



AGENDA FOR THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON MONDAY, JUNE 5, 2023 AT 6:00 PM

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

The City of North Vancouver acknowledges that this Council meeting is held on the traditional territories of the Squamish and Tsleil-Waututh Nations.

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, June 5, 2023

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, May 15, 2023

PUBLIC INPUT PERIOD

CONSENT AGENDA

Item *3 is listed in the Consent Agenda for consideration.

BYLAW – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964”
(The Wallace Venue Corp., 125 Victory Ship Way, CD-393)

REPORTS

4. UBCM Community Emergency Preparedness Fund Grant Application
– 2023 Public Notification and Evacuation Route Planning
5. Dedication of City Lands (Lot 1 Blocks 29 and 33 District Lot 272 Plan 16125)
as Highway

BYLAW – FIRST, SECOND AND THIRD READINGS

6. “Highways Establishing Bylaw, 2023, No. 8975” (Dedication of Lot 1 in the
1000-1200 Block of Cotton Road as Road)

REPORTS

7. Zoning Bylaw Amendment for 259 East 23rd Street (David laquinta / Cobblestone Homes Ltd.)
8. Zoning Bylaw Amendment for 115 West Esplanade (Rising Tides Consulting / MONOVA)

NOTICE OF MOTION

9. Amendments to Election Bylaw Supporting Citizen Engagement
– Councillor Valente

PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICE OF MOTION

ADJOURN

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, June 5, 2023

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, May 15, 2023

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.” The time allotted for each speaker addressing Council during the Public Input Period is 2 minutes, with the number of speakers set at 5 persons. Speakers’ comments will be audio recorded, as well as live-streamed on the City’s website, and will form part of the public record.

Speakers may only speak on the same matter once in a 3-month period.

Speakers during the Public Input Period are permitted to join the meeting in person in the Council Chamber or electronically via Webex. There are 2 ways to sign up to speak during the Public Input Period.

- 1) **IN PERSON:** Speakers who choose to participate in person must sign the speaker list located outside the Council Chamber between 5:30 and 5:55pm on the day of the Council meeting.
- 2) **ELECTRONICALLY VIA WEBEX:** Speakers who choose to participate electronically must pre-register by 12:00 noon on the day of the Council meeting by completing the online form at cnv.org/PublicInputPeriod, or by phoning 604-990-4230. These pre-registrants will receive instructions by email or phone on the afternoon before the Council meeting.

If a speaker has written material to accompany their comments, the material must be sent to the Corporate Officer at clerks@cnv.org no later than 12:00 noon on the day of the Council Meeting.

The Public Input Period provides an opportunity for comment only and places the speaker’s concern on record, without the expectation of a response from Council. Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items as listed in section 12.25(2).

Speakers are requested not to address matters that refer to items from a concluded Public Hearing/Public Meeting or to Public Hearings, Public Meetings and Committee meetings when those matters are scheduled on the same evening’s agenda, as an opportunity for public input is provided when the particular item comes forward for discussion.

Please address the Mayor as “Your Worship” or “Mayor, followed by his/her surname”. Councillors should be addressed as “Councillor, followed by his/her surname”.

CONSENT AGENDA

Item *3 is listed in the Consent Agenda for consideration.

RECOMMENDATION:

THAT the recommendation listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAW – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964”
(The Wallace Venue Corp., 125 Victory Ship Way, CD-393)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964”
(The Wallace Venue Corp., 125 Victory Ship Way, CD-393) be adopted, signed
by the Mayor and Corporate Officer and affixed with the corporate seal.

END OF CONSENT AGENDA

REPORTS

4. UBCM Community Emergency Preparedness Fund Grant Application
– 2023 Public Notification and Evacuation Route Planning
– File: 14-7130-01-0001/2023

Report: Director, North Shore Emergency Management, May 23, 2023

RECOMMENDATION:

PURSUANT to the report of the Director, North Shore Emergency Management,
dated May 23, 2023, entitled “UBCM Community Emergency Preparedness Fund
Grant Application – 2023 Public Notification and Evacuation Route Planning”:

THAT the application submitted to the UBCM Community Emergency
Preparedness Fund (CEPF), under the stream of 2023 Public Notification and
Evacuation Route Planning for the North Shore Evacuation Plan and Exercise in
the amount of \$90,000, be endorsed;

AND THAT the District of North Vancouver, in partnership with North Shore
Emergency Management (NSEM), be authorized to manage the project and
funds.

REPORTS – Continued

5. Dedication of City Lands (Lot 1 Blocks 29 and 33 District Lot 272 Plan 16125) as Highway – File: 11-5330-20-0064/1

Report: Project Manager, May 24, 2023

RECOMMENDATION:

PURSUANT to the report of the Project Manager, dated May 24, 2023, entitled “Dedication of City Lands (Lot 1 Blocks 29 and 33 District Lot 272 Plan 16125) as Highway”:

THAT fencing owned by CN Rail, to be placed within an encroachment area of approximately 45.9 square metres of the newly dedicated City-owned highway, subject to CN Rail entering into an encroachment agreement with the City, be permitted;

THAT “Highways Establishing Bylaw, 2023, No. 8975” (Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road) be considered;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

BYLAW – FIRST, SECOND AND THIRD READINGS

6. “Highways Establishing Bylaw, 2023, No. 8975” (Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road)

RECOMMENDATION:

THAT “Highways Establishing Bylaw, 2023, No. 8975” (Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road) be given first, second and third readings.

REPORTS

7. Zoning Bylaw Amendment for 259 East 23rd Street (David Iaquina / Cobblestone Homes Ltd.) – File: 08-3400-20-0086/1

Report: Planner 1, May 24, 2023

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated May 24, 2023, entitled “Zoning Bylaw Amendment for 259 East 23rd Street (David Iaquina / Cobblestone Homes Ltd.)”:

THAT the application submitted by David Iaquina / Cobblestone Homes Ltd., to rezone the property located at 259 East 23rd Street from a RS-1 Zone to a CD-750 Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the section “Community Benefits” be secured, through agreements at the applicant’s expense and to the satisfaction of staff.

8. Zoning Bylaw Amendment for 115 West Esplanade (Rising Tides Consulting / MONOVA) – File: 08-3400-20-0091/1

Report: Planner 1, May 24, 2023

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated May 24, 2023, entitled “Zoning Bylaw Amendment for 115 West Esplanade (Rising Tides Consulting / MONOVA)”:

THAT the application submitted by Rising Tides Consulting / MONOVA, to amend the CD-671 Zone for the property located at 115 West Esplanade, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

NOTICE OF MOTION

9. Amendments to Election Bylaw Supporting Citizen Engagement
– File: 09-4200-01-0001/2023

Submitted by Councillor Valente

RECOMMENDATION:

WHEREAS a key priority of the City of North Vancouver is to be a city for people that is welcoming, inclusive, safe, accessible and supports the health and well-being of all;

WHEREAS achieving this priority depends on ensuring public engagement in all aspects of local government, including all candidates' meetings where the community can learn more about local election candidates;

WHEREAS only 22.64% of eligible City of North Vancouver voters participated in the 2022 municipal election;

AND WHEREAS the City of North Vancouver seeks and encourages public participation in the democratic process and has created physical spaces like Library Plaza and the Shipyards Commons that can support public discourse, enhance community connectedness and, therefore, participation in our community's local government;

THEREFORE BE IT RESOLVED THAT staff be directed to evaluate options to:

1. Amend "Election Sign Bylaw, 2018, No. 8643" that regulates election signs to allow for election signs to be placed in areas that seek to encourage public discourse, including Shipyards Commons and Library Plaza;
2. Evaluate additional locations for the placement of election signage;
3. Review the grant application regarding stipend values available to community associations and organizations to encourage All Candidates' Meetings during municipal election times.

PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICE OF MOTION

ADJOURN



**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, MAY 15, 2023**

PRESENT

COUNCIL MEMBERS

Acting Mayor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor J. McIlroy
Councillor S. Shahriari
Councillor T. Valente

ABSENT

Mayor L. Buchanan

STAFF MEMBERS

L. McCarthy, CAO
K. Graham, Corporate Officer
J. Peters, Acting Deputy Corporate Officer
B. Pearce, Deputy CAO / Director, Strategic and Corporate Services
R. Skene, Deputy Director, Strategic and Corporate Services
L. Sawrenko, Chief Financial Officer
H. Granger, City Solicitor
K. Magnusson, Director, Engineering, Parks and Environment
D. Hutch, Deputy Director, Parks and Public Spaces
M. Kwaterska, Manager, The Shipyards and Waterfront
S. Galloway, Director, Planning and Development
T. Ryce, Chief Building Official
R. Basi, Manager, Development Planning
R. de St. Croix, Manager, Long Range and Community Planning
L. Maultsaid-Blair, Development Planner
M. Menzel, Development Planner
B. van der Heijden, Development Planner
J. Robertson, Acting Director, Community and Partner Engagement
S. Smith, Manager, Economic Development
P. Duffy, Manager, Bylaw Services
E. Doran, Director, People and Culture
C. Nichols, Manager, Human Resources
J. Roy, Manager, Civic Facilities
C. Bulman, Committee and Records Clerk
T. Huckell, Administrative Assistant

The meeting was called to order at 6:00 pm.

APPROVAL OF AGENDA

Moved by Councillor Girard, seconded by Councillor McIlroy

1. Regular Council Meeting Agenda, May 15, 2023

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Shahriari, seconded by Councillor Valente

2. Special Regular Council Meeting Minutes, May 8, 2023

CARRIED UNANIMOUSLY

PROCLAMATION

Acting Mayor Back declared the following proclamation:

International Day Against Homophobia, Transphobia and Biphobia – May 17, 2023
– read by Councillor Girard

PUBLIC INPUT PERIOD

- McGregor Wark, 455 East 6th Street, North Vancouver, spoke in support of Item 9 – Rezoning Application for 1536-1550 Eastern Avenue.

CONSENT AGENDA

Moved by Councillor Bell, seconded by Councillor Valente

THAT Item 3 be removed from the Consent Agenda and the remaining recommendation listed within the Consent Agenda be approved.

CARRIED UNANIMOUSLY

START OF CONSENT AGENDA

BYLAW – ADOPTION

- *4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753)

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

(CARRIED UNANIMOUSLY)

END OF CONSENT AGENDA

CORRESPONDENCE

3. Board in Brief, Metro Vancouver Regional District, April 28, 2023
– File: 01-0400-60-0006/2023

Re: Metro Vancouver – Board in Brief

Moved by Councillor Bell, seconded by Councillor Valente

THAT the correspondence from Metro Vancouver, dated April 28, 2023, regarding the “Metro Vancouver – Board in Brief”, be received and filed.

CARRIED UNANIMOUSLY

BYLAWS – FIRST, SECOND AND THIRD READINGS

5. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393)

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393) be given third reading.

CARRIED UNANIMOUSLY

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761)

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761) be given third reading.

CARRIED UNANIMOUSLY

7. “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments)

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments) be given third reading.

CARRIED UNANIMOUSLY

MOTION

8. Development Variance Permit No. PLN2023-00001 (1253 Sutherland Avenue)
– File: 08-3400-20-0110/1

Moved by Councillor McIlroy, seconded by Councillor Girard

THAT Development Variance Permit No. PLN2023-00001 (1253 Sutherland Avenue) be issued to Suzanne McLarty and Kelly Ann McKibbin, in accordance with Section 498 of the *Local Government Act*,

AND THAT the Mayor and Corporate Officer be authorized to sign Development Variance Permit No. PLN2023-00001.

CARRIED UNANIMOUSLY

PRESENTATION

The Shipyards 2023 Programming – Manager, The Shipyards and Waterfront

The Manager, The Shipyards and Waterfront, and Deputy Director, Parks and Public Spaces, provided a PowerPoint presentation regarding “The Shipyards 2023 Programming” and responded to questions of Council.

REPORT

9. Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)
– File: 08-3400-20-0094/1

Report: Planner 2, May 3, 2023

Moved by Councillor Bell, seconded by Councillor Shahriari

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and referred to a Public Hearing, in accordance with the *Local Government Act*,

THAT notification be circulated in accordance with the *Local Government Act*,

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of the report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

DEFEATED

Acting Mayor Back, Councillor Girard and Councillor McIlroy are recorded as voting in opposition to the motion.

Continued...

REPORT – Continued

9. Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)
– File: 08-3400-20-0094/1 – Continued

Moved by Councillor Girard, seconded by Councillor McIlroy

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*,

THAT notification be circulated in accordance with the *Local Government Act*,

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of the report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

CARRIED

Councillor Bell and Councillor Shahriari are recorded as voting in opposition to the motion.

PUBLIC CLARIFICATION PERIOD

Nil.

COUNCIL INQUIRIES / REPORTS

Nil.

NEW ITEMS OF BUSINESS

Nil.

NOTICE OF MOTION

Nil.

RECESS TO CLOSED SESSION

Moved by Councillor Valente, seconded by Councillor Girard

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Section 90(1)(c) [labour relations].

CARRIED UNANIMOUSLY

The meeting recessed to the Committee of the Whole, Closed Session, at 7:13 pm and reconvened at 7:24 pm.

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

10. Labour Relations Matter – File: 01-0560-20-0001/2023

Report: Manager, Human Resources, May 8, 2023

Moved by Councillor McIlroy, seconded by Councillor Bell

PURSUANT to the report of the Manager, Human Resources, dated May 8, 2023, regarding a labour relations matter:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the wording of the recommendation and the report of the Manager, Human Resources, dated May 8, 2023, remain in the Closed session.

CARRIED UNANIMOUSLY

ADJOURN

Moved by Councillor Bell, seconded by Councillor Valente

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:25 pm.

“Certified Correct by the Corporate Officer”

CORPORATE OFFICER

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8964

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964**” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393).
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by the following changes to the Comprehensive Development 393 (CD-393) Zone:
 - A. Subsection (3) in reference to Parcels 9 and 10, is hereby amended to include the following use in bold:

“(3) The following uses and no others shall be permitted:

On Parcels 9 and 10: [Bylaw 8493, July 25, 2016]

- Waterfront Commercial Use, including a Use located in a Mobile Cart
- Secondary Waterfront Commercial Use. A Secondary Waterfront Commercial Use shall only be permitted above the main floor.
- Pier Commercial Use
- Hotel Use, including an accessory Liquor Primary Licence (Lounge) Use
- **Liquor Primary Licensed event-hosting venue limited to one 728.4 square meter (7,840 square feet) unit located at the third/uppermost floor of the northwest building block on Parcel 9**
- Civic Use
- Child Care Use, subject to Section 607 (9)
- Accessory Off-Street Loading Use
- Accessory Off-Street Parking Use
- Off-Street Parking Use
- Off-Site Parking Use”

READ a first time on the 15th day of May, 2023.

READ a second time on the 15th day of May, 2023.

READ a third time on the 15th day of May, 2023.




ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
NORTH SHORE EMERGENCY MANAGEMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emily Dicken, Director, North Shore Emergency Management

Subject: UBCM COMMUNITY EMERGENCY PREPAREDNESS FUND GRANT
APPLICATION – 2023 PUBLIC NOTIFICATION AND EVACUATION
ROUTE PLANNING

Date: May 23, 2023 File No: 14-7130-01-0001/2023

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Director, North Shore Emergency Management, dated May 23, 2023, entitled "UBCM Community Emergency Preparedness Fund Grant Application – 2023 Public Notification and Evacuation Route Planning":

THAT the application submitted to the UBCM Community Emergency Preparedness Fund (CEPF), under the stream of 2023 Public Notification and Evacuation Route Planning for the North Shore Evacuation Plan and Exercise in the amount of \$90,000, be endorsed;

AND THAT the District of North Vancouver, in partnership with North Shore Emergency Management (NSEM), be authorized to manage the project and funds.

ATTACHMENTS

1. UBCM CEPF 2023 Public Notification & Evacuation Route Planning Grant Application ([CityDocs 2369586](#))
2. UBCM CEPF 2023 Public Notification & Evacuation Route Planning Budget ([CityDocs 2369592](#))

SUMMARY

The purpose of this report is to seek a resolution and Council support for the application submitted to the UBCM CEPF under the stream of 2023 Public Notification & Evacuation Route Planning.

NSEM has applied for this CEPF grant on behalf of the three North Shore municipalities. The intent of this grant is to support enhanced readiness and response for evacuations. NSEM will manage the project and provide periodic updates to the NSEM Executive Committee and Operations Committee.

BACKGROUND

The emergency management obligations of the three North Shore municipalities are met by NSEM, whose role in supporting the prevention of, and response to, municipal emergencies is based on the *Emergency Programs Act* and reinforced through bylaw.

Evacuation across and off the North Shore requires regional collaboration. The proposed initiative has been co-developed by the three North Shore fire departments and NSEM and will be collaboratively executed between all partners. It is grounded in the shared goal of community-centric risk reduction, and will enhance existing relationships between response agencies across the North Shore.

This grant aims to strengthen tri-municipal operational readiness for evacuations and enhance overall integrated community resilience across the North Shore.

DISCUSSION

In 2022, NSEM had ISL Engineering and Land Services Ltd. produce an Evacuation Time Analysis Tool. This tool calculates the amount of time it takes to evacuate given areas of the North Shore based off a set of pre-identified parameters (e.g. demographics, road infrastructure, etc.). This resource provides the baseline data necessary to create an informed evacuation plan and the metadata necessary to map evacuation models in the North Shore EOC Common Operating Picture (COP), known as Lightship.

To support comprehensive evacuation readiness, the three North Shore municipalities require the development of a North Shore Evacuation Plan, which includes full integration of the Evacuation Time Analysis Tool into the COP and an operational exercise to test overall effectiveness, which has been proposed for Spring 2024. In addition, engagement with the public is a critical component for success and a public education campaign and supporting resources are required and proposed for Summer 2024.

The project activities will consist of the following:

1. North Shore Evacuation Plan: This will be a tactical evacuation plan that will include operational guidelines that support decision making around declarations, evacuation processes and public notifications. Although this will be a regional plan, it will be actionable in any one of the three municipalities.
2. Lightship Evacuation Calculator: The data collected by ISL in the Evacuation Time Analysis Tool is invaluable to facilitate effective evacuation within and off the North Shore. That said, the data in its current state is challenging and time-consuming to use, rendering it difficult to use during an evacuation. To effectively use this data, it needs to be transitioned into Lightship, the COP used in the North Shore EOC and North Shore Fire Department Operations Centre (DOC). The transition of this data will allow for timely and effective use of this information and will facilitate real-time modeling of evacuation routes.
3. Operational Evacuation Exercise: Exercising is a critical element in supporting operational success. To effectively test the North Shore Evacuation Plan and support the operational use of the Lightship Evacuation Calculator, an exercise is necessary. To maximize plan and evacuation calculator development, this exercise would be scheduled for May 2024.
4. Public Education and Engagement Campaign: A critical success factor for evacuations is public education and engagement. Elements of the North Shore Evacuation Plan will be translated into engaging public education content and a focused public education campaign will take place from June-September 2024. Some of the key elements of this work will include: promotion of public notification and emergency alerting, web and social media plans/content, print resources and public engagement and outreach.

FINANCIAL IMPLICATIONS

The maximum available funding for each municipality under this grant is \$30,000. This grant application has been submitted in partnership between the three North Shore municipalities and as a result of this partnership, the total project funding request from UBCM is for a total of \$90,000.

INTER-DEPARTMENTAL IMPLICATIONS

While most project deliverables would be executed by third-party contractors owing to the technical nature of this work, NSEM would oversee and direct the initiative, including collaboration with City of North Vancouver staff to ensure that the specific needs of the municipality are considered in the project.

The CEPF Public Notification & Evacuation Route Planning application form was led by NSEM and co-constructed with a representative from the City of North Vancouver Fire Department, as well as similar representation from the other two North Shore municipalities. Additionally, the NSEM Operations Committee has provided support for the grant application process and has been verbally briefed.

NSEM will work with municipal Staff from related departments to ensure that the specific needs of each municipality are considered in the project. The City's Fire Department is also expected to be an active project partner to guide the strategic and operational nature of the work.

STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS

The execution of the proposed project, and incorporation of its outcomes into NSEM's planning and operations, align with Council's vision and priority to be A City for People: welcoming, inclusive, safe, accessible and supporting the health and well-being of all.

RESPECTFULLY SUBMITTED:



Emily Dicken
Director, North Shore Emergency Management

Community Emergency Preparedness Fund

Public Notification & Evacuation Route Planning

2023 Application Form

Please complete and return the application form by **April 28, 2023**. All questions are required to be answered by typing directly in this form. If you have any questions, contact cepf@ubcm.ca or (250) 387-4470.

SECTION 1: Applicant Information	AP <i>(for administrative use only)</i>
Name of Local Government or First Nation: District of North Vancouver	Date of Application: May 8, 2023
Contact Person*: Emily Dicken	Position: Director
Phone: 604-916-2206	E-mail: edicken@nsem.ca

* Contact person must be an authorized representative of the applicant (i.e. staff person or elected official).

SECTION 2: For <u>Regional Projects Only</u>
<p>1. Identification of Partnering Applicants. For regional projects, please list all of the partnering eligible applicants included in this application. Refer to Section 2 in the <i>Program & Application Guide</i> for eligibility.</p> <p>District of North Vancouver, City of North Vancouver and District of West Vancouver</p>
<p>2. Rationale for Regional Projects. Please provide a rationale for submitting a regional application and describe how this approach will support cost-efficiencies in the total grant request.</p> <p>The emergency management obligations of the three North Shore municipalities are met by North Shore Emergency Management (NSEM). As a tri-municipally funded program, NSEM performs essential emergency management functions, including planning, Emergency Support Services (ESS), and maintaining a fully equipped Emergency Operations Centre (EOC) for use by any of the municipalities, or all of them in larger cross-jurisdictional emergencies.</p> <p>Evacuation across and off the North Shore requires regional collaboration. The proposed initiative has been co-developed by the three North Shore fire departments and NSEM and will be collaboratively executed between all partners. It is grounded in the shared goal of community-centric risk reduction, and will enhance existing relationships between response agencies across the North Shore.</p> <p>This grant proposal aims to strengthen tri-municipal operational readiness for evacuations and enhance overall integrated community resilience across the North Shore.</p>

SECTION 3: Project Information

3. Project Information

- A. Project Title: North Shore Evacuation Plan and Exercise
- B. Proposed start and end dates. Start: October 1, 2023 End: September 30, 2024

4. Project Cost & Grant Request:

- A. Total proposed project budget: \$90,000.00
- B. Total proposed grant request: \$90,000.00
- C. Have you applied for, or received funding for, this project from other sources? If yes, please indicate the source and the amount of funding received or applied for.
No

5. Project Summary. Provide a summary of your project in 150 words or less.

In 2020, NSEM had ISL Engineering and Land Services Ltd. produce an Evacuation Time Analysis Tool. This tool calculates the amount of time it takes to evacuate given areas of the North Shore based off a set of pre-identified parameters (e.g. demographics, road infrastructure, etc.). This resource provides the baseline data necessary to create an informed evacuation plan and the metadata necessary to map evacuation models in the North Shore EOC Common Operating Picture (COP), known as Lightship.

