



AGENDA FOR THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON MONDAY, MAY 15, 2023 AT 6:00 PM

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

The City of North Vancouver acknowledges that this Council meeting is held on the traditional territories of the Squamish and Tsleil-Waututh Nations.

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, May 15, 2023

ADOPTION OF MINUTES

2. Special Regular Council Meeting Minutes, May 8, 2023

PROCLAMATION

International Day Against Homophobia, Transphobia and Biphobia – May 17, 2023

PUBLIC INPUT PERIOD

CONSENT AGENDA

Items *3 and *4 are listed in the Consent Agenda and may be considered separately or in one motion.

CORRESPONDENCE

- *3. Board in Brief – Metro Vancouver Regional District, April 28, 2023

BYLAW – ADOPTION

- *4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753)

BYLAWS – FIRST, SECOND AND THIRD READINGS

5. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393)
6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761)
7. “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments)

MOTION

8. Development Variance Permit No. PLN2023-00001 (1253 Sutherland Avenue)

PRESENTATION

The Shipyards 2023 Programming – Manager, The Shipyards and Waterfront
Information Report, May 3, 2023 – “Summer Programming at The Shipyards”

REPORT

9. Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)

PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICE OF MOTION

RECESS TO CLOSED SESSION

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, May 15, 2023

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International Day Against Homophobia, Transphobia and Biphobia – May 17, 2023

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.” The time allotted for each speaker addressing Council during the Public Input Period is 2 minutes, with the number of speakers set at 5 persons. Speakers’ comments will be audio recorded, as well as live-streamed on the City’s website, and will form part of the public record.

Speakers may only speak on the same matter once in a 3-month period.

Speakers during the Public Input Period are permitted to join the meeting in person in the Council Chamber or electronically via Webex. There are 2 ways to sign up to speak during the Public Input Period.

- 1) IN PERSON: Speakers who choose to participate in person must sign the speaker list located outside the Council Chamber between 5:30 and 5:55pm on the day of the Council meeting.
- 2) ELECTRONICALLY VIA WEBEX: Speakers who choose to participate electronically must pre-register by 12:00 noon on the day of the Council meeting by completing the online form at cnv.org/PublicInputPeriod, or by phoning 604-990-4230. These pre-registrants will receive instructions by email or phone on the afternoon before the Council meeting.

If a speaker has written material to accompany their comments, the material must be sent to the Corporate Officer at clerks@cnv.org no later than 12:00 noon on the day of the Council Meeting.

The Public Input Period provides an opportunity for comment only and places the speaker’s concern on record, without the expectation of a response from Council. Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items as listed in section 12.25(2).

Speakers are requested not to address matters that refer to items from a concluded Public Hearing/Public Meeting or to Public Hearings, Public Meetings and Committee meetings when those matters are scheduled on the same evening’s agenda, as an opportunity for public input is provided when the particular item comes forward for discussion.

Please address the Mayor as “Your Worship” or “Mayor, followed by his/her surname”. Councillors should be addressed as “Councillor, followed by his/her surname”.

CONSENT AGENDA

Items *3 and *4 are listed in the Consent Agenda and may be considered separately or in one motion.

RECOMMENDATION:

THAT the recommendations listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

CORRESPONDENCE

- *3. Board in Brief, Metro Vancouver Regional District, April 28, 2023
– File: 01-0400-60-0006/2023

Re: Metro Vancouver – Board in Brief

RECOMMENDATION:

THAT the correspondence from Metro Vancouver, dated April 28, 2023, regarding the “Metro Vancouver – Board in Brief”, be received and filed.

BYLAW – ADOPTION

- *4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

END OF CONSENT AGENDA

BYLAWS – FIRST, SECOND AND THIRD READINGS

5. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393) be given first, second and third readings.

Application considered by Council on April 24, 2023; notice published on May 3 and May 10, 2023.

No Public Hearing held.

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761) be given first, second and third readings.

Application considered by Council on April 24, 2023; notice published on May 3 and May 10, 2023.

No Public Hearing held.

7. “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments)

RECOMMENDATION:

THAT “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments) be given first, second and third readings.

MOTION

8. Development Variance Permit No. PLN2023-00001 (1253 Sutherland Avenue)
– File: 08-3400-20-0110/1

RECOMMENDATION:

THAT Development Variance Permit No. PLN2023-00001 (1253 Sutherland Avenue) be issued to Suzanne McLarty and Kelly Ann McKibbin, in accordance with Section 498 of the *Local Government Act*,

AND THAT the Mayor and Corporate Officer be authorized to sign Development Variance Permit No. PLN2023-00001.

Public Meeting waived.

PRESENTATION

The Shipyards 2023 Programming – Manager, The Shipyards and Waterfront

Information Report, May 3, 2023 – “Summer Programming at The Shipyards”

REPORT

9. Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)
– File: 08-3400-20-0094/1

Report: Planner 2, May 3, 2023

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled “Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*,

THAT notification be circulated in accordance with the *Local Government Act*,

AND THAT the community benefits listed in the “Density Bonus and Community Benefits” section of the report be secured, through legal agreements at the applicant’s expense and to the satisfaction of staff.

PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

COUNCIL INQUIRIES / REPORTS

NEW ITEMS OF BUSINESS

NOTICE OF MOTION

RECESS TO CLOSED SESSION

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Section 90(1)(c) [labour relations].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN

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**MINUTES OF THE SPECIAL REGULAR MEETING OF COUNCIL HELD
IN CONFERENCE ROOM A, THE COUNCIL CHAMBER AND
ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH
STREET, NORTH VANCOUVER, BC, ON **MONDAY, MAY 8, 2023****

PRESENT

COUNCIL MEMBERS

Mayor L. Buchanan
Councillor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor J. McIlroy
Councillor S. Shahriari
Councillor T. Valente

STAFF MEMBERS

L. McCarthy, CAO
K. Graham, Corporate Officer
J. Peters, Acting Deputy Corporate Officer
B. Pearce, Deputy CAO / Director, Strategic and Corporate Services
R. Skene, Deputy Director, Strategic and Corporate Services
L. Sawrenko, Chief Financial Officer
P. Manarovici, Controller
H. Granger, City Solicitor
T. Ryce, Chief Building Official
R. Basi, Manager, Development Planning
E. Elliott, Manager, Transportation Planning
K. Magnusson, Director, Engineering, Parks and Environment
D. Hutch, Deputy Director, Parks and Public Spaces
J. Hall, Manager, Public Realm Infrastructure
S. Sister, Project Manager
M. Kwaterska, Manager, Shipyards and Waterfront
G. Schalk, Public Safety Director and Fire Chief
P. Duffy, Manager, Bylaw Services
E. Doran, Director, People and Culture
C. Nichols, Manager, Human Resources
D. Foldi, Senior Project Manager
J. Roy, Manager, Civic Facilities
B. Lightfoot, Manager, Real Estate
J. Robertson, Acting Director, Community and Partner Engagement
S. Smith, Manager, Economic Development
B. Lin, Economic and Business Development Coordinator
P. Hutton, Business Licence Inspector
K. Pighin, Cultural Services Supervisor, NVRC
K. Veng, CEO, LEC
S. Wood, Accountant, LEC
C. Bulman, Committee and Records Clerk
T. Huckell, Administrative Assistant

GUESTS

P. Fripp, Client Relationship Partner, BDO

The meeting was called to order at 5:31 pm.

APPROVAL OF AGENDA

Moved by Councillor Bell, seconded by Councillor Back

1. Special Regular Council Meeting Agenda, May 8, 2023

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Girard, seconded by Councillor Shahriari

2. Regular Council Meeting Minutes, April 24, 2023

RECESS TO SPECIAL CLOSED SESSION

Moved by Councillor Back, seconded by Councillor Bell

THAT Council recess to the Special Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Section 90(1)(l) [annual report].

CARRIED UNANIMOUSLY

The meeting recessed to the Special Committee of the Whole, Closed Session, at 5:33 pm and reconvened at 6:00 pm.

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT the Public Input Period be extended to hear more than 5 speakers listed on the sign-up sheet.

CARRIED UNANIMOUSLY

PUBLIC INPUT PERIOD

- Robb Webb, 1415 East 18th Street, North Vancouver, spoke regarding SOGI and the Mountain Highway overpass rally.
- Jane Bradwell, 529 East 16th Street, North Vancouver, spoke regarding inclusivity and exposure to children in schools.
- Kristopher Kamienik, 155 West 1st Street, North Vancouver, spoke regarding the Mountain Highway overpass rally and remarks made by Mayor Buchanan.
- Dana Ranahan, 528 East 4th Street, North Vancouver, spoke regarding Item 10 – Lifeway Child Care Centre.
- Jan Malcolm, 522 East 4th Street, North Vancouver, spoke regarding Item 10 – Lifeway Child Care Centre.
- Simon Lucas, 135 West 2nd Street, North Vancouver, spoke regarding Item 8 – LEC Annual General Meeting.

CONSENT AGENDA

Items *3, *4, *5 and *6 are listed in the Consent Agenda and may be considered separately or in one motion.

Moved by Councillor Bell, seconded by Councillor Girard

THAT the recommendations listed within the “Consent Agenda” be approved.

CARRIED UNANIMOUSLY

START OF CONSENT AGENDA

REPORT

- *3. Alternative Approval Process Regarding Derek Inman Parklands Adjustment – Petition Results – File: 09-4250-20-0007/1

Report: Corporate Officer, April 26, 2023

Moved by Councillor Bell, seconded by Councillor Girard

PURSUANT to the report of the Corporate Officer, dated April 26, 2023, entitled “Alternative Approval Process Regarding Derek Inman Parklands Adjustment – Petition Results”:

THAT the Corporate Officer’s Certification for the Alternative Approval Process Opportunity regarding Derek Inman Parklands Adjustment be received and filed;

AND THAT “Parks Dedication Bylaw, 1972, No. 4392, Amendment Bylaw, 2023, No. 8965” (Derek Inman Parklands Adjustment) be considered for final adoption.

(CARRIED UNANIMOUSLY)

BYLAWS – ADOPTION

- *4. “Parks Dedication Bylaw, 1972, No. 4392, Amendment Bylaw, 2023, No. 8965” (Derek Inman Parklands Adjustment)

Moved by Councillor Bell, seconded by Councillor Girard

THAT “Parks Dedication Bylaw, 1972, No. 4392, Amendment Bylaw, 2023, No. 8965” (Derek Inman Parklands Adjustment) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

(CARRIED UNANIMOUSLY)

CONSENT AGENDA – Continued

BYLAWS – ADOPTION – Continued

- *5. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2023, No. 8972” (2023 Capital Plan Funding)

Moved by Councillor Bell, seconded by Councillor Girard

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2023, No. 8972” (2023 Capital Plan Funding) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

(CARRIED UNANIMOUSLY)

- *6. “Development Cost Charge (Parks) Reserve Fund Bylaw, 2023, No. 8973” (2023 Capital Plan Funding)

Moved by Councillor Bell, seconded by Councillor Girard

THAT “Development Cost Charge (Parks) Reserve Fund Bylaw, 2023, No. 8973” (2023 Capital Plan Funding) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

(CARRIED UNANIMOUSLY)

END OF CONSENT AGENDA

REPORT

7. 2022 Audited Consolidated Financial Statements – File: 05-1680-04-0001/2022

Report: Chief Financial Officer, April 26, 2023

Moved by Councillor Girard, seconded by Councillor Valente

PURSUANT to the report of the Chief Financial Officer, dated April 26, 2023, entitled “2022 Audited Consolidated Financial Statements”:

THAT in accordance with Section 167 of the *Community Charter*, Council accept the City of North Vancouver Consolidated Financial Statements for the year ended December 31, 2022.

CARRIED UNANIMOUSLY

INTRODUCTION

Artist in Residency Program at The Shipyards – Allison Chow

The Cultural Services Supervisor, North Vancouver Recreation and Culture, and Manager, Shipyards and Waterfront, introduced Allison Chow, Artist in Residence at The Shipyards.

REPORTS

8. Lonsdale Energy Corp. – 2023 Annual General Meeting – File: 11-5500-06-0001/1

Report: Chief Executive Officer, Lonsdale Energy Corp., May 3, 2023

Moved by Councillor McIlroy, seconded by Councillor Shahriari

PURSUANT to the report of the Chief Executive Officer, Lonsdale Energy Corp., dated May 3, 2023, entitled “2023 Annual General Meeting”:

THAT the 2022 Financial Statements be received and filed;

THAT the proposed Unanimous Consent Resolutions of the Shareholder of Lonsdale Energy Corp. be endorsed;

AND THAT the Mayor and Corporate Officer be authorized to sign the resolution.

CARRIED UNANIMOUSLY

9. Mickey McDougall Facility and Flicka Gymnastics – Authority to Enter into Funding Agreement – File: 02-0800-30-0013/1

Report: Senior Project Manager, April 14, 2023

Moved by Councillor Girard, seconded by Councillor McIlroy

PURSUANT to the report of the Senior Project Manager, dated April 14, 2023, entitled “Mickey McDougall Facility and Flicka Gymnastics – Authority to Enter into Funding Agreement”:

THAT the Mayor and Corporate Officer be authorized to sign the Infrastructure Canada “Green and Inclusive Community Buildings Program” funding agreement and any other documentation to give effect to this motion.

CARRIED UNANIMOUSLY

10. Child Care Business Licence Application BUS-33823 – Lifeway Child Care Centre (532 East 4th Street) – Initial Consideration – File: 13-6750-10-0001/1

Report: Business Licence Inspector, April 26, 2023

Moved by Councillor Bell, seconded by Councillor Shahriari

PURSUANT to the report of the Business Licence Inspector, dated April 26, 2023, entitled “Child Care Business Licence Application BUS-33823 – Lifeway Child Care Centre (532 East 4th Street)”:

THAT a Public Meeting be held for Business Licence Application BUS-33823;

AND THAT the Business Licence Application BUS-33823 for Lifeway Child Care Centre be approved.

Continued...

REPORTS – Continued

10. Child Care Business Licence Application BUS-33823 – Lifeway Child Care Centre (532 East 4th Street) – Initial Consideration – File: 13-6750-10-0001/1 – Continued

Moved by Mayor Buchanan, seconded by Councillor McIlroy

THAT the application be deferred for further information.

CARRIED UNANIMOUSLY

11. CanExport Community Investment Projects – File: 13-6750-01-0001/2023

Report: Manager, Economic Development, April 26, 2023

Moved by Councillor McIlroy, seconded by Councillor Girard

PURSUANT to the report of the Manager, Economic Development, dated April 26, 2023, entitled “CanExport Community Investment Projects”:

THAT the Mayor and Corporate Officer be authorized to sign the Contribution Agreement with Global Affairs Canada for the 2023 CanExport Community Investments Sub-Program;

AND THAT staff report back to Council on project implementation and outcomes at the conclusion of the Contribution Agreement.

CARRIED UNANIMOUSLY

PUBLIC CLARIFICATION PERIOD

Nil.

COUNCIL INQUIRIES / REPORTS

Nil.

NEW ITEMS OF BUSINESS

Mayor Buchanan advised that she is participating in the third annual Mayor’s Food Bank Challenge and encouraged members of Council and the community to also participate.

12. Mayor’s Food Bank Challenge

Moved by Councillor Girard, seconded by Councillor Bell

THAT members of Council and the community be encouraged to participate in the third annual Mayor’s Food Bank Challenge.

CARRIED UNANIMOUSLY

NOTICE OF MOTION

Councillor Valente advised of his intention to bring forward a Notice of Motion regarding citizen engagement and amendments to the election bylaw.

RECESS TO CLOSED SESSION

Moved by Councillor Shahriari, seconded by Councillor Back

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(c) [labour relations], 90(1)(e) [land matter] and 90(1)(j) [information privacy].

CARRIED UNANIMOUSLY

The meeting recessed to the Committee of the Whole, Closed Session, at 7:30 pm and reconvened at 8:26 pm.

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

13. Annual Report – File: 05-1680-01-0004/2022

Report: Chief Financial Officer, April 26, 2023

Moved by Councillor Valente, seconded by Councillor Shahriari

PURSUANT to the report of the Chief Financial Officer, dated April 26, 2023, regarding an annual report:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the wording of the recommendation and the report of the Chief Financial Officer, dated April 26, 2023, remain in the Closed session.

CARRIED UNANIMOUSLY

14. Marine-Main Corridor – Eastbound Transit Lane Extension from Queensbury Avenue to Gladstone Avenue – Notice to Proceed for Construction – File: 11-5330-20-0064/1

Report: Project Manager, April 26, 2023

Moved by Councillor Valente, seconded by Councillor Shahriari

PURSUANT to the report of the Project Manager, dated April 26, 2023, entitled “Marine-Main Corridor – Eastbound Transit Lane Extension from Queensbury Avenue to Gladstone Avenue – Notice to Proceed for Construction”:

THAT the Director, Engineering, Parks and Environment, be authorized to sign the TransLink Contribution Agreement for the project;

THAT staff initiate the tender and construction phase;

Continued...

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION) – Continued

14. Marine-Main Corridor – Eastbound Transit Lane Extension from Queensbury Avenue to Gladstone Avenue – Notice to Proceed for Construction – File: 11-5330-20-0064/1 – Continued

AND THAT the report of the Project Manager, dated April 26, 2023, entitled “Marine-Main Corridor – Eastbound Transit Lane Extension from Queensbury Avenue to Gladstone Avenue – Notice to Proceed for Construction”, remain in the Closed session.

CARRIED UNANIMOUSLY

15. Land Matter – File: 08-3400-20-0094/1

Report: Manager, Development Planning, April 26, 2023

Moved by Councillor Valente, seconded by Councillor Shahriari

PURSUANT to the report of the Manager, Development Planning, dated April 26, 2023, regarding a land matter:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the wording of the recommendation and the report of the Manager, Development Planning, dated April 26, 2023, remain in the Closed session.

CARRIED UNANIMOUSLY

16. National Day for Truth and Reconciliation – September 30 – File: 01-0560-20-0001/2023

Report: Manager, Human Resources, April 18, 2023

Moved by Councillor Valente, seconded by Councillor Shahriari

PURSUANT to the report of the Manager, Human Resources, dated April 18, 2023, entitled “National Day for Truth and Reconciliation – September 30”:

THAT an additional public holiday be declared for the provincially proclaimed National Day for Truth and Reconciliation, to be observed on September 30, commencing in 2023, to be granted to employees covered by the CUPE Local 389 collective agreement and Exempt employees not already covered by the provisions of the *Employment Standards Act*;

THAT staff be directed to advise the Chief Librarian, North Vancouver City Library, and the Director, North Vancouver Museum and Archives, of this decision with encouragement that they also grant the National Day for Truth and Reconciliation public holiday to employees not already provided the day through collective agreement provisions or legislation;

AND THAT the report of the Manager, Human Resources, dated April 18, 2023, entitled “National Day for Truth and Reconciliation – September 30”, remain in the Closed session.

CARRIED UNANIMOUSLY

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION) – Continued

17. Labour Relations – File: 01-0560-20-0001/2023

Report: Manager, Human Resources, April 27, 2023

Moved by Councillor Valente, seconded by Councillor Shahriari

PURSUANT to the report of the Manager, Human Resources, dated April 27, 2023, regarding labour relations:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the wording of the recommendation and the report of the Manager, Human Resources, dated April 27, 2023, remain in the Closed session.

CARRIED UNANIMOUSLY

ADJOURN

Moved by Councillor Girard, seconded by Councillor Bell

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:27 pm.

“Certified Correct by the Corporate Officer”

CORPORATE OFFICER

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Office of the Mayor

CITY OF NORTH VANCOUVER
BRITISH COLUMBIA

Proclamation

INTERNATIONAL DAY AGAINST HOMOPHOBIA, TRANSPHOBIA AND BIPHOBIA

Whereas

the City of North Vancouver strives to be a welcoming, diverse, inclusive and safe community for all of its citizens;

Whereas

while intolerance of members of the LGBTQ2SI community is still pervasive in society, the 2023 theme, "Together Always: United in Diversity", reinforces that individuals have the right to live their sexualities and express their gender(s) openly with freedom from physical violence; and

Whereas

the City of North Vancouver supports opportunities to raise awareness of violence, discrimination and repression, and will raise the Pride Flag, Transgender Flag and Bisexual Flag on May 17, 2023 in celebration of gender and sexual diversities;

Now Therefore

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **May 17, 2023** as **International Day Against Homophobia, Transphobia and Biphobia** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, May 15, 2023

Linda C. Buchanan

Mayor Linda Buchanan

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For Metro Vancouver meetings on Friday, April 28, 2023

Please note these are not the official minutes. Board in Brief is an informal summary. Material relating to any of the following items is available on request from Metro Vancouver. For more information, please contact: media@metrovancover.org.

Metro Vancouver Regional District

E1.1 Board Procedure Bylaw Review Findings

APPROVED

On February 25, 2022, the Board requested a comprehensive review of the *Metro Vancouver Procedure Bylaw*, and directed staff to report back with suggested changes. The review was completed by a consultant in August 2022. It found the current procedure bylaw to be legislatively compliant and largely in keeping with best practices. The consultant report recommends a series of amendments to provide greater procedural clarity, reduce redundancies, and facilitate interpretation through the use of plain language. This report brings forward the proposed amendments, outlines the newly legislated requirement for considering the establishment of a code of conduct, and proposes additional amendments to differentiate electronic meetings from electronic participation, which will enable greater flexibility in determining the appropriate meeting type for each meeting.

The Board directed staff to bring forward a new procedure bylaw that incorporates the recommended changes as presented, and directed staff to bring forward a code of conduct based on the Model Code of Conduct produced by the Working Group on Responsible Conduct.


E1.2 UBCM 2023 Community Excellence Awards Nominations

APPROVED

The Union of BC Municipalities' Community Excellence Awards recognize UBCM members that have implemented projects or programs that demonstrate excellence in meeting the purposes of local government.

The Board supported Metro Vancouver's entries for the UBCM 2023 Community Excellence Award. The nominations include:

- Excellence in Governance: *Metro 2050*, Update to the Regional Growth Strategy
- Excellence in Service Delivery: Rice Lake Dams Maintenance Program Communications & Engagement
- Excellence in Asset Management: Deep Sea Diver Supported Sewer Inspection and Repair
- Excellence in Sustainability: Lulu Island Wastewater Treatment Plant Renewable Natural Gas Facility

<p>Reviewed by:</p> 
<p>CAO</p>

E1.3 Letter of Support for the City of Surrey Regarding Policing Services

REFERRED

The Board referred to staff the item regarding providing the City of Surrey with a letter of support requesting a provincial decision forthwith on the City's request to have the RCMP provide policing services for the City of Surrey.

E1.4 Harris Road Underpass Funding

APPROVED

The Board resolved to provide the City of Pitt Meadows with a letter of support regarding additional federal funding for the Harris Road Underpass project and that the project proceed forthwith.

E2.1 Metro Vancouver's Climate 2050 Energy Roadmap

APPROVED

The *Climate 2050 Energy Roadmap* is one in a series of 10 *Climate 2050* roadmaps that presents a robust pathway to transition to 100 per cent clean, renewable, and resilient energy used in the region by 2050. The actions in this roadmap and the other *Climate 2050* roadmaps will achieve over 80 per cent clean, renewable energy by 2050 and staff will continue to explore opportunities to further accelerate emission reductions during detailed planning and implementation. Energy use in Metro Vancouver is associated with approximately 90 per cent of the region's overall greenhouse gas emissions. The *Energy Roadmap* includes six strategies and 36 actions to reduce emissions and enhance resilience, as well as nine "big moves." During engagement on the draft roadmap staff heard input from local governments, energy utilities, the Province, and other key stakeholders. In response, staff have added and modified actions related to equity, renewable energy supply, and additional collaborations with First Nations.

The Board endorsed the *Climate 2050 Energy Roadmap* as presented; directed staff to continue working with member jurisdictions and other partners to implement the actions in the roadmap; and directed staff to update the roadmap, as needed, in response to changes in science, technology, and policy.

E2.2 Metro Vancouver's Climate 2050 Nature and Ecosystems Roadmap

APPROVED

The *Climate 2050 Nature and Ecosystems Roadmap*, one of 10 *Climate 2050* roadmaps that will guide our region's policies and collective actions to transition to a carbon neutral, resilient region by 2050. The region's ecosystems store approximately 65 million tonnes of carbon, sequestering an additional one million tonnes of carbon from the atmosphere each year and providing additional biodiversity, resilience, and human health co-benefits. To maximize these benefits, the *Climate 2050 Nature and Ecosystems Roadmap* lays out strategies and actions to protect and restore ecosystems, connect green infrastructure, integrate natural assets, support a resilient urban forest, and advance nature-based solutions to climate change. Like the other *Climate 2050* roadmaps, *Nature and Ecosystems* is intended to be dynamic and change over time in response to opportunities. To achieve the vision, goals, and targets established in this roadmap, Metro Vancouver and its partners need to implement the actions as soon as possible, using the full extent of each agency's authority, while continuing to explore new opportunities to enhance existing actions and for additional actions.

Staff have completed engagement through a number of avenues and have included a summary of key feedback that has been considered in finalizing the *Nature and Ecosystems Roadmap*.

The Board endorsed the *Climate 2050 Nature and Ecosystems Roadmap* as presented; directed staff to continue working with member jurisdictions and other partners to implement the actions in the roadmap; and directed staff to update the roadmap, as needed, in response to new information.

E3.1 Audited 2022 Financial Statements and Annual Financial Results

APPROVED

The Board approved the Audited 2022 Consolidated Financial Statements for the Metro Vancouver Regional District.

E3.2 Award of Contract Resulting from Request for Proposal No. 22-177: Group Benefits Insurance for Metro Vancouver Regional District

APPROVED

Metro Vancouver's employee benefit plans include provisions for group benefits insurance services, including Basic Life Insurance, Accidental Death and Disablement (AD&D) Insurance, and Long Term Disability (LTD) Insurance, and is currently provided through a third-party insurance carrier, Canada Life Insurance Company. The plan was last marketed in 2015. A Request for Proposal (RFP) was issued by Metro Vancouver in June of 2022 and consisted of a two-phase approach, including evaluation of RFP submissions and a finalist presentation from the top three proponents. Eight insurance carriers responded to the RFP. Desjardins was the lead proponent for insured benefits after evaluation of the RFP responses and short-list presentations. The proposed contract calls for coverage to be transferred from Canada Life Insurance Company to Desjardins on September 1, 2023. The estimated five-year value of the contract is \$13.287 million and savings over current arrangements for these benefits are estimated at \$5.313 million.

The Board approved the award of a unit rate contract to Desjardins for the supply of Life, Accidental Death and Dismemberment, and Long Term Disability group benefits insurance services to Metro Vancouver, with an estimated five-year value in the amount of \$13.287 million (exclusive of taxes); pending final review by the Commissioner.

E3.3 Rescinding of Temporary Policy COVID-19 Vacation Carry-Over Policy for Exempt Employees

APPROVED

In March 2021, the Board approved a temporary policy for vacation usage and carry-over that recognized the extenuating circumstances of the COVID-19 pandemic. The temporary policy took into account the operational requirements of exempt staff during the pandemic, and encouraged employees and their supervisors to work collaboratively to establish a vacation schedule that balanced extraordinary operational requirements of exempt staff. The temporary policy allowed for a one-time-only opportunity to carry over an additional two weeks of unused vacation hours to be used as time away in the following calendar year.

The Board approved the rescinding of the *COVID-19 Vacation Carry-Over for Exempt Employees Temporary Policy* as presented.

E4.1 Zero Waste Conference: 2022 Update and 2023 Plans

RECEIVED

Over the past 12 years that Metro Vancouver has hosted the Zero Waste Conference, the event has built a reputation as a unique venue that attracts an audience of leaders, decision-makers, sustainability practitioners, and innovators from business, government, and NGOs interested in knowledge sharing and networking. The intent of the conference is to engage local and global change-makers active in the area of upstream solutions to waste management challenges to share their knowledge, experience, and innovations in order to stimulate new ideas and collaborations on waste prevention solutions and accelerating the transition to a circular economy. The conference is one more initiative that contributes to Metro Vancouver's reputation as a Canadian leader in circularity.

The 2023 Zero Waste Conference will be held on November 1 and 2 at the Vancouver Convention Centre. On November 1, the conference would be organized similar to 2022; that is, it would continue to be a plenary event with programming devoted to speakers and sessions focused on how circular solutions contribute to carbon neutrality and climate resilience. On the second day, November 2, the program includes special events, workshops, and targeted meetings related to the conference theme. The program would be a collaborative process involving organizations within the region and across Canada to help them develop their own format for events and content with the intent of opening up the opportunities for networking, problem-solving, and collaboration.

The Board received the report for information.

E5.1 Costs of Providing Infrastructure and Services to Different Forms and Densities of Housing – Scope of Work

RECEIVED

Metro 2050, the regional growth strategy, directs, supports, and encourages growth within the Urban Containment Boundary and specifically in the region's Urban Centres and Frequent Transit Development Areas. In order to better understand the costs and revenues associated with different development forms in the region, this project will explore the "hard" and "soft" municipal and regional infrastructure/ servicing capital and operating costs for different residential forms, densities, and locations of housing, and compare it to property taxation/ utility and user revenues. Drawing from available sources, this project will provide data specific to this region that will help inform the discussion about the possible financial benefits and drawbacks of different forms of housing development within existing urban/high density (infill) areas versus expanding housing development to new suburban/low density (greenfield) areas.

The Board received the report for information.

E6.1 Contribution and Collaboration Agreement – Metro Vancouver Regional Parks Foundation

APPROVED

The Metro Vancouver Regional Parks Foundation (previously Pacific Parklands Foundation) is a charitable public foundation and society that was established in 2000. Since 2001, Metro Vancouver has provided the foundation with an annual contribution to cover most of its core operating expenses.

The Board approved a contribution and collaboration agreement between the Metro Vancouver Regional District and the Metro Vancouver Regional Parks Foundation for a four-year term commencing April 30, 2023 and ending March 31, 2027 with annual contributions of \$189,000 (2023), \$194,500 (2024), \$200,000 (2025) and \$205,500 (2026).

E6.2 Status of Regional Parks Capital Expenditures to December 31, 2022

RECEIVED

This is the year-end report for 2022, which includes both the overall capital program for the Regional Parks with a multi-year view of capital projects and the actual capital spending for the 2022 fiscal year in comparison to the annual capital cash flow. In 2022, annual capital expenditures for Regional Parks services were \$9.4 million compared to the planned capital cash flow of \$31.3 million. All capital funding surplus will remain with Regional Parks and will be returned to its reserves to fund future capital.

The Board received the report for information.

E7.1 Proclamation of Clean Transportation Month

APPROVED

To highlight the emerging clean tech solutions in the Metro Vancouver region and proactively create opportunities for investment and industry growth, Invest Vancouver sought a proclamation of Clean Transportation Month from the Metro Vancouver Regional District Board and the provincial government in 2022. Following the success of the first “Motivate Vancouver” event in June 2022, Invest Vancouver is collaborating with TransLink and the Vancouver Entrepreneurs Forum to bring this event back to the Metro Vancouver region in June 2023. There are also several clean transportation-related events planned in the Metro Vancouver region during June 2023 such as a Hydrogen International Expo and Conference, Bike to Work Week, and Car Free Days.

The Board proclaimed June 2023 to be Clean Transportation Month.

E7.2 Strategic Industries Analytics Project Update

RECEIVED

The Strategic Industries Analytics (SIA) project fills a critical need for a data-driven understanding of the key export-oriented industries. The project was undertaken to develop comprehensive datasets for targeted strategic industries. This trove of data is being analyzed as part of Invest Vancouver’s ongoing research. Already, the SIA output enabled the granular examination of long-term trends in the life sciences industry. Further in-depth results for other industries will be released throughout 2023.

This report provides an update on Invest Vancouver’s analysis of the SIA output. High-level economic growth and employment findings for the Metro Vancouver region include:

- High-tech services and digital media and entertainment are significant drivers of growth as the largest contributors to GDP among the strategic industries in absolute terms.
- Life sciences has shown the greatest percentage change in contribution to GDP, and rates second in terms of employment growth.

- Pandemic-related disruptions aside, transportation and logistics has shown strong growth in contribution to GDP, and modest employment growth (from a large base).
- High-tech goods and aerospace, contribution to GDP is rising and employment is falling. In apparel, contribution to GDP and employment are falling.

Going forward, the SIA findings will be a valuable tool for the region and to inform Invest Vancouver's work and priorities related to select strategic industries.

The Board received the report for information.

E7.3 Investment Attraction Update – First Quarter 2023

RECEIVED

This report provides a summary of Invest Vancouver's first quarter activity in investment attraction and expansion. As of March 31, 2023, Invest Vancouver worked with 23 companies representing a total estimated investment of approximately \$170 million and roughly 625 new jobs. Two companies have also formally announced their intention to establish a new presence in the region, representing up to \$43 million and 240 new jobs. Further, Invest Vancouver has had the opportunity to work with four companies looking to expand operations even further.

The prospective investor leads have come from a variety of sources including inbound directly to Invest Vancouver, referrals from partners such as the Canadian Trade Commissioner Service, and sourced through key industry events such as Mobile World Congress and the Game Developers Conference. The Invest Vancouver team continues to engage a variety of partners both locally and globally to promote the services of Invest Vancouver and to identify potential investor companies. This includes key partnerships with the federal and provincial governments, such as in-market meetings with the BC Trade and Investment reps and the Canadian Trade Commissioner Service. Invest Vancouver anticipates that the invest attraction pipeline will grow significantly in the coming months as lead generation efforts continue. There will be an effort to focus on larger and more strategic investments over time.

The Board received the report for information.

G1.1 MVRD Notice of Bylaw Violation Enforcement and Dispute Adjudication Amendment Bylaw No. 1362, 2023

APPROVED

Metro Vancouver can use a range of tools to promote compliance with its air emission regulatory bylaws. The *Notice of Bylaw Violation Enforcement and Dispute Adjudication Bylaw* allows designated contraventions to be addressed through a notice of bylaw violation as an initial enforcement measure or for minor infractions. Amendments to this bylaw designate new bylaw infractions and accompanying penalties that are needed as a result of the implementation of new phases of the updated *Non-Road Diesel Engine Emission Regulation Bylaw* and the adoption of the new *Open Burning Emission Regulation*. The amendments also address administrative updates.

The Board gave first, second, and third readings to the *Notice of Bylaw Violation Enforcement and Dispute Adjudication Amendment Bylaw No. 1362, 2023*, then passed and finally adopted said bylaw.

G1.2 MVRD Ticket Information Utilization Amendment Bylaw No. 1363, 2023

APPROVED

Metro Vancouver can use a range of tools to promote compliance with its air emission regulatory bylaws. The *Ticket Information Utilization Bylaw* allows offences to be addressed by issuing municipal ticket information (MTI) for serious enforcement matters where the possibility of a more expedited prosecution is appropriate. The amendments to this bylaw designate new offences and associated fines for which an MTI may be issued, which are needed as a result of the phasing-in of additional requirements under the updated *Non-Road Diesel Engine Emission Regulation Bylaw* and the adoption of the new *Open Burning Emission Regulation Bylaw*. The amendments also address changes in titles of Board-designated bylaw enforcement officers.

The Board gave first, second, and third readings to the *Ticket Information Utilization Amendment Bylaw No. 1363, 2023*, then passed and finally adopted said bylaw.

G2.1 Land Use Designation Amendment to Metro 2050 Township of Langley – Gloucester Industrial Park

APPROVED

The Township of Langley requested a Type 3 Amendment to *Metro 2050* to redesignate properties located at 26477, 26695, 26601, 26575, 26713 – 56 Avenue; 26500 Block of 56 Avenue; 5670 – 264 Street; and 5625 – 268 Street from Agricultural to Industrial and move the Urban Containment Boundary to allow for the lands to be added to the Gloucester Industrial Park. The Agricultural Land Commission excluded these lands from the Agricultural Land Reserve on March 10, 2022.

Staff analysis demonstrated that, on balance, this proposed amendment is supportable and is aligned with *Metro 2050's* goals and strategies. Overall, the proposed amendment allows for new industrial uses, which is consistent with the surrounding area context and provides employment generating uses in close proximity to the Regional Truck Route Network.

The Board initiated the regional growth strategy amendment process for the Township of Langley's requested regional land use designation amendment for eight properties from Agricultural to Industrial for the lands then gave first, second, and third readings to the amending bylaw, and directed staff to notify affected local governments as per section 6.4.2 of *Metro 2050*.

I 1 Committee Information Items and Delegation Summaries

The Board received information items and delegation summaries from standing committees.

Mayors Committee – April 5, 2023

Delegations:

3.1 Roderick Louis

Spoke to Item 5.3 - UBCM 2023 Community Excellence Awards Nominations

Climate Action Committee – April 6, 2023

Delegation Summaries:

5.6 Climate Action Dialogues

Driven by the climate science, the goal articulated in *Climate 2050* is that the Metro Vancouver region should be carbon-neutral and climate resilient by 2050. Implementing *Climate 2050* requires urgent and concentrated action by governments, businesses, institutions, and the finance community; and actions supported by residents across the region. Metro Vancouver's *Climate 2050* engagement and public education strategy identifies 12 activities to build strong public support for policy and other systemic changes. One activity is a public dialogue series. The Climate Action Dialogues are designed to engage regional opinion leaders in the scientific and economic case for actions that will significantly reduce greenhouse gas emissions in the near term. The first regional dialogues, scheduled for May 29 and 30, 2023, will introduce the economic rationale for climate action. Future topics will include the economic case for decarbonizing buildings and transportation, and making land use decisions consistent with regional climate goals.

Indigenous Relations Committee – April 6, 2023

Information Items:

5.1 Quarterly Update Report on Reconciliation Activities

This update report provides a summary of reconciliation events and activities undertaken by Metro Vancouver over the past few months of 2023 as well as information on upcoming events and activities over the next few months. Twenty-one activities have taken place in this reporting period, including three training sessions and 18 meetings or events intended to strengthen relationships with local First Nations. The report also highlights that over the next quarter, there is one activity planned that relates to liaising with Reconciliation Canada, two activities relating to raising staff awareness regarding Indian Residential Schools, five additional staff training sessions, and eight other meetings or events identified to date for strengthening relationships with First Nations. To this point in 2023, Metro Vancouver has either undertaken or identified a total of 37 reconciliation-related activities.

5.2 Overview of the Indigenous Population Data from the 2021 Census

This report provides an overview of the Indigenous population data for Canada and British Columbia from the 2021 Census, and provides a more detailed summary table of data for the Metro Vancouver region and local jurisdictions, including First Nations' reserves. There were 63,345 persons of Indigenous identity in 2021 living in the region, over twice as many as in 1996. The data also revealed that only five per cent of the Indigenous population in the Metro Vancouver region (3,160 people) lived on reserves in 2021. The overwhelming majority of Indigenous Peoples lived off reserve. The cities with the largest Indigenous populations included Vancouver (14,660), Surrey (12,180), Langley Township (5,045), Maple Ridge (4,205), Burnaby (4,180), and Coquitlam (2,915).

Finance Committee – April 13, 2023

Information Items:

5.1 2022 Metro Vancouver Final Audit Findings Report

Under provincial legislation, an external audit must be undertaken annually for all Metro Vancouver Districts and the Housing Corporation. This report, prepared by Metro Vancouver's external auditors, BDO Canada LLP Chartered Professional Accountants, summarizes the results of the annual audit for fiscal year 2022.

The audit has been conducted by the external auditors, BDO Canada LLP Chartered Professional Accountants using Canadian generally accepted auditing standards. The 2022 financial statements have received an unqualified audit opinion by the external auditors and will be finalized upon approval by the Board on April 28, 2023.

5.3 Capital Program Expenditure Update as at December 31, 2022

Updates on the capital program and its expenditures are brought to the committee to keep members informed on Metro Vancouver's financial performance. This is the final report for the 2022 fiscal year, including a summary of the 2022 actual capital spending compared to the planned capital cash flow, and additional information and narrative by department regarding the spending variances.

For 2022, Metro Vancouver's actual capital cash flow expenditures were approximately 55 per cent of planned spend and were underspent by \$619 million. The underspend, primarily timing differences, is due to a variety of factors, including: limited market capacity for projects, delays in permitting, challenges in acquiring property rights, and construction delays.

5.4 Tender/Contract Award Information – September 2022 to December 2022

During the period September 1, 2022 and December 31, 2022, the Procurement Division issued 14 new contracts, each with a value in excess of \$500,000 (exclusive of taxes). In addition, there were 11 existing contracts requiring contract amendments which necessitate further reporting to the Finance Committee. The 11 amendments reflected additional costs resulting from either scope changes and project extensions due to site conditions or third-party regulatory requirements. All awards and amendments were issued in accordance with applicable bylaws and policies.

5.7 Metro Vancouver Long Term Financial Planning – Current Policy Framework

Since 2017, Metro Vancouver has made a concerted effort to formalize and establish financial policies to guide its financial planning and operations to ensure financial sustainability and effective financial management. Over this time period, Metro Vancouver has established a suite of policy frameworks including: *Financial Management Policy*; *Corporate Allocation Policy*; *Operating, Statutory, and Discretionary Reserves Policy*; and updates to the *Corporate Investments Policy*. When establishing these policies, the long-range capital plans, macroeconomic assumptions, and management plans at that time were key inputs to the policy direction. Since the establishment of these policies, the landscape for financial planning at Metro Vancouver has changed significantly, specifically in terms of timing and costs of major projects and the macroeconomic environment with inflation and interest rates increasing.

This has necessitated a reassessment of Metro Vancouver’s current policy frameworks to ensure they still support financial sustainability for current and future ratepayers. This report provides information on key components and considerations of Metro Vancouver’s current policies, which will form the basis for the implementation of the Long-term Financial Plan.

Regional Planning Committee – April 14, 2023

Information Items:

5.3 Regional Planning Transportation Portfolio Update

This report provides a review of Metro Vancouver’s role in regional transportation planning, focusing on the key projects and initiatives identified in the Regional Planning Committee’s 2023 Work Plan. The best transportation plan is a good land use plan, and it is this perspective that informs the policy actions of Goal 5 of *Metro 2050*. These policy actions are being advanced through specific projects such as the Housing + Transportation Cost Burden Study Update and the Regional Parking Strategy. These key projects on the 2023 Work Plan are in addition to ongoing coordination and collaboration on external transportation initiatives, such as transportation corridor studies.

5.5 Updates to the Regional Tree Canopy Cover and Impervious Surfaces Datasets – Scope of Work

As set out in *Metro 2050*, Metro Vancouver collects and maintains regional ecological health indicator data, including regional tree canopy cover and impervious surfaces spatial datasets. The regional tree canopy cover and impervious surfaces datasets will be updated in 2023 using the newly generated high-resolution land cover classification from 2020 and, where possible, changes between 2014 and 2020 will be summarized. Once completed, staff will use the tree canopy cover dataset for *Metro 2050* performance monitoring, and member jurisdictions may find them useful to support local urban forestry and stormwater management policy implementation. This project is expected to be complete by the end of 2023, the results will be shared with member jurisdictions, and the updated datasets will be available on Metro Vancouver’s online data catalogue in early 2024.

Regional Parks Committee – April 19, 2023

Delegation Summaries:

3.1 Charles Ian McNeill, United Nations Environment Program
Park at Cape Roger Curtis on Bowen Island

3.2 Sue Ellen Fast, Bowen Island Municipality
Proposed Regional Park at Cape Roger Curtis on Bowen Island

3.3 Shari Ulrich
Proposed Regional Park at Cape Roger Curtis on Bowen Island

3.4 David Hocking
Metro Vancouver Proposed Park at Cape Roger Curtis

3.5 John Dowler
Proposed Regional Park at Cape Roger Curtis on Bowen Island

3.6 Tim Wake, Bowen Island Municipality

Proposed Regional Park at Cape Roger Curtis on Bowen Island

3.7 Judith Gedye

Proposed Regional Park at Cape Roger Curtis on Bowen Island

3.8 Ashley Gesner

Proposed Regional Park at Cape Roger Curtis

Metro Vancouver Housing Corporation

E1.1 Audited 2022 Financial Statements and Annual Financial Results

APPROVED

The Board approved the Audited 2022 Consolidated Financial Statements for the Metro Vancouver Regional District.

E2.1 Overview of Metro Vancouver Housing's Energy Management Program

RECEIVED

Energy use represents one of Metro Vancouver Housing's largest operating costs and is the primary source of its greenhouse gas emissions. Energy is used to heat, light, and ventilate its portfolio of residential buildings, to manage solid waste generated at those buildings, and to operate its small fleet of vehicles. In 2016, MVH and the Energy Management Group implemented a capital investment methodology that incorporates life cycle costing analyses into the capital maintenance upgrade process to assist MVH in managing energy costs and GHG emissions. Since 2016, projects implemented have reduced natural gas use by 16 per cent, reduced energy costs by \$169,613, and reduced GHG emissions by 16 per cent, a total of 1,084 tonnes of carbon dioxide equivalent. The life cycle net present value savings that will be achieved will exceed the cost of the capital investments by \$1 million. The Energy Management Program will continue to reduce GHG emissions and energy consumption to help meet MVH's *10-Year Plan* targets as well as Metro Vancouver's regional climate targets in *Climate 2050*.

The Board received the report for information.

E2.2 Status of Metro Vancouver Housing Corporation Capital Expenditures to December 31, 2022

RECEIVED

This is the year-end report for 2022 which includes both the overall capital program for MVHC with a multi-year view of capital projects and the actual capital spending for the 2022 fiscal year in comparison to the annual capital cash flow. For the fiscal year 2022, total capital expenditures totaled \$16 million, which is \$32.3 million below the planned annual capital cash flow of \$48.3 million.

This underspend is due to two projects: Kingston Gardens Phase 1 and Salal Landing (formerly called Welcher Avenue) that had delayed construction starts.

They were both originally anticipated to start in late 2021, but instead were delayed to Q4 2022. The underspend in 2022 will be spent in 2023 as these projects progress through the construction phase. The Connection (formerly called Eastburn Square), Malaspina Village Phase 1, Herons' Nest (formerly called Pitt Meadows Civic Centre site) and The Steller (formerly called Southwynde Avenue) were in the preliminary design and rezoning process through 2022. There were no budgeted or actual expenditures related to projects in planning in 2022.

The Board received the report for information.

E2.3 Inclusionary Housing Policy Review – Project Scope

RECEIVED

Several municipalities in Metro Vancouver have adopted inclusionary housing policies that require developers to include below-market housing units within new developments as a condition of rezoning, or to achieve a density bonus. Policies and practices vary across the region and as a relatively new tool, there has been no comprehensive effort to measure and maximize effectiveness in the region. Metro Vancouver Housing is undertaking a project to catalog and assess practices across the region, conduct a scan of global best practices, and develop policy recommendations that could be applied in the region. The project will aim to develop a "policy model" to assist member jurisdictions seeking to adopt or update inclusionary housing policies, and may include advocacy to the Province to adopt enabling legislation for inclusionary zoning. The project will also explore the potential of Metro Vancouver Housing administering and monitoring, or otherwise partnering to increase the effectiveness of inclusionary housing programs.

The Board received the report for information.

E2.4 Municipal Measures to Reduce Non-Market Housing Development Costs and Approval Timelines

APPROVED

Facilitating the delivery of non-market housing requires coordinated effort across all levels of government, the non-profit sector, and private development partners. Municipalities vary in the incentives that are offered to support non-market housing. The type and range of incentives offered makes a significant difference to the viability and level of affordability achievable for non-market housing projects. Actions to streamline the approval of non-market housing projects, including Metro Vancouver Housing's active projects, would reduce costs, increase affordability, and improve the ability of non-profits to leverage funding from provincial and federal governments.

The Board directed staff to work with member jurisdictions to identify opportunities for more regional consistency and supportive policy measures to aid in more effective delivery of nonmarket housing in the region and report back to the committee and Board with recommendations.

I 1 Committee Information Items and Delegation Summaries

The Board received an information item from a standing committee.

Housing Committee – April 14, 2023

Information Items:

5.1 Overview of Metro Vancouver Housing’s Asset Management Program

Metro Vancouver Housing’s Asset Management Program identifies and prioritizes needs for building maintenance, renewal, and redevelopment. Assets are assessed based on their expected life cycle and validated through regular and ongoing in-person assessment. This information is then used to plan investment over the short and long term. This report provides an overview of MVH’s approach that uses a triple bottom line analysis to ensure cost-effective maintenance to meet environmental goals and support tenant comfort and well-being.

Greater Vancouver Water District

E1.1 GVWD 2022 Water Quality Annual Report

RECEIVED

The Greater Vancouver Water District 2022 Water Quality Annual Report is required under the provincial *Drinking Water Protection Regulation*, and Metro Vancouver’s *Drinking Water Management Plan*. The annual report summarizes the analysis of over 160,000 tests conducted on samples collected from the GVWD source reservoirs, in-system reservoirs, and transmission system, as well as microbiological water quality of member jurisdictions’ systems supplied by the GVWD.

The annual report outlines how Metro Vancouver’s water quality monitoring program continues to fulfill its role in confirming that the multiple protection barriers for drinking water, including watershed protection, water treatment, and the ongoing operation of the water system, continue to ensure excellent water quality for the region. In 2022, the water quality of the treated drinking water was excellent. All water quality parameters analyzed met or exceeded provincial water quality regulations and the federal *Guidelines for Canadian Drinking Water Quality*.

The Board received the report for information.

E2.1 Audited 2022 Financial Statements and Annual Financial Results

APPROVED

The GVWD Board approved the Audited 2022 Consolidated Financial Statements for the Greater Vancouver Water District.

G1.1 GVWD Water Development Cost Charge Bylaw 257, 2022 and GVWD Water Development Cost Charge Waiver or Reduction for Not-for-Profit Rental Housing Bylaw 256, 2022

APPROVED

On January 27, 2023 the Board gave a third reading as amended to the *GVWD Development Cost Charge Bylaw* and subsequently sent it to the Inspector of Municipalities, which provided approval in March 2023. Accompanying this is a related bylaw that allows for waiving or reducing these costs for non-profit rental housing. Significant engagement with industry, member jurisdictions, First Nations, and the public was undertaken in summer 2022 in which feedback and comments were received and addressed.

The Board passed and finally adopted the *GVWD Development Cost Charge Bylaw No. 257, 2022*.

The Board gave third reading to the *GVWD Development Cost Charge Waiver or Reduction for Not-for-Profit Rental Housing Bylaw No. 256, 2022* as amended and presented; then passed and finally adopted said bylaw.

I 1 Committee Information Items and Delegation Summaries

The Board received an information item from a standing committee.

Water Committee – April 28, 2023

Information Items:

5.1 GVWD Electrical Energy Use, Generation, and Management

This report outlines electrical usage by the water utility, as well as energy generation and energy management projects. In 2022, the GVWD avoided electricity purchases of \$803,000 annually by generating electrical energy at four facilities. Energy management projects completed since 2015 provide an additional estimated annual savings of \$208,000.

5.2 2022 Contribution Agreement Annual Reports – Seymour Salmonid Society and Coquitlam River Watershed Roundtable

The Seymour Salmonid Society (SSS) operates the Seymour River Hatchery on GVWD land and conducts stewardship activities in the Seymour River watershed. The GVWD has a current three-year (2021 – 2023) Contribution Agreement with the SSS for \$125,000 annually. The SSS released half a million juvenile salmonids into local waterways in 2022. The Coquitlam River Watershed Roundtable (CRWR) has a mission “To preserve and enhance the health of the Coquitlam River Watershed through collaboration, education and advisory action.” The GVWD has a current four-year (2023 – 2026) Contribution Agreement with the CRWR for \$34,000 annually (+ 3% CPI/year). The CRWR continues to focus on community outreach and stewardship activities such as anti-littering/dumping and stormwater management campaigns. The SSS and CRWR have met the requirements of the respective 2022 GVWD Contribution Agreements and the attached reports provide details of their annual activities.

5.4 GVWD Water Supply System 2022 Annual Update

This report summarizes key initiatives undertaken in 2022 by the GVWD. This was the second such report prepared following the Ministry of Health's draft Guidance for Water User Communication. The purpose of the report is to ensure that, as a water supplier, Metro Vancouver remains aligned with the requirements to communicate with water users on topics defined in the provincial *Drinking Water Protection Act* and *Drinking Water Protection Regulation*.

Topics addressed in the report include water system risk mitigation, water use and conservation, and maintenance activities to continue to meet service objectives. The report also highlights capital projects undertaken to maintain and upgrade the existing infrastructure, increase resiliency, and accommodate regional growth and details on Metro Vancouver's response to an emergency affecting the drinking water system in 2022.

5.5 2023 Water Conservation Communications and Public Outreach Update

Metro Vancouver delivers region-wide drinking water communications and public outreach initiatives. This communication supports the understanding of and compliance with water conservation policies and programs in the *Drinking Water Management Plan*. Starting April 3, Metro Vancouver will communicate Stage 1 watering restrictions of one day per week for residential properties. Stage 1 comes into effect May 1. Promotional materials (including social media, a media release, and co-branded collateral) will be distributed to member jurisdictions for public education and enforcement purposes. The We Love Water campaign will emphasize the importance of conservation for our future drinking water supply within the context of how population growth and climate change impacts our drinking water supply and system. A media buy will include television, radio, outdoor, and digital promotions leading to the We Love Water campaign website. The Water Wagon will be engaged for approximately 38 event days, which includes 15 days at the PNE.

5.6 GVWD Capital Program Expenditure Update to December 31, 2022

The capital expenditure reporting process as approved by the Board provides for regular status reports on capital expenditures three times per year. This is the year-end report for 2022 which includes both the overall capital program for the water utility with a multi-year view of capital projects and the actual capital spending for the 2022 fiscal year in comparison to the annual capital cash flow. In 2022 the annual capital expenditures for GVWD were \$297.8 million to date compared to an annual capital cash flow of \$471.3 million. This shortfall is primarily due to project delays related to; delays in permitting, limited market capacity for projects, and construction delays. Forecasted expenditures for the current GVWD capital program remain within the annual capital cash flow planned for 2022.

Greater Vancouver Sewage and Drainage District

E1.1 Liquid Waste Services Capital Program Expenditure Update as at December 31, 2022 RECEIVED

This is the year-end report for 2022, which includes the overall capital program for Liquid Waste Services with a multi-year view of capital projects, and the actual capital spending for the 2022 fiscal year to December 31, 2022 in comparison to the annual capital cash flow.

As of December 31, the 2022, capital expenditures for Liquid Waste Services are \$400.4 million, compared to an annual capital cash flow of \$780.5 million. This shortfall is primarily due to limited market capacity for projects and construction delays as well as issues on the North Shore Secondary Wastewater Treatment Plant project. Forecasted expenditures for the current Liquid Waste Services capital program generally remain within the annual capital cash flow planned for 2022.

The Board received the report for information.

E1.2 Award of Contract Resulting from Request for Proposal No. 22-318 Supply and Delivery of Dry Polymer to Wastewater Treatment Plants **APPROVED**

Request for Proposal (RFP) No. 22-318 Supply and Delivery of Dry Polymer to Wastewater Treatment Plants resulted in two proposals. Solenis has been identified as offering the best value based on highest overall score and lowest cost. Dry polymer is used to meet regulatory requirements at Annacis Island, Lions Gate and Lulu Island Wastewater Treatment Plants for digester operating parameters, biosolids disposal, and biosolids quality. It is used by the Wastewater Treatment Division in centrifuge dewatering of biosolids and dissolved air flotation thickening processes.

The Board approved the award of a contract in the amount of up to \$7,956,000 (exclusive of taxes) to Solenis LLC for supply and delivery of Dry Polymer to Wastewater Treatment Plants, resulting from Request for Proposal No. 22-318; pending final review from the Commissioner.

E2.1 Audited 2022 Financial Statements and Annual Financial Results **APPROVED**

The Board approved the Audited 2022 Consolidated Financial Statements for the Metro Vancouver Regional District.

G1.1 Greater Vancouver Sewerage and Drainage District Development Cost Charge Reserve Fund Expenditure Bylaw No. 364, 2023 **APPROVED**

A bylaw is required to authorize use of Development Cost Charges (DCCs). This bylaw provides authority for 2022 annual funding applied for growth capital debt servicing amounts and growth capital project expenditures.

In total, \$60.6 million of DCCs were applied for growth capital debt servicing in 2022, which is in line the budgeted amount of \$60.8 million over the four defined sewerage areas. There was no application to direct growth capital expenditures due to underspends in the growth capital program for Liquid Waste Services.

Total DCCs collected in 2022 was \$68.9 million, down from \$85.1 million in 2021. Total DCCs held in deferred revenue reserve balances as at December 31, 2022 were \$273.6 million.

DCC rates will now be reviewed annually as part of the budget process to ensure that Metro Vancouver stays current and maximizes this revenue stream to reduce rate impacts of the Liquid Waste growth capital program.

The Board gave first, second and third readings to *GVS&DD Development Cost Charge Reserve Fund Expenditure Bylaw No. 364, 2023*; them passed and finally adopted said bylaw.

I 1 Committee Information Items and Delegation Summaries

The Board received information items from standing committees.

Zero Waste Committee – April 13, 2023

Information Items:

5.1 Zero Waste Committee and Climate Action Committee Joint Discussion on Solid Waste Management Plan Vision and Guiding Principles

As part of April 13, 2023 Zero Waste Committee meeting, Zero Waste Committee and Climate Action Committee members are engaging in a joint discussion on vision and guiding principles for an updated solid waste management plan. Metro Vancouver is also actively engaging with local First Nations and member jurisdictions, the Solid Waste Management Plan Public/Technical Advisory Committee, and the Solid Waste and Recycling Industry Advisory Committee. Staff will report back to the Zero Waste Committee in advance of launching public engagement, which will include a broad range of audiences such as waste and recycling industry, waste producers, businesses, non-profits, communities of interest, and Metro Vancouver residents.

5.2 Solid Waste Services Capital Program Expenditure Update as of December 31, 2022

The capital expenditure reporting process, as approved by the Board, provides for regular status reports on capital expenditures three times per year. This is the year-end report for 2022 which includes both the overall capital program for the solid waste utility with a multi-year view of capital projects and the actual capital spending for the 2022 fiscal year in comparison to the annual capital cash flow. Two major multi-year projects were completed in 2022, the United Boulevard Recycling and Waste Centre and the Central Surrey Recycling and Waste Centre. In 2022, the capital expenditures for Solid Waste Services were \$39.4 million compared to an annual capital cash flow of \$50.8 million. The underspend is primarily due to the timing of the pre-construction phases of the Waste-to-Energy Facility projects. Projects underway are expected to be completed within approved budgets.

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8922

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8922**” (East Second Lonsdale Project Ltd. / RH Architects, 119-125 East 2nd Street, CD-753).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-753 (Comprehensive Development 753 Zone):

Lots	Block	D.L.	Plan	
6 & 7	155	274	878	from LL-4

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following section to Section 1100, thereof, after the designation “CD-752 Comprehensive Development 752 Zone”:

“CD-753 Comprehensive Development 753 Zone”
 - B. Adding the following to Section 1101, thereof, after the “CD-752 Comprehensive Development 752 Zone”:

“CD-753 Comprehensive Development 753 Zone”

In the CD-753 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the LL-4 Zone, except that:

- (1) The permitted Principal Use on the Lot shall be limited to:
 - (a) Retail Service Group 1A Use;
 - (b) Retail Service Group 1 Use, restricted to rear tenancies not fronting East 2nd Street;
 - (b) Accessory Apartment Use subject to Section 6A02(1) of this Bylaw, except that an Accessory Apartment Use shall be permitted on the second storey and above;
 - (c) Accessory Home Occupation Use, subject to Section 507(6);
 - (d) Accessory Home Office Use, subject to Section 507(6);
 - (e) Child Care Use, subject to Section 607(9);
 - (f) Accessory Off-Street Loading Use;
 - (g) Accessory Off-Street Parking Use;
 - (h) Off-Site Parking Use.

(2) Gross Floor Area

- (a) The maximum Gross Floor Area is 2.6 FSR;
- (b) Notwithstanding (2)(a) the Gross Floor Area may be increased as follows:

ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL DENSITY (BONUS)	POLICY REFERENCE
Community Benefit Cash Contribution	Provision of a Community Benefit Cash Contribution of \$2,280,190 for an increase of 1.0 FSR to a maximum of 3.6 FSR	Maximum 1,115 sq. m. (12,001 sq. ft.)	As per OCP Policy Section 2.2.1

Such that the total effective on-site Gross Floor Area is not to exceed 3.6 FSR.

- (3) A minimum of nine units shall have 3 bedrooms;
- (4) Section 6A04(3) shall be varied to permit the maximum Lot Coverage to not exceed 92% at the ground level, and 51% at the second floor and above;
- (5) Building Height:
 - (a) The Principal Building shall not exceed a Building Height of 23 metres (75.5 feet) as measured from the average Building Grade at the North property line along East 2nd Street;
 - (b) Elevator overruns, mechanical penthouses, fire egress stairs, balustrading and landscaping may project beyond the defined height in (a) by a maximum of 3.2 metres (10.5 feet) including elevator shafts and mechanical rooms;
- (6) Section 6A04(5) shall be varied to allow the Principal Building to be sited:
 - (a) Not less than 0.6 meters from a Rear Lot Line or Flanking Lane at the ground level;
 - (b) Not less than 0.6 meters from a Flanking Lane at the second level and above;
 - (c) Not less than 4.8 meters from Rear Lot Line to the wall, at the second level and above;

- (d) Not less than 1.9 meters from Rear Lot Line to an unenclosed balcony, at the second level and above.

READ a first time on the 2nd day of May, 2022.

READ a second time on the 2nd day of May, 2022.

READ a third time on the 24th day of May, 2022.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICE

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Huy Dang, Planner 1

Subject: ZONING BYLAW AMENDMENT FOR 125 VICTORY SHIP WAY (THE WALLACE VENUE CORP.)

Date: April 12, 2023 File No: 08-3400-20-0100/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated April 5, 2023, entitled "Zoning Bylaw Amendment for 125 Victory Ship Way (The Wallace Venue Corp.)":

THAT the application submitted by The Wallace Venue Corp., to amend the CD-393 Zone for the property located at 125 Victory Ship Way, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

ATTACHMENTS

1. Context Map (CityDocs [2338245](#))
2. Existing Floor Plans, dated August 2018 (CityDocs [2346114](#))
3. Public Consultation Summary (CityDocs [2334379](#))
4. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964" (CityDocs [2338252](#))

SUMMARY

The Wallace Venue Corp. has applied for a Zoning Bylaw Amendment to vary the permitted uses for the property at 125 Victory Ship Way, in order to allow for a Liquor Primary Licence at the third/uppermost floor's commercial unit of the existing northwest

block building for their event-hosting venue. If approved, the applicant and property owner could then apply to have their facility licensed with the Province for the serving and sale of liquor alongside individual events. No modifications to the existing exterior and interior building configuration are proposed.

BACKGROUND

Applicant:	Jodi Daigneault, The Wallace Venue Corp.
Owner:	City of North Vancouver, leased to the Shipyards Development Ltd.
Official Community Plan Designation:	Mixed-Use Level 4A
Existing Zoning:	CD-393 (Parcel 9)

Project Description

Applicant and Operation Background

The Wallace Venue Corp. is owned and managed by the Quay North Urban Development Group and have been operating their event-hosting venue (“The Wallace”) at 125 Victory Ship Way since 2019. The 503.8 sq.m. (5,423.0 sq.ft.) space, which includes an additional 223.6 sq.m. (2407.0 sq.ft.) exterior terrace, is located at the top floor of the northwest block building adjacent to the Shipyard Commons (see Figure 1 below), which features an outdoor patio portion. The Wallace is used most commonly for weddings, as well as film and photo shoots, and can generally be booked between the hours of 9:00 AM to 12:00 AM as per their website information.

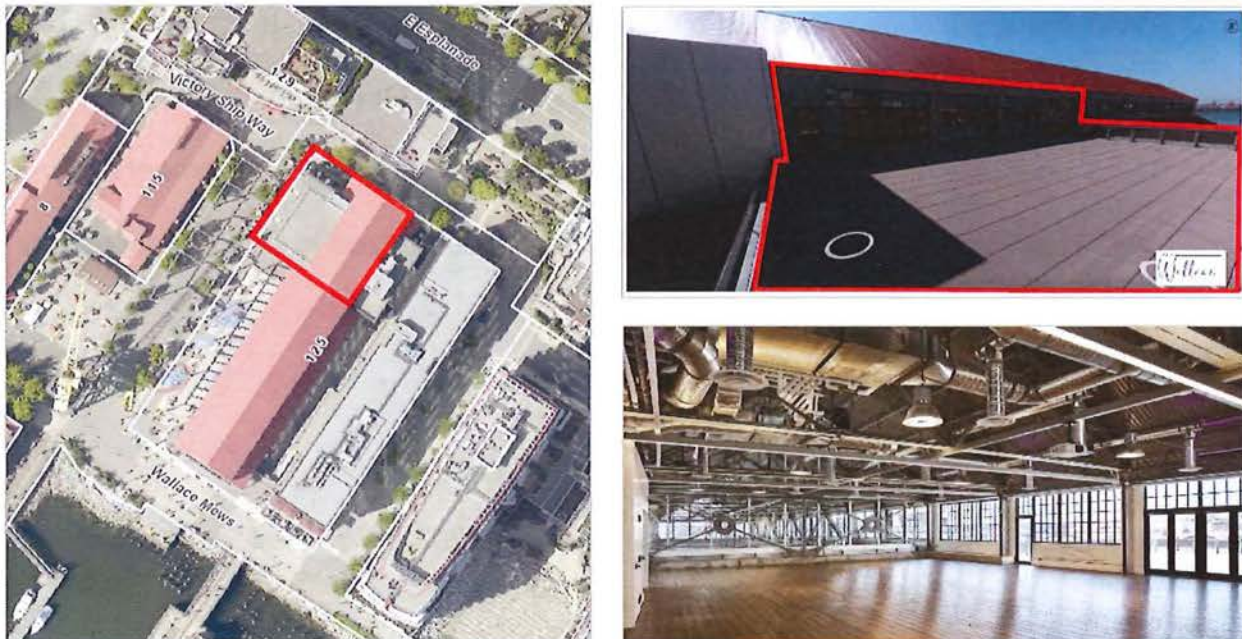


Figure 1. (Left) Site plan depicting subject unit location at third floor; (Right-Top) Photo of exterior terrace; (Right-Bottom) Photo of interior unit space.

Site Context and Surrounding Use

The property at 125 Victory Ship Way is located within the City's Shipyards District and consists of three main building 'blocks' that all surround a covered plaza. Each 'block' consists of several commercial retail units that currently include restaurants, boutique retail stores, a café, ice cream store, as well as the Seaside Hotel and some Capilano University classroom facilities. The subject unit, "The Wallace", is located at the third/uppermost floor of the northwest 'block'.

The Wallace Mews public walkway surrounds the perimeter of the property connecting it to many popular public areas along the City's premier waterfront. The buildings and land uses immediately surrounding the property are further described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	12 to 18 Lonsdale Avenue; 119 to 129 E. Esplanade; 108 to 138 Victory Ship Way	11-storey mixed-use commercial, hotel, and strata building	CD-393 (Parcel 5)
South	n/a	Waterfront	n/a
East	175 & 185 Victory Ship Way	10-storey strata apartment buildings	CD-393 (Parcel 11)
West	115 Victory Ship Way	Indoor venue ("The Pipe Shop Venue")	CD-393 (Parcel 8)

As noted above, no exterior or interior renovations are anticipated to support the proposed Liquor Primary Licence use.

Current Liquor Use Provisions

Any use in the City involving the sale or serving of liquor must be licenced by the Province's Liquor and Cannabis Regulation Branch (LCRB). The LCRB manages several types of licences that permit liquor use through varying business and/or event types.

Currently, licensed liquor uses in the City are typically permitted through either a restaurant use (i.e. with a "Food Primary Licence"), hotel use, or through an accessory lounge use accompanying a brewery or distillery. Serving liquor as a primary use; however, (i.e. with a "Liquor Primary Licence"), is generally prohibited in all zones unless a particular zone states otherwise as per Section 402(19) of the Zoning Bylaw.

There are several Comprehensive Development (CD) Zones in the City that permit Liquor Primary Licences, including the "Polygon Gallery", which allows for a Liquor Primary Licence through an "Accessory Banquet Facility" that would be accessory to the principal gallery use. Most commonly, Liquor Primary Licences are permitted through a public house/pub use. An example of some of these CD zones are outlined in Table 2 below.

Table 2. Example of Existing CD Zones that permit a Liquor Primary Licence

Address	Description	Zoning	Liquor Primary Licence Provision Via
101 Carrie Cates Court	The Polygon Gallery	CD-642	Accessory Banquet Facility
175 E 1 st Street	The Gull Restaurant and Bar	CD-52	Neighbourhood pub
86 Semisch Ave	Sailor Hagars Pub	CD-71	Neighbourhood pub
1433 Lonsdale Ave	Jack Lonsdale's Public House	CD-125	Neighbourhood pub

In addition to the aforementioned Zoning Bylaw provisions, individual event organizers can also apply for event-specific liquor permits such as “Special Event Permits” (SEPs) through the Province’s LCRB, or attain a licensed caterer that is authorized to serve and sell liquor. These options are common for event organizers renting venue spaces like the Wallace. However, given their temporary and event-specific nature, SEPs are typically reviewed and approved solely by the Provincial LCRB and local governments are not typically consulted on the reviews, although they are notified. The LCRB can only approve a limited number of SEPs for a given establishment or residence, which is generally 24 per year. The Wallace has been issued 7 SEPs thus far in 2023 as per our records.

Requiring event organizers to acquire individual SEPs or attain licensed caterers poses general limitations on the venue in terms of the number of events that can occur where liquor is served and is also onerous as it requires SEP applications for each individual event. The LCRB suggests applicants apply for SEPs at least 30 days in advance of their event, which can also limit the flexibility of renting out the venue on shorter notice for liquor-serving events. There are also administrative responsibilities for individual event organizers as well, in terms of requiring signage and potential security plans for each SEP which contributes to the time and fees associated. These are reasons behind why a more long-term solution is being pursued to amend the existing zone to allow the Wallace to acquire the Liquor Primary Licence for their establishment.

PLANNING ANALYSIS

The Wallace venue is sited in a premier location overlooking the Shipyards District and North Vancouver waterfront. The unit, which includes an outdoor terrace (Attachment 2), is an opportune rental site for weddings and gatherings, and it is common for event organizers to acquire SEPs in order to allow for the serving and sale of liquor during their event.

Through a Liquor Primary Licence provision, the current and any future venue operator will then be able to acquire the licence themselves that would be appropriate for their re-occurring use. As an example, the owner and applicant have indicated that they would be pursuing an “event-driven” Liquor Primary Licence, that allows the establishment to be licensed but with limited hours of liquor service only in conjunction with an event, similar

to SEPs and other temporal liquor permits. These limited hours generally span from one hour before to one hour after an event. Event organizers can still apply for individual liquor permits (i.e. SEPs) for licenced establishments, however the establishment would need to apply for temporary de-licensing and that is typically limited to 6 occasions per year. This is typically only for instances where an event organizer is proposing alternative liquor use provisions (e.g. hours of service) beyond the scope of an approved Liquor Primary Licence for an establishment.

With a permitted Liquor Primary Licence, the City would be able to further monitor the facility through the business licensing process to ensure that it is operated in accordance with City bylaws as a perpetual use

In order to ensure this proposed use is maintained as intended going forward, staff have worded the CD-393 Zone amendment in a manner that limits the Liquor Primary Licence use to a "event venue" use, specific to the current floor space allocation for the Wallace (refer to Attachment 4). Any further adjustments to the intended use would require a Zoning Bylaw Amendment and again be subject to public consultation and Council consideration.

Recognizing the limitations of Liquor Primary Licence provisions in our Zoning Bylaw, this particular rezoning proposal also demonstrates an opportunity to better address liquor use provisions more comprehensively through a City-wide study. In the meantime, similar proposals will need to be assessed and reviewed by staff and Council on a case-by-case basis.

COMMUNITY CONSULTATION

A Developer Information Session was held on January 18, 2023. There were two members of the public in attendance and the discussion was primarily centered around the anticipated operation plans, which the applicant clarified would remain unchanged.

One additional email from a resident, along with a comment form, was received outside of the Developer Information Session, which both expressed concern with ongoing activity and noise disruptions from the facility.

Staff note that the City's "Noise Control Bylaw, 2021, No. 8885" will continue to apply to the business operations at the site regardless of the use. The applicant has acknowledged that they intend to continue ensuring renters/hosts abide within Noise Control Bylaw regulations in consideration of the proximity to residences. By having an event-driven Liquor Primary Licence, this would also ensure more consistency in terms of hours of liquor sales or service during events.

INTER-DEPARTMENTAL REVIEW

In consultation with the Community and Partner Engagement Department, the benefits of the proposed rezoning for the Wallace Venue will help facilitate a more consistent process for hosting events with liquor servicing for this venue. As a recognized permitted use, this would allow the City more oversight into the ongoing business operations through standard regulatory and licensing procedures, which is key in consideration of the

proximity to the residential and variety of commercial uses in the Shipyards District. This initiative will result in positive exposure for the City as a suitable and accommodating destination which offers an opportunity for increased economic activity and event planning/programming opportunities within the Shipyards district. This will increase the City's ability to offer flexible meeting and event space in a convenient and attractive location, in line with Destination BC's advocacy for the enhancement and addition of meeting/event spaces across Metro Vancouver.

FINANCIAL IMPLICATIONS

This rezoning proposal poses no further financial costs incurred by the City, and would benefit the operator in regards to alleviating the time and costs associated with requiring individual event organizers to undergo an SEP or similar process.

POLICY IMPLICATIONS

The proposed Liquor Primary Licence use conforms with the Official Community Plan's Mixed-Use Level 4A designation for the property, which allows for a mix of commercial uses alongside residential uses. Staff note that the current CD-393 Zone also permits an Accessory Liquor Primary Licence Use for a Lounge as part of a principal Hotel Use for the same parcel.

CONCLUSION

The proposed Liquor Primary Licence provision, which would be exclusive to the subject event-hosting venue, would permit the facility to apply to the Province's LCRB and remove the barrier for venue renters to individually acquire permits for liquor use; a process that the City and local governments are typically not consulted on. This will allow the City to better monitor and regulate the associated liquor use using our standard regulatory and licensing procedures for this prominent venue on the City's waterfront.

