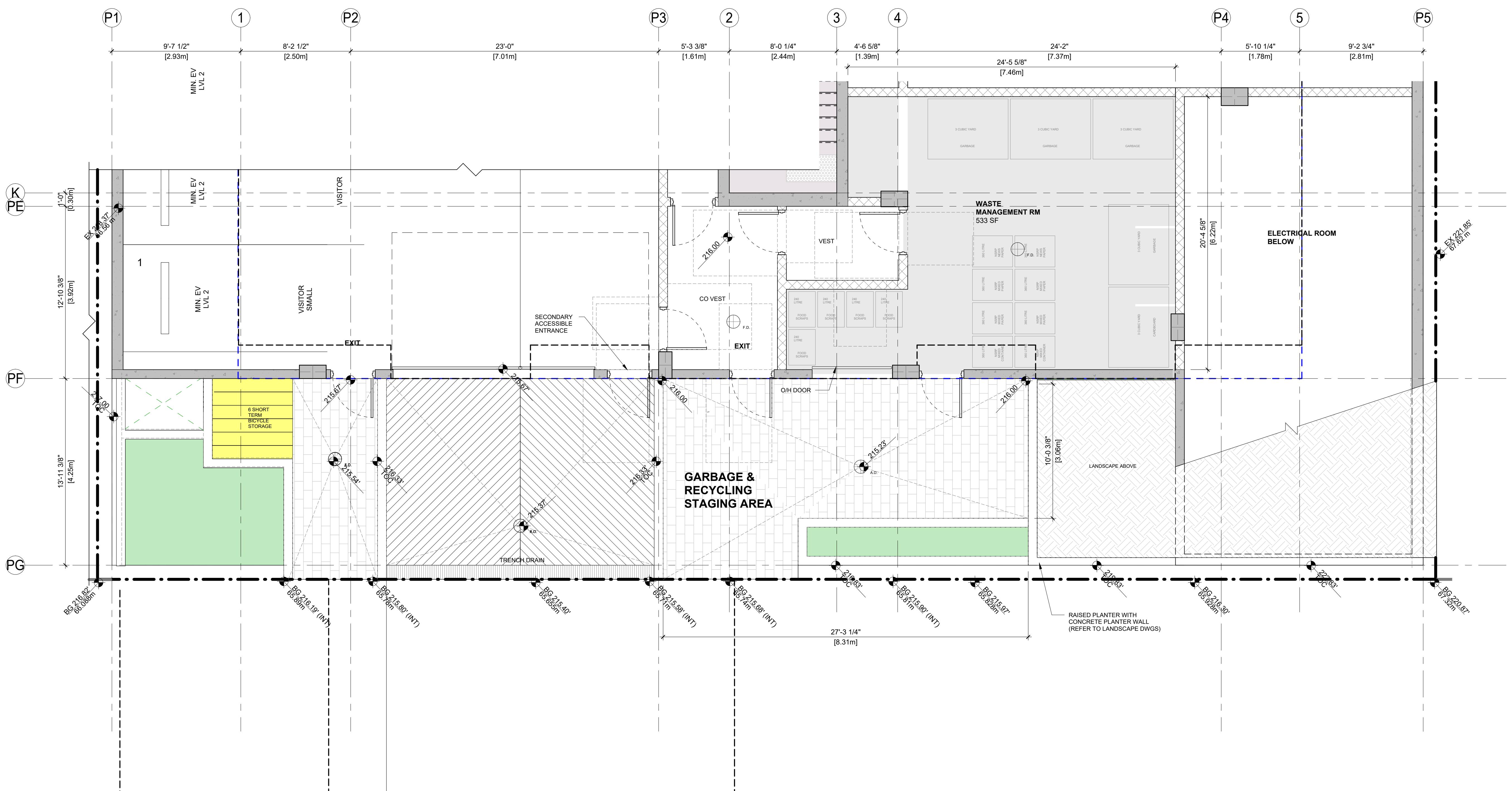
SEAL

DRAWING NO. | REVISION

A203

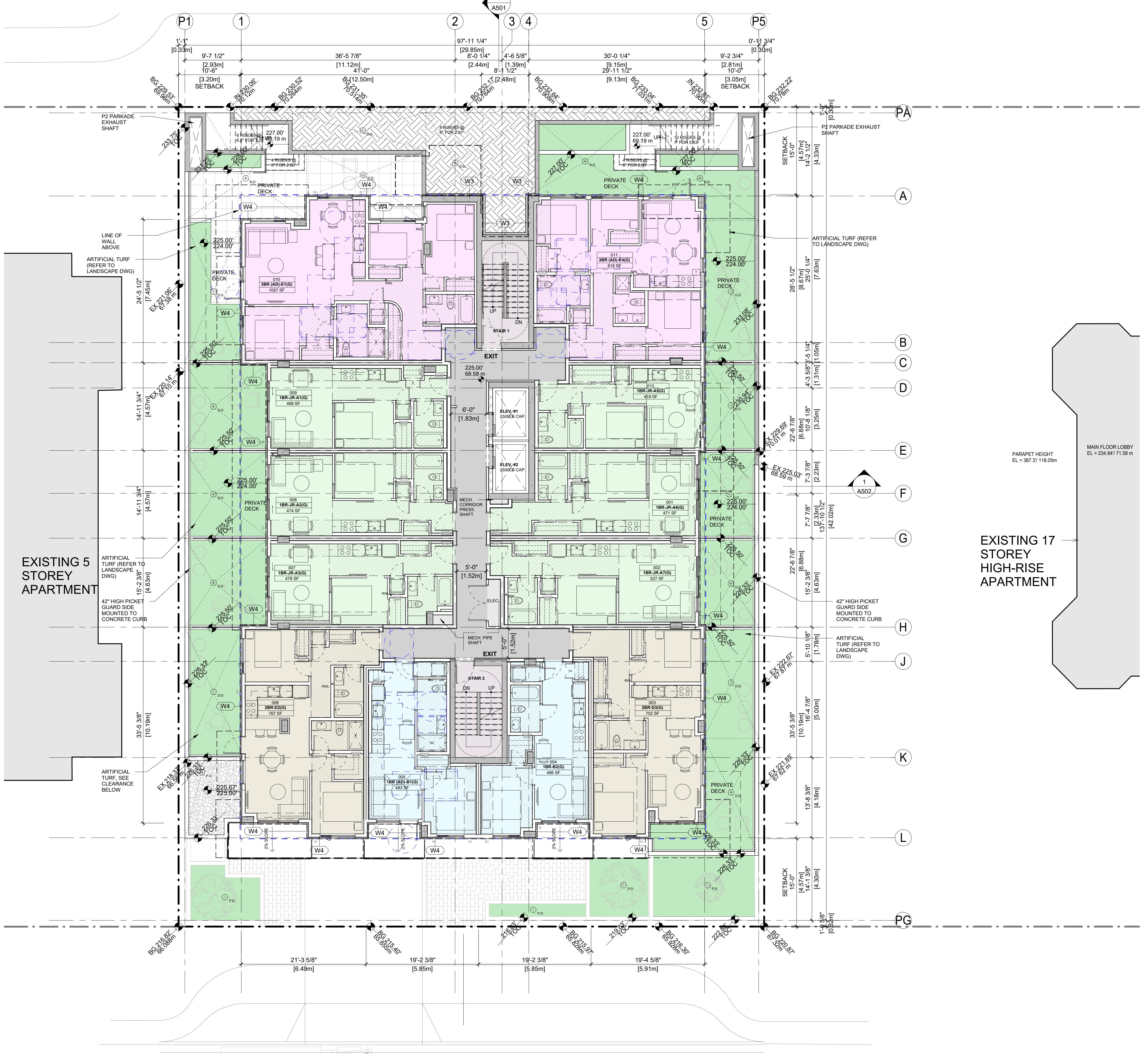
DATE 2025-06-16 DRAWN AZ
SCALE 1/4" = 1'-0" CHECKED HB

RECYCLING AND GARBAGE STORAGE FACILITY REQUIREMENT
REQUIRED PROVIDED
81 units x .486 m² = 39.36 m² / 423.63 SF 49.5 m² / 533 SF
NOTES: DESIGN AND CALCULATION ARE BASED ON CITY OF NORTH VANCOUVER ZONING BYLAW 1995,
NO 6700. 417 GARBAGE AND RECYCLING FACILITIES, FIGURE 4-3



EAST 6TH STREET

EAST KEITH ROAD



GENERAL NOTES

1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
2. REFER TO 1/4" SCALE FLOOR PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT)
6. PROVIDE FIRE BLOCKS AS PER 3.1.11. BC BUILDING CODE 2024 AT ALL COMBUSTIBLE CONCEALED SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
7. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.7. BC BUILDING CODE 2024 - 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, OR 1 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING .
8. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS SIDEWALKS PATIOS PLANTERS AND FENCING.
9. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
10. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
11. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
12. STAND PIPES ARE EXPOSED.
13. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS.
14. DIMENSIONS TO EXTERIOR WALLS ARE SHOWN MEASURED TO EXTERIOR FACE OF SHEATHING OR OF MASONRY/CONCRETE UNLESS NOTES OTHERWISE. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF WALL STUDS OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
15. WALL ASSEMBLIES WHICH ARE FIRE SEPARATIONS SHALL BE CONTINUOUS AND INTEGRAL BEHIND THE ENDS OF ABUTTING NON-RATED PARTITIONS AND BEHIND STAIRWAYS, MILLWORK, FURRED-OUT NON-RATED CHASES (MANIFOLD LOCATIONS) AND, MISCELLANEOUS FIXTURES SUCH AS BATHTUBS & SHOWERS.
16. FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS AND INTEGRAL TO UNDERSIDE OF FIRE-RATED FLOOR ASSEMBLIES, NOTWITHSTANDING ANY INTERVENING INTERSTITIAL CEILING SPACES.
17. WATER-RESISTANT GYPSUM BOARD OR TILE-BACKER BOARD SHALL BE INSTALLED IN THE PARTITIONS SURROUNDING SHOWERS AND BATHTUBS; THE CORRESPONDING PARTITION STUDS SHALL BE SPACED AT MAX. 16" O.C.
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22. NON COMBUSTIBLE OUTLET BOXES WITH MAX. 0.016m² AREA SHOULD BE USED AND ITS AGGREGATE AREA AT FIRE RATED SEPARATION SHALL NOT EXCEED 0.065m² IN ANY 9.3m² SURFACE.
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REVISIONS		NO.	DESCRIPTION	ISSUED FOR	DEVELOPMENT VARIANCE	DATE
						2025-12-18

