

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 9137

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9137” (City Initiated Amendment Related to Provincial Legislation Requirements)**.
2. Division VII: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying all of the Lots that are described in Schedule A, attached hereto, to GO (Ground Oriented).
3. Division VII: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the lands described below to MID (Mid Rise)

015-045-722	Type:LOT; Lot:3; Block:170; DL:274; Plan:972
015-045-731	Type:LOT; Lot:4; Block:170; DL:274; Plan:972
015-045-757	Type:LOT; Lot:5; Block:170; DL:274; Plan:972
015-045-781	Type:LOT; Lot:8; Block:170; DL:274; Plan:972
015-045-820	Type:LOT; Lot:9; Block:170; DL:274; Plan:972
015-045-838	Type:LOT; Lot:10; Block:170; DL:274; Plan:972
015-045-854	Type:LOT; Lot:11; Block:170; DL:274; Plan:972
015-045-871	Type:LOT; Lot:12; Block:170; DL:274; Plan:972
015-045-889	Type:LOT; Lot:13; Block:170; DL:274; Plan:972
015-045-901	Type:LOT; Lot:14; Block:170; DL:274; Plan:972
015-045-951	Type:LOT; Lot:15; Block:170; DL:274; Plan:972
015-045-960	Type:LOT; Lot:16; Block:170; DL:274; Plan:972
015-045-978	Type:LOT; Lot:17; Block:170; DL:274; Plan:972
015-045-803	Type:LOT; Lot:18; Block:170; DL:274; Plan:972

from zone RT-1.

4. Division VII: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the lands currently having a civic address of 165 East 13th Street and legally described below to CD-771 (Comprehensive Development 771 Zone):

009-572-252	Type:LOT; Lot:7; Block:74; DL:549; Plan:10231
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from zone P-1.

5. Division VII: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the lands described below to CD-772 (Comprehensive Development 772 Zone):

015-086-488	Type:LOT; Lot:8 & 9; Block:155; DL:274; Plan:878
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from zone LL-4;

015-086-569	Type:LOT; Lot:46; Block:155; DL:274; Plan:878
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from zone LL-2;

015-087-263	Type:LOT; Lot:44; Block:155; DL:274; Plan:878
015-087-191	Type:LOT; Lot:43; Block:155; DL:274; Plan:878
015-087-255	Type:LOT; Lot:42; Block:155; DL:274; Plan:878
015-087-247	Type:LOT; Lot:41; Block:155; DL:274; Plan:878
015-087-239	Type:LOT; Lot:40; Block:155; DL:274; Plan:878
015-087-221	Type:LOT; Lot:39; Block:155; DL:274; Plan:878
015-086-526	Type:LOT; Lot:38; Block:155; DL:274; Plan:878
015-087-212	Type:LOT; Lot:37; Block:155; DL:274; Plan:878
015-086-640	Type:LOT; Lot:36; Block:155; DL:274; Plan:878
015-087-182	Type:LOT; Lot:35; Block:155; DL:274; Plan:878
015-087-174	Type:LOT; Lot:34; Block:155; DL:274; Plan:878
015-086-615	Type:LOT; Lot:33; Block:155; DL:274; Plan:878
015-087-166	Type:LOT; Lot:32; Block:155; DL:274; Plan:878
015-086-607	Type:LOT; Lot:31; Block:155; DL:274; Plan:878
015-086-593	Type:LOT; Lot:30; Block:155; DL:274; Plan:878
015-087-140	Type:LOT; Lot:29; Block:155; DL:274; Plan:878
015-086-712	Type:LOT; Lot:28; Block:155; DL:274; Plan:878
015-086-691	Type:LOT; Lot:27; Block:155; DL:274; Plan:878
015-087-301	Type:LOT; Lot:B; Block:155; DL:274; Plan:878
015-086-674	Type:LOT; Lot:24; Block:155; DL:274; Plan:878
015-086-666	Type:LOT; Lot:23; Block:155; DL:274; Plan:878
015-086-585	Type:LOT; Lot:22; Block:155; DL:274; Plan:878
015-086-577	Type:LOT; Lot:21; Block:155; DL:274; Plan:878
015-086-518	Type:LOT; Lot:20; Block:155; DL:274; Plan:878
015-086-500	Type:LOT; Lot:19; Block:155; DL:274; Plan:878

from zone LL-3.

6. Division I: Administration, Part 2: Interpretation of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended as follows:
- A. By deleting the Definition of “Accessory Apartment Use” and replacing it with the following:
- “Accessory Apartment Use” means an Accessory Use to a Civic Use or Retail-Service Group 1 Use or Retail-Service Group 1A Use where a Principal Building includes one or more Dwelling Units.”
- B. By deleting the Definition of “Dwelling Unit” and replacing it with the following:
- “Dwelling Unit” means a building, or portion of a building that is self-contained and is used for the living accommodation of one or more persons.
- C. By deleting the Definition of “Height” with reference to an Accessory Structure and replacing it with the following:
- “Height” with reference to an Accessory Structure, means the vertical distance between the top of a Structure and the highest finished ground elevation within 0.3 metres of such Structure, or, when fixed to a roof, the vertical distance between the top of a Structure and the roof at the point of fixation.
7. Division III: Zone Standards of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended as follows:
- A. Under the heading “Purpose” by adding, after Special Residential (Part 5A):
- “Ground Oriented (Part 5B)”;
- and
- “Mid Rise (Part 5C)”.
- B. After PART 5A: SPECIAL RESIDENTIAL ZONE REGULATIONS, by adding the following text:
- “PART 5B: GROUND ORIENTED ZONE REGULATIONS:
- Purpose:
- The Ground Oriented (GO) Zone permits a range of low density, ground-oriented residential housing in forms that enhance neighbourhood comfort, walkability and connectedness, and that support a healthy urban tree canopy. Permitted uses include residential, supportive community uses and home-based businesses.
- The regulations in this Section apply to all Lots, Uses, Buildings and Structures within the Ground Oriented Zone as identified on Division IV Zoning Map in Zoning Bylaw, 1995, No. 6700.

573 Permitted Uses and Use-Specific Conditions

In the Ground Oriented Zone, the following Uses are permitted, subject to conditions, where indicated:

- (1) Residential Use, including stratified and non-stratified Dwelling Units, subject to:
 - (a) No Dwelling Unit shall have an interior floor area of less than 50 square metres.
 - (b) Each Dwelling Unit shall be able to be accessed from a Street via a clear path that is at least 1.0 metres wide and well-lit at night.
 - (c) The number of Dwelling Units permitted on a Lot shall be as indicated in Table 573-1.

Table 573-1
Maximum Dwelling Units in the Ground Oriented Zone

Lot Area and Location	Number of Dwelling Units Permitted
A Lot with a Lot Area of less than or equal to 280 square metres:	3 units
A Lot with a Lot Area of greater than 280 square metres:	
Within the OCP Low Rise Neighbourhood 1 Designation:	4 units
Within the OCP Low Rise Neighbourhood 2 or Residential Level 4 Designations:	6 units

- (2) Child Care Facility, subject to:
 - (a) A Child Care Facility Use is only permitted on a Lot containing no more than three (3) Dwelling Units;
 - (b) A Child Care Facility Use is only permitted within a Dwelling Unit in which the Child Care Facility Operator resides;
 - (b) A Child Care Facility is only permitted to operate with a valid license provided by a Health Authority or other Provincial agency, and shall:
 - i. post no signage advertising the facility except for one name-plate of not greater than 0.1 square metres in area;
 - ii. not exceed a maximum of 16 children in care at any one time and be operated by a resident of the Dwelling Unit to which the Child Care Facility is Accessory;
 - iii. be physically separated in its entirety, for both indoor and outdoor areas, from other Dwelling Units and other Uses on the Lot;
- (3) Home Office
 - (a) A Home Office Use is permitted as Accessory to a Dwelling Unit and must be fully enclosed within a Building.
- (4) Home Occupation
 - (a) A Home Occupation Use is permitted as Accessory to a Dwelling Unit and;

- i. must be fully enclosed within a Building;
 - ii. is limited to one Home Occupation Use per Dwelling Unit;
 - iii. is limited to a maximum of two persons working, at least one of whom shall be a resident of the Dwelling Unit to which the Use is Accessory;
- (b) A Home Occupation Use may not:
- i. except for one name-plate of up to 0.1 square metres in area, advertise or indicate from the exterior that the Premises are being so Used;
 - ii. include outdoor services, display or storage;
 - iii. sell, lease or rent physical goods directly on the Lot;
 - iv. include automobile servicing or repair;
 - v. discharge, generate or emit odorous, toxic or noxious matter or vapours; heat or glare; ground vibration; or noise that can be heard at the property line.

574 Minimum Lot Width and Size

- (1) The minimum width of a Lot that may be created by subdivision in the Ground Oriented Zone within the Low Rise Neighbourhood 1 Land Use Designation is 7.5 metres except for a corner lot, which must have a minimum Lot Width of no less than 10.0 meters.
- (2) The minimum width of a Lot that may be created by subdivision in the Ground Oriented Zone within any Land Use Designation other than Low Rise Neighbourhood 1 is 15.0 metres.

575 Maximum Gross Floor Area

- (1) The maximum permitted Gross Floor Area for properties within the Low Rise Neighbourhood 1 Land Use Designation shall be 0.85 times the Lot Area (0.85 FSR)
- (2) The maximum permitted Gross Floor Area for properties within the Low Rise Neighbourhood 2 Land Use Designation or Residential Level 4 Land Use Designation shall be 1.0 times the Lot Area (1.0 FSR)
- (3) For development within the Ground Oriented Zone, Gross Floor Area shall be measured to the outside of Exterior Walls, and shall exclude:
 - (a) A Crawl Space;
 - (b) A room used only for electrical and/or mechanical equipment serving more than two Dwelling Units on the Lot;
 - (c) A room used exclusively for storage of garbage, organics and recycling, up to a maximum area equal to double the minimum required areas listed in Table 581-2;
 - (d) A room used exclusively for secure bicycle parking, provided in accordance with Part 10A.
 - (e) Any portion of a floor containing an elevator.
 - (f) Any portion of a floor containing stairs where the stairs provide access from an entrance at-grade to a Dwelling Unit located above or below grade.

- (4) The following shall be deducted from the Gross Floor Area:
 - (a) For each Dwelling Unit with a Parking Space provided within a garage, 16.0 square metres;
 - (b) For each Dwelling Unit with a Mobility Parking and Recreational Storage Area, the floor area being so used, up to 8 square metres;

576 Lot Coverage

- (1) Lot Coverage shall not exceed the maximum percentages in Table 575-1.

Table 576-1
Maximum Lot Coverage in the Ground Oriented Zone

Number of Dwelling Units on the Lot	Maximum Lot Coverage
1 Dwelling Unit	30% of Lot Area
2 Dwelling Units	35% of Lot Area
3 or 4 Dwelling Units	40% of Lot Area
5 or 6 Dwelling Units	45% of Lot Area

577 Permeable Area and Landscaped Area

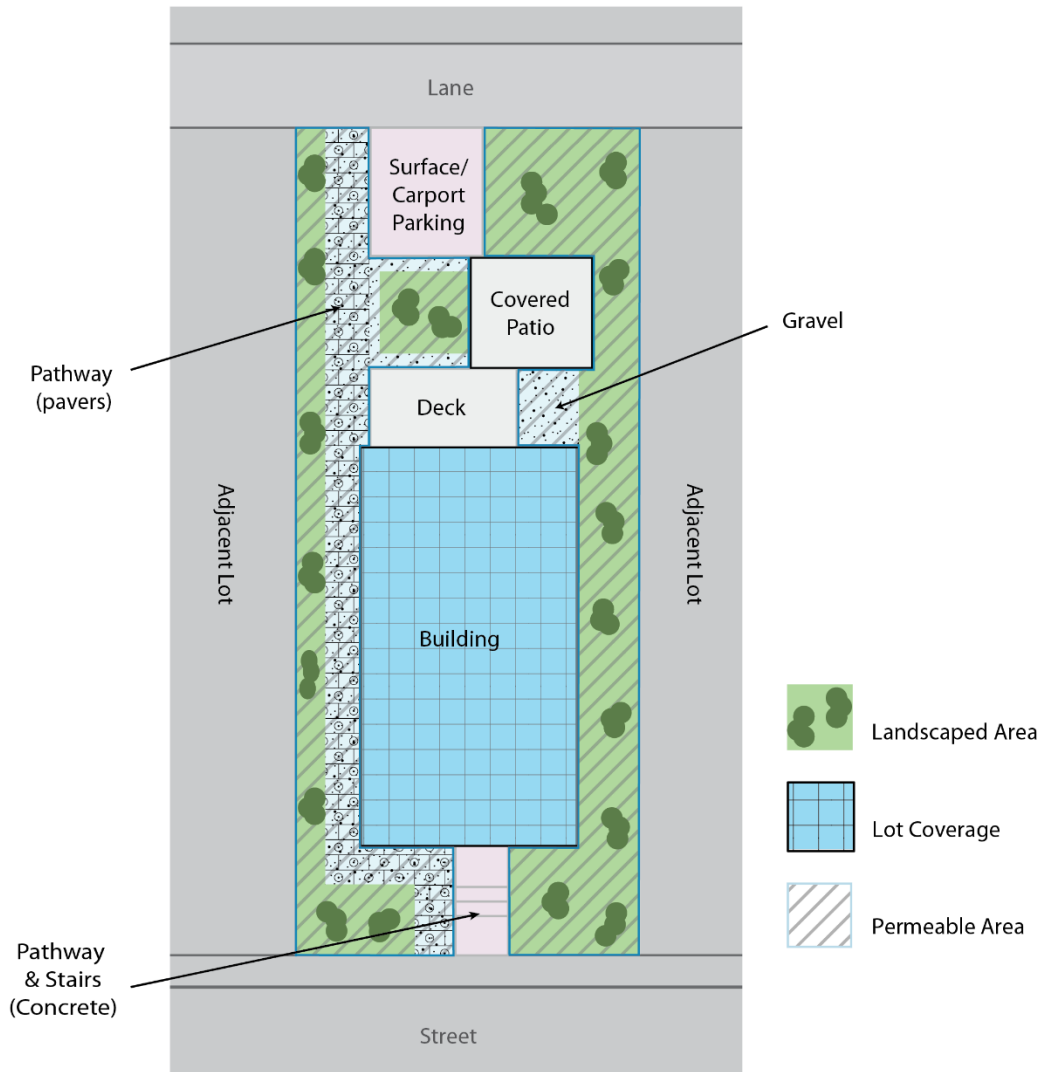
- (1) The minimum percentages for Permeable Area and Landscaped Area must be provided and maintained on a Lot in accordance with Table 577-1.

Table 577-1
Minimum Permeable Landscaping

Number of Dwelling Units on the Lot	Minimum Permeable Area	Minimum Landscaped Area
1 Dwelling Unit	50% of Lot Area	35% of Lot Area
2 Dwelling Units	45% of Lot Area	30% of Lot Area
3 or 4 Dwelling Units	35% of Lot Area	20% of Lot Area
5 or 6 Dwelling Units	30% of Lot Area	15% of Lot Area

- (2) Where a pad-mounted transformer is required to be installed on the Lot, the required minimum area for Permeable Area and Landscaped Area is reduced by the area required for the pad-mounted transformer.

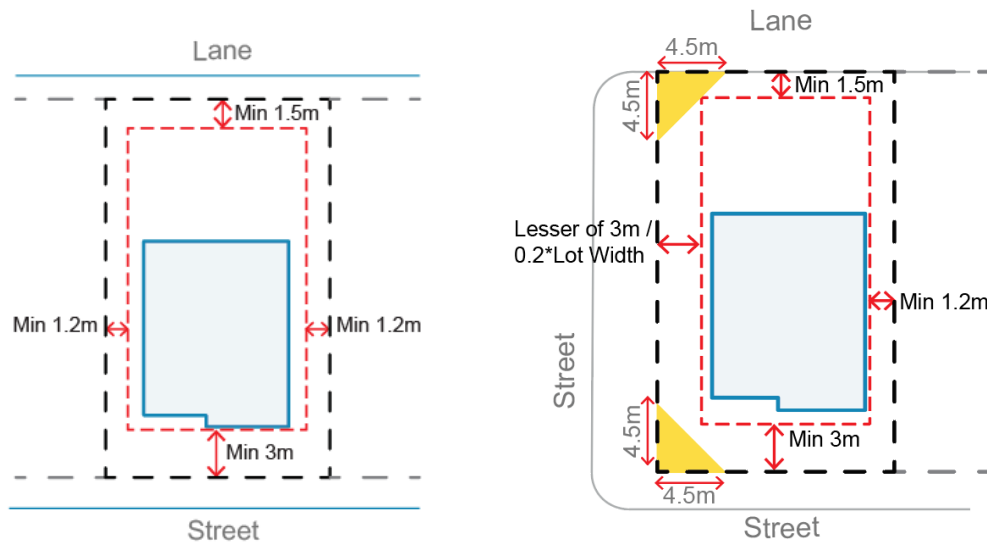
**Figure 575-1
Lot Coverage Illustration**



578 Building Siting and Dimensions

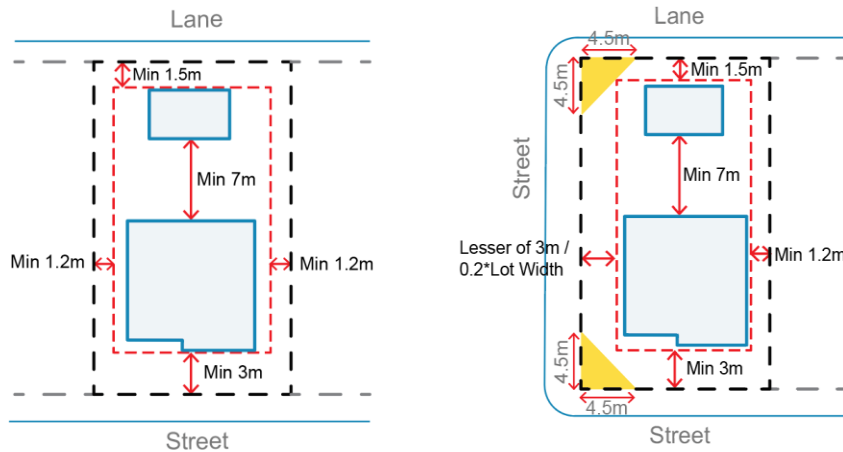
- (1) All Buildings shall be sited:
 - (a) From the Front Lot Line, no less than 3.0 metres;
 - (b) From the Rear Lot Line, no less than 1.5 metres;
 - (c) From an Interior Side Lot Line, no less than 1.2 metres; and
 - (d) From an Exterior Side Lot Line, no less than 3.0 metres or 0.2 times the Lot Width, whichever is less.
- (2) No dimension of a Building shall exceed 21 metres.