RESPECTFULLY SUBMITTED:

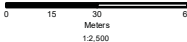


Huy Dang
Planner 1

City of North Vancouver
125 Victory Ship Way

Legend

- Subject Site
- Legal_Parcels

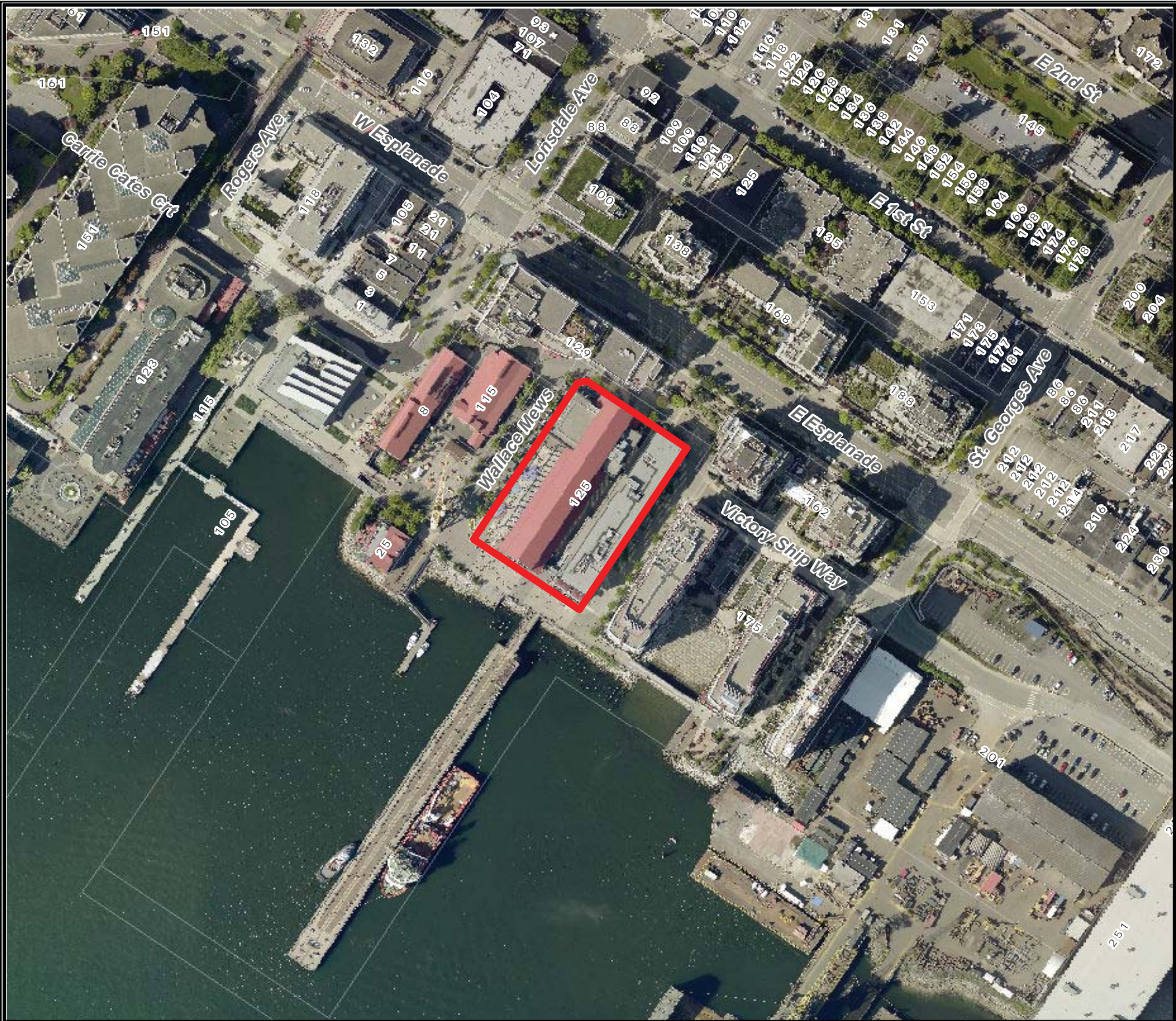


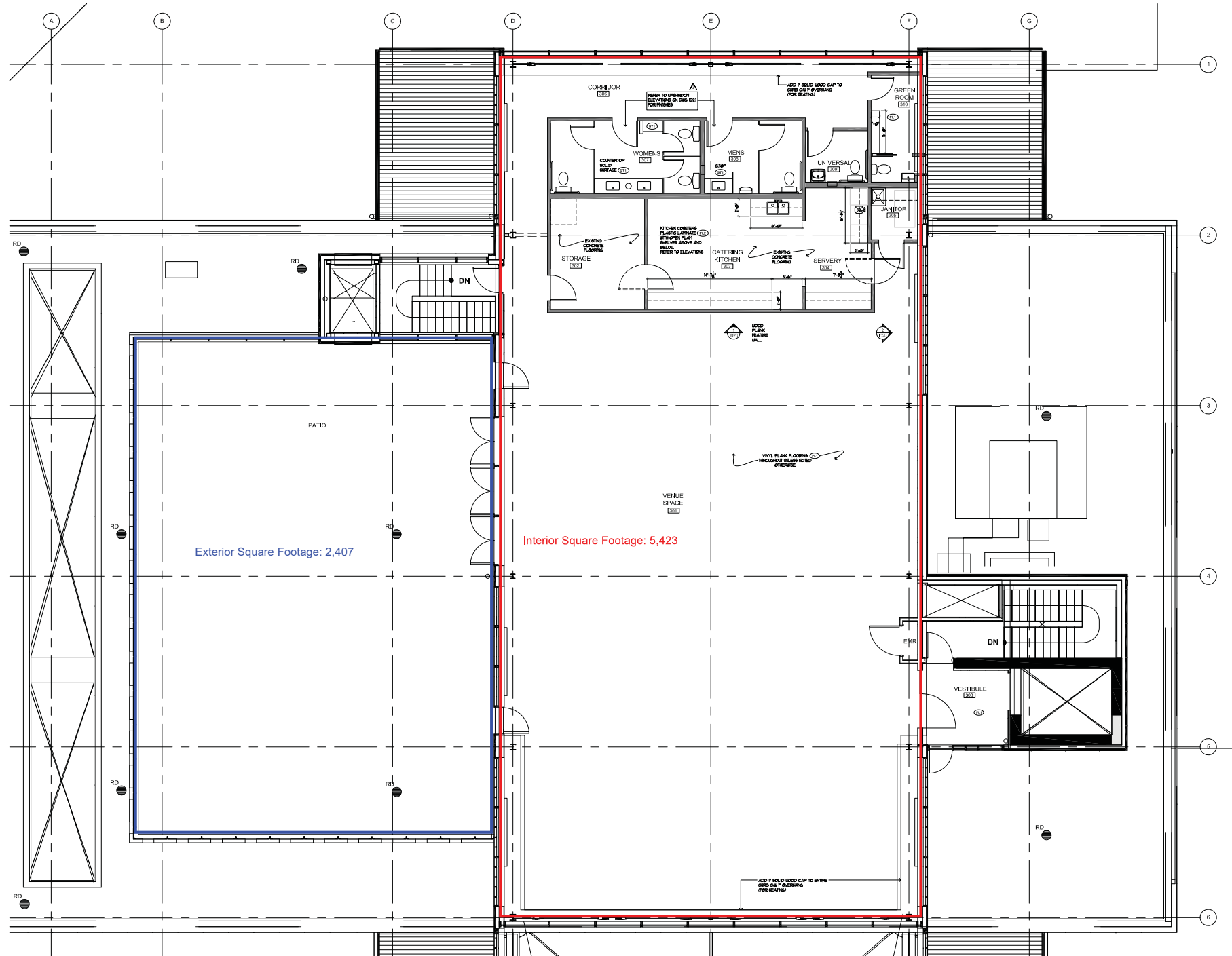
DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 3/20/2013
SOURCE: Various
COORDINATE SYSTEM: NAD 83 UTM Zone 18



**M STUDIO**

DESIGN CONSULTANTS INC.

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△	ISSUE FOR BUILDING PERMIT	2016APR3
△	REVISIONS	2016MAY21
△	ISSUE FOR REVIEW	2016AUG27
NO.	REVISIONS	DATE

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PROJECT NORTH

**THE SHIPYARDS
VENUE SPACE
LEVEL 03**

NORTH VANCOUVER, BC

FLOOR PLAN

SCALE: 1/4" = 1'-0"
DATE: AUGUST 2016
DRAWN: ML

PROJECT NO. 1809
DWG. NO.

ID1.1



PLN2022-00028

The Wallace Venue Corp.

Subject Site: #300 – 125 Victory Ship Way

Virtual Developer Information Session Summary

Date: Wednesday, January 18, 2023

Time: 6:00pm – 8:00pm

Held Via: Zoom

Attendees: 5 Total

2 Members of the Public

1 City of North Vancouver Staff Member

2 Members of the Development Team for The Wallace Venue Corp.

Topics, questions, and comments discussed and reviewed during the Developer Information Session:

Q1: How many more staff members are you planning to hire?

A1: With the addition of liquor service, we anticipate that need for we will have 4-5 staff members onsite for the full duration of the events versus the one employee currently. The employees will be mandated to ensure that the Venue's operational guidelines are adhered which includes being considerate of the surrounding neighbours.

Q2: Have there been any ongoing issues with drinking to date?

A2: No, we have not.

Q3: Is there outdoor music?

A3: There is no live music on the outdoor terrace. Typically, there is background music played on the terrace during the wedding ceremony portion of events only.

Q4: Do you plan to allow live music on the terrace?

A4: No, we do not anticipate making any changes to our current operational guidelines.

Q4: Is the last call for alcohol going to remain 11:30pm?

A4: Yes, our intention is to maintain these hours of operation, which take into consideration the surrounding neighbourhood and the Venue's proximity to the residential buildings. The Venue currently ends all events earlier than the restaurants in the surrounding area.

Q5: What time does alcohol service begin in the morning?

A5: The typical start time for alcohol service is 11am at the Venue; the liquor licence may allow for service to begin earlier, depending on the type of event being held.

General comments from both members of the public in attendance to close out the session were that they were in support of the Development Proposal as it does not appear that there will be changes made to the current operations which would impact the local residents.

Mail-In Comments Received:

Do you support the project?

Comment 1: No, as I understand it the Venue is already serving liquor without a licence.

Response 1: All guests holding events at The Wallace Venue which serve alcohol are required to obtain a Special Event Permit or utilize their caterer's licence, and we require proof that one of these requirements have been met prior to allowing the event to proceed.

Do you have any concerns about the proposed project?:

Comment 2: Since the loosening of COVID restrictions on gatherings, The Wallace Venue has been the setting for many gatherings. When these gatherings end a large number of people spill out onto Victory Ship Way, with several being intoxicated and loud. This impacts residents in the area. In addition, rental vehicles arrive between 1200-0300 in the morning to clean out the venue. Providing The Wallace Venue with a zoning change that allows a Primary Liquor license will just lead to more frequent and regular larger parties that will cause more disturbances during the night.

Response 2: The Venue has been in operation since 2019 with alcohol service permitted by way of our clients obtaining a Special Event Permit or utilizing their caterer's licence. With the issuance of a Liquor Primary Licence the only change to the current operation would be that alcohol service would be managed by our team and allow for greater controls to be implemented to minimize the potential for guests being over served and adhering to service hours, age verification processes, etc. There is also the added benefit of additional Venue staff being onsite during all events and working with onsite security when necessary.

The City of North Vancouver's Bylaw and Engineering Department has confirmed that the late-night loading does not infringe on the City's Bylaws; however, we have requested that all vendors/suppliers that all late-night loading be carried out on Wallace Mews instead of Victory Ship Way in order to minimize the impact to the residents in the area.

Comment 3: Yes, There is a lot of noise especially in the summer on the terrace.

Response 3: Our hours of operation for all events require that all activity on the terrace cease by 11pm, after which guests are only permitted to be inside the venue. There is no live music on the outdoor terrace. Typically, there is background music played on the terrace during the wedding ceremony portion of events only.

What would you suggest to change or improve the proposed project?

Comment 4: The provided information provides no information on The Wallace Venue intent in applying for a Liquor Primary License. Residents and the CNV should be aware of the Venue's intent for their license application. For example, will they provide a permanent Family Foodservice, Catering, Minors, or Hours of Service. The CNV

should only allow this zoning change if there are real limits on the parameters surrounding The Wallace Venue license application.

Response 4: With the issuance of a Liquor Primary Licence, The Wallace Venue will adhere to all requirements and restrictions set out by the Liquor and Cannabis Regulation Branch with respect to food service and catering, minors, and hours of service.

Comment 5: There must be strict noise control especially late at night on the terrace in the summer.

Response 5: With the addition of liquor service, we anticipate that need for we will have 4-5 staff members onsite for the full duration of the events versus the one employee currently. The employees will be mandated to ensure that the Venue's operational guidelines are adhered which includes being considerate of the surrounding neighbours.

Any additional comments?

Comment 6: We understand that the CNV wants the Shipyards to have activities planned year-round and that event venues such as The Wallace Venue are an integral part of this plan. However, late night events featuring alcohol sales must be weighed against their venue being in the middle of a high-density residential area.

Response 6: The land use designation for the subject site is Mixed-Use Level 4A (MU4A) which supports a mix of higher-density multi-family and commercial uses. The proposal to include a Liquor Primary is supportable under the current designation within the Official Community Plan.

The site is currently zoned CD-393 and the subject unit falls within Parcel 9, as per CD-393's Schedule 58, which does currently support Liquor Primary Licence uses as an accessory provision to a Hotel Use. As there is currently no event space located at the hotel onsite, we feel The Wallace Venue provides the community and the hotel guests with the venue space which was intended to be part of the hotel.

General Comment received via email:

I am in favour of any alcohol liberation that reflects more a European model.

PROPOSAL SUMMARY

The Development Proposal is requesting a Zoning Bylaw Text Amendment to allow for a Liquor Primary Licence to be issued for the subject site, The Wallace Venue. The Liquor Licence which will be pursued is Event Driven, for events hosted within the venue only; similar to how the Polygon Gallery operates their event venue space.

As outlined in the Official Community Plan, the land use designation for the subject site is Mixed-Use Level 4A (MU4A), which supports a mix of higher-density multi-family and commercial uses. The proposal to include a Liquor Primary is supportable under the current designation.

The site is currently zoned CD-393 and the subject unit falls within Parcel 9, as per the CD-393's Schedule 58, which does currently support Liquor Primary Licence uses as an accessory provision to a Hotel Use. The hotel onsite currently does not have event space.

The intent of the Development Proposal is to provide The Wallace Venue with the ability to ensure more consistent control of liquor service with the desired outcome of improving our guests' experience while aligning with the dynamic of our neighbourhood.

The Wallace Venue has been in operation since 2019 and alcohol is currently permitted to be served by the guests that rent the venue obtaining a Special Event Permit or by using their Caterer's Licence. The alcohol service is managed by the guests or their caterers. With the proposed change to the zoning, the alcohol service would be managed directly by The Wallace Venue's team, allowing for greater control to minimize the potential for guests being over served and adhering to service hours, age verification, etc. The Liquor Primary Licence which will be obtained from the Liquor and Cannabis Regulation Branch (LCRB) requires that a variety of snacks and non-alcoholic beverages be available; having Venue staff members onsite will help to enforce that all LCRB regulations. There would also be the added benefit of The Wallace Venue staff being onsite during all events and working with onsite security when necessary.

For all events, activity on the outdoor terrace ends at 11pm and guests are required to remain inside the venue. The last call for alcohol service is at 11:30pm and all events are required to end by 12am. We do not expect that changes will be made to these hours of operation.

From: Stephanie Lampman
Sent: May-03-23 3:09 PM
To: Submissions
Subject: Zoning amendment bylaw 8964 - 125 Victory Ship Way

Hello,

Please accept my submission re the zoning change proposed at 125 Victory Ship Way.

We have lived in the area for the past six years and seen many changes. All amazing at creating a community. There are wonderful events happening all the time and while it creates a lot of visitors people are always respectful and it doesn't leave a mess for residents the morning after.

Lately there has been a lot more late night loud patrons yelling and screaming, lots of garbage.. liquor bottles and unfortunately throw up.

As a former owner in Yaletown I am very anxious that the Shipyards is on the brink of becoming the place where people come on the north shore to party. This is not the community we bought into and we hope it's not what it is becoming but rather stays a place for families and fun.

Please keep the shipyards an area for fun and not partying, noise and pollution.

Thank you

Stephanie Lampman
901-172 Victory Ship Way
North Vancouver, BC V7L 0B5



PUBLIC NOTICE

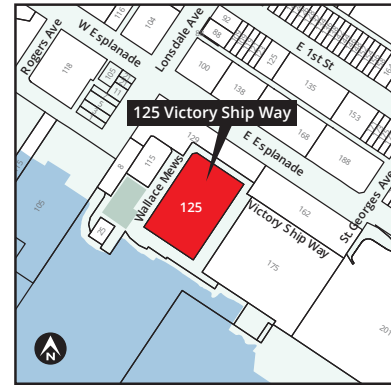
Regular Council Meeting

Monday, May 15, 2023 at 6:00pm

First Reading of "Zoning Amendment Bylaw No. 8964" **125 Victory Ship Way**

Proposal: To amend the subject property's Comprehensive Development 393 (CD-393) Zone to permit a Liquor Primary Licence for an existing event-hosting venue.

Provide written input: All persons who believe their interest in property may be affected by the proposed bylaw will be afforded an opportunity to be heard by written or email submission. *All submissions must include your name and address* and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, *no later than noon on Monday, May 15, 2023*, to ensure their availability to Council at the meeting. *No Public Hearing will be held.*



Watch the meeting online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

View the documents online at cnv.org/PublicHearings

Questions? Linden Maultsaid-Blair, Planner
lmaultsaidblair@cnv.org / 604-990-4217

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8964

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8964**” (The Wallace Venue Corp., 125 Victory Ship Way, CD-393).
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by the following changes to the Comprehensive Development 393 (CD-393) Zone:
 - A. Subsection (3) in reference to Parcels 9 and 10, is hereby amended to include the following use in bold:

“(3) The following uses and no others shall be permitted:

On Parcels 9 and 10: [Bylaw 8493, July 25, 2016]

- Waterfront Commercial Use, including a Use located in a Mobile Cart
- Secondary Waterfront Commercial Use. A Secondary Waterfront Commercial Use shall only be permitted above the main floor.
- Pier Commercial Use
- Hotel Use, including an accessory Liquor Primary Licence (Lounge) Use
- **Liquor Primary Licensed event-hosting venue limited to one 728.4 square meter (7,840 square feet) unit located at the third/uppermost floor of the northwest building block on Parcel 9**
- Civic Use
- Child Care Use, subject to Section 607 (9)
- Accessory Off-Street Loading Use
- Accessory Off-Street Parking Use
- Off-Street Parking Use
- Off-Site Parking Use”

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.


ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Bram van der Heijden, Planner 1

Subject: REZONING APPLICATION: 275 EAST 2ND STREET (THREE SHORES
MANAGEMENT / INTEGRA ARCHITECTURE INC.)

Date: April 12, 2023 File No: 08-3400-20-0078/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated April 12, 2023, entitled
"Rezoning Application: 275 East 2nd Street (Three Shores Management / Integra
Architecture Inc.):

THAT the application submitted by Three Shores Management / Integra
Architecture Inc., to rezone the property located at 275 East 2nd Street from a
RM-1 Zone to a Comprehensive Development Zone, be considered and no
Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report section "Density Bonus
and Community Benefits" be secured through agreements at the applicant's
expense and to the satisfaction of staff.

ATTACHMENTS

1. Context Map (Doc# [2346678](#))
2. Architectural Plans, dated March 30, 2023 (Doc# [2348001](#))
3. Landscape Plans, dated March 15, 2023 (Doc# [2348007](#))
4. Advisory Design Panel Resolution, dated May 20, 2022 (Doc# [2347001](#))
5. Public Consultation Summary (Doc# [2192164](#))
6. Tenant Relocation Plan (Doc# [2348299](#))

7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970"
(Doc# [2348305](#))
8. "Housing Agreement Bylaw, 2023, No. 8971" (Doc# [2348308](#))

SUMMARY

This report presents a rezoning application over the subject site at 275 East 2nd Street to permit a 5-storey rental apartment building consisting of 79 units, 8 of which would be mid-market rental units.

BACKGROUND

Applicant:	Three Shores Management
Architect:	Integra Architecture Inc.
Official Community Plan Designation:	Residential Level 5 (R5)
Existing Zoning:	Medium Density Apartment Residential 1 (RM-1)
Applicable Guidelines:	None

DISCUSSION

Site Context and Surrounding Use

The subject site has a total size of 1,700 sq.m. (8,298 sq.ft.), with a frontage of approximately 45.8 m (150.2 ft.) along West 2nd Street. The site slopes downward approximately 4.9 m (16 ft.) from the northeast corner (front boundary — East 2nd Street) to the south-west corner (rear boundary — lane). The proposal would replace the existing 23 unit, 3-story rental apartment building.

The site is located at the south-east corner of the 700 block of East 2nd Street, at the intersection with St. Andrews Avenue. It is within close proximity to frequent transit and within walking distance to commercial and recreational amenities.

The buildings and uses immediately surrounding the site are described in Table 1 below:

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	215 St. Andrews Avenue	Medium Density Apartment Building	RM-1
South	255 East 2nd Street	Medium Density Apartment Building	RM-1
East	303 East 2nd Street	Single family dwelling	RM-1
West	95 St. Andrews Avenue	Employment/Light Industrial	M-4

Policy Context

The subject site is designated Residential Level 5 in the Official Community Plan (OCP). This designation allows for residential uses with a maximum density of 2.6 FSR (including a bonus FSR of 1.0). A maximum height of 6 storeys is permitted.

Project Description

The application proposes a 5-storey rental apartment building with secured rental residential units and indoor and outdoor amenity spaces for residents. Parking access is provided off the rear lane to the south.

The following table provides an overview of the proposed development:

Table 2: Development proposal overview

Element	Proposal
Density	2.6 FSR
Unit Mix	79 residential rental units, including <ul style="list-style-type: none">• 21 studio units;• Thirty-eight one-bed units;• Ten two-bed units; and• 10 three-bed units (13%).
Mid Market Rental	8 units (10%)
Adaptable Units	28, Level 2 adaptable units (35%)
Residential Amenity	Indoor — 132 square metres (1,425 square feet) Outdoor — 450 square metres (4,845 square feet)

Eight of the units (10%) are proposed as mid-market units and 28 of the units (35%) are proposed to meet Level 2 of the Adaptable Design guidelines. All units would be secured through the Housing Agreement for the life of the building.

PLANNING ANALYSIS

Policy Alignment

The proposal is consistent with the OCP land use designation and below the OCP height limits for the site. The proposed density is 2.6 FSR, which is consistent with the OCP Residential Level 5 land use designation.

The proposal is in alignment with the OCP by providing additional secured rental housing within proximity to frequent transit and close to commercial services and employment opportunities.

The proposed mix of unit types meets key actions of the Housing Action Plan for mid-market rental units and family-friendly units. The proposal also exceeds the Zoning

Bylaw minimum requirement for 25% of units to meet Level 2 Adaptable Design. The proposal addresses the Active Design Guidelines through enhanced stairwell design and the provision of indoor and outdoor amenity spaces.

Built Form and Urban Design

The proposed built form is consistent with the character of the neighbourhood. The proposed height at 17.23 m (56.5 ft.) and 5 storeys complies with the OCP and will ensure the building integrates with future developments on adjoining lots. The proposal establishes a strong street wall along East 2nd Street and St. Andrews Avenue, with a reasonable setback to the rear laneway to establish suitable building separation to the existing employment uses of the Brewery District to the south.

A high level of laneway activation and casual surveillance is also achieved through enhanced landscaping and the split level ground oriented units with secondary pedestrian access from the lane and patios facing the lane. Considering that the lane leads to the planned park adjacent to the future North Shore Neighbourhood House, laneway activation is considered a priority to ensure a pedestrian-friendly connection.

The façade of the building has been designed with appropriate articulation through the use of steps and recesses along the elevations, and through the use of attached balcony structures that work to break up the building form and reduce the perceived bulk. The proposed development also features suitable landscaping treatments within the project design to further soften the visual impacts of the built form.

The corner accent in the massing and enhanced materiality of corrugated metal siding allows the building to frame the street corner, while providing a contextual reference to the adjacent Brewery District. Additionally, public art will be integrated within the building and/or site design. The exact form shall be determined through the public art plan that is to be approved by the Public Art Commission prior to the issuance of the building permit.

Tree Replacement

There are currently 6 trees on the site, of which the Austrian Pine at the centre of the lot is the largest tree with a diameter of 70 cm. Although the tree is of a significant size, it is not a native species and was evaluated as being in fair condition according to the arborist report. Due to the location of the tree, its retention would limit development on the site to the current building footprint. Additionally, the application was received before the Tree Bylaw was adopted and therefore does not apply to this rezoning application.

Although the Tree Bylaw does not apply, on-site replacement of trees exceeds the bylaw requirements of 1 to 3 replacements. In total, 18 trees are required to offset the loss of the 6 on-site trees. In total, 22 on-site trees are proposed of which 10 would be distributed around the building at the ground level, 5 on the podium level and 7 on the rooftop level.

In addition to on-site trees, the 6 trees on the neighbouring lot will be retained and 14 new street trees are proposed adjacent to the site where there are currently no street trees present along this section of 2nd Street.

In total an increase of 30 trees would be provided through this development proposal.

Proposed Zoning Changes

The proposed Comprehensive Development Zone will be based on the Medium Density Apartment RM-1 zone, consistent with the proposed use types and recent developments within proximity to the site, including at 365 East 2nd Street (CD-699), 207–225 East 2nd Street (CD-737) as well as the North Shore Neighbourhood House development on the west side of the block. To allow for the proposed massing, the proposed Zoning Amendment Bylaw would include the following modifications to the RM-1 zone base:

Table 3. *Summary of Proposed Zoning Changes*

	BASE RM-1 ZONE	PROPOSED CD-761 ZONE
Density Maximum	1.6 FSR	2.6 FSR (in accordance with OCP)
Lot Coverage Maximum	50 percent	72 percent
Height Maximum	3 storeys and 13.0 m (42.65 ft.)	5 storeys and 17.23 m measured from the northern boundary (56.5 ft.) (in accordance with OCP)
Siting	Front Lot Line Setback 6.1 m (20 ft.)	3.1 m (10.2 ft.)
	Exterior Side Lot Line Setback 4.57 m (15 ft.)	3.2 m (10.5 ft.)
	Interior Side Lot Line Setback 4.57 m (15 ft.)	3.1 m (10.2 ft.) Bay Windows Unenclosed Balconies, and Open Appendages shall not project beyond the face of the Principal Building toward the Interior Side Lot Line.
	Rear Lot Line Setback 6.1 m (20 ft.) 6.1 m (20 ft.)	3.9 m (13.1 ft.)
Building Width and Length	Maximum 30.48 metres (100 feet) above second storey	Waived
Floor area exclusions Basement	"Basement" means the space between two floor levels, the lower floor of which is more than one foot but less than five feet below Average Grade.	"Basement" means the floor levels, located below the First Storey; Open to Below Areas shall not be counted twice; No more than 684.0 sq. m (7,363.0 Sq ft) of Rental Apartment Residential Use Floor Area shall be excluded in basement areas.

Lot Coverage

The application seeks a variation to the lot coverage requirements set for the RM-1 zone, specifically being 50%. The application proposes a lot coverage of 72%.

This proposed increase in lot coverage is supported by staff given the steeply sloping nature of the lot which results in the basement and parkade levels of the proposed development having to extend above ground resulting in a volume that is considered part of the lot coverage calculation. Where the project to be located on a flat site, these floors would be located fully below ground and considered underground structures which are not included in the lot coverage calculation. If these basement and areas were to be excluded from lot coverage, the development would have an approximate lot coverage of 53% instead of 72%. This is consistent with similar Residential Apartment Buildings approved by the City in areas with R5 OCP designation.

Siting

The proposed development will result in a variation to the siting requirements for the RM-1 zone, as follows:

Front Setback from	6.1 m (20 ft.) to 3.1 m (10.2 ft.)
Interior Side Setback from	4.57 m (15 ft.) to 3.1 m (10.2 ft.)
Exterior Side Setback from	4.57 m (15 ft.) to 3.2 m (10.5 ft.)
Rear Setback from	6.1 m (20 ft.) to 3.9 m (13.1 ft.)

The proposed setback variances are considered appropriate and consistent with similar rental apartment buildings in the R5 Residential areas. The reduced setbacks allow the development to be designed with a building height of 5 storeys, which is less than the 6-storey limit imposed by the OCP. Additionally the reduced setback still allows for suitable landscaping with tree plantings on all sides of the development.

Building Width and Length

The proposed development will result in a variation to the building width and length requirements set for an Apartment Residential Use, specifically being 30.48 m (100 ft.). The proposed development results in a maximum building width of 46.43 m (152 ft.) above the third storey.

Despite not meeting the relevant building width and length requirement, the proposed elevations have been designed with articulation that visually breaks up the building façade into distinct sections. The building also adopts a contemporary design, which utilizes a variety of façade materials. These elements help reduce the perceived building bulk, despite the minor variance to building length and width.

The building width and length standards are regularly varied in individual Comprehensive Development Zones to ensure a functional built form outcome is established. Similar building widths and lengths have been permitted in a number of recent projects along East 2nd Street.

Site-specific Basement Definition

According to the Zoning Bylaw, a “Basement” is defined as the floor directly below the main floor level. There are a number of uses that can be excluded from GFA if located within the basement level, including residential units in rental apartment buildings.

Given the steep sloping nature of the site, a site-specific definition for “basement” is proposed, which would allow for the exclusion of any residential GFA below the main level, which is allowable under the current definition of “Gross Floor Area”.

Parking and Transportation

The application proposes vehicle access to the underground parkade from the southern laneway.

The application meets the vehicle and bicycle parking requirements of the Zoning Bylaw. The relevant statistics are provided in Table 4.

Table 4: Proposed Vehicle and Bicycle Parking

Car Parking	<ul style="list-style-type: none">• Total of 48 Resident parking spaces (including 3 accessibility spaces);<ul style="list-style-type: none">○ 0.6 spaces per unit;• 8. Residential Visitor spaces (including one disability space).
Bicycle Parking	Residential: <ul style="list-style-type: none">• Secure — 119 spaces (1.5 per unit);• Short Term — 8 spaces.

Off-Site Works and Infrastructure Upgrades

The proposed development will provide required off-site streetscape upgrades consistent with the Subdivision and Development Control Bylaw. This includes the reconstruction of the frontages along East 2nd Street, St. Andrews Avenue, and the rear lane - with the installation of new sidewalk, curb and gutter, street trees, street lighting, and road and lane paving. A concrete pedestrian crossing with curb extensions will be installed at the lane intersection with St. Andrews Avenue to improve pedestrian safety.

In addition to the bylaw required works, the development will provide a \$100,000.00 contribution for future water main and sanitary sewer main upgrades on East 2nd Street, as the existing infrastructure is not adequately sized to meet current and future flow rates and does not meet current City standards.

These requirements will be secured through a Servicing Agreement with the City.

Density Bonus and Community Benefits

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the OCP, allows for density bonuses beyond 1.6 FSR in the Residential Level 5 designation, up to a maximum of 2.6 FSR.

The policy provides a number of community benefits options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The community benefit offered by this proposal is an increase of the City's rental housing stock by 55 units, 8 of which will be mid-market rental units, secured for the life of the building through a Housing Agreement with the City.

The value of the density bonus (1.0 FSR = 47,648 square feet) may be estimated at \$8,338,400 based on the standard rate of \$175/square foot.

In addition to secured market and mid-market rental units, staff are seeking Council direction to secure the following items as conditions of this rezoning:

- Provision of public art at a value of \$85,000
- \$100,000 contribution for sanitary sewer main upgrades.

Legal Agreements

Should Council support this rezoning, the following legal agreements will be prepared prior to final adoption:

- Development Covenant;
- Housing Agreement;
- Servicing Agreement;
- Community Good Neighbour Agreement;
- Crane Swing and Shoring Agreement;
- Flooding Covenant; and
- Community Energy Agreement.

RESIDENTIAL TENANT RELOCATION

In 2021, Council amended the *Residential Tenant Displacement Policy* to enhance protection and compensation to long-term residential tenants.

The existing building contains 23 units in total: 2 studio units, 15 one-bedroom units and 7 two-bedroom units. At the time of application submission, 23 of these units were occupied. Two tenants have lived there for 15 years or more, and four tenants have been there for more than 10 years.

The applicant has prepared a Tenant Relocation Plan that exceeds the requirements of the *2021 Residential Tenant Displacement Policy*, including compensation and relocation assistance. Tenants were first informed of the redevelopment plans in January 2022 with a letter, followed by a Tenant meeting in May. The letter and

meetings provided the existing tenants information on the compensation package of 4-months' rent plus moving expense compensation of \$1,000 for one-bedroom units and \$1250 for two-bedroom units. In addition, the applicant has voluntarily offered additional compensation for long-term tenants at the following rates:

- \$1,000 additional for tenancies between 5 and 10 years;
- \$2,000 additional for tenancies between 10 and 15 years;
- \$3,000 additional for tenancies between 15 and 20 years;
- \$4,000 additional for tenancies over 20 years.

A Relocation Coordinator has been communicating with tenants and providing information on available units in the general rental market, as well as resources for government housing programs. In April 2023, an update was provided by the Relocation Coordinator showing 13 of the 23 tenants had moved out since the rezoning application was submitted. A Tenant Relocation Update was sent to tenants in April 2023 with updated timelines, resources and a Tenant's Needs Survey to help inform relocation efforts.

Under the Provincial *Residential Tenancy Act*, final eviction notices cannot be delivered to tenants until a demolition permit has been issued. The notice must provide a minimum of four months prior to the eviction date. Before issuance of the demolition permit, staff will request an update from the Relocation Coordinator regarding the progress of relocating tenants and compensation as outlined in the Tenant Relocation Plan (attachment #7).

ADVISORY BODY INPUT

The application was reviewed by the Advisory Design Panel (ADP) on June 14, 2022. The Panel recommended approval of the proposal subject to addressing the following issues to the satisfaction of staff:

- Further review and analysis of wayfinding to the rear units;
- Further design development for laneway privacy and screening concerns;
- Review the possibility of a children's play area within the rooftop amenity space;
- Further review of the potential for amenity connections to the rooftop space;
- Review materials relative to the use of cementitious panel percentage on the exterior;
- Further design development to consider variety in material uses relative to the massing articulation; and
- Design development and review of the entry way scale, massing and material selection choices.

Revised designs were subsequently submitted that address the above concerns to the satisfaction of staff.

COMMUNITY CONSULTATION

A Developer's Information Session (DIS) was held on June 1, 2022, and was attended by 12 people. Four comment forms were submitted following the DIS. One of the comment forms received was opposed to the project.

Staff received one email outside of the DIS process.

The main reasons for support were

- Provision of rental housing;
- Outdoor amenity spaces; and
- Bicycle facilities.

The main concerns were:

- Removal of the mature trees on site;
- Attention to climate change adaptation.

The opinions about the façade treatments were mixed and ranged from very positive to some concerns regarding colour and vertical patterns in the façade.

A summary of the public consultation, as prepared by the applicant, is available in attachment #5.

Staff Response

It is important to note that the application was made before the adoption of the Tree Bylaw. In coordination with staff, it was agreed that generous tree replacement will be provided on-site and off-site as outlined in the Tree Replacement paragraph of this report. The proposal will see a combined increase of 22 trees.

Additionally, the development meets the City's building standards and addresses a number of goals set out in the City's Sustainable Development Guidelines.

Further design development has taken place after the DIS, addressing comments from ADP and the public regarding the building design.

PROCESS WHEN NO PUBLIC HEARING HELD

The *Local Government Act* assumes no Public Hearing is held for proposed zoning bylaw amendments if the bylaw is consistent with the OCP. A local government must pass a resolution if it wishes to hold a public hearing.

Given the proposal's consistency with the OCP, and minimal feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read as follows:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970"
(Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-
761) be considered and referred to a Public Hearing;

THAT "Housing Agreement Bylaw, 2023, No. 8971" (Three Shores Management
/ Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing
Commitments) be considered and referred to the same Public Hearing;

CONCLUSION

This proposal is in alignment with the goals and objectives of the OCP and Council Strategic Plan to intensify residential development within proximity of Frequent Transit, and increase rental and mid-market units in the City. The project will also contribute to the provision of new public art.



RESPECTFULLY SUBMITTED:

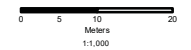
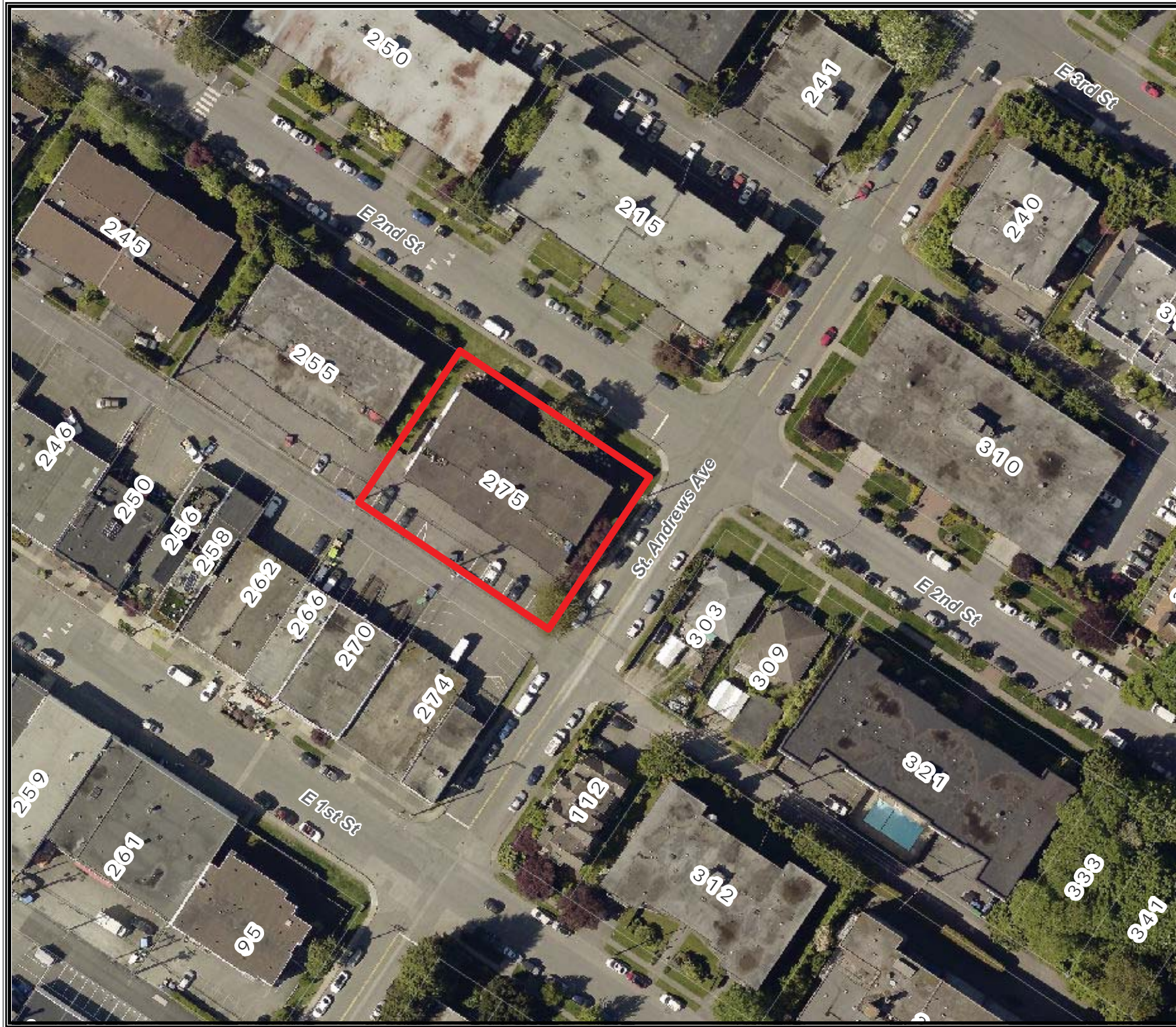


Bram van der Heijden
Planner I

City of North Vancouver
275 East 2nd Street

Legend

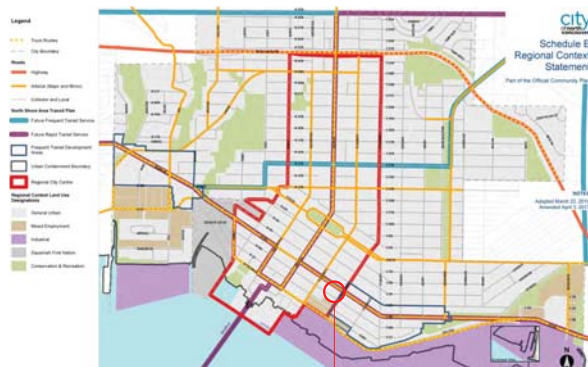
-  Subject Site
-  Legal_Parcels



DISCLAIMER
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GIS Division, Information Technology,
City of North Vancouver



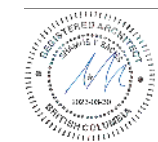


SUBJECT SITE - ZONE: RM-1

Client	Three Shores Development 2919 Altamont Crescent West Vancouver, BC V7V 3B9	Barry Savage	604.505.8818	bsavage@threeshoresdevelopment.com
Architectural	Integra Architecture Inc. 2335-400 Granville Street Vancouver BC, V6C 1S4	Rhys Leitch	604.688.4220	rhysl@integra-arch.com
Civil	Binnie & Associates 300-4940 Canada Way Vancouver, BC V5G 4K6	Russell Warren	604.987.9070	rwarren@binnie.com
Landscape	Durante Kruuk Ltd. 102-1637 West 5 th Avenue Vancouver, BC V6J 1N5	Stephen Vincent	604.684.4611	stephen@dkl.bc.ca
Code	M&R Consulting 1251 20 th Street West Vancouver, BC V7V 3Z4	Mark Roozbahani	604.764.7709	mark@codeconsultant.ca
Transportation	IBI Group 709 - 1285 West Pender St. Vancouver, BC V6E 4E1	Mladen Pecanac	604.683.8797	mladen.pecanac@bigroup.com



A-0.000 Cover	
A-0.000	COVER PAGE
A-0.010	PROJECT STATISTICS
A-0.020	ZONING QCP
A-0.030	SITE CONTEXT
A-0.040	SITE CONTEXT PLAN
A-0.050	CONCEPT IMAGES
A-0.080	PERSPECTIVE
A-0.081	PERSPECTIVE
A-0.082	PERSPECTIVE
A-1.000 Site	
A-0.100	SURVEY (REFERENCE ONLY)
A-1.000	SITE PLAN
A-2.000 Plans	
A-2.001	LEVEL P2 PARKING PLAN
A-2.002	LEVEL P1 & LANE UNIT LOWER FLOOR
A-2.003	BASEMENT & LANE UNIT UPPER FLOOR
A-2.004	LEVEL 1 PLAN
A-2.005	LEVEL 2 PLAN
A-2.006	LEVEL 3 PLAN
A-2.007	LEVEL 4 PLAN
A-2.008	LEVEL 5 PLAN
A-2.009	ROOF AMENITY PLAN
A-2.010	UPPER ROOF PLAN
A-3.000 Enlarged Plans	
A-3.001	ADAPTABLE UNITS DESIGN GUIDELINES
A-3.002	ADAPTABLE UNIT PLAN B1
A-4.000 Elevations	
A-4.001	BUILDING ELEVATION - NORTH (2ND ST)
A-4.002	BUILDING ELEVATION - SOUTH (LANE)
A-4.003	BUILDING ELEVATION - EAST (ST. ANDREWS AVE)
A-4.004	BUILDING ELEVATION - WEST
A-5.000 Sections	
A-5.001	N/S BUILDING SECTION & WALL SECTION @ GARAGE
A-5.002	EW BUILDING SECTION
A-8.000 Supplemental	
A-8.010	MATERIAL FINISHES
A-8.500	SHADOW STUDY
A-8.501	SHADOW STUDY
A-9.000 Area Overlay Plans	
A-9.001	AREA OVERLAY - LEVEL P2 PARKING
A-9.002	AREA OVERLAY - LEVEL P1 & LANE UNIT LOWER FLOOR
A-9.003	AREA OVERLAY - BASEMENT & LANE UNIT UPPER FL.
A-9.004	AREA OVERLAY - LEVEL 1
A-9.005	AREA OVERLAY - LEVEL 2
A-9.006	AREA OVERLAY - LEVEL 3
A-9.007	AREA OVERLAY - LEVEL 4
A-9.008	AREA OVERLAY - LEVEL 5
A-9.009	AREA OVERLAY - ROYCE LEVEL



Three Shores Management

(PROJECT)

FAST 2ND ST

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

COVER PAGE

21583 [PROJECT]

[SCALE]

Thursday, March 30, 2023 [DATE]

DP / Rezoning - 7 [ISSUE]

[DRAWING]

A-0.000

Project Name: 275 E 2nd St, North Vancouver, BC
Client: Three Shores Management

Project: 21587
Date: March 30/ 2023
Issue: DP / Rezoning

PROJECT DATA

6-STORY PURPOSE BUILT RENTAL BUILDING
COMBUSTIBLE 5-STORY (L1-L5) W/ ROOF TOP AMENITY & NON-COMBUSTIBLE BELOW L1 (BASEMENT & PARKADE)

EXISTING ADDRESS
PROPOSED ADDRESS
LEGAL DESCRIPTION

275 E 2nd St, North Vancouver, BC
PID 008-717-231

PROJECT OWNER
PROJECT ARCHITECT

THREE SHORES MANAGEMENT
INTEGRA ARCHITECTURE

LOT DESCRIPTION					
OCIP LAND USE DESIGNATION		Residential Level 5: Medium Density Apartment R5			
EXISTING ZONING		RM-1			
PROPOSED ZONING		CD			
SITE AREA:					
Gross Site Area			18,298	sq.ft.	1,699.93 m ²
Read Dedications		TBC		sq.ft.	m ²
Net Site Area			18,298	sq.ft.	1,699.93 m ²
Max FSR (Gross Site Area)	1.60 OCIP Density		29,277	sq.ft.	2,719.88 m ²
Max Bonus FSR	1.00 With Public Benefits				
Max FSR (Gross Site Area)	2.60 Purpose Built Rental Housing		47,648	sq.ft.	4,426.6 m ²
Total Proposed Floor Area			85,442	sq.ft.	7,937.7 m ²
Total Proposed Exclusions			38,149	sq.ft.	3,544.1 m ²
Proposed FSR (Gross Floor Area)	2.58		47,293	sq.ft.	4,393.6 m ²

LOT COVERAGE					
Max Site Coverage	35%	6,454.30	sq.ft.	594.97	m ²
Lot Coverage	72%	13,128	sq.ft.	1,219.85	m ²

BUILDING HEIGHT:		REQUIRED / PERMITTED		PROPOSED	
Measured from Average Grade					
Average Finished Grade - Geodetic Elevation @ 28.09m (92.17ft)		92.2 ft	28.09 m geodetic		
Geodetic Max. Allowed Height - 19 m		154.5 ft	47.09 m geodetic		
Proposed Geodetic Height -		157.1 ft	47.88 m geodetic		
Building Height from Average Grade -		59.0 - 62.3 ft	18-19 m	65.0 ft	19.8 m
Average Finished Grade along North Property Line @ 30.66m (100.58ft)					
Building Height from Average Grade -		59.0 - 62.3 ft	18-19 m	56.5 ft	17.23 m

SETBACKS:		REQUIRED / PERMITTED		PROPOSED	
FRONT YARD (E. 2nd St)	20.00 ft	6.10 m	10.43 ft	3.18 m	
SIDE YARD (St. Andrew)	15.00 ft	4.57 m	3.20 m		
REAR YARD - EAST (Lane)	20.00 ft	6.10 m	13.09 ft	3.99 m	
INTERIOR SIDE YARD (West PL)	15.00 ft	4.57 m	10.33 ft	3.15 m	

UNIT SUMMARY:													
Unit Type	Parkade	1st	2nd	3rd	4th	5th	Total	Average sqft / unit	Total Unit Area (sqft)	AD	Total Unit Area (m ²)	%	Unit Mix
A1 - Studio		1	1	1	1	1	5	403.2	2,015.9		187.3	6.3%	27%
A2 - Studio		1	1	1	1	1	5	420.0	2,100.0		195.1	6.3%	
A3 - Studio		1	1	1	1	1	5	416.5	2,082.7		193.5	6.3%	
A3.1 - Studio		1					1	425.0	425.0		39.5	1.3%	
A4 - Studio		1	1	1	1	1	5	409.2	2,046.1		190.1	6.3%	
B1 - 1Bed (Adaptable - Level 2)		2	5	5	5	5	22	540.0	11,880.0	1,103.7	27.8%		48.1%
B1.1 - 1Bed (Adaptable - Level 2)		1					1	545.0	545.0		50.6	1.3%	
B2 - 1Bed		1	1	1	1	1	5	471.6	2,358.0	219.1	6.3%		
B2 - 1Bed		1	1	1	1	1	5	454.1	2,270.25	210.6	6.3%		
B3 - 1Bed + Loft (Lane Unit)	4	1					1	1,344.4	5,377.68	499.6	5.1%		
B3.1 - 1Bed + Loft (Lane Unit)							1	1,468.9	1,468.92	136.5	1.3%		1 Bed
C1 - 2Bed (Adaptable - Level 2)			1	1	1	1	4	778.2	3,112.84		289.2	5.1%	
C1.1 - 2Bed (Adaptable - Level 2)		1					1	781.9	781.94		72.6	1.3%	
C2 - 2Bed		1	1	1	1	1	5	786.5	3,932.25	365.3	6.3%		
D1 - 3Bed			2	2	2	2	10	947.6	9,476.0	880.3	12.7%		
Total	5	14	15	15	15	15	79		49,872	4,633.3	100.0%	100.0%	

ADAPTABLE UNIT PERCENTAGE:			25% Minimum Percentage of Adaptable Units	
Required Adaptable Units	20 Units			
Provided Adaptable Units	28 Units			58%

GFA CALCULATION:													
GFA EXCLUSION (sq.ft.)	P2	P1	Basement	1st	2nd	3rd	4th	5th	Roof Patio	Total Exclusions	P1	m ²	
Access Stairs toward Roof Patio			328.48	324.00	324.00	324.00	324.00	324.00	413.29	2,040.17	sq.ft.	911.1	m ²
Access Stair towards Indoor Amenity			79.55							79.55	sq.ft.		
Parking	8,646.45	7,833.99								16,480.44	sq.ft.		
Secure Bike Parking		2,500.58								2,500.58	sq.ft.		
Access to Parking (Star + Star Vest)	465.15	392.5	392.61							1,250.26	sq.ft.		
Basement/Cellar Mech/Elec & Elev Rm	289.98	361.36	623.86							1,275.20	sq.ft.		
Basement/Cellar Storages Plus	161.08	2,534.21								2,695.29	sq.ft.		
Lobby Areas L1 - Main Residential Lobby			589.25							589.25	sq.ft.		
Common Recycling & Garbage Facilities	476.72									476.72	sq.ft.		
Adaptable Units Level 2 (20 units)			80.00	120.00	120.00	120.00	120.00	120.00		560.00	sq.ft.		
Amenity Area + Bike Workshop		1,718.99								1,718.99	sq.ft.		
Dwelling Unit in Basement or Cellar	3,633.95	3,212.65								6,846.60	sq.ft.		
Conductor Serving Lane Units	515.57									515.57	sq.ft.		
Open to Below @ Lane Units - Basement	1,120.47									1,120.47	sq.ft.		
Total Exclusions From FSR	9,402	12,859.60	12,519.94	1,077.28	444.60	444.60	444.60	444.60	413.29	38,149.99	sq.ft.		

FLOOR AREA PER LEVEL	Residential Area	Common Areas	GFA Exclusion	Total Floor Area (Residential+Common)	Efficiency L1 - L5
Parkade P2	0.00 sq.ft.	9,404.95 sq.ft.	9,404.95 sq.ft.	9,404.95 sq.ft.	
Parkade P1	3,633.95 sq.ft.	4,984.26 sq.ft.	12,859.60 sq.ft.	13,128.21 sq.ft.	
Basement	3,212.65 sq.ft.	9,760.90 sq.ft.	12,618.94 sq.ft.	12,973.55 sq.ft.	
Floor Area - Level 1	8,091.41 sq.ft.	1,706.51 sq.ft.	1,077.28 sq.ft.	9,794.92 sq.ft.	82.6%
Floor Area - Level 2	8,733.41 sq.ft.	1,055.93 sq.ft.	444.50 sq.ft.	9,789.34 sq.ft.	89.2%
Floor Area - Level 3	8,733.41 sq.ft.	1,055.93 sq.ft.	444.50 sq.ft.	9,789.34 sq.ft.	89.2%
Floor Area - Level 4	8,733.41 sq.ft.	1,055.93 sq.ft.	444.50 sq.ft.	9,789.34 sq.ft.	89.2%
Floor Area - Level 5	8,733.41 sq.ft.	1,055.93 sq.ft.	444.50 sq.ft.	9,789.34 sq.ft.	89.2%
Floor Area - Roof Level	0.00 sq.ft.	579.72 sq.ft.	413.29 sq.ft.	54 sq.ft.	
Total Floor Area	48,872 sq.ft.	35,570 sq.ft.	38,149 sq.ft.	85,441.7 sq.ft.	87.9% Overall

NOTE: 'Common Areas' pertains to all areas that are considered non-residential. Basement, Levels P1 & P2 are part of GFA exclusions.

* BASEMENT means the space between two floor levels, the lower floor of which is more than one foot but less than five feet below Average Grade.

* CELLAR means the space directly below the first story, the lower floor of which is more than 1.52m (5 ft) below average grade and the area of which does not exceed the area of first story.

PARKING SPACES:					
Minimum Parking Required	79 units @	0.50 space/unit		39.5 spaces	
Visitor Parking Required	79 units @	0.10 space/unit		7.9 spaces	inclusive of required parking
Parking Reduction	0%			0.0 spaces	
Total Parking Required				47.5 spaces	
Total Parking Provided				48 spaces	
Accessible Parking Required:					
Level 1 - Adaptable Units	51 units @	0.50 space/unit	25.5	25-50 Level 1 AD Units	3 spaces
Level 2 / 3 - Adaptable Units	28 units @	0.50 space/unit	14	1-25 Level 2 AD Units	1 spaces
Disabled Parking Provided:				2 spaces	
Provided Small Cars	35% of required spaces			17 spaces max	inclusive of required parking
Provided Small Cars	23% of provided spaces			11 spaces	
All Residence parking stalls shall be provided with Level 2 charging (excluding visitor parking stalls).					

BICYCLE SPACES:					
Required Secure Bicycle Parking	79 units	1.5 spaces/unit		119 spaces	long term
Provided Secure Bicycle Parking	79 units	1.5 spaces/unit		121 spaces	long term
Max Vertical parking Spaces	35% max (inclusive of req'd bicycle parking)			41 spaces	long term
Provided vertical parking Spaces	15%			18 spaces	long term
Required Short Term Bicycle Parking				8 spaces	short term
Provided Short Term Bicycle Parking				8 spaces	short term
129 spaces total bicycle spaces provided					

Note 1: Final areas, allowable parking ratios, and parking count to be confirmed

Note 2: All areas are approximate and are for zoning purposes only

Note 3: Net & gross unit areas are measured to the center of pathways and to the exterior of sheathing of exterior walls

Note 4: Dedications and setbacks subject to City of North Vancouver approval

PROJECT SUMMARY:		REQUIRED / PERMITTED		PROPOSED		VARIANCE	
ZONING EXISTING		RM-1		CD (RM-2)			
OCIP LAND USE DESIGNATION - Medium Density Apartment R5		Residential Level 5					
SITE AREA	18,298 sq.ft.	1,700 m ²		18,298 sq.ft.	1,700 m ²		NO
UNIT NUMBER		not specified					YES
OCIP DENSITY (w/ exclusions) Purpose Built Rental Housing	1.60 FSR	4,420 m ²		2.58 FSR	4,394 m ²		NO
SITE COVERAGE	35%	695 m ²		72%	1,220 m ²		YES
BUILDING HEIGHT							
Measured from Average Grade							
Average Finished Grade - Geodetic Elevation @ 28.09m (92.17ft)		92.2 ft	28.09 m geodetic				
Geodetic Max. Allowed Height - 19 m		154.5 ft	47.09 m geodetic				
Proposed Geodetic Height -		157.1 ft	47.88 m geodetic				
Building Height from Average Grade -		59.0 - 62.3 ft	18-19 m	65.0 ft	19.8 m		YES
Average Finished Grade along North Property Line @ 30.66m (100.58ft)							
Building Height from Average Grade -		59.0 - 62.3 ft	18-19 m	56.5 ft	17.23 m		NO
FRONT YARD (E. 2nd St)							
SIDE YARD (St. Andrew)	20.00 ft	6.10 m	10.43 ft	3.18 m			YES
REAR YARD - EAST (Lane)	15.00 ft	4.57 m	10.50 ft	3.20 m			YES
INTERIOR SIDE YARD (West PL)	15.00 ft	4.57 m	10.33 ft	3.15 m			YES
PARKING SPACES							
Rental Housing	0.60 space/ unit	47 spaces		48 spaces			
All Residential Parking Spaces	40 spaces	40 spaces		40 spaces			
BICYCLE SPACES							
EV CHARGING STATIONS	1.50 space/ unit	119 Class A 8 Class B		121 Class A 8 Class B			

PARKING DIMENSIONS		Width		Length		Height	
(no column encroachments)		m	ft.	m	ft.	m	ft.
Standard Cars	2,500	8.20	5.486	18.00	21.34	7.00	
Small Cars	2,500	8.20	4.650	15.26	21.34	7.00	
Disabled Parking	4,000	13.12	5.486	18.00	21.34	7.00	
Additional width at walls	0.305	1.00					

MINIMUM AISLE		50 degrees		60 degrees		45 degrees	
		m	ft.	m	ft.	m	ft.
One-Way Traffic	6.700	21.98	5.280	17.32	3.860	12.66	
Two-Way Traffic	6.700	21.98	6.096	20.00	6.096	20.00	

GARBAGE (WEEKLY):

Multi-Family Residential	no. of units	Est. volume/unit	Total Volume	Container capacity	
Garbage	79 units	95 L	7,505 L	2294 L (3 cu yd)	3 serviced twice/wk
NSRP Newspapers	79 units	8.5 L	672 L	360 L (95 gal)	2
NSRP Mixed Papers	79 units	15 L	1,185 L	360 L (95 gal)	2
NSRP Mixed Containers	79 units	9 L	711 L	360 L (95 gal)	2
Cardboard	79 units	30 L	2,370 L	1529 L (2 cu yd)	3
Food Scraps	79 units	14 L	1,106 L	240 L (64 gal)	5
Multi-Family Residential	no. of units	Space/unit	Total Space		
Minimum space required	79 units	0.486 m ²	38.4 m ²	413.27 sq.ft.	Mn11 m ²
Max additional space required	79 units	0.486 m ²	38 m ²		
Max total space required	79 units	0.972 m ²	77 m ²		
Space proposed	79 units	0.972 m ²	77 m ²	421.74 sq.ft.	

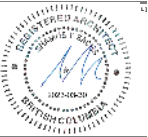


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(PROJECT TEAM)



Legend

Property

Zoning

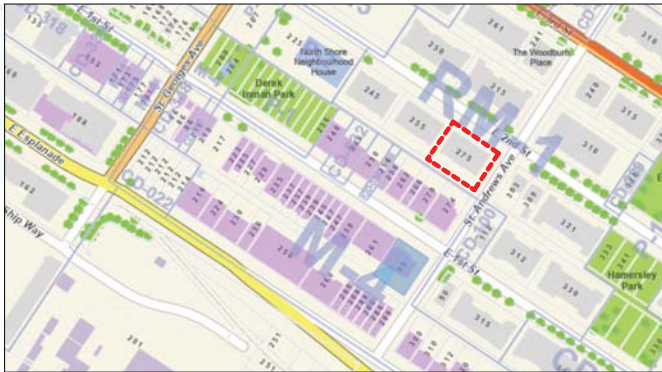
Zoning Boundaries

Zoning Special Setback Arc

Line

Land Use Contracts

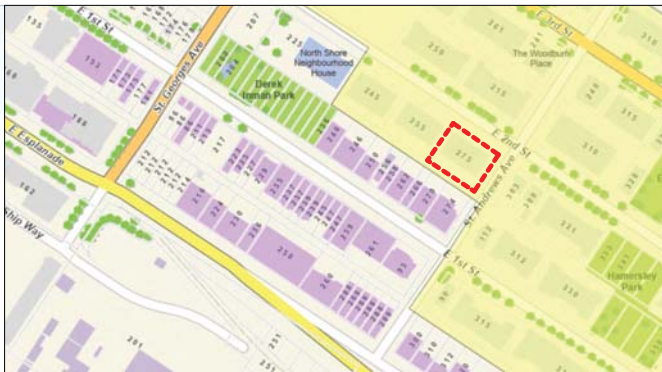
Land Use Contracts



Legend

E3rd/Moodyville Development Permit

Residential Apt Development Permit (Pending)



Legend

Property

OCF 2014 Land Use

2014 OCF Maximum Height Limits (m)

2014 OCF Special Study Areas

2014 OCF Land Use

Residential Level 1

Residential Level 2

Residential Level 3

Residential Level 4A

Residential Level 4B

Residential Level 5

Residential Level 6

Mixed Use Level 1

Mixed Use Level 2

Mixed Use Level 3

Mixed Use Level 4A

Mixed Use Level 4B

Harbourside Waterfront (Mixed Use)

Parks, Recreation & Open Space

School & Institutional

Commercial

Mixed Employment

Industrial



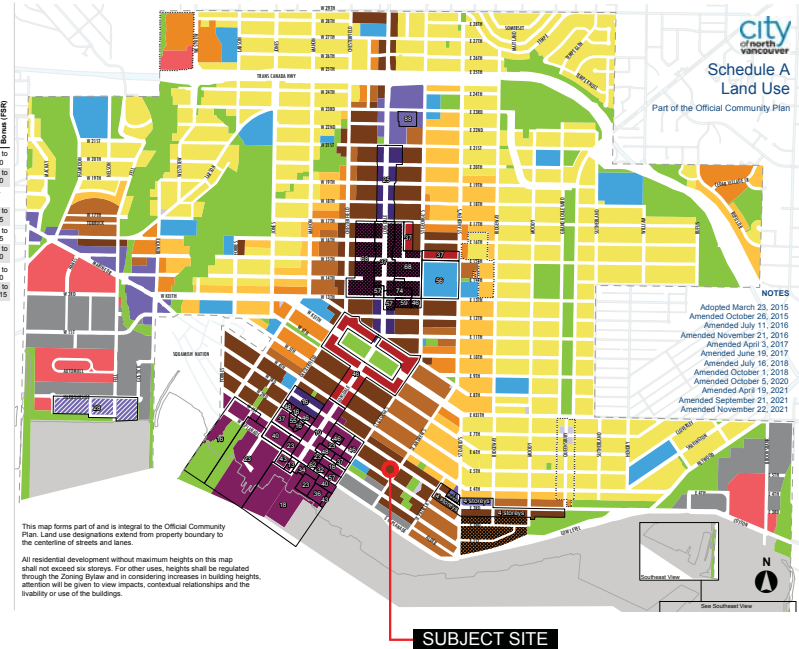
Land Use Designation

This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

Land Use Designation	OCF FSR	Maximum Building Height (m)
Residential Level 1 (Low Density)	0.5	1.0
Residential Level 2 (Low Density)	0.5	1.0
Residential Level 3 (Low Density)	0.75	1.0
Residential Level 4A (Medium Density)	1.0	1.0
Residential Level 4B (Medium Density)	1.25	1.0
Residential Level 5 (Medium Density)	1.6	up to 1.0
Residential Level 6 (High Density)	2.3	up to 1.0
Mixed Use Level 1 (Low Density)	1.0	1.0
Mixed Use Level 2 (Medium Density)	2.0	up to 1.0
Mixed Use Level 3 (Medium Density)	2.3	up to 1.0
Mixed Use Level 4A (High Density)	2.6	up to 1.0
Mixed Use Level 4B (High Density)	3.0	up to 1.0
Harbourside Waterfront 2.05 (Mixed Use)	0.15	0.15
Parks, Recreation & Open Space	-	-
School & Institutional	-	-
Commercial	-	-
Mixed Employment	-	-
Industrial	-	-
Maximum Building Heights in Metres	-	-
Special Study Area	-	-
City Boundary	-	-

Example Height Equivalencies

Metres	Approx. Storeys
12-13	4
15-16	6
20-22	8
27	12
37	15
46	18
55-56	22
62	24
74	30
88	30

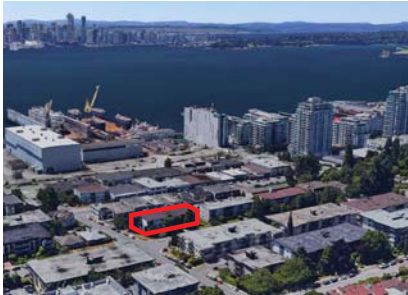


OCF - MID-RISE APARTMENT MEDIUM DENSITY R5:

- 1.6 FSR (MAX BONUS FSR 1.0)
- 1.0 FSR BONUS WITH PUBLIC BENEFITS:
 - 1) SECURE MARKET RENTAL HOUSING OR NON-MARKET RENTAL
 - 2) COMMUNITY AMENITY SPACE
- MAX HEIGHT 6 STOREY

APPLICABLE GUIDELINES:

- 2018 DENSITY BONUS AND COMMUNITY BENEFITS POLICY
- ACTIVE DESIGN GUIDELINES
- ADAPTABLE DESIGN GUIDELINES
- SUSTAINABLE DESIGN GUIDELINES
- CPTD PRINCIPLES



3D Aerial View Looking West



3D Aerial View Looking North



View Along E 2nd St & St. Andrew's



View Along St. Andrew's Looking North



View of Site from Lane



View Along E 2nd St



Elevation along St. Andrew's

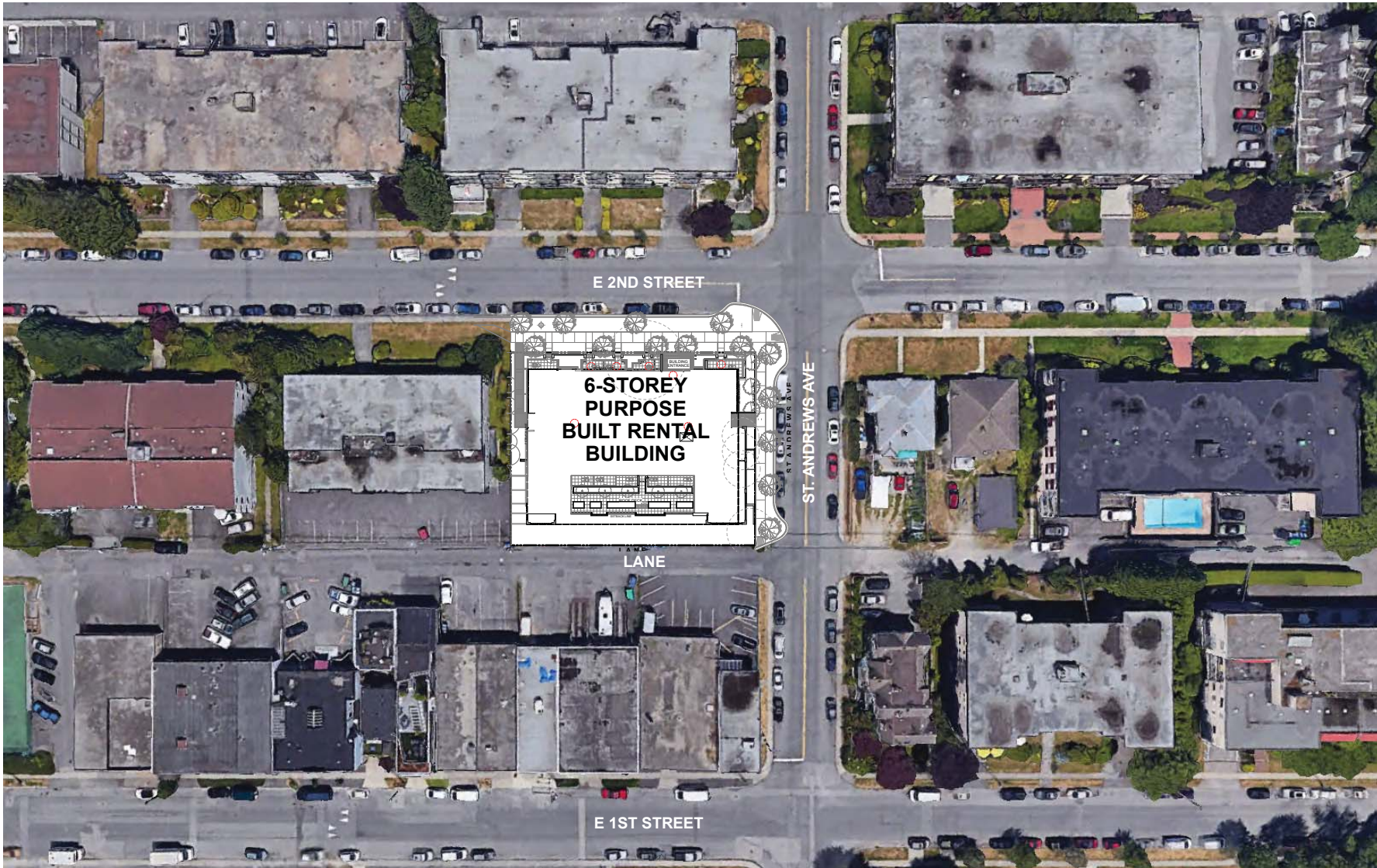


Elevation along E 2nd St

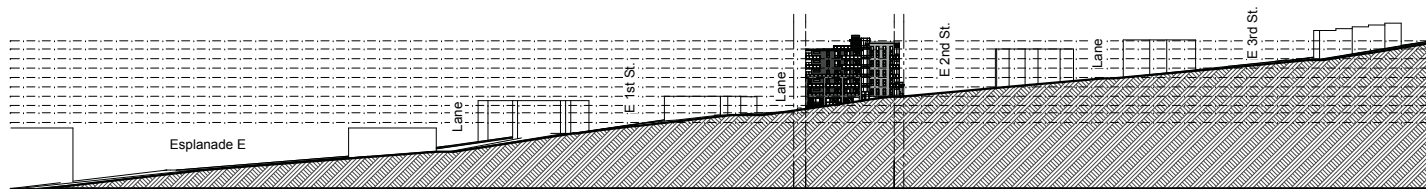
Legend

- ● ● Truck Routes
- City Boundary
- Roads**
- Highway
- Arterial (Major and Minor)
- Collector and Local
- North Shore Area Transit Plan**
- Future Frequent Transit Service
- Future Rapid Transit Service
- Frequent Transit Development Areas
- Urban Containment Boundary
- Regional City Centre
- Regional Context Land Use Designations**
- General Urban
- Mixed Employment
- Industrial
- Squamish First Nation
- Conservation & Recreation





CONTEXT PLAN



CONTEXT SITE SECTION ALONG ST. ANDREWS AVE

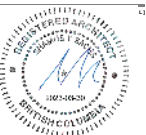


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(PROJECT TEAM)



(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

**SITE CONTEXT
PLAN**

(PROJECT)

21583

(SCALE)

Thursday, March 30, 2023

(DATE)

DP / Rezoning - 7

(ISSUE)

(DRAWING)

A-0.040



APARTMENT CHARACTER

A tribute to CNV Brewery District
Use of panels, painted boards
& glass railings
Modern, linear and open floor layouts



OPEN SPACES

Inviting entrance, indoor and outdoor living
Landscaped roof decks with seating areas

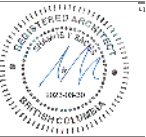


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North Vancouver, B.C.

(TITLE)

**CONCEPT
IMAGES**

(PROJECT)

21583

(SCALE)

Thursday, March 30, 2023

(DATE)

DP / Rezoning - 7

(SHEET)

(DRAWING)

A-0.050

NORTH VANCOUVER'S BREWERY DISTRICT





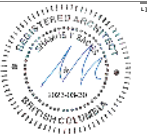
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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[STYLE]

PERSPECTIVE

[PROJECT]

21583

[SCALE]

Thursday, March 30, 2023

[DATE]

DP / Rezoning - 7

[ISSUE]

[DRAWING]

A-0.080



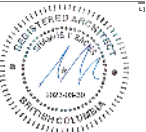
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[ISSUE]

[DRAWING]

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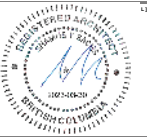
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Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

PERSPECTIVE

21583

[SCALE]

Thursday, March 30, 2023

DP / Rezoning - 7

[DRAWING]

A-0.082



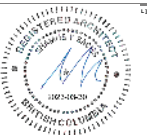
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(PROJECT TEAM)



(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

SITE PLAN

21583 (PROJECT)

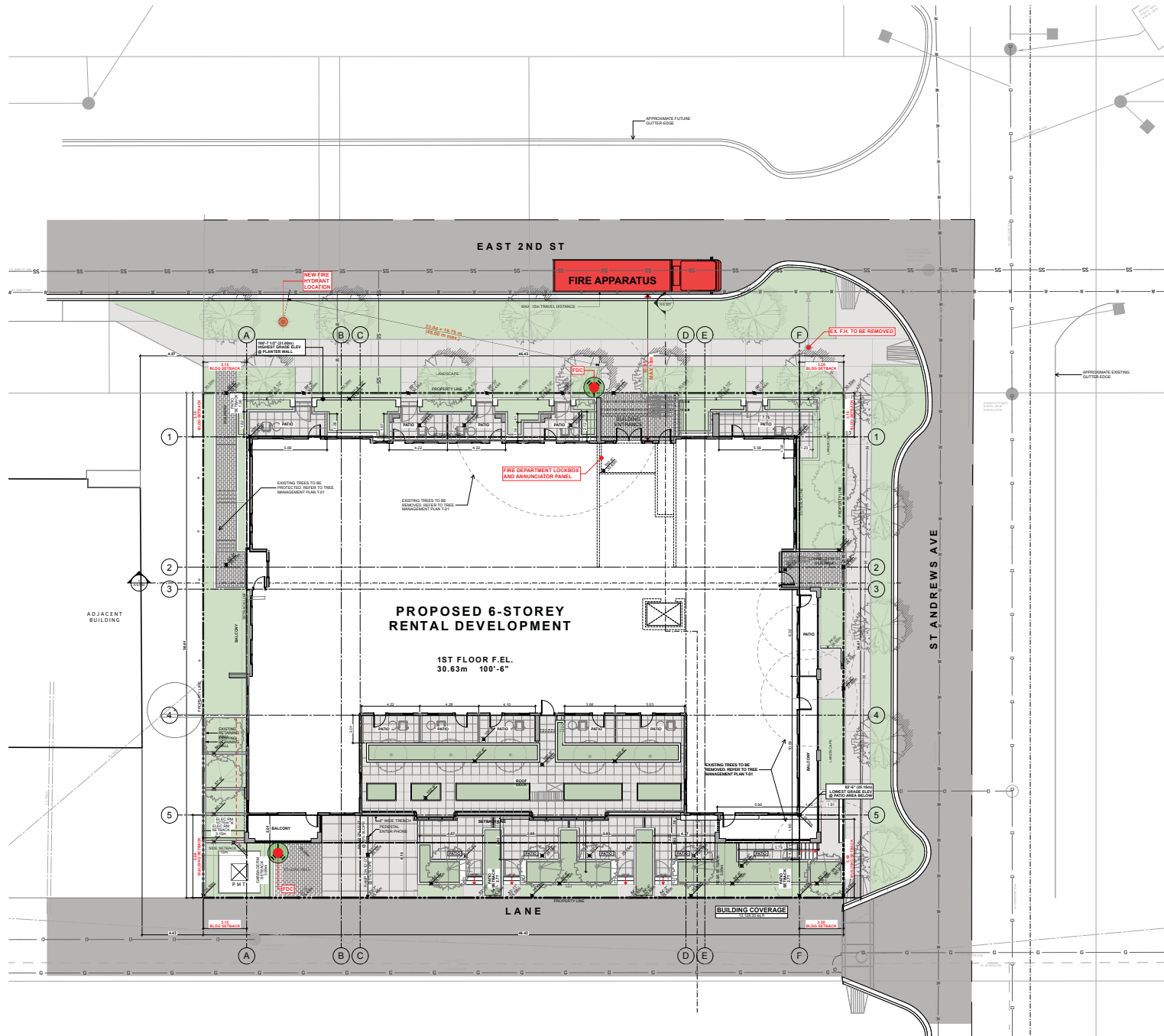
3/32" = 1'-0" (SCALE)

Thursday, March 30, 2023 (DATE)

DP / Rezoning - 7 (ISSUE)

(DRAWING)

A-1.000



EAST 2ND ST

PROJECT SUMMARY		PROPOSED
EXISTING EXISTING	PROPOSED	CD (R/S)
USE AND USE DESIGNATION	Medium Density Apartment (M)	
SITE AREA	10,248 sq. ft.	11,700 sq. ft.
LOT NUMBER	1	
USE DENSITY	140 units/acre (Provisional)	140 units/acre
USE COVERAGE	100%	100%
BUILDING HEIGHT		
Maximum Allowable Height	35 ft.	35 ft.
Average Finished Grade - Ground Elevation @ 20' from 22' 175'		
Groundline Max. Allowed Height	35 ft.	35 ft.
Proposed Maximum Height	35 ft.	35 ft.
Building Height from Average Grade	35 ft.	35 ft.
Average Finished Grade above Mean Property Line @ 30' from 122' 581'		
Building Height from Average Grade	35 ft.	35 ft.
FRONT YARD	2' (22' 51')	2' (22' 51')
SIDE YARD	2' (22' 51')	2' (22' 51')
REAR YARD - EAST	2' (22' 51')	2' (22' 51')
REAR YARD - WEST	2' (22' 51')	2' (22' 51')
PARKING SPACES	48 spaces	48 spaces
BIKE SPACES	48 spaces	48 spaces
BIKE SPACES	48 spaces	48 spaces



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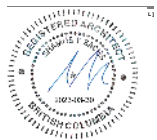
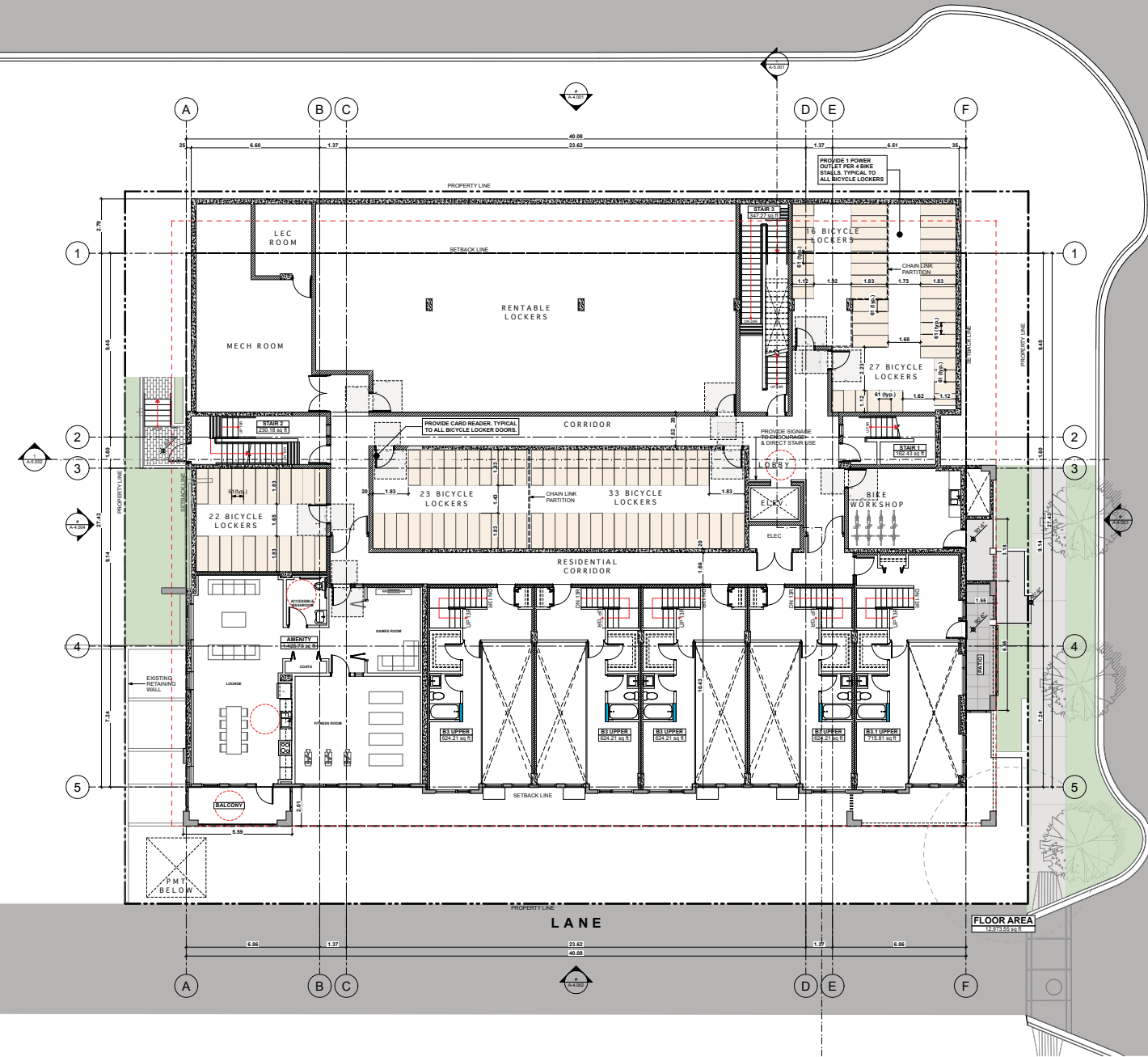


(PROJECT TEAM)

ST ANDREWS AVE

FLOOR AREA
17,379.75 sq. ft.

