

IMPORTANT: This draft bylaw is being published for informational purposes only and is subject to further change.

Purpose:

The Low Rise Small Scale Multi-Unit Housing Zone permits a range of low density, ground-oriented residential housing and limited commercial uses in forms that enhance neighbourhood comfort, walkability and connectedness, and that support a healthy urban tree canopy. Permitted uses include residential, supportive community uses and home-based businesses.

Permitted Uses and Use-Specific Conditions

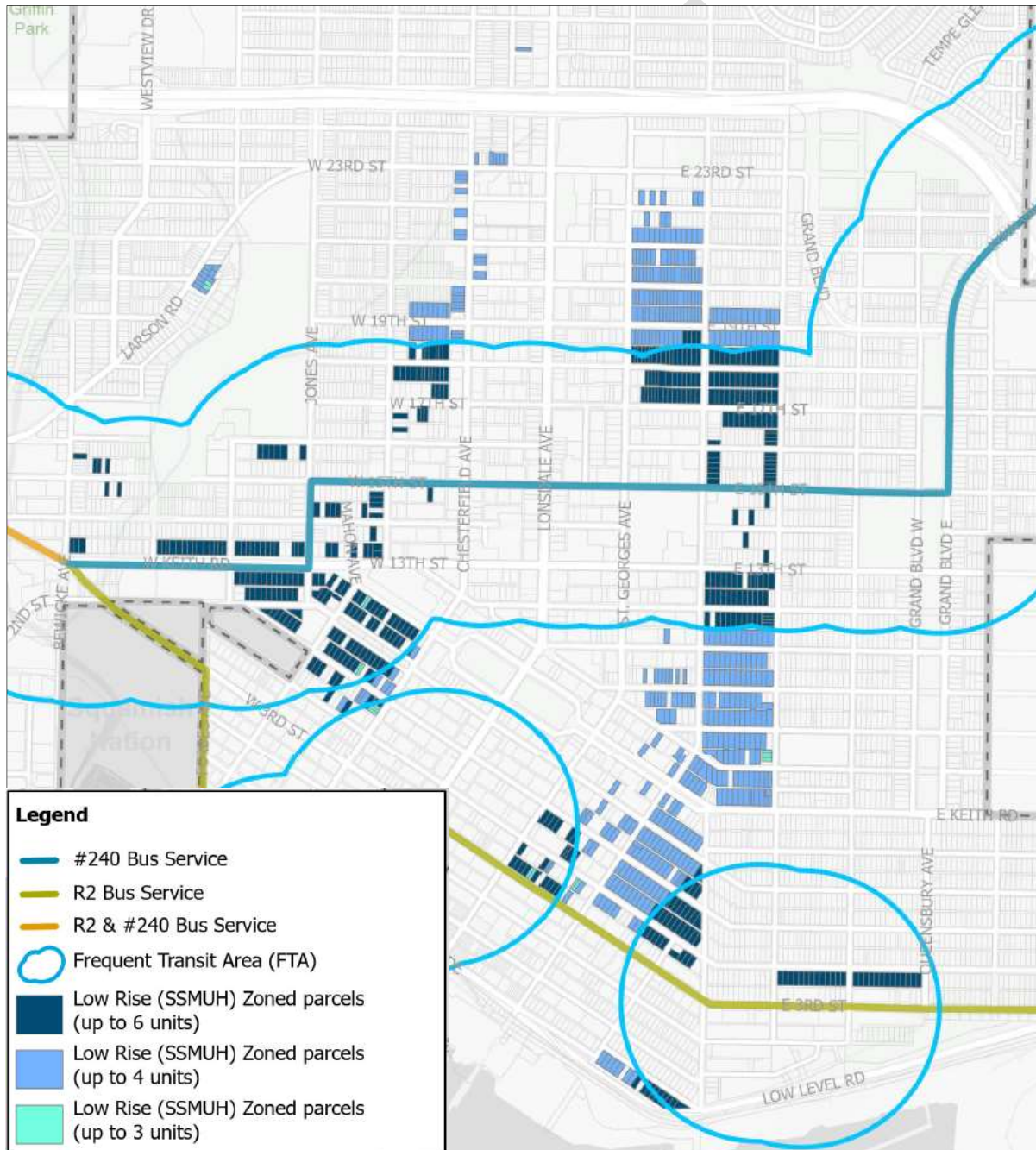
- (1) Residential Use, including stratified and non-stratified Housing Units:
 - a. No Housing Unit shall have an interior floor area of less than 50 square metres.
 - b. Each Housing Unit shall be accessible from a Street via a clear path that is well-lit at night.
 - c. The number of Housing Units permitted on a Lot shall be as indicated:

Lot Area and Location	Number of Housing Units Permitted
Less than or equal to 280 square metres	3 units
Greater than 280 square metres and located outside of the Frequent Transit Area	4 units
Greater than 280 square metres and located within the Frequent Transit Area	6 units

- (2) Child Care Facility:
 - a. A Child Care Facility Use is only permitted within a Housing Unit in which the Child Care Facility Operator resides;
 - b. A Child Care Facility is only permitted to operate with a valid license provided by a Health Authority or other Provincial agency, and shall:
 - i. post no signage advertising the facility except for one name-plate of not greater than 0.1 square metres in area;
 - ii. not exceed a maximum of 16 children in care at any one time and be operated by a resident of the Housing Unit to which the Child Care Facility is Accessory;
 - iii. be physically separated in its entirety, for both indoor and outdoor areas, from other Housing Units and other Uses on the Lot;
- (3) Home Office:
 - a. A Home Office Use is permitted as Accessory to a Housing Unit and must be fully enclosed within a Building.
- (4) Home Occupation:
 - a. A Home Occupation Use is permitted as Accessory to a Housing Unit and:
 - i. must be fully enclosed within a Building;
 - ii. is limited to one Home Occupation Use per Housing Unit;
 - iii. is limited to a maximum of two persons working, at least one of whom shall be a resident of the Housing Unit to which the Use is Accessory;
 - b. A Home Occupation Use may not:

- i. except for one name-plate of up to 0.1 square metres in area, advertise or indicate from the exterior that the Premises are being so Used;
- ii. include outdoor services, display or storage;
- iii. sell, lease or rent physical goods directly on the Lot;
- iv. include automobile servicing or repair;
- v. discharge, generate or emit odorous, toxic or noxious matter or vapours; heat or glare; ground vibration; or noise that can be heard at the property line.

Illustration: Low Rise Small Scale Multi-Unit Housing Zone Frequent Transit Area



Disclaimer: This figure is for illustrative purposes only and does not reflect changes in the transit network after the date of this Bylaw.

Minimum Lot Width

(1) The minimum width of a Lot that may be created by subdivision in the Low Rise (SSMUH) Zone is 15.0 metres.

