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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING DEPARTMENT

REPORT

To: Mayor Darrell R. Mussatto and Members of Council

From: Michael D. Epp, Director, Planning

SUBJECT: HARRY JEROME NEIGHBOURHOOD LANDS REZONING AND OCP
AMENDMENT (DARWIN PROPERTIES / PERKINS + WILL)

Date: May 23, 2018 File No: 08-3360-20-0454/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Director, Planning, dated May 23, 2018, entitled "Harry Jerome Neighbourhood Lands Rezoning and OCP Amendment (Darwin Properties / Perkins + Will)":

THAT the following bylaws be considered and referred to a Public Hearing:

- "Official Community Plan Bylaw, 2014, No. 8400, Amendment Bylaw, 2018, No. 8633;
- "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8634;
- "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8635";

THAT the additional offsite works and community amenities listed in the report in the section "Community Amenities and Infrastructure Contributions" be secured, through agreements at the applicant's expense and to the satisfaction of staff, as conditions of rezoning;

AND THAT the review contained in the report concerning statutory requirements for "Official Community Plan Bylaw, 2014, No. 8400, Amendment Bylaw, 2018, No. 8633," be considered.

ATTACHMENTS:

1. Context Map – (Doc #1658161)
2. Fact Sheet – (Doc #1658402)
3. Darwin Properties’ Rezoning Submission dated May 14, 2018 (Doc #1653951)
4. Public Consultation Summary – (Doc #1658425)
5. Advisory Body Resolutions (Doc #1651440)
6. Transportation Study Findings – (Doc #1658571)
7. “Official Community Plan Bylaw, 2014, No. 8400, Amendment Bylaw, 2018, No. 8633” (Darwin Properties / Perkins + Will, 123-125 East 23rd Street, 2160 Lonsdale Avenue, 144 East 22nd Street, 2300 Lonsdale Avenue and 116 East 23rd Street, Development Permit Guidelines, Land Use Designation Change and Height Limit Increase) (Doc #1645636)
8. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8634” (City of North Vancouver, 2300 Lonsdale Avenue and 116 East 23rd Street, CD-165 Text Amendment) (Doc #1651805)
9. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8635” (Darwin Properties / Perkins + Will, 123-125 East 23rd Street, 2160 Lonsdale Avenue, and 144 East 22nd Street, CD-703) (Doc #1640942 and Doc #1651451)

PURPOSE:

This report presents bylaws for Council consideration, which would amend the maximum height and land use designation boundaries in the Official Community Plan (OCP) and rezone the properties at 123 – 125 East 23rd Street, 2160 Lonsdale Avenue and 144 East 22nd Street (the “Harry Jerome Neighbourhood Lands” or HJNL). These changes would allow for a mixed use community with a range of housing types on a 99 year lease on the subject lands.

BACKGROUND:

<i>Applicant:</i>	Darwin Properties
<i>Architect:</i>	Perkins+Will Architects
<i>Official Community Plan Designation:</i>	Mixed Use Level 2
<i>Existing Zoning:</i>	P-1 Public Use and Assembly Zone
<i>Applicable Guidelines:</i>	Harry Jerome Neighbourhood Lands DP Guidelines

Further to Council direction, the City of North Vancouver issued a request for proposal (RFP) on July 19, 2017 for the “Acquisition and Development of City Lands” for the lands bounded by East 23rd Street (to the north), Lonsdale Avenue (to the west), East 21st and East 22nd (to the south) and Eastern Avenue and St Georges Avenue (to the east). This process was initiated in order to find a suitable development partner for these lands in order to raise capital to fund a new Harry Jerome Community Recreation Centre (HJCRC).

In February 2018, a rezoning and Official Community Plan amendment application was submitted for a mixed-use community on the lands. This application was presented to Council on March 12, 2018 for direction regarding potential amenities (discussed in greater detail in the staff report entitled "Harry Jerome Neighbourhood Lands Project Description and Potential Amenities," dated March 7, 2018) which resulted in the following resolution:

THAT staff proceed with processing a rezoning and Official Community Plan amendment for the Harry Jerome Lands, substantially as outlined in the report of the Director, Planning, dated March 7, 2018, including:

- Density of up to 2.5 FSR, including additional density to secure onsite amenities;
- Creation of transferable density on the future Harry Jerome Community Recreation Centre site;

THAT Darwin Properties be directed to proceed with public engagement based on the site plan presented in the report of the Director, Planning;

AND THAT staff negotiate potential on-site amenities for the Harry Jerome Neighbourhood Lands based on a density of 2.5 FSR, substantially as outlined in the report of the Director, Planning, including park improvements, childcare, non-profit housing, with any costs associated with the delivery of amenities to be deducted from the land lease price.

DISCUSSION:

Project Description

The City has received a rezoning application for a mixed-use development at 123 East 23rd Street (Harry Jerome Neighbourhood Lands). The application proposes two 28 storey towers, three six-storey mid-rise residential buildings, and one five-storey commercial building for a total of six buildings and a park oriented north-south along Lonsdale Avenue.

The project proposes approximately 690,000 square feet of residential development (approximately 800 units), 22,700 square feet of retail, and 73,500 square feet of office space. Residential units will vary in size (studio to 3-bedroom), type (townhome, live-work, apartment), and tenure (both rental and strata units are proposed). Commercial components are anticipated to include a medical-office building, restaurant, grocery store and on-site childcare. Parking will be provided via two to three levels of underground parking below areas of the site not reserved for the park.

To support the objectives outlined in the City's Housing Action Plan, the mix of land uses and housing tenures proposed is shown in Table 1.

Table 1. Proposed Land Use and Housing Tenures

	Area sq. ft.	Units	% of Housing
Market Housing	424,104	486	60%
Market Rental Housing	101,460	124	16%
Seniors' Assisted Living Housing	82,044	99	12%
Affordable Rental Units*	32,738	13	2%
Non-Profit Housing	50,000	80	10%
Retail	22,730	N/A	N/A
Office	73,539	N/A	N/A
	786,615	802	

*Achieved through the City's Mid-Market Rental "10-10-10" policy

The site plan locates taller buildings where shadow impacts on park space and private residences are minimized and gives prominence to the Green Necklace to create a foreground for the new Harry Jerome Community Recreation Centre to the north.

The site plan, proposed uses and proposed on-site amenities are outlined in greater detail within Attachment #1 to this report and are discussed in greater detail below. The amenity component of the project is discussed in detail under "Community Amenities and Infrastructure Contributions" below.

Site Context and Surrounding Use

The subject site spans several parcels to the southeast of the intersection at Lonsdale and 23rd Street. The Harry Jerome Community Recreation Centre (including Memorial Gym), Silver Harbour Seniors' Activity Centre, the lawn bowling lawns and clubhouse, Crickmay Park and Rodger Burnes Green currently occupy the site.

Surrounding land uses are varied, with public uses to the southwest, the east and the north, commercial to the south and the west, and medium-to-low density residential to the southeast. The buildings and uses immediately surrounding the subject site are described in Table 2 below.

Table 2. Surrounding Uses

Direction	Address	Description	Zoning
North– across East 23 rd Street (1)	2300 Lonsdale Avenue	Centennial Theatre	CD-165 (P-1 base zone)
North– across East 23 rd Street (2)	116 East 23 rd Street	Norseman Park	Public Use and Assembly 1 (P-1)
North– across East 23 rd Street (3)	200 East 23 rd Street	North Vancouver Provincial Courthouse	CD-13 (P-1 base zone)
East– across St. Georges Avenue (1)	201 East 23 rd Street	North Shore Alliance Church	CD-102 (P-2 base zone)
East– across St. Georges Avenue (2)	2212 St Georges Avenue	1 storey single family dwelling	One Unit Residential 1 (RS-1)
Southeast– across East 22 nd Street (1)	2160, 2132, 2118 Eastern Ave & 2133 St Georges Avenue	2-3 storey townhomes	CD-97, 163, 167, 174 (RM-1 base zone)
South– across East 21 st Street (1)	2032 Lonsdale Avenue	1 storey commercial building (London Drugs)	General Commercial (C-2)
West– across Lonsdale Avenue (1)	2151 Lonsdale Avenue	North Vancouver School Board Building	CD-578 (P-1 base zone)
West– across Lonsdale Avenue (2)	108 West 21 st Street	Rey Sargent Park	Public Use and Assembly 1 (P-1)
West– across Lonsdale Avenue (3)	2205-2255 Lonsdale Avenue	1 storey commercial buildings	General Commercial (C-2)

Policy Context

The subject site is designated a combination of *Mixed Use Level 2 (Medium Density)* and *Parks, Recreation & Open Space*. Several amendments to the Official Community Plan (OCP) are required for the project to proceed as presented including: 1) adjustments to the boundaries of the OCP land use designations on the site; 2) adjustments to the boundaries of the maximum building heights; and 3) an increase in the maximum allowable height, which is currently limited to 56 metres (18 storeys). These changes to permitted height would allow for a development of up to 2.5 FSR while providing a 0.95 hectare park and achieving strong urban design and liveable residential units. Maintaining the existing OCP height limitations would result in the loss of park space and greater impacts on neighbouring properties.

The amendment bylaws would also establish a new Development Permit Area in the Official Community Plan and new Development Permit Area Guidelines within the Zoning Bylaws. These guidelines (see Attachment #8) would be used to ensure that each phase of the project achieves a high standard of design with a focus on ensuring that the interfaces between the development and the park, green necklace and surrounding uses are treated respectfully.

The guidelines also contain an environmental component to reduce the greenhouse gas emissions from the proposed project.

OCP Height Amendment

Initial discussions regarding the proposal considered a three-tower option, which was presented at a December 6th public open house. This initial option would have complied with the existing 18-storey height maximum for the site in the Official Community Plan. Based on public and staff feedback that a site layout with three towers had significant negative impact on neighbouring existing residents and shadowing of the proposed public park, Darwin's submission has proposed a site plan with two towers. Following Council discussion indicating a preference for heights lower than 32 storeys, the application was revised to limit tower heights to 28 storeys each. The proposed towers have been positioned to minimize shadow impacts on public areas and neighbouring developments and to allow clear views of the future Harry Jerome Community Recreation Centre from Lonsdale Avenue.

The placement of the towers has been chosen to avoid "zoning cliffs" by reducing height further from Lonsdale Avenue, stepping heights down from the Lonsdale corridor to the lower density residences east of St. George's Avenue. A mid-rise building on the St. George's Avenue frontage provides an interface between the relatively high densities of the subject site to the relatively low densities – designated Residential Level 2 in the OCP – of the neighbourhoods to the east.

The proposed OCP height increase minimizes impacts to the neighbourhood compared with a solution which is consistent with the 18 storey limit. Reduced tower height could also result in a loss of open space within the site plan. For these reasons, staff recommend proceeding with the proposed height amendment. Taller buildings were contemplated in the OCP in this location in order to facilitate the development of the Harry Jerome Community Recreation Centre; with increased height, these towers will present as beacons for this new civic node. Design guidelines would be established to ensure the northern-most tower is 'iconic' with unique architecture reflective of the North Shore identity.

OCP Land Use Designation Boundary Adjustment

The subject lands are currently designated a combination of Park Recreation and Open Space and Mixed Use Level 2 in the Official Community Plan. The proposed project has a density of 2.5 times the lot area (FSR) across the entire block, inclusive of Crickmay Park. For this reason, an OCP amendment is required to establish the subject lands as "Mixed Use Level 2" in the OCP (see Attachment #7). This adjustment in land use boundaries would not change Crickmay Park's status as a dedicated park: the park would be extended to the south and the proposal would result in a total park area of 0.95 ha. If the project proceeds, staff would bring forward changes to the Park Regulation Bylaw to add the proposed parkland to the list of parks in the Bylaw.

Transportation and Access

The proposed project, in conjunction with the construction of a new and expanded HJCRC, will add a significant number of new vehicle trips to the road network. The following mitigation measures are intended to reduce the impact of these additional trips:

- Improvements to the physical road network;

- Delivery of a new B-Line bus service to coincide with completion of the development;
- Improvements to walking and biking facilities in the vicinity;
- Demand management (including dedicated car share vehicles and managing parking supply).

Proposed improvements to the road network in the vicinity including adding new turning lanes on East 23rd Street and signalization improvements to a number of intersections. Pedestrian and cycling access would be significantly improved with the realignment of the green necklace through the park in the foreground of the site and the addition of separated cycling lanes on 23rd Street. An executive summary of the transportation study, including the proposed road network improvements, is attached to this report (Attachment #6).

To facilitate the best possible connection between the park space on the subject site, and the entrance plaza of the new HJCRC, the existing overhead walkway on 23rd Street would be removed and replaced with an at-grade crossing which would be designed to be safe and inviting. Staff are exploring the potential for this crossing to be raised and signalized.

The project would exceed the City's required parking standards. The number of parking spaces for both the development site and the new HJCRC must be carefully considered to ensure there is sufficient supply without creating an oversupply which could contribute to the number of vehicle trips generated by the development. A parking strategy for the HJCRC will be prepared which would include consideration of pay parking and other measures to reduce vehicle trips.

The City does not currently have a standard parking ratio for Residential Care Facilities (seniors' care). Based on ratios employed in other communities, a ratio of 0.3 spaces per dwelling unit would be introduced for this use.

A variety of Transportation Demand Management (TDM) measures are proposed to reduce demand for single occupancy vehicle trips to and from the site. These include:

- One dedicated car share vehicle to be secured for each of the three phases of the project;
- A requirement to provide a transportation demand management coordinator throughout the course of the development, who would provide education and information to new residents regarding transportation options.

HJCRCs (North Site) Excess Density

The HJCRC site is designated Mixed-Use Level 2 in the City's OCP. It has been the City's practice to allow for the transfer and sale of excess density from City-owned lands in order to facilitate City objectives. The Civic Centre site (141 W 13th), Presentation House Gallery site (333 Chesterfield), and the Polygon Gallery Site (105 Carrie Cates Court) are past examples.

The north site is approximately 298,580 square feet. At a density of 2.5 FSR, the total developable area of the north site is 746,452 square feet. The estimated combined area of the new HJCRC and the Centennial Theatre is 250,000 square feet, leaving 496,450 square feet of unused development potential on the site. Staff recommend creating transferrable density on this site, which would provide an ongoing source of potential revenue to the City in the future.

Project Phasing

The project is anticipated to be delivered in three phases (see Attachment #3). The first phase, on the southern extent of the lands in the approximate location of the existing lawn bowling facility and tennis courts, would include a senior's assisted living facility and a medical office building. Phase one would proceed once the lawn bowling facility has been relocated and reconstructed to Mickey McDougall Park. The Strategic Initiatives & Services group is working closely with the North Vancouver Lawn Bowling Club to facilitate this relocation, and details regarding a new lawn bowling facility will be included in the Harry Jerome Community Recreation Centre project proposal in July 2018.

Silver Harbour is proposed to be temporarily relocated to the second storey of the office building until such time as the HJCRC, with new Silver Harbour Facility, is complete. A vote of the Silver Harbour membership to move forward towards a new facility in the HJCRC (including the temporary facility in the Darwin development while the new recreation centre is under construction) is scheduled for May 29, 2018.

Phase 2 of the HJNLs development, where the existing Silver Harbour and Memorial Gym are currently located, would begin once Silver Harbour relocates to the temporary location.

The proposed redevelopment of the HJNLs is interdependent with the proposed new Harry Jerome Community Recreation Centre to the north of 23rd Street. Phase 3 of the HJNLs is anticipated to begin construction once the new HJCRC has been completed (ie. no disruption in service is currently contemplated).

ADVISORY BODY INPUT

The proposal has been reviewed by the Advisory Design Panel (ADP), Advisory Planning Commission (APC), the Integrated Transportation Committee (ITC) and the Advisory Committee on Disability Issues (ACDI). Resolutions from the Advisory Bodies are included as Attachment #5 to this report.

Suggestions made by the Advisory Bodies have resulted in many changes to augment the Design Guidelines, which will be used to assess the form and character of each phase of the project at the Development Permit stage.

Both the Advisory Design Panel and the Advisory Planning Commission supported the proposed height increase in the Official Community Plan, but recommended that a height of up to 32 storeys be considered for the northern-most tower. Both the Commission and the Panel felt that this would allow for reduced height on the southern tower, resulting in a better urban form. The project was presented to Council previously with one 32-storey tower and one 26-storey tower and was subsequently reduced to two 28-storey towers following Council's discussion.

Should Council wish to consider this suggestion regarding height, the following active clause could be added to the recommended resolution:

THAT Zoning Amendment Bylaw No. 8635 allow for the northernmost tower to achieve a height of up to 32 storeys.

COMMUNITY CONSULTATION

The proposed project has garnered substantial public interest. Darwin has hosted two Public Meetings: a Developer Information Session and a Town Hall Meeting and three information sessions held at Harry Jerome Community Recreation Centre. In addition, a survey was conducted and received 341 responses. Feedback received is presented in greater depth in Attachment #4 to this report. Generally, positive feedback was received regarding: the site plan, proposed park, housing mix and achieving sufficient revenue from the project to deliver a new Harry Jerome Community Recreation Centre with 50-metre pool. Concerns were expressed regarding: the potential for additional on-street parking demand; the proposed tower heights and the potential for additional traffic generated by the project. The majority of those who have expressed concerns reside in the townhouse developments and neighbourhood immediately to the east of the subject site.

Darwin's responses to the feedback received have included:

- Presenting a two-tower solution, which significantly reduces negative impacts on the Eastern Avenue town homes.
- Increasing the setback of the six storey buildings on Eastern Avenue from 12 feet to 30 feet.
- Providing parking spaces in excess of City requirements.

COMMUNITY AMENITIES AND INFRASTRUCTURE CONTRIBUTIONS:

The primary objective of the lease and development of the HJNL is to ensure adequate funding for the development of a new Harry Jerome Community Recreation Centre (HJCRC). Revenue to the City from the development of the HJNL is based on the site's development potential. The development site, which includes the area of Crickmay Park, is 314,915 square feet in area. A density of 2.5 FSR results in a land lease value of approximately \$210 million dollars (subject to adjustment at the time of lease based on market increases or decreases). A development of this magnitude has been suggested to ensure revenues generated are sufficient to support the development of the Harry Jerome Community Recreation Centre and the provision of on-site community amenities.

Proposed amenities include:

- 80 units of non-profit housing, to be delivered 'turn-key' to the City which could be allocated by Council to a non-profit housing provider through an RFP process following the rezoning. Through this process, a portion of the costs to deliver the non-profit housing could be recouped by the City. This would include seeking funding from senior levels of government;
- 0.95-hectare contiguous park area adjacent to Lonsdale Avenue between East 21st Street and East 23rd Street, joining Crickmay with Rodger Burnes Green (see Attachment #2) and;
- A 37 space non-profit childcare.

The proposed amenity package has a value of approximately \$27 million, subject to further negotiation and evaluation (see Table 3 below). The value of all negotiated amenities to be delivered by Darwin would be deducted from the lease value of the lands. Amenities are anticipated to be delivered in the last stages of the HJNL's development in order to maximize the funds available to the City to deliver the HJCRC.

As mentioned, temporary space (18,000 sq. ft.) to accommodate Silver Harbour until the new facility within the HJCRC is complete would also be secured. The City would maintain an option on this temporary lease space and could opt to exercise the option in order to make this temporary space permanent to provide community benefits at Council's discretion.

Detailed parks planning would occur following rezoning, with the potential to strike a task force to oversee the detailed design. Although the task force will contemplate programming for the new park in greater depth, programming could include: a public plaza, children's play structures, a public washroom, a parkour area, outdoor table-tennis/foosball, as well as significant vegetated area.

Table 3. Estimated Value of Community Benefits

Community Benefits Summary	Value
A. Land Lease Revenue (Approximate)	\$183,000,000
B. In-Kind Benefits	\$27,000,000
80 Non-Market Housing Units	\$15,400,000
0.95 Hectare Park (design and construction cost)	\$6,500,000
37 Space Non-Profit Childcare	\$5,000,000
Total Value of Cash and In-Kind Benefits (C+ D)	\$210,000,000

In addition to the above amenities, staff seeks Council's direction to secure the following additional amenities and infrastructure contributions, beyond Bylaw requirements:

- On-site public art valued at \$800,000;
- Public access and utility rights of way through the lands;
- Achieving a minimum of "Step 3" of the BC Energy Step Code;
- Transportation Demand Management commitments including providing car share vehicles and employing a transportation coordinator to encourage active travel and transit options;
- Paying for 65 percent of the cost of intersection and road upgrades required to accommodate the project;
- Paying costs of service to the site with utilities, including LEC.

STATUTORY REVIEW:

When an amendment to the Official Community Plan is being considered, Section 477 (3)(a) of the Local Government Act requires municipalities to consider whether the change would have any impact on the City's Financial Plan or Waste Management Plan.

The 2017, the OCP contemplated a significant development on the subject site and/or the lands to the north in order to facilitate the renewal of the HJCRC. The proposed changes to the Official Community Plan primarily alters the form of development (height), rather than the

quantity. No significant impact to the City's Financial Plan or Waste Management Plan are therefore contemplated. Financial impacts resulting from the project more generally are discussed below.

Following introduction of the Bylaws, they would be formally referred to the School District, the Ministry of Transportation and Infrastructure and the District of North Vancouver for comments.

OPTIONS:

While the development proposal outlined in this report has been strongly supported by many as a means of realizing the HJCRC with the full program, there has also been a strong negative response to the proposed scale of the development, and to the proposed heights in particular. Alternative courses of action addressing this are presented below. In all options presented, parks improvements would be delivered, while the other amenities would vary as outlined.

Option 1: Proceed to Public Hearing with the Development Proposal as Outlined in This Report (Recommended)

The recommended direction presented in this report responds to previous Council direction and would result in a development on the Harry Jerome Neighbourhood Lands consistent with the density envisioned in the Official Community Plan, with a range of housing types including non-market housing and non-profit childcare. Six buildings, comprised of four mid-rise buildings and two 28 storey towers are proposed. Analysis suggests that the lease revenues from the development as outlined in this report would result in sufficient revenues to allow for the full Harry Jerome Community Recreation Centre program to proceed without the need for long-term borrowing.

Option 2: Reduce Height of Towers to 25 storeys and 23 Storeys

This option would refer Bylaws to Public Hearing, with modifications such that a maximum of one 25-storey tower and one 23-storey tower would be permitted as part of the proposed development. Lowering the tower heights results in a reduction of approximately 65,500 sq. ft. from the gross floor area (the Floor Space Ratio would be reduced from 2.5 FSR to ~2.3 FSR). Under this option, the City's lease revenues would be reduced by approximately \$19 million dollars (to approximately \$191 million). This reduction in density is contrary to previous Council direction and the reduction in revenue would strain the City's ability to deliver the HJCRC as currently envisioned.

Under this option, staff recommend securing a private childcare (rather than non-profit). While it is City policy to secure non-profit childcare through redevelopment, securing a for-profit facility would result in \$5 million of additional funds available for HJCRC, reducing the impact of the loss of revenues from reduced density.

Under this option, there would be a need to explore additional strategies to ensure the City has the capacity to deliver a new HJCRC. This would include staff reporting back to Council for direction with respect to:

- Reducing the proposed scope of the HJCRC project (i.e. removing or reducing program elements); and/or,
- Considering an interruption of service by delaying the construction of a new HJCRC until funds are secured; and/or,
- Contemplating fee simple sale (rather than 99 year lease); and/or;
- Considering debt financing and the costs and tax implications of debt servicing.

Under this option, staff recommend that the non-market housing component (80 proposed units) continue to be considered to meet the City's housing policy objectives. While incorporating non-market housing reduces the revenues available for HJCRC by up to \$15 million, there is the potential to recoup a portion of this cost through partnerships and funding from senior levels of government. Council, could, however, also consider removal of this non-market housing component.

Should Council wish to proceed with Option 2, the following changes would be made to the proposed bylaws and project:

- Density and height would be reduced in the Zoning Amendment Bylaw No. 8635 as outlined above;
- Maximum height would be reduced in the Official Community Plan amendment Bylaw No. 8631 such that a maximum of 25 storeys would be permitted on the northernmost tower and 23 storeys on the southernmost tower;
- A for-profit childcare would be secured by covenant (rather than non-profit).

The following would be added as an active clause to the resolution:

THAT staff be directed to report back with options for financing the Harry Jerome Community Recreation Centre.

Option 3: Reduce Height of Towers to 18 Storeys

This option would keep the height of the two proposed towers to 18 storeys, consistent with the 56-metre limit currently envisioned in the Official Community Plan. The site plan would otherwise remain as presented in this report. Modifications would be made to the attached Bylaws to realize this change and the Bylaws would be referred to Public Hearing with the height reduction incorporated.

This reduction in height would result in a reduction in density of approximately 163,500 sq. ft. This would reduce the City's lease revenue by \$47.7 million and would result in a significant challenge for the City in delivering HJCRC as currently envisioned. This option would significantly differ from the proponent's proposal and may put the economic viability of the proposal in doubt. Given this, Darwin may reconsider its involvement in the project.

Under this option, it is proposed that a private childcare facility be delivered (rather than a non-profit childcare) and that the non-market housing component be removed from the project. With the removal of these elements, there would remain a reduction in revenue available for HJCRC of approximately \$28 million. Addressing this shortfall would necessitate exploring additional strategies to ensure the City has the capacity to deliver a new HJCRC. This would include staff reporting back to Council for direction with respect to:

- Reducing the proposed scope of the HJCRC project (i.e. removing or reducing program elements); and/or,
- Considering an interruption of service by delaying the construction of a new HJCRC until funds are secured; and/or,
- Contemplating fee simple sale (rather than 99 year lease); and/or;
- Considering debt financing and the costs and tax implications of debt servicing.

Should Council wish to proceed with Option 3, the following changes would be made to the proposed bylaws and project:

- Density and height would be reduced in the Zoning Amendment Bylaw No. 8635 as outlined above;
- Maximum height would be reduced in the Official Community Plan amendment Bylaw No. 8631 such that a maximum of 18 storeys for the proposed towers;
- A for-profit childcare would be secured by covenant (rather than non-profit);
- The non-market housing component would not be secured as an amenity.

The following would be added as an active clause to the resolution:

THAT staff be directed to report back with options for financing the Harry Jerome Community Recreation Centre.

FINANCIAL IMPLICATIONS:

Based on the proposed density of 2.5 FSR, the lease value of the lands is anticipated to be approximately \$210 million, subject to adjustments as a result of market changes. Preliminary estimates suggest the value of the amenities – non-profit housing, finished park space, and childcare – outlined in this report would result in an approximate \$27 million deduction from the negotiated lease value. Revenue from the lease of lands is expected to be received in phases and will substantially cover the anticipated costs of a new HJCRC. A report from the Director of Finance entitled “Harry Jerome Financing Structure and Risk” dated March 8, 2018, provides more information.

A portion of the costs of providing the proposed amenities could be recouped by the City through grants and other funding available from senior levels of government for housing and childcare projects.

INTER-DEPARTMENTAL IMPLICATIONS:

This report has been written with input from the Harry Jerome Neighbourhood Lands Project Team members, an inter-departmental working group for the HJNL project. The Major Projects Team reviewed and endorsed this report on May 15th, 2018.

SUSTAINABILITY:

The developer has committed to achieving industry-leading levels of energy performance and building design including achieving a minimum of Step 3 of the BC Energy Step Code.

Including social infrastructure such as family housing units, childcare, a seniors' facility, and affordable housing within the proposed project ensures the project reaches the same standards for social sustainability.

POLICY IMPLICATIONS:

The proposed project advances a number of goals outlined in the City's Official Community Plan:

Goal 1.1: Develop a compact, complete community that meets the needs of its diverse residents and businesses.

Goal 1.4: Enhance quality of life through the provision of amenities.

Goal 1.5: Pursue attainable housing that meets the needs of its diverse community.

Goal 3.5: Support the independence and well-being of older City residents.

Goal 5.1: Expand the integrated system of parks and greenways throughout the City as articulated in the Parks Master Plan.

Goal 5.3: Provide a variety of public spaces for community engagement and stewardship.

In addition to support a range of OCP goals and objectives, housing outcomes on the HJNL have been guided primarily by the Housing Action Plan (HAP) and the Density Bonus and Community Benefits Policy. The project's housing component would increase housing diversity, help address current and future local rental housing shortfall, and support low-income households and those with unique needs in their access to affordable, accessible, and suitable housing.

Based on the Metro Vancouver Housing Demand Estimates, the City of North Vancouver's housing needs include 720 "Very Low" (income less than \$30,000 per annum) to "Low" (income between \$30-50,000 per annum) income units between 2016 and 2026. Acquiring 80 units within the HJNL is a unique opportunity to provide a significant portion of the City's projected 10 year needs. The City's Official Community Plan makes providing "diverse and affordable" housing a key guiding principle and includes the following objectives:

1.5.2 Increase the amount of affordable and adequate accommodation for lower income households (including non-market housing) in an effort to meet the Metro Vancouver Housing Demand Estimates articulated for the City over the next 10 years (Figure 5);

1.5.3 Increase the supply of non-profit rental social housing through collaboration and partnerships;

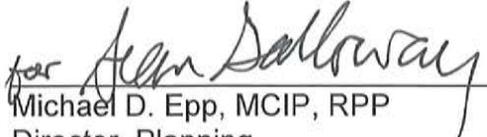
1.5.5 Identify City-owned lands with opportunities for non-profit housing, housing demonstration projects, and supportive housing for seniors and individuals with special needs;

Date: May 23, 2018

Without leveraging City-owned lands, it is unlikely the City will meet the estimated demand of 300 new low-income rental housing units from 2014 – 2024 (i.e. 30 units per year).

The City's Housing Action Plan expands on these OCP housing objectives and identifies creating "shovel ready" non-profit housing projects as a key priority, including exploring City-owned sites for this purpose.

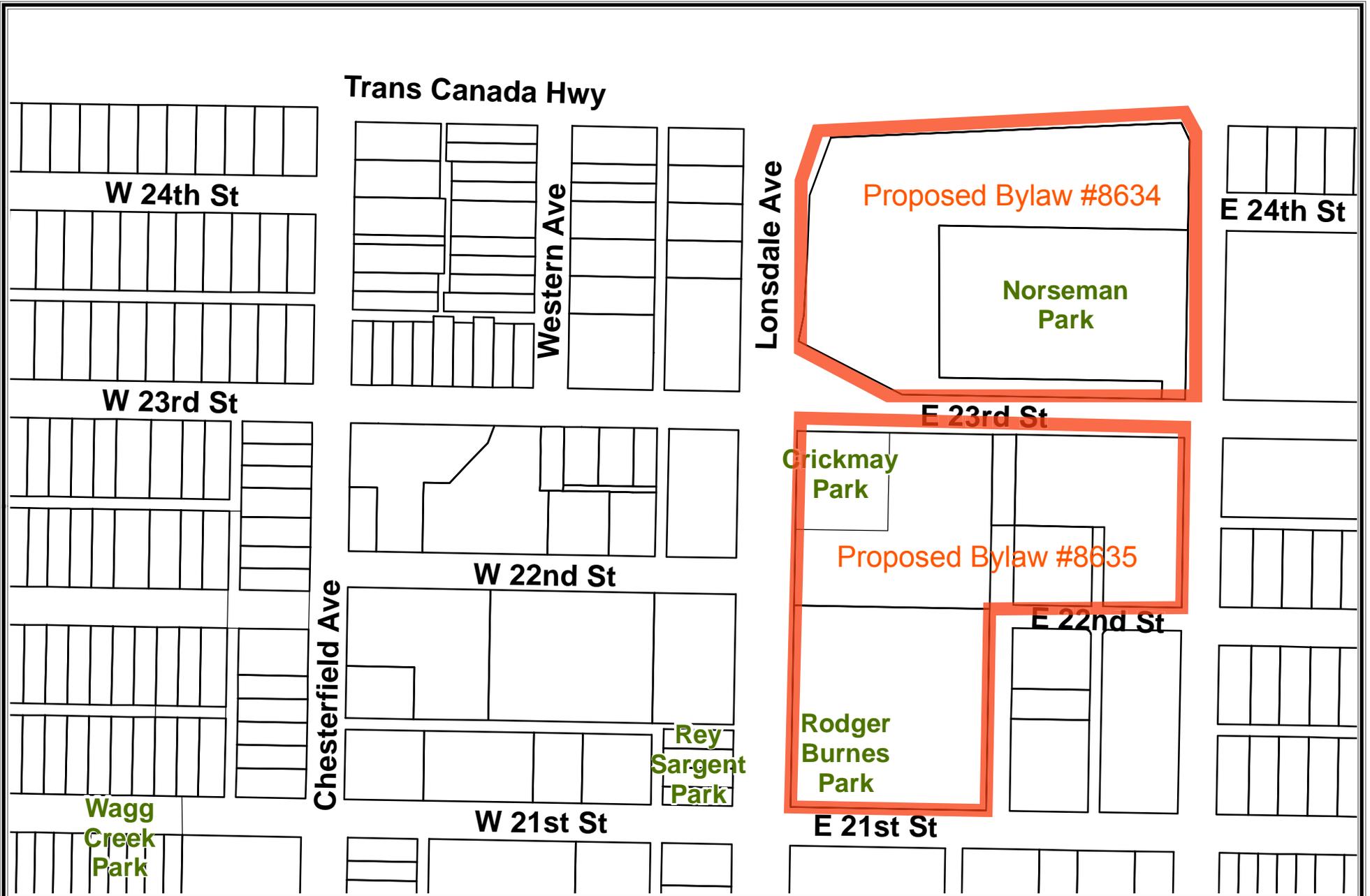
RESPECTFULLY SUBMITTED:



Michael D. Epp, MCIP, RPP
Director, Planning

Attachments

ME:eb



PROJECT SUMMARY SHEET

Harry Jerome Neighbourhood Lands



SITE CHARACTERISTICS

Site Area:	314,915 (Proposed Development Site)	OCP Designations:	Mixed Use Level 2 & Parks,	Doc. 1658402
Existing Zoning:	Public Use and Assembly 1 Zone	OCP Height Limit:	56 metres	

FLOOR AREA AND HEIGHT

	Official Community Plan (OCP)	Proposed
Floor Space Ratio (FSR):	2.5 (including 0.5 Density Bonus)	2.5
	2.0 FSR: 629,830 sq. ft.	Residential GFA: 690,309 sq. ft.
		Office GFA: 74,288
		Retail GFA: 22,018
Total Gross Floor Area (sq. ft.):	Density Bonus 0.5 FSR: 157,458 sq. ft.	
	Total 2.5 FSR: 787,288 sq. ft.	Total GFA: 786,615 sq. ft.
Total Lot Coverage (Percent):	n/a	46%

Principal Building Height:	56 metres or 6 storeys depending on location on the site	81.5 metres for two buildings and a maximum of 23.3 metres elsewhere on site
-----------------------------------	----------------------------------------------------------	------------------------------------------------------------------------------

PARKING

	Required	Proposed
Residential Parking Spaces:	732	806
Office/Retail Parking Spaces:	181	193
Total Vehical Parking Spaces:	913	999
Secure Bicycle Parking	1241	1241

Numbers are based on statistics dated May 15, 2018

Doc. 1658402

HARRY JEROME NEIGHBOURHOOD LANDS

REZONING UPDATE

May 22nd, 2018

DARWIN

PERKINS+WILL

PFS STUDIO



A - PROJECT INFORMATION	4	B - SITE CONTEXT	14	C - URBAN DESIGN PRINCIPLES	31	D - SUSTAINABLE DEVELOPMENT	51
Project Brief		Regional Context		Masterplan Structure		Sustainable Goals and Strategies	
Public Consultation Summary		Zoning Districts		Open Space - Trees & Stormwater		Sustainable Development Guidelines	
Consultant Team		City Of North Vancouver OCP		Public Realm - Plaza, Streets & Axis, Green Necklace			
Design Rationale		History Of The North Shore		Illustrative Site Plan			
Vision		Neighbourhoods		Massing			
Guiding Principles		Site Photos		Primary Uses			
Project Statistics		Views & Orientation		Public Amenities			
Affordability & Adaptability		Views From Site		Circulation - Vehicular & Transit			
		Topography		Circulation - Pedestrian & Bicycles			
				Design Attributes			
				Design Articulation			
				3D Views			
				Model Photos			
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Site Photos		Floor Plan - Typical Level		Landscape Plan		Public Art Concept	
Shadow Studies		Parking Plans		Roof Plans			
Context Plan		Street Elevations		Landscape Sections			
Site Plan		Site Sections		Landscape Phasing Diagrams			
Floor Plan - Level 01		Proposed Phasing					
H - CIVIL	93	I - ENVIRONMENTAL	97				
Preliminary Building Grades		Phase I Environmental Site Assessment					
Preliminary Stormwater Management Plan							

“Our vision establishes a Legacy Redevelopment Plan for the Harry Jerome Lands. This Plan not only acknowledges the history and current use of the development lands - it recognizes that future generations will live, work and play here as well.”

PROJECT INFORMATION



PROJECT BRIEF



INITIATIVE

The Harry Jerome Community Recreation Centre is nearing the end of its useful life. In July 2017 – following a number of years of careful study and evaluation, and significant public input in the spring of 2017 – Council provided direction regarding the site and program for a new Harry Jerome Community Recreation Centre.

SELECTION OF DARWIN

The City of North Vancouver conducted a search among the development industry and after a review of submissions, identified Darwin Properties as the preferred proponent to lead the rezoning application process for the acquisition and redevelopment Harry Jerome Neighbourhood Lands south of 23rd Street E.

The City of North Vancouver plans to deliver these lands on a 99-year lease to Darwin Properties, who will apply to develop the lands with a mix of multi-family residential and other uses, including a significant new public park.

The City will use the proceeds from the lease of the Harry Jerome Neighbourhood Lands to fund construction of the new Harry Jerome Community Recreation Centre on City-owned land north of 23rd Street E.

PREFERRED SCHEME

The Darwin Properties team, including expert consultants, explored a variety of development scenarios. Ultimately, we developed one strong scheme which captures our vision. The plan herein features approximately 1.0 ha of public park land dedication, a significant community amenity, as a complement to the New Harry Jerome Community Recreation Complex.

This expansive new public park retains and builds on Crickmay Park, and maintains green space and open areas where the existing Lawn Bowling greens are today. This park encourages active participation by all age groups, and creates an important node in the Green Necklace.

Significantly, the proposed building forms and open spaces generally maintain to the existing parks, recreation and open space boundaries. The density proposed is within the range defined in the OCP maximum of 2.5 FSR. In line with the aspirations of the City, our Plan provides a mix of housing type and tenure, and commercial space, along with additional amenities.

DATA

Site Address and Legal Description

The site consists of five legal lots and is identified as follows:

123 23rd Street E (northwest portion)

Parcel Identifier: 009-029-311

Legal Description: Lot A of Lot 1 Block 207 District Lot 545 Plan 11876

123 23rd Street E (northeast portion)

Parcel Identifier: 018-929-648

Legal Description: Lot 1 Block 207 District Lot 545 Plan Lmp 17639

144 East 22nd Street E

Parcel Identifier: 007-711-280

Legal Description: Lot C Block 207 District Lot 545 Plan 15014

North of Eastern Avenue

Parcel Identifier: 011-145-501

Legal Description: The Closed Part of Eastern Avenue in Reference Plan 8308 of Lot 2 Block 207 District Lot 545 Plan 5481

2160 Lonsdale Avenue

Parcel Identifier: 009-029-338

Legal Description: Lot B of Lot 1 Block 207 District Lot 545 Plan 11876

Site Information

Existing Lot Area: 314,915 sq ft (95,986 sq m)
Includes Crickmay Park

OCP Designation: MIXED-USE LEVEL 2 (Medium Density)

Purpose: To allow mid-rise multi-family and commercial uses and activities contributing to a pedestrian-scale village-feel. Sites can be fully commercial, mixed use and must emphasize street fronting activity including shops, cafés or services.

Form: A mix of building forms and sizes.

Max Density: 2.0 FSR

Max Bonus: 0.5 FSR

A maximum increase of 0.5 FSR may be considered when public benefits are provided.

PUBLIC CONSULTATION SUMMARY



A. December 2017 Public Open House

Open House

Participants	#	%
Attendance	97	
Comment Forms Received	54	57%

Online Survey

Participants	#	%
Survey Completed	287	
Comments Submitted	215	75%

PURPOSE

The purpose of the initial Harry Jerome Neighbourhood Lands consultation program was to provide opportunities for North Vancouver residents to give input, and help shape and define the proposed development options being considered prior to submitting a rezoning application to the City of North Vancouver

TIMELINE

On November 27, 2017 the Pre-Application Consultation Program was launched with a comprehensive project website and online survey. The program closed on December 17, 2017.

EVENTS

A Public Open House was held on Wednesday, December 6, 2017 at the North Vancouver School District 44 Administration Building on Lonsdale Avenue at West 21st Street.

Three pop-up consultation events were held on Saturday, December 9th from 1:30pm to 4:30pm in the lower level Lobby of the Harry Jerome Community Recreation Centre and on Tuesday, December 12, 2017 and Thursday, December 14th, 2017 from 4:30pm – 6:30pm in the Upper Lobby of the Harry Jerome Community Recreation Centre.

B. Participation

PROPOSED DEVELOPMENT CONCEPT (DECEMBER 2017)

- Overall density not to exceed current Official Community Plan designation
- New expanded public park fronting Lonsdale Avenue
- Affordable housing (rental and/or for purchase) priced below typical market rates.
- Family-oriented housing
- Childcare facilities
- Retail opportunities
- Medical Office Space
- Extension and integration of the City's Green Necklace, including bicycle and pedestrian infrastructure



A. Development Option One

PROPOSED DEVELOPMENT OPTIONS

Two development concepts were presented for consideration:

Option 1

- Three buildings (T) at 16, 18 and 20 storeys are distributed across the site, with three mid-rise buildings (M), between 4 and 6 storeys, fronting the new park, Eastern Avenue, and along 22nd and 23rd Street E.
- Does not require Official Community Plan Amendment for increasing maximum building heights

Option 2

- Two buildings (T) at 24 and 26 storeys are distributed across the site, with four mid-rise buildings (M), between 4 and 6 storeys, fronting the new park, Eastern Avenue, and along 22nd and 23rd Street E.
- Requires Official Community Plan Amendment to allow for building heights above 56 metres but below 74 metres.



A. Development Option Two

FEEDBACK

- The greatest number of supportive comments were generated in relation to funding generated from the development ensuring the redevelopment of the Harry Jerome Community Recreation Centre, and in particular a 50 metre pool;
- Given the early stage of the development proposal the public provided generally positive suggestions reflecting community values including: green space; affordable housing; and livable communities that include a diverse mix of housing for families;
- The Eastern Avenue neighbours had concerns about density and adjacencies of towers and midrise buildings.
- Comments about traffic, parking and transportation infrastructure reflected the concern across the North Shore.
- The results for both options were similar, with a slight preference for Option One. This may be due to the perception that a three-tower option would result in a higher financial contribution to the City.

PROJECT INFORMATION

A

CONSULTANT TEAM**Darwin Properties – North Shore Developer & Builder**

Darwin is a leading builder with a reputation for honesty and quality, collaboration and innovation. Since 1987, Darwin has satisfied the needs and tastes of our customers, maintaining our position as the North Shore's most trusted development company.

Developer**DARWIN PROPERTIES**

#404 - 197 Forester Street
North Vancouver, BC V7H 0A6
Canada
darwinconstruction.ca

Darwin Properties Consulting Team

Land and Development Approvals Advisor
– Richard White PAS

Urban Design Advisor
– Frank Ducote Urban Design

Approvals and Public Engagement Strategies
– Chuck Brook Real Estate Advisor

Public Engagement Facilitator
– Rockandel & Associates

Design Consultants

Darwin has selected a high caliber team best suited to develop the Harry Jerome Lands that will be enjoyed by the North Shore community for generations to come.

Each team member is selected for their unique experience, expertise, and ability to deliver an exceptional mixed-use development that will be a delight for the neighbourhood and the City of North Vancouver.

Architect & Planner**PERKINS + WILL**

1220 Homer St,
Vancouver, BC V6B 2Y5
Canada
perkinswill.com

Transportation**BUNT & ASSOCIATES**

#1550 - 1050 W Pender St
Vancouver, BC V6E 3S7
Canada
604.685.6427
bunteng.com

Environmental**KEYSTONE ENVIRONMENTAL**

#1550 - 1050 W Pender St
Burnaby, BC V5G 4G3
Canada
604.430.0671
keystoneenvironmental.ca

Public Art**BALLARD FINE ART**

(no municipal address on website)
604.922.6843
ballardfineart.com

Landscape Architect**PFS STUDIO**

1777 West 3rd Avenue,
Vancouver, BC V6J 1K7
Canada
604.736.5168
pfsstudio.com

Civil Engineering**BINNIE & ASSOCIATES**

4946 Canada Way
Burnaby, BC V5G 4H7
Canada
604.420.1721
binnie.com

Building Code**THORSON McAULEY,
CERTIFIED PROFESSIONALS**

116-119 West Pender Street,
Vancouver, BC V6B 1S5
778.834.6569
brthorson.ca



A. Concept Drawing from 23rd Street E

The Harry Jerome Neighbourhood Lands project will be a key development in North Vancouver. It will create an active and vibrant destination at the northern end of Lonsdale Avenue, with a unique opportunity for a dynamic mixed-use development and public park in this location.

The Harry Jerome Neighbourhood Lands project is also a key contributor to the development of the Harry Jerome Community Recreation Centre project, where revenue generated from the HJNL project will help fund the HJRC.

Collaborative Approach

- Darwin Properties and their consultants have worked collaboratively with the City of North Vancouver to develop this rezoning plan
- Plan also included public consultation for input into shaping the form of development

Expanding Park & Open Space

- Include and extend Crickmay Park
- Locate and provide park space that is contiguous along Lonsdale Avenue frontage

Activating the Public Realm

- Public plaza and buildings facing the public open space will have active uses (e.g. retail, commercial) as well as promoting the connection between the Harry Jerome Neighbourhood Lands and the future Harry Jerome Community Recreation Complex

Enhancing Public Site Access & Permeability

- North-south and east-west connections from adjoining communities through the site to the Green Necklace, and Lonsdale Avenue
- Enhanced sidewalks, separated bike lane and formal street trees promote daily pedestrian interaction along the boulevards

Delivering Significant Architectural Buildings

- Incorporating world-class urban design, architecture and sustainable development practices into the delivery of a community of buildings
- Derive maximum value from the site while providing a range of affordable housing options

Promoting Sustainability

- Sustainability targets for the development will meet the City of North Vancouver's Community Vision Guiding Principles by providing an integrated approach to sustainable development for a low carbon community that is vibrant, diverse, and livable

A

PROJECT INFORMATION

VISION

We have a bold vision for the development that includes:

WORLD-CLASS BUILDING

- Incorporating world-class urban design, architecture and sustainable development practices into the delivery of a community of buildings.



WIDE RANGE OF CHOICE

- Providing a wide range of affordable housing choices which are appropriate to and provide options for the needs of this growing community.



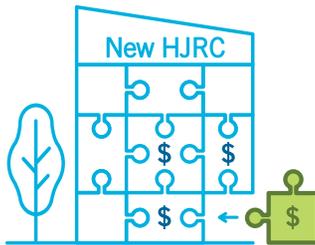
ENRICHING COMMUNITY

- Creating a rich, diverse, and complete community that promotes neighbourliness and enjoyment.



FUNDING A WORLD-CLASS COMMUNITY RECREATION COMPLEX

- Funding the construction of a new City-owned world-class Harry Jerome Community Recreation Complex (HJRC).



DEDICATED NEIGHBOURHOOD PARK

- Building and dedicating a large and important new public park for all residents of the City of North Vancouver that will incorporate active play, exercise and recreation as an extension of the world-class facilities being planned for the new HJRC.



ENHANCING THE GREEN NECKLACE

- Enhancing the City's Green Necklace with multi-modal pathways that derive maximum benefit from the development's amenities and new public park.



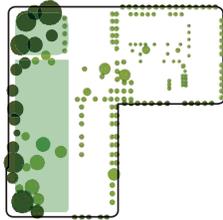
GUIDING PRINCIPLES



The following design principles, based on a thorough analysis of the site, are key to meeting our goal to achieve world-class urban design, architecture and exemplary sustainable development practices.

GREEN NETWORK / OPEN SPACE

- Maintain green gateway at significant entry points to the site
- Increase the area of existing green space on the site
- Retain trees on Lonsdale Avenue
- Ensure coherence and legibility of public open space



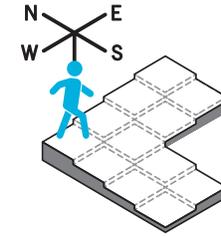
COMMUNITY

- Create a significant public gathering place
- Ensure no downtime for replacement facilities
- Build a sense of partnership with the community
- Ensure integration with the new Harry Jerome Community Recreation Complex



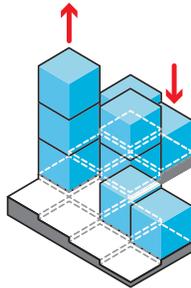
CONNECTIVITY

- Create new north-south pedestrian connections to the evolving new civic precinct (theatre, new HJCRC)
- Provide strong east-west connections to the community as well as at key entry points to the site (Lonsdale Avenue and 21st Street E, and Lonsdale Avenue and 23rd Street E).
- Provide a multi-use Green Necklace link through the site
- Maintain and improve mid-block connectivity through the site



SITE STRATEGIES

- Transition/decrease height towards the east
- Take advantage of the site slope and grade change



ECONOMICS

- Ensure strategic location of commercial uses (café, restaurant)
- Derive maximum value from the site while providing a range of affordable housing options
- Provide a diversity of housing type and unit mix



PROJECT INFORMATION



PROJECT STATISTICS

Building Height

Area Summary

	Stories	Height	GFA					FSR Exclusions	
			Resi	Office	Retail	Total	(1)	Area	
T1	28	266' (81.2m)	215,673		5,569	221,242	6,066	215,176	
T2	28	266' (81.2m)	217,954		-	217,954	3,457	214,497	
M1	6	69' (21m)	85,086		-	85,086	2,348	82,738	
M2	6	76' (23.2m)	104,618		-	104,618	3,158	101,460	
M3	6	70' (21.5m)	89,288		-	89,288	7,244	82,044	
M4*	5	73' (22.3m)		76,689	17,161	93,850	3,150	90,700	
Parcel 2 Subtotal			89,288	76,689	17,161	183,138	10,394	172,744	
Parcel 3 Subtotal			623,331	-	5,569	628,900	15,029	613,871	
Site Total			712,619	76,689	22,730	812,038	25,423	786,615	
Site Area								314,915	
FSR								2.50	

Unit Summary

	Studio	1BR	1BR+D	2BR	2BD+D	3 BD	Total
T1	2	86	46	46	48	12	240
T2	-	90	47	66	29	14	246
M1	20	22	-	20	18	11	91
M2	-	-	66	36	12	12	126
M3	-	43	29	27	-	-	99
M4*	-	-	-	-	-	-	-
Parcel 2 Subtotal	-	43	29	27	-	-	99
Parcel 3 Subtotal	22	198	159	168	107	49	703
Site Total	22	241	188	195	107	49	802

Parking and Loading

	Units	GFA (sf)	GFA (sm)	Required					Provided					
				Bylaw Requirements		Parking			Loading		Parking		Loading	
				Total	Visitor	Total	Visitor	Disability	Ratio (2)	Total	Visitor			
Parcel 2 Residential Care	M3	99		0.3 per unit ³	0.1 per unit	98	10	6		0.30 per unit	30	4		
Parcel 2 Office	M4*	-	76,689	7125	1 per 50 sm	0.1 per unit	137	-	5	4	0.8 per 50 sm	114	-	0
Parcel 2 Retail	M4		17,161	1,594	1 per 50 sm		30	-	2	1	1.79 per 50 sm	57	-	1
Parcel 2 Subtotal		99				265	10	13	5		201	4	1	
Parcel 3 Residential	M2	126		0.60 per unit	0.10 per unit	76	13	6		0.60 per unit	76	10		
	T2	246		1.05 per unit	0.10 per unit	258	25	12		1.30 per unit	320	18		
	M1	91		0.60 per unit	0.10 per unit	55	9	6		0.60 per unit	55	8		
	T1	240		1.05 per unit	0.10 per unit	252	24	14		1.30 per unit	312	18		
Parcel 3 Retail	T1		5,569	517	1 per 75 sm		7	1	1		22	2		
Parcel 3 Subtotal						648	71	39	1		784	55	2	
Site Total						913	81	52			985	59	3	

Required Bicycle Parking

Bicycle Bylaw Requirements	Supply Required			
	Short Term	Secure	Short Term	Secure
6 spaces per every 60 units or part thereof		1.5 per unit	12	149
6 per 1000 sm		1 per 250 sm	43	28
			-	6
			55	184
every 60		unit	12	189
			24	369
			12	137
			24	360
6 per 1000 sm		1 per 250 sm	-	2
			72	1,057
			127	1,241

Notes:

- (1) Applicant intends to discuss the potential for further exclusions.
- (2) Applicant requirement in order to support development proposed. Detailed parking study to follow.
- (3) Pending Approval of Draft Zoning Bylaw Amendment to add 'CD-703 Comprehensive Development 703 Zone'

AFFORDABILITY & ADAPTABILITY

Darwin's proposal for the Harry Jerome Neighbourhood Lands is to create a mixed-use community inclusive for all, with close to 800 residential units in the Upper Lonsdale community. This site is ideally located, with the existing transit infrastructure, shopping, services, and employment opportunities along Lonsdale Ave immediately to the west, and the future Harry Jerome Community Recreation Centre immediately to the north.