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PROJECT NO.
25611

PROJECT
**RESIDENTIAL BUILDING
DEVELOPMENT**

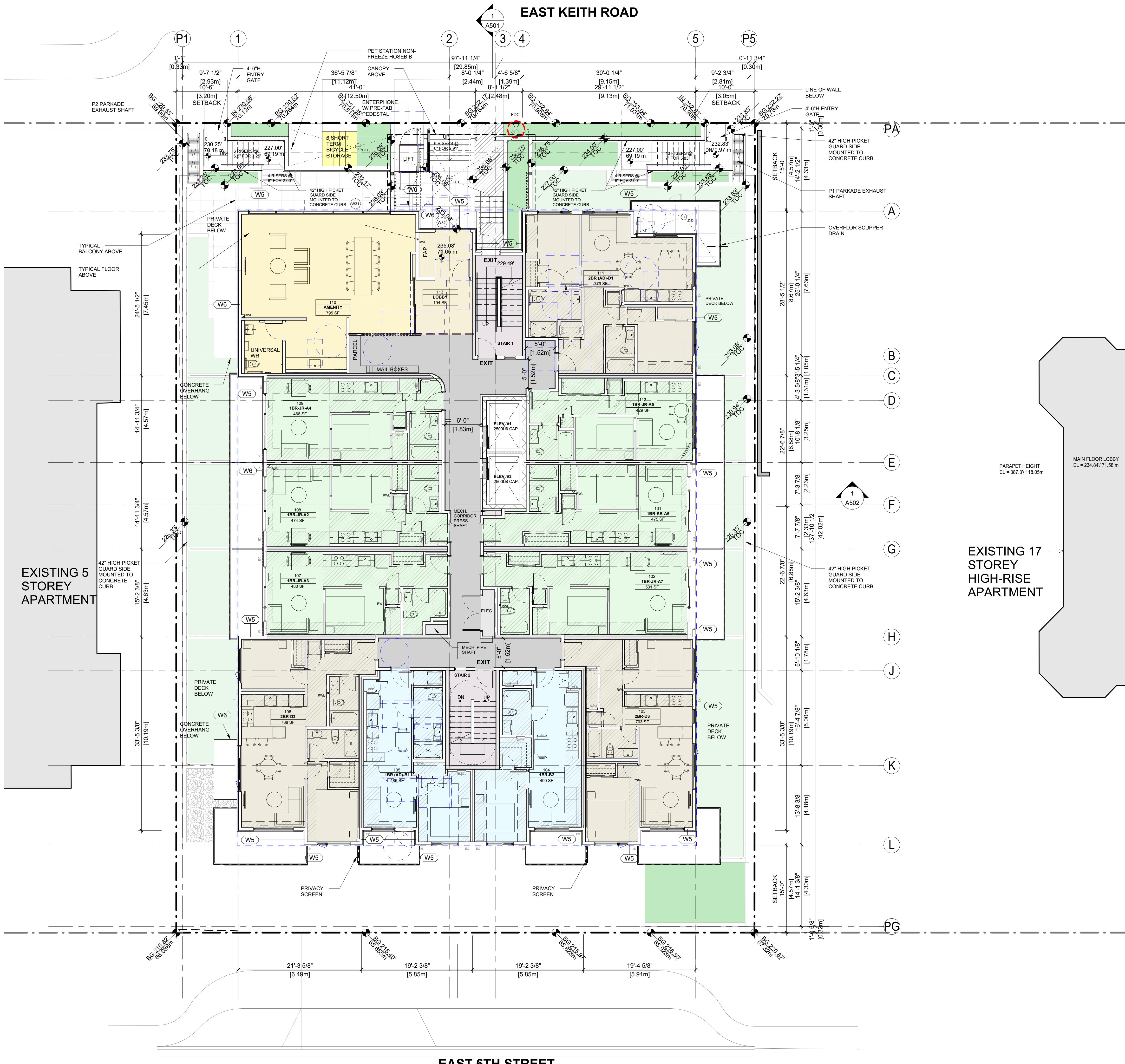
115 Keith Road East,

GROUND LEVEL FLOOR PLAN

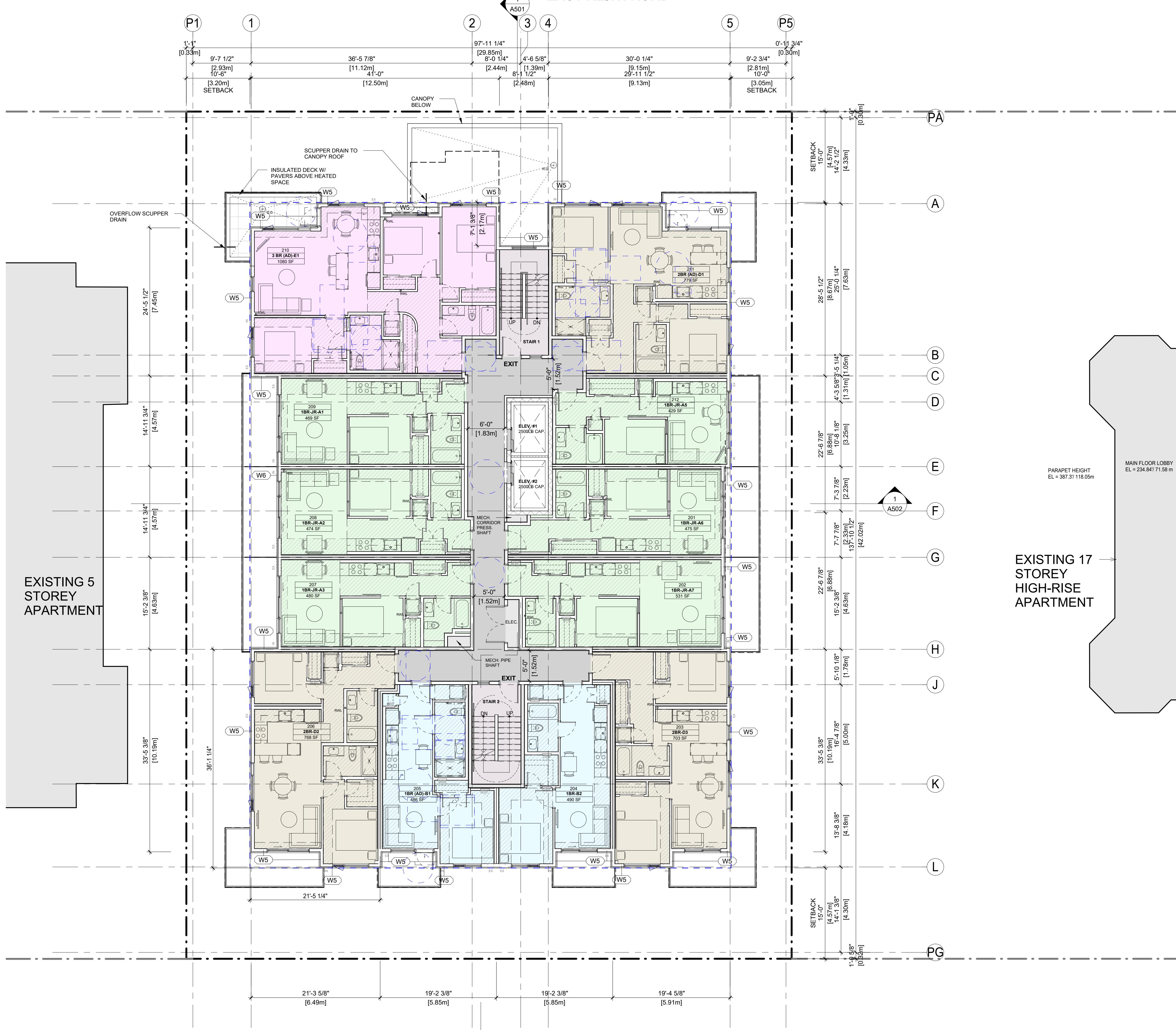
SEAL

A204

DATE	DRAWN
2025-06-16	AZ
SCALE	CHECKED



EAST KEITH ROAD



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REVISIONS

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PROJECT NO. 25611

PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

LEVEL 2-5 FLOOR PLAN

SEAL

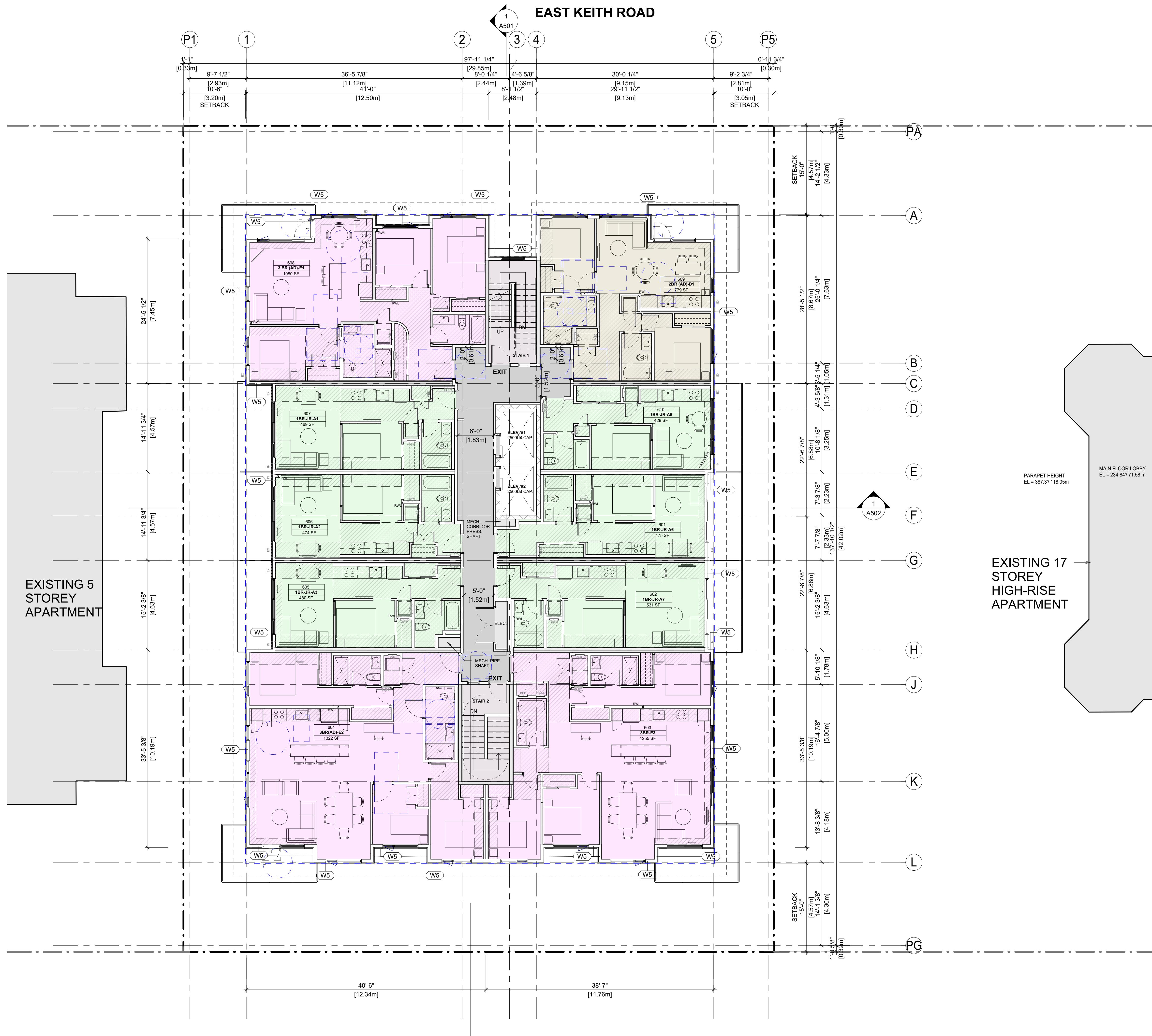
DRAWING NO. I REVISION

A206

DATE 2025-06-16 DRAWN AZ

SCALE 1/8" = 1'-0" CHECKED

HB



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PROJECT NO.

25611

PROJECT

**RESIDENTIAL BUILDING
DEVELOPMENT**

LEVEL 6 FLOOR PLAN

A209

DATE	DRAWN
2025-06-16	AZ
SCALE	CHECKED
1/8" = 1'-0"	HB

EAST KEITH ROAD

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	ISSUED FOR DEVELOPMENT VARIANCE	2025-12-18

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PROJECT NO. 25611

PROJECT

**RESIDENTIAL BUILDING
DEVELOPMENT**

115 Keith Road East,
North Vancouver, BC

ROOF PLAN

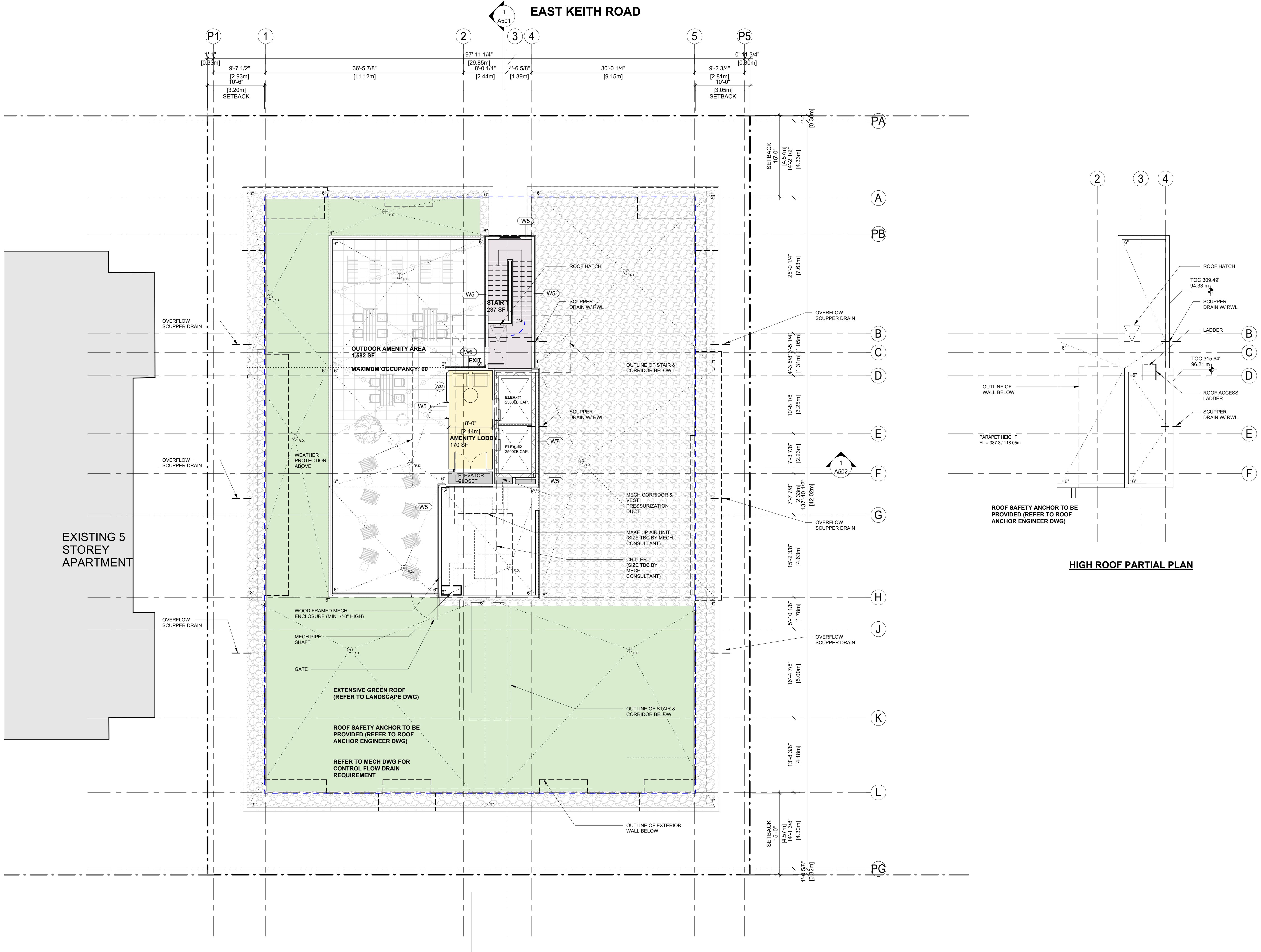
SEAL

DRAWING NO. _____ REVISION _____

A210

DATE	DRAWN
2025-06-16	AZ
SCALE	CHECKED
1/8" = 1'-0"	HB

EAST 6TH STREET



REVISIONS
NO. DESCRIPTION DATE
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

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ELEVATION KEYNOTE LEGEND		ITEM		ITEM		ITEM	
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1.1 CEMENTITIOUS CLADDING - PLANK LAP SIDING (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: TEXTURED; SIZE: 6" WIDE	3.2 GLASS GUARDRAIL (FACE MOUNT)	FRAME: BLACK GLASS: SAFETY CLEAR	7	ALUMINUM GRILL GARAGE OVERHEAD GATE	COLOUR: BLACK	
1.2 CEMENTITIOUS CLADDING - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	3.3 ALUMINIUM PICKET GUARDRAIL (FACE MOUNT)	COLOR: BLACK	8	METAL OVERHEAD DOOR	COLOUR: BLACK	
1.3 CEMENTITIOUS CLADDING - PLANK LAP SIDING (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. FINISH: TEXTURED; SIZE: 6" WIDE	3.4 ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) - AT ENTRY ONLY	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR	9.1	EXPOSED CONCRETE WALL (LIGHT GREY)	COLOUR: ELASTOMERIC PAINT (LIGHT GREY)	
1.4 CEMENTITIOUS CLADDING - SHINGLE (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: STRAIGHT EDGE; SIZE: 7" WIDE	4.1 SOFFIT W/ ALUMINUM PERFORATED PANEL AT BALCONY (DARK GREY)	COLOUR: TYPICAL BALCONY TO MATCH HARDIE 'IRON GRAY' OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	9.2	EXPOSED CONCRETE WALL (LIGHT GREY)	NATURAL CONCRETE (LIGHT GREY)	
1.5 CEMENTITIOUS CLADDING - BALCONY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.2 SOFFIT W/ ALUMINUM PERFORATED PANEL AT MAIN ROOF & ROOFTOP VESTIBULE OVERHANG (WOOD GRAIN)	COLOUR: MAIN ROOF & ROOFTOP VESTIBULE TO MATCH 1.3 OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	10	ALUMINIUM SCREEN SYSTEM AT ENTRY	LONG BOARD PRIVACY BEAM 1X5 COLOUR: TBC	
1.6 ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3 SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR	11.1	METAL FLASHINGS (@ PARAPET)	COLOUR: PAINTED TO COLOUR MATCH ADJACENT FASCIA / CLADDING	
1.7 CEMENTITIOUS CLADDING - OVERHANG FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.4 ALUMINUM SOFFIT PANEL FOR ENTRY CANOPY (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR, WITH MIN. 2" WIDE BLACK MTL. VENT. STRIP. FINISH: TEXTURED; SIZE: 6" WIDE	11.2	METAL FLASHINGS (@ WINDOW / DOOR)	COLOUR: PAINTED TO COLOUR MATCH ADJACENT WINDOW / DOOR	
2.1 ALUMINUM WINDOW / DOOR (DOUBLE GLAZING)	COLOUR: BLACK SPANDREL: METAL SPANDREL PANEL (BLACK) GLASS: LOW-E CLEAR	5.1 PAINTED METAL DOOR	COLOUR: BLACK	11.3	METAL FLASHINGS (@ BASE OF CLADDING)	COLOUR: BLACK	
2.2 VINYL WINDOW / DOOR W/ DOUBLE GLAZING	COLOUR: BLACK GLASS: LOW-E CLEAR / TEMPERED	5.2 PAINTED METAL DOOR (EXIT DOOR AT NORTH)	COLOUR: BLACK	12	EXPOSED 2-PLY SBS MEMBRANE @ MAIN ROOF	COLOUR: LIGHT GREY	
3.1 ALUMINUM FRAME PRIVACY SCREEN	FRAME: BLACK PANEL: FROSTED GLASS, TEMPERED	6 ROOFTOP WOOD FRAMED MECHANICAL ENCLOSURE - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	13	VINYL DECK MEMBRANE AT WOOD FRAMED BALCONY	COLOUR: LIGHT GREY	
				14	PEDESTRIAN TRAFFIC MEMBRANE AT CONCRETE BALCONY	COLOUR: LIGHT GREY	