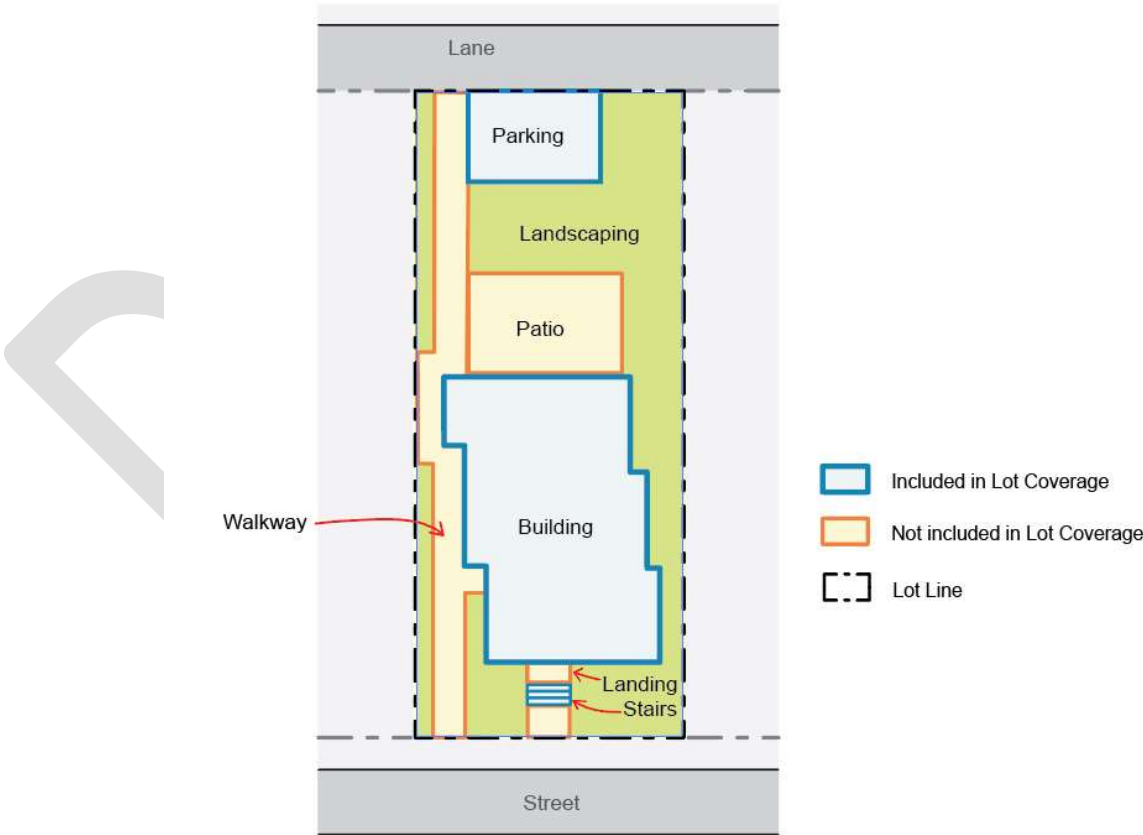
Lot Coverage

(1) Lot Coverage shall not exceed the maximum percentages in Table 575-1.

**Table 575-1
Maximum Lot Coverage in the Low Rise Small Scale Multi-Unit Housing Zone**

Number of Housing Units on the Lot	Maximum Lot Coverage
1 Housing Unit	35% of Lot Area
2 Housing Units	40% of Lot Area
3 or 4 Housing Units	45% of Lot Area
5 or 6 Housing Units	50% of Lot Area

Illustration: Lot Coverage



Soil-Based Landscaping

- (1) For properties that are the subject of a Building Permit issued after June 1, 2025, Soil-Based Landscaping provided and maintained on a Lot must meet the minimum percentages in Table 576-1.

**Table 576-1
Minimum Soil-Based Landscaping**

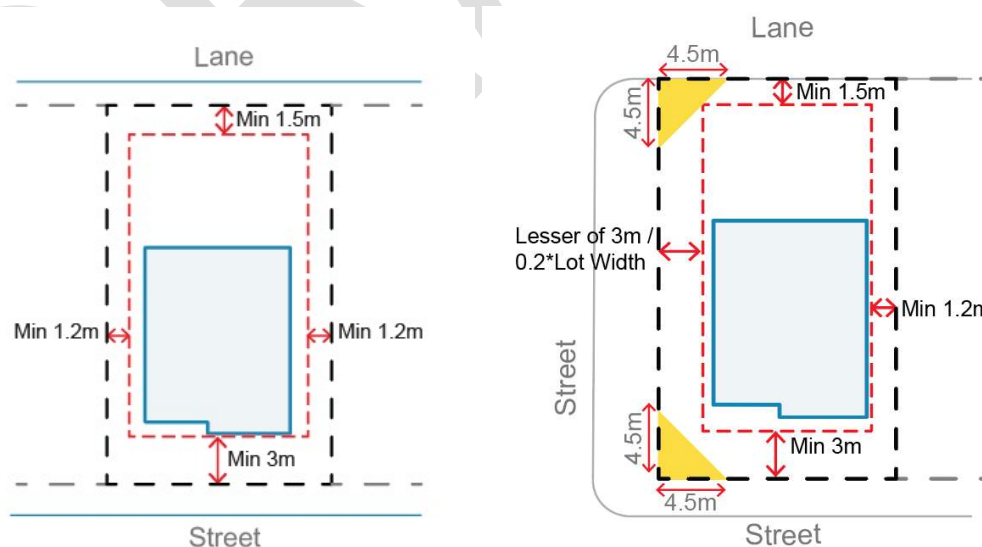
Number of Housing Units on the Lot	Minimum Soil-Based Landscaping
1 Housing Unit	50% of Lot Area
2 Housing Units	45% of Lot Area
3 or 4 Housing Units	35% of Lot Area
5 or 6 Housing Units	30% of Lot Area

- (2) Where a pad-mounted transformer is required to be installed on the Lot, the required minimum area for Soil-Based Landscaping is reduced by 4.0 square metres.