When evaluating the potential land use and unit mix strategy, it was important that the development proposal address the goals and objectives outlined in City of North Vancouver policies such as the Official Community Plan, Housing Action Plan, Long Term Transportation Plan and Economic Development Strategy.

UNIT MIX

The Harry Jerome Neighbourhood Lands will provide a diverse mix of housing types and tenures and a range of units to suit the variety of housing needs of current and future City of North Vancouver residents. Residential building forms include two high-rise towers and three mid-rise buildings, featuring a variety of unit types – studio, 1 bedroom, 1 bedroom + den, 2 bedroom, 2 bedroom + den and 3 bedrooms. Larger units will be suitable for families with children and those downsizing from single family homes. Smaller units will provide an affordable option for singles, couples and seniors who wish to reside in close proximity to surrounding amenities and transit infrastructure.

Residential tenures featured within the Harry Jerome Neighbourhood Lands include:

- Market Housing (Leasehold Strata)
- Market Rental Housing
- Seniors Assisted Living & Memory Care
- Affordable Rental Units
- Non-Profit Housing

AFFORDABILITY

The Harry Jerome Neighbourhood Lands will be developed on land leased to Darwin by The City of North Vancouver (CNV). Throughout Metro Vancouver, lease hold communities have historically traded at a moderate discount to comparable residential units in freehold communities. It is anticipated that this would be the case for homes in this development, introducing a significant number of more affordable new homes to the market.

10% of all of the market rental housing within the project will be provided at 10% below CHMC rates (The City of North Vancouver's 10-10-10 policy for mid-market rental units). *

ADAPTABLE UNITS

Adaptable design refers to housing or housing features that are intended for use by people with disabilities or those who are limited in mobility. In accordance with the City of North Vancouver's Adaptable Design Policy, 25% of homes at the proposed development be designed to Level Two Adaptable guidelines. In the case of the Seniors Assisted Living & Memory Care facility, all habitable units will be adaptable and designed to industry leading standards.

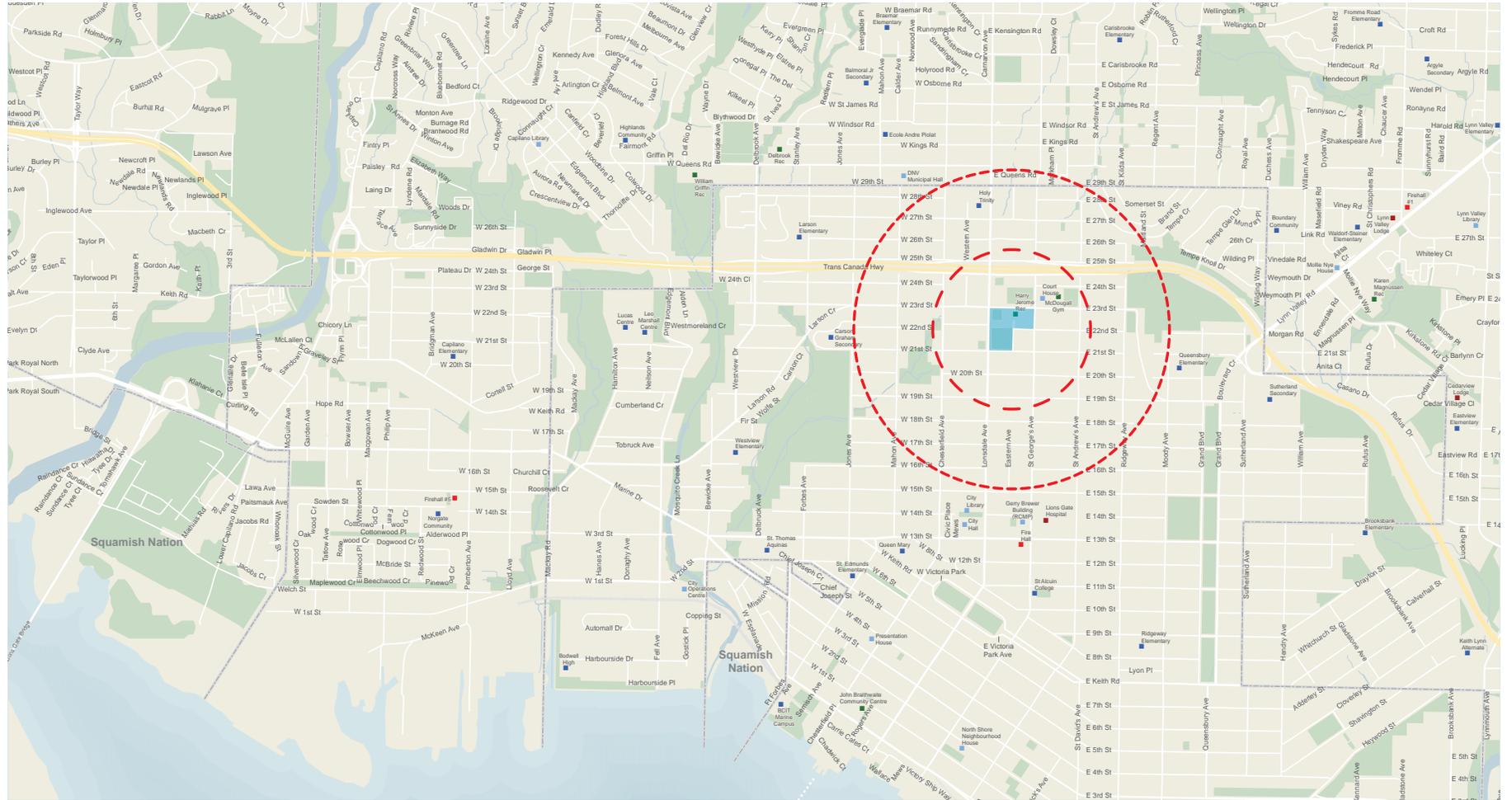
All the above combined, will result in a desirable housing mix for the future residents of the Harry Jerome Neighbourhood Lands. These residents will have the opportunity to live, work, and play within a mixed-use community, and in an area supported by transit, shops and services, contributing to the vitality of the Upper Lonsdale corridor.

* "Affordable" is defined as housing costs which do not exceed 30% of gross annual household incomes for City residents whose incomes are below the Housing Income Limits (formerly the Lower Mainland Income Ceiling levels) established periodically by BC Housing (BCHMC) in conjunction with CMHC for specific unit sizes.



SITE CONTEXT

REGIONAL CONTEXT

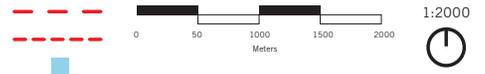


City & District of North Vancouver

5 Minute Walking Radius

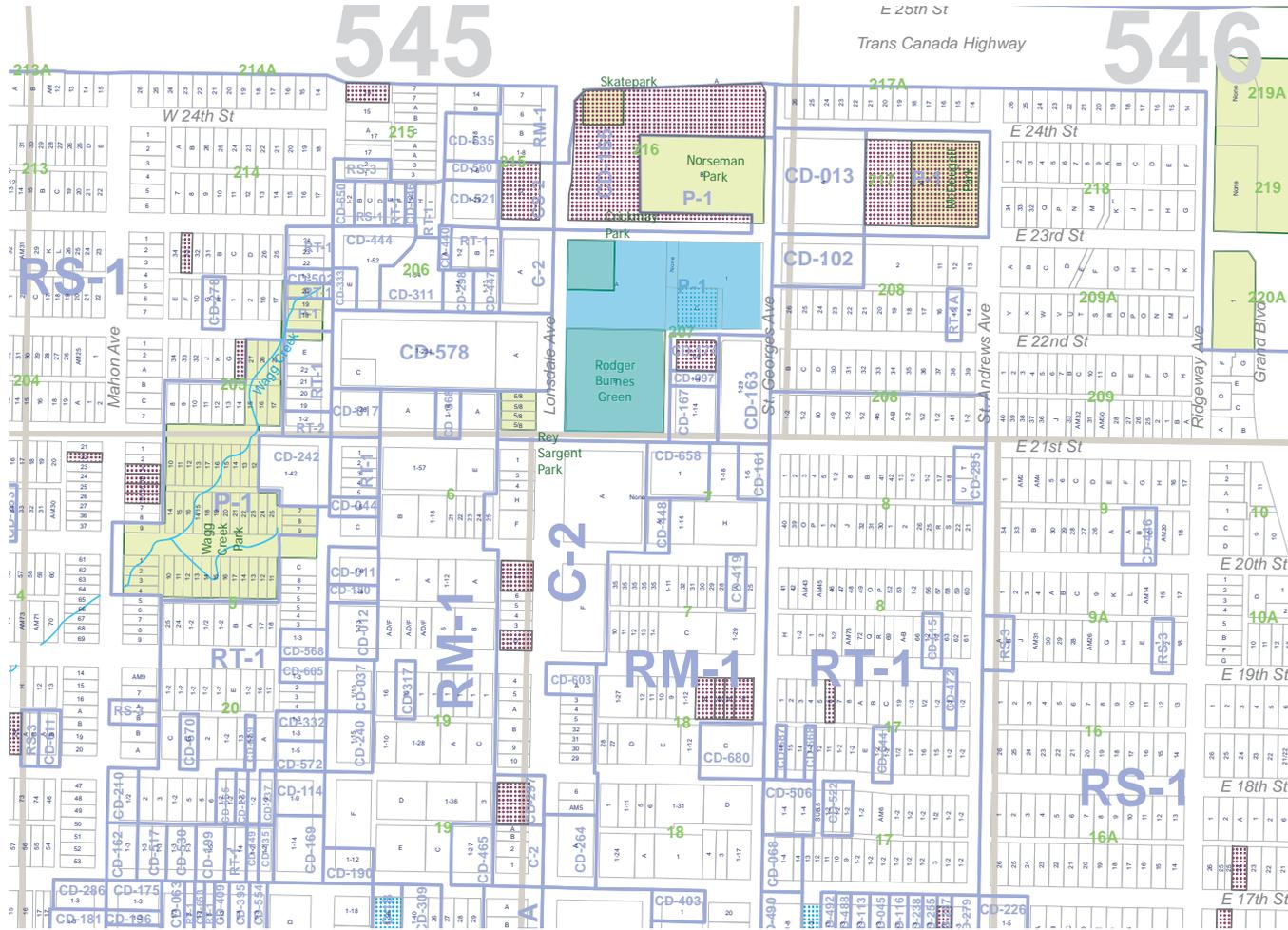
10 Minute Walking Radius

Harry Jerome Neighbourhood Lands



1:2000

ZONING DISTRICTS



CURRENT ZONING

P-1 Public Use And Assembly Zone

1. Civic Use:

- (a) Accessory Recreational Retail Sales and Service;
- (b) Accessory Off-Street Parking Use;
- (c) Accessory Off-Street Loading Use.

2. Child Care Use: Subject to Section 607(9) of this Bylaw

- (a) Accessory Off-Street Parking Use.

3. Off-Street Parking Use.

	FSR	HEIGHT
P1	N/A	Civic Use: 27.432 metres (90 feet) Assembly Use: 18.288 meters (60 feet)

Harry Jerome Neighbourhood Lands

City & District of North Vancouver - Generalized Zoning Map

SITE CONTEXT

CITY OF NORTH VANCOUVER OCP

OCP – KEY GOALS

Our project is designed to support the following vision for the community, which is well defined in the OCP's Guiding Principles.

Complete & Compact

There is ample area to support the densification within a compact, sustainable and highly livable urban community that provides a wide variety of housing choices with access to transit.

Accessible & Active

The new public park is programmed to encourage activity for people of all ages and abilities, and creates a pedestrian link from Lonsdale Avenue and 21 Street E to the new Harry Jerome Community Recreation Centre.

Opportunity-Filled

Where sustainable, space for commercial uses has been provided to ensure employment opportunities are enhanced within the community. Commercial/retail space is provided at the northern urban plaza, across from the new HJCRC, to maximize visibility and use.

Resilient & Adaptable

Building spaces will be designed to remain functional through major storms, stormwater flows will be treated on site in retention ponds, and the development will contribute to greenhouse gas emission reductions by targeting LEED Gold certification.

Healthy & Inclusive

The new public park and the surrounding development will create an inclusive, supportive community that enhances the qualities of the existing neighbourhood. The legacy of athletics and sport will be strengthened to promote active lifestyles for individuals of all abilities and foster a greater sense of community.

Diverse & Affordable

This new community will include a mixture of housing types to address the City's need for housing diversity and affordability. Rental and family friendly homes are all key components to the housing mix for the site.

Community Supporting Community

The City will continue to be a compassionate community recognizing that all individuals and/or their families will require support at some point in their lives. The City will assist organizations and individuals that provide community support through the responsible allocation of its resources.

Age Friendly

By integrating a range of housing options, accessible open space, and a variety of active and passive outdoor recreational areas, the new development and the new public park will create an inclusive community for all age groups. Furthermore, the new public park creates a barrier-free pedestrian connection to the new community centre that will provide programs for seniors and children alike.

OCP - VARIANCES

The City of North Vancouver has proposed that approximately 50,000 (45,000 + 5,000) sq ft of additional floor area could be added to the allowable GFA for Harry Jerome Neighbourhood Lands site in consideration of accommodating the community priorities of affordable rental units + childcare.

The addition of 50,000 sq ft of floor area would displace existing residential area, which would then be added to the proposed towers.

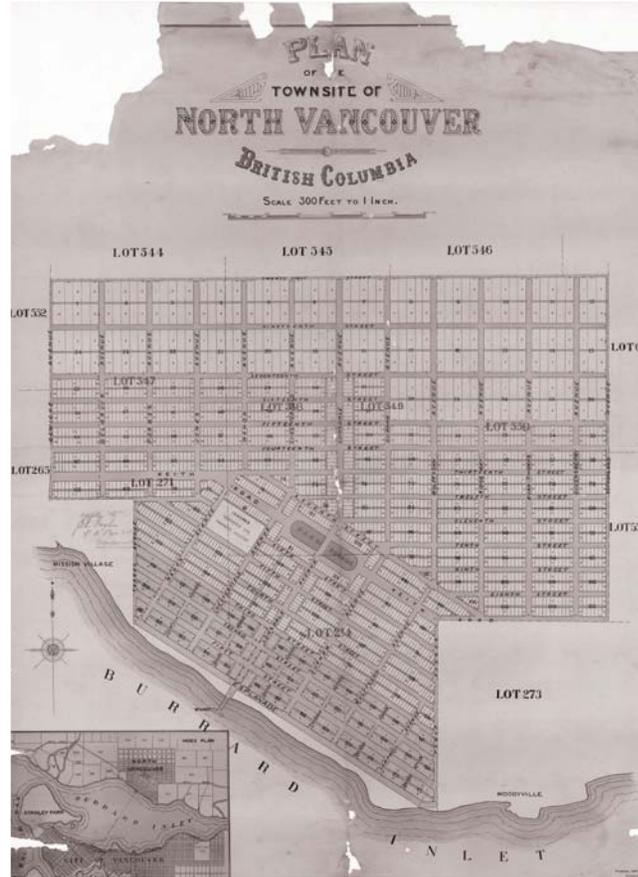
The resulting and requested OCP variances therefore are:

- Increase allowable maximum building height from 56m (18-20 storeys) to 81.2m (28 storeys)
- Extend the eastern boundary of the allowable maximum building height

SITE CONTEXT

HISTORY OF THE NORTH SHORE

B



A. 189- Plan of the Townsite of North Vancouver- (North Vancouver Museum and Archives)



B. Squamish Nation paddlers in Nahanee dugout canoes in North Vancouver - (Squamish History Archives, Squamish Public Library)



C. 1910 Loggers at mouth of Capilano River with flume in the background- (North Vancouver Museum and Archives)



D. 1920s Ferry Landing, Lonsdale Ave., North Vancouver (City of Vancouver Archives)

1863 - Moodyville, The first sawmill opens on the North Shore. Purchased by Sewell Prescott Moody and becomes Moodyville, with a hotel and the inlet's first school. (NVMA)

1891 - The District of North Vancouver Incorporates, Stretching from Horseshoe Bay to Indian Arm, excluding Moodyville. (NVMA)

1900 - Ferry Across the Inlet - Ferry No. 1 Base of Lonsdale Avenue to Downtown Vancouver (NVMA)

1906 - Wallace Shipyards opens in North Vancouver. Later becomes Burrard Dry Dock (1925) and Versatile Pacific (1985)(NVMA)

1907 - The City of North Vancouver is created as a separate municipality "the Ambitious City" (NVMA)

1908 - Chief Joe Capilano undertakes talks with Prime Minister Wilfred Laurier on Land claims, fishing, hunting rights and education (NVMA)

1912 - West Vancouver Secedes (NVMA)

1912 - West Vancouver Secedes (NVMA)

1923 - Squamish First Nation. Sixteen Coast Salish Chiefs amalgamate to create the Squamish First Nation and a council of chiefs to conduct Squamish affairs (NVMA)

1925 - The Second Narrows Bridge opens to Road traffic making North Vancouver accessible to motorists (NVMA)

1925 - Moodville joins The City of North Vancouver (NVMA)

For millennia the ancestors of the Skwxwú7mesh (Squamish), Tsleil-Waututh and X'muzk'l'um (Musqueam) peoples have lived on the North Shore. (NVMA)

SITE CONTEXT

HISTORY OF THE NORTH SHORE

The story of North Vancouver is imbued with the relationship between people and the natural realm.

The ancestors of Skwxwú7mesh (Squamish), Tsleil-Waututh and X'muzk'i'um (Musqueam) peoples have lived on the North Shore for Millennia (NVMA).

The densely forested slopes attracted early industry and sparked the settlements of logging operations on the North Shore. Close proximity to the industrial infrastructure and labour force of Vancouver and the abundant timber resources lead to a flourishing of logging activities on the North Shore.

As connectivity to Vancouver increased with regular ferry crossings and the installment of a streetcar line on Lonsdale Avenue, more industries including a considerable shipbuilding yard moved to the northern shores of the Burrard Inlet. People began to settle the slopes of the North Shore on mass. The construction of both the first (Lions Gate) and second narrows (Iron Worker's Memorial) bridges created connections to Vancouver which would create a huge residential demand for the development of the North Shore. Employment at the Burrard Dry Docks during World War II would reach a peak of 14,000 employees. The post-war housing boom in North Vancouver was substantial and solidified much of the urban fabric of North Vancouver.

Crickmay Park has been home to the North Vancouver Horticultural Hall, Japanese Tea House, Scout Hall and at one time was the terminus of the Lonsdale Streetcar. Today, Crickmay Park has a playground surrounded by lush gardens and mature trees (Parks of North Vancouver). The North Vancouver Lawn Bowling Club at Roger Burnes Green was established in 1923. The Harry Jerome Recreation and Community Centre and the Centennial Theatre were completed in 1966.

North Vancouver has been able to hold on to much of its' cultural, natural and industrial heritage and has remained a space characterized by the ability to live, work and play in close connection to the outdoors.



E. 1942 Burrard Dry Dock (North Vancouver Museum and Archives)



F. 1963 Lions Gate Hospital (North Vancouver Museum and Archives)



G. 1940-1982 Harry Jerome (Ralph Bower)

1940-45 - The War Effort the Burrard Dry Dock employs 14,000 & produces one third of all Canadian Cargo vessels produced during wartime (NVMA)

1958 - Second Narrows Bridge Collapses during construction (NVMA)

1961 - Upper Levels Highway Constructed (NVMA)

1963 - Lions Gate Hospital Opens (NVMA)

1968 - Capilano College (CNV)

1980s - Many Iranian immigrants, both before and after the 1979 revolution in Iran, settle in North Vancouver (NVMA)

1992 - Versatile Pacific closes (NVMA)

2012 - Gordon Smith Gallery of Canadian Art opens (NVMA)

1938 - Lions Gate Bridge Opens (NVMA)

1954 - Cleveland Dam (NVMA)

1960 - Iron Worker's Memorial Bridge completed (NVMA)

1966 - Centennial Theatre (CNV)

1979 - Seabus Launched (CNV)

1985 - Lonsdale Quay (CNV)

2010 - Vancouver hosts Winter Olympics (NVMA)

2014 - The Shipyards (NVMA)

1960, 1964, 1968 - Harry Jerome represents Canada at the Olympics (NVMA)

1966 - Harry Jerome Community Recreation Centre (NVMA)

SITE CONTEXT

NEIGHBOURHOODS

B

North Vancouver is composed of a unique collection of neighbourhoods, each contributing to the richness of the community. The North Shore can be characterized as life between the mountains and the sea, rushing creeks and forested parks break up the communities into pocketed neighbourhoods which are connected through their commonality of life on the edge. Living on the north is something sublime - a common day can often include a walk in the rain underneath a canopy of giant cedars and douglas firs.

The neighbourhoods of North Vancouver have developed with this sense of serenity gained through a connectivity to the natural world, paired with the integrity of belonging to a tightly knit community. North Vancouver benefits immensely from the multicultural diversity of its neighbourhoods.

Lonsdale Avenue is a thriving commercial corridor, home to abundant social and cultural activities and varying scales of housing. Lonsdale Avenue hosts a remarkable range in the scales of industry and employment – on Lonsdale you can find an active ship-building yard, a flourishing residential and mixed-use neighbourhood and a variety of independent shops. The experience of Lonsdale Avenue is remarkable for its diversity of experiences and its' tension between the mountains, and the sea.

Lonsdale Avenue has three distinct nodes: Lower, Central and Upper Lonsdale. Lower Lonsdale is anchored by Lonsdale Quay and the Sea Bus and serves dense residential development with imaginative cultural spaces such as the Lonsdale Night Market.

Central Lonsdale hosts a diverse commercial and employment economy spearheaded by the health district of Lions Gate Hospital.

North Lonsdale has a the cultural and recreational facilities such as Centennial Theatre, the Gordon Smith Gallery of Canadian Art and the Harry Jerome Community Recreation Centre.



A. Lonsdale Night Market - (North Vancouver Chamber of Commerce)



B. City of North Vancouver Library Plaza - (PCL Construction)



C. Looking North on Lonsdale Avenue & 18th Ave. - (Local on Lonsdale Avenue)



D. Views Down Lonsdale Avenue; Source: Google Earth



E. Views To Lions Gate Bridge; Source: Google Earth



F. Views Down Lonsdale Avenue; Source: Google Earth

SITE CONTEXT
NEIGHBOURHOODS

B



- New Public Park
- Surrounding Public Park
- Neighbourhood Node
- Trans-Canada Highway
- Arterial
- Collector/Local
- 5 Minute Walking Radius
- 10 Minute Walking Radius

City & District of North Vancouver - Neighbourhood Map
Not to scale

SITE CONTEXT

SITE PHOTOS

B



A. Lonsdale Avenue Streetscape



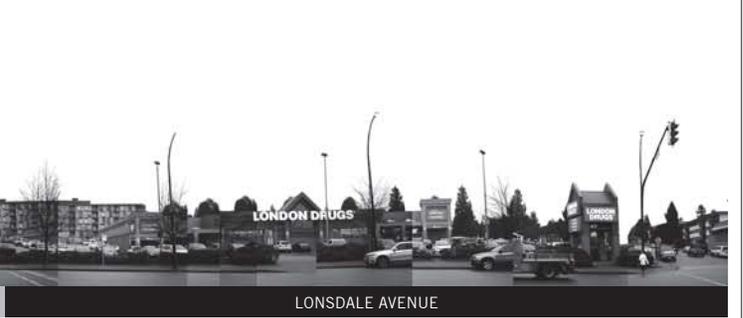
Streetscape Key Map



B. Eastern Avenue Streetscape

SITE CONTEXT
SITE PHOTOS

B

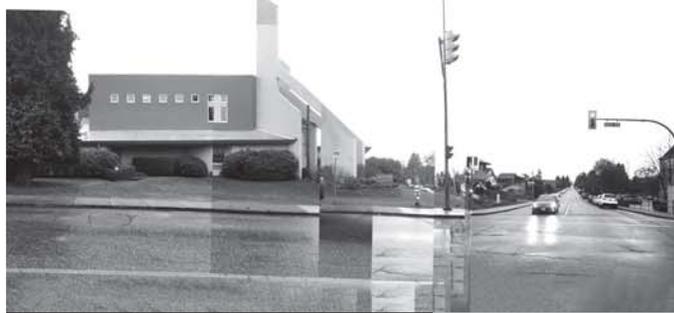


C. 22nd Street E Streetscape

SITE CONTEXT

SITE PHOTOS

B



23RD STREET E

ST. GEORGES AVENUE



23RD STREET E

D. 23rd Street E Streetscape



21ST STREET E

LONSDALE AVENUE



21ST STREET E

E. 21st Street E Streetscape



ST. GEORGES AVENUE

21ST STREET E

ST. GEORGES AVENUE

F. St. Georges Avenue

SITE CONTEXT
SITE PHOTOS

B



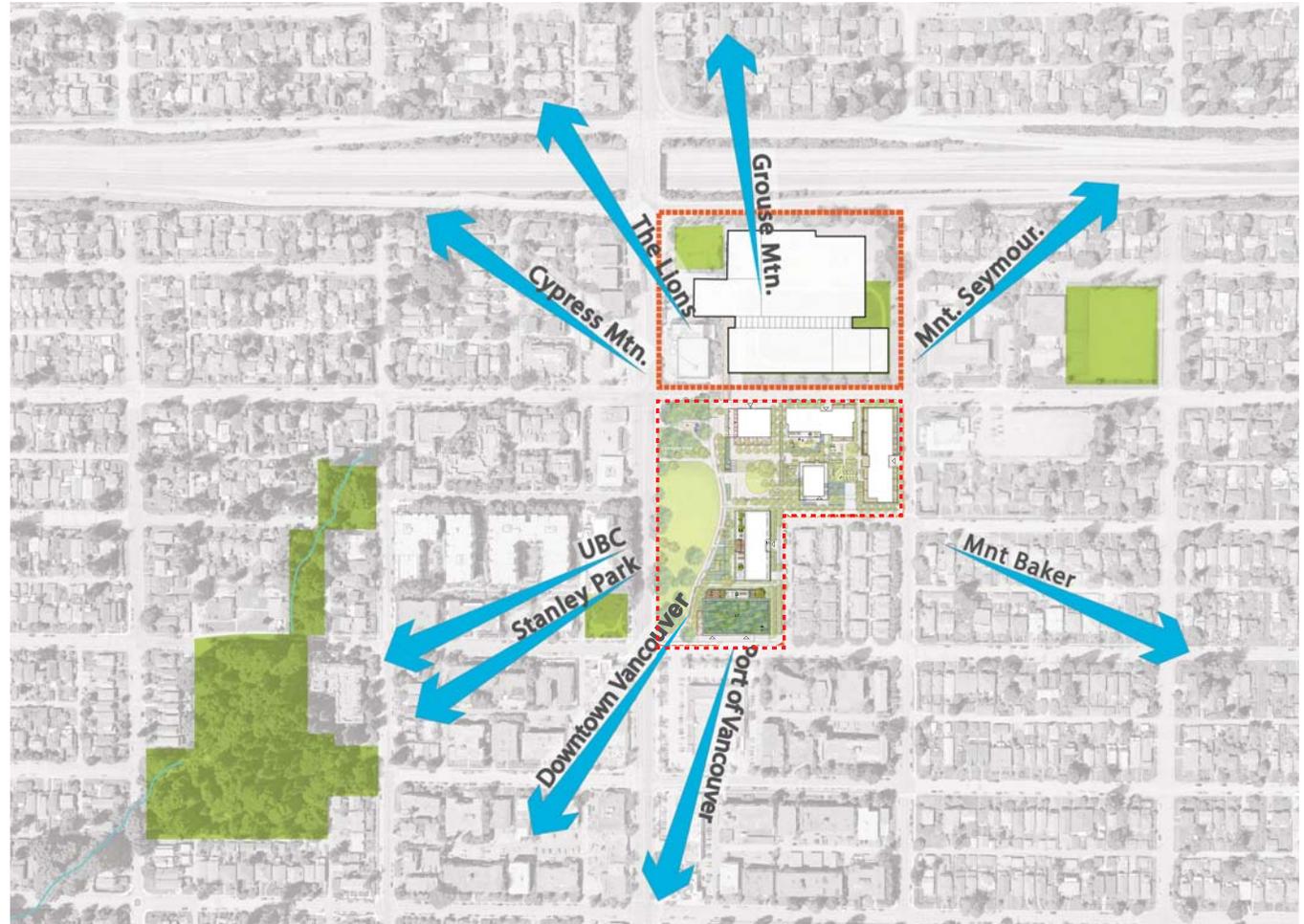
SITE CONTEXT

VIEWS & ORIENTATION

Views in all directions from the site are spectacular as pointed out in (A) Views & Orientation.

Drone photos from the site show actual views. See opposite page.

B



A. Views & Orientation

SITE CONTEXT
VIEWS FROM SITE

B



B. Panorama Above Site, looking North - 20 storeys above grade



D. Panorama Above Site, looking East - 20 storeys above grade



C. Panorama Above Site, looking South - 20 storeys above grade



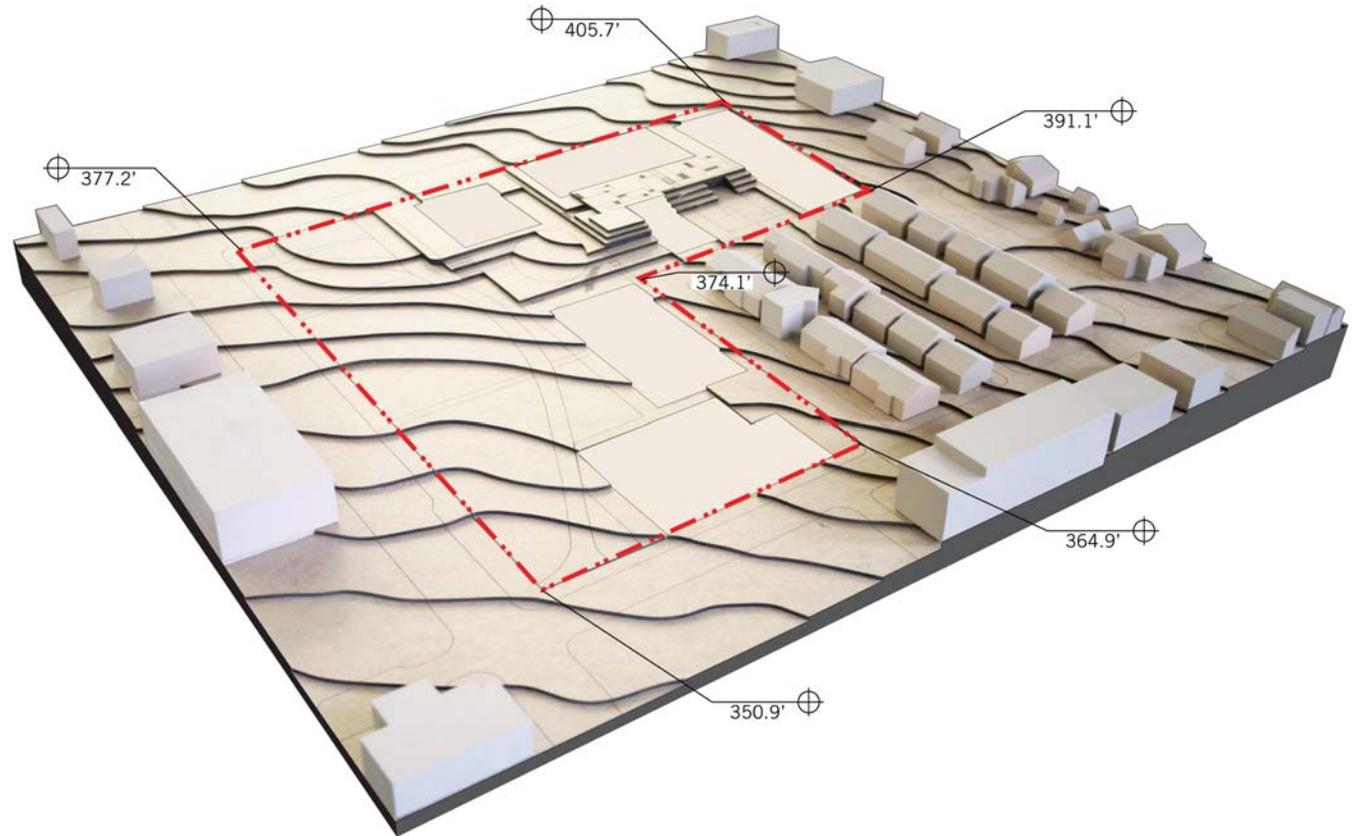
E. Panorama Above Site, looking West - 20 storeys above grade

SITE CONTEXT

TOPOGRAPHY

Typical of a site on the North Shore, topography is a defining characteristic of the site. Sloping diagonally from the intersection of 23rd Street E and St. Georges Avenue to the intersection of 21st Street E and Lonsdale Avenue, there is a fall of 55 ft or 16.8 metres.

The slope of the site is fairly consistent, with the northeastern part of the site slightly steeper than along Lonsdale Avenue and 21st Street E.

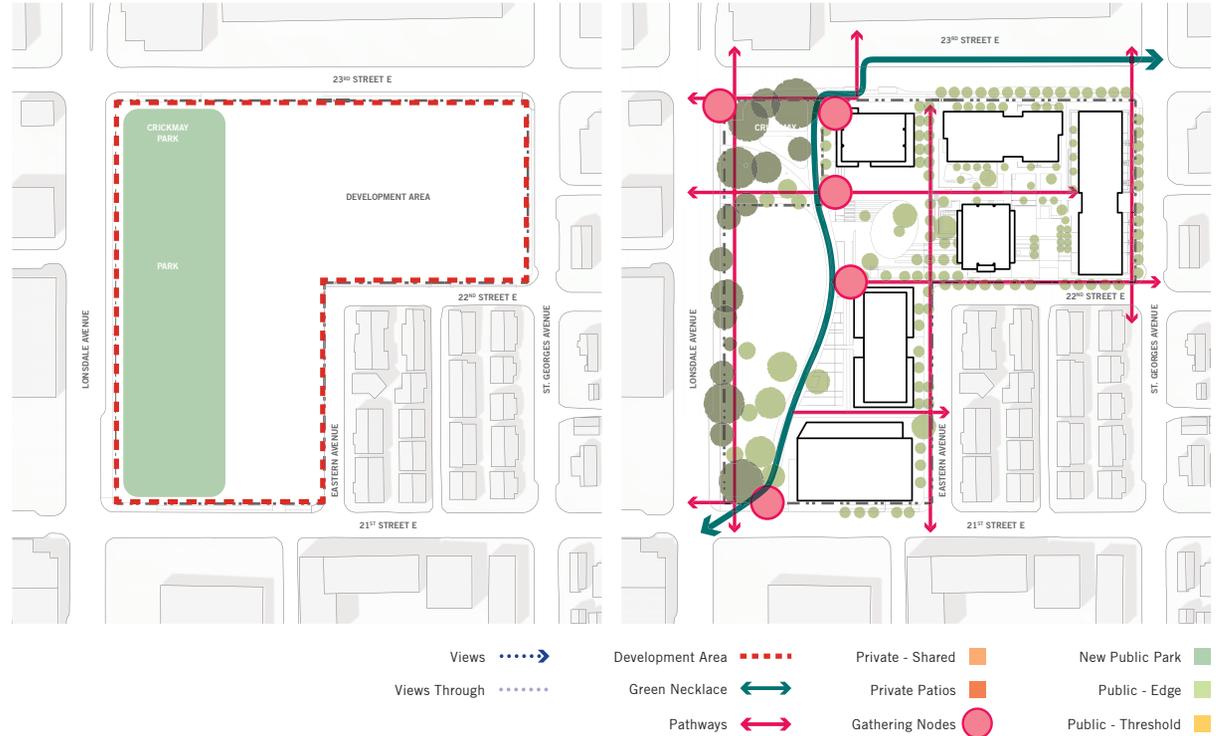


Topographic Model of Harry Jerome Neighbourhood Lands; 1 contour = 3'-0" (1m)

URBAN DESIGN PRINCIPLES

MASTERPLAN STRUCTURE

The Masterplan of The Harry Jerome Neighbourhood Lands is structured through the following key organizing strategies:



THE NEW PUBLIC PARK

The site is located East of Lonsdale Avenue between 23rd Street E and 21st Street E. Its Western Boundary is St George Avenue between 22nd Street E and 23rd Street E and Eastern Avenue between 21st Street E and 22nd Street E.

The proposal includes the dedication of the existing Crickmay Park and a new public park South of Crickmay Park on Lonsdale Avenue.

KEY CONNECTIONS & NODES

The Green Necklace is the primary circulation path through the new public park. Beginning near the intersection of 21st Street E and Lonsdale Avenue – just east of existing tree canopies, this multi-modal recreational path crosses diagonally through the park dedication and just east of the proposed boundary of Crickmay Park.

East-West Pedestrian connections through the site will provide linkages from courtyards, 22nd Street E and Eastern Avenue to the Green necklace.

MASTERPLAN STRUCTURE



TRANSPARENCY & POROSITY

The development of this large site will create residential urban edges lined with ground floor entry patios along neighbouring streets. Key physical and visual connections through the site are provided between buildings. Visual connections through buildings with long frontages will be provided at building lobbies—providing visual transparency between the sidewalk and the interior parks and courtyards where possible.

OPEN SPACE - ZONES

The site has three distinct zones: Park, Edge and Private- shared. These zones are organized with the most public zone - the new public park located at the edge of Lonsdale Avenue. The Edge zone activates the park with active edges and uses or layers of semi public spaces between residents and public open space. Private courtyards for the residents of the new development are located further east.

PUBLIC & PRIVATE

Ground floor homes in all of the midrise buildings have private patios facing onto public sidewalks, private shared courtyards, and public park spaces. Providing transitions between public and private spaces creates a layered and terrace approach to privacy.

URBAN DESIGN PRINCIPLES

OPEN SPACE - TREES & STORMWATER

Along the western edge of the site are several significant mature trees, the vast majority of which will be retained, framing the future new public park. This canopy will be expanded through the planting of formal allies along street edges and on important connections through the site along with informal clusters of trees within the public realm.

Water will be an important feature throughout the site. Features will collect stormwater from public areas and carrying it West with the grades of the site. A large stormwater feature with a series of cascading retention pools will have both a practical function of slowing and allowing stormwater to infiltrate as well as provide peaceful seating areas among the pools.

F



A. Existing Trees + Stormwater Management

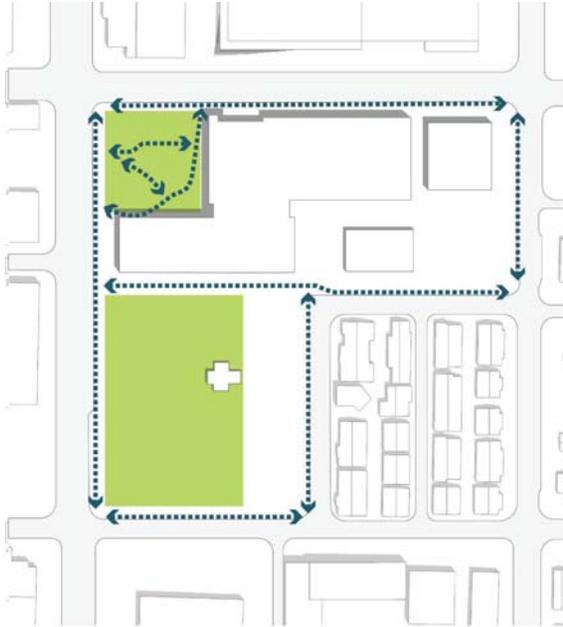
Urban Design Principle: Preservation of heritage trees will continue to be a vital asset to residents and will be expanded upon through new plantings.



B. Proposed Trees + Stormwater Management

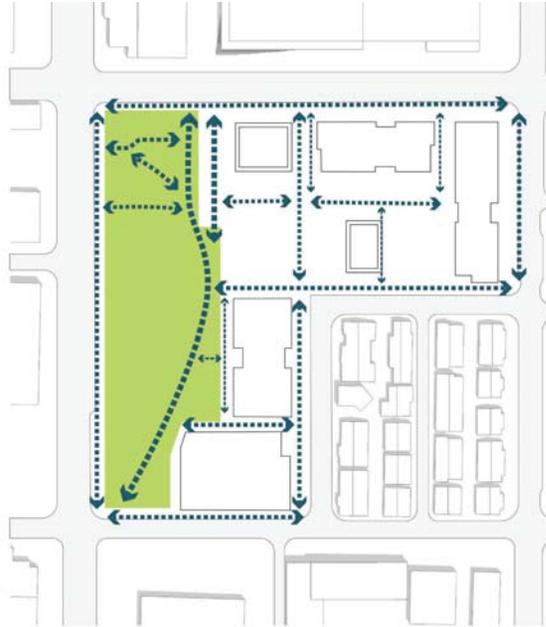
Urban Design Principle: Build on existing stormwater infrastructure to create a robust network of bioswales and on-site water management strategies.

PUBLIC REALM - PLAZA, STREETS & AXIS, GREEN NECKLACE



C. Existing Circulation + Public Art

Urban Design Principle: Neighbourhood porosity will increase the ability of park users and surrounding residents to move through the development.



D. Proposed Circulation + Public Art

Urban Design Principle: Public art and interpretive features should work to create a sense of identity for the new public park.

Presently, circulation through the site is largely limited to its outer edges with both building massing and slopes posing significant challenges to pedestrian movement.

The proposed design will address the challenge of accessibility across the site through the Green Necklace, a central organizing element kept to an accessible grade of less than five percent, that will meet east west connections across the site.

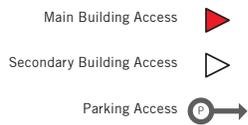
The porosity of the development improves existing connectivity and is considerate of surrounding neighbours and connections and views to the future Harry Jerome Community Recreation Centre to the North.

URBAN DESIGN PRINCIPLES

ILLUSTRATIVE SITE PLAN

KEY CALLOUTS

1. Crickmay Park
2. New Public Park
3. Green Necklace
4. The Mound



URBAN DESIGN PRINCIPLES

MASSING



A 5-storey building with a retail podium fronts 21st Street E at the southern edge of the site. The west edge of the proposed new public park is lined with a 6-storey residential building along Eastern Avenue – the top 2 stories of this building are setback to create the appearance of a 3-storey massing at the street and reduce the impact of height on the adjacent townhouse and single-family neighbours.

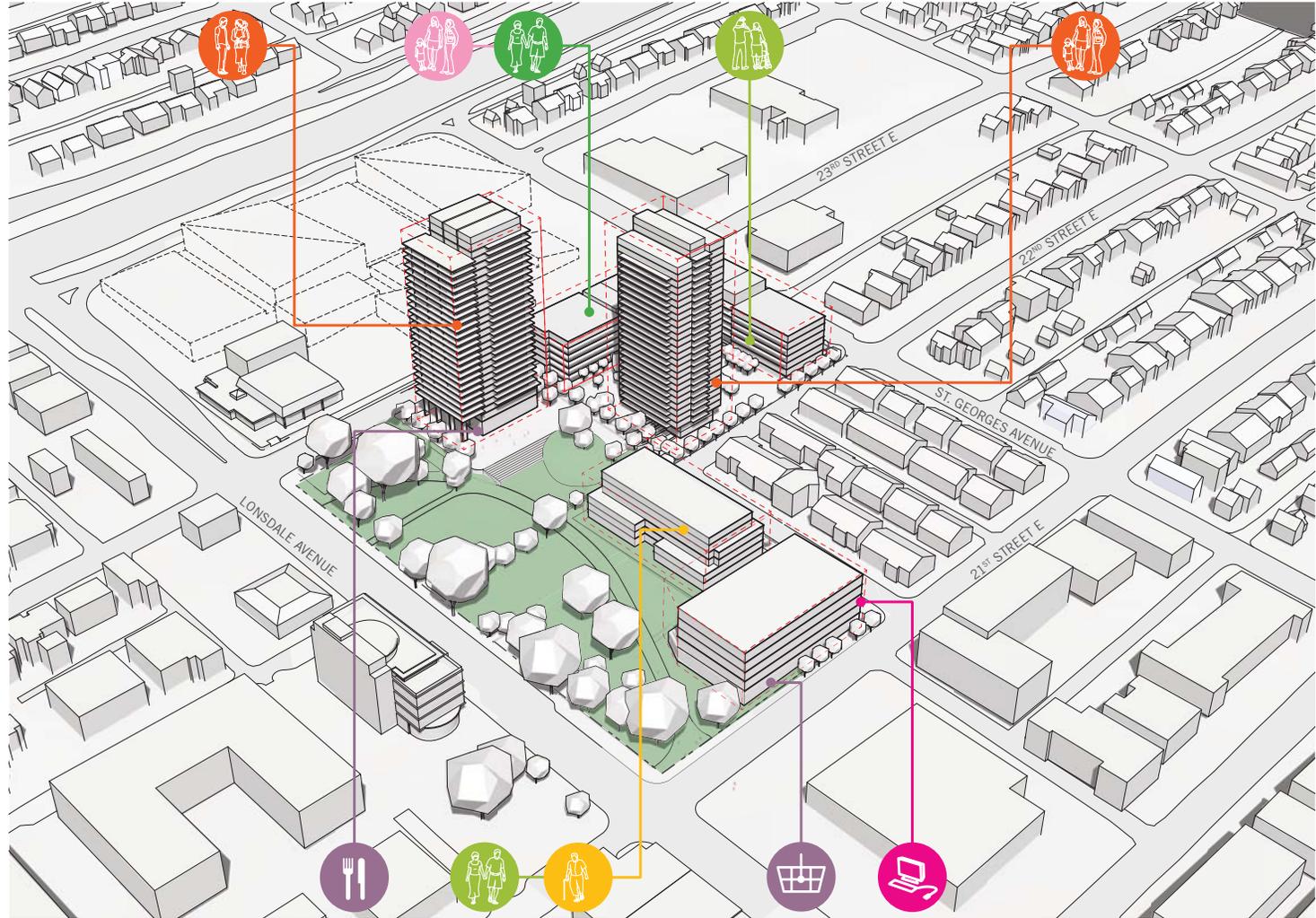
Two 28-storey towers each with an approximate height of 81.2 metres are proposed at the northern edge of the site; the first just east of Crickmay Park, and the second further east of the new public park accessed from 22nd Street E. Six-storey midrise buildings complete the urban edges of 23rd Street E and St. Georges Avenue.

■ On-site Park
■ Surrounding Public Park

Massing 3D Diagram

URBAN DESIGN PRINCIPLES

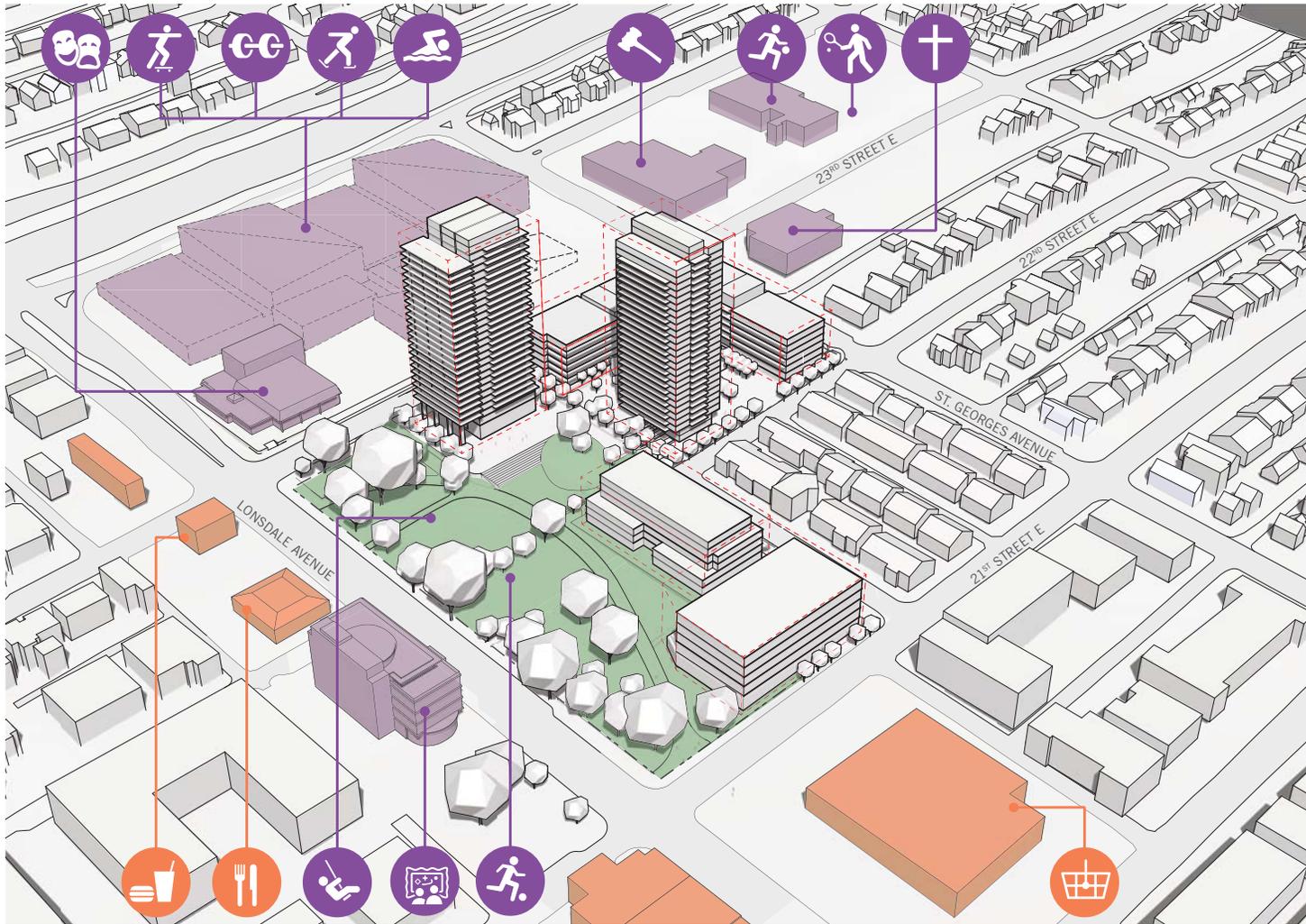
PRIMARY USES



Primary Site Uses

URBAN DESIGN PRINCIPLES

COMMUNITY AMENITIES



Community Amenities

■ Civic Uses

■ Commercial Uses

THE NEW PUBLIC PARK

At approximately 1.0 hectare, the proposed new public park will provide the City of North Vancouver with a spectacular amenity that will provide a number of significant benefits. Its location, which stretches along Lonsdale Avenue from 21st to 23rd Street E, will ensure ease of accessibility by foot, bus, bicycle or car, while also allowing for the retention of the numerous heritage trees that border the east side of Lonsdale Avenue, and comprise Crickmay Park.

GREEN NECKLACE CONNECTION

The Green Necklace is an important network within the City of North Vancouver that will be integrated within the site, providing pedestrian and bicycle pathways, connecting the site to a larger network of greenways and open spaces.

PUBLIC ART

The Gordon Smith Gallery of Canadian Art, located across Lonsdale Avenue from the Harry Jerome Lands, terminates the commercial frontage that stretches the length of Lonsdale Avenue with an intimate park that serves as an extension to the public gallery. The highly engaging art displayed in Rey Sargent park demonstrates how public art can enrich even a modest public space. In similar fashion, the new public park presents a prime opportunity to celebrate art. A proposal for a public art approach is included.

PUBLIC REVENUE

Adding approximately 700,000 sq ft new homes to the community will generate substantial new revenue for the City of North Vancouver, more than doubling the current NVRCC Subsidy.

CHILDCARE

The City of North Vancouver adopted a Child Care Policy and Plan to provide an overall framework and specific actions to be implemented to help support child care facilities in the City of North Vancouver.

Although there is planning for childcare facilities in the future Harry Jerome Community Recreation Centre, the additional residents who will be living in the new Harry Jerome Neighbourhood Lands will increase that requirement. Approximately 5,000 sq ft of indoor area has been suggested for childcare on the HJNL. The City of North Vancouver has proposed that approximately 5,000 sq ft of additional floor area could be added to the allowable GFA for Harry Jerome Neighbourhood Lands site in consideration of accommodating this priority.