Figure 578-1: One-Building Scenario Siting Requirements Illustration



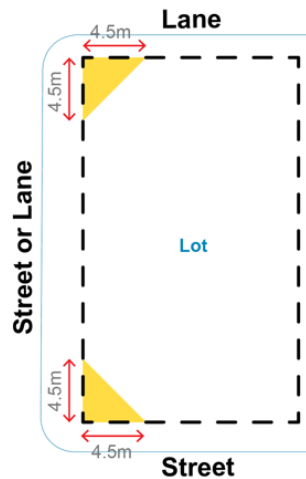
- (3) Where there are two (2) or more Buildings containing Dwelling Units on a Lot the minimum distance between the Buildings is 7.0 metres, measured between the outside of the Exterior Walls of the Buildings.

Figure 578-2: Two-Building Scenario Siting Requirements Illustration



- (4) On a Corner Lot, all Structures over 1.0 metres in Height must be located outside of the triangle-shaped area located and measured horizontally between the following three points:
- (a) the point of intersection of the Streets or Lanes onto which the Corner Lot fronts; and
 - (b) points 4.5 metres along each Street or Lane from such point of intersection.

Figure 578-3: Siting Restrictions on Corner Lots Illustration

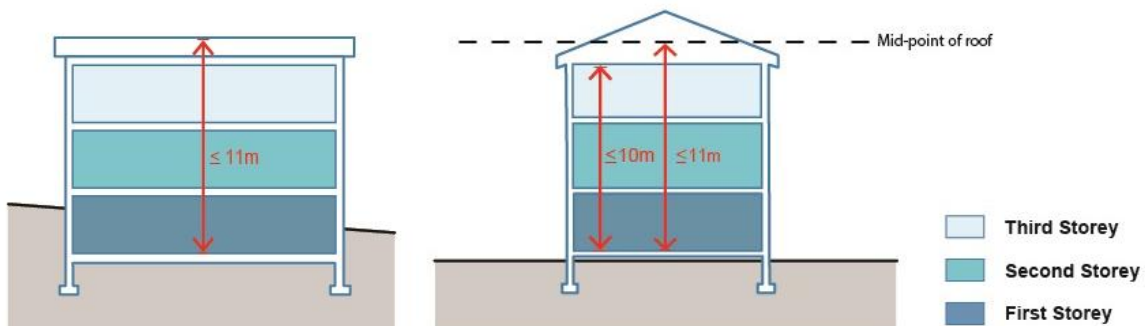


- (5) The following projections are permitted within the required Building setbacks:
- (a) A horizontal roof overhang of up to 0.6 metres, including gutters and any other elements affixed to the roof.
 - (b) Exterior ramps, lifts or similar mobility and/or accessibility-enhancing equipment, provided that they do not impede access to side or rear yards for fire or other emergency services.

579 Building Height

- (1) No portion of a Building shall exceed three (3) Storeys.
- (2) Portions of a Building that are located within 5 metres of a Rear Lot Line shall have a Height of no more than 7.0 metres, measured from the average of the corner grades at the Rear Lot Line.
- (3) For any portion of a Building, the maximum distance between the lowest floor and highest point of the uppermost ceiling directly above shall be 10.0 metres.

Figure 579-1: Examples of Three-Storey Buildings Illustration

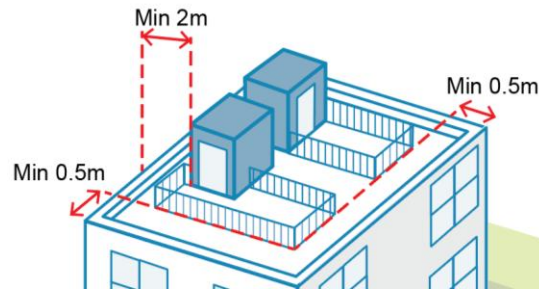


- (4) Notwithstanding subsections 1 through 3, projections are permitted as listed in Table 579-1, subject to conditions where indicated in the second column:

Table 579-1
Permitted Height Projections

Permitted Projections	Conditions
Roofs	A. Except for portions of a Building located within 5 metres of a Rear Lot Line, Roofs may project up to 11 metres above the floor level of the lowest storey directly below, and shall be measured to the top of a flat roof or the mid-point of a pitched roof
Vaulted Ceilings	B. Vaulted ceilings may project beyond the maximum permitted height provided that no more than 50 percent of the area of a single plane is more than 10 metres above the lowest floor level below.
Enclosed landings providing access to a Roof Deck	C. Enclosed landings shall be permitted only for Dwelling Units with a Roof Deck; D. The interior floor area of the landing shall not exceed 1.2 square metres; E. The vertical extent of the enclosed landing shall not project more than 2 metres above the surface of the Roof Deck to which it is providing access. F. All portions of the enclosed landing, including Exterior Walls and roof, shall be sited at least 2.0 metres from the nearest roof edge of the Storey directly below.
Roof Deck weather protection structures	G. Structures providing weather protection may project up to 2.0 metres above the surface of the Roof Deck, provided that they are sited at least 2.0 metres from the nearest roof edge of the Storey directly below
Venting and architectural structures encasing the venting	H. Projections shall extend no higher than the minimum height necessary to meet applicable safety requirements set by any government agency.
All other projections	I. Shall not project more than 1.2 metres above the surface to which they are affixed, at their point of contact, and shall be sited a minimum of 0.5 metres from the outer extent of the Storey directly below.

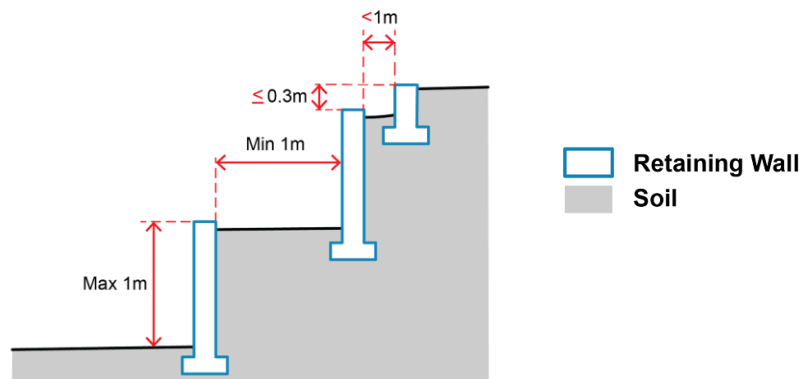
**Figure 579-2:
Examples of Permitted Height Projections (Enclosed Landings)**



580 Siting and Height of Accessory Structures

- (1) Accessory Structures not exceeding 1.2 metres in height may be located on any portion of the lot.
- (2) Accessory Structures up to 1.5 metres in height may be located on any portion of the lot except within a yard that is adjacent to a Front Lot Line or an Exterior Side Lot Line.
- (3) On a Lot containing no more than two (2) Dwelling Units, Accessory Structures of up to 1.8 metres in Height may be located behind the front face of a building, except for a Corner Lot, in which case, Accessory Structures may not exceed 1.2 metres in Height when located in a yard adjacent to an Exterior Side Lot Line.
- (4) Retaining Walls shall be regulated as follows:
 - (a) Height shall be measured as the vertical distance between the lower of the ground levels on either side of the wall and the top of the wall.
 - (b) A Retaining Wall may not exceed a height of 1.0 metres at any point along its length.
 - (c) A Retaining Wall must be sited a minimum of 1.0 metres from any other Retaining Wall, whether it is on the same Lot or an adjoining Lot or Right-of-Way, unless the difference between the top-of-wall elevations of the walls is less than 0.3 metres.

Figure 580-1: Retaining Wall Height and Siting Requirements Illustration



- (5) Portions of a fence that are within 0.5 metres of a Retaining Wall may be no more than 1.2 metres in Height, measured from the top of the Retaining Wall.
- (6) Mechanical equipment for Heating, Ventilation and Air Conditioning at ground level shall be sited as follows:
 - (a) From the Front Lot Line, no less than 3.0 metres;
 - (b) From the Rear Lot Line, no less than 1.5 metres;
 - (c) From an Interior Side Lot Line, no less than 1.2 metres; and
 - (d) From an Exterior Side Lot Line, no less than 3.0 metres or 0.2 times the Lot Width, whichever is less.
- (7) Notwithstanding Sections 579(1) and (2), any Residential Use adjoining Trans-Canada Highway Number 1 may provide along the Highway frontage a Landscape Screen of up to 2.0 metres in Height.

581 Vehicle Parking Requirements

- (1) Parking regulations shall be as in Part 9, with the following substitutions:
 - a. A minimum of 0.5 Parking Spaces shall be required for each Dwelling Unit on a Lot.
 - b. When the calculation of parking requirements results in a fraction of 0.5 or more of a space, one Parking Space shall be provided to meet this fractional requirement.
 - c. Parking Spaces that are located within a garage shall be set back a minimum of 1.0 metres from all walls and other fixed obstructions.

582 Bicycle Parking Requirements

- (1) Minimum Bicycle Parking for Lots containing three (3) or more Dwelling Units shall be as required for Residential Uses, as indicated in part 10A, Figure 10A-02.
- (2) Notwithstanding subsection 581(1), where a Mobility Parking and Recreational Storage Area of at least 4 square metres has been provided for a Dwelling Unit, the requirements of Section 10A shall be waived.

583 Garbage, Organics and Recycling Storage Requirements

- (1) Notwithstanding Section 417, in the Ground Oriented Zone requirements for garbage, organics and recycling storage facilities and access, shall be as outlined in this section;
- (2) Lots containing three (3) or more Dwelling Units shall provide a storage area for garbage, organics and recycling;
- (3) Required storage areas for garbage, organics and recycling shall be sized as indicated in Table 582-1:

Table 583-1: Minimum Required Storage Area for Garbage, Organics and Recycling

Number of Dwelling Units	Minimum Storage Area
1 or 2 units	0 square metres

3 units	1.9 square metres
4 units	2.2 square metres
5 units	2.6 square metres
6 units	3.0 square metres

- (4) The required garbage, organics, and recycling storage facility must:
 - (a) Be able to be accessed from each of the Dwelling Units and other uses on the lot via a clear access path of at least 1.0 metres in width;
 - (b) Be provided within a Building or other animal-proof enclosure;
 - (c) Have access to an acceptable pickup location that complies with relevant City Bylaws regulating solid waste pickup via a clear pathway with a minimum width of 1.2 metres, with no steps, and with slopes no greater than 5 percent and a crossfall no greater than 2 percent;
- (5) Required pathways providing access to and from the storage area for garbage, organics and recycling must be separated from vehicle parking and maneuvering areas by a physical barrier, landscaping or change in paving materials. Where a Building on a Lot is Used only for the storage of garbage, organics and recycling and does not exceed an area of 4.5 square metres, nor a height of 1.8 metres, it may be excluded from Lot Coverage, and may be sited anywhere on the Lot.

584 Mid Rise Zone

"PART 5C: MID RISE ZONE REGULATIONS:

Purpose:

The Mid Rise Zone permits housing that meets a broad range of housing needs, at densities supporting businesses and services within the urban centre and along key transit routes, while contributing to attractive streetscapes and lanes through quality urban design.

The regulations in this Section apply to all Lots, Uses, Buildings and Structures within the Mid Rise Zone as identified on Division IV Zoning Map in Zoning Bylaw, 1995, No. 6700.

585 Permitted Uses and Use-Specific Conditions

In the Mid Rise Zone, the following Uses are permitted, subject to conditions, where indicated:

- (1) Apartment Residential Use and Rental Apartment Residential Use, subject to:
 - (a) No Dwelling Unit shall have an interior floor area of less than 37 square metres.
- (2) Home Office, subject to:

- (a) A Home Office Use is permitted as Accessory to a Dwelling Unit and must be fully enclosed within a Building.
- (3) Home Occupation, subject to:
 - (a) A Home Occupation Use is permitted as Accessory to a Dwelling Unit and;
 - i. must be fully enclosed within a Building;
 - ii. is limited to one Home Occupation Use per Dwelling Unit;
 - iii. is limited to a maximum of two persons working, at least one of whom shall be a resident of the Dwelling Unit to which the Use is Accessory;
 - (b) A Home Occupation Use may not:
 - i. except for one name-plate of up to 0.1 square metres in area, advertise or indicate from the exterior that the Premises are being so Used;
 - ii. include outdoor services, display or storage;
 - iii. sell, lease or rent physical goods directly on the Lot;
 - iv. include automobile servicing or repair;
 - v. discharge, generate or emit odorous, toxic or noxious matter or vapours; heat or glare; ground vibration; or noise that can be heard at the property line.

586 Building Height

- (1) No portion of a Building may exceed six (6) Storeys.
- (2) For any portion of a Building, the maximum distance between the lowest floor containing Dwelling Units and the highest point of the uppermost ceiling directly above shall be 21 metres.
- (3) Within the Mid Rise Zone, the following shall not be considered a Storey:
 - a. a floor level containing no Dwelling Units that is located wholly or partly below grade;
 - b. a floor level containing no Dwelling Units and having an area of no more than 5 percent of the Lot Area.

587 Lot Coverage and Landscaped Areas

- (1) Lot Coverage shall not exceed the maximum percentages in Table 587-1.

Table 587-1
Maximum Lot Coverage in the Mid Rise Zone

Lot Size	Maximum Lot Coverage
≤ 1100 sq. m.	40% of Lot Area
> 1100 sq. m. to < 1400 sq. m.	50% of Lot Area
≥ 1400 sq. m.	60% of Lot Area

588 Permeable Area and Landscaped Area

- (1) The following Permeable Area and Landscaped Area must be provided and maintained on a Lot:

- a. Permeable Area: 25 percent of Lot Area
- b. Landscaped Area: 10 percent of Lot Area

589 Maximum Gross Floor Area

- (1) The maximum permitted Gross Floor Area for properties within the Mid Rise Zone shall be 2.6 times the Lot Area (2.6 FSR).
- (2) Division V, Inclusionary Zoning Requirements for Residential Development shall apply.
- (3) For development within the Mid Rise Zone, Gross Floor Area shall be measured to the outside of Exterior Walls of each floor level containing one or more Dwelling Units.

590 Building Siting and Dimensions

- (1) All Buildings shall be sited:
 - (a) From the Front Lot Line, no less than 3.0 metres;
 - (b) From an Interior Side Lot Line, 4.0 metres;
 - (c) From an Exterior Side Lot Line, 3.0 metres;
 - (d) From a Rear Lot Line, 6.0 metres;

591 Dwelling Dimensions

- (1) No Dwelling Unit shall have a depth greater than 9.6 metres for a Single-Aspect unit or 14.0 metres for a Dual-Aspect unit.

592 Unit Mix

- (1) Where the total number of Dwelling Units on a Lot exceeds 12, the following minimum unit mixes shall apply:
 - a. A minimum of 15 percent of all stratified Dwelling Units on a Lot must contain 3 or more bedrooms;
 - b. A minimum of 10 percent of all rental Dwelling Units on a Lot must contain 3 or more bedrooms.

593 Definitions Pertaining to the Mid Rise Zone and Ground Oriented Zone

- (1) All definitions contained in Division I, Part 2: Interpretation of Zoning Bylaw, 1995, No. 6700 apply to the Mid Rise Zone and Ground Oriented Zone, except where revised by the following:

“Child Care Facility” means a premises providing temporary care for children that is licensed and regulated by a Health Authority or other Provincial government agency.

“Child Care Facility Operator” means a person who is licensed by a Health Authority or other Provincial agency to provide a child care program.

“Corner Lot” means a Lot which fronts on two or more Streets, or a Street and a Lane, which intersect at an interior angle of 135 degrees or less.

“Dual-Aspect” means a Dwelling Unit that has been designed with openable windows on two or more walls.

“Exterior Wall” means an outermost portion of a Building that is a vertical structure providing weather protection that may or may not be insulated.

“Home Office” means a room or portion of a room where a person who resides on the Lot practices a profession or conducts work using only standard office equipment, and where other persons do not conduct any work or provide or receive goods or services.

“Home Occupation” means a business, occupation or professional Use, other than a Home Office or Child Care Facility, where the business operator or practitioner resides in a Dwelling Unit on the Lot.

“Landscaped Area” means soil-based, planted areas on a Lot, where trees, shrubs, and plants are grown. Areas must be no less than 1.0 metres at the narrowest dimension and may not be covered by materials that would restrict the growth of trees, shrubs and plants, including, but not limited to: various paving materials, decorative stonework, gravel, artificial turf, inorganic mulch. No Structures or pathways are permitted within Landscaped Areas, at, above or below grade, except that:

- (1) Groundwater infiltration equipment that supports groundwater recharge may be sited partly or fully within a Landscaped Area; and,
- (2) Horizontal roof overhangs, including gutters and any other elements affixed to the roof that are a minimum of two storeys above the Landscaped Area are permitted to project up to 0.6 metres into a Landscaped Area.

“Lot Coverage” means portions of the Lot covered by Buildings, measured to the outside of the Exterior Walls.

“Lot Width”, where a lot has two Interior Side Lot Lines or an Interior Side Lot Line and an Exterior Lot line that are parallel, means the distance between those two Lot Lines; or, where those two Lot Lines are not parallel, shall mean the average length of the Front Lot Line and the Rear Lot Line.

“Mobility Parking and Recreational Storage Area” means an area that is dedicated for the parking of mobility devices and/or the storage of various household items, and that is accessible from a Street or Lane via a path of adequate qualities and dimensions that allows for daily access to those items and/or mobility devices.

