

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East, North Vancouver, BC

CLIENT:

DARWIN

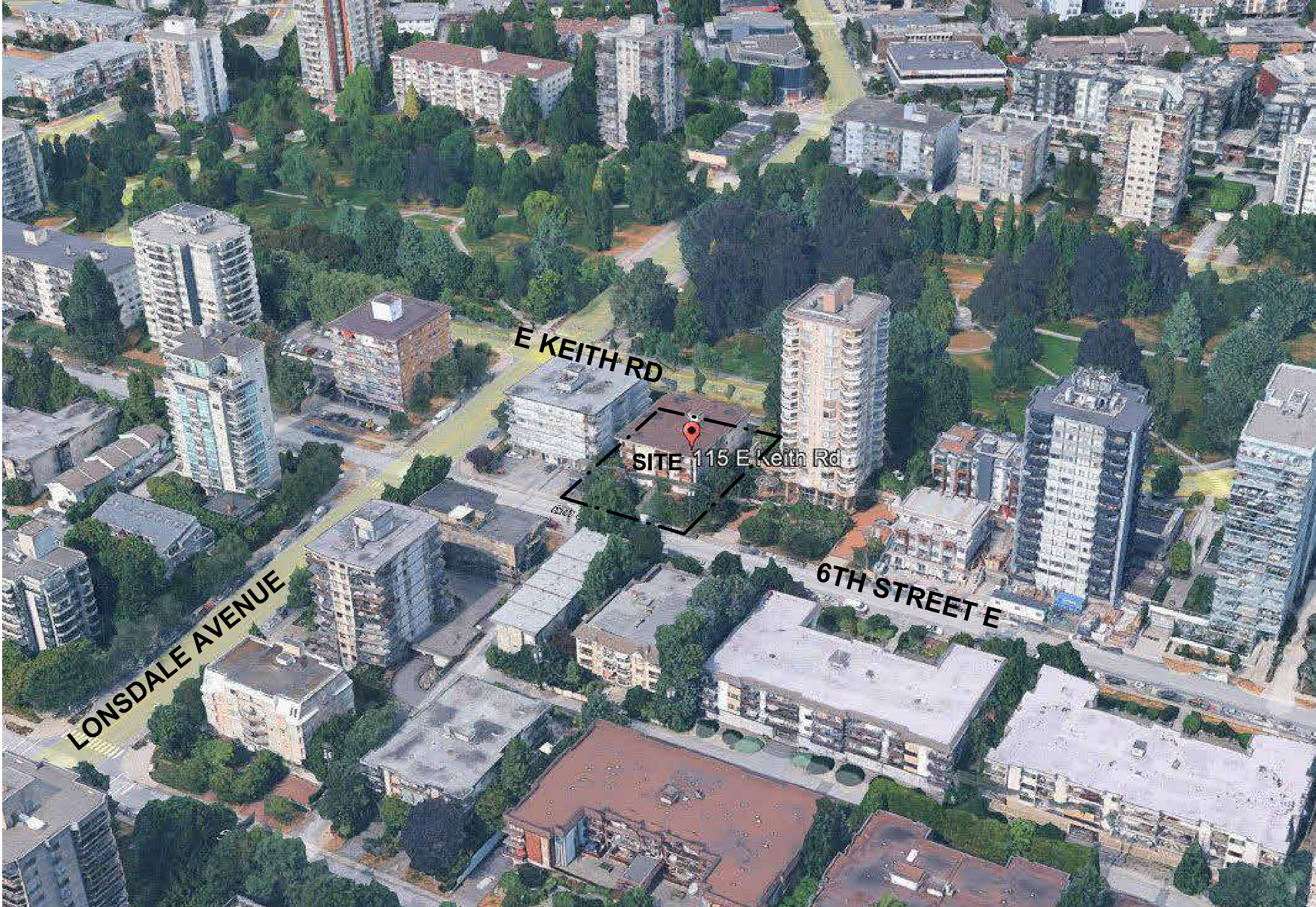
Building for Tomorrow

BFAstudio
architects

600 - 355 Burrard Street
Vancouver, BC V6C 2G8



3D VIEWS



AERIAL PHOTO

NOTE: 3D PERSPECTIVES ARE APPROXIMATE ILLUSTRATION
OF BUILDINGS, REFER TO DETAILED DRAWINGS.

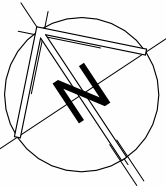
PROJECT / CONSULTANT TEAM										
CLIENT	ARCHITECT & INTERIORS	CIVIL CONSULTANT	LANDSCAPE ARCHITECT	GEOTECHNICAL CONSULTANT	MECHANICAL CONSULTANT	ELECTRICAL CONSULTANT	SURVEYOR	ENERGY CONSULTANT	SPRINKLER CONSULTANT	BUILDING ENVELOPE CONSULTANT
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404 - 197 FORESTER STREET NORTH VANCOUVER, BC	600 - 355 BURRARD ST. VANCOUVER, BC	300-4940 CANADA WAY BURNABY, BC	112 E BROADWAY VANCOUVER, BC	20 - 18 GOSTICK PLACE, NORTH VANCOUVER, BC	208-20171 92A AVENUE, LANGLEY, BC V1M 3A5	2009 W 4TH AVE, VANCOUVER, BC	201 - 275 FELL AVENUE NORTH VANCOUVER, BC	3807 - 1480 HOWE STREET VANCOUVER, BC	208-20171 92A AVENUE, LANGLEY, BC V1M 3A5	536-8188 MANITOBA ST., VANCOUVER, BC V5X 0L5
STREETLIGHTING CONSULTANT	STRUCTURAL CONSULTANT	ENVIRONMENTAL CONSULTANT	TELECOMMUNICATIONS CONSULTANT	COMMISSIONING CONSULTANT	CODE CONSULTANT	TRAFFIC ENGINEER	CONSTRUCTION EXPOSURE HAZARD ASSESSMENT CONSULTANT			
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12 - 17358 104a AVE SURREY, BC	300 - 1285 W BROADWAY VANCOUVER, BC	320 - 4400 DOMINION ST, BURNABY, BC	103 - 7088 VENTURA ST. DELTA, BC	502 - 211 E GEORGIA ST. VANCOUVER, BC	700 W PENDER ST. VANCOUVER, BC	380 - 825 HOMER ST VANCOUVER, BC	700 W PENDER ST. VANCOUVER, BC			

ISSUED FOR DEVELOPMENT
VARIANCE
2025-12-18

REVISIONS			DATE
NO.	DESCRIPTION	ISSUED FOR DEVELOPMENT	VARIANCE
			2025-12-18

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PROJECT NO. 25611

PROJECT
RESIDENTIAL BUILDING
DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

ABBREVIATION, LEGEND &
CONTEXT PLAN

SEAL

DRAWING NO. REVISION

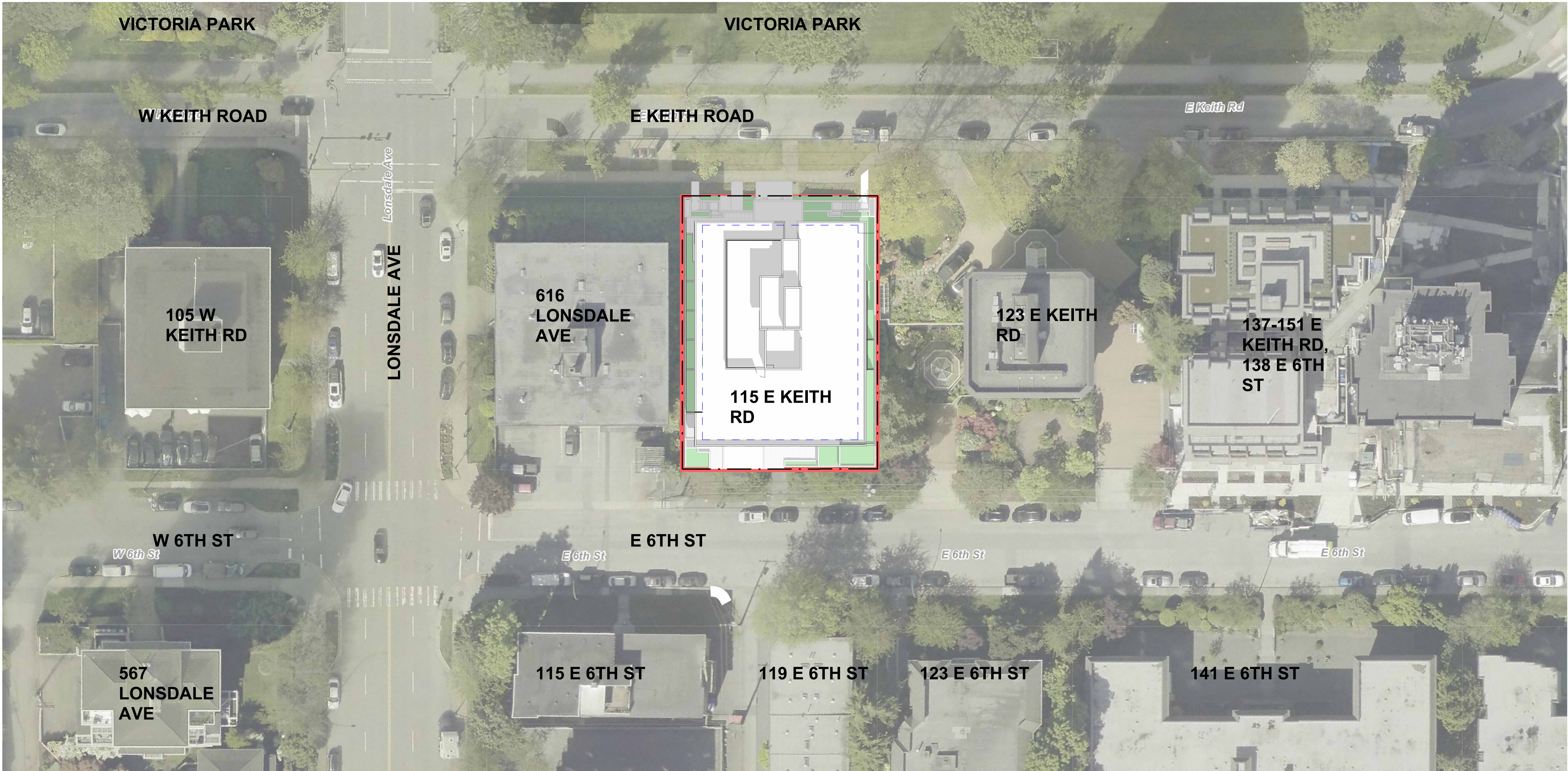
A002

DATE 2025-07-04
SCALE
DRAWN AZ/MC
CHECKED
HB

GRAPHIC LEGEND			
	WALL TAG		DETAIL CALL-OUT TAG
	DOOR TAG		PROPERTY LINE
	WINDOW TAG		SETBACK LINE
	ROOF TAG		MANIFOLD PANEL SYMBOL
	FLOOR TAG		ELECT PANEL SYMBOL
	SECTION TAG		LAUNDRY WATER BOX SYMBOL
	DRAWING CALL-OUT TAG		MEDIA PANEL SYMBOL

PARTITION FIRE RESISTANCE RATING LEGEND	
	3/4 HOUR FIRE SEPARATION
	1 HOUR FIRE RESISTANCE RATING
	1 HOUR FIRE SEPARATION
	1.5 HOUR FIRE SEPARATION
	2 HOUR FIRE RESISTANCE RATING
	2 HOUR FIRE SEPARATION
	2 HOUR FIRE-WALL
	2 HOUR RATED SHAFT ASSEMBLY

ABBREVIATIONS LEGEND			
A.F.F.	ABOVE FINISHED FLOOR	ELEV	ELEVATION
A.B.	AIR BARRIER	ENCL	ENCLOSURE
ALUM	ALUMINUM	EQ.	EQUAL
ADO	AUTO. DOOR OPERATOR	EXT.	EXTERIOR
AD	AREA DRAIN	FEC	FIRE EXTING. CABINET
BG	BUILDING GRADE	F.D.	FLOOR DRAIN
B/S	BASEMENT	FDN	FOUNDATION
BD	BOARD	FG	FINISH GRADE
B.O.S.	BOTTOM OF SLAB	FIN.	FINISH
B.O.W.	BOTTOM OF WALL	FLR.	FLOOR
BLDG.	BUILDING	FTG.	FOOTING
C.B.	CATCH BASIN	GA.	GAUGE
C.I.P.	CAST-IN-PLACE	GL.	GLASS
CLKG.	CAULKING	GR.	GRADE
CLG.	CEILING	GSB	GYPSUM WALLBOARD
CL	CENTRE LINE	HIC	HANDICAPPED
C/W	COMPLETE WITH	HT.	HEIGHT
CLR	CLEAR	HORIZ.	HORIZONTAL
CONC.	CONCRETE	H.S.	HOSE BIB
CONT.	CONTINUOUS	HR.	HOUR
CJ	CONTROL JOINT	HWH	HOT WATER HEATER
CORR.	CORRIDOR	LIN	LINEN
DIA.	DIAMETER	MAX	MAXIMUM
DN	DOWN	MECH.	MECHANICAL
DWGS	DRAWINGS	MEZZ.	MEZZANINE
DW	DISHWASHER	MIN.	MINIMUM
EG	EXISTING GRADE	MISC	MISCELLANEOUS
ELECT.	ELECTRICAL	MTL.	METAL
N/A	NOT APPLICABLE	STD.	STANDARD
N.I.C.	NOT IN CONTRACT	T.O.	TOP OF
N.T.S.	NOT TO SCALE	T.O.C.	TOP OF CURB
O.C.	ON CENTRE	T.O.F.	TOP OF FLOOR
OPG.	OPENING	T.O.P.	TOP OF PARAPET
PD	PLANTER DRAIN	T.O.W.	TOP OF WALL
P&S	PEEL & STICK	T.	TREAD
PLYWD.	PLYWOOD	TYP.	TYPICAL
PREFIN.	PRE-FINISHED	UG	UNDERGROUND
P.T.	PRESSURE TREATED	UIS	UNDERSIDE
P/L	PROPERTY LINE	UNO	UNLESS NOTED OTHERWISE
R.	RADIUS	UF	UPPER FLOOR
R	RISER	WD	WASHER DRYER
R.W.L.	RAIN WATER LEADER	W.D.	WOOD
REQ'D	REQUIRED	W.C.	WATER CLOSET (TOILET)
REV	REVISION	W.I.C.	WALK-IN CLOSET
R & S	ROD & SHELF	WI	WITH
RM.	ROOM	W.P.	WATERPROOF
R.O.	ROUGH OPENING	WR	WASHROOM
SD	SLAB DRAIN		
STL	STEEL		
STRUCT.	STRUCTURAL		
SPEC	SPECIFICATION		
SF	SQUARE FEET		
SM	SQUARE METERS		
S.S.	STAINLESS STEEL		
STR.	STAIR		



CONTEXT PLAN



BFA studio
architects

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PROJECT NO. 25611

PROJECT

**RESIDENTIAL BUILDING
DEVELOPMENT**

**115 Keith Road East,
North Vancouver, BC**

DRAWING TITLE

3D VIEWS - NORTH

SEAL

DRAWING NO.	REVISION
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A009

DATE	DRAWN
2025-07-04	AZ
SCALE	CHECKED
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PROJECT NO. 25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

3D VIEWS - SOUTH

SEAL

DRAWING NO.	REVISION
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A010

DATE
2025-07-04

RAVIN
AZ

SCAL

HECKE

HB



3D VIEW FROM SOUTH SIDE - 6TH STREET E

NOTE: 3D PERSPECTIVES ARE APPROXIMATE
ILLUSTRATION OF BUILDINGS, REFER TO DETAILED
DRAWINGS.

