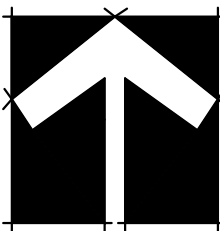


SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
7	26.MAY.07	UPDATE PER ARCH MARKUP	AO
6	25.OCT.09	ISSUED FOR DP	AO
5	25.AUG.29	DEVELOPMENT PERMIT APPLICATION	AO
4	25.AUG.08	CIVIL COORDINATION	AO
3	25.AUG.5	SUSTAINABLE DEV. GUIDELINES RESPONSE	AO
2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL
RESIDENTIAL APARTMENT

115 E 18TH ST.
NORTH VANCOUVER, B.C.

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 25.MAY.22 DRAWING NUMBER:
SCALE: 1:100
DRAWN: AR
DESIGN: AR
CHK'D: CG

L1

OF 10

PMG PROJECT NUMBER:

25-035



PEDESTRIAN SLIDING GATE



MAGLIN 970 BENCH



PLANTER



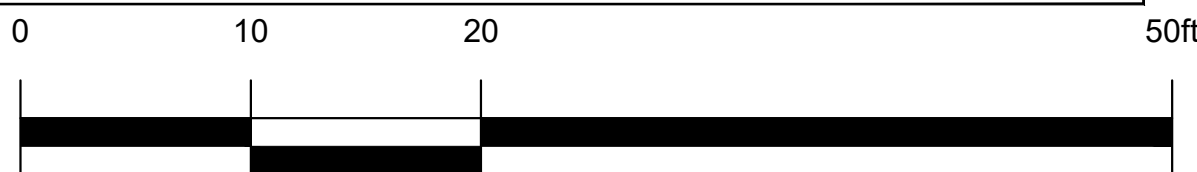
MAGLIN 1600 BIKE RACKS



ACER RUBRUM 'BOWHALL'

PMG PROJECT NUMBER: 25-035				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	3	ACER RUBRUM 'BOWHALL'	COLUMNAR BOWHALL MAPLE	6CM CAL; 2M STD; B&B; CLIMATE RESILIENT
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.				
REPLACEMENT TREES REQUIRED: 0 REPLACEMENT TREES PROPOSED: 4 REPLACEMENT TREE DEFICIT: 0				

NOTE: CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO IABC STANDARDS. SHOP DRAWING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



MATERIALS LEGEND

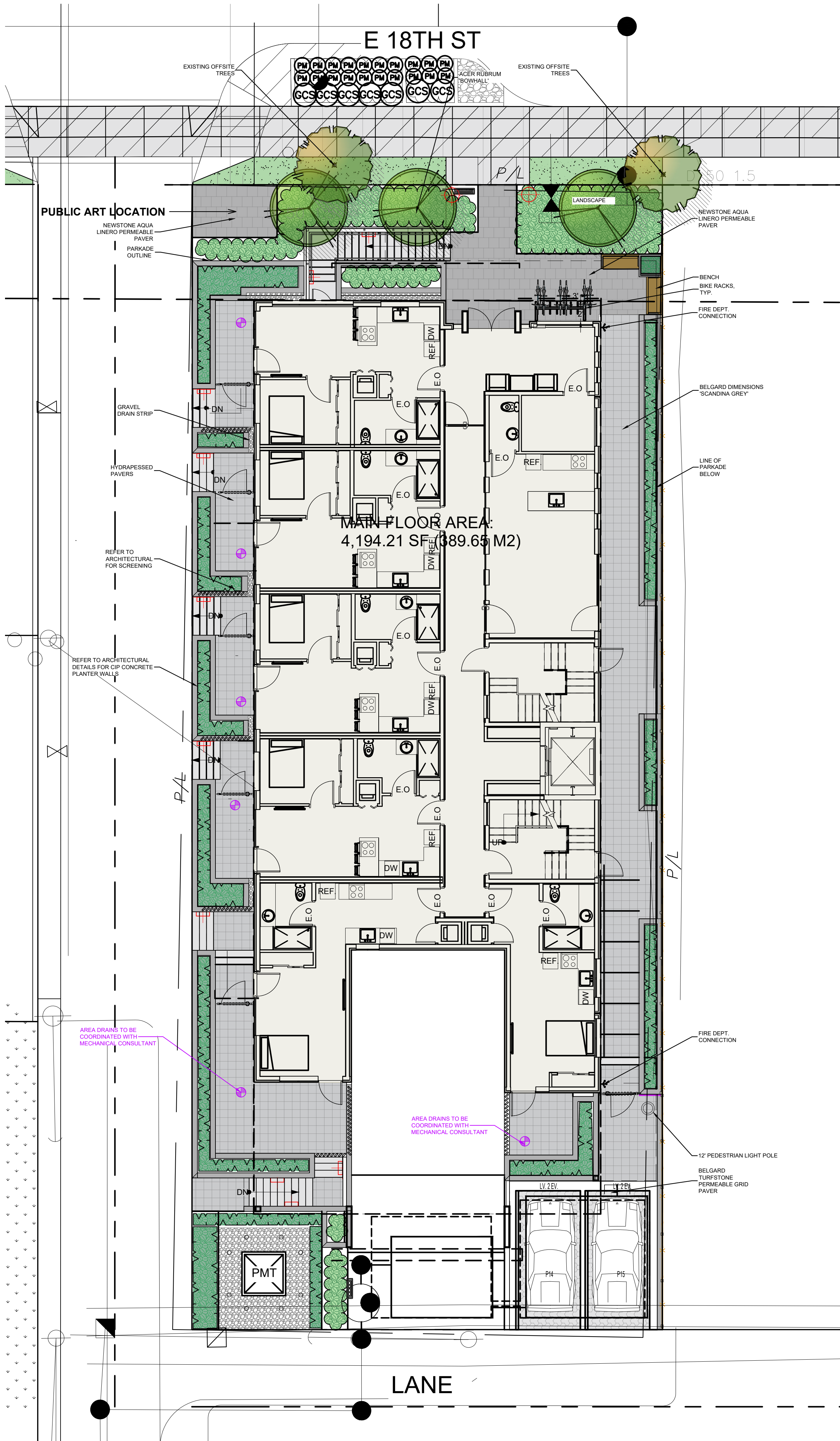
	HYDRAPRESSED PAVER
	PERMEABLE PAVER
	TURFSTONE GRID PAVER
	DRAIN STRIP
	PLANTED AREA
	SOD LAWN

FURNISHING LEGEND

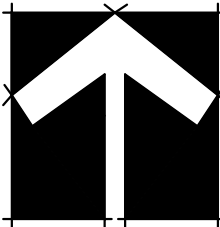
	MAGLIN 970 BACKED BENCH
	MAGLIN 1600 BIKE RACK

FENCING LEGEND

	1.8M HEIGHT WOOD PRIVACY FENCE
--	--------------------------------



SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
7	26.MAY.07	UPDATE PER ARCH MARKUP	AO
6	25.OCT.09	ISSUED FOR DP	AO
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3	25.AUG.5	SUSTAINABLE DEV. GUIDELINES RESPONSE	AO
2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL
RESIDENTIAL APARTMENT

115 E 18TH ST.
NORTH VANCOUVER, B.C.

DRAWING TITLE:

SHRUB
PLAN

DATE: 25.MAY.22 DRAWING NUMBER:
SCALE: 1:100
DRAWN: AR
DESIGN: AR
CHK'D: CG

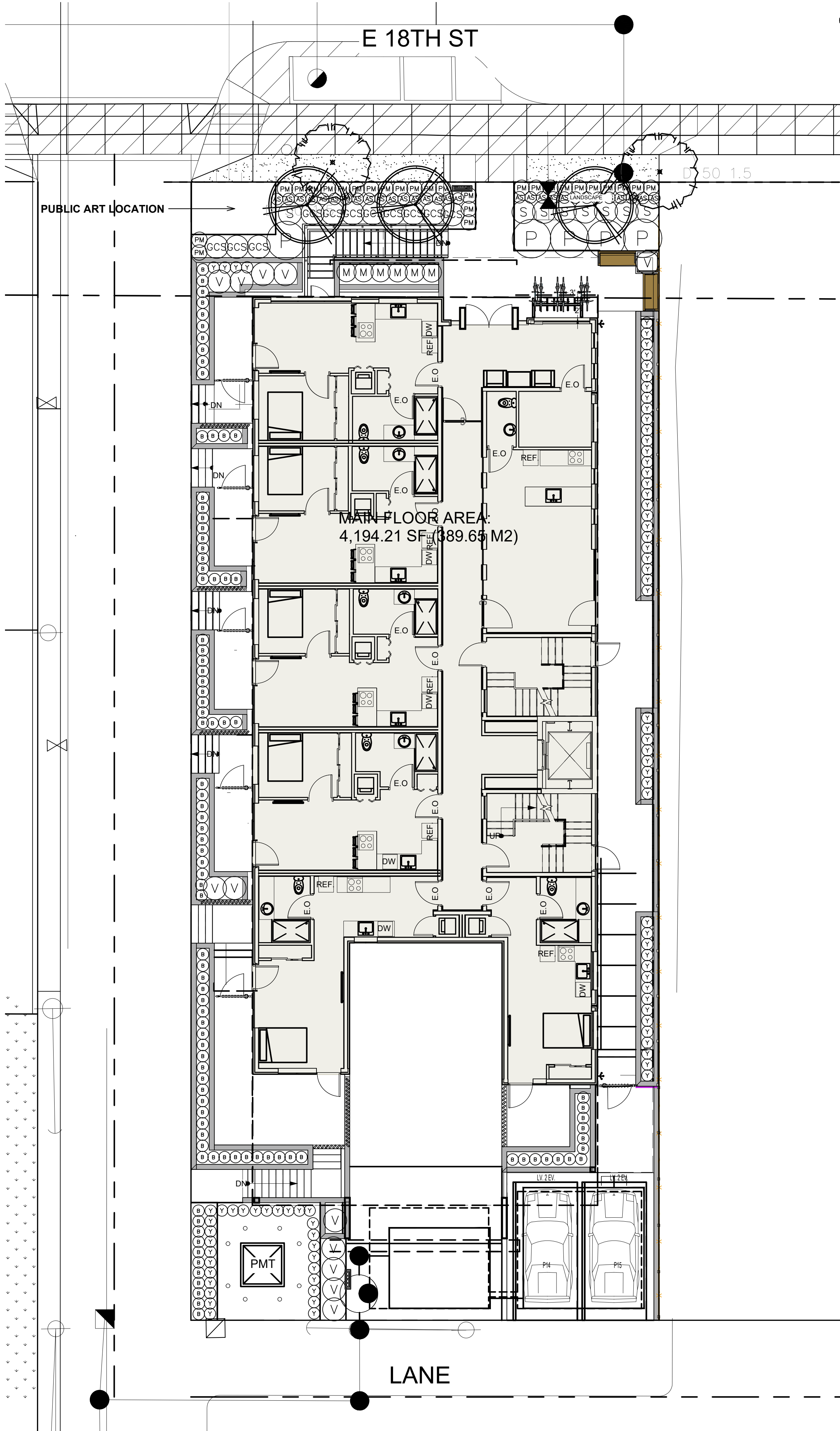
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OF 10

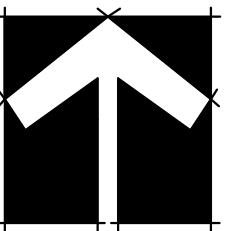
PMG PROJECT NUMBER:

25-035

PLANT SCHEDULE				PMG PROJECT NUMBER: 25-035
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(B)	101	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
(P)	5	PHILADELPHUS LEWISII 'BLIZZARD'	LEWIS' MOCK ORANGE 'BLIZZARD'	#3 POT; 60CM
(S)	8	SPIRAEA BETULIFOLIA 'GLOW GIRL®'	WHITE SPIREA 'GLOW GIRL®'	#2 POT; 40CM
(Y)	82	TAXUS X MEDIA 'HICKSI'	HICK'S YEW	#3 POT; 80CM
(V)	12	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
PERENNIAL				
(AS)	30	ASTER SUBSPICATUS	DOUGLAS ASTER	#1 POT
(M)	6	MONARDA 'GARDENVIEW SCARLET'	BEE BALM; 'GARDENVIEW SCARLET'	15CM POT
GC				
(CS)	11	GAULTHERIA SHALLON 'CASCADE SUNRISE'	SALAL 'CASCADE SUNRISE'	#1 POT; 20CM; 60CM O.C.
(M)	27	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.				