“Parking” means the use of land or Building for the storage of a vehicle or vehicles.

“Residential Use” means a Building containing one or more Dwelling Units, on a Lot within the Ground Oriented (GO) Zone.

“Retaining Wall” means a predominantly vertical, rigid structure that retains soil, gravel or other medium in order to allow for two different ground surface levels on either side of the structure.

“Permeable Area” means the sum of all areas of the Lot that are free of Structures, whether the Structures are at, above, or below grade; that are not a Parking Space or Driveway; and that consist of a permeable material, including soil, gravel, pavers and other materials that allow for the absorption and release of ground water through infiltration and evaporation.

“Single-Aspect” means a Dwelling Unit that has been designed with openable windows on one wall.

“Storey” means the space between a floor level and the ceiling directly above it and includes:

- (1) A floor that is partly or wholly below the level of the ground surrounding the Building;
- (2) Except for a Crawl Space, an area directly beneath a floor level that can be accessed and used, whether it is enclosed by Exterior Walls or not.

8. Part 12 of Division VI: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

A. In Comprehensive Development 505 (CD-505) Zone, making the following changes:

- (1) In Sub-Section (3) by deleting “Principal Buildings shall not exceed a total Gross Floor Area of 2.6 times the Combined Site Area as shown on Schedule 72 page 2” and replacing it with the following:

Principal Buildings shall not exceed a total Gross Floor Area of 3.2 times the Combined Site Area as shown on Schedule 72 page 2

- (2) By replacing Sub-Section (3)(c) with the following:

(c) The Gross Floor Area on Site 1 as shown on Schedule 72 page 2 shall not exceed 16,639 square metres (179,100 square feet);

- (i) For purposes of the CD-505 Zone, buildings for Civic Use shall be excluded from Gross Floor Area calculations.

- (3) By replacing Sub-Section (5)(a) with the following:

(a) Site 1, the maximum Height shall be 68 metres (223 feet).

- (4) By deleting Sub-Section (12) “All exterior finishes and landscaping and design shall be approved by the Advisory Design Panel.” in its entirety.

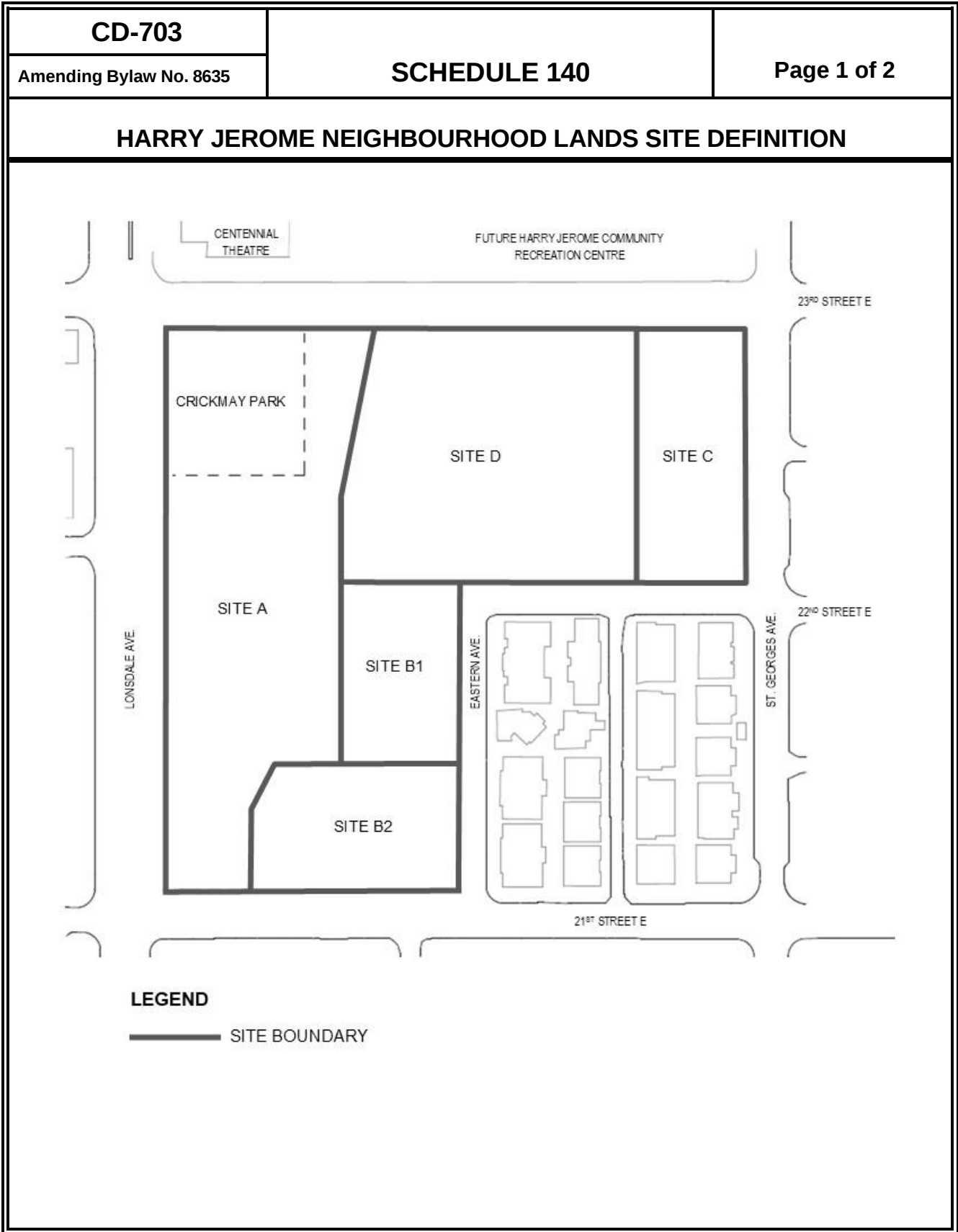
- (5) By deleting Schedule 72 Page 3 of 3 in its entirety.

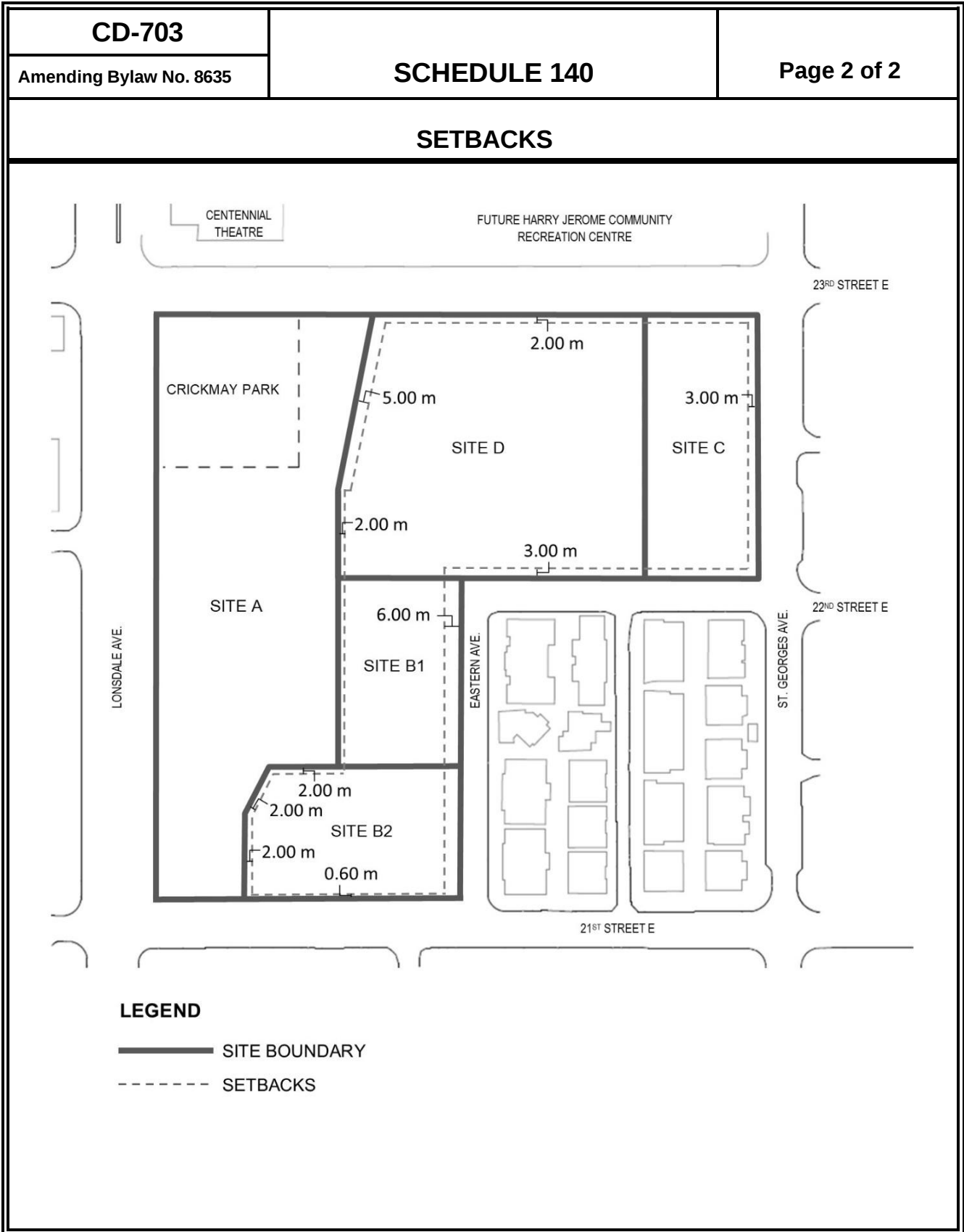
B. In Comprehensive Development 703 (CD-703) Zone, making the following changes:

- (1) By replacing the words “Sites B and D” with the words “Sites B1, B2, and D” in Section (1)(b);
- (2) By inserting the words “and 510(1)” after the words “Section 423” in Section (1)(b)(i) and (1)(c)(i);
- (3) By inserting the words “subject to Section 423 and 510(1)” after the words “Rental Apartment Residential Use” in Section (1)(b)(ii) and (1)(c)(ii);

- (4) By inserting the words “permitted uses shall be as follows” after the words “On Site C” in Section (1)(c);
- (5) By inserting a new sub-section after Section (1)(c) as follows:
 - (d) On Sites C and D, Hotel Use is also permitted.
- (6) By deleting Section (3) in its entirety and replacing it with the following:
 - (3) Density:
 - (a) The combined Gross Floor Area (GFA) for Sites A, B1, B2, C, and D shall not exceed 84,500 sq. m.;
 - (b) The maximum allowable GFA for each Site is:
 - i. 7,620 sq. m. for Site B1;
 - ii. 8,450 sq. m. for Site B2;
 - iii. 68,430 sq. m. for Sites C and D combined;
- (7) Replacing ‘Section 510(3)’ with ‘Section 510(2)’ in Section (7);
- (8) By replacing the words “88 m and one Building may be built to a maximum Building Height of 76 m” with the words “103 m and one Building on Site D may be built to a maximum Building Height of 88 m” in Section (9)(a);
- (9) Adding Section (9)(a)(i), which is as follows:
 - i. Building heights are to be measured from the average grade of the northern property line of the corresponding parcel;
- (10) By deleting the text in 9(b) in its entirety and replacing it with the following:
 - (b) The Heights of Buildings and Structures permitted elsewhere in the Bylaw may be exceeded for:
 - i. Mechanical rooms, ventilating machines, elevator overruns, parapet walls, architectural appurtenances, guard rails, Garden Structures, staircase and elevator structures by not more than 6.1 metres (20 feet);
 - ii. Fully screened mechanical equipment, located at least 2 metres (6.6 feet) from the roof edge, by not more than 6.1 metres (20 feet);
- (11) By inserting the words “on each of Sites B1 and B2” between the words “units” and “will” in Section (11)(a);
- (12) By inserting the words “on each of Sites B1 and B2” between the words “units” and “will” in Section (11)(b);

- (13) By inserting the following new sub-sections after Section (11)(b):
- (c) A minimum of 10% of units on each of Sites C and D will be under 51 sq. m. (549 sq.ft.), except that if Sites C and D are developed as a combined site, a minimum of 10% of units on Sites C and D combined will be under 51 sq. m. (549 sq. ft.);
 - i. Notwithstanding Section (11)(c), no residential units are to be less than 37.16 sq. m. (400 sq. ft.);
 - (d) A minimum of 10% of units on each of Sites C and D will be 3 bedrooms; except that if Sites C and D are developed as a combined site, a minimum of 10% of units on Sites C and D combined will be 3 bedrooms.
- (14) By inserting the words “of this Bylaw” between the words “609” and “shall” in Section (13);
- (15) By adding a new Section (16) that reads as follows:
- (16) Division V, Inclusionary Zoning Requirements for Residential Development shall not apply.
- (16) By deleting Schedule 140 pages 1 to 3 in their entirety and inserting Schedule 140 pages 1 and 2 as follows:





- C. Adding the following Comprehensive Development Zone to Section 1200 in numerical order:

“CD-771 Comprehensive Development 771 Zone” (165 East 13th Street)

In the CD-771 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-1B Zone, except that:

- (1) Permitted Uses shall be limited to:
 - (a) Retail Service Group 1 Use;
 - i. Accessory Off-Street Parking Use;
 - ii. Accessory Off-Street Loading Use.
 - (b) Civic Use;
 - i. Accessory Apartment Residential Use, subject to Section 607(1);
 - ii. Accessory Rental Apartment Residential Use;
 - iii. Accessory Non-Commercial Social & Recreational Facilities;
 - iv. Accessory Off-Street Parking Use;
 - v. Accessory Off-Street Loading Use.
 - (c) Child Care Use subject to section 607(9).
 - i. Accessory Off-Street Parking Use;
 - ii. Accessory Off-Street Loading Use.
- (2) In the CD-771 Zone an Accessory Apartment Residential Use and Accessory Rental Apartment Residential Use shall be accessory to a Civic Use located on the same site.
- (3) A maximum Gross Floor Area of 4.0 times the Lot Area shall be permitted.
- (4) For the purposes of the CD-771 Zone, a Civic Use shall be excluded from Gross Floor Area calculations.
- (5) Principal Buildings shall not exceed a maximum height of 46 metres (150 feet).

- D. Adding the following Comprehensive Development Zone to Section 1200 in numerical order:

“CD-772 Comprehensive Development 772 Zone” (131 East 2nd Street and 112-178 East 1st St)

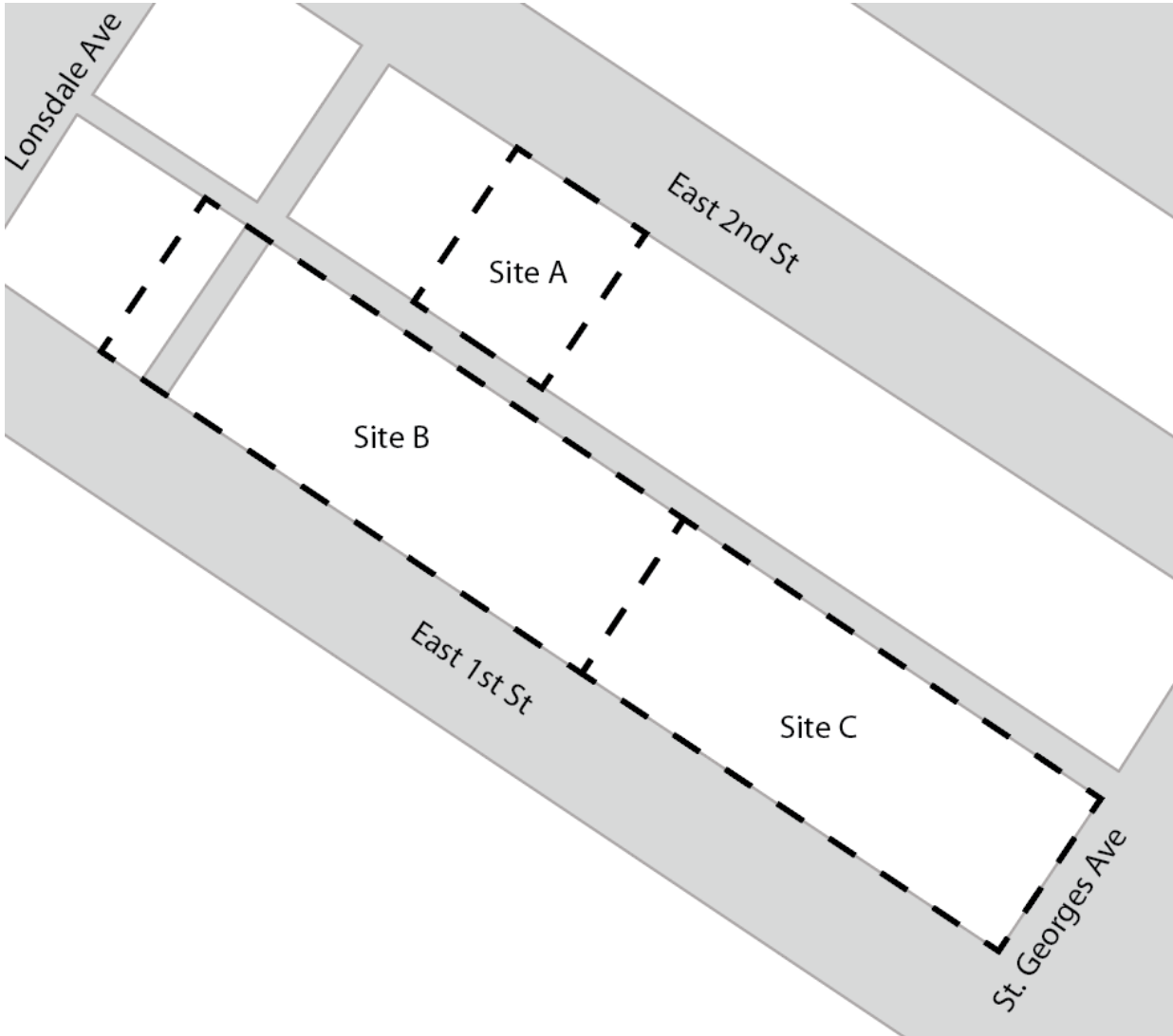
In the CD-772 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the LL-3 Zone, except that:

- (1) The CD-772 Zone shall be comprised of Sites A, B and C as described in Schedule 148.