LANE



(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

BASEMENT &
LANE UNIT
UPPER FLOOR

21583

1/8" = 1'-0"

Thursday, March 30, 2023

DP / Rezoning - 7

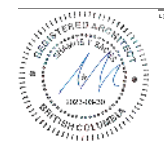
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A-2.003



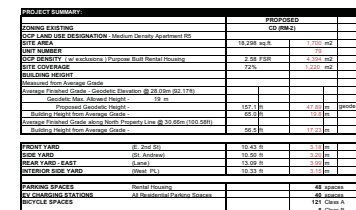
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1. 0.0000

A-2.009

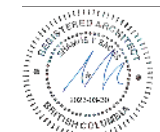


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[PROJECT TEAM]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

UPPER ROOF
PLAN

[PROJECT]

21583

1/8" = 1'-0"

Thursday, March 30, 2023

DB / Reasoning 7

[DRAWING]

A-2.010



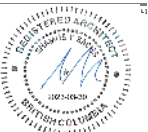
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(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.
275 East 2nd Street
North Vancouver, B.C.

(TITLE)

BUILDING ELEVATION - NORTH (2ND ST)

(PROJECT)

21583

(SCALE)

1/8" = 1'-0"

Thursday, March 30, 2023

(DATE)

DP / Rezoning - 7

(DRAWING)

A-4.001



MATERIAL SCHEDULE

Building Elements	A	B	B1	B2	C
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Gray/Brown Blend	Dark Blue	White	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Rigid
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Gray/Brown	Deep Ocean	White	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	C1	D	E	E1	E2
Cladding	Cladding	Cladding	Softs	Softs	Softs
Colour	Dark Grey	Silver	White	Black	Charcoal Grey
Material	Cementitious Panel Board w/ Rigid	Composite Sheet Metal	Hardie Siding 114" Gap Softs	Woodstone	Hardie Siding 114" Gap Softs
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Iron Grey	Silver	White	Mountain Cedar	Iron Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	F	G	H	J	J1
Roof	Wood Trim @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies	Aluminum Railing @ Balconies	Aluminum Railing @ Balconies
Colour	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey	Prefinished White
Material	SSS Roof	3/4" Thick dimensional lumber painted	Painted Aluminum	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J2	K	K1	L	L1
Painted Fence	Painted Fence	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Charcoal Grey	White	Charcoal Grey	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N		
Typical Balcony Entry	Garage Doors	Retaining Walls			
Colour	White	Dark Brown / Black	Grey		
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete		
Product	TBC	TBC	TBC		
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete		
Manufacturer	TBC	TBC	TBC		

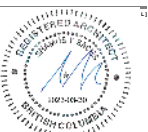


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(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

**BUILDING
ELEVATION -
SOUTH (LANE)**

(PROJECT)

21583

(SCALE)

1/8" = 1'-0"

(DATE)

Thursday, March 30, 2023

(ISSUE)

DP / Rezoning - 7

(DRAWING)

A-4.002



MATERIAL SCHEDULE

Building Elements	A	B	B1	B2	C
Colour	Charcoal Gray/Brown Blend	Ceiling Dark Blue	Ceiling White	Ceiling Dark Gray	Ceiling Gray
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Rigid
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Gray/Brown	Deep Ocean	White	Iron Gray	Pearl Gray
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	C1	D	E	E1	E2
Colour	Dark Gray	Charcoal Gray	White	Charcoal Gray	Charcoal Gray
Material	Cementitious Panel Board w/ Rigid	Computer Sheet Metal	Hazle Siding 114" Gap Soffit	Woodstone	Hazle Siding 114" Gap Soffit
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Iron Gray	Silver	White	Mountain Cedar	Iron Gray
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	F	G	H	J	J1
Colour	Dark Gray	Charcoal Gray	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies	Aluminum Railing @ Balconies
Material	SBS Roof	3/4" Black dimensional lumber painted	Painted Aluminum	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Gray	Charcoal Gray	Charcoal Gray	Charcoal Gray	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J2	K	K1	L	L1
Colour	Charcoal Gray	White	White	Charcoal Gray	Charcoal Gray
Material	Painted Vinyl	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Gray	Black	White	Charcoal Gray	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N		
Colour	White	Dark Brown / Black	Gray		
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete		
Product	TBC	TBC	TBC		
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete		
Manufacturer	TBC	TBC	TBC		



[PROJECT TEAM]



	L2	M	N
Building Elements	Typical Balcony Entry	Garage Doors	Retaining Walls
Colour	White	Dark Brown / Black	Grey
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C/P Architectural Concrete
Product	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete
Manufacturer	TBC	TBC	TBC

[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

BUILDING [TITLE]

ELEVATION -
EAST (ST.
ANDREWS AVE)

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Thursday, March 30, 2023 [DATE]

DP / Rezoning - 7

[DRAWING]

A-4.003

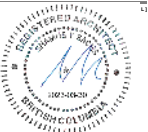


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(PROJECT TEAM)



(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

**BUILDING
ELEVATION -
WEST**

(PROJECT)

21583

(SCALE)

1/8" = 1'-0"

(DATE)

Thursday, March 30, 2023

(ISSUE)

DP / Rezoning - 7

(DRAWING)

A-4.004



MATERIAL SCHEDULE

Building Elements	A	B	B1	B2	C
Colour	Clothing Gray/Brown Blend	Clothing Dark Blue	Clothing White	Clothing Dark Grey	Clothing Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Rigidall
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Gray/Brown	Deep Ocean	White	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	C1	D	E	E1	E2
Colour	Clothing Dark Grey	Clothing Silver	Softs White	Softs Brown	Softs Charcoal Grey
Material	Cementitious Panel Board w/ Rigidall	Composite Steel Metal	Hardie Siding 114" Gap Soffit	Woodtone	Hardie Siding 114" Gap Soffit
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Iron Grey	Silver	White	Mountain Cedar	Iron Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	F	G	H	J	J1
Colour	Dark Grey	Charcoal Grey	Flashing, Gutters, and down spouts Prefinished Charcoal Grey	Aluminum Railing @ Balconies Prefinished Charcoal Grey	Aluminum Railing @ Balconies Prefinished White
Material	SB'S Roof	3/4" Thick dimensional lumber painted	Painted Aluminum	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	J2	K	K1	L	L1
Colour	Painted Fence Charcoal Grey	Windows White	Windows Charcoal Grey	Typical Unit Entry Charcoal Grey	Typical Balcony Entry Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

Building Elements	L2	M	N		
Colour	White	Garage Doors Dark Brown / Black	Retaining Walls Grey		
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete		
Product	TBC	TBC	TBC		
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete		
Manufacturer	TBC	TBC	TBC		



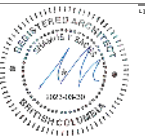
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(PROJECT TEAM)



(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

N/S BUILDING
SECTION &
WALLSECTION @
GARAGE

21583

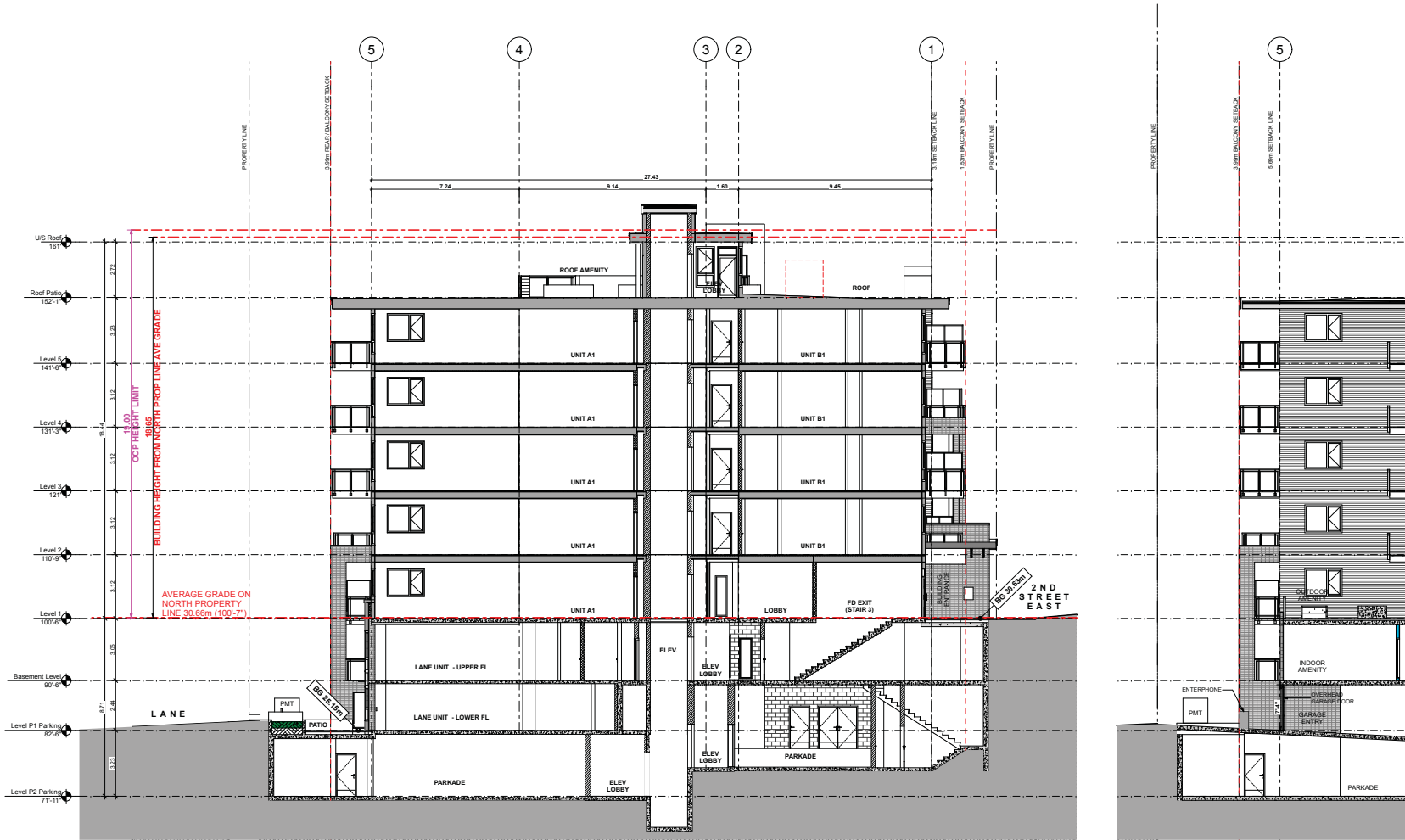
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Thursday, March 30, 2023

DP / Rezoning - 7

(DRAWING)

A-5.001





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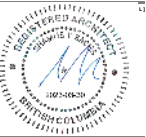
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(CLIENT)

Three Shores Management

(PROJECT)

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

(TITLE)

E/W BUILDING SECTION

21583 (PROJECT)

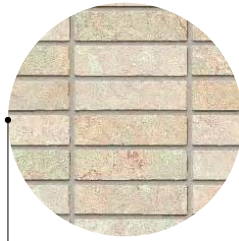
1/8" = 1'-0" (SCALE)

Thursday, March 30, 2023 (DATE)

DP / Rezoning - 7 (ISSUE)

(DRAWING)

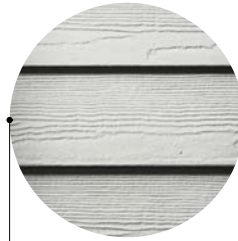
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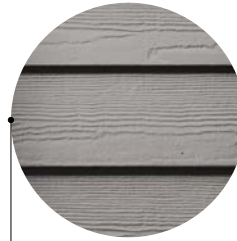
A THIN BRICK CLADDING
colour: GREY / BROWN BLEND



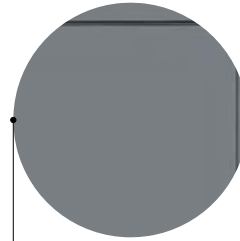
B CEMENTITIOUS LAP SIDING
colour: DARK BLUE



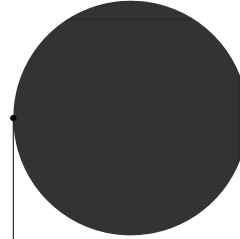
B1 CEMENTITIOUS LAP SIDING
colour: WHITE



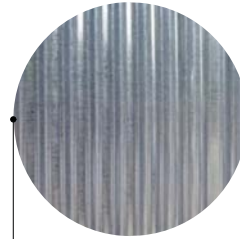
B2 CEMENTITIOUS LAP SIDING
colour: LIGHT GREY



C CEMENTITIOUS PANEL BOARD
W/ REVEAL
colour: GREY



C1 CEMENTITIOUS PANEL BOARD
W/ REVEAL
colour: DARK GREY



D CORRUGATED SHEET METAL
colour: SILVER



E1 CEMENTITIOUS SIDING SOFFT
colour: BROWN



MATERIAL SCHEDULE

	A	B	B1	B2	C
Building Elements	Cladding	Cladding	Cladding	Cladding	Cladding
Colour	Grey/Brown Blend	Dark Blue	White	Dark Grey	Grey
Material	Thin Brick	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Lap Siding	Cementitious Panel Board w/ Reveal
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Gray/Brown	Deep Ocean	White	Iron Grey	Pearl Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

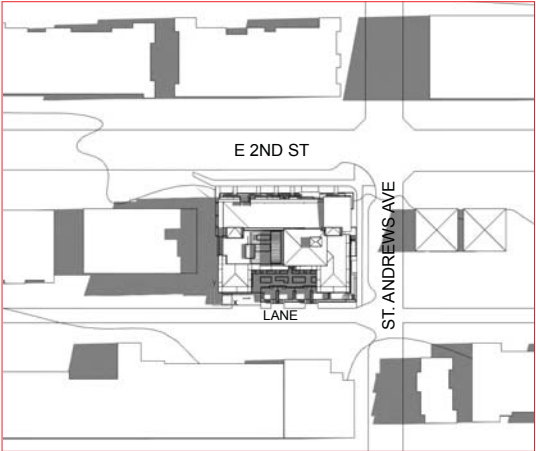
	C1	D	E	E1	E2
Building Elements	Cladding	Cladding	Soffit	Soffit	Soffit
Colour	Dark Grey	Silver	White	Brown	Charcoal Grey
Material	Cementitious Panel Board w/ Reveal	Corrugated Sheet Metal	Hardie Siding 1/4" Gap Soffit	Woodtone	Hardie Siding 1/4" Gap Soffit
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Iron Grey	Silver	White	Mountain Cedar	Iron Grey
Manufacturer	TBC	TBC	TBC	TBC	TBC

	F	G	H	J	J1
Building Elements	Roof	Wood Tiles @ Windows, Doors, Roof Edge, etc.	Flashing, Gutters, and down spouts	Aluminum Railing @ Balconies	Aluminum Railing @ Balconies
Colour	Dark Grey	Charcoal Grey	Prefinished Charcoal Grey	Prefinished Charcoal Grey	Prefinished White
Material	SBS Roof	3/4" thick dimensional lumber painted	Painted Aluminum	Painted Aluminum	Painted Aluminum
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Charcoal Grey	Charcoal Grey	Charcoal Grey	White
Manufacturer	TBC	TBC	TBC	TBC	TBC

	J2	K	K1	L	L1
Building Elements	Picket Fence	Windows	Windows	Typical Unit Entry	Typical Balcony Entry
Colour	Charcoal Grey	Black	White	Charcoal Grey	Black
Material	Painted Aluminum	Painted Vinyl	Painted Vinyl	Solid Wood Door w/ Glass Insert	Painted Vinyl
Product	TBC	TBC	TBC	TBC	TBC
Colour to Match / Manufacturer Reference No.	Charcoal Grey	Black	White	Charcoal Grey	Black
Manufacturer	TBC	TBC	TBC	TBC	TBC

	L2	M	N		
Building Elements	Typical Balcony Entry	Garage Doors	Retaining Walls		
Colour	White	Dark Brown / Black	Grey		
Material	Painted Vinyl	Wood Panel / Painted Aluminum	C.I.P. Architectural Concrete		
Product	TBC	TBC	TBC		
Colour to Match / Manufacturer Reference No.	Black	Dark Brown / Black	Natural Concrete		
Manufacturer	TBC	TBC	TBC		

SPRING EQUINOX
MARCH 21



10 AM

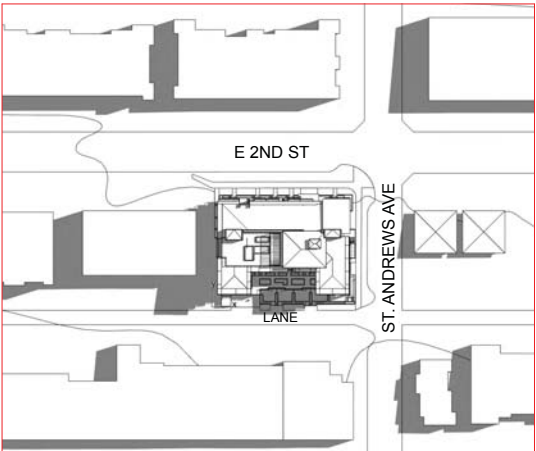


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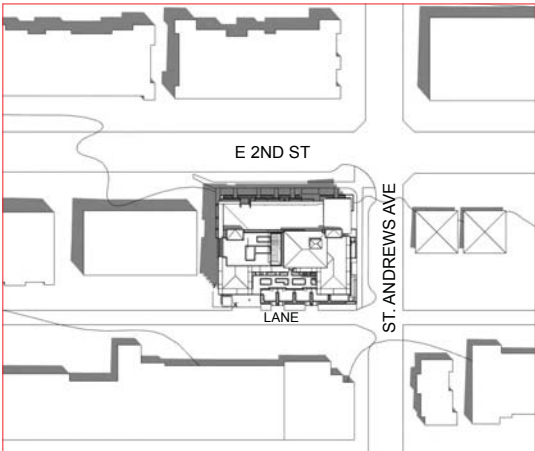


2 PM

SUMMER SOLSTICE
JUNE 21



10 AM



12 PM



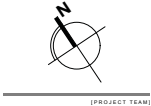
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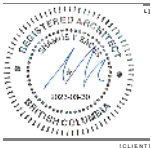
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[PROJECT TEAM]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

SHADOW STUDY

[PROJECT]

21583

[SCALE]

Thursday, March 30, 2023

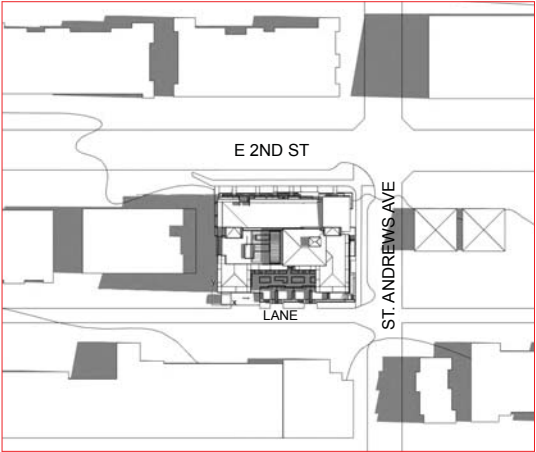
DP / Rezoning - 7

[ISSUE]

[DRAWING]

A-8.500

FALL EQUINOX
SEPTEMBER 23



10 AM

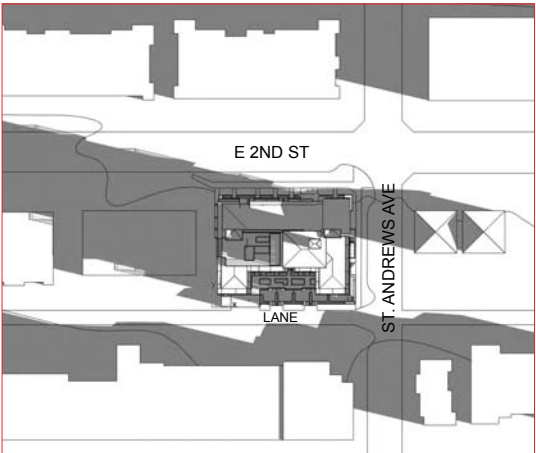


12 PM



2 PM

WINTER SOLSTICE
DECEMBER 21



10 AM



12 PM



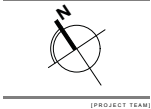
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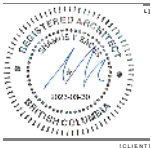
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[PROJECT TEAM]



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

SHADOW STUDY

[PROJECT]

21583

[SCALE]

Thursday, March 30, 2023

DP / Rezoning - 7

[DRAWING]

A-8.501

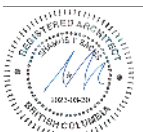
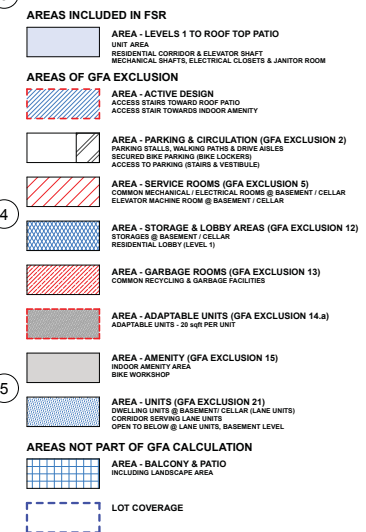


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[PROJECT TEA]



Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITL

**LEVEL P2
PARKING**

04593 [PROJEC

1/8" = 1'-0" [SCALE]

Thursday, March 30, 2023 [DAT]

DR / Rezoning 7 ISSU

DF / Reasoning - 7

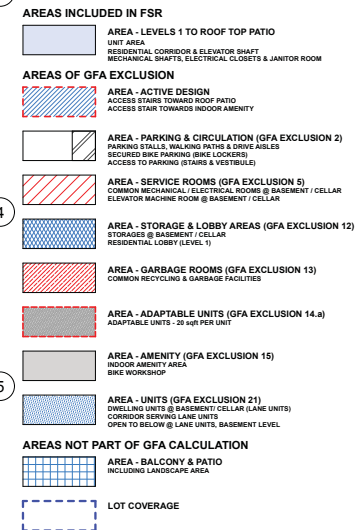
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A-9.00



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[PROJECT]

275 East 2nd Street
North Vancouver, B.C.

[PROJECT]

[DRAWING]

A-9.002



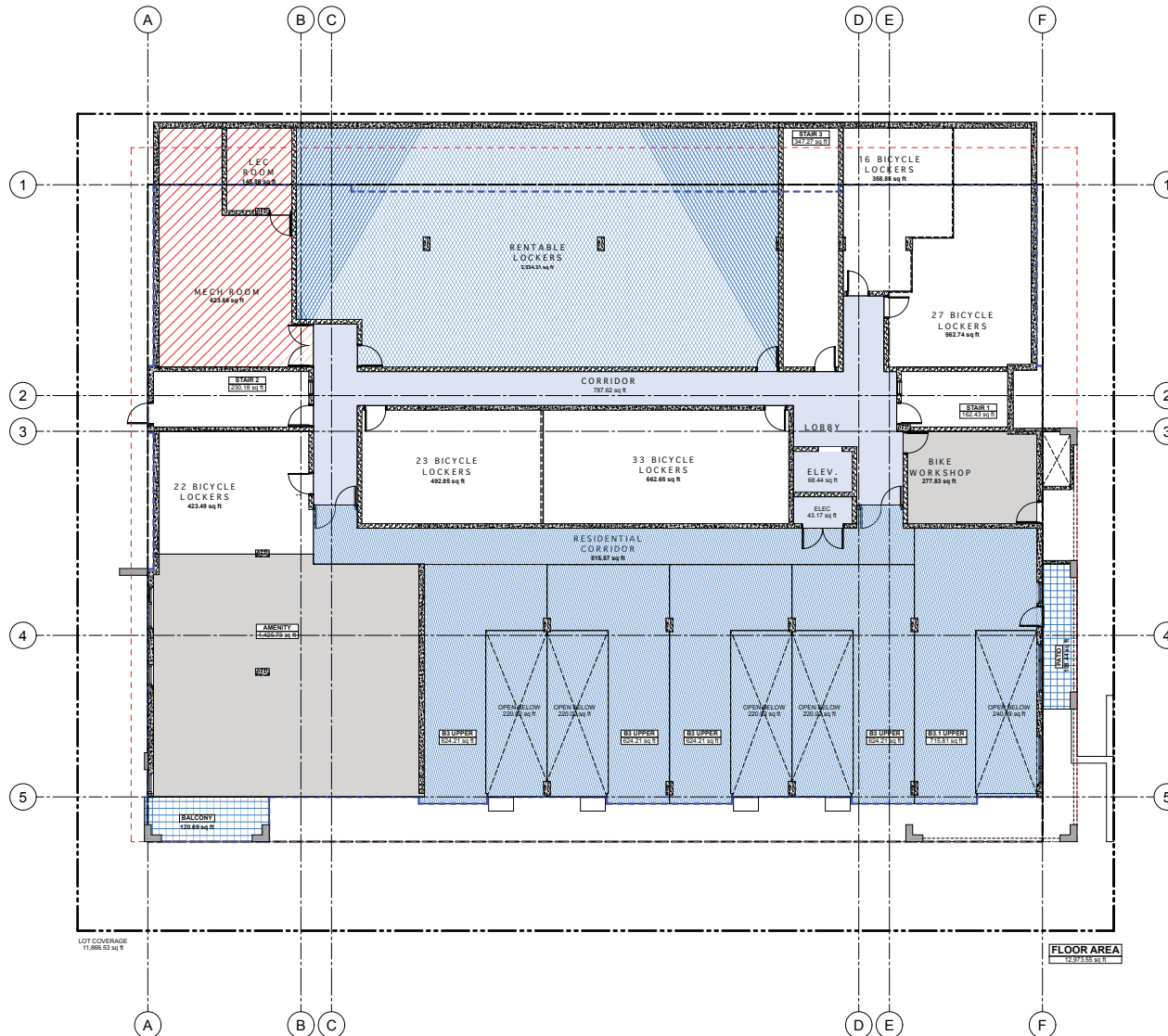
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[PROJECT TEAM]



AREAS INCLUDED IN FSR

- AREA - LEVELS 1 TO ROOF TOP PATIO
- UNIT AREA
- RESIDENTIAL CORRIDOR & ELEVATOR SHAFT
- MECHANICAL SHAFTS, ELECTRICAL CLOSETS & JANITOR ROOM

AREAS OF GFA EXCLUSION

- AREA - ACTIVE DESIGN
 - ACCESS STAIRS TOWARD ROOF PATIO
 - ACCESS STAIR TOWARDS INDOOR AMENITY
- AREA - PARKING & CIRCULATION (GFA EXCLUSION 2)
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AREAS NOT PART OF GFA CALCULATION

- AREA - BALCONY & PATIO
 - INCLUDING LANDSCAPE AREA
- LOT COVERAGE



Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

**AREA OVERLAY -
BASEMENT &
LANE UNIT
UPPER FLOOR**

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Thursday, March 30, 2023 [DATE]

DP / Rezoning - 7 [ISSUE]

[DRAWING]

A-9.003



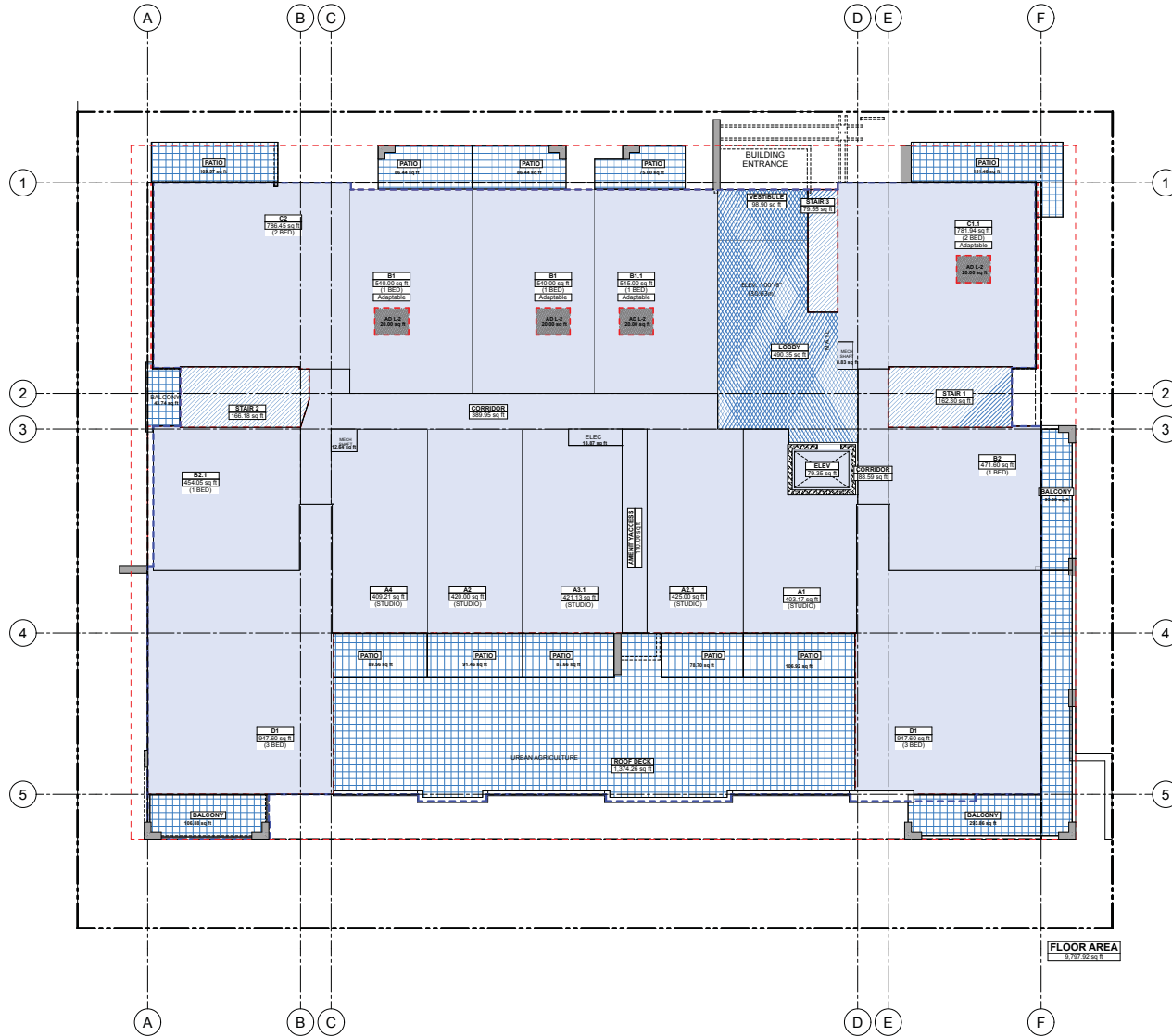
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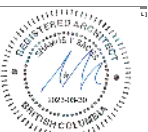
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[PROJECT TEAM]



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[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street

North Vancouver, B.C.

[TITLE]

AREA OVERLAY -

LEVEL 1

[PROJECT]

21583

[SCALE]

1/8" = 1'-0"

[DATE]

Thursday, March 30, 2023

[ISSUE]

DP / Rezoning - 7

[DRAWING]

A-9.004



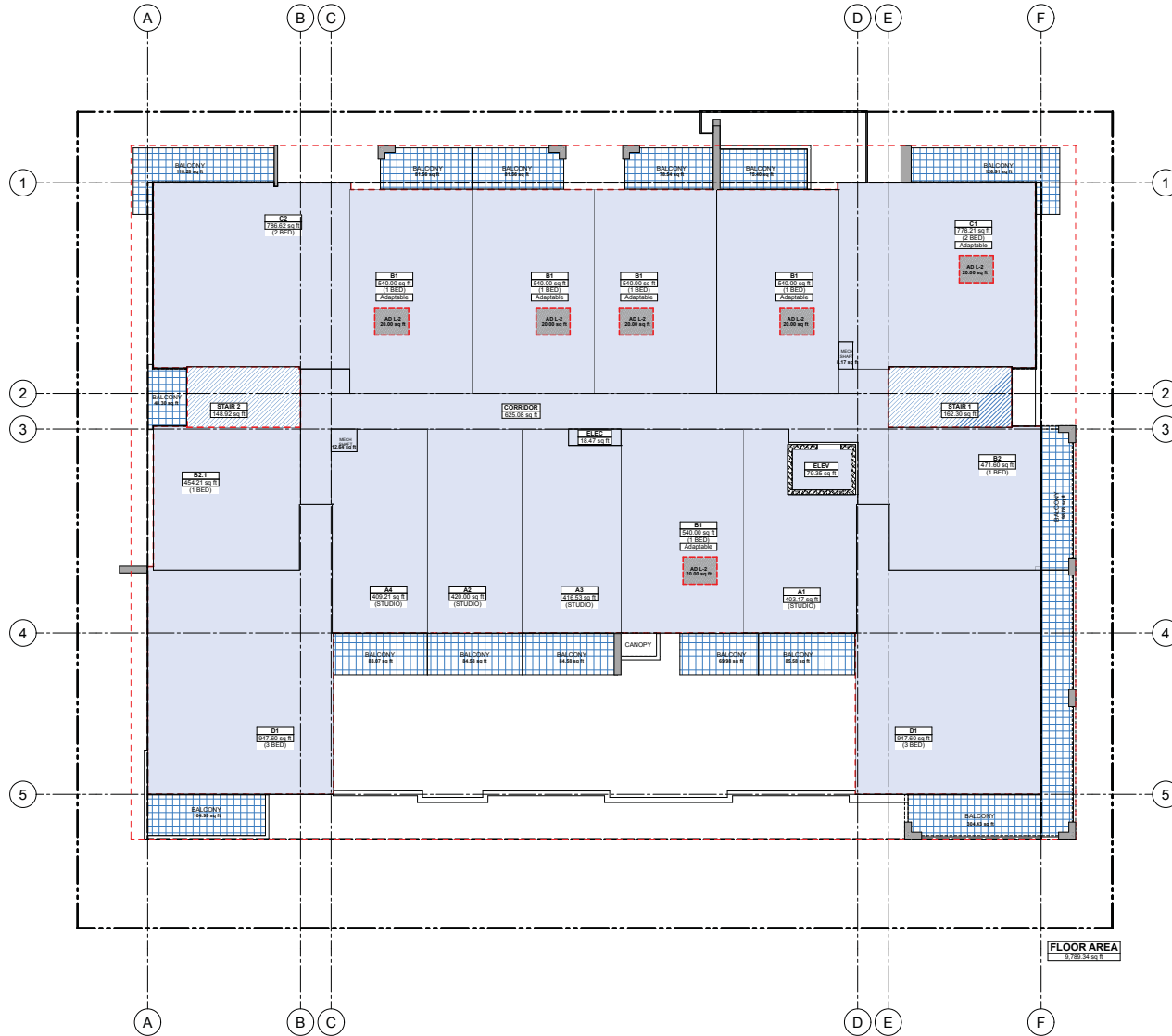
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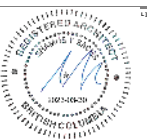
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- LOT COVERAGE



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street

North Vancouver, B.C.

[TITLE]

**AREA OVERLAY -
LEVEL 2**

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Thursday, March 30, 2023 [DATE]

DP / Rezoning - 7 [SUBJECT]

[DRAWING]

A-9.005



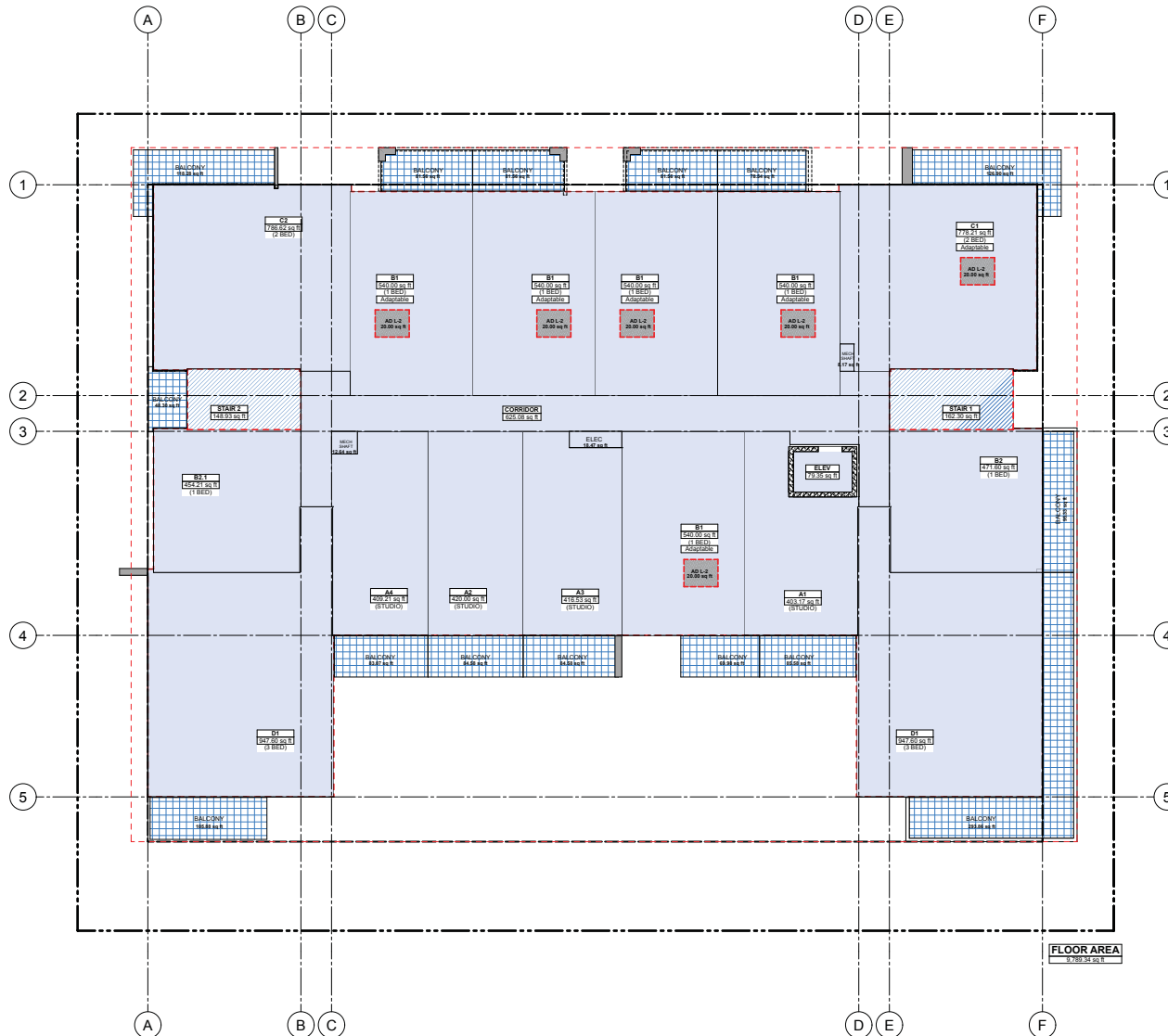
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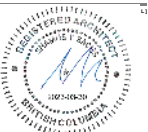
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[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

**AREA OVERLAY -
LEVEL 3**

21583 [PROJECT]

1/8" = 1'-0" [SCALE]

Thursday, March 30, 2023 [DATE]

DP / Rezoning - 7 [SUBJECT]

[DRAWING]

A-9.006



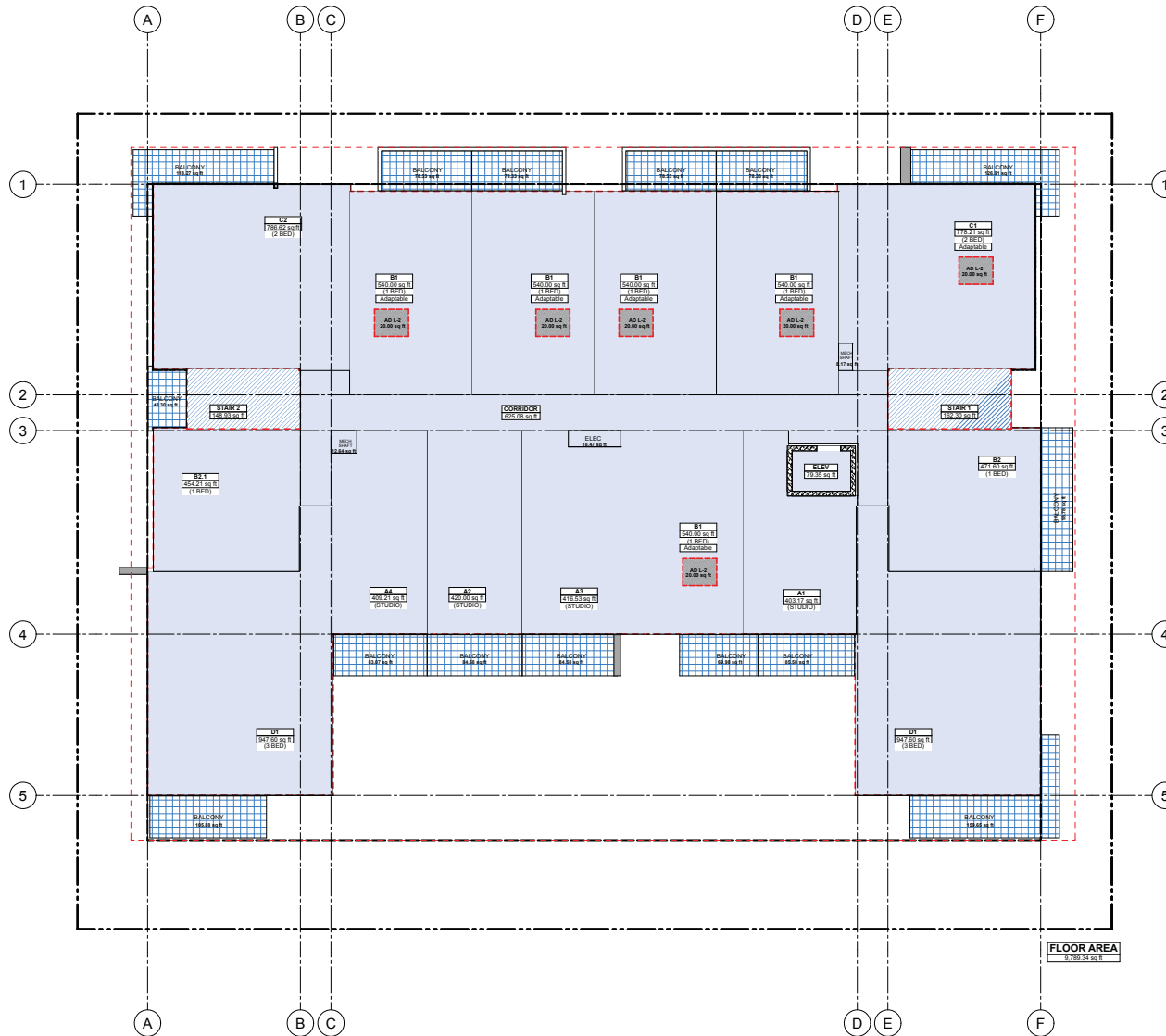
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[PROJECT TEAM]



AREAS INCLUDED IN FSR

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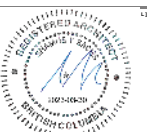
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INCLUDING LANDSCAPE AREA

LOT COVERAGE



[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

**AREA OVERLAY -
LEVEL 4**

[PROJECT]

21583

1/8" = 1'-0"

Thursday, March 30, 2023

DP / Rezoning - 7

[DRAWING]

A-9.007



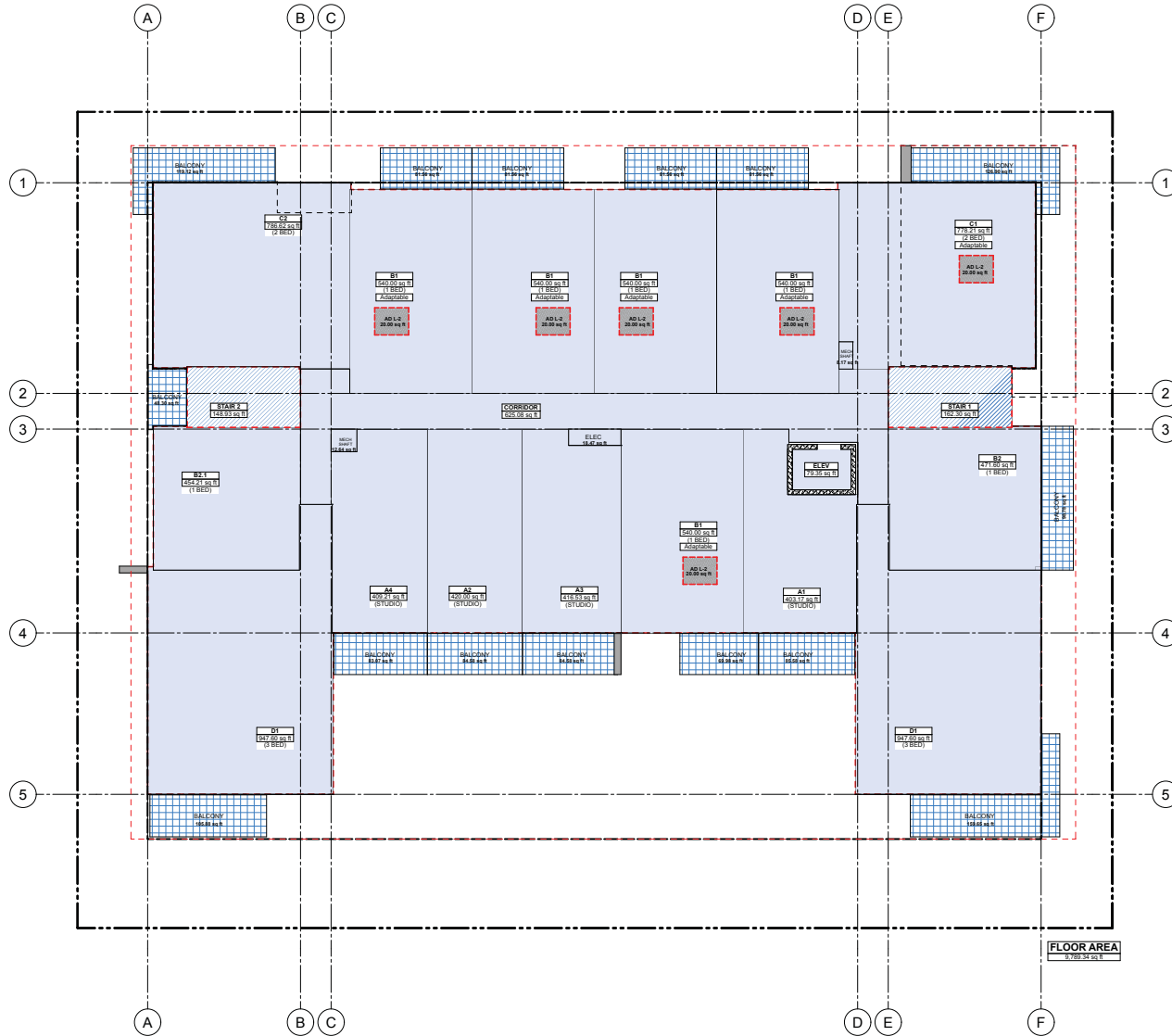
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AREAS INCLUDED IN FSR

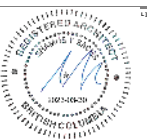
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Three Shores Management

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

**AREA OVERLAY -
LEVEL 5**

21583

1/8" = 1'-0"

Thursday, March 30, 2023

DP / Rezoning - 7

[DRAWING]

A-9.008



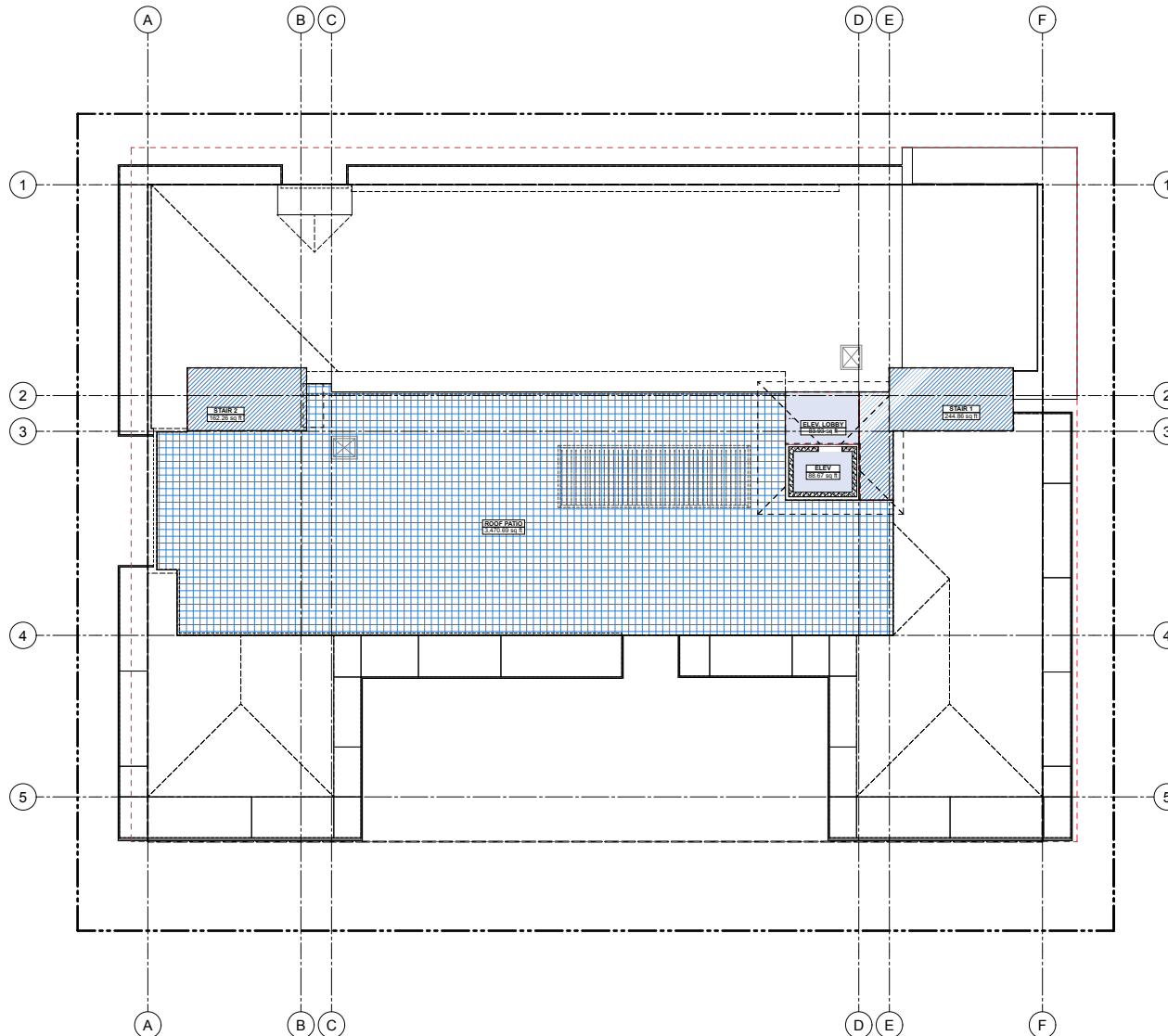
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[PROJECT TEAM]



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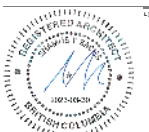
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[CLIENT]

Three Shores Management

[PROJECT]

EAST 2ND ST.

275 East 2nd Street
North Vancouver, B.C.

[TITLE]

AREA OVERLAY -

ROOF LEVEL

[PROJECT]

21583

1/8" = 1'-0"

Thursday, March 30, 2023

DP / Rezoning - 7

[DRAWING]

A-9.009

PROJECT INFORMATION

275 East 2nd Street North Vancouver
DRAWINGS PREPARED BY: Durante Kreuk Ltd.
LANDSCAPE ARCHITECT: Stephen Vincent

DRAWING LIST

L0.0	Cover Sheet
L1.1	Landscape Site Plan-Ground Level
L1.2	Level 1 -Material Plan
L1.3	Level 1 -Planting plan
L1.4	Lane Unit Lower Level- -Materials Plan
L1.5	Lane Unit Lower Level- -Planting plan
L1.6	Grading Plan-Level 1 & Lane Unit Lower Level
L1.7	Rooftop Level-Material Plan
L1.8	Rooftop Level-Planting Plan
L1.9	Soil Volume Plan-Level 1 & Lane Unit Lower Level
L1.10	Soil Volume Plan-Rooftop Level
L1.11	Lighting Plan
L2.1	Section
L3.1	Details
L3.2	Details

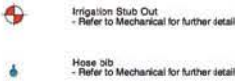
LIGHTING LEGEND

Landscape lighting shown for information only. Refer to electrical drawings for final types, quantities and locations.



IRRIGATION

Landscape Lighting Shown For Information Only. Refer to Electrical Drawings For Final Types, Quantities And Locations.



GRADING + DRAINAGE

+8.0/12.00'	Building Grade
+18.0/12.00'	Interpolated Building Grade
+F.G/10.00'	Finished Grade
+T.O.S/10.00'	Top of Slab
+T.S/10.00'	Top of Stair
+T.B/10.00'	Top of Bench
+T.W/10.00'	Top of Wall
+F.F.E/10.00'	Finished Floor Elevation
+E.G/10.00'	Existing Grade (Refer to Survey)
	Slope (Direction and percentage)
	Stairs (Direction and number of risers)

PLANT LIST

TREES

Qty	Latin Name	Common name	Size/Spacing
14	Acer rubrum	Street Tree to City Standard	7cm cal. B&B
5	Cornus kousa 'Fireworks'	Kousa Dogwood(Pink)	5cm cal. B&B
10	Styrax japonicus	Japanese Snowbell Tree	5cm cal. B&B
7	Styrax obassia	Fragrant Snowbell	6 cm cal. B&B

SHRUBS

Qty	Latin Name	Common name	Size/Spacing
57	Azalea 'Nikko'	Nikko Azalea	#2 pot/ 24" O.C.
33	Azalea 'Hino-White'	Azalea Hino White	#2 pot/ 18" O.C.
31	Buxus microphylla 'Green Beauty'	Littleleaf Boxwood	#2 pot / 24" O.C.
9	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 pot / 24" O.C.
124	Lonicera pileata	Privet honeysuckle	#1 pot/ 24" O.C.
24	Mahonia aquifolium 'Compacta'	Compact Oregon Grape Holly	#3 pot/ 24" O.C.
17	Mahonia nervosa	Longleaf Mahonia	#2 pot/ 24" O.C.
23	Nandina domestica	Heavenly Bamboo	#2 pot / 24" O.C.
16	Osmanthus delavayi	Delavay Osmanthus	#2 pot / 24" O.C.
14	Sarcococca confusa	Sweet Box	#2 pot / 24" O.C.
189	Taxus x media 'Hilli'	Hill's Yew	4" ht B&B, R to R

GROUNDCOVERS, GRASSES, FERNS & VINES

Qty	Latin Name	Common name	Size/Spacing
14	Calamagrostis x scutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#2 pot / 18" O.C.
04	Echinacea purpurea	Purple Coneflower	#1 Pot / 12" O.C.
83	Lavandula angustifolia 'Arctic Snow'	Arctic Snow Lavender	#1 pot/ 18" O.C.
6	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot/ 18" O.C.
222	Nepeta racemosa 'Little Titch'	Little Titch Catmint	#1 pot, 12" o.c.
229	Polystichum munitum	Hard Shield Fern	#2 pot/ 16" o.c.

URBAN AGRICULTURE MIX

Qty	Latin Name	Common name	Size/Spacing
330	Allium tuberosum	Dwarf Chives	#4 pot / 10" O.C.
330	Achillea millefolium 'White Beauty'	White yarrow	#4 pot / 10" O.C.
330	Origanum vulgare	Oregano	#4 pot / 10" O.C.
330	Salvia officinalis	Sage	#4 pot / 10" O.C.
330	Rosmarinus officinalis	Rosemary	#4 pot / 10" O.C.
330	Thymus vulgaris	Wooly Thyme	#4 pot / 10" O.C.

HARDSURFACING

KEY	MATERIAL
	Cast in Place Concrete Paving Light Broom Finish Concrete with sawcut pattern as shown on plan Refer to City Standard
	Cast in Place Concrete Paving - on site Finish: light broom Colour: Charcoal/Natural 100mm thick
	Hydrapressed Concrete Slab Pavers Size: 24" x 24" x 2" thk. Colour: Natural
	Hydrapressed Concrete Slab Pavers Size: 24" x 24" x 2" thk. Colour: Charcoal
	Unite Pavers Modulene Series, Size: 6" x 12" x 4" thk. Colour: Natural & Charcoal
	Poured in Place Rubber Safety Surfacing Colour: 100% Turquoise Blue Supplier: Marathon Surfaces Contact: Barbara, 604-678-0625 ex.2
	Gravel Strip

SOFTSCAPE

LEGEND	DESCRIPTION
	Sand Based Sodded Lawn
	Urban Agriculture
	Planting Area
	Privacy Hedge
	Proposed Trees

FURNITURE + STRUCTURE

KEY	Legend	Description
	F5	Metal screen
	F6	Bike Rack (Ground Level) Model: W3606 & LVM002 Installation: Surface Mount & Wall Mount Supplier: Core Bike Rack Finish: SS- Stainless Steel
	F3	Backless Wood seating Model: MBE-1050-00048 Supplier: MAGLIN Dimension: 30.13" H x 70" L
	F4	Furnishings
	F5	Gas Barbecues - Genesis® II E-330 Gas Grill - Color: Copper
	F6	Toddler Train Model:MS3600 Mounting-Surface Dimension:138 x 66 x 130 cm Supplier:Kompa
	F7	Forest Cottage Model:NRO408-0012 Mounting-Surface Dimension:262 x 189 x 292 cm Supplier:Kompa

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANS) Standard.
- All trees to be staked in accordance with CNLA Standards.
- ALL STREET TREES install 8' x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- Irrigation to be provided for all 'Soft Landscape Areas' shown on the drawing.
- The irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards and Guidelines.
- Planters and Plant pots to be irrigated with a high efficiency irrigation system.
- All irrigation valve boxes equipped with quick-couplers. Irrigation will be primarily Drip lines, with some pop-up spray heads where appropriate.
- A preliminary lighting plan for roof patio has been included & will be refined by electrical consultant to ensure that safety levels of lighting is provided & that the light levels do not exceed comfortable ranges.

3	Max. 15,223	DP / Resourcing Resubmission
2	Apr.04,2022	DP Resubmission
1	Feb.11,2022	DP Submission
NO.	Date	Item

Revision:



Project:

275 East 2nd Street
North Vancouver

Draw by:	AL
Check by:	SV
Date:	Aug 09 2022
Scale:	
Drawing Title:	

Cover Sheet

Project No.:	21118
Sheet No.:	

L-0.0



3. Nov. 15, 2023 DP / Resuming Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 14, 2022 DP Submission

Rev. No. Date Name

Revision:



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Project:

275 East 2nd Street
 North Vancouver

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8"=1' 0"

Drawing Title:

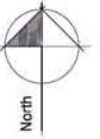
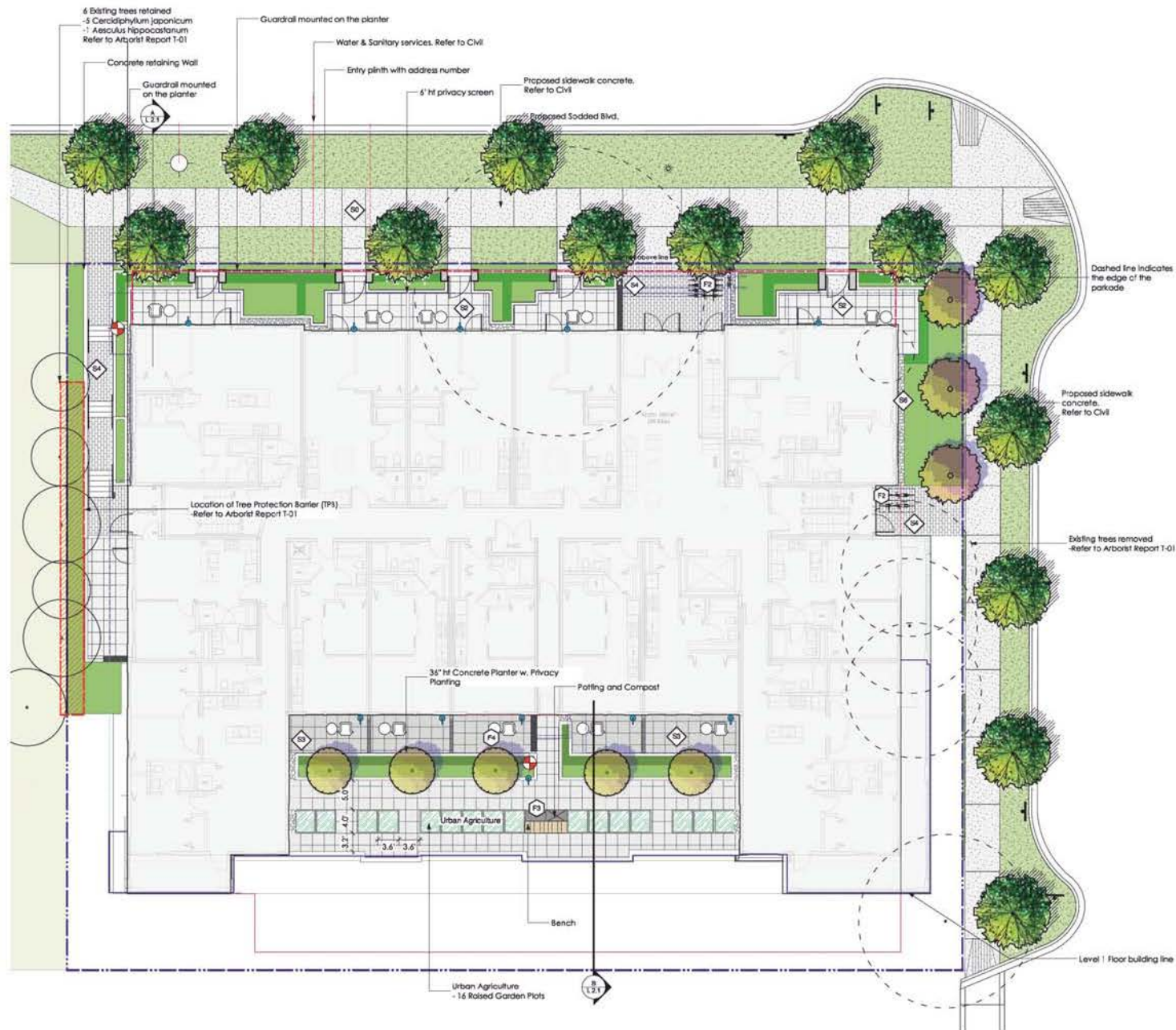
Landscape Site Plan-

Ground Level

Project No.:
 21118

Sheet No.:

L-1.1



3. Max. 15, 2023 DP / Resuming Resubmission
2. Apr. 04, 2022 DP Resubmission
1. Feb. 11, 2022 DP Submission
N.C. Date Item

Revision:

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Project:

**275 East 2nd Street
North Vancouver**

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8"=1' 0"

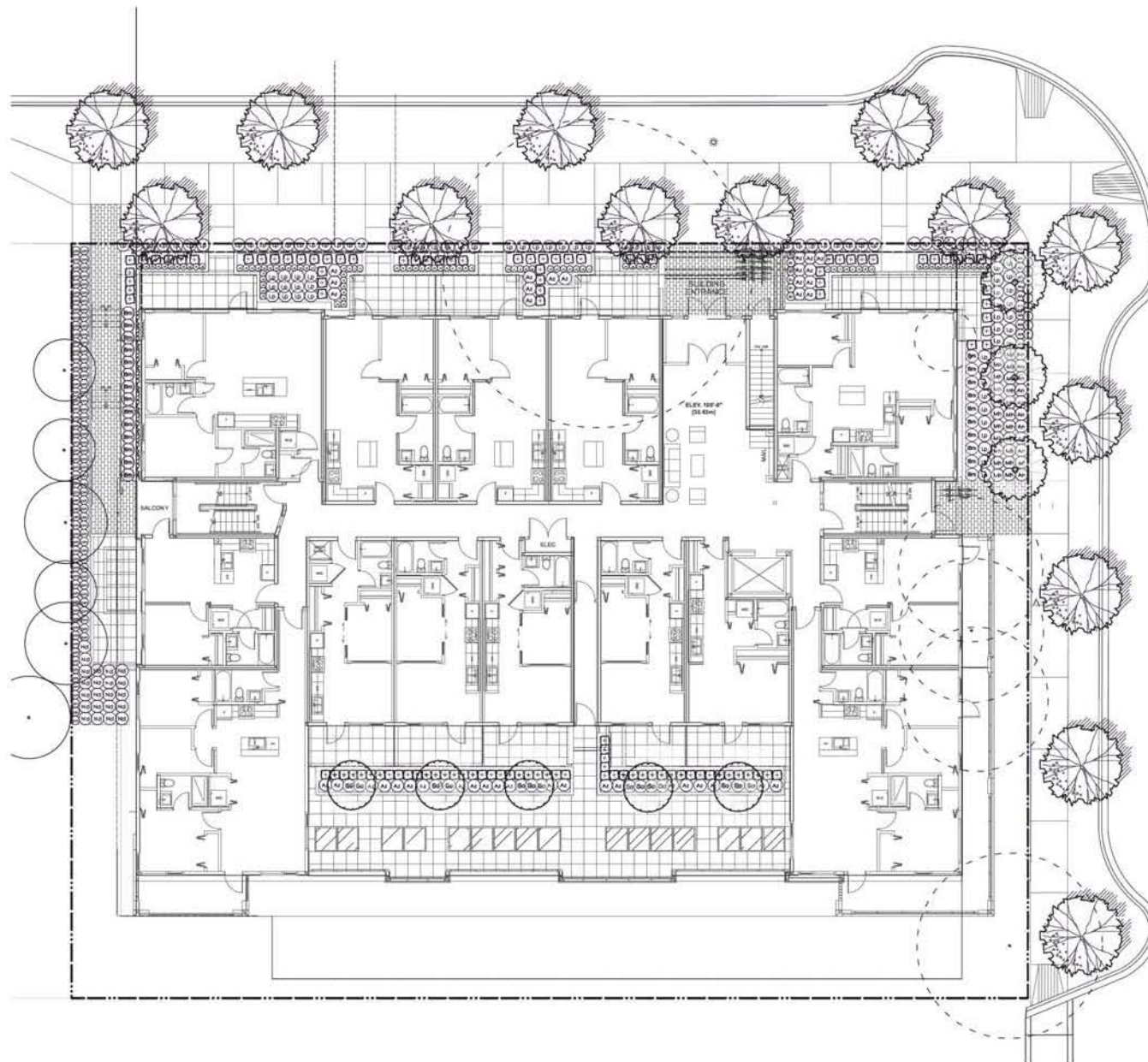
Drawing Title:

Level 1 Site Plan

Project No.:
21118

Sheet No.:

L-1.2



3. Max. 15, 2023 DP / Resuming Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 14, 2022 DP Submission
 No. Date Name

Revision:
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Project:
**275 East 2nd Street
 North Vancouver**

Draw by: AL
 Check by: SV
 Date: Aug 09 2022
 Scale: 1/8"=1' 0"
 Drawing Title:

**Level 1
 Planting Plan**

Project No.:
21118
 Sheet No.:

L-1.3



3	Max 15.2023	DP / Resolving Resubmission
2	Apr 04.2022	DP Resubmission
1	Feb 11.2022	DP Submission
Rev.	Date	Item

Revised:



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Project:

**275 East 2nd Street
North Vancouver**

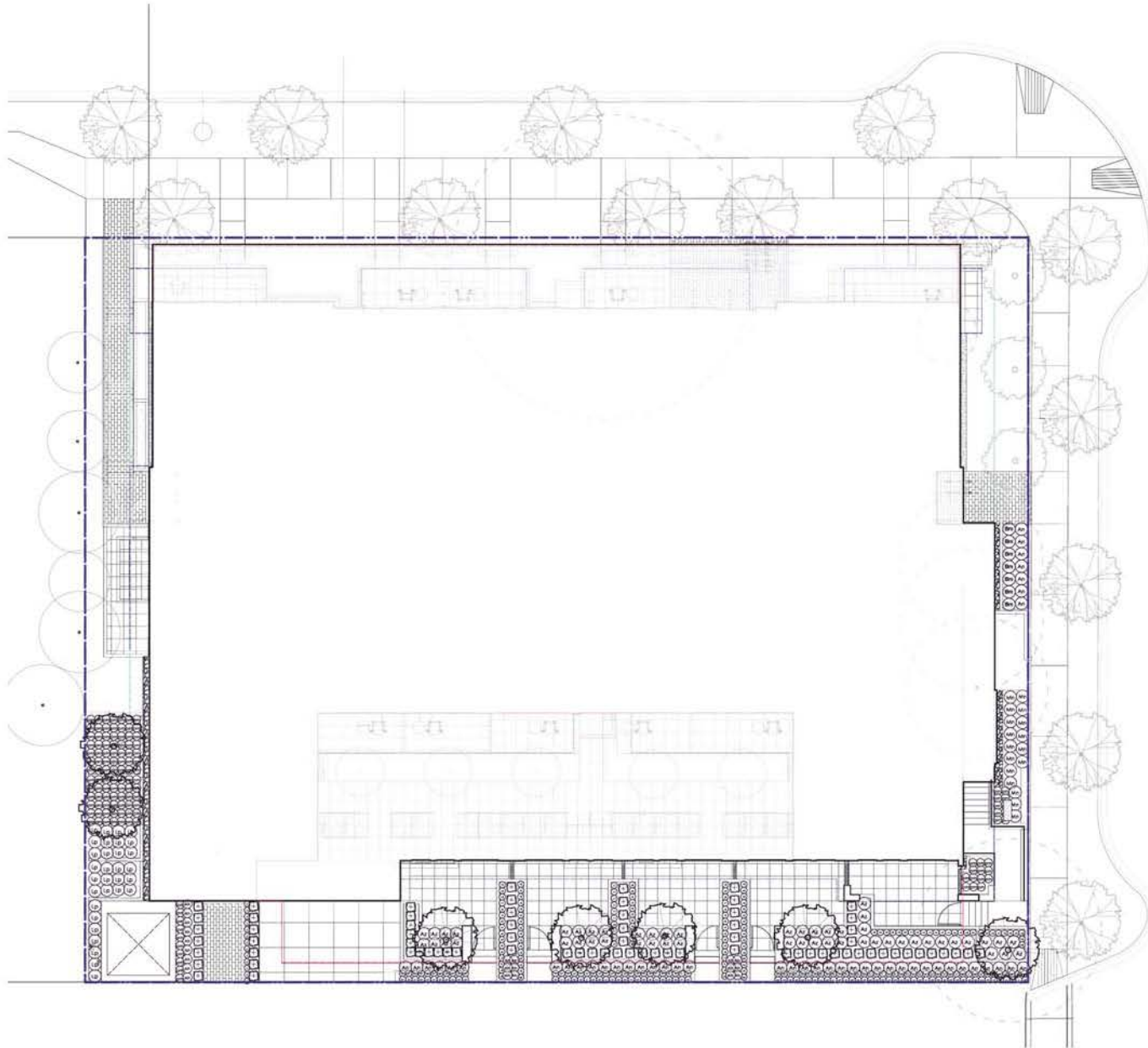
Draw by:	AL
Check by:	SV
Date:	Aug 09 2022
Scale:	1/8"=1' 0"
Drawing Title:	

**Lane Unit Lower Level
Material Plan**

Project No.:	21118
Sheet No.:	

L-1.4





3. Nov. 15, 2023 DP / Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 11, 2022 DP Submission
 No. Date Item
 Revision:

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Project:

**275 East 2nd Street
 North Vancouver**

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8" = 1' 0"

Drawing Title:

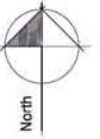
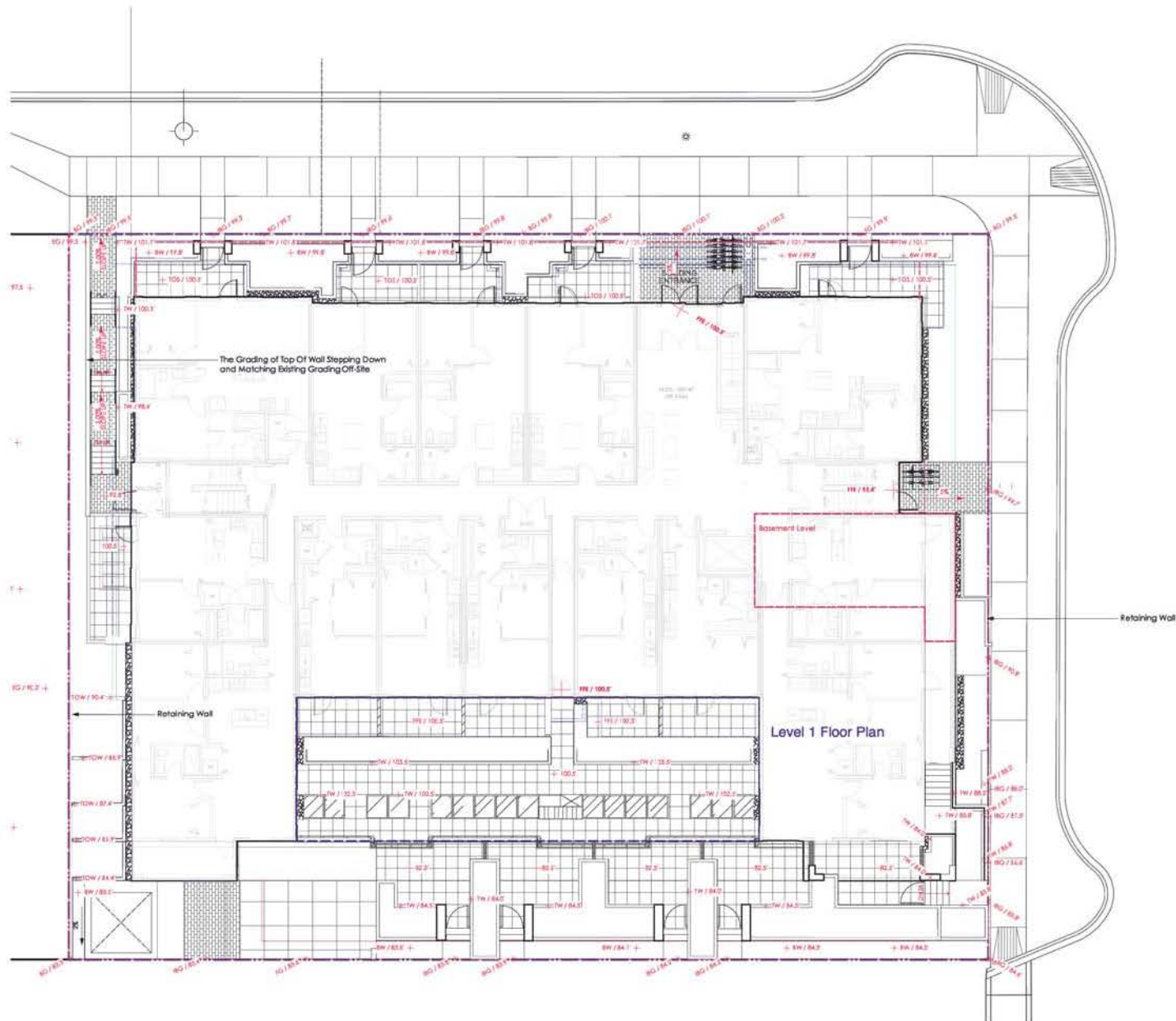
Lane Unit Lower Level