SEAL:



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3	25.AUG.5	SUSTAINABLE DEV. GUIDELINES RESPONSE	AO
2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL RESIDENTIAL APARTMENT

**115 E 18TH ST.
NORTH VANCOUVER, B.C.**

DRAWING TITLE:

GRADING PLAN

DATE: 25.MAY.22

SCALE: 1:100

DRAWN: AR

DESIGN: AR

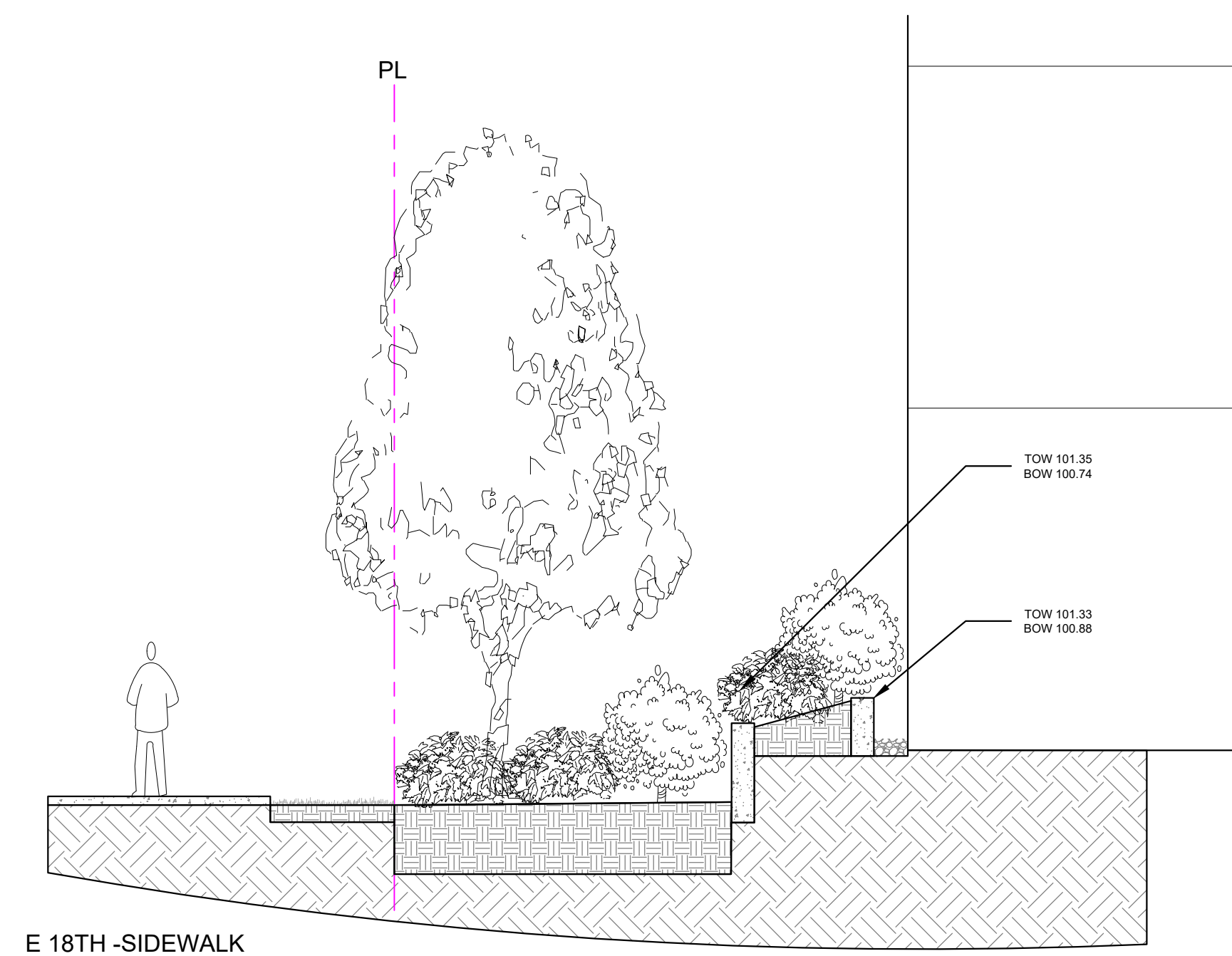
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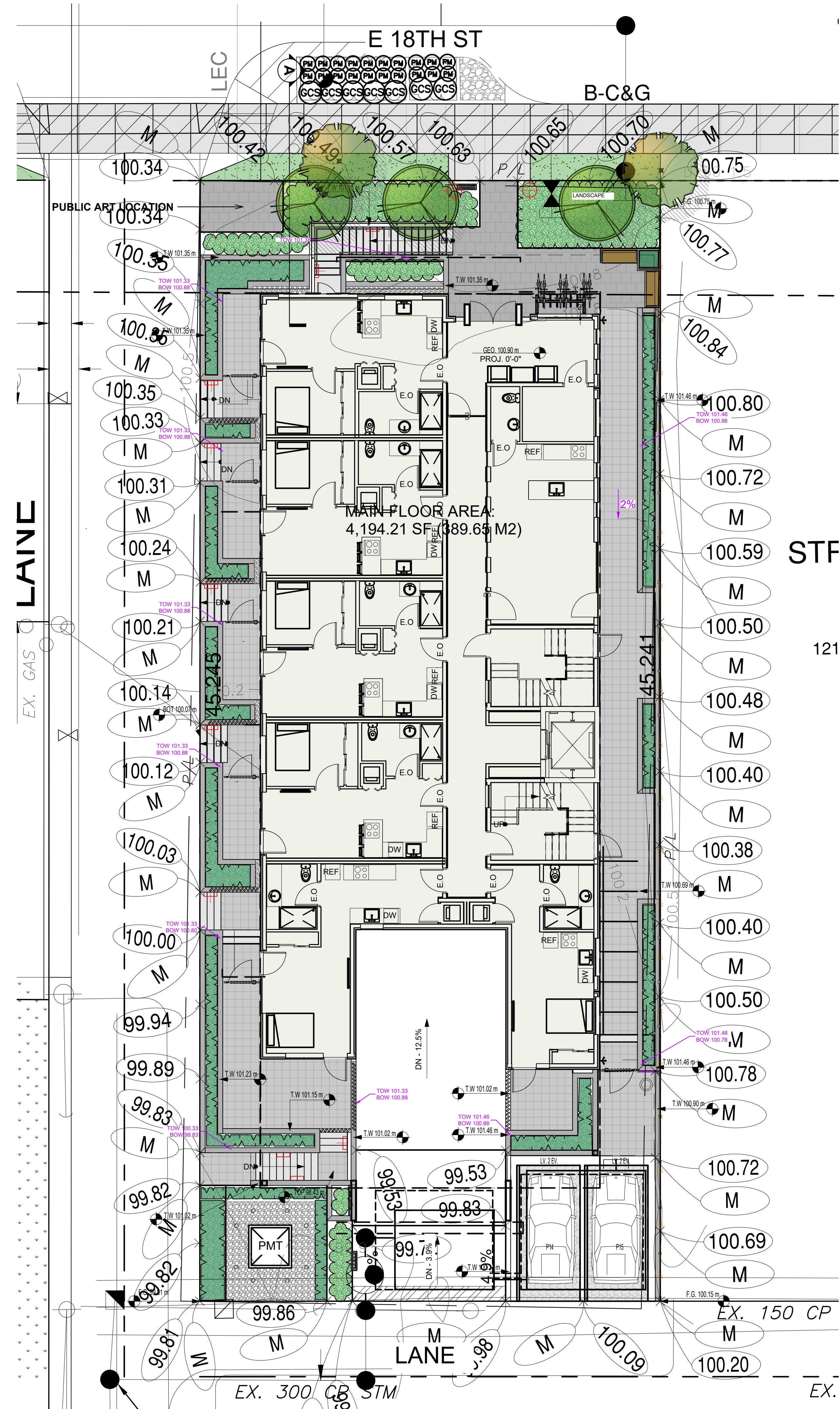
OF 10

PMG PROJECT NUMBER:

25-035



1 SECTION A
- 1/4"=1'-0"



CLIENT:

PROJECT:

**115 E 18TH ST.
NORTH VANCOUVER, B.C.**

DRAWING TITLE:

DATE: 25.MAY.22

SCALE: 1:100

DRAWN: AR

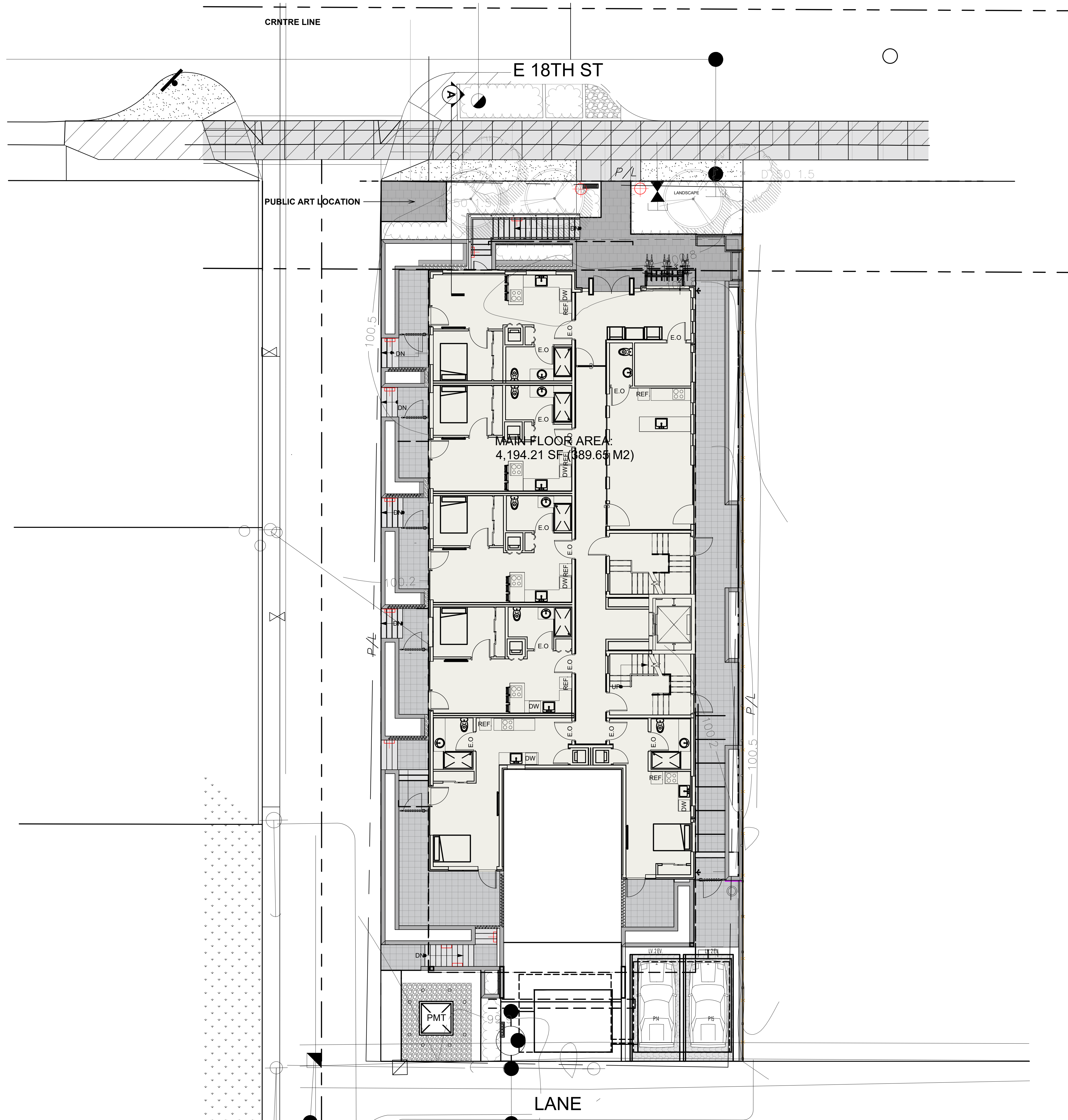
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CHK'D: CG