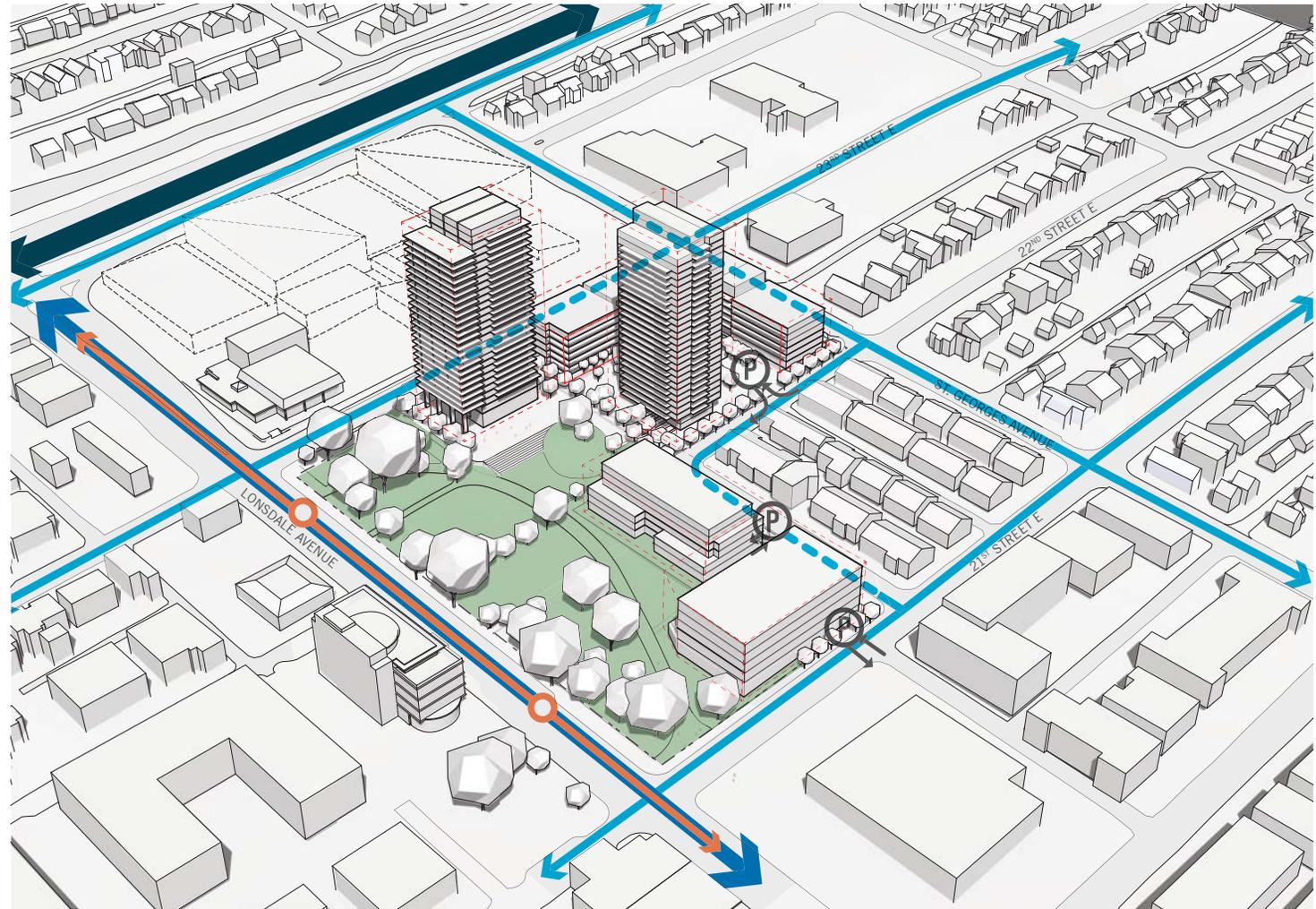
URBAN DESIGN PRINCIPLES

CIRCULATION - VEHICULAR & TRANSIT

A preliminary traffic analysis of the development site indicates it is accessible. Lonsdale Avenue, both an arterial and truck route, has a direct connection to Highway 1 to the north. St. Georges Avenue and 23rd Street E are minor arterials, and there is an alternate connection to eastbound Highway 1 at the end of St. Georges Avenue. Bus service along Lonsdale Avenue will increase with the addition of a new limited stop B-Line service, connecting Lynn Valley to downtown Vancouver via Lonsdale Avenue and the Lions Gate Bridge.

Currently, 23rd Street E, is a car-oriented roadway that bisects the Centennial Theatre/outdoor track and the existing Harry Jerome Community Centre. With the new development, the character of 23rd Street E will change dramatically as it becomes the interface between the Centennial Theatre, the new HJCRC, the new HJNL development and the new public park.

Planned improvements and traffic calming measures, such as pedestrian crossing signals or a roundabout at the intersection of 23rd Street E and St. Georges Avenue, will be considered to ensure the safety of pedestrians and cyclists.

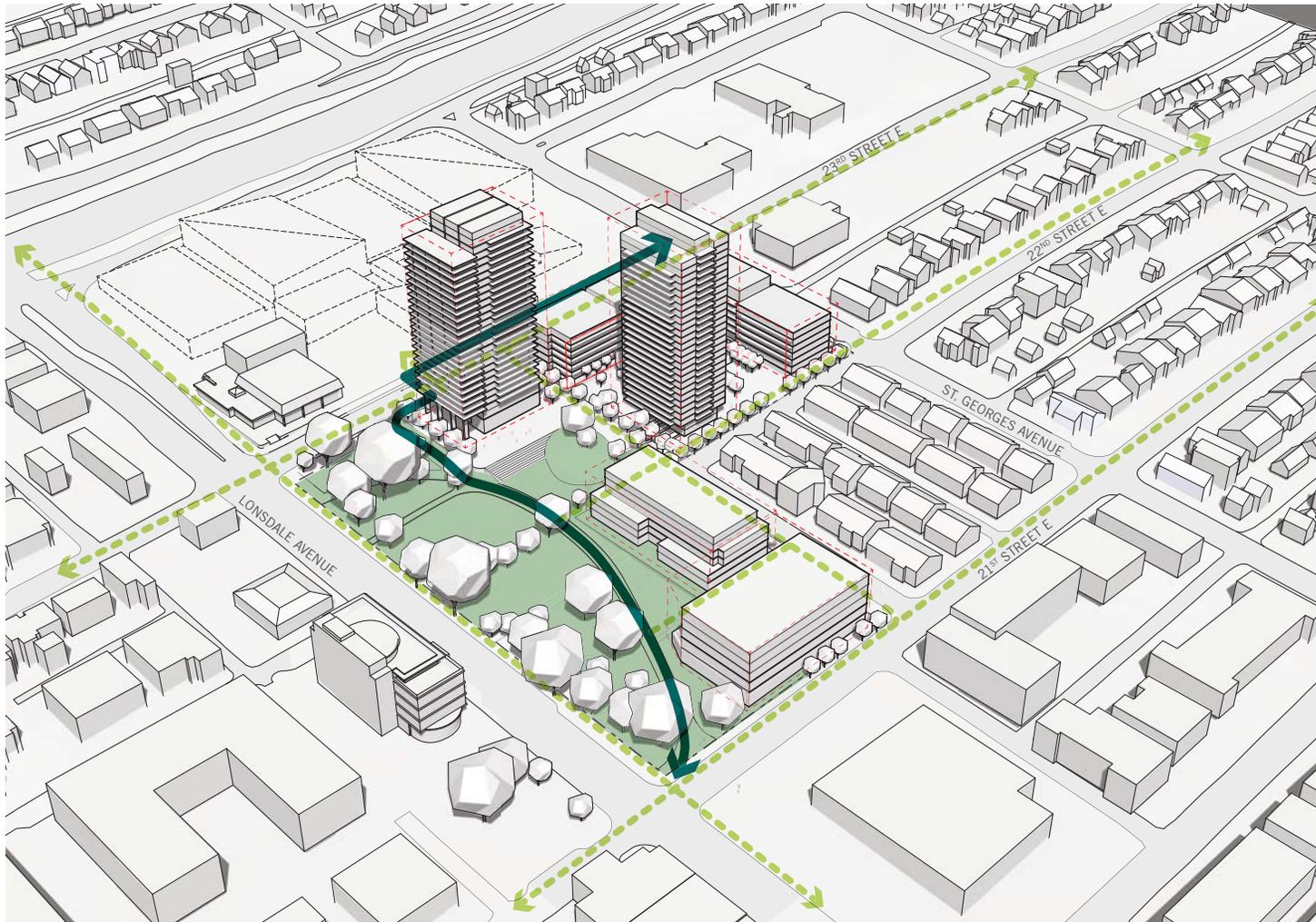


Circulation - Vehicular & Transit



CIRCULATION - PEDESTRIAN & BICYCLES

The proximity of the New Harry Jerome Community Recreation Complex and proposed development is highly synergistic. With new residential units located across the street, the new community centre will become a centre of activity, attracting numerous pedestrians. As a key interface, it is essential that 23rd Street E become a safe, pedestrian friendly connector, linking the developments and ensuring ease of access across the street.



Circulation - Pedestrian and Bicycles

URBAN DESIGN PRINCIPLES

DESIGN ATTRIBUTES

Building Form

Tower forms address a primary south and west orientation to long commanding views across the park to the Burrard inlet, as well as significant views north of the site to the North Shore mountains:

- Capitalizing on their proximity to open space
- Framing and emphasizing the diagonal Green Necklace route across the site
- Articulating the massing of the top of each towers
- Minimizing shadow impact on adjacent neighbourhood streets and parks
- Marking the northern edge of Lonsdale Avenue with iconic yet differentiated buildings

Midrise residential massing aim to moderate the massing of the residential towers with the neighboring communities:

- Transitioning in height towards the east
- Taking advantage of the site slope and grade change, with stepped and articulated horizontal forms having visual interest
- Breaking down the scale on long building forms by articulating entrances and amenity spaces
- Raising ground floors above the adjacent sidewalk grade wherever possible to establish clear public-private space separation

Park & Open Space

The site's contiguity to park space will be reinforced by strong connections:

- Preserving Crickmay Park
- Providing additional public park space that is contiguous along Lonsdale Avenue frontage



Bird's Eye View of Proposed Development

URBAN DESIGN PRINCIPLES

DESIGN ARTICULATION



1. Onyx Building - Diez And Muller Arquitectos; Source: Sebastian Crespo
2. Onyx Building - Diez And Muller Arquitectos; Source: Sebastian Crespo
3. Abeckett Tower - Elenberg Fraser Architecture; Source: ArchHELLO
4. VIA Cordillera - JSA + DMG Architects; Source: ArchDailyValenton Housing - Galin Lafon; Source: ArchDaily
5. Aspire Apartments - Marchese Partners

6. Marchese Partners
7. Passivhäuser Erdmanstrabe - Huke-Schubert-Berg-Architekten
8. La Maison - TC Studio
9. Wardian - Glen Howells Architect

Public Realm

- Creating opportunities for commercial space (e.g. restaurants and/or cafés) as an amenities for new residents, park users, and the broader community
- Restaurant will include a large south-facing terrace with outdoor seating, combining strong visual and physical connections to the public park and open space, animating the park edge and drawing pedestrian traffic
- Public plaza at grade and buildings facing the public open space promoting the connection between the Harry Jerome Neighbourhood Lands and Harry Jerome Community Recreation Centre.
- The plaza and surrounding spaces provide opportunity for impromptu or temporary 'pop-up' activation at street level
- Public art will be featured at key locations in the park and/or distributed throughout the park.

Site Access & Permeability

The site benefits from a number of connections to and from the surrounding communities:

- Connecting north across 23 Street E the new Harry Jerome Community Recreation Centre
- Maintaining north/south public pedestrian route and visual axis from 23rd Street E to 21st Street E along Eastern Avenue
- Maintaining east/west public pedestrian route and visual axis from St. George's Avenue to Lonsdale Avenue along 22nd Street E
- Enhanced sidewalks, separated bike lane and formal street trees promote daily pedestrian interaction along the boulevard
- An expansive entry to the north/south central plaza space is provided mid-block



URBAN DESIGN PRINCIPLES

3D VIEWS



View Across 23rd Street E from the Future Harry Jerome Community and Recreational Centre

3D VIEWS



View from 21st Street East and Lonsdale Avenue



URBAN DESIGN PRINCIPLES

3D VIEWS



View South down Eastern Ave.



URBAN DESIGN PRINCIPLES

MODEL PHOTOS



Site Model



URBAN DESIGN PRINCIPLES

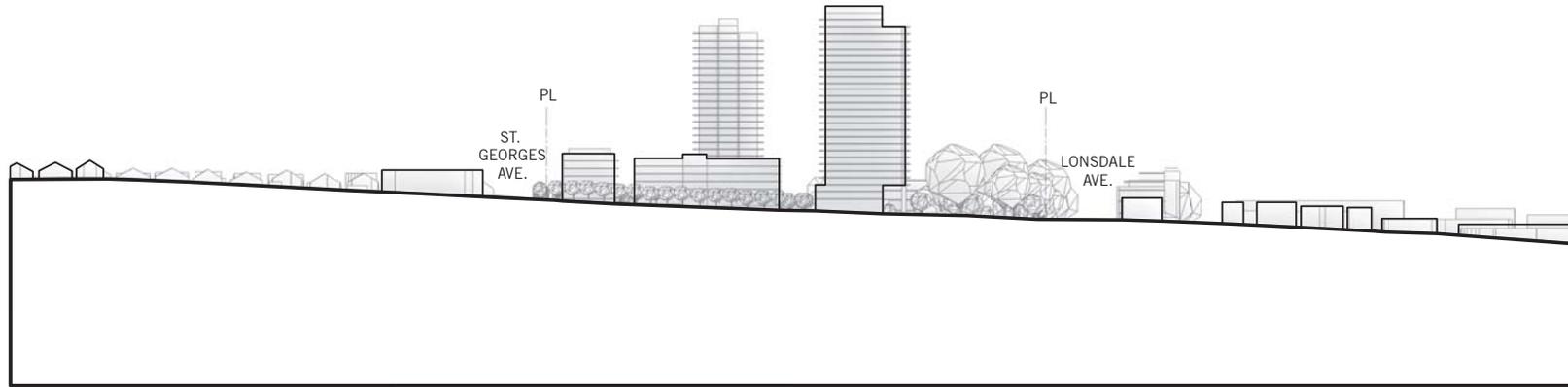
MODEL PHOTOS



Site Model

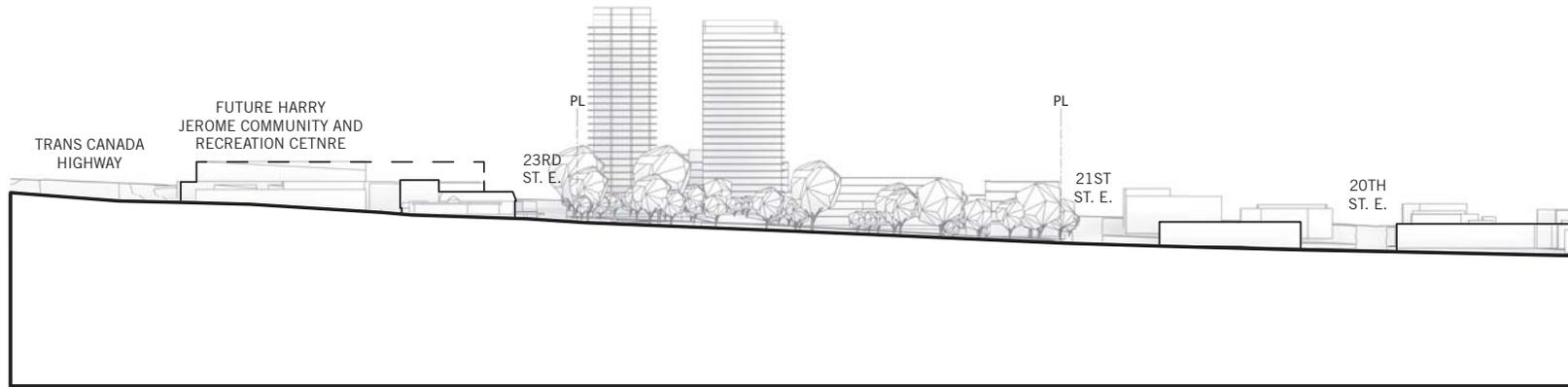
URBAN DESIGN PRINCIPLES

SITE ELEVATIONS



100'

23RD STREET E. ELEVATION
1" = 160'



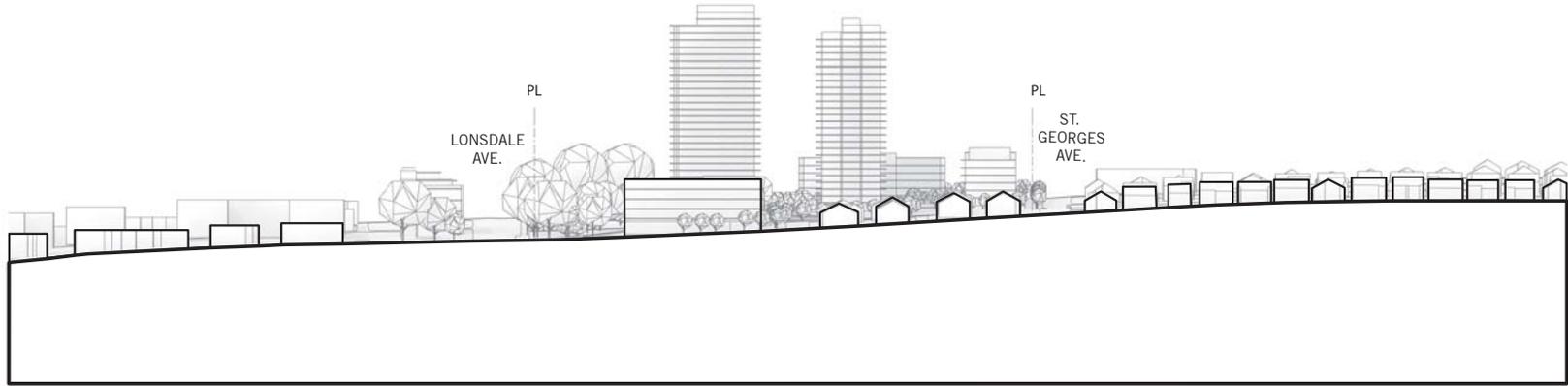
100'

LONSDALE AVENUE ELEVATION
1" = 160'



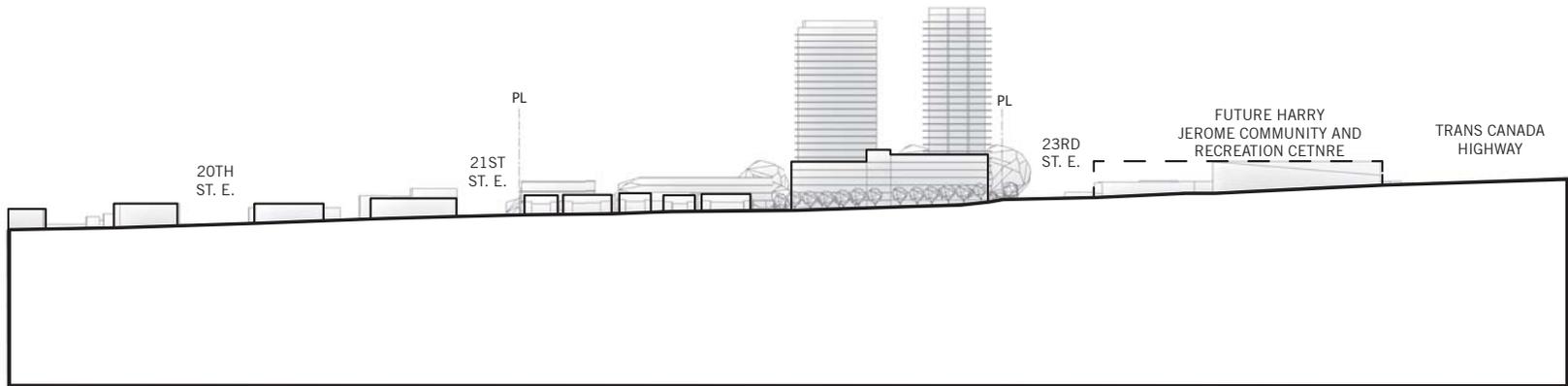
URBAN DESIGN PRINCIPLES

SITE ELEVATIONS



100'

21ST STREET E. ELEVATION
1" = 160'



100'

ST. GEORGES AVENUE ELEVATION
1" = 160'

C

SUSTAINABLE
DEVELOPMENT



SUSTAINABLE DEVELOPMENT

SUSTAINABLE GOALS AND STRATEGIES

Since our commitment to the environment and future generations is paramount, it is essential that this development show leadership by demonstrating how a holistic approach to sustainable community design can improve the way we live, work and play. The sustainability targets for this development will meet the City of North Vancouver's Community Vision Guiding Principles by providing an integrated approach to sustainable development for a low carbon community that is vibrant, diverse and livable.

In December 2017, the City of North Vancouver's zoning bylaw will be revised to require or incentivize compliance with one or more steps in the BC Energy Step Code.

Additionally, in accordance with current zoning bylaws, the development will be connected to the Lonsdale Energy Corporation (LEC) district energy system.

While we recognized the importance of energy reduction as a key sustainability driver, there are many other facets to delivering a truly holistic project. The following are the key principals and goals that illustrate our comprehensive approach.

DEVELOPMENT



- The project will produce a reasonable return on investment

- Optimize the site's value for the City of North Vancouver's new Harry Jerome Community Recreation Centre
- Design for lowest building operation cost for residents

COMMUNITY



- The project will encourage neighbourliness and promote a strong, connected, and engaged community

- Provide outdoor and indoor amenities for seniors, children, and youth that promote social interaction
- Provide a park with spaces that promote interaction, well-being, and health and fitness
- Provide rooftop community gardens on-site for residents

EQUITY



- The project will support equity in community development on the North Shore

- Provide a range of market and rental unit types and sizes with a range of affordability
- Promote culture and social interaction through the provision of an enhanced public realm with features such as street furniture, public art, gardens and benches
- Support universal access and the City of North Vancouver Adaptable Design Guidelines

ART + CULTURE



- The project will contribute positively to the culture of North Vancouver

- The new public park will celebrate the culture and history of North Vancouver
- Commission new public artwork

HEALTH



- The project will positively contribute to the health and welfare of inhabitants
- The project will consider the upstream and downstream impacts of materials

- Eliminate the use of harmful materials as per the Perkins+Will Precautionary List and LBC Red List
- Minimize the use of materials that produce toxic emissions during production of the material or at the end of its useful life
- Support active design approaches

MOBILITY



- The project will offer a range of mobility options

- Provide a range of emission-free mobility options including bike sharing dedicated spots for car-sharing and electric vehicles
- Provide access and connectivity to the Green Necklace

SUSTAINABLE GOALS AND STRATEGIES

BIODIVERSITY



- The project will support biodiversity in the area
- The project will support global biodiversity ecosystems

- Provide habitat for local, small animals and insects
- Ensure that extraction of materials for products in the project do not negatively affect global ecosystems
- Provide more green space than existing site and an increase in the existing biodiversity

BIOPHILIA



- The project will include elements that celebrate and encourage the love of nature and natural systems, and leverage the inherent health and well-being benefits this brings to the occupants

- Provide all residents with access to public and private open space including natural elements
- Provide views to nature from all interior spaces

RESILIENCY



- The project will be resilient to major climate events due to global warming

- Design all spaces to stay operational through major storm events
- Accommodate the impacts of climate change over the next 100 years

WATER



- The project will minimize the use of grid-supplied potable water
- The project will minimize stormwater flows leaving the site

- Use water efficient fixtures and fitting
- Plant climate appropriate landscaping and use water sensitive irrigation techniques
- Reduce stormwater flows to meet or exceed City of North Vancouver requirements with on-site infiltration and rainwater retention

ENERGY + CARBON



- The project will not contribute to climate change by increasing atmospheric carbon concentration

- Meet BC Energy Step Code in conformance with prevailing City of North Vancouver Policy, which governs building envelope, air tightness and energy usage and promote high performance envelopes
- Connect to a hydronic energy service (LEC)

WASTE



- The project will enable inhabitants and residents to reduce the generation of solid waste

- Establish and implement an appropriate recycling and composting framework to ensure minimum waste production from the community

SUSTAINABLE DEVELOPMENT

SUSTAINABLE DEVELOPMENT GUIDELINES



COMMUNITY DEVELOPMENT DEPARTMENT
 CITY OF NORTH VANCOUVER T 604 990 4220
 141 WEST 14TH STREET F 604 985 0576
 NORTH VANCOUVER DEVEL@CNV.ORG
 BC / CANADA / YTM 1H9 CNV.ORG

**SUSTAINABLE DEVELOPMENT GUIDELINES
 FOR REZONING & DEVELOPMENT PERMIT APPLICATIONS**

Staff Use
 Case Number _____

CIVIC ADDRESS Multiple Addresses, see attached. _____

APPLICANT NAME Andrew McMillian, Darwin Properties, Ltd. _____

I. INTRODUCTION

These Guidelines have been developed to help applicants prepare a successful Development Application submission. All Development Applications must include a response to the Sustainable Development Guidelines, which will be reviewed by Advisory Bodies, staff and, ultimately, City Council who will give serious consideration to the sustainability achievements of a project.

Applicants must demonstrate how their development will contribute to the current and future needs of the community by highlighting sustainability achievements of an application.

The Guidelines challenge applicants to advance the sustainability objectives of the City, as outlined in the 2014 Official Community Plan (OCP), which guides community development in our city with the following Vision:

In 2031, the City of North Vancouver will be a vibrant, diverse, and highly livable community that is resilient to climate or other changes, and sustainable in its ability to prosper without sacrifice to future generations.

One of the key ways that the community vision will be realized is through property development. Buildings house us, provide employment centres and frame our streets. They remain with us for many decades with significant ongoing impacts, including generating approximately 50% of our community greenhouse gas emissions. Buildings now need to adapt to the impacts of climate change to help the City become resilient to that new reality. Building forms and densities also have significant effects on housing cost and diversity, transportation choices, and the liveability of our community.



Sustainability in the City means balancing the natural, physical (human-made), human, social, cultural and local economic implications of our activities in order to meet the needs of people today without compromising the ability of future generations to meet their own needs.

II. PREPARING THE SUSTAINABLE DEVELOPMENT GUIDELINES

Applicants are required to submit a response to the Guidelines as a key part of their development application package. Projects are not expected to incorporate all measures in the Guidelines.

For information on underlying City goals and objectives, it is recommended that applicants refer to other relevant City policies such as the OCP, Social Plan, Economic Development Strategy, Transportation Plan, Community Energy and Emissions Plan, Food Strategy and Food Action Plan, as well as others.

The Guidelines address the six capacities that comprise the OCP's Sustainable City Framework, including Natural Systems, Physical Structures / Infrastructure, Local Economy, Human Potential, Social Connections, and Cultural Diversity.

1. Natural Systems: The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.



	Y	N	N/A	Please Provide Comments:
LANDSCAPE				
Private Trees Retained or Added (indicate number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3:1
Green Roof / Wall	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete only (Grocery)
Majority Native Species Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Habitat Restoration (butterfly, bird-friendly, naturalized areas)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Community Gardens*	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
50% or More Edible Landscaping for Common Space	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Irrigation System (drip hose, low-flow nozzles)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Rainwater Collection (rain barrel)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Reuse of Wastewater	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
HARDSCAPE				
Permeable Paving for Hardscape	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
40%+ Open Site Space (see Zoning Bylaw definition)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

SUSTAINABLE DEVELOPMENT GUIDELINES



2. Physical Structures/Infrastructure: The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.



	Y	N	N/A	Please Provide Comments:
HIGH PERFORMANCE CONSTRUCTION				
Durable Building (modular / deconstructable)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Building Reuse / Recycled Content / Use of Repurposed materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Use of Environmentally Friendly Materials (non-toxic, wood)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Certified by a Third Party Green Building Rating System	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A with BC Step Code
ENERGY EFFICIENCY AND HEALTHY BUILDINGS				
Energy Performance (% better than Building Code or energy use / m ²)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Superior Insulation (thick wall exclusion in Zoning Bylaw sought for insulation above BC Building Code)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Airtightness (1.5+ blower door test and appropriate ventilation strategy)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
High-performance Windows e.g. Energy-Star, Passive House Certified (whole project)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Heat Recovery Ventilator (75% or better recovery)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
LED Lighting (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Energy-Star Appliances (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Renewable Energy Fixtures Installed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Fixtures (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Greywater Reuse	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
TRANSPORTATION				
End of Trip Bicycle Infrastructure (beyond Zoning Bylaw requirements)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Car-Share Program	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Electric Vehicle Supply Equipment:

20% of all residential parking spaces include an electrical outlet, a receptacle or electric vehicle supply equipment, and are supplied by a branch circuit rated not less than 40A at the nominal voltage of 208 V or 240V as applicable.

Electric Vehicle Supply Equipment:

Adequate space in the electrical room or electrical vault to support future electric vehicle charging for the remaining 80% of parking spaces.

TBD

Other Sustainability Achievements:

3. Local Economy: The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.



	Y	N	N/A	Please Provide Comments:
Net New Jobs Generated (long term, full time)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	# TBD
Commercial floor space (net increase, indicate area)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	+21,400 sf Commercial Area
Neighbourhood-Scale Commercial (unit frontages ≤6m (20ft))	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	# TBD
Non-Market / Lower-End of Market Commercial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Commercial Relocation Strategy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Other Sustainability Achievements:

4. Human Potential: The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.



	Y	N	N/A	Please provide comments:
Market Rental Housing (net increase, indicate number of units)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	estimated 126 units
Non-Market / Lower-End of Market Rental Housing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

SUSTAINABLE DEVELOPMENT

SUSTAINABLE GOALS AND STRATEGIES



10%+ Three+ Bedroom Units (in multi-unit residential buildings)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Micro-units ~37.16m ² (~400 ft ²)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Childcare Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Community Space for Food Preparation, Storage and Processing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Amenity Room
Green Building Educational / Interpretive Features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> TBD
Primary and Secondary Stair Design*	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> TBD
Outdoor Circulation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storage space for residents in units and storage rooms (multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other Sustainability Achievements:

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

5. Social Connections: The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.



	Y	N	N/A	Please provide comments:
Design Features for People with Disabilities (beyond Zoning Bylaw requirement)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Communal Cooking Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Indoor Amenity*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Outdoor Recreation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Amenities for Senior Users	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Crime Prevention Through Environmental Design	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD

Other Sustainability Achievements:

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

6. Cultural Diversity: The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.



	Y	N	N/A	Please provide comments:
Formal and Informal Gathering Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Retention of Heritage Building	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Art Reflecting Local Culture	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> See Public Art Plan
Streetscape Improvements (benches, planters, lighting)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other Sustainability Achievements:

III. SUMMARY

The Sustainable Development Guidelines are important in both shaping and processing development applications. Applicants are advised to consider these issues at the outset of a project and to contact planning staff for more information on sustainable design strategies.



Endorsed by Council October 5, 2015

ARCHITECTURE

E



23RD STREET EAST

21ST STREET EAST

LONSDALE AVE



21ST STREET EAST

22ND STREET EAST

23RD STREET EAST

ST GEORGES AVE



LONSDALE AVENUE

EASTERN AVENUE

ST GEORGES AVENUE

21ST STREET EAST



ST GEORGES AVENUE

EASTERN AVENUE

LONSDALE AVENUE

22ND STREET EAST

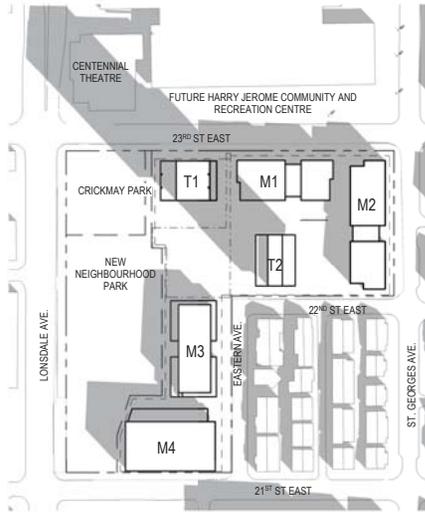


ST GEORGES AVENUE

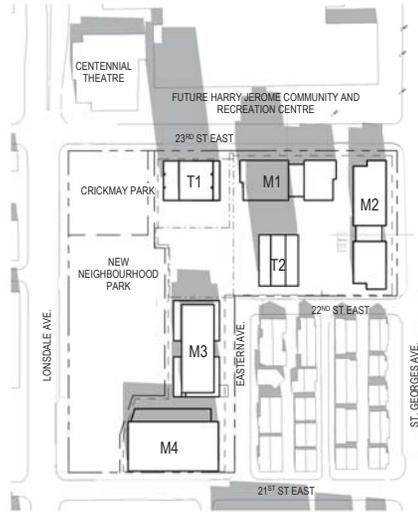
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23RD STREET EAST

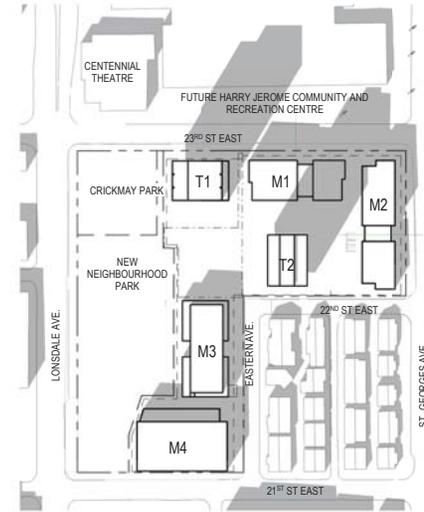




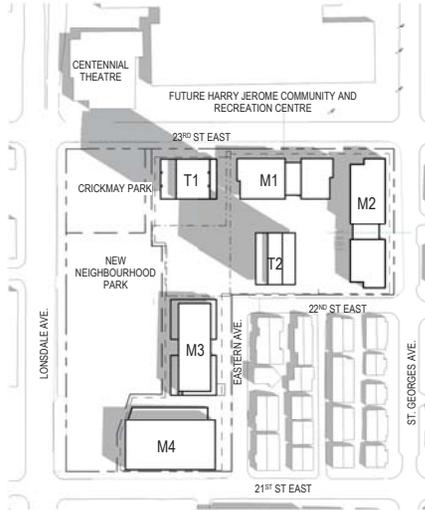
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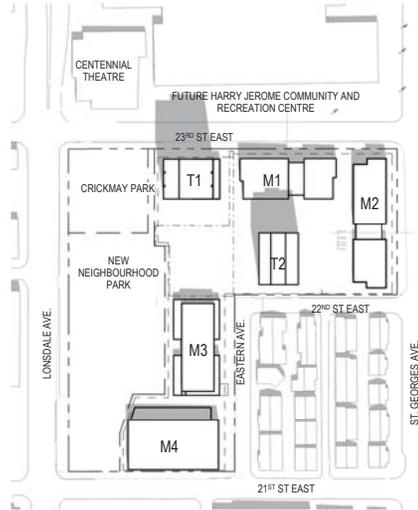
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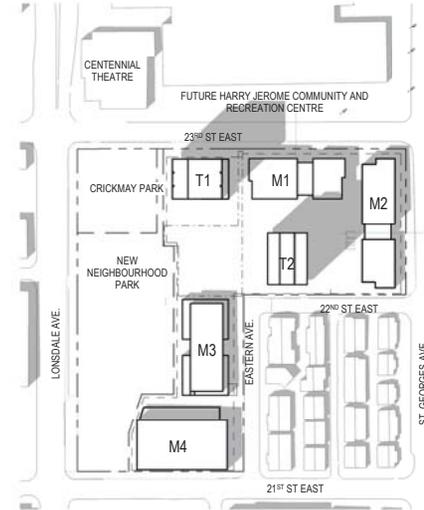
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④ JUNE 21 - 10 AM
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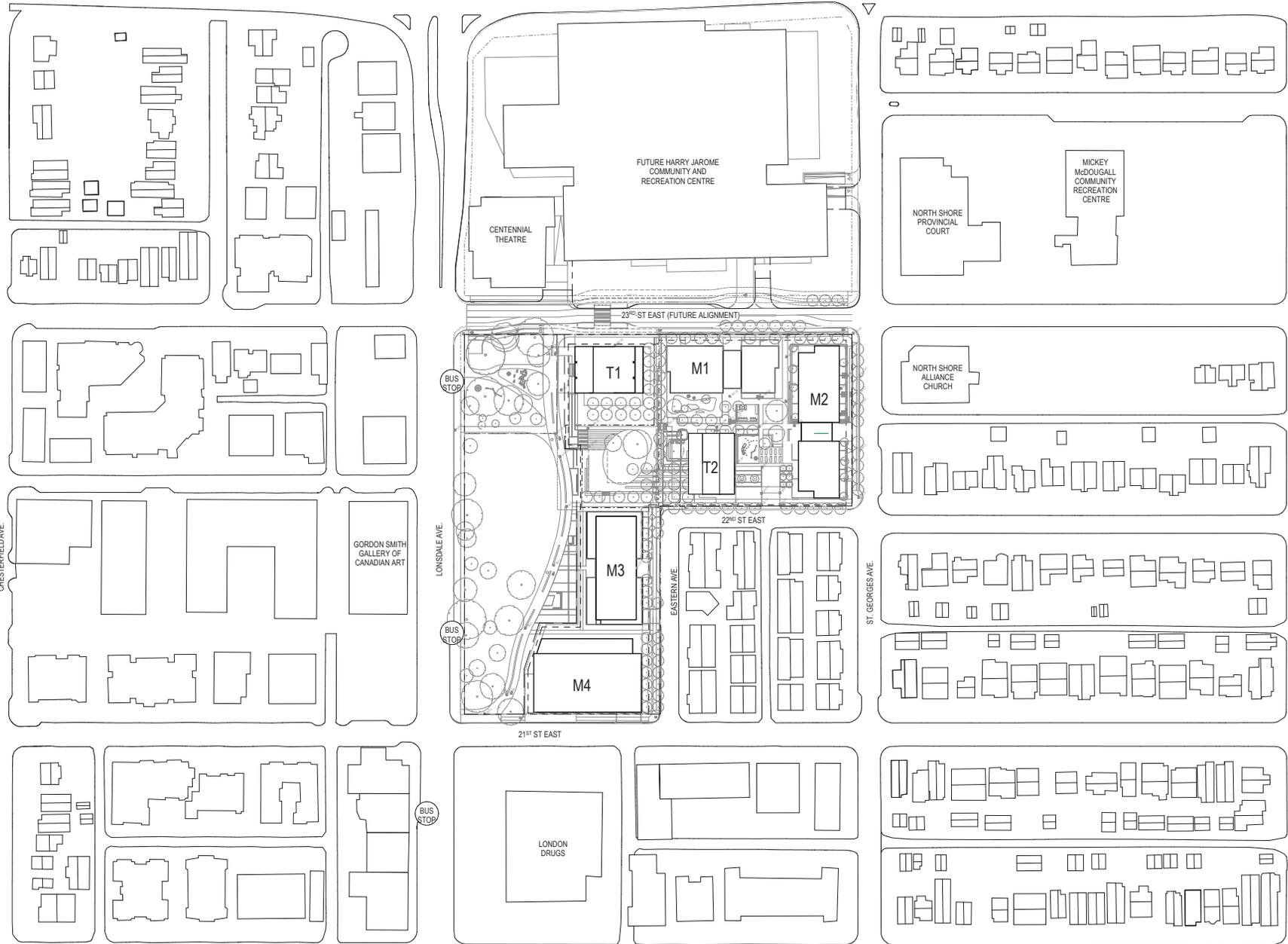


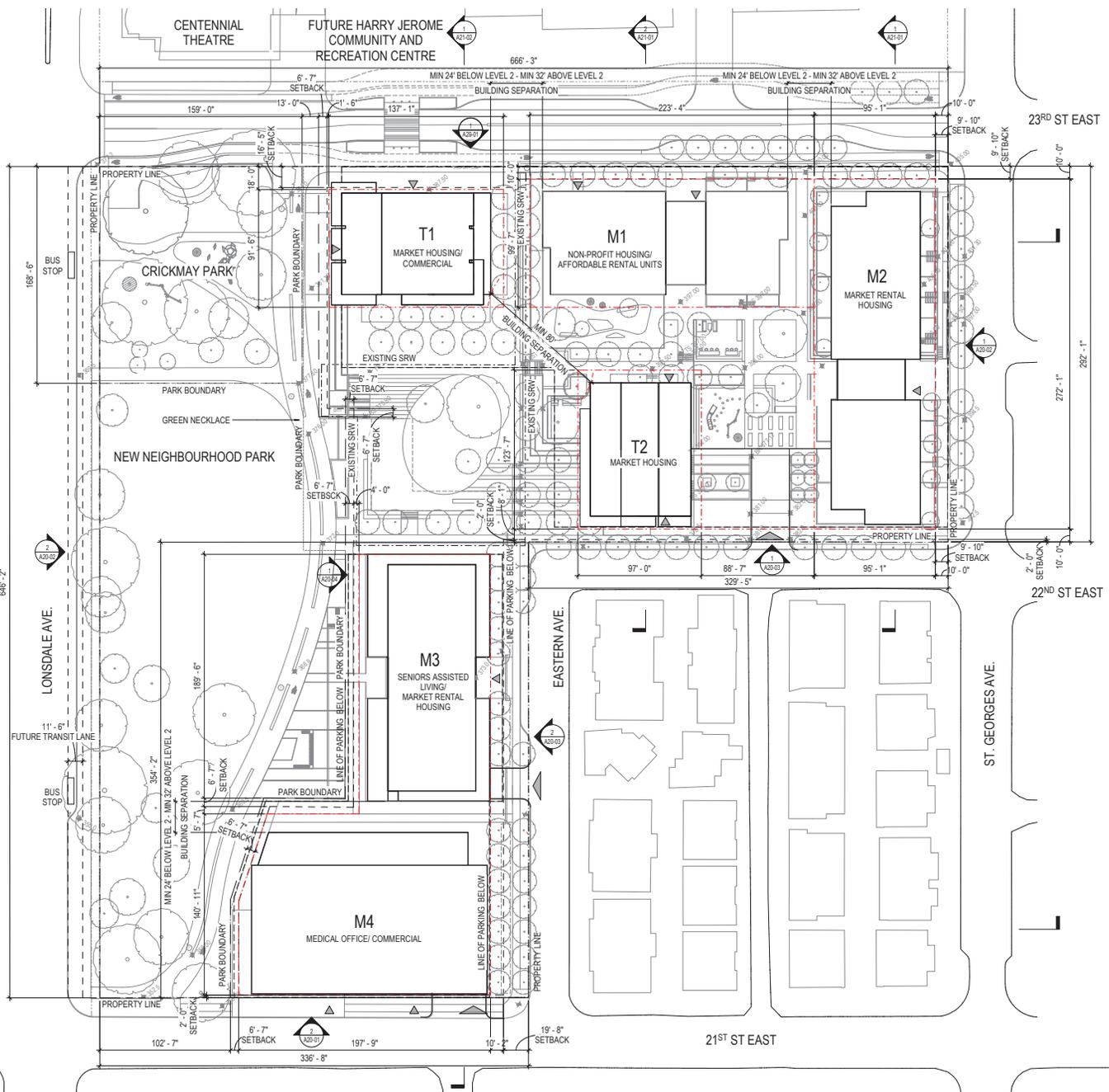
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⑥ JUNE 21 - 2 PM
NOT TO SCALE







NOTES:

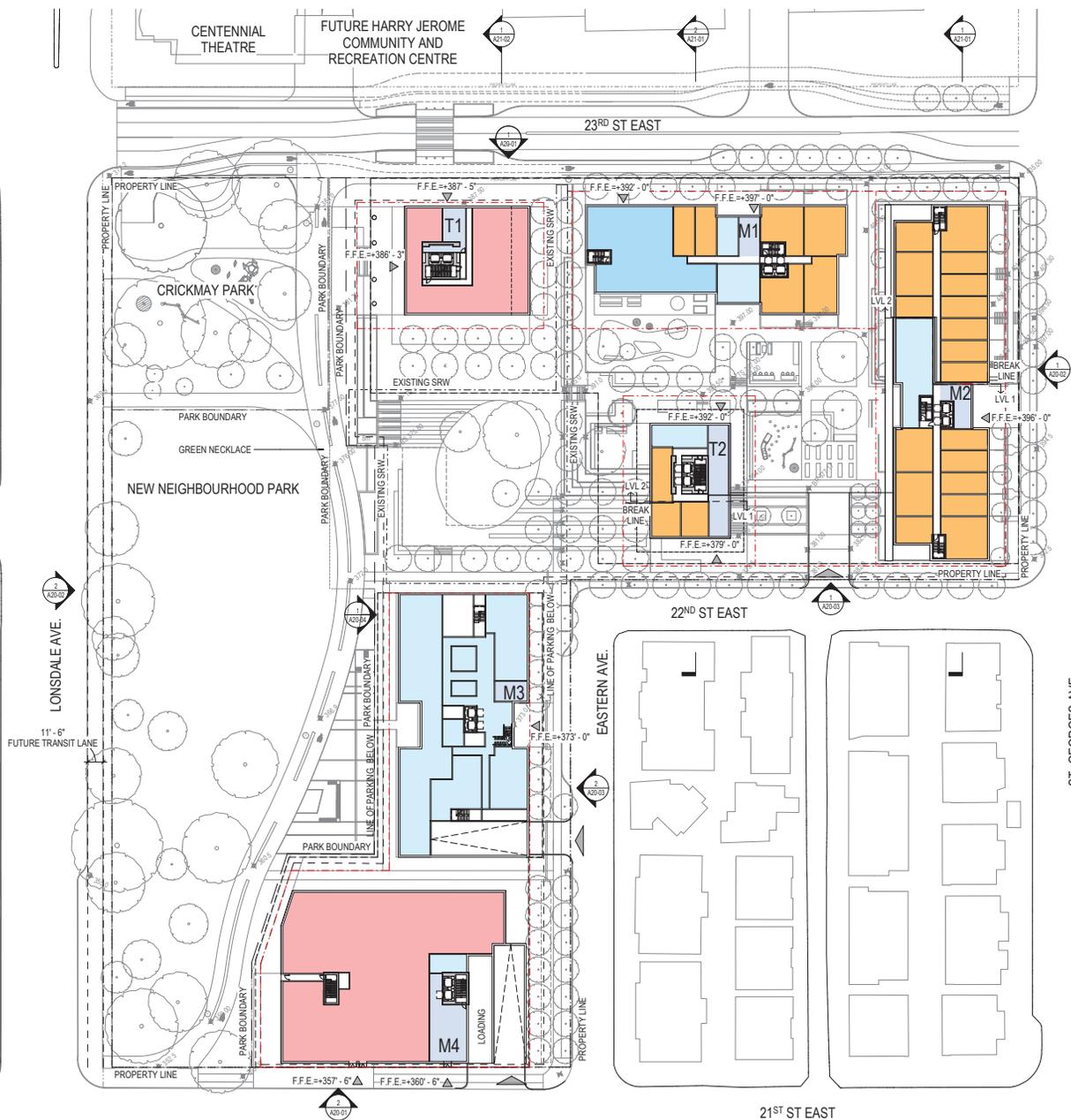
1. PATIOS ARE ALLOWED WITHIN SETBACKS.
2. ALLOWABLE BUILDING ENVELOPE SHOWS THE POTENTIAL EXTENT OF THE BUILDING ENCLOSURE. BALCONIES AND ARCHITECTURAL FEATURES CAN EXTEND BEYOND THE ALLOWABLE BUILDING ENVELOPE.
3. OVERALL SITE DIMENSIONS TO NEAREST INCH. SEE SITE SURVEY FOR EXACT DIMENSIONS.
4. FINAL 23RD STREET ALIGNMENT TO BE CONFIRMED.

LEGEND

- PROPERTY LINE
- - - - - SRW
- - - - - SETBACK
- - - - - PARK BOUNDARY
- - - - - ALLOWABLE BUILDING ENVELOPE

- ▲ BUILDING ENTRY
- ▲ PARKING ENTRY





BUILDING AVERAGE GRADES:

M1	HIGH POINT: 400.0'	LOW POINT: 390.0'	AVERAGE GRADES: 395.0'
M2	HIGH POINT: 405.0'	LOW POINT: 385.0'	AVERAGE GRADES: 395.0'
M3	HIGH POINT: 374.4'	LOW POINT: 364.7'	AVERAGE GRADES: 369.6'
M4	HIGH POINT: 368.2'	LOW POINT: 354.4'	AVERAGE GRADES: 361.3'
T1	HIGH POINT: 389.5'	LOW POINT: 386.2'	AVERAGE GRADES: 387.9'
T2	HIGH POINT: 392.0'	LOW POINT: 373.0'	AVERAGE GRADES: 385.5'

NOTES:

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3. FINAL 23RD STREET ALIGNMENT TO BE CONFIRMED.

LEGEND

- PROPERTY LINE
- - - SRW
- - - SETBACK
- - - PARK BOUNDARY
- - - ALLOWABLE BUILDING ENVELOPE

- ▲ BUILDING ENTRY
- ▲ PARKING ENTRY

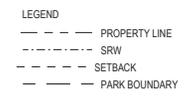
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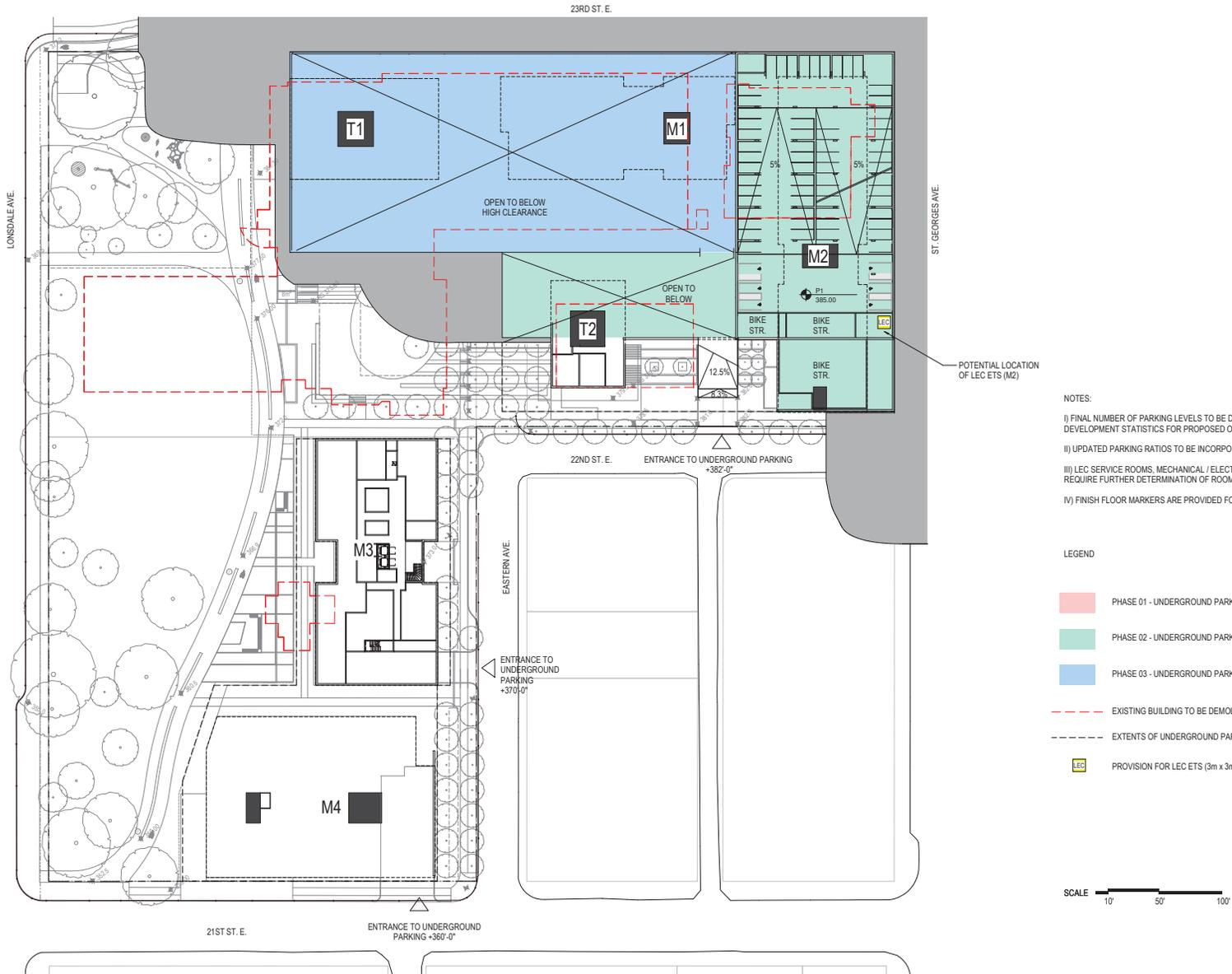
- RESIDENTIAL
- RETAIL
- BUILDING AMENITY
- LOBBY
- CHILDCARE





- NOTES:
1. PATIOS ARE ALLOWED WITHIN SETBACKS.
 2. ALLOWABLE BUILDING ENVELOPE SHOWS THE POTENTIAL EXTENT OF THE BUILDING ENCLOSURE. BALCONIES AND ARCHITECTURAL FEATURES CAN EXTEND BEYOND THE ALLOWABLE BUILDING ENVELOPE.