Building Siting

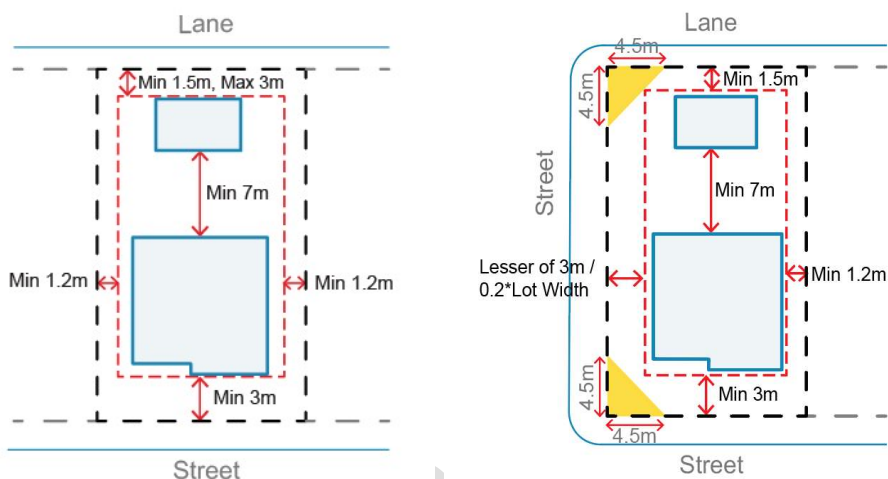
- (1) All Buildings shall be sited:
 - (a) From the Front Lot Line, no less than 3.0 metres;
 - (b) From the Rear Lot Line, no less than 1.5 metres;
 - (c) From an Interior Side Lot Line, no less than 1.2 metres; and
 - (d) From an Exterior Side Lot Line, no less than 3.0 metres or 0.2 times the Lot Width, whichever is less.

Illustration: One-Building Scenario Siting Requirements



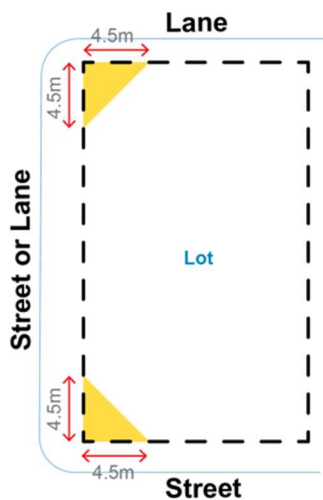
- (2) Where there are two (2) or more Buildings containing Housing Units on a Lot the minimum distance between the Buildings is 7.0 metres, measured between the outside of the Exterior Walls of the Buildings.

Illustration: Two-Building Scenario Siting Requirements



- (3) On a Corner Lot, all Structures over 1.0 metres in Height must be located outside of the triangle-shaped area located and measured horizontally between the following three points:
- (a) the point of intersection of the Streets or Lanes onto which the Corner Lot fronts; and
 - (b) points 4.5 metres along each Street or Lane from such point of intersection.

Illustration: Siting Restrictions on Corner Lots

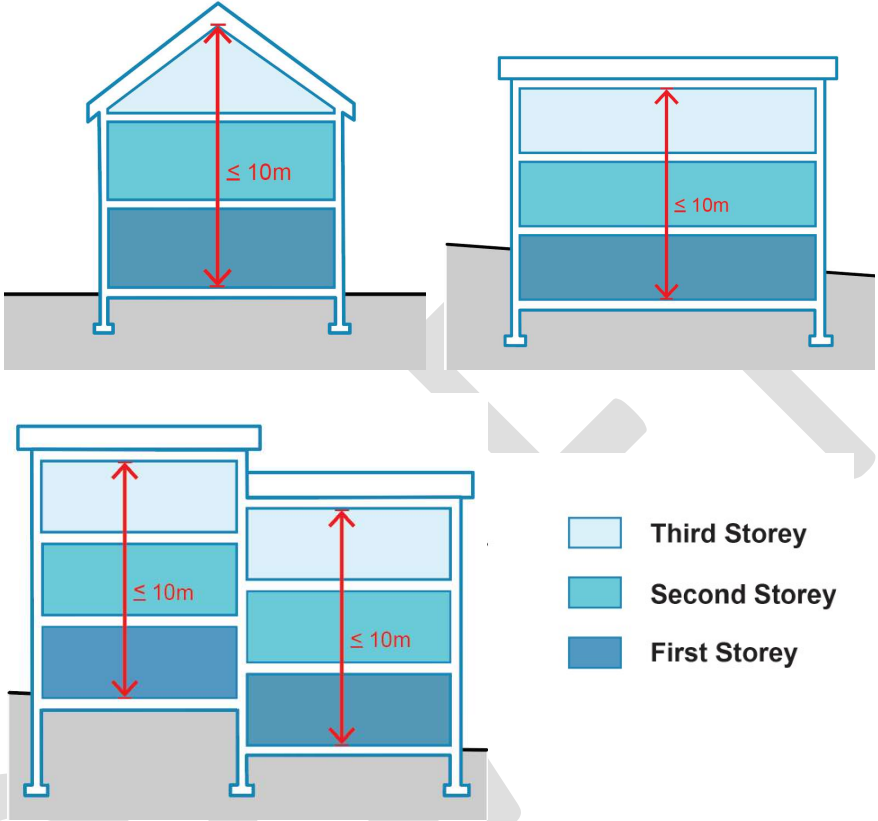


- (4) The following projections are permitted within the required Building setbacks:
- (a) A horizontal roof overhang of up to 0.6 metres, including gutters and any other elements affixed to the roof;
 - (b) Exterior ramps, lifts or similar mobility and/or accessibility-enhancing equipment.