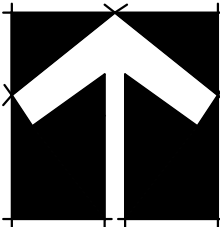
OF 10

PMG PROJECT NUMBER:

25-035



SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
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1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

**18TH ST. RENTAL
RESIDENTIAL APARTMENT**

**115 E 18TH ST.
NORTH VANCOUVER, B.C.**

DRAWING TITLE:

**SOIL VOLUME
PLAN**

DATE: 25.MAY.22 DRAWING NUMBER:
SCALE: 1:100
DRAWN: AR
DESIGN: AR
CHK'D: CG

L5

OF 10

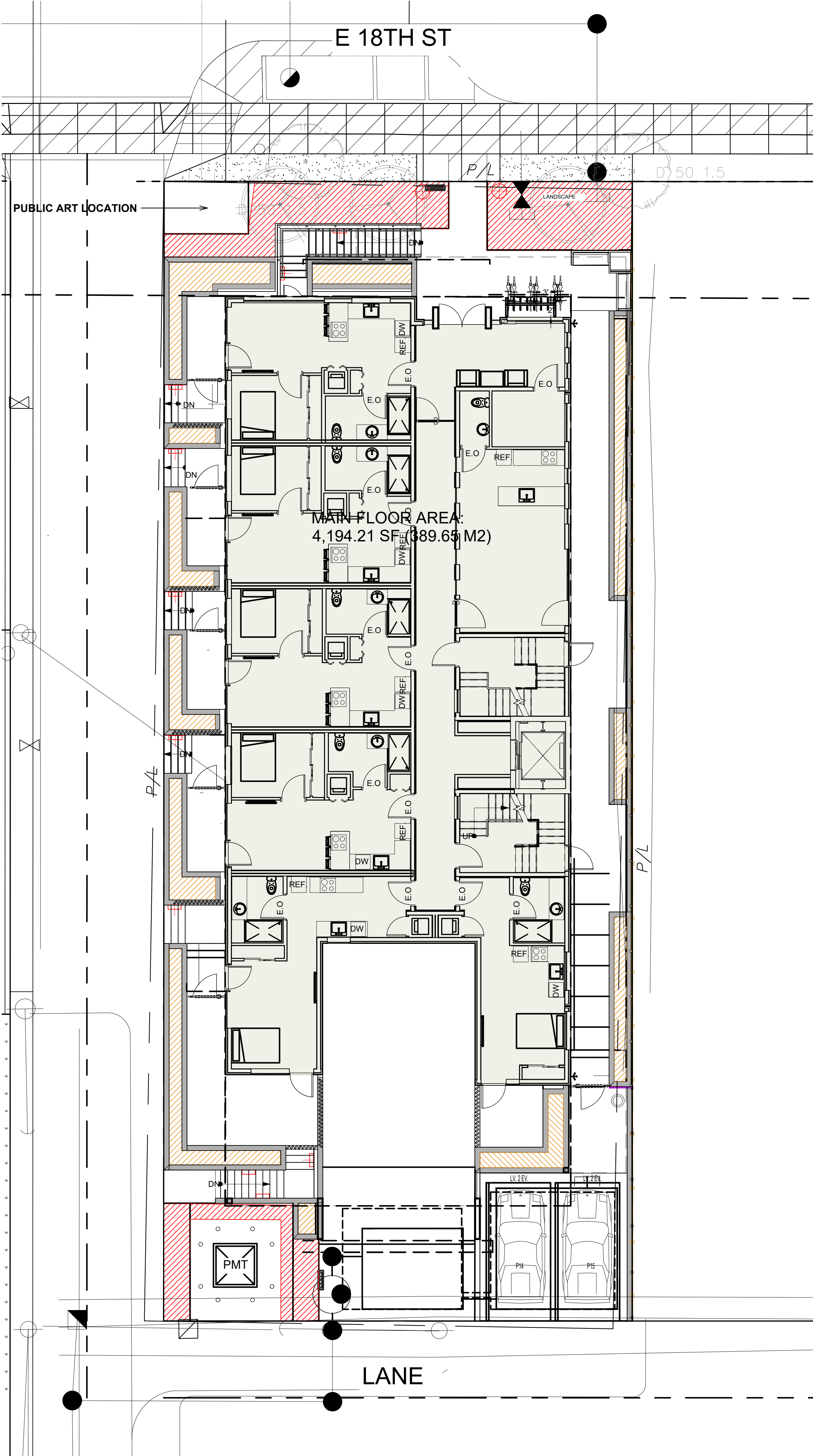
PMG PROJECT NUMBER:

25-035

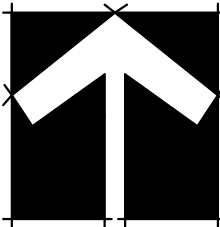


SOIL VOLUME LEGEND

	450MM DEPTH SHRUB PLANTING
	1000MM DEPTH TREE PLANTING



SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
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2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

**18TH ST. RENTAL
RESIDENTIAL APARTMENT**

**115 E 18TH ST.
NORTH VANCOUVER, B.C.**

DRAWING TITLE:

**LIGHTING
PLAN**

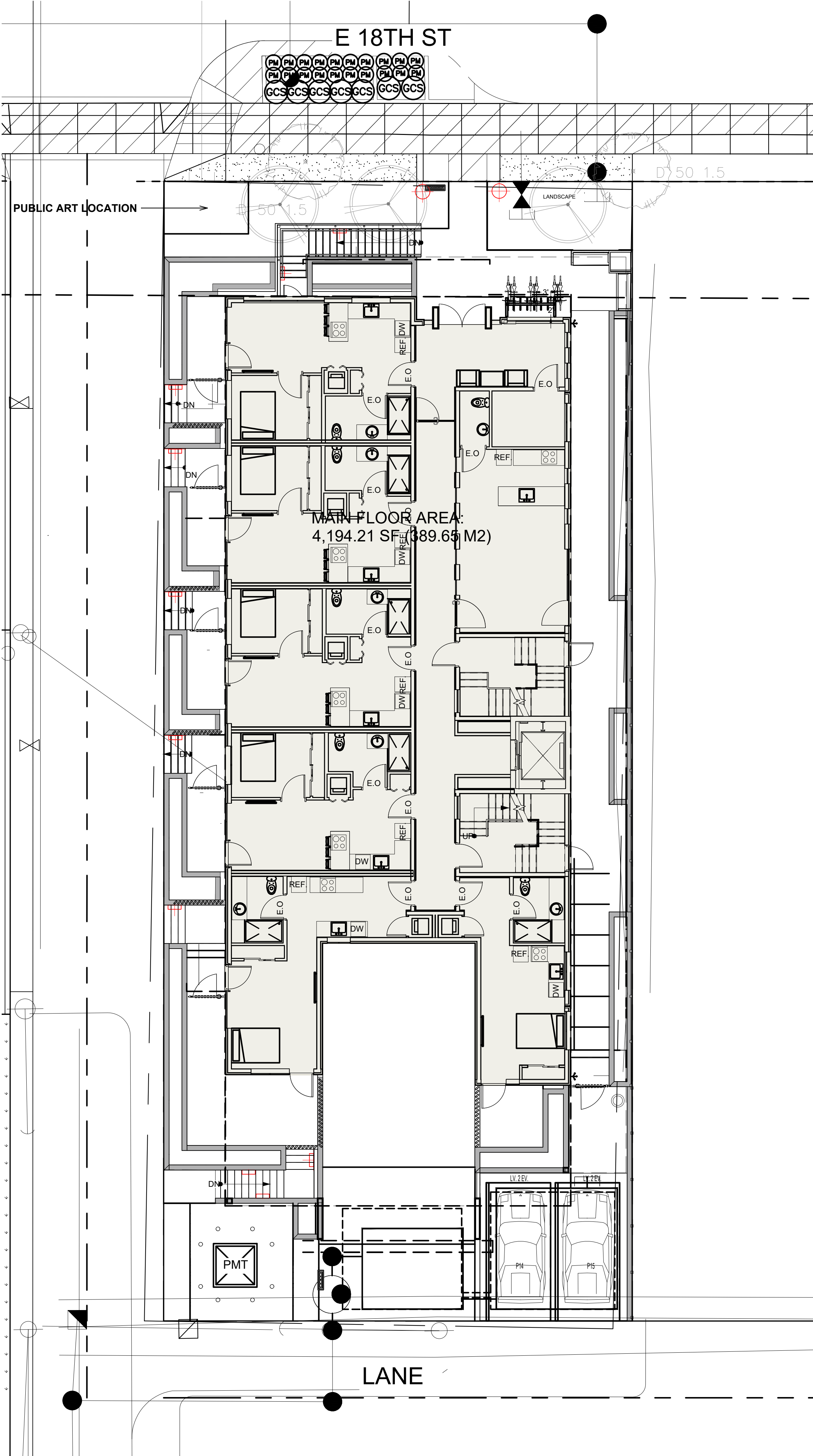
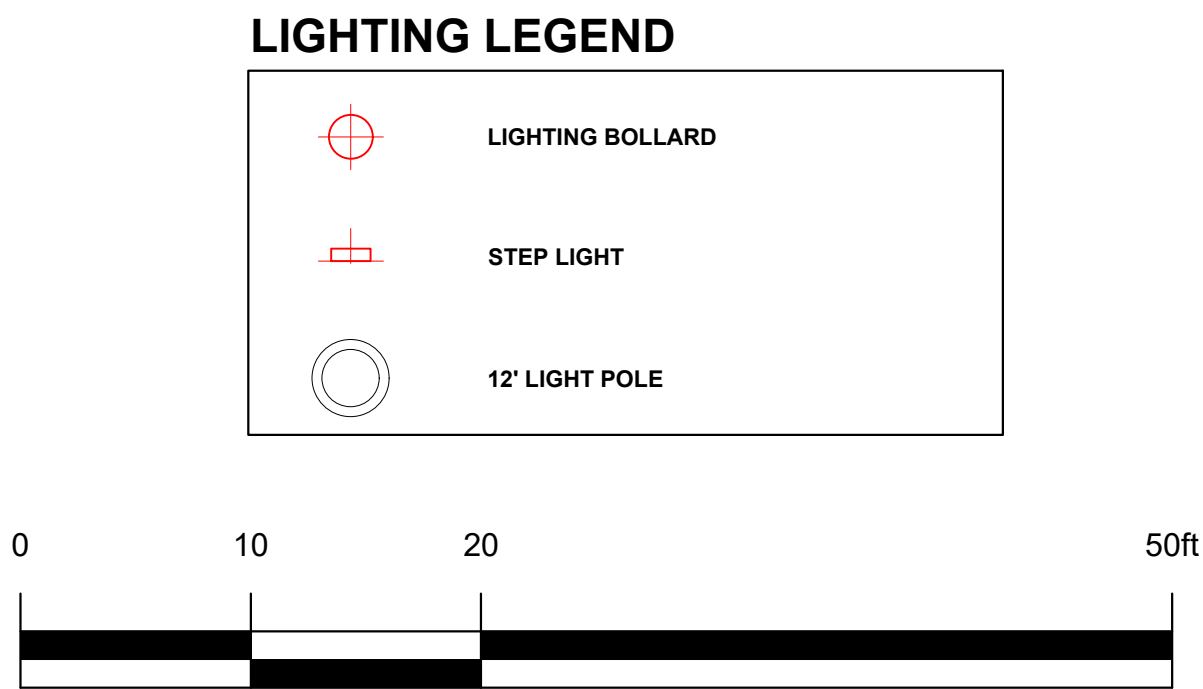
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DESIGN: AR
CHK'D: CG

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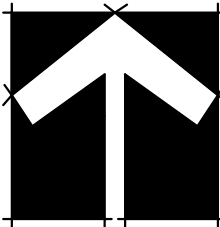
OF 10

PMG PROJECT NUMBER:

25-035



SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
7	26.MAY.07	UPDATE PER ARCH MARKUP	AO
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1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL
RESIDENTIAL APARTMENT

115 E 18TH ST.
NORTH VANCOUVER, B.C.

DRAWING TITLE:

UPPER LEVEL
LANDSCAPE PLANS

DATE:	25.MAY.22	DRAWING NUMBER:
SCALE:	1:100	
DRAWN:	AR	
DESIGN:	AR	
CHK'D:	CG	

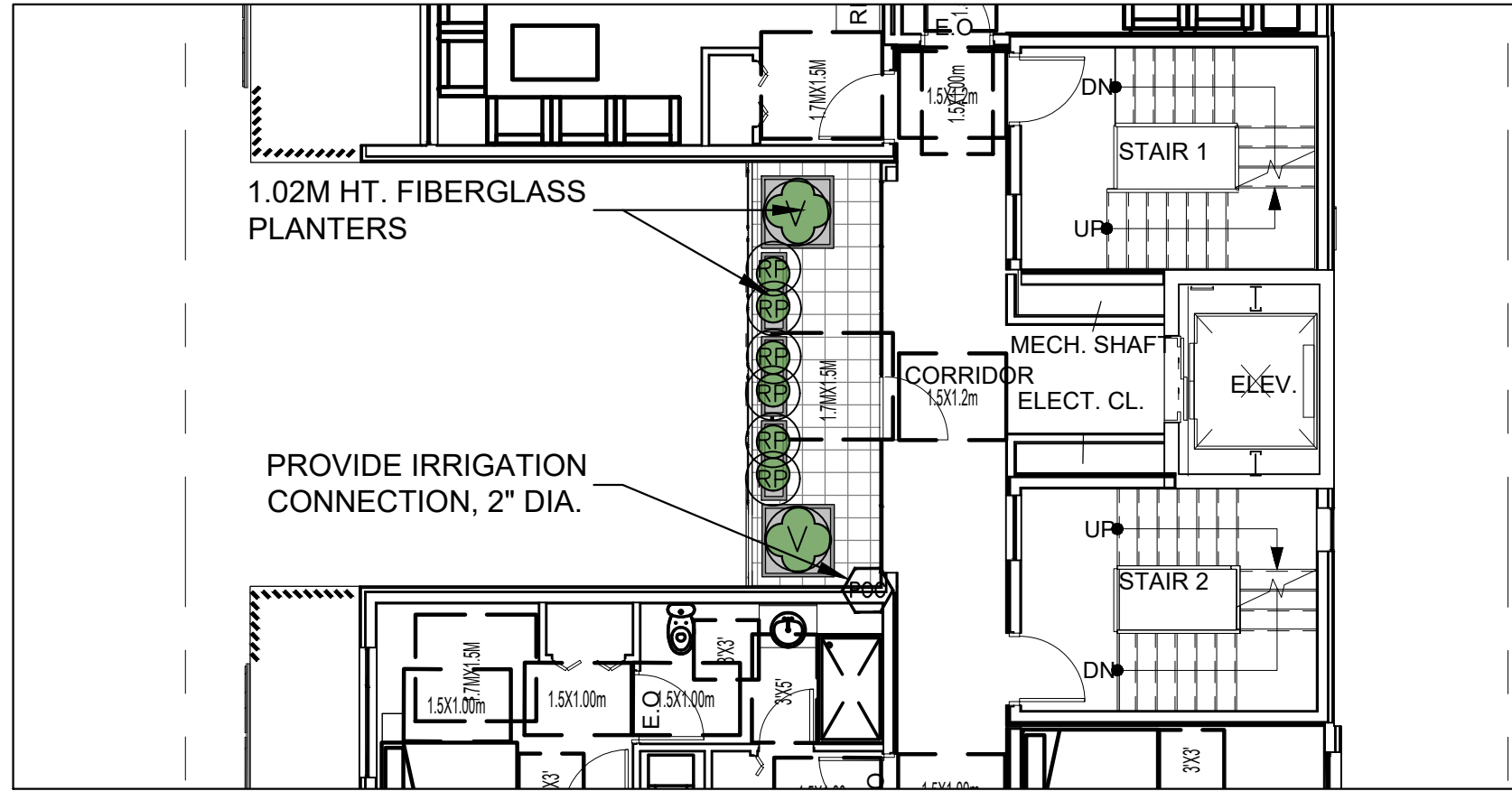
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OF 10

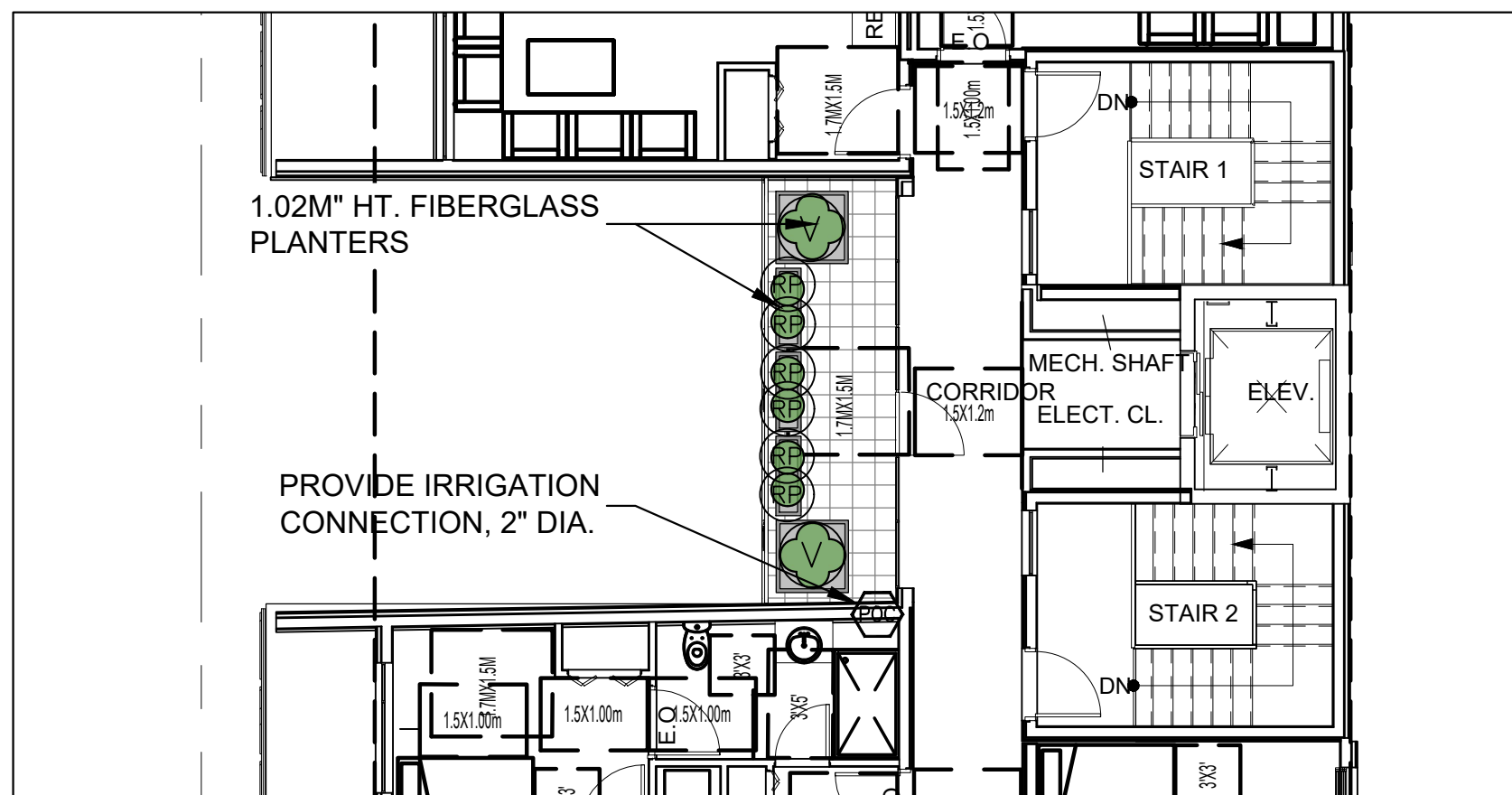
PMG PROJECT NUMBER:

25-035

E 18TH ST



5TH FLOOR



6TH FLOOR



FIBERGLASS PLANTERS



MAGLIN FORO TABLE AND CHAIRS



OUTDOOR BARBECUE & BAR HEIGHT
DINING ISLAND



BELGARD AQUALINE
PERMEABLE PAVER



BELGARD DIMENSIONS
'SCANDINA GREY'



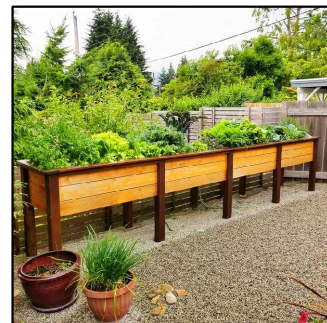
NEWSTONE AQUA LINERO
PERMEABLE PAVER



OUTDOOR LOUNGE - SOFA AND CLUB CHAIRS



FIREBOWL

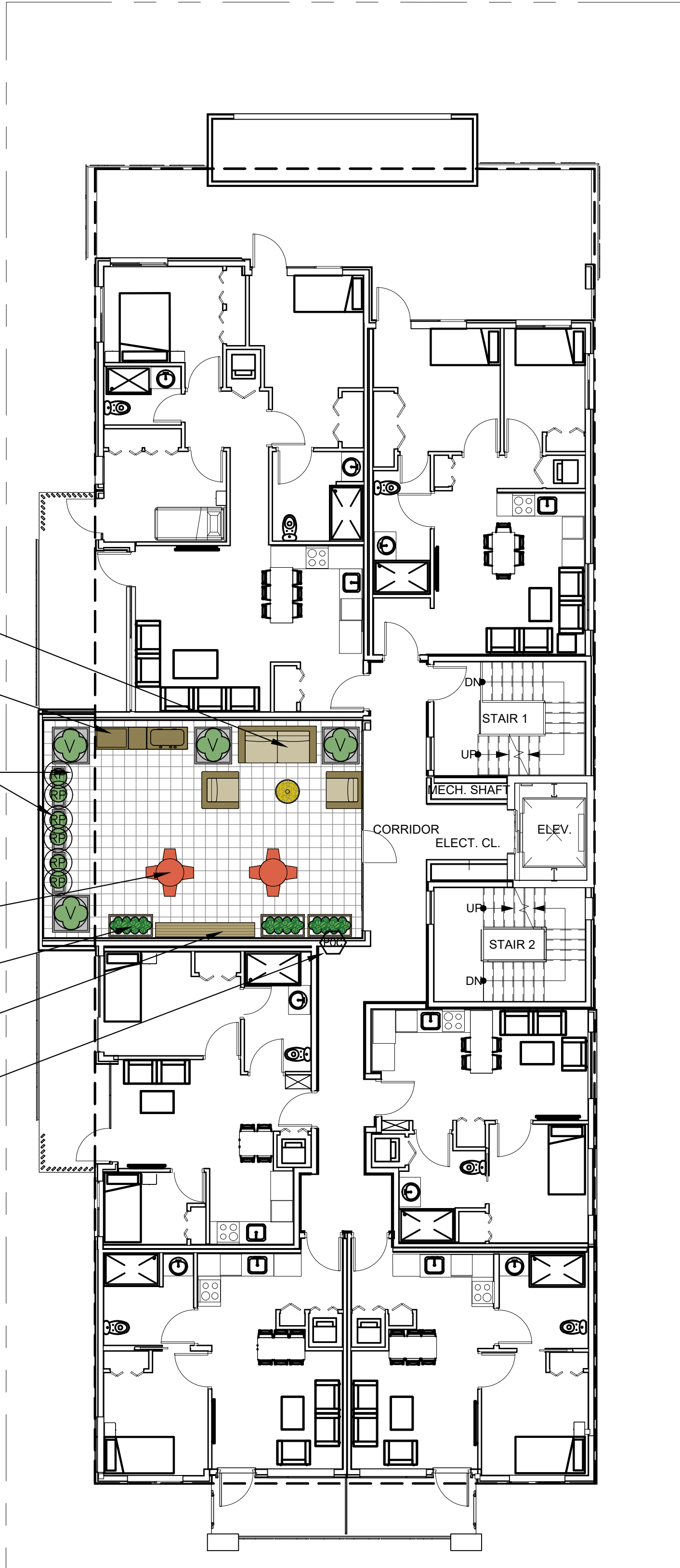


URBAN AGRICULTURE
GARDEN PLOTS



MAGLIN 970 BACKED BENCH

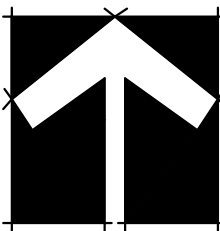
LOUNGE AREA
WITH FIREBOWL
NEWAGE CLASSIC SERIES
3PC MODULAR OUTDOOR
KITCHEN WITH BBQ
1.02M HT. FIBERGLASS
PLANTERS
CORRIDOR
ELECT. CL.
ELEV.
STAIR 1
UP
DN
MECH. SHAF
STAIR 2
UP
DN
BISTRO TABLE AND
CHAIRS, TYP.
URBAN AGRICULTURE
GARDEN PLOTS 0.6MX1.2M
BENCH
PROVIDE IRRIGATION
CONNECTION, 2" DIA.