Planting Plan

Project No.:
21118

Sheet No.:

L-1.5



3. Max. 15, 2023 DP / Resuming Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 14, 2022 DP Submission
 N.C. Date Name

Revision:



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 F. 604.684.0877
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Project:

275 East 2nd Street
 North Vancouver

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8"=1' 0"

Drawing Title:

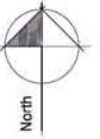
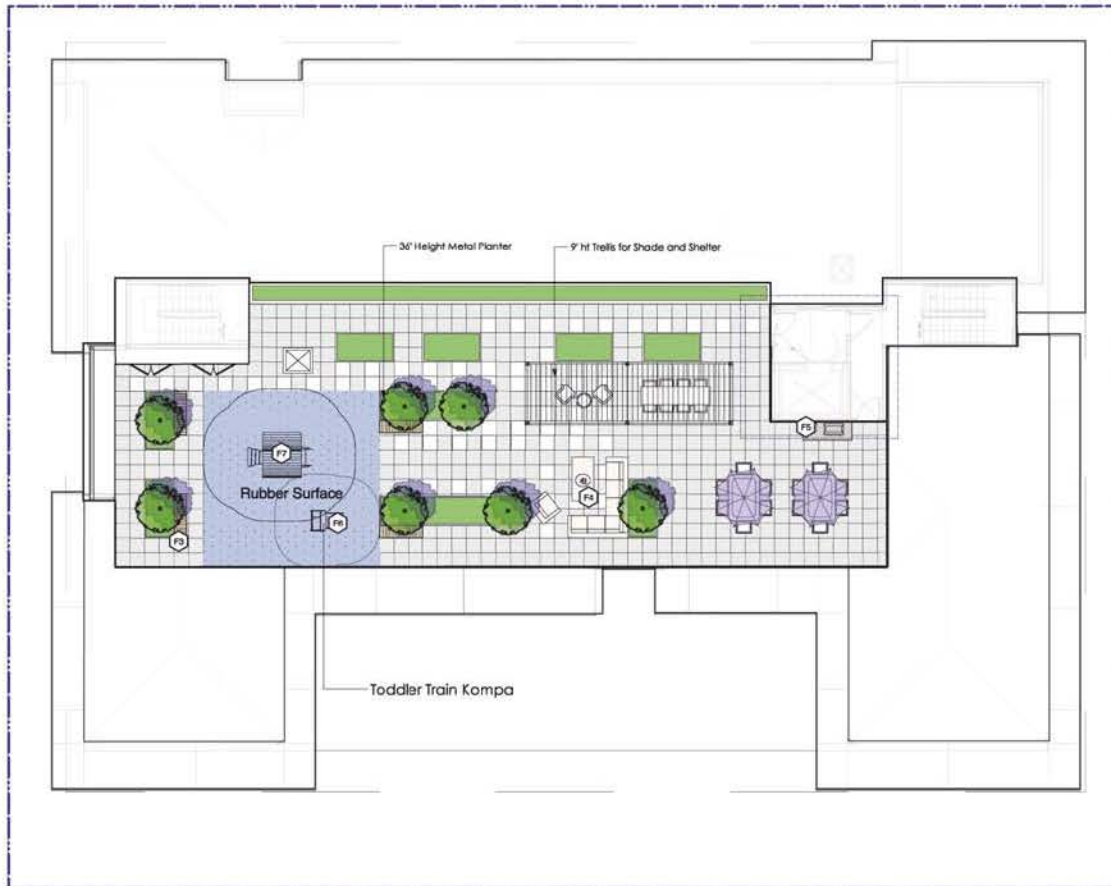
Grading Plan

Level 1 & Lane Unit Lower Level

Project No.:
 21118

Sheet No.:

L-1.6



3	Max 15, 2023	DP / Resuming Resubmission
2	Apr 04, 2022	DP Resubmission
1	Feb 11, 2022	DP Submission
Rev:	Date	Item

Revised:



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Project:

**275 East 2nd Street
North Vancouver**

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8"=1' 0"

Drawing Title:

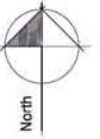
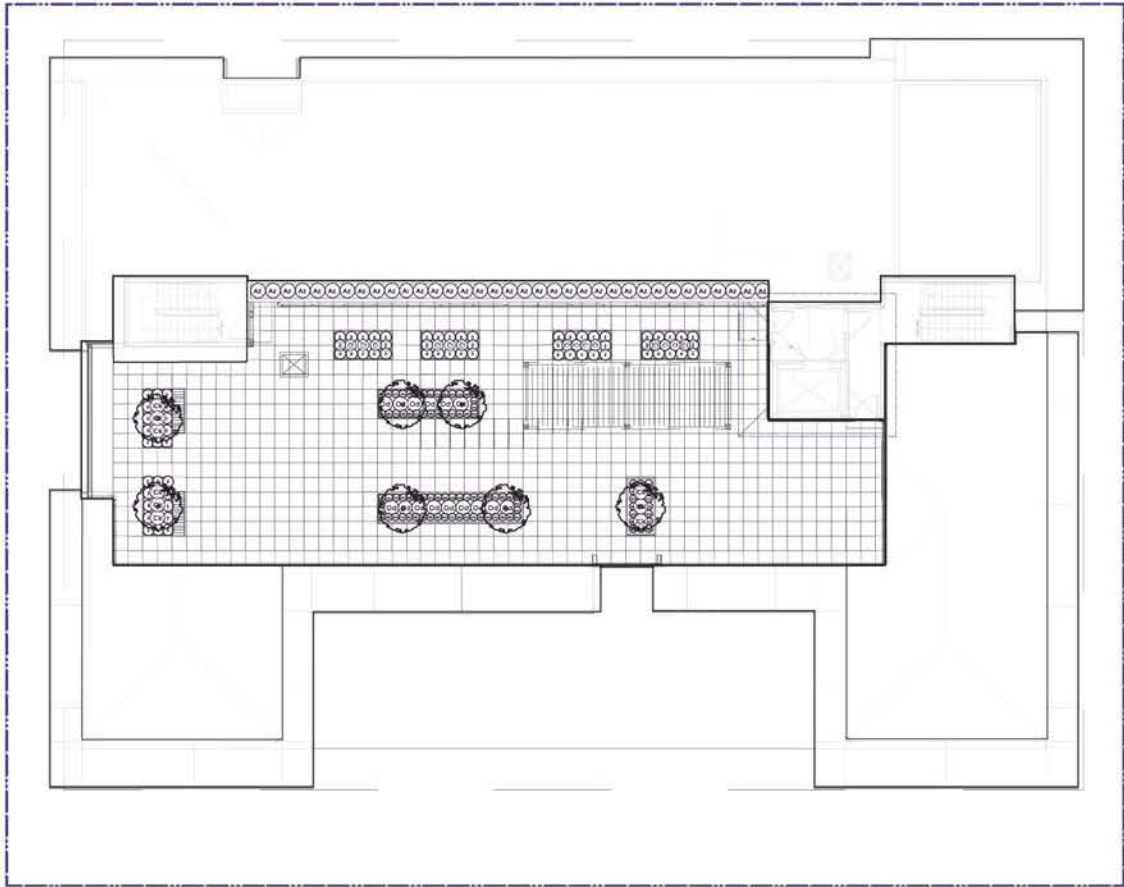
Rooftop Level-

Material Plan

Project No.:
21118

Sheet No.:

L-1.7



3	Max 15.2023	DP / Resolving Resubmission
2	Apr 04.2022	DP Resubmission
1	Feb 11.2022	DP Submission
Rev:	Date:	Item:

Revised:

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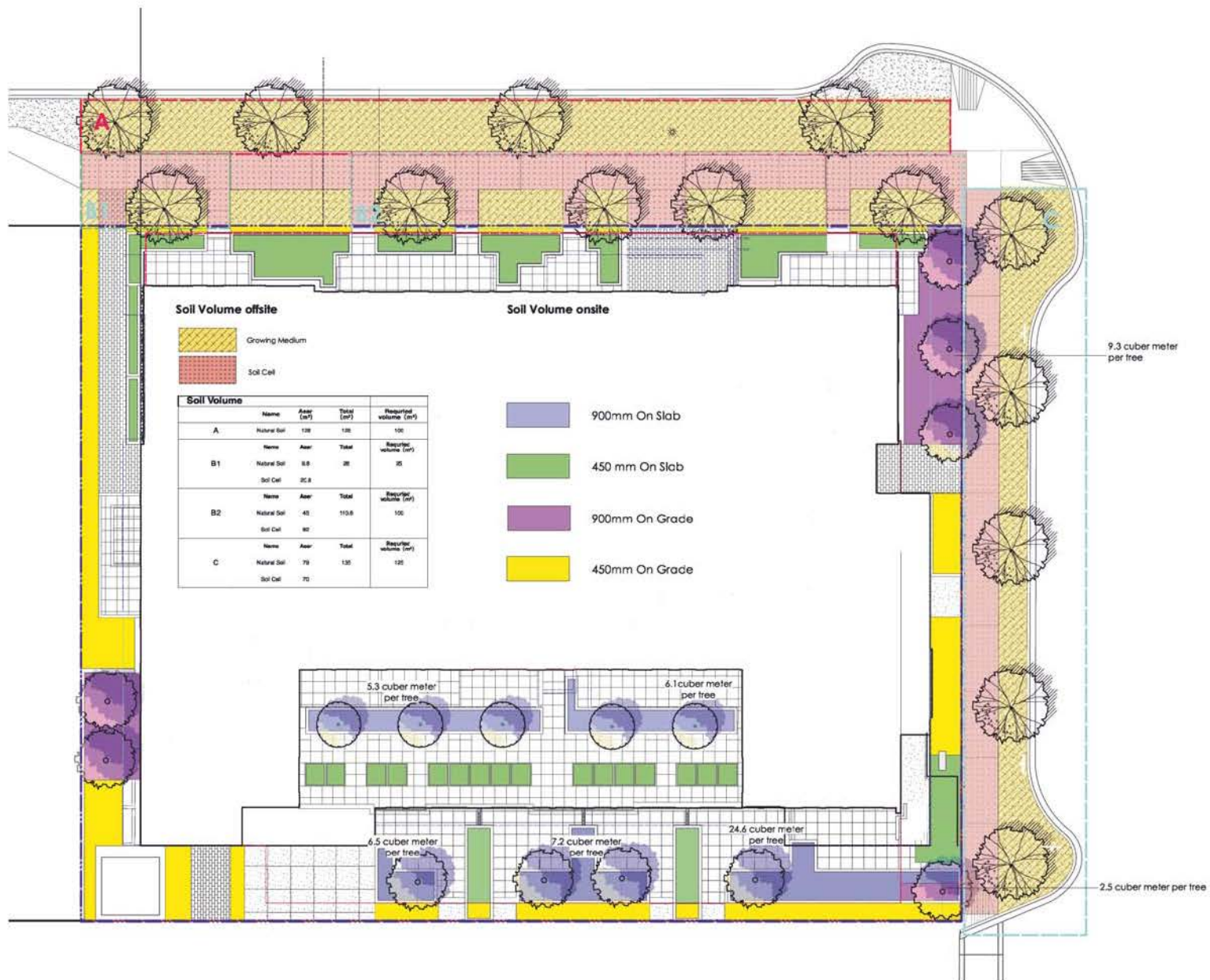
Project:

**275 East 2nd Street
North Vancouver**

Draw by:	AL
Check by:	SV
Date:	Aug 09 2022
Scale:	1/8"=1' 0"
Drawing Title:	

Project No.:	21118
Sheet No.:	

L-1.8



3. Max. 15, 2023 DP / Resuming Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 14, 2022 DP Submission
 No. Date Item

Revision:



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Project:

275 East 2nd Street
 North Vancouver

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8" = 1' 0"

Drawing Title:

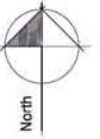
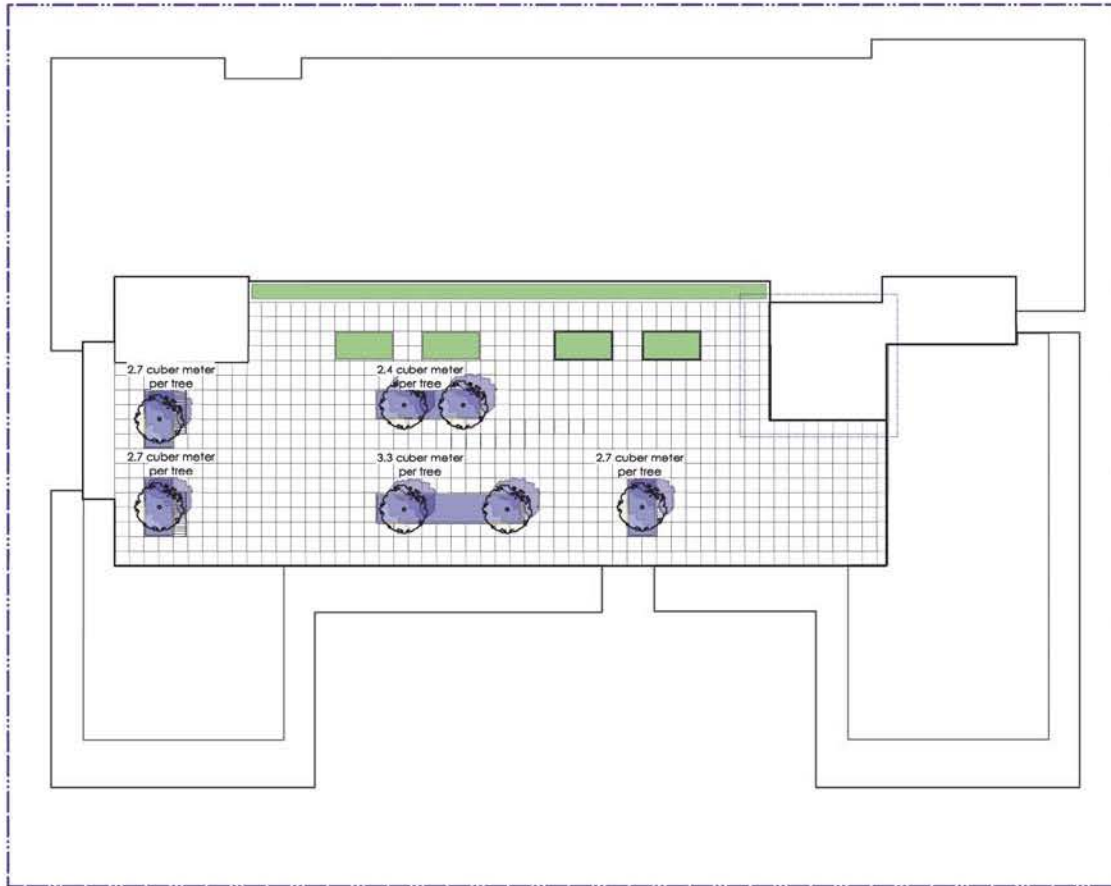
Soil Volume Plan

Level 1 & Lane Unit Lower Level

Project No.:
 21118

Sheet No.:

L-1.9



3. Max. 15, 2023 DP / Resolving Resubmission
 2. Apr. 04, 2022 DP Resubmission
 1. Feb. 11, 2022 DP Submission

Rev. No. Date Item

Revision:

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Project:

**275 East 2nd Street
 North Vancouver**

Draw by: AL

Check by: SV

Date: Aug 09 2022

Scale: 1/8"=1' 0"

Drawing Title:

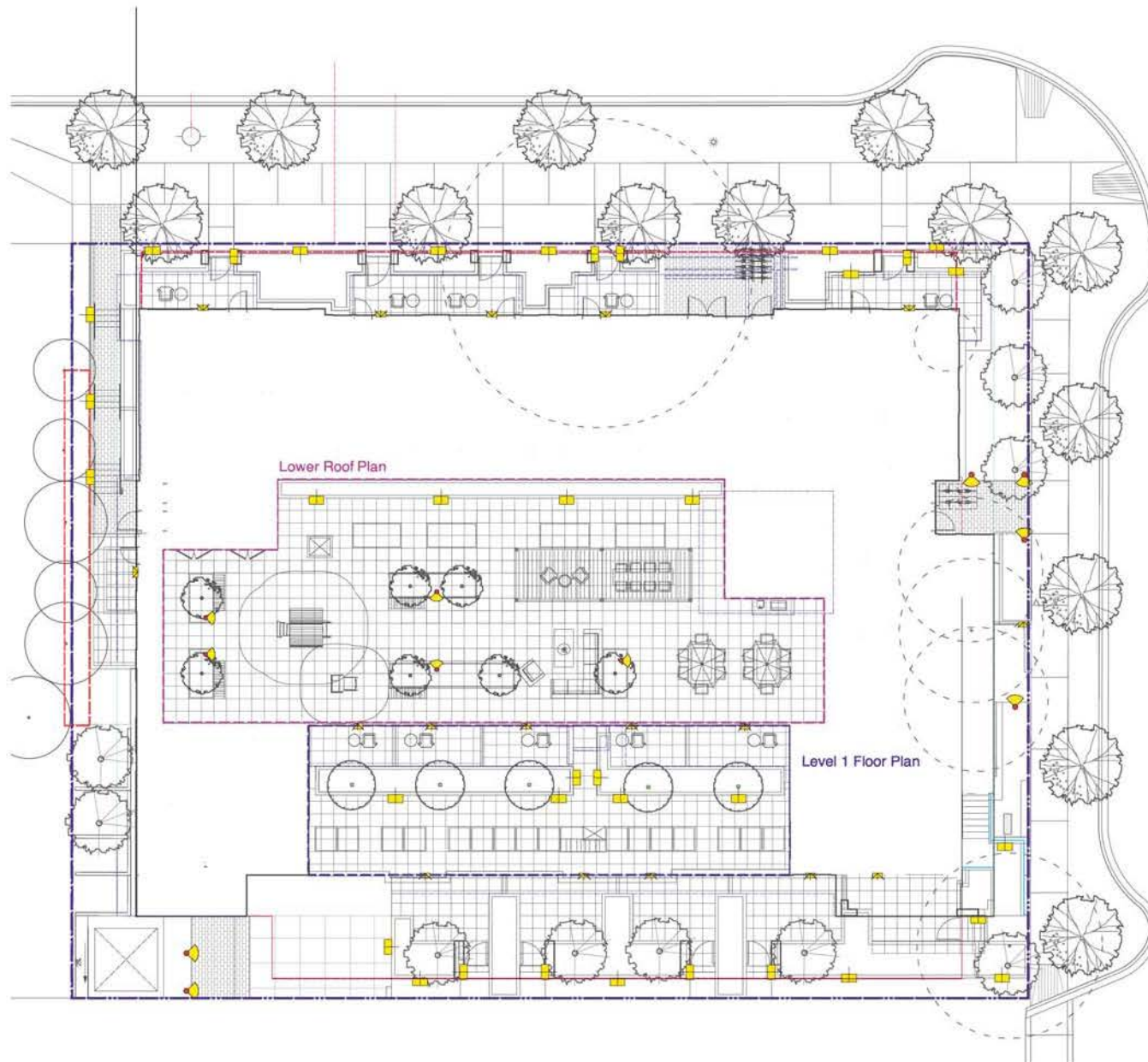
Soil Volume Plan

Rooftop Level

Project No.:
21118

Sheet No.:

L-1.10



3. Max. 15.2023 DP / Resolving Re-submission
 2. Apr. 04.2022 DP Re-submission
 1. Feb. 14.2022 DP Submission
 No.: _____ Date: _____ Name: _____
 Revision: _____

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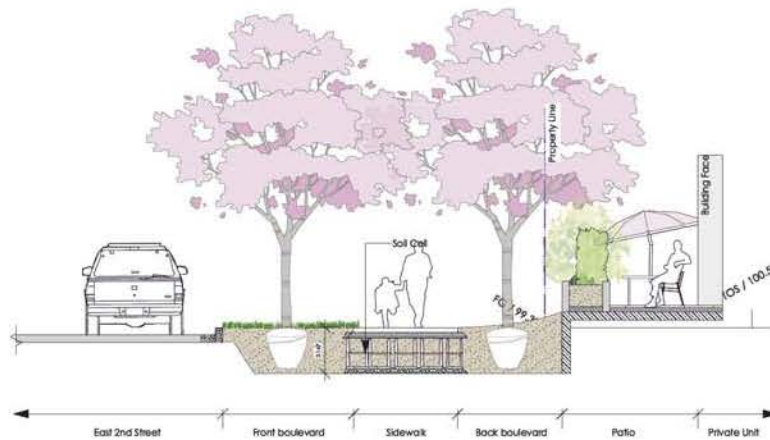
Project:
**275 East 2nd Street
 North Vancouver**

Draw by: AL
 Check by: SV
 Date: Aug 09 2022
 Scale: 1/8"=1' 0"
 Drawing Title:

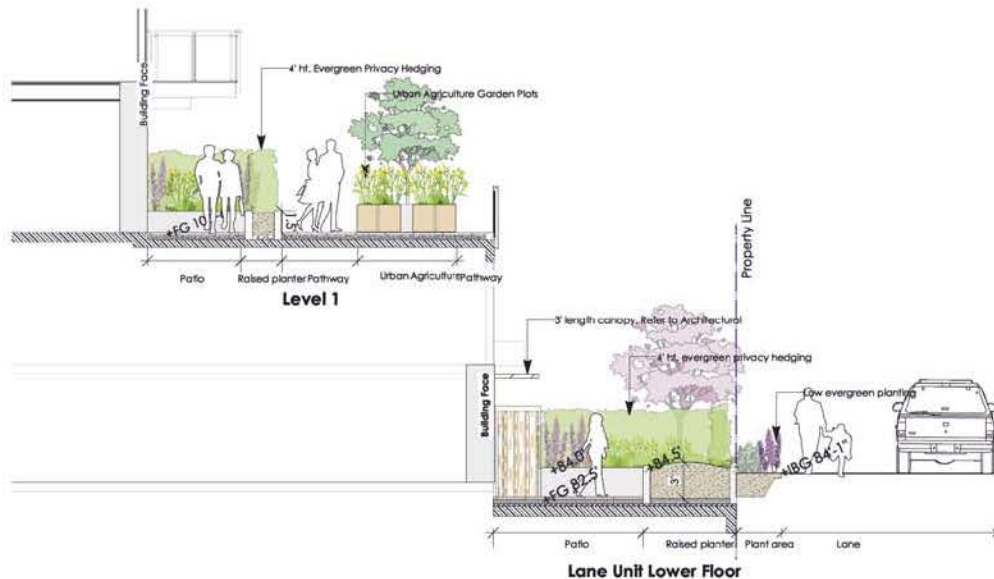
Soil Volume Plan
Rooftop Level

Project No.:
21118
 Sheet No.: _____

L-1.11



A Level 1 through private patio and east 2nd street
L1.1 Scale: 1/4" = 1'-0"



B Level 1 and lane unit lower floor
L1.1 Scale: 1/4" = 1'-0"

3. Max 15, 2023 DP / Resuming Resubmission
 2. Apr 04, 2022 DP / Resubmission
 1. Feb 14, 2022 DP / Submission
 No. 1 Date Item
 Revision:

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Project:
 275 East 2nd Street
 North Vancouver

Draw by: AL
 Check by: SV
 Date: Aug 09 2022
 Scale: 1/8" = 1' 0"
 Drawing Title:

Landscape Sections

Project No.:
 21118
 Sheet No.:

L-2.1

1. Do not cut free leader.
2. Protect tree from damage during planting. Ensure rootball protected from Sun, frost or Desiccation.
3. Ensure location does not conflict with Underground Services. "Call before digging".
4. All street trees to be staked with 2" x 4" x 8' long. Minimum depth of stake embedment is 3'. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on low pile centreline.
5. Provide min. 5 cubic metres of growing medium per tree.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



The diagram illustrates a cross-section of a typical expansion joint in a concrete slab. The joint is formed by a central gap filled with a compressible material, flanked by concrete slabs. The diagram includes several labels and dimensions:

- Top Left:** "CIP Concrete Notes: 1. Refer to plans for layout, type and finish. 2. Pedestrian surfaces only, refer to others for all vehicular surfaces. 3. Refer to structural reinforcing schedule."
- Top Center:** "Typical Expansion Joint 1/2" thick asphalt impregnated Reinforced metal w/ sealant recessed 1/8" below finished surface. Provide at minimum every 1.5m o.c. (unless otherwise indicated) and at all locations where CIP concrete paving abuts with walls or slabs."
- Top Right:** "4" CIP concrete on min. 6" road base (compacted to 95% MFD) on compacted subgrade."
- Bottom Left:** "Expansion Joints min O.C. typ. Control Joints 1.5m O.C. typ. As shown on Plan."
- Bottom Center:** "Isolated Control Joints: Provide at minimum every 1.5m o.c. (unless otherwise indicated)."
- Bottom Right:** "slopes to drain"

Diagram illustrating the spacing and height of plants in a raised garden bed. The bed is 18 inches high. The plants are spaced 12 inches apart. The plants are labeled "Scarified Indigo". The diagram also shows a 2-inch mulch circle around each plant and a 12-inch spacing between the plants.

2" Mulch on
min. 18" Growing Medium on
Filtercloth on
Light Weight Voiding (as required by
Structural) on
4" of 3/4" Clear Crush Drain Rock on
Architectural Roof Assembly

16"

Concrete planter wall as per
architecture (Refer to structural
for reinforcement schedule)

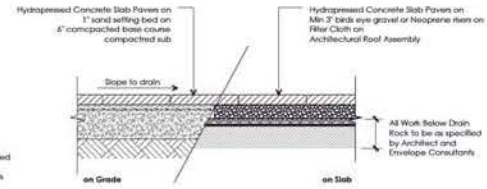
Secure fasteners to sides of
planter walls ensure min. 6" vertical
uplift

Provide 4" x 4" knockout
every 4' O.C. (typ)

All Work Below
Rock to be
by Architect
Envelope Contractor

Power Notes:

1. Install as per manufacturer's recommendations.
2. Cut all Powers as required to maintain pattern/layout as shown on Plans. All cut powers to be minimum 1/3 of total power size, silver cuts will be rejected.
3. All powers to be sawcut, no guillotine cuts will be accepted.

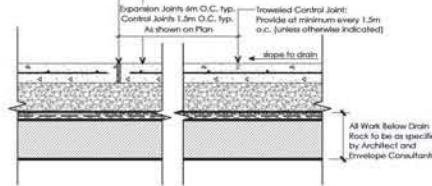


CIP Concrete Notes:

1. Refer to plans for layout, type and finish.
2. Reinforcing surfaces only, refer to others for all vehicular surfaces.
3. Refer to structural for reinforcing schedule.

Typical Expansion Joint: 1/2" x 9/16" galvanized precasted fibreglass material w/ sealant placed 1/8" below finished surface. Provide at minimum every 1.5m c/c, unless otherwise indicated and at all locations where CIP concrete paving abuts with walls or slabs.

4" CIP concrete on compacted road base (min. 6" road base [compacted to 95% MFD] on [depths vary according to sloping slab]) on



Product number: 40102

Category: Playscape & Themed Play

Animal type: *resounding the engine*

Age group: 3-6

Dimensions (LxWxH): 150 x 90 x 120 cm

Key view Group: 1-6

Play capacity (max.): 4

Colors options: 2/2

Technical drawings of the NR40R model, including side and front elevations, a perspective view, and a top-down view.

OWS 10-1454 A1-A2	Total CO ₂ emission kg/100kg	Clue/kg kg/100kg	Recycled materials %
HW0408-1022	375.30	0.28	1.83

3	Mar. 15, 2023	DP / Resourcing Resubmission
2	Apr. 06, 2022	DP Resubmission
1	Feb. 15, 2022	DP Submission
no.:	date:	item:

1

Project:

275

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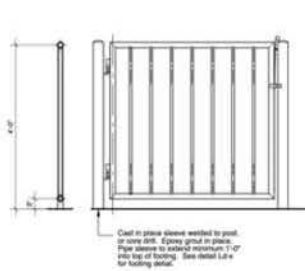
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Scale _____

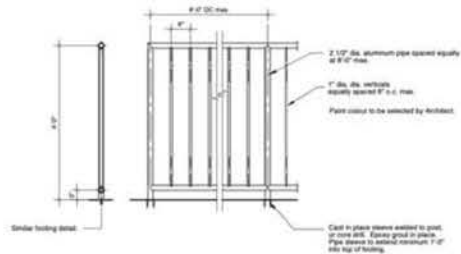
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2111

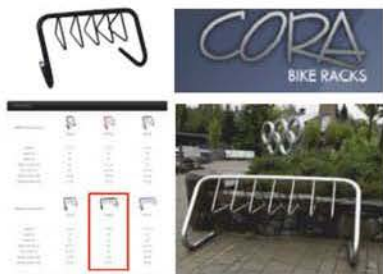
Sheet No.



1 Typical Aluminum Gate
L 1.1 Scale: 1" = 1'-0"



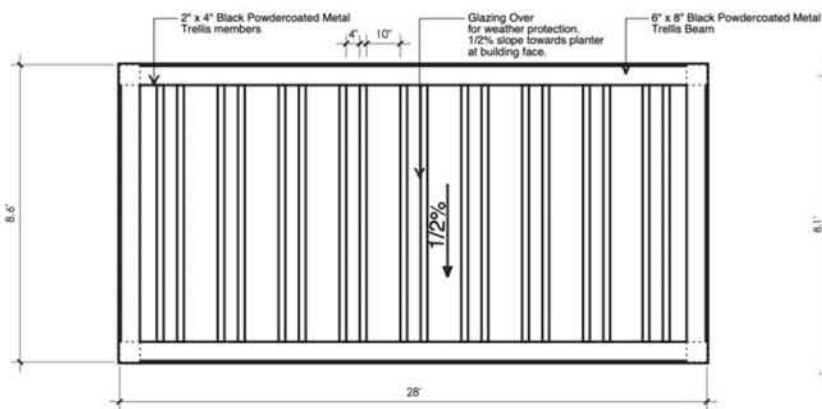
2 Typical Aluminum Fence
L 1.1 Scale: 1" = 1'-0"



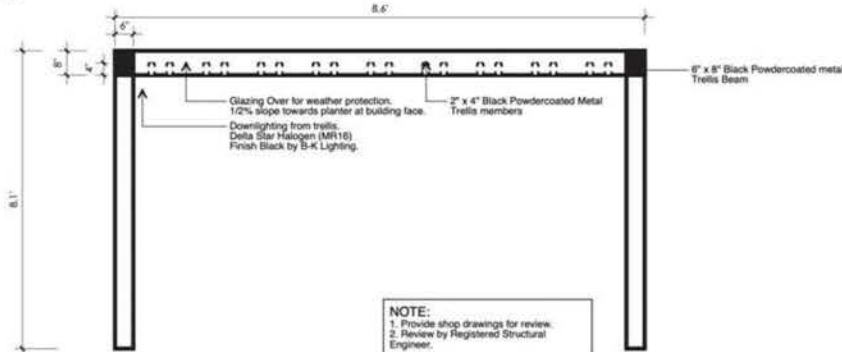
4 W5808 Bike Racks at Main Entrance
L 1.1 Not to Scale



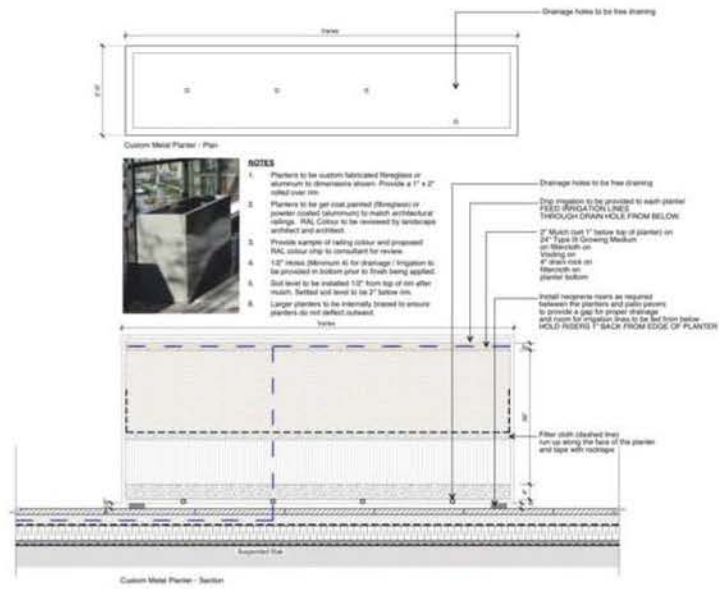
5 MBE-1050-00048 Bench
L 1.1 Not to Scale



6 Treillis On Rooftop Level - On Slab
L 1.1 Scale: 1" = 1'-0"



NOTE:
1. Provide shop drawings for review.
2. Review by Registered Structural Engineer.



3 Metal Planter Rooftop Level
L 1.1 Scale: 1" = 1'-0"

3. Max 15,2023 DP / Resourcing Resubmission
2. Apr 04, 2022 DP Resubmission
1. Feb 14, 2022 DP Submission
Rev: 1 Date: 11/11/2022
Revision: 1
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Project:
275 East 2nd Street
North Vancouver

Draw by: AL
Check by: SV
Date: Aug 09 2022
Scale: 1/8"=1' 0"
Drawing Title:

Landscape Details

Project No.:
21118
Sheet No.:

L-3.2



ADVISORY DESIGN PANEL
CITY OF NORTH VANCOUVER
141 WEST 14TH STREET
NORTH VANCOUVER
BC / CANADA / V7M 1H9

T 604 985 7761
F 604 985 9417
INFO@CNV.ORG
CNV.ORG

July 12, 2022

VIA EMAIL: bsavage@threeshores.ca

Barry Savage
Three Shores Development
38 Fell Avenue Unit 400
North Vancouver, BC V7P 3S2

Dear Mr. Savage:

Re: 275 East 2nd Street (Rezoning Application)

This will confirm that at their meeting on June 15, 2022, the Advisory Design Panel reviewed the above submission and endorsed the following resolution:

“THAT the Advisory Design Panel has reviewed the rezoning application for 275 East 2nd Street and recommends approval subject to addressing the following issues to the satisfaction of the Development Planner:

- Further review and analysis of wayfinding to the rear units;
- Further design development for laneway privacy and screening concerns;
- Review the possibility of a children’s play area within the rooftop amenity space;
- Further review of the potential for amenity connections to the rooftop space;
- Review materials relative to the use of cementitious panel percentage on the exterior;
- Further design development to consider variety in material uses relative to the massing articulation; and
- Design development and review of the entry way scale, massing and material selection choices.

AND THAT the Panel wishes to thank the applicant for their presentation.”

The recommendations of the Advisory Design Panel pertain only to site-specific design and site planning considerations and do not, in any way, represent Council and staff approval or rejection of this project.

Yours truly,

T. Huckell
Committee Clerk-Secretary

Cc: M. Menzel, Planner 2, Planning and Development
B. van der Heijden, Planner 1, Planning and Development
R. Leitch, Integra Architecture
S. Vincent, Durante Kreuk Landscape Architecture

275 East 2nd St, North Vancouver Rezoning Application – Three Shores – Developer Information Session Summary Report

Event Date: Wednesday, June 1st, 2022

Time: 6:00PM – 7:30PM

Location: Online Zoom Webinar

Attendance: 12 members of the public attended virtually.
The Three Shores team was in attendance, as was a representative of the City of North Vancouver Planning Department.

Comments: 4 comment forms and 0 emails were submitted before and/or following the DIS.

Meeting Purpose:

- 1) To present development application materials to the community
- 2) To provide an opportunity for the community to ask questions about the development
- 3) To provide an opportunity for the community to comment on the proposal

Notification:

In accordance with City of North Vancouver policies:

Invitation Flyers

DIS Invitation flyers were delivered to 262 addresses within a 40m radius of the site, provided by the City of North Vancouver. Appendix A: Notification includes a copy of this material.

Newspaper Ad

A DIS newspaper ad was placed in the North Shore News on May 18th, May 25th and June 1st, 2022. A copy of the ads is included in Appendix A: Notification.

Notification Sign

Two DIS notification sign was erected on the site. Photos of the installed site signs are included in Appendix A: Notification.

Attendance:

12 members of the public signed in for the virtual meeting. A copy of the attendee list is included in Appendix B: Attendee List.

The following City staff and project team members were in attendance:

City of North Vancouver:

- Bram van der Heijden, Planner

Project Team:

- Barry Savage, Three Shores, Developer
- Stephen Vincent, DKL, Landscape Architect

- Mladen Pecanac, IBI Group, Transportation Consultant
- Rhys Leitch, Integra Architecture Inc, Architect

Facilitators:

- Katrina May, Katrina May Consulting
- Charles Pan, Assistant

Overview:

In accordance with the City of North Vancouver’s COVID-19 state of emergency community consultation guidelines, the DIS meeting was held in an online Virtual Developer Information Session format. Meeting participants watched a PowerPoint presentation and a virtual 3D “fly-through” video by members of the Three Shores project team.

Participants were invited to use the Zoom Webinar Q&A function to ask questions or submit comments during the DIS, which were addressed at the end of the presentation during the Question & Answer period. The facilitator read all questions received aloud and directed questions to the appropriate project team member to respond verbally for all participants to hear. Answers were transcribed by the facilitator and posted for all to see.

The project presentation and facilitated Question & Answer period took approximately 60 minutes. The facilitators received several questions and comments about the project and recorded them for inclusion in this summary report, attached as a separate Appendix C: Public Dialogue.

Participants were invited to submit written comments (using the City’s standard comment form or via email) to the applicant and/or the municipal development planner, following the DIS. Four (4) comment forms and zero (0) emails were submitted before or after the DIS.

The key themes of the questions during the Developer Information Session related to the height of the building and why it was being proposed at five storeys instead of the permitted six storeys. The applicant explained that the permitted density on the site is still being maximized in the five-storey form resulting in a slightly lower and wider building. Several attendees supported the project for providing rental housing and commented on the need for more rental in the City of North Vancouver. Questions arose on the type of units being proposed (such as ground-oriented townhome style units) and how many bedrooms they would have, as well what the rents would be at time of occupancy.

Many questions arose on the theme of sustainability, such as whether the applicant had considered low-carbon concrete for use in the parkade and podium, solar panels on a portion of the roof, a deconstruction plan that would involve repurposing materials, as well as targeting Passive House certification or equivalent. There was support for the fact that the project is mostly wood-framed construction. There was the suggestion made to retain the mature trees on the lot. The applicant noted that the project was meeting Step Code 3, as well as the municipal requirement of connecting to the district heat network.

Comment Sheet and Email Summary:

Participants were invited to submit comments during a 7-day response period after the DIS meeting. Four comment forms and zero emails were submitted before or after the DIS. Three of the responses were in support and one was opposed to the proposed project. These are submitted as a separate Appendix D: Public Comments.

Those in favour of the project noted support for the building design, including the use of wood framed construction and the roof top patio. There was support for the addition of new rental housing with the suggestion made to add more units. One respondent noted several suggestions for incorporating more consideration for the climate, including the use of low carbon cement, solar panels for energy, researching de-construction companies such as 'Unbuilders', and building to the Passive House standard.

Those opposed to the project noted the removal of trees was a concern as well as the use of vertical stripes, which make the building appear taller. The suggestion was made to use another colour for the accents other than grey, and to consider using non-grass landscaping options. The suggestion was made to talk with 'HUB' to ensure well-designed bicycle parking with e-bike charging and cargo bike capacity would be implemented.

Conclusion:

The purpose of this online Virtual Developer Information Session was to present to the community the proposed rezoning application and the development concept, and to provide attendees with an opportunity to ask clarifying questions and comment on the proposal. 262 DIS notification flyers were distributed by mail to the surrounding community, and four community members signed into the DIS. Three newspaper ads notified the community of the DIS, and two DIS notification signs were posted on the property. A total of four comment forms and zero e-mails were submitted.

Members of the public could participate in this consultation process in three ways:

- Watching a virtual project presentation during the DIS, including a 3D virtual "fly-through" video
- Asking questions of the project team and/or City Planner during the DIS
- Submitting written comments after the DIS

The DIS meeting length and format was sufficient to provide all participants an opportunity to learn more about the proposed project, ask questions, and make any comments they wished to provide that evening. Participants asked the development team and City Planner a variety of specific questions, mostly related to building height, the need for more rental housing, and suggestions to make the building more sustainable.

Appendix A: Notification

Newspaper Advertisement: North Shore News, Wednesday, May 18th, 2022

A36 | SPORTS WEDNESDAY, MAY 18, 2022

north shore news nshnews.com

Reduce the appearance of wrinkles up to 68%



WRINKLE AND FROWN LINE CREAM:

- For women & men of all ages and skintypes
- Reduces the look of wrinkle depth up to 68%
- 5 creams in one: A wrinkle cream, day cream, night cream, moisturizer, & make-up base

Available in London Drugs stores or order online at londondrugs.com Search for 'Wrinkle and Frown Line Cream'

Wrinkle and Frown Line Cream

urist cosmetics incorporated

Member's Special
SAVE \$10
Only \$39.99

LONDON DRUGS



Players get in on the action at the 2019 North Shore high school all-star basketball game held at Capilano University. The game is back this year after taking a COVID-19 break. nshnews.com

VIRTUAL DEVELOPER'S INFORMATION SESSION

Three Shores Management has submitted a rezoning application to the City of North Vancouver for 275 East 2nd Street to support the development of a five storey rental residential building consisting of 79 rental units. Interested members of the public are invited to attend a Virtual Developer's Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate:
Please register in advance at:
www.275east2nd.com or
contact the applicant.

Applicant Contact
Barry Savage
Three Shores Management
e: b.savage@threeshores.ca
t: 778-366-2367

Date & Time:
Wednesday June 1, 2022
6:00 PM - 6:15 PM - Presentation
6:15 PM - 7:30 PM - Q & A

City of North Vancouver Contact
Bram van der Heijden
Development Planning
e: bheijden@cnv.org
t: 604-982-3995



This meeting is required by the City of North Vancouver as part of the rezoning process.

North Shore high school all-star basketball game returns to CapU

ANDY PREST
nshnews.com

A fun North Shore sporting tradition is firing back up after taking a COVID-19 break.

The girls and boys North Shore high school all-star basketball games will be held tonight at the Capilano University Centre for Sport and Wellness, featuring the best senior players from schools in North Vancouver, West Vancouver, Squamish and Whistler.

The girls game will tip off at 6 p.m., with the boys to follow at 8 p.m. Spectators are welcome to attend, and both games will also be streamed on the Capilano University Blues YouTube channel. Here are the rosters for the four participating teams:

Girls Team X – Head coach: Morgan McLaughlin

Players: Emily Cross, Carson Graham; Jessica Day, Carson Graham; Georgia Gemmell, Carson Graham; Annie Kulisek, Carson Graham; Halle Anderson, Collingwood; Claire Ambrozic, Handsworth; Piper Gunn Savjard, Howe Sound; Anna Gavin, Sentinel; Chloe Bradshaw, Seycove; Esther Bradshaw, Seycove; Dunica Dorey-Havens, Seycove; Tannaz Javid, Sutherland; Gabby Panzetta, St. Thomas Aquinas; Alex Paul, Windsor

Girls Team Y – Head coach: Claude Leduc

Players: Brachi Adrian, Argyle; Natalie Francis, Argyle; Kiana Shabazi, Collingwood; Reese Tam, Collingwood; Siobhan Heritage, Handsworth; Mira Pascuzzi, Howe Sound; Eva Ruse, Mulgrave; Jenna Talib, Mulgrave; Ava Wilson, Mulgrave; Lucy Xi, Mulgrave; Sophia Ahern, West Vancouver; Ashley Chio, West Vancouver; Giorgia Zen, West Vancouver; Audrey Baker, Windsor; Jade Watson, Windsor

Boys Team X – Head coach: Sam Pankiw

Players: Jacob Bassam, Argyle; Ben Nicholson, Argyle; Sam Simser, Carson Graham; Tanner Jackson, Collingwood; Tate Christiansen, Handsworth; Travis MacKay, Handsworth; Kaiden Talib, Mulgrave; Ali Talib, Mulgrave; Jordan Zadiks, St. Thomas Aquinas; Bernardo Illoz, Windsor; Jordan Doronilla, Whistler; Jack Lestranger, Whistler

Boys Team Y – Head coaches: Marco Fong and Krista Wood

Players: Carter Andrade, Carson Graham; Owen Ostler, Carson Graham; Nic Wilson, Collingwood; Maury Gonspe, Handsworth; Matthys Van Bylandt, Handsworth; Griffin Bibbings, Rockridge; Leo Butsuglin, Sentinel; Shahriar Alshar, Sentinel; Cooper Lauzon, Sutherland; Nate Gouglass, West Vancouver; Aubrey Dorey-Havens, Windsor; Adam Murray, Windsor

BE A PART OF SUMMER #AtTheNat

HOMESTAND CONTINUES THRU SUNDAY!

VS LOS ANGELES ANGELS AFFILIATE TRI-CITY DUST DEVILS

THIS WEEK

WED, MAY 18
@ 7:05pm
WE CAN WEDNESDAY
Presented by BCC
Supporting Bkg Sectors

THU, MAY 19
@ 7:05pm
THROWBACK THURSDAY

FRI, MAY 20
@ 1:05pm
'NOONER AT THE NAT
Presented by Fortis BC

SAT, MAY 21
@ 1:05pm
SATURDAY 'NAT-IN-EH + TRAVEL MUG GIVEAWAY
Presented by Vancouver Coffee

SUN, MAY 22
@ 1:05pm
AGW FAMILY FUN SUNDAY + AUTOGRAPH BOOK GIVEAWAY
First 1000 Kids 12 & Under

SCAN FOR TICKETS!

TICKETS: 604.872.5232 on CANADIANSBASEBALL.COM [Facebook](https://www.facebook.com/vancouvercanadians) [Instagram](https://www.instagram.com/vancouvercanadians) [TikTok](https://www.tiktok.com/@vancouvercanadians) #AtTheNat





Newspaper Advertisement: North Shore News, Wednesday May 23rd, 2022

north shore news | tsnnews.com

WEDNESDAY, MAY 25, 2022 COMMUNITY | A39

West Van student researches land acknowledgments in classrooms

CHARLIE CAREY

Local Journalism Initiative Reporter | charlie@tsnnews.com

After her teacher admittedly made a “blunder” during a land acknowledgment in the first day of class, an École Sentinel Secondary student decided to use that moment as a launch pad to look into the effectiveness of the practice in high school classrooms.

Sierra Lee, who graduates in June from the West Vancouver school, said the moment led her to choose the practice as the topic for her research capstone project and see whether they are accomplishing their intended purpose.

“I saw the need for a project like this, given that we see land acknowledgments included in many settler institutions and [they] are becoming increasingly popular. So, that’s why I definitely saw the need to do more research on this,” she said.

Her teacher, Christian Obek, said not confidently knowing the First Nations territories on whose unceded land Sentinel resides, and being fearful of mispronouncing the Nations, led to Lee asking a “fascinating” research question, one which has now moved him to take a more deliberate approach to land acknowledgments in the classroom.

“Now, I have come full circle, and I now have a screenshot of the land acknowledgment on my computer, if I ever forget – hopefully it’ll be ingrained in memory very soon,” Obek said.

Lee said while on her own personal



Sierra Lee, who graduates from École Sentinel Secondary in June, has used her AP Research Capstone project to look into the effectiveness of land acknowledgments in classrooms. @SANHOUSE/INSTAGRAM

journey of understanding Indigenous issues and decolonization, and her recent involvement with the North Shore Restorative Justice Society, she recognizes that it is an important step towards reconciliation, she also noted they are often read from the same or similar scripts.

“There’s always been a thought at the back of my head that has wondered if, because they’re typically delivered from the same script ... if they really have the meaning that they intend to have,” she said.

Surveying a North Vancouver high school Grade 9 class that has had frequent exposure to acknowledgments through class projects and school practices, her research question of, “To what extent can the adoption of land acknowledgment practices in a BC high school encourage meaningful reflection and action among students around Indigenous presence and ways of knowing and being,

and reconciliation?” was met with some surprising results, Lee said.

After analyzing the results of her survey, Lee found there were four main takeaways, one being that students felt the practice allowed them to express feelings of gratitude, respect and appreciation for Indigenous peoples.

“A lot of them mentioned that, because of land acknowledgments at their school, they were able to recognize the privilege they have as a settler who resides on Indigenous territory,” she explained. “And another thing they really appreciated about land acknowledgments was that they considered them to be an important educational tool for them.”

Lee said there were a few students who noted that prior to participating in land acknowledgments, they didn’t know they resided on unceded territories. However, in conjunction with the findings about the effectiveness of the practice, Lee also found out that students are craving more – more knowledge and more actionable things that can be done to further reconciliation.

Students identified this lack of education beyond land acknowledgments, and that kind of hinders them from taking these additional steps to support reconciliation efforts or [to] decolonize themselves. And a lot of them emphasize the importance of further education centered around Indigenous issues to actually make land acknowledgment practices more purposeful.

“For example, 80.8 per cent of the students I surveyed actually disagreed or

strongly disagreed that land acknowledgments are enough to achieve reconciliation with Indigenous peoples. It’s clear that they recognize that there is this need for further action beyond land acknowledgments.”

Lee said she was expecting most students to believe land acknowledgments lacked meaning but was pleasantly surprised to see a mixture of both perspectives, saying, “Although that was true to an extent, it can also be a very important practice to include in schools in order to educate students and allow them to further educate themselves and take additional steps beyond acknowledgment ... and also do more to support reconciliation efforts.” However, Lee said none of the students surveyed that day were Indigenous, and noted that the results do not speak for Indigenous people’s feelings toward the practice.

Obek said Lee’s research project has given him the necessary push forward that he needed as a classroom teacher to consistently and regularly address land acknowledgments. “I just think there’s such a neat paradigm shift with the teachers sitting back and the students [taking the lead],” he said. “I hope to give them the tools, and often, particularly in Sierra’s case, she brings back the gold, and I just sit back and listen and am amazed at what she teaches the teacher.”

Charlie Carey is the News’ Indigenous and civic affairs reporter. This reporting beat is made possible by the Local Journalism Initiative.

VIRTUAL DEVELOPER’S INFORMATION SESSION

Three Shores Management has submitted a rezoning application to the City of North Vancouver for 275 East 2nd Street to support the development of a five storey rental residential building consisting of 79 rental units. Interested members of the public are invited to attend a Virtual Developer’s Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate:
Please register in advance at:
www.275east2nd.com or
contact the applicant.

Applicant Contact
Barry Savage
Three Shores Management
e: bsavage@threeshores.ca
t: 778-366-2367

Date & Time:
Wednesday June 1, 2022
6:00 PM - 6:15 PM - Presentation
6:15 PM - 7:30 PM - Q & A

City of North Vancouver Contact
Bram van der Heijden
Development Planning
e: bheijden@cnv.org
t: 604-982-3995



This meeting is required by the City of North Vancouver as part of the rezoning process.



PUBLIC NOTICE

Regular Council Meeting

Monday, May 30, 2022 at 6:00pm

Zoning Amendment Bylaw No. 8917 for 639 East 4th Street

View the meeting online at cnv.org/LiveStreaming
Or attend in person at City Hall, 141 West 14th Street

Proposal: To rezone the subject property from a Two-Unit Residential 1 (RT-1) Zone to a Comprehensive Development 751 (CD-751) Zone to allow for the stratification of the existing buildings by permitting two Principal Buildings on the site.

To provide written input: All persons who believe their interest in property may be affected by the proposed bylaw will be afforded an opportunity to be heard by written or email submission. All submissions must include your name and address and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, no later than 12:00 noon on Monday, May 30, 2022, to ensure their availability to Council at the meeting. No Public Hearing will be held.

To view the meeting online: Visit cnv.org/LiveStreaming

To attend the meeting in person: Enter City Hall through the doors at the southwest corner of the building after 5:30pm.

To view the documents: The proposed bylaw and background material can be viewed online at cnv.org/PublicHearings and at City Hall.

Questions? Matthew Menzel, Planner, mmenzel@cnv.org / 604-982-8337



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T: 604 985 7751 / F: 604 985 9417 / CNV.ORG



Newspaper Advertisement: North Shore News, Wednesday June 1st, 2022

A40 | ARTS & LIFE WEDNESDAY, JUNE 1, 2022

north shore news /JSP/NEWS.COM

GARDEN TO TABLE

Sweet and savoury organic beets simply can't be beat

LAURA MARIE NEUBERT
Contributing writer

Growing, preparing and preserving organic sweet and savoury beets is one of my favourite garden-to-table traditions. Now is the time (finally) to get started, from seed or from seedlings. Garden centres are chockablock full.

Beets are a polarizing vegetable – you either love them or you don't. My family loves the sweet yet savoury, unmani earthiness of beets that comes from geosmin, an organic compound produced by soil microbes. The healthier the soil, the happier the microbes.

Gorgeous red, golden, candy stripe, even white beets are super easy to grow just about anywhere, and they don't attract pests and disease as easily as brassicas or carrots. Beets help loosen and aerate soil, and improve fertility.

Beets are resilient, winter-hardy, relatively slow growing and can be consumed at all stages of growth, including as microgreens. If you invest in growing and maintaining good soil biology, beets can be a mega storehouse of fibre, antioxidants, and beneficial macro and micro nutrients.

But beets can take up soil-borne

heavy metals, pesticides and toxic chemicals into root and leaf tissue, and those poisons can be transferred to humans. It is important then to know where your produce comes from and how it is grown. Better yet, grow your own in a pot, planter, bucket or bed.

I'm planting several varieties now in a single 484-foot no-dig bed, but also intercropping here and there around the perennial, flower and vegetable gardens, in warm sun and in cooler part-shade. Beet greens are gorgeous and look as lovely in flower beds and arrangements as they do on the plate.

To take best advantage of limited garden space, grow beets down into your soil, right next to something that grows up like lettuce or spinach (not chard), or bush beans (not pole beans). Growing beets between trellised cucumbers or corn is another space saver that works well for me.

Grow beets in healthy, living, well-drained soil, adding plenty of organic matter if soil is dense with clay or compaction. Be sure to surface-mulch with clean, chopped straw or an inoculated mulching compost. Always, I add my all-time favourite worm castings and also sea minerals. This year, I will foliar



Thrift store lidded Pyrex dishes make excellent beet bakers.

LAURA MARIE NEUBERT

spray with a compost tea.

I plan to bulk harvest beets from the dedicated bed for canning, pickling and drying, and we will harvest the rest incrementally throughout the season, as beets mature.

My plan is to sow one quarter-bed of Bull's Blood and Winterkeeper beets late summer, for fall harvest, and then store the beetroots in damp sawdust over the winter. I will clean and dry, chop, vac-pack and freeze the greens.

Contrary to conventional wisdom, I don't blanch hardy

broadleaf greens like kale and beet before freezing because the high heat involved in blanching and boiling will eventually kill most worrisome pathogens. During harvest season, I choose the path of least resistance, and time.

We use beets fresh in juices, smoothies and salads (peeled and washed); roasted in mashes, pasta, spreads, dips and soups, even ice cream. A favourite main of late is golden beet and roasted shallot risotto, tinted and garnished with the concentrated pan juices from oven-roast beets, and topped with a single crab cake or piece of

grilled fish.

I don't have the time or inclination to waste tin foil by individually wrapping beets to roast in the oven, so I wash and roast them all together, skin-on, in a bit of water in a thrift store Pyrex dish. The warm (not hot) beets are a breeze to peel and slice, and that beautiful beet juice is liquid gold – perfect for ditzing and tinting. By adding the juice at the last moment to a dente arborio rice, the grains stay pearly white against an exotic saffron coloured background.

Cooked beets freeze well, as does beet hummus, beet soup, beet juice and beet puree – which, by the way, pairs beautifully with Prosecco. Beet bollini anyone? Puree roast red or golden beets with a bit of maple syrup and ginger, freeze in ice cubes trays, then store cubes in a glass Mason jar. Place thawed puree in a tulip or coupe glass, top-up with Prosecco, Champagne or soda, garnish with mint and voilà!

Laura Marie Neubert is a West Vancouver-based urban permaculture designer. Learn more about permaculture by visiting her website upfrontandbeautiful.com, follow her on Instagram @upfrontandbeautiful or email hello@upfrontandbeautiful.com.

VIRTUAL DEVELOPER'S INFORMATION SESSION

Three Shores Management has submitted a rezoning application to the City of North Vancouver for 275 East 2nd Street to support the development of a five storey rental residential building consisting of 79 rental units. Interested members of the public are invited to attend a Virtual Developer's Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

How to Participate:

Please register in advance at: www.275East2nd.com or contact the applicant.

Applicant Contact

Barry Savage
Three Shores Management
e: bsavage@threeshores.ca
t: 778-366-2367

Date & Time:

Wednesday June 1, 2022
6:00 PM - 6:15 PM - Presentation
6:15 PM - 7:30 PM - Q & A

City of North Vancouver Contact

Bram van der Heijden
Development Planning
e: bheijden@cnv.org
t: 604-982-3995



THREE SHORES

This meeting is required by the City of North Vancouver as part of the rezoning process.

So here's the scoop >>

WE ARE LOOKING FOR OUR NEXT SCOOP(S)!



Are you an energetic individual who enjoys entertaining people, particularly little kids?

We are looking for individuals willing to be on our mascot "call list." Throughout the year, our mascot Scoop will make appearances at community events, along with a staff member of the North Shore News as the "handler."

Contract pay is \$25 per hour, with guaranteed min. pay of \$100 per event. Water will also be supplied. Min. height of 5'10" required to fit the costume.

Please send resumes to promo@nsnews.com

Each applicant will receive a response email.

Notification Sign



Notification Flyer



VIRTUAL DEVELOPER'S INFORMATION SESSION

Early Public Input Opportunity
Rezoning Application for 275 East 2nd Street, North Vancouver

How to Participate:

Register in advance at: www.275east2nd.com
or contact the applicant.

Date & Time: Wednesday June 1, 2022

6:00 PM - 6:15 PM - Presentation

6:15 PM - 7:30 PM - Q & A



Three Shores Management has submitted a rezoning application to the City of North Vancouver for 275 East 2nd Street to support the development of a five storey rental residential building consisting of 79 rental units. The proposal includes 48 parking spaces accessed from the rear lane. Interested members of the public are invited to attend a Virtual Developer's Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

Applicant Contact

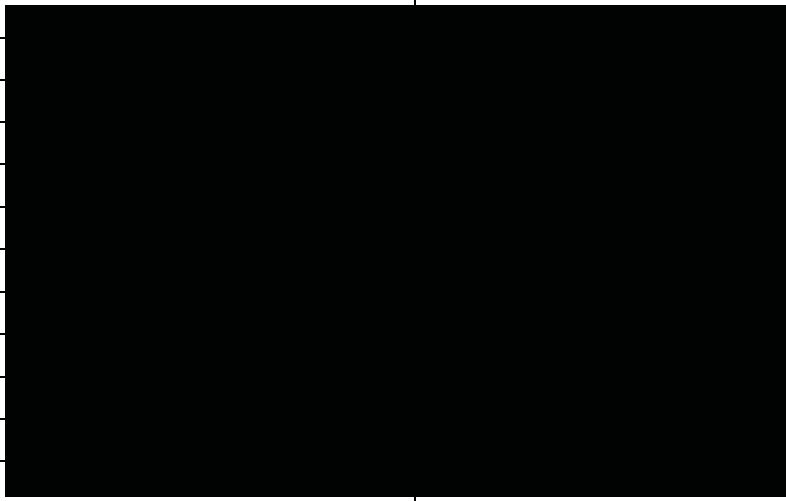
Barry Savage
Three Shores Management
E: bsavage@threeshores.ca
T: 778-366-2367

City of North Vancouver Contact

Bram van der Heijden
Development Planning
E: bheijden@cnv.org
T: 604-982-3995



Appendix B: Attendee List (redacted to preserve privacy)

Attended	User Name (Original Name)	Email
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

Appendix C: Public Dialogue (see attached)

Appendix D: Public Comments – Written and Emailed Submissions (see attached)



January 19, 2022 (updated March 30, 2022)

Bram van der Heijden
City of North Vancouver
141 W 14th Street
North Vancouver, BC V7M 1H9

275 East 2nd Street, North Vancouver
Tenant Relocation Plan and Occupancy Report for Rezoning Application

Summary

Currently the site is tenanted. Of the 24 rental suites on the property, 23 are currently occupied by tenants with varying tenures (1 tenant has given us notice to vacate May 30, 2022). Three Shores plans to redevelop the site to a six-storey purpose built rental busing containing 77 units.

We have retained the services of LPA/Shawnessy Luke Consulting, a highly experienced tenant relocation team to assist us to support tenants throughout the lengthy rezoning approval process.

Our Tenant Relocation Plan is comprehensive and complies with the City of North Vancouver's Residential Tenant Displacement Policy and will include:

- **Early communication with tenants** establishing a point of contact
- **Ongoing clear and consistent communication with tenants** throughout the rezoning application process
- **Appropriate relocation and moving expense compensation**
- **Relocation support, assistance and follow up** for all tenants requiring relocation help
- **Additional moving assistance and financial support to vulnerable tenants**
- **Right of First Refusal** to return to the completed rental replacement building.

We acknowledge relocation is stressful for tenants. Our objective is to endeavour to treat all tenants with dignity and respect throughout the relocation process.

Current Site + Contact Information

Site Address	275 East 2nd Street, North Vancouver
Owner	275 East 2 nd Street Limited Partnership E: info@threeshores.ca T: (778) 366-2367
Tenant Relocation Coordinators	<ul style="list-style-type: none">• Shawnessy Luke• Doug Purdy• Kellie Lawson Email: cityviewtenantrelocation@gmail.com Phone: 604-690-9035

Current Unit Mix

Bedrooms + Rent	Units
Studio	2
1 Bdrm	15
2 Bdrm	7
Rent Range: \$989 - \$1887	Total Units: 24 Total Units Occupied: 23

Occupancy Report – as at March 30, 2022

**As tenants have not yet been engaged, we do not have information regarding their housing needs at this time. The tenant relocation coordinators will gather housing needs + additional tenant information following the virtual tenant meeting and one on one follow up with tenants.*

All tenancies are month to month

Suite	Unit Type	Current Rent	Move in Date
101	1	\$ 1,115.00	May 2010
102	2	\$ 1,520.00	January 1994
103	2	\$ 1,524.00	June 2017
104	1	\$ 1,092.00	June 2010
105	1	\$ 1,290.00	March 2018
106	1	\$ 1,154.00	May 2016
107	2	\$ 1,460.00	May 2013
108	1	\$ 1,109.00	June 2013
109	Studio	VACANT	
201	1	\$ 1,495.00	July 2021
202	2	\$ 1,800.00	April 2021
203	1	\$ 1,395.00	March 2021
204	1	\$ 1,111.00	January 2016
205	1	\$ 1,318.00	December 2017
206	1	\$ 1,415.00	January 2021
207	1	\$ 1,517.00	November 2019
208	2	\$ 1,557.00	May 2017
209	1	\$ 1,415.00	August 2020
210	Studio	\$ 959.00	July 2013
301	2	\$ 1,918.00	May 2020
302	1	\$ 1,395.00	November 2020
303	1	\$ 1,415.00	June 2019
304	1	\$ 1,115.00	February 2017
305	2	\$ 1,887.00	February 2002

Eligible Tenants

We have submitted our Rezoning Application on February 16, 2022. Tenancies active when the Rezoning Application is submitted to the City are eligible for financial and relocation support. It will be provided on a dwelling unit basis and provided to those named on the written tenancy agreement. Where more than one eligible tenant resides in a dwelling unit, tenants should determine among themselves who will be the

designated tenant to act as the main point of contact and communicate this decision to the Tenant Relocation Coordinators.

Tenants who move into an existing vacant rental unit after submission of the Development Application will receive written notification that a Rezoning Application has been submitted, given an estimated time frame for redevelopment and be advised they will not receive financial assistance or the supports offered to pre-existing tenants.

Relocation Assistance

- Three Shores has retained a highly experienced team of tenant relocation coordinators. The LPA/SLC team will be the primary point of contact for all tenants and will work with appropriate community services and other staff to ensure tenants are supported throughout the redevelopment process. The LPA/SLC team will serve as the liaison between Three Shores and City staff regarding the Tenant Relocation Plan.
- The Tenant Relocation Coordinators will support tenants throughout the process, and to aid tenants in finding up to three comparable rental units in the City of North Vancouver.
- The Tenant Relocation Coordinators will be engaged from the pre-application stage and will be available to tenants by phone and email. Reasonable measures should be taken to ensure that any tenants requesting support in a language other than English are provided with information in their preferred language.
- The Tenant Relocation Coordinators will execute the Tenant Communication Plan (see pages 7-8) so that tenants are proactively engaged and notified of input opportunities throughout the rezoning application process.
- For eligible tenants who want assistance in finding new rental accommodation, the Tenant Relocation Coordinators will assist to identify at least three comparable rental dwelling units for each tenant household.
 - The maximum rent for the comparable units found by the Tenant Relocation Coordinators should be no more than the greater of:
 - 10% above the tenant's current rent; or
 - 10% above the most recently published CMHC median rent level, by number of bedrooms, for the City of North Vancouver (or Metro Vancouver, when insufficient rental data is available for the size of property within the City).
- The Tenant Relocation Coordinators will help tenants secure identified units, including by providing references and arranging viewings for potential units, if requested.

Additional Assistance for Low Income Tenants and Others Facing Barriers

Generally, a household is considered low income if its income is below 50% of median household income for that household size. To simplify the identification of low-income tenants for the purposes of determining the potential need for additional assistance with relocation, the below thresholds should be used as a guide for determining households who are low income:

- Households without dependents are considered low income when they have a gross annual income of less than \$35,000; and
- Households with dependents are considered low income when they have a gross annual income of less than \$60,000.

The higher threshold for households with dependents reflects that these households would require at a minimum a two-bedroom property and have additional household expenses associated with supporting dependent(s).

There are many reasons why tenants may require additional assistance with the relocation process –for example, elderly residents on fixed incomes, tenants with low incomes, people with disabilities, or others who may face barriers to securing appropriate housing in proximity to their support networks.

While individual tenant needs will vary on a case-by-case basis, the tenant relocation coordinators will provide individualized support to those identified as having additional needs to successfully navigate the process of relocation. Low-income tenants and those with additional housing barriers who do not initially identify a need for additional assistance will be able to access assistance throughout the redevelopment process.

This support is in addition to the financial compensation all tenants are entitled to and will generally be in the form of in-kind services provided by Three Shores and/or the Tenant Relocation Coordinators.

Examples of additional assistance that may be required include:

- Early communication and notifications, in-person, as requested;
- Additional support with arranging and attending suite viewings;
- Support with accessing social housing or rent supplements;

- Connecting with health organizations and non-profit services; and
- Free support with activities such as packing.

Financial Compensation

As per the amended Residential Tenant Displacement Policy (H18) adopted by the City of North Vancouver on July 21, 2021, Three Shores will compensate all eligible tenants with financial assistance equivalent to 4-months' of their current rent. In addition to this baseline amount, tenants whose tenancy began more than 5 years prior to the date the Development Application is submitted will receive additional financial assistance based on the length of time they have resided in the building. This will be calculated at a rate of \$25 per month for each full month's tenancy beyond five years.

Length of Tenancy	Financial Compensation Amount
Less than 5 years	4 months' rent
More than 5 years	4 months' rent plus $((\text{total tenancy length in months} - 60) \times \$25)$

In addition, Three Shores is going above and beyond the H-18 Policy requirements by giving those with greater than 5 years of tenancy an enhanced compensation package based on length of tenancy which is outlined in the Tenant Assistance Package delivered to tenants at the Virtual Tenant Meeting and Occupancy Report.

If an eligible tenant moves out prior to approval of the rezoning application, financial compensation (including the moving expenses detailed below) will be provided to the tenant by the Three Shores no later than immediately following final adoption of the rezoning bylaw(s). For all other eligible tenants, financial compensation will be provided to the tenant no later than the date they move out, whether or not a demolition permit has been obtained or an eviction notice has been served.

Moving Expenses

In accordance with the Policy, tenants will be compensated for moving expenses with a flat rate payment based on the number of bedrooms in their suite.

- \$1000 for studio and 1-bedroom units;
- \$1250 for 2-bedroom units; and
- \$1500 for 3-bedroom and larger units.

Notice Period

Three Shores will provide all tenants with four months' notice, only after a Demolition Permit application is accepted by the City.

First Right of Refusal

Three Shores will provide all displaced tenants the first right of refusal to live in any purpose-built rental units in the new building, with the particulars of the units to be negotiated between the property owner and individual tenants.

Where the new building includes mid-market rent (MMR) units, tenants will have the first right of refusal to rent an MMR unit in the new building, provided the tenant meets the eligibility requirements for the MMR unit at the time the unit is first available for rent. To ensure that displaced tenants receive notification when the MMR units are becoming available, they will need to confirm during the relocation process that they want to exercise their first right of refusal.

Tenant Communication Plan

At the time of rezoning application submission, Three Shores will provide written communication to all tenants to inform them of the proposed redevelopment and that, if approved, future relocation of tenants will be necessary.

In addition, the Tenant Relocation Coordinators will ensure the following practices will be put in place:

- Three Shores **may or may not re-rent vacant suites after the rezoning application is submitted**. If a decision to re-rent is determined, new tenants will be informed of redevelopment intentions through a countersigned letter of acknowledgement at the time of move-in.
- Tenant Relocation Coordinators will communicate with all tenants via letters, phone calls, 1:1 meetings, tenant update meetings.
- A virtual tenant meeting will be held with City Staff and the TRC team in attendance with respect to the rezoning application for this project.
- A one-on-one meeting will be held with residents of each occupied unit to answer questions, review compensation, assess needs and develop a personal relocation plan.
- Translation services will be provided if required.

- Further tenant updates are planned pending review of this proposed Tenant Relocation Plan with City staff.
- Three Shores will continue with frequent and ongoing communication with tenants to update on timing of approvals and potential notice period throughout the rezoning process.
- Tenants will be assured that this is not an eviction notice, that they can stay or move as they desire and will still receive all compensation outlined above.
- Tenants will be advised that it is their choice to work with the Tenant Relocation Coordinators.
- Tenants will receive a 4-month written notice to vacate after a Demolition Permit application has been accepted by the City.

Timing	Information provided to tenants	Appendix A: Attached Documents
March 8, 2022	Introduction Letter <ul style="list-style-type: none"> • RZ filed • H18 Policy • Tenant Meeting will be held 	Introduction Letter delivered/mailed to tenants
2 weeks in advance of virtual tenant meeting	Invitation to Virtual Tenant Meeting: <ul style="list-style-type: none"> • Agenda • Zoom link 	Virtual Tenant Meeting Invite Letter - DRAFT
Virtual Tenant Meeting attended by: <ul style="list-style-type: none"> • Owner • TRC Team • City of North Vancouver Staff 	Virtual Tenant Meeting <ul style="list-style-type: none"> • Overview of project • Timing of RZ process • Review of H18 Policy • FAQ • Tenant Q &A 	Virtual Tenant Meeting Slideshow Presentation DRAFT
1 week after Virtual Tenant Meeting	Follow up package <ul style="list-style-type: none"> • Cover letter • Slide Show • H18 Policy • Q&A from meeting 	will provide draft to City for approval prior to distribution to tenants

2 weeks after Virtual Tenant Meeting	Phone interviews with all tenants <ul style="list-style-type: none"> • Answer questions • Understand tenants needs (family make-up, income, housing needs) • Determine Vulnerable tenants 	n/a
2 weeks in advance of Staff Report to Council	Tenant Notice <ul style="list-style-type: none"> • Recommendation for Council to advance this project to public hearing 	will provide draft to City for approval prior to distribution to tenants
2 weeks in advance of Public Hearing	Tenant Notice <ul style="list-style-type: none"> • Notice to tenants advising them of Public Hearing date and how to participate 	will provide draft to City for approval prior to distribution to tenants
1 week after Public Hearing	Tenant Notice <ul style="list-style-type: none"> • Advising tenants of Public Hearing outcome 	will provide draft to City for approval prior to distribution to tenants
From RZ approval to 4 months Notice to End Tenancy	Tenant Notice <ul style="list-style-type: none"> • Periodic updates to tenants to advise them of application status as timelines become more defined 	will provide draft to City for approval prior to distribution to tenants
2-3 months prior to Notice To End tenancy	Tenant Notice Heads up to tenants that permits and notice will likely be issued in the coming months	will provide draft to City for approval prior to distribution to tenants
4 Month Prior to requiring a vacant building	Written 4 Month Notice to End Tenancy As required by the RTA once all permits are in place, tenants to receive Written Notice to End Tenancy.	will provide draft to City for approval prior to distribution to tenants
From vacant building to new building occupancy	Tenant Notice <ul style="list-style-type: none"> • Periodic updates to tenants to 	

	advise them of building status as timelines become more defined	
45 days prior to new building occupancy	Tenant Notice <ul style="list-style-type: none"> • Offer to tenants for Right of First Refusal for new building 	

Demolition Permit

A final Tenant Relocation Report will be submitted to the City outlining the outcome of the relocation of the tenants, compensation they have received, contact information, and any additional support they received, and if they wish to exercise their Right of First Refusal.

Occupancy Permit

Tenants who expressed an interest in the Right of First Refusal will be contacting as the new building nears completion and given the first opportunity to view the suites to determine if they want to move back. If there are more tenants than the available MMR units Three Shores will be responsible for selecting tenants in accordance with the Housing Agreement.

We trust the Tenant Relocation Plan discussed above meets the City's objectives. Please don't hesitate to contact us if you have any questions.

Sincerely,



Barry Savage
Three Shores Management

Appendix A

Introduction Letter to Tenants

March 8, 2022 – Delivered by Email

Dear Tenants of 275 East 2nd Street,

RE: REZONING APPLICATION TO CITY OF NORTH VANCOUVER

This letter is to advise you that Three Shores Management has submitted a Rezoning Application to the City of North Vancouver to seek approval to redevelop 275 East 2nd Street.

As required by the City, our submission included drawings, design and development rationale and a Tenant Relocation Plan for City staff review.

City staff undertake a rigorous review and approval process.

- Staff will review our application to ensure it complies with all City policies and objectives ● They will submit a report to Council seeking their formal approval to advance the

application to a Public Hearing.

If approved, the proposed new building would replace the existing one with 79 new purpose-built rental homes. The proposal complies with the City's housing goals and policies, specifically to increase the diversity of rental housing to meet various household types and income levels.

NEXT STEPS

Once staff have reviewed our application, and prior to the Application being sent to Council, we will host a Tenant Meeting via Zoom. At this meeting you will have the opportunity to ask questions to the owners, City Staff and our Tenant Support team about the proposal, the development process and the Tenant Assistance Plan. The Tenant Assistance Plan outlines the support and compensation you will be eligible for should Council approve the Application.

We expect this meeting to occur in late March or April.

ESTIMATED TIMELINE

Based on information from City Staff we are providing **an estimated timeline** for the rezoning process.

- City Staff Review and Tenant Meeting – March/April 2022
- Public Hearing – November/December 2022
- If approved, anticipate necessary approvals in place to issue a written 4 Month Notice to

End Tenancy – December 2022/ January 2023 ● Anticipated Vacant Building – April/May 2023

THIS IS NOT A NOTICE TO VACATE

Based on the timeline set out above, a Notice to Vacate can only be issued when all necessary permits are in place. We do not anticipate this to happen until the end of this year or early next year.

For the foreseeable future there is no change to your current tenancy. As we move through the process we will continue to give you updates on the application and the timelines so you know what is planned.

CITY POLICY AND RESIDENTIAL TENANCY ACT INFORMATION

For your reference, we have attached a copy of the **City of North Vancouver's H18 Policy** (Residential Tenant Displacement Policy) that was amended in July 2021. This outlines the support available to tenants and eligibility criteria. This policy will be reviewed in more detail at the upcoming tenant meeting.