NOTES:
1) Building represented in this spreadsheet are based on Building Code tables, where the limiting distance or fire compartment values are in between those of Tables 3.2.3.1.8, 3.2.3.1.9, 3.2.3.1.0 or 3.2.3.1.1, these have been calculated by linear interpolation.
2) The exposing building face is subdivided into fire compartments for exposure analysis purposes as permitted by Sentence 3.2.3.2.1(1); only the most critical fire compartment is represented.
3) The fire-resistance rating, construction, and cladding requirement for the exposing building faces have been determined in conformance with Table 3.2.3.7.
4) All limiting distances are measured to property line (PL) or to the centre line (CL) of a street. For building-to-building exposure on the same property, the limiting distance is measured to an imaginary line (IL) between the exposing building faces; however, this imaginary line may not necessarily be midway between the two buildings.

NOTES:
1) All trim color should match adjacent panel.
2) Color to be confirmed after contractor provides samples/ mock up.
3) Refer to elevations for location of concrete reveals.

SEAL

DRAWING NO. 25611
REVISION

PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

BUILDING ELEVATION
(NORTH) EAST KEITH ROAD

A401

DATE 2025-08-29 DRAWN AZ

SCALE 1/8" = 1'-0" CHECKED HB



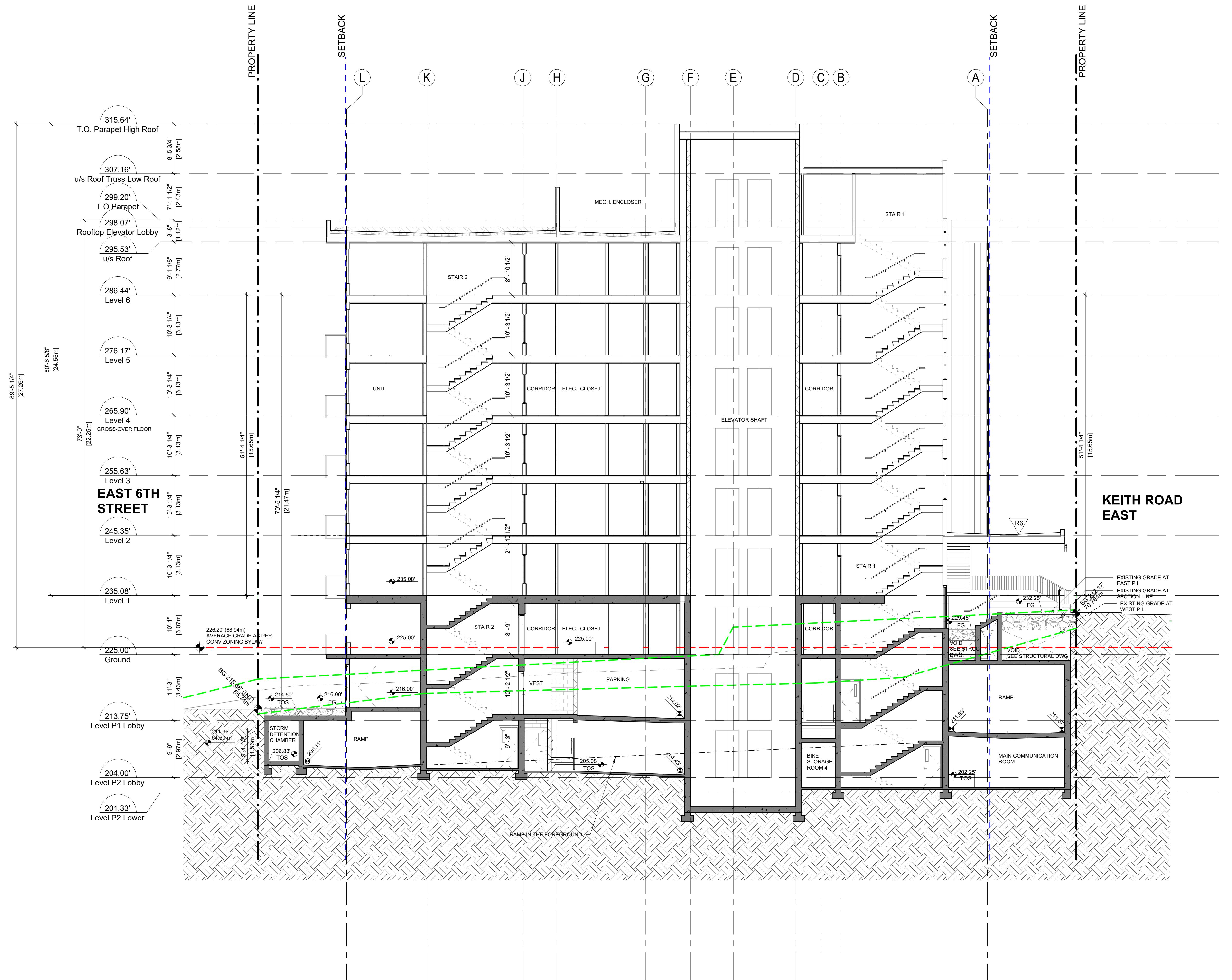


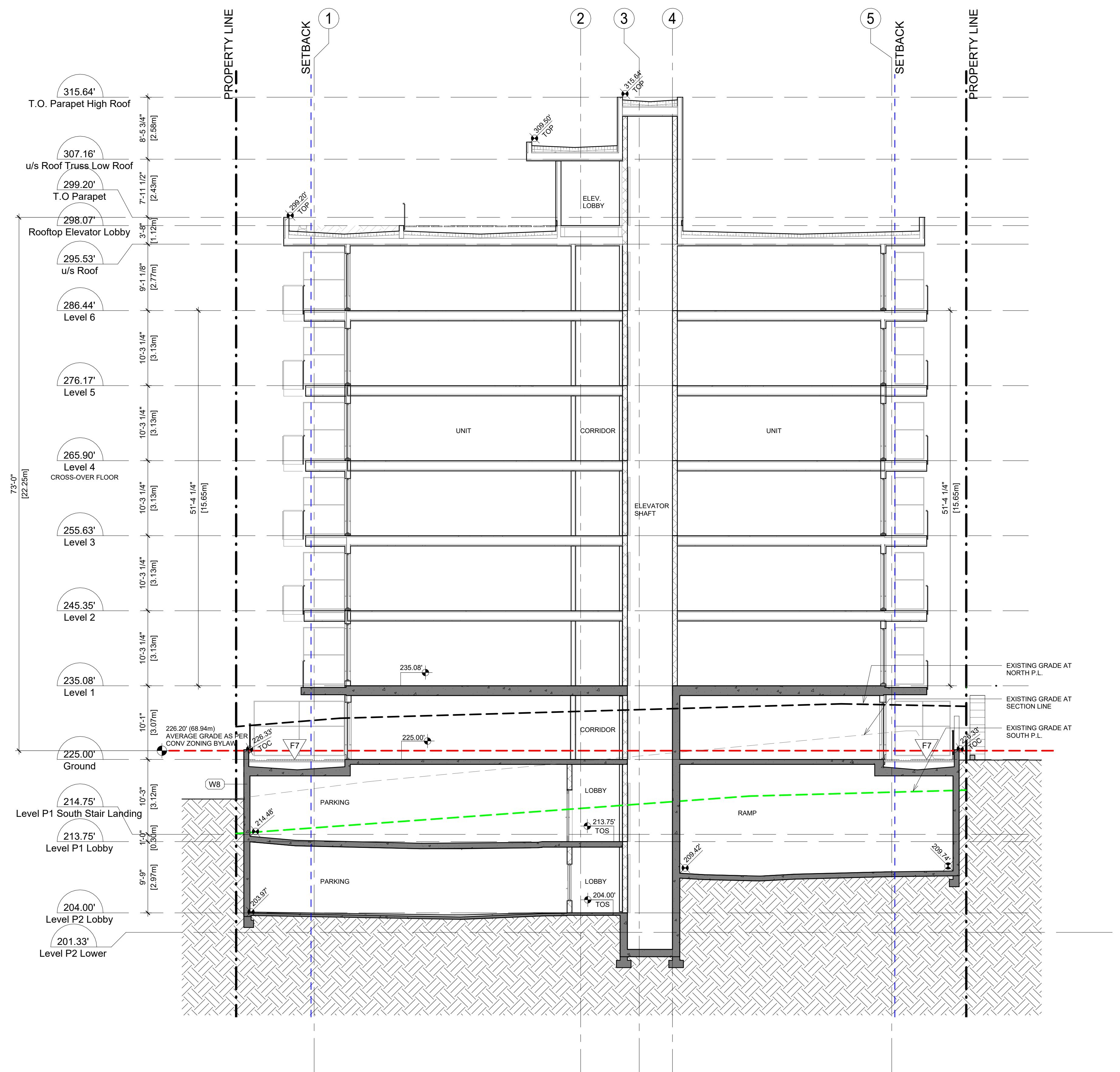
NOTES:
1. ALL TRIM COLOR SHOULD MATCH ADJACENT PANEL
2. COLOR TO BE CONFIRMED AFTER CONTRACTOR PROVIDES SAMPLES/ MOCK UP
3. REFER TO ELEVATIONS FOR LOCATION OF CONCRETE REVEALS

ELEVATION KEYNOTE LEGEND					
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
1.1	CEMENTITIOUS CLADDING - PLANK LAP SIDING (DARK GREY) COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: TEXTURED; SIZE: 6" WIDE	3.2	GLASS GUARDRAIL (FACE MOUNT) FRAME: BLACK GLASS: SAFETY CLEAR	7	ALUMINUM GRILL GARAGE OVERHEAD GATE COLOUR: BLACK
1.2	CEMENTITIOUS CLADDING - BOARD & BATTEN (WHITE) COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	3.3	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) COLOR: BLACK	8	METAL OVERHEAD DOOR COLOUR: BLACK
1.3	CEMENTITIOUS CLADDING - PLANK LAP SIDING (WOOD GRAIN) COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. FINISH: TEXTURED; SIZE: 6" WIDE	3.4	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) - AT ENTRY ONLY COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR	9.1	EXPOSED CONCRETE WALL (LIGHT GREY) COLOUR: ELASTOMERIC PAINT (LIGHT GREY)
1.4	CEMENTITIOUS CLADDING - SHINGLE (DARK GREY) COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: STRAIGHT EDGE; SIZE: 7" WIDE	4.1	SOFFIT W/ ALUMINUM PERFORATED PANEL AT BALCONY (DARK GREY) COLOUR: TYPICAL BALCONY TO MATCH HARDIE 'IRON GRAY' OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	9.2	EXPOSED CONCRETE WALL (LIGHT GREY) NATURAL CONCRETE (LIGHT GREY)
1.5	CEMENTITIOUS CLADDING - BALCONY FASCIA (DARK GREY) COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.2	SOFFIT W/ ALUMINUM PERFORATED PANEL AT MAIN ROOF & ROOFTOP VESTIBULE OVERHANG (WOOD GRAIN) COLOUR: MAIN ROOF & ROOFTOP VESTIBULE TO MATCH 1.3 OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	10	ALUMINIUM SCREEN SYSTEM AT ENTRY LONG BOARD PRIVACY BEAM 1X5 COLOUR: TBC
1.6	ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY) COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3	SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR	11.1	METAL FLASHINGS (@ PARAPET) COLOUR: PAINTED TO COLOUR MATCH ADJACENT FASCIA / CLADDING
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2.1	ALUMINUM WINDOW / DOOR (DOUBLE GLAZING) COLOUR: BLACK SPANDREL: METAL SPANDREL PANEL (BLACK) GLASS: LOW-E CLEAR	5.1	PAINTED METAL DOOR COLOUR: BLACK	11.3	METAL FLASHINGS (@ BASE OF CLADDING) COLOUR: BLACK
2.2	VINYL WINDOW / DOOR W/ DOUBLE GLAZING COLOUR: BLACK GLASS: LOW-E CLEAR / TEMPERED	5.2	PAINTED METAL DOOR (EXIT DOOR AT NORTH) COLOUR: BLACK	12	EXPOSED 2-PLY SBS MEMBRANE @ MAIN ROOF COLOUR: LIGHT GREY
3.1	ALUMINUM FRAME PRIVACY SCREEN FRAME: BLACK PANEL: FROSTED GLASS, TEMPERED	6	ROOFTOP WOOD FRAMED MECHANICAL ENCLOSURE - BOARD & BATTEN (WHITE) COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	13	VINYL DECK MEMBRANE AT WOOD FRAMED BALCONY COLOUR: LIGHT GREY
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1.6	ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3	SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR	11.1	METAL FLASHINGS (@ PARAPET)	COLOUR: PAINTED TO COLOUR MATCH ADJACENT FASCIA / CLADDING			
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						14	PEDESTRIAN TRAFFIC MEMBRANE AT CONCRETE BALCONY	COLOUR: LIGHT GREY			