- (2) A maximum Gross Floor Area of 3.6 times the Lot Area shall be permitted;
- (3) Division V, Inclusionary Zoning Requirements for Residential Development shall apply.
- (4) Maximum permitted Building Height shall be as follows:
 - a. On Site A, 23.0 metres;
 - b. On Site B, 48.0 metres;
 - c. On Site C, 37.0 metres.

CD-772	SCHEDULE 148	Page 1 of 1
Amending Bylaw No. 9137		

CD-772 ZONE SITE DEFINITION



Sites A, B and C include properties having the following civic addresses on the date of adoption of this Bylaw:

Site A: 131 East 2nd Street
Site B: 112-146 East 1st Street
Site C: 148-178 East 1st Street

9. Division VIII: Development Permit Guidelines of “Zoning Bylaw, 1995, No. 6700” is hereby amended by deleting and replacing Document H “Harry Jerome Neighbourhood Lands Development Permit Area Guidelines”, with revised Document H, attached to this Bylaw.
10. Division VIII: Development Permit Guidelines of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding “Low Rise Neighbourhoods Development Permit Guidelines” to the list of adopted Guidelines.
 - B. Adding after Document H “Harry Jerome Neighbourhood Lands Development Permit Area Guidelines”, Document I “Low Rise Neighbourhoods Development Permit Guidelines”, attached to this Bylaw.

READ a first time on the 6th day of October, 2025.

READ a second time on the <> day of <>, 2025.

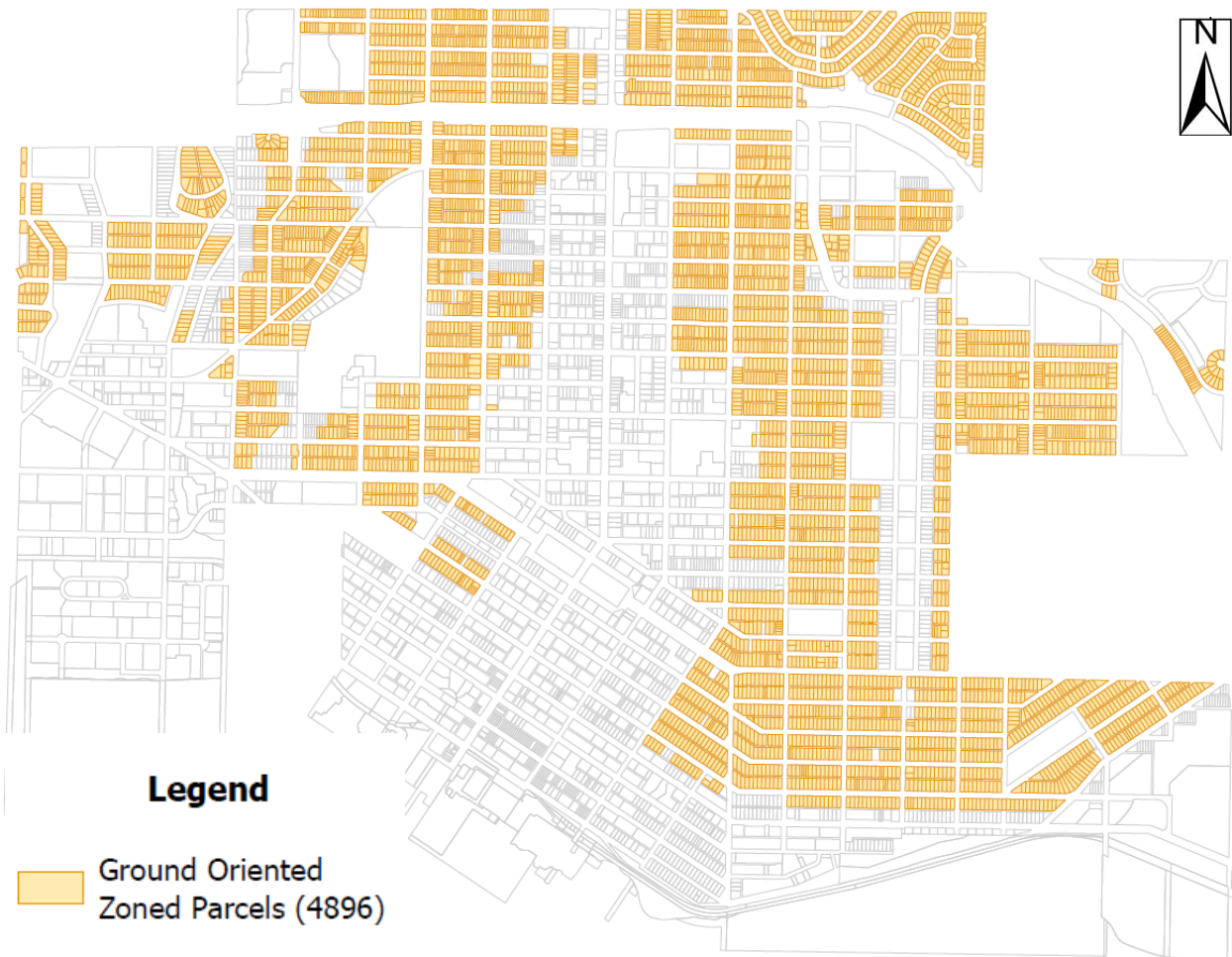
READ a third time on the <> day of <>, 2025.

ADOPTED on the <> day of <>, 2025.

MAYOR

CORPORATE OFFICER

LOTS TO BE RECLASSIFIED TO GROUND ORIENTED ZONE



LOTS TO BE RECLASSIFIED TO GROUND ORIENTED ZONE

The following properties are to be reclassified to the Ground Oriented Zone:

- 1) All properties within the Low Rise Neighbourhood 1 and Low Rise Neighbourhood 2 Land Use Designations as identified in the Official Community Plan Bylaw 8400, Schedule A, with the exception of Lots that meet one or more of the following criteria:
 - Lots that have been designated, in whole or in part, as protected heritage property pursuant to a Heritage Designation Bylaw adopted under Section 611 of the *Local Government Act*;
 - Lots that are located within the Ottawa Gardens Heritage Conservation Area, or within a Heritage Character Area, as identified in the Official Community Plan Bylaw, 2014, No. 8400;
 - Lots having a Lot Area greater than 4,050 square metres;
 - Lots with a Comprehensive Development (CD) zone permitting 5 or more residential dwelling units on a single Lot, except for those Lots that were subject to Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2025, No. 9031 and are located within the Low Rise Neighbourhood 2 Land Use Designation.
 - Lots within subareas 1, 4, or 5 of the Moodyville (East 3rd Street Area) Development Permit Guidelines;
 - Lots with any of the following zones: P-1, P-2, M-1.
- 2) Lots subject to redesignation from Residential Level 2, or Residential Level 3 Land use Designations to Residential Level 4 Land Use Designation per Official Community Plan, 2014, No. 8400, Amendment Bylaw, 2025, No. 9114" (City Initiated Amendment Related to Provincial Legislation Requirements, as listed in the table on pages 3 and 4 of this Schedule A.

In the event of any conflict between the description above and the map on page 1 of this Schedule A (LOTS TO BE RECLASSIFIED TO GROUND ORIENTED ZONE), the description above shall prevail.

LOTS TO BE RECLASSIFIED TO GROUND ORIENTED ZONE

Lot	Block	D.L.	Plan	Previous Designation
B	52	550	16191	Residential Level 3
H	33	549/550	20932	Residential Level 3
G	33	549/550	20932	Residential Level 3
F	33	549/550	20392	Residential Level 3
C	33	549/550	15877	Residential Level 3
B	33	549/550	15877	Residential Level 3
A	33	549/550	15877	Residential Level 3
26	67	547	750	Residential Level 3
1-2		547	BCS940	Residential Level 3
1-2		547	BCS306	Residential Level 3
1/2/3		271/547	VR1372	Residential Level 3
1-3		271	LMS624	Residential Level 3
1-4		271	BCS2553	Residential Level 2
1-2		271	BCS1422	Residential Level 2
1-2		271	BCS1632	Residential Level 2
W	66	271	1914	Residential Level 2
20	66	271	750	Residential Level 2
19	66	271	750	Residential Level 2
1-2	66	271	LMS3076	Residential Level 2
1-2		271	VR158	Residential Level 2
H	66	271	1226	Residential Level 2
1	66	271	17227	Residential Level 2
2	66	271	17227	Residential Level 2
1-2		271	LMS1134	Residential Level 2
1-2		271	LMS1135	Residential Level 2
1-2		271	BCS2403	Residential Level 2
1-2		271	BCS2504	Residential Level 2
1-2		271	EPS5557	Residential Level 2
1-2		271	VR1355	Residential Level 2
1-2		271	VR1354	Residential Level 2
D	65	271	17150	Residential Level 2
E	65	271	17150	Residential Level 2
F	65	271	17071	Residential Level 2
G	65	271	17071	Residential Level 2
B	65	271	1288	Residential Level 2
A	65	271	1288	Residential Level 2
1-4		271	EPS1481	Residential Level 2
1-3	65	271	LMS4610	Residential Level 2
13	65	271	750	Residential Level 2

LOTS TO BE RECLASSIFIED TO GROUND ORIENTED ZONE

Lot	Block	D.L.	Plan	Previous Designation
13	65	271	750, Part W1/2	Residential Level 2
1-2		271	VR2494	Residential Level 2
1-4		271/274	EPS8514	Residential Level 3
1-3	64	271	LMS3714	Residential Level 3
20	64	271	750	Residential Level 3
1-2		271	VR2117	Residential Level 3
1-3		271	BCS1307	Residential Level 3
1-4	64	271/274	BCS3129	Residential Level 3
16	64	271	750	Residential Level 3
1-3		271/548	VR1400	Residential Level 3
E	64	548	16794	Residential Level 3
F	64	548	16794	Residential Level 3
1-2		548	VR511	Residential Level 3
1-2		548	VR512	Residential Level 3
1-2		271	LMS4723	Residential Level 2
1-2		271	LMS4611	Residential Level 2
3	70	271	1420	Residential Level 2
4	70	271	1420	Residential Level 2
5	70	271	1420	Residential Level 2
1-2	70	271	LMS4649	Residential Level 2
7	70	271	1420	Residential Level 2
1-2		271	EPS8997	Residential Level 2
1-2		271	EPS9432	Residential Level 2
10	70	271	1420	Residential Level 2
1-2		271	EPS4074	Residential Level 2
1-2		271	EPS5514	Residential Level 2
1-2		271	VR2329	Residential Level 2
1	71	271	750	Residential Level 3
2	71	271	750	Residential Level 3
1-2	71	271	VR2788	Residential Level 3
5	71	271	750	Residential Level 3
6	71	271	750	Residential Level 3
7	71	271	750	Residential Level 3

CITY OF NORTH VANCOUVER
Development Permit Area Guidelines

Low Rise Neighbourhoods







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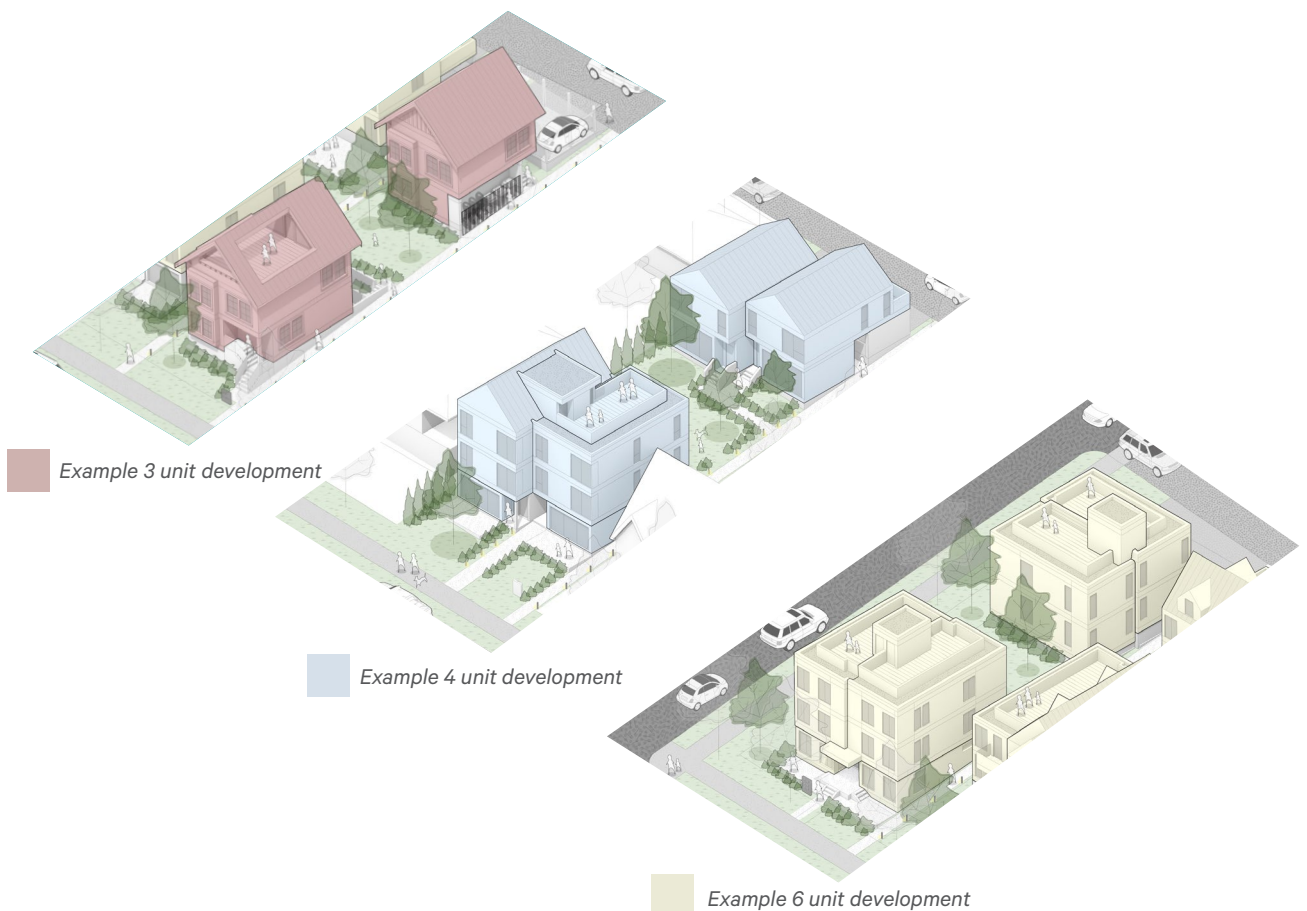
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Introduction

Preface

Ground-oriented housing contributes to the overall quality, livability, sustainability, and sociability of the City as a whole, and creates distinct and memorable neighbourhoods. The Guidelines are intended to ensure development that fits well into the existing neighbourhood fabric, while offering a greater variety of highly livable housing options.

These Guidelines are intended for the development of ground-oriented housing, including developments of up to 6 units per lot in the Lonsdale City Centre and frequent transit areas, and up to 4 units per lot in the City's lower density neighbourhoods. The Guidelines offer design flexibility to support streets with diverse housing types and architectural expression.



Exemptions

A Development Permit shall be required for all subdivisions and for all development on a lot unless one or more of the following conditions applies:

1. A subdivision consists of a parcel line adjustment or consolidation where:
 - a. no additional lots are created,
 - b. no proposed lot would have a width of less than 10 metres, and
 - c. no proposed lot causes non-conformance;
2. A subdivision is undertaken for park purposes;
3. For properties located in zones other than the Ground Oriented Zone: the use permitted on the lot is One-Unit Residential Use, and development is limited to an Accessory Coach House Use;
4. The development is limited to one or more of the following alterations to an existing building:
 - a. Replacement or alteration to a building siding, roofing, doors, building trim, awnings, and/or windows;
 - b. An addition to the rear of the building that does not negatively impact the overall form and character of the building and does not impact the access conditions on site; or
 - c. Replacement of a building that has been destroyed by natural causes, in cases where the replacement building is identical to the original in both form and character;
5. The development is limited to one or more of the following improvements:
 - a. Landscaping alterations and would result in a net increase in Landscaped Area;
 - b. Solid waste management for the property;
 - c. Bicycle and micro-mobility device parking and access;
6. The development is limited to interior renovations;
7. The development is limited to a “minor alteration” to an issued development permit.

Minor alterations to an issued Development Permit, which do not change the manner in which the building or other development authorized by the permit meets the intent of the guidelines, may be permitted without an amendment of the Development Permit, subject to the approval from the City.

Interpretation

Guidelines that use the term **‘shall’** are expectations. An application that fails to demonstrate alignment with these guidelines will not be approved.

Development that will maintain or result in no more than two Dwelling Units on a Lot, and no more than one Building containing Dwelling Units, is only required to meet the Guidelines marked by **‘shall’** expectations.

Guidelines that use the term **‘should’** are also expectations, though unique circumstances may warrant flexible approaches or exceptions. A project that fails to demonstrate alignment with these guidelines and lacks a clear rationale for the misalignment will not be approved. However, a project that fails to demonstrate alignment with these guidelines but does provide a clear rationale as to why—and incorporates alternative measures to support the intention of the guidelines—may be approved.

Guidelines that use the term **‘encourage’** are provided to support the overall design and review process. They address design criteria that generally improve the design quality of a project but may not be suitable in every situation, or essential to a successful project. There is no expectation that every project must meet every guideline that uses the term ‘encourage’. However, a project that comprehensively fails to demonstrate alignment with all of these guidelines may not be approved, as it would be broadly misaligned with the City’s stated expectations of achieving design quality.

Lastly, the graphics are provided for illustrative purposes only to help explain concepts.