You may also wish to seek more information regarding your rights under the Residential Tenancy Act at <http://www.rto.gov.bc.ca/>.

As we are in the early stages of this process and don't have any additional information to provide, please make note of any questions you may have as there will be an opportunity to ask them at the virtual tenant meeting where you will be introduced to the tenant relocation coordinator. They can be reached prior to and following the tenants meeting at cityviewtenantrelocation@gmail.com

Thank you for your understanding on this matter. We will provide an update once we hear back from City Staff and more details are established.

All the best, Barry Savage

Draft Virtual Tenant Meeting Invite Letter

Date: _____ 2022

To: All Tenants of **275 East 2nd Avenue, North Vancouver**

From: Barry Savage - Three Shores Management

Re: **Virtual Tenants Meeting Invitation & Notice of Proposed Rezoning Application**

Dear Residents,

Three Shores Management has submitted an application to the City of North Vancouver to redevelop the site at 275 East 2nd Street. The rezoning application was submitted to the City of North Vancouver on February 16, 2022.

This proposal must go through a Rezoning that is subject to Public Hearing and Council approval, and then fulfil all requirements for subsequent necessary permits before the Three Shores distributes any notices to vacate. The timing of these planning processes will be subject to City processing and approval times. This yet-to-be determined schedule may cause some residents concern as they think about their future living situation. Three Shores will ensure that you are kept up to date on the project progress and status as it pertains to your tenancy throughout the process.

On July 12, 2021, the City of North Vancouver City updated a policy document Residential Tenant Displacement Policy (*Policy H-18*). It outlines:

- Tenant Communication Plan that proactively engages and notifies tenants throughout the development application process
- Designation of an independent, professional Tenant Relocation Coordinator to support tenants throughout the process, and to aid tenants in finding up to three comparable rental units
- Additional assistance for low income tenants and others facing barriers
- Financial compensation equivalent to four months' current rent. Tenants whose tenancy began five or more years prior to the date the rezoning application is submitted are eligible for additional financial assistance based on the length of time they have resided in the building
- Flat rate payment for moving expenses, based on number of bedrooms

- First right of refusal to rent a Mid-Market Rent (MMR) unit in the new building, provide the tenant meets the eligibility requirements for the MMR unit

You can also read the complete Residential Tenant Displacement Policy online at the following link:

<https://www.cnv.org/city-services/planning-and-policies/housing/market-rental-housing>

Three Shores, as required by the City, will host a Tenants meeting to further inform you of the relocation process and to begin identifying anyone in need of additional support.

You are invited to participate in this meeting, which has been set for:

Virtual Tenants Meeting Thursday March 10, 2022, 6:00 – 8:00 PM

ONLINE - please visit this link to join the meeting: _____

***If you don't have access to Zoom you can dial in by phone:**

Phone:

Webinar ID:

Passcode:

If you are unable to attend this meeting, please contact Debra Rowan at cityviewmanager@shaw.ca. She can raise any Tenant Relocation-related questions on your behalf at the meeting.

Within a week after the online meeting has been held, all tenants will receive:

- written minutes of the meeting,
- a Question & Answer sheet, and
- a printed copy of the current City of North Vancouver Residential Tenant Displacement Policy

You may also wish to seek more information regarding your rights under the Residential Tenancy Act at <http://www.rto.gov.bc.ca/>.

Thank you for your interest in this matter. We will provide updates, including eligibility for assistance, as more details of the project are established.

Sincerely,

Barry Savage
Three Shores Management

cc Bram van der Heijden, City of North Vancouver

Draft Virtual Tenant Meeting Slideshow Presentation

275 E 2nd Virtual Tenant Meeting Three Shores

Thursday, March 10, 2022
6-8pm

INTRODUCTIONS

- Facilitator - Katrina May
- Project Team - Three Shores - Barry Savage, Mehdi Shorki
- Property Manager - Debra Rowan
- City of North Vancouver - Bram van der Heijden - Planner - Planning & Development
- Housing Planners
- Tenant Relocation - LPA and Associates: Doug Purdy, Kellie Lawson and Shawnessy Luke

HOUSEKEEPING AND MEETING PROCEDURES

- For the presentation you'll notice your video and microphone are turned off, this will help avoid any distractions
 - There will be time for Questions and Answers at the end of the presentation
 - To ask a question: click the Q & A function/icon at the bottom of the screen
 - For those calling in by phone please keep your questions for the end of the presentation
 - Meeting minutes, including Q&A and a copy of the Tenant Relocation Protection Policy, will be emailed to all tenants the week following this meeting
 - Please be respectful. Everyone is entitled to their views
 - This forum is not for maintenance requests. Please direct any maintenance concerns to THE PROPERTY MANAGER
-

AGENDA

- Project Background
- Redevelopment Status & Estimated Timeline
- Implications for Tenants
- Support Offered through the Residential Tenancy Displacement Policy (“H-18”)
- Questions

PROJECT BACKGROUND

The proposed development will be a purpose-built rental, providing a range of unit types from studios to 3 bedrooms units contained within 6 residential floors plus a rooftop indoor/outdoor amenity space. This project will follow the Secured Rental Housing Option A - 100% Rental Housing with 10 percent of units at 10 percent below average rents, as determined by CMHC, in perpetuity.

EXISTING BUILDING



Bedrooms + Rent	Units
Studio	2
1 Bdrm	15
2 Bdrm	7
Rent Range: \$989 - \$1887	Total Units: 24 Total Units Occupied: 23



PROPOSED DEVELOPMENT



Proposed 6 storey rental building

Mid-Market rental - 8

Studio - 3

1 bed - 4

3 bed - 1

Market rental - 71

Studio - 18

1 bed - 29

2 bed - 15

3 bed - 9

total

Studio - 21

1 bed - 33

2 bed - 15

3 bed - 10

parking - 51 stalls

bike storage - 123

Current building - _____ suites

ESTIMATED PROJECT TIMELINE



RELOCATION ASSISTANCE & SUPPORT

LPA hired to provide support to tenants:

- Interview all current tenants
- Assist tenants who request support in finding new housing
- Be point of contact regarding Tenant Relocation & Support matters
- Liaise with the City on the Tenant Relocation Plan
- Communicate with tenants and administer relocation paperwork & compensation when they are ready to relocate

LPA BACKGROUND & TRACK RECORD

- 10+ years experience providing tenant relocation services
- Assisted over 1,800 tenants with their relocation to new homes
- 34 buildings in Vancouver, Burnaby, Coquitlam and the North Shore

Team Members

- Doug Purdy
 - Kellie Lawson
 - Shawnessy Luke
-

PURPOSE OF RELOCATION SUPPORT

- Mitigate impact of the relocation process for tenants who must relocate to a new home
 - Prioritize assistance for tenants deemed to be vulnerable and in need of special assistance
 - Maintain ongoing communication and engagement with respect to the relocation process and timetable
-

ELIGIBILITY & TENURE CALCULATIONS

Under the City of North Vancouver Policy the following criteria apply:

Financial assistance and support is available to you if:

- Were a tenant at the property on **February 16, 2022** - the date the Rezoning application was filed

Tenure = Rezoning Date (Feb 16, 2022) - Date first moved into the property

CITY OF NORTH VANCOUVER POLICY H-18

The Policy stipulates that all eligible tenants receive the following:

- **Rental Compensation** - Based on tenant **eligibility** and **tenure**
- **Moving Compensation** - **ALL** tenants PRIOR TO THE REZONING SUBMISSION will receive moving compensation
- **Relocation Assistance** - **ALL** tenants PRIOR TO THE REZONING SUBMISSION to receive relocation assistance if requested
- **Additional Support** - Based on tenant **eligibility** could be provided **upon assessment**
- **Regular Written Updates**
- **4 Months Written Notice to End Tenancy**

COMPENSATION

CITY REQUIREMENTS		THREE SHORES PACKAGE (Exceeds City Requirements)														
<table><tr><th>Length of Tenancy</th><th>Financial Compensation Amount</th></tr><tr><td>Less than 5 years</td><td>4 months' rent</td></tr><tr><td>More than 5 years</td><td>4 months' rent plus ((total tenancy in months – 60) x \$25)</td></tr></table>		Length of Tenancy	Financial Compensation Amount	Less than 5 years	4 months' rent	More than 5 years	4 months' rent plus ((total tenancy in months – 60) x \$25)	<p>Rental Assistance as outlined in City Requirements PLUS <i>Three Shores is exceeding what is required by the Policy by providing tenants with more than 5 years of tenure additional assistance as follows:</i></p> <table><tr><td>▪ 5 - 10 years</td><td>\$1,000</td></tr><tr><td>▪ 10-15 years</td><td>\$2,000</td></tr><tr><td>▪ 15-20 years</td><td>\$3,000</td></tr><tr><td>▪ 20+ years</td><td>\$4,000</td></tr></table>	▪ 5 - 10 years	\$1,000	▪ 10-15 years	\$2,000	▪ 15-20 years	\$3,000	▪ 20+ years	\$4,000
Length of Tenancy	Financial Compensation Amount															
Less than 5 years	4 months' rent															
More than 5 years	4 months' rent plus ((total tenancy in months – 60) x \$25)															
▪ 5 - 10 years	\$1,000															
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▪ 15-20 years	\$3,000															
▪ 20+ years	\$4,000															
Moving Assistance <ul style="list-style-type: none">▪ \$1000 for studio and 1-bedroom units;▪ \$1250 for 2-bedroom units; and▪ \$1500 for 3-bedroom and larger units.		Moving Assistance <ul style="list-style-type: none">▪ \$1000 for studio and 1-bedroom units;▪ \$1250 for 2-bedroom units; and▪ \$1500 for 3-bedroom and larger units.														
Assistance Finding New Accommodation <ul style="list-style-type: none">▪ For those that request assistance in finding new housing based on their criteria▪ For low income tenants facing other barriers additional support is available for those who request it▪ Help in securing affordable housing▪ Help with securing accessible or supportive housing		Assistance Finding New Accommodation <ul style="list-style-type: none">▪ For those that request assistance in finding new housing based on their criteria▪ For low income tenants facing other barriers additional support is available for those who request it▪ Help in securing affordable housing▪ Help with securing accessible or supportive housing														
Right of First Refusal for redevelopments with replacement rental		Right of First Refusal														

FREQUENTLY ASKED QUESTIONS

How is tenure calculated?	Feb 9, 2022– Move in Date = Tenure (years) Compensation = Current rent * Tenure Category
Do tenants need to stay until the end of the approvals process to receive compensation?	No. Tenants can move out anytime between now and the final date noted on the Notice To End Tenancy (NTET).
When do eligible tenants receive compensation?	<ul style="list-style-type: none"> ▪ Compensation Cheque – THE LATER OF (1) COUNCIL APPROVAL AT 3RD READING OR (2) upon move out inspection (tenant to provide 30 days notice) ▪ Damage Deposit Cheque – upon move out inspection
Is it mandatory to clean the suites upon move out?	Yes. Tenants must remove all furniture, food and belongings, clean kitchen, bathroom and appliances, vacuum all floors.
Who do tenants direct tenancy or maintenance issues to?	<ul style="list-style-type: none"> ▪ Tenancy Issues - your PROPERTY MANAGER ▪ Maintenance or Suite Issues – your PROPERTY MANAGER ▪ Relocation - tenant relocation team

NEXT STEPS

- Authority to share tenant contact information with the tenant relocation team+ City of North Vancouver
***If you do not want the tenant relocation team to contact you, please advise Debra Rowan, in writing **by** _____ who will then advise the Project Team/LPA.*
 - LPA to schedule one on one consultations
 - An LPA Team Member will call you beginning ***the week of*** _____, **2022.** to book a time to connect with you via Phone/Zoom/FaceTime
 - If you would like to meet or talk sooner please call the tenant relocation team directly
-



PUBLIC NOTICE

Regular Council Meeting
Monday, May 15, 2023 at 6:00pm

First Reading of "Zoning Amendment Bylaw No. 8970" and "Housing Agreement Bylaw No. 8971" – 275 East 2nd Street

Proposal: To rezone the subject property from a Medium Density Apartment Residential 1 (RM-1) Zone to a Comprehensive Development 737 (CD-737) Zone to permit a 5-storey rental apartment building with 79 units (8 of which would be mid-market rental units) and underground parking.

Provide written input: All persons who believe their interest in property may be affected by the proposed bylaws will be afforded an opportunity to be heard by written or email submission. *All submissions must include your name and address* and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, *no later than noon on Monday, May 15, 2023*, to ensure their availability to Council at the meeting. *No Public Hearing will be held.*

Watch the meeting online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

View the documents online at cnv.org/PublicHearings

Questions? Bram van der Heijden, Planner, bheijden@cnv.org / 604-982-3995



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8970

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970**” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 275 East 2nd Street and legally described below as henceforth being transferred, added to and forming part of CD-761 (Comprehensive Development 761 Zone):

PID: 008-717-231	LOT C BLOCK 154 DISTRICT LOT 274 PLAN 13156
------------------	---

from zone RM-1.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

CD-761 Comprehensive Development 761 Zone (275 East 2nd Street)

In the CD-761 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RM-1 Zone, except that:

- (1) “Basement” means the floor levels, located below the First Storey;
- (2) One Principal Buildings shall be permitted on one Lot;
- (3) The permitted Principal Use on the Lot shall be limited to:
 - (a) Rental Apartment Residential Use:
 - i. Accessory Home Occupation Use, subject to Sections 507(6), (7) and (8) of this Bylaw;
 - ii. Accessory Off-Street Parking Use;
 - iii. Accessory Home Office Use;
- (4) Gross Floor Area:
 - (a) Combined and in total, shall not exceed 1.6 times the Lot Area;
 - (b) Maximum Gross Floor Area may be further increased to a maximum of 2.6 times the Lot Area, upon entering into a Housing Agreement with the City:

BASE DENSITY			
OCP Schedule 'A'		1.6 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL (BONUS) DENSITY	POLICY REFERENCE
Secured Rental Housing	100% rental housing; 10% mid-market rental units	1.0 FSR	OCP section 2.2
TOTAL DENSITY		2.6 FSR	

- (c) Open to Below Areas shall not be counted twice;
 - (d) No more than 684.0 square meter (7,363.0 Square feet) of Rental Apartment Residential Use Floor Area shall be excluded in basement areas;
- (5) Lot Coverage of Principal Building shall not exceed a maximum of 72 percent;
- (6) Height:
- (a) Height of Principal Building shall not exceed six storeys and 17.3 metres (56.8 feet) as measured from average Building Grade of north Lot Line;
- (7) Height Exceptions:
- (a) The Heights of Buildings and Structures permitted elsewhere in the Bylaw may be exceeded for:
 - i. parapet walls, guard rails, Garden Structures common staircase and elevator structures by not more than 3.3 meter (10.8 feet.)
 - ii. Fully screened mechanical equipment located at least 3 meter (9.8 feet.) from the roof edge by not more than 2.0 meter (6.6 feet.);
- (8) Siting:
- (a) Principal Building shall be sited a minimum:
 - i. 3.1 metres (10.2 feet) from Front (north) Lot Line;
 - ii. 3.9 metres (13.1 feet) from Rear (south) Lot Line;
 - iii. 3.2 metres (10.5 feet) from Exterior Side Lot Line;
 - iv. 3.1 metres (10.2 feet) from Interior Side Lot Line;
 - (b) Section 410(3) "Siting Exceptions" is varied as follows:
 - i Bay Windows Unenclosed Balconies, and Open Appendages shall not project beyond the face of the Principal Building toward the Interior Side Lot Line;
- (9) Section 510(2), Unit Separation, shall be waived;

(10) Section 611 (6), Building Width and Length, shall be waived.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8971

A Bylaw to enter into a Housing Agreement (275 East 2nd Street)

WHEREAS Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

NOW THEREFORE the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2023, No. 8971**” (Three Shores Management / Integra Architecture Inc., 275 East 2nd Street, CD-761, Rental Housing Commitments).
2. The Council hereby authorizes the agreement substantially in the form attached to this bylaw between The Corporation of the City of North Vancouver and Three Shores Management with respect to the lands referenced as 275 East 2nd Street, “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8970” (Three Shores Management / Integra Architecture, 275 East 2nd Street, CD-761).
3. The Mayor and Corporate Officer are authorized to execute the Housing Agreement and any documents required to give effect to the Housing Agreement.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

PART 2 – TERMS OF INSTRUMENT

RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

THIS AGREEMENT dated for reference the _____ day of _____, 20_____.

BETWEEN:

THREE SHORES MANAGEMENT

2919 Altamont Crescent
West Vancouver, Bc
V7V 3B9

(the “Owner”)

AND:

THE CORPORATION OF THE CITY OF NORTH VANCOUVER,
a municipal corporation pursuant to the *Local Government Act* and
having its offices at 141 West 14th Street, North Vancouver, British
Columbia, V7M 1H9

(the “City”)

WHEREAS:

- A. The Owner is the registered and beneficial owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Local Government Act*, RSBC 2015, c. 1 and the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant.
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has adopted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

NOW THEREFORE in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

1. DEFINITIONS

- (a) **“Act”** means the *Local Government Act*, RSBC 2015, c.1 as amended from time to time;
- (b) **“Affordable Rent”** means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the “Private Apartment Average Rents” for the corresponding bedroom type in the City of North Vancouver as established by CMHC’s Housing Market Information Portal for the year the tenancy is entered into;
- (c) **“Agreement”** means this agreement as amended from time to time;
- (d) **“Commencement Date”** has the meaning set out in section 2.1 herein;
- (e) **“Council”** means the municipal council for the City of North Vancouver;
- (f) **“CMHC”** means Canada Mortgage and Housing Corporation;
- (g) **“Director, Planning and Development”** means the chief administrator of the Department of Planning of the City and their successors in function and their respective nominees;
- (h) **“Dwelling Unit”** means a dwelling unit as defined in the City of North Vancouver’s “Zoning Bylaw 1995, No. 6700” as amended from time to time;
- (i) **“Lands”** means those lands and premises legally described as:

Parcel Identifier: 008-717-231
Lot C
Block 154
District Lot 274
Plan 13156;
- (j) **“Mid-Market Rental Units”** means the 8 Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;
- (k) **“Market Rental Units”** means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units;
- (l) **“Maximum Household Income”** means an annual gross household income determined by multiplying Affordable Rent by 12 to yield the households’ annual housing costs, and divide by 30% (0.30) to meet the standard definition of affordability;
- (m) **“Rental Purposes”** means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (n) **“Rental Units”** means the Market Rental Units and the Mid-Market Rental Units;

- (o) **“Residential Building”** means the six storey building to be constructed on the Lands to be used for Rental Purposes with 79 Dwelling Units, of which 71 Dwelling Units will be Market Rental Units and 8 Dwelling Units will be Mid-Market Rental Units;
- (p) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (q) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. [8970]”;
- (r) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (s) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit;
- (t) **“Tenant Relocation Plan”** means the Tenant Relocation Plan dated March 30, 2022, as prepared by the Owner and approved by the City, to meet the requirements of the City’s Residential Tenant Displacement Policy, version 2 and dated as of July 12, 2021, a copy of which is attached as Schedule A to this Agreement; and
- (u) **“Term”** has the meaning set out in section 2.1 herein.

2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2023, No. 8971” (Three Shores Management / Integra Architecture INC, 275 East 2nd Street, CD-761, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).
- 2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.
- 2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

3. SECTION 219 COVENANT

- 3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, RSBC 1996, c. 250 that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands will be used and built on only in strict compliance with the terms and conditions of this Agreement and that:
 - (a) the Lands must not be subdivided or stratified;

- (b) the Rental Units in the Residential Building must be used for Rental Purposes only and all Rental Units must be owned and operated by the Owner, provided that the Mid-Market Rental Units may be operated by a non-profit entity engaged by the Owner and having expertise in non-market housing, with the approval of the Director, Planning and Development; and
 - (c) no Rental Unit in the Residential Building must be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.
- 3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building must be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.
- 3.3 Pursuant to section 219(6) of the *Land Title Act*, RSBC 1996, c. 250 except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
 - (a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;
 - (b) the Owner's default under this Agreement; and
 - (c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.

4. TENANCY RESTRICTIONS

- 4.1 The unit mix for Rental Units in the Residential Building will be no fewer than 10 three-bedroom units, 10 two-bedroom units, 38 one-bedroom units and 21 studio units or as otherwise approved in writing by the Director, Planning and Development in their discretion.
- 4.2 The 8 Mid-Market Rental Units will be provided in the following unit mix: 2 studio units, 3 one-bedroom units, 2 two-bedroom units, and 1 three-bedroom unit. The Owner may only change this mix with the approval in writing by the Director, Planning and Development with such approval to be granted in their discretion. The Owner will be entitled to determine the locations of the 8 Mid-Market Rental Units within the Residential Building.
- 4.3 The Owner will enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy, the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.

5. OWNER'S OBLIGATIONS

5.1 Without limiting section 3.1 of this Agreement:

- (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing and all Mid-Market Rental Units must be managed by one rental agent;
- (b) Compliance with Tenant Relocation Plan: The Owner will fulfil all of the commitments set out in the Tenant Relocation Plan and if requested by the City at any time, will provide information to the City to confirm compliance with the Tenant Relocation Plan;
- (c) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units. When a Mid-Market Rental Unit becomes available for a subsequent, new tenancy, the Owner will advertise the unit in accordance with the foregoing requirements for a period of at least one week;
- (d) Tenant Selection: the Owner will make the Mid-Market Rental Units available, both at the first tenancy and each subsequent tenancy, in the following order of priority:
 - (i) If the Residential Building replaces an existing rental building, then tenants from the existing rental building on the Lands being replaced who have household incomes at or below the Maximum Household Income will be provided first right of refusal in the Mid-Market Rental Units, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (ii) Households who have been displaced from redevelopment elsewhere in the City who have household incomes at or below the Maximum Household Income will have second priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis
 - (iii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are

equal in this regard, then applications will be considered on a first come-first-served basis;

- (iv) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in sections 5.1(d)(i) to (iii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
 - (v) Tenants in Mid-Market Rental Units must not have an ownership interest in a residential property in the City or in a neighbouring municipality which the tenant could otherwise occupy and the Owner will require confirmation from the prospective tenant that they meet this requirement at the time of tenancy;
 - (vi) In determining whether a tenant meets the Maximum Household Income requirements or the requirement in section 5.1(d)(v), the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.
- (e) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased below or at the permitted annual rent increase then set under the RT Act;
- (f) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (g) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith;
- (h) Information Regarding Unit Availability: If the City establishes a register for availability of Mid-Market Rental Units within the City, the Owner will provide to the City information regarding any Mid-Market Rental Units that become available for rent, in a form acceptable to the Director, Planning and Development;
- (i) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act* (as amended from time to time) the Owner will, on an annual basis at the time of Business License renewal and upon any other request by the City, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the “**Notice**”) requiring the Owner to cure a default under this Agreement within 30 days of receipt

of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.

- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.
- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.
- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

7. LIABILITY

- 7.1 Except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
 - (a) any act or omission by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible; and
 - (b) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors,

employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.

- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

8. GENERAL PROVISIONS

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement and notice of this Agreement which is required to be filed pursuant to the *Local Government Act*. The Owner will bear their own costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.

- 8.2 Nothing in this Agreement:

- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
- (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or
- (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.

- 8.3 The Owner and the City agree that:

- (a) this Agreement is entered into only for the benefit of the City;
- (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
- (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.

- 8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.

- 8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 483 of the Act and as such will be binding on the Owner.
- 8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement and notice of this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.
- 8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.
- 8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.
- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.
- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver
141 West 14th Street
North Vancouver, British Columbia
V7M 1H9
Attention: Director, Planning & Development
Facsimile: 604.985.0576
Email: planning@cnv.org

The Owner: Three Shores Management
2919 Altamont Crescent
West Vancouver, British Columbia,
V7V 3B9
Attention: Barry Savage
Email: bsavage@threeshores.ca
Phone: 604.505.8818

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete

only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.
- 8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.




9. INTERPRETATION

- 9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.
- 9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.
- 9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.
- 9.4 The words "must" and "will" are to be construed as imperative.
- 9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.
- 9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2023, No. 8971".
- 9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia.
- 9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Huy Dang, Planner 1

Subject: DEVELOPMENT VARIANCE PERMIT FOR 1253 SUTHERLAND AVENUE (JAMES STOBIE, SYNTHESIS DESIGN INC.)

Date: April 12, 2023 File No: 08-3400-20-0110/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 1, dated April 12, 2023, entitled "Development Variance Permit for 1253 Sutherland Avenue (James Stobie, Synthesis Design Inc.):

THAT Development Variance Permit No. PLN2023-00001 (James Stobie, Synthesis Design Inc.) be considered for issuance under Section 498 of the *Local Government Act* and the Public Meeting be waived;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

ATTACHMENTS

1. Context Map (CityDocs [2344133](#))
2. Applicant's Variance Rationale (CityDocs [2329887](#))
3. Architectural Drawings, dated January 6, 2023 (CityDocs [2329885](#))
4. Public Consultation Summary Report (CityDocs [2346693](#))
5. Petition of Support, dated February 27, 2023 (CityDocs [2347102](#))
6. Development Variance Permit No. PLN2023-00001 (CityDocs [2347085](#))

SUMMARY

Synthesis Design Inc., on behalf of the property owners at 1253 Sutherland Avenue, has applied for a Development Variance Permit (DVP) to vary the Principal Building siting requirements in order to authorize two existing non-conforming setbacks for a portion of their existing Principal Building. That portion, which includes an attached garage, appears to have been constructed without formal permits from the City. This was flagged by staff through the applicant and property owners' recent Building Permit for minor building additions and interior renovations to their home. It was determined through those reviews that the non-conforming setbacks would have to be rectified before they are able to proceed with the proposed building additions. A DVP would be one option to facilitate this without requiring the existing structure to be altered.

BACKGROUND

Applicant:	James Stobie, Synthesis Design Inc.
Official Community Plan Designation:	Residential Level 1
Existing Zoning:	RS-1

Building and Site History

The City has a limited record of past Building Permits for the property, dating back to 1982 as the last recorded set of building renovations, which do not include the attached garage portion that is present today. Staff note that available aerial imagery dating back to 2007 from Google Maps, appears to depict the same building envelope in place. As such, it is presumed that the attached garage portion was constructed sometime within this ~25 year window. The current property owners have indicated that they purchased the property in 2009.

The single-family dwelling as it appears today consists of two floors occupied by the principal owners, which includes an attached garage with a deck over top offering primary access off Sutherland Avenue. The owners have indicated they have no intention of converting the lower floor into a secondary suite and will continue to use the space as an additional recreational space.

Although the driveway access off the street is technically non-conforming given the available lane access, staff are not requiring that component be rectified at this point in time, as



Figure 1. Current Google Streetview image of the property from Sutherland Ave, depicting attached garage

the driveway location appears to have existed, as included in the Building Permit records, and the fact that vehicular access is not considered within the scope of their current Building Permit renovations to the building envelope. In the future, should the owner undertake significant renovations to the principal building and/or redevelop the property, staff will then likely require the vehicular access be moved exclusively off the lane. This is consistent with City staff's approach to dealing with other existing non-conforming driveways, including similar corner properties along Sutherland Avenue, as some nearby examples.

Site Context and Surrounding Use

The property is surrounded predominantly by single-family dwellings, consistent with the Official Community Plan's Residential Level 1 designation. The property also borders the District of North Vancouver's municipal jurisdiction directly east across Sutherland Avenue, which also consists primarily of single-family dwellings (refer to Attachment 1).

DISCUSSION

Zoning Implications

In order to authorize current siting of the principal building's attached garage, the applicant is requesting a variance under the applicable One-Unit Residential 1 (RS-1) zone's Section 509(5), as outlined under Table 1 below. Staff note that any garages or carports attached to a principal building are to be considered as part of the principal building, and thus subject to the standard principal building siting requirements.

Table 1. Proposed zoning variance comparison table

Principal Building Setback	RS-1 Provisions	Proposed Variance via DVP
From Exterior Lot Line (Sutherland Avenue)	Lesser of 3.048 metres (10 feet) or 0.2 times the Lot width (8.5 feet)	0.26 metres (0.85 feet)
From Rear Lot Line (Lane)	Greater of 8 metres (26.2 feet) or 0.35 times the Lot depth (51.4 feet)	14.3 metres (46.75 feet)

Aside from the aforementioned driveway location, all other components of the site appear compliant with the RS-1 zone provisions. Staff note that the attached garage consists of one standard sized parking stall, in addition to one smaller stall, which complies with the minimum parking requirement of one stall on site.

Alternative Options

Staff had assessed a number of options with the applicant to address the non-conformity, which included modifying the building configuration to either meet the zoning requirements outright or to be within 10% of the setback requirement in order to qualify as a "Minor" DVP. Submitting a Board of Variance application was also considered as a potential option. However, since the non-conformity cannot be attributed directly to any site-specific hardships, but rather unauthorized construction, it would be challenging to pose sufficient justification for hardship to the Board. Ultimately, the applicant and owner

determined the extent of modifications and costs required to modify the building and structure would be too onerous given the scope of their original renovation proposal, and decided on the standard DVP path as the most cost-effective course of action.

Planning Analysis

Planning staff are supportive of the variances required to authorize the non-conforming setbacks, as the structure poses minimal disturbance and obstruction to adjacent neighbours. The structure also appears to have been in place from at least 2007 without any neighbourhood concerns or issues to staff's knowledge. A variance would allow the City to properly review and ensure that the unpermitted addition is structurally sound and 'legalized' as part of their current building permit.

The boulevard frontage along Sutherland Avenue is also fairly wide relative to other boulevards typically found in single-family neighbourhood (refer to Figure 1 and Attachment 1) which results in the encroachment not creating any blind spots for vehicles.

COMMUNITY CONSULTATION

The owner and applicant were proactive with engaging surrounding neighbours in both the City and District of North Vancouver. This included assembling a petition of support with roughly 24 signatures from adjacent neighbours (Attachment 5).

Given the scope of the variance proposal, a Developer Information Session was waived by staff pending the feedback received in response to the site signage and mail-outs delivered to properties within 40 metres of the site (including those in the District). Only three formal responses were submitted within the comment period; none of which expressed any concern with the proposed variances as noted in the applicant's Public Consultation Summary Report (Attachment 4).

INTER-DEPARTMENTAL REVIEW

Development Services has noted that any existing encroachments onto City property would need to be removed in anticipation of future plans to integrate a sidewalk on the respective boulevard along the west side of Sutherland Avenue. This would include any structures, fences and hedges, in addition to ensuring any City trees are maintained, which the applicant has addressed. These comments have been captured on the respective Building Permit, which also includes addressing potential grading and drainage considerations for the sidewalk integration down the line.

The Building Department has also noted that further structural modifications may be required as deemed necessary through the Building Permit, to the satisfaction of the Chief Building Official. Through the active Building Permit, staff will ensure that any proposed renovations and affected structures comply with standard regulations.

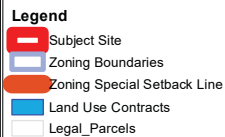
CONCLUSION

Staff are supportive of the variances required to authorize a long-standing building addition originally constructed without permits, as the addition poses minimal concerns to adjacent neighbours.

RESPECTFULLY SUBMITTED:

A handwritten signature in black ink, appearing to be 'Huy Dang', written over a horizontal line.

Huy Dang
Planner 1



DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 3/21/2023
SOURCE: StaffMap
COORDINATE SYSTEM: NAD 83 UTM Zone 18N

city
of north
vancouver

February 3rd, 2023

Mayor and Council
City of North Vancouver
141 West 14th Street,
North Vancouver, BC
V7M 1H9



To Whom It May Concern,

Re: Development Variance Permit Application - 1253 Sutherland Avenue

Kelly and Suzanne purchased the property at 1253 Sutherland Ave in December 2009.

The intention of this application is to retain the existing garage and renovate and add to the existing home within the realms of the Zoning bylaw. The proposed additions are compliant under the zoning bylaw, however the existing garage that is retained on the property currently has non-conforming rear and side yard setbacks. There are no records of the proposed garage within the City; Google Maps and the CNV's own CityMap only go back to 2007 and both show the garage as per the current layout. The City have confirmed the access to the garage, while currently non-conforming due to the existing lane, was permitted in the past.

Design Rationale

The existing home was originally built in 1956 prior to the current zoning bylaws. It is well positioned for a single-family building on a corner lot with large front yard setback and room on either side for the principal dwelling. The large setback of the property line from Sutherland Avenue allows for sufficient view corridor around the corner from East 13th Street, in addition the garage setback does not impose on the Avenue.

The renovation has been carefully designed with a primary focus on family and friends. Upon entrance from the front, the main floor consists of a small foyer, a powder room, master bedroom and bathroom, and direct access to the open plan living and dining room. Outside of the new and extended dining room, there will be new doors to the existing deck with a new covered portion creating an indoor and outdoor living environment.

The lower floor includes a full bathroom, bedroom, new bar, and recreational area. In addition, it consists of an existing gym and flex room and access to the existing garage. There are no 'additions' being added at the lower floor level and the focus is to renovate within the existing space.

The garden is very important to Suzanne and Kelly. They are keen outdoor people are hoping to improve on the current garden and planting area. If the garage is removed from its existing location, it would severely hinder the potential of the rear yard.

The site-imposed hardship is the location of the existing garage and its proximity and encroachment beyond the Rear and Side Yard setbacks (cross-hatched on the Site Plan). Kelly and Suzanne have inherited an existing non-conformity and should not be penalised for it. They are doing what they can to retain and improve upon their existing home within their existing footprint. They have designed a modest, well thought out addition complete with energy efficient upgrades within the existing footprint of their home. They are hoping for the support of council and staff to move forward.

Kind Regards,

A handwritten signature in blue ink, appearing to read "James Stobie".

James Stobie

A handwritten signature in blue ink, appearing to read "Pedro Serrano".

Pedro Serrano



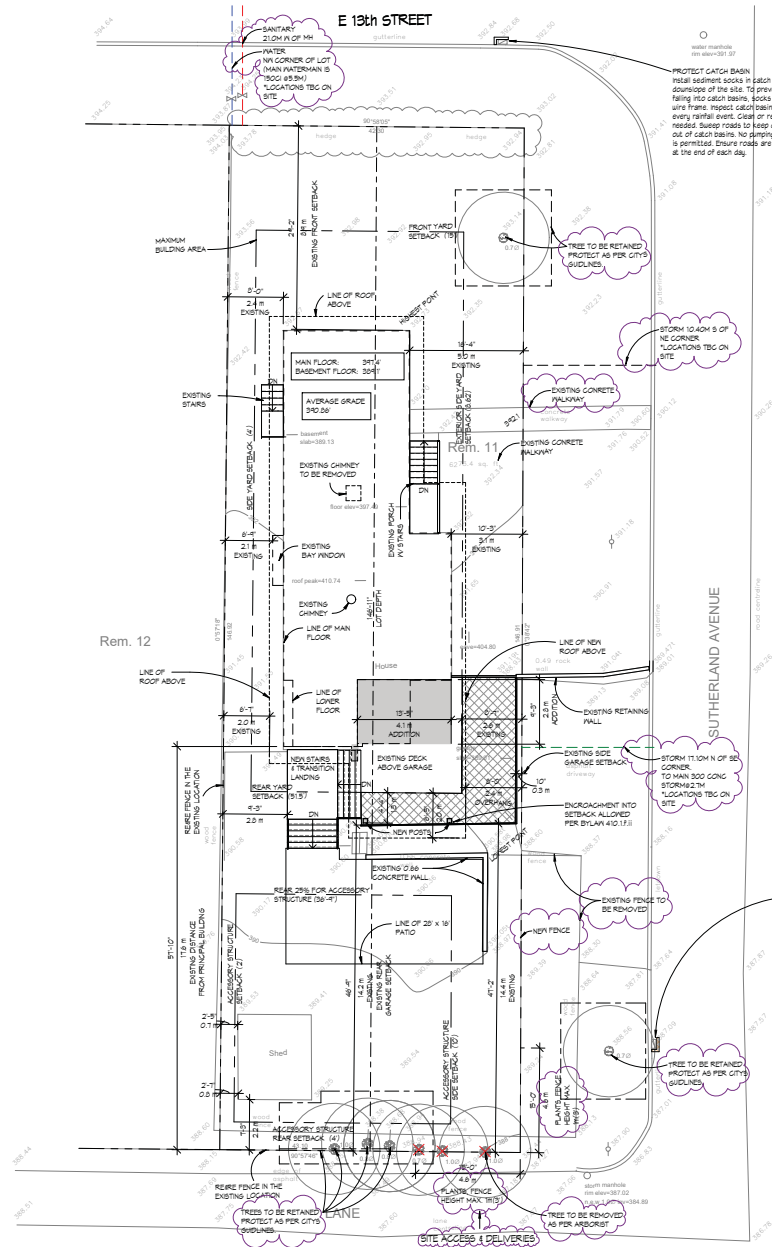
McKIBBIN-McLARTY RENOVATION / ADDITION

1253 Sutherland Ave. North Vancouver, BC

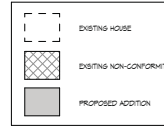
1.03.2023

SITE PLAN

1/8" = 1'-0"



LEGEND:



SHAPING AND SITING ANALYSIS - RS-1 ZONING

LOT ADDRESS: 1253 Sutherland Ave, North Vancouver				
LOT AREA: 582.8 m ² (6,273.4 sq. ft.)				
PRINCIPAL BUILDING	ALLOWED	EXISTING	PROPOSED	CONFORMS
FLOOR AREA		105.35 m ²	11.6 m ²	
LOWER FLOOR AREA (including garage)		(1,136 sqft)	(125 sqft)	
FLOOR AREA EXCLUSIONS		146.9 m ²		
(Basement built prior to 2019) *		(1,562 sqft)		
TOTAL GROSS FLOOR AREA *		252.25 m ²	153.3m ²	Y
LOT COVERAGE (Lot Area x 0.3)		(1,882 sqft)	(1,634 sqft)	Y
PRINCIPAL BUILDING HEIGHT		4.6m (15')	8.9m (29'2")	Y
PRINCIPAL BUILDING SETBACK		15.69m (51'5")	14.2m (46'7")	Y
Front Lot Line		2.42m (8'0")	0.26m (0'85")	ENC
Rear Lot Line		1.2m (4')	2.4m (8'0")	Y
Left (west) Side Lot Line (Exterior) ***		1.2m (4')	2.4m (8'0")	Y
Right (west) Side Lot Line (Interior)		1.2m (4')	2.4m (8'0")	Y
COACH HOUSE	ALLOWED	EXISTING	PROPOSED	CONFORMS
FLOOR AREA ****	58.27 m ²			N/A
HEIGHT *****	4.6m (15')			N/A
ACCESSORY BUILDING SETBACK				
Shall be sited behind the front face of the Principal Building, and when exceeding 1018 sq. ft. in area, shall be sited in the rear 25% of the lot depth.				
Rear Lot Line	1.2m (4')	2.4m (8'0")	EXISTING	Y
Exterior Left Side Lot Line	3.05m (10')	9.1m (29'9")	EXISTING	Y
From Principal Building	3.05m (10')	8.29m (27'2")	EXISTING	Y
Right Side Lot Line (Interior)	0.6m (2')	2.4m (8'0")	EXISTING	Y
From Intersection of the Lot Lines along 2 streets/lanes/street & lane	4.6m (15')			
AVERAGE GRADE	HIGHEST	LOWEST	AVERAGE	
	392.73	388.98	390.86	

EROSION AND SEDIMENT REQUIREMENTS

- No water leaving the site shall meet or exceed the criteria for "Excessive Suspended Solids Discharge" as described in the Stream and Drainage System Protection Bylaw, No. 7541, 2003.
- Install a sediment trap or tank to treat sediment-laden water prior to discharging off-site. Check sediment trap or tank regularly and remove built-up sediment as needed.
- Collect and dispose of concrete or cement wash-water appropriately or take off-site for disposal. Concrete wash-water must not be discharged into the storm drainage system. It is toxic and can alter the pH of the surrounding environment and result in the death of aquatic life.
- Ensure trees that will remain on site to be protected as per the city's guidelines.
- Fencing to be 1.2m tall above grade.
- Fencing to be 50mmx100mm wooden frame with cross braces to dimensions. Ensure posts are 450mm min. in to ground.
- Complisted with orange plastic snow fencing securely fastened to wood frame.
- Tree protection signage on fencing.
- Do not remove or relocate fencing during construction.
- No material or equipment to be stored within protected area.

CONSTRUCTION

- Area to be affected by construction is mostly interior.
- Exterior area affected by construction will take place on the deck, above the garage. In addition a patio and landscaping at the rear yard only.
- Site Access to be allocated through the lane.
- Materials to be kept on site. Any deliveries should be through the rear lane.
- Contractor must park on site.

LEGAL DESCRIPTION

TOPOGRAPHIC SURVEY PLAN OF:
PLAN OF LOT 11, EXCEPT THE SOUTH 10 FEET NON LANE,
BLOCK 74, DISTRICT LOT 890, PLAN 1904
CIVIC ADDRESS:
1253 Sutherland Ave, North Vancouver
P.I.D.: 009-880-881

FOR ADDITIONAL SITING INFORMATION REFER TO SURVEY PROCEEDED BY:

PROPOSED:
Professional Land Survey Inc.
202-1100 Westwood St, Coquitlam, BC
Tel: (604) 684-9196
Fax: (604) 684-8804

JOB DIRECTORY:
F.B. 1960 P. - M -
MUNICIPALITY: CNV

REVISIONS	#	BY
City Sign Comments	2	POS
01.06.2023		

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McKIBBIN-McCLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing File
SITE PLAN

Date: 1.03.2023
Scale: 1/8" = 1'-0"
Drawn: PCS
Job No: 22011
Sheet: A-1

Of 10 Sheets

REVISIONS	#	BY
Day Comments	1	POS
11.16.2022		

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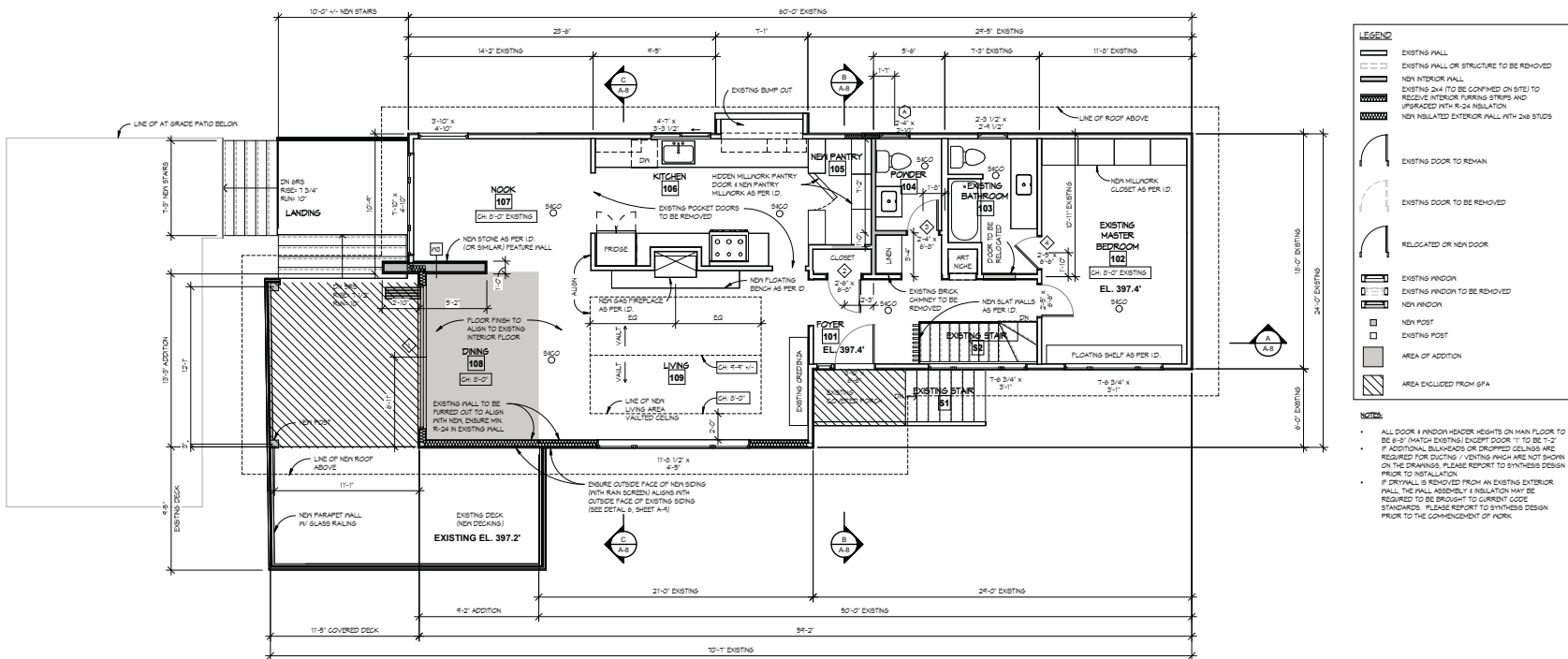
Synthesis Design Inc.
255 West 1st Street
North Vancouver, BC
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Tel: (604) 680-0087
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McKIBBIN-McCLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
MAIN FLOOR PLAN

Date 1.03.2023
Scale 1/4" = 1'-0"
Drawn PCS
Job No. 22011
Sheet **A-3**

Of 10 Sheets



MAIN FLOOR PLAN

1/4" = 1'-0"
MAIN FLOOR: 1134 SQ.FT (105.35M²)
MAIN FLOOR ADDITION: 125 SQ.FT (11.6M²)
TOTAL = 1,259 SQ.FT (116.96 M²)

100% COUNTABLE

EXCLUDED FROM GFA CALCULATION:
COVERED DECK: 144 SQ.FT (13.38 M²)
COVERED PORCH: 30 SQ.FT (2.78 M²)

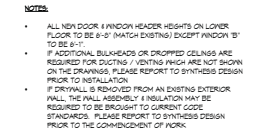
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tel. (604) 980-2087
www.synthesisdsgn.ca

Date	1.03.2023
Scale	1/4" = 1'-0"
Drawn	PCS
Job No.	22011
Sheet	A-4

10 Sheets




LOWER FLOOR PLAN

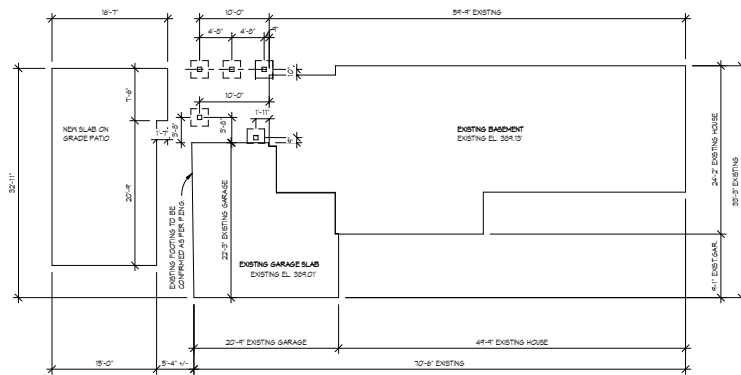
1/4" = 1'-0"

TOTAL LOWER FLOOR: 1582 (146.9M2)

EXCLUSIONS: 1190 SQ.FT (110.5 M2)

TOTAL: 392 SQ.FT (36.4 M2)



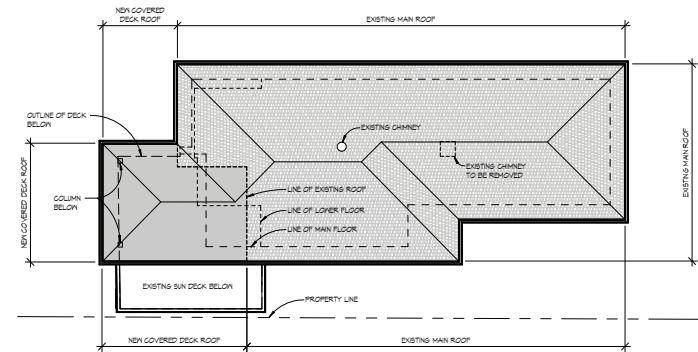


FOUNDATION PLAN
1/8" = 1'-0"



LEGEND	
	FOUNDATION WALL
	C/P/R/S/D INSULATION
	FOOTINGS
	SHADED AREA INDICATES NEW ROOF

FOUNDATION NOTES:
1. FOUNDATION PLAN FOR LOCATION ONLY.
FOR ALL TECHNICAL INFORMATION REFER
TO STRUCTURAL ENGINEER DRAWINGS.
2. ALL SLAB ON GRADE ELEVATIONS TO BE
MEASURED TO THE TOP OF CONCRETE.



ROOF PLAN
1/8" = 1'-0"



REVISIONS	#	BY

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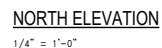
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255 West 1st Street
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Tel: (604) 680-0887
www.synthesisthesign.ca

McKIBBIN-McCLARTY RENOVATION / ADDITION
1263 Sutherland Ave.
North Vancouver, BC

Drawing Title
**FOUNDATION &
ROOF PLANS**

Date 1.03.2023
Scale 1/8" = 1'-0"
Drawn PCS
Job No. 22011
Sheet **A-5**



EAST SPATIAL SEPARATION

AREA OF FACE
908 sq.ft. (84.2 m2)

LIMITING DISTANCE
33.6 ft. (10.2 m)

ALLOWABLE OPENINGS
24% x 908 ft.sq. = 761 sq.ft.

AREA OF OPENING
83.5 sq.ft.

CONFORMS
YES

MATERIAL	
1	NO.16 2" PATTERN VERTICAL GROUND BONDING (MATCH ENDS)
1	NO.16 2" PATTERN STITCHED (MATCH ENDS)
1	NO.16 2"4" TIGHT 1/2" STAIN STEEL GROUND SCOFFIT (TITLE AS PER OWNER)
1	NO.16 2"4" PATTERNED GROUND TRIM AROUND ALL OPENINGS INCLUDING HEAD AND DOL PLUMBING (MATCH ENDS)
1	NO.16 2"4" PATTERNED CORNER FACING PASCAL BROWTHROUGH
1	NO.16 5" GUTTER OVERTHROUGH
1	NO.16 2"1/2" PATTERN STAIN STEEL SPRUCE TRIM BOARD (FLASH TOPS)
1	NO.16 2"4" ALUMINUM POSTS ON VERTICAL GROUND, METAL CABLE RAILING (TITLE AS PER OWNER) WITH BUILDING REINFORCEMENT
1	NO.16 2"4" FRAMERLESS GLASS RAILING ON ALUMINUM POSTS AND TYPED GLASS RAILING (TITLE AS PER OWNER)
1	NO.16 2"4" STAIN STEEL GROUND COLUMN (AS PER DESIG.)
1	NO.16 2"4" CEDAR SLAT WALL WITH 1" SPACING PATTERN TO MATCH SCOFFIT (AS PER OWNER)
1	NO.16 2"4" STAIN STEEL GROUND TRIM (AS PER OWNER)
1	NO.16 2"4" VERTICAL FEATURE PLUMB (AS PER OWNER)
1	NO.16 2"4" FLOORING OVER EXISTING GROUND (TITLE AS PER OWNER)
1	NO.16 2"4" 3/4" TUCK STAIN GROUND GEGRAND TRECHOS AND 2"1/2" CEDAR STRINGER OVER RUBBERS (TITLE AS PER OWNER)
1	NO.16 2"4" CEDAR LAMINATE (SHINGLES) MATCHING SCOFFIT (TITLE AS PER OWNER)
1	NO.16 2"4" ALUMINUM TRIM (MATCHING SCOFFIT) (TITLE AS PER OWNER)

REVISIONS	#	E
City Comments 11.18.2022	1	PI
City Eng. Comments 01.06.2023	2	PI

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McKIBBIN-McLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
NORTH & EAST
ELEVATIONS

Date	1.03.2023
Scale	1/4" = 1'-0"
Drawn	PCS
Job No.	22011
Sheet	A-6

of 10 Sheets

REVISIONS	#	BY
City Comments	1	POS
City Eng. Comments	2	POS
01.06.2023		

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McKIBBIN-McCLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
SOUTH & WEST ELEVATIONS

Date: 1.03.2023
Scale: 1/4" = 1'-0"
Drawn: PCS
Job No: 22011
Sheet: A-7

2023-02-02
9:16:17 AM

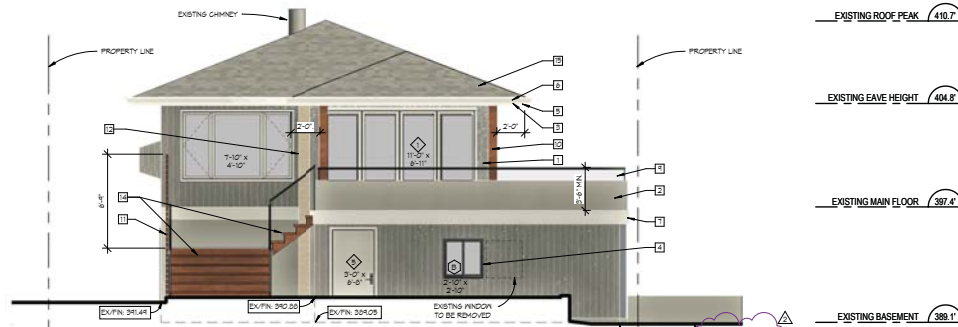
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WEST ELEVATION

1/4" = 1'-0"

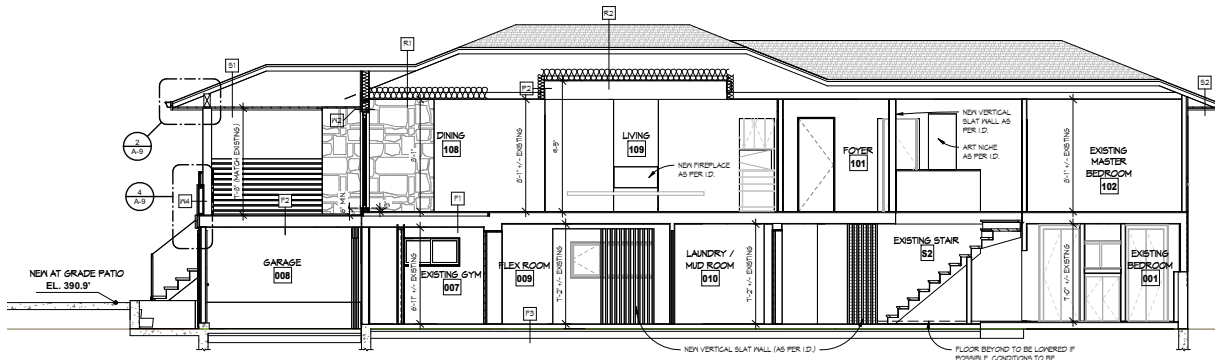
WEST SPATIAL SEPARATION	
AREA OF FACE	578.9 sq.ft. (21.4 sq.)
EXISTING DISTANCE	6.75 ft. (2.04 m)
ALLOWABLE DISTANCE	4.98 x 2.04 x 6.75 = 32.0 sq.ft.
AREA OF OPENING	66.7 sq.ft.
CONFORMS	YES



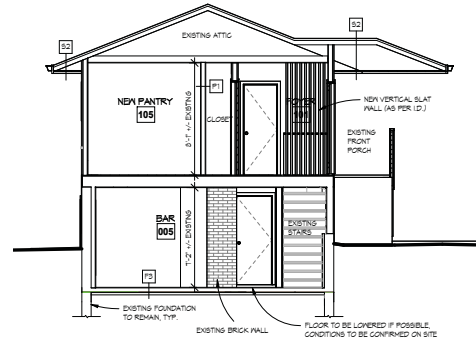
SOUTH ELEVATION

1/4" = 1'-0"

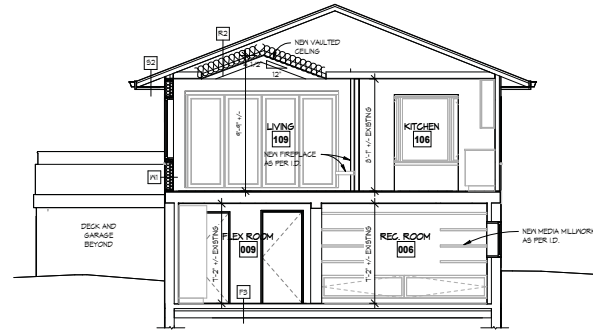
MATERIAL LEGEND	
1	NEW 1x6 PAINTED VERTICAL ROOF SOFFIT (MATCH EXISTING)
2	NEW PAINTED STUCCO (MATCH EXISTING)
3	NEW 3/4" TIGHT KNOT TWO STAIN GRADE CEDAR SOFFIT (STYLE AS PER OWNER)
4	NEW 1/2" PAINTED WOOD TRIM AROUND ALL NEW OPENINGS INCLUDING HEAD AND SILL FLASHING (MATCH EXISTING)
5	NEW 2x6 PAINTED COMB FENCED SPRUCE FASCIA BOARD THROUGHOUT
6	NEW 1" GUTTER THROUGHOUT
7	NEW 2x12 PAINTED COMB FENCED SPRUCE TRIM BOARD (FLASH TOPS)
8	NEW 2x2 ALUMINUM POSTS C/W HORIZONTAL METAL CABLE RAILING (STYLE AS PER OWNER) (CONFORM WITH BUILDING DEPARTMENT)
9	NEW 2x4 FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPLERED GLASS PANELS (STYLE AS PER OWNER)
10	NEW 2x6 STAIN GRADE CEDAR COLUMN (AS PER FINISH)
11	NEW 2x4 CEDAR SLAT RAIL (WITH 1" SPACING, PAINTED TO MATCH SOFFIT (AS PER OWNER)
12	NEW STONE VENEER FEATURE WALL (STYLE AS PER OWNER)
13	NEW VINYL FLOORING OVER EXISTING DECK (STYLE AS PER OWNER)
14	NEW STAIN C/W 9" THICK STAIN GRADE CEDAR TREKING AND 2x12 CEDAR STRINGERS OPEN RISERS (STYLE AS PER OWNER)
15	NEW 1/2" GLASS LAMINATE SHIMULES (MATCH EXISTING)
16	NEW 1/2" ANODIZED ALUMINUM NUMBERS C/W STAND-OFFS (STYLE AS PER OWNER)



SECTION A
1/4" = 1'-0"



SECTION B
1/4" = 1'-0"



SECTION C
1/4" = 1'-0"

NOTE: ALL RAIN SCREEN DETAILS TO BE CONFIRMED ON SITE WITH BUILDING INSPECTOR

MINIMUM INSULATION REQUIREMENTS (MINIMUM)
ROOF / FLOORING: R-19
WALL: R-13
FLOOR: R-25
(CONFORM WITH MANUFACTURER SPECIFICATIONS)

Exterior Walls - W2	Effective Thermal Resistance
Exterior Siding	0.03
Exterior Air	0.14
Cedar Siding	0.14
1/2" Air Cavity	0.16
1/2" Layer of Building Paper	0
1/2" Plywood	0.09
2x4 Studs @ 16" o.c.	4.2
R-24 Batt Insulation	0.07
1/2" Gypsum	0.05
Interior Air	0.17
Total	4.829
Minimum Required	2.78
Complies	Yes

Roofing - R1	Effective Thermal Resistance
Exterior Air	0.14
Fiberglass Shingles	0.03
1/2" Plywood	0
2x4 Studs	0
1/2" Air Gap	0
2x4 Studs (as per P. Eng)	7
R-30 Batt Insulation	0
6 MIL Poly Vapour	0.02
1/2" Gypsum	0.05
Interior Air	0.17
Total	4.47
Minimum Required	2.78
Complies	Yes

WALL ASSEMBLIES	
Exterior	
F1	EXISTING VERTICAL CEDAR SIDING, BUILDING PAPER AND EXTERIOR BRICKWORK TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE. -EXISTING 2x4 STUDS TO BE FURRED OUT TO 2x6 -NEW R-24 BATT INSULATION -NEW 6 MIL CONTINUOUSLY CALKED POLY VAPOUR BARRIER -NEW 1/2" GYPSUM
F2	-VERTICAL CEDAR SIDING (MATCH EXISTING) -VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O.C. -2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS -1/2" PLYWOOD SHEATHING -2x4 STUDS @ 16" O.C. R-24 BATT INSULATION -8 MIL CONTINUOUSLY CALKED POLY VAPOUR BARRIER -1/2" GYPSUM
F3	-TOP STONE VENEER (PLAYED AND BRUSHED BASALT, "ORIGO" OR BASALTINA / STYLE AS PER I.D.) (PROVIDE VENTING HOLES AT TOP & BOTTOM) -MORTAR -FIRE MESH -1/2" PLYWOOD -VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O.C. -2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS -1/2" PLYWOOD SHEATHING -PT STUDS AS PER STRUCTURAL ENGINEER -1/2" PLYWOOD SHEATHING -2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS -VERTICAL 1 1/2" x 1/2" TREATED PLYWOOD VERTICAL FURRING STRIPS @ 12" O.C. -1/2" PLYWOOD SHEATHING -FIRE MESH -TOP STONE VENEER (PLAYED AND BRUSHED BASALT, "ORIGO" OR BASALTINA / STYLE AS PER I.D.) (PROVIDE VENTING HOLES AT TOP & BOTTOM) -ACRYLIC STUCCO
F4	-ACRYLIC STUCCO -FIRE MESH -KEENE DRIFWALL (OR EQUIVALENT) TO PROVIDE 10mm AIR GAP -2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS -1/2" PLYWOOD SHEATHING -2x4 STUDS @ 16" O.C. -1/2" PLYWOOD SHEATHING -2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS -KEENE DRIFWALL (OR EQUIVALENT) TO PROVIDE 10mm AIR GAP -FIRE MESH -ACRYLIC STUCCO
Interior	
F1	-1/2" GYPSUM -2x4 STUDS @ 16" O.C.
F2	-1/2" GYPSUM -2x4 STUDS @ 16" O.C.
FLOOR ASSEMBLIES	
F1	-NEW FLOOR FINISH (STYLE AS PER I.D.) -NEW 1/2" 1/4" PLYWOOD - SUEDE & SCANDINAVIAN -EXISTING DECK JOISTS TO BE FURRED OUT TO MATCH HEIGHT OF EXISTING FLOOR JOISTS -EXISTING FLOOR JOISTS TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE BY P. ENG. -EXISTING INTERIOR FINISH LAYER TO REMAIN
F2	-NEW VINYL FLOORING (STYLE AS PER I.D.) -EXISTING DECK SHEATHING AND JOISTS TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE BY P. ENG. -EXISTING INSULATION TO REMAIN -EXISTING INTERIOR FINISH LAYER TO REMAIN
F3	-NEW FLOOR FINISH (STYLE AS PER I.D.) -EXISTING CONCRETE SLAB, FIRE MESH, SAND, AND GRAVEL TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE BY P. ENG.
ROOF ASSEMBLIES	
Roof	
R1	-FIBERGLASS LAMINATE SHINGLES (MATCH EXISTING) -APPROVED ROOFING UNDERLAY -1/2" PLYWOOD SHEATHING C/N 1/4" CLPS -RAFTERS PER STRUCTURAL ENGINEER -R-30 BATT INSULATION -CEILING JOISTS AS PER STRUCTURAL ENGINEER -8 MIL CONTINUOUSLY CALKED POLY VAPOUR BARRIER -1/2" GYPSUM
R2	-EXISTING FIBERGLASS LAMINATE SHINGLES, ROOFING UNDERLAY, SHEATHING, AND RAFTERS TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE BY P. ENG. -NEW R-30 BATT INSULATION -NEW CEILING JOISTS AS PER STRUCTURAL ENGINEER -NEW 8 MIL CONTINUOUSLY CALKED POLY VAPOUR BARRIER -NEW 1/2" GYPSUM
Slat Roof overhang	
S1	-FIBERGLASS LAMINATE SHINGLES (MATCH EXISTING) -APPROVED ROOFING UNDERLAY -1/2" PLYWOOD SHEATHING C/N 1/4" CLPS -RAFTERS PER STRUCTURAL ENGINEER -BACK FRAMING AS REQUIRED -1x4 TIGHT KNOT STAIN GRADE V-GROOVE CEDAR SOFFIT (PROVIDE CONTINUOUS VENTING PARALLEL TO THE EXTERIOR WALL)
S2	-EXISTING FIBERGLASS LAMINATE SHINGLES, ROOFING UNDERLAY, SHEATHING, RAFTERS, AND BACK FRAMING TO REMAIN IF POSSIBLE. CONDITIONS TO BE CONFIRMED ON SITE BY P. ENG. -NEW 1x4 TIGHT KNOT STAIN GRADE V-GROOVE CEDAR SOFFIT (PROVIDE CONTINUOUS VENTING PARALLEL TO THE EXTERIOR WALL)

REVISIONS	#	BY
Day Comments	1	POS
11.16.2022		

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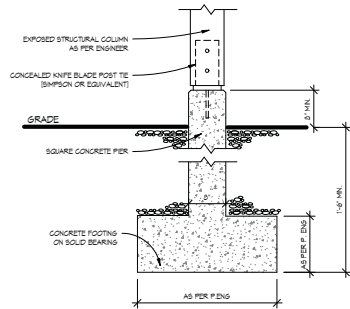


Synthesis Design Inc.
2550 East 1st Street
Vancouver, BC
Canada V6L 1B3
Tel: (604) 683-0887
www.synthesdesign.ca

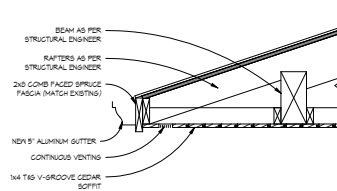
McKIBBIN-McCLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
SECTIONS & ASSEMBLIES

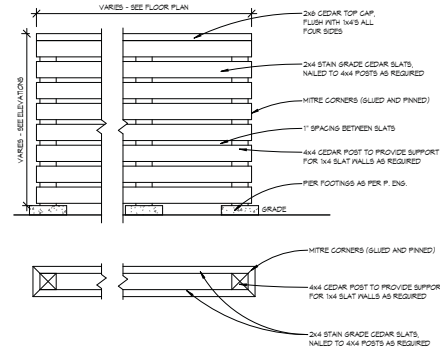
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Job No: 22011
Sheet: A-8



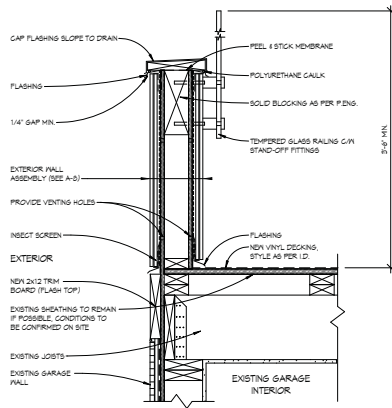
1 PIER FOOTING DETAIL
1" = 1'-0"



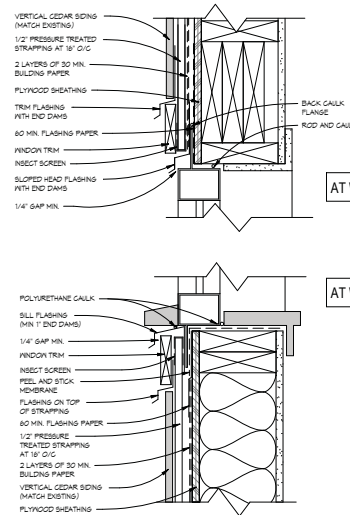
2 ROOF VENT DETAIL
1" = 1'-0"



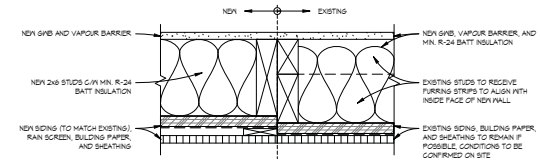
3 SLAT WALL DETAIL
1" = 1'-0"



4 DECK PARAPET WALL DETAIL
1 1/2" = 1'-0"



5 RAIN SCREEN DETAIL
3" = 1'-0"



6 WALL JOINT DETAIL
3" = 1'-0"

DO NOT ORDER DOORS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE

DOOR SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
1	1	11'-0"	6'-11"	Exterior, New Wall	Wood & tempered glass	Solid core	Stain grade, weather stripping, style as per I.D.
2	2	2'-0"	6'-8"	Interior, Single Swing	Wood	Solid core	Paint grade, style as per I.D. (match existing)
3	1	2'-0"	6'-8"	Interior, Single Swing	Wood	Solid core	Paint grade, style as per I.D. (match existing)
4	1	2'-0"	6'-8"	Interior, Single Swing	Wood	Solid core	Existing door in new opening
5	1	3'-0"	6'-8"	Exterior, Swing, Single	Fiberglass	Solid core	Weather stripping, style as per I.D. (match existing)
6	1	2'-0"	6'-8"	Interior, Pocket, Single	Wood	Solid core	Paint grade, style as per I.D. (match existing)
TOTAL: 7							

DO NOT ORDER WINDOWS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
DO NOT SCALE DRAWINGS
WINDOWS SUPPLIER TO ENSURE ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS

WINDOW SCHEDULE						
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	NOTES
A	1	2'-0"	2'-10"	Single Hung, Single	Vinyl	Obscure glass, style as per I.D. (match existing)
B	1	2'-10"	2'-10"	Sliding, Double	Vinyl	Style as per I.D. (match existing)
C	1	4'-0 1/2"	2'-0 1/2"	Sliding, Double	Vinyl	Style as per I.D. (match existing)(Use existing opening)
TOTAL: 3						

EFFECTIVE INSULATION REQUIREMENTS (MINIMUM)
DOORS / WINDOWS U-VALUE: 1.0
MINIMUM: 1.0, 0.35
(CONFIRM WITH MANUFACTURER SPECIFICATIONS)

REVISIONS	#	BY
Day Comments	1	POS
11/16/2022		

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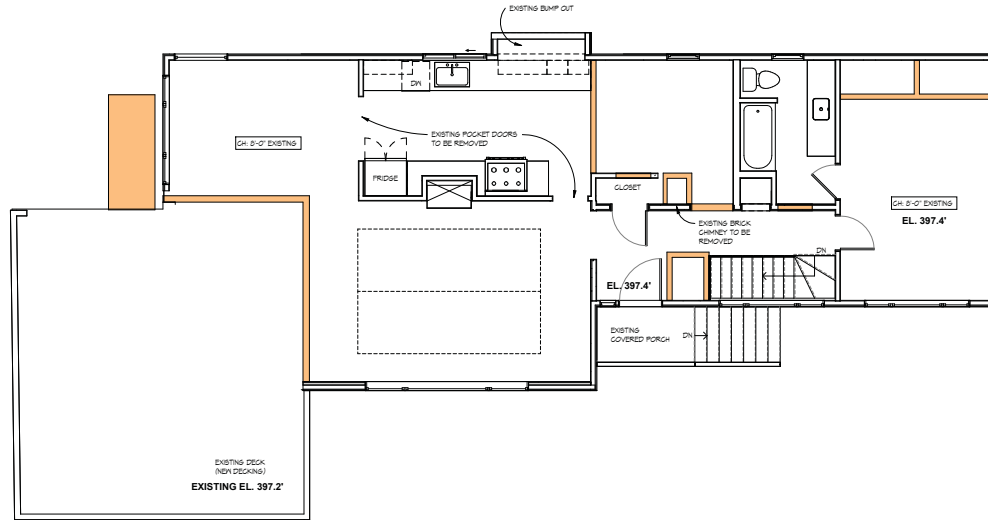
McKIBBIN-McLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
DETAILS & SCHEDULES

Date: 1.03.2023
Scale: As Indicated
Drawn: PCS
Job No: 22011
Sheet: A-9

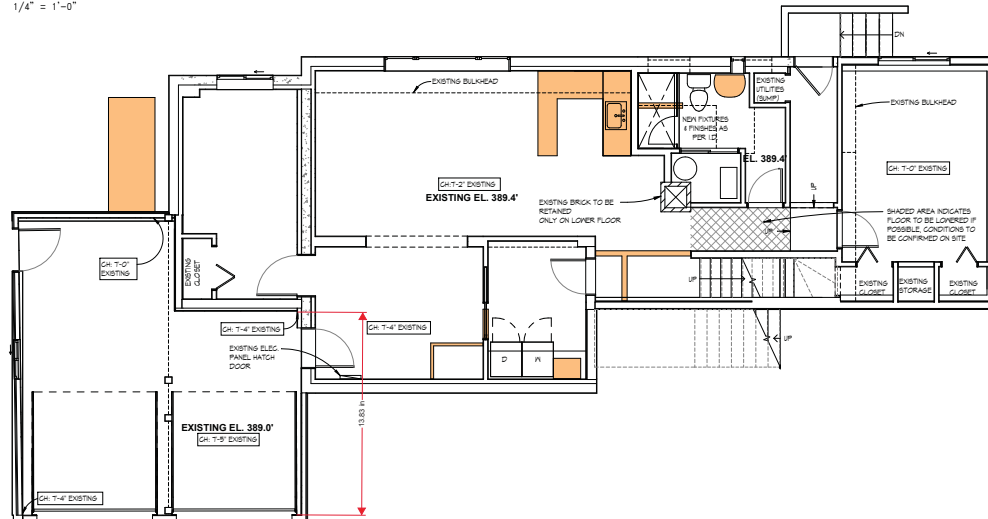
Of 10 Sheets

2023-02-02
9:16:22 AM



MAIN FLOOR PLAN

1/4" = 1'-0"



LOWER FLOOR PLAN

1/4" = 1'-0"

LEGEND	
	EXISTING WALL
	EXISTING WALL STRUCTURE, ITEM TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW PROPOSED DOOR TO REMAIN
	EXISTING WINDOW
	EXISTING WINDOW TO BE REMOVED
	EXISTING POST
	EXISTING POST TO BE REMOVED

NOTES

- IF DRYWALL IS REMOVED FROM AN EXISTING EXTERIOR WALL, THE WALL ASSEMBLY & INSULATION MUST BE REQUIRED TO BE BROUGHT TO CURRENT CODE STANDARDS. PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO THE COMMENCEMENT OF WORK.

REVISIONS	#	BY
Rev Comments	1	PCS
11/16/2022		

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Tel: (604) 680-0887
www.synthesdesign.ca

McKIBBIN-McLARTY RENOVATION / ADDITION
1253 Sutherland Ave.
North Vancouver, BC

Drawing Title
MAIN FLOOR DEMO

Date: 1.03.2023
Scale: 1/4" = 1'-0"
Drawn: PCS
Job No: 22011
Sheet: **A-10**

Of 10 Sheets

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S Y N T H E S I S D E S I G N I N C

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> TRANSMITTAL | <input type="checkbox"/> BY MAIL | <input type="checkbox"/> FOR REVIEW |
| <input type="checkbox"/> FAX COVER | <input type="checkbox"/> BY HAND | <input checked="" type="checkbox"/> FOR INFORMATION |
| <input type="checkbox"/> MEMO | <input checked="" type="checkbox"/> BY EMAIL | <input type="checkbox"/> FOR APPROVAL |

TO	CC	CONTACT	ROLE	PHONE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Huy Dang	Planner	604-990-4216
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Suzanne and Kelly	Client	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	James / Pedro	Synthesis Design	587-834-5240 / 604-980-2087

**SYN
THE
SIS**
DESIGN

PROJECT: 1253 Sutherland Avenue, North Vancouver
RE: Public Input Summary

Huy,

Public input for this rezoning application has been sought through several means. Prior to applying, Kelly and Suzanne contacted the immediate neighbours. Upon the application, immediate neighbours were then provided with a Development Application Mailout and directed to the website for the proposal information. All neighbours were provided with direct contact information for the applicant.

The formal process included the installation of 1 sign at the corner of the property which was installed on March 3rd, 2023. Handouts were distributed to nearby properties in accordance with City requirements. Mail-outs were delivered on March 1st, 2023.

Prior to the mail-outs, Kelly and Suzanne made contact and presented 11x17 copies of the plans to the surrounding neighbours. They received a number of signatures from surrounding neighbours who are in support of the project.

The DIS meeting requirement was waived by the CNV on February 21st, 2023.

Further comments on the project include 3 remarks left on the City of North Vancouver's website. All 3 comments were positive in nature and supportive of the retention of the existing garage. The comment provided on March 1st, which sought clarifications on what was being proposed, was clarified over the phone by the applicant and the proposal was discussed directly with the neighbour and the submitted drawings. The neighbours supportive response was forwarded to the Planner on March 6th.

Communication with neighbours will continue to ensure continued support and clarify any further comments, or concerns.

James Stobie and Pedro Serrano

SYN THE SIS

DESIGN

NEIGHBOURS SUPPORT

1253 SUTHERLAND AVE, North Vancouver

Feb.1.2023

We are seeking your support for a development variance permit (DVP). The proposed work within our property includes interior renovation and a small addition at the back over the existing deck, which will be conforming. However, a portion of the garage is existing non-conforming due to rear and side set back. We ask for your support in order to maintain the existing condition of the garage.