To support comprehensive evacuation readiness, the three North Shore municipalities require the development of a North Shore Evacuation Plan, which includes full integration of the Evacuation Time Analysis Tool into the COP and an operational exercise to test overall effectiveness, which has been proposed for Spring 2024. In addition, engagement with the public is a critical component for success and a public education campaign and supporting resources are required and proposed for Summer 2024.

SECTION 4: Detailed Project Information

6. Proposed Activities. What specific activities will be undertaken as part of the proposed project? Please refer to Sections 4 and 6 of the *Program & Application Guide* for eligibility.

Once successful with the project, NSEM will put out an RFP to secure a vendor that is able to undertake the technical nature of this work. The project activities will consist of the following:

1. North Shore Evacuation Plan: This will be a tactical evacuation plan that will include operational guidelines that support decision making around declarations, evacuation processes and public notifications. Although this will be a regional plan, it will be actionable in any one of the three municipalities.

2. Lightship Evacuation Calculator: The data collected by ISL in the Evacuation Time Analysis Tool is invaluable to facilitate effective and efficient evacuation within and off of the North Shore. That said, the data in its current state is challenging and time consuming to use, rendering it difficult to use during an evacuation. To effectively use this data, it needs to be transitioned into Lightship, the COP used in the North Shore EOC and North Shore Fire Department Operations Centre (DOC). The transition of this data will allow for timely and effective use of this information and will facilitate real-time modeling of evacuation routes.

3. Operational Evacuation Exercise: Exercising is a critical element in supporting operational success. To effectively test the North Shore Evacuation Plan and support the operational use of the Lightship Evacuation Calculator, an exercise is necessary. To maximize plan and evacuation calculator development, this exercise would be scheduled for May 2024.

4. Public Education and Engagement Campaign: A critical success factor for evacuations is public education and engagement. Elements of the North Shore Evacuation Plan will be translated into engaging public education content and a focused public education campaign will take place from June-September 2024. Some of the key elements of this work will include: promotion of public notification and emergency alerting, web and social media plans/content, print resources and public engagement and outreach.

- 7. Evidence & Rationale.** What is the rationale and evidence for undertaking this project? This may include evidence of local hazards (e.g., as identified in the local Emergency Plan); threat levels (e.g., as identified in Hazard Risk and Vulnerability Analysis, Community Wildfire Resiliency Plan and/or flood risk assessments) and previous emergencies (e.g., evacuations that were ordered, notifications were issued)

With a population growing in density and complexity, the three North Shore municipalities must comprehensively plan for evacuations. The North Shore Hazard, Risk and Vulnerability Analysis (HRVA) outlines multiple hazards (e.g. interface fire, earthquake, chemical spill, etc.) where evacuations must be planned for. Beyond the social complexities associated with evacuations on the North Shore (e.g. age, mobility, language, etc.), the region is challenged with an aging municipal and provincial road infrastructure that, if not staged appropriately, will result in further delays during evacuation.

The absence of a North Shore Evacuation Plan is a critical gap for all three municipalities on the North Shore. The additional elements of this project, including the Lightship Evacuation Calculator, Operational Exercise and Public Education and Engagement Campaign, all support an enhanced state of readiness specific to effective evacuation planning and response.

- 8. Alignment with Recommended Content.** Refer to Table 1 in the *Program & Application Guide* and describe the extent to which the content identified in the guide will be included in the proposed project.

Recommended Content: As outlined in table 1 of the Program & Application Guide, this proposal addresses all of the elements identified in Evacuation Route Plans and Public

Notification Plans. Each of the 4 proposed activities identified above in Section 6, comprehensively address all of the recommended content.

Provincial Standards: The intent of this grant proposal is to create alignment to the 2022 Evacuation Operational Guide for First Nations and Local Authorities in BC and the public alerting system in BC and Alertable, which is utilized on the North Shore.

New Project: Although this project uses data from past work, all elements of this proposed project are new and support enhanced levels of readiness.

Timeline: The scope and scale of this project is intended to be completed within 1 calendar year. Tentative project planning has the timeline for this project running from October 1, 2023 to September 30, 2024. This timeline was intentional to maximize operational readiness heading into the 2024 wildfire season and to engage the public during the summer hazard season when focus on evacuations is heightened.

9. Engagement & Collaboration.

- a. In addition to Section 2 (if applicable), describe how the proposed project will include engagement with First Nations and provide evidence of engagement that has taken place in advance of the application being submitted (e.g., collaborative planning tables; incorporating First Nation values and perspectives in proposed activities; existing outreach, plans, engagement reports, or processes; including First Nation engagement costs in the budget).

Although the Squamish Nation and Tsleil-Waututh Nation are not funding partners on this project, the three North Shore municipalities work with both Nations in operational collaboration and they will directly benefit from the outcomes of this project. All three fire departments on the North Shore respond to the public safety needs of the Squamish Nation and Tsleil-Waututh Nation, and the proposed evacuation plan and additional deliverables will directly benefit both communities with enhanced services.

- b. Describe how the proposed project will include engagement with neighbouring jurisdictions, and other impacted or affected parties as appropriate to the project.

Metro Vancouver, City of Vancouver, Burnaby, Lions Bay, Bowen Island and other local authorities will be engaged in the design and development of key areas of the project, specifically the planning assumptions that support the Lightship Evacuation Calculator.

10. Climate Change. Describe how the proposed project will consider climate change in the project methodology and include the impacts of climate change in the Evacuation Route and/or Public Notification plan.

Climate change is having a dramatic impact on the frequency, intensity and compounding nature of the natural hazards impacting the North Shore. The considerations associated with climate change are acknowledged within the North Shore HRVA, which acts as a foundational resource that supports the evidence and rationale for this project. The HRVA includes wildfire, hazardous materials and flooding as potential risks on the North Shore, and as the concern for these hazards is growing as climate change increases the risk of these hazards, it is necessary to have effective evacuation plans in place.

11. Large Scale ESS Planning. Describe the extent to which the proposed project will consider large scale Emergency Support Services scenarios.

The North Shore Evacuation Plan and supporting public education and engagement campaign dovetail into the NSEM Emergency Support Services (ESS) and Mass Care Plan. While this project may not directly involve ESS, effective evacuation plans play a crucial role in ESS responses. Accounting for available group lodging spaces is an important aspect of such planning. It involves identifying suitable locations to accommodate a large number of evacuees during emergencies. This ensures their safety and facilitates efficient coordination among authorities, organizations, and stakeholders. By incorporating these considerations, evacuation planning contributes to a comprehensive emergency management framework, supporting the smooth operation of ESS in providing assistance and resources to affected individuals and communities.

12. Emergency Plan. Describe the extent to which the proposed project will specifically support recommendations or requirements identified in the local Emergency Plan.

The North Shore municipal emergency response plans were last completed in 2007. It is a priority for NSEM to begin updates to these plans in late 2023. Since these plans were created, the North Shore has seen ongoing changes that require special attention to evacuation planning. From climate change to population density, many of the pressures and challenges associated with evacuations have been identified throughout this application. Some of the specific considerations that support enhancements to emergency planning on the North Shore include:

- Creating alignment between the Disaster Supply Cache infrastructure, ESS/Mass Care Planning and the North Shore Evacuation Plan.
- Creating interoperable information exchange between the North Shore EOC, North Shore Fire DOC and the municipal Engineering DOCs regarding the use of the Lightship Evacuation Calculator.
- Creating enhanced evacuation notification procedures for Alertable.
- Supporting stronger public engagement and education specific to evacuation readiness and response, resulting in overall household and community preparedness.

13. Transferability. Describe the extent to which the proposed project may be transferable to other local governments and/or First Nations.

NSEM is a municipal leader in many aspects of emergency management. Although this project helps NSEM meet a basic need in terms of the development of the North Shore Evacuation Plan, it supports enhanced levels of operational excellence with the development of the Lightship Evacuation Calculator and stronger public engagement regarding to the use of Alertable, the public notification system on the North Shore. As a strong regional partner, NSEM is always willing to support knowledge transfer and collaborative information sharing.

14. Additional Information. Please share any other information you think may help support your submission.

SECTION 5: Required Attachments

Only complete applications will be considered for funding. The following separate attachments are required to be submitted as part of the application:

- ☐ Council or Board resolution, Band Council resolution, or Treaty First Nation resolution, indicating support for the current proposed activities and willingness to provide overall grant management.
- ☒ Detailed budget for each component identified in the application. This must clearly identify the CEPF funding request, applicant contribution, and/or other grant funding.
- ☐ For regional projects only: Council or Board resolution, Band Council resolution, or Treaty First Nation resolution from each partnering applicant that clearly states their approval for the primary applicant to apply for, receive, and manage the grant funding on their behalf.

SECTION 6: Signature Applications are required to be signed by an authorized representative of the applicant. Please note all application materials will be shared with the Province of BC and First Nations' Emergency Services Society.

I certify that: (1) to the best of my knowledge, all information is accurate, (2) the area covered by the proposed project is within the applicant's jurisdiction (or appropriate approvals are in place) and (3) we understand that this project may be subject to a compliance audit under the program.

Name: Emily Dicken

Title: Director, NSEM

Signature*: *Emily Dicken*

Date: 05/11/2023

**A certified electronic or original signature is required*

Submit applications to:

Local Government Program Services, Union of BC Municipalities

E-mail: cepf@ubcm.ca

Applicant Name: North Shore Emergency Management

Project Title: North Shore Evacuation Plan and Exercise

Cost Estimate Developed By: Emily Dicken

Date of Cost Estimate (DD-MM-YYYY): 10/05/2023

Cost Estimate Class - A,B,C,D (see guidance below): Class D

ELIGIBLE COSTS				
	Description	Quantity	Per Unit Amount	Total Cost
Data Collection & Analysis				
Costs associated with data collection methods and analysis costs on project data, elements and methods	Contractor time to meaningfully compile the data and analyze			10,000.00
	Produce a data file for NSEM to use for future work/projects			5,000.00
	Contractor to ensure that the data integrates into the NSEM common operating picture			5,000.00
Data collection Sub-Total:				\$20,000.00

Reporting				
Development of drafts, reports and final developments	Deliverables fro the project will include the following:			
	1. North Shore Evacuation Plan			17,000.00
	2. Evacuation Calculation and Interoperable Connectivity to the Common Operating Picture			15,000.00
	3. Operational Evacuation Exercise			18,000.00
	4. Public Education and Engagement Campaign			10,000.00
	A final report that allows NSEM to present an accurate reflection of extreme heat vulnerabilities on the North Shore			
Reporting Sub-Total:				\$60,000.00

Other Eligible Costs				
Items could include communications, surveying, testing, consultation, environmental assessments etc.	Engagement & Honorarium (protocol honourarium, food for meetings, etc.)			5,000.00
	Graphic Design			5,000.00
Other Eligible Costs Sub-Total:				\$10,000.00

Contingency				
Contingency is generally reflective of the Class of Cost Estimate				
Contingency Sub-Total:				\$0.00
TOTAL ELIGIBLE GRANT COSTS*:				\$90,000

INELIGIBLE COSTS				
	Description	Quantity	Per Unit Amount	Total Cost
TOTAL INELIGIBLE COSTS*:				\$0

TOTAL GRANT COSTS (Eligible):		\$90,000
TOTAL PROJECT COSTS (Eligible + Ineligible)*:		\$90,000

*Totals must match totals in the Project Costs section of the Application Form and Project Record.

Cost Estimate Comments
<p>Please add any information that you feel is relevant to your cost estimate - Consultatant has not been contacted to clearly specify estimates and costs could vary.</p>

Cost Estimate Classes - definitions & assumptions[sourced from the Association of Professional Engineers and Geoscientists of British Columbia (APEGBC)]		
Cost estimate class	Features & Uses	Suggested Contingency for Associated Class
Class A	Detailed estimate based on final drawings and specifications Used to evaluate tenders	±10-15%
Class B	Prepared after completing site investigations and studies, and after defining major systems Based on a project brief and preliminary design Used for project approvals and budgetary control	±15-25%
Class C	Prepared with limited site information and based on probable conditions Captures major cost elements Used to refine project definition and for preliminary approvals	±25-40%
Class D	Preliminary estimate based on little or no site information Represents the approximate magnitude of cost, based on broad requirements Used for preliminary discussion and long-term capital planning	±50%



 Department Manager	 Deputy Director	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
ENGINEERING, PARKS AND ENVIRONMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Sheila Sister, Project Manager

Subject: DEDICATION OF CITY LANDS (LOT 1 BLOCKS 29 and 33 DISTRICT
LOT 272 PLAN 16125) AS HIGHWAY

Date: May 24, 2023 File No: 11-5330-20-0064/1

RECOMMENDATION

PURSUANT to the report of the Project Manager, dated May 24, 2023, entitled "Dedication of City Lands (Lot 1 Blocks 29 and 33 District Lot 272 Plan 16125) as Highway":

THAT Council permit fencing owned by CN Rail to be placed within an encroachment area of approximately 45.9 square metres of the newly dedicated City-owned highway, subject to CN Rail entering into an encroachment agreement with the City;

THAT "Highways Establishing Bylaw, 2023, No. 8975" (Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road) be considered;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

ATTACHMENTS

1. Draft Bylaw "Highways Establishing Bylaw, 2023, No. 8975" (Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road) (CityDocs# [2353826](#))

SUMMARY

City staff recommend dedicating a parcel of City owned land on the south side of Cotton Road between Kennard Avenue and Brooksbank Avenue, which is currently zoned as M-2 (General Industrial Zone), as Road, which is the best long-term use of this site. CN Rail

has been occupying some of this parcel but will reduce their footprint to 45.9 square metres, which is surplus to City needs at this time, and will be asked to enter into a standard City Encroachment Agreement.

BACKGROUND

The City owns a parcel of land on the south side of Cotton Road between Kennard Avenue and Brooksbank Avenue. The parcel of land is 29,540 square metres, is zoned as M-2 (General Industrial Zone) and is adjacent to CN Rail's Lynn Creek Yard. A sketch showing the location of the parcel is shown in Figure 1. The parcel was acquired as part of a land exchange with CN Rail in 1975 where the City transferred a portion of Gladstone Avenue to CN and in return, CN transferred this parcel to the City.

Correspondence between the City and CN Rail in 1969-1970 suggests that the intended use of the property was to act as a buffer blocking the view of the CN Rail operations yard as well as restricting pedestrian passage into the railway yard. There was discussion about the City eventually using the strip of land for road widening purposes but that was deemed to be far into the future as it was landscaped and fenced at CN Rail's cost with the intention of remaining for the foreseeable future.

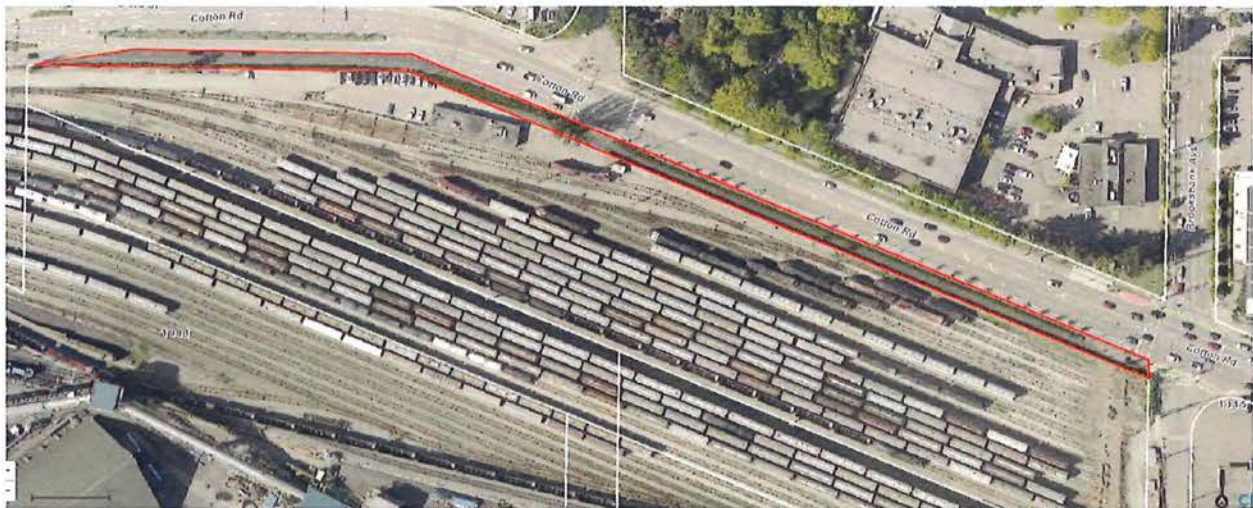


Figure 1 - City Land south of Cotton Road

The parcel is currently functioning as road right-of-way enabling the functioning of this critical transit, goods and people movement corridor. The parcel of land between Kennard and Gladstone Avenue currently has a portion of the travel lanes on Cotton Road, a landscaped boulevard and a small section of CN Rail's fence encroaching on the land. The parcel of land east of Gladstone Avenue to Brooksbank Avenue has a front and back boulevard and bike lane that was implemented as part of the initial R2 Rapid Bus launch.

DISCUSSION

The City, in partnership with TransLink, are making upgrades to the R2 Rapid Bus route as part of the Marine-Main Corridor – Eastbound Transit Lane Extension from Queensbury Avenue to Gladstone Avenue project ("the Marine-Main Corridor Project"). The project will close gaps in the transit network that could not be addressed during the

initial launch due to costs and the complexity of the design. The design requires the continued use of this parcel as road right-of-way to accommodate dedicated bus and mobility lanes as there is insufficient space within the existing road right-of-way.

Given the shape and zoning of the land, it is a more valuable addition to the roadway network than as development land.

CN Rail Encroachment

Dedicating this parcel of land will simplify its management. CN Rail is currently encroaching on the parcel of land by up to three metres as part of their internal vehicular circulation network at the Lynn Creek Rail Yard. During the engagement process with CN Rail, the project team addressed the encroachment to gain the space needed to accommodate the planned upgrades. Staff learned a portion of the encroachment is needed for the continued operations of the yard to accommodate a 4.3 metres clearance from the edge of the site building to the fence line. The new encroachment, of approximately 45.9 square metres, is shown in the pink dashed area in Figure 2. This clearance is required to permit special equipment through CN Rail's only entrance should large equipment be brought to construct or repair tracks and/or large cranes are brought in to pick-up derailed equipment. Dedicating this parcel as Road will require that CN enter into an encroachment agreement with the City to enable ongoing use while indemnifying the City.

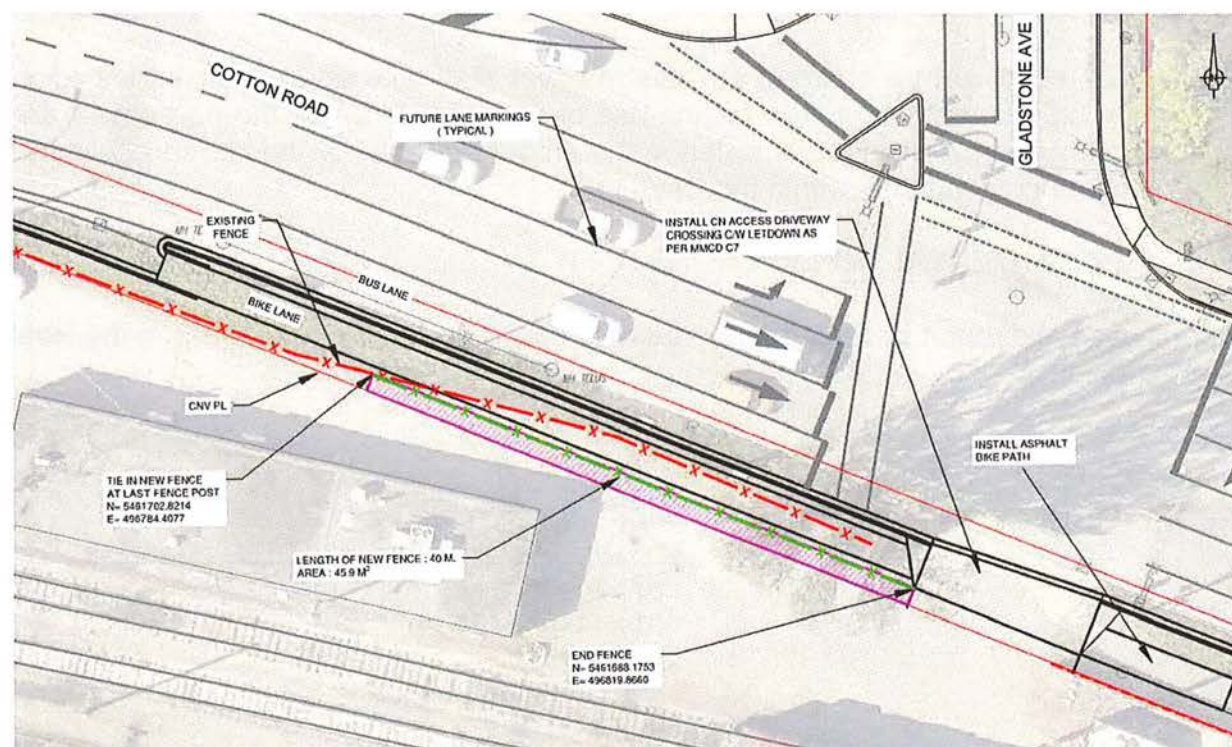


Figure 2 – Proposed CN encroachment

Staff recommend a registered Encroachment Agreement with License over City Street. This is where an encroachment agreement is registered on title of an adjacent owner's property as a Section 219 Covenant and typically include a Statutory Right of Way in favour of the City, with a license to use the street in favour of the owner. These are

appropriate for minor or temporary encroachments. Common examples are staircases, removable canopies, fences or minor retaining walls located on City road allowance directly adjacent to the owner's property. Having such agreements in place will ensure that the City is protected from liability and clarifies responsibilities of the owner involved. This agreement also contains cancellation provisions should the City require use of the road for public purposes.

Following Council approval, City staff will have a British Columbia Land Surveyor prepare a legal survey.

Allowing CN to encroach within the right-of-way will not adversely impact the project with adequate space remaining to upgrade the transit and mobility infrastructure. Designating this parcel of land as Road will not impact the construction schedule.

Future Transit Needs

TransLink has a priority within the next 10-years to advance planning work for a Bus Rapid Transit option connecting Metrotown to Park Royal which was endorsed by the Mayors' Council on January 26, 2023. While the route has not been identified, this existing corridor may be a viable option due to the existing R2 Rapid Bus route. As such, this parcel of land as Road supports current and long term transit service objectives.

FINANCIAL IMPLICATIONS

All encroachments will be charged at rates to cover staff time and expenses including registration on title with no charge for the use of the land. Fees for the agreement are suggested to continue at a one-time fee in the amount of \$500 as has been applied to other recent encroachments within the City.

INTER-DEPARTMENTAL IMPLICATIONS

This initiative and report has been prepared with input from the City Solicitor and the Real Estate division.