Variances

To facilitate implementation of these guidelines, any Development Permit issued for property within this Development Permit Area may, subject to the restrictions of the Local Government Act and unless otherwise specified in these guidelines, vary or supplement any provisions of the bylaws regulating zoning, parking, works and services, drainage, signs, screening, landscaping and subdivision.

The guidelines intentionally leave room for interpretation and creative flexibility. Unique approaches not considered in these guidelines are more likely to be supported when the applicant demonstrates that the intent of the guidelines has been met.

1. Buildings & the Public Realm

INTENT: The siting and design of buildings is important for creating opportunities for neighbourly interactions while maintaining privacy. High quality building materials and attractive design enhance the developments' identity and character, while contributing to the local neighbourhood vernacular.

1.1 Building Siting

Buildings **shall** be located to:

- a. frame the public realm,
- b. create usable private or shared outdoor space on site, and
- c. allow for direct and convenient access from the public sidewalk to dwelling entrances and between buildings.

1.2 Relationship to the Street

Locate buildings close to the street to create a comfortable pedestrian environment:

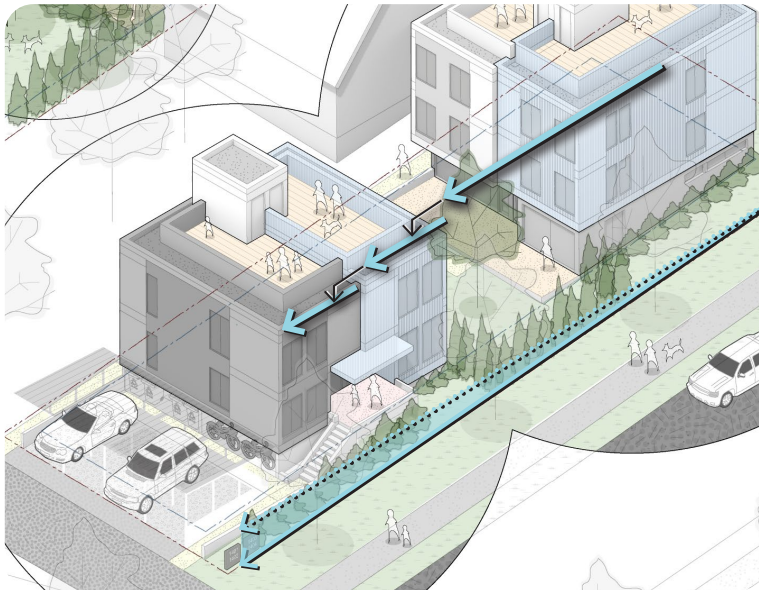
- a. Buildings **shall** be located or set back in a way that is consistent with the intended planned vision of the street. Alternative solutions may be considered for sites that are adjacent to buildings not anticipated to change.
- b. On corner properties, buildings **shall** be located at the corner.
- c. Sites **should** be arranged to maximize the amount of building along the public streets. Additional buildings **should** be located along the laneway.
- d. Any built elements located in the front setback **should** be coordinated with the materials of the building, as well as those of the streetscape.
- e. The use of retaining walls that cut off development from the streetscape and pedestrian network **shall** be minimized.

1.3 Relationship to Open Spaces

- a. Development adjacent to parks, pathways and statutory rights-of-way **should** be oriented to and frame the open space.
- b. Building design and site planning **should** maintain views to open spaces and focal points.
- c. Building design **shall** be used to define usable shared or private outdoor space.

1.4 Responding to Grade

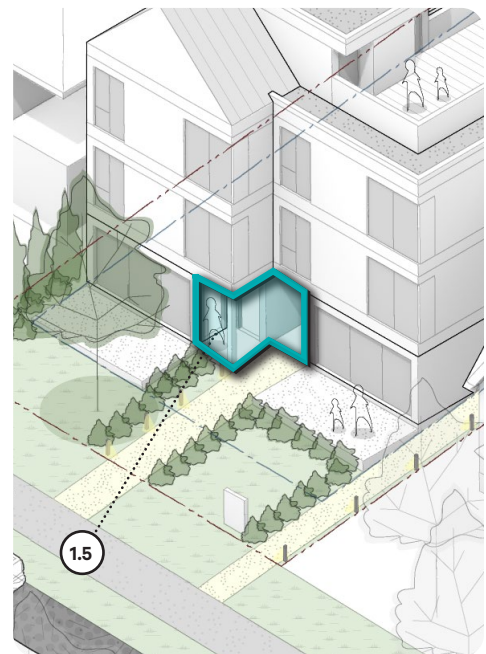
Ground floors **should** step to meet grade on sloped sites, particularly corner lots where the meeting of grade facilitates ground level entries and an improved street relationship.



In this example of a 6-unit development, both ground floors and rooftops step down in a manner consistent with the sloping of the site. This results in articulation of rooftops (even when a project only incorporates flat roofs) and a continuous positive relationship to the street.

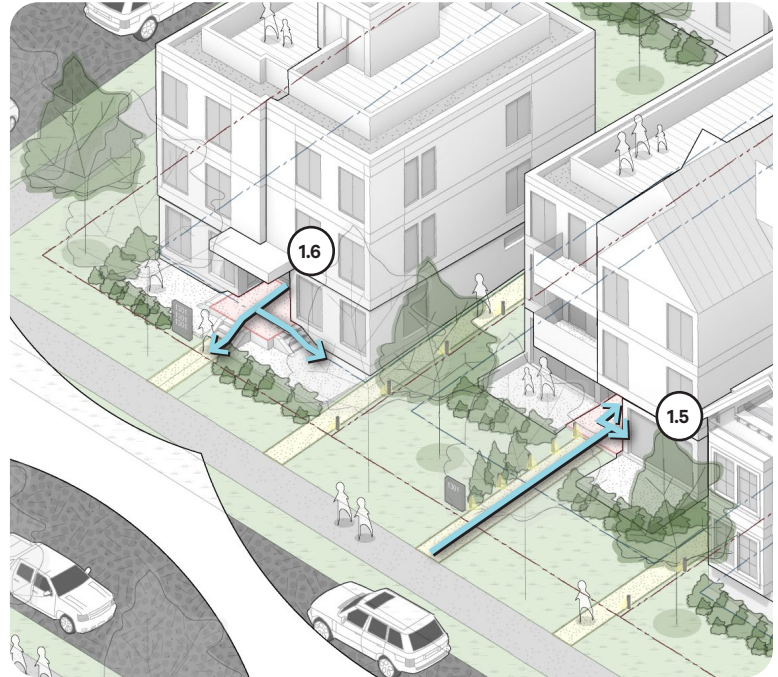
1.5 Building Entrances

- All units **shall** have direct ground-oriented access. This means incorporating an entry door within six steps of finished grade. This prevents excessive stairs connecting spaces either above or below grade and maintains a simplified, harmonized appearance to the building's exterior.
- Front doors **should** have direct walkway connections on façades that face public streets, public parks and open spaces.
- Barrier-free access for single-level, fully accessible units is **encouraged**.
- Ground-floor residential units **should** be raised slightly for privacy.
- Entries **should** be expressed architecturally through the inclusion of a front porch, a recessed entry, or roof overhang. Porches, recessed entries, and roof overhangs tend to be better integrated into overall building design than canopies.



Entries that are recessed and incorporated into the overall architecture of the building are preferred over entries with canopies.

- f. If canopies are included, the design **should** match the overall architectural expression of the building by utilizing materials used elsewhere in the design, mimicking the roof line, and be of modest scale aligning with the door below.
- g. Porches, stoops or terraces with landscaping **should** be provided to support more privacy for ground floor units.



These are examples of 6-unit and 4-unit developments with shared building entrances and individual building entrances that are oriented to the street.

1.6 Shared Building Entrances

- a. For multi-unit buildings in the Regional City Centre, single lobby entrances **should** be designed with weather protection, be easily identifiable, and be integrated into the architectural expression of the building.
- b. When multiple entries are accessed from a shared front porch, the porch **should** be designed as a place of neighbourly interaction and be designed without privacy screens. Private outdoor space should be located elsewhere.

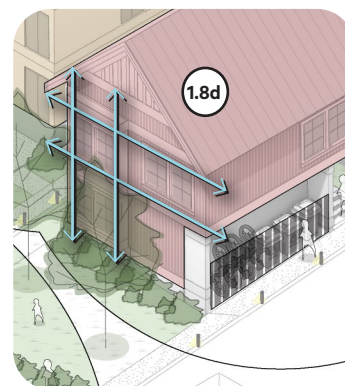
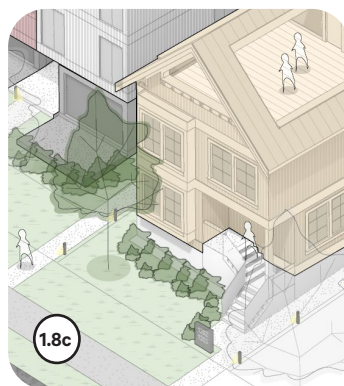
1.7 Buildings and Laneways

- a. Lane frontages **shall** accommodate required parking, garbage/recycling storage areas, and site access requirements.
- b. Remaining space **should** be used for livability enhancements, including one or more of:
 - i. Landscaping and trees, provided that trees are sited such that the majority of their mature canopy diameter will be located within the Lot;
 - ii. Shared outdoor space;
 - iii. Lane-fronting dwelling unit(s) with a rear setback of 2.0 metres or less.
- c. The design **should** incorporate clear visual connections from the lane towards rear yard space, especially when the rear yard includes common or shared amenities.
- d. Rear yard units **should** be oriented to the laneway with shared access paths directly connected to the lane.

- e. Paths from a building that lead to a laneway **shall** have a minimum 1 m deep flush landing without obstructed sightlines to ensure pedestrian visibility when stepping into the laneway.
- f. Active uses in rooms adjacent to the lane are **encouraged**, such as kitchens, living rooms and offices.

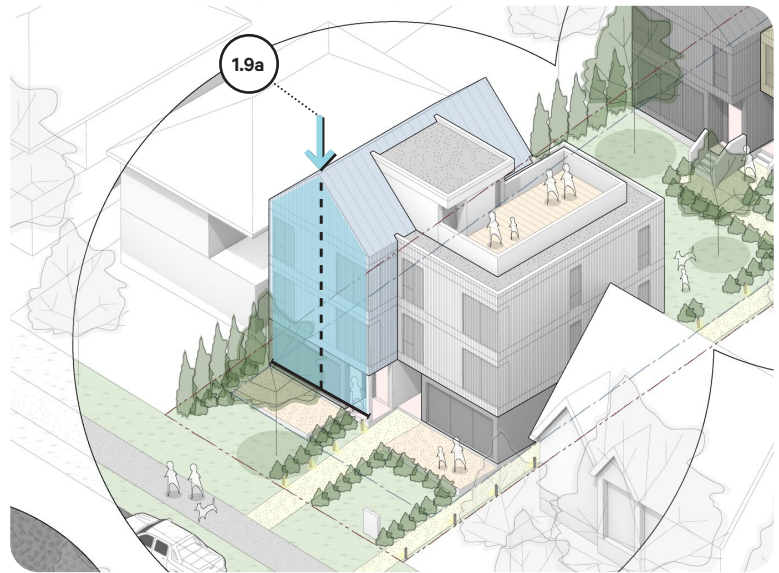
1.8 Building Façades

- a. Tactile materials, appropriate wall openings, ornamentation around windows, and capping **should** be used where appropriate given the architectural expression of the building to enhance the attractiveness and comfort of the public realm.
- b. Natural, low embodied-carbon, durable, and high quality materials **should** be used.
- c. Building entrance design, such as a front porch, **should** create a semi-private space that encourages people to linger and interact with neighbours in the public realm.
- d. Windows **should** align with other windows or building elements either along their vertical or horizontal edges so that they appear harmonized and avoid visual disruption along the façade.
- e. Lobby entrances **should** be differentiated from individual unit entrances through glazing, canopy and/or signage.
- f. Long building façades **shall** be broken up through articulation and/or material change. Materials should generally wrap around exterior corners and change on interior corners.
- g. For townhouses and multi-unit buildings on corner lots, building façade design **shall** establish an edge by massing buildings to the corner and providing a height element, material change, or special architectural features.
- h. Blank walls **should** be avoided. Where non-active façades cannot be avoided, they should be located away from street-facing or lane-facing façades and minimized where possible. Material changes, building articulation and creative lighting may be used to make blank walls appear less imposing, but are not a replacement for such walls and active ground floor uses.



1.9 Building Height and Massing

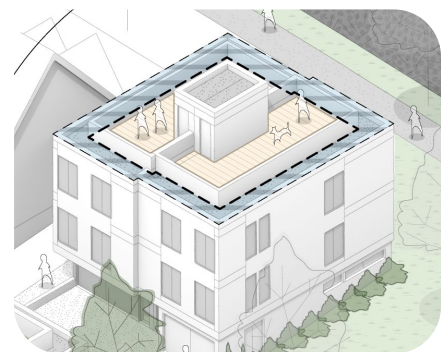
- a. Designs **should** aim to reduce mass and shadow on adjacent sites and maximize visual interest from the street. This can be achieved by the incorporation of peaked roofs, where appropriate.
- b. The following will be considered when evaluating a variance to height for a building:
 - i. Impact of massing on neighbouring properties, in particular, on their amenity/private open spaces;
 - ii. The transition of height between neighbouring buildings;
 - iii. The form, character and the planned vision of the surrounding neighbourhood;
 - iv. The impact of grade on accentuating the height and how that impacts neighbouring sites; and,
 - v. The impact of the requested height on adjacent heritage properties or the design guidelines of a heritage district if the subject site is located in one.
- c. Where it has been demonstrated that a proposed design has met all of the guidelines in section 3.1, the maximum height permitted for rooftop projections may be varied to the extent necessary to support the proposed design.
- d. For townhouses and multi-unit buildings, an appropriate transition of building height, scale, and massing **shall** be provided to ensure potential impacts on neighbouring properties are mitigated through considerate design.



The illustration above indicates the tallest part of the roof is oriented to the street, not the adjacent side yard. The centrepont of the façade is considered to be the façade that is located under the pitched roof, not the centrepont of the building.

1.10 Provide Vertical Articulation for Flat Roofs

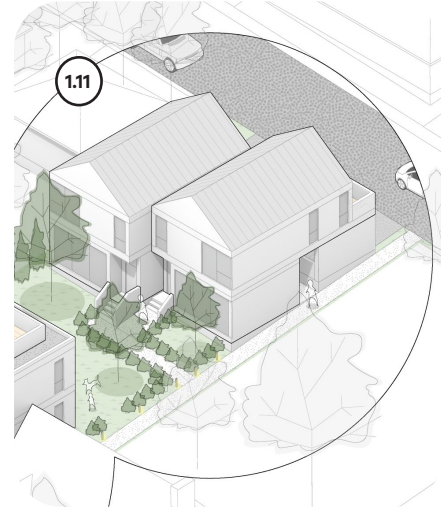
- a. On larger buildings with flat roofs, variations in massing **should** be introduced by limiting the extent of each roof element. For flat roofs, a maximum of 75% of the total building footprint area is appropriate for a single plane. Variations in the building footprint in plan will also help avoid visual monotony in flat roof buildings.



Limit the flat plane of the usable rooftop space and offset it from the building's edge.

1.11 Pitched Roofs

- a. On buildings with three or more units, pitched roofs that are in alignment with individual units and express individual units are **encouraged**.
- b. If rooftops utilize a combination of pitched and flat roof areas, pitched roof designs **should** be located in areas facing the street.



In this example, buildings are offset and have individual roof designs to distinguish each unit.

1.12 Buildings and Narrow Lots

- a. Although the Zoning Bylaw may permit lots as narrow as 7.5 metres, development permits for subdivisions that would create any lots less than 10 metres wide will only be considered in exceptional circumstance. While perfect compliance with all guidelines is rarely feasible, subdivisions proposing these narrow parcels **shall** be subject to a stricter and more rigorous application of the development permit guidelines.
- b. In addition to the other Guidelines, the following will be considered when evaluating a development permit application for subdivision that would create any lot of 10 metres or less in lot width:
 - i. The form, character and the planned vision of the surrounding neighbourhood;
 - ii. The impact of grade on the ability to provide direct ground-oriented access to the front doors of units, and how grade and site planning impact neighbouring sites;
 - iii. Impact of massing on neighbouring properties, in particular, on their amenity/private open spaces;
 - iv. Impact of development on mature tree retention and landscaping requirements;
 - v. Site access and servicing, including parking, garbage/recycling storage areas, site access requirements, and outdoor livability enhancements; and,
 - vi. The ability to meet all life safety and fire protection access requirements.

1.13 Support Active Lifestyles with Functional Storage

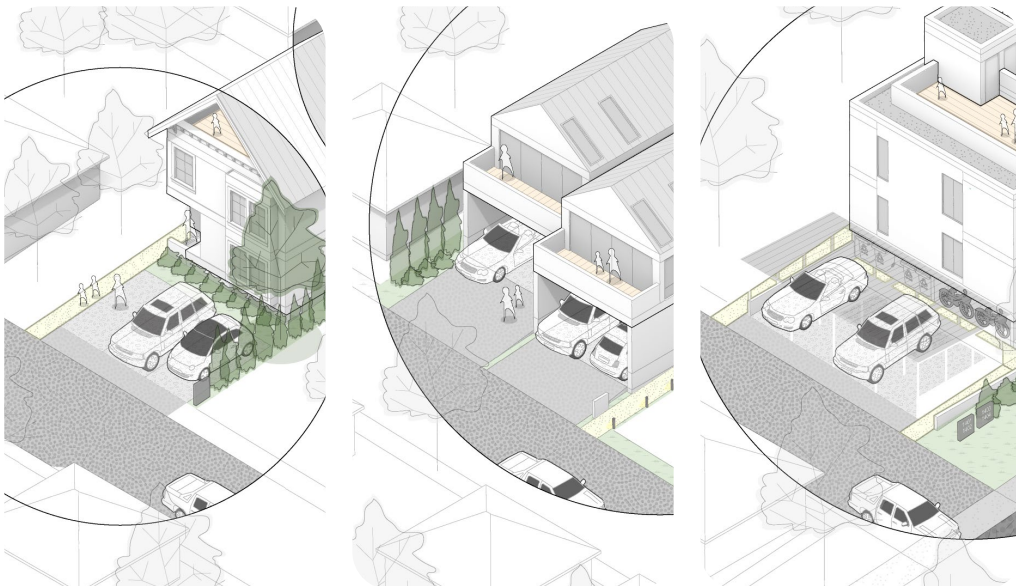
- a. Accessible, secure storage solutions for bikes, sports equipment, and other large mobility and recreational items (Mobility Parking and Recreational Storage) **shall** be designed to encourage active transportation and outdoor recreation.
- b. These storage areas **should** be located in areas with direct access to the street or laneway without the use of stairs.