ADDRESS	NAME	SUPPORT	DO NOT OPPOSE	NOT SUPPORT	SIGNATURE
1276 Sutherland	Karen Topham	✓			[Redacted]
632 E 13th	Dylan and Jody McGuire	✓			[Redacted]
629 E 13th	Sherry Johansen	✓			[Redacted]
1254 Sutherland Ave	Shay Henits	✓			[Redacted]
1216 SUTHERLAND	ALEX HUDSON	✓			[Redacted]
623 12th Street	Scott Desaut	✓			[Redacted]
622 12th ST. E. N.V.	GLENNYS FEDERSEN	✓			[Redacted]
618 E 12th N-VAN	Dianne Parker	✓			[Redacted]
625 E 13th NV.	Francis Hall	✓			[Redacted]



SYN THE SIS

DESIGN

ADDRESS	NAME	SUPPORT	DO NOT OPPOSE	NOT SUPPORT	SIGNATURE
626 E 13th	Charlotte Sirota	Yes			
707 E 13th	MARILYN MARILYN	YES			
630 E 12th	Erin Dineen	YES			
756 E 12th	J. ANN PUSTILLO	YES			
762 E 12th	Shannon Swig	yes!			
714 E 11th	K. CRAVEN	Yes			
628 E 14th	Joe Bruzzone	Yes			
747 E 13th	BRIAN SCHRAEDER	Yes			

Thank you!

Kelly and Suzanne

NEIGHBOURS SUPPORT

1253 SUTHERLAND AVE, North Vancouver

Feb.1.2023

We are seeking your support for a development variance permit (DVP). The proposed work within our property includes interior renovation and a small addition at the back over the existing deck, which will be conforming. However, a portion of the garage is existing non-conforming due to rear and side set back. We ask for your support in order to maintain the existing condition of the garage.

ADDRESS	NAME	SUPPORT	DO NOT OPPOSE	NOT SUPPORT	SIGNATURE
1230 Sutherland Ave	Nick Sheffield	✓			
1230 Sutherland Ave - back	Iwona Hughes	✓			
1340 Sutherland North Vancouver	Lizthy Yong	✓			
624 E 13th N. Van BC	Anna M. Ben	✓			
618 E 13th N VAN	J. Popp	✓			
613 E 13th N. VAN	M. SITTER	✓			



PUBLIC MEETING (Waived) Monday, May 15, 2023 at 6:00pm

Development Variance Permit No. PLN2023-00001 **1253 Sutherland Avenue**

Proposal: To vary the Principal Building siting requirements under the One-Unit Residential 1 (RS-1) Zone to permit the siting and setback of an existing attached garage.

Provide written input: All persons who believe their interest in property may be affected by the proposed permit will be afforded an opportunity to be heard by written or email submission. ***All submissions must include your name and address*** and should be sent to the Corporate Officer at input@cnv.org, or by mail or delivered to City Hall, ***no later than noon on Monday, May 15, 2023***, to ensure their availability to Council at the meeting.

Watch the meeting online at cnv.org/LiveStreaming or in person at City Hall, 141 West 14th Street. Enter City Hall from 13th Street after 5:30pm.

View the documents online at cnv.org/PublicMeetings

Questions? Kyle Pickett, Planning Lead, kpickett@cnv.org / 604-982-3989



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



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THE CORPORATION OF THE CITY OF NORTH VANCOUVER
DEVELOPMENT VARIANCE PERMIT

Permit No. PLN2023-00001

File: 08-3400-20-0110/1

Issued to owner(s): **Suzanne Ingrid McLarty and Kelly Ann McKibbin**

Respecting the lands located at **1253 Sutherland Avenue**, North Vancouver, BC, legally described as:

**LOT 11, EXCEPT THE SOUTH 10 FEET NOW LANE, BLOCK 79 DL 550 PLAN 1904
PID: 005-968-551**

(the “**Lands**”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Development Variance Permit is issued pursuant to Section 498 of the *Local Government Act*.
-

Bylaws Supplemented or Varied:

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” are hereby varied as follows:
 - A. Section 509(5)(b) shall be varied such that an attached garage on the Principal Building shall not be sited less than 14.3 metres (46.75 feet) from the Rear Lot Line;
 - B. Section 509(5)(d) shall be varied such that an attached garage on the Principal Building shall not be sited less than 0.26 metres (0.85 feet) from the Exterior Lot Line.
-

Special Terms and Conditions of Use:

3. The Buildings and Structures shall be developed in accordance with the proposed setbacks and plans dated and listed on the attached Schedule A “List of Plans” and filed in the offices of the City, approved by Council, and in compliance with the regulations and conditions listed hereunder including:
 - A. Any future modifications to the property beyond the scope of the works described as part of this Development Variance Permit, which would include significant floor area additions, a secondary suite or coach house addition, or vehicular access or parking modifications, may be subject again to a comprehensive assessment of the property in respect to maintaining the intent of this particular Development Variance Permit.
 4. No variances other than those specifically set out in this permit are implied or to be construed.
 5. All plans attached to this Permit and specifications referred to above are subject to any changes required by the Building Inspector or other officials of the City where such plans and specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted by this Development Variance Permit. The Lands may be subject to additional regulations, restrictive covenants and agreements which may affect their use, development and amenities, if any section or lesser portion of this Development Variance Permit is held invalid for any reason the invalid portion shall be severed from this Development Variance Permit and the validity of the remainder of the Development Variance Permit shall not be affected.
-

General Terms and Conditions:

6. Pursuant to Section 504 of the *Local Government Act*, this Permit lapses if the work authorized herein is not commenced within 24 months following issuance of this Development Variance Permit. In the event the Owner is delayed or interrupted or prevented from commencing or continuing the construction on or about the subdivision by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the works shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.
7. This Development Variance Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under Section 524(3) of the *Local Government Act*.

8. Nothing in this Permit shall in any way relieve Land Owner/Developers obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
 9. Nothing in this Permit shall in any way relieve the Land Owner/Developers obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Health Act*, the *Fire Services Act*, the *Electrical Energy Inspection Act*, and any other provincial statutes.
-

Authorized by Council: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla D. Graham, Corporate Officer

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Development Variance Permit No. PLN2023-00001.

Notice filed the _____ day of _____, 20____.

THIS IS NOT A BUILDING PERMIT

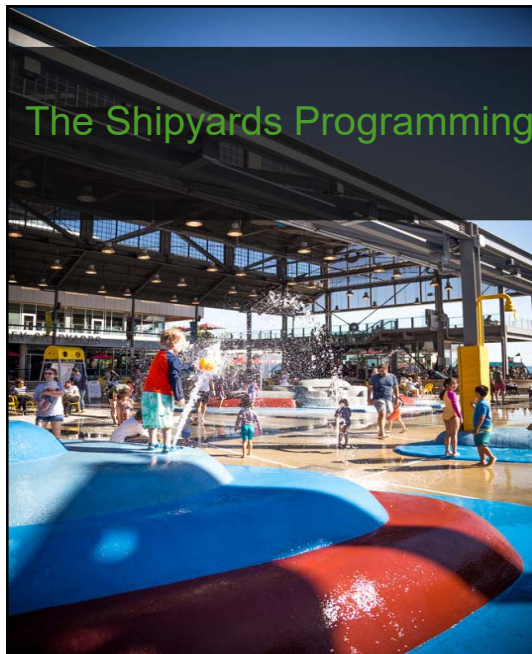
Schedule A
List of Plans – 1253 Sutherland Avenue

Designer	Project Name	Sheet Description	Sheet No.	Sheet Date	CityDocs File Number
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Site Plan	A-1	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Specifications	A-2	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Main Floor Plan	A-3	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Lower Floor Plan	A-4	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Foundation & Roof Plans	A-5	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	North & East Elevations	A-6	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	South & West Elevations	A-7	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Sections & Assemblies	A-8	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Details & Schedules	A-9	January 3, 2023	2329885
Synthesis Design Ltd.	McKibbin-McLarty Renovation / Addition	Main Floor Demo	A-10	January 3, 2023	2329885




The Shipyards 2023 Programming

Presented May 15, 2023
The Shipyards & Waterfront

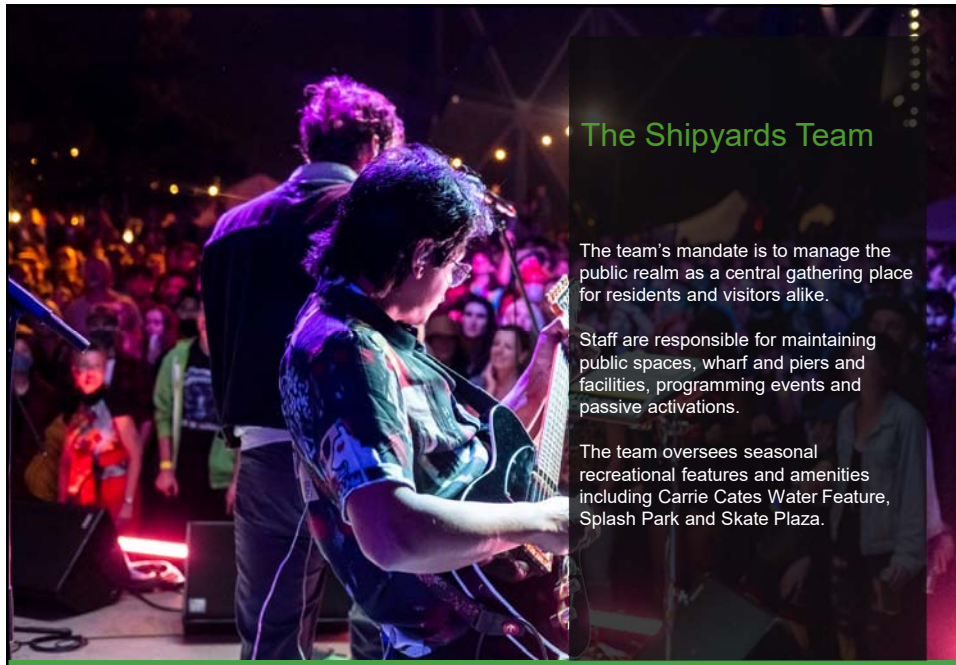



The Shipyards Programming

To update Council on
The Shipyards 2023
Programming Calendar.



2



The Shipyards Team

The team's mandate is to manage the public realm as a central gathering place for residents and visitors alike.


Staff are responsible for maintaining public spaces, wharf and piers and facilities, programming events and passive activations.

The team oversees seasonal recreational features and amenities including Carrie Cates Water Feature, Splash Park and Skate Plaza.

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of north
vancouver

3

The Shipyards Public Spaces



ESPLANADE COMPLETE STREET

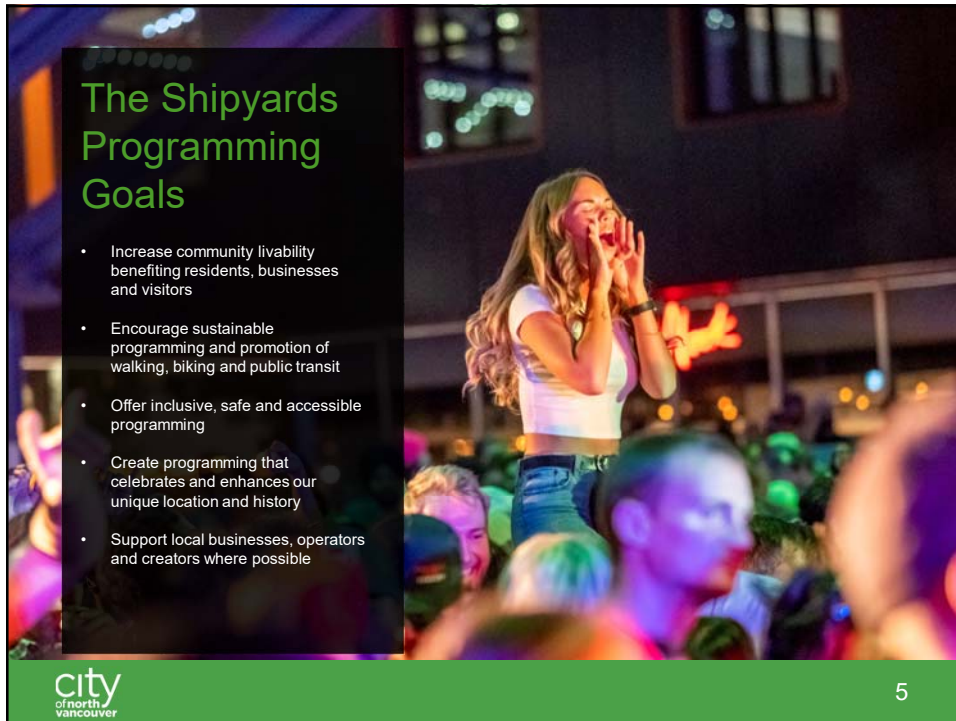
Waterfront Park

Sea Bus

Brewery District

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of north
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4



The Shipyards Programming Goals

- Increase community livability benefiting residents, businesses and visitors
- Encourage sustainable programming and promotion of walking, biking and public transit
- Offer inclusive, safe and accessible programming
- Create programming that celebrates and enhances our unique location and history
- Support local businesses, operators and creators where possible

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5



The Shipyards Third Party Programming Selection Process

- Programming profile
- Operational details
- Experience and references
- Sustainable Attributes

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6



Reoccurring Events and Activations

- Shipyards Night Market
 - Fridays, May 12 - September 15
- Deckchair Cinema
 - Thursdays, June 29 – August 31
- Shipyards Artisan Market
 - Thursdays, July 6 – August 31
- MONOVA Shipyard Pals
 - Tuesdays and Sundays, June 7 – September 10

city of north vancouver

8



Cultural Events and Festivals

- Vancouver International Mountain Film Summer Fest
 - June 24
- Iranian Artisan Market on Canada Day (Pipe Shop)
 - July 1
- Philippine Days Cultural Festival
 - July 8-9
- Polish Festival
 - September 3

9

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Community Events and Festivals

- CityFest – May 6
- Battle of The Atlantic – May 5-8
- North Shore Band Fest – June 11
- Canada Day – July 1
- Cap U Jazz Festival – July 2
- Smooth Groves of Summer Showcase - July 29
- Pride at the Pier – August 4
- FemSport – September 16
- Shipyards Festival – September 23

10

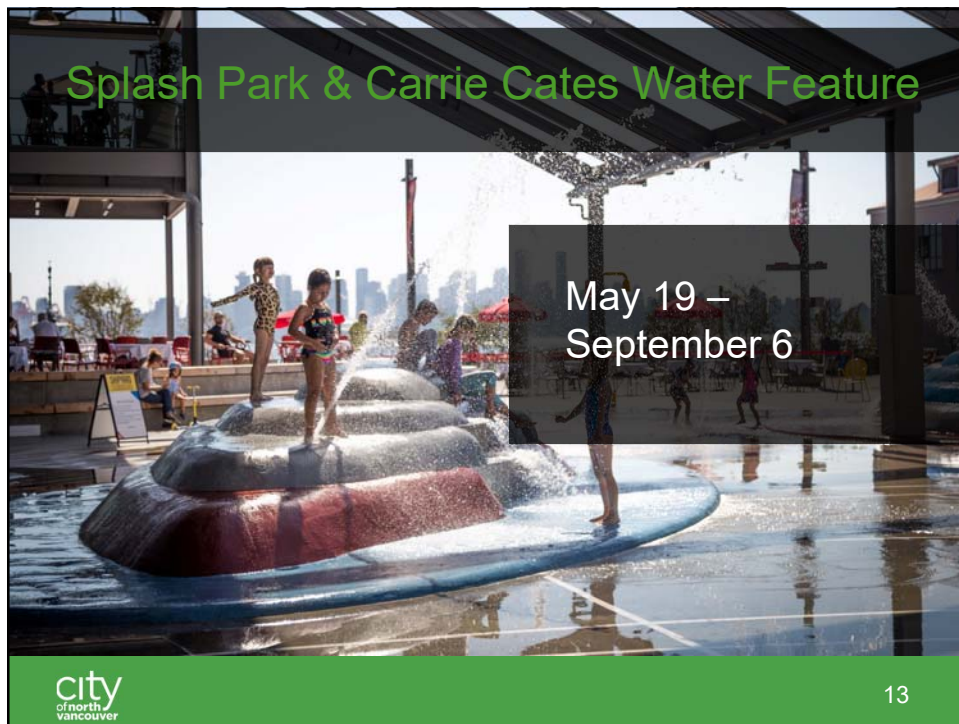
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City Produced Events and Activations


- Squamish Nation Amalgamation Celebration
 - Saturday, July 15
- Long Summer Nights
 - Saturdays, July 22 – August 26
- Sunset Cinema
 - Wednesdays, August 2 – 23
- Halloween at The Shipyards
 - October 29
- Spirit of The Season
 - December 2
- Skate Plaza NYE
 - December 31

Health & Wellness Activations

- NVRC ZUMBA
 - Tuesdays, June 27 – July 25
- NVRC Bollywood Dance
 - Tuesday, August 1
- NVRC Ballroom Dancing
 - Tuesdays, August 8, 15 & 22
- Silver Harbour Senior Center Chair Yoga for Seniors
 - Thursdays, June 8 – July 27
- NSFS Women's Discussion Group 55+
 - Wednesdays, July 5 – August 30





 Department Manager	 Deputy Director	 Director	 CAO
--	--	---	--

The Corporation of **THE CITY OF NORTH VANCOUVER**
ENGINEERING, PARKS & ENVIRONMENT DEPARTMENT

INFORMATION REPORT

To: Mayor Linda Buchanan and Members of Council

From: Magda Kwaterska, Manager, The Shipyards & Waterfront

Subject: SUMMER PROGRAMMING AT THE SHIPYARDS

Date: May 3, 2023 File No: 13-6740-01-0001/2023

PURPOSE

The purpose of this report is to inform Council of planned activations throughout the spring and summer at The Shipyards.

ATTACHMENTS

1. 2023 Shipyards Programming Calendar (CD [2362785](#))

DISCUSSION

The Shipyards presents a robust programming calendar for summer 2023 with a variety of community and cultural events, festivals, health and wellness classes, activations and reoccurring programming. The following events are confirmed; new events denoted with the star are explained in more detail below:

- May 5-8 Royal Canadian Navy Battle of Atlantic
- May 6 CITYFEST
- June 11 North Shore Band Fest
- June 25 Vancouver International Mountain Film Festival
- July 1 Canada Day
- July 2 Capilano University Jazz Festival
- July 8-9 Philippine Days Cultural Festival
- July 15 Squamish Nation Amalgamation Celebration*
- July 29 Smooth Grooves of Summer Showcase
- August 4 Pride at the Pier
- September 3 Polish Festival
- September 16 FemSport (<https://www.femsport.ca/>)

- September 23 Shipyards Festival

Reoccurring programming from May through to September includes:

- The Shipyards Night Market – Fridays, May 12-September 1
- Polygon Deckchair Cinema – Thursdays June 8-August 31
- MONOVA Shipyard Pals – Thursdays and Sundays June 7-September 10
- NVRC Fitness Classes – Mondays, Wednesdays and Fridays July 5-August 25
- Shipyards Artisan Markets – Thursdays July 8-August 31 13
- Long Summer Nights* – Saturdays, July 22-August 26
- Sunset Cinema – Wednesdays August 2-August 23

In addition to the above, staff work collaboratively with the Pipe Shop Event Organizers to ensure The Shipyards Programming is messaged cohesively. A listing of those events can be found on the [Community Event Calendar](#) and also on our 2023 Shipyards Programming Calendar poster.

New Programming for 2023

Two new City produced events will take place this summer: the Squamish Nation Amalgamation Celebration and Long Summer Nights.

The Squamish Nation Amalgamation Celebration celebrates the 100th anniversary of the amalgamation of 16 bands united as one Squamish Nation. In celebration of this important piece of post-colonial history, the City along with the Squamish Nation have come together to celebrate rich Indigenous culture, showcase resilient traditions and recognize this momentous achievement. In support of the month-long Skwxwú7mesh Days Festival, the City paired with its partners; Lonsdale Quay, MONOVA and Polygon Gallery will activate The Shipyards with music, dance, culinary experiences and educational workshops on Saturday, July 15 leading up to the [Skwxwú7mesh Days Festival](#) held at Ambleside Park on July 23.

The site will be activated with daytime performances at Shipbuilders' Square as well as Indigenous food trucks, artisan workshops and storytelling. The celebrations will close with an inspiring fashion show by the internationally renowned Indigenous designer, Pam Baker, whose work will be showcased by Indigenous youth models. City staff continue to work with members of the Squamish Nation to bring authentic programming with a true representation of the culture. More information will be shared in June as details become finalized.

Long Summer Nights is an event series featuring six Saturdays of diverse, inclusive, and themed entertainment on the Shipbuilders' Square stage. Supporting the City of North Vancouver's vision to be the "Healthiest Small City in the World", this summer series will feature dance lessons, activities and opportunities for the community to interact with performers on stage. Each event will be thematic, and will promote diverse programming by local and regional emerging musicians and dance groups. Theme nights will include Viva North Vancouver, 90's Nostalgia, Global Emersions, Country Thunder, Young at Heart and Jazz at The Shipyards. Local breweries will be on rotation and there will be

giant board games and crafts, plus circus school workshops for the kids. Long Summer Nights' overarching theme is to build connection and support community in North Vancouver.

The spring and summer programming calendar will showcase 104 active events and activations and nine Health and Wellness activations paired with 109 days of fun in the Splash Park.

In addition to confirmed programming, staff are exploring opportunities for small-scale mid-week activations, placemaking efforts, workshops and on-going recreation and wellness initiatives to complement the summer experience at The Shipyards.

STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS

This planned programming advances the priorities for "A City for People" and "A Vibrant City" of Council's Strategic Plan and OCP Objective 5.3.4 to encourage a variety of community activities through policy, facilities and grants.

RESPECTFULLY SUBMITTED:



Magda Kwaterska
Manager, The Shipyards & Waterfront

THE SHIPYARDS PROGRAMMING

2023 TIMELINE

Attachment 1



Additional Activations
Arts & Recreation | Dance | Workshops

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Matthew Menzel, Planner 2

Subject: REZONING APPLICATION: 1536-1550 EASTERN AVENUE (KENWOOD APARTMENTS LTD. / RAFII ARCHITECTS INC.) AND TEXT AMENDMENT FOR 1629 ST. GEORGES AVENUE (CD-603)

Date: May 3, 2023 File No: 08-3400-20-0094/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated May 3, 2023, entitled "Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment for 1629 St. Georges Avenue (CD-603)":

THAT the application submitted by Kenwood Apartments Ltd. / Rafii Architects Inc., to rezone the property located at 1536-1550 Eastern Avenue from a RM-1 Zone to a Comprehensive Development Zone, be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the "Density Bonus and Community Benefits" section of this report be secured, through legal agreements at the applicant's expense and to the satisfaction of staff.

ATTACHMENTS

1. Context Map (CityDocs [2324812](#))
2. Resolution from Council meeting minutes of March 28, 2022 (CityDocs [2306604](#))
3. City Policy Overview (CityDocs [2309506](#))
4. Architectural Plans dated May 1, 2023 (CityDocs [2360791](#))
5. Landscape Plans, dated July 19, 2022 (CityDocs [2361086](#))
6. Public Consultation Summary (CityDocs [2112010](#))

7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892" (CityDocs [2219508](#))
8. "Housing Agreement Bylaw No. 8893" (CityDocs [2337347](#))

SUMMARY

The purpose of this report is to present a rezoning application for 1536-1550 Eastern Avenue to amend the Zoning Bylaw to permit a 13-storey building to accommodate 118 residential rental units (including 13 mid-market rental units), and a child care facility with up to 81 spaces on the ground level.

Included is a proposal to transfer density from a private property at 1629 St. Georges Avenue to the subject site to facilitate the proposed development, which requires a parallel text amendment to CD-603 in the Zoning Bylaw.

The proposal would replace two apartment buildings containing a total of 34 one and two bedroom rental units that were built in the 1960s.

BACKGROUND

Council previously considered a proposal for this site in the spring of 2022. At the time, the proposal was for a 13 storey building, which included 107 residential rental units and a 180 space child care facility on the bottom two floors of the building. Council denied the application at the March 28, 2022 Council meeting (Attachment #2).

Subsequently, the applicant has submitted a new rezoning application with a revised development concept to reduce the number of child care spaces to 81, and increase the number of rental units to 118. The appearance, design elements and orientation of the proposed building remains largely unchanged.

Applicant:	Kenwood Apartments Ltd.
Architect:	Rafii Architects Inc.
Official Community Plan Designation:	Residential Level 6 (R6)
Existing Zoning:	Medium Density Residential 1 (RM-1)
Applicable Policies:	<ul style="list-style-type: none">• 2014 Official Community Plan• City's Strategic Plan• Zoning Bylaw, 1995, No. 6700• Density Bonus and Community Benefits Policy• Residential Tenant Displacement Policy• Housing Action Plan• Child Care Action Plan• Active Design Guidelines

DISCUSSION

Site Context and Surrounding Uses

The subject site is located in the Central Lonsdale area of the City, along the eastern side of Eastern Avenue between East 17th Street to the north, and East 15th Street to the south (Attachment #1). The area consists of high density residential and mixed-use buildings, and one- and two-storey commercial buildings along the east side of Lonsdale Avenue.

Two lanes border the site with an east/west lane along the southern edge of the site and a north/south lane to the east. To the north of the site is the forthcoming 1600 Eastern Park which is an amenity contribution from the recently completed development at 143 East 17th Street.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	143 East 17 th Street	13 storey apartment building, separated by a public park.	CD-403
South	136 East 15 th Street	7 storey mixed-use building	CD-176
South	150 East 15 th Street	12 storey apartment building	CD-111
East	1565 St. Georges Avenue	3 storey apartment building	RM-1
East	1549 St. Georges Avenue	4 storey apartment building	CD-660
East	1535 St. Georges Avenue	3 storey townhouse building	RM-1
West	1555 Eastern Avenue	14 storey apartment building	CD-172
West	112 East 15 th Street	14 storey mixed-use building	CD-039

Project Description

The proposal is for a 13-storey residential rental development that includes a child care facility for up to 81 children on the ground level and a total of 118 rental residential units in the tower above. The building includes two levels of underground parking for residents, visitors and the child care use (Attachment #4).

Table 2: Development proposal overview

Element	Proposal
Density	3.45 FSR
Child Care Facility	Maximum number of children = 81 Indoor space – 874 square metres (9,407 square feet) Outdoor space – 475 square metres (5,112 square feet)
Unit Mix	118 residential rental units, including: <ul style="list-style-type: none"> • 24 studio units; • 65 one-bed units; • 14 two-bed units; and • 15 three-bed units (12.7%).
Mid Market Rental	13 units (11%), including: <ul style="list-style-type: none"> • 2 studio units; • 8 one-bed units; • 1 two-bed units; and • 2 three-bed units.
Adaptable Units	34, Level 2 adaptable units (28.8%)
Residential Amenity	Indoor – 417 square metres (4,488.5 square feet) Outdoor – 742 square metres (7,987 square feet)
Storage Lockers	122

13 of the units (11%) are proposed as mid-market rental units and 34 of the units (28%) are proposed to meet Level 2 of the Adaptable Design guidelines. All units will be secured through the Housing Agreement for the life of the building.

Additionally, two units are intended to be allocated for child care staff housing and offered at the same rental rates as the mid-market rental units. These will also be secured in the Housing Agreement and would be in addition to the 13 mid-market rental units.

PLANNING ANALYSIS

Policy Context

The subject site is designated Residential Level 6 – High-Rise Apartment in the Official Community Plan (OCP). The purpose of this designation is to provide well-designed high density development in the Lonsdale Regional City Centre with a maximum density of 3.3 FSR (including 1.0 bonus FSR) and maximum building height of 37 metres.

A description of how the proposed development meets the City's policy objectives can be found in Attachment #3.

Built Form and Urban Design

The proposed built form is consistent with the character of the neighbourhood. The proposed height at 37 metres (and 13 storeys) complies with the OCP and ensures the building integrates with existing and future developments on adjoining lots, as well as establishes an appropriate street wall along Eastern Avenue. Tower positioning has been considered to ensure an appropriate separation to other nearby towers.

Positioning of the residential and child care lobbies, along with orientation of upper level roof decks and balconies creates a positive interface with Eastern Avenue. The primary stairs leading to the upper floors are visible from the lobby to encourage active use.

A high level of laneway activation and casual surveillance is achieved through delivery of five ground-oriented rental units with private recreation areas overlooking the southern laneway and orienting the communal outdoor amenity area and upper level private balconies towards the two laneways.

The proposal will also deliver several on-site amenity areas including two large indoor amenity rooms and two roof-level decks, as well as a pet play and relief area on Level 4, to encourage social interaction amongst the residents of the building.

Density

The proposed density is 3.45 FSR and consists of two components:

1. OCP maximum density of 3.3 FSR (including 1.0 FSR bonus density) for the Residential Level 6 land use designation; and
2. Transfer density of 0.15 FSR equaling 338.7 square metres (4,184 square feet).

The applicant is proposing a density transfer of 338.7 square metres (4,184.0 square feet) from a nearby site to increase the allowable FSR to 3.45. The available density is being held in a transfer bank within the CD-603 Zone that is tied to 1629 St. Georges Avenue. This would enable the delivery of additional rental units, including mid-market rental units and family friendly units.

Section 2.3 of the OCP gives Council the ability to authorize a density transfer. For this proposal, the transfer is through a private arrangement where the available density can only be sold to another development site, preferably in the immediate area. This transfer is done by a parallel text amendment to the CD-603 zoning for the donor site to reduce the allowable density on that site.

The subject site is able to accommodate the small amount of additional density without the resultant building form exceeding the maximum 37 metre height limit established in the OCP. The building can also accommodate all required vehicle and bicycle parking.

The total proposed density is supported by staff given that the built form and urban design elements of the project fit within the context of the neighbourhood.

Child Care Facility

Demand for child care is increasing with both the increase in population, as well as new initiatives from both the Federal and Provincial governments aimed at increasing supply and affordability. The subject site is identified within the Lonsdale Regional City Centre which is envisaged to accommodate regional-scale employment, services, business and commercial activities, along with high density housing. It is located within walking distance to two existing frequent transit routes, along Lonsdale Avenue and East 15th Street. It's central location in a higher density neighbourhood make it ideal for the development of a child care facility. It offers convenience for families who live or work

nearby, encourages walking and cycling, and the facility will be more attractive to potential employees by providing access to transportation alternatives.

Alignment with the Child Care Action Plan 2021-2031

The City of North Vancouver's *Child Care Action Plan 2021-2031* (December 2020) identified a shortage of child care spaces throughout the City.

As of 2019, there were only 25 child care spaces for every 100 children in the City (0-12 years of age). The child population in the City of North Vancouver is projected to grow 23% by 2030, which equates to an additional 1,541 children. In order to maintain the current child care access rate, a total of 674 new child care spaces would need to be created by 2031. To improve the City's child care access rates, the City set a target to create 1,063 new spaces over by 2031, as detailed in *Table 3*:

Table 3: CNV targets for new licence child care spaces

Program Type	Target for Average Access Rate by 2031	Number of Spaces needed to meet target by 2031
Infant and Toddler	33 spaces per 100 children	299 new spaces
Preschool (3-5 year olds)	50 spaces per 100 children	300 new spaces
School age (6-9 year olds)	33 spaces per 100 children	464 new spaces

Under the *Child Care Action Plan 2021-2031* the subject site is located within the 'Central Planning Area'. The area is home to approximately 39% of the City's child population and is projected to continue to increase, but has child care access rates well below the above noted targets:

- Age 0-2: 16 spaces / 100 children
- Age 3-5: 34 spaces / 100 children
- School Age: 9 spaces / 100 children

Proposed Operation:

The applicant is proposing a privately operated child care facility for up to 81 children, including both infant/toddler and pre-school programs. The facility would be contained on the first floor of the development, with access via Eastern Avenue. Approximately 22 staff members will be required to operate the facility, which will be confirmed as part of Vancouver Coastal Health's childcare licensing process.

Design Guidelines

When Council considered the previous application for this site in 2022, Council directed staff to develop a policy regarding the appropriate scale and capacity of child care facilities to align with the neighbourhood context. Staff are including this work in the upcoming Community Wellbeing Strategy.

As noted, the Province is developing new policy as well as design guidelines for child care facilities, which are expected to be approved in spring 2024. In the meantime, the Province is recommending using the City of Richmond Child Care Design Guidelines as best practice. Once the guidelines are made available, staff will review and consider if any other policy measures should be explored in alignment with Council's priorities.

As part of the review of the proposed rezoning application, Vancouver Coastal Health is required to undertake a review of the proposed child care facility, specifically in relation to licensing requirements, as well as the design of the proposed facility. Vancouver Coastal Health's review and requirements for the rezoning stage have been completed as being satisfactory. A more comprehensive review of the proposal will be undertaken at the building permit stage of development by a qualified third party.

Design Features

The proposed child care facility has been located within the northern portion of the ground level. Access to the facility would be via a designated pedestrian entrance extended from Eastern Avenue, to the north of the main residential entrance. The proposed elevators will be shared between the residential rental units and the child care operator, ensuring secure and equitable access to the proposed car parking spaces within the P1 Level (discussed further below).

An indoor amenity room is proposed to be shared amongst the different programs. The proposal has provided outdoor play space adjacent to the north end of the facility and the forthcoming urban park.

Co-location of the outdoor play area with the future urban park will ensure that potential noise impacts on sensitive land uses are mitigated to the extent possible. The outdoor space and the future urban park is separated by a six-foot-tall timber fence, which will sit on top of a two-foot-high retaining wall. The facility will not have direct access to the park to the north.

The applicant's architect has provided a preliminary assessment of the proposal against the provisions in the City of Richmond's Child Care Design Guidelines.

During the review of the Building Permit application, the applicant will be required to submit a professionally prepared analysis and report on the alignment of the detailed child care plans with the City of Richmond design guidelines. Staff will review the report for alignment with the guidelines including provision of shared/common areas, indoor activity areas, support spaces and outdoor activity areas. The final number of child care spaces will be determined by the capacity of the facility, up to the proposed maximum of 81 spaces.

Staff Accommodation:

The applicant is proposing two of the residential units to be used for child care staff accommodation and is accessed from the south lane. The intent is to improve access to housing options for staff and to help reduce commuting time. The applicant is proposing each unit to be fully furnished, offered at below-market rental rates and would accommodate two staff members each. Tenancy of these units would be conditional of employment by the child care facility. Should the units not fit with the plans of the child care provider, they may be placed in the general rental pool. These units would not affect the number of MMR units being proposed.

Pick-up and Drop-off

The proposal includes 9 car parking spaces within the P1 Level, for exclusive access by the child care facility, consistent with the requirements of the Zoning Bylaw. It is also proposed that the thirteen residential visitor parking spaces be shared between residential and child care users, which will increase the availability of parking spaces for use during peak pick up/drop off (further commentary regarding this arrangement is provided below).

The location is close to many high-density residential buildings and is also close to a main public transit intersection at 15th Street and Lonsdale Avenue. It is anticipated that many users would be arriving from nearby residential buildings on foot or using public transit. Those using private vehicles can access the designated pick-up and drop-off areas on the P1 level of the underground parkade. The location of the parking is intended to mitigate noise and street disruption during these times.

Proposed Zoning Changes

The proposed Comprehensive Development Zone will be based off of the High Density Apartment Residential 1 (RH-1) zone, consistent with the proposed use types and recent developments within proximity to the site, including 245 East 16th Street & 250-252 East 15th Street (CD-726). To allow the massing, the proposed bylaw would include the following modifications to the RH-1 zone base:

Table 4. Summary of Proposed Zoning Compliance and Changes

	BASE RH-1 ZONE	PROPOSED CD-749 ZONE
Permitted Principal Uses	Apartment Residential Use Child Care Use Accessory Residential and Parking Uses	Rental Apartment Residential Use Child Care Use Accessory Residential and Parking Uses
Density Maximum	2.6 FSR	3.45 FSR
Lot Coverage Maximum	50 percent	58.25 percent
Height Maximum	30.48 metres (100 feet)	13 storeys and 37 metres (in accordance with OCP)
Siting	7.62 metres (25 feet) from a Lot line.	Northern boundary: <ul style="list-style-type: none"> • 9.75 metres; • 0 metres for the second floor deck, up to a maximum width of 5.75 metres (18.9 feet). Southern boundary: <ul style="list-style-type: none"> • 4.6 metres (15.1ft) Eastern Boundary: <ul style="list-style-type: none"> • 2.48 metres (8.10 feet)

BASE RH-1 ZONE		PROPOSED CD-749 ZONE
		Western Boundary (Eastern Ave): <ul style="list-style-type: none"> 2.0 metres (6.56 feet) at podium level.
Tower Separation	All portions of Principal Building exceeding four storeys shall be sited at least 24.38 metres (80 feet) from all other portions of Principal Buildings exceeding four Storeys.	Minimum of 23.7m (77.75 feet)
Building Width & Length	Maximum 30.48 metres (100 feet) above the third storey	Maximum of 33 metres (108.3 feet) above the third storey
Child Care Spaces	20 spaces	Up to a maximum of 81 spaces

Child Care Spaces

The proposed development will result in an increase the number of children in a Child Care Use from 20, to a maximum of 81 children on the subject site.

The 20 space limit was intended to restrict the size of child care facilitates in low density residential areas. As outlined above, the proposed variance to allow up to 81 children is supported given the need for new child care spaces, particularly within the Regional City Centre which contains high density residential uses, and large scale employment generating uses.

Tower Separation

The development proposes a minor variation to the tower separation requirement of 24.38 metres (80 feet). Specifically, a very small portion of the building will be separated by a minimum of 23.7 metres (77.75 feet) from the nearby tower on the site at 134-140 East 15th Street.

The proposed variation to tower separation is limited to a very small portion of the building in the south-west portion of the building. The proposed variance is considered minor, and will not result in any additional overlooking impacts to nearby residents in comparison to a compliant building. The positioning of the tower element towards the southern portion of the site has been requested to minimize potential shadow impacts on the future park to the north.

It is anticipated that a future redevelopment of the nearby site at 134-140 East 15th Street can be designed to meet the required tower separation distance. The proposed variance to tower separation is generally consistent with similar developments within the vicinity, including 245 East 16th Street & 250-252 East 15th Street (CD-726).

Lot Coverage, Siting and Building Length and Width

The proposed development has provided a suitable built form outcome, given the high density context defining the subject site.

The proposed elevations have been designed with appropriate articulation along the length of the building, including steps in the building line, and inclusion of attached and recessed balconies. The building adopts a contemporary design, which utilizes a variety of façade materials. These built form elements appropriately break up the form of the building and reduce the perceived building bulk, despite the minor variances proposed.

The site has been designed with appropriate landscaping treatments throughout the site and within the streetscape, to soften the built form elements and enhance amenity for residents. These landscaping treatments and streetscape upgrades will ensure the development positively contributes to the streetscape.

Parking, Loading and Transportation

The proposal is located within the Lonsdale Regional City Centre and is within walking distance to nearby shops and amenities. The site is less than a block away from a key public transit intersection with bus routes on the Frequent Transit Network: Lonsdale Avenue, providing a frequent link along Lonsdale and to the SeaBus; and 15th Street providing a link to Lynn Valley, Marine Drive and Downtown Vancouver. The site is located a block away from the 17th Street bike route, which is part of the City's developing AAA bicycle network. Residents and child care users will have multiple active transportation and transit options to access the site.

Generally, the application meets the requirements of the Zoning Bylaw.

Table 5: Proposed Vehicle and Bicycle Parking

Car Parking	Total of 93 spaces, comprised of: <ul style="list-style-type: none"> • 71 Resident parking spaces (including 4 accessibility spaces); <ul style="list-style-type: none"> ◦ 0.6 spaces per unit; • 13 Residential Visitor spaces; and • 9 day care spaces (including one disability space). <i>Note: The 13 residential visitor parking spaces are to be shared with users of the proposed child care facility.</i>
Bicycle Parking	Residential: <ul style="list-style-type: none"> • Secure – 183 spaces; • Short Term – 12 spaces. Child Care: <ul style="list-style-type: none"> • Short Term – 2 spaces. Shared Residential & Child Care: <ul style="list-style-type: none"> • 15 e-bike spaces.
Loading Spaces	One at-grade loading bay.

Shared Residential Visitor and Child Care Vehicle Parking

The development involves a variation to the usage of the proposed residential visitor car parking. Specifically, it is proposed that the 13 residential visitor car parking spaces provided will be shared with the users of the child care facility.

Given the child care facility and residential visitor parking will have different peak use times, the shared arrangement for these spaces will make better use of the overlapping parking demands generated by the child care users and residential visitors. Use of these car parking spaces will be jointly managed by the child care operator and rental

manager of the building, and the terms can be specified in the development covenant. Appropriate signage will be installed and maintained to manage this arrangement. The residential visitor and child care facility parking provided will help reduce on-street parking pressure.

The subject site is located in a centralized location, within proximity to frequent transit corridors with inbound and outbound bus stops located within walking distance of the site. On this basis, it is anticipated that the majority of visitor trips to the site will be by transit and active transportation modes. The proposed development has provided 14 bicycle parking spaces for residential visitors and child care users adjacent to the lobby, to promote use of active transportation. Additionally, a bike room containing 15 e-bike parking spaces will be available for residents, residential visitors and child care staff.

Given the expected reduced demand for parking on the site, the proposed variance is supported.

Off-Site Works and Infrastructure Upgrades

The proposed development will provide appropriate off-site streetscape upgrades consistent with the Subdivision and Development Control Bylaw. Frontage works along Eastern Avenue will improve the pedestrian environment through the installation of a wider sidewalk, a grassed boulevard with street trees, and street lighting.

The lane to the south will also be improved through provision of a dedicated sidewalk fronting the townhouse units facing the lane. A public walkway will be provided along a portion of the east lane from the northern end of the parkade access to the northern property line, to facilitate a public walkway that would connect with the new park to the north of the site. These public walkways will be secured through provision of a statutory right of way.

In addition to the bylaw required infrastructure upgrades, works will also be undertaken to improve pedestrian crossings at the intersection of Eastern Avenue and East 15th Street. The applicant has also agreed to provide a financial contribution of \$220,000 towards the installation of a new traffic light at the St. Georges and East 17th Street intersection.

These requirements will be secured through a Servicing Agreement with the City.

Residential Tenant Displacement Policy

The applicant has obtained a private company to manage the relocation of existing tenants and submitted their relocation plan that will be an appendix to the Housing Agreement (Attachment #8).

When the first application was received, a letter was sent out to the tenants prior to the application being filed with the City on September 21, 2020, to introduce the plans for the property. Further information was provided to the tenants on June 30, 2021 that included a possible timeline of events occurring and outlined one-on-one meetings with the relocation coordinator, as well as information on the applicant's VDIS meeting and

most recent updates on how they could participate. Communication with tenants has been ongoing since this re-application.

With the submission of the current application, the applicant has updated their Tenant Relocation Plan to meet with the current Residential Tenant Displacement Policy that was amended in July 2021. Letters have been sent to all tenants describing the current application and the new compensation packages. The new compensation package includes the following:

Length of Tenancy	Financial Compensation Amount
Less than 5 years	4 months' rent
More than 5 years	4 months' rent plus (total tenancy length in months -60) x \$25

Moving expenses will also be modified with a flat rate payment based on the number of bedrooms according to the following:

- \$1,000 for one bedroom units; and
- \$1,250 for two bedroom units.

These rates will be adjusted to meet annual Consumer Price Index (CPI) from the date of the policy.

At the time of this report, the applicant informed staff that since 2020, eight of the existing 34 tenancies have relocated. One of the tenants moved prior to this application and used the relocation assistance to move within the city. Others have relocated on their own based on each individual circumstance, such as relocated out of the region or country due to work, or family situations. The tenant using the relocation service was done prior to this application and was subject to the relocation plan based on the 2015 policy at the time. An update on the status of tenant relocation can be provided should Council move the application forward.

Since making the current application, the applicant has temporarily rented out the vacant eight units at below market rates with the understanding that this is a temporary tenancy and that the relocation services offered to the existing tenants prior to the application being made would not be applied.

Under the provincial *Residential Tenancy Act*, the earliest the applicant may issue notice to end tenancy is when all permits have been issued for the development. The notice shall be a minimum of four months' notice.

Density Bonus and Community Benefits

The City's Density Bonus and Community Benefits Policy, in conjunction with the Official Community Plan, allows for density bonuses beyond 2.3 FSR as listed in the Residential Level 6 land use designation, up to a maximum of 3.3 FSR.

The policy enables applicants seeking additional density to provide community benefits to the City. To achieve the desired 1.0 FSR bonus density, the applicant has agreed to secure, through the registration of a Housing Agreement (Attachment #8), all proposed

118 units as rental units in perpetuity, as well as to provide 13 of these units at Mid-Market rates (i.e. units that are set at 10% below Canada Mortgage and Housing Corporation average market rents for the City, based on unit type) in perpetuity.

In addition to secured market and mid-market rental units, staff are seeking Council direction to secure the following items as conditions of this rezoning:

- A financial contribution of \$220,000 towards the future traffic light installation at St. Georges and East 17th Street as determined by the developer's consultant and confirmed by staff;
- public access right-of-way along part of the eastern and southern boundaries, to provide public access to the proposed plaza areas; and
- Public Art to a value of \$125,000.

Legal Agreements

Should Council support this rezoning, the following legal agreements will be prepared prior to final adoption:

- Development Covenant;
- Housing Agreement;
- Servicing Agreement;
- Flooding Covenant;
- Crane Swing and Shoring Agreement;
- Community Good Neighbour Agreement; and
- Community Energy Agreement.

ADVISORY BODY INPUT

Advisory Design Panel

This application is a revised development concept for the same site that Council saw in March 2022. The application is largely the same, with the exception of a significantly smaller child care facility. The resulting change in the overall design of the proposal did not warrant another review of the Advisory Design Panel, who supported the previous review along with the requested revisions to the satisfaction of staff.

COMMUNITY CONSULTATION

The applicant held their Developer Information Session (DIS) during their previous application on July 22, 2021, which was attended by 11 people. Twenty-three comment forms were received and there was a mixture of support and opposition (Attachment #6).

With the submission of their recent application, it was decided that given the minor changes to the application, a new DIS was not required. Instead, updated notifications to the neighbouring area were sent out on October 17, 2022 to highlight the proposed changes. No comments have been received from this notification.

Overall, those who support the proposal liked the design of the building, the inclusion of mid-market units and a child care facility.

The comments that were opposed to the application expressed concerns about the amount of construction in the area over the past several years, and the noise that occurs during the day when people are working from home more often. There have been concerns received about the existing trees on the site, in particular a cedar tree fronting Eastern Avenue.

Construction Impact Management

In addition to the City's *Construction Regulation Bylaw* and *Noise Control Bylaw*, the City has implemented the construction ambassador program, which assigns a bylaw officer that specifically monitors construction sites, and does hands-on work with construction crews on mitigating neighbour disruptions during the construction phase.

A Traffic Management Plan, Erosion and Sediment Control Plan and Construction Management Plan will be developed and reviewed by Development Services, to lower anticipated impact on the neighborhood during construction.

A Good Neighbor Agreement will be executed prior to adoption to manage potential impacts associated with the construction phase, and create clear communication between the contractor and the surrounding community regarding major construction disturbances. This process includes the developer appointing a Communications Officer, who can respond to potential complaints and enquiries from nearby residents.

Tree Removal

While the application is subject to the requirements of the Tree Bylaw, staff have resolved to continue with review of the current development scheme, which will result in the removal of all of the existing trees on the subject site (i.e. 21 trees). This is based on the fact that the built form of current development is substantially the same as the previous proposal which, at the time, was not subject to the requirements of the Tree Bylaw.

With that said, staff have worked to ensure a suitable outcome has been facilitated, which appropriately offsets and compensates the City for any removal of existing trees.

Staff considered that the existing Cedar tree along Eastern Avenue represented the most suitable tree for retention. However, upon further investigation by the applicant's architect, it was determined that its retention would require a substantial redesign of the building, resulting in the following impediments to the development:

- Conflict with the current location of the parade ramp;
- Impact on the functionality, design and configuration of the child care facility;
- A substantial reduction of parking stalls; and
- Impact to the design and configuration upper level residential units.

To offset the removal of the existing trees on the site, the applicant is proposing 33 replacement trees to be provided throughout the new development and within the City's

boulevard. This will include provision of two conifer tree specimens within a deep planting area adjacent to the northern boundary.

Additionally, the Tree Bylaw will require an estimated cash contribution of \$30,000 to cover the relevant Ecological Compensation Fee and Tree Replacement Cash-in-lieu to compensate the City for the removal of the trees. This money will be used by the Parks Department to increase the tree canopy throughout the City's public realm and park networks. The final amount will be determined through assessment of a Tree Removal Permit, subsequent to the rezoning phase.

PROCESS WHEN NO PUBLIC HEARING HELD

The *Local Government Act* assumes no Public Hearing is held for proposed zoning bylaw amendments if the bylaw is consistent with the OCP. A local government must pass a resolution if it wishes to hold a public hearing.

Given the proposal's consistency with the OCP, and minimal feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read as follows:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892" (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT "Housing Agreement Bylaw, 2023, No. 8893" (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered and referred to the same Public Hearing;

CONCLUSION

This proposal is consistent with the Official Community Plan and will deliver 118 new rental apartment units, including 13 below market units for the life of the building, 2 units that would be offered to childcare staff at below market rates and address childcare needs within the Lonsdale Regional City Centre through the provision of a private child care facility with up to 81 spaces. The subject site's proximity to existing amenities, commercial areas, and public transit makes it an appropriate site for this type of proposal.

RESPECTFULLY SUBMITTED:



Matthew Menzel
Planner 2



MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON **MONDAY, MARCH 28, 2022**

REPORT

14. Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603) – File: 08-3400-20-0038/1

Report: Development Planner, March 16, 2022

Moved by Councillor Girard, seconded by Mayor Buchanan

PURSUANT to the report of the Development Planner, dated March 16, 2022, entitled “Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report, in the section “Density Bonus and Community Benefits” be secured, through agreements at the applicant’s expense and to the satisfaction of staff.

DEFEATED UNANIMOUSLY

BYLAWS – FIRST AND SECOND READINGS

Moved by Councillor Bell, seconded by Councillor Back

15. THAT Item 15 – “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be removed from the agenda.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Back

16. THAT Item 16 – “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be removed from the agenda.

CARRIED UNANIMOUSLY

**Policy Objectives for:
1536-1550 Eastern Avenue
PLN2022-00022**

The project is in keeping with the goals and objectives of the following City policies:

Official Community Plan	
<p><u>Policy 1.1.1</u> <i>Plan for growth in the City's population, dwelling units and employment in keeping with the projections in Metro Vancouver's Regional Growth Strategy.</i></p>	<ul style="list-style-type: none"> • Intensification of the existing site supports the use of local amenities, including the new urban park to the north of the site. • Nearby services and public transit are nearby along both Lonsdale Avenue and 15th Street. • The site is close to Lions Gate Hospital.
<p><u>Policy 1.1.3</u> <i>Balance the number of jobs to number of residents employed in the labour force in the City, reducing the need for longer commute distances for City residents.</i></p>	<ul style="list-style-type: none"> • The proposed child care would employ approximately 22 staff and provide on-site housing for up to 4 child care staff. This would result in less commuting time and more staff being housed in North Vancouver.
<p><u>Policy 1.1.4</u> <i>Support the role of the Lonsdale Regional City Centre as the urban core of the City, reducing the need for longer commute distances for City residences.</i></p>	<ul style="list-style-type: none"> • The subject site is located in Central Lonsdale, close to many services and employment opportunities along the Lonsdale Avenue corridor and Lions Gate Hospital.
<p><u>Policy 1.1.7</u> <i>Allow for accessory uses, such as home-based businesses and childcare, in residential areas.</i></p>	<ul style="list-style-type: none"> • The proposal would supply a child care facility for up to 81 children from infant to pre-school, and would be zoned to allow desk and computer style home-based businesses in this residential area.
<p><u>Policy 1.2.1</u> <i>Ensure the location, density, design and durability of developments and their infrastructure are informed by the best available science on climate impacts.</i></p>	<ul style="list-style-type: none"> • The proposed development is located close to the Lonsdale Avenue corridor and is utilizing an existing site and infrastructure to densify, while proposing to achieve an energy level of Step 3 in the BC Building Code.
<p><u>Policy 1.3.1</u> <i>Ensure that new development is compatible with the established urban form of the City, reflecting primacy of the Lonsdale Regional City Centre and the transition through mid and low-rise buildings to lower-density residential neighbourhoods.</i></p>	<ul style="list-style-type: none"> • The proposal includes high-quality materials and design in a location that is one block east of Lonsdale Avenue. • The scale of the proposed building provides a good example for higher density buildings found and permitted in the Central Lonsdale area.

<p><u>Policy 1.3.6</u> <i>Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner.</i></p>	<ul style="list-style-type: none"> • Design and materials are consistent with those found in the local context. • Landscaping utilizes native plant species.
<p><u>Policy 1.3.9</u> <i>Explore ways to activate laneways in the City including opportunities for varied uses, pedestrian and cycling activity, as well as stormwater management and urban agriculture.</i></p>	<ul style="list-style-type: none"> • The proposed townhouse units fronting off the south lane helps activate the lane for pedestrian use.
<p><u>Policy 1.3.10</u> <i>Encourage active, healthy lifestyles and the opportunity for more social connections through planning and active design principles that encourage physical activity and contribute to enhanced walkability and active streets, sidewalks and public spaces.</i></p>	<ul style="list-style-type: none"> • The proposal includes several common amenities, such as a gym, games room and an outdoor rooftop terrace on the fourth level, and an additional indoor amenity room and outdoor terrace on the rooftop. • The location is close to local services along both Lonsdale Avenue, East 15th Street, Lions Gate Hospital and a new urban park.
<p><u>Policy 1.4.1</u> <i>Consider the needs of households with children in the design of multi-family developments.</i></p>	<ul style="list-style-type: none"> • The proposal would provide fifteen 3-bedroom units and is located next to a new urban park.
<p><u>Policy 1.4.3</u> <i>Consider recreational, cultural and other community spaces as aspects of informal community living rooms and essential 'social infrastructure', particularly in high-density neighbourhoods like Central/Lower Lonsdale.</i></p>	<ul style="list-style-type: none"> • Two outdoor amenity spaces, a games room, a gym and a multi-purpose room are proposed to increase opportunities for social interaction.
<p><u>Policy 1.4.4</u> <i>Incorporate active design principals in new development that encourage physical movement and social interaction, thereby contributing to a healthier community.</i></p>	<ul style="list-style-type: none"> • The application is proposing arrangements for active movement throughout the building, as well as proposing several common amenity areas to encourage active social interaction.
<p><u>Policy 1.4.5</u> <i>Focus amenity and infrastructure investments in the Lonsdale Regional City Centre and Frequent Transit Development Areas.</i></p>	<ul style="list-style-type: none"> • The proposed child care at this location would attract children within the same high density neighbourhood. • The location is one block away from an active public transit intersection that would allow a convenient option to access the facility.
<p><u>Policy 1.5.1</u> <i>Provide opportunities for a range of housing densities, diversified in type, size and location.</i></p>	<ul style="list-style-type: none"> • The proposal would provide 118 new rental units with a range of unit types from studio to fifteen 3-bedroom units and ranging in sizes from 403 to 1,427 sq. feet.

<p><u>Policy 1.5.4</u> <i>Prioritize the development and revitalization of affordable rental housing and use density bonusing and density transfers to incentivize the retention, renewal and/or replacement of rental units as a public benefit.</i></p>	<ul style="list-style-type: none"> • 118 residential rental units are proposed, including 13 mid-market units, will be secured by a Housing Agreement for the life of the building.
<p><u>Policy 1.5.6</u> <i>Ensure a sufficient number of new apartment buildings provide accessible units and that these accessible units are represented across various unit sizes.</i></p>	<ul style="list-style-type: none"> • The proposal exceeds the minimum number of Adaptable Level 2 units, in accordance with the Zoning Bylaw, and the distribution of which will reflect the overall unit mix. • The remaining units will be Adaptable Level 1.
<p><u>Policy 2.1.1</u> <i>Invest in cycling and pedestrian networks and facilities to make these more attractive, safe, and convenient transportation choices for all ages and abilities with and aim to increase these ways of travelling over single-occupant vehicle use.</i></p>	<ul style="list-style-type: none"> • The proposal includes secured bike storage, including a room for the provision of 15 e-bikes for tenant and child care staff use. • The subject site is close to a proposed AAA bike route along East 17th Street.
<p><u>Policy 2.2.3</u> <i>Encourage higher and medium density residential area uses near jobs and services.</i></p>	<ul style="list-style-type: none"> • The subject site is located one-half block east of Lonsdale Avenue, near many services and employment opportunities. Lions Gate Hospital is also close by. • The applicant is proposing staff housing for up to four employees of the child care facility to help with providing accommodations.
<p><u>Policy 2.3</u> <i>Density Transfer</i></p>	<ul style="list-style-type: none"> • A proposed density transfer of 388.7 square meters (4,184 square feet) from a nearby site would support a small increase in the development without increasing the overall density within the City.
<p>Strategic Plan</p>	
<p>City for People</p>	<ul style="list-style-type: none"> • The proposal supports the Strategic Plan vision and priority to be a City for People by using an existing site to increase the number of rental units. Providing employment opportunities and services within close walking distance. • The application is also proposing a private child care facility and on-site housing for up to 4 staff.

Housing Action Plan	
<u>Action #3:</u> <i>Mid-Market Rental Units</i>	<ul style="list-style-type: none"> The project will provide 13 mid-market units, to be secured by a Housing Agreement for the life of the building.
<u>Action #4:</u> <i>Family-Friendly Housing</i>	<ul style="list-style-type: none"> The project includes 15 three-bedroom units to support families.
Sustainable Development Guidelines	
<u>Natural Systems</u> <i>The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</i>	<ul style="list-style-type: none"> The landscaping plan would provide for green space on the ground level to benefit the local natural systems and help mitigate the storm water runoff from the site. The planting plan includes several native species.
<u>Physical Structures/Infrastructure</u> <i>The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications and energy efficiency and conversion including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.</i>	<ul style="list-style-type: none"> The project will use high-performance and environmentally friendly building materials and will achieve Step 3 of the Step Code. Energy Star and water-efficient appliances will be installed in the dwelling units The proposal will be connecting to the LEC network. An on-site stormwater management system will be provided and secured through the Servicing Agreement.
<u>Local Economy</u> <i>The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.</i>	<p>The proposal anticipates the child care will employ approximately 22 full-time staff.</p>
<u>Human Potential</u> <i>The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.</i>	<p>The development provides Market Rental and Mid-Market Rental housing at a range of unit types and sizes.</p> <p>The subject site is close to several public transit routes and the services along Lonsdale Avenue and is close to a number of local bike routes.</p>

<p><u>Social Connections</u> <i>The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.</i></p>	<p>The project includes both indoor and outdoor amenity areas that are well-programed with multiple opportunities for activities.</p>
<p><u>Cultural Diversity</u> <i>The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.</i></p>	<p>The proposed design includes various informal gathering spaces for tenants both within the building and in the public realm.</p>
<p>Active Design Guidelines</p>	
<p>Proposed Amenities</p>	<ul style="list-style-type: none"> • Indoor weight room and separate games room on the fourth floor. • Fourth floor outdoor common area for residents on the norther side that includes: <ul style="list-style-type: none"> - Lounge area; - Exercise area; and - Pet relief area; • Individual outdoor rooftop deck space for all residents. Adjacent multi-use indoor amenity room.
<p>Enhanced bicycle facilities</p>	<p>Provision for 15 e-bikes to be available for tenants and child care staff residents.</p>
<p>Child Care Action Plan</p>	
<p>Target to create 1063 new licensed childcare spaces by 2031.</p>	<p>The proposal includes a private childcare facility that would provide up to 81 new spaces in the City.</p>

MAY 01-2023 RE-ISSUED FOR REZONING

1536 + 1550 EASTERN AVENUE
NORTH VANCOUVER, BC

KENWOOD APARTMENTS



RAFII ARCHITECTS INC.



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Drawing Issue Date

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2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

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1 Introduction

1.1 Purpose

The purpose of this document is to describe a Rezoning application to develop a new 13-storey rental residential building that will contain 118 rental suites and a R1 daycare at 1536 – 1550 Eastern Avenue North Vancouver.



1.2 Project Team

Kenwood Apartments

The project is led by Brad Nelson, President of Kenwood Apartments. Kenwood Apartments (Kenwood) and the Nelson family have been proud owners of rental buildings on Eastern Avenue in the City of North Vancouver (CNV) for nearly 30 years. These include the two existing, 34 suite, three-story wood frame rental buildings on the site.

Core Consulting Team:

Developer:	Kenwood Apartments Ltd.	Code:	McAuley Architectural
Architect:	Rafi Architects, Inc.	Services	
Landscape Architect:	Connect Landscape Architects	Energy:	Muri Energy Consulting
Civil Engineer:	Creus Engineering	Electrical:	Nemetz Electrical
Traffic Consultant:	CTS Traffic Consultants	Structural:	Glottman Simpson

1.3 Why Redevelop?

The site currently contains two, three-story walk-up, wood frame rental buildings. They are more than 50 years old, and in original condition. Major renovations and updates are required to extend the lifespan of these buildings. This work will take at least one year to finish and require a vacant building to complete. The land use designation for the site has now been changed in the 2014 OCP to Residential Level 6 (high-rise) density. These three-story buildings now underutilize the development potential of this site and a new redevelopment may create significant community benefits. As a result, Kenwood is now applying for a rezoning to construct a new building and increase the rental stock in the CNV by 84 suites and add a significant new daycare rather than retrofitting the existing 34 suites. Both options will require termination of all existing tenancies. Kenwood will provide tenant relocation services, compensation packages and first rights to re-rent in the new rental building to all the existing tenants as required in the CNV Residential Tenancy Displacement Policy H1B.



1550 Eastern Avenue

Kenwood seeks to redevelop the property and continue to be long-term rental property owners in the City of North Vancouver.

1.4 Overview

The site is located at 1536 – 1550 Eastern Avenue in the Core Center of the CNV. The property consists of three lots and is bordered by lanes on the east and south side, and a new park to the north. The site is relatively flat.



Kenwood Apartments seeks to rezone this site to develop an OCP compliant 3.45 FSR, 13-storey rental/daycare development. This new building will include 118 rental suites and a 874 m² daycare that will accommodate 81 children including 40 much needed infant/toddler spaces. Kenwood will provide 92m² of lands for a new laneway pathway to access the new adjacent urban park. The lane pathway will be provided at no cost to the City. All the daycare and tenant parking will be accommodated in a two-level underground parkade with access from the lane east of the site.

2 Context

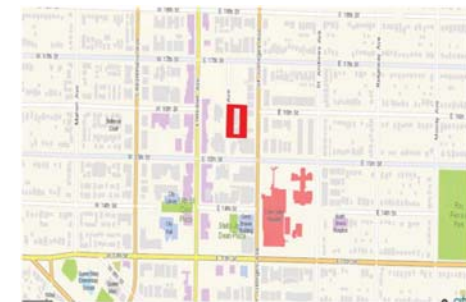
The property is located in the City of North Vancouver, which is one of the 7 Regional City Centres in Metro Vancouver. Regional City Centres are designated by Metro Vancouver and are intended to serve as important activity hubs for transportation, employment, and housing.

The site is located 1/2 block east of Lonsdale Avenue, between East 15th and East 17th Streets. Lonsdale Avenue is the primary north-south arterial road in the city, with high frequency transit stops also one-half block away.

The site is bordered by older 13- and 7-storey residential buildings to the south, 3- to 6-storey apartment buildings to the east, a new urban park, a 13-storey rental tower to the north, and three 13- to 19-storey residential towers to the west.

This high-density site has a 37-meter height maximum and is in a zoning and height transition area, linking the high-density 68-meter zones to the west and south and the medium density 18-meter zoning to the east.

Many important local amenities are nearby. Two blocks south-east are Lions Gate Hospital, the RCMP Station, and a Fire Hall and two blocks south-west are the CNV City Hall and Public Library. One half block to the west is Lonsdale Avenue with major retail, banking and rapid transit stops.



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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
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SUITE ONE
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Client

KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

PROPOSAL & DESIGN
RATIONAL

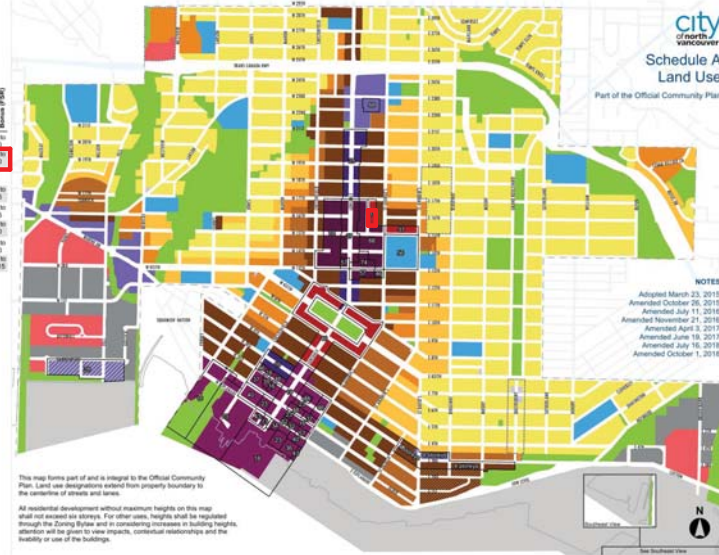
Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-02
Drawn By: HR	Rev:
File name:	

Land Use Designation
This map should be viewed in conjunction with the provisions of Sections 2.1 and 2.2 of Chapter 1

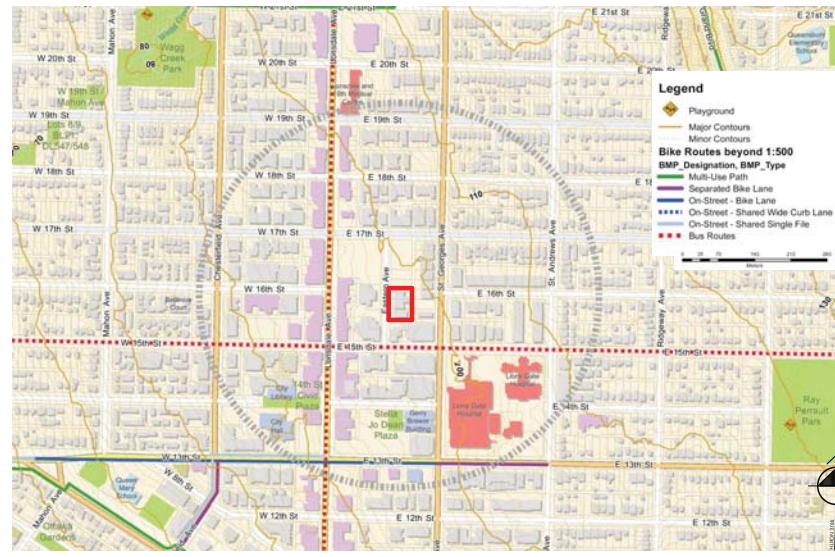
Designation	Maximum Density	Maximum Height (m)
Residential Level 1 (Low Density)	0.5	1.0
Residential Level 2 (Low Density)	0.75	1.5
Residential Level 3 (Low Density)	1.0	2.0
Residential Level 4A (Medium Density)	1.25	2.5
Residential Level 4B (Medium Density)	1.5	3.0
Residential Level 5 (High Density)	2.0	3.5
Residential Level 6 (High Density)	2.5	4.0
Mixed Use Level 1 (Low Density)	0.5	1.0
Mixed Use Level 2 (Medium Density)	0.75	1.5
Mixed Use Level 3 (Medium Density)	1.0	2.0
Mixed Use Level 4A (High Density)	1.25	2.5
Mixed Use Level 4B (High Density)	1.5	3.0
Mixed Use Level 5 (High Density)	2.0	3.5
Mixed Use Level 6 (High Density)	2.5	4.0
Park, Recreation & Open Space	0.15	0.15
School & Institutional	0.15	0.15
Commercial	0.15	0.15
Mixed Employment	0.15	0.15
Industrial	0.15	0.15

Example Height Equivalences

Address	Approx. Storeys
12-13	4
15-16	6
20-25	8
27	12
40	15
55-56	20
58	22
14	24
28	26



**NEIGHBOURHOOD AMENITIES & LOCATIONS
800 m CONTEXT**



**NEIGHBOURHOOD AMENITIES & LOCATIONS
400 m CONTEXT**

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Client
KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
LAND USE MAP, 800m & 400m CONTEXT MAPS

Date:	Project No.
AUG. 01 - 2019	17-55

Scale:	Drawing No.
	A0-03

Drawn By:	Rev:
HR	

File name:	Rev:

2.1 Official Community Plan and Density Bonusing Policy Compliance

The site is designated Residential Level 5 (high density) in the 2014 Official Community Plan. This designation allows for a base density of 2.3 FSR. The City's Community Amenity and Density Bonus policy allows for a bonus density of 1.0 FSR for a total of 3.3 FSR if the development includes 100% rental housing.

The CNV Zoning Bylaw and the OCP also allow daycare facilities to be located within residential zones. To support the residential uses on site and in the neighbourhood, this application seeks to utilize a portion of the 3.3 FSR to introduce a daycare use.

Density transfers from one parcel of land to another are also permitted within the OCP with Council approval. This proposal includes a request to purchase unused density of 389m² from a nearby property for daycare use. This transfer of density will increase the total density on the site by 4.5% from 3.3 FSR to 3.45 FSR.



Official Community Plan (2014) Land Use Designation Map (Citymap GIS)

2.2 Building Height

The OCP designates the maximum height of the site to be 37m. The proposed 13-storey building is also 37m tall. This height is consistent with the newly approved 13-storey building north of the site on Eastern Avenue.

2.3 Development Permit Area

Lands designated as R6 in the OCP are in Development Permit Areas that guide the form and character of development, that reduce greenhouse gases and water use and promote energy conservation. While the lands are located within a Development Permit Area, the City has not yet produced design guidelines for R6-designated lots, and prefers to regulate development through Comprehensive Development Zones, instead.

2.4 Other Relevant OCP Policies

The following OCP policies and guidelines are applicable to this site:

OCF Policy, Plan or Guideline	Application Response
The Active Design Guidelines encourage and promote the use of primary stair travel, to support indoor amenity areas for social gatherings and indoor physical fitness and support outdoor play areas for children.	To encourage stairwell travel (rather than by elevator), the primary stairs have been widened and lengthened to accommodate two-way travel and the stairwell doors placed in a direct line of sight from the main lobby entry doors. Signs and stairwell door windows will be added to each floor to further encourage stairwell travel. These stairs will be located adjacent to all the indoor and outdoor amenity areas within the building to further encourage stairwell travel.
The 2018 Density Bonus policy allows consideration of density transfers between nearby properties.	This application includes a density transfer from a nearby property on the same block. This density transfer will not increase the density within the City but relocate it from one site to another.
The 2016 Housing Action Plan encourages new developments to provide a range of housing options, such as a diverse mix of housing sizes, inclusion of mid-market rental units, and additional lower-income supportive housing types.	Affordable daycare staff housing will be offered to the daycare staff to provide incentives to live and work in the City. Commuting will cease for these employees. Twelve mid-market rental units will also be provided in perpetuity. Nearly 80 % of the new units will be small, affordable one and one + den suites.
1.1.3 Reduce the commute distances for City residents	A daycare is proposed on the site providing 81 childcare spaces for infants, toddlers and 3-5 year olds.
1.1.4 Locate high-density and commercial uses in the urban core of the City	The 37m tower fits within the context of the Central Lonsdale neighbourhood and will act as a transition site between the 18 m zoned sites to the west and south and the 18 m sites to the east.
1.1.5 Allow for child care in residential areas	A new east laneway walkway will be provided to the CNV to allow public access to the new urban park. Ground level landscaping will face a south lane path.
1.3.1 Ensure the new development is compatible with established urban form and reflects the Lonsdale Regional Town Centre	The large podium deck will accommodate a kid's play area, a pet retreat area, and separate family gathering and adult exercise areas.
1.3.2 Avoid zoning cliffs	Adjacent to the 4 th floor podium deck will be a large games/recreation room and large separate gym. Both facilities have outdoor areas that overlook the podium deck. The close proximity of these recreational areas will
1.3.9 and 1.3.10 Encourage more social connections through the pedestrian use of the laneways	
1.4.1 Encourage designs and amenities that consider households with children	
1.4.3 and 1.4.4 Encourage recreational area in new developments that will provide a social infrastructure and create a healthier community	

1.5.1, 1.5.2 and 1.5.4 Provide housing diversities, including accommodations for low-income households and non-market housing units	12 mid-market rental suites will be created to this project. Below market accommodations for daycare employees will also be provided.
1.5.7 Encourage housing diversity to be located in transit-accessible areas. Encourage independent living options near transit accessible areas.	Accommodations will be provided for daycare staff, creating housing diversity and independent living/work options for these employees. All suites in the building will be well-serviced by the high frequency transit routes on nearby Lonsdale Avenue and 15 th Street.
2.1.1 Prioritize walking and cycling by investing in facilities to promote these means of transit	An assortment of e-bikes will be provided to the rental tenants and daycare staff at a nominal fee as an affordable alternative to vehicular traffic use.
2.2.1 Council may consider approving additional floor area if new developments create only new rental housing, provide amenity spaces and create new employment	This proposal will increase the number of rental units from 34 to 118 suites, will generate 19 new full time daycare related jobs and will allow many parents the opportunity to return to the workforce.
7.1.1 Encourage innovation and development of small business	The daycare will provide 19 new jobs, helping to stimulate the economy.
7.2.2 Increase the concentration of jobs in the Town Centre	Affordable housing will be provided for some of the daycare staff, allowing them to remain in the City and not to commute. This will add to the recovery of the CNV economy.
7.2.8 Encourage the increase in floor area for employment generating uses	Retractable frameless glass balcony enclosures are also being proposed in this application. These will enable all year use of the balconies and may invite some live/work opportunities for tenants rather than everyday commuters to work.
7.2.14 Encourage new employment opportunities to create a diverse economy.	

The site is adjacent to a new urban park located to the north which provides an ideal interface for the daycare's outdoor play area. The location of the daycare, oriented towards the park, means that neighbouring buildings will not be impacted by outside daycare play noise.

The site's proximity to Lonsdale provides access to frequent public transit making it highly accessible for families from the neighbourhood and for daycare employees.

Tower design and Outside play areas: These lots on Eastern Avenue combine to form a large, residential zoned, high-rise site in the City Centre. A 13-story tower can be built on this site and all the proposed density in this application can fit within this high-rise. A large area of land will remain undeveloped next to the tower. These lands in this location have provided a unique opportunity to create a purpose-built daycare with a large ground floor playground in an area surrounded by residential towers. Large outside daycare play areas are very difficult to find, particularly in dense urban areas.

This opportunity is not possible in a 6-story zoned residential site in the CNV. New developments in these zoned areas typically fill the entire site and no other on-site lands are available for a daycare playground.

Economic Impact: New daycare spaces, means that local families will have improved childcare options, supporting parents to return to the workforce. The daycare will also create nearly 19 full time jobs, with some affordable staff housing provided on-site.

Costs: Daycares are costly to build and operate and require specialized financing. To qualify for a childcare development loan, a larger facility was necessary to create improved operating efficiencies.

Daycare fees: New Provincial legislation has recently been introduced placing limits on the fees that new daycares who receive Provincial funding may charge for providing daycare services. As a result, parental fees charged at this new daycare will closely resemble fees charged at City owned Central Lonsdale daycares. This legislation will also significantly impact the financial viability of these types of new daycares and may suppress new daycare development. To include a daycare in this proposal and respond to these lower fees, a large childcare center is essential to create economies of scale.

Previous Daycare Proposal: The original daycare concept for this rezoning application included a 180-space daycare occupying the first floor and second floor.

Revised Daycare Proposal: This new daycare proposal will offer 81 new ground floor daycare spaces. This size of daycare is consistent with two other Central Lonsdale daycares which have 72 and 80 spaces respectively. An even mix of infant/toddler spaces and 3-5-year-old spaces will be provided. Many young families will now find comfort with the ability to have their children remain at the same daycare for 4 years from the 1/7 years to kindergarten. Over 5000 of out outdoor area has been provided next to the new CNV park for outdoor play activities for all the children. A large indoor gym is also available for play activities during inclement weather days.

3 Use

Kenwood is applying for a rezoning to develop their properties with a new rental residential building that will include a daycare facility.

3.1 Zoning

The site is currently zoned RM-1. This application is requesting a rezoning and applying for a Comprehensive Development Zone to accommodate this proposal.

3.2 Multifamily Residential Use

A range of housing options is being proposed that will be suitable for a diverse group of residents, ranging from smaller studio units to family-oriented 3-bedroom suites. Nearly 28% of the units (34) are proposed to meet the Adaptable Level 2 design guidelines.