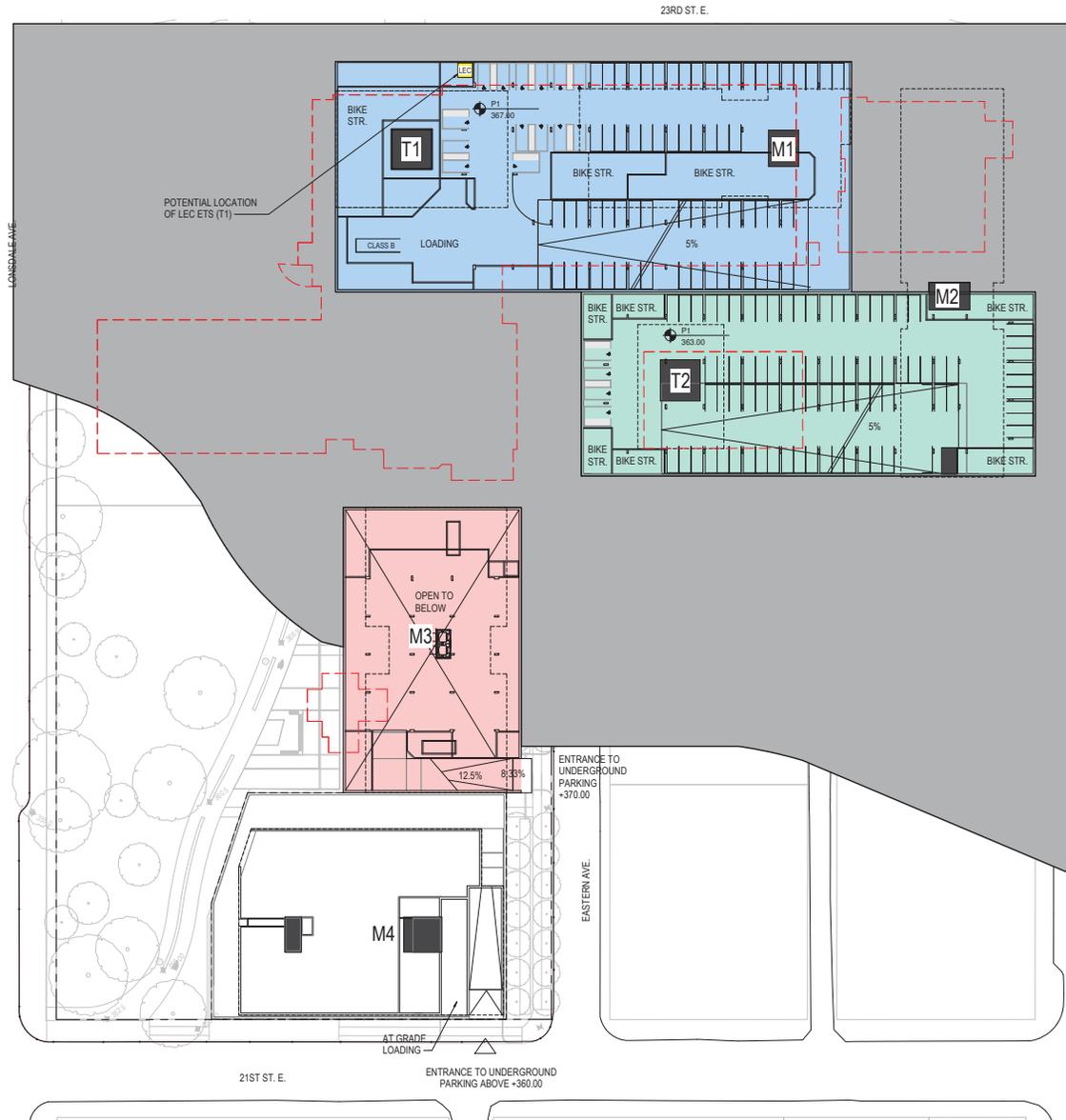
NOTES:

- I) FINAL NUMBER OF PARKING LEVELS TO BE DETERMINED - REFER TO DEVELOPMENT STATISTICS FOR PROPOSED OVERALL PARKING COUNTS.
- II) UPDATED PARKING RATIOS TO BE INCORPORATED.
- III) LEC SERVICE ROOMS, MECHANICAL / ELECTRICAL SERVICE ROOMS REQUIRE FURTHER DETERMINATION OF ROOM SIZES.
- IV) FINISH FLOOR MARKERS ARE PROVIDED FOR CLARITY.

LEGEND

- PHASE 01 - UNDERGROUND PARKING (M3, M4)
- PHASE 02 - UNDERGROUND PARKING (M2, T2)
- PHASE 03 - UNDERGROUND PARKING (T1, M1)
- EXISTING BUILDING TO BE DEMOLISHED
- EXTENTS OF UNDERGROUND PARKING
- PROVISION FOR LEC ETS (3m x 3m)





NOTES:

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LEGEND

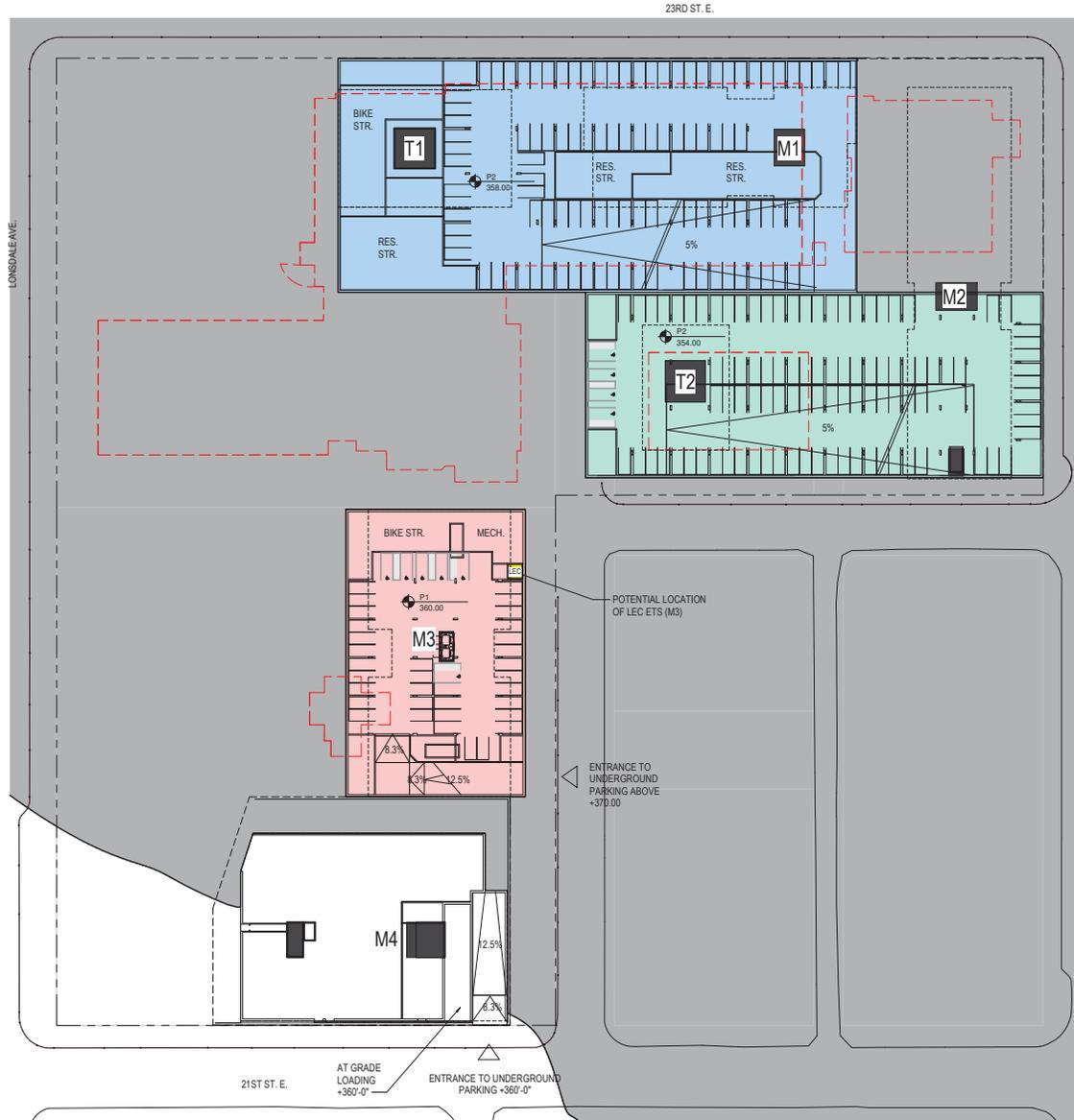
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- EXTENTS OF UNDERGROUND PARKING
- LEC PROVISION FOR LEC ETS (3m x 3m)



PARKING +367'-0"

A11-03

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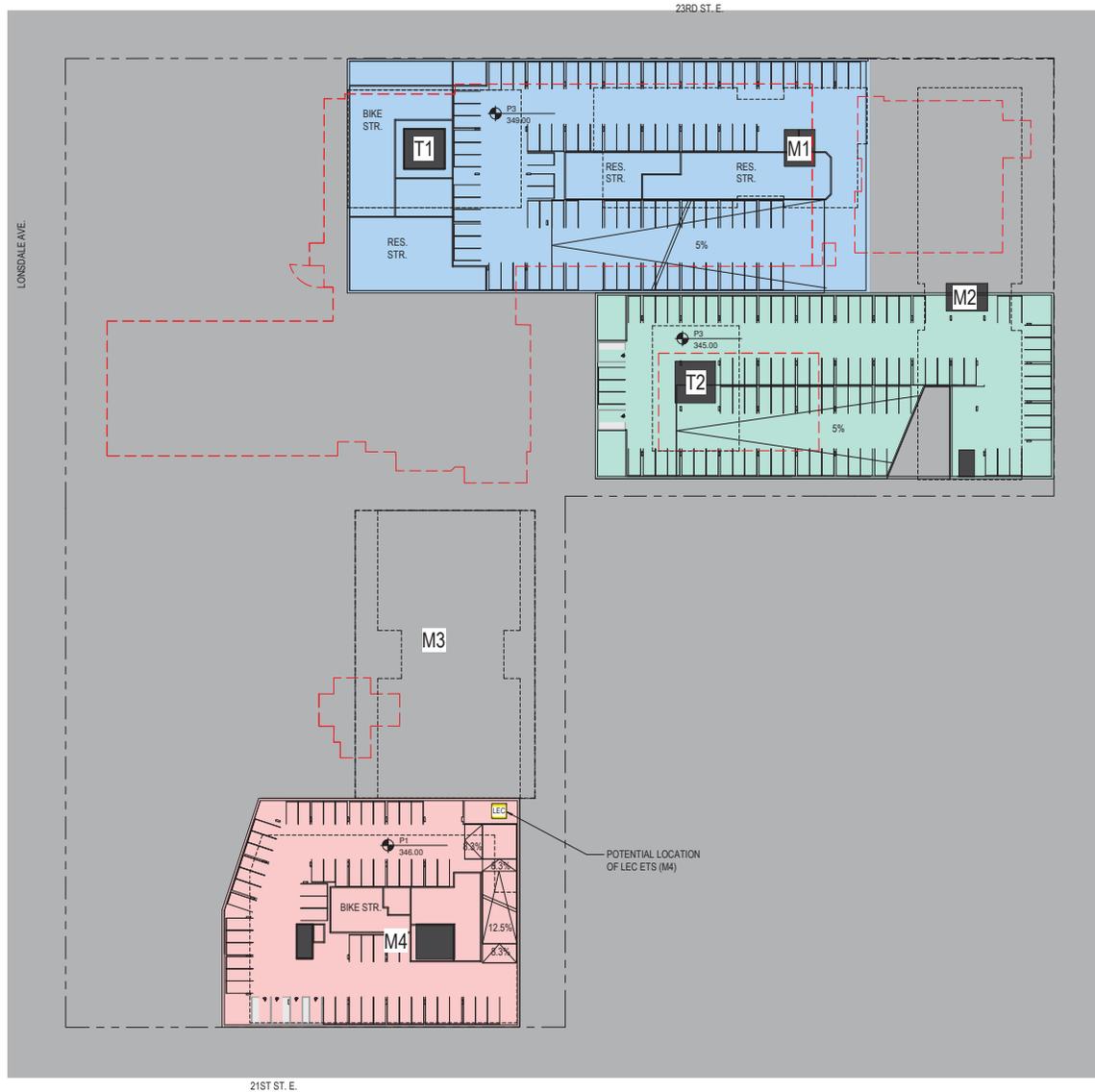
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LEGEND

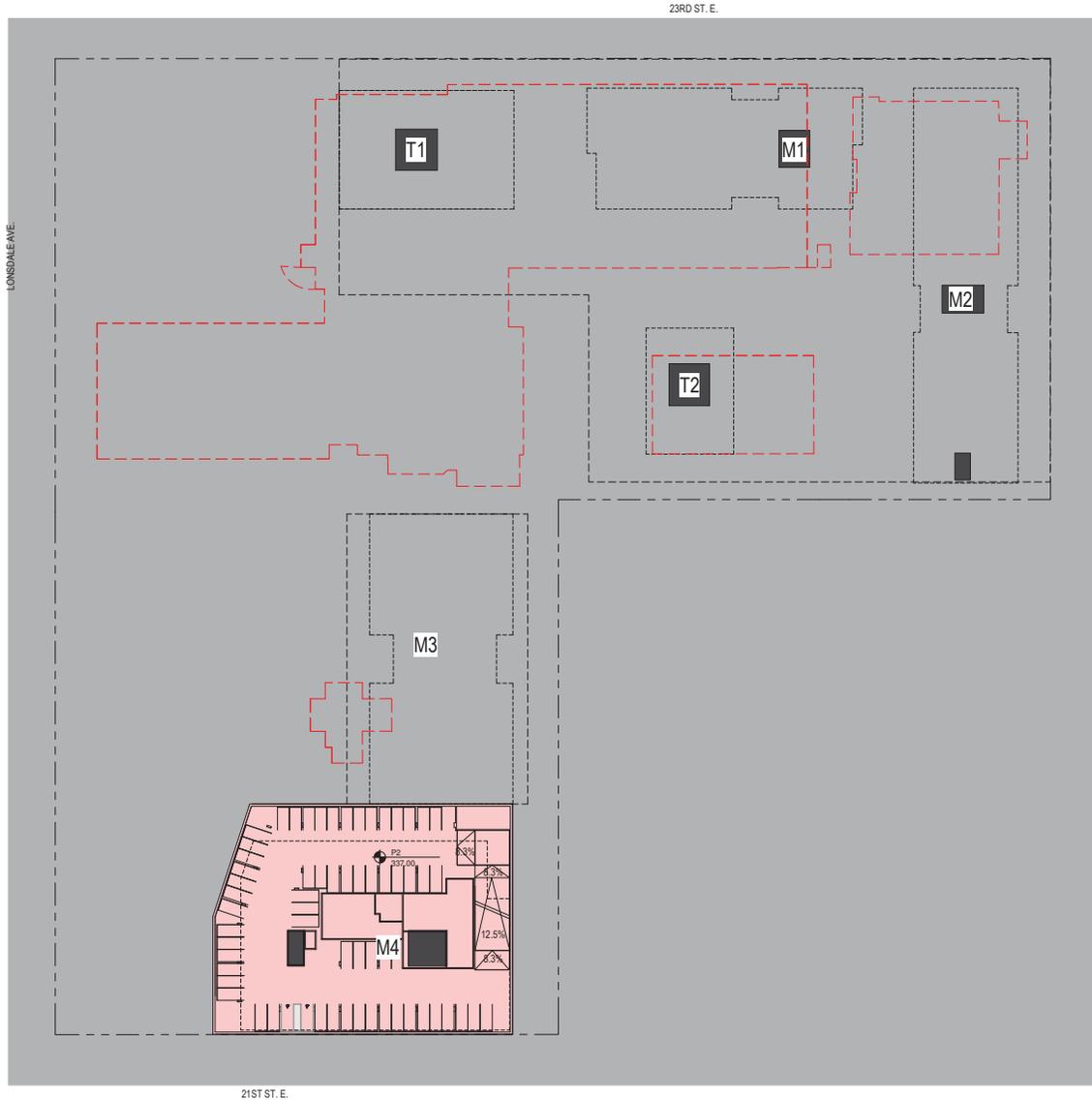
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- PHASE 02 - UNDERGROUND PARKING (M2, T2)
- PHASE 03 - UNDERGROUND PARKING (T1, M1)
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- EXTENTS OF UNDERGROUND PARKING
- LEC PROVISION FOR LEC ETS (3m x 3m)

SCALE 10' 50' 100'

PARKING +346'-0"

A11-05

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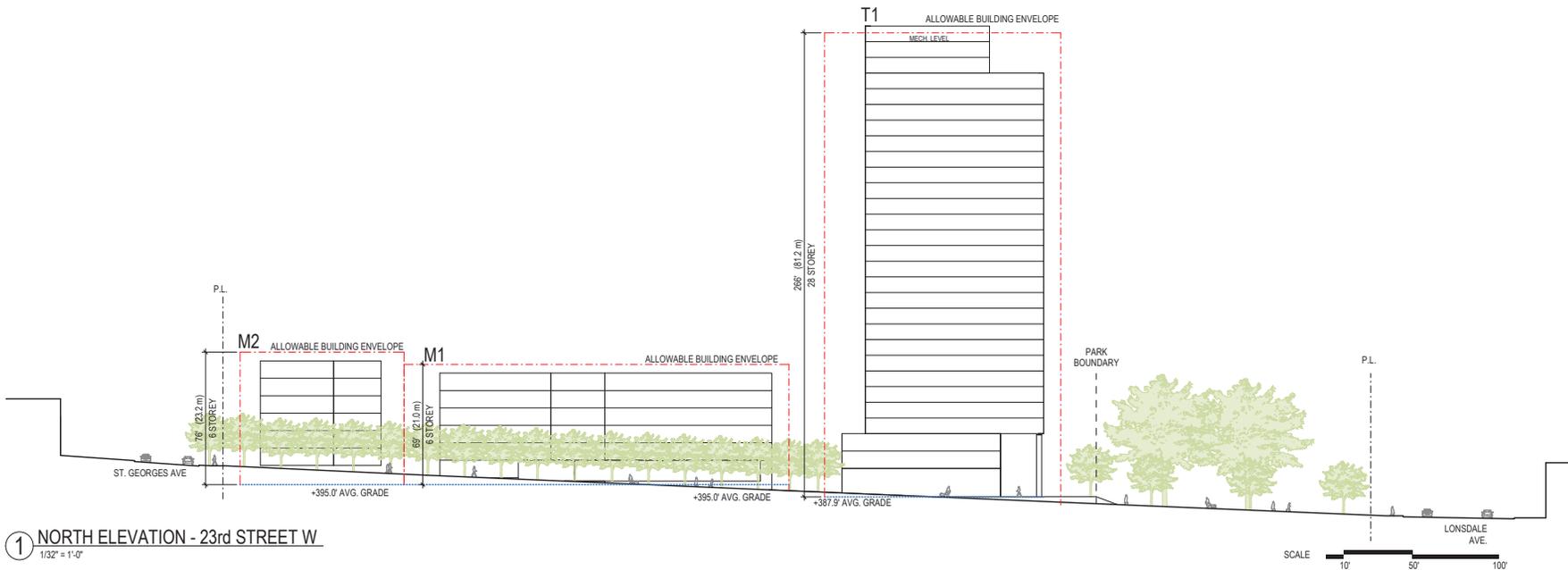
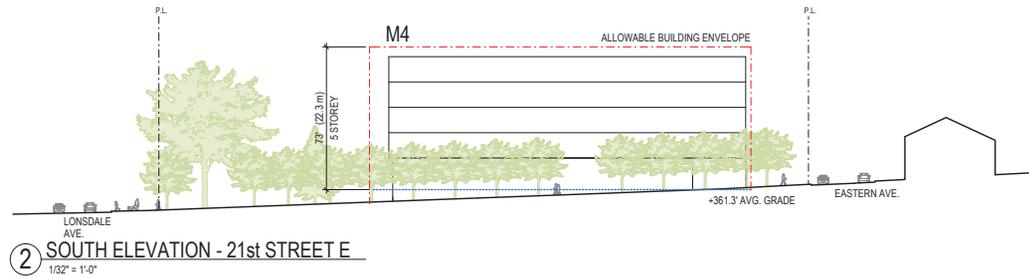
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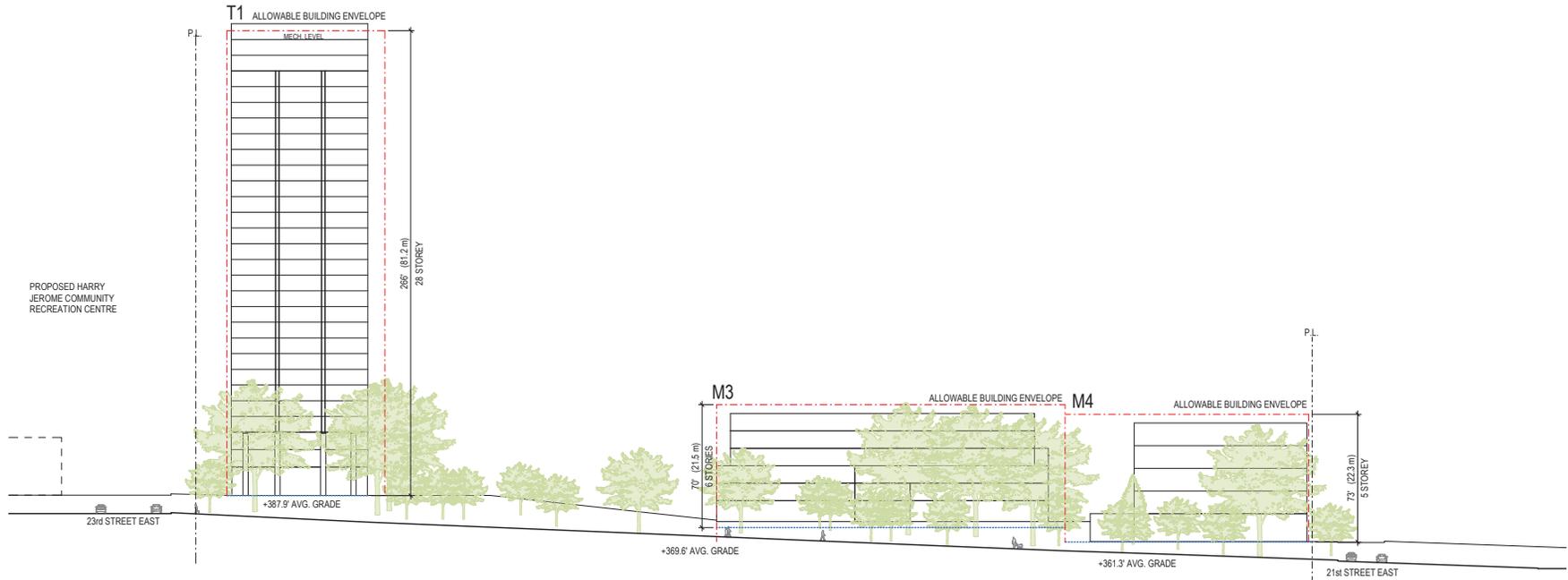
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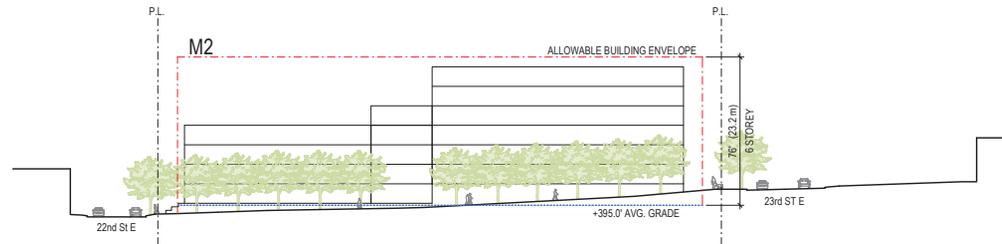
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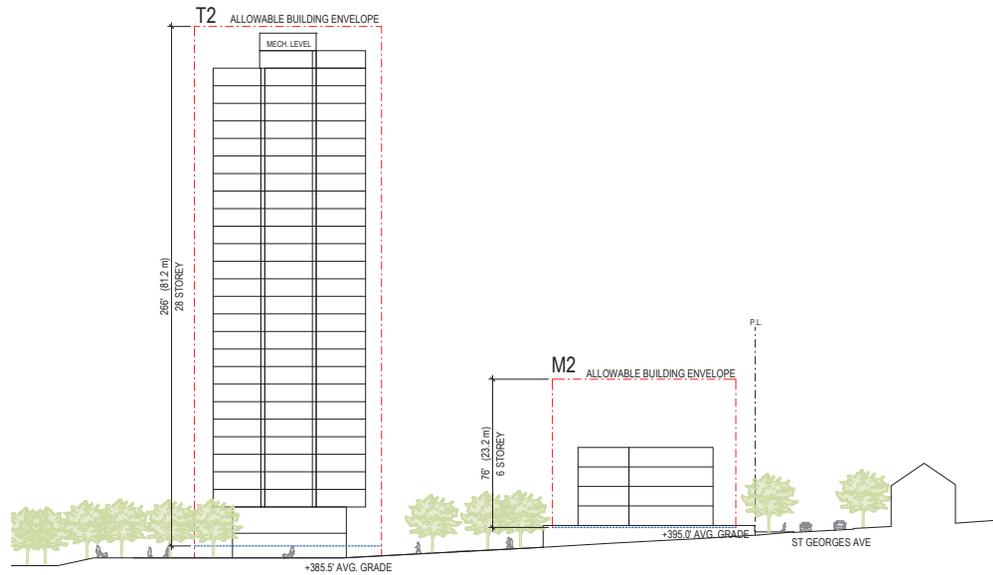
② WEST ELEVATION - LONSDALE AVE
1/32" = 1'-0"



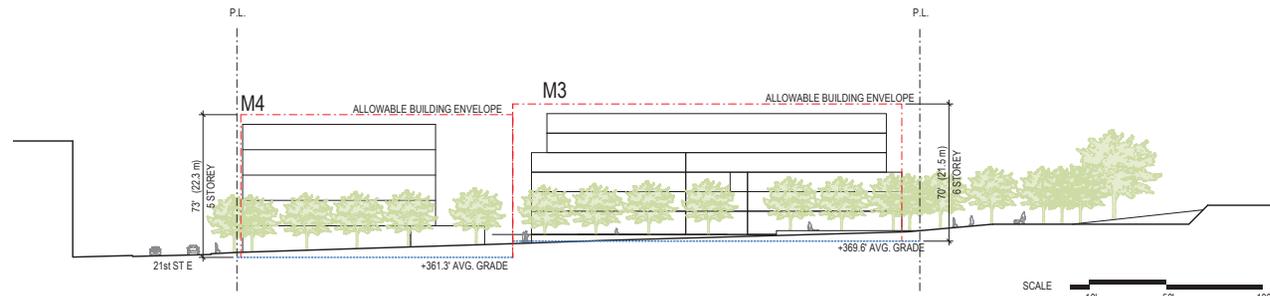
① EAST ELEVATION- ST GEORGES AVE
1/32" = 1'-0"



STREET ELEVATION



① SOUTH ELEVATION 22nd ST E
1/32" = 1'-0"



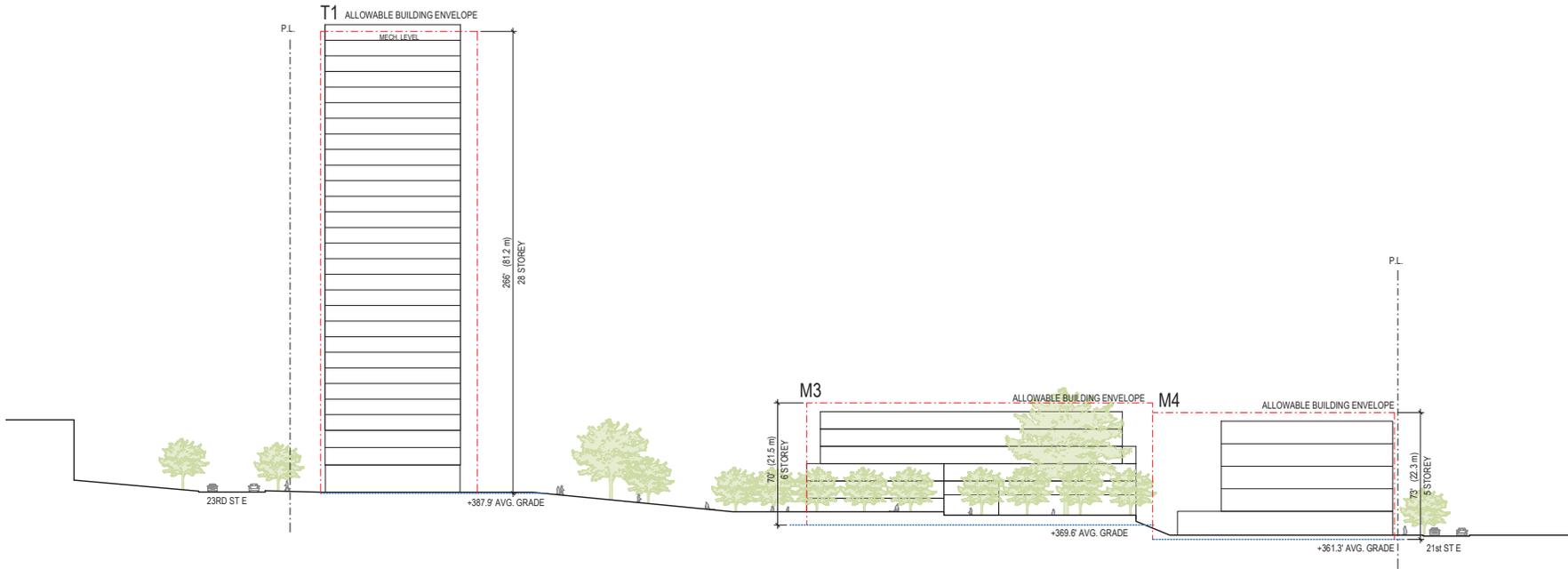
② EAST ELEVATION - EASTERN AVE
1/32" = 1'-0"



STREET ELEVATION

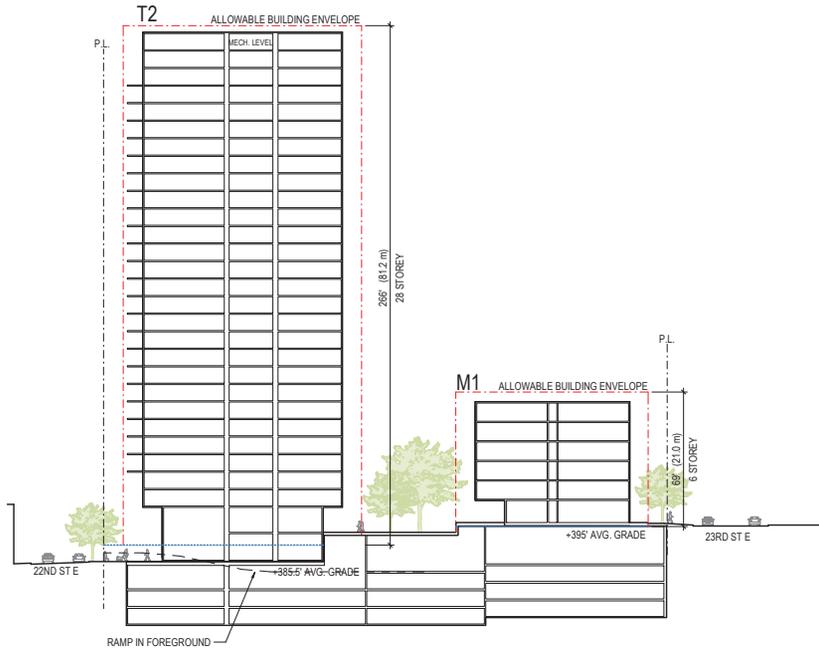


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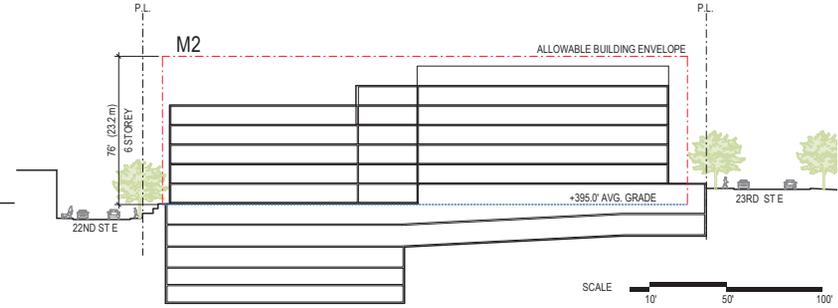


① SECTION - LONSDALE PARK
1/32" = 1'-0"





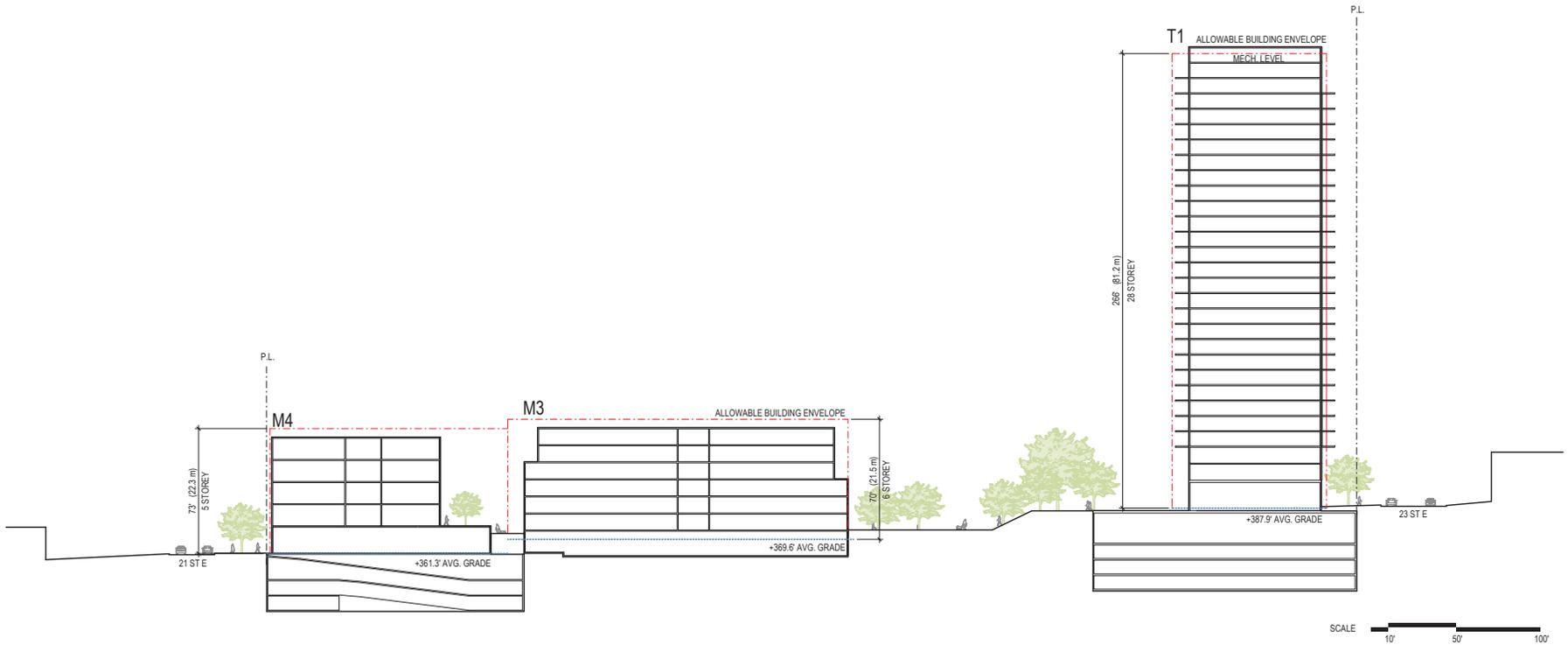
② T2 + M1 SECTION LOOKING WEST
1/32" = 1'-0"



① M2 SECTION LOOKING WEST
1/32" = 1'-0"

NOTES:
1. REFER TO THE DEVELOPMENT STATISTICS FOR
OVERALL PARKING COUNTS.



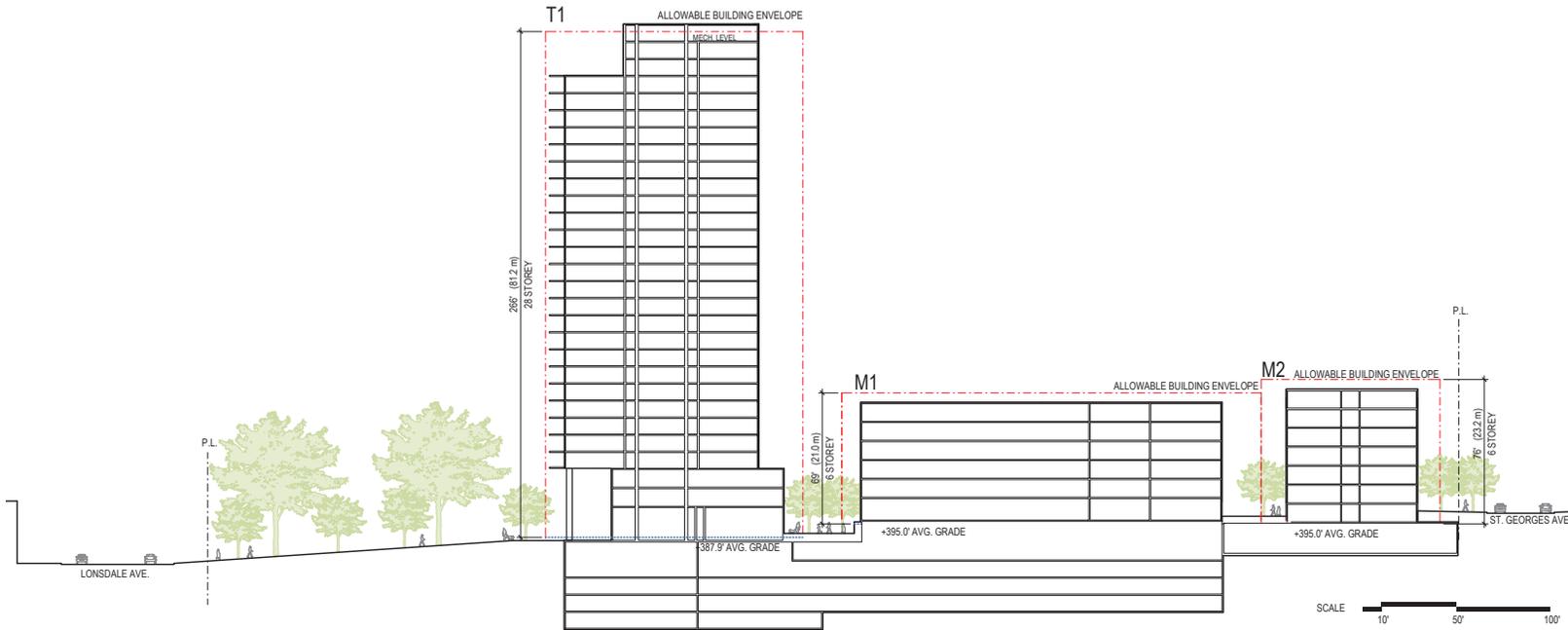


① M4 M3 + T1 SECTION LOOKING WEST
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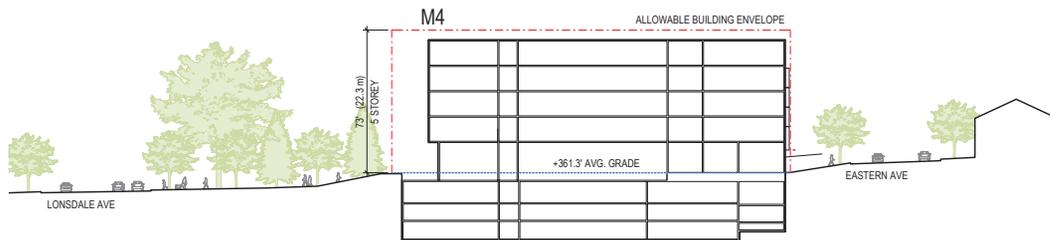
SCALE 10' 50' 100'

NOTES:
1. REFER TO THE DEVELOPMENT STATISTICS FOR
OVERALL PARKING COUNTS.





② T1, M1, + M2 SECTION LOOKING NORTH
1/32" = 1'-0"



① M4 SECTION LOOKING NORTH
1/32" = 1'-0"

NOTES:

1. REFER TO THE DEVELOPMENT STATISTICS FOR OVERALL PARKING COUNTS.



ARCHITECTURE

PROPOSED PHASING

The Darwin team has examined opportunities to phase part or parts of the Harry Jerome Neighbourhood Lands (HJNL) development.

A phased implementation of the Harry Jerome Neighbourhood Lands buildings would be coordinated with the schedule and timing for the construction of the new Harry Jerome Community Recreation Centre (HJCRC) on the north side of 23 Street, and decommissioning and removal of the existing/old Harry Jerome Neighbourhood Recreation Centre on the south side of 23 St.

The proposed phasing for the HJNL development would be in three parts:

Phase 1: Construction of Buildings M3 & M4

The proposed new residential building (M3) and office building (M4) would be constructed at the south end of the site, with the buildings facing 21 St and Eastern Ave. This new construction can be undertaken while still allowing the existing community centre to remain in operation.

Phase 2: Construction of Buildings T2 & M2

The proposed new residential buildings (T2 & M4) would be constructed at the eastern edge of the site, with the buildings facing 22 St and St. Georges Ave.

For these new buildings to be constructed, the existing Memorial Community Recreation Centre and Silver Harbour Centre buildings would be decommissioned and removed. Options are being studied to temporarily relocate the Silver Harbour Seniors Centre into building M4, until their final space is completed in the new HJCRC.

Again, new construction described above would be undertaken while still allowing the existing community centre to remain in operation.

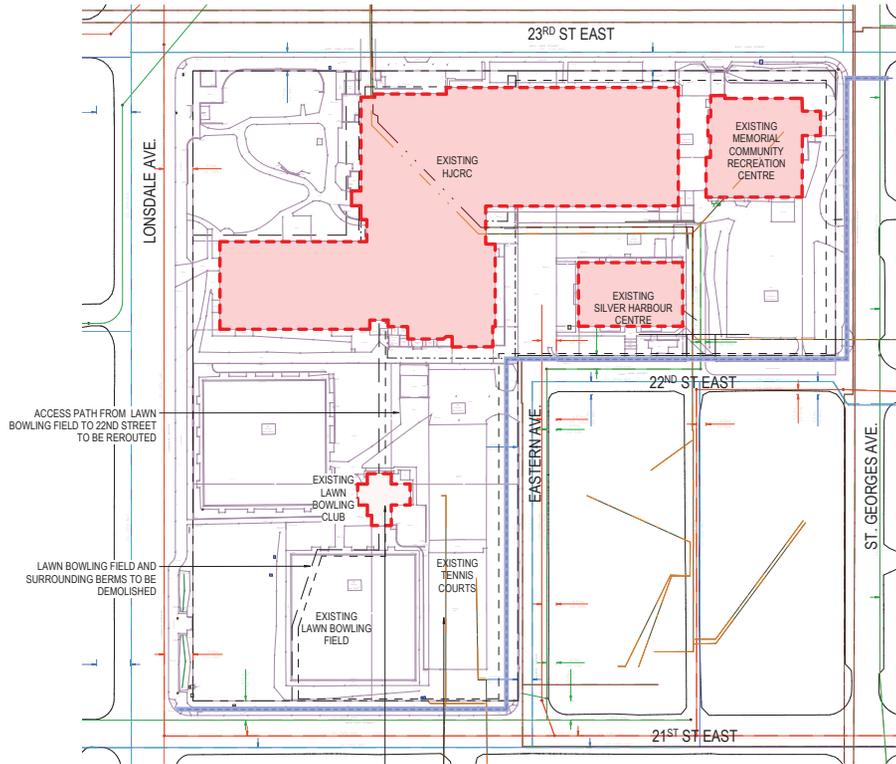
It is expected that during this time, construction of the new Harry Jerome Community Recreation Centre on the north side of 23 St would be underway.

Phase 3: Construction of Buildings T1 & M1

For this construction to take place, the new Harry Jerome Community Recreation Centre would have to be completed and operations transferred from the old community centre to the new.

The final phase of construction would see remaining residential buildings T1 & M1 constructed on the site of the old HJCRC, and along 23 St.

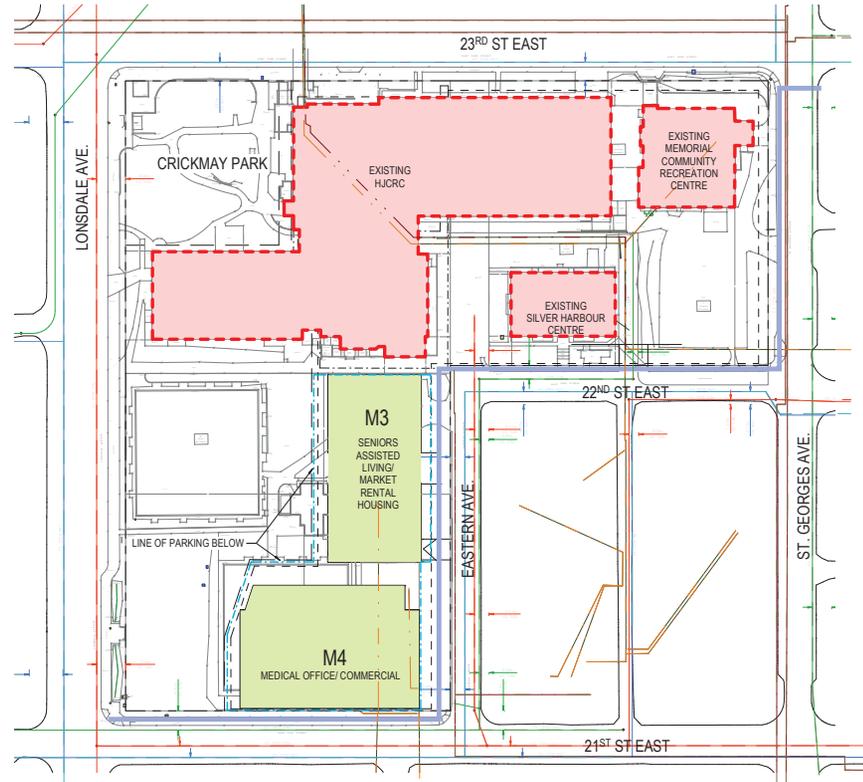
This approach to phasing will allow for the continuing operation of the existing community centre until the new community centre is built, and through development, provide the funding to the city to make this happen.



1 PHASE 1 DEMOLITION
1/64" = 1'-0"

NOTE:

- 1 - EXISTING SITE SERVICES TO BE MAINTAINED OR REROUTED AS REQUIRED USING PROPOSED NEW R.O.W. WHERE NEEDED.



2 PHASE 1 NEW CONSTRUCTION
1/64" = 1'-0"

LEGEND:

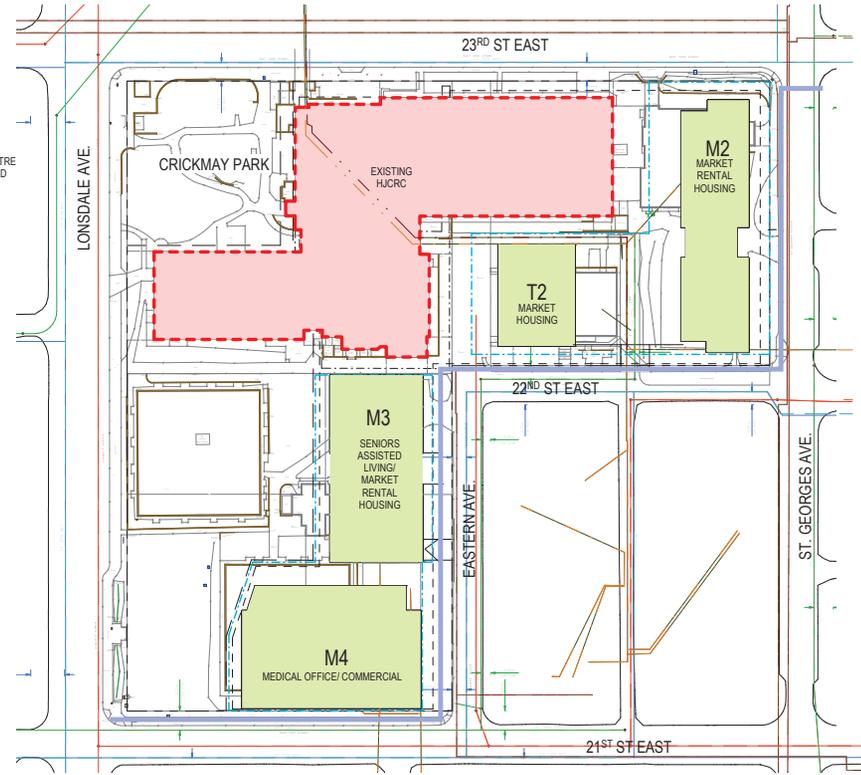
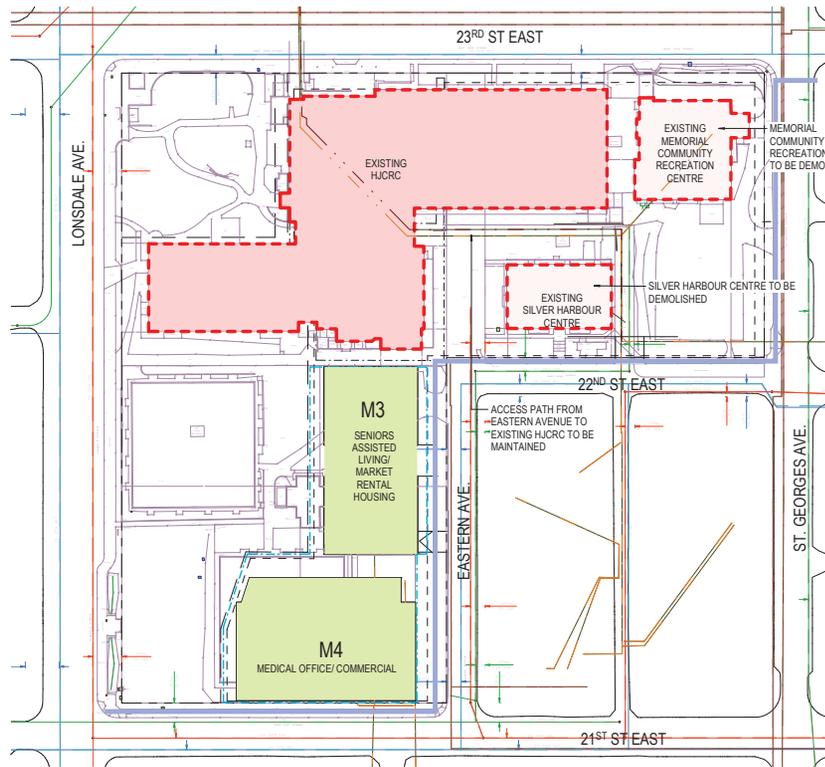
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO DEMOLISH
- HJNL DEVELOPMENT
- LINE OF PARKADE BELOW

EXISTING SERVICES:

- EXT. SANITARY SEWER LINE
- EXT. STORM SEWER
- EXT. WATER
- EXT. GAS
- EXT. TELE
- EXT. - ELEC HYDRO
- EXT. UTILITY - TELE FIBER
- TEMPORARY ROUTE FOR GREEN NECKLACE

SCALE 10' 50' 100'





1 PHASE 2 DEMOLITION
1/64" = 1'-0"

NOTE:

- 1 - EXISTING SITE SERVICES TO BE MAINTAINED OR REROUTED AS REQUIRED USING PROPOSED NEW R.O.W. WHERE NEEDED.