4TH FLOOR



SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
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3	25.AUG.5	SUSTAINABLE DEV. GUIDELINES RESPONSE	AO
2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL
RESIDENTIAL APARTMENT

115 E 18TH ST.
NORTH VANCOUVER, B.C.

DRAWING TITLE:

IRRIGATION
PLAN

DATE: 25.MAY.22 DRAWING NUMBER:
SCALE: 1/8" = 1' -0"
DRAWN: AR
DESIGN: AR
CHK'D: CG

L8

OF 10

PMG PROJECT NUMBER:

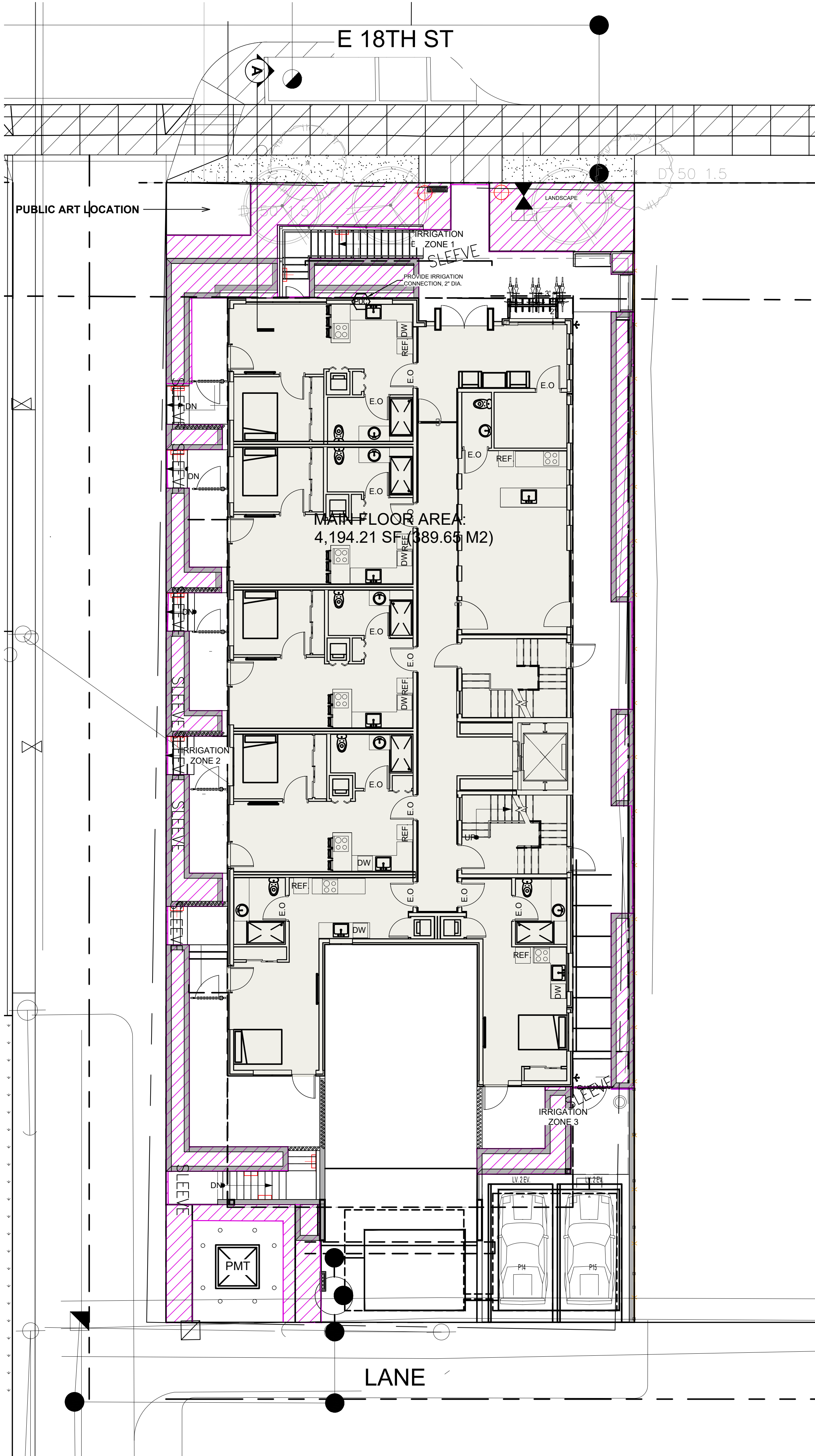
25-035

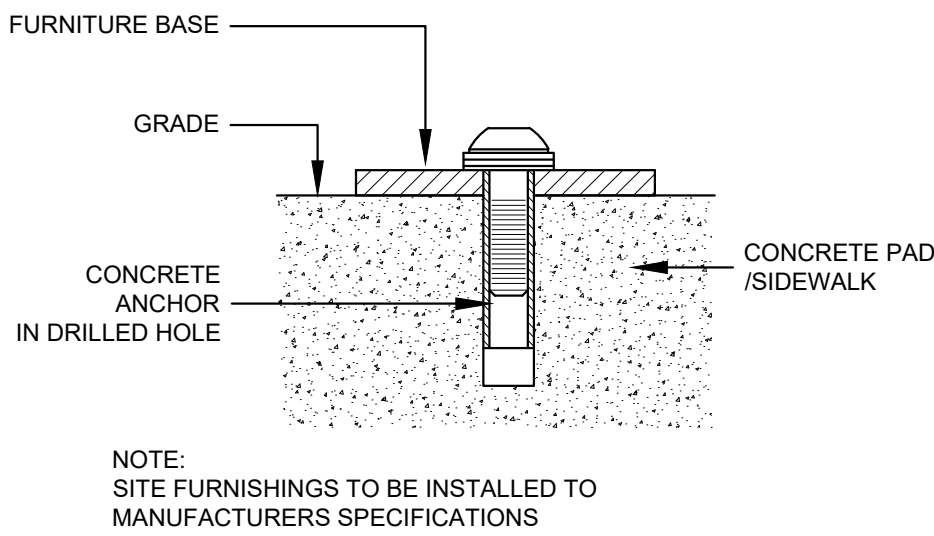
IRRIGATION LEGEND		
KEY	MANUFACTURER	DESCRIPTION
	TBD	HALF - NOZZLE SPACING AND TYPE TO INDICATE CONCEPT ONLY
	TBD	QUARTER - NOZZLE SPACING AND TYPE TO INDICATE CONCEPT ONLY
		1-1/2" STUB-OUT TO BE COORDINATED WITH MECHANICAL ENGINEER FOR IRRIGATION HOOK-UPS. 65 PSI, TO BE COORDINATED WITH MECH. ENG.
SLEEVE		SCHEDULE 40 PVC SLEEVE (4" UNLESS OTHERWISE INDICATED)

NOTE: LAWN IRRIGATION TO BE SMART-CONTROLLED, HIGH EFFICIENCY. ALL SHRUB AND PERENNIAL BEDS TO BE IRRIGATED WITH HIGH EFFICIENCY, SMART-CONTROLLED DRIP IRRIGATION SYSTEM. ALL IRRIGATION TO BE DESIGN-BUILD. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.

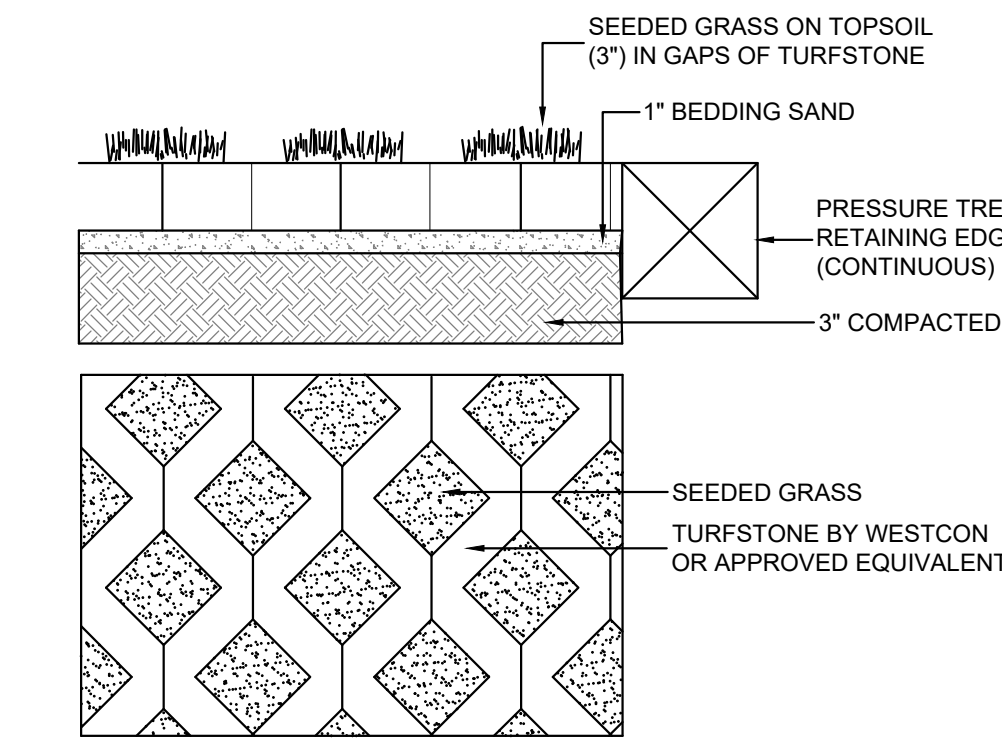
NOTE: IRRIGATION TO BE HIGH-EFFICIENCY DRIP
SYSTEM; SMART-CONTROLLED DESIGN-BUILD.
PROVIDE SHOP DRAWINGS FOR CONSULTANT
REVIEW BEFORE CONSTRUCTION.

SEE ALSO, UPPER LEVEL LANDSCAPE PLANS FOR
IRRIGATION CONNECTIONS AT UPPER LEVELS.