Residential Unit Count

Unit Type	Regular Units	Adaptable Units	Total Units
3 Bedroom + Den	2	0	2
3 Bedroom	13	0	13
2 Bedroom + Den	0	0	0
2 Bedroom	1	13	14
1 Bedroom + Den	11	12	25
1 Bedroom	33	9	42
Studio	24	0	26
Total	84	34	118

As per City policy, 12 of the units are proposed to be affordable mid-market rental units in perpetuity.

4 Daycare

4.1 Why include a new large daycare?

The proposal includes a new daycare facility that can accommodate 81 children ranging from infant to five years old.

OCF Compliance: The current zoning on this site allows for the opportunity to include childcare density in lieu of rental density.

Need: The City, and Central Lonsdale in particular, requires more daycare spaces which has been identified as a priority need and essential service by the City Council and City Planning Staff. Today, daycare wait lists in North Vancouver are nearly one year for 3-5-year-old spaces and nearly two years for infant/toddler spaces. In the last 4 years in Central Lonsdale, over 1500 new homes have been built and 110 new daycare spaces have been created. Many more daycare spaces will be needed to support this new population.

Site Context: This site is ideally situated to include a new daycare facility. The surrounding area includes many mid- and high-rise residential buildings and shopping options along Lonsdale Avenue. The introduction of a large daycare facility will contribute to the completeness of the neighbourhood and allow even more families to meet their daily needs close to home.

The existing roads to the east and south are relatively quiet with only two traffic lanes. Eastern Avenue is a local road only two blocks long and does not receive through-traffic.

4.2 Daycare Location

Impact on Nearby Park: A new urban park will be located north of the outside daycare play areas. While the Park provides an ideal interface to the daycare outdoor space, visits to the park by daycare children during care hours are anticipated to be minimal. A six-foot-high secure fence and adjacent hedge will separate these two areas and no direct access will be provided through this fence to the park to ensure the safety and security of all daycare children. The outside daycare play areas will be furnished with an extensive array of play equipment and structures to meet their needs.

Walkability: Many of the new residents occupying these 1500 new homes chose to live in this area for the convenience and proximity to walk to the nearby shops and walk to the excellent public transit opportunities nearby. They will also prefer to walk their children to a nearby daycare. As a result, vehicular travel will be significantly reduced with the addition of this new daycare facility in this neighbourhood.

Proximity to Lions Gate Hospital: Lions Gate Hospital is only one block away from this daycare. With VCH and CNV permission, flexible daycare hours can be added to accommodate shift worker families and emergency personnel with immediate childcare needs. The daycare will also offer some fee reductions and bursaries to families in need.

4.3 On-Site Amenities

Several significant resident amenities are included in this proposal:

Amenity rooms: A full-size workout gym and a games room will be provided on the 4th floor for use by the rental tenants. A smaller indoor gym will be available for the daycare children.

Podium deck: A large 180m² podium deck will also be located on the 4th floor. It will include a children's play area, a pet retreat area, and separate family gathering and exercise areas. These facilities will be for use by the rental tenants only.

Tower deck: The roof top tower deck will provide amenities for all the tenants including an indoor communal lounge, outdoor family BBQ and eating areas, multiple gardening/planting areas and adult lounge areas.

E-bikes: An assortment of e-bikes will be provided for the rental tenants' and daycare employees' use. A separate secured e-bike parking room will be located in the parkade.

4.4 Parking

Underground parking: 93 parking stalls will be provided in two levels of underground parking. Access to the parkade will be from the lane east of the site. 13 stalls will be for Visitor parking, 9 stalls for daycare use and 71 stalls are available for the rental tenants in the building. The daycare staff tenants may continue to park in the daycare spaces after daycare hours creating more stalls available for the other tenants. It is anticipated that many tenants will locate in this area for the ability to access and use the excellent nearby high frequency public transit facilities. As such, Kenwood has elected to reduce the parking count in the building to further encourage public transit use, car share and e-bike use. All parking stalls will be roughed in for e-car charging capabilities.

Daycare Parking: To accommodate families who will use vehicular transport to access this daycare, 9 dedicated daycare parking stalls have been provided in Level 1 of the parkade. All of these stalls will be located at or near the parkade entrance for ease of access and two stairwells will provide access to the ground floor daycare.

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E-bike Parking: The site is flat and is in proximity to CNV bike routes. Biking will be encouraged. Low-cost E-bikes will be made available for use by daycare staff and the rental tenants. A 15-stall dedicated e-bike room has been provided in the parkade. Bike racks and stroller storage areas will be located at the daycare entries to encourage walking and bike use.

Construction parking: This development will include a large outside daycare play area at the north end of the site. During the construction stage, these lands will accommodate the construction outbuildings and some construction parking. This will lessen the construction parking demands on the CNV streets.

4.5 Bike Storage

This proposal meets the City's bicycle storage requirements for bikes by providing 183 secure, indoor bicycle parking stalls. 15 additional E-bike stalls are also being provided in a separate e-bike room.

4.6 Storage Lockers

All suites have the use of one individual full height storage locker. Some Council members may appreciate this.

4.7 Solid Waste and Recycling

A large solid waste and recycling room is located on the east side of the building with direct access from the lane. This room will accommodate all the solid waste and recycling bin pickups for both the daycare and rental tenants use. The daycare will also have a separate smaller garbage pickup facility with access from the rear lane.

5 Form & Intensity

5.1 Height

This application proposes a 13-storey tower that fits within the 37m maximum height stipulated by the OCP. This responds to the existing urban context and matches the height of the new 13-storey tower currently under construction north of the site.

5.2 Density

Consistent with the R-6 High Density land use designation in the OCP and the CNV Density Bonusing Policy, a total rental FSR of 3.3 is achievable. With Council approval, density transfers may also be approved. This application seeks Council approval to transfer of 388 sq meters of available density from a nearby site to the Kenwood site. This transfer density will be used to create new daycare classrooms. Infant/toddler spaces require more Staffing and are more expensive to provide. Less are built and the waiting lists grow longer. This density will be used to provide more infant/toddler daycare spaces.

5.3 Building Form

This development consists of a thirteen-storey residential tower with a small three-storey podium attached. The tower contains only rental suites, and the ground floor accommodates the daycare and the daycare housing units. The 4th floor of the podium is a large communal deck containing many of the building's proposed recreational amenities.

5.4 Tower Location

The residential tower has been moved to the southern end of the site to reduce any shadow impacts on the new urban park and positioned across the street between the two residential towers on Eastern Avenue to reduce any view or privacy concerns for those building residents. This tower location also maintains the required 24-meter separation distance from the neighbouring hi-rise to the south of the site.

5.5 Building Facade

The sides of the building have been articulated to allow additional fenestration to all the tower suites and glazing has been enhanced to lighten the building and increase the building texture. The ground floor townhome facades all include architectural elements to provide articulation and visual diversity to these townhome entries.

5.6 Frameless Retractable Balcony Enclosures

This application seeks Council approval to install frameless, retractable glass balcony enclosures on the building balconies and for these enclosed balconies to be excluded from the density calculations. These glass facades will create year-round balcony living spaces, reduce suite heat loss and energy consumption, lower building carbon emissions, minimize suite noise transference and provide inclement weather protection.

These retractable balcony systems have been in use in various parts of the world for many years and recently have been included in some new developments in various Municipalities in the Lower Mainland. Many social and economic benefits will accrue from the ability of the rental tenants to use their balconies all year round.



5.7 Setbacks

The proposed building setbacks are:

North: 12.8m, and 9.75m at the narrowest point

South: 4.6m

East: 4.6m, and 2.5m at the daycare entrance

West: 4.6m, and 2.0m at the narrowest point.

6 Site Planning

6.1 Landscape

The ground floor of the building relates to the outdoors and public realm. The outdoor play space for daycare on the north edge of the building, creates a transition between the building and the adjacent park. A secure six-foot-high wooden fence and hedge will separate the daycare outside play area and the new urban park. No gate access is available from the daycare to the new urban park.

Townhouses with raised patios and planters are proposed on the south edge of the building. A communal pathway on this lane will allow public access and the landscape planters will provide distinction from the south lane.

Planters are proposed along the west and east perimeters of the building. Three trees are proposed on-site, at the south-west, and north-west corners.

The large 4th floor multi-purpose podium deck will include significant landscape treatments to separate the pet retreat area and the kids play area from the family and recreational lounge areas. The child deck play area will include landscape furniture to engage the rental children while the parents lounge in the adjacent family. A selection of privacy trees will help provide separation of eating areas.

The roof top deck features soft unobtrusive landscape treatments surrounding the perimeter of the deck providing privacy barriers for the neighbours. A large communal garden/planing area is also proposed. Providing opportunities for tenant social interactions and opportunities to reduce the carbon footprint of the building.

Visitor bike racks will be included near the daycare drop-off entrance and residential entrances on the west side of the building.



6.2 Lane Pathway

Kenwood will dedicate over 92m² of lands to the City to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles.

6.3 Lane Loading Bay

Kenwood is providing access to a loading bay via the east lane to accommodate moving vans and commercial delivery vehicles. These vehicles will not require loading on any public street or lane.

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7 Active Design Guidelines

Kenwood believes in contributing to a healthy community. The building has been designed to promote an active lifestyle through adherence to the City's Active Design Guidelines.

7.1 Stairways

Stairway use will be encouraged. The lobby stairwell doors have been positioned to allow a direct line of sight from the front lobby entrance to these stairwell doors and directional signs will be installed in the lobby promoting stairwell travel. All the stairwell doors on each floor will have viewing windows and signs to promote and attract stairwell travel. All the stairs on each floor have been widened and lengthened to facilitate two-way stair travel.

7.2 Amenity Rooms

The games room and gym area entrances are both located on the fourth floor and adjacent to the fourth-floor podium deck and next to the stairwell entrances. These proximities should encourage the residents to use stairwell travel rather than elevator travel to access these amenities.

7.3 Communal Podium Deck

The fourth-floor podium deck will have separate areas for parents with children, tenants with pets, and lounge and recreational areas. All these areas of the podium deck will encourage social interactions between tenants and their guests, provide physical activity opportunities for different age groups and are open, visual and bright. Access to the podium deck leads directly to the visible primary stair entries which will also encourage stair travel as the primary method to access this amenity deck.

7.4 Communal rooftop deck

The rooftop design will promote opportunities for tenant interactions and encourage active lifestyles. The deck lounge and covered BBQ areas will attract social gatherings in inclement weather conditions and the large common garden/planting areas will require co-operation and organization to create a healthy community rooftop garden.

7.5 E-bikes

An e-bike system will also be provided in the building. For a nominal fee, all tenants and daycare staff can access these bikes and cargo bikes. This will provide an economically viable and active alternative to vehicle travel. A separate, secure 15 stall e-bike room has been provided in the parkade.

8 Community Benefits

Approval and construction of this project will bring many community benefits:

16th and St Georges Intersection Improvements: Kenwood will provide a financial contribution of \$200,000 to the CNV for intersection improvements at the corner of St Georges and 16th street.

Lane Pathway: Kenwood will dedicate lands, at no cost to the City, to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles. The new pathway will further contribute to the neighbourhood walkability and pedestrian realm.

New Rental Housing: This application will increase the rental stock in the City by 84 additional rental suites.

Below Market Housing: 12 suites in the rental building will be new mid-market rental suites. They will include a variety of suite sizes and will be secured by a covenant for the life of the building as required in the Housing Action Plan.

Daycare Staff Housing: To encourage daycare staff to relocate to the City, to create City jobs and to reduce commuting and pollution, two rental suites will be dedicated for daycare staff accommodation at below market rents. These low cost housing suites will be in addition to the mid-market rental units required under the Housing Action Plan.

Large Group Daycare Facility: Daycare vacancy waits in the City average over one year! Providing this new, multi-age group daycare will help reducing these wait times and will encourage new families to move to the area for the convenience and availability of this new large daycare.

Parental Job Creation: Providing a new large daycare in the City will allow many parents to re-enter the work force creating more wealth and jobs in the City.

Construction Job Creation: Many new jobs will be created during the two-year construction period of the new building. This has special significance as the economy recovers from covid-related impacts.

Daycare Job Creation: Nineteen new full-time daycare jobs will be required to manage and operate the new daycare. The economic spin-offs from these new jobs will provide a financial stimulus to the City.

Balcony Enclosures: Balcony enclosures will create year-round balcony use, will provide more live/work opportunities for the tenants and will reduce the carbon emissions from the building.

After hour daycare use: With VCH and CNV approvals, the daycare operator will investigate opportunities to provide after hour daycare use for hospital staff with children and for non-profit and social group activities. The daycare will provide all the necessary cleaning and security required for any of these services.

Child Minding: Also, with CNV and VCH approvals, the daycare operator will provide some free weekend child minding services for single parents to attend to grocery shopping or personal matters.

Infrastructure Renewal: If approved, this project will provide new sidewalks, curbs, gutters, streetlights, street trees, and stormwater drainage. Payment of Development Cost Charges will also contribute financially to new roads, parks, and other civic and regional infrastructure.

Lonsdale Energy Corporation Utility: This project will create another significant customer for the City-owned Lonsdale Energy Corporation utility.

Population Growth: Redevelopment of this site will support further population growth in the City. Using land more intensively to support population growth will support local businesses and expand the tax base.



1ST FLOOR WITH DAYCARE



4th FLOOR SPORTS WITH POOL DECK

ACTIVE DESIGN GUIDELINES

Checklist

Primary Stairs

• Provide a clear visual path into and out of the stairs by leaving the stairs open to two or more floors.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Locate the stairs in a prominent location near the building's main entrance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Visually emphasize the stairs while maintaining elevator access for those with mobility limitations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide signs that show daylight and views before common areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide visible signage to encourage and direct stair use at the elevators, and.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Design stair widths that can accommodate groups traveling in two directions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Secondary Stairs

• Provide a clear visual path into and out of the stairs by:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Leaving the stairs open to the environment while still providing overhead rain protection.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Enclosing the stairs within a floor-to-ceiling glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Enclosing the stairs within a floor-to-ceiling glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Enclosing the stairs within a floor-to-ceiling glass enclosure with exterior views.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide stairs that have daylight and views before common areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide visible signage to encourage and direct stair use at the elevators.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Outdoor Circulation

• Provide a clear visual path into and out of the outdoor corridor by leaving the corridor open to the environment while still providing overhead rain protection.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Providing the corridor with daylight and views before indoor and outdoor common areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Select high-quality, inviting, and visually appealing materials and finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Visually highlight and articulate the building's entrance, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide signage to people, look onto outdoor amenity areas and meet neighbours naturally.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Indoor Amenity

• Provide an indoor amenity area that is held in common ownership with the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide a minimum, the lower of 14 sqm (15 sqft) per unit or 2% of Gross Floor Area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• A minimum of the minimum area required may be considered when an adjacent outdoor amenity is provided but at no time should the indoor amenity room size be less than 37 sqm (400 sqft).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide a generally accessible outdoor, semi-enclosed, and storage room nearby.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the area in a central, above-grade location with universal access.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the amenity room nearby other common areas with views before these areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide sufficient sound proofing between the area and adjacent residential units, and.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION

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ACTIVE DESIGN GUIDELINES

Outdoor Recreation

• Provide an outdoor recreation area that is held in common ownership with the following considerations:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Include physical activity opportunities for multiple age groups.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Incorporate features and unobstructed play areas for children.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Encourage the use of the area during winter months by providing protection from the rain, snow, and wind through design elements, and co-locating other indoor/outdoor amenity areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the area in a central, above-grade location with universal access.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Locate the amenity nearby other common areas with views before these areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space, and.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Consideration will be given to designs that utilize adjacent city boulevards and engage the surrounding public realm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Outdoor Gardens

• Provide a community garden area that is held in common ownership for building occupants:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Provide one garden plot 2.2 sqm (24 sq ft) for every four dwelling units.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Encourage the use of the space during winter months by providing protection from the rain, snow, and wind through design elements, and co-locating other indoor/outdoor amenity areas.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide a nearby base pit, rainwater-resistant compost bin and storage room.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Provide a nearby seating area for rest and socializing.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Locate the area in a central, above-grade location with universal access.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Partner with a community-based organizations that can offer programming support for the space, and.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Consideration will be given to designs that utilize adjacent city boulevards and engage the surrounding public realm.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Other Elements

• Enhanced bicycle facilities for commercial / office / institutional development:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Incorporate bicycle parking/bike racks, racks, and.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Include enhanced change facilities with clothes dryers, laundry facilities and other facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Consider prominent location of bicycle facilities and highlight these areas using signage and lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Utilize automatic stair systems, hold open doors, bicycle integrated stair ramps and other features to facilitate bicycle circulation.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Have a design element not captured in this document? We want to hear how it encourages daily physical activity or social interaction.

E-BIKES WILL BE PROVIDED TO TENANTS - DAYCARE STAFF FOR A MODERATE DAILY FEE. THIS WILL REDUCE THE COST OF VEHICLE TRAVEL - LOWER THE CARBON FOOTPRINT.

RECYCLABLE - BOTTLE WITH OTHER CARTRIDGE AVAILABLE.

IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION

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Drawing Issue Date

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

PROPOSAL & DESIGN RATIONAL

Date:

AUG. 01 - 2019

Scale

HR

File name:

Project No.

17-55

Drawing No.

A0-06

Rev:

9 Sustainability Statement

9.1 Environmental Sustainability

9.1.1 Walkable Community

One of the primary ways this project contributes to environmental sustainability is through provision of rental residential housing in a dense, well-served neighbourhood. This project will offer an opportunity for residents and businesses to meet their daily needs by walking, cycling and transit.

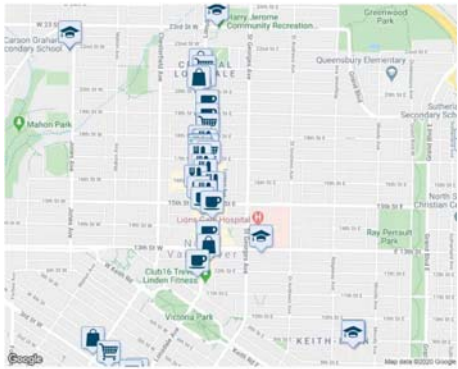
An online planning utility called "Walkscore" assesses sites according to walkability, convenience for cyclists, and transit service.

Walkscore rates the site as 89/100 for walkability. This high rating reflects the ease of walking from this location to the nearby tight cluster of complementary uses and destinations close to the site. A new public lane pathway will be created to access the new urban park. This pathway will encourage active lifestyles and provide a clean viable alternative to car travel.

For cycling, the site scores 84/100 or "Very Bikeable" because biking is convenient for many local trips. The availability of on-site e-bikes will encourage mild travel within the City, rather than motorized vehicles.

For public transit, the site rates 56/100, or "Good Transit" due to excellent transit service in the Lonsdale corridor and other transit routes along 15th Street.

These indicators show that the site has excellent attributes for sustainable transportation, offering future residents convenient alternatives to the private automobile.



Above: Walkability Map. Source: "Walkscore" online utility.

9.1.2 Green Building

The building is designed to meet the ASHRAE 90.1 2010 plus 15% thresholds and will exceed Step Code Level 3 requirements.

The complete building, including the daycare, will connect to the Lonsdale Energy Corporation's district energy utility. The daycare will include an HVAC system to create a healthier environment for the daycare children.

The design of this compact residential tower will create a lower environmental impact by allowing more natural light and ventilation to all the suites. The energy consumption will also be reduced from the installation of the thermally efficient windows and a metal insulated cladding system.

Balcony enclosures will significantly reduce the carbon footprint of the building and contribute to meeting higher Leeds certifications.

9.2 Social Sustainability

This project contributes to community social sustainability in several ways.

The project offers a much-needed daycare in the community and low-cost housing for daycare staff which will allow some daycare workers to live in the community where they work.

Amenity room areas are proposed for family gatherings, communal recreation areas, and adult lounges, allowing for diverse households to congregate.

The podium deck features a dog walk area and recreational areas providing an opportunity for tenants to gather with neighbours, friends and family.

9.2.1 Crime Prevention through Environmental Design

The project design has embraced the principles of CPTED, through natural surveillance, natural access control, and natural territorial enforcement.

The large two-level front lobby has an open glass facade for clear, unobstructed observation. The south side lane pathway is gated at each entrance and fronted by the open patios and full height glass windows of the ground floor townhomes. The other ground level windows and doors surrounding the site have been minimized to enhance ground floor security. Security cameras will be installed in all common areas, at all entrances, and in the elevators.

The new daycare has secured drop-off rooms at both the street and laneway entries. Only pedestrian drop-off services will be available at the lane entry. All vehicle drop-offs will only have access from the front entrance or parkade areas. Cameras will be installed at all entrances and in the outside play areas. Secure, six-foot high fencing and play area equipment will form the security barrier between the outside daycare play areas and the new urban park.

The daycare and the rental areas of the building all have completely independent entrance doors, hallway corridors, and areas of use. The main elevator and the main lobby entrance will be for the private use of the rental tenants only.

9.3 Economic Sustainability

This proposal will contribute to community economic sustainability in several ways.

This project will take two years to build, and many construction jobs will be created. The economic spinoff from these jobs will help the CNV recover from the current financial crisis. Additional rental suites will be added to the CNV rental stock. This will create job stimulation and additional consumer spending within the City.

Filling 81 new child daycare vacancies will create opportunities for many parents to return to the workforce. Many long-term economic spinoffs will result from the creation of these new jobs.



SUSTAINABILITY DEVELOPMENT CHECKLIST

1. Natural Systems: The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.



	Y	N	N/A	Please Provide Comments:
LANDSCAPE				
Private Trees Retained or Added in proposal (indicate number of each)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	20 ADDED (33 NEW - 13 EXISTING)
Green Roof / Wall	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Native Species Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTIVE SPECIES
Habitat Restoration (butterfly, bird-friendly, naturalized areas)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Community Gardens*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
50% or More Edible Landscaping for Common Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Irrigation System (drip hose, low-flow nozzles)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Rainwater Collection (rain barrel)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Reuse of Wastewater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
HARDSCAPE				
Permeable Paving for Hardscape	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
40%+ Open Site Space (see Zoning Bylaw definition)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

2. Physical Structures/Infrastructure: The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.



	Y	N	N/A	Please Provide Comments:
HIGH PERFORMANCE CONSTRUCTION				
Durable Building (modular / deconstructable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Reuse / Recycled Content / Use of Repurposed Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Use of Environmentally Friendly Materials (non-toxic, wood)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTABLE SPECIES
Certified by a Third Party Green Building Rating System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
ENERGY EFFICIENCY AND HEALTHY BUILDINGS				
Energy Performance (per building type)	Min		Exceeding	(if so, specify Step)
Part 3 Commercial (Step 2 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEP 3
Part 3 Residential (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 6 Commercial (BCBC min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 9 Residential (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 9 Residential < 1,200 ft ² (Step 1 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Superior Insulation (thick wall exclusion in Zoning Bylaw sought for insulation above BC Building Code)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Airtightness (1.5+ blower door test and appropriate ventilation strategy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
High-performance Windows e.g. Energy-Star, Passive House Certified (whole project)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Heat Recovery Ventilator (75% or better recovery)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	60% STEP 3, 80% STEP 4
LED Lighting (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Energy-Star Appliances (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Renewable Energy Features Installed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Fixtures (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Graywater Reuse	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TRANSPORTATION				
End of Trip Bicycle Infrastructure (beyond Zoning Bylaw requirements)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Car-Share Program	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Electric Vehicle Readiness:				
A minimum of 20% of all commercial parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
Electric Vehicle Readiness:				
A minimum of 20% of all residential visitor parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
Other Sustainability Achievements:				

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KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
CPTED & SUSTAINABILITY CHECKLIST 1/2

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-07
Drawn By: HR	
File name:	Rev:

Building new rental units close to Lions Gate Hospital will provide nearby housing opportunities for hospital workers to remain and live in the City. With VCH approval, temporary childcare services will be provided to hospital employees with children in the event of an emergency.

Replacing an older building and refreshing the landscape and civil improvements will have a positive impact on local property values. Increasing property values will increase property taxes.

Providing this residential tower within walking, cycling and transit distance of the Lansdale corridor will contribute to local economic development while reducing reliance upon private auto transit.

Providing balcony enclosures will reduce suite heat loss, reduce heating costs and reduce the costs to rent. All year-round balcony use may support live home/work environments, create more tenant disposable income, and contribute to the economic recovery of the City.

The introduction of this rental residential building with a daycare will attract young families seeking in-house daycare facilities and opportunities for a quicker return to the workforce.

New jobs and more incomes will also contribute to the economic recovery of the City.

9.3.1 Affordability Statement

Affordability in new housing projects is typically difficult to provide and becomes more of a reality as the buildings age. High rents in newer buildings eventually become average rents with the passage of time.

Increasing the supply of rental suites produces more rental choices for tenants, creates more competition for rental providers and eventually results in lower rental rates offered to attract tenants. This is happening in the City today.

Affordability in daycare rates is similar to rental market rates. Both are rents to occupy spaces. As more daycare spaces are provided, more choices and less waiting times will result, and daycare fees will also fall.

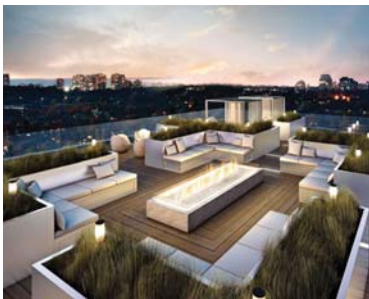
Kenwood is providing: 1) affordable mid-market rental units in perpetuity 2) low-cost e-bikes to reduce travel costs, 3) live/work suites to provide smaller, low-cost, efficient housing 4) suite balcony enclosures to create energy efficient home/work opportunities that will lower commuting and off-site office costs

9.3.2 Smaller Affordable Suites

The proposal replaces 34 existing rental suites with 118 new rental suites. Nearly 80% of the suites will be smaller, more affordable studio, one-bedroom and one + den suites.

9.3.3 Live/work Opportunities

As suites become smaller the balconies become more important. The proposed retractable balconies will allow all year balcony use. More people now work at home rather than commute to work each day. In inclement weather some tenants may elect to use these balconies as home office spaces. Commuting costs and traditional office costs will be reduced. These suites will become more affordable for renters.



9.3.4 Mid-Market Rental Suites

Twelve suites will be mid-market rental units in perpetuity.

9.3.5 Daycare Staff Housing

Low-cost accommodations will be provided for daycare employees. For these employees: daily commuting is reduced, vehicular use reduced, transportation costs reduced, tenant affordability increased and environmental impacts lessened. All these factors will contribute to the economic recovery of the City.

9.4 Tenant Relocation Plan

As a redevelopment application with existing rental tenancies, Kenwood will provide tenant support as stipulated by the City's Residential Tenant Displacement Policy. Kenwood has hired Trimark Property Management to act as a Tenant Relocation Coordinator to communicate with tenants and administer the program, as per the City's Residential Tenant Displacement Policy. Following City policy, tenant compensation will include 3-months' rent and the right of first refusal for existing tenants to return to the new building.

10 Conclusion

Kenwood Apartments is proud to propose this comprehensive redevelopment project.

The project meets City rental housing objectives, creates additional low cost non-market housing, addresses current daycare shortages, provides new balcony opportunities, enhances active lifestyles, contributes to environmental responsibility and will generate significant economic benefits to the City.

In the event that the CNV Council cannot support this daycare in this location and would prefer an all-rental application, Kenwood could remove the daycare and redevelop the ground floor with rental suites only. The net result would be to add 7 more rental suites on the main floor and delete the 81 space daycare and the two daycare staff housing suites.

This rental/daycare development is Kenwood's preferred mix of uses to develop this site.

Kenwood Apartments looks forward to working with City staff, the Public, and Council to bring this vision to reality.

SUSTAINABILITY DEVELOPMENT CHECKLIST

3. Local Economy: The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.



	Y	N	N/A	Please Provide Comments:
Net New Jobs Generated (long term, full time)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	19 FULL TIME DAYCARE STAFF 5 FULL TIME RENTAL APT. STAFF
Commercial floor space (net increase, indicate area)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Neighbourhood-Scale Commercial (unit frontages >6m (20ft))	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Non-Market / Lower-End of Market Commercial	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Commercial Relocation Strategy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other Sustainability Achievements:				

4. Human Potential: The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.



	Y	N	N/A	Please provide comments:
Market Rental Housing (net increase, indicate number of units)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	118-34+84 ADDITIONAL RENTAL SUITES
Non-Market / Lower-End of Market Rental Housing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12 MID MARKET UNITS
100%+ Three+ Bedroom Units (in multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11%
Micro-units <37.16m ² (<400 ft ²)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Childcare Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	81 CHILDREN
Community Space for Food Preparation, Storage and Processing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Green Building Educational / Interpretive Features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Primary and Secondary Stair Design*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PRIMARY STAIRS TO FULLY MEET ACTIVE DESIGN REQUIREMENT
Outdoor Circulation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Storage space for residents in units and storage rooms (multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ALL SUITES HAVE STORAGE LOCKER IN STORAGE LOCATIONS PLUS FEW SUITES HAVE IN UNIT STORAGE
Other Sustainability Achievements:				E-BIKE AVAILABILITY

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

5. Social Connections: The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and mothers to children, youth, seniors and people with disabilities.



	Y	N	N/A	Please provide comments:
Design Features for People with Disabilities (beyond Zoning Bylaw requirement)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Communal Cooking Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rooftop deck BBQ + Eating areas
Indoor Amenities*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gym, Games room
Outdoor Recreation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Podium deck communal child play area + pet play areas
Amenities for Senior Users	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Crime Prevention Through Environmental Design	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements				Large communal outdoor garden plots + garden shed
Outdoor Gardening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

6. Cultural Diversity: The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.



	Y	N	N/A	Please provide comments:
Formal and Informal Gathering Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Podium deck family eating + gathering areas + Pet play areas
Retention of Heritage Building	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Public Art Reflecting Local Culture	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Streetscape Improvements (benches, planters, lighting)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

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SUITE ONE

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

CPTD & SUSTAINABILITY CHECKLIST 2/2

Date: AUG. 01 - 2019

Project No. 17-55

Scale

Drawing No.

Drawn By: A0-08

HR

File name:

Rev:

ADAPTABLE DESIGN

ILLUSTRATIONS: ADAPTABLE DESIGN GUIDELINES

A. Building Access	
1. Disability Parking Spaces	page 1
Building Lobby Access from Parking – Levels One, Two and Three	
2. Accessible Buttons and Pulls – Levels One, Two and Three	page 2
B. Common Areas	
1. Accessible Mailboxes – Levels Two and Three	page 3
C. Circulation	
1. Corridors and Doorways – Levels One, Two and Three	page 4
D. Doors	
1. Pocket Doors – Levels Two and Three	page 5
E. Kitchen Layouts	
1. Level Two: Design Elements and Fixture and Finishes	page 6
2. Level Three: Design Elements and Fixture and Finishes	page 7
F. Bathroom	
1. Wall Reinforcement and Plumbing Fixtures – Levels One, Two and Three	page 8
2. Level Two: Design Elements and Fixture and Finishes	page 9
3. Level Three: Design Elements and Fixture and Finishes	page 10
G. Bedroom	
1. Level Three: Design Elements	page 11

A. BUILDING ACCESS

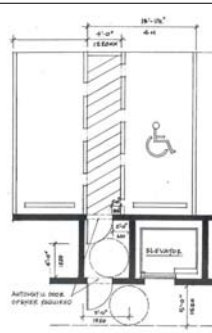
1. Disability Parking Spaces

2. Building Lobby Access from Parking

Levels One, Two and Three

- Undisturbed access from parking levels containing accessible parking (2' or 150mm Corridor, 2' or 610mm clear wall space adjacent to door lobby)
- Disability Parking Space 12' x 12' or 4m wide stall achieved by utilizing an adjoining roadway 47' or 1500m wide

Disability Parking and Accessible Lobby Access



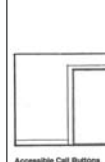
A. BUILDING ACCESS

3. Accessible Buttons and Pulls

Levels One, Two and Three

- Accessible building entrance, call buttons, and where provided, suite door bells

Accessible Call Buttons



1. Accessible Mailboxes

Levels Two and Three

- Accessible mailboxes for all Adaptable Design Level 2 and 3 units and 5' or 150mm turning radius in front

Accessible Mailboxes



Accessible Mailboxes Heights



Accessible Mailboxes



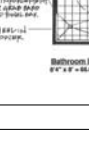
Accessible Mailboxes Heights



Accessible Mailboxes



Accessible Mailboxes Heights



Accessible Mailboxes



C. CIRCULATION

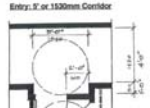
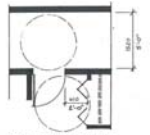
1. Corridors and Doorways

Level One

- Corridors minimum 4' or 1200mm wide (except for service access areas)

Levels Two and Three

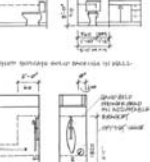
- Corridors minimum of 4' or 1200mm wide (except for service access areas)
- Provide 5' or 1500mm turning radius inside and outside the entry corridor at each dwelling unit
- Provide automatic door opener or 2' or 610mm clear wall space adjacent to door latch where door swings toward user (entry doors, bathroom bedrooms, patio / balcony, storage)



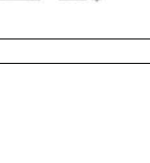
Corridor and Doorway



Corridor and Doorway



Corridor and Doorway



Corridor and Doorway

D. DOORS

1. Pocket Doors

Levels Two and Three

- Pocket doors in small spaces (provide 2' 12" or 600mm clear opening, heavy duty, double-vented hardware and D-handle)

Heavy Duty Hardware



Heavy Duty Hardware



Heavy Duty Hardware



Heavy Duty Hardware



Heavy Duty Hardware



Heavy Duty Hardware

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Heavy Duty Hardware



VIEW FROM NORTH WEST

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KENWOOD
APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
NORTH WEST 3D VIEW

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-11
Drawn By: HR	Rev:
File name:	

PROJECT STATISTIC
1536 & 1550 EASTERN AVENUE - NORTH VANCOUVER



REGULATION TABLE:					
EXISTING ZONING :	RM - 1	PROPOSED ZONING:	CD		
FLOOR SPACE RATIO:	3.44				
SETBACK:	N:12.80&9.75 m	E:4.6&2.5 m	S:4.6 m	W:4.6&2.0 m	
BUILDING HEIGHT:	37 M				
LOT COVERAGE:	1,507.51 sqm	58.25%			
PARKING:	2 LEVEL BELOW GRADES:	93 SPACES			

LEGAL DESCRIPTION:
LOT 6, 7 & 8 OF BLOCK 153
DISTRICT LOT 274

GROUP ONE NEW WESTMINSTER DISTRICT
P.I.D 015-083-110 (LOT 14)
PLAN 7163
P.I.D 015-083-128 (LOT 15)

CIVIC ADDRESS:
1536 & 1550 EASTERN AVENUE, NORTH VANCOUVER, B.C. V7L 1C6

AREA CALCULATION

FLOOR	FLR TO FLR		GROSS AREA		AMENITY		SERVICE / GARBAGE		ADAPT. EXCL. (1.9 m2/UNIT)		WALLS		LOBBY & ACTIVE DESIGN		STORAGE / LOCKERS		EXCLUSION SUB TOTAL		DAYCARE		NET AREA (FAR)		CIRCULATIONS & COMMON		RES. RENT#
	mm	ft	SQM	SQF	SQM	SQF	SQM	SQF	SQM	SQF	SQM	SQF	SQM	SQF	SQM	SQF	SQM	SQF			SQM	SQF	SQM	SQF	
TOP ROOF																									
ROOF LEVEL	3050	10.01			156.82	1,682.61																			
LEVEL 13 (PENTHOUSE)	3355	11.01	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 12	2902	9.52	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 11	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 10	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 9	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 8	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 7	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 6	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 5 (TOWER TYPICAL)	2750	9.02	683.69	7,359.18					5.70	61.35	13.11	141.11	21.14	227.55			39.95	430.02			643.74	6,929.14	93.02	1,001.26	590.67
LEVEL 4	2750	9.02	659.44	7,098.13	205.87	2,210.58			3.80	40.90	15.88	168.88	21.14	227.55			246.00	2,647.83			413.44	4,450.23	118.94	1,280.26	335.13
LEVEL 3	2950	9.68	859.31	9,249.54					3.80	40.90	17.67	190.20	21.14	227.55	23.07	248.32	65.68	706.97			793.63	8,542.54	95.11	1,023.76	764.20
LEVEL 2	3125	10.25	816.94	8,793.47					3.80	40.90	17.67	190.20	21.14	227.55	23.07	248.32	65.68	706.97			751.26	8,086.50	96.09	1,034.30	720.85
LEVEL 1	3125	10.25	1,438.27	15,481.41	55.70	599.55	91.54	985.13	1.90	20.45	20.82	224.10	100.86	1,085.65			270.82	2,915.08	874.02	9,407.87	1,167.45	12,566.33	123.84	1,333.00	213.45
TOTAL			9,927.17	106,855.17	417.38	4,492.75	91.54	985.33	64.60	695.35	189.84	2,043.42	354.54	3,816.24	46.14	496.65	1,007.75	10,847.12	874.02	9,407.87	8,919.44	96,008.05	1,271.16	13,682.65	7,349.66

TOTAL RESIDENTIAL (GROSS)	9,053.15 sq Meter	97,447.30 sqf
TOTAL BUILDING AREA (GROSS)	9,927.17 sq Meter	106,855.17 sqf
TOTAL FLOOR AREA	9,927.17 sqm	106,855.17 sqf
TOTAL EXEMPTION	1,007.73 sqm	10,847.12 sqf
EXEMPTIONS		
LOBBY & ACTIVE DESIGN	354.54 sqm	3,816.24 sqf
AMENITY (<5%)	417.39 sqm	4,492.75 sqf
RECYCLING	91.54 sqm	985.33 sqf
AD BONUS	64.60 sqm	695.35 sqf
EXT. WALL EXEMPTION	189.84 sqm	2,043.42 sqf
BALC. PERMITTED 10%	992.72 sqm	10,685.52 sqf
BALCONIES PROVIDED	882.66 sqm	9,500.87 sqf

DAYCARE			
DAYCARE INDOOR SPACE	874.02 sqm		
DAYCARE OUTDOOR SPACE	474.95 sqm		
TOTAL	1,348.97 sqm		

SPECIAL PROVISIONS			
ADAPTABLE UNITS	25%	30	34
3 BEDROOM UNITS (incl. 2+0)	10%	12	13

TOTAL SITE AREA:	2,587.86 sq Meter	FAR 3.45	8,920.35 sq Meter	96,017.89 sqf
TOTAL RESIDENTIAL FAR PROPOSED:		FAR 3.45	8,919.44 sq Meter	96,008.05 sqf

NOTE: (FAR 3.3) + 4184sqf = FAR 3.45

BIKE STORAGE					
FLOOR	# OF CLASS "A" BIKE ST.	E-BIKES	# OF CLASS "B" BIKES		
LEVEL P1	183	15	RESIDENTIAL	DAYCARE	
LEVEL P2					
PROVIDED TOTAL	183	15	12	2	
REQUIRED BIKE STORAGE	1.5 PER UNIT:	177	12	2	

PROVIDED PARKING						
LEVEL	REG. CAR	SMALL CAR	HC	VISITORS	DAYCARE	TOTAL
LEVEL P1	27	4	4	13	9	53
LEVEL P2	26	14	1	-	-	40
TOTAL	53	18	5	13	9	93
HC PROVIDED (INCLUDING DAYCARE)			5			

REQUIRED PARKING			
TYPE OF USE	# OF UNITS	RATIO	PARKING
RENTAL UNITS	118	0.6	71
VISITORS	118	0.1	12
DAYCARE	874.02 sqm	1 PER 115sqm	8
TOTAL			91
HC INCL. VISITORS	118	0.038	8

STORAGE LOCKERS		
FLOOR	PROVIDED	REQUIRED
LEVEL 3	6	-
LEVEL 2	6	-
LEVEL P1	6	-
LEVEL P2	104	-
TOTAL	122	-

UNIT MATRIX

FLOOR	UNIT TYPE																# OF UNITS PER FLOOR	
	STUDIO		STUDIO+DEN		1BR		1BR+DEN		2BR		2BR+DEN		3BR		3BR+DEN			
	REG.	AD	REG.	AD	REG.	AD	REG.	AD	REG.	AD	REG.	AD	REG.	AD	REG.	AD		
TOP ROOF																		
ROOF & MECH.																		
LEVEL 13	2				3	1		1	1		1				1		10	
LEVEL 12	2				3	1		1	1		1				1		10	
LEVEL 11	2				3	1		1	1		1				1		10	
LEVEL 10	2				3	1		1	1		1				1		10	
LEVEL 9	2				3	1		1	1		1				1		10	
LEVEL 8	2				3	1		1	1		1				1		10	
LEVEL 7	2				3	1		1	1		1				1		10	
LEVEL 6	2				3	1		1	1		1				1		10	
LEVEL 5 (TOWER TYPICAL)	2				3	1		1	1		1				1		10	
LEVEL 4	2					1		1	1		1					6		
LEVEL 3					3			1	1	1				2		1	9	
LEVEL 2	2					2			1		1			2		1	9	
LEVEL 1	2							1			1						4	
TOTAL	24	0		0	33	9		11	12	1	13	0	0	13	0	2	0	118

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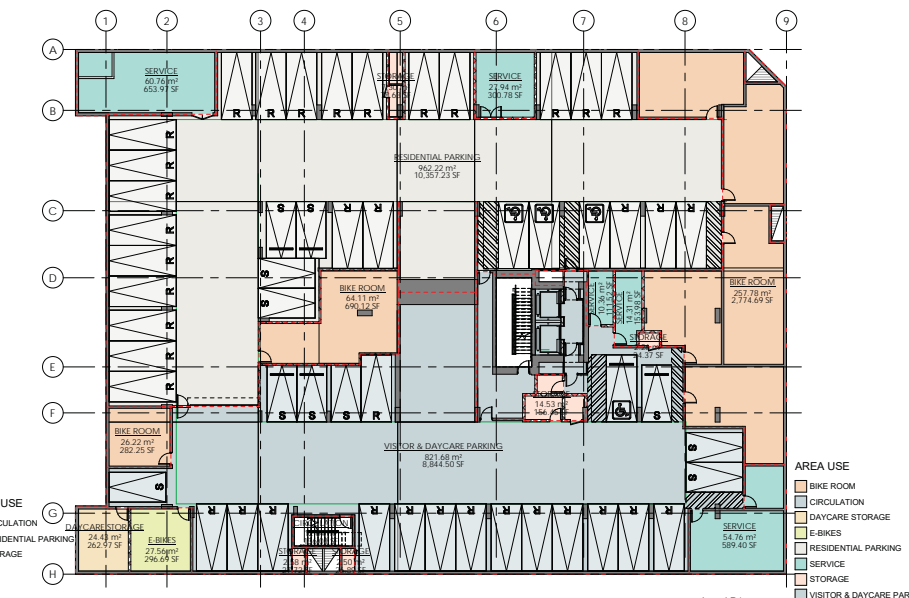
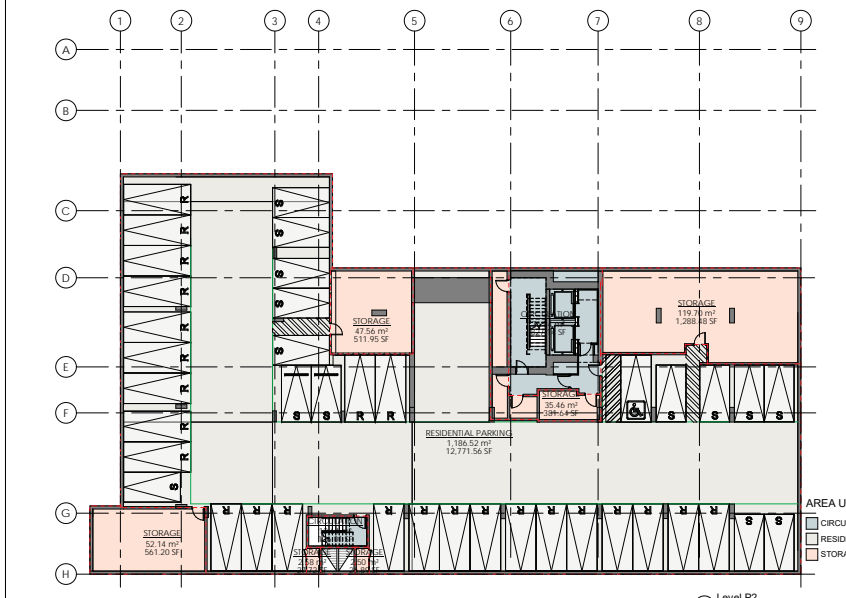
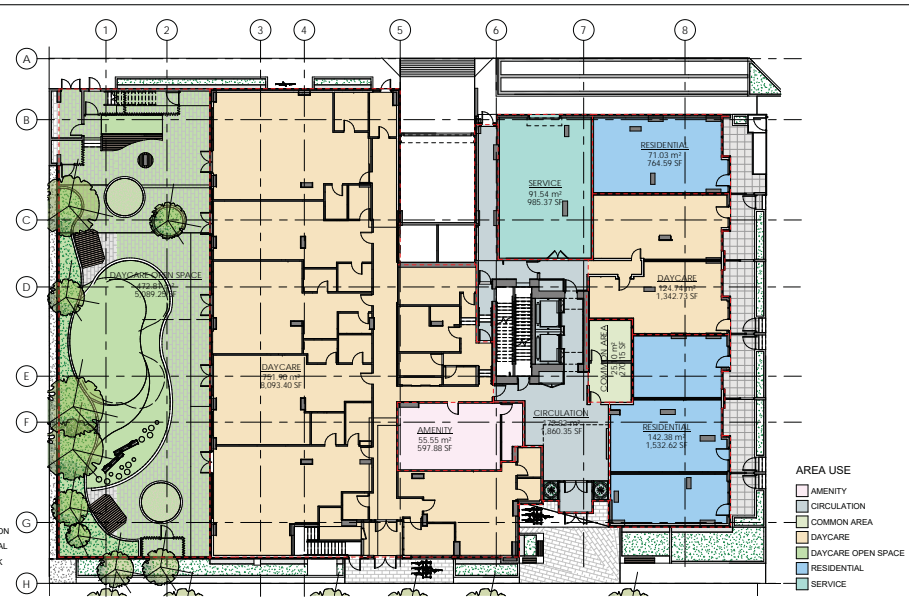
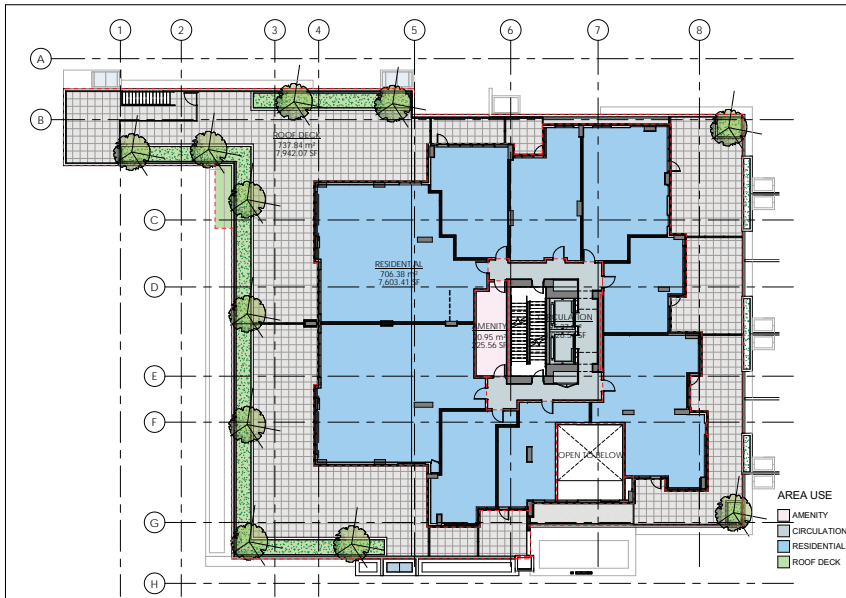
SUITE ONE
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KENWOOD
APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
PROJECT DATA

Date:
AUG. 01 - 2019
Scale
Drawing No.
A0-12
File name:
Rev:



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KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

SPACE PLANNING (GROSS)

Date: AUG. 01 - 2019 Project No: 17-55
Scale: 1:200 Drawing No: A0-13
Drawn By: HR
File name: Rev:

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KENWOOD
APARTMENTS

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1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

SPACE PLANNING
(GROSS)

Date:

AUG. 01 - 2019

Scale

1 : 200

Drawn By:

HR

File name:

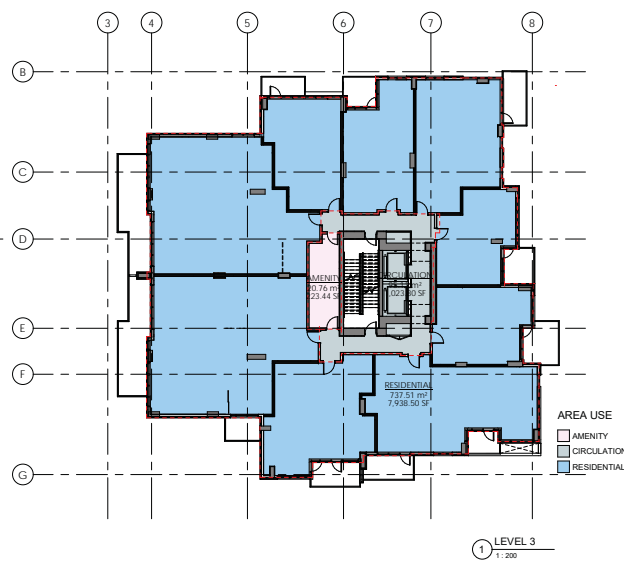
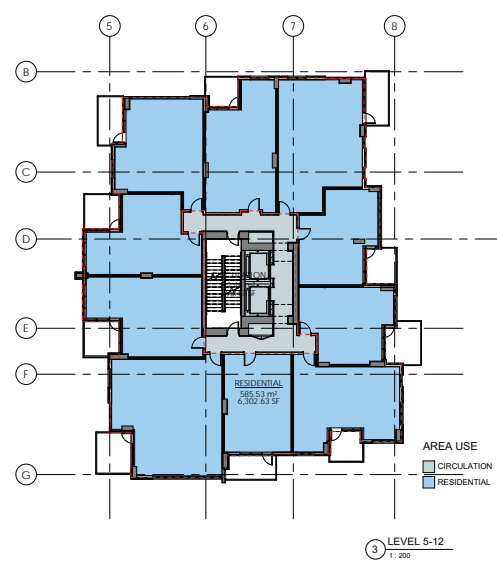
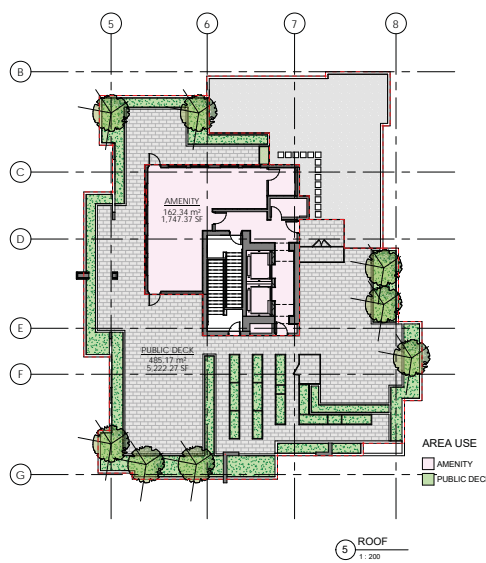
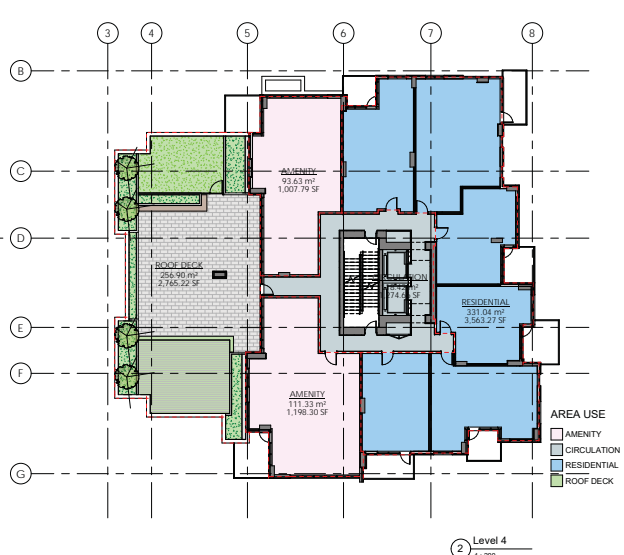
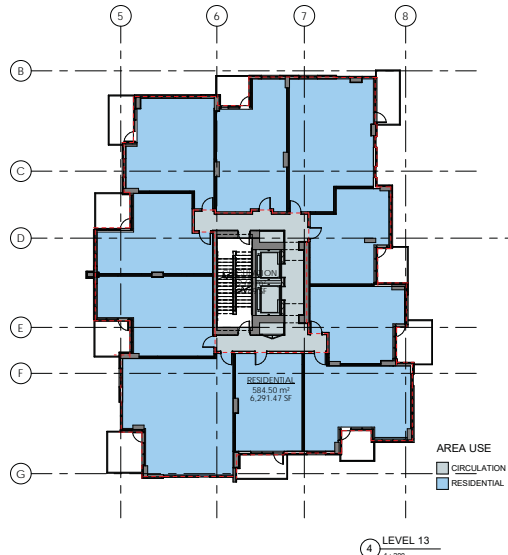
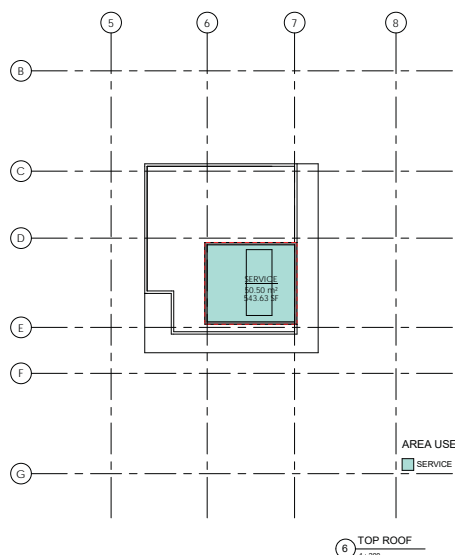
Project No.

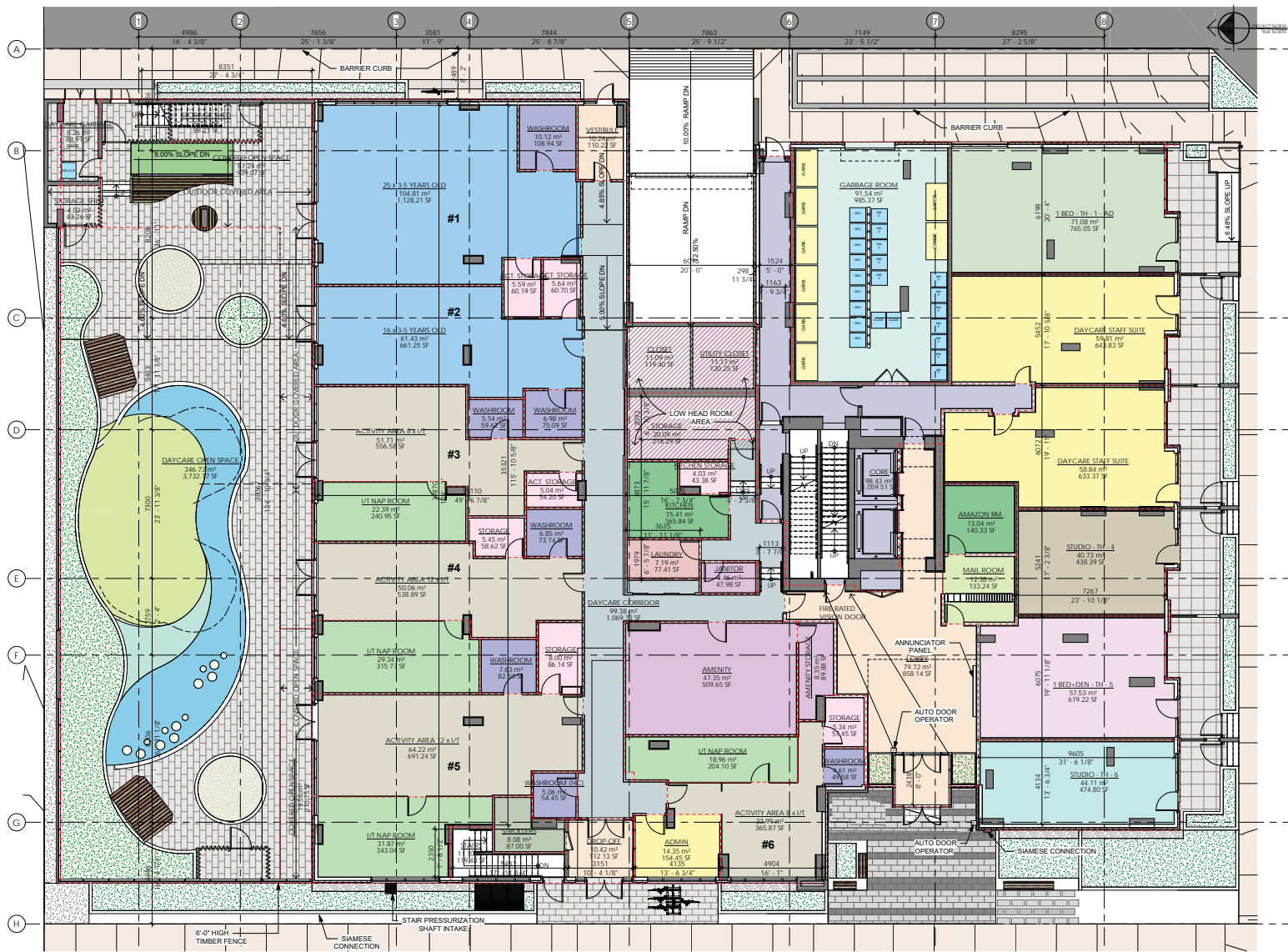
17-55

Drawing No.

A0-14

Rev:





ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 1	STAIRS	21.14 m ²	227.55 sf
TOTAL		21.14 m ²	227.55 sf

LEVEL 1 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 1	2 BED RM - AD	1	1.9 m ²	20.45 sf
TOTAL		1	1.9 m ²	20.45 sf

LEVEL 1 WALL EXCLUSION			
Level	TOTAL LENGTH	AREA SQM	AREA SQF
LEVEL 1	163.96 m	21.81 m ²	234.72 sf
TOTAL	163.96 m	21.81 m ²	234.72 sf

LEVEL 1 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 1	AMENITY	55.70 m ²	600 R ²
LEVEL 1	LOBBY	79.72 m ²	858 R ²
LEVEL 1	SERVICE	91.54 m ²	985 R ²
TOTAL		226.97 m ²	2443 R ²

LEVEL 1 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 1	AMENITY	55.70 m ²	600 R ²
LEVEL 1	COMMON	123.85 m ²	1333 R ²
LEVEL 1	DAYCARE	874.62 m ²	9408 R ²
LEVEL 1	LOBBY	79.72 m ²	858 R ²
LEVEL 1	RESIDENTIAL	213.44 m ²	2297 R ²
LEVEL 1	SERVICE	91.54 m ²	985 R ²
TOTAL		1438.27 m ²	15481 R ²

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Revision Schedule		
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1	OCT 14-2020	ISSUED FOR REZONING
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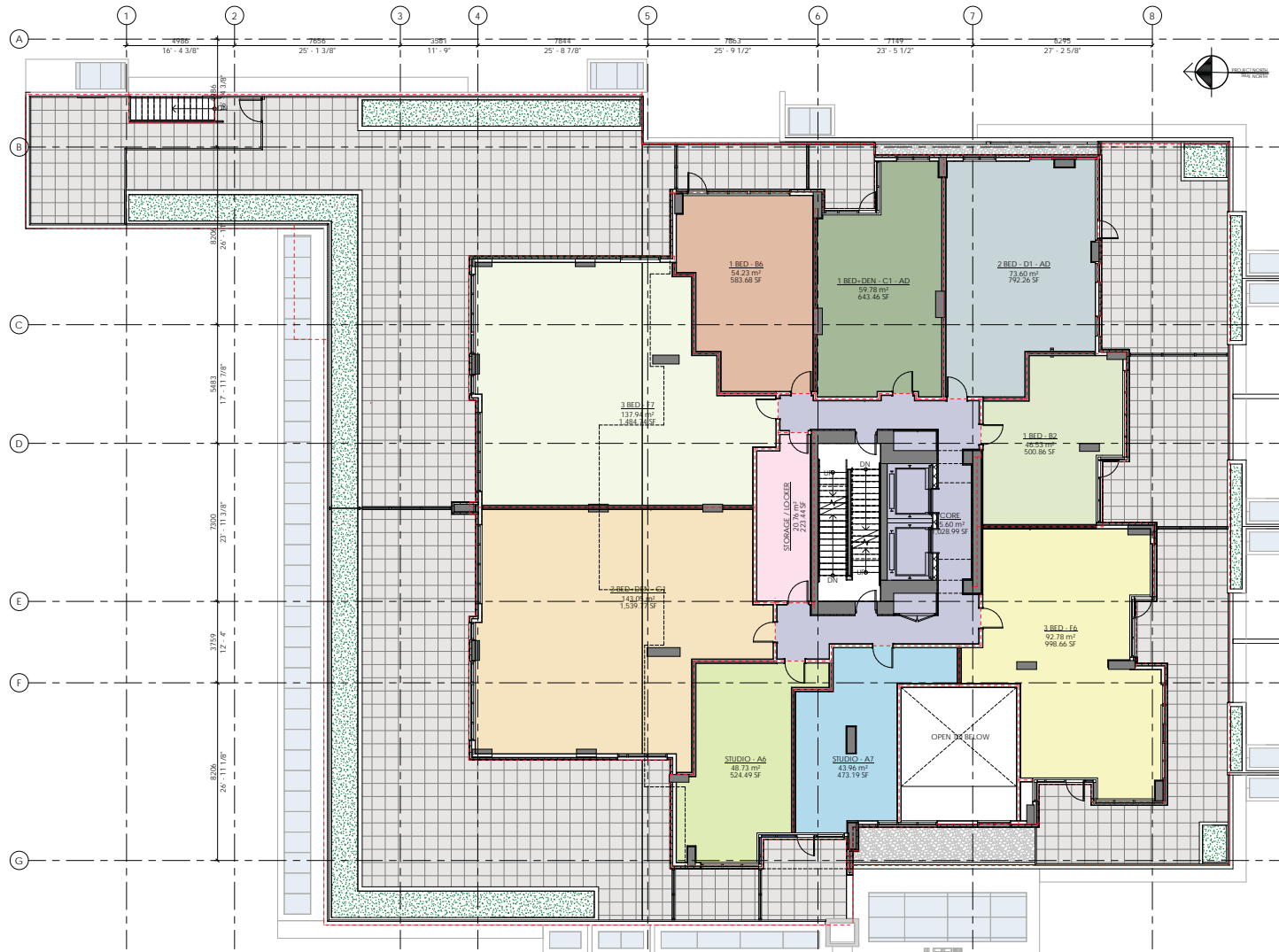
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
LEVEL 1 FAR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1: 100	Drawing No. A0-15
Drawn By: HR	Rev:
File name:	



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 2	STAIRS	21.14 m ²	227.55 sf
TOTAL		21.14 m ²	227.55 sf

LEVEL 2 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 2	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf
LEVEL 2	2 BED RM - AD	1	1.9 m ²	20.45 sf
TOTAL		2	3.8 m ²	40.90 sf

LEVEL 2 WALL EXCLUSION			
Level	TOTAL LENGTH	AREA SCM	AREA SCF
LEVEL 2	139.16 m	18.51 m ²	199.22 ft ²
TOTAL	139.16 m	18.51 m ²	199.22 ft ²

LEVEL 2 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	20.76 m ²	223 ft ²
TOTAL		20.76 m ²	223 ft ²

LEVEL 2 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	20.76 m ²	223 ft ²
LEVEL 2	COMMON	95.60 m ²	1029 ft ²
LEVEL 2	RESIDENTIAL	700.59 m ²	7541 ft ²
TOTAL		816.95 m ²	8794 ft ²

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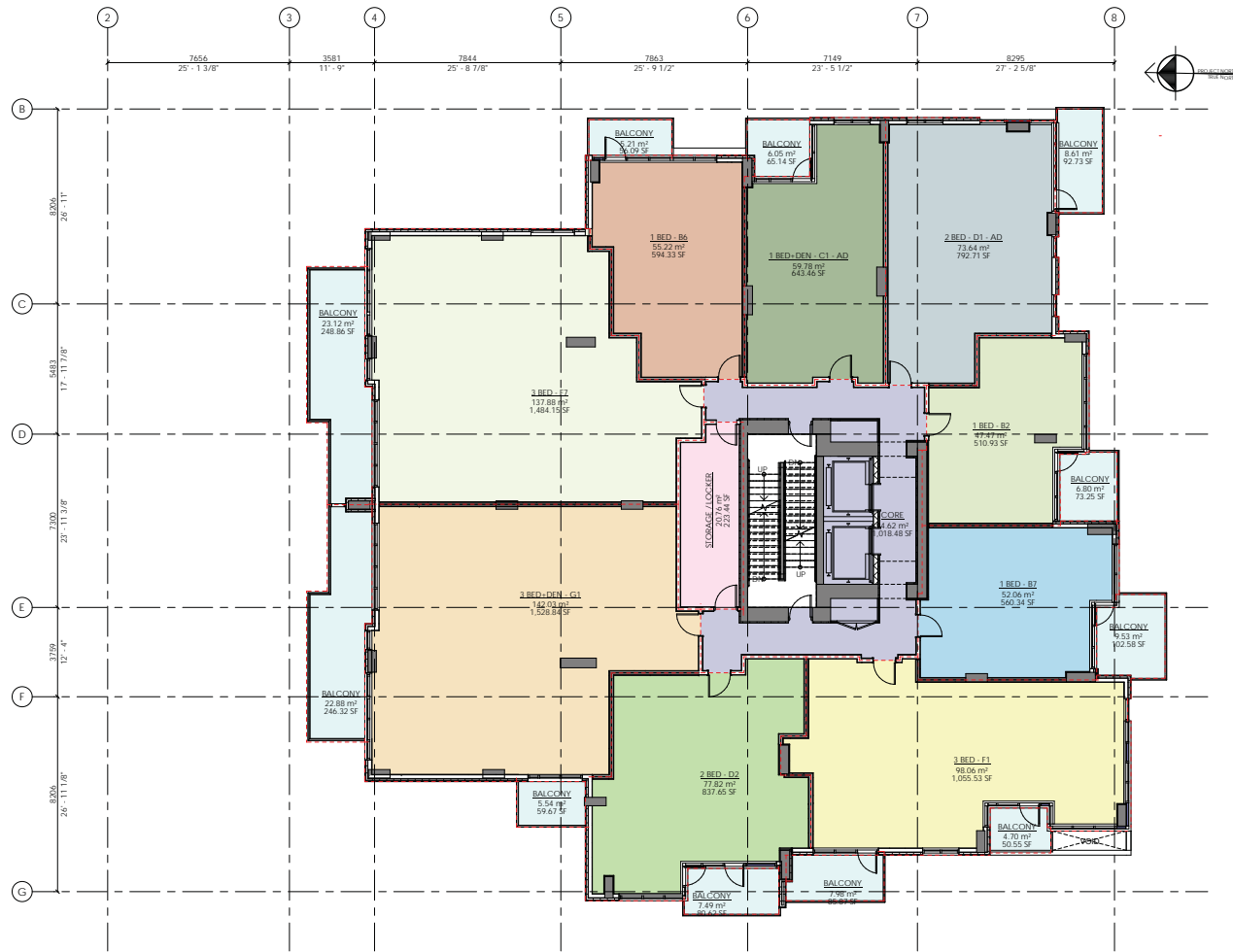
Client
KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
LEVEL 2 FLOOR PLAN

Date: AUG. 01 - 2019
Scale
1 : 100
Drawn By:
HR
File name:

Project No.
17-55
Drawing No.
A0-16
Rev:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 3	STAIRS	21.14 m ²	227.55 sf
TOTAL		21.14 m ²	227.55 sf

LEVEL 3 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 3	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf
LEVEL 3	2 BED RM - AD	1	1.9 m ²	20.45 sf
TOTAL		2	3.8 m ²	40.90 sf

LEVEL 3 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
LEVEL 3	139.16 m	18.51 m ²	199.22 ft ²
TOTAL	139.16 m	18.51 m ²	199.22 ft ²

LEVEL 3 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m ²	223 ft ²
TOTAL		20.76 m ²	223 ft ²

LEVEL 3 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m ²	223 ft ²
LEVEL 3	COMMON	94.62 m ²	1018 ft ²
LEVEL 3	RESIDENTIAL	743.56 m ²	8008 ft ²
TOTAL		859.34 m ²	9250 ft ²

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KENWOOD APARTMENTS

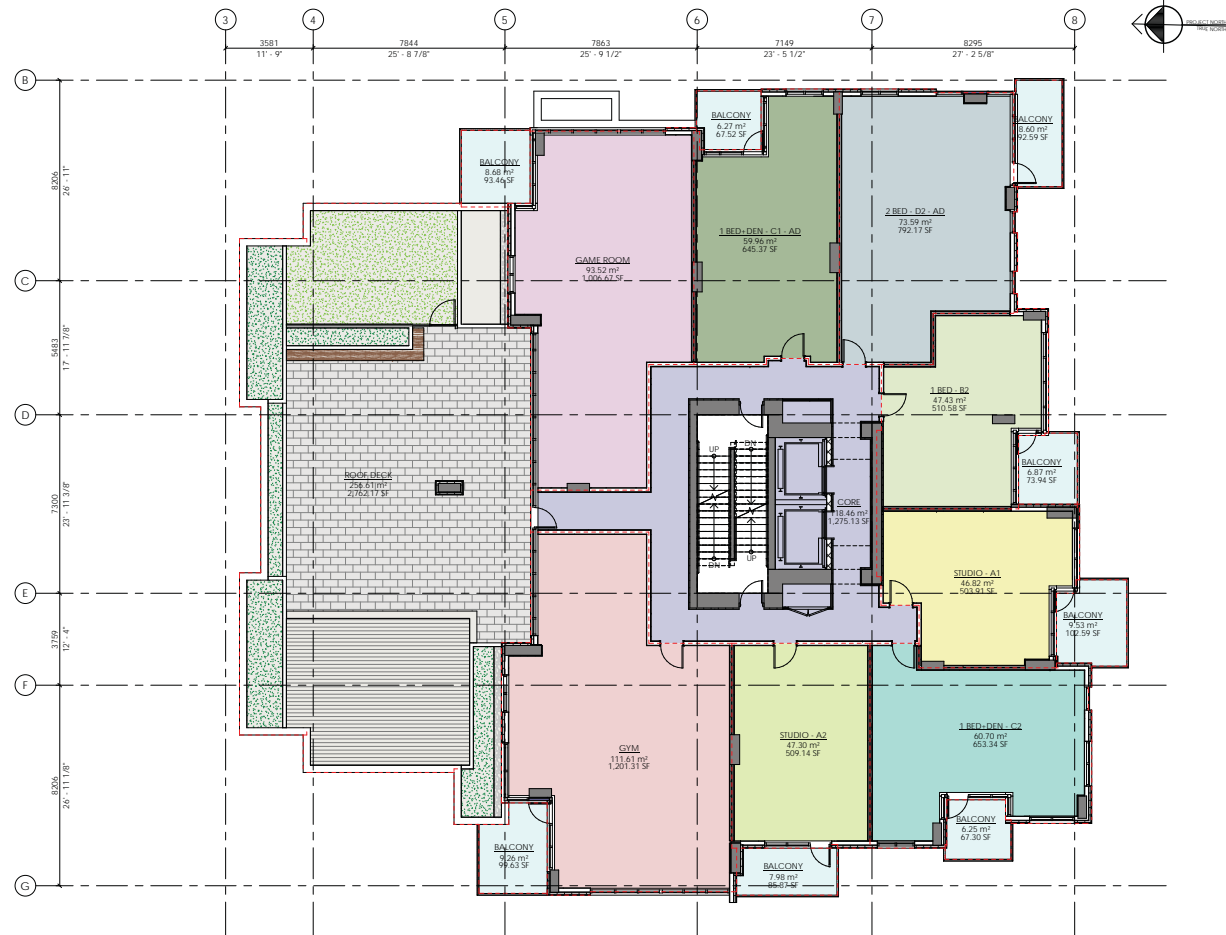
Project

1536 & 1550
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NORTH VANCOUVER, BC

Drawing Title

LEVEL 3 FLOOR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A0-17
Drawn By: HR	Rev:
File name:	



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 4	STAIRS	21.14 m ²	227.55 sf2
TOTAL		21.14 m ²	227.55 sf2

LEVEL 4 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
Level 4	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf2
Level 4	2 BED RM - AD	1	1.9 m ²	20.45 sf2
TOTAL		2	3.8 m ²	40.90 sf2

LEVEL 4 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
EL	123.54 m	16.43 m ²	176.86 ft ²
TOTAL	123.54 m	16.43 m ²	176.86 ft ²

LEVEL 4 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
Level 4	AMENITY	205.13 m ²	2208 ft ²
TOTAL		205.13 m ²	2208 ft ²

LEVEL 4 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
Level 4	AMENITY	205.13 m ²	2208 ft ²
Level 4	COMMON	118.46 m ²	1275 ft ²
Level 4	RESIDENTIAL	335.80 m ²	3614 ft ²
TOTAL		659.39 m ²	7098 ft ²

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Drawing Title

LEVEL 4 FLOOR PLAN

Date:

AUG. 01 - 2019

Scale

1 : 100

Drawn By:

HR

File name:

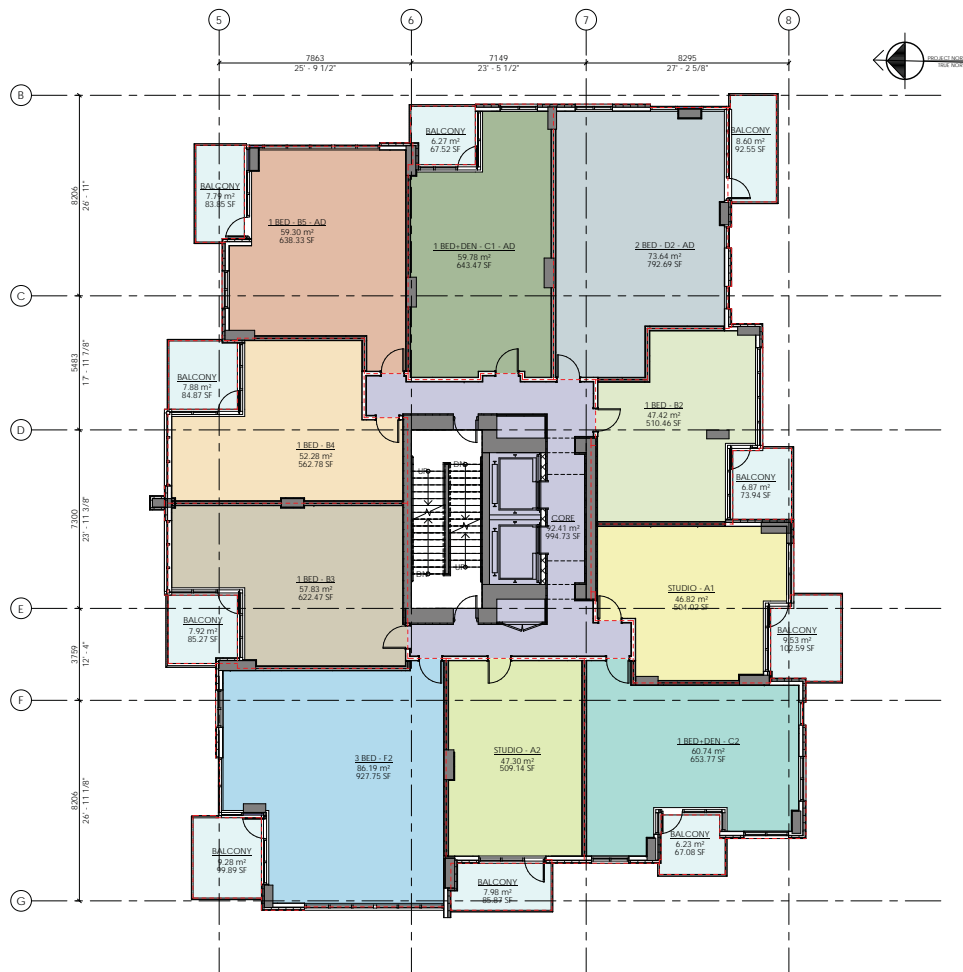
Project No.

17-55

Drawing No.