2 PHASE 2 NEW CONSTRUCTION
1/64" = 1'-0"

LEGEND:

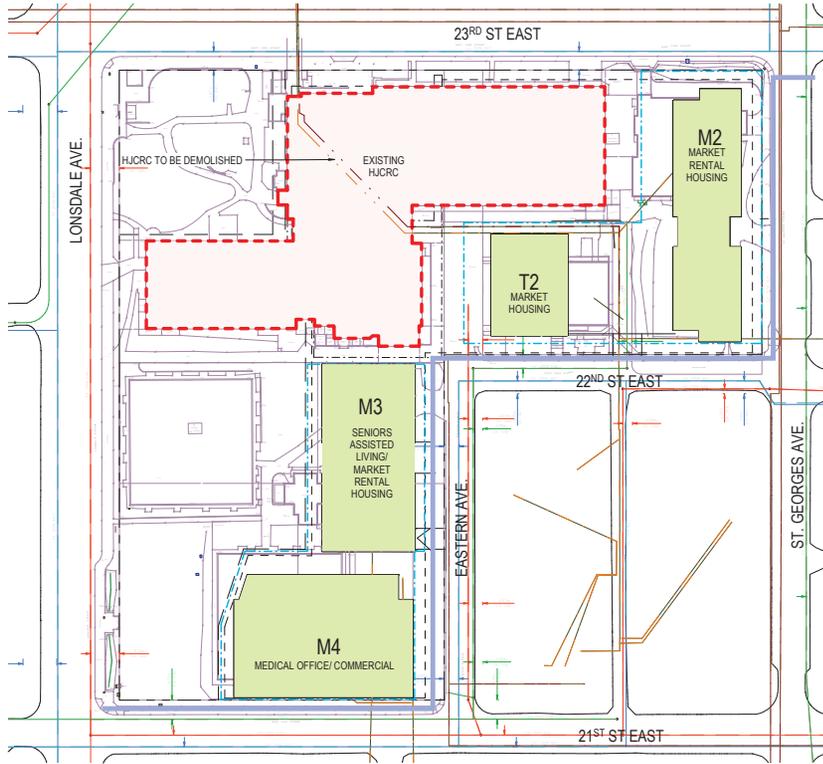
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO DEMOLISH
- HJNL DEVELOPMENT
- LINE OF PARKADE BELOW

EXISTING SERVICES:

- EXT. SANITARY SEWER LINE
- EXT. STORM SEWER
- EXT. WATER
- EXT. GAS
- EXT. TELE
- EXT. - ELEC. HYDRO
- EXT. UTILITY - TELE FIBER
- TEMPORARY ROUTE FOR GREEN NECKLACE

SCALE 10' 50' 100'



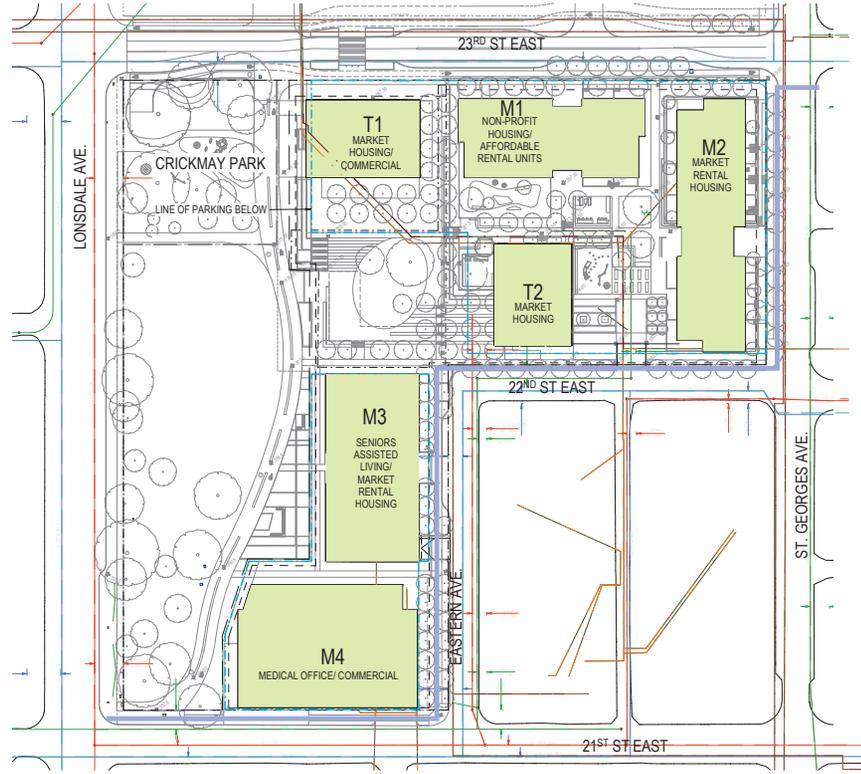


① PHASE 3 DEMOLITION
1/64" = 1'-0"

NOTE:

1 - EXISTING SITE SERVICES TO BE MAINTAINED OR REROUTED AS REQUIRED USING PROPOSED NEW R.O.W. WHERE NEEDED.

② PHASE 3 NEW CONSTRUCTION
1/64" = 1'-0"



LEGEND:

-  EXISTING BUILDING TO REMAIN
-  EXISTING BUILDING TO DEMOLISH
-  HJNL DEVELOPMENT
-  LINE OF PARKADE BELOW

EXISTING SERVICES:

-  EXT. SANITARY SEWER LINE
-  EXT. STORM SEWER
-  EXT. WATER
-  EXT. GAS
-  EXT. TELE
-  EXT. - ELEC-HYDRO
-  EXT. UTILITY - TELE FIBER
-  TEMPORARY ROUTE FOR GREEN NECKLACE

SCALE 1" = 50' 10"



LANDSCAPE



LANDSCAPE DRAWINGS

LANDSCAPE PLAN

F



Landscape Site Plan Scale 1:1000

LANDSCAPE DRAWINGS
ROOF PLANS



Roof Plan Scale 1:1000

LANDSCAPE SECTIONS



AA

1:750



BB

1:750



CC

1:750

F

LANDSCAPE PHASING DIAGRAMS



Phase 1.
In the initial phase of development the Stormwater Feature will be completed along with the first section of the Green Necklace which will connect to the existing East/West connection along 22nd St. down to 21st St.



Phase 2.
The second phase of development will bring the first half of the large courtyard with accessible access from 23rd St. to both M2 and T2 along with a stair connection down to 22nd St.



Phase 3.
The Final phase of development will see the completion of the Green Necklace and the connection of the two existing park spaces into a long continuous park along Lonsdale. Additional connections from 23rd St will be created including a connection along Eastern Ave. to 21st St. The mound, a large gathering space south of T1, will support events and informal activities along with housing important infrastructure.

PUBLIC ART



PUBLIC ART

PUBLIC ART CONCEPT

Public art has the power to punctuate everyday environments, energize public space, inspire and foster community participation and connectivity in the creation of our urban landscape. The proposed New Harry Jerome development project offers a dynamic public realm in the exciting burgeoning Central Lonsdale neighborhood, with an exceptional opportunity to introduce innovative and engaging public artwork that responds to the rich cultural, and community contexts as well as the unique site conditions in a meaningful way. Public art opportunities will be thoughtfully considered in keeping with the vision and spirit of the development as well as the City's Public Art Program, in its commitment in offering public access to artistic expression and enhancing public awareness and appreciation of the visual arts.

Stainability is a key foundation principle of the of the New Harry Jerome development with planned advanced green technologies and initiatives that invite exciting artistic expression. Notable is the Lonsdale Energy Corporation (LEC) district energy system providing dependable, clean and competitively priced energy to residential and commercial buildings in the Lonsdale area, which will have a major impact and presence on the site with technology centrally situated at the plaza area. As the prime social gathering space with good public accessibility and visibility, the plaza is a key site location to feature compelling public art and the proposed LEC technology offers an innovative approach and thematic which speaks to the 21st Century ideas and future generations. Integrated with LEC, the public art may offer diverse educational and pedagogical opportunities that inspire and fosters dialogue, curiosity with layers of meaning.

Additional sites identified for public art work, including gateway locations will further activate the public realm while supporting and promoting site interconnectivity, access and permeability. Together, the site locations for public art will encourage connection with the future Harry Jerome Community Recreation Complex, as well as north-south and east-west connections from the adjoining neighbourhood through the site to the Green Necklace and possess distinctive wayfinding and place making qualities. The Green Necklace with interconnected pedestrian and bike paths, the expansive Harry Jerome Legacy Park, Crimany Park along

with the myriad of open public spaces and courtyards offer diverse opportunities to consider public art that will provide interest, dialogue, and lively social interaction as well as moments of quietude and reflection.

The public art site locations and their respective opportunities offer a wide range arrange of scope, form and medium including innovative media and lighting as well as integrated approaches with the LEC technology, landscape design and hard scape features. Establishing curatorial cohesion, the public art at the plaza and other locations will create a dynamic interplay across public spaces and enliven the creative quality of the New Harry Jerome Development. Art works will be individually compelling, maintaining their own artistic rigor while conversing with one another in innovative, and unexpected ways. Contributing to the distinctive energy and function of respective site locations, the public art will support the flow and integration between the public spaces enriching the overall experience of visitors and residents.

Darwin proposes to host an enduring public art works that will speak to diverse audiences offering maximum public benefit, accessibility and engagement. The public art at the New Harry Jerome Development will significantly contribute to the artistic and cultural vibrancy of this lively community, building legacy, civic pride and community identity.



1



4



7



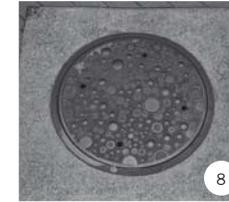
10



2



5



8



11



3



6



9



12

1. Jeppe Hein, *Follow Me*2. Dan Corson, *Sonic Boom*3. Aaron Curry, *Frieze*4. Myfanwy MacLeod, *The Birds*5. *Parametric Bench*, designed by Ten students from Columbia University

The group consisted of Charlie Able, Alexis Burson, Ivy Chan, Jennifer Chang, Aaron Harris, Trevor Hollyn Taub, Brian Lee, Eliza Montgomery, Vernon Roether, and David Zhai.

6. Marianne Nicolson, *The Land is a Person*7. Franz West, *The Ego and the Id*8. Jen Weih, *Art Under Foot - CofV*9. Myfanwy MacLeod and Shannon Oksanen, *Playtime*10. Jeppe Hein, *Appearing Rooms*11. Douglas Coupland, *Beaver Dam*12. Katharina Grosse, *Just Two of Us*

PUBLIC ART
PUBLIC ART CONCEPT



PUBLIC ART MAP

- POTENTIAL SITE LOCATIONS FOR PUBLIC ART
- ★ CENTRAL PLAZA (LONSDALE ENERGY CORPORATION)

Public Art Map Scale: NTS

CIVIL

H

CIVIL

PRELIMINARY BUILDING GRADES

As required by the City of North Vancouver, Building Grades for the site are determined by the civil engineering consultant. Pictured at right are the preliminary Building Grades for this site. The Building Grades will be refined as part of the fronting road design and will be provided at key locations throughout the site as the site plan is developed.

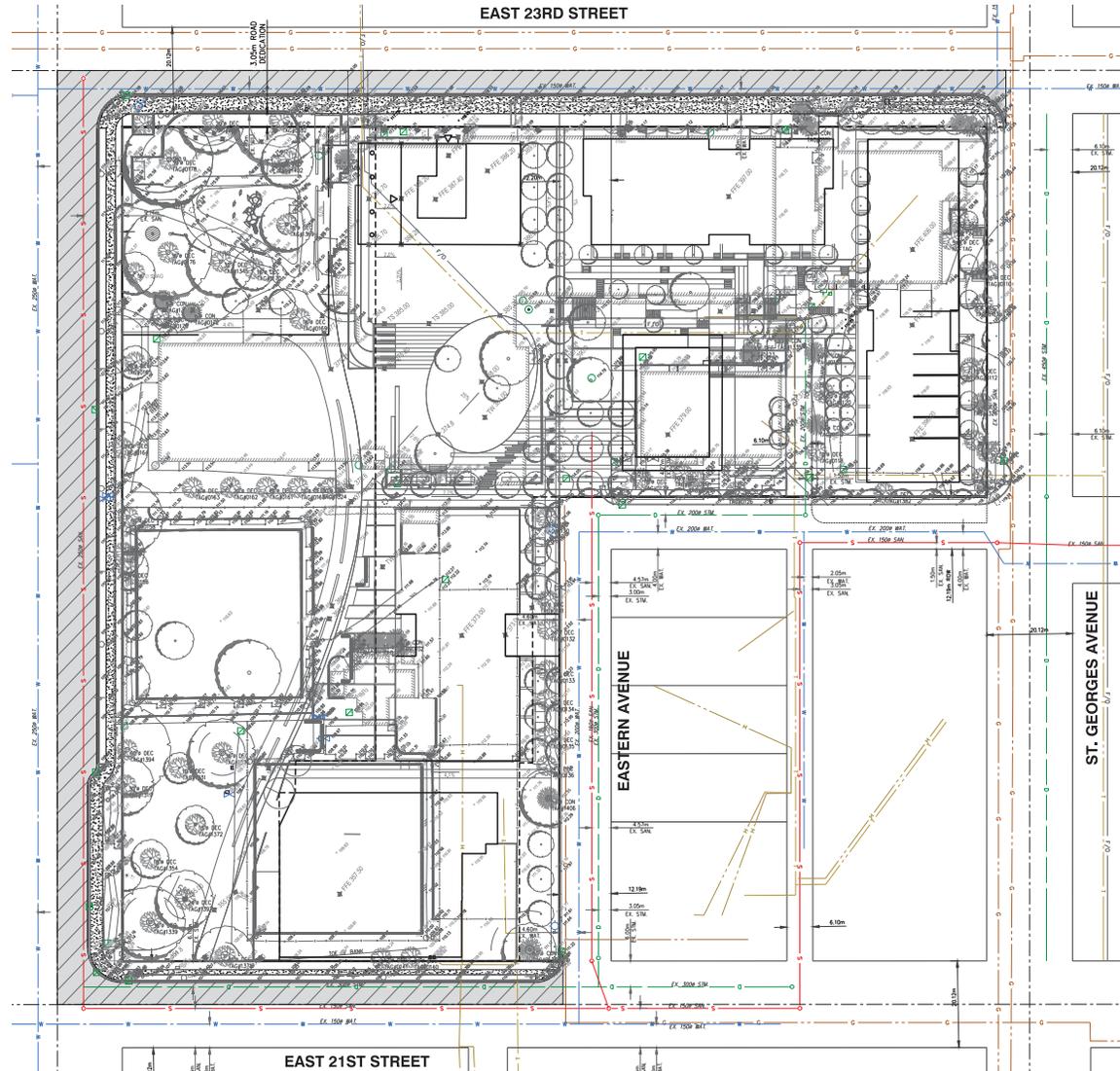
PRELIMINARY KEY PLAN AND BUILDING GRADES PLAN

Frontage improvements around the site are expected in accordance with the City of North Vancouver's Subdivision & Development Control Bylaw and are generally expected to include:

- Road improvements along site frontages per the Lonsdale Streetscape Standards and applicable City Bylaws. Improvements generally include:
 - New sidewalk, curb, and gutter
 - Street trees to CNV standards including Soil Cells as required
 - Overhead and pedestrian level lighting
 - Signal upgrades depending on the results of a Transportation Study
 - Street furnishings including bicycle racks, trash receptacles, and benches
- New asphalt road surface to the existing road centerline
- Associated signage and linepainting
- Road dedications as required
- Green Necklace improvements per the Green Necklace Standards
- Underground utility upgrades required to service the proposed development
- Service connections for each parcel of land of the proposed development
- Coordination with LEC for service to the proposed development
- Stormwater Management Plan

The extent of the utility upgrades will be determined in conjunction with City staff and will depend on the proposed density and distribution of density in the proposed development.

As required by the City of North Vancouver, Building Grades for the site are determined by the civil engineering consultant. Pictured at right are the preliminary Building Grades for this site. The Building Grades will be refined as part of the fronting road design and will be provided at key locations throughout the site as the site plan is developed.



BENCHMARK:

- BM1 MONUMENT
- BM1 LOCATION
- BM1 ELEV
- BM2 MONUMENT
- BM2 LOCATION
- BM2 ELEV



Preliminary Building Grades

Scale: NTS

See Full Size Drawings for detail.



ENVIRONMENTAL



"The following is the executive summary from the Keystone Environmental Ltd. "Report of Findings – Phase 1 Environmental Site Assessment" report prepared for the City of North Vancouver in August 2017. The complete report is available separately from this document.

Keystone has also prepared a "Schedule 1 Site Profile" dated January 12, 2018. The complete Schedule is also available separately from this document."

Keystone Environmental
Knowledge-Driven Results

**Report of Findings –
Phase I Environmental Site Assessment**

2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street
North Vancouver, BC

Prepared for: City of North Vancouver

Project No. 13622
August 2017

Environmental Consulting • Engineering Solutions • Environmental Planning

Suite 320
4400 Dominion Street
Burnaby, British Columbia
Canada V5G 4G3

Telephone: 604 430 0671
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Report of Findings – Phase I Environmental Site Assessment
2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street
North Vancouver, BC

EXECUTIVE SUMMARY

This KEYSTONE ENVIRONMENTAL™ Phase I Environmental Site Assessment (ESA) report, prepared at the request of the City of North Vancouver was conducted the properties referenced as 2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street, North Vancouver, BC (the Site). The Site is currently occupied by two community centre buildings, a multi-family residence and a lawn bowling club. The four buildings on the Site are identified as follows:

- Harry Jerome Recreation Centre – community centre building located on the northwest portion of the Site
- Memorial Gym – community centre building on the northeast portion of the Site
- Silver Harbour Centre – Multi-family residence on the central portion of the Site
- Lawn bowling pavilion (North Vancouver Lawn Bowling Club) – located on the south portion

ON-SITE SUMMARY

Historical records indicate that from the 1920s, or earlier until the mid-1930s, the Site was used primarily for residential purposes. In the mid-1930s, a hall was constructed on the north portion of the Site and the existing lawn bowling pavilion was constructed on the southwest portion of the Site. In the late 1940s, the existing Memorial Gym had been constructed and by the late 1960s, the former hall had been removed and the existing Harry Jerome community centre building was constructed. In the mid-1970s the former residences were removed and the existing Silver Harbour Centre residence was constructed.

Heating Oil

Memorial Gym

The Site building is currently connected to natural gas. The building was formerly heated via a heating oil underground storage tank (UST) located adjacent and west of the building. The UST and associated contaminated soil was removed from the Site in 1999. Confirmatory samples were taken by PHH Environmental Ltd. (PHH) and were analyzed for light/heavy extractable petroleum hydrocarbons (LEPH/HEPH) and polycyclic aromatic hydrocarbons (PAH). The concentrations of LEPH/HEPH and PAH were less than the current BC Contaminated Sites Regulation (CSR) park land use (PL) and residential land use (RL) standards. Potential contaminants of concern (PCOCs) associated with heating oil are LEPH/HEPH, PAH, benzene, toluene, ethylbenzene, xylenes, styrene (BTEX) and volatile petroleum hydrocarbons (VPH). Although BTEX and VPH parameters were not analyzed during the tank removal, based on the time since the tank was removed (over 15 years), there is considered to be a low potential for residual contamination to be present in the vicinity of the former heating oil UST.

Report of Findings – Phase I Environmental Site Assessment
2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street
North Vancouver, BC

Lawn Bowling Pavilions (former and current)

The existing pavilion building is currently connected to natural gas. It is unknown if the building has been connected to natural gas since its construction in the late-1960s or how the former lawn bowling pavilion (located on the central west portion of the Site) was heated. It is possible that electricity, or heating oil were used. If heating oil was used, it would have been stored in an aboveground or underground storage tank (AST) or UST. Therefore based on the unknown heating methods of the former pavilion and the age of the existing pavilion, there remains a potential for heating oil USTs and associated hydrocarbons, if any, to be present in the vicinity of the existing and former lawn bowling pavilions.

Former Residences

Up to four former single-family residences were located on the Site. It is unknown how the former residences were heated. It is possible that wood, coal, electricity, or heating oil were used. If heating oil was used, it would have been stored in an AST or UST. Two of the former residences were located within the footprint of the existing Silver Harbour Centre. It is therefore anticipated that potential heating oil tanks associated with these former buildings, if any, would have been removed from the Site when the existing multi-family residence was constructed. However there remains a potential for heating oil USTs and associated hydrocarbons, if any, to be present in the vicinity of the remaining two former single-family residences located to the north of the Silver Harbour Centre and on the west portion of the Site.

Existing Community Centre

During the Site reconnaissance the following was observed in the Harry Jerome community centre building:

- Five 22.7 kg bags of calcium chloride
- Eleven 22.7 kg bags of sodium bicarbonate
- Seven approximately 20 L pails of hypochlorite
- Thirteen 22.7 kg bags of soda ash
- Eleven approximately 50 kg bags of diatomaceous earth
- Two approximately 20 L pails of hydrochloric acid
- One approximately 25 L container of sodium thiosulphate
- One approximately 200 L drum of compressor oil
- One approximately 150 L drum of waste compressor oil

Based on the products being stored over concrete floors, the concrete floors throughout the building being in good condition (major cracks and/or staining were not observed) and staining not being observed near the floor drains in the building, there is considered to be a low potential for constituents of concern associated with the storage of these products to be present in the Site soil, groundwater, and/or vapour at concentrations greater than the applicable CSR land and water use standards.



Report of Findings – Phase I Environmental Site Assessment
2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street
North Vancouver, BC

Mr. Gary Hough, the maintenance and engineering services manager for the Site reported that the drainage pipe which runs underground from the pool to the filtration room was recently (exact dates could not be confirmed) replaced as the former pipe had been leaking and eventually burst, releasing a large quantity (exact volume unknown) of chlorinated water into the subsurface under the Harry Jerome building. Chlorinated water is a common source for chloroform production, as the chlorinated water reacts with organic compounds to produce chloroform¹. Although an unknown quantity of chlorinated water was released into the subsurface, given that the pipe was located underground, it is anticipated that the water was released below the organic rich topsoil. Based on the likely organic poor soil in which the chlorinated water was released, it is anticipated that significant amounts of chloroform were not released into the Site soil, vapour and/or groundwater, therefore there is considered to be a low potential for constituents of concern associated with the release of chlorinated water to be present in the Site soil, groundwater, and/or vapour at concentrations greater than the applicable CSR land and water use standards.

North Vancouver Lawn Bowling Club

During the Site visit, an interview was conducted with a representative of the lawn bowling club. He reported that herbicide/pesticides were occasionally used on the lawn bowling fields but that the herbicide/pesticide products were not stored on the Site in quantities of concern. Herbicides and/or pesticides typically have relatively short half-lives and quickly degrade in soil, as such, when used correctly, the application of herbicides and/or pesticides generally do not pose long-term contamination problems. Therefore, based on the relatively small scale of the lawn bowling fields (the lawn bowling fields have a combined area of approximately 3,200 m²) and the anticipated short half-lives of the herbicides/pesticides used, there is considered to be a low potential for constituents of concern associated with the orchard to be present in the Site soil, groundwater, and/or vapour at concentrations greater than the applicable CSR land and water use standards.

OFF-SITE SUMMARY

The properties located within the vicinity of the Site were primarily residential from the 1940s to the 1960s when increased commercial development began in the area.

Three off-Site properties located in the vicinity of the Site were identified to having been occupied by historical operations of potential environmental concern. However based on the distance, short duration and/or cross or down-gradient orientation to the Site, there is considered to be a low potential for the three off-Site properties to have contributed constituents of concern to the Site soil, groundwater, and/or vapour at concentrations exceeding the CSR land and water use standards.

¹ https://repository.asu.edu/attachments/143439/content/Rose_asu_0010N_14553.pdf



ENVIRONMENTAL

Report of Findings – Phase I Environmental Site Assessment
2160 Lonsdale Avenue, 144 East 22nd Street and 123 East 23rd Street
North Vancouver, BC

CONCLUSION

With the exception of hydrocarbon contamination to be present in the vicinity of potential heating oil USTs, if any, or potential residual hydrocarbon contamination to be present in the vicinity of the former heating oil tank located west of the Memorial Gym, there is considered to be a low potential for constituents of concern to be present in the Site soil, groundwater, and/or vapour at concentrations greater than the applicable CSR land and water use standards.

In our experience, in a majority of cases, hydrocarbon contamination related to former heating oil storage tanks, if any, has been minor and localized to the vicinity of the tank. Potential heating oil USTs (if any) can be dealt with at the time of redevelopment and further investigation is not warranted at this time.

This Executive Summary is subject to the same general limitations as contained in the report and must be read in conjunction with the entire report.



HARRY JEROME NEIGHBOURHOOD LANDS

Phase Two: Engagement Summary & Town Hall Meeting Report



May 18, 2018

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1. EXECUTIVE SUMMARY

The Harry Jerome Community Recreation Centre is nearing the end of its useful life. In anticipation of the need to replace it with a modern facility North Vancouver City Council, following several years of study and analysis and public input, directed that the lands to the south of 23rd Street (now known as the “Harry Jerome Neighbourhood Lands”) be redeveloped for multi-family residential and other uses. The proceeds from a long-term pre-paid land would be devoted to paying the costs of a new community recreation facility on the north side of 23rd Street.

Over the summer of 2017, the City undertook a search among the development industry and after a review of submissions, identified Darwin Properties as the preferred proponent to lead the rezoning application process for the acquisition and redevelopment Harry Jerome Neighbourhood Lands.

Following a public review process in late 2017, Darwin made application to rezone the Lands for a mix of multi-family residential and other private and public uses, including daycare, rental housing, seniors assisted living, and a significant new public park.

The rezoning process involved consultation with individual stakeholders from January – May 2018. A Town Hall meeting was held on Thursday, April 26, 2018. The Town Hall format included:

- Open House: 5:30pm – 6:15pm
- Presentation: 6:15pm – 6:30pm
- Dialogue Q&A: 6:30pm – 8:30pm

The Open House portion provided residents with an opportunity to speak with the Darwin development team and City of North Vancouver staff about the information provided on presentation boards. This was followed by a brief presentation and facilitated discussion.

At the Town Hall, a number of participants acknowledged that Darwin had listened and responded to their concerns by changing the placement of towers and stepping back some of the mid-rise buildings. In general, however, many were opposed to towers and mid-rise buildings.

A summary of the input received at the meeting indicates that participants are opposed to the development. They feel that the tradeoff of amenities - particularly the larger pool that will serve residents beyond the immediate area - is not worth the impact on the local neighbourhood, i.e. increased density, parking and traffic.

Supporters like the site design, green space and affordable housing. Even some who raised concerns about density and traffic acknowledged the positive attributes. In addition to comment forms received at the Town Hall, the public comment period remained open for almost three weeks from April 26, 2018 to May 18, 2018.

Town Hall Quick Facts

Participants	#	%
Attendance	134	
Comment Forms Received at Town Hall on April 26, 2018	31	23%
Comment Forms & Emails Received During Public Comment Period	26	

WHAT WE HEARD AT TOWN HALL

The majority of comments shared in the Q&A and through the comment forms received at the Town Hall focused on the impacts to immediate neighbours within a five-block radius. This is not surprising as ninety-four (94) of those that signed in indicated addresses in this precinct.

Several participants acknowledged that Darwin had listened and responded to their concerns by changing the placement of towers and stepping back some of the mid-rise buildings. In general, however, many were opposed to towers and mid-rise buildings.

Thirty-one (31) comment forms were received at the Town Hall. Following an almost three-week comment period, an additional twenty-six (26) comment forms and emails were received, for a total of 57 (fifty-seven) forms of input.

Comment Forms and Email Issue Description	# of Times Mentioned
Concerns about Density and Tower Height	19
Concerns about existing and future traffic congestion including East 23 rd safety and convenience. Streets and Intersections	14
Concerns about loss of Norseman and MacDougall Field and Parks	10
Concerns reference past OCP and zoning issue	9
Concerns about financing, funding related to size of HJRC that serves North Shore	7
Concerns on parking on local streets beyond just project	6
Concerns related to construction fatigue	3
Concerns about green space and mountain views	3
Concerns about removal of trees on Eastern Avenue	2
Supportive of overall design, housing options, leasehold, rental, mixed use medical and offices, child care and other amenities	12
Supportive of 1 hectare park, other green space	8
Supportive of 50 metre pool	3
Supportive of green necklace, pedestrian and cycling improvements	3

Note: On many comment forms, submissions mentioned several issues per form. These numbers do not represent total number of individuals only the number of times an issue was mentioned.

2. PROJECT OVERVIEW

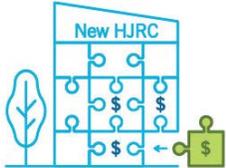
The Harry Jerome Community Recreation Centre is nearing the end of its useful life. In 2012, as part of its Official Community Plan Review, the City of North Vancouver undertook a comprehensive evaluation, needs assessment and public engagement process to explore the replacement of Harry Jerome Community Recreation Centre.

In July 2017, the City conducted a search among the development industry through a Request for Proposal process. Through this process Darwin Properties was selected as the preferred proponent to lead the rezoning application process for the acquisition and redevelopment Harry Jerome Neighbourhood Lands.

The public engagement process for the redevelopment of the Harry Jerome Neighbourhood Lands was intended to be fair, transparent and inclusive. In phase one the public engagement provided opportunities for North Vancouver residents to give input, and help shape and define the proposed development options being considered prior to submitting a development application.

After submitting a Rezoning Application in February 2018, phase two of the public engagement process, provided opportunities for North Vancouver residents share their comments and feedback on the current development proposal. The current proposal provides the following community benefits:

FUNDING A WORLD CLASS COMMUNITY RECREATION COMPLEX



The proposal will help fund the construction of a new Harry Jerome Community Recreation Centre to meet current and future needs of North Vancouver residents.

CREATING A LARGE NEW DEDICATED CITY PARK



The proposal includes the retention of mature trees in Crickmay Park, and extends the park along Lonsdale from 21st to 23rd Avenue. This will result in a net increase of public park space on the lands south of 23rd Street. Final park programming to be determined via separate CNV Park Task Force process.

PROVIDING A DIVERSE AND AFFORDABLE HOUSING MIX



The proposal includes:

- Market Housing (Leasehold Strata)
- Affordable Non-Profit
- Mid-Market Rental
- Market Rental
- Seniors Assisted Living & Memory Care

CNV Links:

1. [Housing Action Plan](#)
2. [10-10-10 Policy](#)

PROVIDING A NEW CHILDCARE FACILITY



The proposal will provide an additional 37 spaces for children of infant, toddler and preschooler ages.

CREATING JOBS AND KEEPING BUSINESSES ON THE NORTH SHORE



The proposal features over 75,000 sf office and 22,000 sf of retail space. Mindfully positioned to respond to the needs of current and future residents and retain businesses currently facing displacement on the North Shore.

3. ENGAGEMENT EVENTS

3.1 Darwin Properties Stakeholder Engagement

March 15, 2018	<ul style="list-style-type: none"> • CNV, Darwin and Silver Harbour met to review potential options for Temporary Relocation • Should members vote in favour of relocation scenarios, Darwin could accommodate temporary relocation within HJNL project.
April 19, 2018	<ul style="list-style-type: none"> • Letters were delivered to a sampling of homes within the adjacent townhome community bordered by St Georges, 22nd Street, Eastern Avenue and 21st Street. • The letters both invited residents to attend the Town Hall meeting on April 26th and invited further individual engagement opportunities. • Ensure Strata’s receive pertinent project information and additional opportunities to provide comments and feedback
April 19, 2018 (10:30AM – 11:30AM)	<ul style="list-style-type: none"> • Met with members of Silver Harbour to provide HJNL project status and community engagement plan update • Discussed design evolution and offered support and/or participation in engagement efforts if required
April 19, 2018 (1:00PM – 2:15PM)	<ul style="list-style-type: none"> • Met with the owner of Little Paris Daycare to provide an update • Clarified the process involved in selecting Child Care operator for both new HJCRC and HJNL • Will maintain connection and provide updates as the project moves through the rezoning process.
May 4, 2018 (4:00PM – 5:15PM)	<ul style="list-style-type: none"> • Met with local resident who expressed concern for elements of the proposal and requested additional info. • Darwin provided additional historical and technical context, discussed design constraints, evolution of design solutions and obtained additional feedback. • Resident was appreciative of the response and follow up and looks forward to participating in further engagement on the HJNL.
May 4, 2018 (7:00PM – 9:15PM)	<ul style="list-style-type: none"> • Arranged to meet with members of the Strata after having exchanged contact info at the Town Hall. • Site reviewed the property, obtained comments and feedback and answered any questions that could be answered by the applicant. • After receiving feedback from local residents, both at earlier consultations and this meeting, Darwin formally requested the CNV implement RE & RPO parking surrounding “Eastern Avenue” Block.
May 14, 2018 (3:00PM – 4:15PM)	<ul style="list-style-type: none"> • Met with local area resident who attended Town Hall, submitted written comments and requested additional information and context. Meeting intent was to provide additional historical and technical context, discuss design constraints, evolution of design solutions and obtain additional feedback. • Resident was encouraged to stay engaged and potentially participate in future CNV Park Task Force engagement

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<p>May 14, 2018 (7:30PM – 8:45PM)</p>	<ul style="list-style-type: none"> • Darwin maintained contact with Strata President of Georgian Court (2133 St Georges Avenue) having previously met during December 2017 “Pop-Up” consultation and again at Town Hall. • Arranged to meet with members of the Strata following one of their regularly scheduled meetings. • Site reviewed the property, obtained comments and feedback and answered any questions that could be answered by the applicant.
<p>May 17, 2018 (9:30AM – 11:15AM)</p>	<ul style="list-style-type: none"> • Met with Director of North Vancouver Recreation & Culture Commission • Provided a project status update, feedback from recent APC, ADP, ACDI & ITC meetings and discussed spectrum of support and opposition received. • NVRC supportive of both HJCRC & HJNL in current form.

3.2 Town Hall

Date: Thursday, April 26, 2018

Time: 5:30pm – 8:30pm

Location: North Vancouver School District (44), 2121 Lonsdale Avenue, Mountain View Room

Notification

Postcards & Invitations

Over 3,000 post card invitations were distributed within a five (5) block radius of the existing Harry Jerome Community Recreation Centre. Professionally distributed via Mail-O-Matic Services Ltd and utilizing Canada Post Precision Targeting. See Appendix 5.2 and 5.3.

Rezoning Site Signage

Four (4) rezoning signs were installed in highly visible locations surrounding the property. See Appendix 5.4

Newspaper Advertisement

Advertisements were run in the North Shore News on April 18 and April 20, 2018. See Appendix 5.5

Project Website

A detailed project website with project information, key dates, contacts and online comment form was and remains available at: www.HarryJeromeNeighbourhood.ca.

Strata Invitation Letters

Letters were delivered to a sampling of homes within the adjacent townhome community bordered by St Georges, 22nd Street, Eastern Avenue and 21st Street. The letters both invited residents to attend the Town Hall meeting on April 26th and invited further individual engagement opportunities. See Appendix 5.6

Social Media

The Darwin Twitter and Facebook pages and the City of North Vancouver Twitter, Facebook and CityView E-News notified citizens of engagement events. See Appendix 5.9

Town Hall Attendees

134 people signed into the meeting

Town Hall Comment Forms Received

Thirty-one (31) received at Town Hall (23% of attendees)

Public Comment Period Forms Received from April 26 – May 18, 2018

Twenty-six (26) received

CNV Representatives in Attendance at Town Hall

Michael Epp (Director of Planning)
Barbara Pearce (Director Strategic Initiatives & Services)
Mike Friesen (Development Planner)
Daniel Watson (Transportation Planner)
Lance Berelowitz (Urban Planning Consultant)
Pam Bookham (Councillor)

Darwin Project Team in Attendance at Town Hall

Darwin Properties

Oliver Webbe (President)
David Jacobson (Executive Vice President)
Dana Samis (Vice President of Marketing & Sales)
Andrew McMillan (Development Manager)
Geoff Sugar (Development Coordinator)
Daniel Webbe (Property Manager)
Anthony Cho (Project Accountant)

Project Consultants

Brent Welty (Architect, Perkins + Will)
Chris Phillips (Landscape Architects, PFS Studio)
Daniel Fung (Transportation Advisor, Bunt & Associates)

IAF Certified Professional Facilitator

Catherine Rockandel (Public Engagement Specialist)

Town Hall Format

A welcome and sign in table was placed in the lobby of the School District and was staffed by two Darwin employees. All attendees were provided a comment sheet on signing in. Wayfinding signs directed attendees to the elevator and on arriving on the 5th floor, they were greeted and invited to review the presentation boards. Representatives of the Darwin team, project consultants and City staff were on hand to answer questions.

The presentation boards focused on the five areas of public input from the 2017 phase one public engagement in terms of what Darwin had heard and how they responded to the input. The presentation boards are included in Appendix 5.1

4. WHAT WE HEARD AT TOWN HALL

The majority of comments shared in the Q&A and through the comment forms received at the meeting focused on the impacts to immediate neighbours within a five-block radius. This is not surprising as ninety-four (94) of those that signed in indicated addresses in this range.

Some of the residents acknowledged that Darwin had listened and responded to their concerns by changing the placement of towers and stepping back some of the mid-rise buildings, but in general they were opposed to towers and mid-rise buildings in this location.

4.1 Transcribed Facilitated Discussion

Q & A (Index: **Q**: Questions **C**: Comment **A**: Answers)

- Q1** I want the two terrific pine trees to stay so please don't touch them. I was looking at the view towards the south of Eastern Avenue and I don't see the Green Necklace part coming from 23rd, through Eastern Avenue, East 21st. It is in front of the building I live in and has just been finished as of today. What happened to it?
- A1** (CNV) The Green Necklace that currently runs along 21st and then along Eastern, is a temporary alignment. We always contemplated that as this project progresses that we would have an improved alignment to the Green Necklace. The existing Necklace would be re configured and if the project proceeds as shown, it would come across the new park space.
- Q2** It was always included, never mind temporary, in the big picture. Now you are saying this is temporary?
- A2** (CNV) That is correct. We have a notional alignment with the park. Council had a priority to complete the Green Necklace and to ensure there were no gaps in the Necklace. In the purpose of ensuring there were no gaps, we did build the Eastern Avenue sections so that it is complete today. As this comes through, we do feel that there is potential for an even better, grander, more significant connection.
- Q3** Where is the connection that has just been finished going then?
- A3** (CNV) The connection could potentially be reconfigured into a pedestrian passage way which would be similar to what it is but with more greenery.
- Q4** So similar to what it is right now but still going through Eastern Avenue?
- A4** (CNV) The general concept that was presented would be to ensure that there is a sufficient green buffer on Eastern, within the approximate location of the existing Green Necklace, with more trees and the potential for pedestrian passage ways.

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- C5** I am very concerned that you may be cutting down the two huge pine trees. Please don't cut them down.
- C6** Lonsdale and Highway One is one of the major interchanges and it seems like a shame, when you have such a green field development, not to capitalize on that transportation cross road. I think a substantial bus exchange should be considered for the Harry Jerome site. It could provide more of a substantial type of bus exchange to allow buses coming in from Squamish or from the West Vancouver interchanges and the Upper Levels and going right through to the two sky trains in Burnaby. The Millennium Line and the Expo Line to BCIT are all big trip generators. Right now, everything is being forced down through the Sea Bus so it would be better to have a better transit connection over the Second Narrows. I also think the Green Necklace should be extended through Harry Jerome and over to the north side of the highway.
- A6** (CNV) In terms of the Harry Jerome Recreation Centre, we are having a public meeting in late May to let people know where we are in terms of planning. We are waiting to hear the outcome of the Public Hearing before we continue on with the planning for Harry Jerome. We are planning on a very large centre, taking up pretty much the entirety of the north side of 23rd with the exception of Centennial Theater which will remain. All of the parking for Harry Jerome will be underneath but the remaining part of the site will be covered with Community Recreation Centre. There will not be a lot of opportunity for green space.
- (CNV) Transportation improvements are all great ideas and things that we have been thinking about at the City and we know it is a significant issue on the North Shore. We have set up a process now called the end step process. It is the first time that all three local governments on the North Shore, TransLink, and the Province were all together in a room trying to get consensus of what the next chapter is for transportation on the North Shore. We know there are some things coming in the short term; a B line bus on Lonsdale and we will plan for this as part of the development with a station adjacent to the park. We know there are improvements needed to the Lonsdale interchange and they are things we are working on. Some of the ideas raised are ideas that are being explored now to see if they are feasible. We are hoping to get some consensus and investment to move forward to make some good improvements for the City of North Vancouver.
- Q7** Could someone speak as to what is proposed for the Seniors Centre?
- A7** (CNV) Silver Harbour is an integral part of the planning for the new Harry Jerome. Silver Harbour membership owns the current site that Silver Harbour rests on. The City has proposed that in exchange for the city building new space within the new Harry Jerome that Silver Harbour would give up their current title on the property to allow for the development as it is proposed. We have also asked Silver Harbour to consider a temporary relocation to one of the new Darwin buildings to allow for a phased implementation of the south lands. That will allow some funding to come in to help fund the Community Recreation Centre.
- Q8** Has any thought been given to below market commercial property in order to accommodate some of the not-for-profits in the Lonsdale corridor that are looking for new homes?

- A8** We have not. The feedback and direction we received from the City was that there was a need for housing affordability which was incorporated into the project.
- Q9** Is there any interest in doing solar panels on the project?
- A9** I can't speak to what the plan is for the Harry Jerome Rec Centre as far as how they are going to harvest solar energy or put panels on their building. Right now, we (Darwin) are at the very early stages of thinking about how we can create a very sustainable community here. We have some very ambitious targets in agreement with the City for very energy efficient buildings that are very environmentally sustainable for the long term. It may end up having solar panels on them but we need to go through the design exercise with our team.
- Q10** Are you saying it is not up to you to design any building with a solar panel, and that it is up to the City or Hydro?
- A10** No not at all. The City's Recreation Centre is being designed by a separate team. The private buildings will be designed by our consultant team and we are at the very early stages of understanding if something like solar energy might be a good thing or if there are other more effective sustainability strategies that we might want to try. Solar panels or hot water collection is definitely something we will be thinking about.
- C11** I want to speak to the urban design issues. Lonsdale Avenue is ridiculously vibrant with mom and pop stores and lots of things happening. I am looking at your plans and you have a restaurant up there that will be beautiful but the problem is, even as a professional, based on market leases, I can probably not afford to go there more than once every two months. What you want for vibrancy is 25-foot store fronts because you want to bring a lot of people to the area because it keeps it safe with people who are doing legitimate things. The one function there, as beautiful as it is, is not in keeping with the neighbourhood character of Lonsdale. It is the vibrancy that keeps our neighbourhood safe. If you have a tenant that needs a big floor space, move them up to the second level. The image of the restaurant with the big columns is dangerous for women. Somebody can pop up because you can't see what is going on. There is a good portion of the winter where someone can hang out there and I don't think it is advisable.
- A11** Those are very good points and the consulting team is here to listen to those points as well. The ground floor is a food market that we see as being active with potentially some patio chairs that would be fronting onto the park. It will be a really nice park where people will want to sit and enjoy. The seniors housing building will likely have a dining room and ground floor activities so that people within the seniors building can see the park. The restaurant was the most northern building which would be right across the street from the new Harry Jerome Rec Centre which would also be quite active.

(CNV) The thought was that on the Lonsdale frontage we do want that rhythm and character and small shops. When you get to 21st however the character does already start to change with the School District and office buildings. We were approaching this more as an active park and the entrance to a civic precinct. We were trying to create a large forepart to the new building that is going to be on the north side of 23rd that we wanted to give prominence to. The design you see here is not how the park will look. Darwin has proposed a notional landscape scheme to give a bit

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of framework to the park but a parks master plan process will take place after the rezoning if Council proceeds with it. There will be public input sessions about what will be put into the park and we are looking forward to hearing more from the public and design that space in more detail.

Q12 I am curious to know about the traffic study and what was considered in it. How much was done going west and east and was West 22nd street considered in that?

A12 The City has taken the lead in completing the traffic study report and will also be taking the lead on any of the street improvements that are required on 23rd or the surrounding area. Our job as a developer is to respond to what they are telling us we need to incorporate as part of our project.

(CNV) We are still processing and working with the study that includes Chesterfield and St Andrews Street and as far down as 19th and up to north of the highway.

Q13 There are two very significant construction projects that will be occurring in that neighbourhood. Do you have a sense of the duration of construction in the community to complete the Harry Jerome Neighbourhood Lands and the Harry Jerome Rec Centre?

A13 The Harry Jerome Neighbourhood Lands project is likely to take place in three phases. Phase one would be the buildings to the south which is the seniors building and the office building. We anticipate starting construction next year and would take about two years to complete which would be around 2021. The second phase would be the 28 storey building and the wood frame rental building. That would likely start around 2021 and take approximately two years so around 2023. The finale phase would be the two buildings at the top starting construction in 2023 and would take about two years as well.

(CNV) In terms of the Harry Jerome Community Centre, we are looking at first relocating the lawn bowling site to the Mickey McDougall Field as phase one next year. We would then begin construction on the new Harry Jerome Community Rec Centre in approximately 2020 and looking at completion in 2023.

Q14 I understand that the lawn bowling is going to be relocated to that corner, is that correct?

A14 (CNV) The lawn bowling site has been proposed to be moved to the gravel field at Mickey McDougall. It is currently under feasibility and will be coming to Council for approval in July.

Q15 Is there any other changes that are happening to the other Mickey McDougall building on that street as well?

A15 (CNV) The second component of the relocations would be to relocate the gymnastics to the Mickey McDougall gym which is currently under feasibility as well. We are studying both of those relocations, what it would cost and what it means to the activities to go on within those two programs.

Q16 Would that be a new building or the existing building?

A16 (CNV) We are looking at both renovations and re build and the cost of both. Both need to be considered by Council.

- Q17** With the north side, I assume that means the pedestrian bridge is going to have to come down? At the moment that is a restricted road for trucks and larger vehicles. Would that still be the case?
- A17** (CNV) The 100 block of east 23rd wouldn't be part of the city's truck route so larger vehicles which are making deliveries to adjacent areas could use it. It would not be a route for big trucks to access the highway.
- Q18** It may be a thorough fare through to Grand Boulevard for larger vehicles that currently can pass that way?
- A18** (CNV) Potentially but they would generally be construction related vehicles or one-off vehicle trips.
- Q19** Could regular traffic that previously couldn't get through because of the restriction on the bridge height now get through and would this create another way for larger vehicles to get through between Lonsdale and Grand Boulevard? That is a concern for me. Where would the parking access be for the new recreation centre? Will it come off 23rd as well?
- A19** (CNV) There would be two access points that we are looking at. One would be off St Georges into the centre and then access off 23rd into the centre. Only right in and right out. That is what is currently under consideration, but nothing has been approved.
- C20** I have concerns about the height of the buildings at 28 storeys and all the traffic. I would prefer to see the buildings slightly lower.
- Q21** I heard there will be 800 units in that section and I am wondering how much parking has been allocated? Will there be parking set aside for visitors that is not just underground? I see there potentially being a problem with parking on the streets which is already happening.
- A21** In the plan right now there are roughly around 1,000 parking stalls underneath all the buildings. Each building has a different requirement for parking. It is very important to us, for the success of the homes and the businesses here, that there is enough parking. There is also a City bylaw that we would need to adhere to or respond to. There is also a traffic impact assessment that is being wrapped up that will tell us how much parking this project will need in order to be successful.
- Q22** When do you expect that assessment to be available?
- A22** (CNV) The project is anticipated to head to Council in June for first reading in advance of a Public Hearing. At that time we will make information regarding the parking assessment publicly available.
- C23** I think this is the wrong location for this project. The reason for this is much more than just this project. The OCP, as I recall, going back a couple of decades, had no high-rises north of 17th street. This will ensure that we have nothing but high-rises up Lonsdale all the way up to the highway. I believe it will destroy the character of central Lonsdale and it is the wrong way to go. I think we need to review the OCP and take projects such as this below 17th street. This is nicely designed and they are doing what the City wants, but what the City wants is wrong. There are already parking issues, because there is nowhere to park. The City is not providing enough onsite parking and it is failure on behalf of the City. My viewpoint on the rec centre lands is that they

are public lands and should not be handed over to the private sector and I believe the City should simply rebuild the existing rec centre. This project should be re-thought as I believe the current City Council does not have the mandate to proceed with such a major project now. I am asking that this be put on hold for now for review until after the next election. I think there are many people who agree with me on this.

- C24** Does the City or Darwin have any contacts at the Ministry of Transportation and Highways? I ask because all the paint is worn off at the Lonsdale interchange. The right lane arrows and paint have been like that for a couple of years and it seems like there is no money in the Provincial budget to repaint the intersection. If you can do that it would be great. Can there be a pedestrian bicycle type of access over the highway to the north side? I think if this project goes though it will be very congested and think something along St Georges to go over the highway would really help. It is really tough for pedestrians or cyclists to go through the Lonsdale interchange now. I think there needs to be money set aside for the Green Necklace to put a pedestrian/bike overpass over the highway to the north side.
- C25** I would like to address the notion of community and how important it is. I am impressed with the focus that Darwin has placed into community, but it is creating a new community. I haven't yet heard how we save the current community. The spontaneity of the current community is at risk and I don't see it being addressed in the presentation. Maintaining and growing community is what I would like to see presented. I am also concerned about parking issues and hope the City doesn't mess up on making sure that parking is dealt with.
- A25** That was a really good point about community and the concern about losing the community that you have. What goes into the park isn't in my control and the City will guide that process. I did see this as an area potentially to create community that neighbours could meet and see each other. I am concerned, as a resident of the North Shore, with what is happening with housing and see that making a big impact on the community. There are people I went to school with in Deep Cove who are not living there because they can't afford to. We are trying to keep the fabric of the North Shore as far as the housing diversity. That is something very important to me is to be able to offer all sorts of different levels of housing affordability. If we lose that and build expensive condos we might lose the fabric of the community.
- Q26** When I look at this development I see it as just another development that is happening too fast. I don't think we have a real understanding of the quality of life and how we are changing it until it is too late. I am concerned about the loss of green space because once it is gone it is gone forever. I feel we are swapping out our children and grandchildren's future because once the land is gone it is gone forever. Will the tennis courts at Mickey McDougall field stay because I don't see them on the plans? I think I heard that it will be eight years of consecutive construction and as a resident of this area I think that is a little bit much to be asking to live with. I think 28 storeys is too high and I am wondering about the shadow that will come over the Mickey McDougall field where the lawn bowling is.
- A26** (CNV) The plan as proposed is that there are two tennis courts currently right next to the lawn bowling site and two at Mickey McDougall. We are looking at integrating all four back into the Harry Jerome Community Recreation site. There will be no net loss of tennis courts. These are

non-bookable tennis courts that are open air. We have had a number of Harry Jerome Community Recreation Centre meetings over the last year and a half. A few have been at Harry Jerome and a few at City Hall. Those were all publically advertised so we have had a lot of information out in the public about what our plans are. We have also done an intensive survey as well.

You asked about height and why 28 storeys. It is related to your first comment and the loss of green space. The number of options we have are to build enough homes in the commercial space that would maximize the development potential of the property so that all the amenities including the rec centre could be funded. The taller you go the more green space you can leave on the ground. The shorter you go the more the green space starts to get eaten up. Our design team went back and forth on height vs green space and came up with two towers at 28 storeys as the option that opens up as much ground space as possible. It still delivers the amenities that the City and the community are interested in which would be the housing diversity, the child care and maximum green space.

- C27** I think having two big towers is going to completely change the streetscape and the community feel.
- Q28** In the building you were talking about for senior citizens, is going to be some sort of low cost housing for seniors?
- A28** The building is seniors assisted living and is not non-profit or subsidized housing. It will be market rates that you pay for seniors housing.
- C29** I am very unhappy about a 28 storey buildings being built right across the street from us. I think we have never been consulted about it and you are putting so much density there. It is a lovely spot and one of the few really nice areas left in North Vancouver. I am not against having the density along the bus routes, I think it makes sense. I tell you I am going to fight you on 28 storeys. I have a nagging feeling in the back of my mind that although we are all talking here, that this has already been discussed and already in the plans and that we don't really have a say about it at all.
- A29** (CNV) This does have to go to a Public Hearing. There is a bunch of different options for sure and I can see a lot of people agree. You will have opportunity to speak and Council will be listening to you at the Public Hearing as well so I encourage you to come out. Since you live across the street from the proposal you will get a notice from us telling when the meeting is.
- Q30** We had a very strong community fight against a six storey building that just got approved and we are pretty sure it was all planned ahead of time. Three Councillors and the Mayor had already decided regardless of the petition and the people who came out to the Public Hearing. It made very little change and it went through. Some of our concerns are that there is too much density happening in the City and too much traffic and congestion. I heard the City say that they are doing a traffic study that did extend north of the highway. Are you taking into consideration this Council approving significantly more than six story buildings north of the highway? That will add to the congestion that is going to go on from this development which is also too dense. In terms of parking and underground parking, six units per 10 rental spaces is not sufficient. Not to

mention visitor parking or one, two or three bedroom units it will definitely not be sufficient and that is what we are dealing with up above the highway. Can you please do a shadow study that includes the times that people are actually home? Can you please not cut it off at the highway because those 28 storey towers are going to affect us north of the highway as well? We are going too far too fast and this Council seems to have a mandate to densify regardless of what the community feel is.

- A30 There should be two boards at the back that show the shadow studies during various different times of the day as well as different seasons.
- Q31** Will there be an arrangement where local residents will have first opportunity to purchase units?
- A31 For all of the rental and market condos, we will offer a North Shore First program. This means North Shore locals will have the opportunity to either rent or to buy the units for a period of days prior to opening up to the broader Lower Mainland.
- Q32** If this is a done deal and is likely to go ahead, we need to know how Darwin is going to be held to the promises it is currently making. That involves understanding the financing arrangements that Darwin is putting in place. We need to make sure that if for some reason they are not making sufficient money out of the project on an ongoing basis that they can't suddenly say they can't afford to do the low market building because we modelled it wrong and we are not making enough money so will do another sky scrapper instead. Once the spades are in the ground we are in hock to you and if it turns out you don't have enough cash what are you going to do. Are you going to start to build things that will sell for more so you can make up your losses?
- A32 The design, the housing commitment and the density will be very detailed and described in the public document that will be presented to Council. It would be a document that we would have to comply with. We can't say we are going to do affordable housing, get approved and then not do affordable housing. That document is very clear on what we would be obligated to build on the site. To make sure the City has a developer that is going to complete the project and not leave it unfinished, there is a financial commitment and a considerable deposit for future phases which will make sure that we are there to construct the future phases.
- Q33** The document that you are presenting, who enforces it and ensures it is binding upon you? Is it the City?
- A33 The City of North Vancouver does and that document is what is presented at Council at first reading. That is when the document goes into details about what the housing agreement is, how much daycare space we have to provide and what the boundaries of the site are.
- C34** In short terms we are reliant on the people who allowed you to put this forward to then enforce it.
- A34 (CNV) It is beyond a document, it is a bylaw that would enshrine these things. On the housing front, would be a housing agreement bylaw and on the side which would enshrine which type of units are here, rental units, the heights etc. That would all be in a zoning bylaw. In order to change that it requires the consent of the community through Council in the future. That is a fairly strong control there. On the leasing side, there is a series of agreements and the City is using some of the best lawyers around to ensure all of our interests are covered.