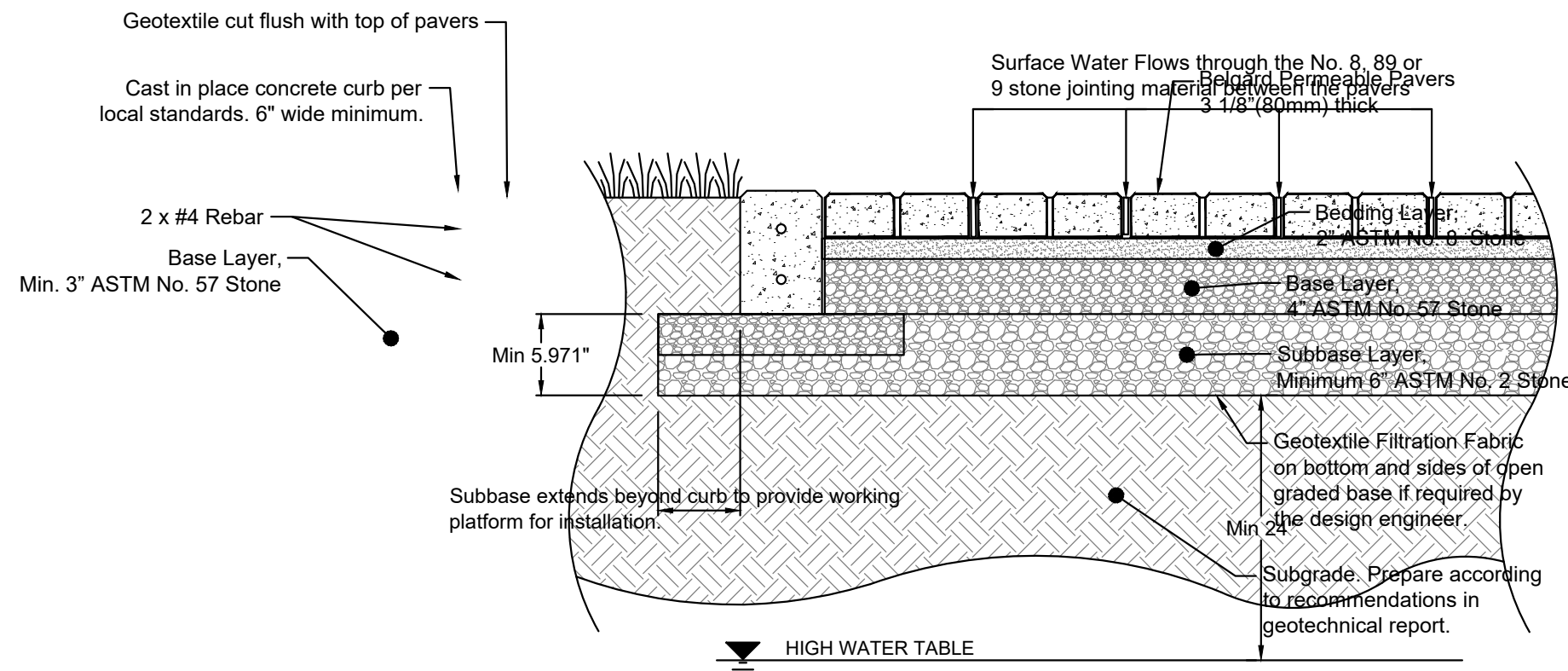




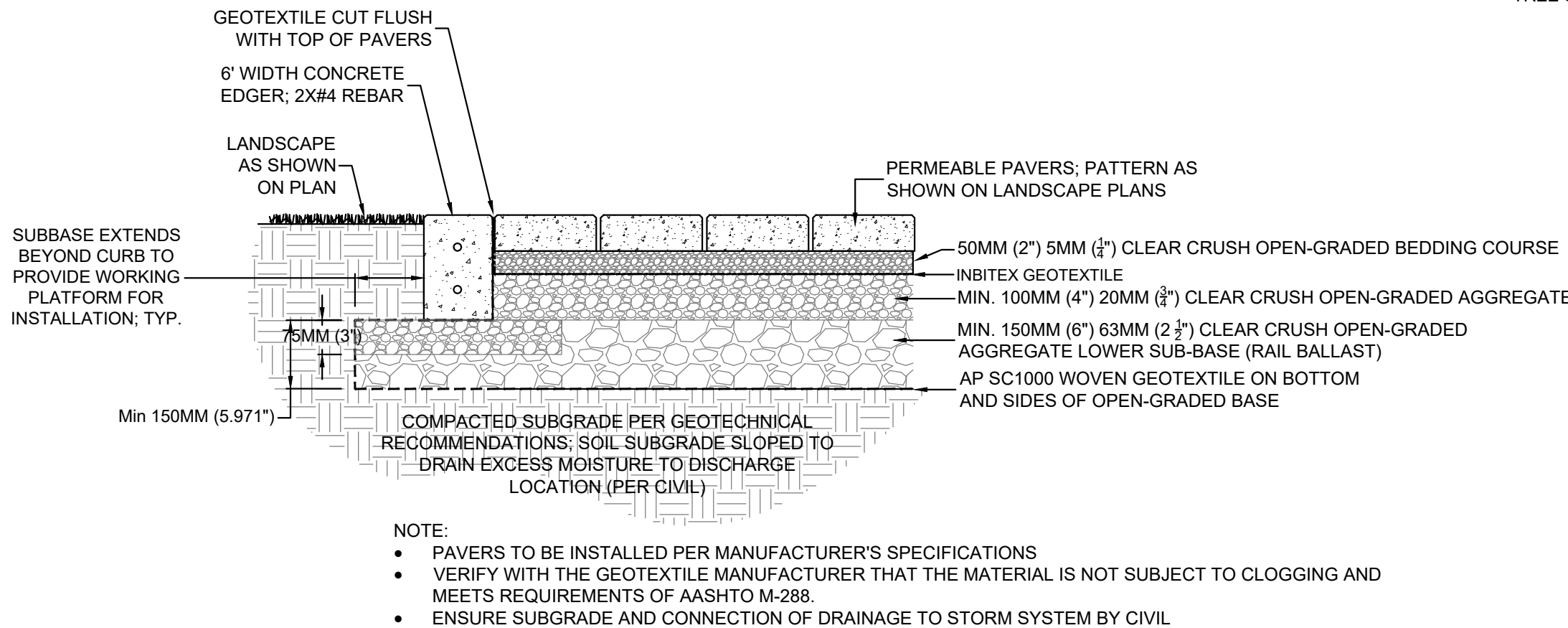
1 SITE FURNITURE MOUNTING
- NTS



2 TURFSTONE PAVER
- 1:12

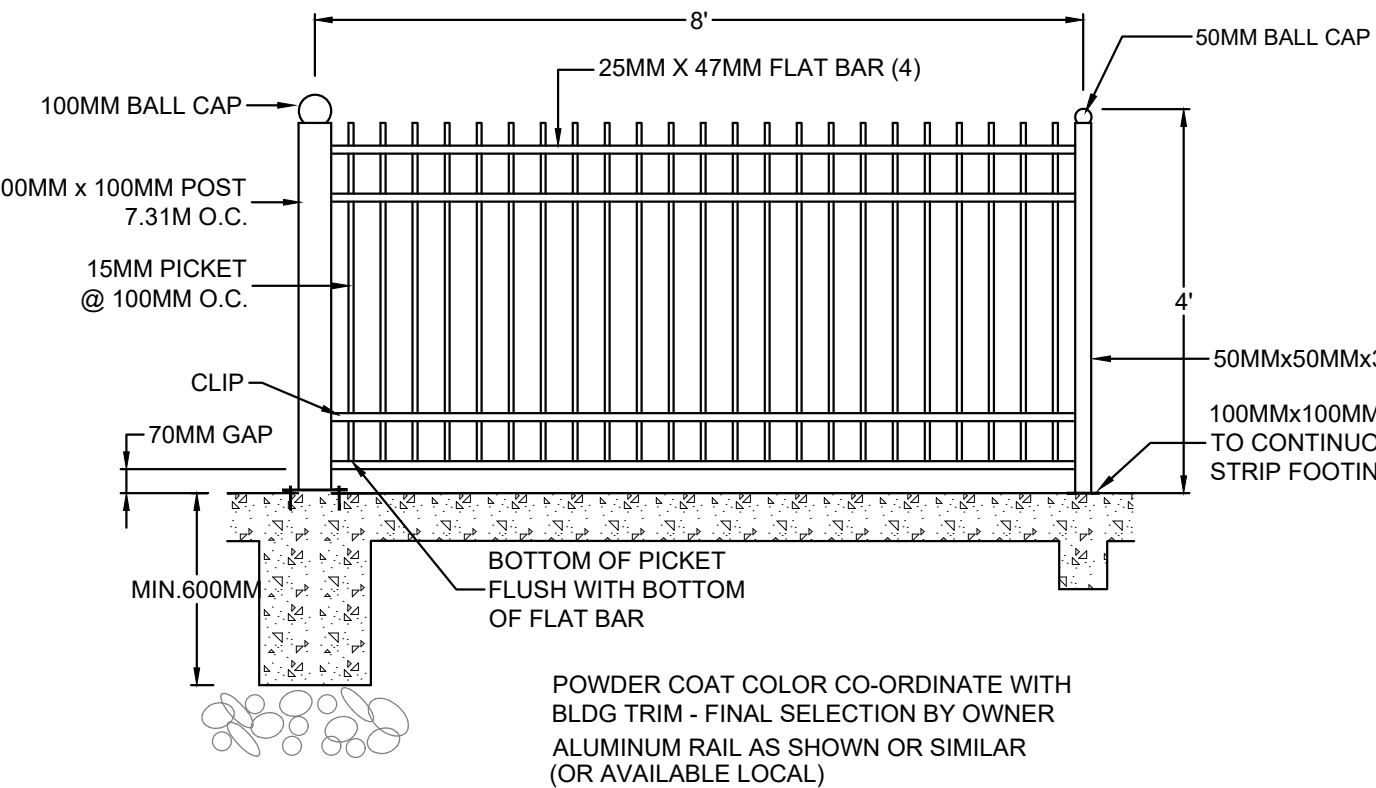


3 PAVERS ON GRADE AND SLAB
- 1:12

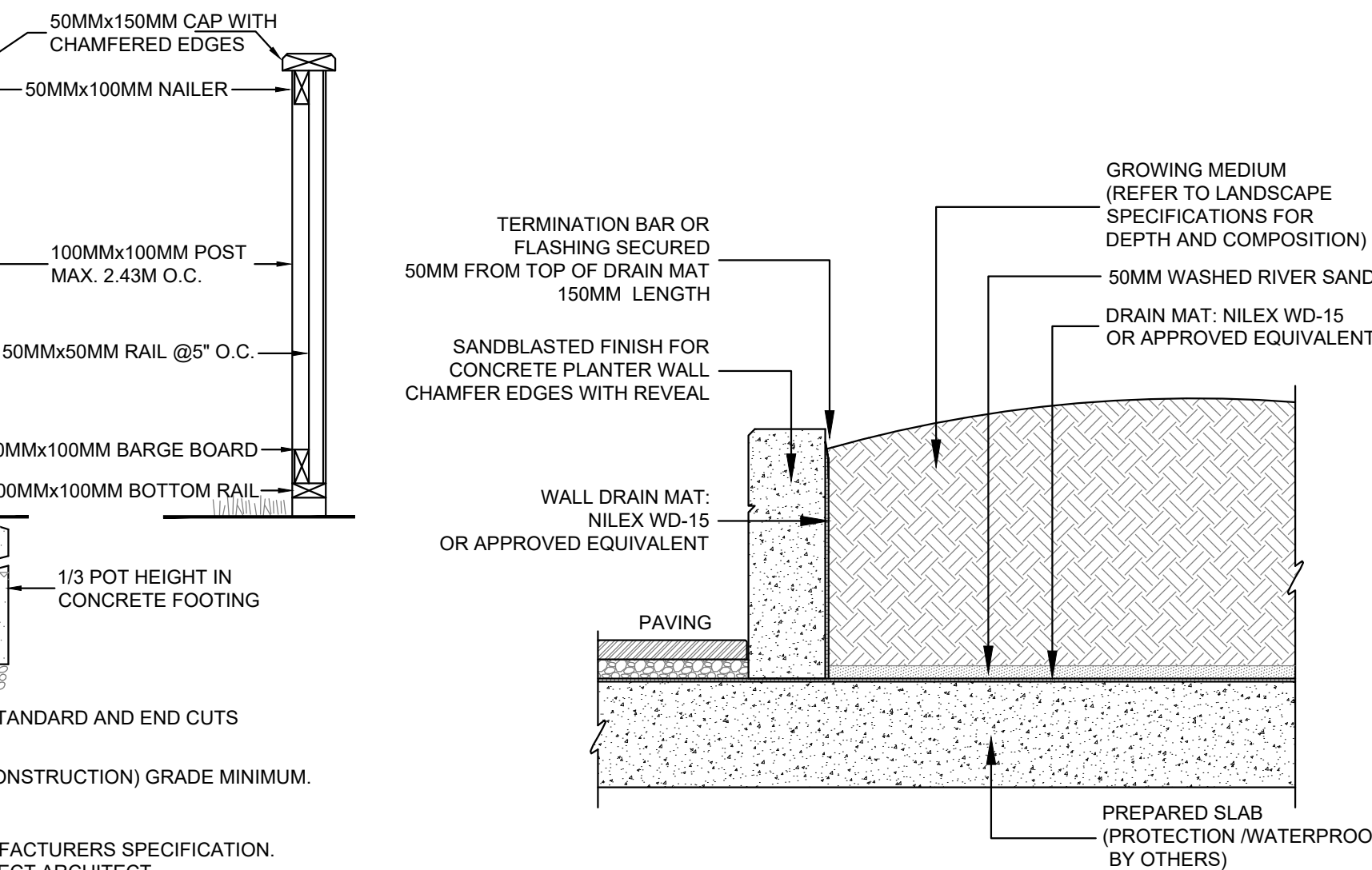


4 PERMEABLE PAVERS ON GRADE
- 1:12

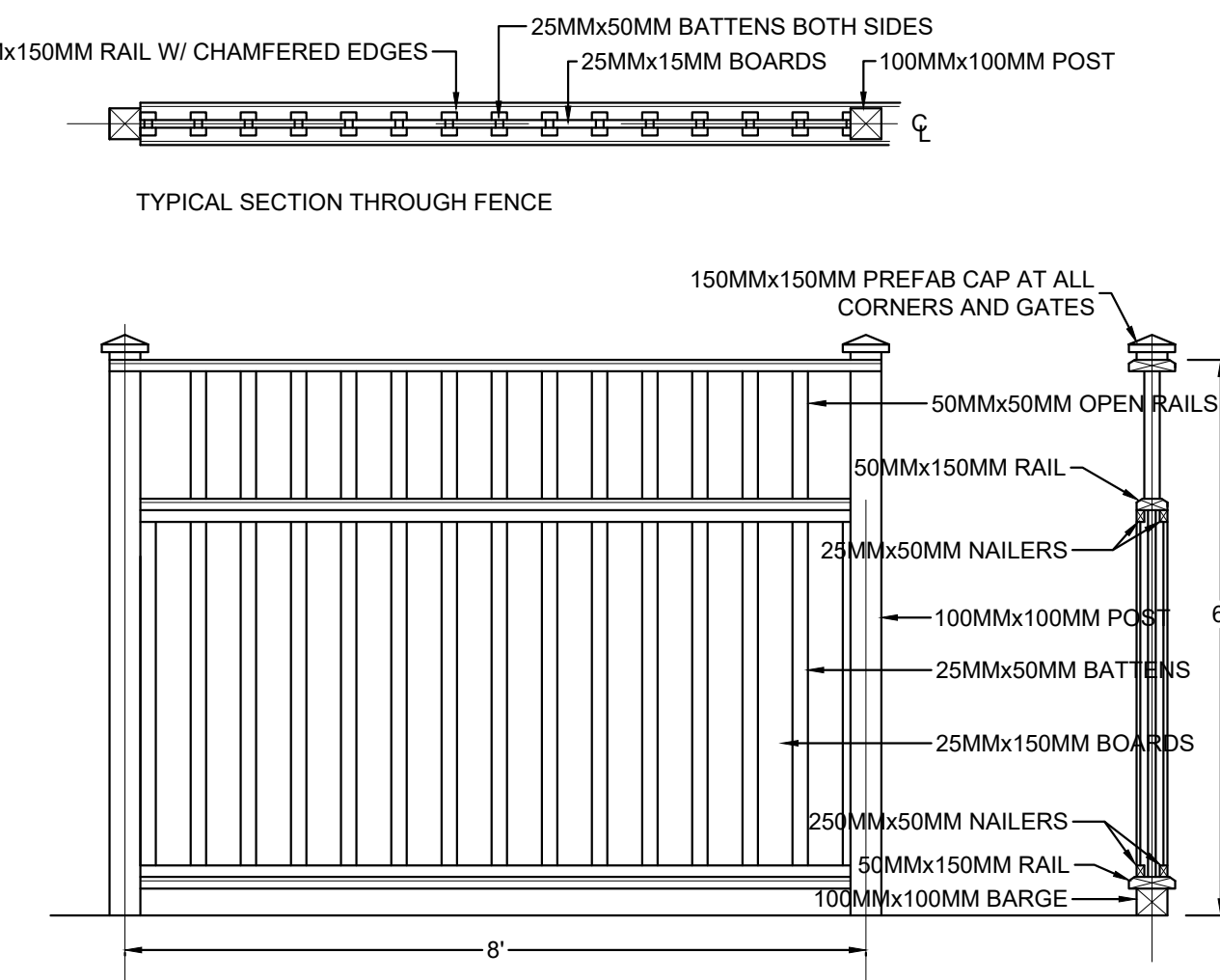
- Design Notes:
1. Depth of subbase subject to site specific hydraulic and structural requirements. Contact Belgard Commercial for design assistance.
 2. Paver dimensions subject to aspect and plan ratio requirements based on traffic loading.
 3. Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
 4. Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging and meets requirements of AASHTO M-288.
 5. ASTM No. 2 stone may be substituted with No. 3 or No. 4 stone.