RESPECTFULLY SUBMITTED:



Sheila Sister
Project Manager

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8975

A Bylaw to establish City lands in the 1000-1200 Block Cotton Road as road.

WHEREAS the Corporation of the City of North Vancouver is the registered owner of Lot 1, Blocks 29 and 33, District Lot 272, Plan 16125 in the City of North Vancouver, in the Province of British Columbia, having acquired the same as a result of a land exchange with the adjacent property owner for a portion of Gladstone Avenue;

AND WHEREAS the Corporation of the City of North Vancouver deems it expedient to dedicate the said lot 1 as highway for the use of the public;

NOW THEREFORE the Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Highways Establishing Bylaw, 2023, No. 8975**” (**Dedication of Lot 1 in the 1000-1200 Block of Cotton Road as Road**).
2. The following lands are hereby established as, and shall be used as part of public highways:
 - A. Lot 1, Blocks 29 and 33, District Lot 272, Plan 16125, as outlined in heavy black line on the plan prepared by Alexander Heath BCLS on May 5, 2023.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

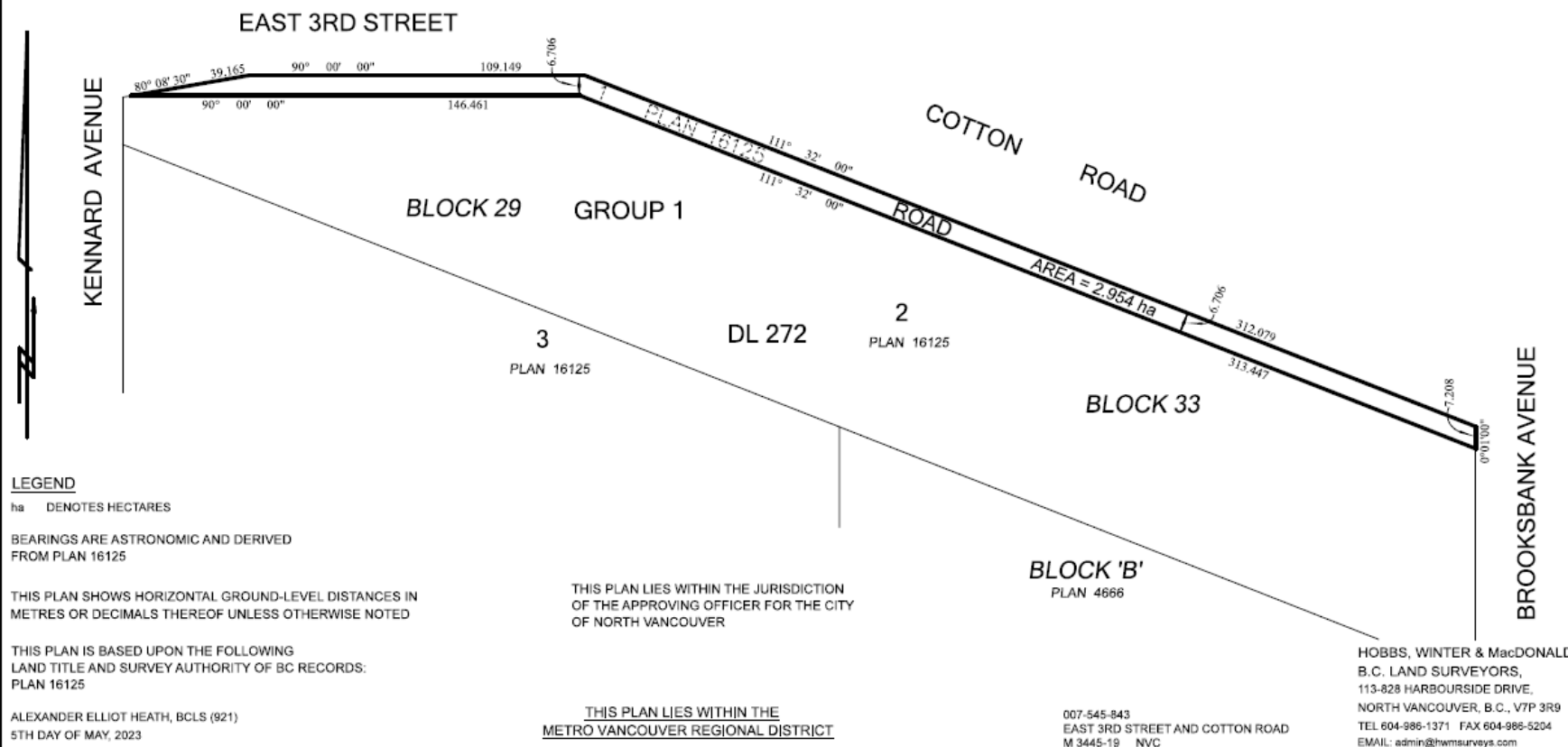
CORPORATE OFFICER

**EXPLANATORY PLAN OF LOT 1,
BLOCKS 29 AND 33, DISTRICT LOT 272,
GROUP ONE, NEW WESTMINSTER DISTRICT, PLAN 16125**




PLAN EPP129008

PURSUANT TO SECTION 107 OF THE LAND TITLE ACT
BCGS 92G035

0 10 20 30 40 50 100m
THE INTENDED PLOT SIZE OF THIS PLAN IS
432 mm IN WIDTH BY 280 mm IN HEIGHT (B SIZE)
WHEN PLOTTED AT A SCALE OF 1: 1250





 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Linden Maultsaid-Blair, Planner 1

Subject: ZONING BYLAW AMENDMENT FOR 259 EAST 23RD STREET (DAVID
IAQUINTA / COBBLESTONE HOMES LTD.)

Date: May 24, 2023 File No: 08-3400-20-0086/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated May 24, 2023, entitled "Zoning Bylaw Amendment for 259 East 23rd Street (David Iaquinta / Cobblestone Homes Ltd.)":

THAT the application submitted by David Iaquinta / Cobblestone Homes Ltd., to rezone the property located at 259 East 23rd Street from a RS-1 Zone to a CD-750 Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the section "Community Benefits" be secured, through agreements at the applicant's expense and to the satisfaction of staff.

ATTACHMENTS

1. Context Map (CityDocs [2337369](#))
2. Architectural Plans, dated March 31, 2023 (CityDocs [2358360](#))
3. Landscape Plans, dated April 24, 2023 (CityDocs [2358366](#))
4. Public Consultation Summary (CityDocs [2316212](#))
5. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8959" (David Iaquinta / Cobblestone Homes Ltd., 259 East 23rd Street, CD-750) (CityDocs [2330428](#))

SUMMARY

This report presents a rezoning application to allow a triplex development consisting of one building with three principal units and no secondary suites, with a three-car garage accessed from the rear lane.

BACKGROUND

Applicant:	David laquinta, Cobblestone Homes Ltd.
Architect:	Joe Muego, Hearth Architectural Inc.
Official Community Plan Designation:	Residential Level 2 (R2)
Existing Zoning:	One Unit Residential 1 (RS-1)
Applicable Guidelines:	N/A

DISCUSSION

Site Context and Surrounding Use

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning (OCP)
North	240 E 23 rd St. and 249 E 24 th St.	North Vancouver Lawn Bowling Club	P-1 (P)
East	265 E 23 rd St.	Single-family dwelling	RS-1 (R2)
West	253 E 23 rd St.	Single-family dwelling	RS-1 (R2)
South	258-260 E 22 nd St.	Duplex	RT-1 (R2)

Policy Context

The site and block is designated as Residential Level 2 in the Official Community Plan (OCP), which supports triplexes as a development form at a maximum Floor Space Ratio (FSR) of 0.5. The site is located in the Central Lonsdale neighbourhood, one block east from the under-construction buildings at the Harry Jerome Neighbourhood Lands. Only three residential properties front East 23rd Street on this block, with the other frontages being institutional (North Vancouver Lawn Bowling Club, North Vancouver Provincial Court, and North Shore Alliance Church).

The surrounding OCP land use designations include a mixture of low density residential, institutional, and public uses and the site is positioned in a transition area of density moving two blocks westbound to the Lonsdale core.

Project Description

The proposal features one building that contains three principal units, with no secondary suites or lock offs proposed. There are two floors above grade and a basement level. The architectural style of the building is similar to surrounding single-family and duplex dwellings. All three units are roughly the same size and have access off of East 23rd Street. The proposal also includes a garage off the lane fitted with three separately enclosed vehicular parking spaces, each with two secure bicycle parking spaces.

PLANNING ANALYSIS

Use

The proposed density and form comply with the Residential Level 2 (R2) in the Official Community Plan (OCP). The proposal also meets key OCP objectives to ensure that new development is compatible with the established urban form of the city and to provide a range of housing densities, diversified in type, size, and location.

Intensity

The proposed Gross Floor Area (GFA) is 0.5 times the lot area, which complies with the maximum permitted density of 0.5 FSR in the OCP.

Proposed Zoning Variances

The proposal requires a rezoning from the existing RS-1 zone to a new Comprehensive Development zone (CD-750) in order to permit three dwelling units within one principal building, as outlined in Table 2. These variances are supported by staff as they result in a building which appropriately fits within the neighbourhood context while providing additional housing units for ownership.

Table 2. Requested Changes to the Zoning Bylaw

	Current Designation/Regulation	Proposed Designation/Regulation
Buildings	One Principal Building	One Principal Building
Use	One-Unit Residential Use	Townhouse Residential Use (to a maximum of three units)
Gross Floor Area	Lesser of 0.3 FSR + 93.0 sq. m (1000 sq. ft) or 0.5 FSR For the subject site, this equals 285.1 sq. m (3,068.5 sq. ft) for a single-family home (SFD) or 320.2 (3,447 sq. ft) for a SFD with coach house.	0.5 FSR For the subject site, this equals 320.2 sq. m (3,447 sq. ft)
Lot Coverage	Cannot exceed 30%	Cannot exceed 35%

Parking & Transportation

The proposal complies with the standard residential parking requirement, which is one vehicle parking stall for each dwelling unit. The proposal will be meeting the secure bicycle parking stall requirement by providing two secure vertical stalls for each dwelling unit.

Additionally, East 23rd Street is designated as a collector road and bike route. In order to accommodate future bicycle facilities as well as the existing vehicle travel lanes, parking, and pedestrian facilities, the road right of way needs to be widened. Therefore, City staff have requested a 2.0m land dedication along this frontage.

Landscaping & Trees

The site is not subject to the City's Tree Bylaw, as the bylaw does not apply on land with a CD zone based on the RT-1 zone. There are four existing trees on site, as well as two trees on City property at the front along East 23rd Street. The building is set back quite far from the front lot line in order to allow for the retention of the two mature trees in City property. One mature tree in the front yard and three others at the rear of the site are proposed to be removed to facilitate the development, due to their proximity to excavation or poor health. Four new trees will be planted on the subject site, along with a variety of native shrubs and ground cover plants. Private outdoor lawns are provided in the front and rear of the property, with dedicated space for each dwelling unit.

ADVISORY BODY INPUT

Advisory Design Panel

The application was reviewed by the Advisory Design Panel on August 17, 2022 and supported the proposal subject to further conditions regarding minor improvements to the design, including:

- Review the number and necessity of stairways accessing the basement;
- Ensure adequate exterior lighting for safety purposes is available at all times, without being controlled by a single unit;
- Consider changes to the grading in order to ensure a smooth transition between levels in the outdoor spaces;
- Review the placement of window wells at the basement level to ensure privacy between units;
- Consider an enclosure(s) for the garbage and recycling;
- Consider changes to Unit 3's porch, such as increasing the porch depth; and
- That staff be asked to review the bicycle storage spaces to ensure adequate space is provided.

The applicant provided a revised design which addresses the above concerns to the satisfaction of staff.

COMMUNITY CONSULTATION

The applicant hosted a Virtual Developer Information Session on September 13, 2022, with two attendees. One comment form from another member of the public in opposition was received after the session.

The main concerns were:

- Street parking demand from nearby uses, such as the Lawn Bowling Club and the Provincial Court;
- Insufficient on-site parking;
- Removal of existing trees.

A summary of the public consultation, as prepared by the applicant, is available in Attachment #3.

Staff Response

Given that one parking stall will be provided for each new unit in accordance with the Zoning Bylaw, staff believe that additional parking demand will be accommodated on site. Additionally, while the proposal is not subject to the City's Tree Bylaw, staff and the applicant have worked together to adjust the design to better preserve two mature street trees, and the four trees being removed on-site will be replaced by four new trees.

COMMUNITY BENEFITS

Standard servicing and stormwater management requirements will apply. Furthermore, staff are seeking Council's direction to secure the following items as conditions of this development:

- Dedication of 2.0m along the East 23rd Street frontage for road widening and future cycling infrastructure; and
- Full depth lane reconstruction on the south half of the lane adjacent to the site.

Should Council approve the proposal, the following legal documents would be required for completion prior to final adoption of the Bylaw:

- Servicing Agreement
- Good Neighbour Agreement
- Flooding Covenant
- Land Dedication

PROCESS WHEN NO PUBLIC HEARING HELD

The *Local Government Act* assumes no Public Hearing is held for proposed zoning bylaw amendments if the bylaw is consistent with the OCP. A local government must pass a resolution if it wishes to hold a public hearing.

Given the proposal's consistency with the OCP, and minimal feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8959"
(David Iaquina / Cobblestone Homes Ltd., 259 East 23rd Street, CD-750) be
considered and referred to a Public Hearing;

CONCLUSION

The proposed form and density is consistent with the OCP, and aligns with the overall character of the surrounding neighbourhood. The redevelopment would allow a diversification of the residential housing stock in the city. Development of this type and scale is anticipated for the area and staff are supportive of the application.

RESPECTFULLY SUBMITTED:



Linden Maultsaid-Blair
Planner 1



DESIGN RATIONALE

PROJECT CONTEXT

THE SUBJECT PROPERTY IS ONE OF THREE SINGLE FAMILY SITES ON EITHER THE NORTH OR SOUTH BLOCK FACE OF EAST 23RD STREET BETWEEN ST ANDREW'S AVENUE AND ST ANDREW AVENUE. THE NORTH BLOCK CONSISTS OF THE NORTH VANCOUVER PROVINCIAL COURT AT THE WEST AND THE MCKEY MCDUGALL COMMUNITY CENTRE TO THE EAST. ON THE SUBJECT, SOUTH BLOCK FACE 79% IS TAKEN UP WITH NORTH SHORE ALLIANCE CHURCH TO THE WEST AND THEIR SUBSTANTIAL PARKING LOT OCCUPYING THE EQUIVALENT OF SEVEN LOTS TWO BLOCKS.

OUR IMMEDIATE NEIGHBOURS ARE OLDER HOMES. TO THE WEST AT 233 EAST 23RD, THE HOUSE WAS CONSTRUCTED IN 1928 AND DOES NOT APPEAR TO HOLD CHARACTER SIGNIFICANCE. IT APPEARS REGISTERED AS A SINGLE-FAMILY HOUSE WITH SECONDARY SUITE. THE CURRENT FLOOR AREA RATIO IS EXCLUDED IS ABOUT 0.15. SIMILARLY, THE NEIGHBOUR TO THE EAST IS A POST WAR 1950 BUNGALOW WITH BASEMENT WITH ABOUT A 0.11 FLOOR AREA RATIO AND IS A SINGLE-FAMILY HOUSE. THE HOUSE ON THE SUBJECT PROPERTY IS ALSO A 1950 POST-WAR, SINGLE-FAMILY HOUSE AND HAS A FLOOR AREA RATIO OF ABOUT 0.15. AS A WOOD FRAME HOUSE OF 10 YEARS, IT IS AT ITS END OF SERVICE LIFE.

ACROSS THE LANE TO THE REAR AND DOWNLOAN ARE LARGER SINGLE-FAMILY HOMES MIXED WITH DUPLEX DEVELOPMENTS.

MASSING, FORM, AND CHARACTER

FROM A DESIGN PERSPECTIVE, THE PROPOSED TRIPLEX IS MEANT TO DO SEVERAL THINGS. FIRSTLY, MAINTAIN THE SCALE OF THE NEIGHBOURHOOD (PRIMARILY TO THE SOUTH, EAST AND NORTHEAST). WE ARE PROPOSING TO MAINTAIN THE PREDOMINANT RS-1 AND RT-1 MASSING. INCLUDED IN THIS APPROACH TO MASSING IS ARTICULATION OF THE FORMS OF THE STRUCTURE AND DEMARCATION OF THE INDIVIDUAL SITES. IN ORDER TO ACHIEVE A DECIDEDLY SINGLE FAMILY MASS, THE THREE UNITS ARE ALL SET AT VARIOUS DISTANCES FROM THE FRONT PROPERTY LINE / STREET. THE IDEA IS THAT THE CYING MASS APPEAR AS THE PRINCIPAL DWELLING AND THE WEST AND EAST UNITS APPEAR MORE AS SECONDARY. IN THIS ATTEMPT, WE HAVE TRIED TO STRIKE A CAREFUL BALANCE BETWEEN A MARKED AND DIGNIFIED ENTRY FOR ALL UNITS, WITH THE MASSING TYPOLOGY OF SINGLE FAMILY. THIS APPROACH HAS PREVENTED THE STRUCTURE FROM HULKING OVER THE STREET AND ALLOW FOR INTERESTING ENTRY WAYS AND SHADOWS. THE FORM IS ASYMMETRICAL.

SECONDLY, WE ARE ATTEMPTING TO BUILD ON A "MODERN FARMHOUSE" TYPOLOGY, BUT FOLLOWING THROUGH WITH RICHER MATERIALS AND DETAILING. THE HOME IS TO CREATE DEPTH AND TEXTURE THROUGH THE SHIPLE FORMS, BUT DEEPER OVERHANGS. RECENTLY, THERE HAS BEEN A PROLIFERATION OF DWELLING DETAILING THAT IS SLOWLY ERASING AWAY AT THE TRADITIONAL FORM. WE ARE ATTEMPTING TO MOVE BACK IN THE DIRECTION OF THE TRADITIONAL. IN THE END THE STRUCTURE SHOULD RESEMBLE A SINGLE FAMILY HOUSE THAT HAS GROWN AND ADAPTED OVER TIME TO A NEW, MORE MODERN USE.

IN TERMS OF PARKING WE HAVE PROVIDED THREE SECURE PARKING STALLS IN A TRIPLE CAR GARAGE. WE BELIEVE THIS IS APPROPRIATE PARKING FOR A DEVELOPMENT OF THIS SIZE, AND SHOULD NOT INCREASE OR STRAIN THE EXISTING PARKING LOAD.

STATEMENT OF AFFORDABILITY

IT IS CLEAR THAT THE REGION IS EXPERIENCING AN AFFORDABLE HOUSING CRISIS. IT CONTINUES TO BE INCUMBENT ON CITIES, DEVELOPERS AND ARCHITECTS TO ADDRESS THIS CONTINUED NEED TO ALLOW FOR LOCAL OWNERSHIP IN A SOCIALLY RESPONSIBLE WAY. WE SEE THIS MOVEMENT MANIFEST ON THE LARGER LOTS WITH URBAN AND SUBURBAN CONTEXTS. INDEED, OUR IMMEDIATE ENVIRONS ARE SCATTERED WITH SINGLE FAMILY WITH SECONDARY SUITES AND DUPLEX DEVELOPMENTS TO ADDRESS THIS NEED.

OUR PROPOSAL IS NO EXCEPTION, BUT GOES A STEP FURTHER GIVEN THE CONTINUED UPWARD PRESSURE ON LAND AND BUILDING COSTS. AS THE SUBJECT LOT IS ZONED TODAY, IT WOULD ALLOW FOR A SINGLE FAMILY RESIDENCE OF ABOUT 3800 SQ FT ABOVE GRADE AREA. A HOME OF THIS SIZE, COMPLETE WITH AN IN-GROUND BASEMENT ON A 50 FOOT LOT WOULD BE QUITE COSTLY TO PURCHASE. OUR MODEST PROPOSAL WOULD ALLOW FOR THREE MORE MANAGEABLE UNITS SHARING A MODERATE ABOVE GRADE FLOOR AREA OF 245 SQ FT, OR ABOUT 138 SQ FT PER UNIT + 130 SQ FT BASEMENTS PER UNIT. IN THE END THIS CREATES THREE UNITS, WITH SEPARATE ENTRIES AND OUTDOOR SPACES. THE UNITS ARE LARGE ENOUGH TO HOUSE 4 BEDROOMS, SO BIG ENOUGH FOR MOST FAMILIES.

AMORTISING THE COST OF THE LAND AND LIMITING THE SUITE SIZE WILL HAVE A MARKED IMPACT ON THE AFFORDABILITY OF THESE UNITS.

STATEMENT OF SUSTAINABILITY

AT THE SCALE OF SINGLE FAMILY, DUPLEX AND TRIPLEX THERE ARE MANY OPPORTUNITIES TO PROMOTE SUSTAINABILITY IN DESIGN AND CONSTRUCTION. WE ARE ATTEMPTING TO BE FAIRLY PROGRESSIVE IN OUR PROPOSED DEVELOPMENT. BELOW ARE SOME OF THE FEATURES AND APPROACHES THAT WE WILL BE INCORPORATING INTO OUR PROPOSAL.

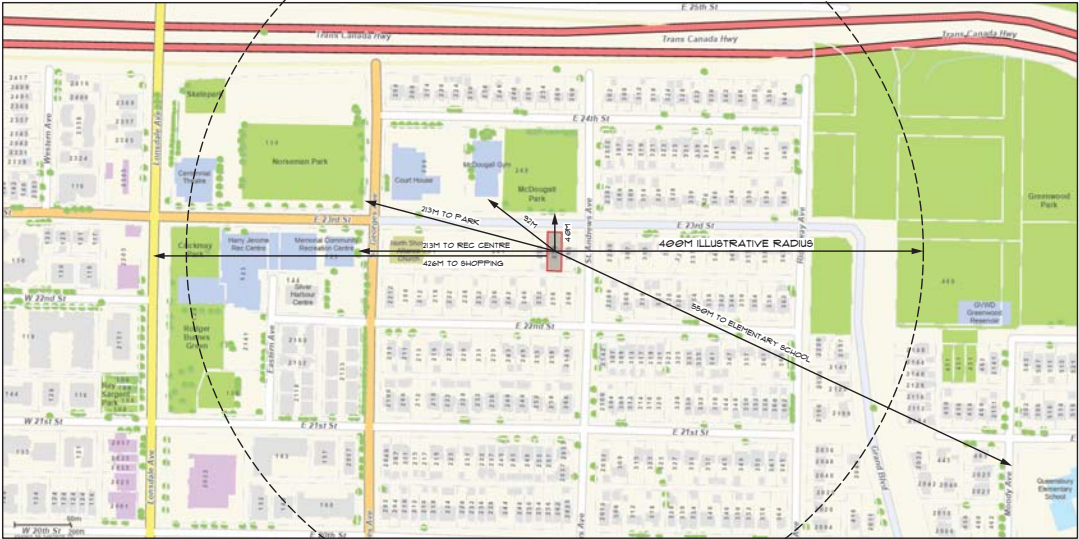
UNLESS WE ARE NEEDING TO REMOVE TREES THAT ARE EITHER UNSUITABLE FOR RETENTION OR ARE WITHIN OUR BUILDING FOOTPRINTS, WE ARE ALSO PROPOSING TO ADD 5 TREES TO THE SITE. IN ADDITION TO THE ADDED TREES, OUR LANDSCAPE PLAN HAS BEEN DEVELOPED TO HAVE REDUCED LAWN AREAS IN FAVOUR OF MORE DENSELY PLANTED AREAS. ALSO, WITHIN THE GARDEN WE ARE PROPOSING A HIGH EFFICIENT, LOW VOLUME IRRIGATION SYSTEM. WE FELT THIS WAS VERY IMPORTANT GIVEN THE CONTINUED STRAIN ON OUR REGIONAL WATER RESOURCE DURING THE SUMMER SEASON. OTHER FEATURES IN THE LANDSCAPE THAT WE ARE PROUD OF ARE AN EXTENSIVE STORM DETENTION AND INFILTRATION CHAMBER SYSTEM.