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PROJECT NO. 25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

3D VIEWS - ENTRY

SEAL

DRAWING NO.

REVISIO

A011

DATE
2025-07-04

DRAWN
AZ

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CHECKE

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3D VIEW OF ENTRY FROM NORTH SIDE - E KEITH RD

NOTE: 3D PERSPECTIVES ARE APPROXIMATE
ILLUSTRATION OF BUILDINGS, REFER TO DETAILED
DRAWINGS.

PROJECT DATA

PROJECT INFORMATION / ZONING DATA									
PROJECT DESCRIPTION / USE		6 STOREY, 81 UNITS RESIDENTIAL BUILDING, INCLUDING TWO LEVELS OF UNDERGROUND PARKING							
LEGAL DESCRIPTION		LOT A (REFERENCE PLAN 9816) BLOCK 114 DISTRICT LOT 274 GP1 NWD PLAN 878							
CIVIC ADDRESS PRESENT		115 KEITH ROAD EAST, NORTH VANCOUVER, BC, V7L 1V1							
CIVIC ADDRESS FUTURE		115 KEITH ROAD EAST, NORTH VANCOUVER, BC, V7L 1V1							
BCBC 2024 CODE SUMMARY		C (3.2.2.51) & F3 (3.2.1.2), SPRINKLER NFPA 13, ENERGY STEP CODE 3							
TOTAL LOT AREA		13,989 SF		1,299.6 SM					
LOT SIZE (APPROXIMATE FRONTAGE)			FT	M					
		NORTH / EAST KEITH ROAD		100.00	30.5				
		EAST		139.92	42.6				
		SOUTH / 6TH STREET EAST		99.92	30.5				
		WEST		139.92	42.6				
OCP LAND USE DESIGNATION		HIGH RISE APARTMENT - RESIDENTIAL LEVEL 6 - R6							
ZONING		CD-741							
PROPOSED NUMBER OF RESIDENTIAL UNITS		81							
	REQUIRED / ALLOWED				PROPOSED				NOTES
			SF	SM			SF	SM	
DENSITY / GROSS BUILDING AREA			46,164	4289			46,164	4289	REFER TO DETAILED CALCULATIONS ON A016
	FAR	3.30				3.30			
SITE COVERAGE	57.0% MAX.					58.0%			REFER TO DETAILED CALCULATIONS ON A017
AVERAGE GRADE					226.20	FT	68.95	M	REFER TO DETAILED CALCULATIONS ON A102
BUILDING HEIGHT	100.00	FT	30.48	M	89.42	FT	27.26	M	ALL HEIGHT AND AVERAGE GRADE INFORMATION IS PROVIDED AS GEODETIC VALUES
NUMBER OF STOREY	6				6				
BUILDING SETBACKS									
NORTH / EAST KEITH ROAD	15.00	FT	4.6	M	15.00	FT	4.6	M	AS PER CD-741 (5) (a), (b) & (c) FROM THE CITY OF NORTH VANCOUVER ZONING BYLAW
EAST	10.00	FT	3.0	M	10.00	FT	3.0	M	
SOUTH / 6TH STREET EAST	15.00	FT	4.6	M	15.00	FT	4.6	M	
WEST	10.50	FT	3.2	M	10.50	FT	3.2	M	REFER TO DETAILED CALCULATIONS ON A102
MINIMUM DWELLING UNIT SIZE		MIN. AREA	400	37			465	43	REFER TO DETAILED CALCULATIONS ON A017
OFF-STREET PARKING	38	STALLS			38	STALLS			REFER TO DETAILED CALCULATIONS ON A020
BICYCLE STORAGE - LONG TERM	122	STALLS			122	STALLS			
BICYCLE STORAGE - SHORT TERM	12	STALLS			12	STALLS			
GARBAGE / RECYCLING / STORAGE			423.63	39.36			533.00	49.52	
NOTES:									
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS									
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF NORTH VANCOUVER BYLAWS									
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC									

E KEITH ROAD

8,160 SF

6TH ST E

LOT COVERAGE CALCULATION

SITE AREA : 13,988.90 SF

HORIZONTAL AREA WITHIN VERTICAL PROJECTION OF
OUTERMOST WALLS, EXCLUDING EXTERIOR WALL THICKNESS
IN EXCESS OF 6.5 INCHES : 8,160 SF

PROPOSED LOT COVERAGE :58%

MAXIMUM LOT COVERAGE :57%

NOTE:
1. CALCULATION BASED ON CITY OF NORTH VANCOUVER
ZONING BYLAW

DATE	DRAWN
2025-11-24	AZ
SCALE	CHECKED
1/32" = 1'-0"	HB

UNIT MATRIX

Required minimum 3 Bedrooms	10%	8.1
Provided 3 Bedrooms	11%	9
Min Level 2 Adaptable Units (according to CNV guideline)	25%	20.25
Min Adaptable Units Required (as per BCBC 2024)	20%	16.2
Adaptable Units Provided	25%	20

AMENITY AREA CALCULATIONS			SF			
Minimum Amenity = the lesser of or	1.4 sqm(15sqft) per unit		1215			
	2% of GFA		923			
	Provided on Level 1 & Roof (Indoor)		965			
	Provided on Rooftop (Outdoor)		1504			
Active Design Guideline Amenity Requirement		Minimum	400	Indoor if adjacent Outdoor Amenity provided		

Notes:

1. Gross Area excludes balconies and decks.
2. All areas are approximate and will be adjusted during working drawing.
3. All calculations are based on city of North Vancouver zoning by-law where applicable.

Notes:

1. All areas are approximate and will be adjusted during working drawing.
2. All calculations are based on city of North Vancouver zoning by-law where applicable.
3. Units located on the ground floor has a suffix (G) to its name and the area varies slightly because of different construction type.

[illegible]

		Unit Count	Required	Provided	Notes/ Reference
Parking Calculation					
Required Number of Parking (Residential)	908(3)	81 x 0.5 = 40.50	41.0		
Required Number of Visitor Stalls		81 x 0.1 = 8.10	8.0		
Parking Reduction					
Parking Reduction - Residential Stalls		10% = 4.86	5.0		Reduction allowance from City of North Vancouver. Shall not reduce Visitor Parking requirement.
					Car Share Stall excluded from total required parking stalls
	Car Share Parking - 2 stalls				905(d) Minimum vehicle parking requirement , with no
					reduction in minimum Visitor Parking requirement, shall be
Alternate Parking Reduction	provided	2 x 4 = 8.00	8.0		reduced by four parking spaces.
					Car share stalls count in required number of parking
Accessible Parking Space Calculation					
	0.038 stalls per unit CoNV Parking	74x 0.038 =			
	Bylaw	2.812			
	or	or			
Required Accessible Parking Spaces	minimum 4 stalls as per Level 2	minimum 4	4	4	Included within total required parking stalls
Required Number of Parking (Residential) After Reduction	908(3)	81 x 0.5 = 40.50	28	28	
Required Number of Visitor Stalls After Reduction		81 x 0.1 = 8.10	8	8	
Provided Car Share Stalls			2	2	
Total Stalls Including Car Share			38	38	

	Size	Provided	Notes
Standard Stalls	8'-0"X18'-0"	18	
Small Cars	7'-7"X15'-2"	14	Maximum 39% small car allowed.
Accessible Parking Spalls	13'-1 1/2"x18'-0"	4	Providing 39% small car.
Car Share Stalls		2	Dimensions to be confirmed by provider
Total Stalls Required		38	

1. Calculations are based on City of North Vancouver Parking By-law
2. The parking stall type distribution has been determined based on the minimum required parking stalls in accordance with City of North Vancouver By-law. In addition, two (2) small car stalls have been provided over and above the bylaw requirement.

	Requirements	Provided
Residential Stalls	All stalls requires Energized outlet (min. Level 2 Charging) (Including disability parking for residential parkade)	Energized outlet (Level 2) will be provided for all stalls
Visitor Stalls	All visitor stalls requires Energized outlet (min. Level 2 Charging) (Including disability parking for residential parkade)	Energized outlet (Level 2) will be provided for all stalls
Shared Stalls	All stalls requires Energized outlet (Charging level to conform with car share requirement)	Energized outlet (charging level to comply with car share requirement) will be provided for all car share stalls)

Type		Units	Required	Provided	Reference
Long Term		81 x 1.5 =	122	122	Figure 10A-02 -Parking Provision by Class of Building - Minimum Required Bicycle Parking Spaces
Short Term		81	12	12	Figure 10A-02 - 60 or more units: 6 spaces per every 60 units or part thereof

Oversized	0.9mx2.4m (3'X7'11")		6	6	<i>Figure 10A-02 - Parking Provision by Class of Building - Minimum Required Bicycle Parking Spaces</i> <i>Maximum 35% vertical space allowed. Providing 34% vertical space.</i>
Vertical	0.6mx1.0m (2'X3'4")	35%	43	42	
Horizontal	0.6mx1.8m (2'X6")	65%	73	74	
Total			122	122	

1. Calculations are based on City of North Vancouver Parking By-law Part 10A: Bicycle Parking and Access Regulations

Size	No. of Units	m2	m2	sq. ft.	Reference
Minimum Required Room Size	81 x	0.486 =	39.366	423.63	Figure 4-3 - Recycling AND Garbage Storage Facility Requirements
Total			39.366	423.63	
Total Provided			49.5	533.0	

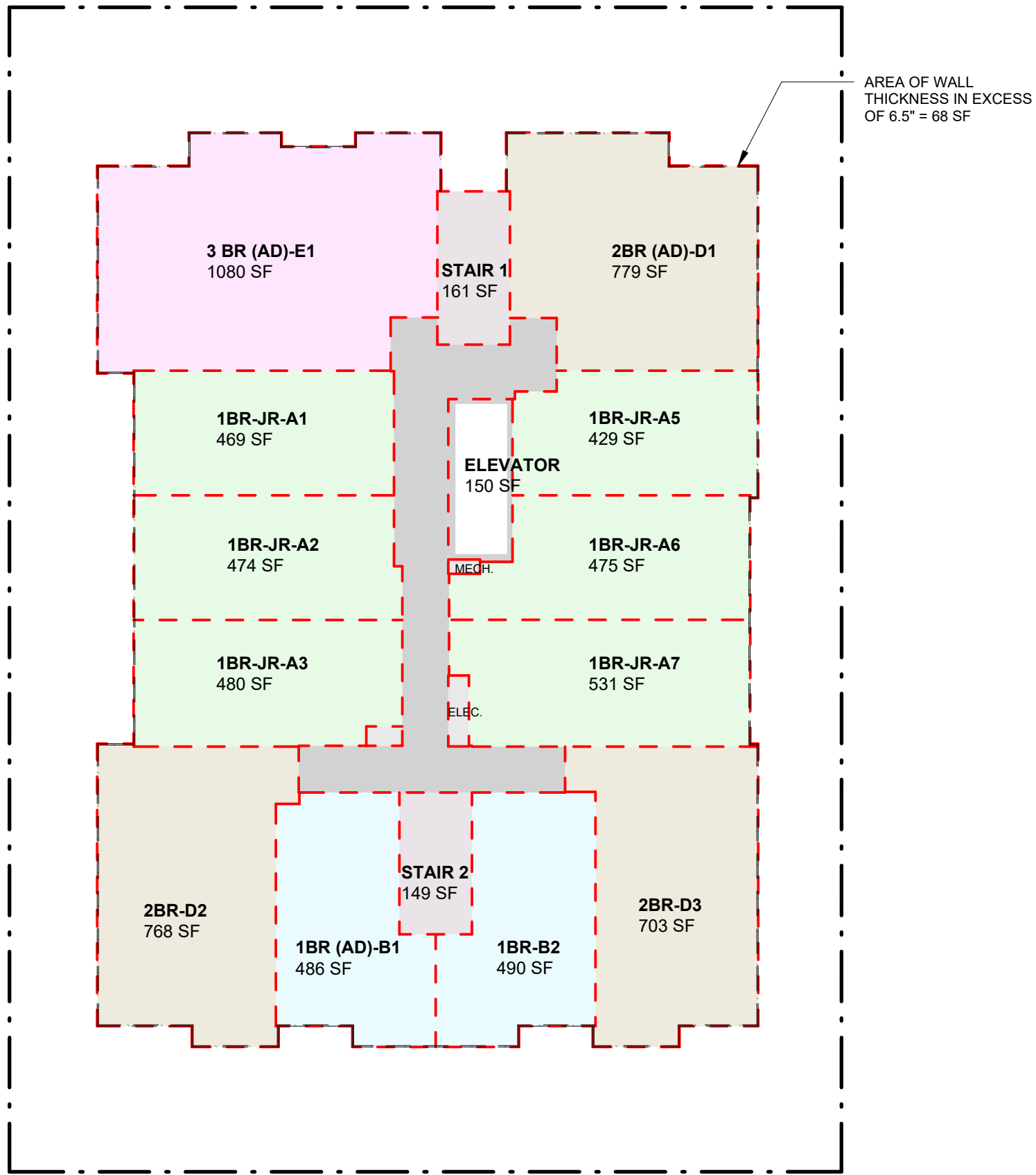
1. Calculations are based on City of North Vancouver "Recycling and Garbage Storage Facility Requirements"