Provide ample room for Mobility Parking and Recreational Storage in an easy-to-access space.

1.14 Location of Parking

- a. Parking **shall** be located at the rear of the lot and off of the laneway.
- b. In rare situations where parking has been permitted to be accessed from a street, a single shared driveway **shall** be used for all parking. Pavement shall consist of high-quality, permeable specialty pavers.



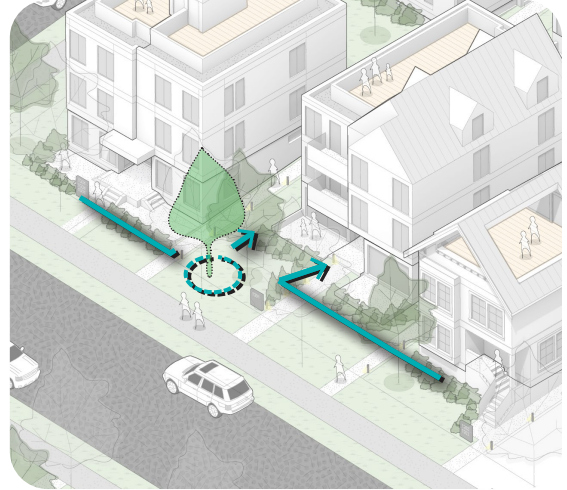
The illustrations above depict multiple potential scenarios along the laneways. In these cases, parking is the predominant element—yet landscape, balconies, and safe pathways are all incorporated.

2. Trees, Soils & Landscape

INTENT: Context sensitive landscape design can enhance the public realm's attractiveness, improve on-site amenity spaces, and contribute to neighbourly interaction. It will also serve a functional purpose by improving stormwater management, reducing the urban heat island effect, and growing the urban tree canopy.

2.1 Respect Site Context

- a. Site planning **shall** respond to existing topography, trees, and site-specific features. Adjust building setbacks where appropriate to preserve natural assets, cultural elements, or enhance pedestrian and ecological connectivity.
- b. Developments **shall** take advantage of site topography and existing trees to minimize impacts on neighbouring sites, for example using terraced retaining walls or by stepping a project to match the slope.



2.2 Retain Existing Mature Trees and Native Soil

- a. Existing mature trees **should** be retained when located within 3m of a front lot line– unless there is a conflict with existing utilities and services or confirmation of pests, disease, or structural defects provided by a certified arborist.
- b. Existing mature trees **should** be retained when located within 3m of any rear lot line – unless there is a conflict with existing utilities and services or confirmation of pests, disease, or structural defects provided by a certified arborist.
- c. Variances in building height, siting, parking and retaining walls may be considered where it can be demonstrated that they support the retention and long-term health of an existing mature and healthy tree.
- d. Retaining native soil on-site is **encouraged**.

Setting buildings back further may allow for the retention of existing mature trees.

2.3 Maintain Low-level Landscaping in Front Yards

- a. Areas within front setbacks **should** incorporate low-level plantings integrated with entryways, porches, and pathways to create a green interface between buildings and streets while maintaining a visual connection between people on the ground floor and the people on the street.
- b. Applicants **should** demonstrate compliance through documenting plant species selection, suitability, and anticipated plant height when mature.

2.4 Grow the Urban Canopy

Zoning requires a minimum amount of landscaped area. Site design **should** thoughtfully arrange these landscaped areas to support a robust and healthy urban tree canopy.

- a. A minimum number of medium* trees **shall** be provided on the lot in accordance with the following table:

Dwelling Units on the Lot	Number of Medium* Trees Required			
	Lot Area (m ²)			
	< 450	≥ 450 to < 550	≥ 550 to < 650	≥ 650
1	2	3	4	5
2	2	2	3	4
3 or more	1	1	2	2



Medium trees are considered to have a canopy width of at least 6 metres **once they reach maturity**. However:

- One medium tree may be considered equivalent to three small trees with canopy width of less than 6 metres but greater than 3 metres **once they reach maturity**.
- Two medium trees may be considered equivalent to one large tree or retention of a significant tree. A **significant tree** means a tree that is 60cm Diameter at Breast Height (DBH) or larger, and a Certified Arborist has provided a statement that the tree is in good health and is expected to remain in good health under the proposed development scheme.

- b. Adequate high quality, uncontaminated soil volumes to support healthy tree growth **shall** be provided.
- c. Soil volumes **should** be provided in accordance with the following table (assuming 1m soil depth):

Tree Size	Minimum Soil Volume (m ³) per Tree	Minimum Shared Soil Volume (m ³) per Tree
Small Tree (canopy width: 3m to 6m)	12	10
Medium Tree (canopy width: 6m to 10m)	20	15
Large Tree (canopy width: greater than 10m)	35	30

- d. The minimum separation distance between new trees and buildings **should** be 3m.

2.5 Use Plantings that Support Habitat Creation and Climate Resilience

- a. Proposed plants **should** include the use of native, adaptive, and drought-tolerant species to protect and improve biodiversity and soil health in a changing climate.
- b. Use of the City's *Urban Tree Species List for a Changing Climate* and *Metro Vancouver's Urban Tree List for Metro Vancouver in a Changing Climate* is **encouraged**.
- c. Rooftop container gardens and urban agriculture is strongly **encouraged** in order to improve the quality of outdoor amenity space and provide additional environmental benefits such as habitat for biodiversity, and passive cooling.
- d. Green infrastructure, such as rain gardens and green roofs, is **encouraged** in order to support stormwater management and the health of the City's waterways.

2.6 Soften Retaining Walls with Landscaping on Steep Sites

Landscaping **should** soften the appearance of retaining walls. The following approaches can help to achieve this guideline:

- Integrate planters into guardrails or other structures on the top of walls, allowing plants to overhang;
- Provide active green walls (vertical structures that are comprised of different types of plants) set within growing medium (soil, stone, or sometimes water) and including built-in irrigation; and
- Provide stepped planters with shrubbery or climbing vines growing from the base with installation of an appropriate irrigation system.

2.7 Maintain Neighbourly Fencing

- a. The maximum fence height in the front setback **shall** be 1.2m.
- b. The maximum fence height in the sideyard setback is 1.6m. The sideyard fence **shall** not project beyond the front building façade.
- c. The rearyard fence **shall** not project beyond the building façade of a rear building.

2.8 Use Dark Sky Lighting

Low-level pathway lighting **shall** be incorporated. This lighting **shall** be dark-sky compliant (shielded fixtures that direct light downwards) and positioned to avoid emitting glare into adjacent buildings.

2.9 Wayfinding

- a. Addresses **shall** be clearly signed and visible from the street for emergency response.
- b. Pathways **should** be shared and legible. This means that they are enhanced through landscaping, planters, wayfinding, or unique paving materials to enhance visibility and placemaking at key entry points.

2.10 Minimize Paved Areas

- a. When two or more units are accessed from the same street, pathways **should** be combined to reduce paved areas in front yards and publicly-facing areas.
- b. For corner lots, a pathway to both the primary street and side street is **encouraged**.
- c. Using paved areas for multiple functions is **encouraged**. Pathways and fire lanes can be designed as multi-functional spaces by widening them, adding linear gardens, seating and vertical garden walls.
- d. The use of specialty pavers that provide for natural drainage of water into the soil are strongly **encouraged**.



Pathways are to be kept to a minimum and designed to be shared, multi-functional spaces.

3. Rooftop Amenity

INTENT: Rooftops enhance livability by providing usable amenity space. These spaces should be designed to integrate with the building's architecture. Impacts to the street and neighbours are to be mitigated by providing varied massing and visual interest.

3.1 Minimal Projections Above Roof Height

The inclusion of stair access boxes, railings, and privacy screens are necessary for the safe access and use of rooftop space. The location of these elements should be designed to mitigate negative impacts on adjacent properties. This means:

- a. The placement of access boxes **should** be near the side or rear of the rooftop space so as to minimize visual impact from the street. These **should** be offset away from adjacent properties to avoid shadowing.
- b. Building walls/parapets **should** be incorporated for safety rather than railings. When using railings, integrate into the overall design using complementary colour and materials to the rest of the building.
- c. Planters and vegetation **should** be integrated in tandem with railings so as to balance the potential for residential privacy while creating positive visual interest from the street.
- d. The use of privacy screens **should** be minimized. The rooftop amenity space **should** be less visible from the street and neighbouring properties by integrating outdoor space into the roof design or design of the building. If privacy screens are used, they **should** be offset from the building edge,
- e. If included, solar panels, solar hot water heating, skylights, and other rooftop elements **should** be integrated into the design of the building. If not included, future locations of these components **should** be identified so as to future-proof the design.



Variations in roof forms contribute to an interesting and visually appealing roofscape that complements neighbourhood character. The guidelines do not set out a single, preferred approach to roof forms. Instead, they encourage the creation of usable rooftop space and embrace variations while mitigating against excessive projections above permitted roof height.

4. Equipment & Services

INTENT: These Guidelines ensure equipment and services are integrated into sites and buildings with careful consideration of the effects on overall building design, mitigating impacts on the public realm and neighbours, and implications on future access and servicing requirements.

4.1 Consolidate Service Utility Connections

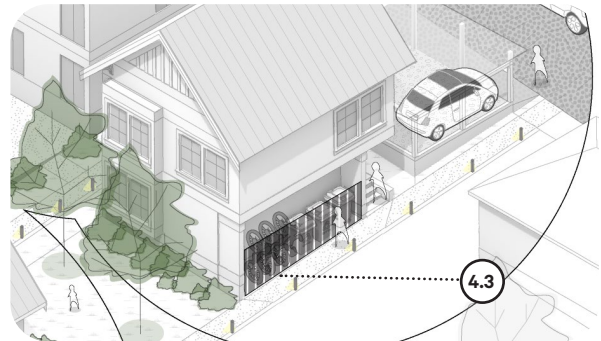
- a. When the existing location of utility connections cannot be kept, connection locations **should** be consolidated to minimize potential future disturbance of the site.
- b. Service utility connections **should** not be located at the front of buildings.

4.2 Screen Heat Pumps

- a. Heat pumps and other mechanical equipment **shall** be placed out of view.
- b. Heat pumps **should** not be placed on individual balconies as these may render the balcony unusable.

4.3 Screened Garbage and Recycling

- a. Areas for parking, garbage/recycling storage, and site access pathways **shall** be visually distinct and clearly identifiable.
- b. Garbage areas **shall** be screened from view and located away from public streets. Side yard locations or areas adjacent to parking with easy access to the laneway are preferred.
- c. Materials consistent with the overall design **should** be used for any area utilized for garbage and recycling.



Garbage and recycling are screened from view. In this case, it is combined with bike storage.

4.4 Align Vents, Gutters, and Other Elements

Vents, gutters, and other external building elements **should** be integrated into the architectural composition of the building. The approximate locations of these **should** be shown in early drawings and applicants are **encouraged** to commit to aligning these elements so as to mitigate against cluttered façades.

Harry Jerome Neighbourhood Lands

Development Permit Area Guidelines

Bylaw No. 9137



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Part I: General Regulations

1.1 Introduction

The Harry Jerome Neighbourhood Lands Development Permit Area boundary and justification is described in Section 2.5 of the Official Community Plan. These guidelines are to be read in conjunction with the Zoning Bylaw.

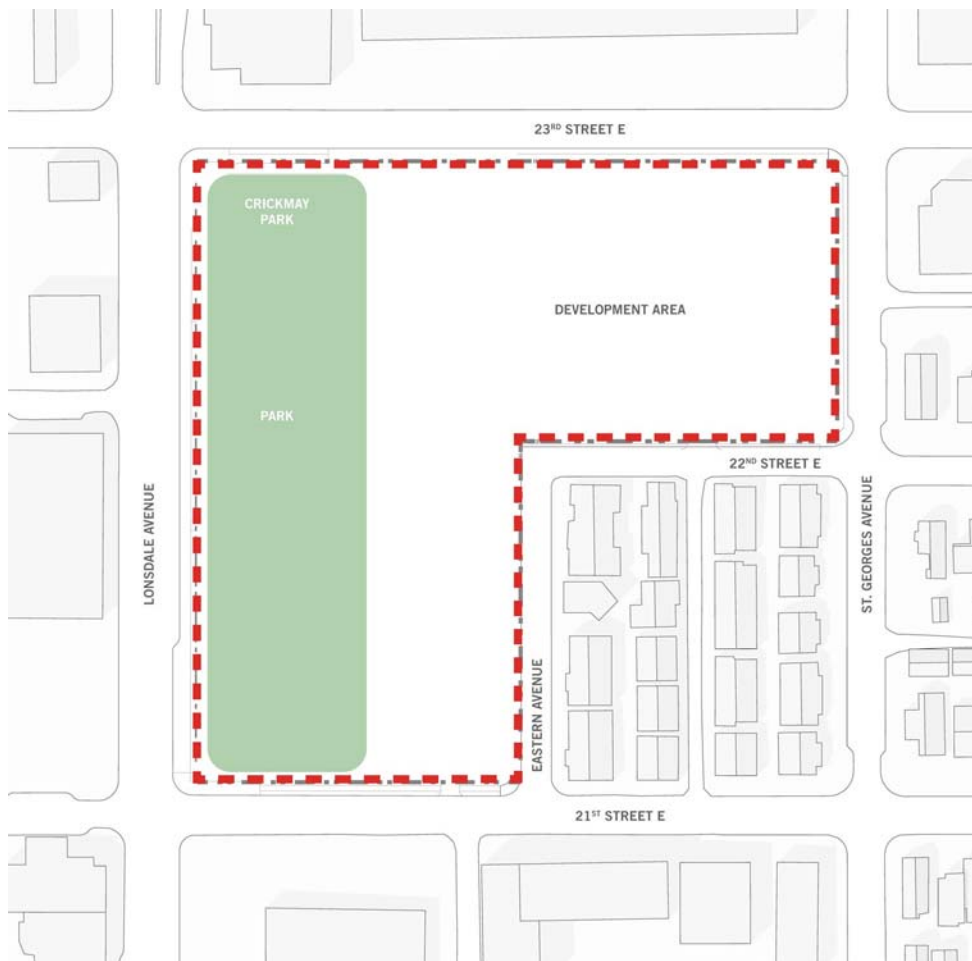


Figure 1. Harry Jerome Neighbourhood Lands Development Permit Area boundaries

The City designates Development Permit Areas (DPAs) with accompanying Guidelines to provide Council and staff with the ability to shape development beyond what is possible through policy or zoning regulations. This DPA is intended to shape development of the Harry Jerome Neighbourhood Lands to help deliver a high-quality environment for people in the City of North Vancouver through multifamily and commercial development which has: 1) form of development, character and open space design of high quality; 2) conservation of energy; 3) conservation of water; and 4) reduction of greenhouse gas emissions.

Where land has been designated by the City of North Vancouver as a Development Permit Area (DPA), the landowner or lessee must first be issued a Development Permit by the City before developing the land. In accordance with Section 489 of the Local Government Act, RSBC 2015, c 1, land within a DPA must not be subdivided, and construction of, addition to, or alteration of a building or other structure must not be commenced, until the landowner or lessee obtains a development permit (unless an exemption under Section 1.3 applies).

These Development Permit Guidelines (the “Guidelines”) are to be considered as part of development proposals on the site and in conjunction with any zoning provisions and development covenant(s) for the Harry Jerome Neighbourhood Lands area. The issuance of a Development Permit must be in accordance with all applicable Guidelines and Strategies.

1.2 Submission Requirements

Every application for a Development Permit must be accompanied by relevant development information in the form prescribed by the City. This information includes, but is not limited to:

- 1) Plans demonstrating:
 - a. the proposed location of all buildings and structures by use;
 - b. the proposed siting of parking areas, and mobility networks and access (walking, bikes, cars, transit);
 - c. the extent and nature of existing and proposed landscaping;
 - d. the proposed character, materials and colour of buildings, roofs and open spaces;
 - e. location of exterior lighting;
 - f. an indication of proposed location, number and type of signage;
 - g. an emergency response plan that includes: locations of emergency response points, locations of Fire Department Siamese connections, location of existing and proposed hydrants, clear widths of streets, and access points to parkades;
 - h. A certified arborist report if any protected trees are planned to be removed, detailing trees retained, proposed to be planted, and reasons for removal to comply with the City's “Tree Bylaw, 2022, No. 8888”.
- 2) Preliminary engineering site plans, including a Preliminary Stormwater Management Strategy.
- 3) Description of how the development will comply with the City's:
 - a. energy performance requirements and sustainability goals;
 - b. adaptable design requirements;
 - c. other applicable Guidelines and Strategies.
- 4) A summary report outlining transportation management plans.
- 5) A synopsis of design intent indicating how the proposal meets the objectives of the overall community, as well as the role it plays in its specific site location in relation to the precinct characteristics.
- 6) Sun/shade diagrams of the subject development and the surrounding properties.
- 7) A Public Art Plan.

The landowner or lessee is required to provide a checklist or statement indicating how their proposal complies with the Guidelines. Where some element of the design does not comply with a Guideline, a justification describing the divergence and the reason must be provided.

At Development Permit stages, the City will require security to ensure the installation and maintenance of landscaping in compliance with the Guidelines. All Development Permit applications must include a professional landscape plan prepared by a Landscape Architect (BCSLA).