IN TERMS OF CONSTRUCTION THE MAJORITY OF OUR MATERIALS WILL BE NON-TOXIC AND/OR WOOD. OUR APPLIANCES AND PLUMBING FIXTURES ARE ALL PROPOSED TO BE EITHER ENERGY EFFICIENT OR WATER EFFICIENT. WE ARE ALSO DESIGNING TO BE ENERGY STEP CODE 3. COMPLYING TO THIS MORE AGGRESSIVE LEVEL WILL RESULT IN A VERY WELL SEALED STRUCTURE WITH HIGHLY EFFICIENT ENERGY USAGE.

IN TERMS OF "HUMAN POTENTIAL" WE EXCEED THE RECOMMENDED MIN 16% OF UNITS TO BE 3 BEDROOM UNITS BY OFFERING ALL UNITS WITH 4 BEDROOMS.

OPEN APPROACH

WITH OUR GROUND ORIENTED RESIDENTIAL APPROACH, EACH UNIT HAS A CLEAR VIEW OF THEIR PRIVATE YARDS. WE ARE ALSO PROVIDING LOWER LEVEL PATHWAY LIGHTING THROUGHOUT AND WALL MOUNTED BUILDING LIGHTING FOR HEIGHTENED VISIBILITY. LASTLY, WE HAVE ELECTED TO HAVE LARGE SIDE YARD SETBACKS FOR THE GARAGE TO DISCOURAGE DARK CORRIDORS AND FULL VISIBILITY THROUGH TO THE LANE.



CONTEXT MAP
NOT TO SCALE
SOURCE: CITYMAP - CITY OF NV



EXISTING SOUTH STREETSCAPE
NOT TO SCALE
SOURCE: GOOGLE STREETVIEW



PROPOSED SOUTH STREETSCAPE
NOT TO SCALE
SOURCE: GOOGLE STREETVIEW



EXISTING NORTH STREETSCAPE
NOT TO SCALE
SOURCE: GOOGLE STREETVIEW



PROPOSED NORTH ELEVATION
NOT TO SCALE



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11	JAN 12 23	RZ DP AMEND	HAI
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13	MAR 31 23	RZ DP AMEND	HAI

Seal



Project
COBBLESTONE HOMES LTD.
250 EAST 23RD STREET
CITY OF NORTH VANCOUVER

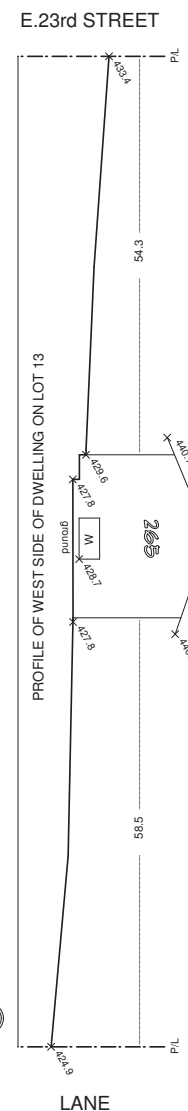
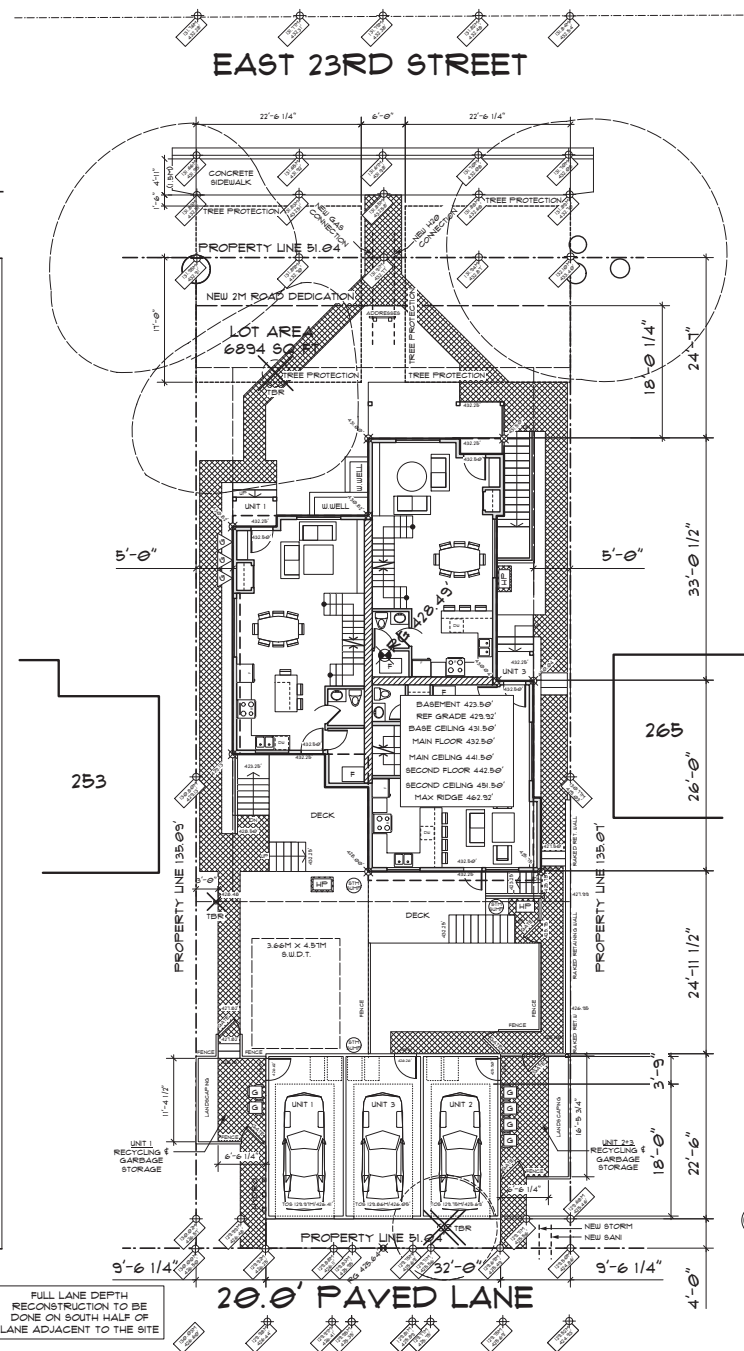
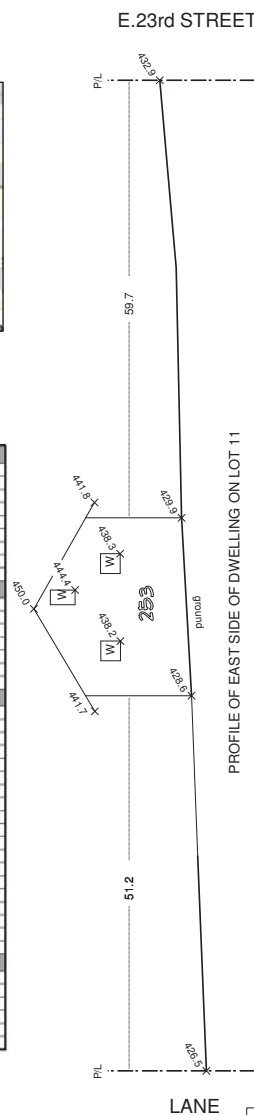
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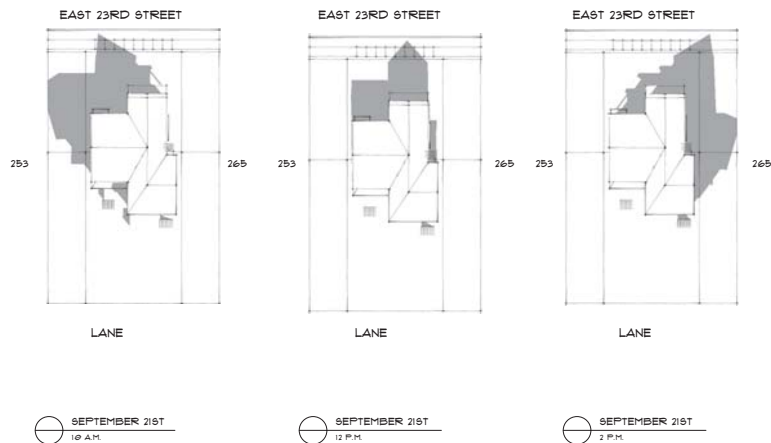
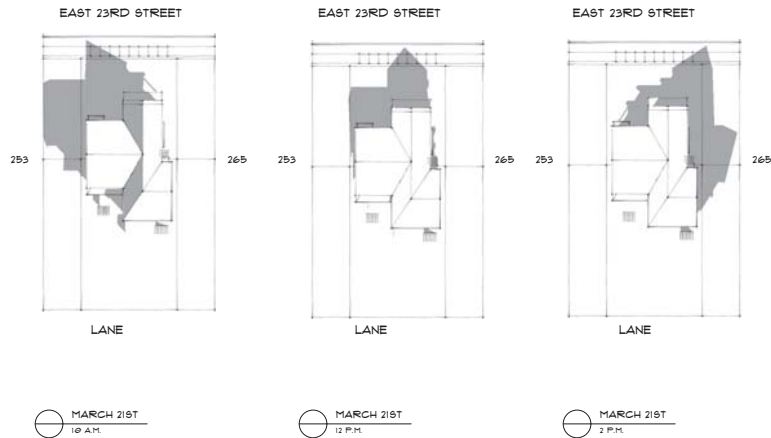
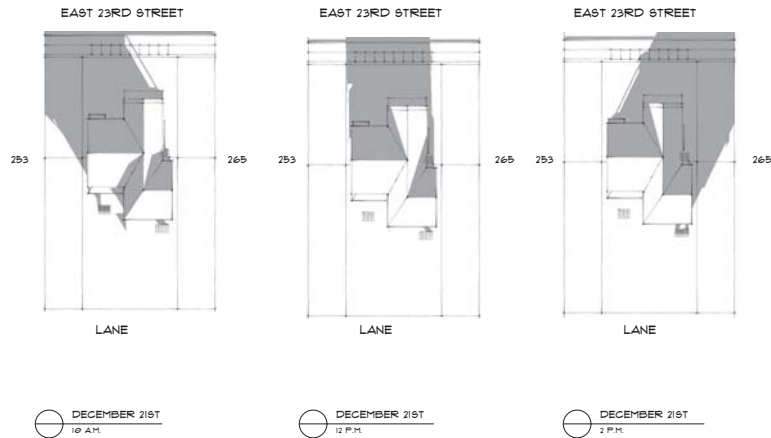
CONTEXT MAP
STREETSCAPE REVIEW
CHARACTER SKETCH
DESIGN RATIONALE

Date JAN 26 2021	Project No. 2115
Scale	Drawing No.
Drawn By HAI	A1.0
Approved By VJM	



PROJECT STATISTICS			
CIVIC ADDRESS	295 EAST 73RD STREET		
LEGAL DESCRIPTION	LOT 12 BLOCK 208 DISTRICT LOT 546 PLAN 5461		
PARCEL ID	011-144-815		
CCP DESIGNATION	R2 - UNCHANGED		
ZONING	RS-1 TO PROPOSED CD		
LOT WIDTH	15.6	M	51.0 FEET
LOT DEPTH	4.2	M	13.81 FEET
LOT AREA	642.1	SQ M	6934.5 SQ FT
TRIPLEX			
HEIGHT	3.3	M	32.5 FEET
STORIES	2	+ BASEMENT	
FRONT YARD SETBACK	5.5	M	18.0 FEET
WEST SIDEYARD	1.8	M	6.3 FEET
EAST SIDE YARD	1.5	M	7.0 FEET
REAR YARD	15.1	M	76.1 FEET
FLOOR AREAS (NET)			
UNIT ONE - MAIN	51.5	SQ M	618.9 SQ FT
UNIT ONE - SECOND	53.8	SQ M	579.3 SQ FT
UNIT ONE - BASEMENT	57.5	SQ M	618.9 SQ FT
UNIT TWO - MAIN	53.4	SQ M	574.8 SQ FT
UNIT TWO - SECOND	54.6	SQ M	587.1 SQ FT
UNIT TWO - BASEMENT	53.4	SQ M	574.8 SQ FT
UNIT THREE - MAIN	55.3	SQ M	595.2 SQ FT
UNIT THREE - SECOND	56.9	SQ M	612.5 SQ FT
UNIT THREE - BASEMENT	55.3	SQ M	595.2 SQ FT
TOTAL BASEMENT EXE	-164.2	SQ M	-1788.9 SQ FT
OTHER EXEMPTIONS	-11.3	SQ M	-121.6 SQ FT
TOTAL	320.2	SQ M	3446.5 SQ FT
AS A PERCENTAGE	49.8%		45.9%
LOT COVERAGE			
BUILDINGS	166.2	SQ M	1788.9 SQ FT
DECKS AND PORCHES	45.8	SQ M	493.0 SQ FT
GARAGE	69.4	SQ M	703.9 SQ FT
TOTAL	271.4	SQ M	2985.8 SQ FT
AS A PERCENTAGE	43.7%		43.3%





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12	MAR 15 23	COORDINATION	HAI
13	MAR 31 23	RZ DP AMEND	HAI

Seal



Project

COBBLESTONE HOMES LTD.
253 EA8T 23RD STREET
CITY OF NORTH VANCOUVER

Drawing Title

SHADOW STUDY

Date

JAN 26 2021

Project No.

2115

Scale

Drawn By

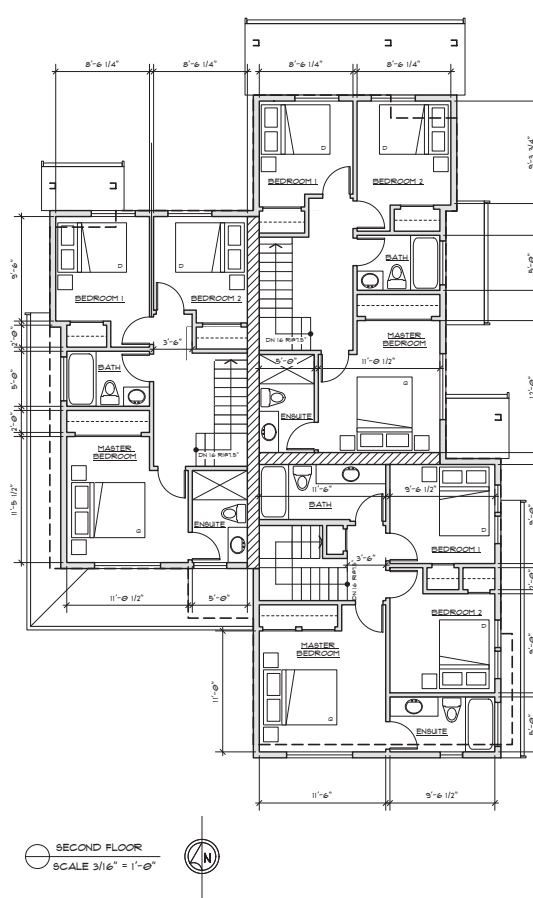
HAI

Drawing No.

A1.2

Approved By

VJM



Date JAN 26 2021	Project No. 2119
Scale	Drawing No.
Drawn By HAI	A2.0
Approved By JIM	

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Seal



Project

COBBLESTONE HOMES LTD.
259 EAST 23RD STREET
CITY OF NORTH VANCOUVER

Drawing Title

F&R OVERLAY

Date

JAN 26 2021

Project No.

2115

Scale

Drawn By

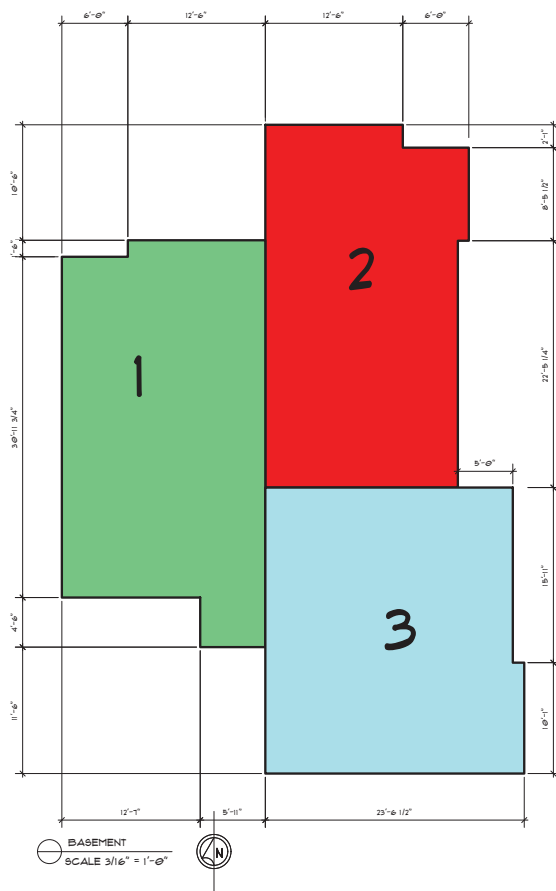
HAI

Approved By

V.J.H.

A2.1

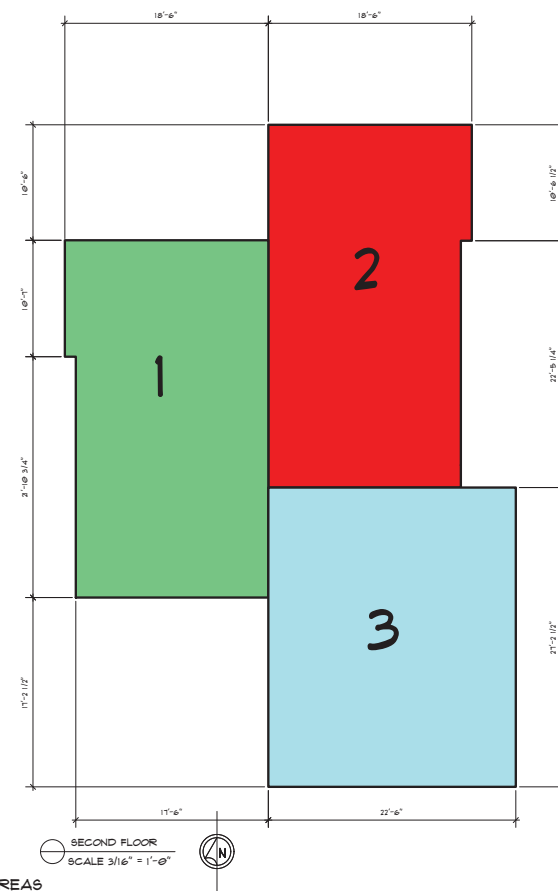
1789 SF GROSS



1789 SF GROSS



1779 SF GROSS

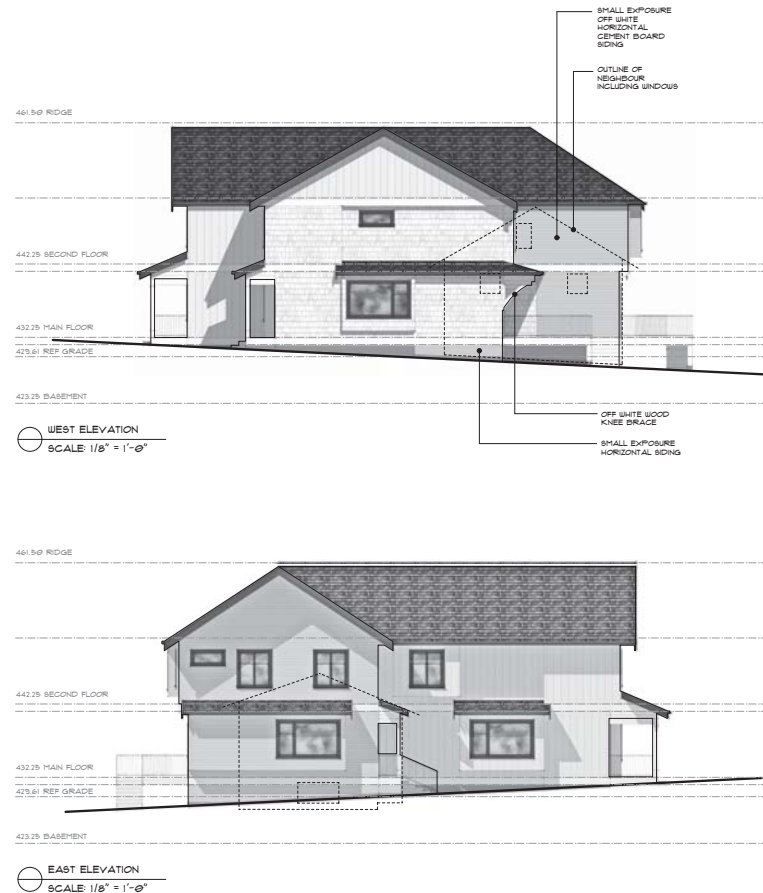


GROSS UNIT AREAS

UNIT 1 - 1,816 SQ FT
UNIT 2 - 1,138 SQ FT
UNIT 3 - 1,803 SQ FT
TOTAL - 5,399 SQ FT

NET UNIT AREAS

UNIT 1 - 1,711 SQ FT
UNIT 2 - 1,101 SQ FT
UNIT 3 - 1,759 SQ FT
TOTAL - 5,231 SQ FT



PROJECT MATERIALS					
	BLACK ASPHALT SHINGLES		BLACK VINYL WINDOWS		OFF WHITE VERTICAL CEMENT BOARD SIDING
	DARK GREY 545 RAKED FASCIA		VINYLTEK WINDOWS POLO CHARCOAL TRIM		SMALL EXPOSURE OFF WHITE HORIZONTAL CEMENT BOARD SIDING
	OFF WHITE DRESSED BEAM / POSTS / BAND BOARD / KNEE BRACE		SOLID WOOD DOOR C/N TOP LITES		OFF WHITE CEMENT BOARD SHINGLES
	OFF WHITE WOOD PICKET GUARD (ALT. BLACK ALUM.)		OFF WHITE WOOD GUARD ON ALT-BLACK ALUMINUM OR WROUGHT IRON GUARD		OFF WHITE CEMENT BOARD SHINGLES
	6x6 OFF WHITE BLOCK MODILLIONS		BENJAMIN MOORE CC-30 OXFORD WHITE (SHOWN)		BENJAMIN MOORE CC-30 OXFORD WHITE