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3 LEVEL 2-5

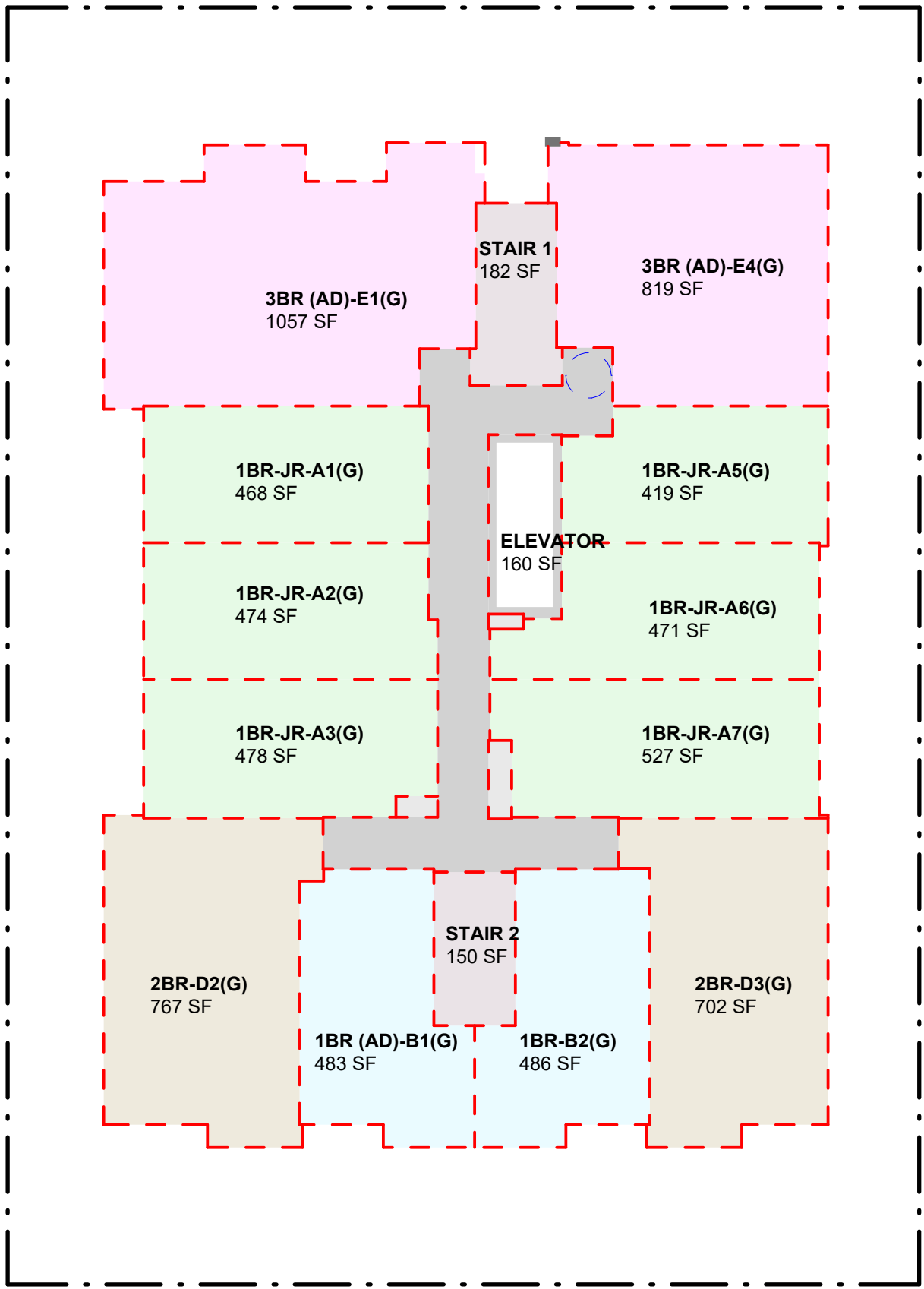
Level 2-4 Area Calculation			
Department	Name	Area	Count

Circulation	ELEVATOR	150 SF	1
Circulation	CIRCULATION	590 SF	1
Circulation: 2		740 SF	2

Residential Area	3 BR (AD)-E1	1080 SF	1
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	2BR-D3	703 SF	1
Residential Area	1BR-B2	490 SF	1
Residential Area	1BR (AD)-B1	486 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	1BR-JR-A1	469 SF	1
Residential Area	2BR-D2	768 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A6	475 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area:	12	7163 SF	12

Service Room	MECH SHAFT	7 SF	1
Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	10 SF	1
Service Room: 3		38 SF	3

Visible Stair	STAIR 2	149 SF	1
Visible Stair	STAIR 1	161 SF	1
Visible Stair: 2		309 SF	2
Grand total: 19		8250 SF	19



1 GROUND LEVEL

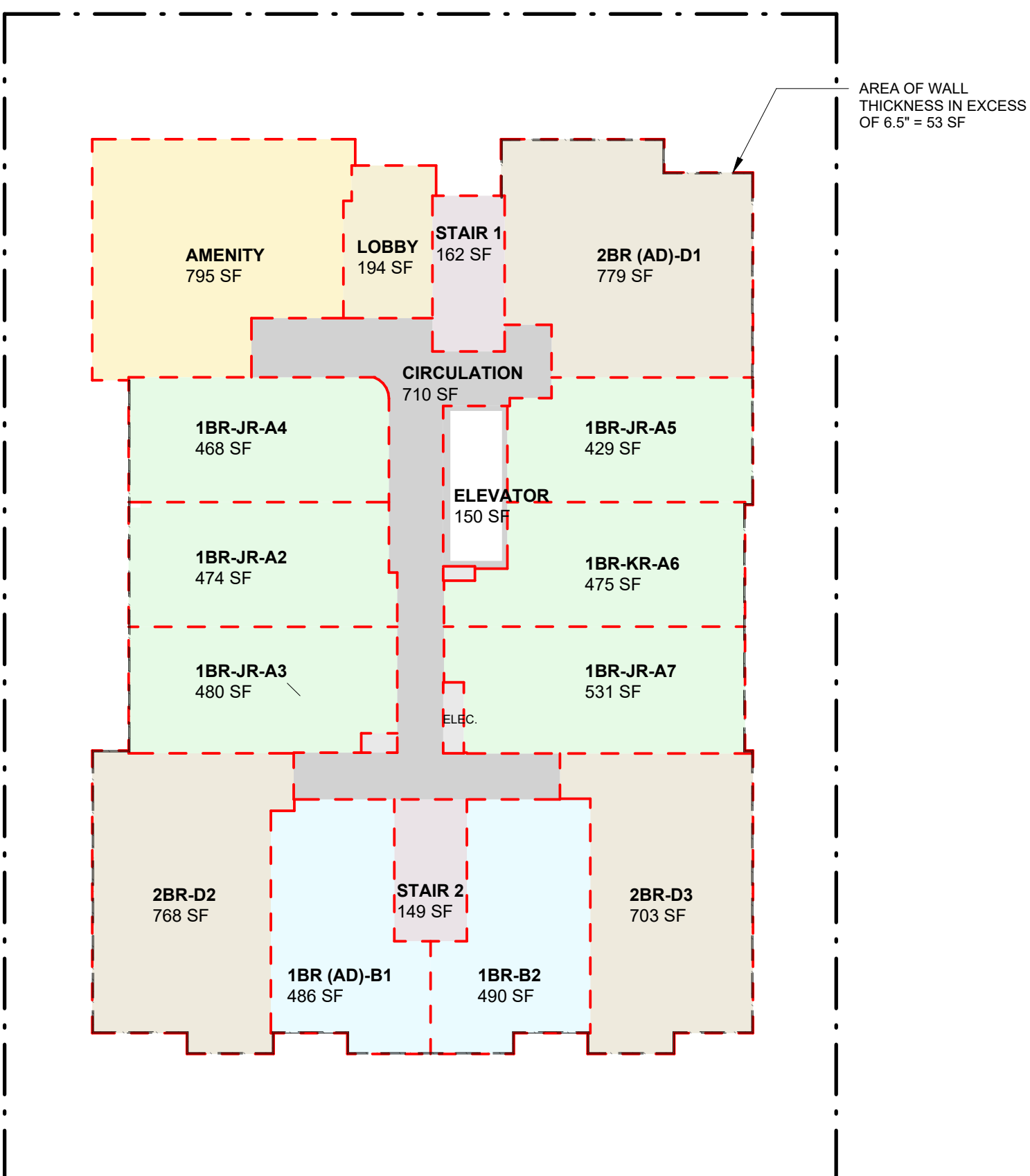
Ground Floor Area Calculation			
Department	Name	Area	Count

Circulation	ELEVATOR	160 SF	1
Circulation	CIRCULATION	600 SF	1
Circulation: 2		760 SF	2

Residential Area	3BR (AD)-E1(G)	1057 SF	1
Residential Area	3BR (AD)-E4(G)	819 SF	1
Residential Area	2BR-D3(G)	702 SF	1
Residential Area	1BR-B2(G)	486 SF	1
Residential Area	1BR (AD)-B1(G)	483 SF	1
Residential Area	2BR-D2(G)	767 SF	1
Residential Area	1BR-JR-A3(G)	478 SF	1
Residential Area	1BR-JR-A1(G)	468 SF	1
Residential Area	1BR-JR-A2(G)	474 SF	1
Residential Area	1BR-JR-A5(G)	419 SF	1
Residential Area	1BR-JR-A6(G)	471 SF	1
Residential Area	1BR-JR-A7(G)	527 SF	1
Residential Area: 12		7152 SF	12

Service Room	MECH SHAFT	6 SF	1
Service Room	ELEC CLOSET	22 SF	1
Service Room	MECH SHAFT	11 SF	1
Service Room: 3		39 SF	3

Visible Stair	STAIR 2	150 SF	1
Visible Stair	STAIR 1	182 SF	1
Visible Stair: 2		332 SF	2
Grand total: 19		8284 SF	19



2 LEVEL 1

Level 1 Area Calculation			
Department	Name	Area	Count

Amenity	AMENITY	795 SF	1
Amenity: 1		795 SF	1

Circulation	ELEVATOR	150 SF	1
Circulation	CIRCULATION	710 SF	1
Circulation: 2		860 SF	2

Lobby	LOBBY	194 SF	1
Lobby: 1		194 SF	1

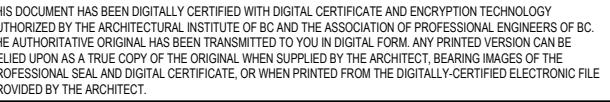
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	2BR-D3	703 SF	1
Residential Area	2BR-D2	768 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR (AD)-B1	486 SF	1
Residential Area	1BR-B2	490 SF	1
Residential Area	1BR-JR-A4	468 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area	1BR-KR-A6	475 SF	1
Residential Area: 11		6083 SF	11

Service Room	MECH SHAFT	7 SF	1
Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	10 SF	1
Service Room: 3		38 SF	3

Visible Stair	STAIR 2	149 SF	1
Visible Stair	STAIR 1	162 SF	1
Visible Stair: 2		311 SF	2
Grand total: 20		8280 SF	20

[illegible]

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PROJECT NO. 25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAWING TITLE

FSR OVERLAYS
CALCULATION

EAL

DRAWING NO.	REVISION

A020

DATE	DRAWN
2025-07-04	AZ
SCALE	CHECKED
1/16" = 1'-0"	HB



Level 6 Area Calculation			
Department	Name	Area	Count

Circulation	CIRCULATION	461 SF	1
Circulation	ELEVATOR	150 SF	1
Circulation: 2		611 SF	2

Residential Area	3 BR (AD)-E1	1080 SF	1
Residential Area	1BR-JR-A1	469 SF	1
Residential Area	1BR-JR-A2	474 SF	1
Residential Area	1BR-JR-A3	480 SF	1
Residential Area	3BR(AD)-E2	1322 SF	1
Residential Area	3BR-E3	1255 SF	1
Residential Area	2BR (AD)-D1	779 SF	1
Residential Area	1BR-JR-A7	531 SF	1
Residential Area	1BR-JR-A6	475 SF	1
Residential Area	1BR-JR-A5	429 SF	1
Residential Area: 10		7294 SF	10

Service Room	ELEC CLOSET	21 SF	1
Service Room	MECH SHAFT	7 SF	1
Service Room	MECH SHAFT	10 SF	1
Service Room: 3		38 SF	3

Visible Stair	STAIR 2	147 SF	1
Visible Stair	STAIR 1	160 SF	1
Visible Stair: 2		308 SF	2
Grand total: 17		8250 SF	17



Roof Area Calculation			
Department	Name	Area	Count

Amenity	AMENITY LOBBY	170 SF	1
Amenity: 1		170 SF	1

Circulation	ELEVATOR	180 SF	1
Circulation	ELEV. CLOSET	28 SF	1
Circulation: 2		209 SF	2

Visible Stair	STAIR 1	237 SF	1
Visible Stair: 1		237 SF	1
Grand total: 4		616 SF	4

[illegible]

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PROJECT NO. 25611

PROJECT

**RESIDENTIAL BUILDING
DEVELOPMENT**

**115 Keith Road East,
North Vancouver, BC**

DRAWING TITLE

FIRE ACCESS PLAN

SEAL

DRAWING NO.

REVISION

A101

DATE
2025-06-16

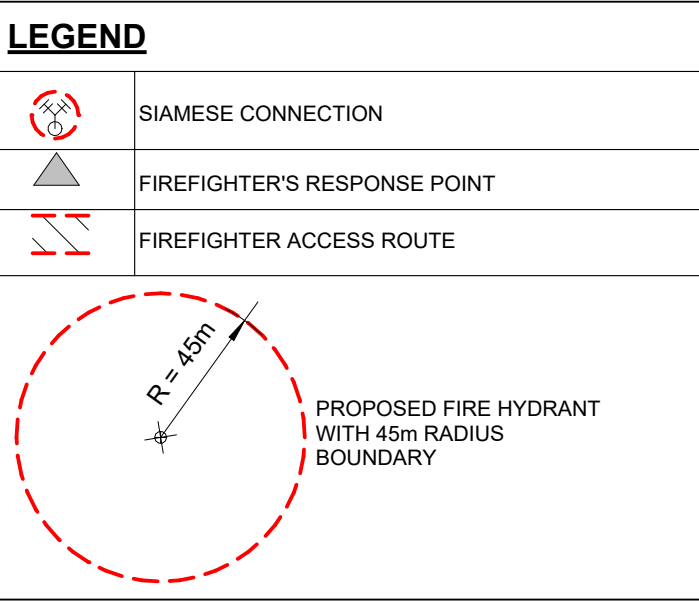
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SCALE

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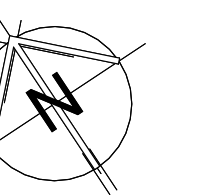
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PROJECT NO. 25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