A502

DATE	DRAWN
2025-08-29	AZ
SCALE	CHECKED
1/8" = 1'-0"	HB

ADAPTABLE DWELLING UNIT REQUIREMENT CHECKLIST

KEY CODE	SUB-CATEGORY	DESCRIPTION	COMPLIANCE	NOTES
01 CITY OF NORTH VANCOUVER ADAPTABLE (LEVEL 2) REQUIREMENT - DESIGN ELEMENTS				
ADA-1	BUILDING ACCESS (Outside Stairs)	Maximum degree of colour contrast on nosing of each stair	Compiled	
ADA-2	BUILDING ACCESS (Curb cuts)	Curb cuts have tactile and visual cues	Compiled	
ADA-3	BUILDING ACCESS (Access to main entrances)	Unobstructed access to main building entrances from street/sidewalks	Compiled	
ADA-4	BUILDING ACCESS (Internal access)	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520mm corridors; 2' or 610mm clear wall space adjacent to entrance); - no stairs within circulation including corridors on residential levels; - accessible storage lockers for each unit	Compiled	
ADA-5	BUILDING ACCESS (Canopy/Enterphone)	Canopy overhangs less than 3' (3' or 915mm) and entrance	Compiled	
ADA-6	BUILDING ACCESS (Automatic door opener)	Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground/parking level where disability parking is provided	Compiled	
ADA-7	BUILDING ACCESS (Disability Parking)	Disability Parking provided in accordance with Zoning bylaw	Compiled	
ADA-8	BUILDING ACCESS (Door size)	3' or 915mm building and suite entry doors	Compiled (Refer to ADA-71)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-9	BUILDING ACCESS (Thresholds)	Flush thresholds throughout the building (maximum 1/2" or 13mm height)	Compiled	
ADA-10	BUILDING ACCESS (Call buttons)	Accessible building entrance, call buttons and, where provided, suite door bells	Compiled	
ADA-11	COMMON AREAS (Mailboxes)	Accessible mailboxes for all AD Level 2 units, and 5' or 1520mm turning radius in front	Compiled	
ADA-12	CIRCULATION (Corridors)	Corridors minimum 4' or 1220mm wide (except for service access areas)	Compiled	
ADA-13	CIRCULATION (Turning radius)	Provide 5' or 1520mm turning radius inside and outside the entry corridor of each dwelling unit	Compiled (Refer to ADA-72)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-14	SUITE CIRCULATION (Door opener wiring)	Provide wiring for an automatic door opener for the suite entry door	Compiled	
ADA-15	SUITE CIRCULATION (Clear wall space)	Provide 2' or 610mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable)	Compiled (Refer to ADA-74)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-16	DOORS (Minimum clear opening)	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860mm clear opening.	Compiled (Refer to ADA-73)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-17	PATIOS & BALCONIES (Threshold)	Minimum one patio or balcony deck with maximum 1/2" or 13mm threshold	Compiled	
ADA-18	PATIOS & BALCONIES (Turning radius)	Minimum 5' or 1520mm turning radius on patio / balcony	Compiled	
ADA-19	WINDOWS (Opening mechanism height)	Opening mechanism maximum 46" or 1168mm above floor (provide notation on window schedule)	Compiled	
ADA-20	WINDOWS (Size and sill height)	Provide minimum 6-0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2"-6" or 750mm above the floor	Compiled	
ADA-21	KITCHEN (Continuous counter)	Continuous counter between sink and stove	Compiled (Refer to ADA-106)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-22	BATHROOM (Toilet location)	Toilet located adjacent to wall (min 3' or 915mm length)	Compiled (Refer to ADA-81)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-23	BATHROOM (Turning radius)	Provide turning radius within bathroom (may result from removal of vanity cabinet)	Compiled	
ADA-24	BATHROOM (Tub clearance)	3' or 915mm clearance along full length of tub	Compiled (Refer to ADA-100)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-25	BATHROOM (Tub controls/spout)	Tub control valve placed at outer edge of tub, with tub spout remaining in central position	Compiled (Refer to ADA-102)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-26	STORAGE	Accessible storage	Compiled	
02 CITY OF NORTH VANCOUVER ADAPTABLE (LEVEL 2) REQUIREMENT - FIXTURES & FINISHES				
ADA-27	BASIC (Address numbers)	Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)	Compiled	
ADA-28	BASIC (Lighting levels)	Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries	Compiled (Refer to Elec dwg)	
ADA-29	BASIC (Entry flooring)	No polished finish on building entry flooring (provide flooring samples)	Compiled	
ADA-30	BASIC (Door handles)	Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide notation on door schedule)	Compiled	
ADA-31	BASIC (Signage)	Signage in accessible common areas has well contrasted colours	Compiled	
ADA-32	BASIC (Elevators)	Elevators have well contrasted control buttons	Compiled	
ADA-33	CIRCULATION (Flooring)	Slip resistant flooring	Compiled	
ADA-34	CIRCULATION (Exit doors)	Colour contrasting exit doors	Compiled	
ADA-35	BUILDING MEETING/AMENITY ROOMS	Provide carpet and drapes to absorb sound and decrease echoes	Compiled	
ADA-36	UNIT ENTRIES (Door closers)	Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.	Compiled	
ADA-37	UNIT ENTRIES (Door handle/Viewer)	Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below. Two door viewers: 35" or 1050mm and 5' or 1520mm	Compiled	
ADA-38	UNIT FLOORING (Kitchen/Bath)	Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)	Compiled (Refer to ADA-91 & 104)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-39	UNIT FLOORING (Carpet)	High density, low level loop carpet and underlayment maximum 1/2" or 13mm height	Compiled	
ADA-40	PATIOS AND BALCONIES (Light)	Outdoor light fixture provided	Compiled	
ADA-41	PATIOS AND BALCONIES (Outlet)	Electrical outlet provided	Compiled (Refer to Elec dwg)	
ADA-42	ELECTRICAL (Max height)	Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 46" or 1170mm above finished floor	Compiled (Refer to ADA-109 & Elec dwg)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-43	ELECTRICAL (Min height)	Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor	Compiled (Refer to ADA-109 & Elec dwg)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-44	ELECTRICAL (Outlets/Jacks)	Within suites a duplex outlet is required within 8" or 200mm of a telephone jack	Compiled (Refer to Elec dwg)	
ADA-45	ELECTRICAL (Visual alarm)	Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system	Compiled (Refer to Elec dwg)	
ADA-46	ELECTRICAL (Rocker switches)	Rocker switches	Compiled (Refer to Elec dwg)	
ADA-47	WINDOWS (Operating mechanism)	Easily grasped and operated mechanism for opening and locking windows	Compiled	
ADA-48	KITCHEN (Task lighting)	Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting	Compiled	
ADA-49	KITCHEN (Work boards)	Pull-out work boards at 28" or 810mm height	Compiled	
ADA-50	KITCHEN (Faucets/Handles)	Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles	Compiled	
ADA-51	KITCHEN (Shelves)	Adjustable shelves in all cabinets	Compiled	
ADA-52	MIN. ONE BATHROOM (Solid blocking)	Adjustable blocks provided in walls of tub/shower and toilet areas, and behind towel bars	Compiled (Refer to ADA-82, 93)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-53	MIN. ONE BATHROOM (Valves)	Pressure balanced tub / shower valves	Compiled (Refer to ADA-95 & 103)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-54	MIN. ONE BATHROOM (Vanity height drop)	Provision in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)	Compiled	
ADA-55	MIN. ONE BATHROOM (Sink removal)	Provision for vanity sink removal	Compiled	
ADA-56	MIN. ONE BATHROOM (Shower head)	Adjustable height shower head or hand-held shower head on adjustable bracket	Compiled (Refer to ADA-96 & 105)	Conform with BCBC 2024 for equivalent or more restrictive requirement
ADA-57	LIVING ROOM	One switched electrical outlet	Compiled (Refer to Elec dwg)	
ADA-58	BEDROOMS (Switched outlet)	Three-way switched outlet at bed area and doorway	Compiled (Refer to Elec dwg)	
ADA-59	BEDROOMS (Closet light)	Provide light fixture in or adjacent to closet	Compiled (Refer to Elec dwg)	
ADA-60	BEDROOMS (Telephone jack)	Telephone jack	Compiled (Refer to Elec dwg)	
ADA-61	IN-SUITE STORAGE	Provide light and electrical outlet	Compiled (Refer to Elec dwg)	
03 BC BUILDING CODE 2024 ADAPTABLE DWELLING REQUIREMENT (BASED ON AIBC ADAPTABLE DWELLING CHECKLIST)				
ADA-62	SCOPE (Application)	Applies to one storey dwelling units served by an accessible interior public corridor and an accessible common building entrance.	N/A	
ADA-63	SCOPE (Excluded Units)	"Excluded" dwelling units: detached houses, semi-detached houses, houses with a secondary suite, duplexes, triplexes, N/A row houses and boarding houses.	N/A	
ADA-64	SCOPE (Common Spaces)	Applied to common spaces and facilities intended for use by the residents of the dwelling units, including common roof/ N/A	N/A	
ADA-65	SCOPE (Excluded Unit Bathroom)	"Excluded" dwelling units still provide at least one bathroom with walls reinforced for water closet, bathtub and shower N/A	N/A	
ADA-66	SCOPE (ADU Ratio)	One in 5 units to be ADUs.	Compiled	
ADA-67	CONSTRUCTION	Adaptability as well as other residential building accessibility requirements apply.	Compiled	
ADA-68	BUILDING ACCESS (Paths of Travel)	Common areas, spaces and facilities and all common exterior and interior paths of travel serving adaptable dwelling units	Compiled	
ADA-69	BUILDING ACCESS (Illumination)	Common corridors and passageways serving adaptable dwelling illuminated to 50 lx.	Compiled (Refer to ADA-28 & Elec dwg)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-70	BUILDING ACCESS (Outlet Boxes)	ADUs provided with special outlet boxes and cover plates. (Confirm locations).	Compiled (Refer to Elec dwg)	
ADA-71	DOORWAYS (Suite Entry Width)	Suite entrance doors have a clear width of 850 mm (which means approx 915mm including door)	Compiled (Refer to ADA-8)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-72	DOORWAYS (Suite Entry Clearance/Opener)	Clear space on both sides of suite entry door: - pull side of a swinging door not less than 1700 mm by 1500 mm - push side of a swinging door not less than 1200 mm (parallel to the door) by 1500 mm (perpendicular to the door)	Compiled (Refer to ADA-13)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-73	DOORWAYS (Internal Clear Width)	Doorways connecting the entrance with a living space, adaptable bedroom, adaptable bathroom, and adaptable kitchen	Compiled (Refer to ADA-16)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-74	DOORWAYS (Internal Clearance/Opener)	Doorways connecting the entrance with a living space, adaptable bedroom, adaptable bathroom, and adaptable kitchen	Compiled (Refer to ADA-15)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-75	HALLWAYS & CORRIDORS (Width)	Hallways and corridors connecting entrance with a living space, adaptable bedroom, adaptable bathroom and adaptable	Compiled (Refer to ADA-12)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-76	BEDROOM (Clear Area)	1700 mm diameter or 1700 mm by 1500 mm clear area that could be adjacent a bed.	Compiled	
ADA-77	BEDROOM (Pathway)	An 850 mm wide pathway that could be unobstructed by a bed.	Compiled	
ADA-78	BEDROOM (Closet Opening)	One closet with a clear opening of width not less than 900 mm.	Compiled	
ADA-79	BEDROOM (Closet Clear Space)	1700 mm diameter or 1700 mm by 1500 mm clear space on one side of the closet.	Compiled	
ADA-80	WATER CLOSET (Transfer Space)	Adjacent transfer 1500 mm long by 900 mm wide.	Compiled	
ADA-81	WATER CLOSET (Location)	Water closet adjacent to a side wall 460 to 480 mm from centreline.	Compiled (Refer to ADA-22)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-82	WATER CLOSET (Grab Bar)	L-shaped grab bar on side wall - Grab bar behind water closet	Compiled (Refer to ADA-52)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-83	LAVATORY (Plumbing)	Plumbing system allowing future accessible lavatory: - faucets complying with Sentence 3.7.2.3(4). - insulated water supply and drainpipes where these pipes are exposed.	Compiled	
ADA-84	LAVATORY (Lavatory Clearance in Front)	800 mm by 1350 mm floor space, no more than 430 mm is beneath the lavatory.	Compiled	
ADA-85	LAVATORY (Side Wall Clearance)	Centre line of the lavatory and any side wall is not less than 460 mm.	Compiled	
ADA-86	LAVATORY (Rim Height)	Rim height not more than 865 mm above the floor.	Compiled	
ADA-87	SHOWER/ TUB (Plumbing)	Plumbing system allowing future installation of an accessible shower or bathtub.	Compiled	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-88	SHOWERS (Size)	1500 mm wide and 900 mm deep.	Compiled	
ADA-89	SHOWERS (Clear Space)	900 mm clear space the length of the shower (fixtures can intrude).	Compiled	
ADA-90	SHOWERS (Doors/Curtains)	No doors or curtains obstructing controls or the clear floor space at the entrance.	Compiled	
ADA-91	SHOWERS (Floor Surface)	Slip-resistant floor surface.	Compiled (Refer to ADA-91)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-92	SHOWERS (Threshold)	Threshold <13 mm bevelled at 1:2 where it is higher than 6 mm.	Compiled (Refer to ADA-9)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-93	SHOWERS (Grab Bar Backing)	Backing for 2 grab bars (back wall, side wall opposite controls).	Compiled (Refer to ADA-52)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-94	SHOWERS (Toilet Seat)	Compliant toilet seat (see detailed code provisions).	Compiled	
ADA-95	SHOWERS (Controls)	Pressure-equalizing or thermostatic-mixing valve and other controls on the wall opposite the entrance to the shower	Compiled (Refer to ADA-53)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-96	SHOWERS (Hand-held)	Hand-held shower head.	Compiled (Refer to ADA-56)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-97	SHOWERS (Soap Holders)	Recessed soap holders that can be reached from the seated position.	Compiled	
ADA-98	BATHTUBS (Clear Floor Space)	Clear floor space ≥1700 mm in diameter.	Compiled	
ADA-99	BATHTUBS (Length)	Bathtub ≥1500 mm long.	Compiled	
ADA-100	BATHTUBS (Clear Space)	900 mm clear space the length of the bathtub (fixtures can intrude).	Compiled (Refer to ADA-24)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-101	BATHTUBS (Access)	Capable of being accessed along its full length with no tracks mounted on its rim.	Compiled	

KEY CODE	SUB-CATEGORY	DESCRIPTION	COMPLIANCE	NOTES
01 CITY OF NORTH VANCOUVER ADAPTABLE (LEVEL 2) REQUIREMENT - DESIGN ELEMENTS				
ADA-102	BATHTUBS (Controls Location)	Pressure-equalizing or thermostatic mixing valve and other controls located on the centre line or between the centre line & 53).	Compiled (Refer to ADA-25)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-103	BATHTUBS (Grab Bar Backing)	Backing for three grab bars (one on each side wall, one on rear wall).	Compiled (Refer to ADA-52)	Conform with City of North Vancouver AD requirement for equivalent or more restrictive requirement
ADA-104	BATHTUBS (Bottom Surface)	Slip-resistant bottom surface.		