 6. Strictly pedestrian applications may substitute base/subbase layers with one 6" base layer of ASTM No. 57 stone.



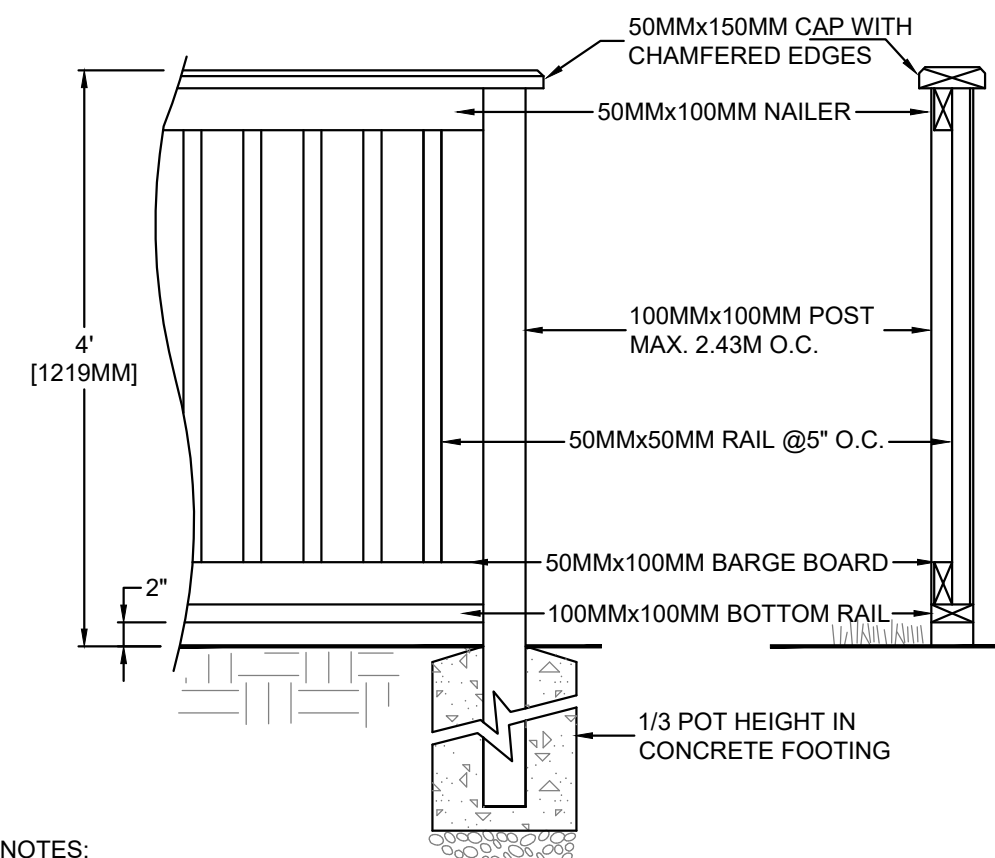
5 TREE AND SHRUB PLANTING AT GRADE
- 1:24



6 1.2M HT. PICKET FENCE
- 1:24

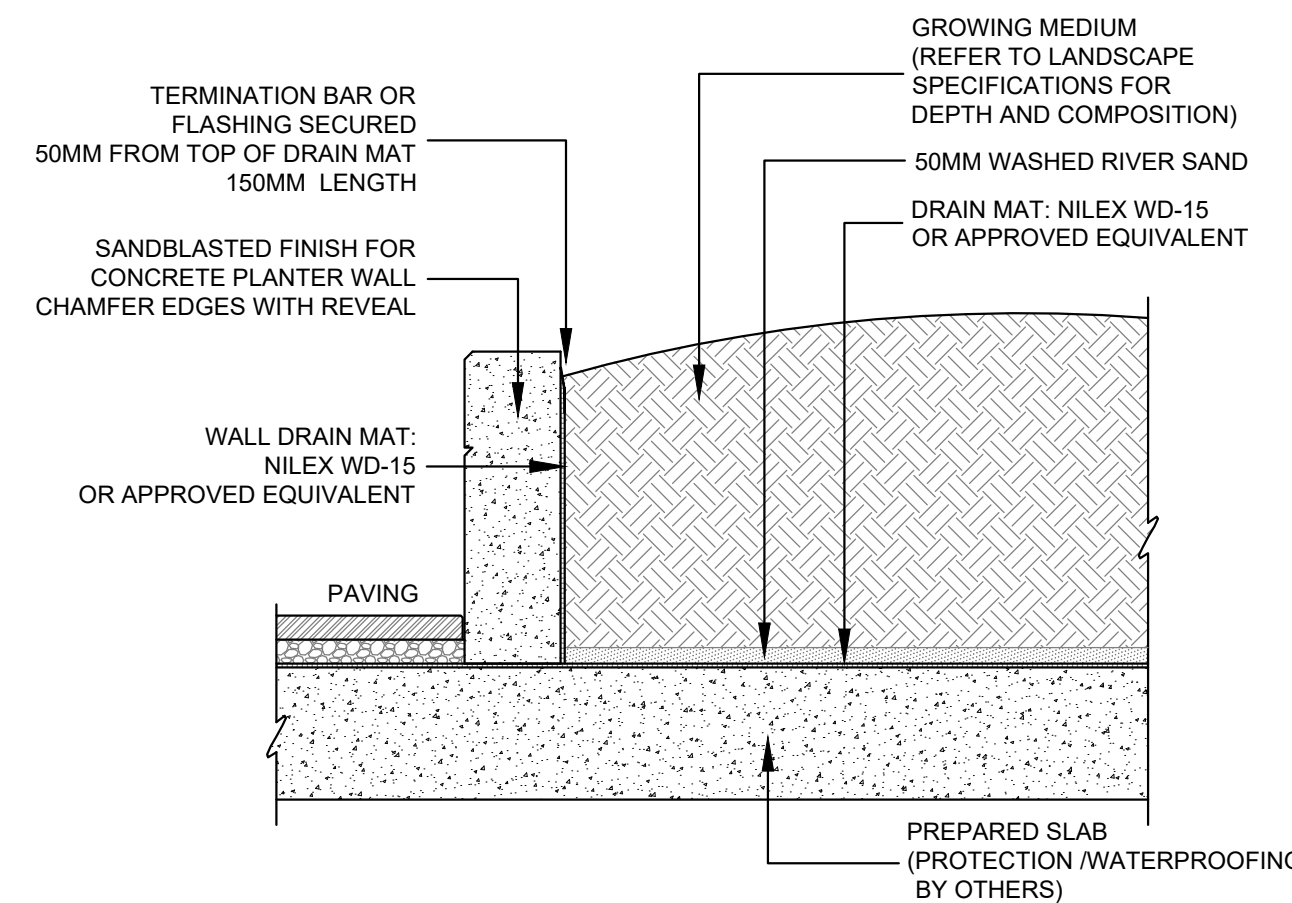


7 1.8M HT. PERIMETER FENCE
- 1:24



- NOTES:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

8 PATIO SCREEN
- 1:16



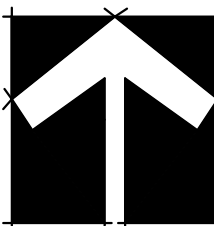
9 PLANTER WALL ON SLAB
- 1:24

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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
8	26.MAY.28	UPDATE PER NEW ARCH PLAN	AO
7	26.MAY.07	UPDATE PER ARCH MARKUP	AO
6	25.OCT.09	ISSUED FOR DP	AO
5	25.AUG.29	DEVELOPMENT PERMIT APPLICATION	AO
4	25.AUG.08	CIVIL COORDINATION	AO
3	25.AUG.5	SUSTAINABLE DEV. GUIDELINES RESPONSE	AO
2	25.JUL.30	CIVIL COORDINATION	AO
1	25.JUN.03	CIVIL COORDINATION	AO