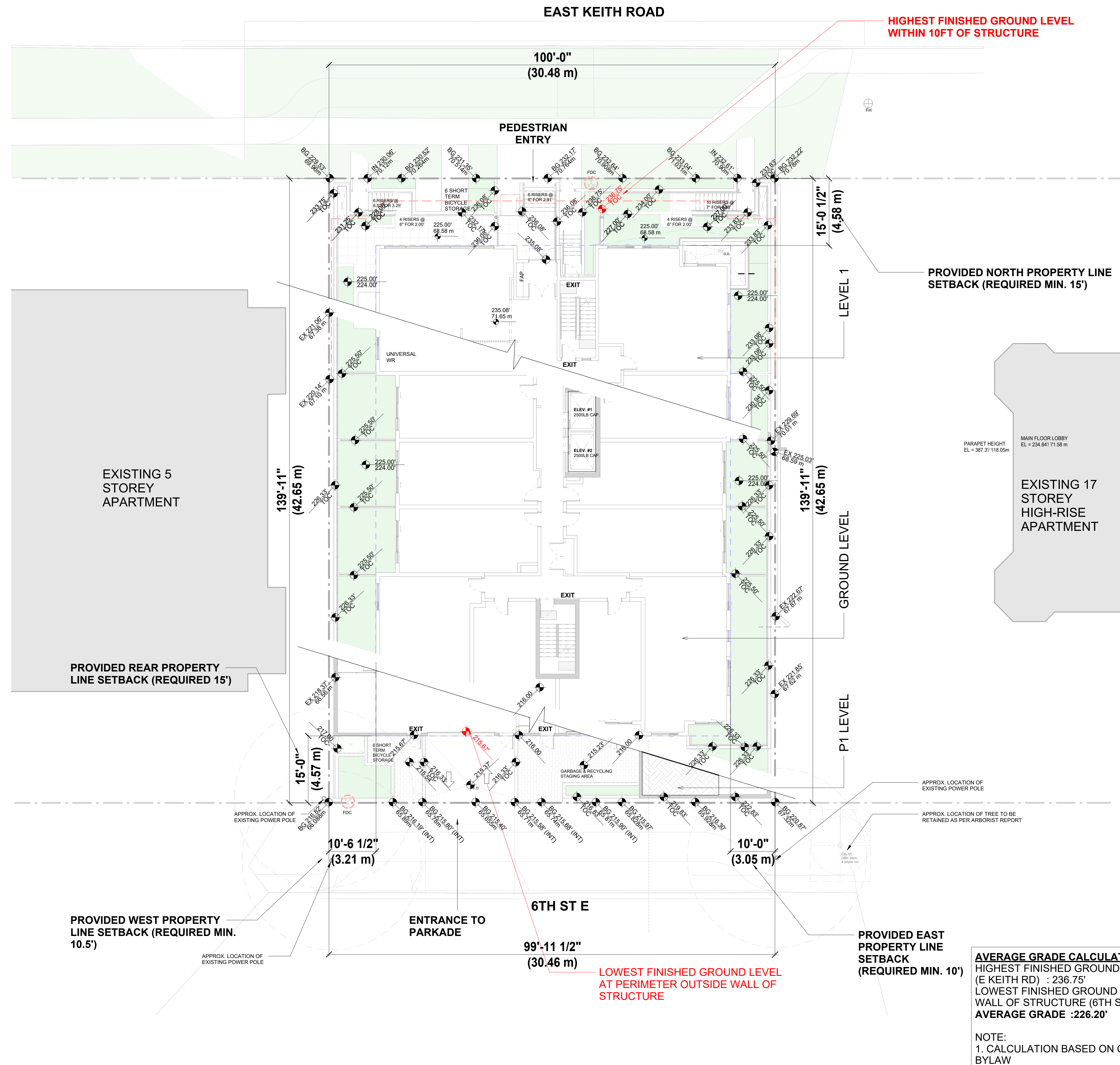
SITE PLAN / GRADING PLAN

SEAL

DRAWING NO.	REVISION
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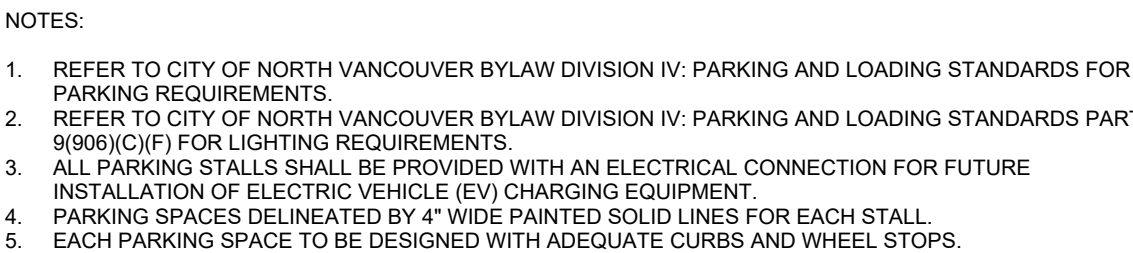
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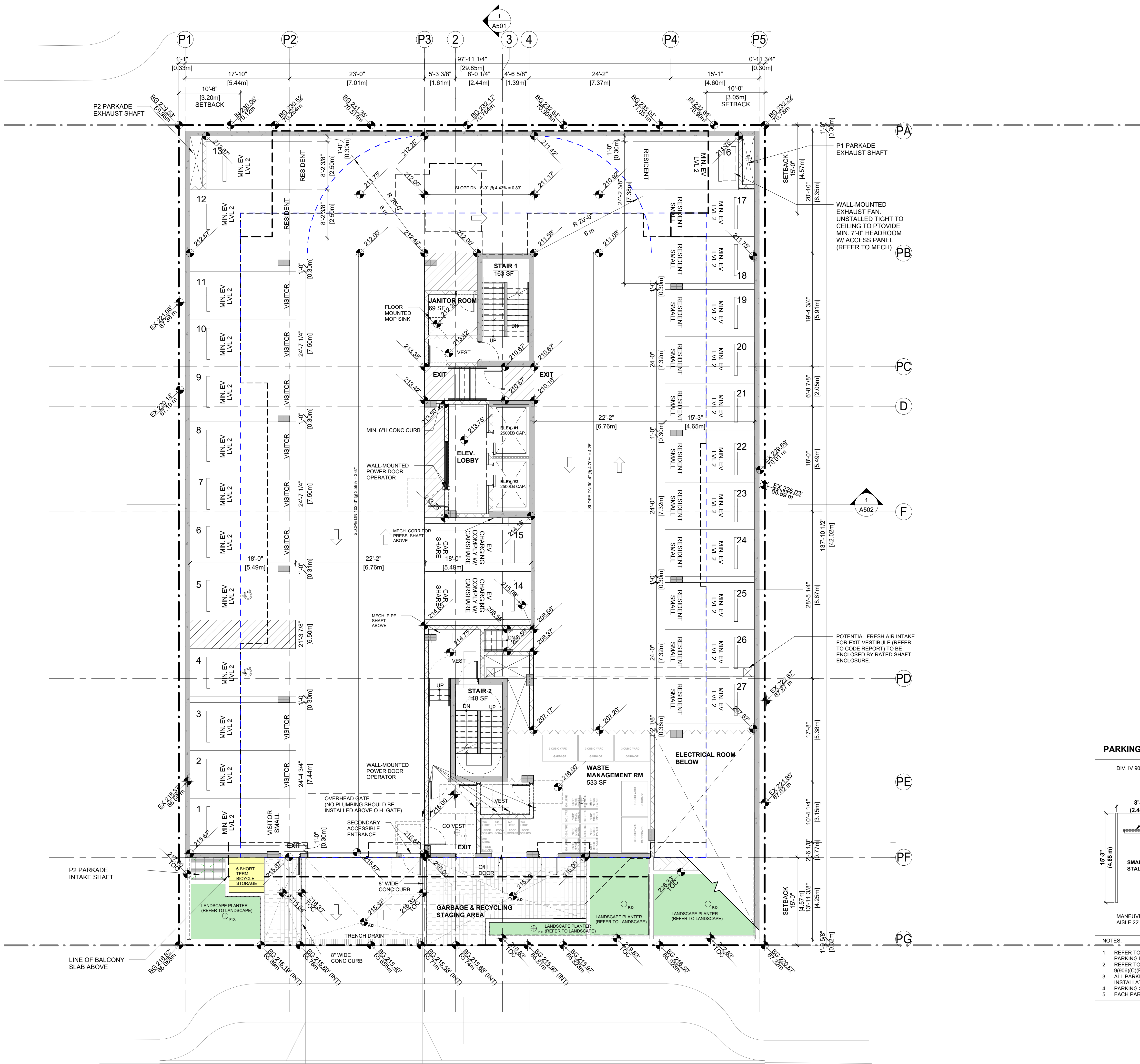
DATE	DRAWN
2025-06-16	AZ
SCALE	CHECKED
3/32" = 1'-0"	HB





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| DATE | DRAWN |
| 2025-06-16 | AZ |
| SCALE | CHECKED |
| 1/8" = 1'-0" | HB |



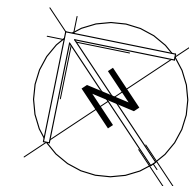


GENERAL NOTES

1. MAINTAIN CLEAR HEIGHT BELOW ALL STRUCTURE AND SERVICES: MIN. 2.0m (6.56') HEADROOM FOR ALL DRIVEWAY RAMPS AND ENTRANCE GARAGES.
2. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
3. PAINT ALL PARKING STALL NUMBERS, LINES AND DESIGNATIONS (SMALL CAR & DISABLED PARKING).
4. PAINT ALL EXIT PATH DESIGNATIONS.
5. PAINT ALL NON-INSULATED CEILINGS WHITE.
6. PAINT ALL COLUMNS AND WALLS WHITE WITH MIN. LRV OF 75% NO MORE THAN 300 mm ABOVE FLOOR CONTINUING TO CEILING TO NO LESS THAN 2.5 m ABOVE FLOOR.
7. PAINT ALL STORAGE AND LOCKER ROOMS WHITE.
8. CEILING INSULATION TO EXTEND 4'-0" PAST LINE OF HEATED SPACE ABOVE.
9. ALL PARKADE STORAGE ROOM CEILINGS ARE TO BE INSULATED (INCLUDING ROOMS THAT ARE BEYOND BUILDING ABOVE).
10. VISITOR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BYLAW SECTION 908 - "VISITOR PARKING ONLY".
11. PER SEC (V) OF CNV ZONING BYLAW, ALL SPACES REQUIRED FOR RESIDENTIAL USES SHALL INCLUDE AN ENERGIZED OUTLET CAPABLE OF LEVEL 2 CHARGING FOR AN ELECTRIC VEHICLE EXCEPT SPACES FOR VISITOR PARKING (REFER TO EV CHARGING STATISTICS).
12. SMALL CAR PARKING MUST BE LABELLED ACCORDING TO CNV ZONING BYLAW SECTION 908 - "SMALL CAR ONLY".
13. AS PER CNV ZONING BYLAW SECTION 1002 (b), LOADING SPACES SHALL BE NO LESS THAN 2.743M (9'-0") IN WIDTH, 9.144M (30'-0") IN LENGTH, AND 4.191M (13.75') IN HEIGHT.
14. PROVIDE VERTICAL CONTROL JOINTS @ MAX 16'-0" o.c. AT ALL PARKADE WALLS.
15. PROVIDE 3/4" CHAMFER AT ALL VERTICAL CONCRETE CORNERS UNLESS OTHERWISE NOTED.
16. PROVIDE 3/4" THICK FIRE RETARDANT TREATED PLYWOOD BACKING AT ELECTRICAL ROOM WALLS. SEE ELECTRICAL DRAWINGS FOR DETAILS.
17. PROVIDE SIGNAGE INDICATING HEADROOM CLEARANCE AT PARKADE ENTRY.
18. PROVIDE WALL-MOUNTED SIGNAGES FOR ALL ACCESSIBLE PARKADE STALLS IN ADDITION TO THE FLOOR SYMBOL MARKINGS.
19. PROVIDE HORIZONTAL & VERTICAL BIKE RACKS AS IDENTIFIED IN THE PARKADE DRAWINGS (PROVIDE SUBMITTAL FOR REVIEW).
20. ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF NORTH VANCOUVER BY-LAW.
21. PARKING SPACES DELINEATED BY PAINTED SOLID LINES OR OTHER ACCEPTABLE PAVEMENT MARKING DEVICE FOR EACH PARKING AND NUMBERED FOR IDENTIFICATION. DELINEATION PAINT LINE SHOULD BE 4" WIDE.
22. EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS OF NOT LESS THAN 6" IN HEIGHT.
23. PARKING AREA LIGHTING SHALL BE ILLUMINATED ONLY WITH SHIELDED LIGHTING SO THAT GLARE DOES NOT IMPACT MOTORISTS ON ADJACENT STREETS OR LANES.
24. GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.15.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY P.E.N.G. REGISTERED IN BRITISH COLUMBIA CERTIFYING COMPLIANCE.
25. PROVIDE CASH ALLOWANCE FOR BOLLARDS & WALL MOUNTED/ COLUMN MOUNTED PIPE GUARDS FOR ALL EXPOSED PLUMBING & ENTRY PHONE COMPONENT IN PARKADE AREA. ALL BOLLARDS AND PIPE GUARDS SHOULD BE PAINTED WITH HIGH-VISIBILITY YELLOW PAINT.
26. FIRE-RATED PROTECTION SHOULD BE PROVIDED FOR ALL SERVICE LINES RELATED TO LIFE-SAFETY & ECOMM CONDUITS.
27. 2HR FIRE RATED ENCLOSURE TO BE PROVIDED FOR EMERGENCY POWER CONDUITS FOR FIREFIGHTER ELEVATORS.
28. FEC DENOTES FIRE EXTINGUISHER CABINET. SURFACE MOUNTED CABINET SHOULD BE USED IN PARKADE UNO.
29. PROVIDE RATED SHAFT ASSEMBLY ENCLOSURE WITHIN EXIT & EXIT VESTIBULE FOR ANY SERVICES WHICH ARE NOT SERVING THE SPACE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT VARIANCE	2025-12-18

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PROJECT NO.

25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

P1 PARKING PLAN

SEAL

DRAWING NO.