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Seal

Project

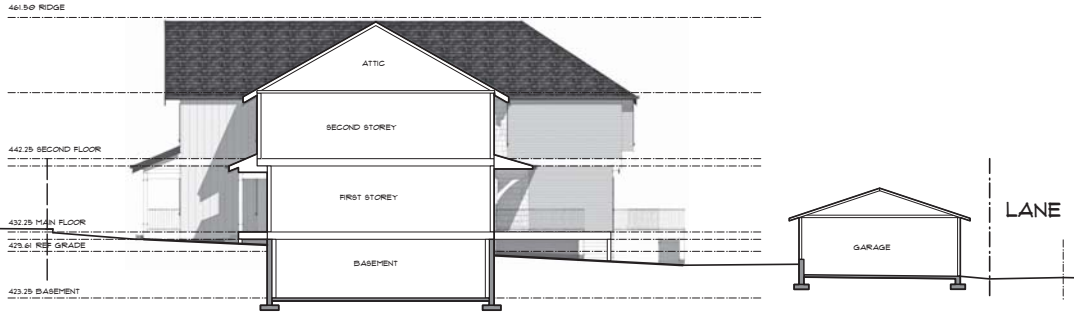
COBBLESTONE HOMES LTD.
259 EAST 23RD STREET
CITY OF NORTH VANCOUVER

Drawing Title

SCHEMATIC ELEVATIONS

Date	JAN 26 2021	Project No.	2115
Scale	1/8"=1'-0"	Drawing No.	A3.0
Drawn By	HAI	Approved By	VJH

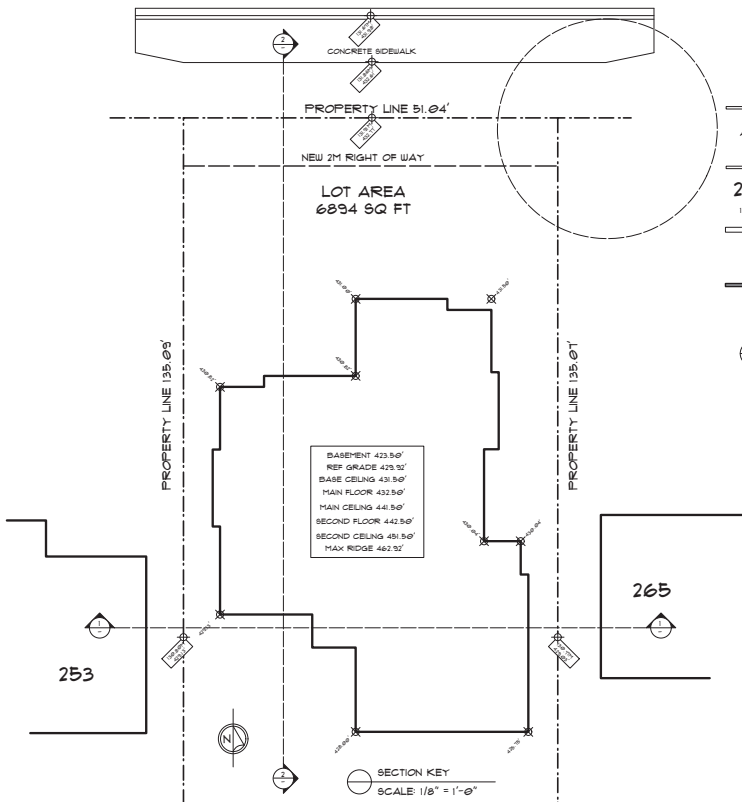
EAST
23RD
STREET



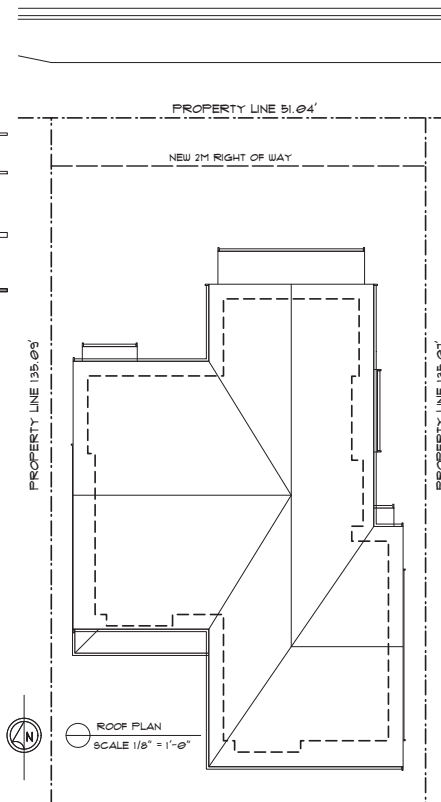
2 LONG SECTION
SCALE: 1/8" = 1'-0"

EAST 23RD STREET

EAST 23RD STREET



1 SHORT SECTION
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



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Seal



Project

COBBLESTONE HOMES LTD.
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CITY OF NORTH VANCOUVER

Drawing Title

SCHEMATIC
SECTIONS
ROOF PLAN

Date

JAN 26 2021

Project No.

2115

Scale

1/8"=1'-0"

Drawn By

HAI

Approved By

VJH

A4.0

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Seal



Project

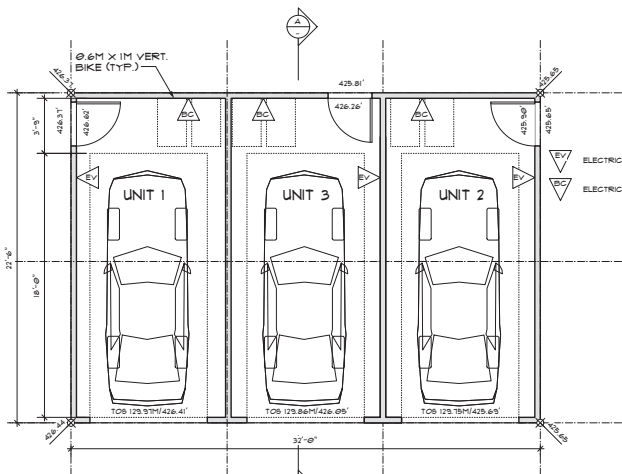
COBBLESTONE HOMES LTD.
259 EAST 23RD STREET
CITY OF NORTH VANCOUVER

Drawing Title

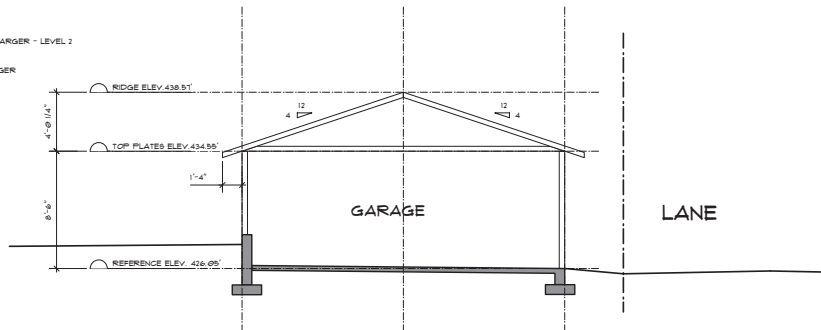
GARAGE

Date	JAN 26 2021	Project No.	2115
Scale	1/4" = 1'-0"	Drawing No.	
Drawn By	HAI		
Approved By	V.J.H.		

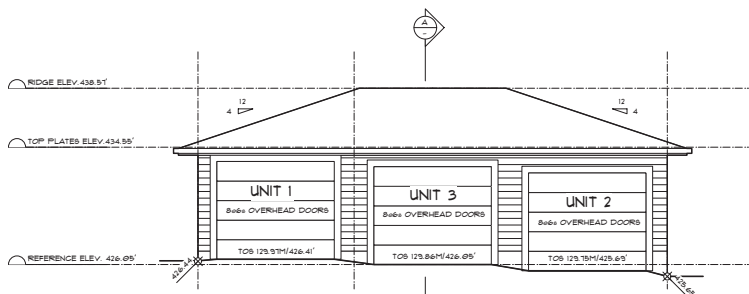
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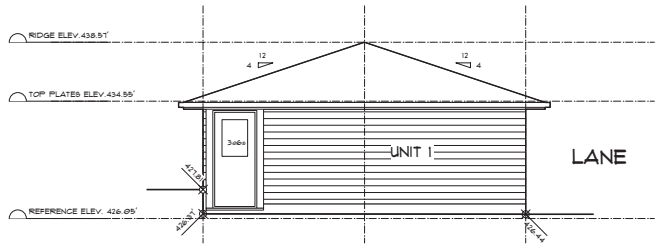
GARAGE PLAN
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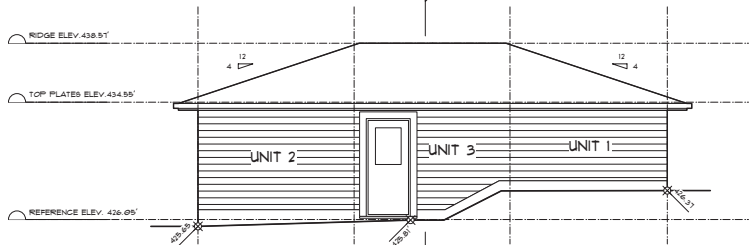
GARAGE SECTION A
SCALE: 1/4" = 1'-0"



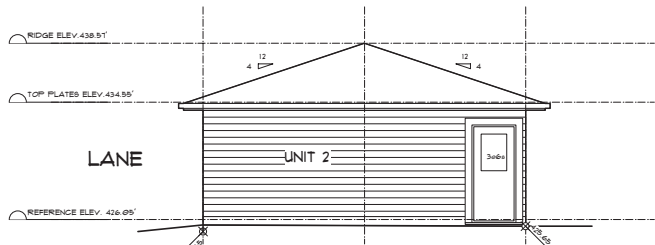
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

LANDSCAPE CONTRACT DOCUMENTS

PROJECT: LANDSCAPE FOR TRIPLEX

LOCATION: 259 EAST 23RD STREET, NORTH VANCOUVER
CLIENT: COBBLESTONE HOMES LTD.
BUILDING ARCHITECT: HEARTH ARCHITECTURAL
LANDSCAPE ARCHITECT CONSULTANT: SW LANDSCAPE ARCHITECT
ATTN: STEVE WONG 778 834-8959 steve.wong234@gmail.com
www.swlandscapearchitect.com

SUMMARY OF LANDSCAPE SCOPE OF WORK

SUMMARY: THE LANDSCAPE PORTION OF THE PROJECT INCLUDES ALL LANDSCAPE WORKS ASSOCIATED WITH A NEW BUILDING PROJECT. THIS INCLUDES BUT NOT LIMITED TO THE SUPPLY AND INSTALLATION OF GROWING MEDIUM, LANDSCAPE PLANTS, MULCH, IRRIGATION SYSTEM, PAVERS, CIP CONCRETE WALKWAYS/STAIRS, CIP ADDRESS PILLAR WITH LIT SIGN, ASPHALT, FENCING, TREES, LOW VOLTAGE LIGHTING, ONE YEAR WARRANTY AND ONE YEAR LANDSCAPE MAINTENANCE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL AND WATER FEED IN ORDER TO ALLOW FOR THE INSTALLATION OF A COMPLETE, FUNCTIONING LANDSCAPE LIGHTING AND IRRIGATION SYSTEM. LANDSCAPE DESIGN/WORKS IS TO BE COORDINATED WITH ALL OTHER WORKS ON THIS SITE.

LANDSCAPE LIST OF DRAWINGS

L0 COVER SHEET
L1 LAYOUT
L2 PLANTING PLAN
L3 LIGHTING PLAN
L4 TREE MANAGEMENT PLAN
L5 DETAILS

GENERAL CONDITIONS OF THE CONTRACT

-REFER TO GENERAL CONDITIONS OF CONTRACT, BY PRIME CONSULTANT
-REFER TO, AND COORDINATE THESE CONTRACT DOCUMENTS WITH THE
CONTRACT DOCUMENTS OF THE OTHER CONSULTANTS AND THE MAIN CONTRACT

LANDSCAPE SPECIFICATIONS

1. CANADIAN LANDSCAPE STANDARD (CLS), SECOND EDITION
COPYRIGHT, 2020, ISBN: 978-0-9950714-1-4
-PUBLISHED JOINTLY BY:
CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS
12 FORILLON CRESCENT, OTTAWA ON K2M 2V5
1-613-668-4775 csla-aapc.ca
CANADIAN NURSERY LANDSCAPE ASSOCIATION
7856 FIFTH LINE SOUTH MILTON ON L9T 2X8
1-888-446-3499 cnla-acpp.ca

SUPPLEMENTARY SPECIFICATIONS- PROJECT SPECIFIC:

9. LANDSCAPE MAINTENANCE: ADD: PER SECTION 9.1.5, ESTABLISHMENT AND WARRANTY MAINTENANCE, THE MAINTENANCE PERIOD WILL BE FOR 1 CALENDAR YEAR FROM DATE OF ACCEPTANCE. PER SECTION 9.1.7, MAINTENANCE LEVEL FOR THIS PROJECT WILL BE AT LEVEL 3 "MODERATE"

CLS SPECIFICATIONS (PARTS THAT ARE NOT APPLICABLE TO THIS PROJECT ARE GRAYED OUT)

1. SCOPE OF THE STANDARD
2. CONTRACT ADMINISTRATION
3. SITE PREPARATION AND PROTECTION
4. GRADING AND DRAINAGE
5. GROWING MEDIUM
6. PLANTS AND PLANTING
7. MULCHING
8. SEEDING AND SODDING
9. LANDSCAPE MAINTENANCE
10. IRRIGATION SYSTEMS
11. INTEGRATED PEST AND VEGETATION MANAGEMENT
12. HARDCAPE
13. LANDSCAPE OVER STRUCTURES
14. INTERIOR PLANTSCAPE N/A

APPENDIX A: LIST OF TABLES AND FIGURES

APPENDIX B: BASIC CONTENTS OF A LANDSCAPE COMMISSIONING PLAN
APPENDIX C: CANADIAN NURSERY STOCK STANDARD, NINTH EDITION
APPENDIX D: NATIONAL VOLUNTARY CODE OF CONDUCT FOR THE ORNAMENTAL
HORTICULTURE INDUSTRY

GLOSSARY OF TERMS AND DEFINITIONS

NOTES:

1. CONTRACTOR TO PROVIDE DIGITAL PHOTOS TO THE LANDSCAPE ARCHITECT FOR ALL WORK THAT WILL BE BURIED OR CONCEALED IN ORDER TO CONFIRM THAT THE WORK MEETS SPECIFICATIONS AND APPLICABLE STANDARDS

2. CONTRACTOR TO PROVIDE DIGITAL PHOTOS OF ALL PLANT MATERIAL AT THE NURSERY FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO SHIPPING. PHOTOS ARE TO BE REPRESENTATIVE OF THE PLANTS TO BE SHIPPED AND CLEARLY SHOW THE QUALITY AND SIZE OF THE PLANTS. A MEASURING STICK SHOULD BE USED WHERE NECESSARY TO SHOW THE HEIGHT OF A PLANT.

GENERAL PROJECT AND CONTRACTOR NOTES

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
2. Contractor shall submit reproduction shop drawings to Landscape Architect for Owner's approval.
3. Contractor shall co-ordinate with all trades to provide complete working systems.
4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by field survey and be shown on drawings. Contractor shall submit a detailed arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in drawings or between drawings and notes, Contractor shall give pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, architect, Engineer)
5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
6. All work described by these documents shall be performed in full accordance with all applicable codes and regulations.
7. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any repair or deterioration within this period shall be corrected by the contractor at the contractor's expense.
10. Coordinate landscape drawings with architect/engineer and all other consultant drawings.

GENERAL LANDSCAPE NOTES

1. All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.
2. All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg. B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
3. All grades to meet adjacent grades at property line. All stormwater is to be contained on site and approved measures to be carried out to ensure that no more than 1% of 15% and all lawn areas to be sloped a minimum of 2% to avoid standing water. Contractor is ultimately responsible for ensuring there is no standing water on site over an extended period.
4. No slopes to be steeper than 2:5 horizontal: 1 vertical.
5. All plant material and growing medium to meet Canadian Landscape Plant #1 specifications. Initial search area is to be any plant nursery within the Lower Mainland. Standard specifications are only allowed if approved by Landscape Architect. Proposed plant substitutions shall be of similar species and of at least equal size to those originally specified.
6. All shrub beds to contain minimum 18" (450 mm) deep and all lawn areas to contain a minimum of 6" (150 mm) deep of approved growing medium over scarified subgrade unless stated otherwise on drawings.
7. All plantings are to be installed wherever the fall height is over 2 ft. Guardsrails to be a minimum 42" high from any climbable surface finish. Maximum openings between pickets to be under 4".
8. Stairs to have consistent rise/run for risers and treads. Stair treads to slope 2% to front edge of tread for drainage and constructed with materials or finishes to prevent slip falls. All stairs over 2' rise to have handrails between 32" to 38" high from the front of stair treads, and to extend 12" beyond both ends of treads.
9. Exterior ramps to adhere to BC Building code if greater than 5% slope. Ramps to be maximum of 8.3% and minimum 5' width. Handrails required on both sides. Construction to adhere to BC Building code.
10. All retaining walls and structures over 4 ft. in height or if there are issues with soil stability require sign-off from the appropriate geotechnical/geotechnical. Contractor to provide engineer stamped shop drawings for Landscape Architect.
11. Landscape installation to be reviewed by registered Landscape Architect.

GENERAL TREE NOTES

1. Any permitted tree removal(s) must be performed by a qualified professional.
2. No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent the destruction of exposed roots. Any exposed roots must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
3. The removal of existing organics within the critical root zones of retained trees must be performed manually, when installing new plant material within the critical root zones of retained trees, if large roots (1.5" diameter and larger) are encountered, then new plantings must be shifted to adjacent moderate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
4. Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to; demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the construction of any type of parking structure, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
5. Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating Tree protection zone-Do not enter or modify.
6. Refer to arborist report and drawing, Prepared by Burley Boys Tree Services, dated June 23, 2021. Refer to and coordinate with other project drawings.

MATERIALS LIST-COORDINATE WITH SPECIFICATIONS

1. ADDRESS SIGN: From Address Signage Company, North Vancouver stainless steel with integrated 12v LED lighting and stands bolted to address pillar.

2. ASPHALT: 3" of compacted hot mix asphalt applied in 2 lifts over 4" of well compacted ¾" minus base. Base to be placed on MFCO or equivalent.

3. CONCRETE: Per applicable industry standards. Concrete to be reinforced with rebar and/or WWM as shown on drawings. For concrete flatwork, provide medium broom finish with 2% cross slope, over min. 4" compacted granular base with expansion joints as required, and control joints @ 5' OC and where there is potential for cracking. Provide shop drawings showing expansion and control joints.

4. FENCE - POST BASE BRACKET: By Magna Supply, MSF104 for full dimension 4" post, black textured powdercoated.

5. FENCE-WOOD: 1 X6 TAG STK cedar boards, finished with 2 coats of Sikken's semi-transparent cedar stain. Exact style to be determined by Owner.

6. FILTER FABRIC: Nylex Nonwoven 4551 geotextile or equivalent, polypropylene, staple fiber, needle-punched nonwoven geotextile.

7. FLOOR COVER: 3/4" round dirt rock over non-woven filter fabric.

8. GROWING MEDIUM: In accordance with CLS standards, latest edition. For Turf Areas: Level 1H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 25% fines (max 20% clay), 3-5% organic matter, with pH between 6-7; For Planting Areas: Level 1P (Planting Areas), containing by weight: 40-80% sand, maximum 25% fines (max 20% clay), 10-20% organic matter, with pH between 4.5-6.5, supplied by Veratec Engineered Products (www.verategroup.com), DENBOW (www.denbow.com), SUMAS GRIA MEDIA (www.sumasgriamedia.com) or equivalent; 6" min for lawn areas on grade, 18" min for planted areas on grade, over scarified base, or as otherwise specified. A current representative soil analysis is to be done by Pacific Soil Analysis, Richmond to confirm soil sample meets specifications prior to shipping. If after shipping the quality of the soil is in question, further sampling and testing by Pacific Soil Analysis will be required at contractor's expense. If it is determined that the material does not meet the quality of the soil it is to be removed at contractor's expense. Contact information for Pacific Soil Analysis is: #5-11720 Voyageur Way, Richmond, BC V6X 3G9; Phone (604) 273-8226.

9. HANDRAILS FOR STAIRS: 3" high maximum from front edge of tread, powder coated medium gloss charcoal aluminum, installed to BC Building code. Exact style to be determined by Owner.

10. IRRIGATION: Supply and installation required for a complete automatic, in-ground irrigation system to provide the irrigation for the entire site. The system to be installed shall include and includes all pipes, sleeves, valves, in-ground irrigation boxes, sprinkler heads, solenoid valves, controller and rain sensor. Controller to have 2 extra zones for future expansion and if installed outside, to have controller and wiring secured in a lockable, weatherproof metal box. Irrigation components to be Rainbird, Toro or Hunter. Irrigation design and installation per Canadian Landscape Standards Institute. Design to be completed by a qualified designer/professional with IAABC Shop drawings for the irrigation system to be provided by contractor and to be approved by the landscape architect prior to installation. Contractor is responsible for providing water service and connecting irrigation system to water service complete with backflow preventer, pressure reducing valve and isolation valves. Contractor to adjust irrigation controller, sprinkler heads and system installation in addition to providing as-built drawings and a one year warranty. (Lighting by Kichler 15565SB, Timer-24 hr digital. Lighting to be installed as a complete outdoor system with sand based soil (perennial nylex/Kentucky bluegrass) with no netting. Supplied by Bos Do Farms, or equivalent. No clay or silt soil to be allowed).

11. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread per BC Building code. Coordinate with architect/engineering drawings. Exact style to be determined by Owner.

12. MULCH: To be composted fir bark, having dark brown, fine texture and ½" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil & Mulch (604 465-5193) or equivalent.

13. PAVERS: By Newstone Group, Manhattan Vibrepressed slabs, or pre approved equivalent, in natural colour, 24" by 24" or 24" by 36" by 2", over 1" bedding sand and minimum 4" compacted ¾" minus base course concrete in areas over grade. Perimeter edge restraint to be concrete or Edge-Pro or equivalent.

14. PAVERS: By Newstone Group, Dorado Series, 6"x12" by 2 3/8" thickness for pedestrian walkways. Natural grey colour, in sizes and pattern to suit owner. Edges to be provided with solid stone in Colour of the Pavers. Pavers to be laid in a staggered pattern and minimum 4" compacted ¾" minus base course over non-woven filter fabric. Perimeter edge restraint to be concrete or Edge-Pro or equivalent. Polymeric sand to be filled in joints.

15. PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards by qualified contractor. Plant search is generally throughout the Lower Mainland except as indicated otherwise. Any plant substitutions must be approved by the Landscape Architect.

16. RAILINGS: 42" high, powder coated medium gloss black charcoal. Maximum gap between pickets to be 3.75". Railings to be installed where there is a fall height of 2' or more, installed to BC Building code. Coordinate with architect/engineering drawings. Exact style to be determined by Owner.

17. SOIL: To be sand based soil (perennial nylex/Kentucky bluegrass) with no netting. Supplied by Bos Do Farms, or equivalent. No clay or silt soil to be allowed.

18. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread per BC Building code. Coordinate with architect/engineering drawings.

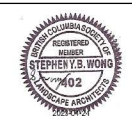
NOTE: ALL MATERIALS SHOWN ON DRAWINGS ARE NOT NECECARILY INCLUDED IN THIS MATERIALS LIST. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL MATERIALS REQUIRED TO COMPLETE LANDSCAPE WORKS PER CONTRACT DOCUMENTS.



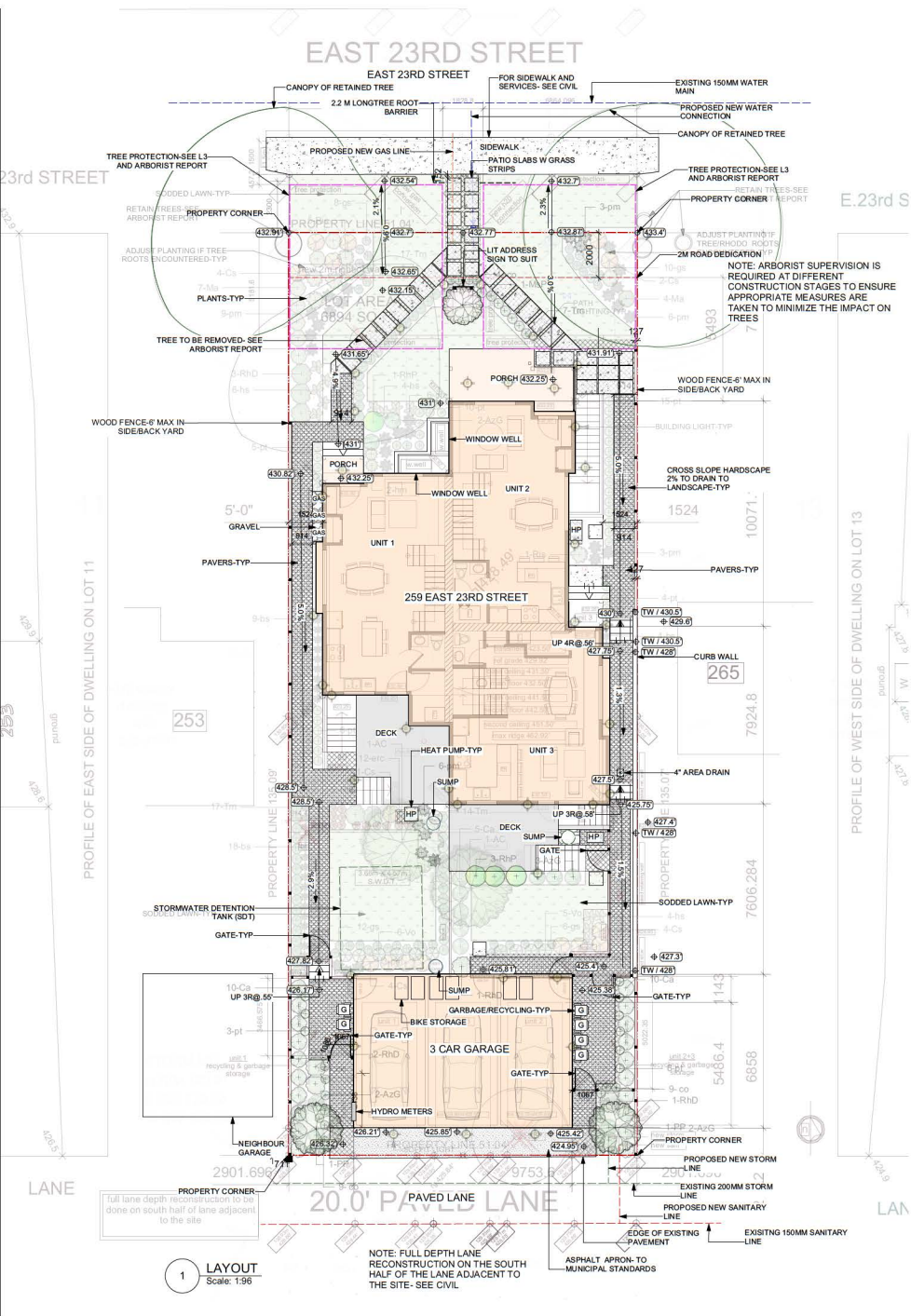
STREET VIEW OF PROJECT SITE

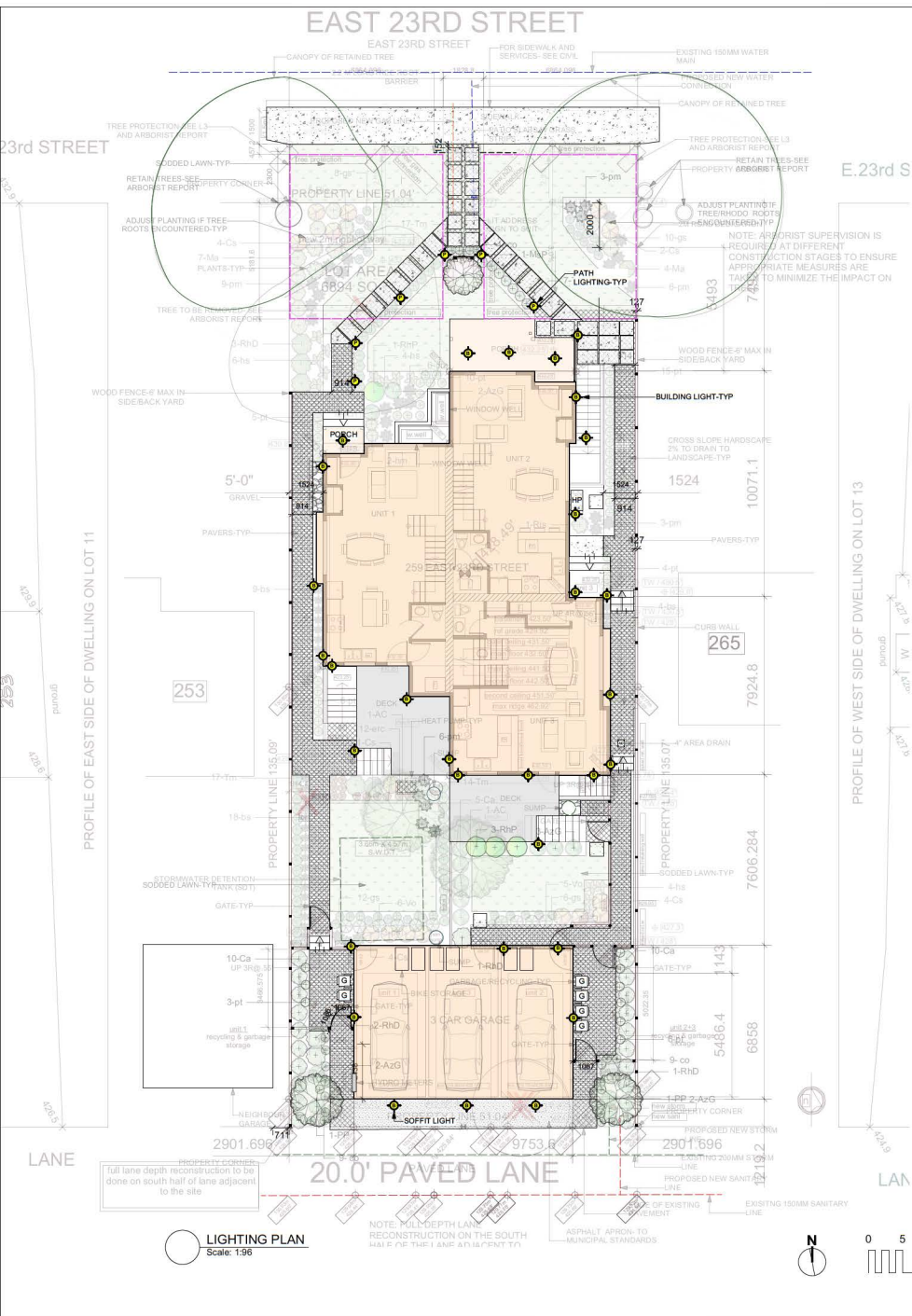
No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
C	4/3/2022	SUBMIT
D	12/13/2022	SUBMIT FOR BP
E	3/11/2023	REVISED PER CITY COMMENTS
F	4/24/2023	SUBMIT FOR BP

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Logo Area	SW LANDSCAPE ARCHITECT 919 MELBOURNE AVENUE NORTH VANCOUVER www.swlandscapearchitect.com
Client	COBBLESTONE HOMES
Project Title	TRIPLEX DEVELOPMENT 259 E. 23RD ST. NORTH VANCOUVER
Sheet Title	COVER SHEET
Project Manager	STEVE WONG
Drawn by	SW Date: 2022-5 Scale: A8 NOTED (Sheet No.)
Date	L-0 _____ 5
CAD File Name E 23 V1.wxw	





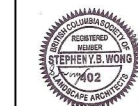
LIGHTING LEGEND

- B** BUILDING LIGHT-SEE ARCH
- ST** STEP LIGHT
- W** WALL LIGHT
- U** UP/ACCENT LIGHT
- P** PATH LIGHT
- H** HARDSCAPE LIGHT
- DK** DECK LIGHT
- D** DOWN/ACCENT LIGHT

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
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SWLA



Design Firm: SW LANDSCAPE ARCHITECT
919 MELBOURNE AVENUE
NORTH VANCOUVER
www.swlandscapearchitect.com

Client: COBBLESTONE HOMES

Project Name: TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER

Sheet Title: LIGHTING PLAN

Project Manager: STEVE WONG
Drawn By: SW
Scale: AS NOTED

Date: MARCH 2022
Drawing Number: E 23 v1.wvx
Project ID: 2022-6
Sheet No: L-3
of 5

Appendix:

Below details the tree assessed. "DBH" is the main trunk diameter of the tree measured approximately 1.4m from grade. The determined condition of each tree is relative to its health, canopy structure, colour and vigor and any defects noted in the stem, canopy or root plate. Retention values are based on the tree species profile, growing conditions & viability as long-term. "CRZ" is the determined Critical Root Zone of each tree. Preferred & Minimum CRZs are outlined below. The Preferred CRZ measurement is based on 72xDBH, as recommended by BSLUSA. Tree protection barriers should be located no closer to the trunk than this distance. It should be noted trees with excavations required inside the Preferred CRZ can often be retained.

Tree #	Species	DBH (cm)	Condition	Retention Value	CRZ (m)	CRZ (ft)	Comments & Recommendations
1	Cedar	122	Good	High	7.32	14.64	<ul style="list-style-type: none"> Shared with City & west neighbour Existing sidewalk inside CRZ recommended to be retained If a new sidewalk required, should be installed in same location as existing Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier Arborist supervision required for sidewalk/grading
2	Cedar	121	Good-Fair	High	7.26	14.52	<ul style="list-style-type: none"> Leaning weighted to SW Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development Shrub must be ground, not removed with excavator to protect CRZ of T1
3	Cedar x 3	117, 87, 72	Fair	Moderate	7.02	14.04	<ul style="list-style-type: none"> Group of 3 trees Shared with City & east neighbour Western most stem prev. topped Existing sidewalk inside CRZ recommended to be retained If a new sidewalk is required, it should be installed in same location as existing Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier Arborist supervision required for sidewalk/grading

FILE #21-095 | COBBLESTONE HOMES | 259 E. 23RD ST., NORTH VANCOUVER, BC | 23JUNE21

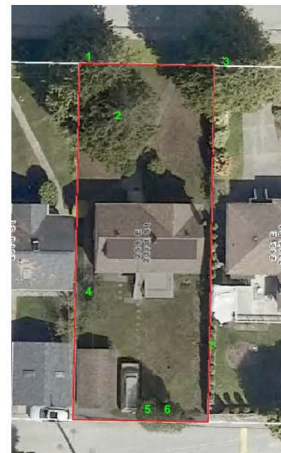
4	Pear	27	Fair-Poor	Low	1.62	3.24	<ul style="list-style-type: none"> Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
6	Holly	34	Poor	Unsuitable	2.04	4.08	<ul style="list-style-type: none"> Multi-stemmed, combined DBH (18, 14, 12) Invasive species Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
8	Holly	44	Poor	Unsuitable	2.64	5.28	<ul style="list-style-type: none"> Multi-stemmed, combined DBH (21, 17, 12) Invasive species Conflict with excavations Recommend: <ul style="list-style-type: none"> Remove to facilitate proposed development
7	Emerald cedar	8	Good	Moderate	0.48	0.96	<ul style="list-style-type: none"> East neighbour's property Hedge Recommend: <ul style="list-style-type: none"> Retain, install tree protection barrier at property line

Tree Removal/Retention Summary:

Number of permit protected trees to be removed:	8
Number of non-permit protected trees to be removed:	4
Number of retained trees on site:	3

FILE #21-095 | COBBLESTONE HOMES | 259 E. 23RD ST., NORTH VANCOUVER, BC | 23JUNE21

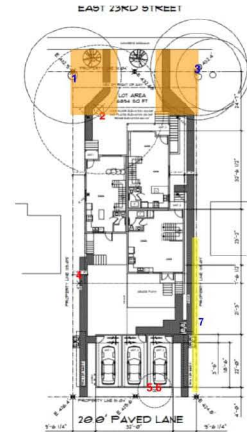
Site Map:



FILE #21-095 | COBBLESTONE HOMES | 259 E. 23RD ST., NORTH VANCOUVER, BC | 23JUNE21

Site Plan:

The below site plan plots tree locations and outlines removal / retention recommendations (Retain, Remove, Relocate). Approximate Tree Protection Fencing locations are outlined in yellow. Retained trees requiring Arborist Supervision are outlined in orange. An original large scaled copy of the site plan indicating trees marked for removal, and the locations of Tree Protection Zone fencing has not been included with this report; this is to be provided by the applicant, if required.



FILE #21-095 | COBBLESTONE HOMES | 259 E. 23RD ST., NORTH VANCOUVER, BC | 23JUNE21

TREE COUNT SUMMARY

TREES REMOVED 4
PLANTED TREES 4

Refer to arborist report and drawings, Prepared by Burley Boys Tree Services Ltd., dated June 23, 2021. Refer to and coordinate with other project drawings.

1.4m DBH
1.4m CRZ

TREE PROTECTION AREA

DO NOT REMOVE OR RELOCATE TREES DURING CONSTRUCTION. NO MATERIAL OR EQUIPMENT TO BE STORED WITHIN PROTECTED AREA.

TITLE: ALL CAPS, ARIAL, BOLD, 12PT BLACK
BODY: ALL CAPS, ARIAL, REGULAR, 10PT BLACK

DBH (TRUNK DIAMETER TAKEN 1.4m ABOVE EXISTING GRADE)

ORANGE PLASTIC SNOW FENCING SECURELY FASTENED TO WOODEN FRAME

30mm X 50mm WOODEN FRAME WITH CROSS BRACES TO DIMENSIONS SHOWN. VERTICAL MEMBERS TO BE MIN 1cm O.C.

TREE PROTECTION SIGN

FINISHED GRADE

DAMAGED POSTS 45mm MIN INTO GROUND

BARRIER DIMENSIONS

* LENGTH AND DEPTH + TRUNK FACE TO DRIP LINE OR DIMENSIONS IN TABLE BELOW - WHICHEVER IS GREATER

TRUNK DIAMETER (DBH)	DISTANCE FROM TRUNK FACE TO INSIDE OF BARRIER (MIL)
<10 cm	1.2 m
10-20 cm	1.8 m
30-40 cm	2.4 m
41-50 cm	3.0 m
51-60 cm	3.6 m
61-70 cm	4.2 m
71-80 cm	4.8 m
81-90 cm	5.4 m
91-100 cm	6.0 m

PROTECTION BARRIER

EXISTING TREE CENTERED WITHIN BARRIER

IN BOULEVARD SEE TABLE

FOR STREETSCAPE SETTING

DEPTH + INSIDE OF CURB OR PROPERTY LINE TO SIDEWALK EDGE

NOTES:

1. TREE TO BE CENTERED WITHIN TREE PROTECTION BARRIER.

2. CLADDING TO BE ORANGE PLASTIC SNOW FENCING MOUNTED TO WOOD FRAME OR APPROVED EQUAL.

3. FENCING LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

4. FENCING TO BE CONSTRUCTED ON ALL SIDES OF PROTECTED TREES.

5. CONTRACTOR TO CONTACT CMA ARBORIST TO PERFORM ANY NECESSARY LMS OR ROOT PRUNING PRIOR TO COMMENCEMENT OF CONSTRUCTION CONTRACT THREE (3) DAYS IN ADVANCE.

6. DO NOT PARK VEHICLES, STORE EQUIPMENT OR MATERIALS WITHIN DRIPLINE OF THE TREE OR INSIDE TREE PROTECTION AREA.

7. MAINTAIN EXISTING GRADE AT PROTECTION BARRIER. RESURFACING TO THE BARRIER SHOULD NOT COMPROMISE TREE HEALTH.

8. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF TREE PROTECTION BARRIER UNTIL PROJECT COMPLETION.

9. DAMAGED TREES, INCLUDING THOSE ADVERSELY AFFECTED BY COMPACTION IN PROTECTION AREA, TO BE REPLACED AT CONTRACTOR'S EXPENSE.

(N.T.S.) METRIC

CITY OF NORTH VANCOUVER

TREE PROTECTION DETAIL

DRAWN: JN DATE: APRIL, 2019 DWG. NO. T1S

CHECKED: CB APPROVED: CB

TREE PROTECTION FENCING
Scale: NTS

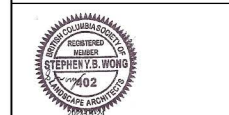
GENERAL TREE NOTES

- Any permitted tree removal(s) must be performed by a qualified professional.
- No grade changes are to occur within the critical root zones of any retained trees. Any exposed roots from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent dessication of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
- The removal of existing organics within the critical root zones of retained trees must be performed manually, when installing new plant material within the critical root zones of retained trees, if large roots (1.5" diameter and larger) are encountered, then new plantings must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any critical root zone.
- Any excavation work or work within the protection zone of retained trees requires the supervision of a certified arborist. This includes, but is not limited to, demolition, the installation of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communication, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and dock footings.
- Construction materials must not be stored within the tree protection zone (TPZ) of trees to be retained, and TPZ fencing to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating Tree protection zone-Do not enter or modify. Contact your project arborist for any TPZ barrier issues.
- Refer to arborist report and drawings, Prepared by Burley Boys Tree Services Ltd., dated June 23, 2021. Refer to and coordinate with other project drawings.

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
C	4/5/2022	SUBMIT
D	12/13/2022	SUBMIT FOR BP
E	3/11/2023	REVISED PER CITY COMMENTS
F	4/24/2023	SUBMIT FOR BP

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SWLA



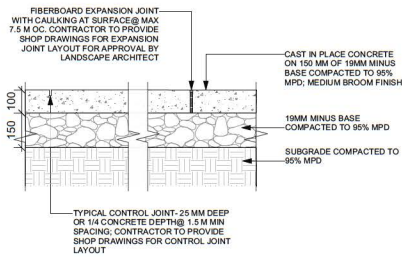
Design Firm: SW LANDSCAPE ARCHITECT
919 MELBOURNE AVENUE
NORTH VANCOUVER
www.swlandscapearchitect.com

Client: COBBLESTONE HOMES

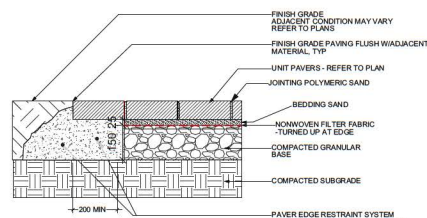
Project Site: TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER

Sheet Title: TREE MANAGEMENT

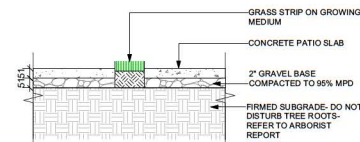
Project Manager: STEVE WONG	Project ID: 2022-6
Drawn By: SW	Scale: AS NOTED
Sheet No:	
Date: MARCH 2022	L-4
City: VANCOUVER	of 5



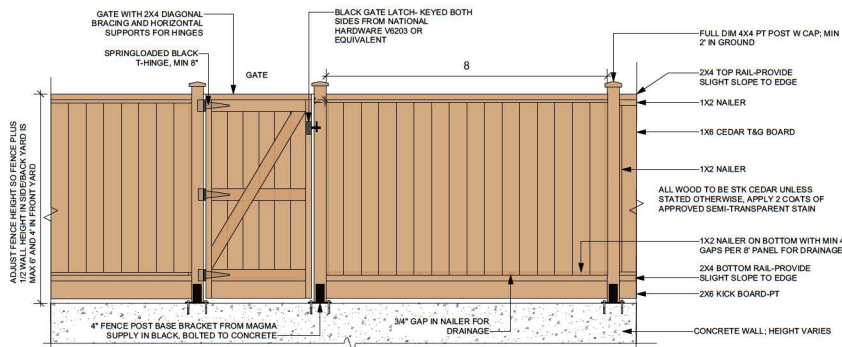
1 CIP FLATWORK
Scale: 1:10



2 PAVER EDGE DETAIL
Scale: 1:10

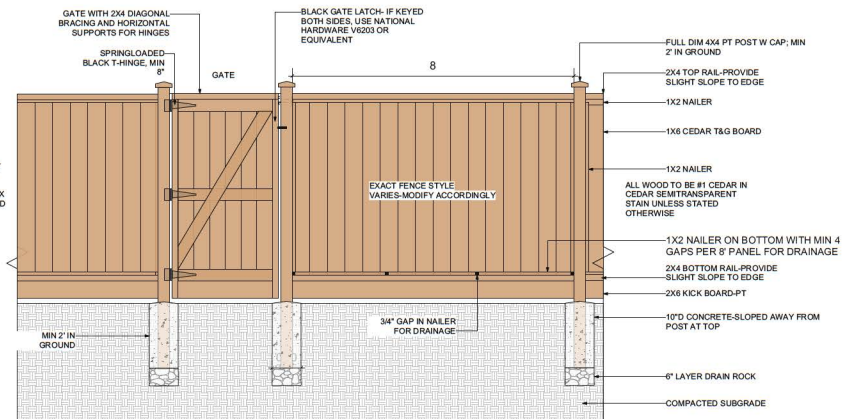


3 PATIO SLABS WITH GRASS STRIP
Scale: 1:12



4 WOOD FENCE ON WALL
Scale: 1:20

ADJUST FENCE HEIGHT SO FENCE PLUS 1/2 WALL HEIGHT IN SIDE/BACK YARD IS MAX 6' AND 4' IN FRONT YARD

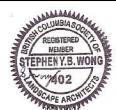


5 WOOD FENCE ON GRADE
Scale: 1:20

No.	Date	Issue/Revision Notes
A	3/15/2022	REVIEW
B	3/17/2022	SUBMIT
C	4/5/2022	SUBMIT
D	12/13/2022	SUBMIT FOR BP
E	3/11/2023	REVISED PER CITY COMMENTS
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SWLA



Design Firm: SW LANDSCAPE ARCHITECT
919 MELBOURNE AVENUE
NORTH VANCOUVER
www.swlandscapearchitect.com

Client: COBBLESTONE HOMES

Project Site: TRIPLEX DEVELOPMENT
259 E. 23RD ST. NORTH VANCOUVER

Sheet Title: DETAILS

Project Manager: STEVE WONG	Project ID: 2022-6
Drawn By: SW	Scale: AS NOTED
Date: MARCH 2022	Sheet No.: L-5
City/Region: E 23 v1.wxw	of 5



DIS SUMMARY REPORT for 259 East 23rd Street, City of North Vancouver

Applicant:

Joe Muego Architect AIBC
 Principal, Hearth Architectural Inc.
 1800-450 SW Marine Drive
 Vancouver BC V5X 0C3
joe@hearthworks.ca
 604-266-4677

Date and time of virtual DIS:

September 13, 2022
 Scheduled for 6-8pm (due to low turnout, meeting was terminated at 7pm)

Description of virtual DIS format:

1. Brief presentation by the applicant
2. Question, comments and concerns from attendees

Issues discussed and how the issues are proposed to be resolved:

There was limited attendance – two people – other than CoNV staff, the applicant and the developer. The key issue discussed was commercial vehicle parking on East 23rd Street, as well as increased parking pressure from the Provincial Court, McDougall Gym and McDougall Park facilities. It was agreed that these were outside of the scope of our application. In further response, it was highlighted that we were providing onsite parking for each unit.