REVISIONS
NO. DESCRIPTION DATE
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

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ACCESSORIES KEY NOTES

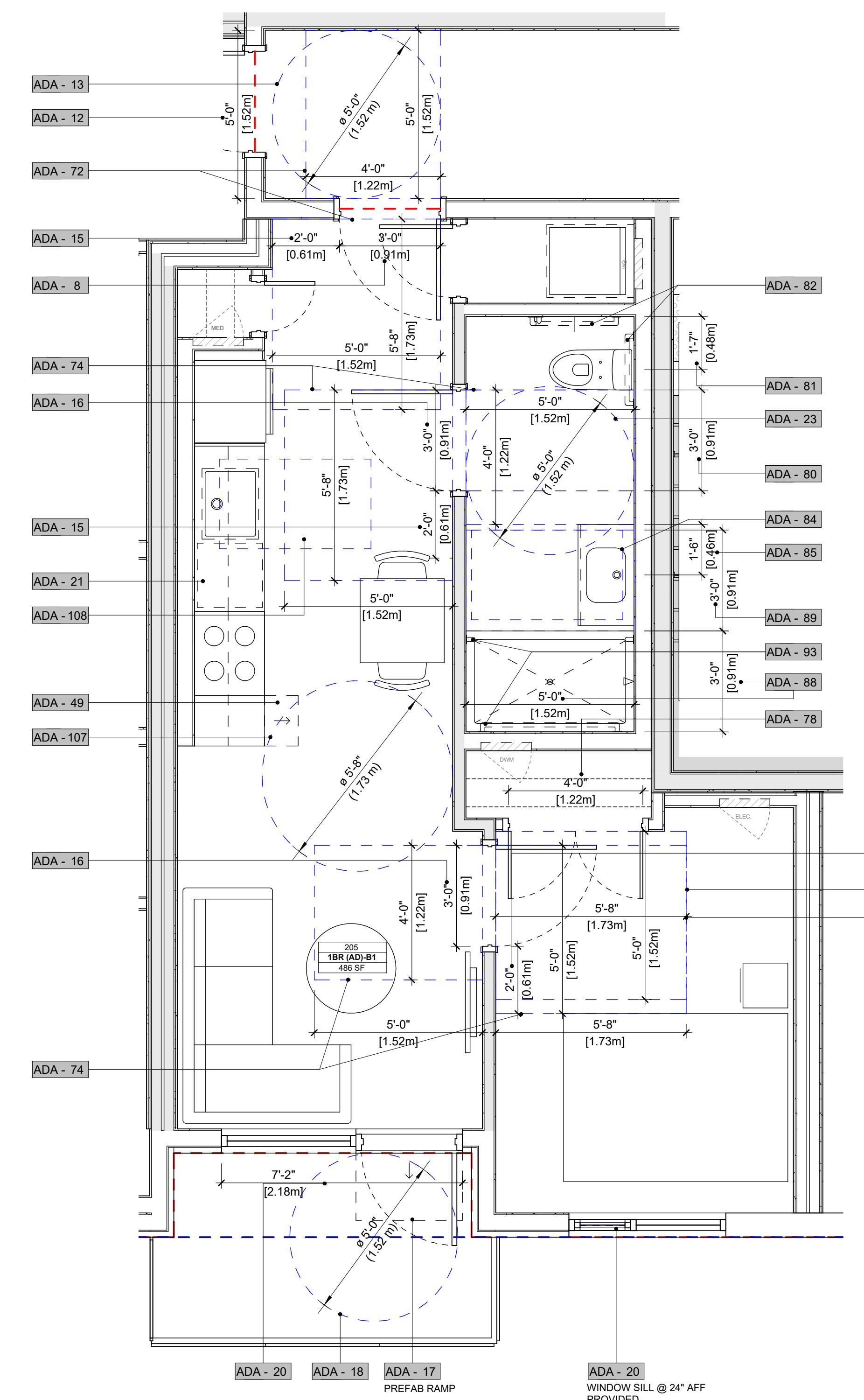
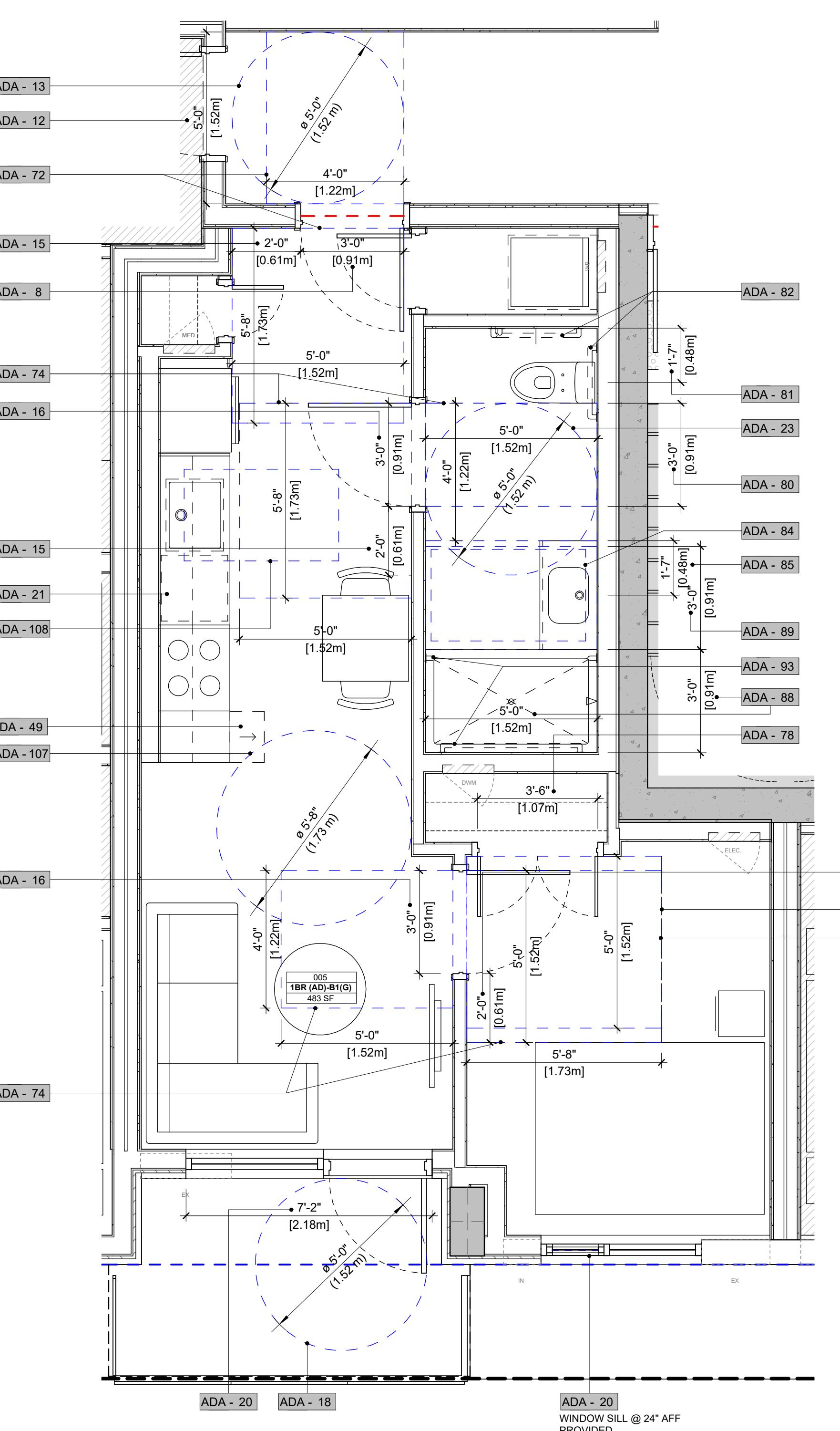
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M1 MIRROR

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC
DRAWING TITLE

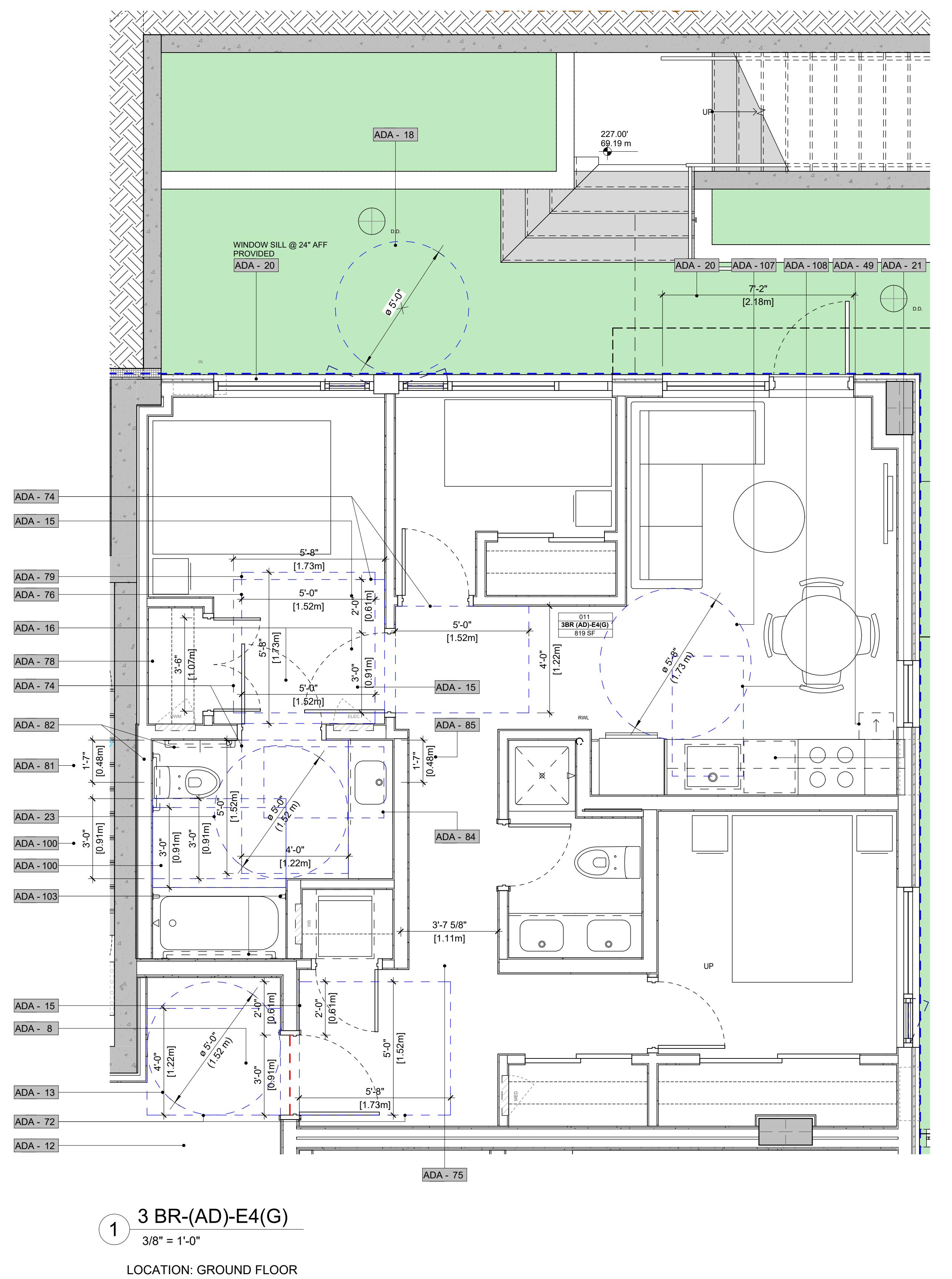
ADAPTABLE DWELLING PLANS

SEAL



DRAWING NO. | REVISION
2025-11-05 | AZ
SCALE | CHECKED
3/8" = 1'-0" | DA

A802



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PROJECT NO.
25611

PROJECT
**RESIDENTIAL BUILDING
DEVELOPMENT**

115 Keith Road East,
North Vancouver, BC

ADAPTABLE DWELLING PLANS

1

DRAWING NO. _____ REVISION _____

A803

DATE	DRAWN
2025-11-05	AZ
SCALE	CHECKED
3/8" = 1'-0"	DA

REVISIONS

NO. DESCRIPTION ISSUED FOR DEVELOPMENT VARIANCE DATE

2025-12-18

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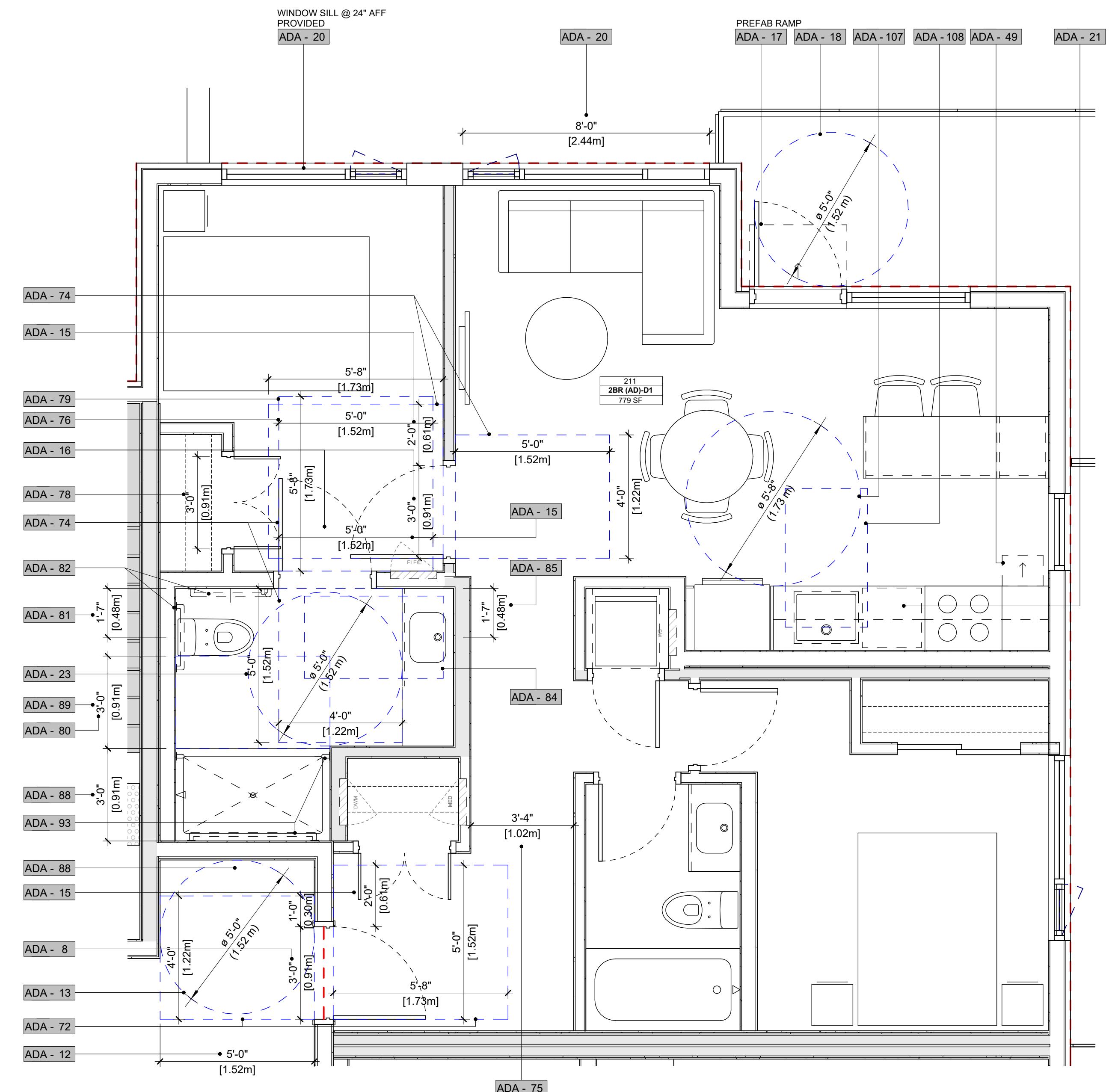
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PROJECT NO. 25611

PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

ADAPTABLE DWELLING PLANS

SEAL

DRAWING NO. | REVISION

A804

DATE 2025-11-05 DRAWN AZ
SCALE 3/8" = 1'-0" CHECKED DA

REVISIONS

NO. DESCRIPTION DATE
ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18

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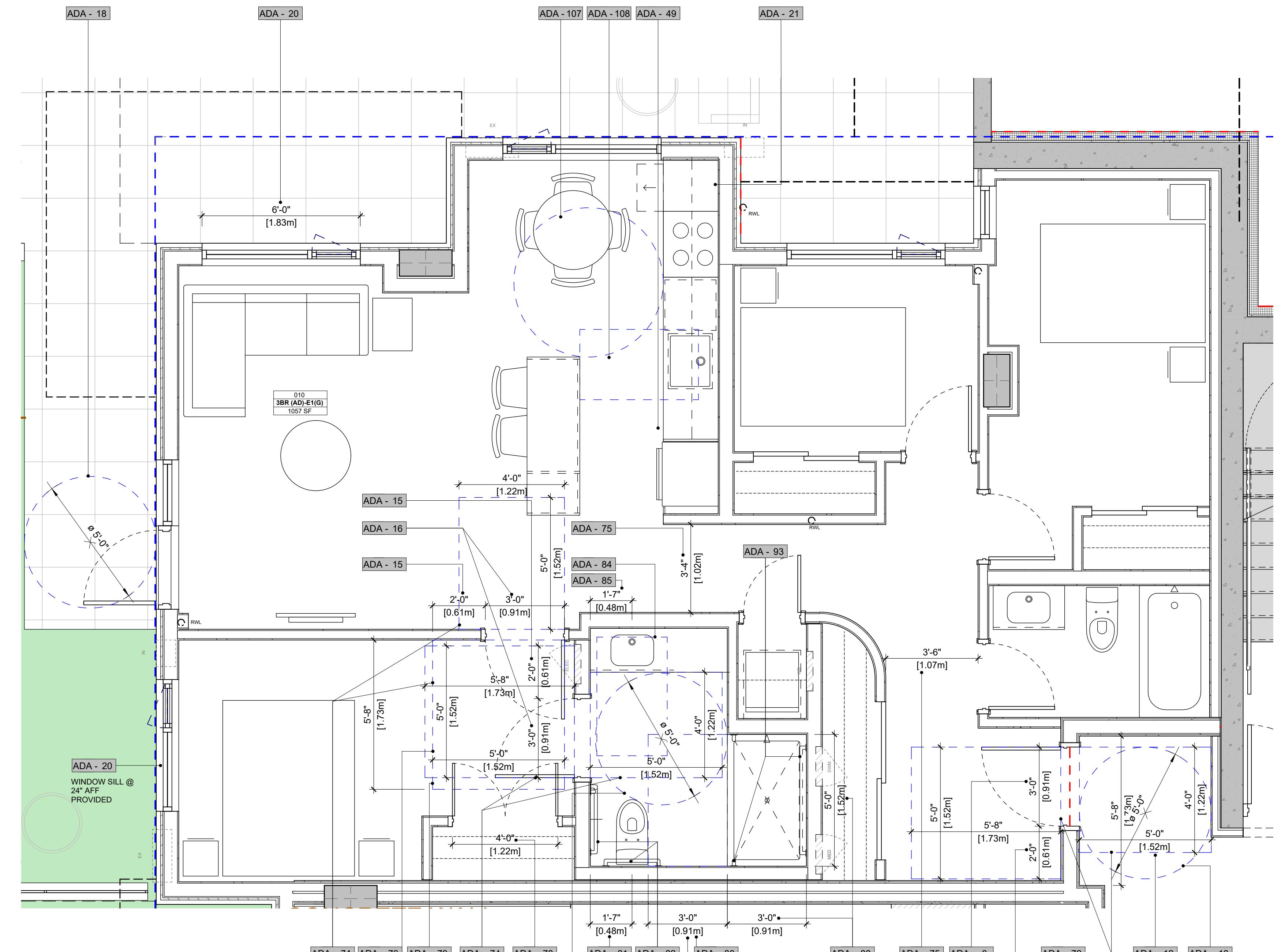
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1 3BR (AD)-E1(G)

3/8" = 1'-0"

LOCATION: GROUND FLOOR

005
1BR (AD)-E1(G)
468 SF

PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

ADAPTABLE DWELLING PLANS

SEAL

DRAWING NO. | REVISION

A805

DATE 2025-11-05 DRAWN AZ

SCALE 3/8" = 1'-0" CHECKED DA

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PROJECT NO. 25611

PROJECT

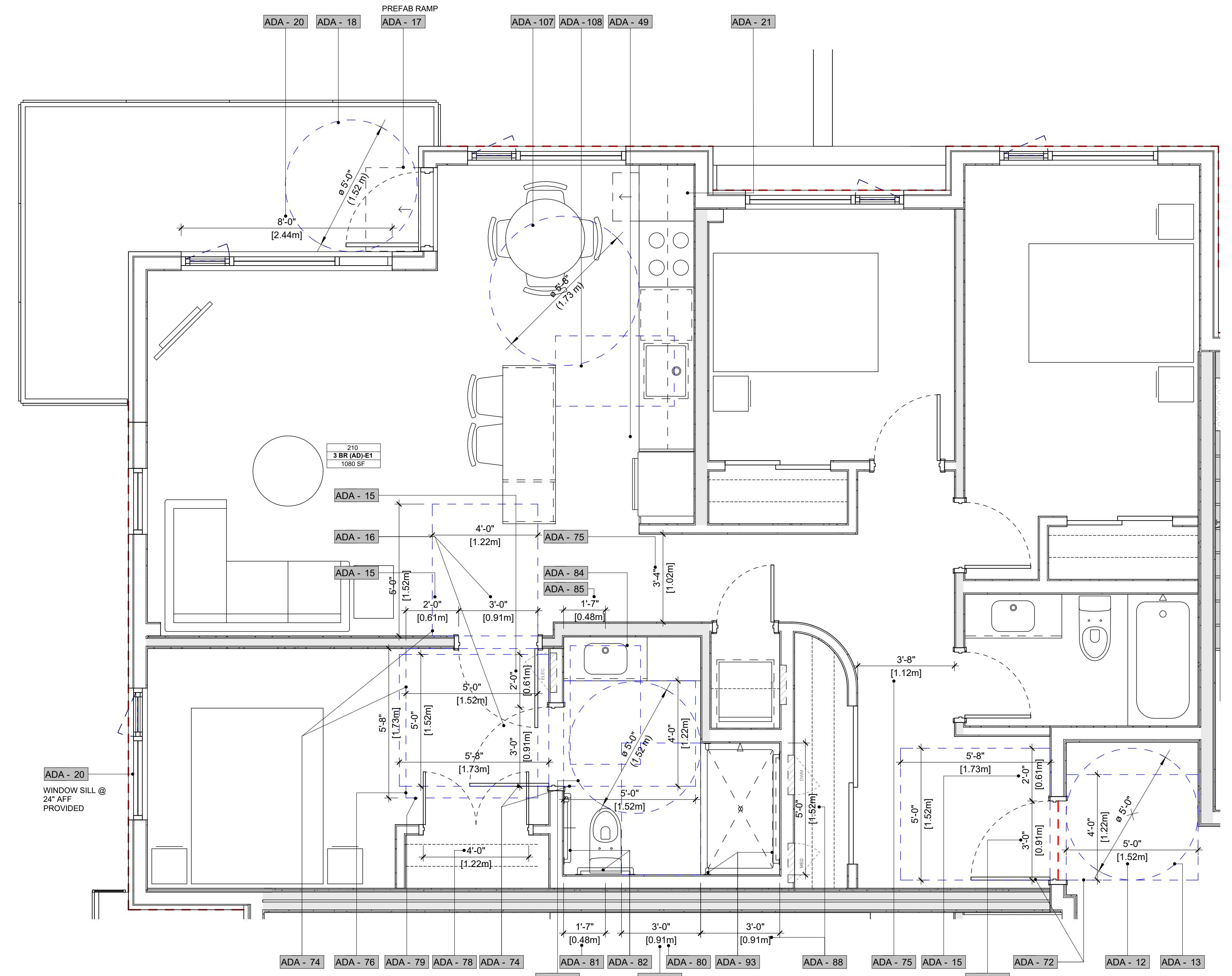
**RESIDENTIAL BUILDING
DEVELOPMENT**

**115 Keith Road East,
North Vancouver, BC**

ADAPTABLE DWELLING PLANS

A806

DATE	DRAWN
2025-11-05	AZ
SCALE	CHECKED
3/8" = 1'-0"	DA



1 3BR (AD)-E1
3/8" = 1'-0"

GENERAL NOTES

1. PROVIDE BACKING IN WALL FOR ALL SURFACE MOUNTED ACCESSORIES AS REQUIRED
2. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS
3. PROVIDE MILLWORK CUT-OUT BELOW VANITY AS REQUIRED FOR SELECTED LAVATORY
4. INSTALL 2X SOLID WOOD BACKING BEHIND GWB
5. ALL MOISTURE RESISTANT GYPSUM WALLBOARD CEILING TO BE 5/8" THK. ALL GYPSUM BOARD IN WASHROOM/SHOWER TO BE MOISTURE-RESISTANT GYPSUM WALL BOARD.
6. REFER TO INTERIOR DESIGN DRAWING FOR FINISHES & ACCESSORIES
7. CONTINUOUS OUTLETS INTENDED FOR OCCUPANT USE SHALL BE MOVED 400mm TO 1200mm ABOVE FINISHED FLOOR (BCBC 2024 3.8.3.8 (i)(a))
8. CABINET DOOR PULL LOCATION
 - A. TO BE CENTERED ON CABINET DOOR U.O.
 - B. TYPICAL 1-3/4" FROM CENTER LINE OF PULL TO EDGE OF DOOR U.O.
 - C. PULL ON DRAWERS TO BE CENTERED VERTICALLY ON SHALLOW DRAWERS AND THEREAFTER EQUALLY SPACED ON DEEPER DRAWERS FROM TOP EDGE.

DIMENSIONS ON THIS PLAN ARE SHOWN MEASURED TO FACE OF GWB OR CIL OF FIXTURES, AND SHALL BE READ IN CONJUNCTION WITH FLOOR PLANS

ACCESSORIES KEY NOTES

BA1 TOILET PAPER HOLDER @ 24" AFF (SURFACE MOUNTED TYPE WHEN ON RATED WALL, OTHERWISE TO BE RECESSED)

BA5 ROBE HOOK @ 46" AFF

BA8 GRAB BAR 1-1/4" DIA. WITH KNURLED GRIP SURFACE (GRAB BARS SHOULD CONFORM TO BCBC 2024 3.7.2.7.)