REVISION

A202

DATE
2025-06-16

DRAWN
AZ

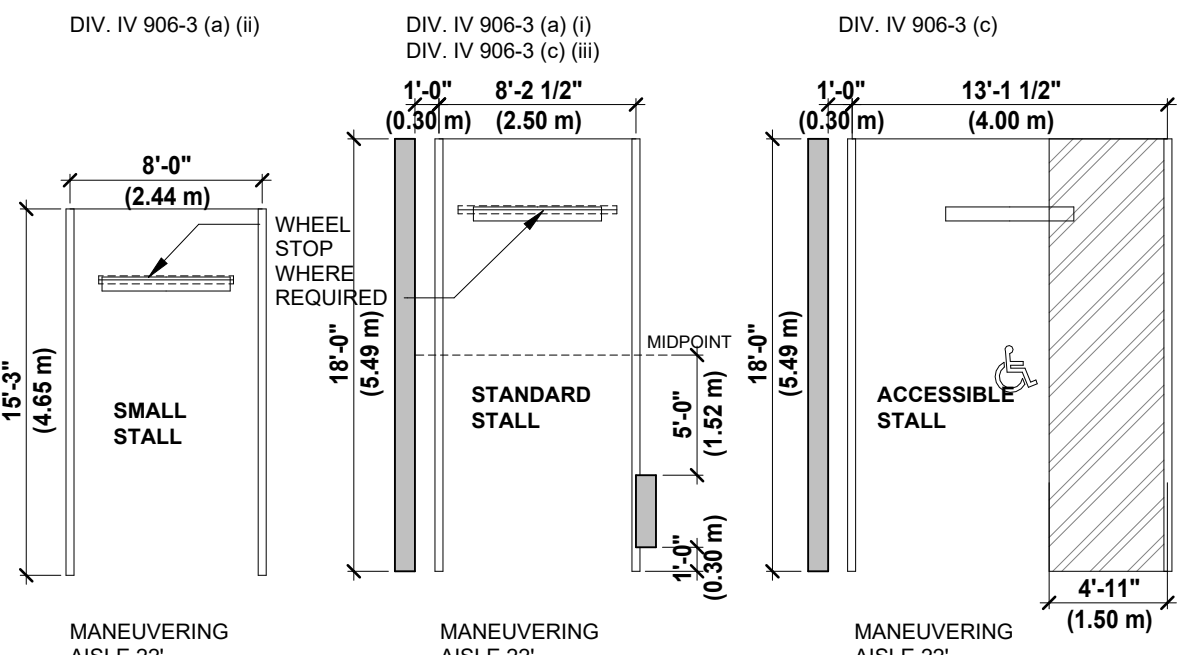
SCALE

CHECKED

1/8" = 1'-0"

HB

PARKING STALL AND LOADING BAY DIMENSIONS



NOTES:

1. REFER TO CITY OF NORTH VANCOUVER BYLAW DIVISION IV: PARKING AND LOADING STANDARDS FOR PARKING REQUIREMENTS.
2. REFER TO CITY OF NORTH VANCOUVER BYLAW DIVISION IV: PARKING AND LOADING STANDARDS PART 9(006)(C)(F) FOR LIGHTING REQUIREMENTS.
3. ALL PARKING STALLS SHALL BE PROVIDED WITH AN ELECTRICAL CONNECTION FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT.
4. PARKING SPACES DELINEATED BY 4" WIDE PAINTED SOLID LINES FOR EACH STALL.
5. EACH PARKING SPACE TO BE DESIGNED WITH ADEQUATE CURBS AND WHEEL STOPS.

EAST 6TH STREET

REVISIONS		
NO.	DESCRIPTION	DATE
	ISSUED FOR DEVELOPMENT VARIANCE	2025-12-18

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PROJECT NO. 25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

WASTE MANAGEMENT
ROOM

SEAL

DRAWING NO.

REVISION

A203

DATE
2025-06-16

RAVIN
AZ

SCALE
1/4" = 1'-0"

HECKED

HB

RECYCLING AND GARBAGE STORAGE FACILITY REQUIREMENT	
REQUIRED	PROVIDED
81 units x .486 m ² =39.36 m ² / 423.63 SF	49.5 m ² / 533 SF
NOTES: DESIGN AND CALCULATION ARE BASED ON CITY OF NORTH VANCOUVER ZONING BYLAW 1995, NO 6700. 417 GARBAGE AND RECYCLING FACILITIES, FIGURE 4-3	



EXISTING 17
STOREY
HIGH-RISE
APARTMENT

- ## GENERAL NOTES
1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
 2. REFER TO 1st FLOOR PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
 3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
 4. SEE INTERIOR DESIGN CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES AND DETAILS.
 5. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT)
 6. PROVIDE FIRE BLOCKS AS PER 3.1.11; BC BUILDING CODE 2024 AT ALL COMBUSTIBLE CONTACT SPACES INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PENETRATIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
 7. PROVIDE FIRE BLOCK MATERIALS AS PER 3.1.11.7; BC BUILDING CODE 2024. 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/4" LUMBER WITH STAGGERED JOINTS, 1/2" 1x2 THICK LUMBER, FIRE STOP UL PENETRATIONS OF FIRE BLOCKING.
 8. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS SIDEWALKS PATIOS PLANTERS AND FENCING.
 9. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
 10. PROVIDE MIN. 2% SLOPE AT BALCONIES AND ROOFS.
 11. PROVIDE BULKHEADS FOR ALL SPRINKLER DROPS.
 12. STAND PIPES ARE EXPOSED.
 13. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS.
 14. DIMENSIONS TO EXTERIOR WALLS ARE SHOWN MEASURED TO EXTERIOR FACE OF SHEATHING OR OF MASONRY/CONCRETE UNLESS NOTES OTHERWISE. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF WALL STUDS OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
 15. WALL ASSEMBLIES WHICH ARE FIRE SEPARATIONS SHALL BE CONTINUOUS AND INTEGRAL BEHIND THE ENDS OF ABUTTING NON-RATED PARTITIONS AND BEHIND STAIRWAYS, MILLWORK, FURRED-OUT NON-RATED CHASES (MANIFOLD LOCATIONS) AND MISCELLANEOUS FIXTURES SUCH AS BATHTUBS & SHOWERS.
 16. FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS AND INTEGRAL WITH THE FLOOR-CEILING ASSEMBLY WITHOUT INTERVENING INTERSTITIAL CEILING SPACES.
 17. WATER-RESISTANT GYPSUM BOARD OR TILE-BACKING BOARD SHALL BE INSTALLED IN THE PARTITIONS SURROUNDING SHOWERS AND BATHTUBS. THE CORRESPONDING PARTITION STUDS SHALL BE SPACED AT MAX. 16" O.C.
 18. EVERY DUCT, PIPE, ELECTRICAL TIE OR OTHER, SIMILAR SERVICE EQUIPMENT THAT WHOLLY OR PARTIALLY PENETRATED A REQUIRED FIRE SEPARATION SHALL BE NON-COMBUSTIBLE, EXCEPT AS SPECIFICALLY PERMITTED BY THE B.C. BUILDING CODE AND SUBJECT TO APPROVED LISTED FIRE STOPPING SYSTEM.
 19. WHERE ELECTRICAL RECEPTACLES & SWITCHES ARE LOCATED ON BOTH SIDES OF A REQUIRED FIRE SEPARATION, THEY SHALL BE OFFSET AT LEAST 24" (600mm). APPLY LISTED SEALANT AROUND ALL CUT-OUTS. IF OFFSETTING ELECTRICAL BOXES IS NOT FEASIBLE, PROVIDE 1" GWB FIRE BLOCKING BETWEEN OUTLET BOXES, OR PROVIDE HILTI FIRE PUTTY PAD AT BACK OF OUTLET BOX.
 20. GUARDS SHALL CONFORM TO REQUIREMENTS OF CBC 4.15.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED AND REGISTERED IN BRITISH COLUMBIA, CERTIFYING COMPLIANCE.
 21. WHEN CONCEALED FRAMING ABOUT COMBUSTIBLE ELEMENT SUCH AS POLYURETHANE SPRAY-FORM INSULATION, CONTINUOUS THERMAL BARRIER WITH 1/2" GWB SHOULD BE PROVIDED. FIRE BLOCKING WITH 1/2" GWB SHOULD BE PROVIDED BETWEEN DROP CEILING CAVITY AND CEILING AND PARTY WALLS EXCEED 20mm HORIZONTALLY & 3mm VERTICALLY.
 22. NON COMBUSTIBLE OUTLET BOXES WITH MAX. 0.016m² AREA SHOULD BE USED AND ITS AGGREGATE AREA AT FIRE RATED SEPARATION SHALL NOT EXCEED 0.065m² IN ANY 9.3m SURFACE.
 23. ELASTOMERIC PAINT TO BE APPLIED TO ALL EXPOSED CONCRETE ELEMENTS, MOCK UP REQUIRED PRIOR TO FINAL APPROVAL.
 24. CODE REPORT AS PART OF CONTRACT DOCUMENT WILL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS
 25. FIRE-RATED PROTECTION SHOULD BE PROVIDED FOR ALL SERVICE LINES RELATED TO LIFE-SAFETY & ECOMM CONDUITS
 26. 2HR FIRE RATED ENCLOSURE TO BE PROVIDED FOR EMERGENCY POWER CONDUTS FOR FIREFIGHTER ELEVATORS.
 27. FEC DENOTES FIRE EXTINGUISHER CABINET. SURFACE MOUNTED CABINET SHOULD BE USED ON PARKADE LEVEL. WHILE SEMI-RECESSED CABINET SHOULD BE USED IN RESIDENTIAL & COMMERCIAL SPACES
 28. PROVIDE RATED SHAFT ASSEMBLY ENCLOSURE WITHIN EAT & EXIST VESTIBULE FOR ANY SERVICES WHICH ARE NOT SERVING THE SPACE
 29. PROVIDE BACKING FOR FIXTURE AND MEP UNITS AS NEEDED
 30. BUILDER IS RESPONSIBLE TO COORDINATE SERVICES ON SITE WITH UNNECESSED FIXTURES IDENTIFIED IN CONSULTANT DRAWINGS

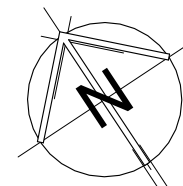
BFA studio
architects

600 - 355 Burrard Street T 604 662 8544
Vancouver, BC V6C 2G8 F 604 662 4060
www.bfastudioarchitects.com info@bfastudioarchitects.com

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PROJECT NO. _____

25611

PROJEC

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

LEVEL 6 FLOOR PLAN

SEAN

DRAIVING NO.

REVISION

A209

DATE
2025-06-10

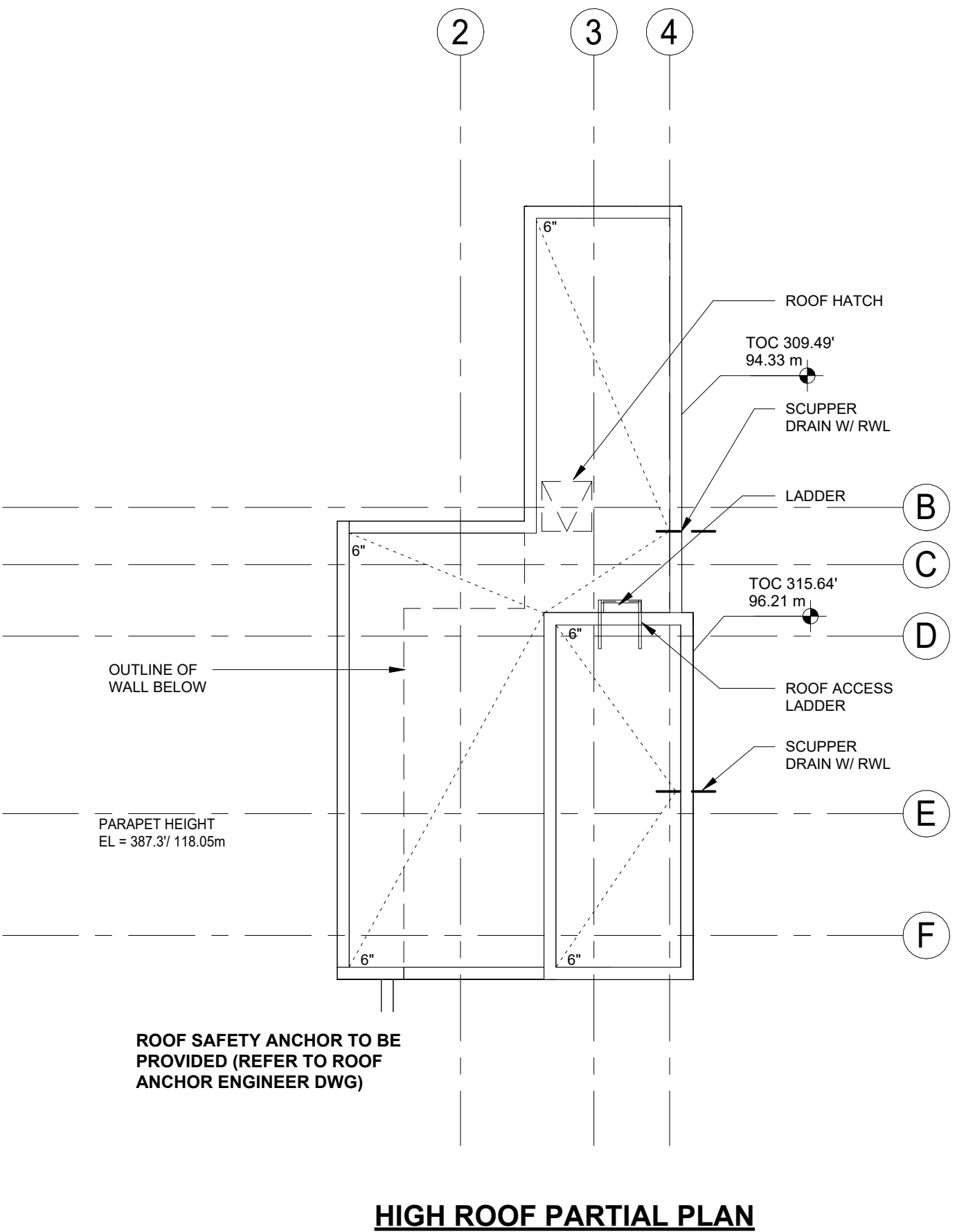
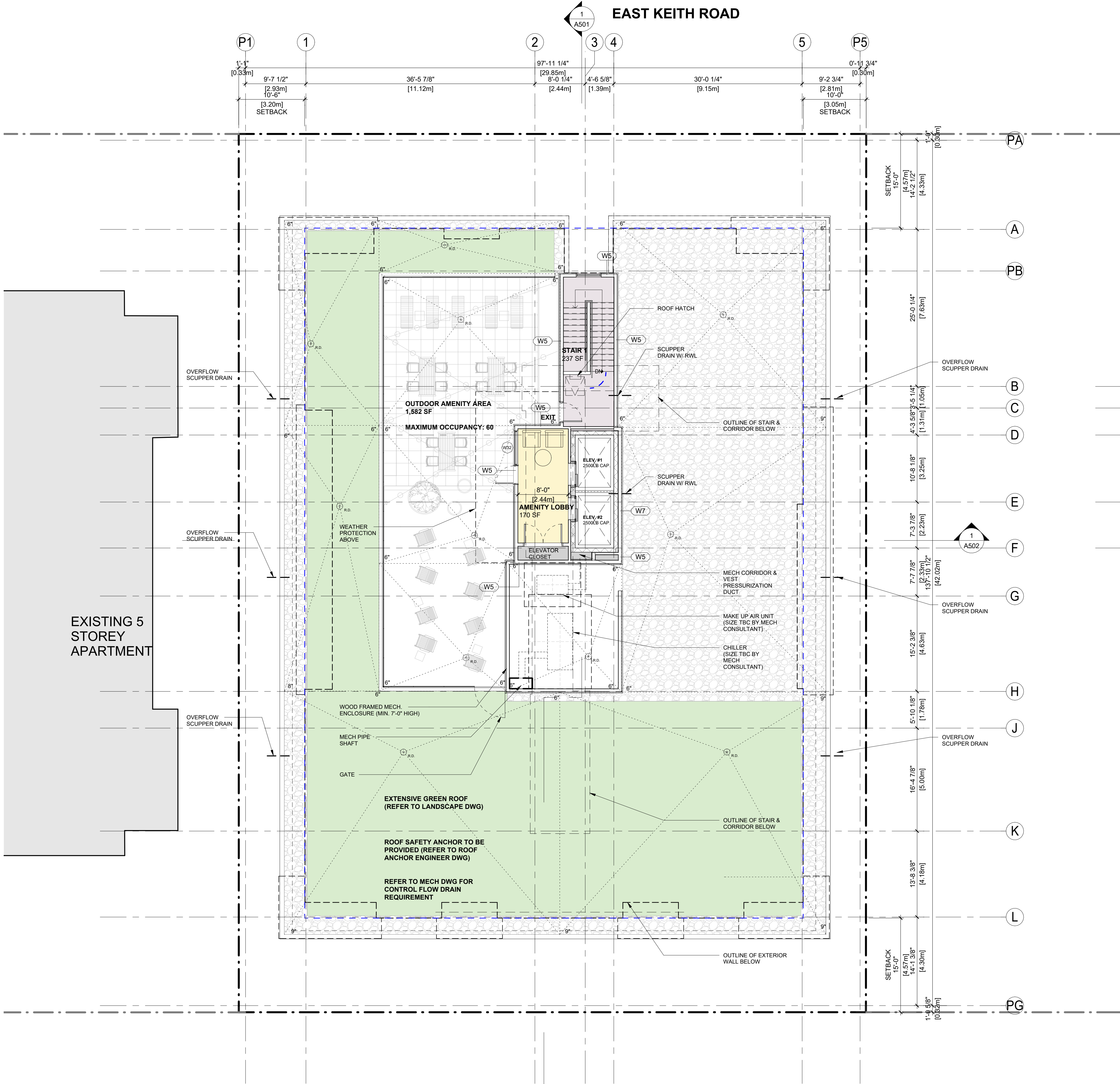
DRAWING

SCALE

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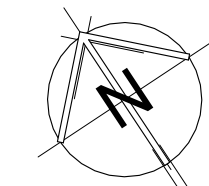
$$1/8'' = 1'-0''$$

HR



REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT VARIANCE	2025-12-18

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REPRODUCED COPY OF THIS DOCUMENT IS NOT VALID. ANY REPRODUCED COPY OF THIS DOCUMENT IS NOT VALID.