Q35 Is the bylaw equivalent force to the OCP that you plan to amend?

A35 (CNV) The bylaw would be a zoning bylaw. With the OCP there is a change that is contemplated if the 28 storeys are going ahead.

Q36 So it is possible to get amendments to these bylaws and plans then if there is a need?

A36 (CNV) Yes, it is always possible.

Q37 Apparently, we will be getting a 50 metre Olympic pool in the City of North Vancouver. I wonder why it is the City of North Vancouver needs to provide what would be the only 50 metre pool on the whole of the North Shore. Why not West Vancouver where everyone's house is worth so much money? If that is one of the driving forces behind this, why is so much onus being put on this shiny new facility? It seems strange that we are providing this when Delbrook is 500 yards away.

A37 (CNV) We have had conversations with the community about this very point for quite some time in terms of how much and what becomes part of the centre. The direction that we received from Council, and we are implementing, is to incorporate all of the elements including the 50 metre pool. The conversation goes back to at least 2012 and probably beyond that.

Q38 I have concerns about the safety of putting a big open-air park right on a busy street like Lonsdale. If you don't put a large fence between Lonsdale and this park the dangers of people getting hurt is quite substantial. Has any thought been given to maybe put the buildings out on Lonsdale where all the other buildings are? That would create a barrier between the park and the green space could continue on and be safer.

A38 There were a few different things we had to take into consideration of where the buildings were. One of the big considerations was a cluster of trees that we didn't want to take down because we heard from the community that was an important aspect. There is an existing park and we thought it would probably be the best idea to have one larger park than possibly putting a building here which could potentially break up the park. That is where we were coming from with that.

Q39 Is there going to be a big gated fence along Lonsdale to provide safety for the people using the park?

A39 I think that would be a question the City could answer. We are not responsible for designing what is going in to the City park, there is a separate process the City goes through to process that park.

(CNV) We don't actually have the design of the park at this point. We don't know how active it will be or what the use is going to be. We recently went through the process with Moodyville Park in which we had a task force that lasted about six months. It had a range of community members and people from the area and people with special interests in having certain activities being incorporated in the park. We also had some great landscape designers help us to come up with a vision. This would include making sure it was a safe park for children to play.

Q40 The Green Necklace that has just been placed in front of our house is just temporary then? Can you please save the really big tree in the middle of our street?

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- A40 We have done a very careful assessment of all the trees and tried to identify the most significant and healthy trees to retain. Those two big cedar trees are right on the edge of the street and we are trying to address keeping them. Right now, it looks like it will be a challenge to keep the large cedar to the north because of the grades and the way the trees are following the road.
- C41 We would like to retain as much of a green space as possible in front of our Eastern Avenue residences.
- C42 I am a grade 11 student and I have one question as I listen, where am I going to live? It is not going to be a single-family home.
- C43 I think it is a very small parcel of land for the new park. We are trading in two fields for a tiny space in between a restaurant and a busy road. I am not sure how that is going to look. In order to have a soccer game or to play sports we are going to have to go to Carson or Sutherland because there won't be the space for that here. This really worries me.
- A43 Maybe the City can speak to the Norseman site because we are not responsible for that. Currently Crickmay Park is up in the corner of the property and right now the Harry Jerome centre continues along and up into the section. Overall, we are actually increasing the amount of park on this portion of the site to about 2.5 acres.

(CNV) I can try to address the question of park space and field space in general. We may need to follow up with the community on this with someone from the Parks Department specifically. There was a study done on the usage of fields and the provision of artificial turf. With the increase of turf at the Carson Graham site, there are now three fields. One of these was constructed to replace Norseman Field. Norseman Field was declared surplus and is basically there for casual, not programmed bookable use. Bookable activates switched over to the artificial turf fields. The provision of the one hectare park at the south is, to the City, an opportunity to mix over with the casual uses that are currently being used on Norseman Field.

- Q44 Has the actual lease of the land been signed or just proposed and going to Council?
- A44 Darwin purchasing the property would be conditional upon obtaining zoning approval for this site. At this point, the lease has not been signed.
- Q45 There will be a municipal election in less than seven months and we are talking about giving away land for a 100 years. Why can't we wait until after the election? It seems to me that the OCP is a farce because anytime someone wants it changed it gets changed. The people don't want towers past 17th street. Will we be able to see the mountains with 28 storey towers?
- A45 People ask if this is consistent with the density in the OCP . The amount of density we are proposing is consistent. The current OCP currently permits between 18 and 20 story buildings on this property.
- Q46 In 50 years when we have no more recreational space because we have given up all to developers for housing, where are our kids going to have to go for recreational space? I would like to hear from the City because as far as I can tell this isn't a private development on private

land, it is a private development on City, publically owned property. It is the responsibly of the citizens of North Vancouver to have the foresight to keep it in our coffers for future generations.

A46 (CNV) We have a long-term Parks Master Plan for the City that looks at what our needs are, where those needs are, and how we accomplish them. There are a number of tools we use to do that through funding. Sometimes the tools that we use to accomplish specific objectives include looking at leveraging our lands, swapping lands and doing creative projects. The intention here was to create more useable space as park land on the south side of Lonsdale while at the same time accomplishing a goal that is articulated in the Parks Master Plan. This has been on Council books for a number of years. To create a new Harry Jerome Recreation Facility is beyond the City's ability to do financially without leveraging our lands.

C47 I think that once we give this land, as a community, we will never get it back. It is my biggest concern.

C48 I feel like we are losing our community. This is becoming a large hub and we are losing the sense of who we are. Norseman is beautiful and is a piece of green that is conducive to unstructured, spontaneous play. I don't see the proposed park conducive to that kind of play. When you are throwing Frisbees, baseballs or soccer balls, they are going to end up on Lonsdale. I don't think the project is appropriate for this area. I have attended more than half of the public meetings since 2012 and am dismayed with Council because many of the residents in our area don't want to lose Norseman Park. They didn't want a gigantic shiny new Harry Jerome Recreation Centre. We are not opposed to growth, but why does it have to be so large that the only way we can pay for Harry Jerome is to lose our Norseman Park? We are getting to a point where people are going to have to get into their cars and drive to a park because there will be so few large parks. I really implore the City not to pave over Norseman Park. Leave it alone and down size Harry Jerome so it is a manageable thing. Put some housing in if you need it but not 28 storey towers.

Q49 I see that we need a new Rec Centre but don't think we need such a huge one. I think it is the City's financial responsibility to say that it doesn't make sense to spend this much money and what can we afford for a smaller amount. What is your parking? Are you only staying with the bylaws or are you actually putting in more parking than is required? In terms of the traffic study, are you actually going north of the highway? Are you looking at the densification onto the highway and potential densification at the London Drugs area when you do the traffic study or are you just looking at this point in time?

A49 Maybe the bylaws don't provide enough parking and that is what the overflow concern is going to be. It is our intent to have enough parking on our site to facilitate the success of this development. We intend to build enough parking for the uses that we are proposing. The traffic assessment, the full study, also looks at parking impacts. We might recommend doing more than the traffic study suggests. If we are in front of Council, as the applicant, and say we need 10% more parking than the report suggests, that will be a case we will have to make. We are not motivated to reduce parking even though it is costly to build. It is much more costly to not provide enough in order to make you project viable.

(CNV) The traffic study extends to 26th street on Lonsdale and takes into account the developments that have already been processed by the City. We have general background

growth of traffic. We look at how traffic has grown over the last ten years and are projecting it forwards to account for the future developments.

Q50 There is probably going to be a lot more development north now that the one place has received six storey approval and London Drugs may be developed. Is it short term not to consider these larger densification projects as opposed to just historical growth which has been lower in these areas?

A50 (CNV) We can look into that but we are generally looking at historical growth and assuming that the growth rate is going to continue.

C51 I have never heard anything as ludicrous as 28 storeys.

C52 I find it interesting that there is no money to fund this project and we are reallocating resources to fund a project. We just built another rec centre where William Griffin was before. Is it a District and City thing? Are they two separate items? Does the traffic study factor in a motor vehicle accident? If there is an accident at the bottom of the cut everybody sits for two hours and gets nowhere. With respect to how many parking spots you are allocating, it is irrelevant and you are missing the total fact that it is about convenience. People don't care and they want to park on the street. Look at where the Loblaws is now, those people park in the gas station and double park on the street and park all over the place. You are removing it for a cash grab to make people pay to park underground to use parks and things like that. That is not the North Vancouver way of doing things and I don't think it encourages people to come out and use public spaces. I respect that you need towers to accommodate all these people but people who bought in the area and paid more specifically for their view will be losing them. I am one of those people and can currently see Grouse Mountain, the Lions and Lions Gate Bridge. Your project removes all three of those from my view. I will be pursuing a lawsuit for the depreciation of the value of my home when this project is done. Where do I send my lawsuit to, Darwin or to the City? What will the buildings look like? If they look like the building that has just been built there, I don't want it in my neighbourhood!

Q53 The building you are referring to, behind London Drugs, was to be affordable. It ended up being three or four hundred more for rental than originally stated. I wanted to ask about the seniors housing. I had thought that it would be affordable senior housing and I now believe that is actually assisted living which is very costly and definitely not affordable. Would you consider splitting that so you can have half with seniors that can afford assisted living and the other half for low income seniors who cannot it and who are struggling to make their rent every month?

A53 This building would be more of an assisted living seniors building. The affordable building will be about 100 units of non-profit and affordable rental units that would be operated by a non-profit to be able to provide that type of housing.

C54 I hope that when we look at building our community that we look at where our future generations are going to live. You need density to pay for affordable housing units and somebody has to pay for it. It either comes out of our taxes or our pockets. This way it is leveraged through density to actually provide some affordable housing. When we talk about community, things are going to change in how it unfolds. This is where urban design is so

important and it is very important that it function. It is where we get together and work out of differences and where we build our communities.

Q55 Where will all the construction workers park during the eight years of construction? When the new Rec Centre has been completed, will the underground parking be pay or free? If it is pay parking, people will flow eastwards into the neighbourhoods.

A55 (CNV) There is currently no pay parking at Harry Jerome and there has been no direction from Council for staff to investigate pay parking on the site.

Q56 How much will the density be increasing by?

A56 Right now, on the lands that we are proposing for re-development, the designation under the OCP is 2 FSR or two times the site area. There is a bonus density of .5 so to an upper limit of 2.5.

(CNV) The Community Recreation Centre, as proposed, is significantly larger than the current Harry Jerome. This is due to Council's direction to provide for a larger community centre to address increased growth. We are going from a 25 m pool to a 50 m pool significantly to address the numbers of people coming to the City of North Vancouver. There was an extensive study done in 2008 and refreshed in 2015 called the Park Study. It addressed indoor recreation needs for North Vancouver in general. We use this study to address what needs to go into Harry Jerome. Each area with the City and District of North Vancouver carefully takes into part what the coming needs are for the communities and tries to address it.

Q57 The amount of open space, or recreational space per person, is going to be far less than it is right now?

A57 (CNV) I can speak to the fact that the community centre is significantly larger addressing the increased population needs of North Vancouver.

Q58 Have any options been looked at for dropping the current Highway One underground to reclaim space from Westview to St Georges/St Andrews area?

A58 (CNV) That would be an aspirational goal but the idea of possibly having a deck over a portion of the highway to create better access points does come up on occasion. We heard earlier today that there needs to be an additional access point across the highway. It is something we talk about in our plans, more from an individual access point perspective but getting bigger and more visionary. The decking of the highway perhaps is something that could happen but I don't see that happening in the short term as it would be an expensive endeavour.

C59 As a long term endeavour I think it would really improve the community. Increasing green space and getting more land out of that would solve some questions here.

C60 When you currently stand in the park and look around, you don't really see any tall towers in this area so building big buildings don't really suit our community. If this project is built it will just cause a chain reaction and more tall buildings will continue to go up and will overall destroy our community. Since we are the community and most of us are against this, isn't that enough for you to understand that this is wrong? I know this may make some people a lot of money but is that more important than history and community? You said you wanted to create a community but what about the existing community?

- C61** Before I came here tonight I was concerned that the tall buildings were going to be flush up to the side of Lonsdale and was against that. I now understand the taller buildings will be out of the way and not putting shadows on the nearest buildings there. As mentioned there will be six buildings there and that will be keeping with the neighbourhood which are also about six stories high. I have heard a lot of fear and concerns over this but I feel more relaxed now having heard all the background research, committee work and planning that has gone on before this presentation. I feel a lot of consideration has gone into this event and it will be a beautiful centre for years to come. I am concerned with tall towers as well but I know North Vancouver is trying to maintain its responsibility for the Greater Vancouver Regional District, or whatever it is called now, to play its roll in population accommodation. I think this contributes to that and am not afraid of more buildings because when you have more buildings the prices go down. As you know there is a shortage of housing right now and we don't want them sold to overseas people just for investment opportunities.
- C62** In our strata, we are faced with a rental bylaw vote that is going to go through a Special General Meeting because of changes. This is forcing changes in the community that I don't know if you have really taken into a collective perspective. There are a few people that are now instantly trying to sell their places and are having a very hard time selling because this development is coming. Even though this is just in a propositional stage, it is still being forced on people and causing changes without anything actually being firmed up.
- Q63** 21st is already like a raceway so I can't imagine what it is going to be like having cars pouring out of the parkade along there even though I realize it is the only place to put it. What is the City considering as far as calming that area because parking on the streets is already an issue? Who will be taking care of all the greenery because we have City trees that look disgusting and don't seem to be cared for? How wide is the actual walk way between the two buildings?
- A63** (CNV) The ongoing transportation study takes into consideration the current traffic activity on 21st as well as the projected activity and will recommend some mitigation measures for any affects. The spacing between the two buildings is 30 feet.
- Q64** Are you in talks with London Drugs because with the new Green Necklace it is really hard to walk along here now? Traffic doesn't stop for pedestrians that try to cross Lonsdale.
- A65** (CNV) We can have staff look into that right now as an ongoing issue but the traffic study will look at the developments and their impacts.
- C66** We had mentioned that last time and it hasn't been addressed but we have a lovely Green Necklace going around which will be torn out with our tax payer's money when the new development goes in.
- C67** For the greenery, are you looking at a mix of bush and trees or just all trees?
- A67** If the trees are on private property, as far as maintenance goes, it is the responsibly of the private property owner. If they are on the City boulevard it would be the city's responsibility to maintain.

The selection of trees on the City street will have to be worked out with the City as they have a program for street tree planting. Ideally it meets some of the design objectives of not being too

large, providing some screening between buildings and providing nice streetscape. The selections have not been made because we are still at a rezoning level but I think we will take care to make sure it is a very green street yet effective in dealing with the long-term maintenance of it.

C68 Right now we have cherry trees that produce roots that are above ground. We have them coming into our patios and we have branches coming over our complex and we can't touch them because they are City trees. I am concerned about the trees in that picture.

A68 This is just an illustration of the park and the City is going through a process to determine the look and character of the park. It will be much more natural than it looks in the drawings. Your input as citizens would help to determine the look of that park in the future.

C69 In 25-30 years the City has grown by about 13,000 people. This project is going to add just over 2,000 people in one shot so there is some perspective in densification and what this project will do. I want to say again, no high-rises north of 17th.

Q70 Where and when was the public consultation to turn the dirt field into a rental for the movie business to park their vehicles on? Currently it is being used as a staging area. 38 years ago the local residents went to bat to save and preserve it and the green field. I feel betrayed and would like to know where the public consultation was to turn it into a parking lot?

A70 (CNV) The Mickey McDougall field was raised with Council through 2015 and 2016. We received direction from Council to formally do the feasibility study in 2017 and are completing that work now.

C71 Your feasibility study to turn it into a parking lot which it is now being used as well as a staging area for the construction that is happening? It is a park, an open public park that we no longer have access to.

A71 I am not aware that it is being used as a parking lot.

C72 I am asking when the decision was made because it was a public park and now it is locked. There are piles of gravel and pipe and all kinds of construction materials there and that is not conducive of someone going there with their kids. We went through this process 38 years ago to save it as a park and not a parking lot. So, no one can say when this was okayed which just underlines my point that this is just a box that is getting checked off.

Q73 Did Darwin contribute into the 2014 Mayors election?

A73 We have supported the campaign although I don't know if it was 2014.

Q74 According to Elections BC you did twice. My main concern is if it does go through, it is going to go through before the next election. The Mayor and its three City Councillors will make sure that it does. This is what we have been going through for the last 3 ½ years is this autocratic, pro-developer City Council and I have had enough. Michael, why are you continually repudiating the regional strategy levels? We are already over 2040 levels, when is enough - enough?

A74 (CNV) I believe the vote to precede forward with this, when we brought it forward initially, was 6-1 on the part of Council. It has not been a split. We received that direction and are here as

public servants trying to implement that direction on behalf of Council and the community. With respect to the Regional Growth Study and levels of growth, that is a different conversation that is broader than what we are here talking about tonight. We do have a Regional Growth Strategy, a strategy that says we are going to try to accommodate those additional one million people that are coming to our region by 2030. We can't stop that, so are trying to accommodate them in the places that make the most sense. For the Regional Growth Strategy, that is what we call the regional City centres and Lonsdale is one of the regional City centres. That strategy says, try to grow as much as you can in those areas and not so much in the other areas as we know we can service with transit, with high quality amenities, with the infrastructure and make that work as a region. There is no space to build new roads so we have to get people around through different means if we are going to allow for our region to grow with that extra million people. The region has not been forth coming with the provincial levels with transportation investment to make that work and that is a fair point. The official OCP, after three years of consultation, looked at where do we grow and how do we balance all these competing objectives. We want to be a livable community, we want to create a great place and want to figure out how do we grow. That plan looked at towers mainly concentrated in central Lonsdale, we heard we don't want towers above 17th. We didn't change that in the plan and said we would grow with mid-rise development, maximum of six stories outside of central Lonsdale with exception of this site. We allowed for towers on this site in 2014 because we received direction from Council, to allow flexibility because we really wanted to make this recreation centre happen.

Q75 In the OCP it says 20 storeys but you are at 28. How does that happen and is there any end to this insanity?

A75 (CNV) Darwin has presented that proposal. In order to make the recreation centre happen we need to accommodate a specific amount of density. The density results in revenue which results in a centre. We can push the buildings down but then they go out and you lose the open space. We had originally thought that 18 stories would be enough to accomplish our objectives while still creating some open space. Darwin put together an idea, in consultation with staff and Council, which results in a little more open space. There is a trade-off there. You can stick to the plan of 18 stories but in order to do that you would lose much of the park.

Q76 So why do we have an OCP?

A76 (CNV) The Official Community Plan guides, generally, growth in the community and includes a whole range of sustainability objectives. It is not a tablet carved into stone, it is a document that requires consensus on the part of community and Council in order to amend. When there are unique circumstances, when there are opportunities, there is the possibility to amend it. You can't amend it easily, you can only amend it by having conversations with the community. It is ultimately Council that has to make tough decisions about what to do. In this case we have received direction that we are going to contemplate this and no decision has been made yet with respect to that.

C77 I am running for Council in 2018 and one of the things I am going to propose is to do away with this OCP because it is toothless.

A77 (Darwin) A few people have said tonight that they don't want 28 storeys and asked where did that come from. To be clear, under the Official Community Plan, for those of you who attended the December public meeting. We asked for your feedback on whether we should consider three towers with a range of 18-20 stories. We heard, especially from the Eastern Avenue residents that you don't want to have three tall buildings here. In order to accommodate the density, we put the towers to the north of the site, reduced the proposal to two towers, so we would not be shadowing the Eastern Avenue properties, which required us to go higher than what the OCP is.

C78 We don't need to build a new Harry Jerome. We could sensibly rebuild or renovate the existing one. We don't need this! With the proposed Harry Jerome everybody is talking about amalgamation. We should just wait because then there might be more financing and more of a tax base if the two Cities twin. I think this is a farce.

Q79 Where Norseman meets St Georges there are a lot of beautiful old trees there. Is it in your plan to keep those?

A79 It is too soon to know the answer though and more information will be coming.

Q80 I know that Silver Harbour Centre will be assisted living but is it going to be a community centre as well?

A80 (CNV) There are two different seniors' facilities. Silver Harbour Seniors Activity Centre is the existing activities center and they will be relocating to the new Harry Jerome. The Darwin proposal is for an assisted living for seniors so two totally different things.

4.2 Town Hall Comment Forms: Key Themes

Thirty-one (31) comment forms were received at the Town Hall. Following a two-week comment period, an additional twenty-six (26) comment forms and emails were received, for a total of 57 (fifty-seven)

4.2.1 Town Hall Comment Form Themes

Not Supportive or Concerned Comments

Note: some comment sheets had several themes on one sheet

- Density Concerns: Tower Height from Eastern and 22nd neighbours (14)
- Local existing and future traffic congestion and flow issues (9)
- Parking Concerns on site and street (4)
- Questioning rationale for funding and suggest downsizing HJRC (4)
- Concerns reference past OCP and zoning issue (6)
- Concerns about loss of Norseman Field and Open Space fields (5)

To summarize non-supportive citizen comments, the tradeoff of amenities particularly the larger pool that will serve residents beyond the immediate area is not worth the impact on the local neighbourhood of increased density, parking and traffic

Supportive Comments

Those that indicated support did so due to pleasing design, green space and affordable housing. Some residents that raised concerns about density and traffic acknowledged appreciation for these attributes.

- Supportive because of green space more parks (5)
- Supportive of affordable housing for seniors and others (2)
- Supportive: design, amenities (2)

4.2.2 Comment Forms and Email Input Received in Public Comment Period

Comments were received from the following sources:

- Four (4) comment sheets were dropped off or emailed to the City of North Vancouver
 - Density Concerns: Tower Height (3)
 - Traffic congestion concerns (3)
 - Not supportive of provision of a larger recreation centre that would serve North Shore residents beyond the local neighbourhood community (2)
- Six (6) individuals emailed comments to: harryjeromeneighbourhood@darwin.ca
 - Density Concerns: Tower Height (2)
 - Traffic congestion and flow issues (2)
 - Supportive of green space and park along Lonsdale (2)
 - Concerned about pedestrian safety and traffic at the 23rd intersection, and commitment to a north south bridge over 23rd Street. (2)
- Twelve (12) individuals submitted comments to Darwin's project website form.
 - Supportive of diversity of housing options, amenities including 50 metre pool, design and park space (6)
 - Concerned about traffic and offered solutions ranging from bus exchange to reducing parking spaces (3)
 - Not supportive due to concern over tree retention, loss of MacDougall and Norseman Field. (2)
 - Not supportive of provision of a larger recreation centre that would serve North Shore residents beyond the local neighbourhood community (2)

A number of comment forms and emails contained ideas and suggestions for City planners to manage traffic, density, and consider in planning the development. Five comment sheets referenced an interest in the transportation study being conducted by the City.

5. APPENDIX

5.1 APPENDIX: Presentation Boards



HARRY JEROME NEIGHBOURHOOD LANDS PURPOSE OF TODAY'S TOWN HALL

THANK YOU FOR YOUR INTEREST IN HARRY JEROME NEIGHBOURHOOD LANDS

Purpose of Today's Event

Darwin Properties is asking community residents and stakeholders to contribute your input on the development option for the Harry Jerome Neighbourhood Lands.

Darwin and City staff are available to answer your questions about the development options and to support you in providing your input.

How Will My Input Be Used?

The input gathered at the Town Hall and through the feedback forms will be reviewed by City staff.



HARRY JEROME NEIGHBOURHOOD LANDS
HARRY JEROME COMMUNITY RECREATION CENTRE

DOES THIS INCLUDE THE HARRY JEROME COMMUNITY RECREATION CENTRE?

The city will use the proceeds from the lease of the Harry Jerome Neighbourhood Lands to fund construction of a new Harry Jerome Community Recreation Centre.

For more information visit: www.cnv.org



HARRY JEROME NEIGHBOURHOOD LANDS
DARWIN

WHO WE ARE

We are a local North Shore company. We develop and build from Horseshoe Bay to Deep Cove.

We are proud of our over 30 years of being part of the North Shore community.

DarwinConstruction.ca



City of North Vancouver Operations Centre



Lynn Valley Centre, North Vancouver



Oxford Street Flats, North Vancouver

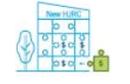


HARRY JEROME NEIGHBOURHOOD LANDS
Phase 2 Engagement Summary Report
May 18, 2018

HARRY JEROME NEIGHBOURHOOD LANDS
TIMELINE & PROCESS



HARRY JEROME NEIGHBOURHOOD LANDS
COMMUNITY BENEFITS



FUNDING A WORLD-CLASS COMMUNITY RECREATION COMPLEX



CREATING A LARGE NEW DEDICATED 1-HECTARE CITY PARK



PROVIDING A NEW CHILDCARE FACILITY



CREATING JOBS AND KEEPING BUSINESSES ON THE NORTH SHORE



PROVIDING A DIVERSE AND AFFORDABLE HOUSING MIX



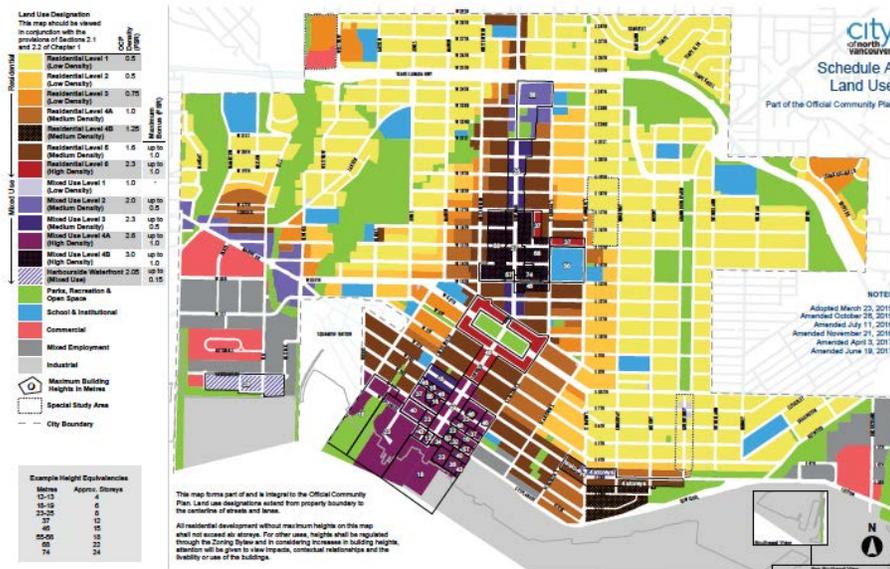
HARRY JEROME NEIGHBOURHOOD LANDS
Phase 2 Engagement Summary Report
May 18, 2018

HARRY JEROME NEIGHBOURHOOD LANDS
SITE PLAN AND FEATURES



DARWIN
 North Shore Since 1987

HARRY JEROME NEIGHBOURHOOD LANDS
CITY OF NORTH VANCOUVER OFFICIAL COMMUNITY PLAN



DARWIN
 North Shore Since 1987

HARRY JEROME NEIGHBOURHOOD LANDS
PUBLIC ENGAGEMENT



HJNL PUBLIC OPEN HOUSE

Held Dec. 6th, 2017
 97 people in attendance
 54 people filled out comment forms



ONLINE PUBLIC SURVEY

Survey open from Nov. 27 to Dec. 17, 2017
 287 people responded
 215 people left comments



STAKEHOLDER OUTREACH

North Van Lawn Bowling Club (NVLBC)
 Silver Harbour Senior Activity Centre (SHSAC)
 Courthouse Area Residents Association (CARA)



HARRY JEROME NEIGHBOURHOOD LANDS
WHAT WE'VE HEARD

Through this process we found five key areas of public feedback:



IMPROVE + EXPAND PUBLIC COMMUNITY AMENITIES



MANAGE TRANSPORTATION + TRAFFIC



PROVIDE A DIVERSITY OF HOUSING



MINIMIZE IMPACT ON SURROUNDING NEIGHBOURHOOD



MAXIMIZE GREEN SPACE

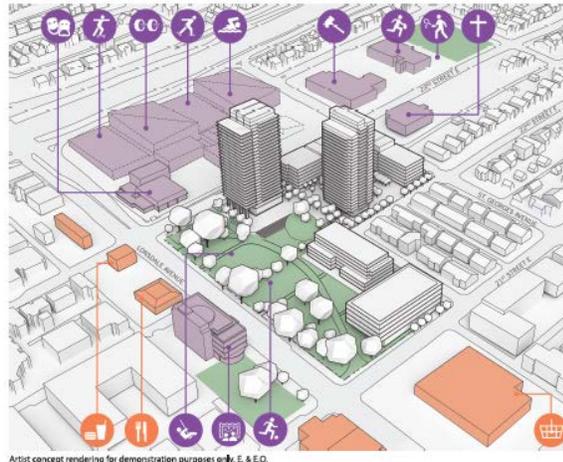


HARRY JEROME NEIGHBOURHOOD LANDS
IMPROVE AND EXPAND PUBLIC COMMUNITY AMENITIES

WHAT WE'VE HEARD:

- The community needs a new Harry Jerome Recreation Centre
- All greenspace needs to link to the City of North Vancouver's green necklace
- Create better pedestrian connections along Lonsdale Avenue
- North Vancouver needs more daycare spaces
- Reduce the number of buildings and increase the amount of green space
- Retain the large trees onsite

WHAT WE'VE DONE:



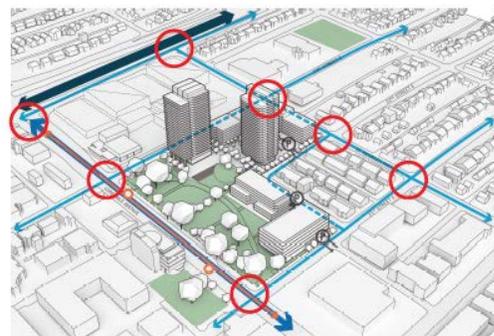
HARRY JEROME NEIGHBOURHOOD LANDS
MANAGE TRANSPORTATION & TRAFFIC

WHAT WE'VE HEARD:

- Traffic in the area is an issue already
- The area requires better transit options and links to mass transportation hubs
- Road infrastructure upgrades are required
- Adequate parking is needed to make sure street parking is not impacted
- Streets are unsafe for cyclists and pedestrians

WHAT WE'VE DONE:

- Comprehensive traffic analysis coordinated with the City
- Planned upgrades to major intersections and roads
- Improved cycling and pedestrian routes
- Provision for significant transit improvements



HARRY JEROME NEIGHBOURHOOD LANDS
MANAGE TRANSPORTATION & TRAFFIC

TRAFFIC DEMAND MEASURES (TRUNCATED LIST)

Strategy	Measure
TDM Site Coordinator & Monitoring Program	Appoint a site TDM Coordinator, responsible for developing, implementing and maintaining TDM program
Cycling Infrastructure Improvements	Provide cycling facilities leading to, adjacent to and on the site (Green Necklace, Bike Lanes)
Cycling Amenities	Provide a bicycle repair station, convenient bicycle storage and end of trip facilities
Pedestrian Infrastructure Improvements	Provide an off-street pathway system to minimize walking distances; provide sidewalks on both sides of all site and site fronting streets with boulevard improvements to buffer pedestrians from moving traffic
Car Share	Provide Car Share vehicles and stalls for residents
Transit	Provide funding for improvements to adjacent bus stops, including bus lane improvements for future B-Line (Offsites)



HARRY JEROME NEIGHBOURHOOD LANDS
PROVIDE A DIVERSITY OF HOUSING

WHAT WE'VE HEARD:

- The City of North Vancouver needs more affordable housing
- The City of North Vancouver needs more below market housing
- Both rental & ownership opportunities needed in the area
- The area needs more family-sized homes
- This is an ideal location for Seniors Housing

WHAT WE'VE DONE:



HARRY JEROME NEIGHBOURHOOD LANDS
PROVIDING A DIVERSITY OF AFFORDABLE HOUSING

AFFORDABLE NON-PROFIT HOUSING

- Provision of 50,000 sf (or roughly 80 units)
- Based on Metro Vancouver Housing Demand Estimates, the City of North Vancouver’s housing needs include 720 “Very Low” (income less than \$30,000 per annum) to “Low” (income between \$30,-50,000 per annum) income units between 2016 and 2026.



BELOW MARKET RENTAL HOUSING

- The CNV’s Housing Action Plan requires the provision of ‘Mid Market Rental Units’ in all new market rental developments seeking a density bonus. Termed the City’s 10-10-10-‘Policy’, 10% of units in new market rental projects are required to be rented at 10% below average rents, as indicated by Canada Mortgage and Housing Corporation, for a minimum period of 10 years.

Based on the 2017 average rents in the City, Mid-Market Rental Units are to be rented at the following rents:

Mid-Market Rental Units – Starting Rent if Occupied in 2017

Unit Size	2017 Average Rent (as per CMHC)	Mid-Market Rent (10% below Average Rent)	Recommended Annual Household Income Limit
Bachelor	\$1,018	\$916.20	\$36,648
One-Bedroom	\$1,220	\$1,098.00	\$43,920
Two-Bedroom	\$1,584	\$1,425.60	\$57,024
Three Bedroom or Larger	\$2,022	\$1,819.80	\$72,792



HARRY JEROME NEIGHBOURHOOD LANDS
MINIMIZING THE IMPACT ON SURROUNDING NEIGHBOURHOOD

WHAT WE’VE HEARD:

- Homes on Eastern Avenue will be shadowed and lose daylight
- The buildings are located too close to surrounding/existing homes

WHAT WE’VE DONE:



HARRY JEROME NEIGHBOURHOOD LANDS
VIEW SOUTH ON EASTERN AVENUE



Artist concept rendering for demonstration purpose only. E. & E.O.



HARRY JEROME NEIGHBOURHOOD LANDS
SHADOW STUDY - MARCH & JUNE



HARRY JEROME NEIGHBOURHOOD LANDS
SHADOW STUDY - SEPTEMBER & DECEMBER



DARWIN
 North Shore Since 1987

HARRY JEROME NEIGHBOURHOOD LANDS
VIEW NORTH FROM 21ST STREET



Artist concept rendering for demonstration purpose only. E & E.O.

DARWIN
 North Shore Since 1987

HARRY JEROME NEIGHBOURHOOD LANDS
PROPOSED REDEVELOPMENT CONCEPT



Artist concept rendering for demonstration purpose only. E. & E.O.



HARRY JEROME NEIGHBOURHOOD LANDS
VIEW NORTH FROM LONSDALE & 21ST STREET



Artist concept rendering for demonstration purpose only. E. & E.O.



HARRY JEROME NEIGHBOURHOOD LANDS
VIEW SOUTH FROM 23RD STREET



Artist concept rendering for demonstration purpose only. E. & E.D.



HARRY JEROME NEIGHBOURHOOD LANDS
NEXT STEPS



PROVIDE YOUR INPUT
TODAY - MAY 18, 2018



CITY OF NORTH VANCOUVER FIRST READING
JUNE 2018 (TBC)

CITY OF NORTH VANCOUVER PUBLIC HEARING
JUNE 2018 (TBC)



5.2 APPENDIX: Notification Post Card – Double-sided



Darwin Properties is hosting a Town Hall Meeting where you can learn more about the rezoning application made to the City of North Vancouver on the Harry Jerome Neighbourhood Lands. **Join us, learn more and have your say.**

Town Hall Meeting

- Date:** Thursday, April 26th, 2018
- Time:** 5:30pm - 8:30pm
- Location:** North Vancouver School District Education Services Building
2121 Lonsdale Avenue (5th Floor)
- Parking:** Underground parking can be accessed on 21st Street

A hosted presentation will start promptly at 6:00pm.

For more details on the Harry Jerome Neighbourhood Lands. Visit www.HarryJeromeProject.ca



5.3 APPENDIX: Canada Post Delivery Area for Postcard

Canada Post Precision Targeter

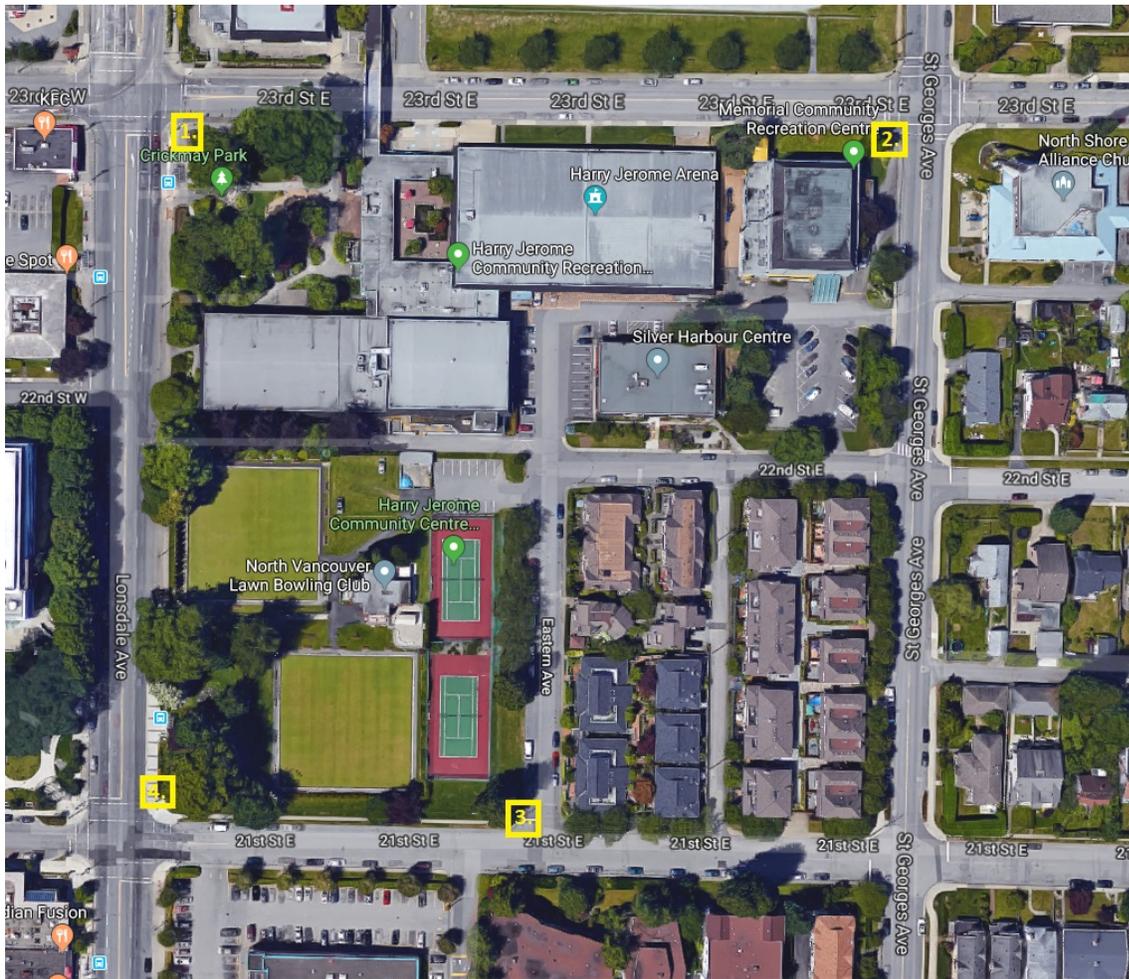
Page 2 of 2



5.4 APPENDIX: Site Signage and Map Indicating Sign Locations



HARRY JEROME NEIGHBOURHOOD LANDS
Phase 2 Engagement Summary Report
May 18, 2018



REZONING APPLICATION

123 E 23rd Street, 144 E 22nd Street & 2160 Lonsdale Avenue

PROPOSAL:

Darwin Properties Ltd. has submitted a Rezoning Application to rezone the property from Public Use and Assembly 1 (P-1) to a Comprehensive Development Zone to permit the development of mid-rise and high-rise mixed-use residential and commercial buildings as well as a new public park.

Darwin Properties Ltd. will be hosting a Town Hall Meeting where interested members of the public will have an opportunity to learn about and respond to the application.

APPLICANT:

NAME: Andrew McMillan
 COMPANY: Darwin Properties Ltd.
 EMAIL: andrew@darwin.ca
 PHONE: 604-670-8844

PROPOSED DEVELOPMENT SITE



SITE PLAN



FOR MORE INFORMATION AND TO SHARE YOUR OPINION:

TOWN HALL MEETING

LOCATION: 2121 Lonsdale Avenue
 The View on Lonsdale (5th Floor)
DATE: Thursday - April 26, 2018
TIME: 5:30 pm - 8:30 pm

CITY OF NORTH VANCOUVER CONTACT
 Mike Friesen Development Planner
mfriesen@cnv.org 604 990 4206



5.5 APPENDIX: North Shore News Advertisement



Darwin Properties invites you to a Town Hall Meeting to learn more about the development proposal made to the City of North Vancouver on the Harry Jerome Neighbourhood Lands. **Learn more. Have your say.**

Visit HarryJeromeNeighbourhood.ca for details.

TOWN HALL MEETING

DATE: Thursday, April 26th, 2018
TIME: 5:30^{PM} - 8:30^{PM}; 6:00^{PM} - Applicant presentation
LOCATION: North Vancouver School District Education Services Building
2121 Lonsdale Avenue (5th Floor)
PARKING: Underground parking can be accessed on 21ST Street

Artists concept rendering, as included in the original RFP submission package to the City of North Vancouver. E. & E.O.

DARWIN
North Shore Since 1987

HARRY JEROME NEIGHBOURHOOD LANDS
Phase 2 Engagement Summary Report
May 18, 2018

WEDNESDAY, APRIL 18, 2018 northshorenews rsnews.com



Ethan Lippman demonstrates the skill that helped him earn three junior gold medals at the Canadian Taekwondo Championships held recently in Ottawa. PHOTO SUPPLIED CHRIS WOO

Martial arts

North Shore athletes win national championships

ANDY PREST
 aprest@rsnews.com

West Vancouver's Ethan Lippman kicked it into high gear at the Canadian National Taekwondo Championships held recently in Ottawa, fighting his way to gold in three different events.

Lippman earned top spot in the junior freestyle individual, junior freestyle team and junior recognized male team events. Lippman trains at North Shore Taekwondo with Master Tony Kook.

"I couldn't think of a more committed, hardworking, and humble athlete deserving

of this achievement," Kook told the North Shore News. The victories earned Lippman a trip to the World Championships scheduled for November in Taiwan where he will compete in all three events.

West Van Karate Academy members were a big hit at the Canadian National Championships held recently in Halifax, led by Parvin Mayan who won gold in the senior women's division.

Mayan, 18, first competed in the under-21 61 kilogram kumite division where she won silver, earning herself a spot on the junior national

team. Mayan wasn't done there, however, as she bumped up to the open women's division where she won gold and claimed a spot on the senior national team.

Kole Macmillan, 15, also landed a double knockout, winning gold in the age 14/15 57-kg event and bronze in the 15/16 55-kg division. Keira Szeto rounded out the medal haul for the West Van dojo, earning silver in the 35-kg division of the 12/13 age group.

All three West Van Karate Academy athletes are expected to represent Canada at the Junior Pan American Championships scheduled for August in Santiago, Chile.

Lakers reuniting after 35 years

From page 39

After that game, the team re-grouped and went on to take it all home. In addition to the Hardy Cup they also won the Coy Cup, BC Hockey's senior AA amateur hockey championship.

For Bingley, it's the team recognition that means the most to him. He looks forward to

seeing his former teammates that he hasn't seen in 35 years. He said everyone is excited for the induction ceremony, specifically their team coach, Gary Forbes.

"He had the vision I guess, all those years of trying to get the right mix of guys and it all came through right. When he found out (about the Hall of Fame induction) he just felt over the moon," Bingley said with a laugh.

HARRY JEROME NEIGHBOURHOOD LANDS
 123 E 23RD STREET, 144 E 22ND STREET & 2160 LONSDALE AVENUE

TOWN HALL MEETING

Darwin Properties invites you to a Town Hall Meeting to learn more about the development proposal made to the City of North Vancouver on the Harry Jerome Neighbourhood Lands. **Learn more. Have your say.**

Visit HarryJeromeNeighbourhood.ca for details.

TOWN HALL MEETING
 DATE: Thursday, April 26th, 2018
 TIME: 5:30^{PM} - 8:30^{PM}; 6:00^{PM} - Applicant presentation
 LOCATION: North Vancouver School District Education Services Building
 2121 Lonsdale Avenue (5th Floor)
 PARKING: Underground parking can be accessed on 21ST Street

DARWIN
 North Shore Since 1987

3RD ANNUAL CAREGIVER EXPO

Connecting caregivers with knowledge, support & wellness

A share of net proceeds donated to North Shore Community Resources

Saturday, May 5, 2018
 9am - 3pm

Delbrook Community Recreation Centre
 851 West Queens Road, North Vancouver

CALL 604-998-3510 TO BOOK YOUR EXHIBITOR SPACE OR SPONSOR THIS EVENT!

PRESENTED BY: north shore news
 GOLD SPONSOR: LIVINGWELL HOME CARE SERVICES INC.
 SILVER SPONSOR: Shylo
 BRONZE SPONSORS: CareCare, Comfort Keepers

5.6 APPENDIX: Neighbourhood Strata Letter



April 18, 2018

Harry Jerome Neighborhood Lands Redevelopment

Dear Neighbour,

By now you should have received our invitation to attend the upcoming Town Hall Meeting for the redevelopment of the Harry Jerome Neighbourhood Lands. The Harry Jerome Neighborhood Lands site is currently in the rezoning process with the City of North Vancouver. For further information on the process to-date and the current development proposal, we encourage you to visit www.HarryJeromeNeighbourhood.ca. The event details are as follows:

Date: Thursday, April 26, 2018
Time: 5:30pm – 8:30pm, 6:00pm - Applicant Presentation
Location: North Vancouver School District Education Services Building
2121 Lonsdale Ave (5th Floor)
Parking: Underground parking can be accessed on 21st Street

Following the feedback we received at the Open House on December 6, 2017, 287 people completed the online survey during the engagement period from November 27 to December 17, 2017. We heard questions and concerns regarding population growth and density, affordable housing, transportation, traffic and parking. Specifically, as it relates to the residents located south-east of the development lands (the Eastern Avenue Neighbourhood), we received 9 recorded comments specifically expressing concerns with sightlines, views and shadowing, as well as street parking and traffic. We also had numerous conversations at the Open House.

In response to the above concerns, our design team has worked to increase setbacks of buildings along Eastern Avenue, and locate the taller buildings in the proposal as far North as possible to limit impacts of shadowing and views. Additionally, the buildings along Eastern Avenue will be stepped back at the upper levels to further reduce these impacts. Finally, a comprehensive traffic analysis is currently being conducted in partnership with the City, and the results of this will be reviewed with City Staff and our neighbours.

If after attending the Town Hall meeting you would still like to meet with us to discuss the proposal, we would be happy to meet with you at any time as a resident individually, or as a strata group, to obtain your feedback and answer any questions you may have.

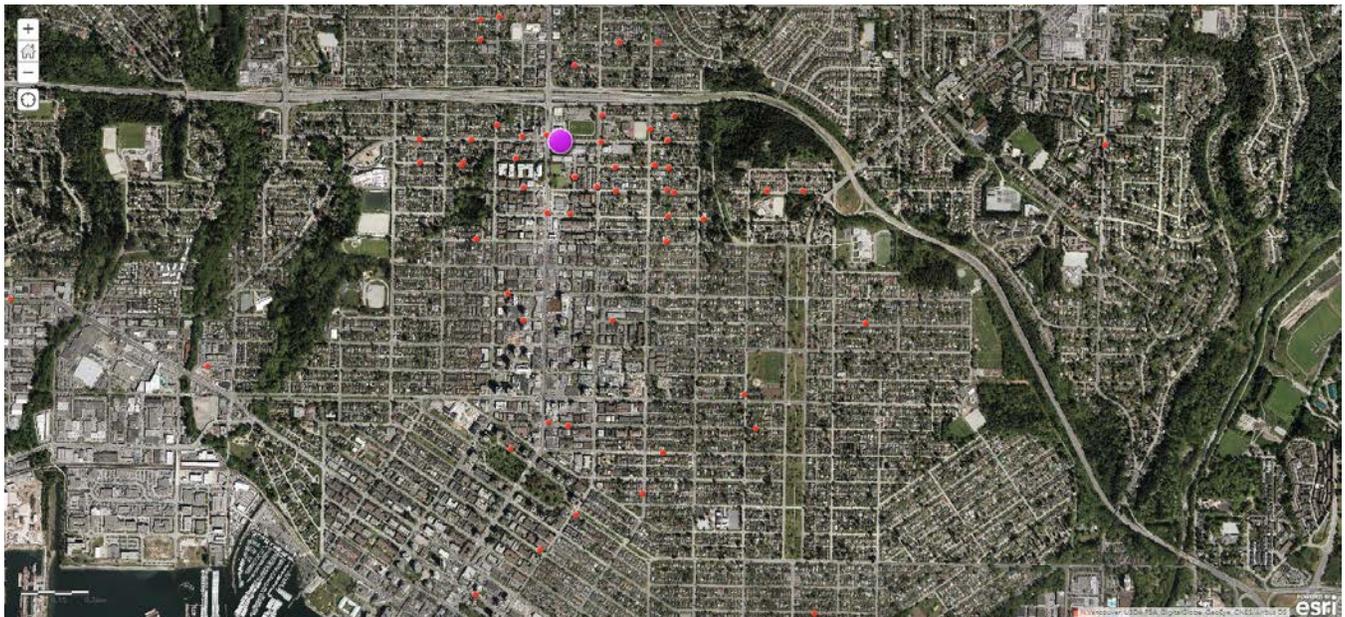
Sincerely,

A handwritten signature in black ink, appearing to read "Andrew McMillan".

Andrew McMillan
Development Manager
Darwin Properties Ltd.
604-929-7944
harryjeromeneighbourhood@darwin.ca

404 – 197 FORESTER STREET, NORTH VANCOUVER, BC V7H 0A6 TEL: 604-929-7944 FAX: 604-929-5475

5.7 APPENDIX: Town Hall Attendance



5.8 APPENDIX: Comment Card

Comment Form HARRY JEROME NEIGHBOURHOOD LANDS

Darwin Properties is proposing to rezone the Harry Jerome Neighbourhood Lands (HJNL). As part of this application process, we would like your input at this stage. Darwin Properties is engaging community residents and stakeholders to gather valuable input on the proposed redevelopment of the HJNL.

Please provide us with any input you have on this project in the box below (feel free to attach additional sheets) and drop this form in the blue “drop box” before you leave, or mail or email your comments to either the City of North Vancouver or Darwin Properties.

STAY ENGAGED

Thank you for your comments. Comments on this sheet will be delivered to the City of North Vancouver for consideration. Please note this form will become part of the staff report to City Council on this development proposal and will be publicly available.

Alternatively, you may wish to mail or email your comments to either the City of North Vancouver or Darwin Properties. We kindly ask that all comments on this phase of public engagement be submitted by May 18, 2018.

For further information and updates, please visit the project website at harryjeromeneighbourhood.ca

Darwin Properties Ltd.
404 – 197 Forester Street, North Vancouver, BC V7H 0A6
harryjeromeneighbourhood@darwin.ca

City of North Vancouver
141 West 14th Street, North Vancouver, BC V7M1H9
harryjeromeproject@cnv.org

5.9 APPENDIX: Social Media Promotion



Town hall meeting coming up to discuss Harry Jerome Neighbourhood Lands |
Thursday, April 26 | 5:30pm - 8:30pm. More info here:
darwinconstruction.ca/harryjerome pic.twitter.com/G30pGRK7zl

 CITY OF NORTH VAN @CITYOFNORTHVAN · TUE, APR 24 2018 11:25:07



HARRY JEROME NEIGHBOURHOOD LANDS
TOWN HALL MEETING APRIL 26 | 5:30-8:30PM @ 2121 LONSDALE AVE
MORE INFO @ DARWINCONSTRUCTION.CA/HARRYJEROMEPROJECT

Darwin Properties is hosting a Town Hall Meeting April 26th. Learn more about
the development proposal made to the City on the Harry Jerome
Neighbourhood Lands. ow.ly/z7Sg30jyV97 #NorthVan @DarwinConstr
@NorthVanRC pic.twitter.com/RQEfKvIdcH

 CITY OF NORTH VAN @CITYOFNORTHVAN · WED, APR 18 2018 15:10:08

HARRY JEROME NEIGHBOURHOOD LANDS
Phase 2 Engagement Summary Report
May 18, 2018



DarwinConstruction @DarwinConstr · May 16



Have you filled out our feedback form on the Harry Jerome Neighbourhood Lands yet? All feedback will be compiled and shared with the City of North Vancouver and Council. Share your thoughts here:

darwinconstruction.ca/harryjerome/fe...