Building Height

- (1) No portion of a Building shall exceed three (3) Storeys.
- (2) For any portion of a Building, the maximum distance between the lowest floor and highest point of the uppermost ceiling directly above shall be 10.0 metres.

Illustration: Examples of Three-Storey Buildings

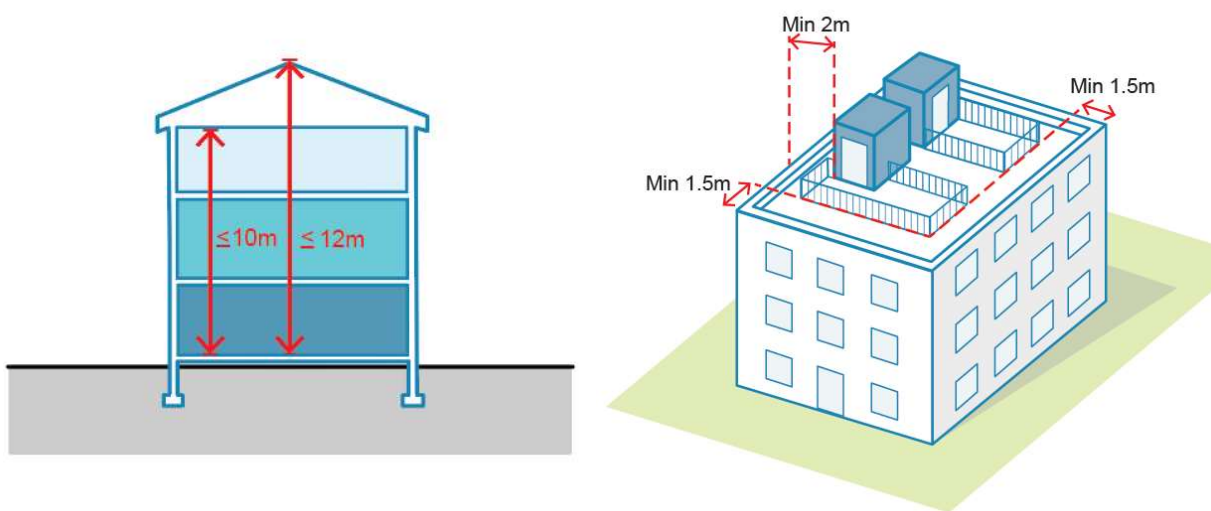


- (3) Notwithstanding subsections (1) and (2), projections are permitted as listed in Table 578-1, subject to conditions where indicated in the second column:

**Table 578-1
Permitted Height Projections**

Permitted Projections	Conditions
Roofs	A. Roofs may project up to 12.0 metres above the floor level of the lowest storey directly below.
Enclosed landings providing access to a Roof Deck	B. Enclosed landings shall be permitted only for Housing Units with a Roof Deck; C. The interior floor area of the landing shall not exceed 1.2 square metres; D. The vertical extent of the enclosed landing shall not project more than 13 metres above the floor level of the lowest storey directly below. E. All portions of the enclosed landing, including Exterior Walls and roof, shall be sited at least 2.0 metres from the nearest roof edge of the Storey directly below.
Venting and architectural structures encasing the venting	F. Projections shall extend no higher than the minimum height necessary to meet applicable safety requirements set by any government agency.
All other projections	G. Shall not project more than 1.2 metres above the surface to which they are affixed, at their point of contact, and shall be sited a minimum of 1.5 metres from the roof edge of the Storey directly below.