PROJECT NO. 25611

PROJECT
**RESIDENTIAL BUILDING
DEVELOPMENT**
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE
ROOF PLAN

SEAL

DRAWING NO. REVISION

A210

DATE 2025-06-16
SCALE 1/8" = 1'-0"
DRAWN AZ
CHECKED HB

[illegible]

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PROJECT NO. _____

25611

PROJECT

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAVING TITLE

BUILDING ELEVATION
(NORTH) EAST KEITH ROAD

EAL

RAVING NC

REVISION

A401

2025-08-29

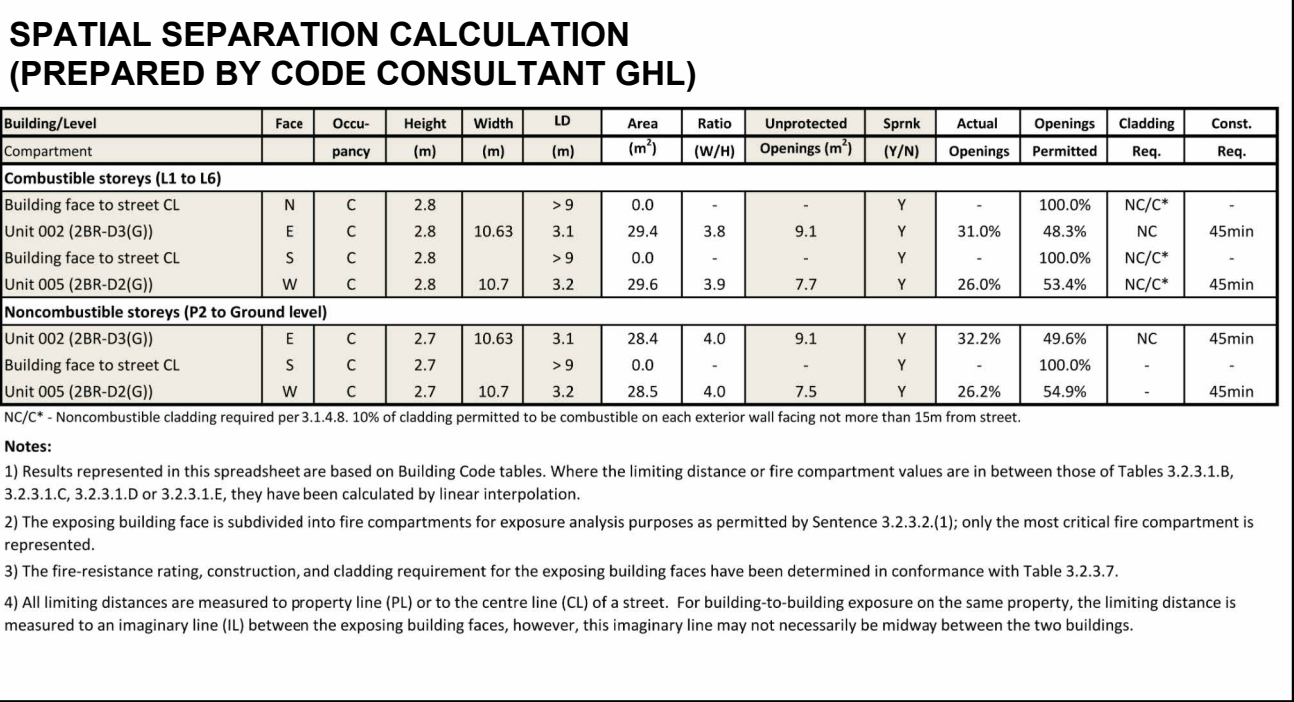
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SALE

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$$1/8'' = 1'-0''$$

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NOTES:

1. ALL TRIM COLOR SHOULD MATCH ADJACENT PANEL
2. COLOR TO BE CONFIRMED AFTER CONTRACTOR PROVIDES SAMPLES/ MOCK UP
3. REFER TO ELEVATIONS FOR LOCATION OF CONCRETE REVEALS

ELEVATION KEYNOTE LEGEND							
ITEM		COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	
1.1	CEMENTITIOUS CLADDING - PLANK LAP SIDING (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: TEXTURED; SIZE: 6" WIDE	3.2	GLASS GUARDRAIL (FACE MOUNT)	7	ALUMINUM GRILL GARAGE OVERHEAD GATE	COLOUR: BLACK
1.2	CEMENTITIOUS CLADDING - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	3.3	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT)	8	METAL OVERHEAD DOOR	COLOUR: BLACK
1.3	CEMENTITIOUS CLADDING - PLANK LAP SIDING (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE 'RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. FINISH: TEXTURED; SIZE: 6" WIDE	3.4	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) - AT ENTRY ONLY	9.1	EXPOSED CONCRETE WALL (LIGHT GREY)	COLOUR: ELASTOMERIC PAINT (LIGHT GREY)
1.4	CEMENTITIOUS CLADDING - SHINGLE (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: STRAIGHT EDGE; SIZE: 7" WIDE	4.1	SOFFIT W/ ALUMINUM PERFORATED PANEL AT BALCONY (DARK GREY)	9.2	EXPOSED CONCRETE WALL (LIGHT GREY)	NATURAL CONCRETE (LIGHT GREY)
1.5	CEMENTITIOUS CLADDING - BALCONY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.2	SOFFIT W/ ALUMINUM PERFORATED PANEL AT MAIN ROOF & ROOFTOP VESTIBULE OVERHANG (WOOD GRAIN)	10	ALUMINIUM SCREEN SYSTEM AT ENTRY	LONG BOARD PRIVACY BEAM 1X5 COLOUR: TBC
1.6	ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3	SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND	11.1	METAL FLASHINGS (@ PARAPET)	COLOUR: PAINTED TO COLOUR MATCH ADJACENT FASCIA / CLADDING
1.7	CEMENTITIOUS CLADDING - OVERHANG FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.4	ALUMINUM SOFFIT PANEL FOR ENTRY CANOPY (WOOD GRAIN)	11.2	METAL FLASHINGS (@ WINDOW / DOOR)	COLOUR: PAINTED TO COLOUR MATCH ADJACENT WINDOW / DOOR
2.1	ALUMINUM WINDOW / DOOR (DOUBLE GLAZING)	COLOR: BLACK GLASS: LOW-E CLEAR SPANDREL: METAL SPANDREL PANEL (BLACK)	5.1	PAINTED METAL DOOR	11.3	METAL FLASHINGS (@ BASE OF CLADDING)	COLOUR: BLACK
2.2	VINYL WINDOW / DOOR W/ DOUBLE GLAZING	COLOR: BLACK GLASS: LOW-E CLEAR / TEMPERED	5.2	PAINTED METAL DOOR (EXIT DOOR AT NORTH)	12	EXPOSED 2-PLY SBS MEMBRANE @ MAIN ROOF	COLOUR: LIGHT GREY
3.1	ALUMINUM FRAME PRIVACY SCREEN	FRAME: BLACK PANEL: FROSTED GLASS, TEMPERED	6	ROOFTOP WOOD FRAMED MECHANICAL ENCLOSURE - BOARD & BATTEN (WHITE)	13	VINYL DECK MEMBRANE AT WOOD FRAMED BALCONY	COLOUR: LIGHT GREY
					14	PEDESTRIAN TRAFFIC MEMBRANE AT CONCRETE BALCONY	COLOUR: LIGHT GREY

[illegible]

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PROJECT NO. _____

25611

PROJECT

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAVING TITLE

BUILDING ELEVATION (EAST)

EAL

RAVING NC

REVISION

A402

2025-08-29

AVIN

SCALE

ECKED

$$1/8" = 1'-0"$$

B



ELEVATION KEYNOTE LEGEND							
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH	ITEM	COLOUR/FINISH
1.1	CEMENTITIOUS CLADDING - PLANK LAP SIDING (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: TEXTURED; SIZE: 6" WIDE	3.2	GLASS GUARDRAIL (FACE MOUNT)	FRAME: BLACK GLASS: SAFETY CLEAR	7	ALUMINUM GRILL GARAGE OVERHEAD GATE COLOUR: BLACK
1.2	CEMENTITIOUS CLADDING - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	3.3	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT)	COLOR: BLACK	8	METAL OVERHEAD DOOR COLOUR: BLACK
1.3	CEMENTITIOUS CLADDING - PLANK LAP SIDING (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. FINISH: TEXTURED; SIZE: 6" WIDE	3.4	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) - AT ENTRY ONLY	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR.	9.1	EXPOSED CONCRETE WALL (LIGHT GREY) COLOUR: ELASTOMERIC PAINT (LIGHT GREY)
1.4	CEMENTITIOUS CLADDING - SHINGLE (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: STRAIGHT EDGE; SIZE: 7" WIDE	4.1	SOFFIT W/ ALUMINUM PERFORATED PANEL AT BALCONY (DARK GREY)	COLOUR: TYPICAL BALCONY TO MATCH HARDIE 'IRON GRAY' OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	9.2	EXPOSED CONCRETE WALL (LIGHT GREY) NATURAL CONCRETE (LIGHT GREY)
1.5	CEMENTITIOUS CLADDING - BALCONY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.2	SOFFIT W/ ALUMINUM PERFORATED PANEL AT MAIN ROOF & ROOFTOP VESTIBULE OVERHANG (WOOD GRAIN)	COLOUR: MAIN ROOF & ROOFTOP VESTIBULE TO MATCH 1.3 OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL	10	ALUMINIUM SCREEN SYSTEM AT ENTRY LONG BOARD PRIVACY BEAM 1X5 COLOUR: TBC
1.6	ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3	SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND	COLOR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR	11.1	METAL FLASHINGS (@ PARAPET) COLOUR: PAINTED TO COLOUR MATCH ADJACENT FASCIA / CLADDING
1.7	CEMENTITIOUS CLADDING - OVERHANG FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.4	ALUMINUM SOFFIT PANEL FOR ENTRY CANOPY (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. WITH MIN. 2" WIDE BLACK MTL. VENT. STRIP. FINISH: TEXTURED. SIZE: 6" WIDE	11.2	METAL FLASHINGS (@ WINDOW / DOOR) COLOUR: PAINTED TO COLOUR MATCH ADJACENT WINDOW / DOOR
2.1	ALUMINUM WINDOW / DOOR (DOUBLE GLAZING)	COLOR: BLACK GLASS: LOW-E CLEAR SPANDREL: METAL SPANDREL PANEL (BLACK)	5.1	PAINTED METAL DOOR	COLOR: BLACK	11.3	METAL FLASHINGS (@ BASE OF CLADDING) COLOUR: BLACK
2.2	VINYL WINDOW / DOOR W/ DOUBLE GLAZING	COLOR: BLACK GLASS: LOW-E CLEAR / TEMPERED	5.2	PAINTED METAL DOOR (EXIT DOOR AT NORTH)	COLOR: BLACK	12	EXPOSED 2-PLY SBS MEMBRANE @ MAIN ROOF COLOUR: LIGHT GREY
3.1	ALUMINUM FRAME PRIVACY SCREEN	FRAME: BLACK PANEL: FROSTED GLASS, TEMPERED	6	ROOFTOP WOOD FRAMED MECHANICAL ENCLOSURE - BOARD & BATTEN (WHITE)	COLOR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	13	VINYL DECK MEMBRANE AT WOOD FRAMED BALCONY COLOUR: LIGHT GREY
						14	PEDESTRIAN TRAFFIC MEMBRANE AT CONCRETE BALCONY COLOUR: LIGHT GREY

[illegible]

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PROJECT NO. _____

25611

PROJECT

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAWING TITLE

BUILDING ELEVATION
(SOUTH) 6TH STREET EAST

REAL

RAVING NC

REVISION

A403

2025-08-29

Z

SALE

HECKED

$$1/8" = 1'-0"$$

B



NOTES:

1. ALL TRIM COLOR SHOULD MATCH ADJACENT PANEL
2. COLOR TO BE CONFIRMED AFTER CONTRACTOR PROVIDES SAMPLES/ MOCK UP
3. REFER TO ELEVATIONS FOR LOCATION OF CONCRETE REVEALS