8



5

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
61	Jenna B	128 West 21st street	19:15
62	Dennis R	128 West 21st street	19:15
63	GARRY JR	121 W. 16 th St	21:15
64	Evoone S.	320 E. 23 rd St.	
65	Barry Fenton	2733 Byron Rd	19:30
66	Dieter Steuschke	301-144 W20 St	19:30
67	Ralf Kronig	312 East 21 st St	
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
76	Andrew Venczel-Palos	315 W 25 th St North Van	5:45
77	ROB CHASMAN	2308 OTTAWA AVE. W VAN	5:50
78	Erin MacKenzie	502 E 21st	5:50
79	TREVOR BOWDEN	728 14TH ST W.	5:55
80	Flora Walsh	43 E 13 th St. N VAN	6:00
81	Murray Holland	201 - 935 Marine Drive.	6:00
82	ANGELA CHASE	718 E 16 th	6:00
83	REG GORDON	407-139 W. 22 nd ST., N. VAN.	6:00
84	SARAH ROGERS	345 W. 23rd St. N. Vancouver.	6:00
85	JASI MARINE	2515 LANSING AVE	
86	Jeanette Jam	318 24th St. East, North Van	6:00
87	Ann McAlister	955 St Andrews Ave	6:
88	June Morris	222 East 22nd St	6:10
89	Yasuhiko Kawasaki	254 East 24th Street	6:10
90	TAI CHANG	218 Eastern Ave.	1810

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
106	Grace Wheeler	250 east 24 th st. North Vancouver	5:30
107	Jane Jones	445 east 20 th N. Van	5:30
108	[Signature]	315 E 21st ✓	
109	MARTIN SVED	344 E 23 ST NORTH VAN	5:30 PM
110	Wendy Cunningham	130 W. 22nd #104 - N. VANC.	5:30 PM
111	ANDREW HOLUSZKO	236 W 22 STR. NV	5:40 PM
112	Claire Drummond	512 52 nd St	5:40 PM
113	[Signature]	W. 17th Street	5:40
114	[Signature]	365 E. 11 th	5:45
115	Devon Myers	2160 EASTERN AVE.	5:45
116	Mary Penney	#230, 137 WEST 17th ST.	5-45
117	David Pet [Signature]	306-257 E. Keith	5:45
118	SCOTT ROBERTSON	2304 WESTERN AVE	5:48
119	KATE Kate Robertson	↑ Ditto	
120	Mert Shannon	#4-2133 St Georges Ave.	5-50

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
121	Rosemary Swinton	#115-170 5th St East, N. Van.	5:15
122	Merrilee Miller	309-159 West 22 nd Street, N. Van	5:23
123	Robert Hummel	319 - 24 th St East NV	5:25
124	Liz Jest	15-2133 St. Georges Ave. N.V.	5:30
125	Deb Sankey	28-2133 St. Georges Ave NV	5:30
126	Renee Fitzgerald	10-2118 Eastern Ave	5:30
127	Mark MacAvley	317 E 22nd St	5:35
128	Alena Verevel	215 W. 23 rd St	5:45
129	Jason Teehn	2775 Lyndene Rd.	5:45
130	Marni Robinson	728 14th St. W	5:55
131	SEAN KILGIV	139 W 22nd St	5:55
132	T. G. G. G. G.	130 W. 22 nd St N. Van	5:55
133	D. K. K. K.	605-108 E. 14 th St. N. Van.	6:00 PM
134	ORR BOSTON	13-2118 EASTERN AVE N VAN	6:00 PM
135	Mavis Riggs	318-24th St East N. Van	6:00 PM

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
91	Pat Fox	# 16 2133 ST. GEORGES AVE	5:25
92	Lucy Wheeler	#	5:30
93	Angela Gordon	#407-139 W. 22nd St.	5:35
94	Sharon Asa	#15-2133 St Georges	5:32
95	Penny Page	225 W 27 TH ST	5:33
96	S.iew. Pheiderei	7-2133 St Georges Ave	5:30
97	Linda Sullivan	1262 W. 23rd St. N.V.	5:35
98	A. RILEY	229 W. 23rd St. N.V.	5:35
99	M. MAKARTNEY	418 20 TH ST EAST	5:35
100	Belinda Lyons	350 23rd St. E. N. Van	5:40.
101	Tessa Dietz	6-2345 hensdale Ave N. Van	5:40.
102	Hugh Drummond	312 E 21 ST ST	5:40
103	Melce Dowling	3433 Robinson Rd N Van	5:40
104	Berlene Stafford	2-2160 Eastern Ave. N. Van	5:45
105	Rosa Yip	29-2133 St. Georges. Ave	

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
136	Maria O'Keefe	14-2133 St Georges Ave. NY	5:30
137	Sandra Landry	3-2118 Eastern	5:30
138	SUSAN FISHER	204-130 W. 22nd ST. VT 129	5:40
139	A. CARLOW	2400 CHESTERFIELD AVE.	5:40
140	J. DEGER	308 EAST 22 ND STREET	5:45
141	L. SIMON	330 EAST 23 RD "	5:45
142	J. CHARLES	#39 160 EAST 20 TH ST	5:45
143	D. Kennedy	221 West 20 th St	5:45
144	A. Marshall	324 East 24 th St	5:45
145	Anwen Laerin	Silver Harbour Seniors Activity C	5:55
146	JACQUELINE CARMLEY	306 EAST 23 RD ST, NORTH VAN	6pm
147	V BENTO	13-2118 EASTERN AVE NORTH YUR.	5:55AM
148	BADZROD	207 21 ST ST E	6:00
149	BRUCE MURRAY	603- 1405 DAUGHTERS AVE	6:05
150	CANDI BOVIL	308 EAST 24TH STREET, N.VAN	6:05

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
76	Trevor Reinertson	223 east 22nd st NV	5:10
77	Lori Reinertson	223 east 22nd st NV	5:10
78	Mike Vanagas	232 east 22nd st NV	5:10
79	VIRGINIA COLES	150 W 22nd ST NV	5:20
80	John Wang-Ken	# 906 119 W 22nd st,	5:25
81	Nancyse "	" "	"
82	MORRIS JOHNSON	#1404-114-W-KBETH N.V	5:25
83	Ray Dennis	126 EAST 12 ST # 106 NVV VT6255	5:30
84	Erika Patryi	140 East 26th st	5:30
85	E. McMillan	#410-1673 Lloyd Ave. N.V.	5:30
86	Shahab Sokhansari	350 E 20th Street N.V.	5:30
87	City Sokhansari	350 E 20th Street N.V.	5:30
88	Eric Benson	225 27 th St. N. N. Ken.	5:30
89	DAVE ALEXANDER	14-2118 Eastern Ave	5:30
90	Smartynka	" " "	"

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
106	CHRIS KAULBACH	129 26TH STREET EAST.	6:15 PM
107	Gerida Fernandes	12-2118 Eastern Ave. N VCR	6:20 PM
108	Bob Craig	246 West 22nd St N.V.	6:30
109	Sonia Frotterols	#27-2133 St Georges Ave NV	6:20
110	LAURETE Yeung	338 E 19th St, North Vdn. BC	6:24
111	Tony Simon	330 E 12, N.V.	6:25
112	GHEAN MACKENZIE	2160 EASTERN, N.V.	6:30
113	MONTANA RUNNING		
114	Diana Kozoris	406-2800 Chestertfield Ave	6:40
115	Maryth Kew	602 E 21st.	6:45
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
91	ARNOLD	334 E. 22 nd STR. N, VAN	6:15pm
92	John Way	254 W 6 th ST N Van	6:15
93	Ben Young	333 E 19 th ST. N. VAN	6:23
94	Tosh. Hi. Tomi	102-150 W 22nd. ST. N. VAN.	6:29
95	Nelanie Mackenzie	#1-2160 Carter Stoe.	6:30PM.
96	Parrell Akene	320 E. 23rd St N. Van	6:30
97	Dave Syner	2321 MOUNTAIN HWY.	6:35
98	RYAN CHARLES	2352 STANWICKS AVE	
99	BRUCE STONE SINK	180 E. 20 ST.	
100	Vanessa Heman	316 W 22nd St, North Van	6:35
101	DEREK LOW	602-143-21st ST. N. V.	6:45
102	CROFT TRACEY	755 E. 6 th ST	6:50
103			
104			
105			

Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
197	B. DANIEL	263 E. 27TH	17:37
198	Sidney Myers	#5 - 2118 Eastern Ave	6:15
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
167	Paul Riley	229 West 23 RD ST.	5:36
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
151	Shelley Smele	2134 EASTERN AVE. N. Van.	5:30
152			
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
61	JEFF SMELE	2134 EASTERN AVE NORTH VANCOUVER	5:30
62	P DUKHAM	508 E 12TH	
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Town Hall Sign-In Sheet

HARRY JEROME NEIGHBOURHOOD LANDS

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publicly available. If you do not wish to be identified, please do not include your name on the form, only your address.

No.	Name	Address	Time
16	Jade Vajna	2138 Eastern Ave. N. Vancouver, BC	5:37
17	Erin North	2-230 16 th St E N. Van, BC	5:55
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			

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No.	Name	Address	Time
1	Gillian Bolner	250 E 24 th St N.V.	5:25 pm
2	Johannes Williams	224 19 th St W N. Van VEM 1x5	5:30 pm
3	Fraud Kruacs	2131 Ectera Ave	5:37
4	Rachel MacAntay	317 East 22nd St N Van	5:45
5	Rich Cabalung	20th St V7M1Y5	5:50
6	ARTHUR DAVIES	344 W. 20 th St. N.V. V2M1Y5	5:50 AM
7			
8			
9			
10			
11			
12			
13			
14			
15			

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No.	Name	Address	Time
46	Sybil Kumaras	2138 Eastern Ave	5:37
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			

Comment Form

HARRY JEROME NEIGHBOURHOOD LANDS

Darwin Properties is proposing to rezone the Harry Jerome Neighbourhood Lands (HJNL). As part of this application process, we would like your input at this stage. Darwin Properties is engaging community residents and stakeholders to gather valuable input on the proposed redevelopment of the HJNL.

Please provide us with any input you have on this project in the box below (feel free to attach additional sheets) and drop this form in the blue "drop box" before you leave, or mail or email your comments to either the City of North Vancouver or Darwin Properties.

- ① I WOULD STILL LIKE THE PARK TO BE ALONG EASTERN INSTEAD OF LONSDALE. LONSDALE IS DIRTY, NOISY & UNSAFE FOR KIDS RUNNING TO RESCUE A BALL!
- ② THE BUILDINGS ARE ALL TOO TALL.
- ③ PLEASE KEEP THE 2 BIG, OLD CEDARS ON EASTERN AVE.

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For further information and updates, please visit the project website at harryjeromeneighbourhood.ca

Darwin Properties Ltd.

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harryjeromeneighbourhood@darwin.ca

City of North Vancouver

141 West 14th Street, North Vancouver, BC V7M1H9
harryjeromeproject@cnv.org

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I feel as a very long resident of North Van (circa 45) I am very sad to see the development in this area. What is the hurry — it is greed and nothing else! Please protect some sites in the city that could be remembered by myself, children + grand children. This is a very sad day in the heritage of N. Van.

Bob Fox

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The 28 story Buildings are far too large
we live on E. 22nd Street + the ~~best~~ view
will be Greatly blocked.
These buildings should be MAX 14 stories
Also the traffic + congestion will be overwhelming
for the community.

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WHERE IS THE VEHICLE PARKING IN THIS PLAN?

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TRAFFIC - NO RIGHT TURN ON RED
E 23RD TO LONSDALE

BUILDING HEIGHT - SHOULD KEEP TO THE
SURROUNDING AREA W/OUT ADDING
MORE BUILDINGS

PARK SPACE - NEED OUTDOOR FIELDS FOR
LOCAL KIDS TO PLAY SPORTS

ACCESS TO HWY - NEEDS TO BE IMPROVED
TO AVOID ADDITIONAL CONGESTION

PARKING - THERE'S NO STREET PARKING
NOW B/C N VAN IS TOO OVERDEVELOPED
DO NOT NEED THESE TOWERS TO PAY FOR

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KEEP CENTRE. THERE'S ENOUGH TAX FROM OTHER DEVELOPMENT IN N VAN

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- 1) On your 1st "plan" you've given no information on where Lonsdale is, or any other streets. Confusing!
- 2) My main concern is the extra traffic generated by building these towers. On paper the concept seems possible. However when one considers the traffic grid locks already experienced by people travelling through our city these additional towers can only add to a chaotic situation UNLESS you, the developer can develop a new transit plan we badly need.

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I have several concerns I have discussed with Daniel, the transportation "guy"

1) I see no provision for a school to house the children who, hopefully, will live in this area.

If a school is planned "drop off" zones will be essential.

2) Traffic will only increase once these towers are occupied. Discussions should be well under way with Transit to increase the number and frequency of bus times before completion of the buildings.

3) Cross walks needed between Keith St on St Georges.

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* NB
City
Hall

More left turn signals eg Chester Field on 13th going West.

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Please don't do this, you are building right in front of my home. All the sun will be blocked as well as the view of mountains. We are a small place which will be circled by big buildings. I am sad :-
Please do not do this, I like my home and where it is, my grandma lived here :-
☹️ this is sad, I am sad ☹️

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Is this another "feel good" for the community?

Does input make a difference it made none to the density concerns of Anderson Walk

Another meeting in futility???

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Thank-you for the helpful information..
What I would appreciate seeing is a rendering / impact study of the view corridors looking south from the Tempe Heights area please.. I spoke with Andrew @ tonight's session and he agreed this info would be helpful.
Regards, ~~Blaine~~ Daniel 200 block east 27th street.

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Yes to 6 storey - especially
seniors rental - kudos

NO to 28 storey tower

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Commended = the green space
between 21 + 23 fronting onto
Lonsdale

plus plus plus!!!

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Kudos to expanded city

park

We need more green space!!

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John Wray (Chair Northshore Multicultural Society) NSMS
Would any consideration be given to below
market commercial property being provided
for not-for-profit organisations like NSMS
in the lower howsdale / howsdale corner
areas. Thnx.

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Aside from everyone's concern of density and traffic, I like what I see. Thank you for refine of design and improvements

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Traffic:
* Will towers get any taller?? 28 floors is too tall.
going taller to get greenspace

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"Provision for significant transit improvements"

What BS!

Translink has published a "10-year ~~Mission~~" and budget that effectively limits any transit improvements to "inadequate."

10 years of problems that are self-inflicted!

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~~XXXXXXXXXX~~

THE CITY CHANGED THE ZONING IN THE
2 + 3 HUNDRED BLOCKS FROM 13th
TO 17th EAST.

THEY HAD 8 SIGNS FOR SEVERAL
MONTHS ABOUT THE ISSUE.

THE PROPER PROCEDURE

THIS MEETING WAS NOT PUBLICALLY
GIVEN ANY NOTICE OF THIS MEETING.

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The OCP is 18-20 storey maximum - presumably, a lot of thought and analysis went into this 2014 determination, what has changed? 28 storeys is not sustainable for this area for many reasons, including parking - the idea that 1-1 bays per unit is sufficient because of the "aspiration" of having people use public transport is unrealistic - the reality is that each unit needs 2 car spots. ^{and pay for}

- Why do we need (in CNV) to provide a "world class" facility which other districts will use?
- What are Darwin's financing arrangements? How will they be kept to their promises if the money runs out? Won't we see the green space disappearing to make space for new buildings to help make Darwin's losses up?
- Will the road improvements be complete in parallel with the building of the towers? It cannot be delayed until afterwards

STAY ENGAGED

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You do not have adequate solutions to the problems. You say that there will be underground parking but people will of course still be parking in our community space and neighbourhood. The traffic is going to be horrible. Also, people will lose so much sunlight from these awful towers. Why do they have to be 28 stories? I know that you were allotted a certain amount of space for people, but why do you need to use all of that? And yes to pay for the rec center but do you really need an olympic swimming pool? Is that really a priority here?

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Also, park space is highly reduced. How do you expect kids to have outside time when there is no fields to play on. Just leave our neighbourhood be.

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MUSSATTO HAS USED DECEIT AND BULLYING TO KEEP HIS AGENDA WITH DEVELOPERS.

THE DISTRICT OF N.VAN ALWAYS PUT THERE LANDS TO PUBLIC TENDOR.

HE HAS ALLOWED LADY IN ROADS (ENGINEERING) TO SCREW UP OUR ROADS. SHE HAS OVER RULED THE CONCERNS OF THE FIRE DEPARTMENT & AMBULANCES EVERY ROUNDABOUT LOSE 20 SECONDS EVERY SPEEDBUMP 20 SECONDS

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To densified. Lower density for
Smaller rec centre. Have sufficient
parking (by laws are not sufficient).
Have traffic study consider
future developments (not just ones
under application) and for a broader
area and consider traffic accident
impact. Thanks for keeping trees.
& providing some affordable housing.

STAY ENGAGED

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Downsize Harry Jerome &
KEEP NORSEMAN PARK !!

NO 28 STORY APT. BLDGS.
DESTROYING OUR COMMUNITY
FEEL.

STAY ENGAGED

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OVERALL, I THINK THE PROJECT IS TASTEFUL AND GENERALLY WELL THOUGHT OUT AND AS A LOCAL RESIDENT I WELCOME RELEVANT AMENITIES IN THE NEIGHBOURHOOD. I ALSO WOULD WELCOME A COFFEE SHOP etc + NEW REC CENTRE/RESTAURANT.

MY CONCERNS ARE;

• INCREASE IN TRAFFIC + LOSS OF BRIDGE ON 23RD ST WILL THAT MEAN HIGH VEHICULAR ACCESS BETWEEN LONSDALE + GRAND BOULEVARD?

• EAST SPREAD/DISPLACEMENT → LAWN BOWLING/MOVING TO ST ANDREWS/23RD → PARKING ISSUES

• LOSS OF FOOTBALL FIELDS - IS THE NEW CENTRE REQUIRED TO BE THE SIZE IT WILL BE? WE REALLY NEED A 50M POOL? (THE PARK IS GREAT BUT NOT REPLACEMENT).

* ABSOLUTELY AGAINST 28⁺ STORY TOWERS - AGAINST

STAY ENGAGED CURRENT GUIDELINES → CASH GRAB!!

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CANCEL
THE
PROJECT

STAY ENGAGED

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I cannot believe this project.
we are trading 2 of our fields for a
rec-center which we do not need and
cannot afford.
what price do we pay for
trading in our community parks.
The cities outrageous comment of
* noisemen being "surplus" were a slap
in the face to the communities they are
supposed to be representing.

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This is the wrong plan, wrong location, wrong project. These buildings do not suit our community. Harry Jerome does need to be "renewed" but this plan is not right. These 6 story buildings still block Easton Avenue. Make a new plan.

STAY ENGAGED

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ABSOLUTELY NO WAY - WRONG LOCATION
WHOLE WRONG APPROACH TO DEALING WITH RE-ZONING
RE-BUILD/RENEWAL. → CURRENT FACILITY SHOULD
BE REBUILT - ON SITE - POOL - FIELD SHOULD
STAY AS IS. - EXACTLY DONE I SAY,
TO HYPER-DENSITY HERE WILL DESTROY
WHAT IS LEFT OF LIVEABILITY IN CENTRAL COASTAL
IT WILL PAVE THE WAY FOR HIGH-RISES
FROM 17TH ST TO THE HIGHWAY - THIS
IS WRONG - THE CITY HAS NO RIGHT -
(MORALLY) TO CONSTITUTE AFTER THE O.C.P.
TO DENSITY AND BUILD HIGH-RISES EVERYWHERE
→ BUILD - A - NEW - POOL
→ PUT THIS PROJECT BELOW 17TH ST

STAY ENGAGED

2400 CHESTERAVENUE

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- council mandated Norsema + McDougall field left underdeveloped in 2011
 - do not develop green space
 - prefer increased taxes
 - city grown rich on ↑ density
 - no open space for impromptu games in open space
 - ↑ density but nowhere unstructured to go
 - obscuring views
 - proposed buildings too high
 - where are outdoor tennis courts by gravel field
 - why are only five city employees in attendance
- Please ignore comments on back

STAY ENGAGED

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THIS WHOLE PROCEDURE IS A SHAM
THERE HAS BEEN NO NEWSPAPER OR
SIGNAGE ADVISING THE PUBLIC.
THE CITY + MUSSATTO HAS AGAIN
USING DECEIT TO PUSH HIS DEVELOPER
BUDDIES AND HIS OWN AGENDA.
THE WHOLE PROJECT SHOULD BE DONE BY
PUBLIC BIDDING
HE + COUNCIL GAVE MILLIONS TO CONCRET
PROPERTIES BY ALMOST NO PUBLIC INPUT.
FOR THE PROPERTIES AT THE FOOT OF HELL

OPEN

STAY ENGAGED ON THE WATERFRONT!

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Harry Jerome Neighbourhood Lands

Advisory Body Resolutions

Advisory Design Panel – April 18th, 2018

It was regularly moved and seconded

THAT the Advisory Design Panel has reviewed the Rezoning and OCP Amendment Application for 123 East 23rd Street – Harry Jerome Neighbourhood Lands and recommends approval giving general support for the direction of massing and site planning with consideration of the following conditions:

- Consideration of edge conditions, architecturally and in the landscape within the site and adjacent neighbourhood;
- Explore opportunities for additional height to T1 to set it apart as a landmark building and to provide noticeable differentiation between the two towers;
- Further design development of the interior courtyard surrounded by T2, M2, M1 and T1 including the parkade entry and auto court;
- Encourage visual and potentially physical porosity between buildings M3 and M2;
- Further review and design coordination with the Harry Jerome Recreation Centre in developing the plaza interface;
- Explore the development of an overall neighbourhood sustainability strategy with the Harry Jerome Recreation Centre to the north (LEED-ND?);
- Further exploration and development of pedestrian circulation to and through the site;
- Consideration of year-round seasonal impacts in all areas of the site;
- Further refinement of the overall site stormwater management features;
- Further design development of neighbourhood and precinct character is encouraged;
- Provision of a tree master-plan;
- Consideration of sense of place and uniqueness; and
- The inclusion of public art.

The Panel wishes to thank the applicant for their presentation.

Carried Unanimously

APC – April 11th, 2018

It was regularly moved and seconded

THAT the Advisory Planning Commission has reviewed the Harry Jerome Neighbourhood Lands Development Concept and is strongly supportive of the proposed design, density, height, land use designations and massing. The APC recommends consideration of the following:

- An accessible active travel bridge connection over 23rd, potentially in a diagonal configuration;
- Bus stop design to maximize bus speed, minimize congestion and accommodate a future B-Line;
- Strong active travel connectivity from the site and the Green Necklace into Central Lonsdale; and
- A low risk solution for drop off that minimizes child-traffic conflict on both sides of 23rd Street.

The Commission thanks the applicant for their presentation.

Carried Unanimously

Advisory Committee on Disability Issues

BE IT RESOLVED THAT the ACDI is supportive of Darwin Properties proposal for the Harry Jerome Neighbourhood Lands and appreciates the opportunity to provide feedback on Darwin's approach to adaptable design;

AND THAT In addition to Darwin's existing efforts, the ACDI recommends that the attached enhancements are incorporated to improve the functional accessibility of the site and individual units

AND THAT Should the project proceed to detailed design, the ACDI would appreciate further consultation with Darwin to ensure the Harry Jerome Development Lands provide accessible homes and public spaces for future residents

Carried Unanimously

Integrated Transportation Committee – May 15, 2018

BE IT RESOLVED THAT the Integrated Transportation Committee has reviewed the Harry Jerome South Development and supports the proposal;

AND THAT the Committee makes the following additional comments:

- Consider reviewing the number of visitor parking stalls allotted for the assisted living facility.

Executive Summary

The City of North Vancouver (City) is proposing construction of a new community recreation centre to replace the existing Harry Jerome Community Recreation Centre (HJCRC) located within the Central Lonsdale neighbourhood south of 23rd Street between Lonsdale Avenue and St. Georges Avenue. The proposed facility will provide approximately 225,000 square feet of gross floor space to accommodate two gymnasiums, fitness rooms, multi-purpose rooms, as well as an aquatic centre and two NHL-sized arenas. It will also be home to a new senior centre and other community-based resources and programs.

In order to finance the construction of the new recreation centre, the City secured Darwin as the development partner for the development of lands south of 23rd Street, bordered by Lonsdale Avenue, Eastern Avenue, 21st Street, 22nd Street and St. Georges Avenue. This section is referred as the Harry Jerome Neighbourhood Lands (HJNL) and the development in this area will be a mixture of residential, office and commercial land uses. The proposed densities in the current rezoning application (dated 15 May 2018) include 802 residential units, 77,000 sq ft office, and 23,000 sq ft commercial uses for a site total of 2.5 FSR.

The existing HJCRC will be decommissioned to accommodate the HJNL development and the North Shore Lawn Bowling Club and Flicka Gymnastics are proposed to be relocated to Mickey McDougall Community Centre site. The study area and subject lands are shown in **Figure E-1**.



Figure E-1: Study Area and Subject Lands

This transportation study presents a recommended transportation network to accommodate the increase in residents, businesses, and recreation centre visitors that meets the following City's Official Community Plan (OCP) goals to achieve a complete, liveable, and connected community:

- ▶ Prioritize walking, cycling, transit and goods movement over single-occupancy vehicles;
- ▶ Integrate Land Use and Transportation Planning to reduce the need for car travel;
- ▶ Support a safe, accessible, resilient, and affordable transportation system.

Existing Conditions

The existing transportation network within the study area has relatively good pedestrian connections, transit accessibility and service, and high network resiliency, however, the existing transportation issues include:

- Traffic delays at Lonsdale Avenue & Highway 1 intersections;
- Lack of on-street cycling facilities;
- Lack of transit priority measures along Lonsdale Avenue;
- Lack of high quality pedestrian and cycling connection to north of Highway 1.

As traffic volumes grow over time due to an increase in population and employment in the City, these existing issues will worsen even without the consideration of the HJCRC and HJNL developments. The construction of Green Necklace Trail through this area would enhance the pedestrian and cycling connections within the community and the proposed new B-Line from Lynn Valley Centre to Lonsdale Quay is expected to be in service within the next 6 to 10 years would improve the transit service.

The full buildout of both developments is expected to be completed by 2025. As such, this transportation study examined the transportation impacts of the project in 2025 horizon as Opening Day conditions and also in 2030 horizon as a 5-year post construction conditions.

Opening Day Conditions (2025)

In the Opening Day, the Lonsdale Avenue & Highway 1 intersection are expected to continue experiencing traffic delays without any network improvements. The additional development traffic volumes are expected to exacerbate traffic operation at the following intersections:

- Lonsdale Avenue & Highway 1
- Lonsdale Avenue & 23rd Street
- Chesterfield Avenue & 23rd Street
- St. Georges Avenue & 23rd Street

As such, a range of transportation network improvements are required to support the development of HJCRC and HJNL which includes traffic signal improvements at Lonsdale Avenue & Highway 1 interchange ramp intersections and lane configuration changes at the other three intersections listed above. In addition, investments in walking, cycling, and transit are required to provide transportation choices for future residents, visitors, and employees while reducing the reliance on single occupancy vehicles. The recommended transportation network is illustrated in **Figure E-2**.

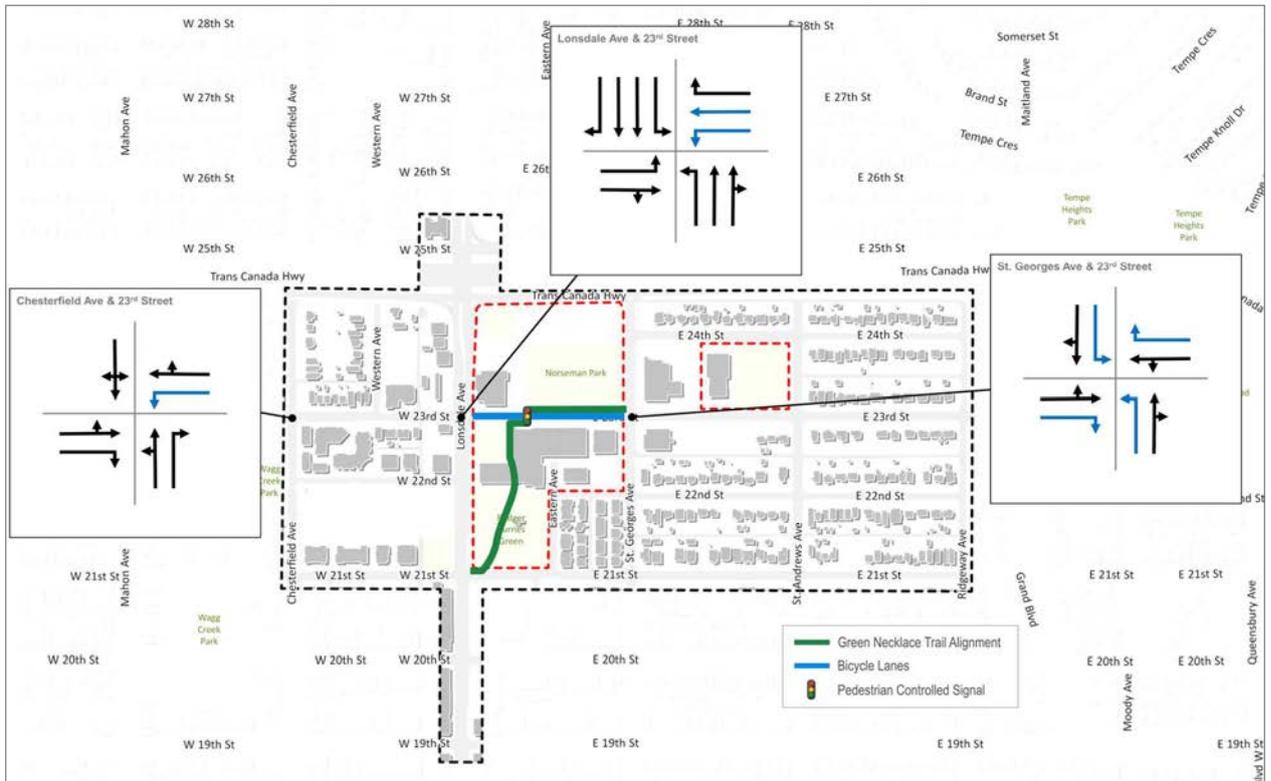


Figure E-2: Recommended Transportation Network Improvements

Site Accesses

Since parking for both developments are provided underground, all site accesses for the developments connect to respective underground parking. Accesses for the HJCRC are provided on 23rd Street and St. Georges Avenue while the accesses for the HJNL are provided on 21st Street, Eastern Avenue, and 22nd Street. The proposed locations and characteristics of the site accesses are provided in **Figure E-3**.

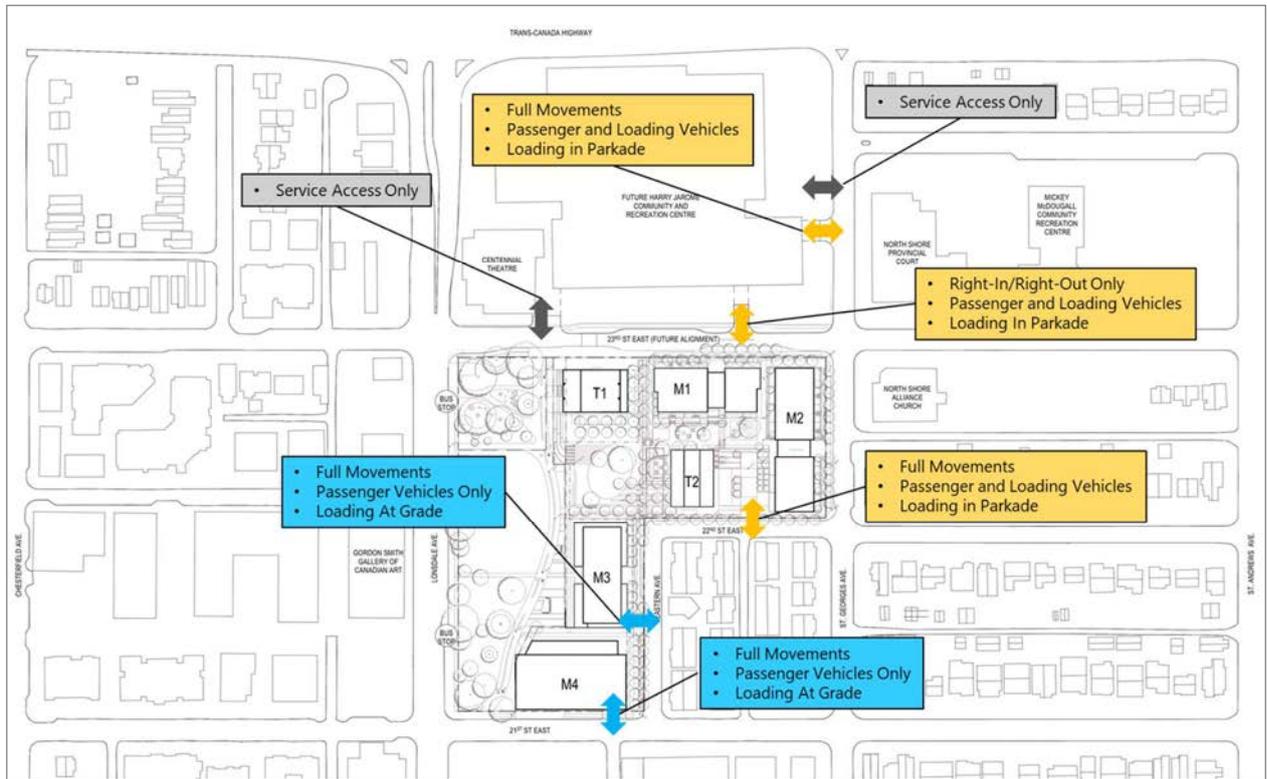


Figure E-3: Proposed Location and Characteristics of Site Accesses

Transportation Demand Management

The improvements in transportation network should also be supplemented by robust Transportation Demand Management (TDM) measures to encourage transportation options such as walking, cycling, transit, and carsharing. Some of the proposed TDM measures are listed in **Table E-1**.

Table E-1: List of Proposed TDM Measures

Category	Measures
Marketing and Promotion	<ul style="list-style-type: none"> • Prepare marketing materials to attract residents who want a car-free lifestyle (HJNL) • Provide brochure with information on transportation alternatives (HJCRC & HJNL) • Participation in Bike to Work week and other community and regional events (HJCRC & HJNL) • Host cycling skill courses and safety programs for cycling (HJNL)

Table E-2 continued...

Category	Measures
Pedestrian Strategies	<ul style="list-style-type: none"> • Provide sidewalks on both sides of the street with boulevard improvements (HJCRC & HJNL) • Provide off-street pathway system if possible to minimize walking distances (HJCRC & HJNL) • Provide curb extensions where applicable to reduce crossing distances (HJCRC & HJNL) • Provide amenities in the pedestrian realm (HJCRC & HJNL)
Cycling Strategies	<ul style="list-style-type: none"> • Provide cycling facilities leading to, adjacent to and on site (HJCRC & HJNL) • Provide end of trip cycling facilities such as bike racks, storage facilities, maintenance area (HJCRC & HJNL) • Provide bicycle maps and wayfinding signage (HJCRC & HJNL)
Transit Strategies	<ul style="list-style-type: none"> • Provide funding for improvement to adjacent bus stops and potential widening of Lonsdale Avenue for an exclusive bus lane (HJCRC & HJNL) • Exchange last month's bus pass for a free visit to the Recreation Centre (HJCRC)
Parking Management	<ul style="list-style-type: none"> • Overflow Parking Plan and consideration for Parking Pricing (HJNL) • Employee Pay Parking, Shared Parking, and Unbundle Parking (HJNL) • Protect existing residential parking through permits (HJNL)
Car Share	<ul style="list-style-type: none"> • Provide car share stalls in close proximity or within the site (HJCRC & HJNL) • Provide initial car share membership fee for each residential unit (HJNL) • Offer car-share memberships for employees (either free or subsidized rate) (HJCRC & HJNL)

5-Year Post Construction Conditions (2030)

The improvements implemented in the Opening Day horizon are expected to sustain the acceptable traffic operation in the 2030 horizon, however, the traffic delays at intersections along Lonsdale Avenue are expected to worsen with the additional traffic growth. As such, intersections along Lonsdale Avenue such as Lonsdale Avenue and 21st Street should be monitored for potential addition of exclusive left turn lanes if applicable. As traffic patterns may change by this horizon, signal coordination along Lonsdale Avenue should be re-examined for improved traffic flow.

Summary of Recommendations

Based on the findings of the study, the following summary of recommendations are proposed to accommodate the development of HJCRC and HJNL developments:

- Intersection Improvements at the following intersections before Opening Day horizon:
 - Highway 1 Interchange Ramps (Traffic Signal Optimization)
 - Chesterfield Avenue & 23rd Street (Lane Configuration Changes)
 - Lonsdale Avenue & 23rd Street (Lane Configuration Changes)
 - St. Georges Avenue & 23rd Street (Lane Configuration Changes)
- Monitor operations at following intersections for potential improvements in Long Term horizon:
 - Lonsdale Avenue & 21st Street (Lane Configuration Changes)
 - Signal Coordination along Lonsdale Avenue with Transit Signal Priority
- Construct 23rd Street corridor between Lonsdale Avenue and St. Georges Avenue to accommodate on-street bike lanes and Green Necklace Trail.
- Construct a mid-block pedestrian crossing on 23rd Street with half-signal.
- Seek opportunity to shorten cycle length and remove unnecessary signal phases to reduce pedestrian wait times at signalized intersections during vehicular off-peak hours.
- Implement curb extensions and zebra crossings to improve pedestrian safety within the study area.
- Consider transit priority treatments along Lonsdale Avenue intersections and potential widening to accommodate bus lanes.
- Implement the recommended Transportation and Parking Demand Management measures to reduce vehicle use and encourage alternative transportation modes.

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8633

A Bylaw to amend “Official Community Plan Bylaw, 2014, No. 8400”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Official Community Plan Bylaw, 2014, No. 8400, Amendment Bylaw, 2018, No. 8633**” (Darwin Properties / Perkins + Will, 123-125 East 23rd Street, 2160 Lonsdale Avenue, 144 East 22nd Street, 2300 Lonsdale Avenue and 116 East 23rd Street, Development Permit Guidelines, Land Use Designation Change and Height Limit Increase).
2. Section 2.5 “Development Permit Areas” is hereby amended by inserting a new Development Permit Area as follows:

HJ - Harry Jerome Neighbourhood Lands	(e), (f), (h), (i), (j)	To guide the form and character of mixed use development on the Harry Jerome Neighborhood Lands in alignment with the Sustainable City Framework in the Official Community Plan. Development will enhance the public realm, support energy conservation, water conservation and the reduction of greenhouse gas emissions.	As shown on Schedule D in Appendix 1.0.
----------------------------------------------	-------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------

3. Schedule A “Land Use” is amended by:
 - A. Reclassifying the following properties:

Lots	Block	D.L.	Plan
A of Lot 1	207	545	11876
B of Lot 1	207	545	11876

From Parks, Recreation & Open Space and Mixed Use Level 2 to “Mixed Use Level 2” as indicated in Schedule A;

- B. Revising the maximum building heights as indicated in Schedule A.

4. Schedule D “Development Permit Areas” is amended by the addition of the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines, which shall apply to the following lands and as indicated in Schedule D:

Lots	Block	D.L.	Plan
A of Lot 1	207	545	11876
B of Lot 1	207	545	11876
1	207	545	LMP17639
C	207	545	15014

The Closed Part of Eastern Avenue in Reference Plan 8308 of Lot 2 Block 207
District Lot 545 Plan 5481;

Road to CD-703 as Shown on Schedule 140 of the CD-703 Zone.

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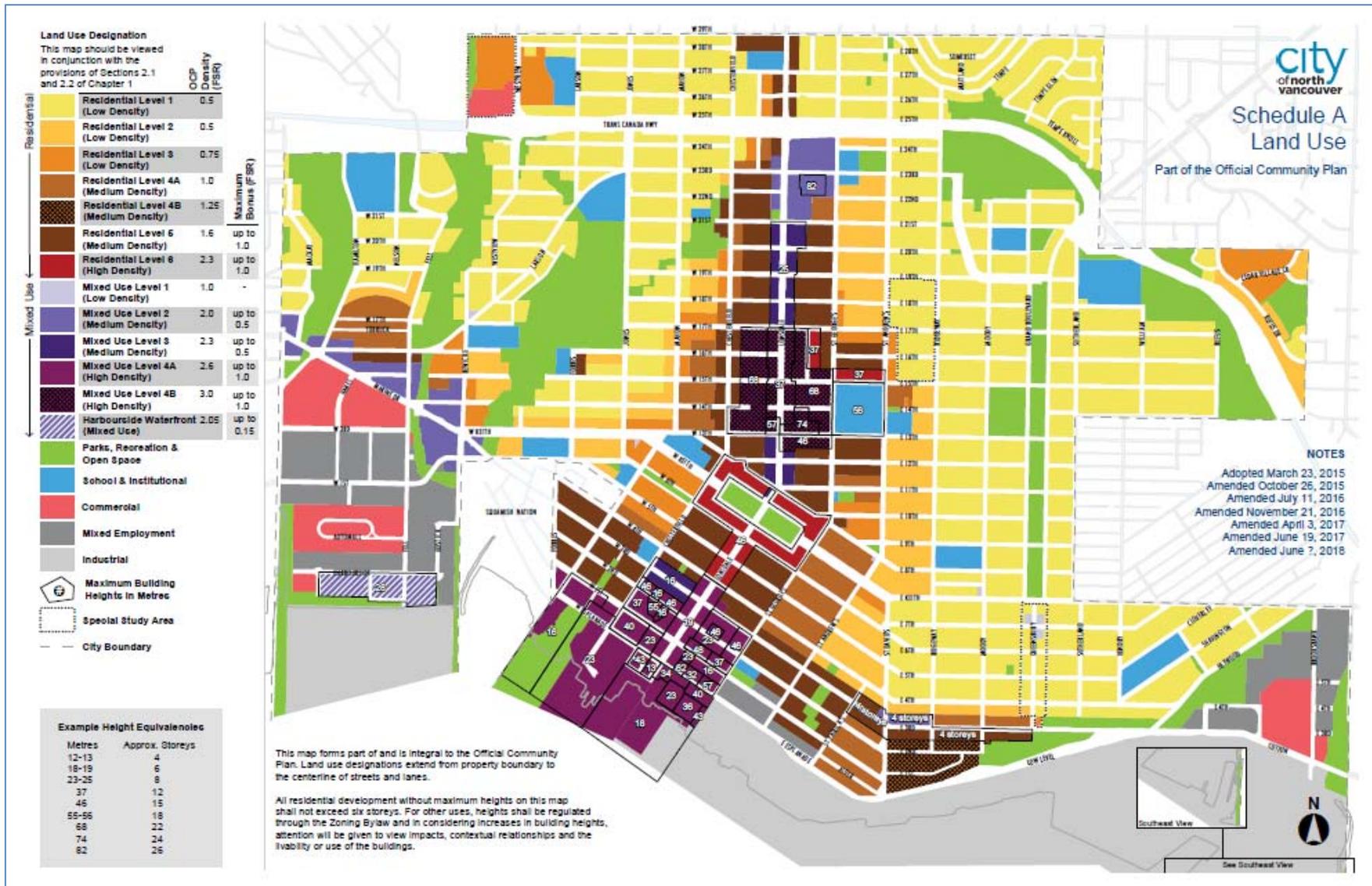
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MAYOR

CITY CLERK

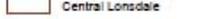


Schedule D
Development Permit
Areas
Part of the Official Community Plan

NOTES

Adopted March 23, 2015
Amended April 3, 2017
Amended June 7, 2018

Legend

-  Stream
-  City Boundary
-  Park
- Development Permit Areas**
 -  Streamside Protection and Enhancement
 -  Central Lonsdale
 -  East 3rd Street Area
 -  Harbourside Waterfront
 -  Harry Jerome Neighbourhood Lands
 -  Marine Drive
 -  The Shipyards
 -  Potential Hazard Lands (Steep Slope and Flood-Prone)

This map contains Area-Based Development Permit Areas only. See Chapter 1 for Category Specific Development Permit Areas.

Properties not identified by the Streamside Protection and Enhancement Development Permit Area may be required to provide a top of bank or top of ravine land survey as part of a development application. The applicant will require a Streamside Development Permit if new structures or landscape changes are within proscribed proximities to sensitive lands.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8634

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8634**” (**City of North Vancouver, 2300 Lonsdale Avenue and 116 East 23rd Street, CD-165 Text Amendment**).
2. DIVISION VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-165 (Comprehensive Development 165 Zone):

Lots	Block	D.L.	Plan	
B	216	545	11875	from P-1.

3. Part 11 of DIVISION V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Deleting the Comprehensive Development Zone 165 (CD-165) and replacing it as follows:

COMPREHENSIVE DEVELOPMENT 165 ZONE

(Lots A and B, Block 216, D.L. 545, Plan 11875, CENTENNIAL THEATRE, 2300 Lonsdale Avenue, 116 E 23rd Street, NORSEMAN PARK, from P-1 Public Use and Assembly 1 Zone)

- (1) In the CD-165 Zone, permitted uses, regulations for permitted uses, regulations for the size, shape and siting of buildings and structures and required off-street parking shall be as in the P-1 Zone, except that the permitted principal uses shall include a Licensed Liquor Facility holding a Liquor Primary Licence.
- (2) The permitted Gross floor Area shall be 2.5 times the lot area.
- (3) The permitted Gross Floor Area, excluding exemptions shall be known as “Transferrable Density” and may be developed on-site or off-site on a “Recipient Site” through a density transfer. Density transfers shall be recorded in Schedule 141, which is an integral part of this Bylaw;

- (4) Part 10 of Division IV is varied such that a minimum of three Loading Spaces are required.

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ADOPTED on the <> day of <>, 2018.

MAYOR

CITY CLERK

CD-165**Text Amendment**

Amending Bylaw No. 8634

SCHEDULE 141

Page 1 of 1

TITLE: TRANSFERABLE DENSITY RECORD

The following table records the density assignment for 2300 Lonsdale and 116 East 23rd Street (The "Donor Site"), which is zoned CD-165. As per Section 1 of the CD-165 Zone, the maximum density within the CD-165 Zone is 2.5 times the lot area (27,700 sq. m. / 298,160 sq. ft.). This table maintains a record of any residual density on Donor Site and density (Gross Floor Area) transferred to Recipient Sites through rezoning.

Donor Site	A. Total CD-165 Permitted Gross Floor Area (2.5 FSR)	B. On-site Built Gross Floor Area	C. Residual Site Density (A – B)
2300 Lonsdale and 116 East 23 rd Street	69,250 sq. m.	- 2,703 sq. m. (Centennial Theatre)	66,547 sq. m.

RECORD OF DENSITY TRANSFER

Recipient Sites Approved Through Density Transfers	Transferred Gross Floor Area	Zoning Amendment Bylaw #	Remaining Residual Density on Site (Donor Site)

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8635

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8635” (Darwin Properties / Perkins + Will, 123-125 East 23rd Street, 2160 Lonsdale Avenue, and 144 East 22nd Street, CD-703).**
2. DIVISION VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-703 (Comprehensive Development 703 Zone):

Lots	Block	D.L.	Plan
A of Lot 1	207	545	11876
B of Lot 1	207	545	11876
1	207	545	LMP17639
C	207	545	15014

The Closed Part of Eastern Avenue in Reference Plan 8308 of Lot 2 Block 207 District Lot 545 Plan 5481;

Road to CD-703 as Shown on Schedule 140 (page 3);

from P-1.

3. DIVISION VII: DEVELOPMENT PERMIT GUIDELINES is hereby amended by:
 - A. Adding the following text to the list of adopted Guidelines:

“H: Harry Jerome Neighbourhood Lands Development Permit Area Guidelines”
 - B. The “Harry Jerome Neighbourhood Lands Development Permit Area Guidelines”, attached to this Bylaw, will form part of and be integral to “Zoning Bylaw, 1995, No. 6700”.
4. Part 9 of DIVISION IV: Parking and Loading Standards of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following Residential Use and Parking Space Requirement to Figure 9-3 in Section 908:
 - (1) “Residential Care Facility – Required Number of Spaces: 0.3 spaces per Dwelling Unit”.
5. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, after the designation “CD-702 Comprehensive Development 702 Zone”:

“CD-703 Comprehensive Development 703 Zone”

- B. Adding the following to Section 1101, after the “CD-702 Comprehensive Development 702 Zone”:

“CD-703 Comprehensive Development 703 Zone”

In the CD-703 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of the Buildings and Structures and required Off-Street Parking shall be as per C-1A Zone, except as provided in the CD-703 Zone.

For the purposes of this Bylaw, the CD-703 Zone shall be divided into ‘Sites’ as described on Schedule 140.

- (1) Subject to the regulations contained in this Bylaw, the following Principal and Accessory Uses and no others shall be permitted in the CD-703 Zone:

(a) On Site A, permitted uses shall be as in the P-1 Zone;

(b) On Sites B and D, permitted uses shall be as follows:

i. Apartment Residential Use, subject to Section 423:

- a. Accessory Home Occupation Use, subject to Sections 507(5), (6) and (7) of this Bylaw;
- b. Accessory Off-Street Parking Use;
- c. Accessory Home Office Use;
- d. Accessory Non-Commercial Social and Recreation Facilities;
- e. Accessory Lock-Off Unit Use subject to subsection 507(14);

ii. Rental Apartment Residential Use:

- a. Accessory Home Occupation Use subject to section 507(5), (6) and (7) of this bylaw;
- b. Accessory Off-Street Parking Use;
- c. Accessory Home Office Use;
- d. Accessory Non-Commercial Social and Recreation Facilities;
- e. Accessory Lock-Off Unit Use subject to subsection 507(14);

iii. Retail-Service Group 1A Use:

- a. Accessory Apartment Use subject to Section 607(1) of this Bylaw;
- b. Accessory Off-Street Parking Use;
- c. Accessory Off-Street Loading Use;

iv. Retail-Service Group 1 Use, except this use shall not be permitted within ground level commercial units:

- a. Accessory Apartment Use subject to Section 607(1) of this Bylaw;
- b. Accessory Off-Street Parking Use;

- c. Accessory Off-Street Loading Use;
 - v. Residential Care Facility Use:
 - a. Accessory Off-Street Parking Use;
 - vi. Child Care Use, subject to Section 507(4) of this Bylaw:
 - a. Accessory Off-Street Parking Use;
 - vii. Off-Site Parking Use;
 - viii. Off-Street parking Use;
- (c) On Site C:
 - i. Apartment Residential Use, subject to Section 423:
 - a. Accessory Home Occupation Use, subject to Sections 507(5), (6) and (7) of this Bylaw;
 - b. Accessory Off-Street Parking Use;
 - c. Accessory Home Office Use;
 - d. Accessory Non-Commercial Social and Recreation Facilities;
 - e. Accessory Lock-Off Unit Use subject to subsection 507(14);
 - ii. Rental Apartment Residential Use:
 - a. Accessory Home Occupation Use subject to section 507(5), (6) and (7) of this bylaw;
 - b. Accessory Off-Street Parking Use;
 - c. Accessory Home Office Use;
 - d. Accessory Non-Commercial Social and Recreation Facilities;
 - e. Accessory Lock-Off Unit Use subject to subsection 507(14);
 - iii. Child Care Use, subject to Section 507(4) of this Bylaw:
 - a. Accessory Off-Street Parking Use;
 - iv. Off-Site Parking Use;
 - v. Off-Street Parking Use;
- (2) Section 607(1)(a) Accessory Apartment Use location, shall be varied to permit a Residential Use on the second floor;
- (3) Density:
 - (a) The combined Gross Floor Area (GFA) for Sites A, B, C and D shall not exceed 2.5 times the Lot Area (for a total maximum GFA of 73,139 m²);
 - (b) The combined commercial area for Sites B and D must exceed a minimum of 9,100 m²;
 - (c) The Rental Apartment Residential Use area on Sites B and C must exceed a minimum of 9,300 m²;
- (4) Principal Buildings shall comply with the setbacks indicated on Schedule 140;

- (5) Section 610(5)(c) is varied to apply to portion of Principal Buildings exceeding six Storeys;
- (6) Sections 610(6) and 510(3) "Building Width and Length" are waived;
- (7) Section 510(3) Unit Separation shall be waived;
- (8) Section 610(1) is varied to permit multiple Principal Buildings per Lot;
- (9) Height:
 - (a) Building Heights shall not exceed 23.3 m except that up to two Buildings on Site D may be built to a maximum Building Height of 81.5 m;
 - (b) Mechanical rooms, ventilating machines, elevator over-runs, mechanical screening, architectural appurtenances, and stair access to a maximum Height of 6.40 m (21.0 ft.);
- (10) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, 10A and 11 of this Bylaw;
- (11) Unit mix within the Accessory Apartment Use and Apartment Residential Use, and Rental Apartment Residential Use will conform to the following:
 - (a) A minimum of 10% of units will be under 51 sq. m. (549 sq. ft.);
 - (b) A minimum of 6% of units will be 3 bedrooms;
- (12) Refuse storage containers shall be readily accessible for pick-up and for users and shall be screened on all sides and shall not be located in required manoeuvring aisles, driveways, Loading Spaces or Parking Spaces;
- (13) Sections 608 and 609 shall not apply;
- (14) All exterior finishes, design and landscaping shall be reviewed by the Advisory Design Panel in compliance with the Harry Jerome Neighbourhood Lands Development Permit Area Guidelines;

- (15) Regulations of “Sign Bylaw, 1992, No. 6363” shall be varied to the extent that signage with regard to size, material, location and illumination shall be consistent with the Signage Design Package approved by the Director of Planning.