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

AMIR PORISA

PROJECT:

18TH ST. RENTAL
RESIDENTIAL APARTMENT

115 E 18TH ST.
NORTH VANCOUVER, B.C.

DRAWING TITLE:

LANDSCAPE
DETAILS

DATE: 25.MAY.22 DRAWING NUMBER:
SCALE: 1:100
DRAWN: AR
DESIGN: AR
CHK'D: CG

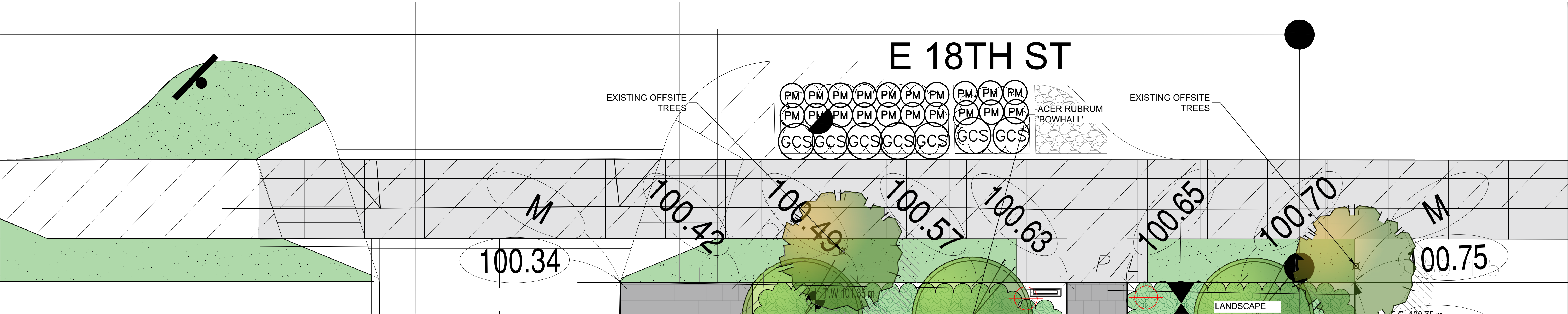
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OF 10

25035-6.ZIP

PMG PROJECT NUMBER:

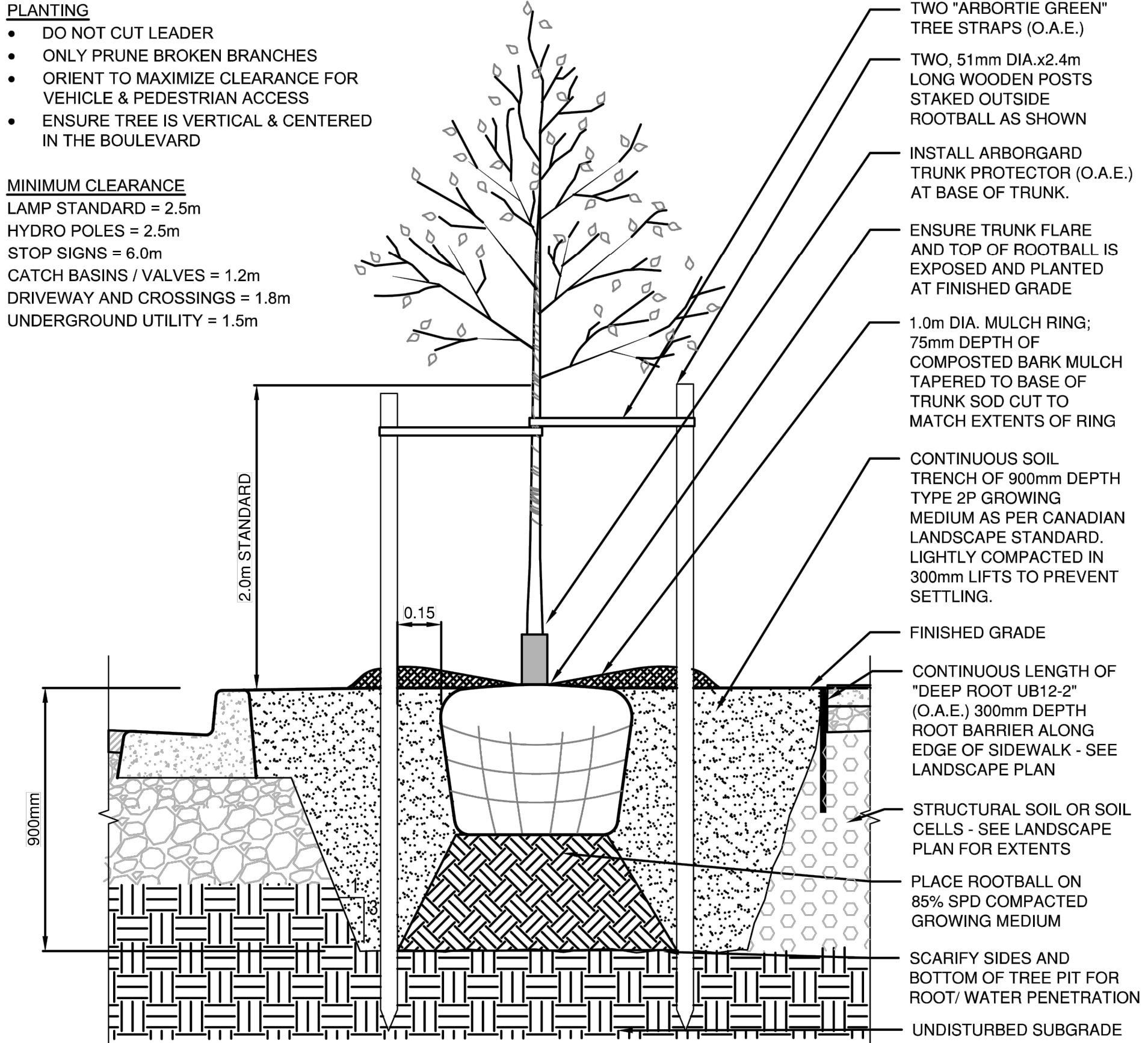
25-035



OFFSITE PLANT SCHEDULE				
BOTANICAL NAME				
GC	7	GAULTHERIA SHALLON "CASCADE SUNRISE"	SALAL "CASCADE SUNRISE"	#1 POT; 20CM; 60CM O.C.
	20	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.				

- PLANTING**
- DO NOT CUT LEADER
 - ONLY PRUNE BROKEN BRANCHES
 - ORIENT TO MAXIMIZE CLEARANCE FOR VEHICLE & PEDESTRIAN ACCESS
 - ENSURE TREE IS VERTICAL & CENTERED IN THE BOULEVARD

MINIMUM CLEARANCE
LAMP STANDARD = 2.5m
HYDRO POLES = 2.5m
STOP SIGNS = 6.0m
CATCH BASINS / VALVES = 1.2m
DRIVEWAY AND CROSSINGS = 1.8m
UNDERGROUND UTILITY = 1.5m



CNV SOIL VOLUME REQUIREMENTS
LINK SOIL VOLUMES TO PROVIDE THE FOLLOWING MINIMUM VOLUMES:

- LARGE TREES = 25 CUBIC METERS PER TREE
- MEDIUM TREES = 20 CUBIC METERS PER TREE
- SMALL TREES = 15 CUBIC METERS PER TREE
- IF SOIL VOLUMES ARE NOT LINKED QUANTITIES WILL INCREASE BY 30%

- PLEASE NOTE:**
- SOIL CELLS AND/OR STRUCTURAL SOIL MAY BE NEEDED TO ACHIEVE REQUIRED SOIL VOLUMES
 - PLEASE ASSUME 20% SOIL VOLUME FOR STRUCTURAL SOIL

(N.T.S.)

METRIC

CITY OF NORTH VANCOUVER

DECIDUOUS TREE PLANTING DETAIL

DRAWN: J. NYVALL

CHECKED: C. LINDGREN

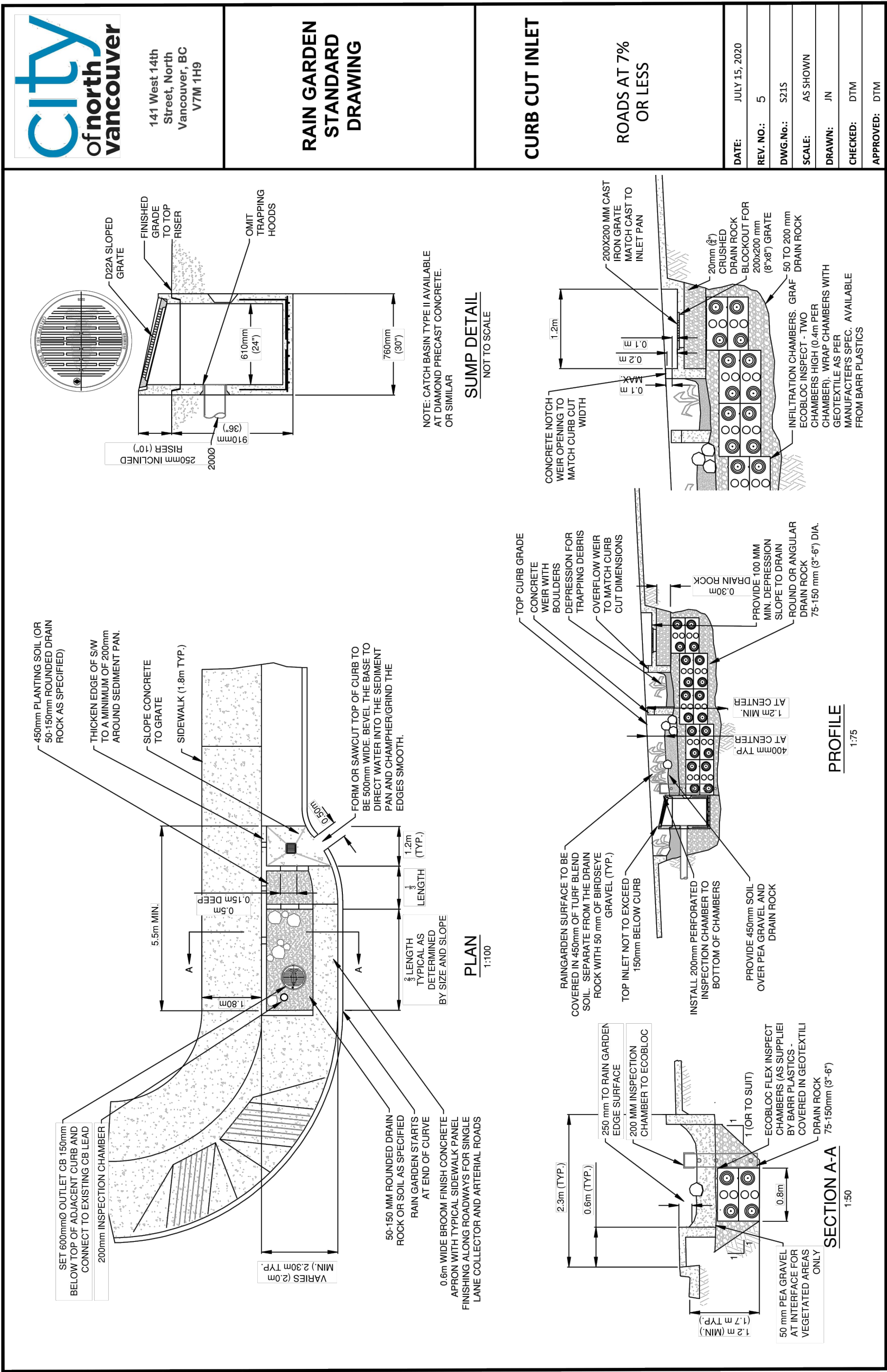
DATE: MARCH 2022

APPROVED: J. HALL

EGBC
PERMIT TO PRACTICE
NO. 1003480

DWG.No.

T2S

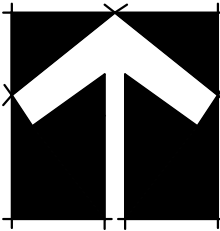


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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



9	26.JUL.07	CITY COMMENT RESPONSE	AO
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