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
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1.2	CEMENTITIOUS CLADDING - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE	3.3	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT)	COLOR: BLACK
1.3	CEMENTITIOUS CLADDING - PLANK LAP SIDING (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE 'RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. FINISH: TEXTURED; SIZE: 6" WIDE	3.4	ALUMINIUM PICKET GUARDRAIL (FACE MOUNT) - AT ENTRY ONLY	COLOUR: TO MATCH WOODTONE 'RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR.
1.4	CEMENTITIOUS CLADDING - SHINGLE (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: STRAIGHT EDGE; SIZE: 7" WIDE	4.1	SOFFIT W/ ALUMINUM PERFORATED PANEL AT BALCONY (DARK GREY)	COLOUR: TYPICAL BALCONY TO MATCH HARDIE 'IRON GRAY' OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL
1.5	CEMENTITIOUS CLADDING - BALCONY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.2	SOFFIT W/ ALUMINUM PERFORATED PANEL AT MAIN ROOF & ROOFTOP VESTIBULE OVERHANG (WOOD GRAIN)	COLOUR: MAIN ROOF & ROOFTOP VESTIBULE TO MATCH 1.3 OR SIMILAR SIZE: APPROX. 16" WIDE 2-PANEL
1.6	ALUMINUM CLADDING - CANOPY FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.3	SOFFIT & FASCIA W/ PAINTED CONCRETE AT BALCONY - L1 & GROUND	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR
1.7	CEMENTITIOUS CLADDING - OVERHANG FASCIA (DARK GREY)	COLOUR: TO MATCH HARDIE 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	4.4	ALUMINUM SOFFIT PANEL FOR ENTRY CANOPY (WOOD GRAIN)	COLOUR: TO MATCH WOODTONE 'RUSTIC 'RIVER ROCK' OR 'ASPEN RIDGE' OR SIMILAR. WITH MIN. 2" WIDE BLACK MTL. VENT. STRIP. FINISH: TEXTURED. SIZE: 6" WIDE
2.1	ALUMINUM WINDOW / DOOR (DOUBLE GLAZING)	COLOR: BLACK GLASS: LOW-E CLEAR SPANDREL: METAL SPANDREL PANEL (BLACK)	5.1	PAINTED METAL DOOR	COLOUR: BLACK
2.2	VINYL WINDOW / DOOR W/ DOUBLE GLAZING	COLOR: BLACK GLASS: LOW-E CLEAR / TEMPERED	5.2	PAINTED METAL DOOR (EXIT DOOR AT NORTH)	COLOUR: BLACK
3.1	ALUMINUM FRAME PRIVACY SCREEN	FRAME: BLACK PANEL: FROSTED GLASS, TEMPERED	6	ROOFTOP WOOD FRAMED MECHANICAL ENCLOSURE - BOARD & BATTEN (WHITE)	COLOUR: TO MATCH HARDIE 'ARCTIC WHITE' OR SIMILAR FINISH: TEXTURED; SIZE: 12" WIDE

REVISIONS			
NO.	DESCRIPTION	ISSUED FOR DEVELOPMENT	VARIANCE
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PROJECT NO. 25611

PROJECT
RESIDENTIAL BUILDING
DEVELOPMENT
115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

SECTION 1 - NORTH-SOUTH

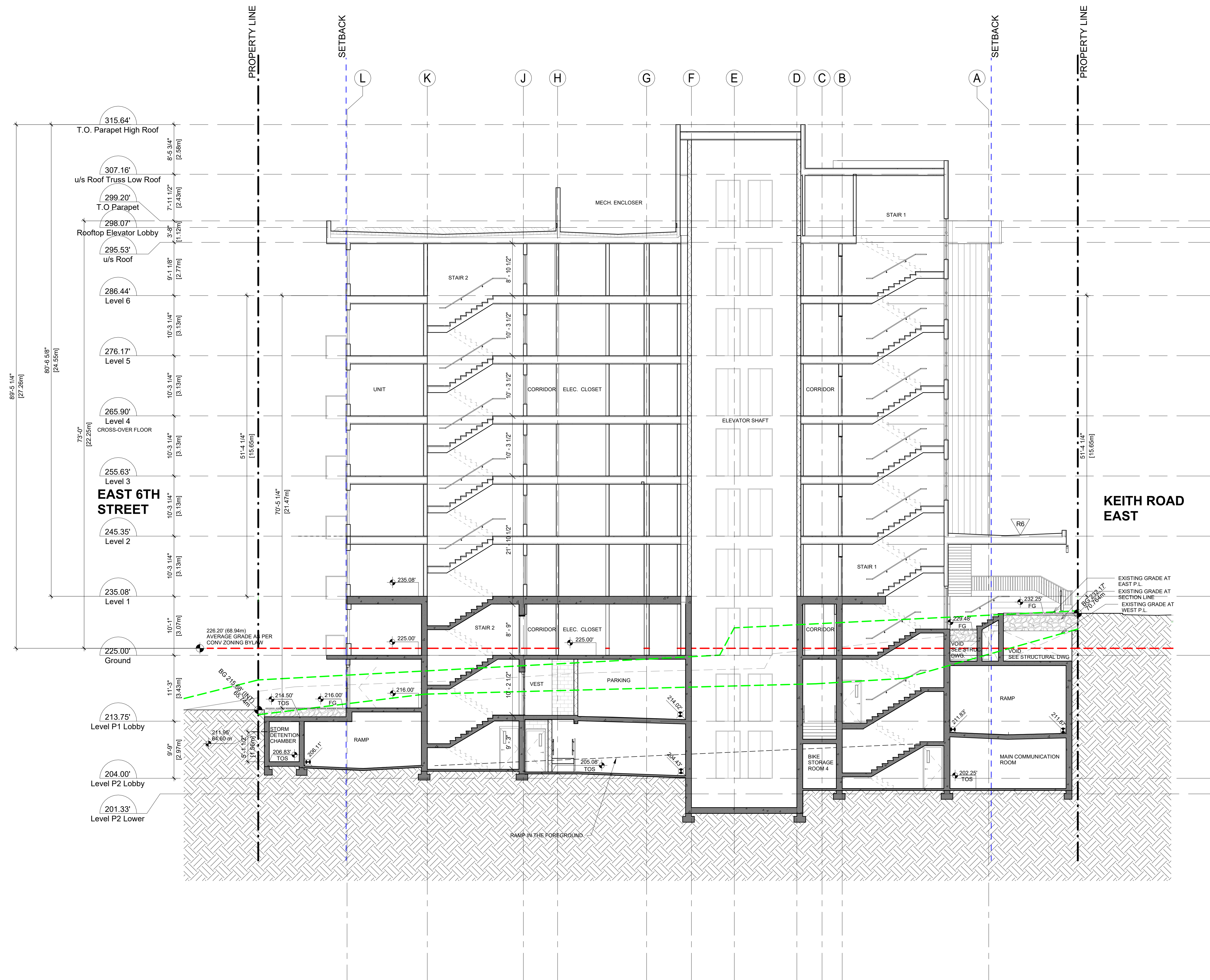
SEAL

DRAWING NO. REVISION

A501

DATE 2025-08-29
SCALE 1/8" = 1'-0"

DRAWN AZ
CHECKED HB



[illegible]

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PROJECT NO. _____

25611

PROJECT _____

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

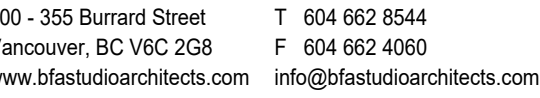
SECTION 2 - EAST-WEST

SEAL

DRAWING NO.	REVISION

A502

DATE	DRAWN
2025-08-29	AZ
SCALE	CHECKED
1/8" = 1'-0"	HB



1. PROVIDE BACKING IN WALL FOR ALL SURFACE MOUNTED ACCESSORIES AS REQUIRED
2. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS
3. PROVIDE MILLWORK CUT-OUT BELOW VANITY AS REQUIRED FOR SELECTED LAVATORY
4. INSTALL 2X SOLID WOOD BACKING BEHIND GWB
5. ALL MOISTURE RESISTANT GYPSUM WALLBOARD CEILING TO BE 5/8" THK. ALL GYPSUM BOARD IN WASHROOM WALLS TO BE MOISTURE-RESISTANT GYPSUM WALL BOARD.
6. REFER TO INTERIOR DESIGN DRAWING FOR FINISHES & ACCESSORIES.
7. CONTROLS AND OUTLETS INTENDED FOR OCCUPANT USE SHALL BE MOUNTED 400mm TO 1200mm ABOVE FINISHED FLOOR (BRCG 2022 11.11a)
8. CABINET DOOR PULL LOCATION:
 - A. TO BE CENTERED ON CABINET DOOR U.O.N.
 - B. TYPICAL 1'-3/4" FROM CENTER LINE OF PULL TO EDGE OF DOOR LATCH
 - C. PULL ON DRAWERS TO BE CENTERED VERTICALLY ON SHALLOW DRAWERS AND HORIZONTAL EQUALLY SPACED ON DEEPER DRAWERS FROM TOP EDGE.

DIMENSIONS ON THIS PLAN ARE SHOWN MEASURED TO
FACE OF GWB OR C/L OF FIXTURES, AND SHALL BE
READ IN CONJUNCTION WITH FLOOR PLANS

BA1	TOILET PAPER HOLDER @ 24" AFF (SURFACE MOUNTED TYPE WHEN ON RATED WALL, OTHERWISE TO BE RECESSED)
BA5	ROBE HOOK @ 46" AFF
BA8	GRAB BAR 1-1/4" DIA. WITH KNURLED GRIP SURFACE (ALL GRAB BARS SHOULD CONFORM TO BCBC 2024 3.7.2.7.)
BA9	SOAP DISPENSER (AUTOMATIC)
BA10	TISSUE PAPER DISPENSER & WASTE RECEPTACLE
M1	MIRROR

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PROJECT NO.

25611

PROJECT

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAVING TITLE

ADAPTABLE DWELLING PLANS

REAL

RAVING NC

REVISION

A803

2025-11-05

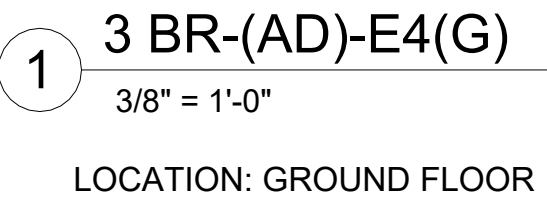
DRAWN
AZ

SALE

CHECKED

$$3/8" = 1'-0"$$

DA



LOCATION: GROUND FLOOR

[illegible]

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PROJECT NO. _____

2561

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAWING TITLE

ADAPTABLE DWELLING PLANS

EAL

RAWING NO.	REVISION
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A804

DATE	DRAWN
2025-11-05	AZ
SCALE	CHECKED
3/8" = 1'-0"	DA

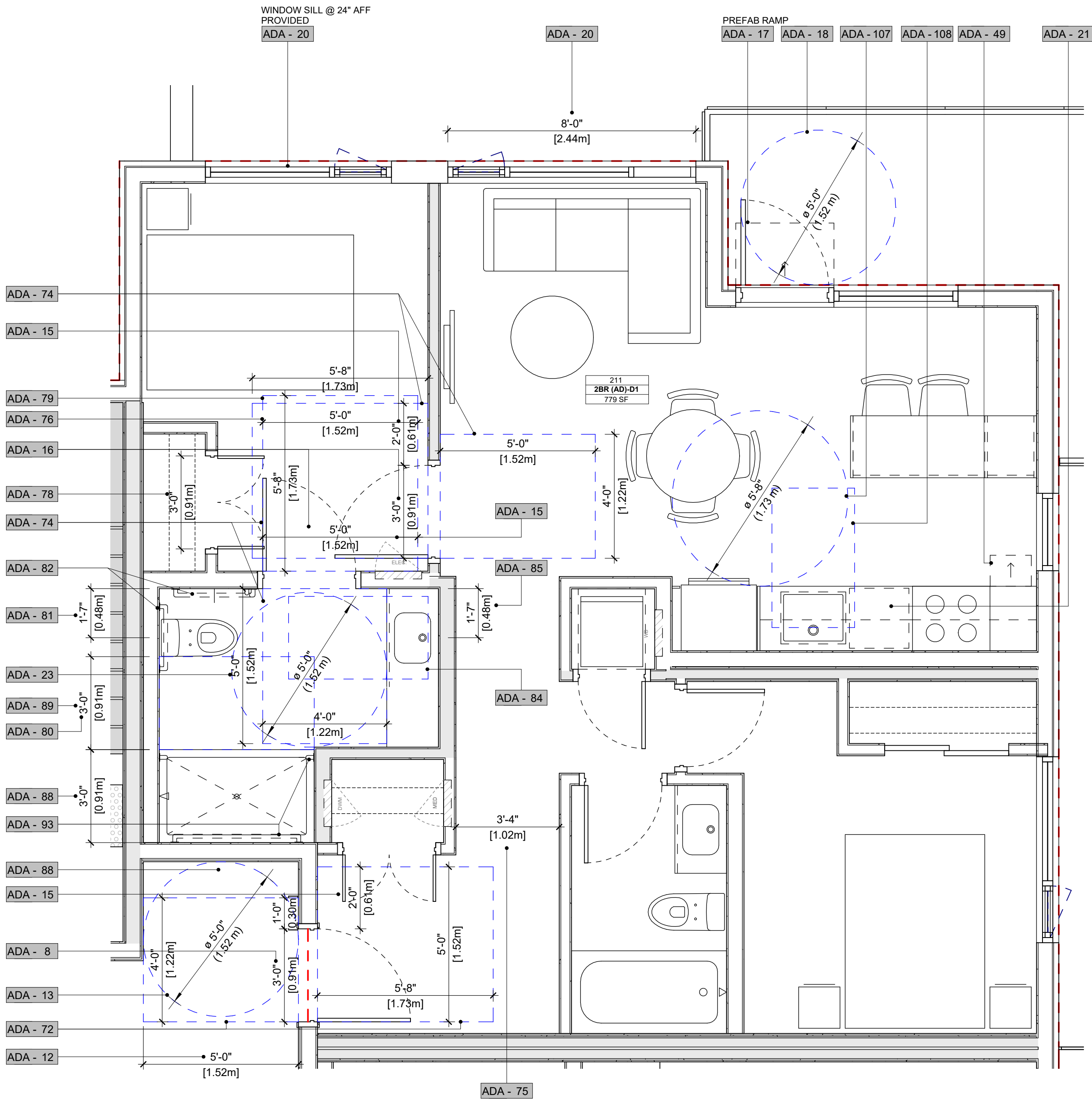
GENERAL NOTES

1. PROVIDE BACKING IN WALL FOR ALL SURFACE MOUNTED ACCESSORIES AS REQUIRED
2. FINAL LOCATION OF ACCESSORIES TO BE CONFIRMED & ADJUSTED BASED ON SITE CONDITIONS
3. PROVIDE MILL WORK CUT-OUT BELOW VANITY AS REQUIRED FOR SELECTED LAVATORY
4. INSTALL 2X SOLID WOOD BACKING BEHIND GWB
5. ALL MOISTURE RESISTANT GYPSUM WALLBOARD CEILING TO BE 5/8" THK. ALL GYPSUM BOARD IN WALLS TO BE 1/2" THK. ALL MOISTURE-RESISTANT GYPSUM WALL BOARD.
6. REFER TO INTERIOR DESIGN DRAWING FOR FINISHES & ACCESSORIES.
7. CONTROLS AND OUTLETS INTENDED FOR OCCUPANT USE SHALL BE MOUNTED 400mm/ 1200mm ABOVE FINISH FLOOR (USGBC 2020 9.1.1(1a))
8. CABINET DOOR PULL LOCATION:
 - A. TO BE CENTERED ON CABINET DOOR U.N.O.
 - B. TYPICAL 1/4" FROM CENTER LINE OF PULL TO CABINET DOOR
 - C. PULL ON DRAWERS TO BE CENTERED VERTICALLY ON SHALLOW DRAWERS AND THEREAFTER EQUALLY SPACED ON DEEPER DRAWERS FROM TOP EDGE.