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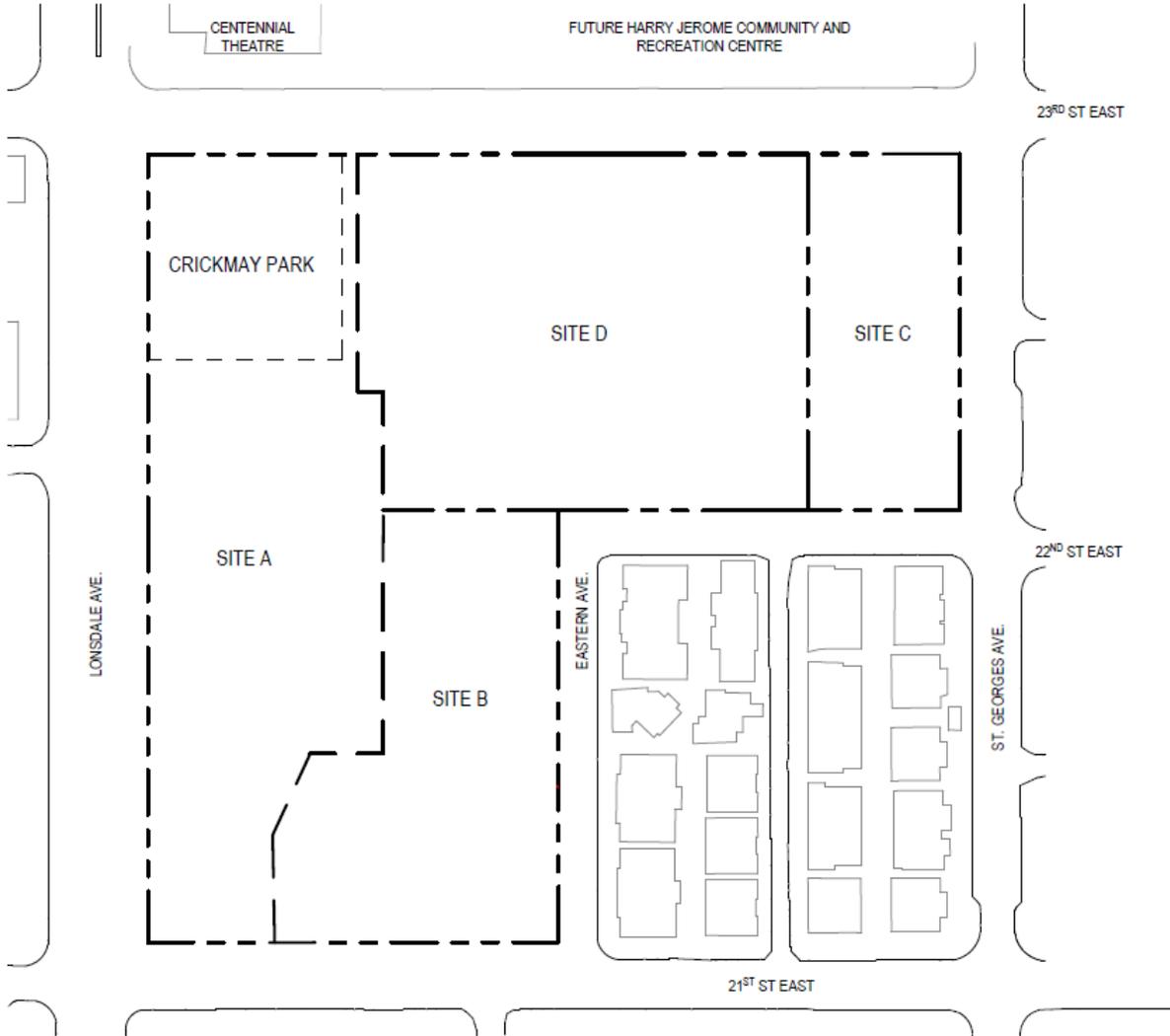
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MAYOR

CITY CLERK

SITES



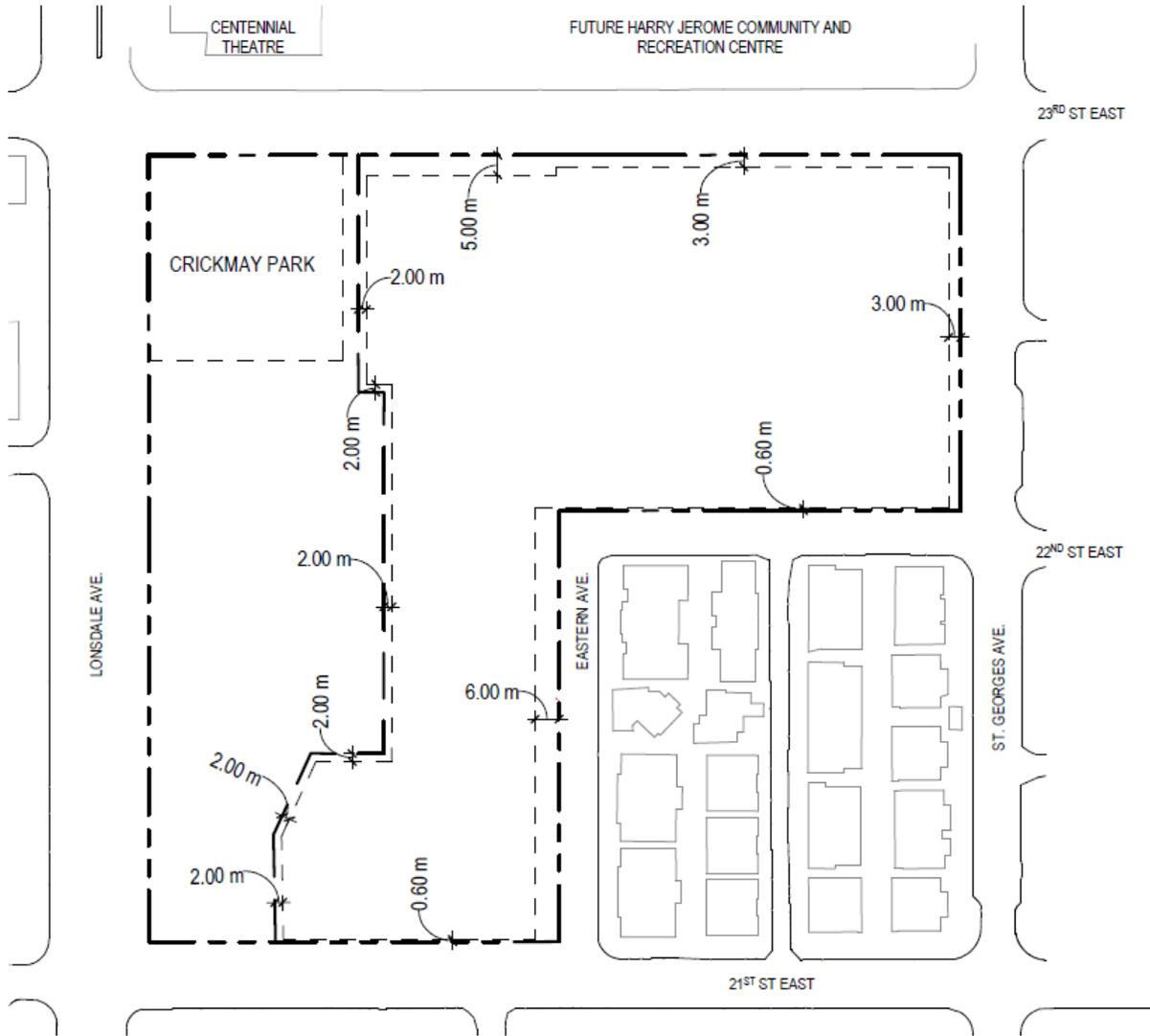
LEGEND

- PROPERTY LINE
- PARK BOUNDARY

SCALE



SETBACKS



LEGEND

- PROPERTY LINE
- PARK BOUNDARY
- - - SETBACKS

SCALE



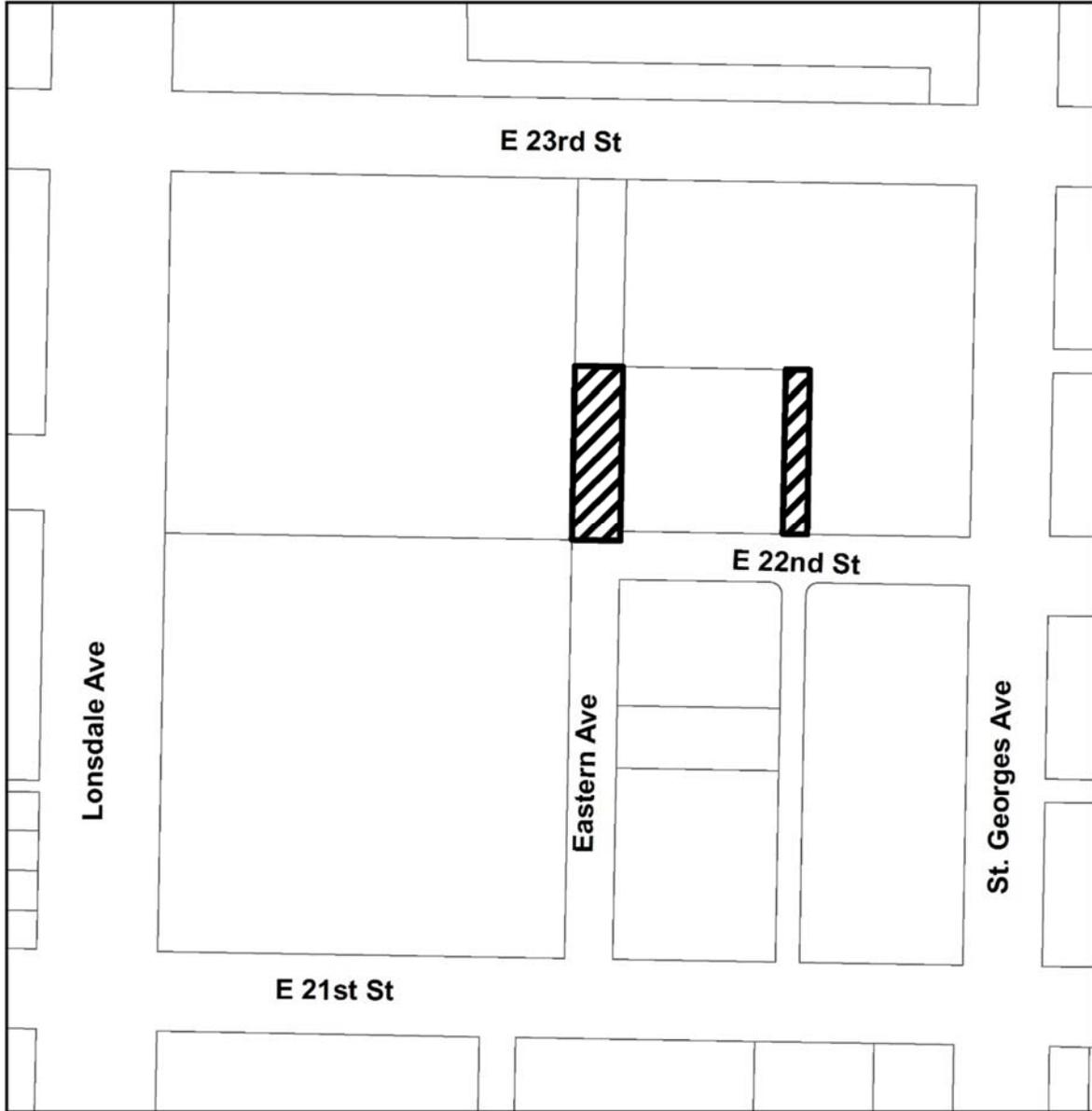
CD-703

Amending Bylaw No. 8635

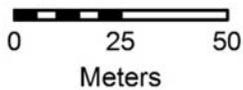
SCHEDULE 140

Page 3 of 3

ROAD TO CD-703



 Road to CD-703





Harry Jerome Neighbourhood Lands

Development Permit Area Guidelines



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Part I: General Regulations

1.1 Introduction

The Harry Jerome Neighbourhood Lands Development Permit Area boundary and justification is described in Section 2.5 of the Official Community Plan. These guidelines are to be read in conjunction with the Zoning Bylaw.



Figure 1. Harry Jerome Neighbourhood Lands Development Permit Area boundaries



LEGEND

KEY CALLOUTS

1. Crickmay Park
2. Public Park
3. Green Necklace
4. The Mound

-  Main Building Access
-  Secondary Building Access
-  Parking Access

Figure 2. Conceptual Site Plan and Key Elements

The City designates Development Permit Areas (DPAs) with accompanying Guidelines to provide Council and staff with the ability to shape development beyond what is possible through policy or zoning regulations. This DPA is intended to shape development of the Harry Jerome Neighbourhood Lands to help deliver a high-quality environment for people in the City of North Vancouver through multifamily and commercial development which has: 1) form of development, character and open space design of high quality; 2) conservation of energy; 3) conservation of water; and 4) reduction of greenhouse gas emissions.

Where land has been designated by the City of North Vancouver as a Development Permit Area (DPA), the landowner or lessee must first be issued a Development Permit by the City before developing the land. In accordance with Section 489 of the Local Government Act, RSBC 2015, c 1, land within a DPA must not be subdivided, and construction of, addition to, or alteration of a building or other structure must not be commenced, until the landowner or lessee obtains a development permit.

These Development Permit Guidelines (the “Guidelines”) are to be considered as part of development proposals on the site and in conjunction with any zoning provisions and development covenant(s) for the Harry Jerome Neighbourhood Lands area. The issuance of a Development Permit must be in accordance with all applicable Guidelines.

1.2 Submission Requirements

Every application for a Development Permit must be accompanied by relevant development information in the form prescribed by the City. This information includes, but is not limited to:

- 1) Plans demonstrating:
 - a. the proposed location of all buildings and structures by use;
 - b. the proposed siting of parking areas, and mobility networks and access (walking, bikes, cars, transit);
 - c. the extent and nature of existing and proposed landscaping, including indications of trees to be maintained or proposed to be planted;
 - d. the proposed character, materials and colour of buildings, roofs and open spaces;
 - e. location of exterior lighting;
 - f. an indication of proposed location, number and type of signage;
 - g. an emergency response plan that includes: locations of emergency response points, locations of Fire Department Siamese connections, location of existing and proposed hydrants, clear widths of streets, and access points to parkades.
- 2) Preliminary engineering site plans, including a Preliminary Stormwater Management Strategy.
- 3) Description of the how the development will comply with the City's:
 - a. energy performance requirements and sustainability goals;
 - b. adaptable design requirements;
 - c. community amenities requirements associated with that particular phase of the development as outlined within the legal agreements on title;
- 4) A summary report outlining transportation management plans;
- 5) A synopsis of design intent indicating how the proposal meets the objectives of the overall community, as well as the role it plays in its specific site location in relation to the precinct characteristics; and
- 6) A Public Art Plan

The landowner or lessee is required to provide a checklist or statement indicating how their proposal complies with the Guidelines. Where some element of the design does not comply with a Guideline, a justification describing the divergence and the reason must be provided.

At Development Permit stages, the City will require security to ensure the installation and maintenance of landscaping in compliance with the Guidelines. All Development Permit applications must include a professional landscape plan prepared by a Landscape Architect (BCSLA).

1.3 Exemptions

Notwithstanding the designation of an area as a DPA, the Local Government Act provides that conditions may be specified under which a development permit is not required. In the Harry Jerome Neighbourhood Lands DPA, a development permit is not required in the case of:

- A subdivision which consists of a parcel line adjustment or consolidation where no additional lots are created;
- A subdivision for park purposes;
- An internal alteration (a change or extension in the interior of a building relating to any matter or thing regulated by the B.C. Building Code) that does not substantially change the current use previously approved through a DPA;
- Temporary buildings or structures that are erected either for offices for construction or marketing purposes for a period that is not expected to exceed the duration of such construction;
- Minor external renovations to existing buildings which do not significantly alter the footprint or exterior character of the building (at the discretion of the Director of Planning);
- Accessory buildings and structures which do not result in a change to the parking configuration;
- Road or utility works or landscaping within a dedicated road right of way or strata road; and/or
- Green space or trail improvements.

1.4 Amendments

A Development Permit amendment may be required for minor amendments to Development Permits already issued and registered on title, at the discretion of the Director of Planning.

Part II: Conservation Guidelines

2.1 Objective

The mixed-use development of the Harry Jerome Neighbourhood Lands shall make an important contribution to the City's current and future needs of the community with a holistic approach in alignment with the OCP's Sustainable City Framework including Natural Systems, Physical Structures/Infrastructure, Local Economy, Human Potential, Social Connections and Cultural Diversity.

2.2 Energy Conservation and Reduction of Greenhouse Gas Emissions

- 1) All Buildings will be constructed to achieve a minimum of Step 3 of the BC Energy Step Code for Part 3 Buildings and Step 4 of the Step Code for Part 9 Buildings. Best efforts will be used to augment energy performance beyond this required level, with demonstrated measures incorporated to ensure the project achieves industry leading levels of energy efficiency;
- 2) Work with Lonsdale Energy Corporation to reduce carbon intensity beyond typical construction in the City for equivalent buildings through the district energy system;
- 3) Use efficient pumps, heat pumps, fans and mechanical equipment.
- 4) Provide enhanced commissioning.
- 5) Within site constraints, develop building siting, form, and scale to minimize interference with view corridors or solar access for existing or anticipated development, and shadowing impacts on adjacent residential buildings and usable open spaces. Include sun/shade diagrams of the subject development and the surrounding properties at the following times:
 - a. March 21: 10 am, 12 noon, 2 pm
 - b. June 21: 10 am, 12 noon, 2 pm
- 6) Design landscaping to provide solar access in winter, and in summer shading of afternoon sun and management of the urban heat island effect. While retaining as many existing healthy trees as practical on the site, plant deciduous trees and landscaping and/or provide shading devices on southern and western exposures to reduce undesired solar gain in summer and filter solar heat and light in the summer.
- 7) Use light coloured roofs, sidewalks, plazas, greenways and paths to reduce the urban heat island effect.
- 8) Integrate courtyards and greenways into the design to allow direct sunlight penetration.

- 9) Maximize daylight penetration by locating windows high on walls or by using clerestories and light shelves. To limit solar gain in summer months, external solar shading (e.g. recessed balconies, overhangs, and louvers), should be considered, especially on the south and west elevations of buildings. Balance the benefits of reducing solar gains in summer with the benefit of increasing solar gains in the winter by taking advantage of the different seasonal sun angles which can be evaluated through energy modeling.
- 10) Provide enhanced building control systems such as the installation of smart automation technologies such as timers or occupancy sensors, and programmable thermostats.
- 11) Use Energy Star appliances.
- 12) Use high efficiency exterior private realm lighting, such as LEDs, and direct and shade lighting to minimize light pollution and maximize energy service. Energy efficient motion or photo-sensitive technologies should be considered, along with safety and security considerations.
- 13) Provide energy conservation, operation and maintenance information to tenants and residents.
- 14) Reduce water usage with water efficient fixtures and fittings.
- 15) Consider providing energy and water monitoring and metering systems.
- 16) Improve occupant health by reducing or eliminating indoor air pollutants through the choice of healthy building materials.
- 17) Commit to diversion of construction waste per prevailing City policy.
- 18) Establish and implement an appropriate recycling and composting framework to ensure minimum waste production from the community.

2.3 Water Conservation

Developments are required to construct—and to report on—stormwater management works treating water from roads and laneways. This infrastructure must be designed to include allowances for climate change in accordance with the City's Subdivision and Development Control Bylaw.

- 1) Reduce stress on existing stormwater infrastructure and protect aquatic ecosystems in order to keep urban watersheds clean, by designing the landscape with sufficient permeable surfaces and native species that will reduce or eliminate runoff.
- 2) On-site stormwater infrastructure (detention ponds, bioswales, etc.) should be addressed on site and located on private (leased) land outside of dedicated park space. Where this proves impractical to achieve, maintenance of such infrastructure shall be the responsibility of the lessee/strata corporation, and secured through a covenant. A performance requirement will be required from the developer and future strata corporation.
- 3) Reduce or eliminate the need for irrigation by designing the landscape with drought-resistant native species.
- 4) Retain as many existing healthy trees as practical on the site.

- 5) Minimize impervious surfaces through use of the following materials:
 - a. pavers, placed stone or river rock for tree surrounds and areas with infrequent pedestrian use;
 - b. extensive groundcover and planters over parkades; and
 - c. permeable paving for walkways, driveways, exterior courtyard driveways and surface parking, particularly where stormwater discharge into on-site infiltration facilities is not practical.
- 6) Incorporate on-site landscaping infiltration strategies including:
 - a. finish grading comprised of topsoil or composted waste;
 - b. engineered rock pits and soil cells; and
 - c. visible features such as rain gardens or linked bioswales.
- 7) Minimize hard surface pathways to only those providing access to dwelling units, common outdoor space and on-site service infrastructure.
- 8) Consider active and/or passive green roofs to reduce the impact of increased building lot coverage on stormwater runoff and urban heat island effect.

2.4 Transportation Demand Management

- 1) Provide a range of emission-free mobility options including bike sharing, dedicated spots for car sharing and carpools.

Part III: Form & Character Guidelines

3.1 Objective

Along with development of the adjacent new Harry Jerome Community Recreation Centre, the mixed-use development of the Harry Jerome Neighbourhood Lands aims to create a vibrant urban community, anchoring the northern end of the Lonsdale Corridor and enhancing the pedestrian experience along Lonsdale Avenue. Development of the Harry Jerome Neighbourhood Lands aims to create an attractive urban environment with a mix of retail, office and diverse residential uses that serve to animate and enhance public spaces and amenities in this precinct.

Specific form and character objectives:

- Ensure that the form and character of residential, multi-family, mixed use and other development is a desirable, attractive addition to the City of North Vancouver; and
- Ensure that development delivers desirable public realm, landscaping, exterior design and finish of buildings and structures at each phase of development.

3.2 Site Planning



Legend

- 1. Crickmay Park
- 2. Public Park
- 3. Green Necklace
- 4. The Mound

Figure 3. Conceptual Illustration of Focal Points and Gathering Places

- Guideline 3.2.1 Animate the overall site by creating open spaces and gathering nodes that foster socializing, recreation and play, and that incorporate public art.
- Guideline 3.2.2 Incorporate open spaces as site organizing features.
- Guideline 3.2.3 Locate and orient a minimum 0.9 ha public park along Lonsdale Avenue spanning between 21st and 23rd streets.
- Guideline 3.2.4 Connect adjacent areas by pedestrian and bicycle paths to create a walking and cycling friendly addition to the neighbourhood.
- Guideline 3.2.5 Accommodate the Green Necklace, serving both cyclists and pedestrians, diagonally across the site, from the southwest corner of Lonsdale Avenue at 21st Street northeast to a midblock pedestrian crossing at 23rd Street.
- Guideline 3.2.6 Respond to the sloping site topography by ensuring that the Green Necklace is accessible along its entire length, with a gradient of no more than 5%.
- Guideline 3.2.7 Provide public pedestrian pathway access into the park along the east-west alignment of 22nd Street and the north-south alignment of Eastern Avenue.
- Guideline 3.2.8 Provide secondary pedestrian pathway accesses into and across the site as determined by use, and connect these to key nodes, while preserving large open space areas.



Figure 4. Key Site Connections Created and Preserved Through Building Height, Siting and Orientation

- Guideline 3.2.9** Retain as many existing, healthy trees as practical across the entire site. Where mature existing trees are required to be removed, indicate where replanting will occur, providing space within the development for new significant trees. Retain all healthy trees on the west side of the site. Provide a tree retention plan, identifying trees that will be retained.
- Guideline 3.2.10** Refer to the City's arborist's report on recommendations for removal of large trees. Trees shall be replaced at a replacement ratio of 3:1. New tree planting regime should be of sufficient standard to ensure that new trees will grow. This includes minimum standards for caliper size, soil volume, etc.

3.3 Building Envelope

- Guideline 3.3.1** Building siting and orientation should respond to the siting and orientation of the new Harry Jerome Community Recreation Centre, and maintain visual connections between the HJCRC and the new park.
- Guideline 3.3.2** A maximum of two towers (any building over 6 storeys in height) will be permitted on the site.
- Guideline 3.3.3** The towers shall be located towards the north end of the site, with building heights decreasing across the site towards the south.
- Guideline 3.3.4** A minimum separation distance of 30.48 m (100 ft.) should be maintained between the extreme corners of towers that are directly opposite one another. A minimum separation distance of 24.38m (80 ft.) will be considered provided the towers are sufficiently offset to minimize overlook and direct views into each other. Refer to Fig. 5 below.

Figure 5

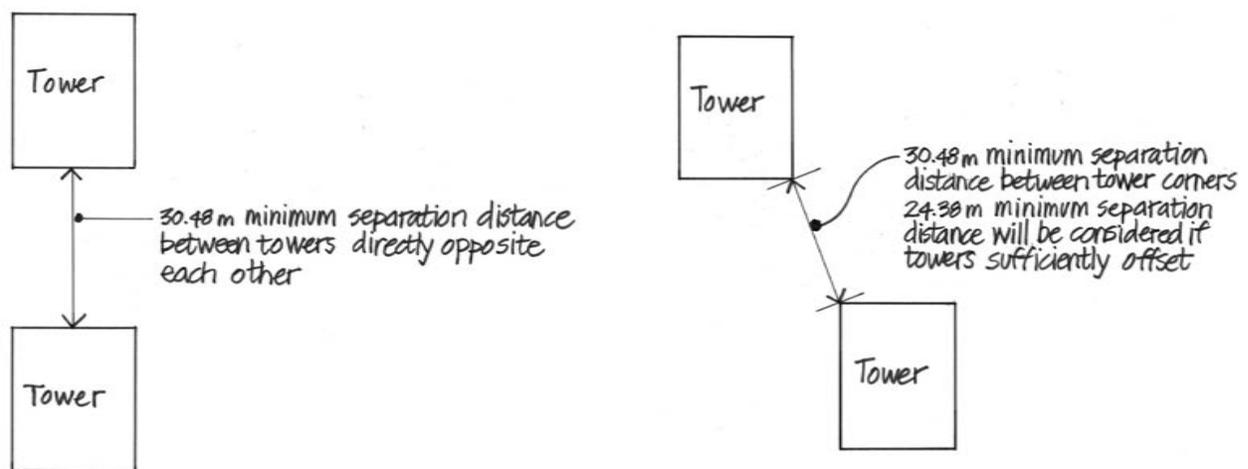


Figure 5. Minimum separation distances between towers

- Guideline 3.3.5** A minimum separation distance of 6.7 m (22 ft.) should be maintained between the lower (ground and second) floors of buildings that are directly opposite each other.
- Guideline 3.3.6** Optimize minimum separation distances between floors above the second floor of buildings that are directly opposite each other, in order to reduce privacy overlook and maximize sunlight penetration.
- Guideline 3.3.7** Taller buildings should employ passive solar controls, in order to reduce energy consumption, and should be oriented to optimize daylight access to public and private spaces, reduce shadowing across the future Harry Jerome Community Recreation Centre to the north, and maximize public views to and from the HJCRC, the North Shore Mountains to the north and Burrard Inlet to the south and west.
- Guideline 3.3.8**
Figure 6 The maximum floor plate dimension, exclusive of balconies, in any one direction of portions of buildings exceeding 6 storeys in height should be approximately 35.0 m (115 ft.), to reduce the bulk and massing of towers. Refer to Fig. 6 below.

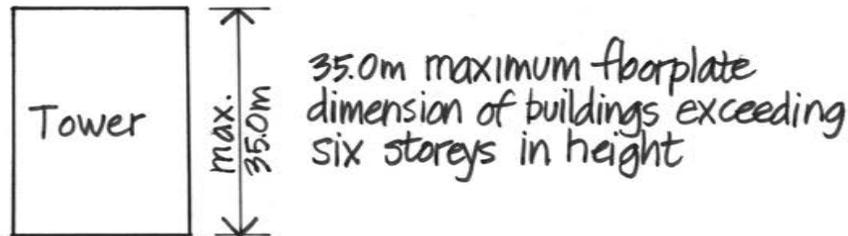


Figure 6. Maximum floorplate dimension for taller buildings

- Guideline 3.3.9** Tower footprints should be articulated to support and help define the urban realm. This means building edges that frame and align with adjacent pathways and open spaces.
- Guideline 3.3.10**
Figure 7 A minimum setback of 2.1 m (7 ft.) from the property line facing any street is required for all residential buildings. This minimum setback shall be increased to 6.0 m (20 ft.) for all buildings fronting onto Eastern Avenue, in order to minimize shadowing and scale impacts of such buildings on the existing neighbouring townhouses across Eastern Avenue. Refer to Fig. 7 below.
- Guideline 3.3.11**
Figure 7 Further minimize shadowing and scale impacts of new buildings on the existing neighbouring townhouses on Eastern Avenue by terracing/stepping back upper building floors, breaking up long building facades into smaller discrete sections that reflect the scale of existing built forms opposite, and extensive landscaping to screen new buildings. Refer to Fig. 7 below.

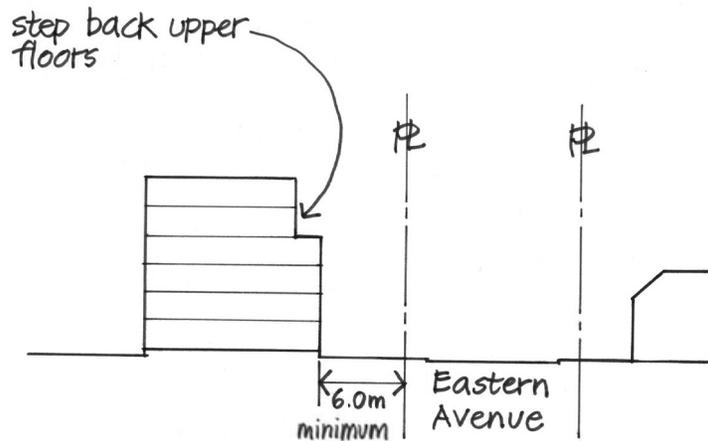


Figure 7. Setback and step back of buildings facing Eastern Avenue

Guideline 3.3.12
Figure 8

A minimum setback of 0.6 m (2 ft.) from the property line facing any street is required for all ground floor commercial/retail use buildings, to help accommodate outdoor commercial displays, signage and/or seating. Refer to Fig. 8 below.

Guideline 3.3.13

Building siting and orientation should help to clearly define and animate the public realm. This means low-rise and mid-rise residential buildings should address surrounding streets with direct individual unit access at grade facing the street where practical. It also means retail commercial uses should be directly visible and accessible from the street.

Guideline 3.3.14
Figure 8

Building edges should frame and follow the alignment of the edge of the new park and Green Necklace. Buildings should be set back a minimum of 3.6 m (12 ft.) from the eastern edge of the Green Necklace. Refer to Fig. 8 below.

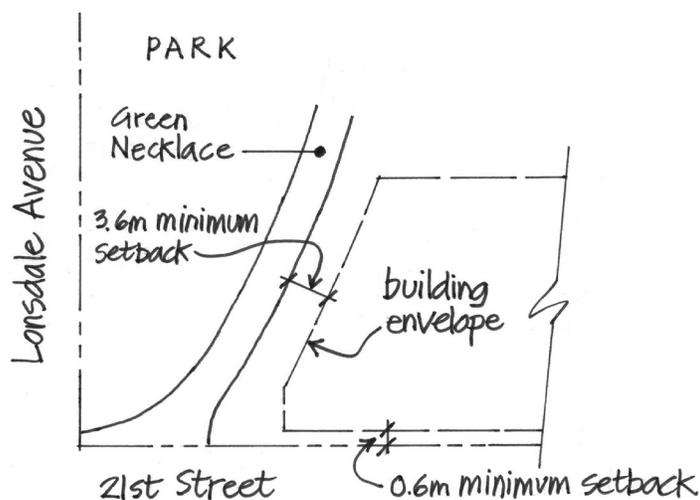


Figure 8. Building setbacks to park, Green Necklace, and streets

Guideline 3.3.15
Figure 9

Buildings with commercial uses (e.g. grocery stores, restaurants, coffee shops, etc.) at grade facing the new park and Green Necklace and/or streets should incorporate active, transparent ground floor facades providing visibility into commercial interiors from the park and Green Necklace and/or adjacent streets. This guideline targets a minimum glazing area of approximately 75% of the total facade length for commercial frontages facing the park and/or adjacent streets. Predominantly opaque, translucent or blank facades facing the park and/or adjacent streets are not permitted. Tenants shall not block windows and must maintain their transparency. Refer to Fig. 9 below.

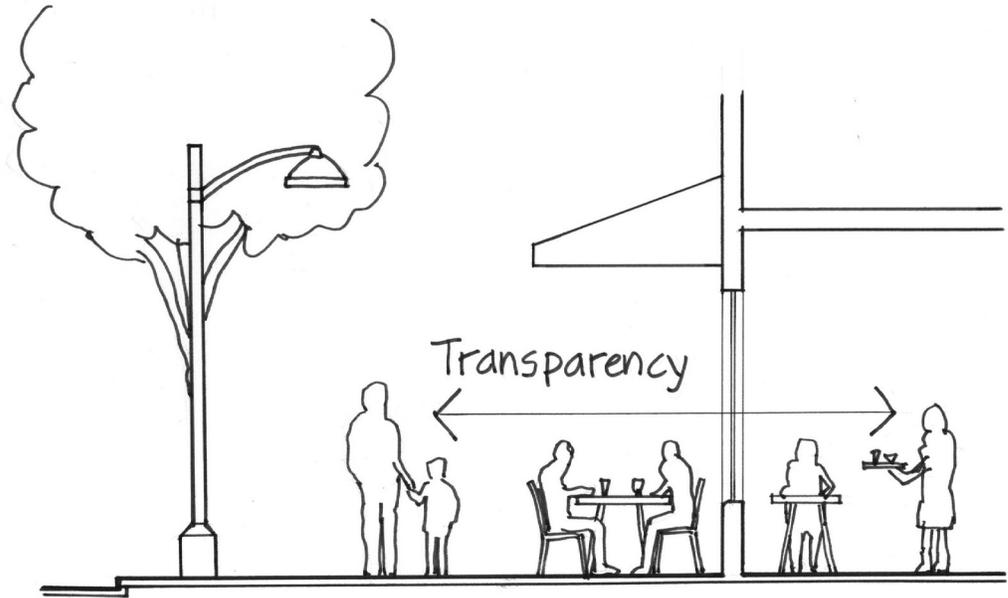
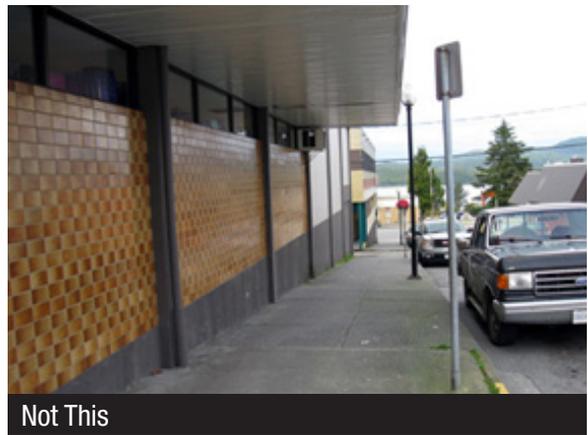


Figure 9. Active, transparent ground floor facades for commercial buildings, with visibility into interiors from the park and/or adjacent streets



- Guideline 3.3.16** Provide fixed weather protection extending at least 1.5 m (5 ft.) out for pedestrians on all commercial frontages. Such protection should be located at a height that optimizes weather protection while ensuring adequate serviceability.
- Guideline 3.3.17** An appropriate floor to floor height of approximately 4.26 m (14 ft.) should be provided for all ground floor commercial space, which may vary depending on specific uses.
- Guideline 3.3.18** In order to achieve a desirable streetscape and to communicate a pedestrian scale, any building over 61 m (200 ft.) in length should have a ground floor break, or a setback that meets the following minimum standards:
- 7.3 metre (24 ft.) length of the building frontage that includes the midpoint of the building frontage;
 - 3.6 metre (12 ft.) depth from the building face;
 - building program variation to emphasize this separation through the location of lobby, common amenity areas, visual permeability and/or active design elements; and
 - design variation to emphasize this separation through a physical breezeway through the building, or changes in setback from the Front Lot Line, materiality and facade elements.
- Guideline 3.3.19** Ground floor residential units in low-rise buildings should contribute to residential identity and neighbourhood vitality, by having direct front door access from the street where practical, and being designed to provide “eyes on the street.”
- Guideline 3.3.20**
Figure 10 Ground floor residential units facing a street should be raised a minimum of 0.6 m (2 ft.) above adjacent grade, to provide for a clear separation of public and private realms and enhance “eyes on the street”. Refer to Fig. 10 below.
- Guideline 3.3.21**
Figure 10 Transitional private and semi-private spaces between buildings and public open space should be clearly defined. Where practical, ground floor street-facing residential units should have steps up to a private front porch to provide this transition. Refer to Fig. 10 below.

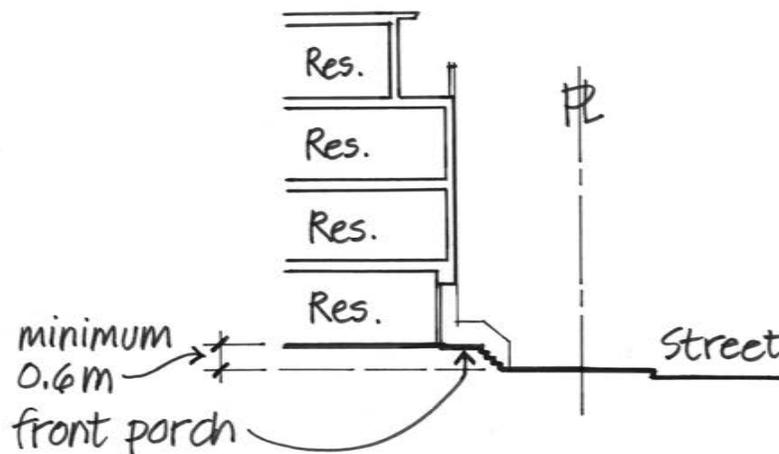


Figure 10. Ground floor residential units facing a street raised a minimum of 0.6 m with steps to a front porch

Guideline 3.3.22 At-grade units facing a public park or semi-private open space should have direct access to such open space and parks, and be gently stepped to grade, for the enjoyment of families with children.

Guideline 3.3.23 Site buildings to maximize opportunities for creating usable, well-integrated private open spaces for residents.



Figure 11. Building Form Plan Diagram

3.4 Building Design

Guideline 3.4.1 Strive for design excellence by employing contemporary architectural expression, with a family of varied yet related forms. Contemporary architectural expression means, in this context, clean, simple built form massing and building profiles; predominantly flat roofs; extensive use of contemporary materials such as concrete, glass, aluminum and wood; contemporary facades that are free of visual clutter; and avoiding ornate and traditional design elements such as trim associated with single-family housing.

Guideline 3.4.2 Towers should be designed to be distinctive, yet clearly part of an overall shared expression.

Guideline 3.4.3 Towers should be designed with a distinct expression of the base, middle and top.

Guideline 3.4.4
Figure 12

The northernmost tower should be designed as an iconic, distinctive vertical building form that acts as a landmark gateway to the Lonsdale Corridor from the north. This can be achieved by employing a unique, distinctive footprint and floorplate shape, and use of such design strategies as curved, angled or faceted facades, exterior vertical design elements, stepping/terracing towards the top, a distinctive roof profile and/or mast, a distinctive exterior materials palette with more than one colour, and exterior feature lighting. Refer to Fig. 12 below.

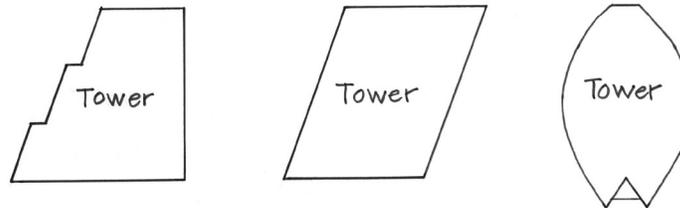
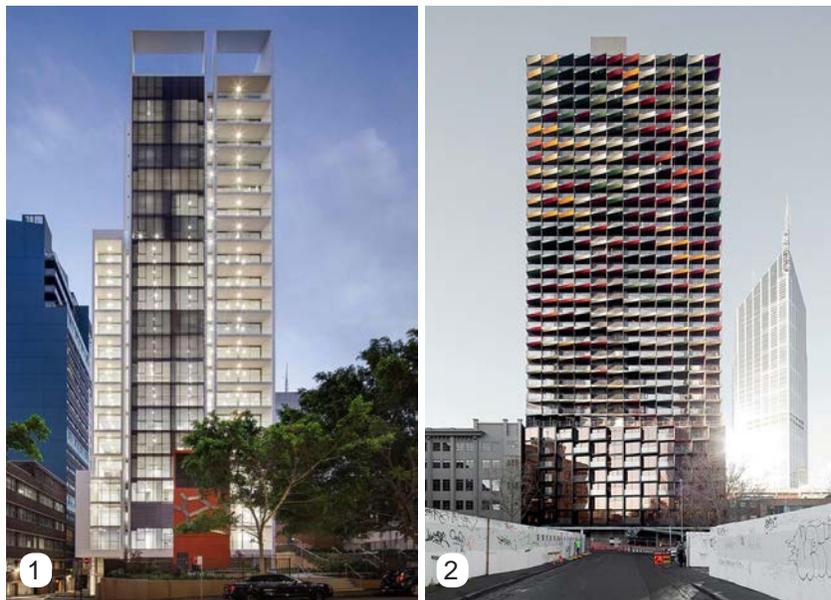


Figure 12. Distinctive floorplate shape options for northernmost landmark tower



Examples of iconic, distinctive residential towers

- 1. *Aspire Apartments*
- 2. *A'Beckett Tower*

Sydney, Australia (source: Marchese Partners)
Melbourne, Australia (source: Elenberg Fraser)

Guideline 3.4.5

Authentic, high quality, durable and regionally available exterior materials should be used. Materials such as HardiPlank, stucco and vinyl siding are not allowed.

Guideline 3.4.6

Durable and distinctive weather protection should be provided at residential lobbies, along commercial frontages, and above all entries.



Durable and distinctive weather protection features

Guideline 3.4.7 Roof forms of high-rise buildings should contribute to a distinctive skyline. Mechanical units and equipment should be screened.

Guideline 3.4.8 Facade treatments should respond appropriately to solar orientation, with sunscreens, recesses, overhangs, etc., to minimize direct sunlight, and with smaller window areas facing north to minimize winter heat loss. Fenestration materials and envelope design should meet current best practices for retaining heat (i.e. C values).



High-rises with distinctive roof forms

Guideline 3.4.9 Balconies, solar controls, overhangs, roof decks, rooftop appurtenances and other architectural elements should fit with the overall building expression.

Guideline 3.4.10 Generally, all dwelling units should have directly accessible and usable private space, in the form of patios, balconies, Juliet balconies, sliders with railings, terraces or roof decks.

Guideline 3.4.11 Design balconies to maximize usability and comfort, with an approximate minimum depth of 1.5 m (5 ft.).

Guideline 3.4.12 Avoid designs which increase the apparent visual mass of a tower (e.g. wrap around balconies).



Examples of well-designed, usable balconies

Guideline 3.4.13 Publicly-accessible roofs on concrete buildings should be designed to contribute to the social life of residents with opportunities for passive enjoyment, through combinations of extensive greenery and gathering spaces.

Guideline 3.4.14 Explore opportunities for incorporating greenery as a defining element of building designs above the ground level wherever possible in order to soften the appearance and ensure all residents have visual access to greenery, which could include integrated planters, green wall systems, trellises, vines, etc.

Guideline 3.4.15 Building corners facing a street should be accentuated through the use of architectural details, massing, and other design expression.

Guideline 3.4.16 Design private open spaces to increase livability in the neighbourhood by balancing the need for privacy with the desire for vibrancy and public activity.



Greenery as an element of above-ground building design



Accentuated building corner design expression facing the street

3.5 Open Space and Access

- Guideline 3.5.1** Ensure rights-of-way are acquired for adequate sidewalk, boulevard, roadway and drop-off space along East 23rd Street.
- Guideline 3.5.2** Accommodate the Green Necklace diagonally across the site, from the southwest corner of Lonsdale Avenue at 21st Street northeast to 23rd Street.
- Guideline 3.5.3** The Green Necklace should include separated and parallel pedestrian and cycle routes.
- Guideline 3.5.4** The Green Necklace should be universally accessible, with a gradient of no more than 5%.
- Guideline 3.5.5** Include an east-west public pedestrian route and visual axis from St. George's Avenue to the park, along the 22nd Street alignment (north side of the street).
- Guideline 3.5.6** Include a north-south public pedestrian route from 23rd Street to 21st Street along the Eastern Avenue alignment (west side of the street).
- Guideline 3.5.7** Incorporate a public plaza fronting 23rd Street facing the new Harry Jerome Community Recreation Centre entrance. If retaining is required between the plaza and the adjacent park to the west, consider seat walls or other ways to improve connection between these areas.



Conceptual illustration of the Green Necklace Network across the Neighbourhood Lands

- Guideline 3.5.8** The public plaza should have at-grade active uses such as retail and/or commercial to animate the space.
- Guideline 3.5.9** Provide a new at-grade pedestrian crosswalk across 23rd Street. The specific location of this crosswalk will be determined through a City-led technical exercise.
- Guideline 3.5.10** Provide landscaped transition areas between private open spaces (including ground floor residential patios) and public park space. If grade changes are required, retaining walls are to be accommodated on private property.
- Guideline 3.5.11** To facilitate an appropriate transition between public and private open spaces, avoid the use of large blank retaining walls adjacent to public areas through effective terracing that responds to site topography.



Examples of effective terracing in response to site topography

- Guideline 3.5.12** For public-private open space interface between street-facing residential buildings, wherever practical a minimum 1.2 m (4 ft.) landscaped area should adjoin the street with limited hardscape, such as paths, stairways, retaining walls, decks and porches.
- Guideline 3.5.13** Incorporate urban agriculture/community gardens for residents either on roofs or in private open space, where practical.



Examples of landscaped public-private open space interfaces

Guideline 3.5.14 Fences within required front, rear or exterior side lot setback should be:

- (a) visually open;
- (b) no greater than 1.2 m (4 ft.) in height, where possible;
- (c) when upslope from the street defining the setback, the maximum fence height should be measured from the lowest finished grade within 0.5 m (1.6 ft.), where possible; and
- (d) integrated with landscaping through use of trellises, planted screens and low hedges, where possible.

Guideline 3.5.15 Planting should be drought resistant and pollinator friendly.

3.6 Circulation and Parking

Guideline 3.6.1 No parking garage entrances will be permitted off Lonsdale Avenue or 23rd Street.

Guideline 3.6.2 No above-grade parking structures will be permitted.

Guideline 3.6.3 All required on-site parking is to be contained within site boundaries. No underground parking will be permitted beneath streets or park area;

Guideline 3.6.4 Parking garage layouts and access should take into account development phasing;

Guideline 3.6.5 Location of parking entrances to underground parking structures must mitigate the impacts of motor vehicles on pedestrians and the public realm.

Guideline 3.6.6 Parking entrances must be integrated into the buildings or landscape, and exposed walls and soffits must be architecturally treated and/or screened.

Guideline 3.6.7 Sight visibility requirements must be met at parkade entrances to ensure safety for vehicles and pedestrians, while also screening such entrances as noted in 3.6.16.

Guideline 3.6.8 Clearance at garage entrances must be able to accommodate the largest commercial vehicle accessing any internal loading bay, and have a minimum clearance height of 2.134m (7 ft.).

Guideline 3.6.9 Residential parking access, loading and service areas are encouraged to be shared by adjacent commercial uses.

Guideline 3.6.10 Consideration may be given to reducing the required residential and commercial parking below the amounts required under the Zoning Bylaw, including through the shared use of parking stalls between commercial and visitors, provided that:

- the decrease can be justified based on a parking demand study;
- means of meeting anticipated parking demand have been identified (e.g. the availability of parking in a nearby facility); and,
- means of reducing anticipated parking demand have been identified (e.g. the availability of high level public transit service).

Guideline 3.6.11 Provide separate and secure parking for each residential building with direct vertical access to each main building entrance.

- Guideline 3.6.12** Pool visitor parking for residential and commercial buildings where possible.
- Guideline 3.6.13** Include clearly identified visitor parking. Consider short term retail parking regulations and/or fees, to encourage a high turnover of users.
- Guideline 3.6.14** Incorporate preferential parking for carpool and car share to encourage alternative modes of transportation.
- Guideline 3.6.15** Parkade entries should have clear and effective wayfinding signage and incorporate CPTED strategies to create safe, secure areas for users.
- Guideline 3.6.16** Parking garage ramps and/or loading entrances should be unobtrusive and deeply recessed, screened, or incorporated into the building in a manner that contributes to the attractiveness of the streetscape and minimizes the impact on the public realm.
- Guideline 3.6.17** All residential parking spaces shall feature an energized outlet capable of providing charging to the parking space with the following specifications:
- Energized outlets shall be labeled for their intended use for electric vehicle charging;
 - Where an electric vehicle energy management system is implemented, the Director of Planning may specify a minimum performance standard to ensure a sufficient rate of electric vehicle charging;
 - Energized outlets shall meet applicable established minimum performance standards in place at the time of development.



Recessed parking garage ramp



Electrical vehicle charging station

3.7 Safety and Accessibility

- Guideline 3.7.1** Apply principles of Crime Prevention Through Environmental Design (CPTED) to create safe, secure and pleasant buildings and open spaces accessible to people of all abilities.
- Guideline 3.7.2** Encourage casual surveillance and “eyes on the street,” through the placement of windows, balconies and active street-level uses. Avoid blank, windowless walls.

- Guideline 3.7.3** Take into account the following factors to design urban spaces which people feel safe to use:
- Lighting (designed to maximize visibility of faces and minimize glare);
 - Sightlines (ability to see the route ahead, and to observe open spaces from buildings);
 - Entrapment Spots (avoid small areas shielded on three sides);
 - Movement Predictors (avoid unchangeable routes or paths which offer no choice to pedestrians);
 - Visibility by Others (design for seeing and being seen);
 - Wayfinding is clear and universally accessible; and
 - Sense of Ownership (linked with responsive space management and participatory design; fits with the features of street-facing layouts, well-defined access, through routes and well-used public spaces).
- Guideline 3.7.4** Consider ‘visitability’ access for all residences. Consider additional adaptive features for ‘aging in place’ and universal accessibility.
- Guideline 3.7.5** Create universally accessible public and private spaces that consider all users such as people with disabilities, the elderly, parents with strollers, and young children.
- Guideline 3.7.6** Accommodate people of all abilities by ensuring that pedestrian routes and access points are fully accessible to people with limited mobility (including those with strollers), with a minimum clear width of 2 m (6.5 ft.).
- Guideline 3.7.7** Create spaces that are inclusive of all people by integrating seamless grade changes (wide and accessible ramps) into overall circulation routes (i.e. without use of separate ramps).
- Guideline 3.7.8** Avoid the use of “stramps” or ramps with drop-offs to stairs, which are a hazard to wheelchair users and the blind and partially sighted.
- Guideline 3.7.9** Integrate high contrast colours and design elements as well as legible tactile surfaces at key wayfinding points and design elements (including stairs and intersections), in order to address the needs of the blind and partially sighted.
- Guideline 3.7.10** Consider the impact on all users when designing outdoor flooring and paving materials. High contrast patterns and painted designs can be disorienting to blind and partially sighted pedestrians, and pavers or paving with frequent expansion joints are uncomfortable for people using mobility devices.
- Guideline 3.7.11** Include two let-downs at intersections for improved directionality and other standard designs where possible, such that streetscapes and the public realm can be “read” and understood by people who are visually impaired.
- Guideline 3.7.12** Where appropriate, consider physically separated paths between different modes of travel.
- Guideline 3.7.13** Avoid slip hazards by applying maintenance guidelines that incorporate best practices for surface cleaning (with regard to leaf / snow removal), or consider planting evergreen trees instead of deciduous trees in proximity to major pedestrian pathways.



Examples of usable outdoor seating

- Guideline 3.7.14** Encourage seating with backrests in publicly accessible areas. A minimum seat depth of 40 cm should be provided for seats without backrests or with backrests less than 30 cm high. A minimum seat depth of 35 cm should be provided for seats with backrests at least 30 cm high.
- Guideline 3.7.15** Accessible parking spaces should be located as close to the main entrances of buildings as possible.
- Guideline 3.7.16** Identify strategic locations for mid-block mountable curbs in order to improve site access for people using mobility devices.
- Guideline 3.7.17** Landscaping along the sidewalk should be strategically located so as to not restrict movements by mobility device users exiting their vehicles.