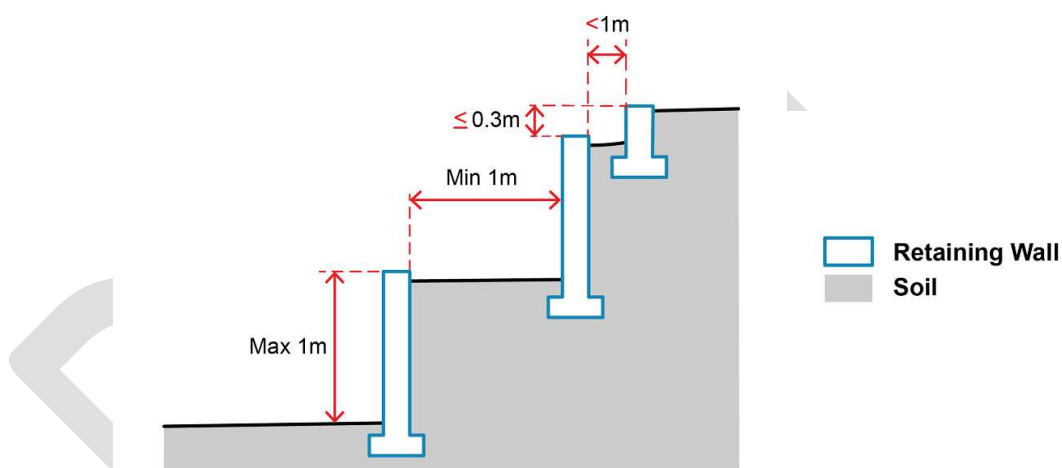
Illustration: Examples of Permitted Height Projections (Roofs and Enclosed Landings)



Siting and Height of Accessory Structures

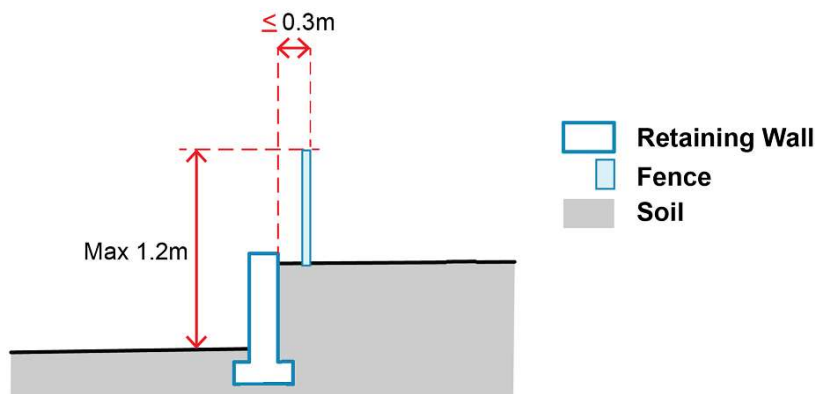
- (1) Accessory Structures not exceeding 1.2 metres in height may be located on any portion of the lot.
- (2) On a Lot containing no more than two (2) Housing Units, Accessory Structures of up to 1.8 metres in Height may be located behind the front face of a building, except for a Corner Lot, in which case, Accessory Structures may not exceed 1.2 metres in Height when located in a yard adjacent to an Exterior Side Lot Line.
- (3) Retaining Walls shall be regulated as follows:
 - a. Height shall be measured as the vertical distance between the lower of the ground levels on either side of the wall and the top of the wall.
 - b. A Retaining Wall may not exceed a height of 1.0 metres at any point along its length;
 - c. A Retaining Wall must be sited a minimum of 1.0 metres from any other Retaining Wall, whether it is on the same Lot or an adjoining Lot or Right-of-Way, unless the difference between the top-of-wall elevations of the walls is less than 0.3 metres.

Illustration: Retaining Wall Height and Siting Requirements



- (4) For portions of a fence that are within 0.3 metres of a Retaining Wall, the combined height, measured from the lower of the ground levels on either side of the Retaining Wall to the highest point of the fence, shall not exceed the maximum allowable height for Accessory Structures.

Illustration: Height Requirements for Fences near or on Retaining Walls



- (5) Mechanical equipment for Heating, Ventilation and Air Conditioning at ground level shall be sited a minimum of 2.0 metres from a Lot Line.
- (6) Notwithstanding Sections 579(1) and (2), any Residential Use adjoining Trans-Canada Highway Number 1 may provide along the Highway frontage a Landscape Screen of up to 2.0 metres in Height.

Vehicle Parking Requirements

- (1) No minimum number of required Parking Spaces will apply for any Use within the Low Rise Small Scale Multi-Unit Housing Zone.
- (2) Where Parking Spaces are provided on a Lot, they may be provided as surface parking or within a Building.
- (3) Where Parking Spaces are provided on a Lot, they must each be equipped with an Energized Outlet capable of providing Level 2 Charging or a higher charging level for an Electric Vehicle.
- (4) Vehicle Parking Space Access and Siting
 - a. Access to Parking Spaces may be provided directly from a Lane, or via a Driveway from a Lane or Street;
 - b. Where vehicle access from a Lane can be provided, no vehicular access from a Street is permitted.
 - c. Where vehicle access from a Lane cannot be provided, a driveway not exceeding 3.0 metres in width may be provided from a Street.
 - d. Parking Spaces may not be sited between a Front or Exterior Side Lot Line and a Building;
 - e. All driveways and Parking Areas shall be located a minimum distance of 7.6 metres from the point of intersection of two streets, or 4.5 metres from the point of intersection of two lanes, or a street and a Lane, when such road allowances intersect at an interior angle of 135 degrees or less;