BA9 SOAP DISPENSER (AUTOMATIC)

BA10 TISSUE PAPER DISPENSER & WASTE RECEPTACLE

M1 MIRROR

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PROJECT NO. 25611
PROJECT RESIDENTIAL BUILDING DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

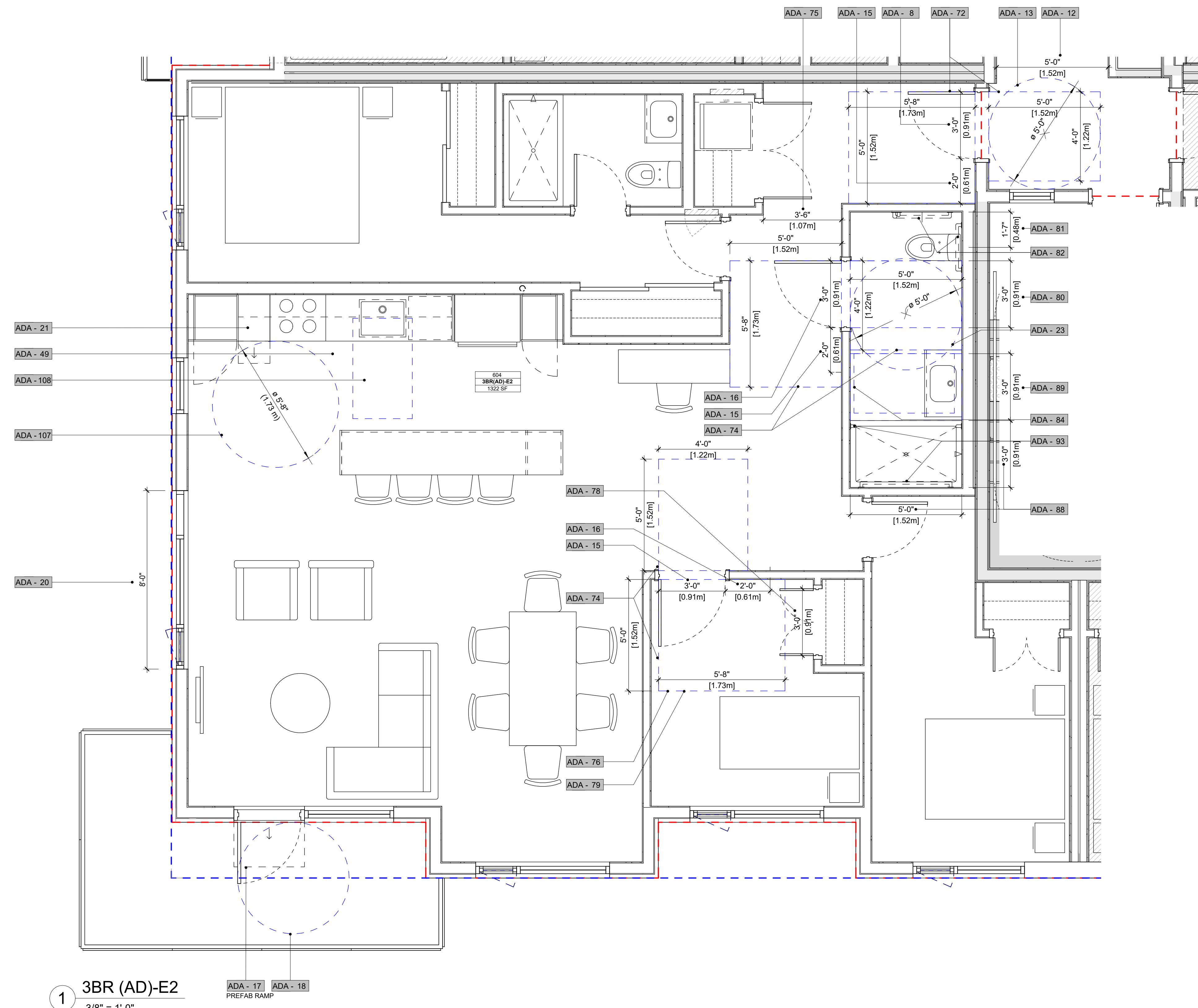
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SEAL

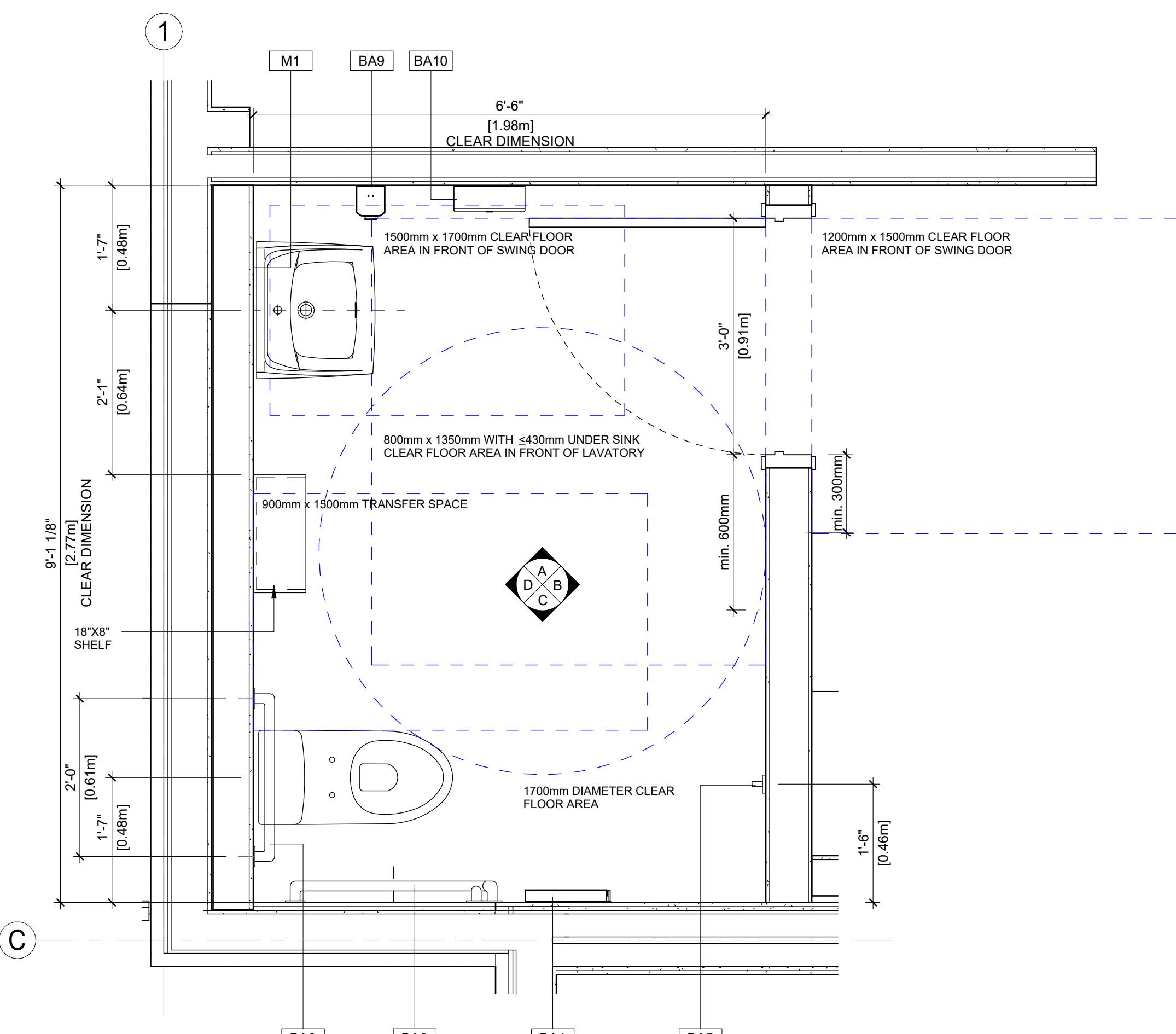
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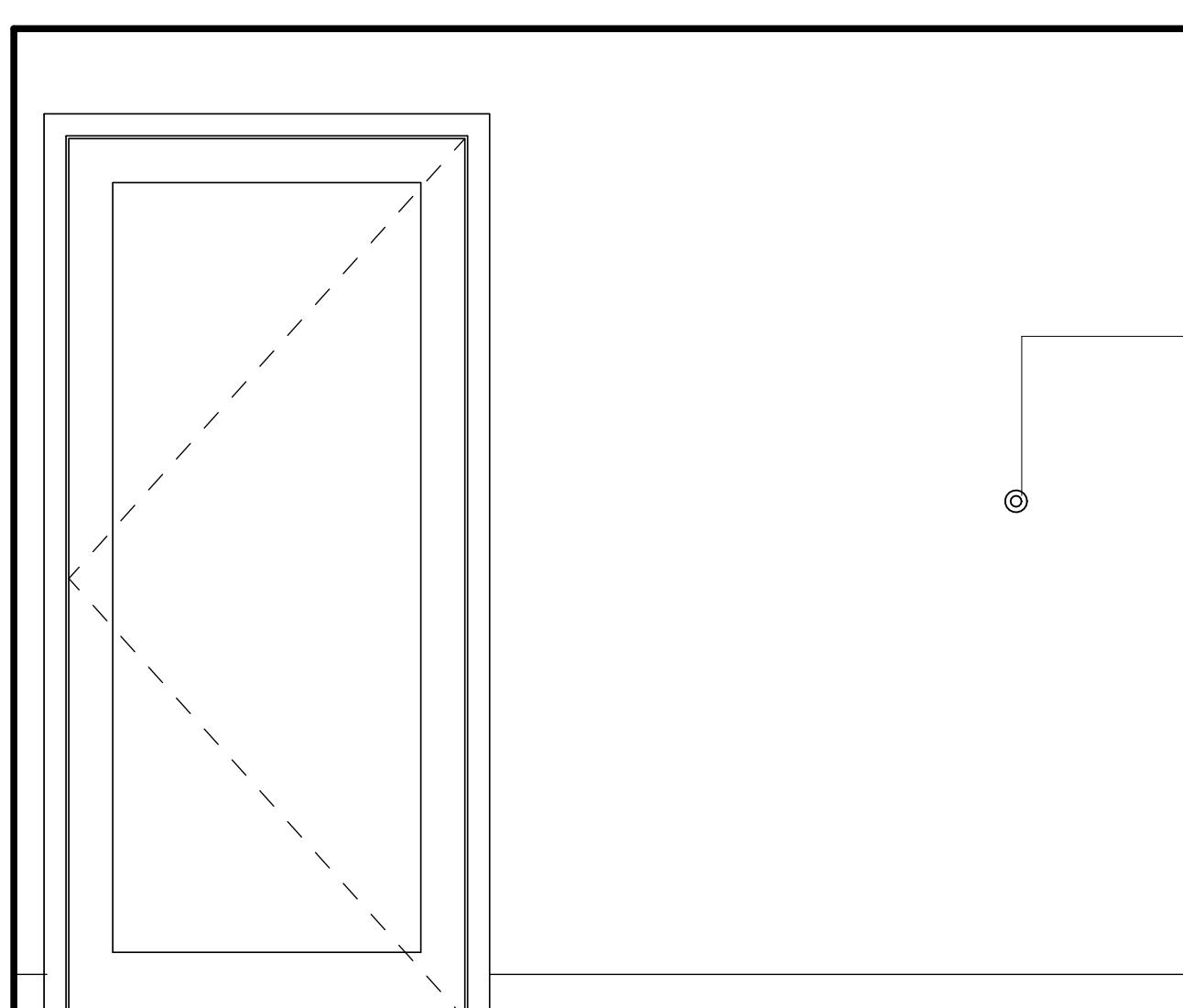
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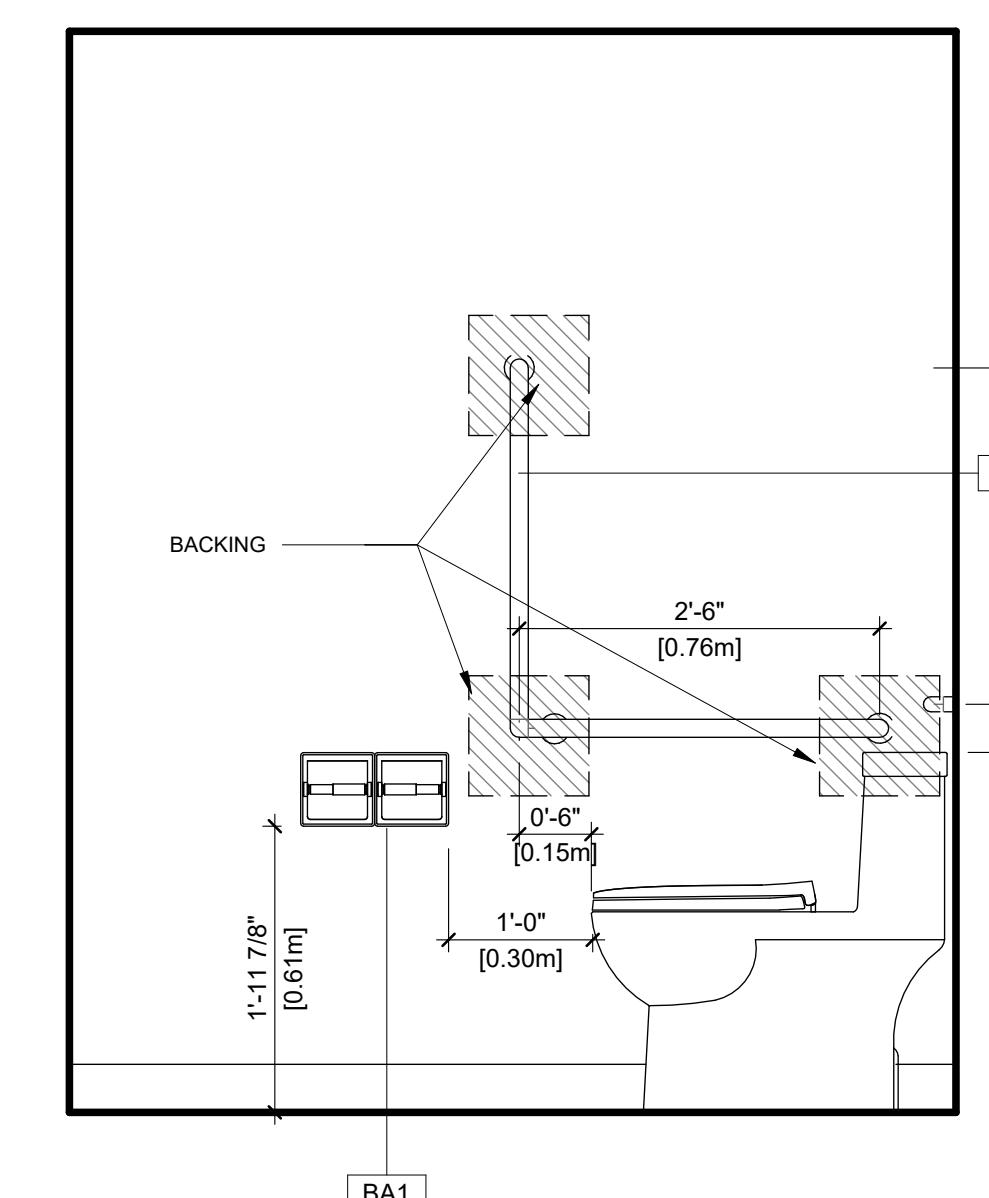
REVISIONS	
NO. DESCRIPTION	DATE ISSUED FOR DEVELOPMENT VARIANCE 2025-12-18