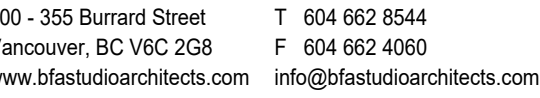
DIMENSIONS ON THIS PLAN ARE SHOWN MEASURED TO
FACE OF GWB OR C/L OF FIXTURES, AND SHALL BE
READ IN CONJUNCTION WITH FLOOR PLANS

ACCESSORIES KEY NOTES

- | | |
|------|---|
| BA1 | TOILET PAPER HOLDER @ 24" AFF
(SURFACE MOUNTED TYPE WHEN ON RATED
WALL, OTHERWISE TO BE RECESSED) |
| BA5 | ROBE HOOK @ 48" AFF |
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SURFACE (ALL GRAB BARS SHOULD CONFORM
TO CBCG 2024 3.7.2.7.) |
| BA9 | SOAP DISPENSER (AUTOMATIC) |
| BA10 | TISSUE PAPER DISPENSER & WASTE
RECEPTACLE |
| BA11 | MIRROR |



2 2BR (AD)-D1
3/8" = 1'-0"

[illegible]

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25611

PROJECT _____

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAWING TITLE

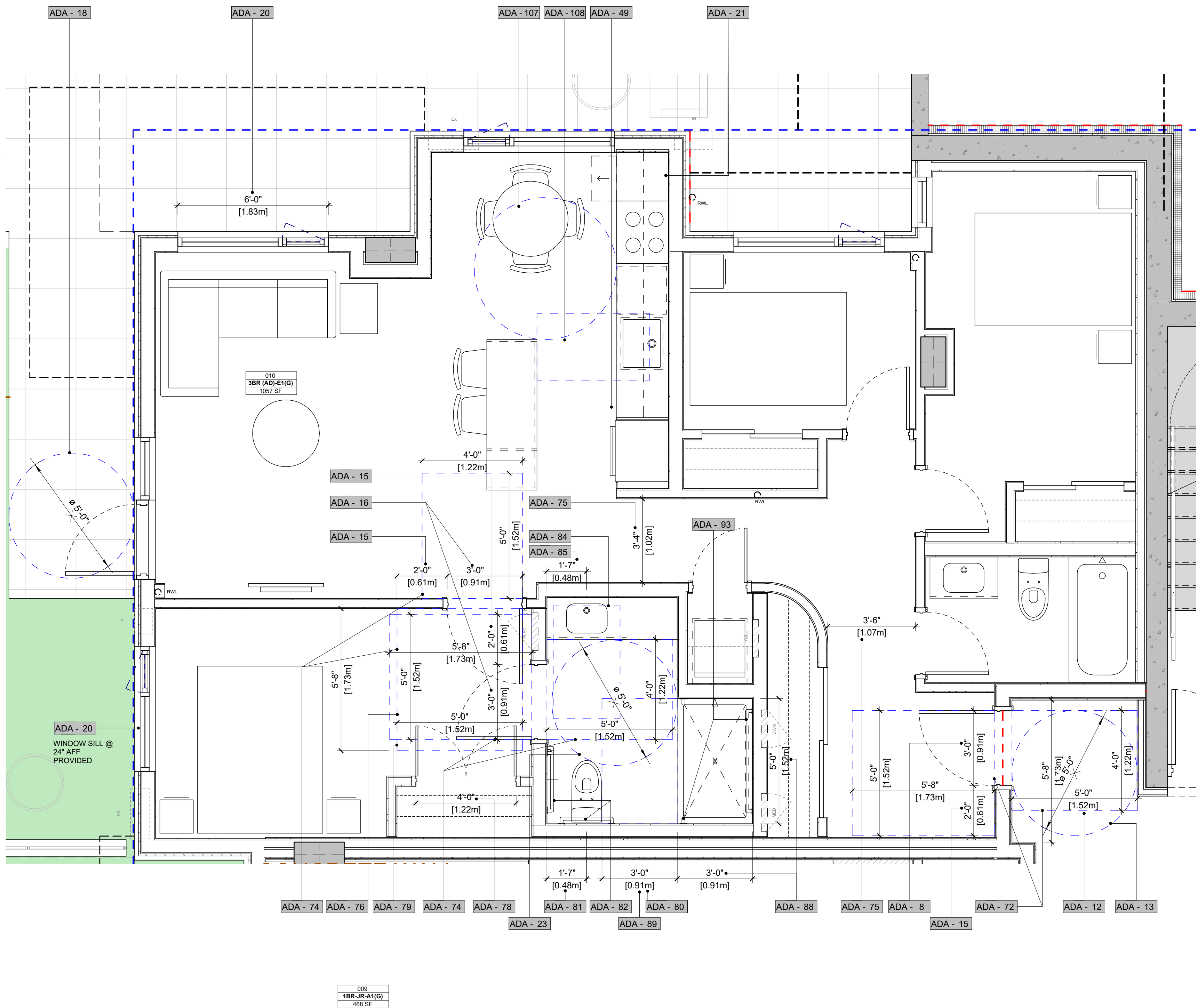
ADAPTABLE DWELLING PLANS

EAL

RAWING NO.	REVISION
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A805

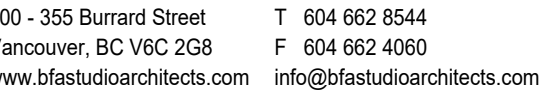
DATE	DRAWN
2025-11-05	AZ
SCALE	CHECKED
3/8" = 1'-0"	DA



1 3BR (AD)-E1(G)

$$\frac{3}{8}'' = 1'-0''$$

LOCATION: GROUND FLOOR

[illegible]

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RESIDENTIAL BUILDING DEVELOPMENT

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North Vancouver, BC

RAWING TITLE

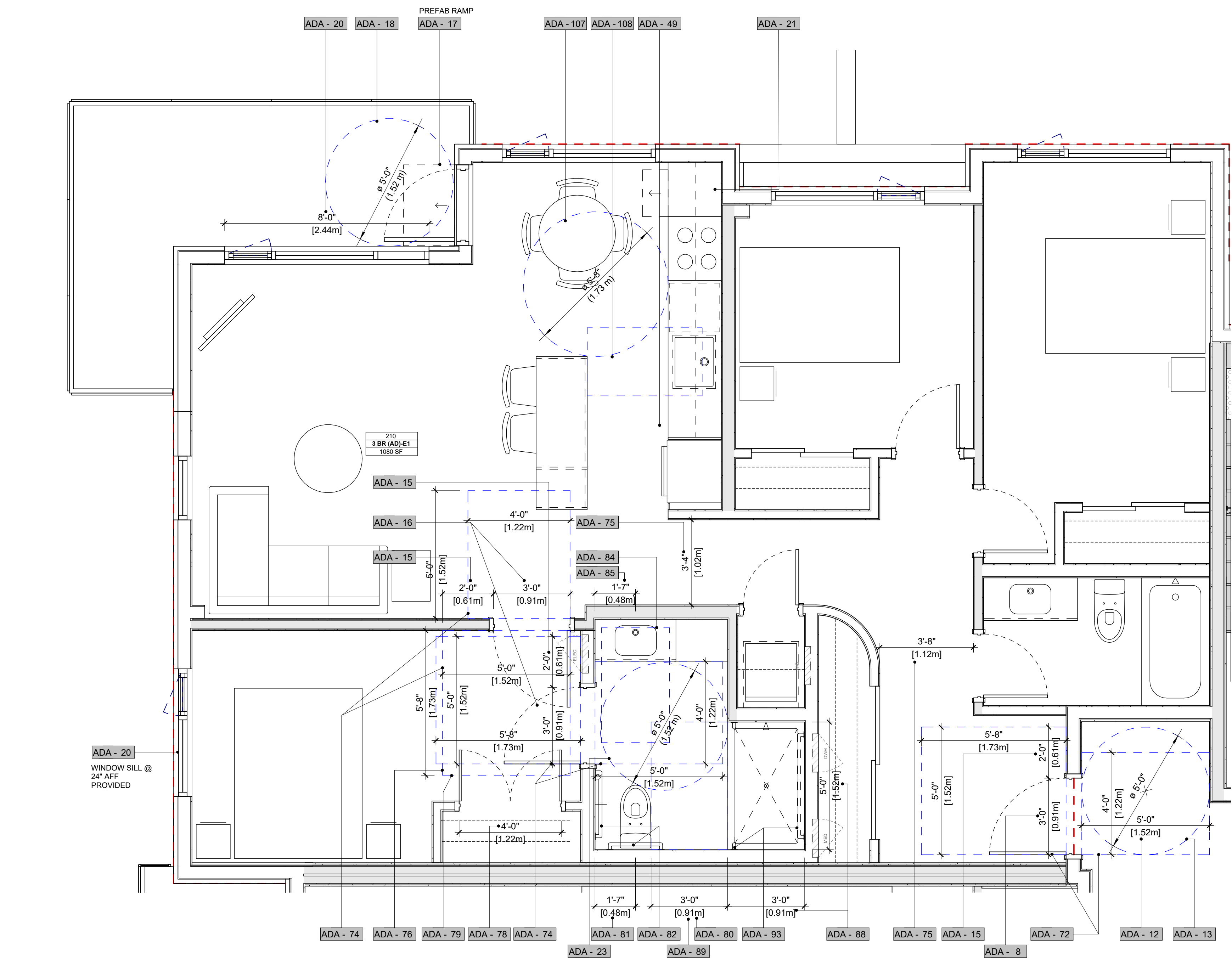
ADAPTABLE DWELLING PLANS

EAL

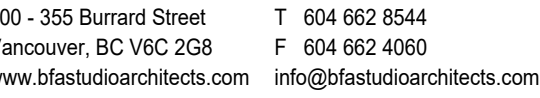
RAWING NO. _____ REVISION _____

A806

DATE	DRAWN
2025-11-05	AZ
SCALE	CHECKED
3/8" = 1'-0"	DA



1 3BR (AD)-E1
3/8" = 1'-0"



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25611

PROJECT

RESIDENTIAL BUILDING DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

RAVING TITLE

ADAPTABLE DWELLING PLANS

EAL

RAVING NC

REVISION

A807

2025-11-05

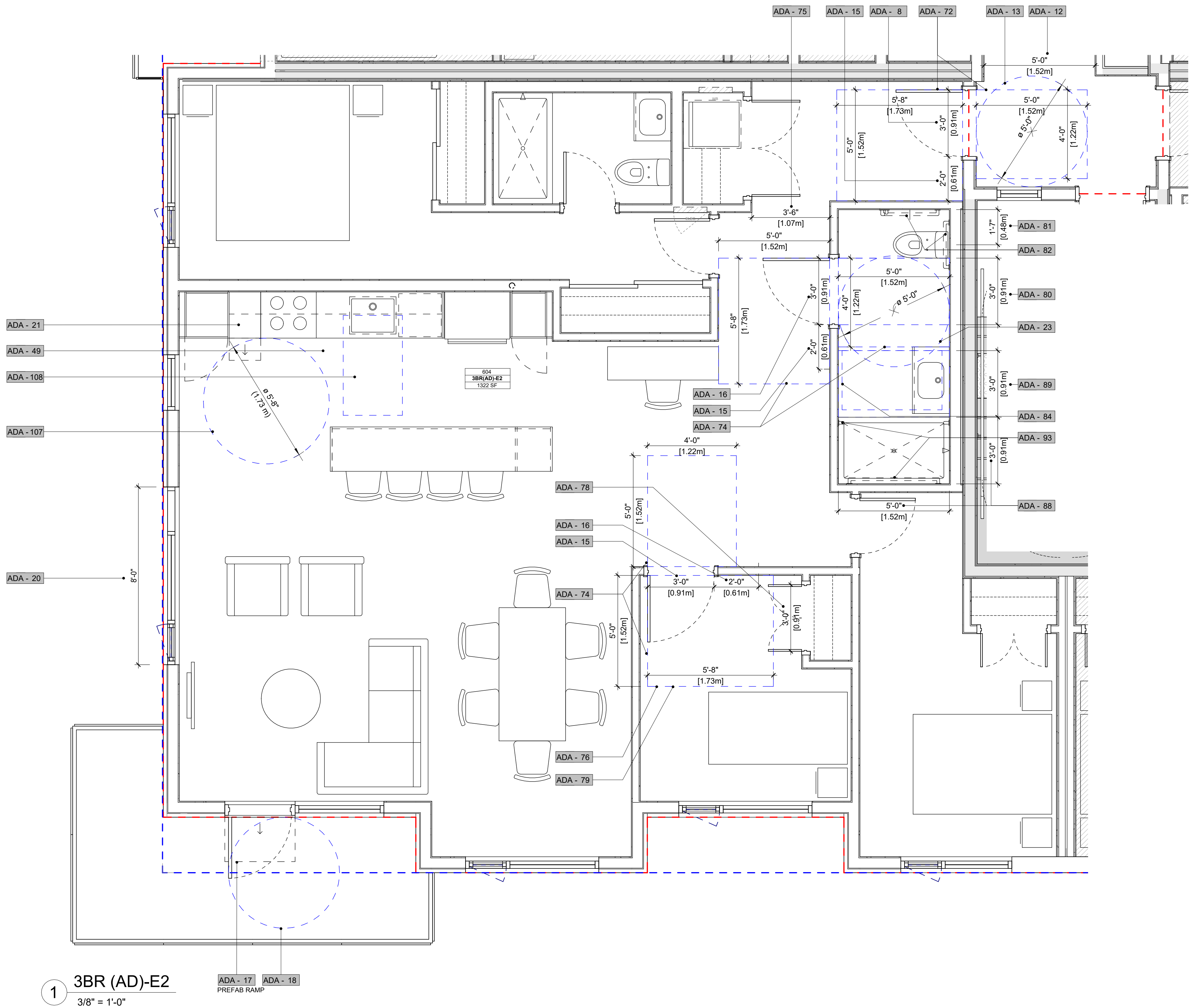
RAVIN

SCALE

HECKED

$$3/8" = 1'-0"$$

DA





- INTERIOR ELEVATIONS, SECTIONS, AND DETAILS ARE TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS FOR CONFIRMATION OF WALL/ FLOOR FINISH LAYOUT AND PATTERN/ DIRECTION.



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25611

PROJECT

RESIDENTIAL BUILDING
DEVELOPMENT

115 Keith Road East,
North Vancouver, BC

DRAWING TITLE

AMENITY ACCESSIBLE WASHROOM PLAN & INTERIOR ELEVATIONS

SEARCH

DRAFTING NO.

REVISION

A811

DATE
2025-11-05

DRAWN
MC

SCALE

As indicated

CHECK
HB