1.3 Exemptions

Notwithstanding the designation of an area as a DPA, the Local Government Act provides that conditions may be specified under which a development permit is not required. In the Harry Jerome Neighbourhood Lands DPA, a development permit is not required in the case of:

- A subdivision which consists of a parcel line adjustment or consolidation where no additional lots are created;
- A subdivision for park purposes;
- An internal alteration (a change or extension in the interior of a building relating to any matter or thing regulated by the B.C. Building Code) that does not substantially change the current use previously approved through a DPA;
- Temporary buildings or structures that are erected either for offices for construction or marketing purposes for a period that is not expected to exceed the duration of such construction;
- Minor external renovations to existing buildings which do not significantly alter the footprint or exterior character of the building (at the discretion of the Director of Planning);
- Accessory buildings and structures which do not result in a change to the parking configuration;
- Road or utility works or landscaping within a dedicated road right of way or strata road; and/or
- Green space or trail improvements on public land.

1.4 Amendments

A Development Permit amendment may be required for minor amendments to Development Permits already issued and registered on title, at the discretion of the Director of Planning.

1.5 Variances

To facilitate implementation of these guidelines, any Development Permit issued within this Development Permit Area may, subject to the restrictions of the Local Government Act and unless otherwise specified in these guidelines, vary or supplement any provisions of the bylaws regulating zoning, parking, works and services, drainage, signs, screening, landscaping, and subdivision.

Part II: Conservation Guidelines

2.1 Objective

The mixed-use development of the Harry Jerome Neighbourhood Lands shall make an important contribution to the City's current and future needs of the community with a holistic approach in alignment with the OCP's Sustainable City Framework including Natural Systems, Physical Structures/Infrastructure, Local Economy, Human Potential, Social Connections and Cultural Diversity.

2.2 Energy Conservation and Reduction of Greenhouse Gas Emissions

- 1) All Buildings will be constructed to achieve or exceed the City's standards for energy efficiency and reduction of greenhouse gas emissions (e.g. Energy Step Code and greenhouse gas emissions requirements in the City's "Construction Regulation Bylaw, 2003, No. 7390"). Best efforts will be used to augment energy performance beyond this required level, with demonstrated measures incorporated to ensure the project achieves industry leading levels of energy efficiency;
- 2) Work with Lonsdale Energy Corporation to reduce carbon intensity beyond typical construction in the City for equivalent buildings through the district energy system;
- 3) Use efficient pumps, heat pumps, fans and mechanical equipment.
- 4) Provide enhanced commissioning.
- 5) Within site constraints, develop building siting, form, and scale to minimize interference with view corridors or solar access for existing or anticipated development, and shadowing impacts on adjacent buildings and usable open spaces. Include sun/shade diagrams of the subject development and the surrounding properties at the following times:

March 21: 10 am, 12 noon, 2 pm
June 21: 10 am, 12 noon, 2 pm
- 6) Design landscaping to provide solar access in winter, and in summer shading of afternoon sun and management of the urban heat island effect. While retaining as many existing healthy trees as practical on the site, plant deciduous trees and landscaping and/or provide shading devices on southern and western exposures to reduce undesired solar gain in summer and filter solar heat and light in the winter.
- 7) Use light coloured roofs, sidewalks, plazas, greenways and paths to reduce the urban heat island effect.
- 8) Integrate courtyards and greenways into the design to allow direct sunlight penetration.

- 9) Maximize daylight penetration by locating windows high on walls or by using clerestories and light shelves. To limit solar gain in summer months, external solar shading (e.g. recessed balconies, overhangs, and louvers), should be considered, especially on the south and west elevations of buildings. Balance the benefits of reducing solar gains in summer with the benefit of increasing solar gains in the winter by taking advantage of the different seasonal sun angles which can be evaluated through energy modeling.
- 10) Provide enhanced building control systems such as the installation of smart automation technologies such as timers or occupancy sensors, and programmable thermostats.
- 11) Use Energy Star appliances.
- 12) Use high efficiency exterior private realm lighting, such as LEDs, and direct and shade lighting to minimize light pollution and maximize energy service. Energy efficient motion or photo-sensitive technologies should be considered, along with safety and security considerations.
- 13) Provide energy conservation, operation and maintenance information to tenants and residents.
- 14) Reduce water usage with water efficient fixtures and fittings.
- 15) Consider providing energy and water monitoring and metering systems.
- 16) Improve occupant health by reducing or eliminating indoor air pollutants through the choice of healthy building materials.
- 17) Commit to diversion of construction waste per prevailing City policy.
- 18) Establish and implement an appropriate recycling and composting framework to ensure minimum waste production from the community.

2.3 Water Conservation and Stormwater Management

Developments are required to construct—and to report on—stormwater management works treating water from roads and laneways. This infrastructure must be designed to include allowances for climate change in accordance with the City's Subdivision and Development Control Bylaw.

- 1) Reduce stress on existing stormwater infrastructure and protect aquatic ecosystems in order to keep urban watersheds clean, by designing the landscape with sufficient permeable surfaces and native species that will reduce or eliminate runoff.
- 2) On-site stormwater management facility (detention ponds, bioswales, detention tanks, etc.) should be addressed on site and located on private (leased or owned) land outside of dedicated park space as per the City's "Sewerage and Drainage Utility Bylaw, 1995, No. 6746".
- 3) Reduce or eliminate the need for irrigation by designing the landscape with drought-resistant native species.
- 4) Retain existing healthy trees on the site wherever possible. A Tree Removal Permit must first be issued for any protected tree removal, and removal must comply with the City's "Tree Bylaw, 2022, No. 8888".

- 5) Minimize impervious surfaces through use of the following materials:
 - a. pavers, placed stone or river rock for tree surrounds and areas with infrequent pedestrian use;
 - b. extensive groundcover and planters over parkades; and
 - c. permeable paving for walkways, driveways, exterior courtyard driveways and surface parking, particularly where stormwater discharge into on-site infiltration facilities is not practical.
- 6) Incorporate on-site landscaping infiltration strategies including:
 - a. finish grading comprised of topsoil or composted waste;
 - b. engineered rock pits and soil cells; and
 - c. visible features such as rain gardens or linked bioswales.
- 7) Minimize hard surface pathways to only those providing access to dwelling units, common outdoor space and on-site service infrastructure.
- 8) Consider active and/or passive green roofs to reduce the impact of increased building lot coverage on stormwater runoff and urban heat island effect.

2.4 Transportation Demand Management

- 1) Provide a range of emission-free mobility options including bike sharing, dedicated spots for car sharing and carpools.
- 2) Consider various transportation demand management (TDM) strategies to encourage walking, cycling, car share, and transit use over vehicle use, such as:
 - a. secure bicycle parking for a range of device sizes;
 - b. car share vehicles, membership or minutes, and other shared mobility options;
 - c. transit passes or subsidies;
 - d. parking management tools such as unbundled parking;
- 3) Design the public and private circulation network to support direct, simple, and visible access to transit facilities and easy and accessible navigation along cycling and walking paths.

Part III: Form & Character Guidelines

3.1 Objective

Along with development of the adjacent new Harry Jerome Community Recreation Centre, the mixed-use development of the Harry Jerome Neighbourhood Lands aims to create a vibrant urban community, anchoring the northern end of the Lonsdale Corridor and enhancing the pedestrian experience along Lonsdale Avenue. Development of the Harry Jerome Neighbourhood Lands aims to create an attractive urban environment with a mix of residential and commercial uses that serve to animate and enhance public spaces and amenities in this precinct.

Specific form and character objectives:

- Ensure that the form and character of residential, multi-family, mixed use and other development is a desirable, attractive addition to the City of North Vancouver; and
- Ensure that development delivers desirable public realm, landscaping, exterior design and finish of buildings and structures at each phase of development.

3.2 Site Planning

The conceptual site plan in Figure 2 illustrates one approach to laying out buildings and floorspace on-site taking into consideration the Guidelines. This is provided for illustrative purposes only.



Figure 2. Illustrative Site Plan

- Guideline 3.2.1 Animate the overall site by creating open spaces and gathering nodes that foster socializing, recreation and play, and that incorporate public art.
- Guideline 3.2.2 Incorporate open spaces as site organizing features.
- Guideline 3.2.3 Locate and orient a minimum 0.9 ha public park along Lonsdale Avenue spanning between 21st and 23rd streets.
- Guideline 3.2.4 Connect adjacent areas by pedestrian and bicycle paths to create a walking and cycling friendly addition to the neighbourhood.
- Guideline 3.2.5 Accommodate the Green Necklace, serving both cyclists and pedestrians, on the portion of the Harry Jerome Neighbourhood Lands allocated for park, connecting from the southwest corner of the park (at Lonsdale Avenue and 21st Street) to the northeast corner of the park to a midblock pedestrian crossing on 23rd Street.
- Guideline 3.2.6 Respond to the sloping site topography by ensuring that the Green Necklace is accessible along its entire length, with a gradient of no more than 5%. The Green Necklace should encourage walking and rolling in a way that is intuitive, direct, comfortable, accessible, and mode separated where possible.
- Guideline 3.2.7 Provide public pedestrian pathway access into the park along the east-west alignment of 22nd Street and the north-south alignment of Eastern Avenue.
- Guideline 3.2.8 Provide secondary pedestrian pathway accesses into and across the site as determined by use, to facilitate connections to the park and new Harry Jerome Community Recreation Centre via the Green Necklace, while preserving large open space areas.
- Guideline 3.2.9 Retain existing healthy trees on the site wherever possible and retain all healthy trees on the west side of the site. Where mature, protected trees are required to be removed as per permitted reasons under the City's "Tree Bylaw, 2022, No. 8888", provide a certified arborist report detailing the trees to be removed, indicate where planting will occur, providing space within the development for new replacement trees. Provide a tree protection plan to identify trees that will be retained and a tree replacement plan.
- Guideline 3.2.10 Refer to the City's arborist report on recommendations for removal of large trees. Trees shall be replaced at a minimum replacement ratio of 3:1, and will require the payment of an ecological compensation fee as per the "Tree Bylaw, 2022, No. 8888". New tree planting regime should be of sufficient standard to ensure that replacement trees will grow and have healthy establishment. This includes minimum standards for caliper, size, soil, volume, etc. that can be referred to in the ANSI A300 Standard Guidelines and in the City's "Tree Bylaw, 2022, No. 8888".

3.3 Building Envelope

- Guideline 3.3.1** Building siting and orientation should respond to the siting and orientation of the new Harry Jerome Community Recreation Centre.
- Guideline 3.3.2** A maximum of two towers (any building over 6 storeys in height) will be permitted on the site. The towers should preferably be offset, with the southernmost tower being the higher tower.
- Guideline 3.3.3** The towers should be sited to reduce shading on the new Harry Jerome Community Recreation Centre and its outdoor open spaces.
- Guideline 3.3.4** A minimum separation distance of 30.48 m (100 ft.) should be maintained between the extreme corners of towers that are directly opposite one another. A minimum separation distance of 24.38m (80 ft.) will be considered provided the towers are sufficiently offset to minimize overlook and direct views into each other. Refer to Fig. 3 below.

Figure 3

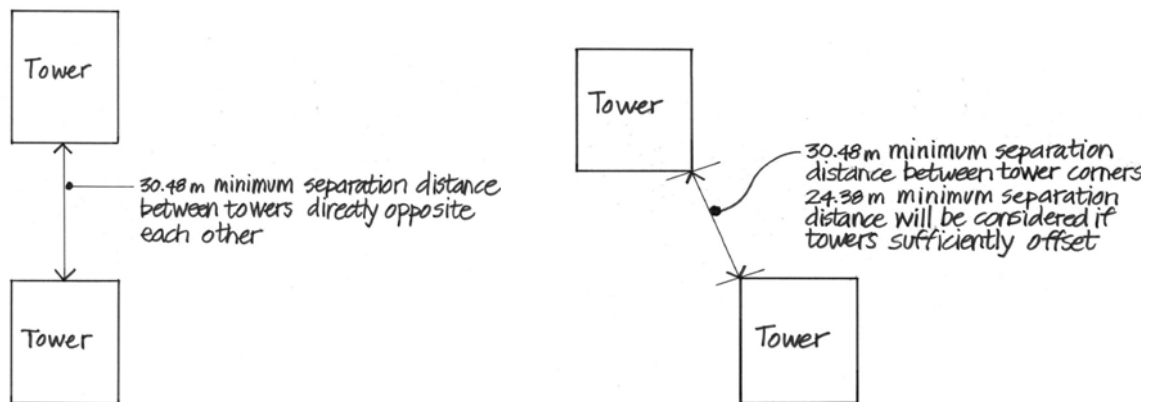


Figure 3. Minimum separation distances between towers

- Guideline 3.3.5** A maximum separation distance of 6.7 m (22 ft.) should be maintained between the lower (ground and second) floors of buildings that are directly opposite each other.
- Guideline 3.3.6** Optimize minimum separation distances between floors above the second floor of buildings that are directly opposite each other, in order to reduce privacy overlook and maximize sunlight penetration.
- Guideline 3.3.7** Taller buildings should employ passive solar controls, in order to reduce energy consumption, and should be oriented to optimize daylight access to public and private spaces, reduce shadowing across the future Harry Jerome Community Recreation Centre to the north, and maximize public views to and from the HJCRC, the North Shore Mountains to the north and Burrard Inlet to the south and west.

Guideline 3.3.8
Figure 4

The maximum floor plate dimension, exclusive of balconies, in any one direction of portions of buildings exceeding 6 storeys in height should be approximately 35.0 m (115 ft.), to reduce the bulk and massing of towers. Refer to Fig. 4 below.

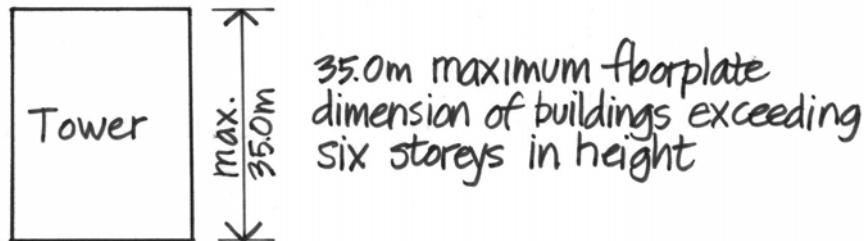


Figure 4. Maximum floorplate dimension for taller buildings

Guideline 3.3.9

Tower footprints should be articulated to support and help define the urban realm. This means building edges that frame and align with adjacent pathways and open spaces. The footprint of the northwestern-most building (i.e. building M1 in Figure 2) does not need to frame and align with the Green Necklace trail, so that there can be sufficient patio space to activate the retail frontage facing the park.

Guideline 3.3.10
Figure 5

Minimize shadowing and scale impacts of new buildings on the existing neighbouring townhouses on Eastern Avenue by considering terracing/stepping back upper building floors, breaking up long building facades into smaller discrete sections that reflect the scale of existing built forms opposite, and extensive landscaping to screen new buildings. Refer to Fig. 5 below.

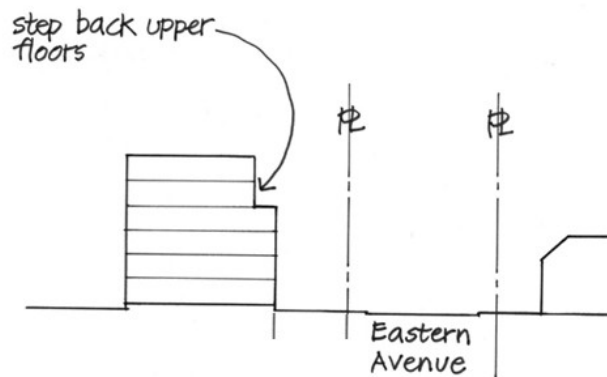


Figure 5. Step back of buildings facing Eastern Avenue

Guideline 3.3.11

Building siting and orientation should help to clearly define and animate the public realm. This means low-rise and mid-rise residential buildings should address surrounding streets with direct individual unit access at grade facing the street where practical. It also means retail commercial uses should be directly visible and accessible from the street or public park. Where appropriate, buildings should be set back to support patio activations.

Guideline 3.3.12

Consider increased setbacks along 23rd Street (i.e. more than the 2.0 metre setback required in the CD-703 Zone) if there are townhouse units that face 23rd Street.

Guideline 3.3.13

Figure 6

Buildings with commercial uses (e.g. grocery stores, restaurants, coffee shops, etc.) at grade facing the new park and Green Necklace and/or streets should incorporate active, transparent ground floor facades providing visibility into commercial interiors from the park and Green Necklace and/or adjacent streets. This guideline targets a minimum glazing area of approximately 75% of the total facade length for commercial frontages facing the park and/or adjacent streets. Predominantly opaque, translucent or blank facades facing the park and/or adjacent streets are not permitted. Tenants shall not block windows and must maintain their transparency. Refer to Fig. 6 below.