Attached Materials:

Virtual DIS Proposal Form
 Newspaper Advertisement
 Mail Out Document
 Photograph of Sign in place

Virtual Developer Information Session - Proposal Form

Please submit your proposal to the Planning Division at planning@cnv.org to ensure your Virtual Developer Information Session (Virtual DIS) covers all the requirements in the process. Please submit your proposal in advance of finalizing the wording on your public notices (signage, mail out and newspaper ad) to ensure Planning has adequate time to review your proposal.

Application Number PLN2022-00014

Site Address 259 East 23rd Street

Please Describe How the Virtual DIS will be Hosted and Facilitated	
1. Who will facilitate the Virtual DIS? (Please provide their name and contact information)	Joe Muego Architect AIBC from Hearth Architectural Inc.
2. Proposed DIS date(s) and time(s)	September 13, 2022 6:00-8:00pm
3. What virtual tool will be used (WebEx, Zoom, Skype etc)?	Zoom preferred.
4. How can individuals register and participate in the Virtual DIS?	Email: info@hearthworks.ca for link
5. How will the development be presented (drawings, sketches, renderings)?	Drawings via - PDF / screen share
6. How you will facilitate questions and provide responses to the participants?	Q&A after presentation. Meeting will remain open for "late comers" with questions and answers on an ad hoc basis.

Please Describe How the Virtual DIS will be Hosted and Facilitated

7. How can individuals participate without the computer?	A phone number for participation is also provided in the meeting link / info.
8. How will you collect comments?	We will invite participants to formally submit comments if desired through email after the meeting. Hearth staff will also take notes during meeting.
9. How will you compile a registration list?	Participants will be instructed to provide name and civic address along with comments and questions. Those not willing to identify themselves will be noted.
10. Any other comments?	No.

Project Notice Information – Must include Registration and Virtual Tool Info

Please provide the wording that will be added to the following public notice methods (site signage, newspaper advertisement and mail-out) to describe how interested individuals can register and participate in the Virtual DIS.

Site Signage, Newspaper Advertisement and Mail-out	How to Participate: Please contact Joe Muego Architect AIBC at 604-266-4677 or joe@hearthworks.ca to register for the session. Feel free to provide comments through our online form: www.hearthworks.ca/259-east-23rd-street
--	--

City Use Only – Staff Review and Comments

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Notice of Development Proposal

Early public comment opportunity for rezoning application 259 East 23rd St.

Hearth Architectural Inc. has submitted a development application to the City of North Vancouver for a rezoning of 259 East 23rd Street to permit the development of a two storey triplex c/w three parking stalls. Interested members of the public are invited to attend the Virtual Developer's Information Session with the Applicant for an early opportunity to review the proposal and offer comments.

Public input is welcome throughout the planning application process and can be shared with the Applicant and City Contact at any time (see next page for comment form). For more information, please visit www.cnv.org/CurrentDevelopments

<if required> Attend the Virtual Developer Information Session

How to Participate: Please contact Joe Muego Architect AIBC at 604-266-4677 or joe@hearthworks.ca to register for the session. Feel free to provide comments through our online form: www.hearthworks.ca/259-east-23rd-street

Date & Time: September 13, 2022 | 6:00 PM – 8:00 PM

Rendering of Proposal



Site Map



Applicant Contact

Joe Muego Architect AIBC
Hearth Architectural Inc.
1800-450 SW Marine Drive, Vancouver
joe@hearthworks.ca
604-266-4677

City of North Vancouver Contact

Linden Maultsaid-Blair
Planning & Development
141 West 14th Street, North Vancouver
lmaultsaidblair@cnv.org
604-990-4217

Development Proposal Comment Form

The purpose of this form is to collect your comments regarding the proposed development. These comments will be collected by the Applicant and summarized in their report to City staff and Council. If you do not wish to be identified, do not include your name or address on the form.

Project Address: _____

Your Name & Address: _____

1. Do you support the proposed project?

2. Do you have any concerns about the proposed project?

3. What do you like about the proposed project?

4. What would you suggest to change or improve the proposed project?

5. Any additional comments?

Would you like the Applicant to respond to your comments?

If yes, please provide your contact information as needed: _____

Submit Your Comment Form

(Submit the comment form to both the Applicant and City Contact via email, mail or drop off at City Hall)

Applicant Contact	City Contact

DEVELOPER INFORMATION SESSION

Hearth Architectural Inc. is holding a virtual information session where interested members of the public are invited to learn about our application for a 2 storey triplex building located at 259 East 23rd Street.



How to Participate in the virtual DIS:

Date: September 13, 2022
Time: 6:00-8:00 pm

Please contact Joe Muego Architect AIBC
at 604-266-4677 or joe@hearthworks.ca
to register for the session.

Feel free to provide comments through
our online form:
www.hearthworks.ca/259-east-23rd-street



Planning Department Contact: Linden Maultsaid-Blair, 604-990-4217, lmaultsaidblair@cnv.org

This meeting is required by the City of North Vancouver as part of the development process.

DEVELOPMENT APPLICATION

255 East 23rd Street

PROPOSAL

Heath Architectural Inc. has submitted an application to rezone the subject property to allow for a two-story residential duplex building with three parking stalls.

Heath Architectural Inc. will be hosting a virtual openhouse session where interested members of the public will have an opportunity to voice their views and comments on the application.

APPLICANT

NAME: Joe Wang, Architect AIBC
COMPANY: Heath Architectural Inc.
EMAIL: joe@heathworks.ca
PHONE: 604-266-4677



July 2022



FOR MORE INFORMATION AND TO SHARE YOUR OPINION.

DEVELOPER'S INFORMATION SESSION

LOCATION: Hosted virtually online

DATE: September 13, 2022

TIME: 6:00PM - 8:00PM

HOW TO PARTICIPATE

Please contact Joe Wang, Architect AIBC at 604-266-4677 or joe@heathworks.ca to register for the session. Feel free to provide comments through the applicant's online form: www.heathworks.ca/229, ext. 230-0300.

CITY OF NORTH VANCOUVER CONTACT
Linden Maultsail-Blair, Planner 1
lmaultsail@cityofnv.org 604 900 4217

www.cityofnorthvan.org



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8959

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8959**” (David Iaquina / Cobblestone Homes Ltd., 259 East 23rd Street, CD-750).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 259 East 23rd Street and legally described below as henceforth being transferred, added to and forming part of CD-750 (Comprehensive Development 750 Zone):

PID: 011-144-815	LOT 12 BLOCK 208 DISTRICT LOT 546 PLAN 5481
------------------	---

from zone RS-1.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

CD-750 Comprehensive Development 750 Zone (259 East 23rd Street)

In the CD-750 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) One Principal Building containing a maximum of three dwelling units shall be permitted on one Lot;
- (2) The permitted Uses on the Lot shall be limited to:
 - (a) One-Unit Residential Use, subject to Section 506(2) of this Bylaw;
 - (b) Two-Unit Residential Use, subject to Section 506(2) of this Bylaw;
 - (c) Townhouse Residential Use, subject to Section 506(2) of this Bylaw;
 - (d) Accessory Home Occupation Use, subject to Sections 507(6), (7), and (8) of this Bylaw;
 - (e) Accessory Home Office Use; and
 - (f) Accessory Off-Street Parking Use;
- (3) Gross Floor Area combined and in total, shall not exceed 0.5 times the Lot Area, except that:
 - (a) Basement floor area may be excluded from Gross Floor Area, up to a maximum of 167 square metres;

- (4) Lot Coverage of the Principal Building shall not exceed 35%.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.




READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Linden Maultsaid-Blair, Planner 1

Subject: ZONING BYLAW AMENDMENT FOR 115 WEST ESPLANADE (RISING
TIDES CONSULTING / MONOVA)

Date: May 24, 2023 File No: 08-3400-20-0091/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated May 24, 2023, entitled "Zoning Bylaw Amendment for 115 West Esplanade (Rising Tides Consulting / MONOVA)":

THAT the application submitted by Rising Tides Consulting / MONOVA, to amend the CD-671 Zone for the property located at 115 West Esplanade, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

ATTACHMENTS

1. Context Map (CityDocs [2215183](#))
2. Floor Plans, dated June 6, 2022 (CityDocs [2365213](#))
3. Public Consultation Summary (CityDocs [2349603](#))
4. Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8976 (CityDocs [2359148](#))

SUMMARY

Rising Tides Consulting, on behalf of the Museum of North Vancouver (MONOVA) has applied for a Zoning Bylaw Amendment to vary the permitted uses for the property located at 115 West Esplanade, in order to allow for a Liquor Primary Licence at the museum's event space. The space consists of a portion of the museum space, approximately 211 square metres (2,273 square feet). If approved, the applicant and property owner could then apply to have their facility licensed with the Province for the serving and sale of liquor alongside events. No modifications of the existing exterior and interior building configurations are proposed.

BACKGROUND

Applicant:	Rising Tide Consulting / MONOVA
Owner:	City of North Vancouver, leased to MONOVA
Official Community Plan Designation:	Mixed-Use Level 4A (MU4A)
Existing Zoning:	Comprehensive Development 671 (CD-671)
Applicable Guidelines:	None

Project Description

Applicant and Operation Background

The building where MONOVA is located was completed in 2020, with the interior improvements for the museum space completed in late 2021. Since opening, MONOVA has hosted several private events each year that include the sales and service of liquor on the premises. Events are generally required to end by 11:00 PM as per their website information. MONOVA currently serves liquor during events by obtaining a Special Events Permit (SEP) from the Provincial Liquor and Cannabis Regulation Branch (LCRB) where each event requires its own SEP. In accordance with the SEP manual, each organization is limited to 24 events per year.

Site Context and Surrounding Uses

The subject property is located within the City's Lower Lonsdale area and consists of a single block of mixed-use development with commercial and institutional uses (including the museum) at the lower levels and residential uses above. It is within close proximity to the Spirit Trail and public transit connections at Lonsdale Quay, including the Seabus and the RapidBus. The buildings and land uses immediately surrounding the property are further described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	132 West Esplanade	6-storey commercial and office building	CD-179
South	123 Carries Cates Court	Lonsdale Quay Market & Hotel	CD-030
East	1-21 Lonsdale Avenue and 105 West Esplanade	Low rise commercial buildings from 1-3 storeys, including several heritage buildings	Lower Lonsdale 1 (LL-1), CD-377, CD-280
West	151 West Esplanade	6-storey office building (ICBC building)	CD-026

As noted above, no exterior or interior renovations are anticipated to support the proposed Liquor Primary Licence use.

Current Liquor Use Provisions

Any use in the City involving the sale or serving of liquor must be licensed by the Province's Liquor and Cannabis Regulation Branch (LCRB). The LCRB manages several types of licences that permit liquor use through varying business and/or event types.

Currently, licensed liquor uses in the City are typically permitted through either a restaurant use (i.e. with a "Food Primary Licence"), hotel use, or through an accessory lounge use accompanying a brewery or distillery. Serving liquor as a primary use; however, (i.e. with a "Liquor Primary Licence"), is generally prohibited in all zones unless a particular zone states otherwise as per Section 402(19) of the Zoning Bylaw.

There are several Comprehensive Development (CD) Zones in the City that permit Liquor Primary Licences, including the "Polygon Gallery", which allows for a Liquor Primary Licence through an "Accessory Banquet Facility" that would be accessory to the principal gallery use. Most commonly, Liquor Primary Licences are permitted through a public house/pub use. An example of some of these CD zones are outlined in Table 2 below.

Table 2. Example of Existing CD Zones that permit a Liquor Primary Licence

Address	Description	Zoning	Liquor Primary Licence Provision Via
101 Carrie Cates Court	The Polygon Gallery	CD-642	Accessory Banquet Facility
175 East 1 st Street	The Gull Restaurant and Bar	CD-52	Neighbourhood pub
86 Semisch Avenue	Sailor Hagars Pub	CD-71	Neighbourhood pub
1433 Lonsdale Avenue	Jack Lonsdale's Public House	CD-125	Neighbourhood pub

In addition to the aforementioned Zoning Bylaw provisions, individual event organizers can also apply for event-specific liquor permits, such as SEPs through the Province's LCRB, or attain a licensed caterer that is authorized to serve and sell liquor. However, given their temporary and event-specific nature, SEPs are typically reviewed and approved solely by the Provincial LCRB and local governments are not typically consulted on the reviews, although they are notified.

Requiring event organizers to acquire individual SEPs or attain licensed caterers poses general limitations on the venue in terms of the number of events that can occur where liquor is served and is also onerous, as it requires SEP applications for each individual event. The museum is interested in a more long-term solution to host events with liquor, and is therefore applying to amend the existing zone to allow a Liquor Primary Licence for their space.

PLANNING ANALYSIS

The MONOVA is located in a vibrant part of the city and commonly hosts private events where they acquire SEPs in order to allow for the serving and sale of liquor during the event. The site and proposed use conforms with the Mixed Use Level 4A Official Community Plan designation, which contemplates a mix of commercial and residential uses.

Through a Liquor Primary Licence provision in the zone, the museum will be able to acquire a Provincial licence that would be appropriate for reoccurring event usage. The museum intends to apply for an "event-driven" Liquor Primary Licence that would allow limited house of liquor service in conjunction with an event, similar to a SEP. With this permitted Liquor Primary Licence, the City would be able to further monitor the museum through the business licence process to ensure that it is operated in accordance with City bylaws as a perpetual use.

The existing Comprehensive Development 671 (CD-671) zone would be altered to include a Liquor Primary Licence use limited to an "event venue", specific to the current floor space allocation of the portion of the museum where liquor will be served (see Attachment #2). Any further adjustments to the use would require another Zoning Bylaw Amendment application and would be subject to public consultation and Council consideration.

COMMUNITY CONSULTATION

A Developer Information Session was held on March 30, 2023. There were no attendees. One email was received from a resident who was not able to attend the session and was sent the materials by the applicant. In a later email, the resident expressed support for the application and had no concerns. A summary of the public engagement is available in Attachment #3.

Since the museum's opening, it has hosted several events with the service of liquor by using a SEP. No complaints or issues regarding the City's "Noise Control Bylaw, 2021, No. 8885" or other bylaw requirements have been recorded. The museum and event hosts will continue to abide within Noise Control Bylaw regulations in consideration of the proximity to residences. By having an event-driven Liquor Primary Licence, this would also ensure more consistency in terms of hours of liquor sales or service during events.

FINANCIAL IMPLICATIONS

This rezoning proposal poses no further financial costs incurred by the City and would benefit the operator in regards to alleviating the time and costs associated with requiring individual event organizers to undergo an SEP or similar process.

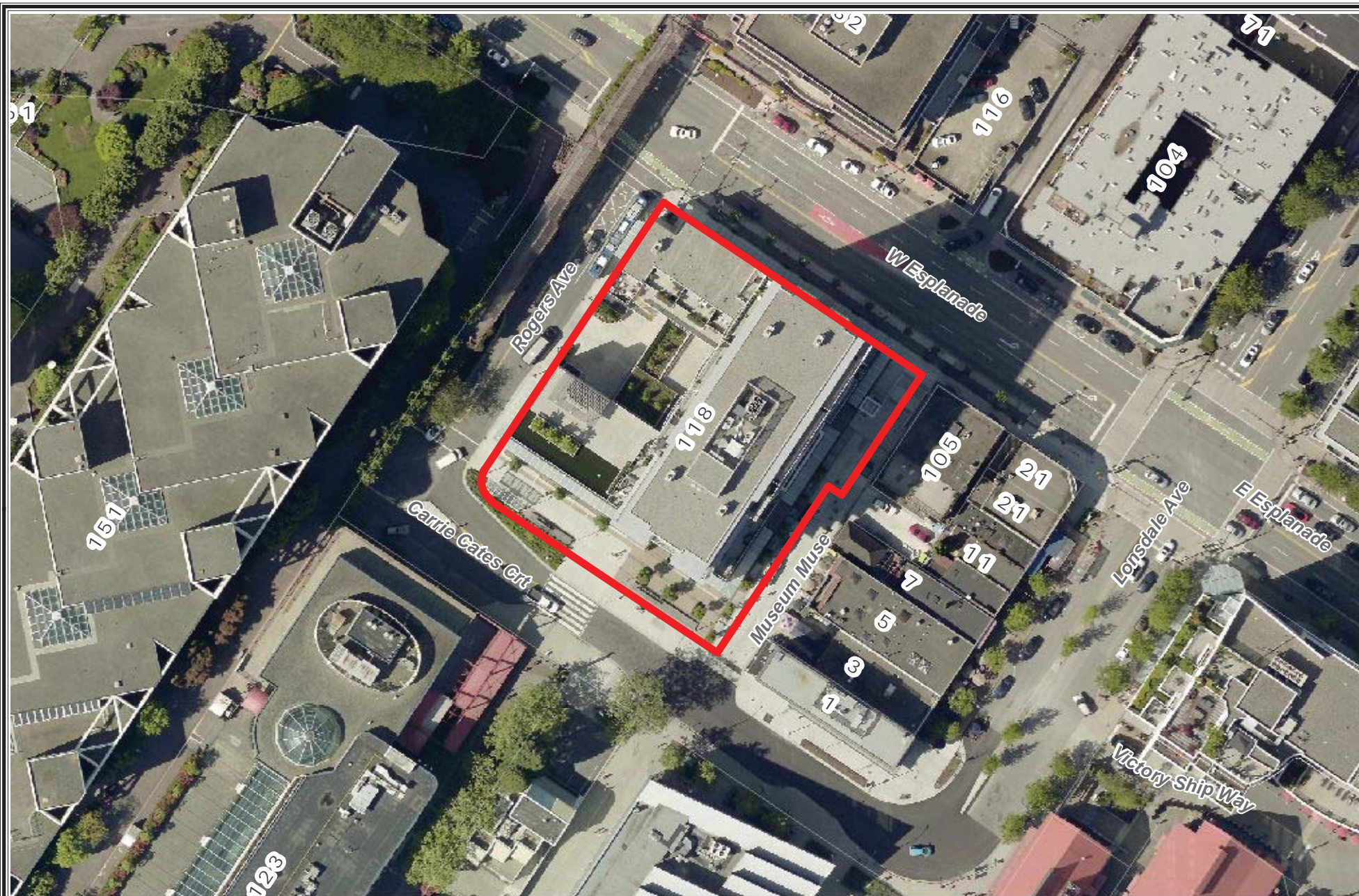
CONCLUSION

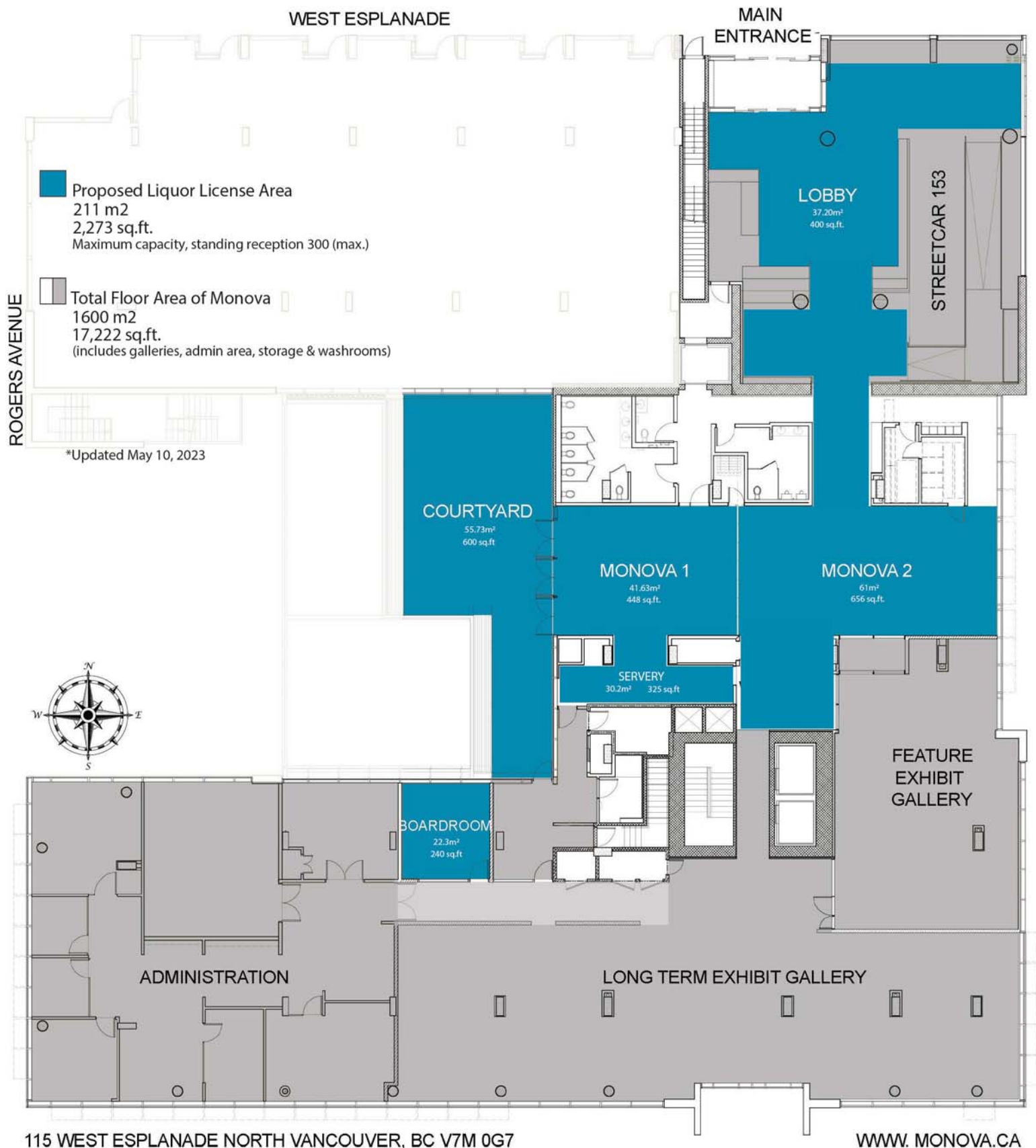
The proposed Liquor Primary Licence provision, which would be exclusive to the museum as an event space, would permit the facility to apply to the Province's LCRB and remove the barrier for event hosts to individually acquire permits for liquor use; a process that the City is typically not consulted on. This will allow the City to better monitor and regulate the associated liquor use using its standard regulatory and licensing procedures for this prominent attraction in Lower Lonsdale.