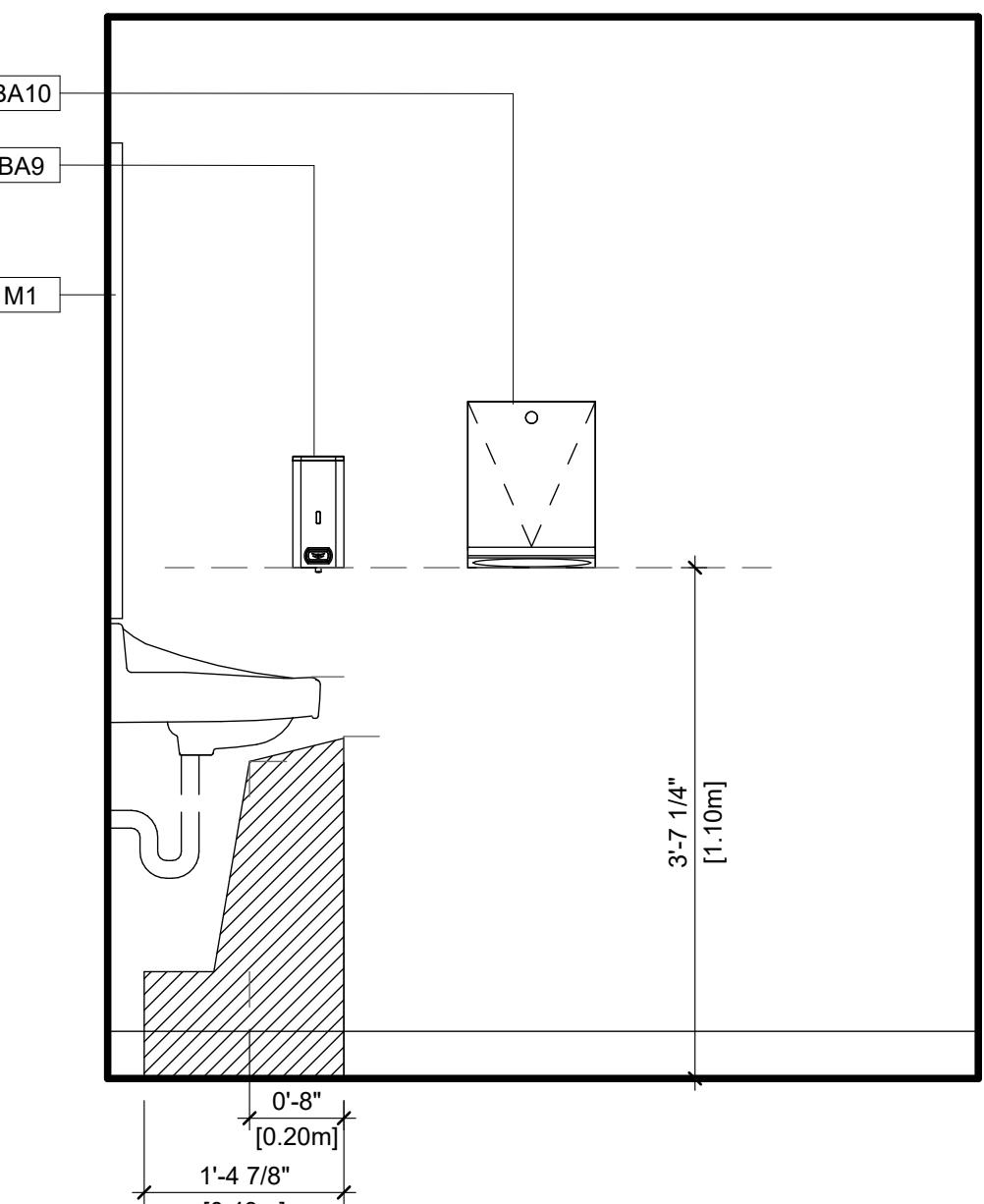
1 ACCESSIBLE WASHROOM @ LEVEL 1 AMENITY ROOM



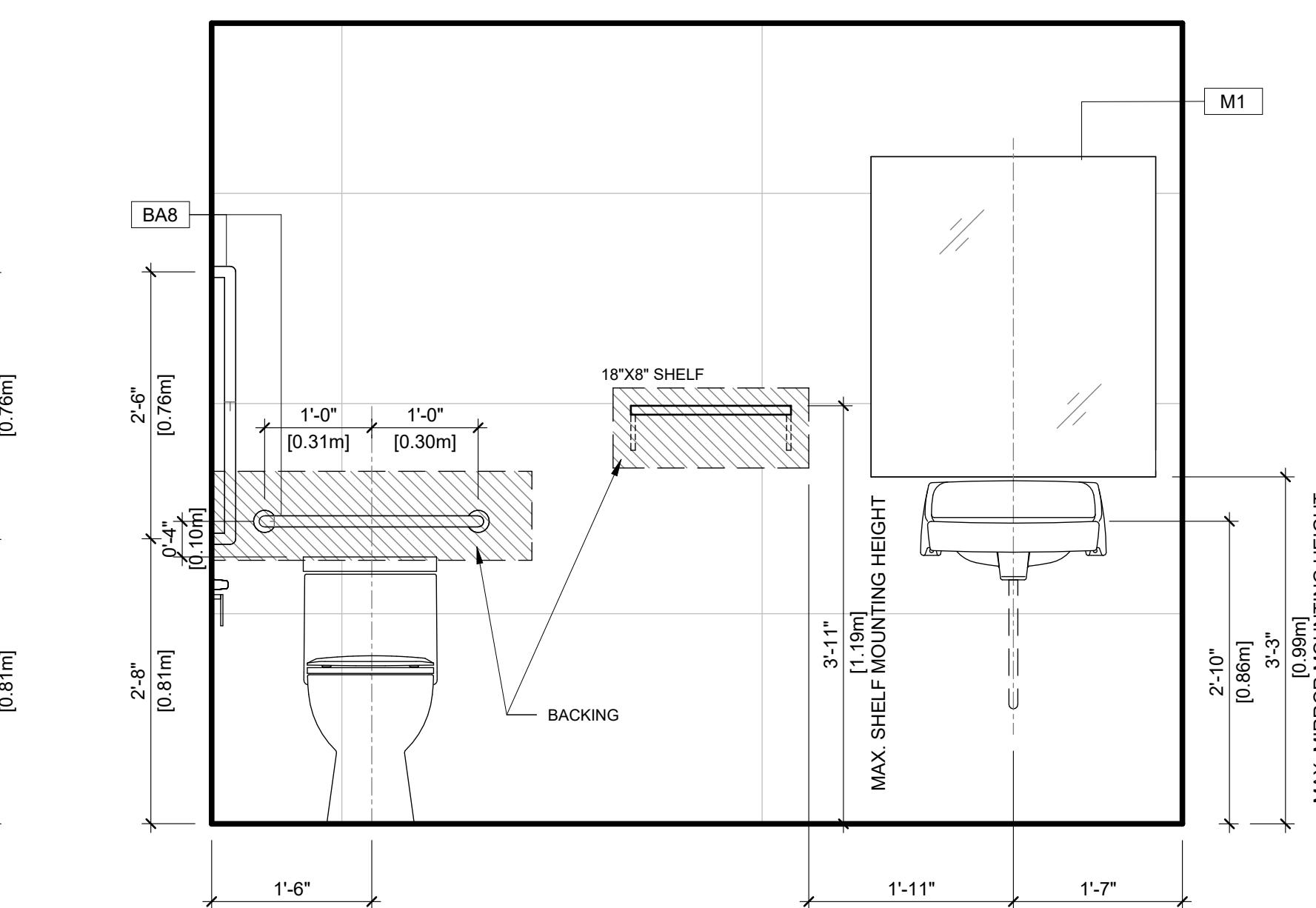
ELEVATION B



ELEVATION C



ELEVATION A



ELEVATION D

GENERAL NOTES	
1. PROVIDE BACKING IN WALL FOR ALL SURFACE MOUNTED ACCESSORIES AS REQUIRED	
2. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS	
3. PROVIDE MILLWORK CUT-OUT BELOW VANITY AS REQUIRED FOR SELECTED LAVATORY	
4. INSTALL 2X SOLID WOOD BACKING BEHIND GBW	
5. ALL MOISTURE RESISTANT GYPSUM WALLBOARD CEILING TO BE 5/8" THK. ALL GYPSUM BOARD IN WASHROOM/SHOWER TO BE MOISTURE-RESISTANT GYPSUM WALL BOARD.	
6. REFER TO INTERIOR DESIGN DRAWING FOR FINISHES & ACCESSORIES.	
7. CONTROLS AND OUTLETS INTENDED FOR OCCUPANT USE SHALL BE MOUNTED 400mm TO 1200mm ABOVE FINISHED FLOOR (BCBC 2024 3.8.3.8(1)(a))	
8. CABINET DOOR PULL LOCATION: A. TO BE CENTERED ON CABINET DOOR U.N.O. B. TYPICAL TO CENTER LINE OF PULL TO EDGE OF DOOR U.N.O. C. PULL ON DRAWERS TO BE CENTERED VERTICALLY ON SHALLOW DRAWERS AND THEREAFTER EQUALLY SPACED ON DEEPER DRAWERS FROM TOP EDGE.	
DIMENSIONS ON THIS PLAN ARE SHOWN MEASURED TO FACE OF GBW OR C/L OF FIXTURES, AND SHALL BE READ IN CONJUNCTION WITH FLOOR PLANS	

ACCESSORIES KEY NOTES	
BA1	TOILET PAPER HOLDER @ 24" AFF (SURFACE MOUNTED TYPE WHEN ON RATED WALL, OTHERWISE TO BE RECESSED)
BA2	BATH TOWEL HOLDER, 48-52" AFF
BA3	HANGING BRUSH HOLDER, 6" AFF
BA4	HAND TOWEL HOLDER, 6-8" ABOVE COUNTER
BA5	ROBE HOOK, 60-70" AFF
BA6	BASKET FOR TOILET AND BATH, 48-60 AFF, ALUMINUM GROUP
BA7	RECESSED TRASH BIN, TOP OF OPENING ALIGNED WITH TOP OF COUNTER
BA8	GRAB BAR 1-1/4" DIA. WITH KNULED GRIP SURFACE (ALL GRAB BARS SHOULD CONFORM TO BCBC 2024 3.7.2.7)
BA9	SOAP DISPENSER (AUTOMATIC)
BA10	TISSUE PAPER DISPENSER & WASTE RECEPTACLE
M1	MIRROR WITH INTEGRATED LED LIGHT, 6" ABOVE COUNTER

NOTES:
1. PROVIDE BACKING IN WALL AS REQUIRED.
2. FOR ACCESSIBLE WASHROOM & KITCHEN ACCESSORIES, REFER TO RELEVANT CAN & ELEVATIONAL DESIGN DRAWINGS FOR MOUNTING HEIGHT.
3. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS.

ACCESSORIES KEY NOTES	
ST	STONE
TL	TILE
FT	FLOOR TILE
CA	CARPET
SC	STONE COUNTERTOP/ BACKSPLASH
P	PAINT
GL	GLASS
CAB	CABINETRY
GR	GRAIN DIRECTION

ARCH. CASEWORK GEN. NOTES

1. ALL WOODWORKING SHALL BE PREMIUM GRADE, AS PER THE LATEST EDITION OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC).
2. SHOP DRAWINGS FOR ARCHITECTURAL CASEWORK SHALL BE PREPARED AND SUBMITTED FOR REVIEW BY THE ARCHITECT PRIOR TO FABRICATION. THESE SHOP DRAWINGS SHALL SHOW CONSTRUCTION DETAILS FOR ALL ARCHITECTURAL WOODWORK, INCLUDING GENERAL ARRANGEMENTS, TYPICAL AND SPECIAL INSTALLATION CONDITIONS, MATERIALS BEING SUPPLIED (INCLUDING COUNTERTOPS), AND ALL CONNECTIONS, ATTACHMENTS, ANCHORAGE AND FIXTURES. ALL CASEWORK PARTS, AS APPLICABLE, THE DETAILS SHALL INDICATE AND SPECIFY THE THICKNESSES, TYPES, FINISHES, AND ALL CABINET HARDWARE. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO FABRICATION.
3. PROVIDE SAMPLES FOR REVIEW.
4. CASEWORK STYLE SHALL BE FLUSH OVERLAY TYPE.
5. ALL HARDWARE FOR CASEWORK, INCLUDING HINGES, SHALL BE CONCEALED TYPE WITH SOFT-CLOSE DEVICE AND CONFORM TO ANSI/BHMA STANDARDS.
6. DRAWERS SHALL BE FITTED WITH FULL-EXTENSION SLIDES TO PREVENT TOP STOPS TO PREVENT TOP STOPS. MINIMUM 75 LB. STATIC LOAD CAPACITY. SLIDES FOR FILE DRAWERS SHALL HAVE 100 LB. STATIC LOAD CAPACITY.
7. EXACT SIZES, DIMENSIONS, AND LOCATIONS OF APPLIANCES AND FIXTURES MAY VARY SLIGHTLY. VERIFY SITE DIMENSIONS AND APPLIANCE/fixture SPECIFICATIONS.
8. ALL KITCHEN CABINET KICKPLATES TO MATCH CABINET FINISH.
9. STONE COUNTERTOP TO BE POLISHED WITH EASED EDGE.
10. PROVIDE FILLER PANELS, FINISHED TO MATCH TYPICAL CABINET FACES, TO ACCOMMODATE FLUSH INSTALLATION OF SELECTED BUILT-IN APPLIANCES.

GENERAL NOTES

1. PROVIDE BACKING IN WALL FOR ALL SURFACE MOUNTED ACCESSORIES AS REQUIRED
2. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS
3. PROVIDE MILLWORK CUT-OUT BELOW VANITY AS REQUIRED FOR SELECTED LAVATORY
4. INSTALL 2X SOLID WOOD BACKING BEHIND GBW
5. ALL MOISTURE RESISTANT GYPSUM WALLBOARD CEILING TO BE 5/8" THK. ALL GYPSUM BOARD IN WASHROOM/SHOWER TO BE MOISTURE-RESISTANT GYPSUM WALL BOARD.
6. REFER TO INTERIOR DESIGN DRAWING FOR FINISHES & ACCESSORIES.
7. CONTROLS AND OUTLETS INTENDED FOR OCCUPANT USE SHALL BE MOUNTED 400mm TO 1200mm ABOVE FINISHED FLOOR (BCBC 2024 3.8.3.8(1)(a))
8. CABINET DOOR PULL LOCATION:
A. TO BE CENTERED ON CABINET DOOR U.N.O.
B. TYPICAL TO CENTER LINE OF PULL TO EDGE OF DOOR U.N.O.
C. PULL ON DRAWERS TO BE CENTERED VERTICALLY ON SHALLOW DRAWERS AND THEREAFTER EQUALLY SPACED ON DEEPER DRAWERS FROM TOP EDGE.

INTERIOR ELEVATIONS, SECTIONS, AND DETAILS ARE TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS FOR CONFIRMATION OF WALL/FLOOR FINISH LAYOUT AND PATTERN/DIRECTION.

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115 Keith Road East,
North Vancouver, BC

DRAWING TITLE
AMENITY ACCESSIBLE
WASHROOM PLAN &
INTERIOR ELEVATIONS

SEAL

DRAWING NO. | REVISION

DATE 2025-11-05 DRAWN MC

SCALE CHECKED

As indicated HB

A811