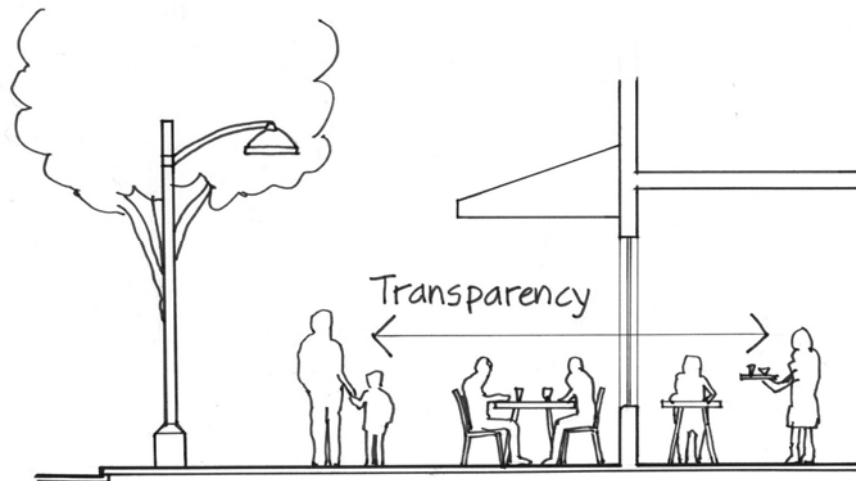


Figure 6. Active, transparent ground floor facades for commercial buildings, with visibility into interiors from the park and/or adjacent streets



This



Not This

- Guideline 3.3.14** Provide fixed weather protection extending at least 1.5 m (5 ft.) out for pedestrians on all commercial frontages. Such protection should be located at a height that optimizes weather protection while ensuring adequate serviceability.
- Guideline 3.3.15** An appropriate floor to floor height of approximately 4.26 m (14 ft.) should be provided for all ground floor commercial space, which may vary depending on specific uses.
- Guideline 3.3.16** In order to achieve a desirable streetscape and to communicate a pedestrian scale, any building over 61 m (200 ft.) in length should have a ground floor break, or a setback that meets the following minimum standards:
- (a) 7.3 metre (24 ft.) length of the building frontage that includes the midpoint of the building frontage;
 - (b) 3.6 metre (12 ft.) depth from the building face;
 - (c) building program variation to emphasize this separation through the location of lobby, common amenity areas, visual permeability and/or active design elements; and
 - (d) design variation to emphasize this separation through a physical breezeway through the building, or changes in setback from the Front Lot Line, materiality and facade elements.
- Guideline 3.3.17** Ground floor residential units in low-rise buildings should contribute to residential identity and neighbourhood vitality, by having direct front door access from the street where practical, and being designed to provide “eyes on the street.”
- Guideline 3.3.18**
Figure 7 Subject to accessibility considerations, ground floor residential units facing a street should be raised a minimum of 0.6 m (2 ft.) above adjacent grade, to provide for a clear separation of public and private realms and enhance “eyes on the street”. Refer to Fig. 7 below.
- Guideline 3.3.19**
Figure 7 Transitional private and semi-private spaces between buildings and public open space should be clearly defined. Where practical, ground floor street-facing residential units should have slightly raised entries and patios or achieve this separation through landscaping, planting, and/or fencing/gates.

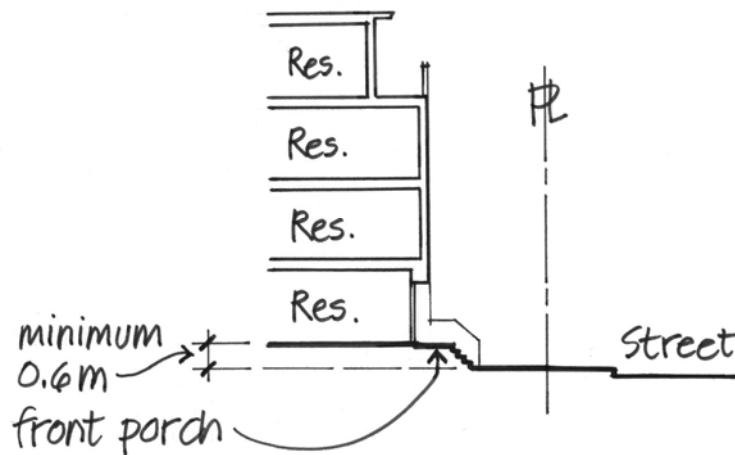


Figure 7. Ground floor residential units facing a street raised a minimum of 0.6 m

- Guideline 3.3.20

At-grade units facing a public park or semi-private open space should have direct access to such open space and parks, and be gently stepped to grade, for the enjoyment of families with children.
- Guideline 3.3.21

Site buildings to maximize opportunities for creating usable, well-integrated private open spaces for residents.

3.4 Building Design

- Guideline 3.4.1

Strive for design excellence by employing contemporary architectural expression, with a family of varied yet related forms. Contemporary architectural expression means, in this context, clean, simple built form massing and building profiles; predominantly flat roofs; extensive use of contemporary materials such as concrete, glass, aluminum and wood; contemporary facades that are free of visual clutter; and avoiding ornate and traditional design elements such as trim associated with single-family housing.
- Guideline 3.4.2

Towers should be designed to be distinctive, yet clearly part of an overall shared expression.
- Guideline 3.4.3

Towers should be designed with a distinct expression of the base, middle and top.
- Guideline 3.4.4

At least one tower should be designed as an iconic, distinctive vertical building form that acts as a landmark gateway to the Lonsdale Corridor from the north. This can be achieved by employing a unique, distinctive footprint and floorplate shape, and use of such design strategies as curved, angled or faceted facades, exterior vertical design elements, stepping/terracing towards the top, a distinctive roof profile and/or mast, a distinctive exterior materials palate with more than one colour, and exterior feature lighting. Refer to Fig. 8 below.

Figure 8

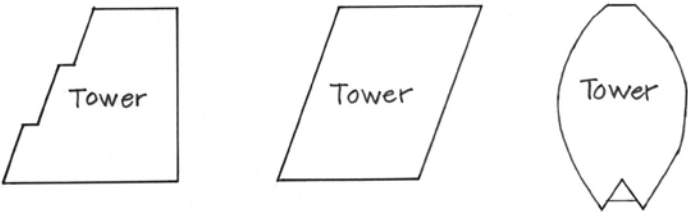


Figure 8. Distinctive floorplate shape options for landmark tower



Examples of iconic, distinctive residential towers

1. Aspire Apartments
2. A'Beckett Tower

Sydney, Australia (source: Marchese Partners)
Melbourne, Australia (source: Elenberg Fraser)

Guideline 3.4.5

Authentic, high quality, durable and regionally available exterior materials should be used. Materials such as HardiPlank, stucco and vinyl siding are not allowed.

Guideline 3.4.6

Durable and distinctive weather protection should be provided at residential lobbies, along commercial frontages, and above all entries.



Durable and distinctive weather protection features

Guideline 3.4.7 Roof forms of high-rise buildings should contribute to a distinctive skyline. Mechanical units and equipment should be screened and integrated into the architecture of the building.

Guideline 3.4.8 Facade treatments should respond appropriately to solar orientation, with sunscreens, recesses, overhangs, etc., to minimize direct sunlight, and with smaller window areas facing north to minimize winter heat loss. Fenestration materials and envelope design should meet current best practices for retaining heat (i.e. C values).



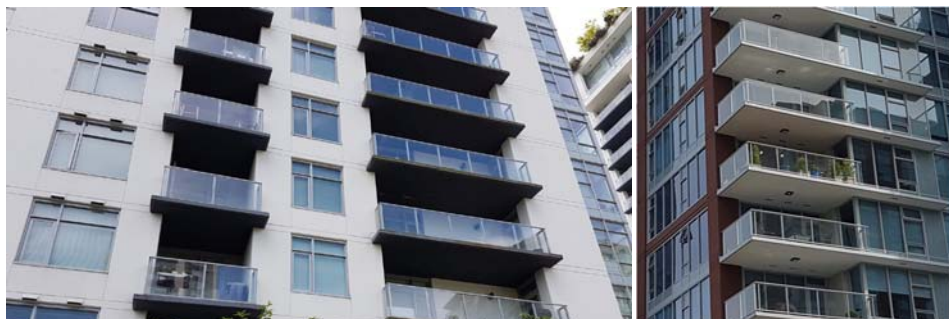
High-rises with distinctive roof forms

Guideline 3.4.9 Balconies, solar controls, overhangs, roof decks, rooftop appurtenances and other architectural elements should fit with the overall building expression.

Guideline 3.4.10 Generally, all dwelling units should have directly accessible and usable private space, in the form of patios, balconies, Juliet balconies, sliders with railings, terraces or roof decks.

Guideline 3.4.11 Design balconies to maximize usability and comfort, with an approximate minimum depth of 1.5 m (5 ft.).

Guideline 3.4.12 Avoid designs which increase the apparent visual mass of a tower (e.g. wrap around balconies).



Examples of well-designed, usable balconies

- Guideline 3.4.13** Rooftop amenities should be designed to contribute to the social life of residents with opportunities for passive enjoyment, through combinations of extensive greenery and gathering spaces.
- Guideline 3.4.14** Explore opportunities for incorporating greenery as a defining element of building designs above the ground level wherever possible in order to soften the appearance and ensure all residents have visual access to greenery, which could include integrated planters, green wall systems, trellises, vines, etc.
- Guideline 3.4.15** Building corners facing a street should be accentuated through the use of architectural details, massing, and other design expression.
- Guideline 3.4.16** Design private open spaces to increase livability in the neighbourhood by balancing the need for privacy with the desire for vibrancy and public activity.



Greenery as an element of above-ground building design



Accentuated building corner design expression facing the street

3.5 Open Space and Access

- Guideline 3.5.1** Accommodate the Green Necklace, serving both cyclists and pedestrians, on the park, connecting from the southwest corner of the park (at Lonsdale Avenue and 21st Street) to the northeast corner of the park to a new at-grade pedestrian crossing on 23rd Street connecting the park to the new Harry Jerome Community Recreation Centre.
- Guideline 3.5.2** The Green Necklace should include separated and parallel pedestrian and cycle routes.
- Guideline 3.5.3** The Green Necklace should be universally accessible, with a gradient of no more than 5%.
- Guideline 3.5.4** The Green Necklace interface with the northwestern-most building (i.e. building M1 in Figure 2) should be enhanced by providing casual surveillance and active uses such as cafes and restaurants, and through building details such as transparent building facades facing the park. Where practical, back of house, service rooms, and blank walls should preferably not face the park.
- Guideline 3.5.5** Include an east-west public pedestrian route and visual axis from St. George's Avenue to the park, along the 22nd Street alignment (north side of the street).
- Guideline 3.5.6** Enhance the prominence of public assets (e.g. the Harry Jerome Community Recreation Centre and the park) through the design of the Green Necklace and connections to it. Connections to the park should be straight pathways and should be accessible. Tree canopies on both sides of pathways are encouraged.
- Guideline 3.5.7** Open spaces on development sites should be designed with permeability and visual access towards public spaces.



Conceptual illustration of the Green Necklace Network across the Neighbourhood Lands

- Guideline 3.5.8** Provide a new at-grade pedestrian crosswalk across 23rd Street. The specific location of this crosswalk will be determined through a City-led technical exercise.
- Guideline 3.5.9** Provide landscaped transition areas between private open spaces (including ground floor residential or retail/service patios) and public park space. If grade changes are required, retaining walls are to be accommodated on private property.
- Guideline 3.5.10** To facilitate an appropriate transition between public and private open spaces, avoid the use of large blank retaining walls adjacent to public areas through effective terracing that responds to site topography.



Examples of effective terracing in response to site topography

- Guideline 3.5.11** For public-private open space interface between street-facing residential buildings, wherever practical a minimum 1.2 m (4 ft.) landscaped area should adjoin the street with limited hardscape, such as paths, stairways, retaining walls, decks and patios.
- Guideline 3.5.12** Incorporate urban agriculture/community gardens for residents either on roofs or in private open space, where practical.



Examples of landscaped public-private open space interfaces

- Guideline 3.5.13 Fences within required front, rear or exterior side lot setback should be:
- (a) visually open;
 - (b) no greater than 1.2 m (4 ft.) in height, where possible;
 - (c) when upslope from the street defining the setback, the maximum fence height should be measured from the lowest finished grade within 0.5 m (1.6 ft.), where possible; and
 - (d) integrated with landscaping through use of trellises, planted screens and low hedges, where possible.
- Guideline 3.5.14 Planting should be drought resistant and pollinator friendly.
- Guideline 3.5.15 Green spaces, including courtyards and street boulevards, should contribute to increasing the City's urban tree canopy, in support of the goals set out in the City's *Climate and Environment Strategy*.
- Guideline 3.5.16 Where feasible, underground parking structures should be set back from the Green Necklace interface to allow generous soil volume and water infiltration on development sites.
- Guideline 3.5.17 Consider incorporating dog facilities including relief areas in open spaces in alignment with the City's *Dog Friendly City Framework*.

3.6 Circulation and Parking

- Guideline 3.6.1 No parking garage entrances will be permitted off Lonsdale Avenue or 23rd Street.
- Guideline 3.6.2 No above-grade parking structures will be permitted.
- Guideline 3.6.3 All required on-site parking is to be contained within site boundaries. No underground parking will be permitted beneath streets or City-owned park area;
- Guideline 3.6.4 Parking garage layouts and access should take into account development phasing;
- Guideline 3.6.5 Location of parking entrances to underground parking structures must mitigate the impacts of motor vehicles on pedestrians and the public realm.
- Guideline 3.6.6 Parking entrances must be integrated into the buildings or landscape, and exposed walls and soffits must be architecturally treated and/or screened.
- Guideline 3.6.7 Sight visibility requirements must be met at parkade entrances to ensure safety for vehicles and pedestrians.
- Guideline 3.6.8 Loading areas should be located on development sites with a loading management plan provided.
- Guideline 3.6.9 Clearance at garage entrances must be able to accommodate the largest commercial vehicle accessing any internal loading bay, and have a minimum clearance height of 2.134m (7 ft.).

Guideline 3.6.10	Access to secured residential parking, loading and service areas is encouraged to be shared by adjacent commercial uses, but separate parking access should be encouraged in the case of a hotel use.
Guideline 3.6.11	Consideration may be given to reducing the required residential and commercial parking below the amounts required under the Zoning Bylaw, including through the shared use of parking stalls between commercial and visitors, provided that: • the decrease can be justified based on a parking demand study; • means of meeting anticipated parking demand have been identified (e.g. the availability of parking in a nearby facility); and, • means of reducing anticipated parking demand have been identified (e.g. the availability of high level public transit service, use of transportation demand management (TDM) measures).
Guideline 3.6.12	Provide secure parking for each residential building with direct vertical access to each main building entrance.
Guideline 3.6.13	Consider combining visitor parking for residential and commercial buildings.
Guideline 3.6.14	Include clearly identified visitor parking. Consider short term retail parking regulations and/or fees, to encourage a high turnover of users
Guideline 3.6.15	Incorporate preferential parking for carpool and car share to encourage alternative modes of transportation.
Guideline 3.6.16	Waste collection, staging, and tipping as well as general loading areas should preferably be located away from the public realm and hidden from direct views onto the public realm in general.
Guideline 3.6.17	The circulation, access, and parking network, and associated building amenities, should be designed with consideration of transportation demand management (TDM) measures, to encourage walking, cycling, car share, and transit use over personal vehicle use.
Guideline 3.6.18	Parkade entries should have clear and effective wayfinding signage and incorporate CPTED strategies to create safe, secure areas for users.
Guideline 3.6.19	Parking garage ramps and/or loading entrances should be unobtrusive and recessed, screened, or incorporated into the building in a manner that contributes to the attractiveness of the streetscape and minimizes the impact on the public realm.
Guideline 3.6.20	All residential parking spaces shall feature an energized outlet capable of providing charging to the parking space with specifications as outlined in the Zoning Bylaw.



Recessed parking garage ramp



Electrical vehicle charging station

3.7 Safety and Accessibility

- Guideline 3.7.1** Apply principles of Crime Prevention Through Environmental Design (CPTED) to create safe, secure and pleasant buildings and open spaces accessible to people of all abilities.
- Guideline 3.7.2** Encourage casual surveillance and “eyes on the street,” through the placement of windows, balconies and active street-level uses. Avoid blank, windowless walls.
- Guideline 3.7.3** Take into account the following factors to design urban spaces which people feel safe to use:
- Lighting (designed to maximize visibility of faces and minimize glare);
 - Sightlines (ability to see the route ahead, and to observe open spaces from buildings);
 - Entrapment Spots (avoid small areas shielded on three sides);
 - Movement Predictors (avoid unchangeable routes or paths which offer no choice to pedestrians);
 - Visibility by Others (design for seeing and being seen);
 - Wayfinding is clear and universally accessible; and
 - Sense of Ownership (linked with responsive space management and participatory design; fits with the features of street-facing layouts, well-defined access, through routes and well-used public spaces).
- Guideline 3.7.4** Consider ‘visitability’ access for all residences. Consider additional adaptive features for ‘aging in place’ and universal accessibility.
- Guideline 3.7.5** Create universally accessible public and private spaces that consider all users such as people with disabilities, the elderly, parents with strollers, and young children.
- Guideline 3.7.6** Accommodate people of all abilities by ensuring that pedestrian routes and access points are fully accessible to people with limited mobility (including those with strollers), with a minimum clear width of 2 m (6.5 ft.).
- Guideline 3.7.7** Create spaces that are inclusive of all people by integrating seamless grade changes (wide and accessible ramps) into overall circulation routes (i.e. without use of separate ramps).

- Guideline 3.7.8** Avoid the use of “stramps” or ramps with drop-offs to stairs, which are a hazard to wheelchair users and the blind and partially sighted.
- Guideline 3.7.9** Ensure that pedestrian routes and access points are fully accessible to people with limited mobility or pushing wheeled devices such as strollers. Incorporate flat transition areas into the design.
- Guideline 3.7.10** Integrate high contrast colours and design elements as well as legible tactile surfaces at key wayfinding points and design elements (including stairs and intersections), in order to address the needs of the blind and partially sighted.
- Guideline 3.7.11** Consider the impact on all users when designing outdoor flooring and paving materials. High contrast patterns and painted designs can be disorienting to blind and partially sighted pedestrians, and pavers or paving with frequent expansion joints are uncomfortable for people using mobility devices.
- Guideline 3.7.12** Include two let-downs at intersections for improved directionality and other standard designs where possible, such that streetscapes and the public realm can be “read” and understood by people who are visually impaired.
- Guideline 3.7.13** Where appropriate, consider physically separated paths between different modes of travel.
- Guideline 3.7.14** Avoid slip hazards by applying maintenance guidelines that incorporate best practices for surface cleaning (with regard to leaf / snow removal), or consider planting evergreen trees instead of deciduous trees in proximity to major pedestrian pathways.



Examples of usable outdoor seating

- Guideline 3.7.15** Encourage seating with backrests in publicly accessible areas. A minimum seat depth of 40 cm should be provided for seats without backrests or with backrests less than 30 cm high. A minimum seat depth of 35 cm should be provided for seats with backrests at least 30 cm high.
- Guideline 3.7.16** Accessible parking spaces should be located as close to the main entrances of buildings as possible.
- Guideline 3.7.17** Landscaping along the sidewalk should be strategically located so as to not restrict movements by mobility device users exiting their vehicles.