Bicycle Parking Requirements

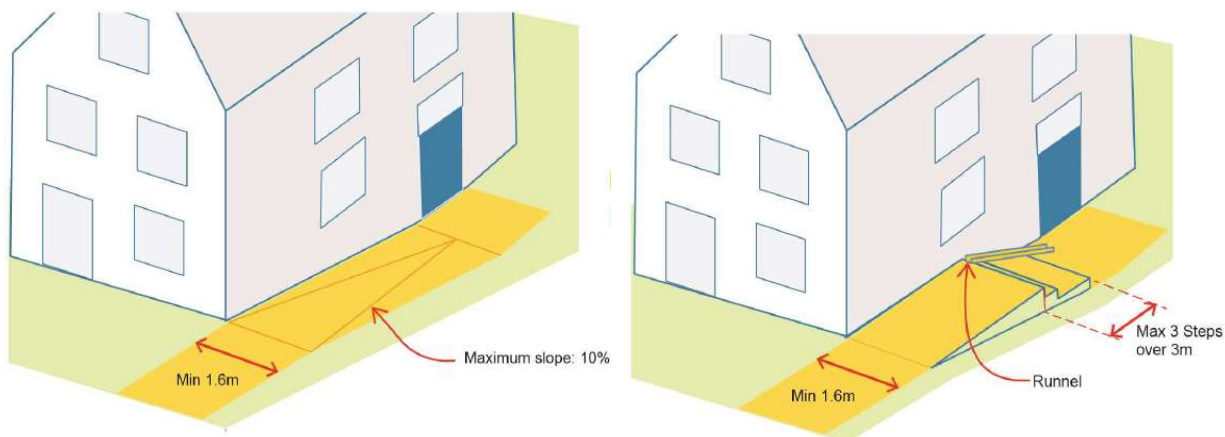
- (1) Minimum Bicycle Parking for Housing Units

- a. For properties that are the subject of a Building Permit issued after June 1, 2025, where three or more Housing Units are provided on a Lot, Secure Bicycle Parking Spaces shall be provided at a minimum rate of 2.0 spaces per Housing Unit.

(2) Location and Access Requirements for Secure Bicycle Parking

- a. Required Secure Bicycle Parking Spaces may be provided within a Housing Unit or within a common Bicycle Compound or Room, or a combination thereof.
- b. Required Secure Bicycle Parking Spaces shall be provided within an area that is fully enclosed within a Building, with a minimum floor-to-ceiling height of 2.4 metres.
- c. When provided within a Housing Unit, Bicycle Parking Spaces:
 - i. must have minimum horizontal dimensions of 0.6 meters in width and 1.8 metres in length;
 - ii. must not be located, wholly or partly, within a hallway or other circulation area;
 - iii. are not required to be separately accessible from an access aisle;
 - iv. may be provided without a Bicycle Rack;
- d. An area containing required Secure Bicycle Parking must be accessible from a Street or Lane by a clear access path that:
 - i. Is separate from any vehicle parking or maneuvering areas;
 - ii. Has a minimum width of 1.6 metres;
 - iii. At no point along its length has a slope greater than 10 percent;
 - iv. Contains a maximum of 3 steps over 3 metres of length; and,
 - v. Where steps are included, has runnels to support bikes being transported up and down the steps.

Illustration: Bicycle Parking Access Path



Garbage, Organics and Recycling Storage Requirements

- (1) Notwithstanding Section 417, in the Low Rise (SSMUH) Zone requirements for garbage, organics and recycling storage facilities and access, shall be as outlined in this section;
- (2) Lots containing three (3) or more Housing Units shall provide a storage area for garbage, organics and recycling;
- (3) Required storage areas for garbage, organics and recycling should be sized as indicated in Table 582-1:

Table 582-1: Minimum Required Storage Area for Garbage, Organics and Recycling

Number of Dwelling Units	Minimum Storage Area
3 units	1.9 square metres
4 units	2.2 square metres
5 units	2.8 square metres
6 units	3.0 square metres

- (4) The required garbage, organics, and recycling storage facility must:
 - (A) Be accessible from each of the Housing Units and other uses on the lot via a clear access path of at least 1.0 metres in width;
 - (B) Be provided within a Building or other animal-proof enclosure;
 - (C) Have access to an acceptable pickup location that complies with relevant City Bylaws regulating solid waste pickup via a clear pathway with a minimum width of 1.2 metres, with no steps, and with slopes no greater than 5 percent and a crossfall no greater than 2 percent;
- (5) Required pathways providing access to and from the storage area for garbage, organics and recycling must be separated from vehicle parking and maneuvering areas by a physical barrier, landscaping or change in paving materials. Where a Building on a Lot is Used only for the storage of garbage, organics and recycling and does not exceed an area of 4.5 square metres, nor a height of 1.8 metres, it may be excluded from Lot Coverage, and may be sited anywhere on the Lot.