RESPECTFULLY SUBMITTED:



Linden Maultsaid-Blair
Planner 1







City of North Vancouver
Planning Department
141 West 14th Street
North Vancouver, BC V7M 1H9

Attention: Attention: David Johnson, Planner 2

Dear David;

Re: Rezoning Application for a Liquor Primary Licence – 115 West Esplanade, North Vancouver, BC – Virtual Developer Information Session held March 30, 2023

We have been retained by North Vancouver Museum & Archives Commission (Monova) to assist with a Development Application for 115 West Esplanade to support a text amendment to the Zoning Bylaw to support a Liquor Primary Licence with the Liquor and Cannabis Regulation Branch.

On March 30, 2023 commencing at 6:00 p.m., Rising Tide Consultants hosted an informational session using Zoom Webinar where interested members of the public would have an opportunity to learn about and provide feedback to our application.

The public was provided information on how to register for the event. The participation details are as follows:

How to Participate

Register via email at: info@risingtideconsultants.ca;
Register via telephone at: 604-669-2928;
Comments and questions should be directed to: info@risingtideconsultants.ca,
please use MONOVA Comments in the subject line;
Mail comments to us using Canada Post to the applicant contact information:
Rising Tide Consultants, 1130-1620 West Pender Street, Vancouver, BC V6E 4A4

Join Webinar at:

https://zoom.us/webinar/register/WN_Y2qGrI0USHm0fxJbpHM3Ww

Contact information for the Applicant and the City Contact, David Johnson, Planner was also provided on all of our signage, mail out and newspaper notice.

Rising Tide Consultants did not receive any telephone calls or letters or from the public to attend the event. We did receive one email advising that the person was unable to attend the event and she requested the presentation information. The presentation information was sent by email. We received a further email from this person who advised they are in support of our application and provided permission to submit the email to the City of North Vancouver. We have attached that email as Schedule A.

The attendees consisted of two Rising Tide Consultants staff members, the City of North Vancouver Official and one attendee from the North Vancouver Museum & Archives Commission (Monova).

Although we did not have any public attendees other than those mentioned above, we carried on with our presentation for the City Official and the Monova Official. There were no issues discussed.

Prior to the informational session held on March 30, 2023, The City of North Vancouver provided Rising Tide Consultants a template to produce signage to post at 115 West Esplanade, North Vancouver. The size requirements were provided by the City of North Vancouver. The sign was 1.2m by 2.4m (4ft by 8ft) in full colour and it was posted at the site on or before, March 20, 2023. We have attached a copy of the signage and photos of the sign after it was posted at the site as Schedule B.

Further to the above, additional requirements and timelines that had to be achieved prior to the informational session. These items are as follows:

1. A Mail-Out – We followed the City of North Vancouver’s provided template and delivered a detailed mail-out to all properties within a 40 meter radius. We have attached a copy of the mail-out as Schedule C.
2. A Newspaper Advertisement - We followed the City of North Vancouver’s provided template and published our notice in two consecutive newspapers commencing March 15, 2023 and March 22, 2023. Copies of the newspaper article and the pages from the North Shore News are attached as Schedule D.

3. A Presentation – We prepared a presentation for the webinar and have attached it as Schedule E.

We trust the above information and the Schedules attached will provide you with a complete Development Information Session summary report as requested.

Should you require anything further, please do not hesitate in contacting us.

Thank you,

Kim Norbury, Senior Licensing and Project Specialist

Rising Tide Consultants
1130-1620 West Pender Street
Vancouver, BC V6E 4A4
604-669-2928

SCHEDULE "A"

To whom it may concern, I am in total favour of the City granting MONOVA a Liquor Primary Licence for its facilities. I see no problem with its proposal, and I see it as a positive move for this community.

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

From: Kim Norbury <kim@risingtideconsultants.ca>

Date: Friday, March 31, 2023 at 5:22 AM

To: [REDACTED]

Subject: Re: MONOVA

Hello [REDACTED]

Yes that would be helpful however, you could send me an email advising that you have no concerns and you are in favour.

Your email would be sent to the city of North Vancouver as part of our application.

Thank you for you comments.

Kim Norbury

Senior Licensing and Project Specialist

Phone: 778.220.4410 | Email: kim@risingtideconsultants.ca

Rising Tide Consultants | risingtideconsultants.ca

1620-1130 West Pender Street, Vancouver, BC V6E 4A4

On Mar 30, 2023, at 9:04 PM, [REDACTED] wrote:

Thank you Kim, it looks great! Do you think it would be helpful if I posted the link to our Promenade Facebook page? We are the residential part of the same building that houses MONOVA

[REDACTED]
[REDACTED]

From: Kim Norbury <kim@risingtideconsultants.ca>

Date: Thursday, March 30, 2023 at 6:36 PM

To: [REDACTED]

Subject: RE: MONOVA

Hello [REDACTED]

Sorry you couldn't make the webinar this evening. I have attached the presentation for your information.

If you have any questions or comments, please send them to me [REDACTED]. I am happy to answer.

Thank you and have a wonderful evening.

SCHEDULE "B"

DEVELOPMENT APPLICATION

115 West Esplanade

PROPOSAL:

Rising Tide Consultants has submitted a Development Application for 115 West Esplanade to support a text amendment to the Zoning Bylaw to support a Liquor Primary License for MONOVA.

Rising Tide Consultants will be hosting an information session where interested members of the public will have an opportunity to learn about and provide feedback to the application.

Applicant: Rising Tide Consultants
604.669.2528



LOCATION

TO LEARN MORE OR TO PROVIDE
INPUT ON THIS PROJECT:



cnv.org/Applications
Search by property address

COMMENT ONLINE BY:
April 14, 2023

VIRTUAL DEVELOPER'S INFORMATION SESSION

DATE: March 30, 2023
TIME: 6:00 pm to 8:00 pm

REGISTER:
By email at:
info@risingtideconsultants.ca (please use
"MONOVA Comments" in the subject line), or
By phone at:
604.669.2528

cnv.org/Applications
planning@cnv.org
604.983.7357

city
of north
vancouver

DEVELOPMENT APPLICATION

115 West Esplanade

PROPOSAL:

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cnv.org/Applications

planning@cnv.org

604.983.7357

city
of north
vancouver



Virtual Developer's Information Session
Rezoning Application
115 West Esplanade
North Vancouver, BC V7M 0G7

You are invited to attend a virtual developer's public information session to view the rezoning application proposal and provide comments and feedback prior to the City's consideration of this application.



How to participate:

Register via email at: info@risingtideconsultants.ca

Register via telephone at: 604-669-2928

Comments and questions should be directed to: info@risingtideconsultants.ca, please use MONOVA Comments in the subject line.

Mail comments BY Canada Post to the applicant contact information: Rising Tide Consultants, 1130-1620 West Pender Street, Vancouver, BC V6E 4A4

Date and time: March 30, 2023 from 6:00 p.m. to 8:00 p.m.

Join Webinar at: https://zoom.us/webinar/register/WN_Y2qGrI0USHm0fxJbpHM3Ww

Proposal: Monova Museum of North Vancouver has submitted an application to the City of North Vancouver for the rezoning of 115 West Esplanade to permit a liquor primary licence at this location.

APPLICANT CONTACT:

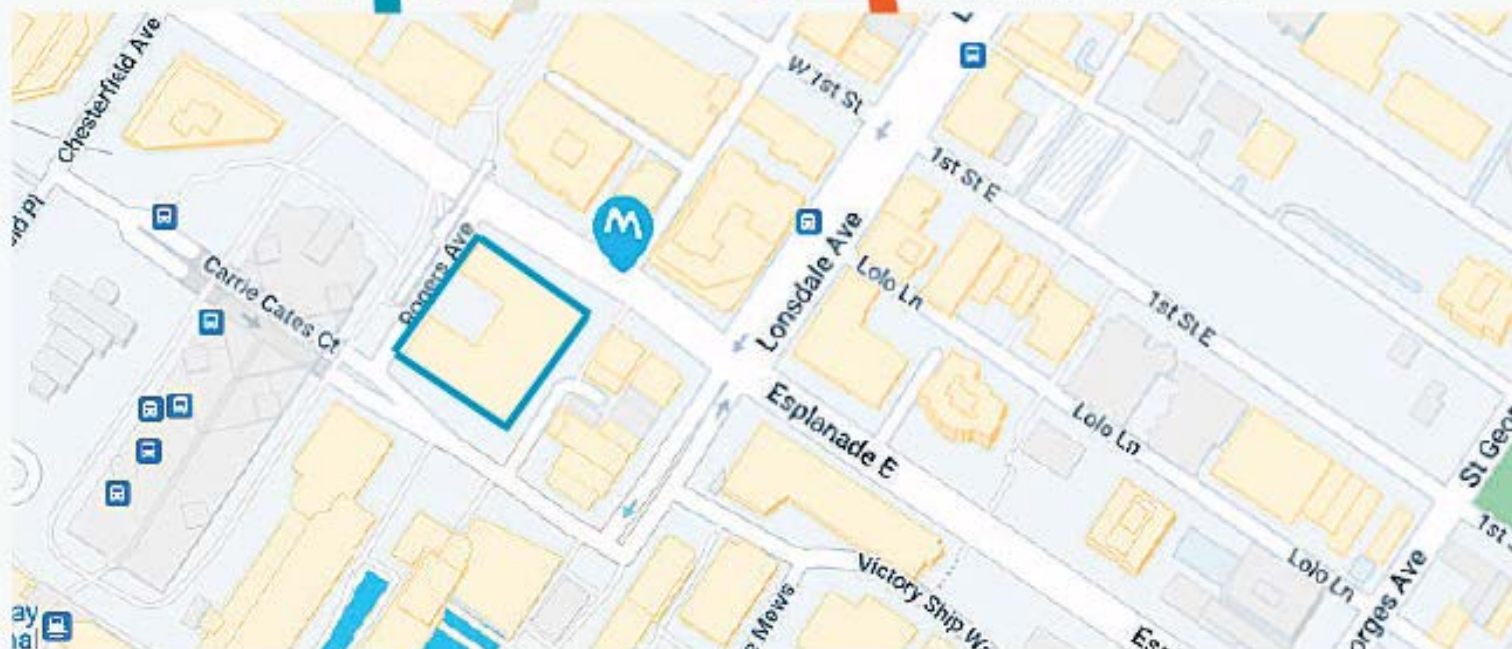
Rising Tide Consultants, 1130-1620 West Pender Street, Vancouver, BC 604-669-2928

CITY CONTACT:

David Johnson, Planner, 141 West 14th Street, North Vancouver, BC 604-990-4219 djohnson@cnv.org

DEVELOPER INFORMATION SESSION

Mar. 30, 2023, 6:00 p.m. - 8:00 p.m. (Virtual)



Rising Tide Consultants is holding a virtual information session where interested members of the public are invited to learn about our Development Application for 115 Esplanade W, North Vancouver, BC to support a text amendment to the zoning Bylaw to support a Liquor Primary Licence for Monova.

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Testing underway to determine source of discharge

Continued from page 1

Vancouver, while most of the affected waterway area falls within the Capilano 5 Reserve. Property management company Wynford Group said it became aware of the leak March 7 and notified the ministry and local governments immediately. Contractors were promptly dispatched, with engineers working to identify the source and implement repairs if the source is identified to be within the Woodcroft complex, Wynford said.

As of Monday morning, the leak had been contained. A plumbing company had two large tanker trucks onsite to vacuum up the sewage, preventing it from flowing into the nearby river. And a wall of sandbags had been constructed around the leak site to contain any excess runoff. The exact cause of the leak isn't yet clear.

An environmental emergency response officer from the Ministry of Environment was onsite Monday with representatives from Squamish Nation, District of North Vancouver and property manager Wynford Group.

"Extensive testing has been conducted, however determining the source of the discharge has been challenging," reads a statement from the ministry. "An environmental consultant has been retained and was onsite to mitigate and address the discharge of the product."

The ministry said additional resources have arrived to assess further solutions

to deal with the leak, and that mitigation and prevention efforts are expected to continue through the week until the source can be identified and addressed. Results from samples taken on Friday are expected to be available soon.

The issue is something that the provincial government takes "very, very seriously," Public Safety Minister Mike Farnworth told reporters on Monday, adding that the cleanup is to be done quickly.

Farnworth said a full analysis will be conducted to find out how it happened and to ensure "that there is as little damage as possible to fish stocks in the Capilano River, and also to see if there is additional steps that might be required to make sure that something like this doesn't happen again."

Williams – who first visited the site on Friday, and was there over the weekend and on Monday – said it's a little more bearable to be in the area, now that the leak, and smell are contained.

"It was not a place you want to be, or have your family or anybody be," he said.

Williams said representatives from Wynford Group were still asking on Sunday if it was certain the leak was coming from the Woodcroft apartment complex.

"I don't think that's a question you should be asking the District of North Van, or the ministry, or the Squamish Nation," Williams said. "It didn't seem like it was a priority to clean it up for them at the

forefront."

On top of addressing the leak itself, he added that the priority should have been making sure the public and nearby residents were aware of the situation and possible health and safety risks, "because raw sewage isn't healthy for anybody."

But Williams said the property management company is now co-operating, and working with all the other parties to assess and solve the problem. Wynford Group oversees the Woodcroft Estates apartment complex, which includes the 2020 Fullerton Ave. property, which has been identified in the Ministry of Environment's file on the leak.

In a statement to Woodcroft residents shared with the North Shore News, Wynford said it became aware of "a sewage leak mixed with regular storm outflow" last Tuesday.

"Contractors immediately attended and began work to locate the source of the problem," reads the statement. "Site tests have been conducted daily, including dye testing of the various plumbing lines. At this time, there is still no clear connection between any of the sanitary lines connected to the Woodcroft Estates buildings."

Camera testing identified some cracks and small holes in the sanitary pipes, "but it does not appear that those cracks or holes are responsible for the leak," Wynford said.

"Engineers are reviewing the situation

and will provide input to identify the source of the leak and implement repair plans (if the source is identified as a building within Woodcroft Estates)."

Wynford also told the News that recent work on the Woodcroft property conducted by Milani Plumbing was not related to the leak.

Regardless of liability, the contamination from this incident could have a damaging impact on the local fish population. North Shore Streamkeepers president Keegan Cassidy said the immediate concern is the emergence of newly hatched chum salmon fry, which is happening right now.

"Chances are there's going to be totally negative impacts," he said. "We could see some fish kills here for sure."

Wilson said harm to the salmon is "a deep concern, both personally and professionally – growing up along the river and coming from generations of fishermen from our community."

Squamish Nation will be bringing in professional consultants to assess the immediate impact on the salmon and surrounding environment, while looking at longer-term solutions and general sustainability.

"These developments along rivers impact the salmon lifecycle because it impedes on spawning beds," he said.

Wilson said Squamish Nation has a legal team looking at the issue, but isn't sure how it will proceed yet.

CARBON COPY KID

March 14-15, 2023

a dark and dirty tale of family woes

JIMMY JONES AND HIS HEAVENLY TRUCK

March 18-19, 2023

a story of family myths and legends

UBU ON THE TABLE

March 25-26, 2023

an epic battle of the baguettes

presentation
HOUSE THEATRE
phtheatre.org
604-990-3474

DEVELOPER INFORMATION SESSION

Mar. 30, 2023, 6:00 p.m. - 8:00 p.m. (Virtual)



Rising Tide Consultants is holding a virtual information session where interested members of the public are invited to learn about our Development Application for 115 Esplanade W, North Vancouver, BC to support a text amendment to the zoning Bylaw to support a Liquor Primary Licence for Monova.

How to Participate

Register via email at: info@risingtideconsultants.ca

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Section of Marine Drive in West Van under construction for next 2 weeks

NICK LABA
nlabar@nsnews.com

You'll want to avoid a section of road if you're driving along Marine Drive in West Vancouver this week.

Starting Monday, rock scaling work is being done on the 5900 block of Marine Drive, between West Vancouver Marina and Gleneagles Drive.

The work will take place on the north rock face to reduce rock fall risk and improve safety along the corridor, explained district spokesperson Donna Powers.

Following a rockfall in this area in 2021, district staff cleared the fall and had the area assessed.

"The scope of work requires the road to be completely closed to traffic while it is underway," Powers said, adding the section of road is expected to open to single-lane alternating traffic next week.

District staff expects the work to take around two weeks to complete, and will cost around \$100,000. If possible, all work will take place Monday to Friday, between 7:30 a.m. and 5:30 p.m., Powers said.

The construction timeline is subject to change due to weather and contractor availability. Updates can be found on the district website at westvanvancouver.ca.

Public transit users should take notice of the following bus detours this week.

250 Horseshoe Bay westbound detour:

Regular Route to Marine Dr and

Primrose, right at Primrose, right at Cranley, left at Marine Drive, left at Westport, follow Westport to Highway 1 westbound on ramp, right onto Highway 1 westbound, take Village exit to Horseshoe Bay Terminus, 250 Vancouver eastbound detour:

Regular Route: Marine Drive (top round about), merge on to Highway 1 eastbound, Exit 4, left at Headland, left at Westport, left at Marine Drive, regular route.

A shuttle will be running back and forth from Horseshoe Bay to Gleneagles Drive (5900 block closure) to service the following stops.

Westbound: north side of Marine Drive at Gleneagles Drive, stop ID: 54650; north side of Marine Drive at Eagleridge Drive, stop ID: 54651; north side of Marine Drive at Orchill Road, stop ID: 54652; north side of Marine Drive at park and ride, stop ID: 54653; north side of Marine Drive at 6300 block, stop ID: 54654.

Eastbound: south side of Marine Drive at 6300 block, stop ID: 54560; south side of Marine Drive at park and ride, stop ID: 54561; south side of Marine Drive at Orchill Road, stop ID: 54562; south side of Marine Drive at Eagleridge Drive, stop ID: 54563; south side of Marine Drive at Gleneagles Drive, stop ID: 54564.

The following stops will not be serviced during the closure. Passengers will be directed to board at Marine Drive and Westport stop; stop ID: 54649 and 54565.

SPOTLIGHT ON EVENTS

Call 604-998-3520 to find out how to advertise your ticketed event in this space at no cost.

SHARED WONDERS: TIMELESS EXPLORATION

MAR. 12 - APR. 2

SILK PURSE ARTS CENTRE

Meditative artwork exploring elements of line, texture & colour. Featuring Douglas Krieger's geometric wood carvings, Neda Shojaei's abstracted calligraphy & Linda Suffidy's floral relief sculptures.

For more info: westvanartscouncil.ca

MUSEUMFLIX: NORTH SHORE CINEMA SERIES

THURSDAY, MAR. 30, 6 P.M. - 9 P.M.

MONOVA: MUSEUM OF NORTH VANCOUVER

MuseumFlix is a FREE monthly movie night highlighting feature films and local works filmed all or mostly in North Vancouver. FREE admission, comfy beanbag chairs, popcorn by donation, and a cash bar. Participate in fun film trivia for the potential to win a \$25 gift card to the MONOVA Museum Store. Feature film: Charlie St. Cloud (2010) - 1h 39m, PG-13.

For more info: monova.ca

SPRINGTIME IN PARIS

SATURDAY, APR. 1, 7:30 P.M.

CENTENNIAL THEATRE

The Lions Gate Sinfonia is delighted to invite you to its upcoming concert of French music featuring some of the most celebrated works of French Impressionist composers. Tickets are on sale now!

For more info: lionsgatesinfonia.com

Events listed here are supported by the North Shore News.

Check out more listings on North Shore's online event calendar: nsnews.com/local-events

DEVELOPER INFORMATION SESSION

Mar. 30, 2023, 6:00 p.m. - 8:00 p.m. (Virtual)

MONOVA Museum of North Vancouver



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As We Rise

Photography From
The Black Atlantic

Organized by aperture

On View Now

THE
POLY
GON

The Polygon Gallery

101 Carrie Cates Court

Territories of the Squamish, Tsleil-Waututh,
and Musqueam Nations

@polygongallery

thepolygon.ca

Photo: Duane L. Petroe, Sign, 2003.
Courtesy of the artist Bradley Erskine

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8976

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8976” (Rising Tides Consulting / MONOVA, 115 West Esplanade, CD-671 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by the following changes to the Comprehensive Development 671 (CD-671) Zone:
 - A. Adding the following to Section 1101, within the “Comprehensive Development 671 Zone”, after Section (1) (k):

“(l) Liquor Primary Licenced event-hosting venue limited to 211 square metres (2,273 square feet) of floor area in one unit located on the ground floor associated with a Civic Use, museum or other similar use.”

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

NOTICE OF MOTION

9. Amendments to Election Bylaw Supporting Citizen Engagement
– File: 09-4200-01-0001/2023

Submitted by Councillor Valente

RECOMMENDATION:

WHEREAS a key priority of the City of North Vancouver is to be a city for people that is welcoming, inclusive, safe, accessible and supports the health and well-being of all;

WHEREAS achieving this priority depends on ensuring public engagement in all aspects of local government, including all candidates' meetings where the community can learn more about local election candidates;

WHEREAS only 22.64% of eligible City of North Vancouver voters participated in the 2022 municipal election;

AND WHEREAS the City of North Vancouver seeks and encourages public participation in the democratic process and has created physical spaces like Library Plaza and the Shipyards Commons that can support public discourse, enhance community connectedness and, therefore, participation in our community's local government;

THEREFORE BE IT RESOLVED THAT staff be directed to evaluate options to:

1. Amend "Election Sign Bylaw, 2018, No. 8643" that regulates election signs to allow for election signs to be placed in areas that seek to encourage public discourse, including Shipyards Commons and Library Plaza;
2. Evaluate additional locations for the placement of election signage;
3. Review the grant application regarding stipend values available to community associations and organizations to encourage All Candidates' Meetings during municipal election times.