Definitions Pertaining to the Low Rise Small Scale Multi-Unit Housing Zone

- (1) All definitions contained in Division I, Part 2: Interpretation of Zoning Bylaw, 1995, No. 6700 apply to the Low Rise Small Scale Multi-Unit Housing Zone, except where revised by the following:

“Child Care Facility” means a premises providing temporary care for children that is licensed and regulated by a Health Authority or other Provincial government agency.

“Child Care Facility Operator” means a person who is licensed by a Health Authority or other Provincial agency to provide a child care program.

“Corner Lot” means a Lot which fronts on two or more Streets, or a Street and a Lane, which intersect at an interior angle of 135 degrees or less.

“Exterior Wall” means an outermost portion of a Building that is a vertical structure providing weather protection that may or may not be insulated.

“Frequent Transit Area” means an area comprising the Lots that are located wholly or partly within 400 metres of a bus stop that is served by at least one bus route that is scheduled to stop at least every 15 minutes, on average, between the hours of:

- (1) 7 am and 7 pm, Monday to Friday, and
- (2) 10 am and 6 pm on Saturdays and Sundays.

“Home Office” means a room or portion of a room where a person who resides on the Lot practices a profession or conducts work using only standard office equipment, and where other persons do not conduct any work or provide or receive goods or services.

“Home Occupation” means a business, occupation or professional Use, other than a Home Office or Child Care Facility, where the business operator or practitioner resides in a Housing Unit on the Lot.

“Housing Unit” means a building, or portion of a building that is self-contained and is used for the living accommodation of one or more persons.

“Lot Coverage” means portions of the Lot covered by Buildings, exterior stairs and areas used for parking and maneuvering of motor vehicles, measured as follows:

- (1) For Buildings: Lot Coverage shall be measured to the exterior of the outermost walls
- (2) For exterior stairs: Lot Coverage shall be measured as the combined area of steps located along paths providing access to a Housing Unit, and shall exclude landings.
- (3) For areas used for Parking and maneuvering of motor vehicles: Lot Coverage shall be measured as the horizontal extent of ground-covering materials designed and used, or that are capable of being used, to support a motor vehicle.

“Lot Width”, where a lot has two Interior Side Lot Lines or an Interior Side Lot Line and an Exterior Lot line that are parallel, means the distance between those two Lot Lines; or, where those two Lot Lines are not parallel, shall mean the average length of the Front Lot Line and the Rear Lot Line.

“Parking” means the use of land or Building for the storage of a vehicle or vehicles.

“Residential Use” means a Building containing one or more Housing Units.

“Retaining Wall” means a predominantly vertical, rigid structure that retains soil, gravel or other medium in order to allow for two different ground surface levels on either side of the structure.

“Soil-Based Landscaping” means soil-based, planted areas on a Lot, measured on a horizontal plane to the outermost extent of growing medium, where trees, shrubs, and plants are grown. Areas must be no less than 1.0 metres at the narrowest dimension and may not be covered by materials that would restrict the growth of trees, shrubs and plants, including, but not limited to: various paving materials, decorative stonework, gravel, artificial turf, inorganic mulch. No Structures or pathways are permitted within Soil-Based Landscaping areas, at, above or below grade, except that:

- (1) Groundwater infiltration equipment that supports groundwater recharge may be sited partly or fully within a Soil-Based Landscaping area; and,
- (2) Horizontal roof overhangs, including gutters and any other elements affixed to the roof that are a minimum of two storeys above the Soil-Based Landscaping area are permitted to project up to 0.6 metres into a Soil-Based Landscaping area.

“Storey” means the space between a floor level and the ceiling directly above it and includes:

- (1) A floor that is partly or wholly below the level of the ground surrounding the Building;
- (2) An accessible area between the highest ceiling and a roof structure; and,
- (3) Except for a Crawl Space, an area directly beneath a floor level that can be accessed and used, whether it is enclosed by Exterior Walls or not.