A0-18

Rev:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 5-12	STAIRS	21.14 m²	227.55 sf2
TOTAL		21.14 m²	227.55 sf2

LEVEL 5-12 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 8	1 BED RM + DEN - AD	1	1.9 m²	20.45 sf2
LEVEL 8	1 BED RM - AD	1	1.9 m²	20.45 sf2
LEVEL 8	2 BED RM - AD	1	1.9 m²	20.45 sf2
TOTAL		3	5.7 m²	61.35 sf2

LEVEL 5-12 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
LEVEL 5-12	103.25 m	13.73 m²	147.81 ft²
TOTAL	103.25 m	13.73 m²	147.81 ft²

LEVEL 5-12 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 5-12	STAIRS	21.14 m²	227.55 sf2
TOTAL		21.14 m²	227.55 sf2

LEVEL 5-12 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 8	COMMON	92.41 m²	995 ft²
LEVEL 8	RESIDENTIAL	591.32 m²	6365 ft²
TOTAL		683.73 m²	7360 ft²

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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

LEVEL 5-12 FAR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

A0-19

Drawn By:

HR

Rev:

File name:

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Drawing Title

LEVEL 13 AND ROOF
FAR PLANS

Date:

AUG. 01 - 2019

Scale

1 : 100

Drawn By:

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File name:

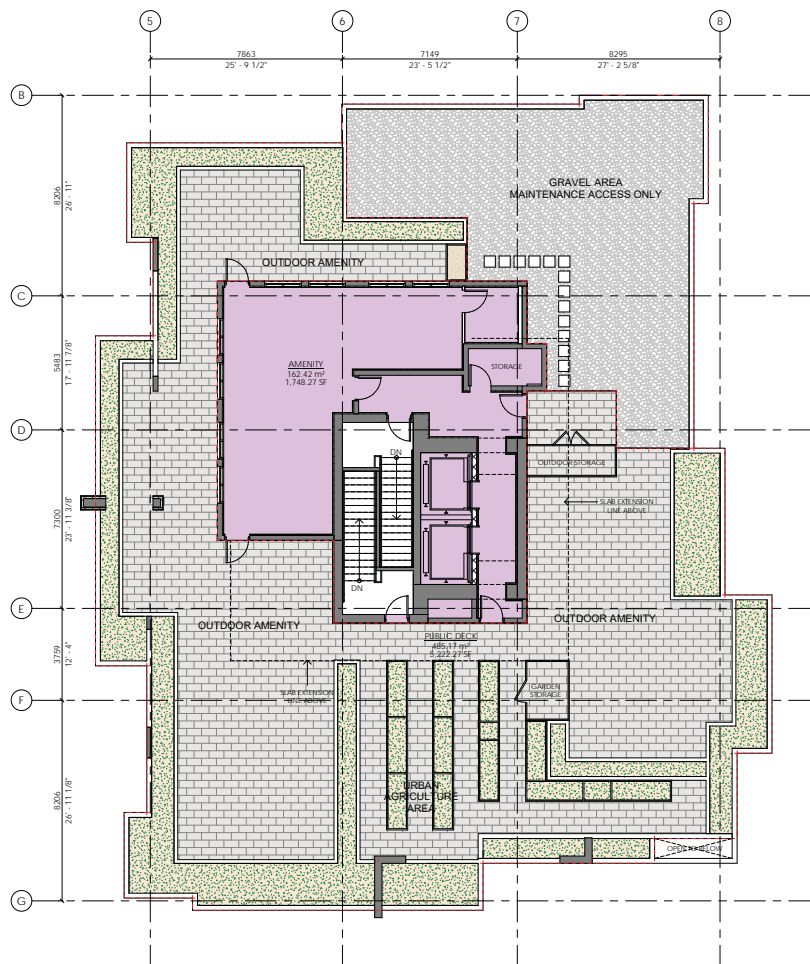
Project No.

17-55

Drawing No.

A0-20

Rev:



② ROOF PLAN
1 : 100

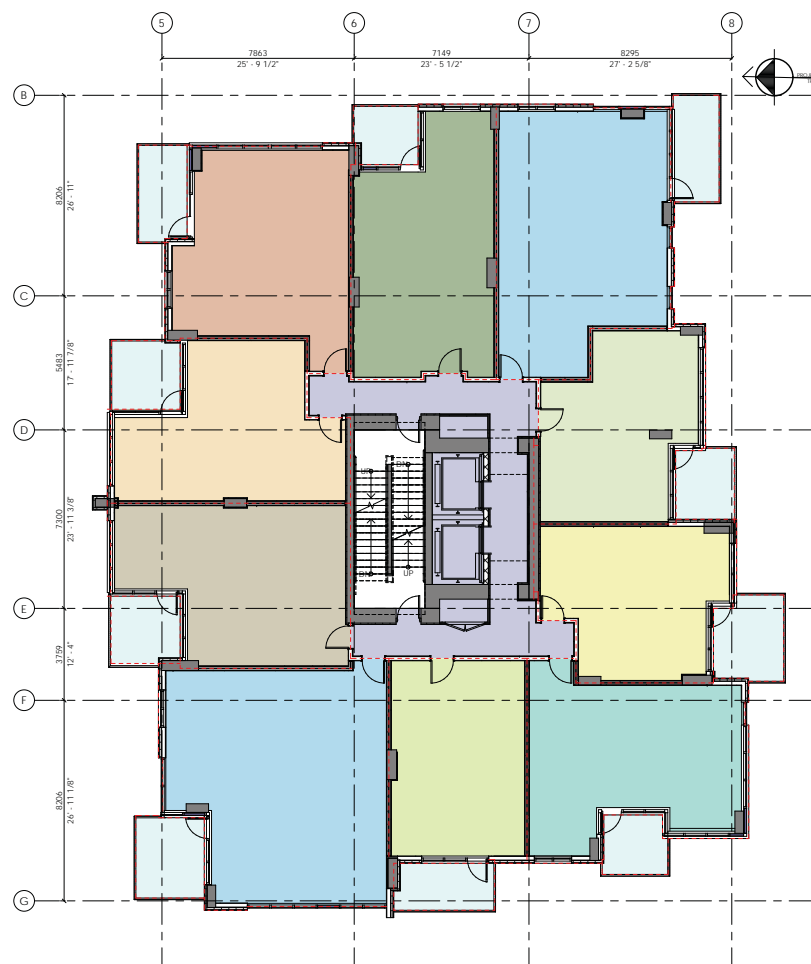
ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 13	STAIRS	21.14 m ²	227.55 sf ²
TOTAL		21.14 m ²	227.55 sf ²

LEVEL 13 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 13	1 BED RM + DEN - AD	1	1.9 m ²	20.45 sf ²
LEVEL 13	1 BED RM - AD	1	1.9 m ²	20.45 sf ²
TOTAL		2	5.7 m ²	61.35 sf ²

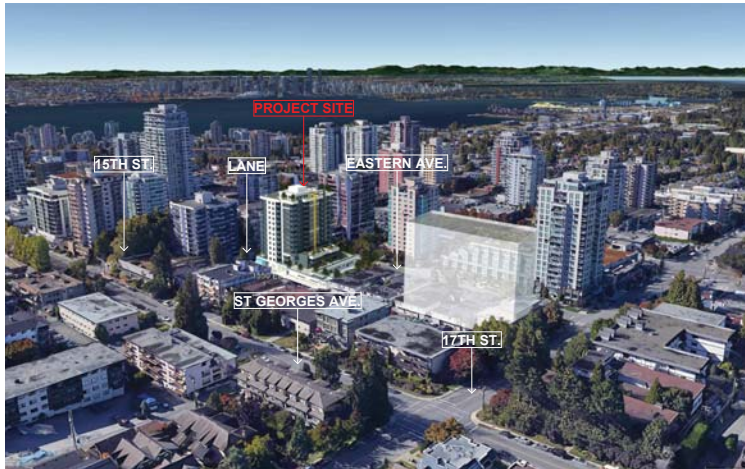
LEVEL 13 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
LEVEL 13	103.25 m	13.73 m ²	147.81 ft ²
TOTAL	103.25 m	13.73 m ²	147.81 ft ²

LEVEL 13 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)

LEVEL 13 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 13	COMMON	92.41 m ²	995 ft ²
LEVEL 13	RESIDENTIAL	591.33 m ²	6365 ft ²
TOTAL		683.74 m ²	7360 ft ²



① LEVEL 13
1 : 100



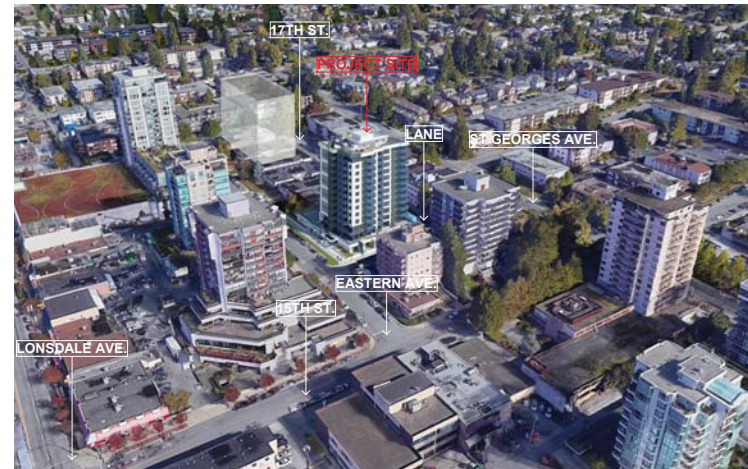
VIEW FROM NORTH EAST



VIEW FROM SOUTH EAST



VIEW FROM NORTH WEST



VIEW FROM SOUTH WEST

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Client

KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

3D CONTEXT VIEWS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

Drawing No.

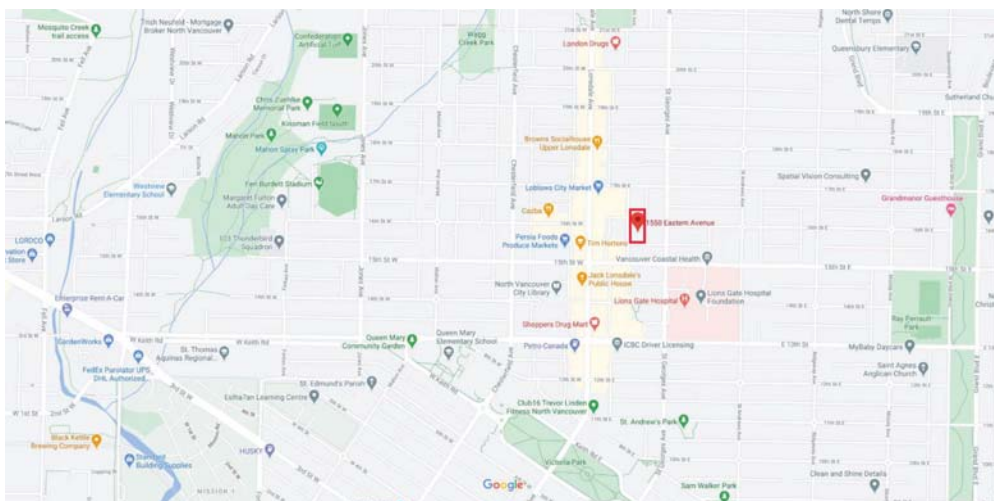
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Drawn By:

HR

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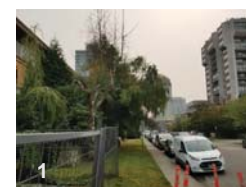
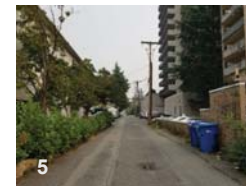
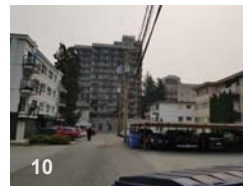
Rev:



NEIGHBOURHOOD AMENITIES & LOCATIONS



SITE CONTEXT PHOTOS



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KENWOOD
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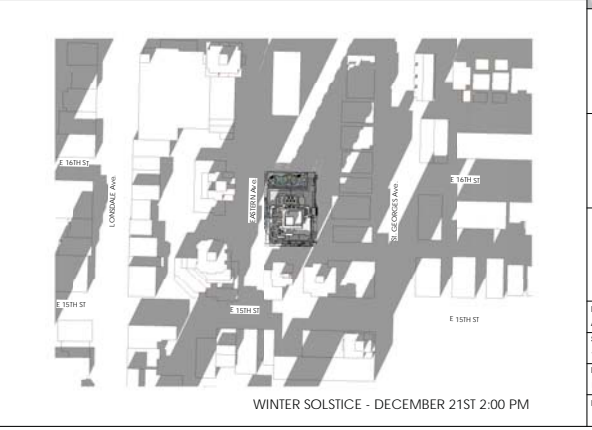
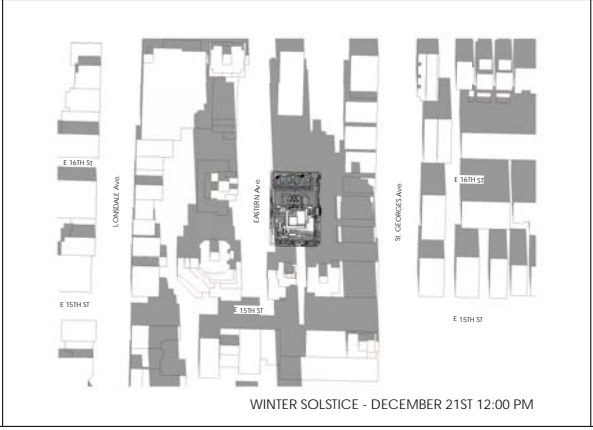
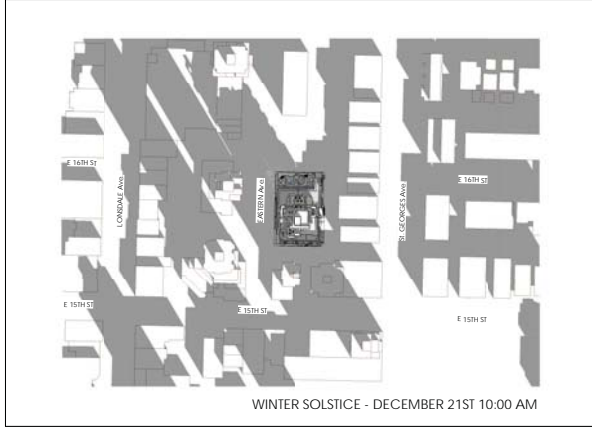
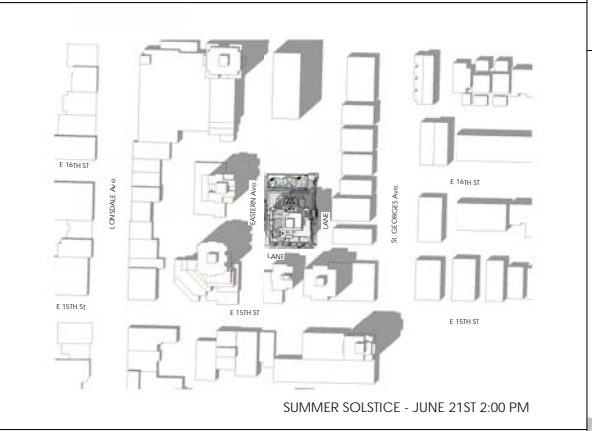
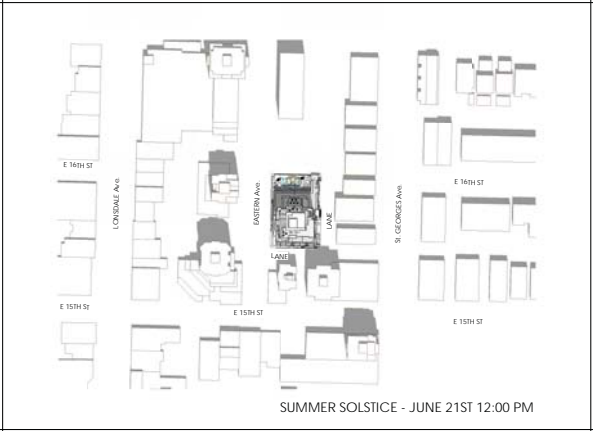
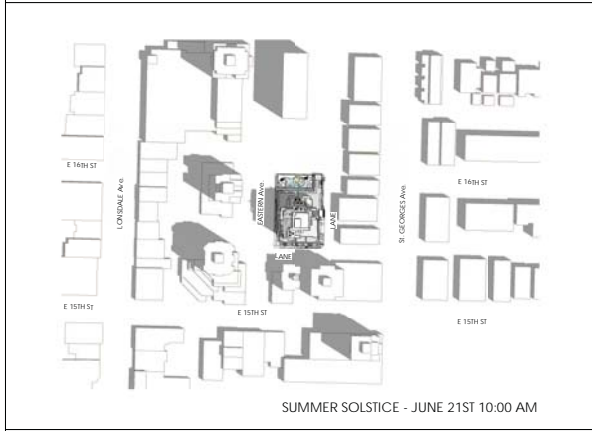
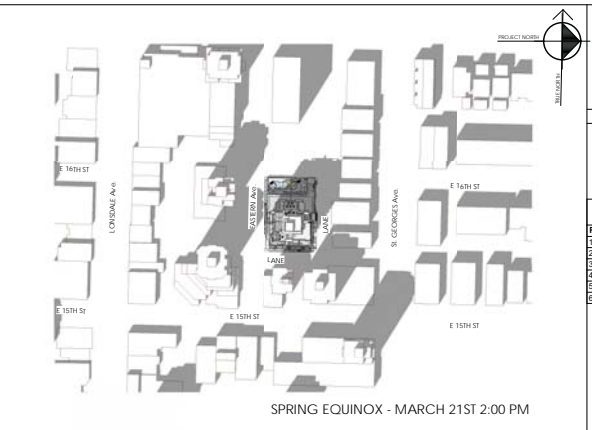
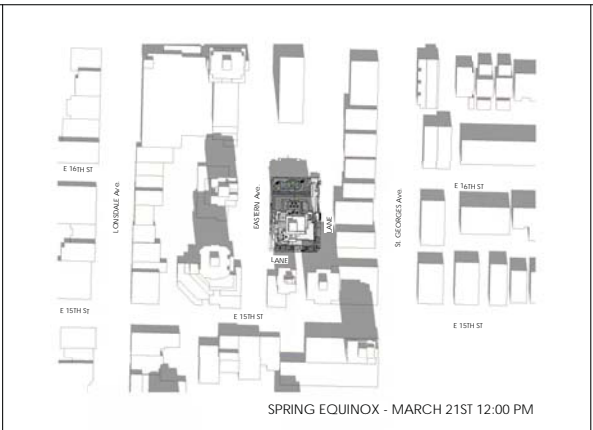
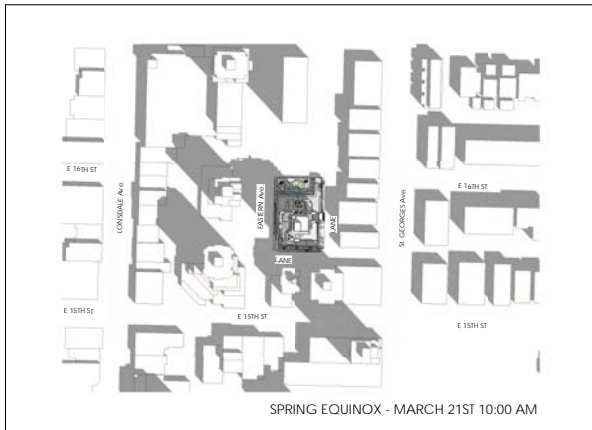
Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

	Drawing Title
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CONTEXT PHOTOS

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-22
Drawn By: HR	
File name:	Rev:



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4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

SHADOW STUDY

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 2000	Drawing No. A0-23
Drawn By: HR	
File name:	Rev:



AERIAL VIEW FROM NORTH WEST

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
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5	JUL 19-2022	RE-ISSUED FOR REZONING
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KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

3D AERIAL VIEW FROM
NORTH WEST

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

Drawing No.

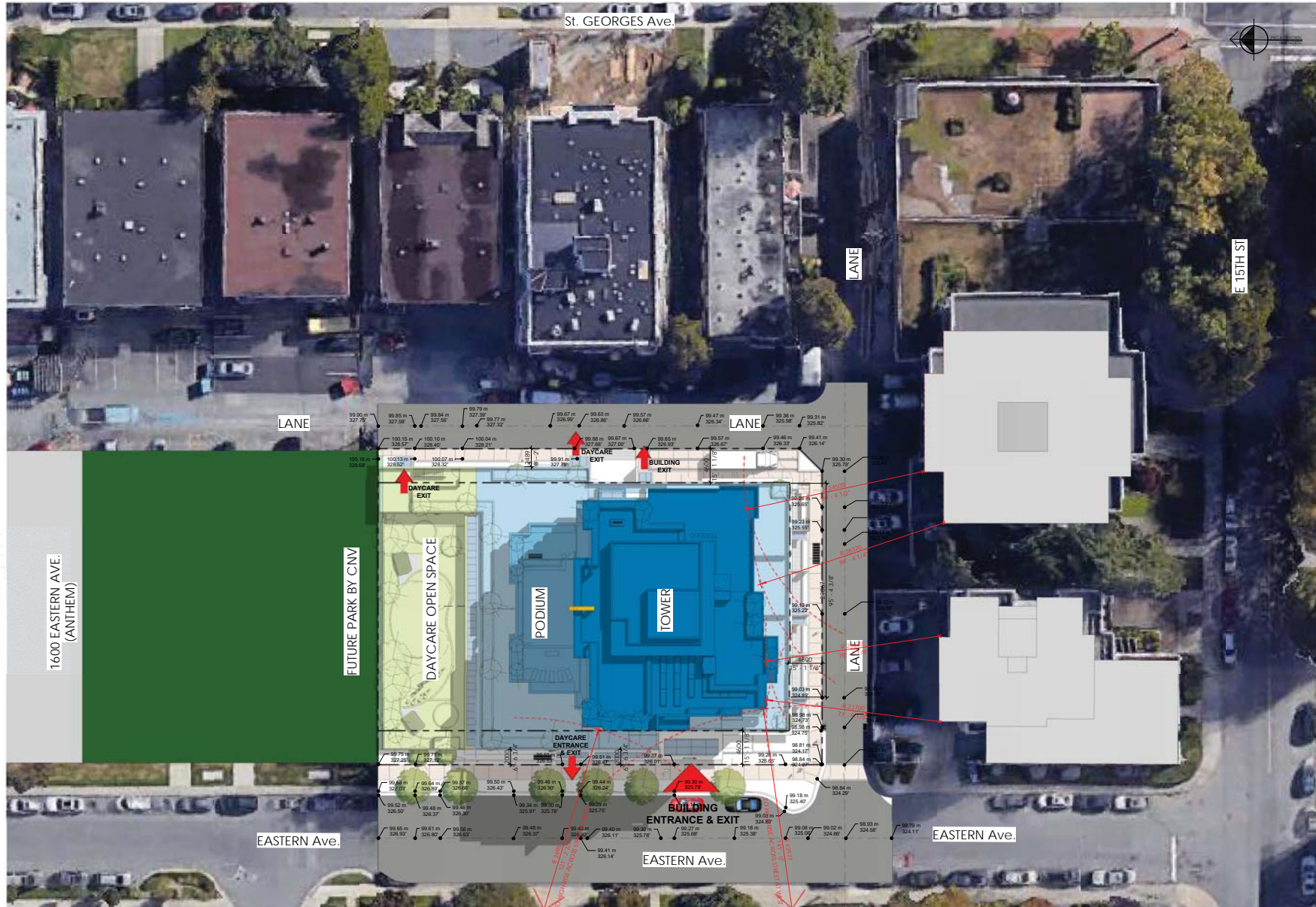
A0-24

Drawn By:

HR

File name:

Rev:



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Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
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6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

SITE PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 250	Drawing No. A1-01
Drawn By: HR	Rev:
File name:	



Drawing Issue Date

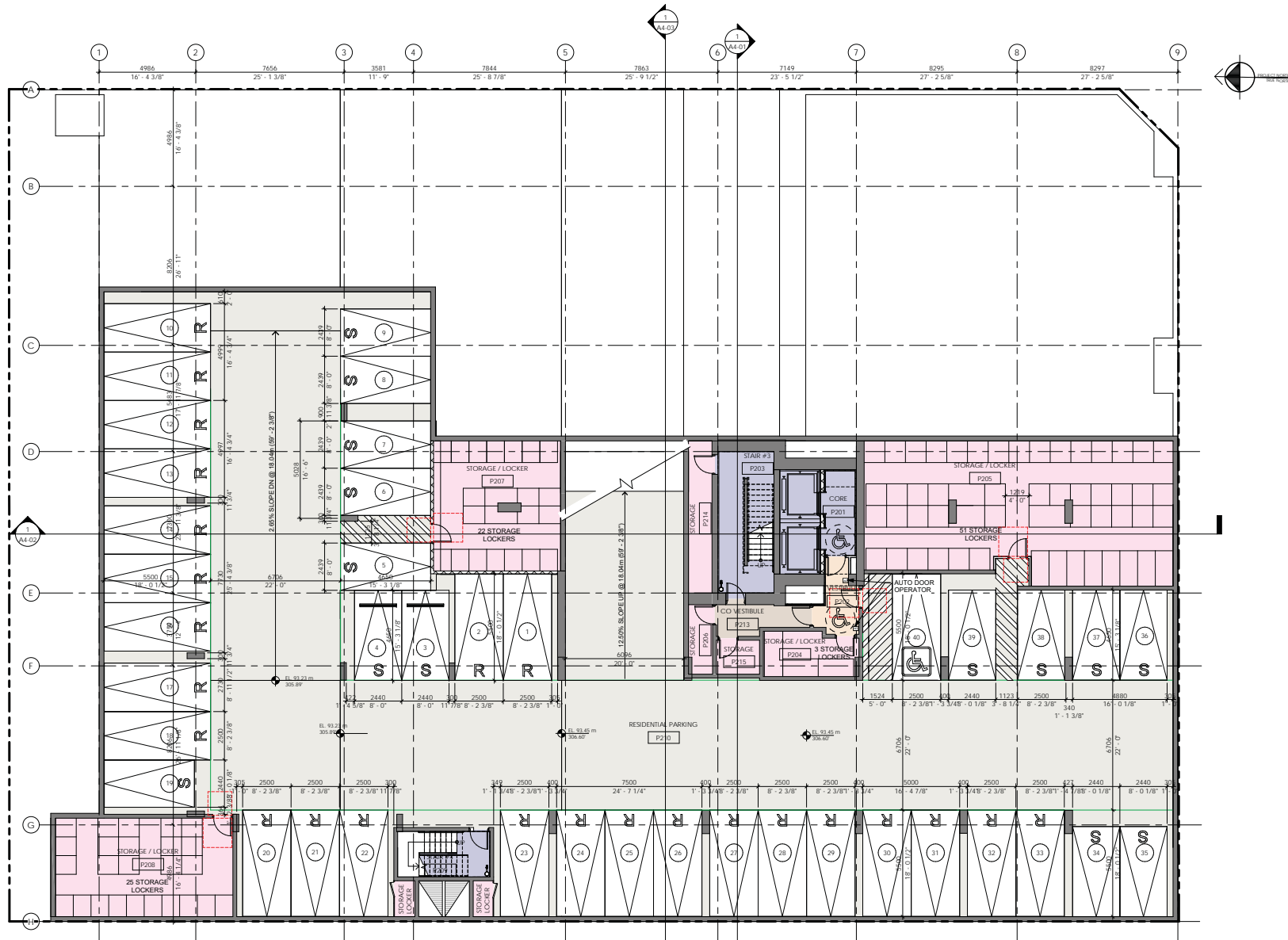
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KENWOOD
APARTMENTS

Drawing Title
TOWER SEPARATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A1-02
Drawn By: HR	
File name:	



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Revision Schedule		
Rev #	Date	Description
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5	JUL 19-2022	RE-ISSUED FOR REZONING
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KENWOOD APARTMENTS

Project

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EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

PARKING LEVEL P2

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A2-01
Drawn By: HR	
File name:	Rev:

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6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
LEVEL 2 FLOOR PLAN

Date:
AUG. 01 - 2019

Project No.
17-55

Scale:
1 : 100

Drawing No.
A2-04

Drawn By:
HR

File name:

Rev:





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APARTMENTS**

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

LEVEL 3 FLOOR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

A2-05

Drawn By:

HR

File name:

Rev:



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KENWOOD APARTMENTS

Project
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EASTERN AVE.
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Drawing Title
LEVEL 4 FLOOR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A2-06
Drawn By: HR	
File name:	Rev:



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KENWOOD
APARTMENTS

Project

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EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

LEVEL 5-12 FLOOR
PLANS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

A2-07

Drawn By:

HR

File name:

Rev:

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6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

ROOF LEVEL & TOP
ROOF PLAN

Date:
AUG. 01 - 2019

Scale:
1 : 100

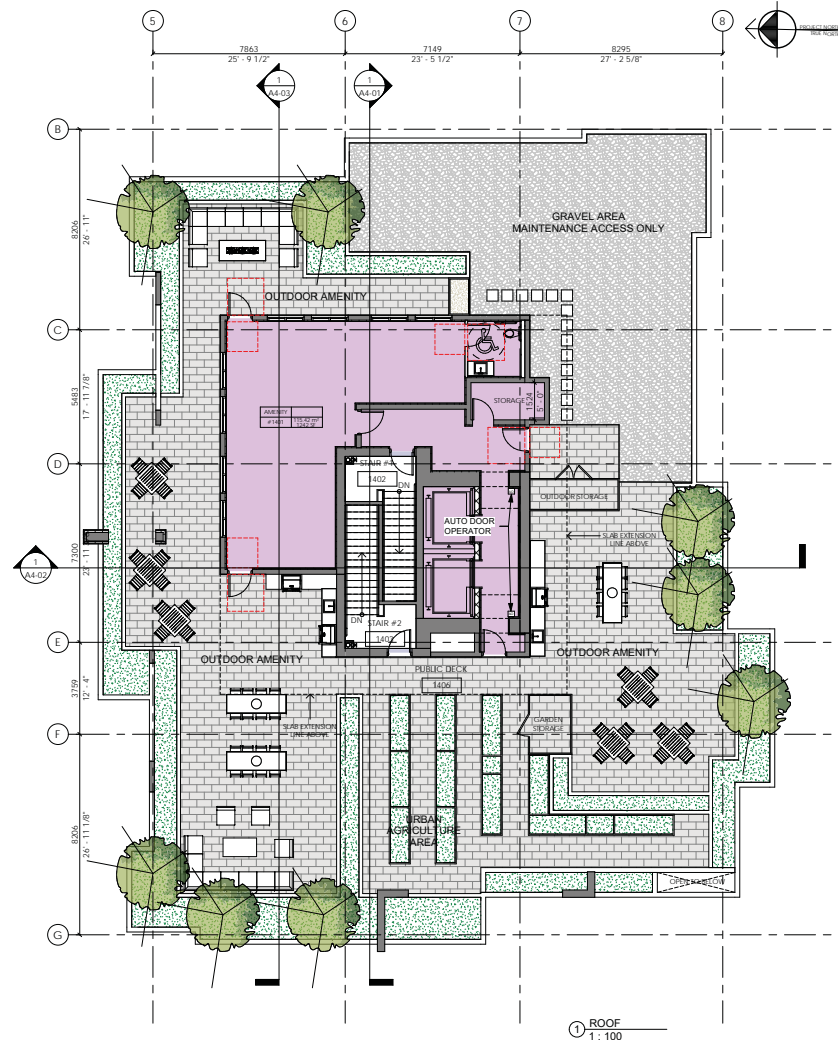
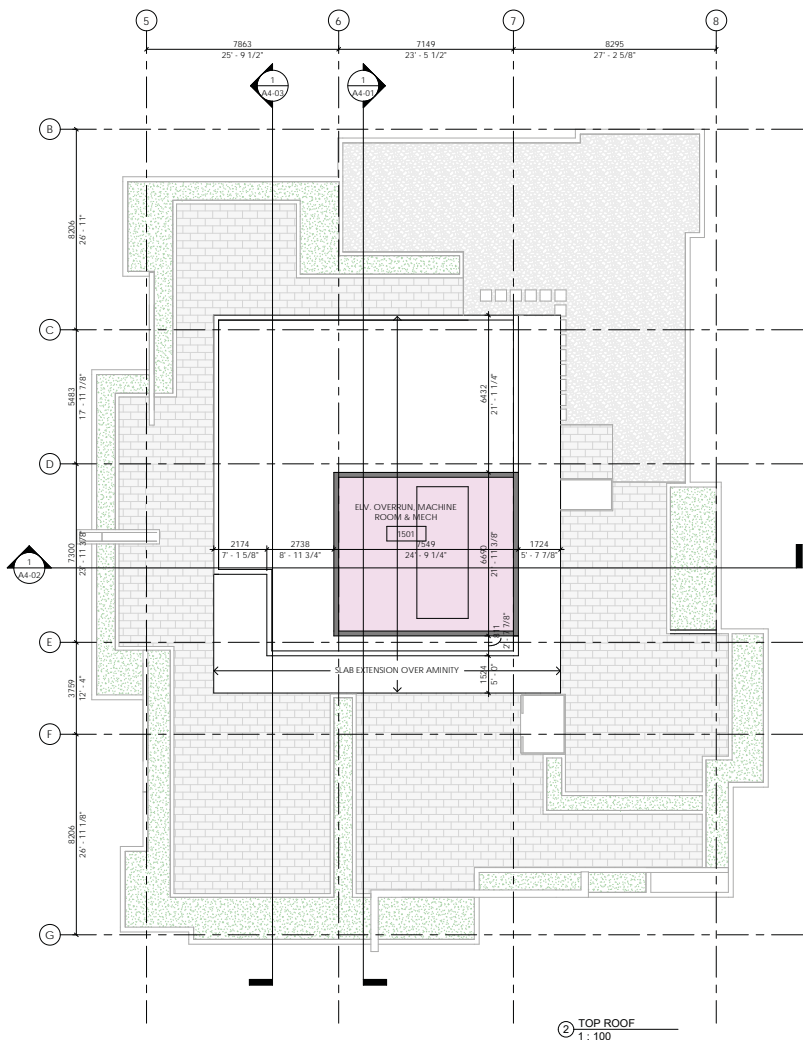
Drawn By:
HR

File name:

Project No.
17-55

Drawing No.
A2-09

Rev:





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KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

WEST ELEVATION

Date: AUG. 01 - 2019

Scale: 1 : 100

Drawn By: HR

File name:

Project No.

17-55

Drawing No.

A3-01

Rev:

MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINUM RAILINGS - CHACOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
10. PREFINISHED ALUMINUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
13. PREFINISHED MISCELENEOUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON



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Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
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5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

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KENWOOD
APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

NORTH ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-02
Drawn By: HR	
File name:	Rev:

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6	MAY 01-2023	RE-ISSUED FOR REZONING

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NORTH VANCOUVER, BC

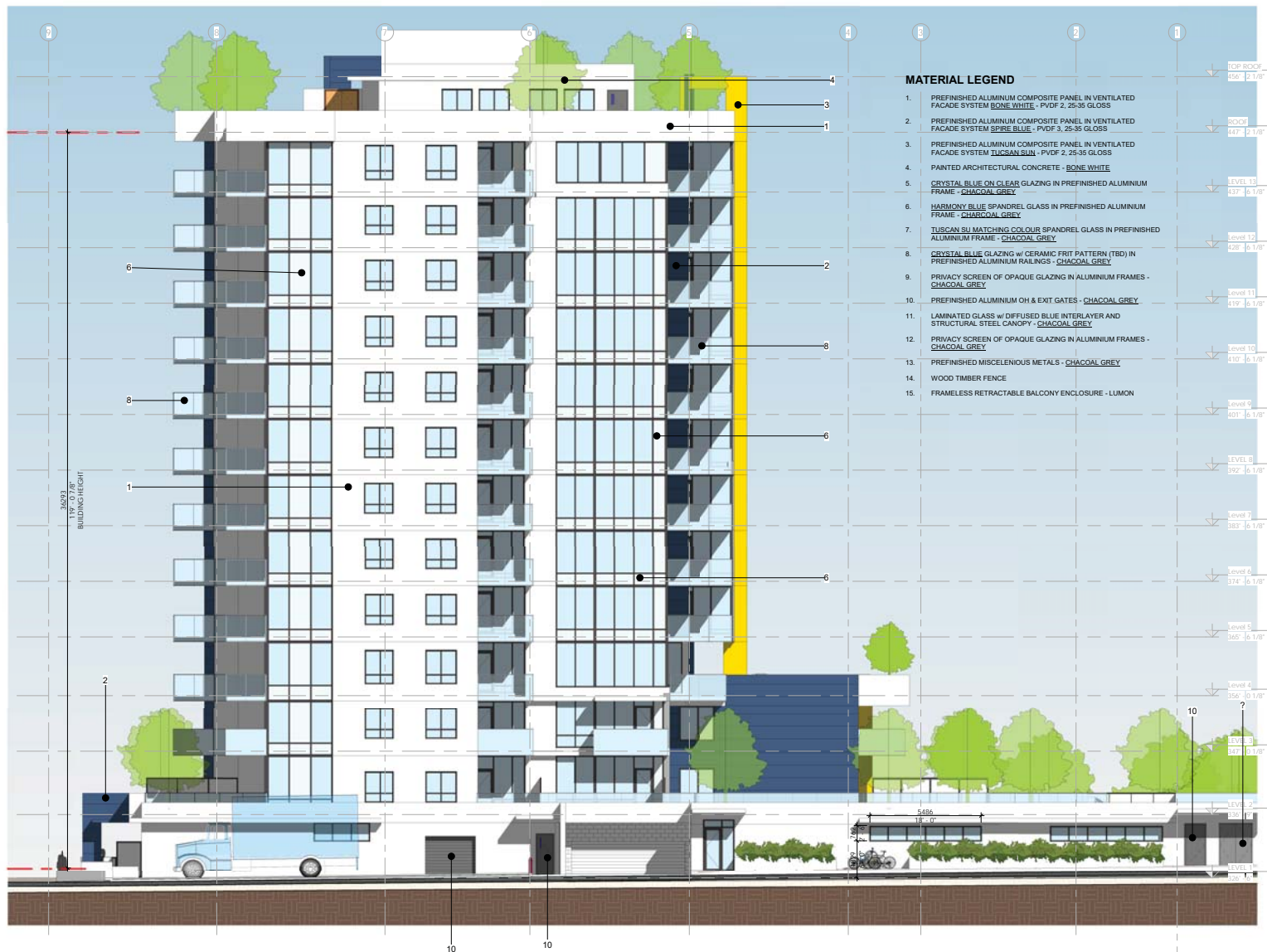
Drawing Title
SOUTH ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-03
Drawn By: HR	
File name:	Rev:

MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHARCOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHARCOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHARCOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINUM RAILINGS - CHARCOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHARCOAL GREY
10. PREFINISHED ALUMINUM OH & EXIT GATES - CHARCOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHARCOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHARCOAL GREY
13. PREFINISHED MISCELENIUM METALS - CHARCOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON





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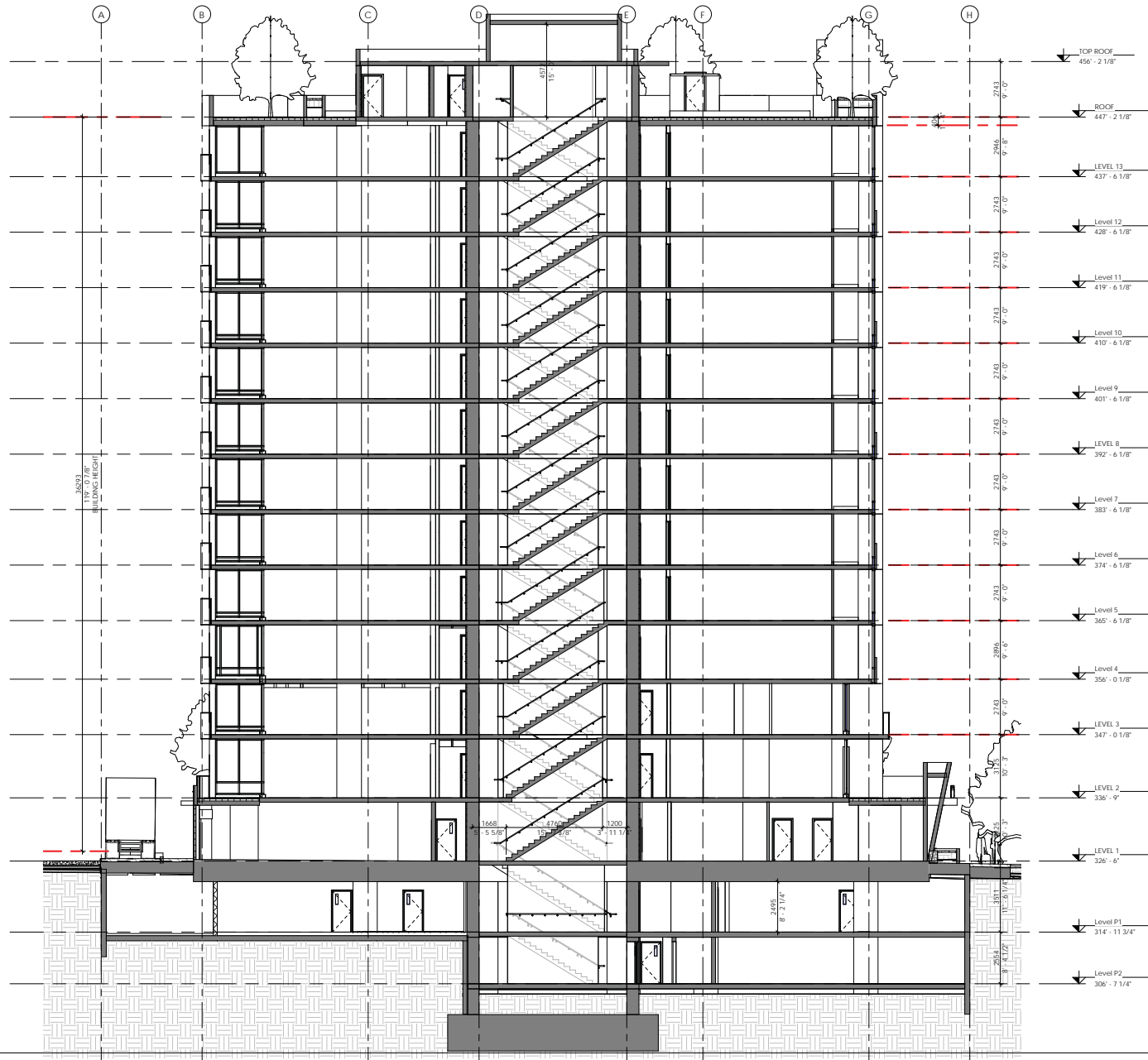
Client

KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
EAST ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-04
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Client

KENWOOD
APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
SECTION A

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A4-01
Drawn By: HR	
File name:	Rev:



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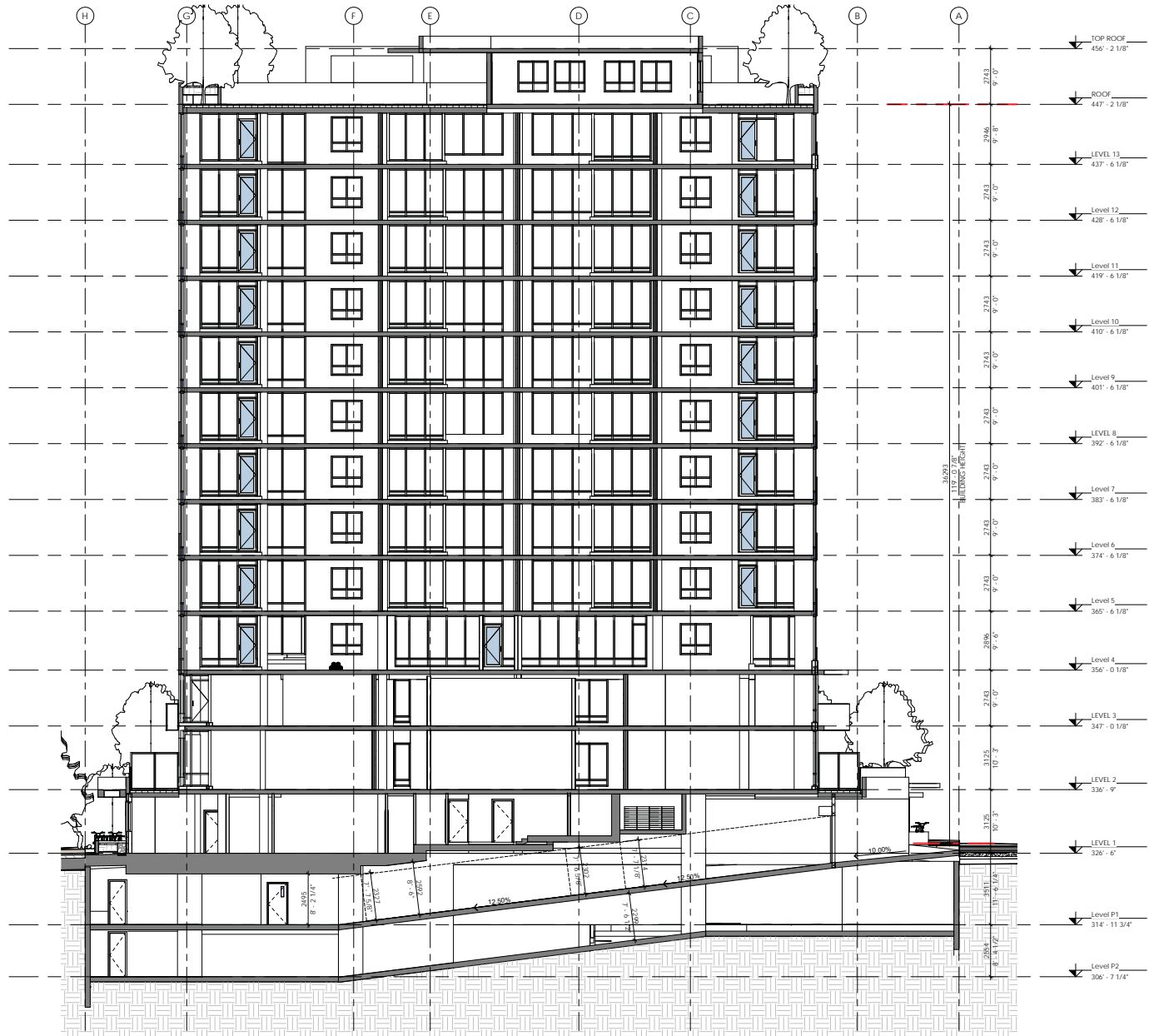
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Project
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EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
SECTION B

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A4-02
Drawn By: HR	
File name:	Rev:



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NORTH VANCOUVER, BC

Drawing Title
SECTION C

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1: 100	Drawing No. A4-03
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KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS A1, A2, B1,
B2, B3, B4

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1: 50

Drawing No.

A5-01

Drawn By:

HR

Rev:

File name:



BALCONY

3 UNIT - B1 - LEVEL 4-13

1: 50

2 UNIT - A2 - LEVEL 4-13

1: 50

5 UNIT - B3 - LEVEL 5-13

1: 50

6 UNIT - B4 - LEVEL 5-13

1: 50

1 UNIT - A1 - LEVEL 4-13

1: 50

4 UNIT - B2 - LEVEL 4-13

1: 50

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING
5	JUL 19-2022	RE-ISSUED FOR REZONING
6	MAY 01-2023	RE-ISSUED FOR REZONING

RAFIARCHITECTS INC.



TEL 604.688.3655
EMAIL raf@rafiarchitects.com
WWW rafiiarchitects.com

SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

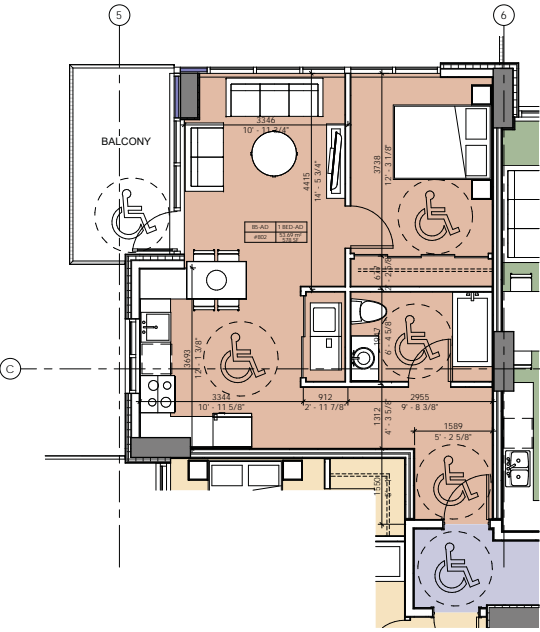
Client

KENWOOD
APARTMENTS

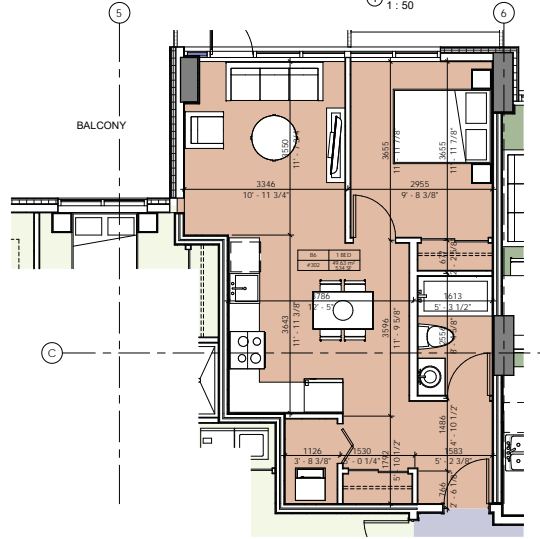
Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
UNIT PLANS B5-AD, B6,
B7, C1-AD, D1-AD, D2

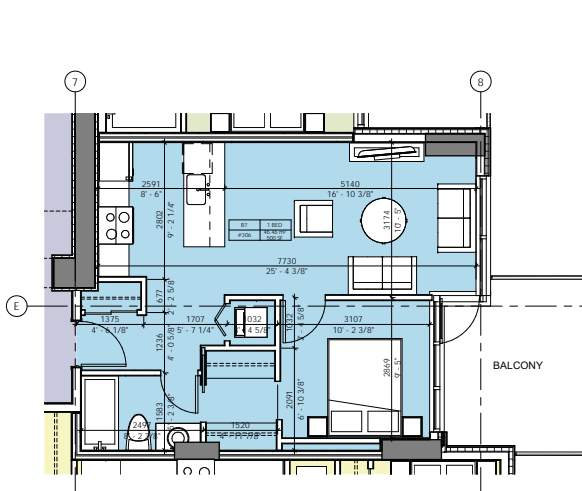
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Scale 1: 50	Drawing No. A5-02
Drawn By: HR	
File name:	Rev:



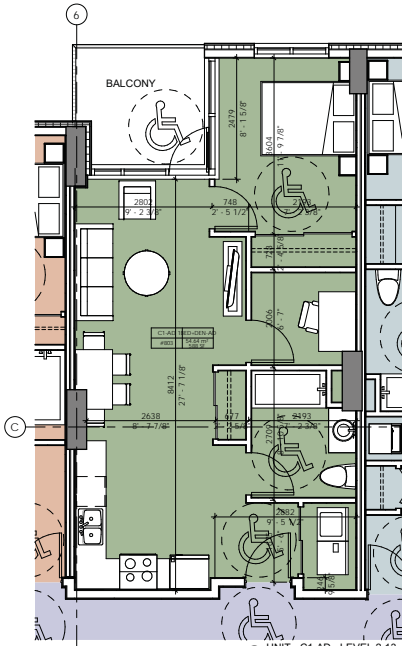
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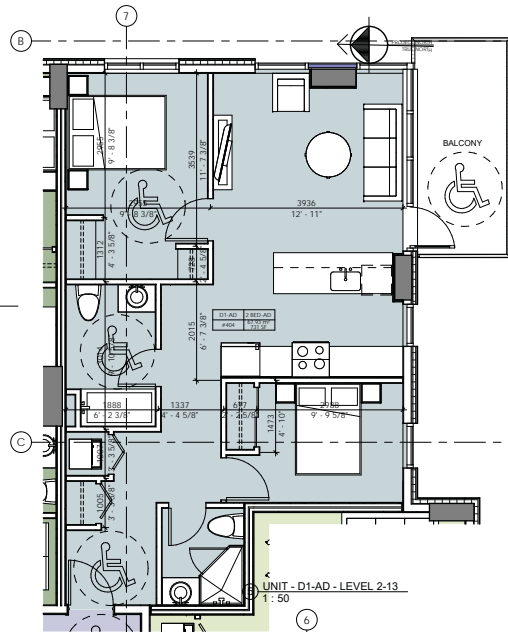
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1: 50



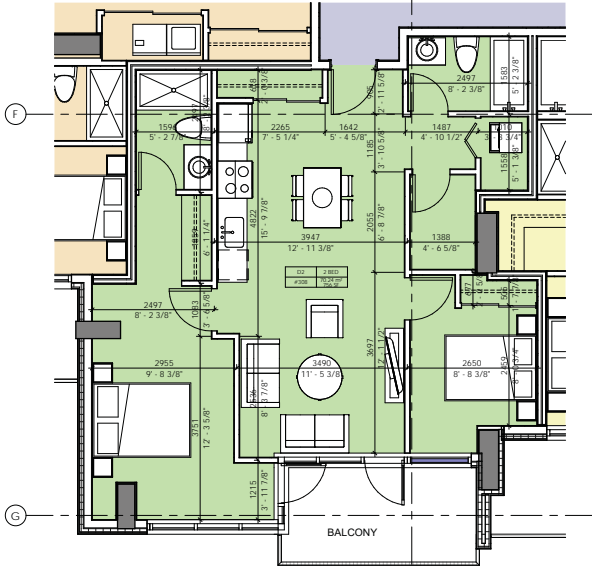
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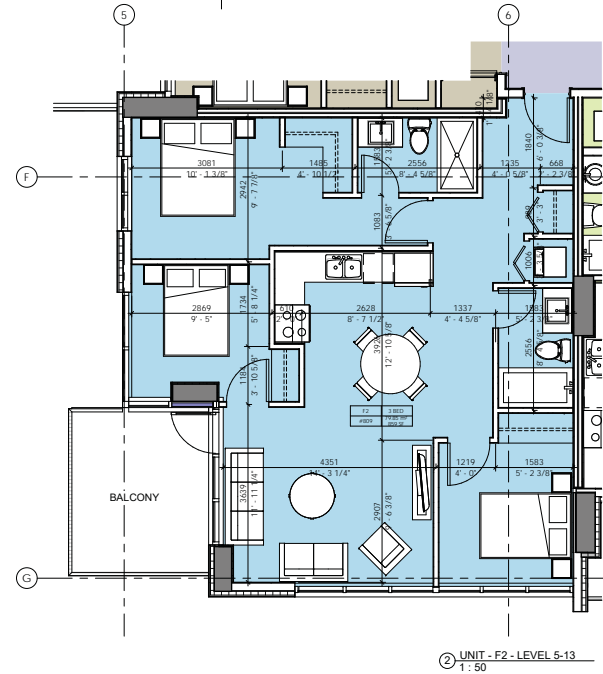
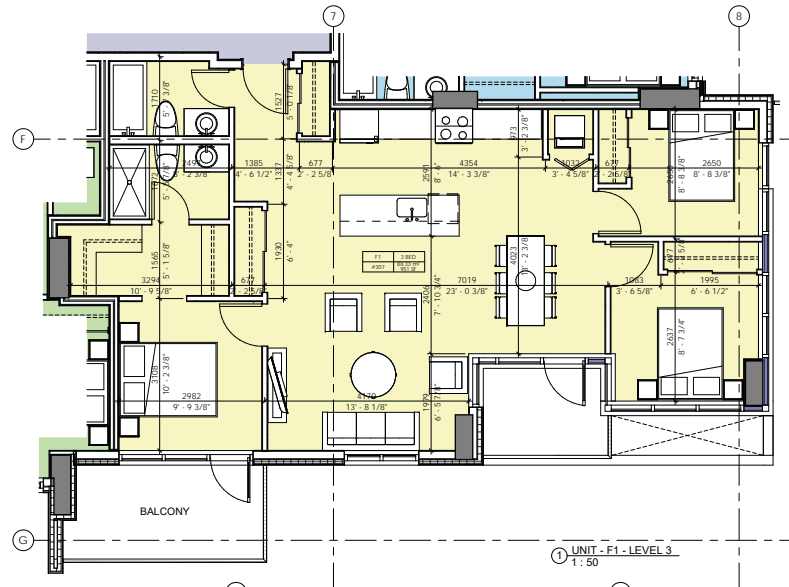
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⑤ UNIT - D1-AD - LEVEL 2-13
1: 50



⑥ UNIT - D2 - LEVEL 3
1: 50



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RAFIARCHITECTS INC.



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Client

KENWOOD
APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
UNIT PLANS F1, F2

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1:50	Drawing No. A5-03
Drawn By: HR	
File name:	Rev:



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Client

KENWOOD APARTMENTS

Project

1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS F7, G1

Date:
AUG. 01 - 2019

Project No.
17-55

Scale:
1 : 50

Drawing No.
A5-04

Drawn By:
HR

Rev:

File name:

① UNIT - G1 - LEVEL 2-3
1 : 50

② UNIT - F7 - LEVEL 2-3
1 : 50



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6	MAY 01-2023	RE-ISSUED FOR REZONING

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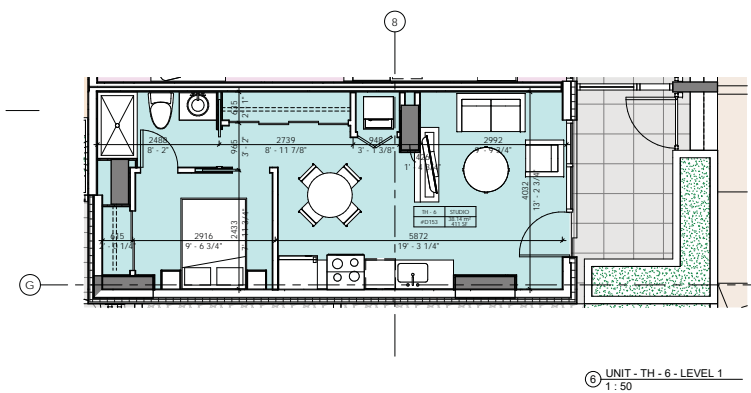
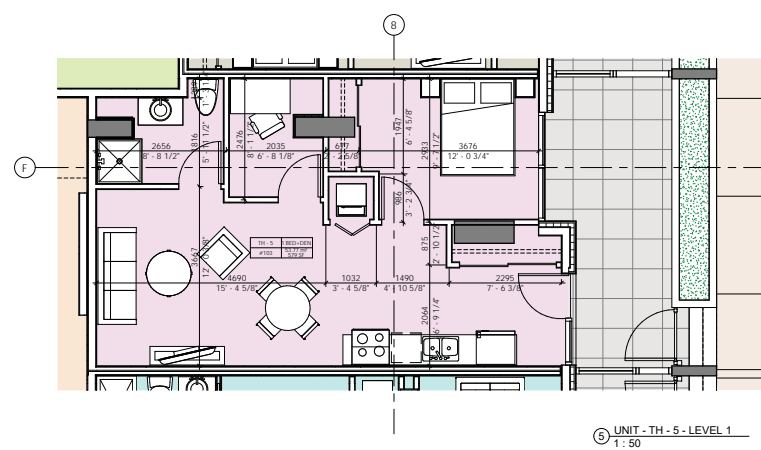
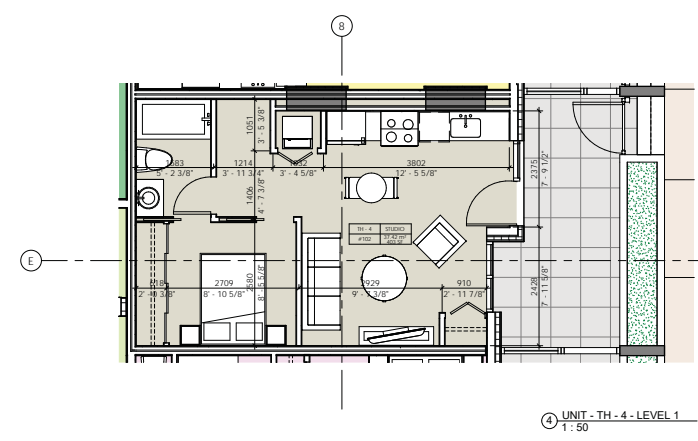
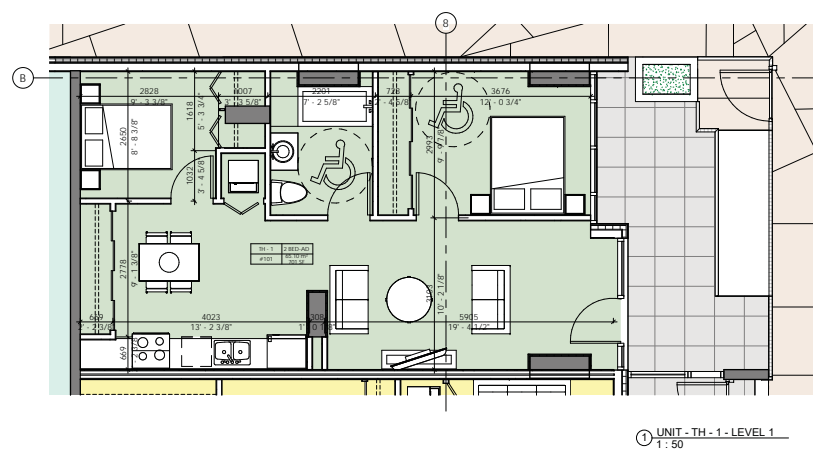
Client

KENWOOD APARTMENTS

Project
1536 & 1550
EASTERN AVE.
NORTH VANCOUVER, BC

Drawing Title
UNIT PLANS TH - 1, TH - 4, TH - 5, TH - 6

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 50	Drawing No. A5-05
Drawn By: HR	
File name:	Rev:



1550 EASTERN AVENUE

NORTH VANCOUVER, BC

RE-ISSUE FOR REZONING

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L0.1	DESIGN RATIONALE
L1.0	SITE PLAN/ LEVEL 1
L1.1	LANDSCAPE PLAN LEVEL 2
L1.2	LANDSCAPE PLAN LEVEL 4 AMENITY
L1.3	LANDSCAPE PLAN ROOF LEVEL
L1.4	LANDSCAPE OVERALL PLAN
L1.5	TREE RETENTION AND REMOVAL PLAN
L1.6	OVERALL LIGHTING PLAN
L2.0	PLANT MATERIALS AND PLANT LIST
L2.1	PLANTING PLAN LEVEL 1
L2.2	PLANTING PLAN LEVEL 2
L2.3	PLANTING PLAN LEVEL 4 AMENITY
L2.4	PLANTING PLAN ROOF LEVEL
L3.0	PRECEDENTS
L4.0	SECTIONS
L4.1	SECTIONS
L4.2	SECTIONS
L5.0	LANDSCAPE DETAILS
L5.1	LANDSCAPE DETAILS
L5.2	LANDSCAPE DETAILS
L5.3	LANDSCAPE DETAILS
L5.4	LANDSCAPE DETAILS
L5.5	LANDSCAPE DETAILS
L5.6	LANDSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF NORTH VANCOUVER.

PROJECT INFORMATION

ARCHITECT:
RAFII ARCHITECTS INC.
CONTACT NAME: FOAD RAFII
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LANDSCAPE ARCHITECT:
CONNECT LANDSCAPE ARCHITECTURE
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13	RE-ISSUED FOR REZONING	22-07-19
12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-08
8	ISSUED FOR ADP	21-07-14
7	ISSUED FOR VCH REVIEW	21-05-26
6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

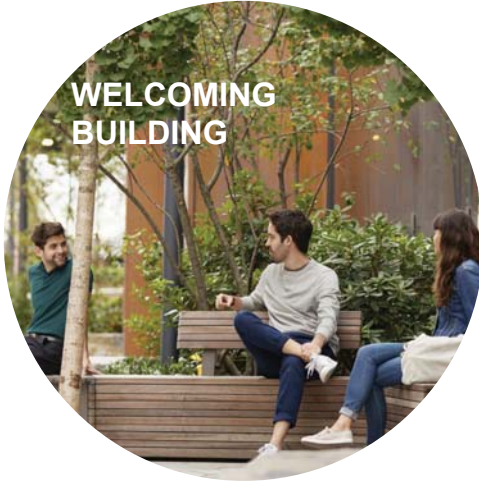
1550-EASTERN AVENUE

1550- Eastern Ave North Vancouver, BC	
Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

COVER SHEET

DESIGN RATIONALE AND PRINCIPALS

WELCOMING BUILDING



WELCOMING BUILDING

Building entries have been designed to provide comfortable sheltered seating areas that promote social interaction and activate the street.

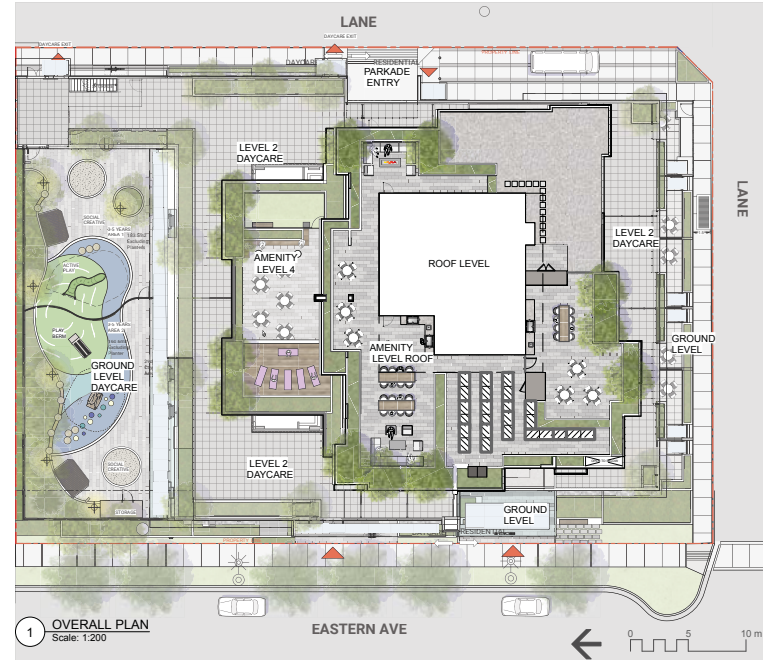
Layered Westcoast planting and materials reinforce the place identity of the North Shore.

Boulevard improvements and new street trees, as well as new lane sidewalks and street level patios with planters facing the lane, create a friendly improved street face.

PLACE IDENTITY



SPACES FOR EVERYONE



AMENITY SPACES FOR EVERYONE

Multiple daycare groups occupy the ground level and the second level outdoor space providing much needed child care spaces to the community.

The communal amenity deck on level 4 offers residents a wide variety of outdoor spaces.

A fenced pet retreat area, provides space for dogs and their owners. A terrace with movable seating and raised deck for exercise and lounging with views to the future park and nature promote a healthy lifestyle.

The sunny roof deck amenity adjacent to the indoor amenity features a family BBQ and dining area to the N-W and an adult BBQ and dining area to the S-W. Urban agriculture planter area to the south provides residents with the opportunity to grow their own food and connect to nature. A lounge seating area with fire place to the East adds to the social communal program of the terrace.

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3	ISSUED FOR REVIEW	20-09-18
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1	ISSUED FOR REVIEW	20-06-29
REVISIONS		GROUND LEVEL

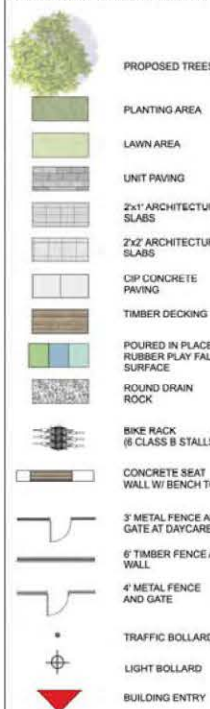
1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

DESIGN RATIONALE

MATERIALS LEGEND



NOTE:
ALL OFFSITE BOULEVARD AND
TREES TO BE IRRIGATED TO
CNV STANDARDS.
IRRIGATION PLANS TO BE
PROVIDED AT BP.



1 SITE PLAN

Scale: 1:100

connect
LANDSCAPE ARCHITECTURE

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T 604 681 3203 F 604 681 3207
www.connect.ca

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3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: 1:100
Drawn: MR
Reviewed: KL
Project No. 06-705

SITE PLAN

L1.0

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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN
AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: 1:100

Drawn: MR

Reviewed: KL

Project No. 06-705

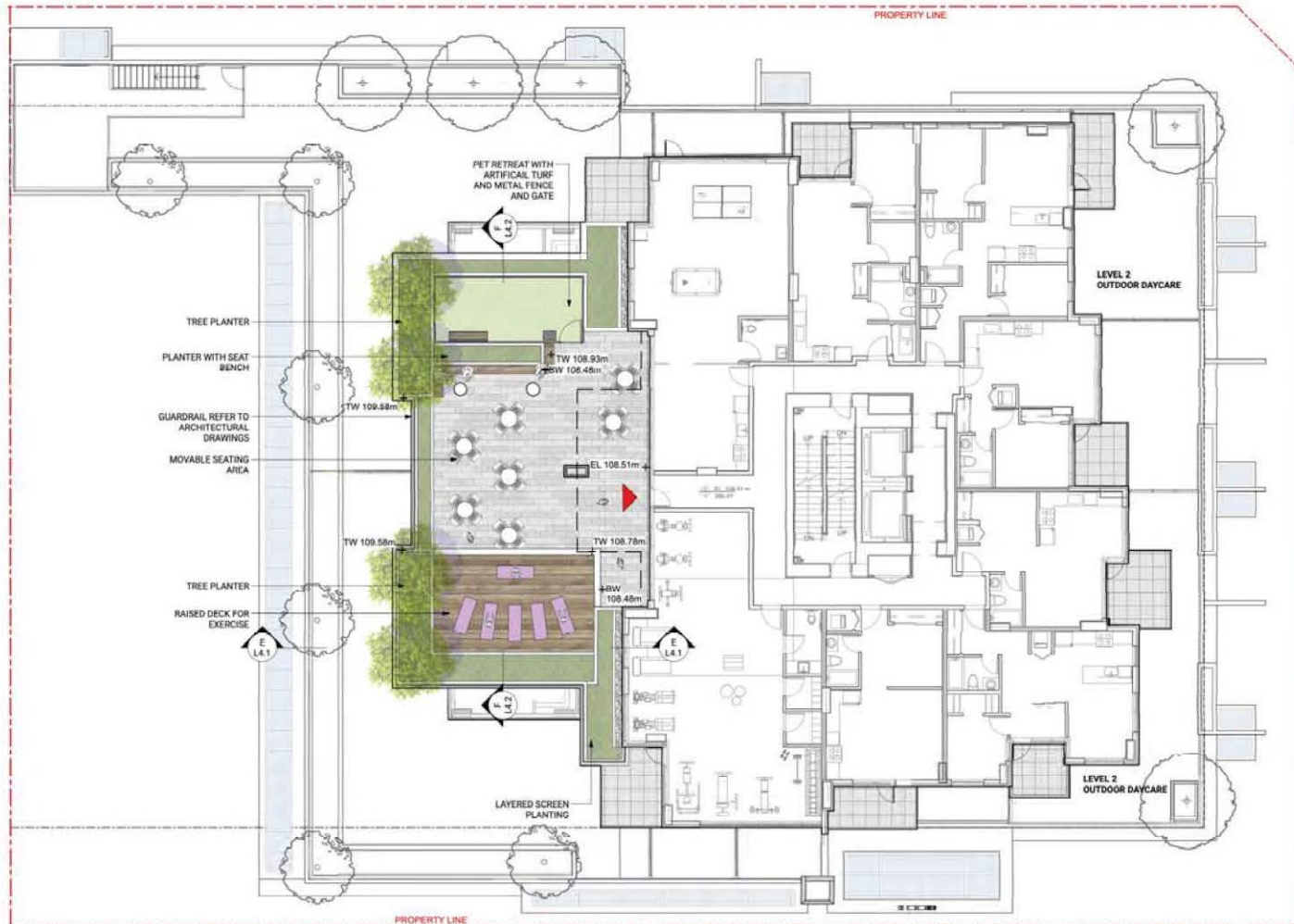
LEVEL 2
LANDSCAPE PLAN



1 LEVEL 2 LANDSCAPE PLAN
Scale: 1:100



MATERIALS LEGEND LEVEL 4



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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

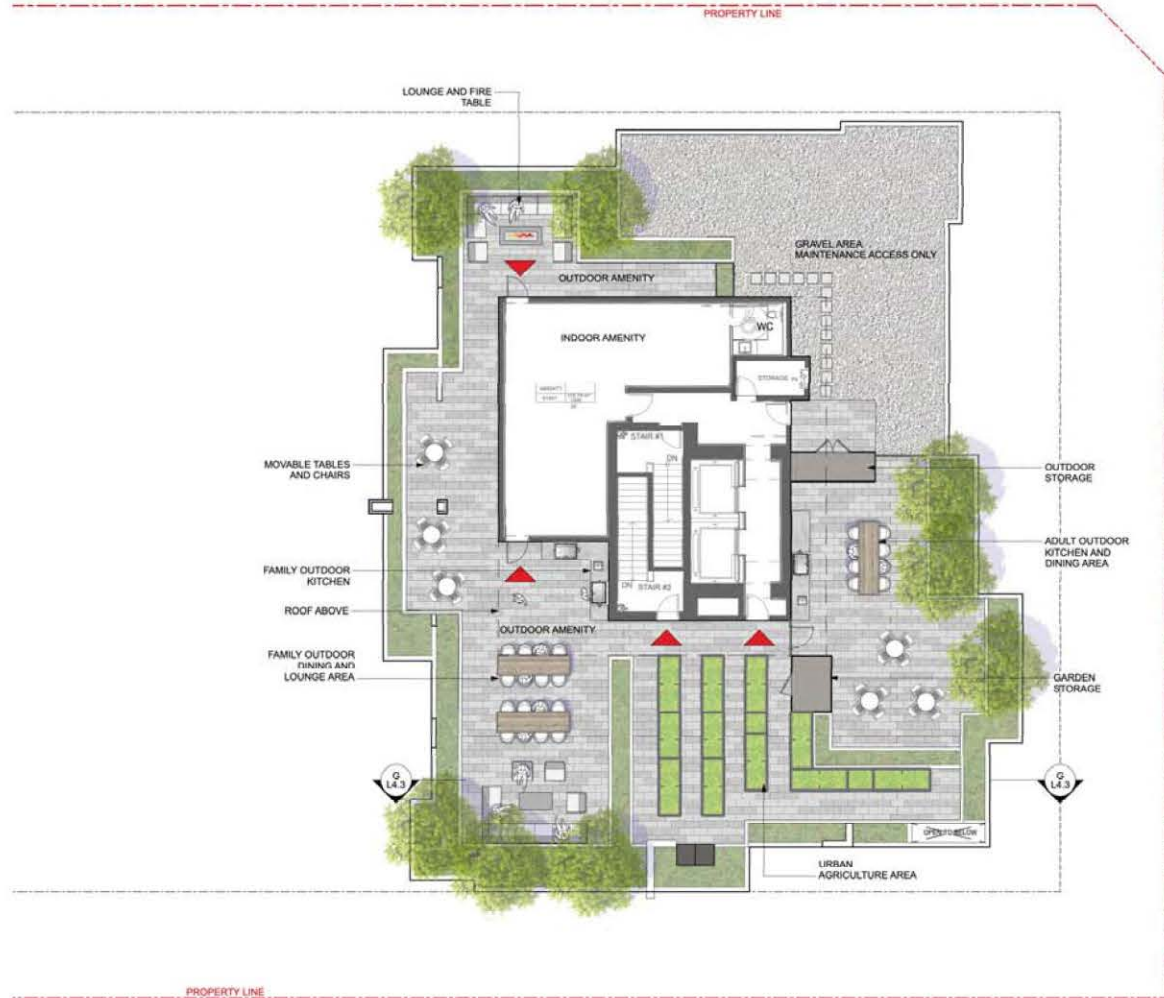
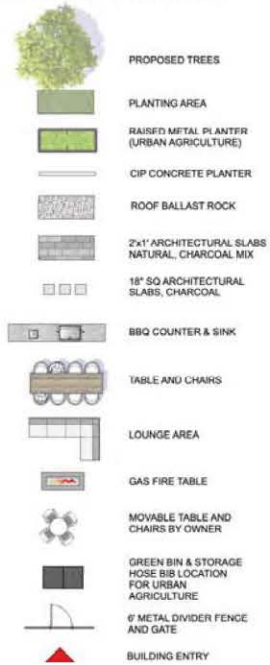
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1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

LEVEL 4 LANDSCAPE PLAN

MATERIALS LEGEND ROOF



1 ROOF PLAN
Scale: 1:100



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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

ROOF LEVEL LANDSCAPE PLAN

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REVISIONS

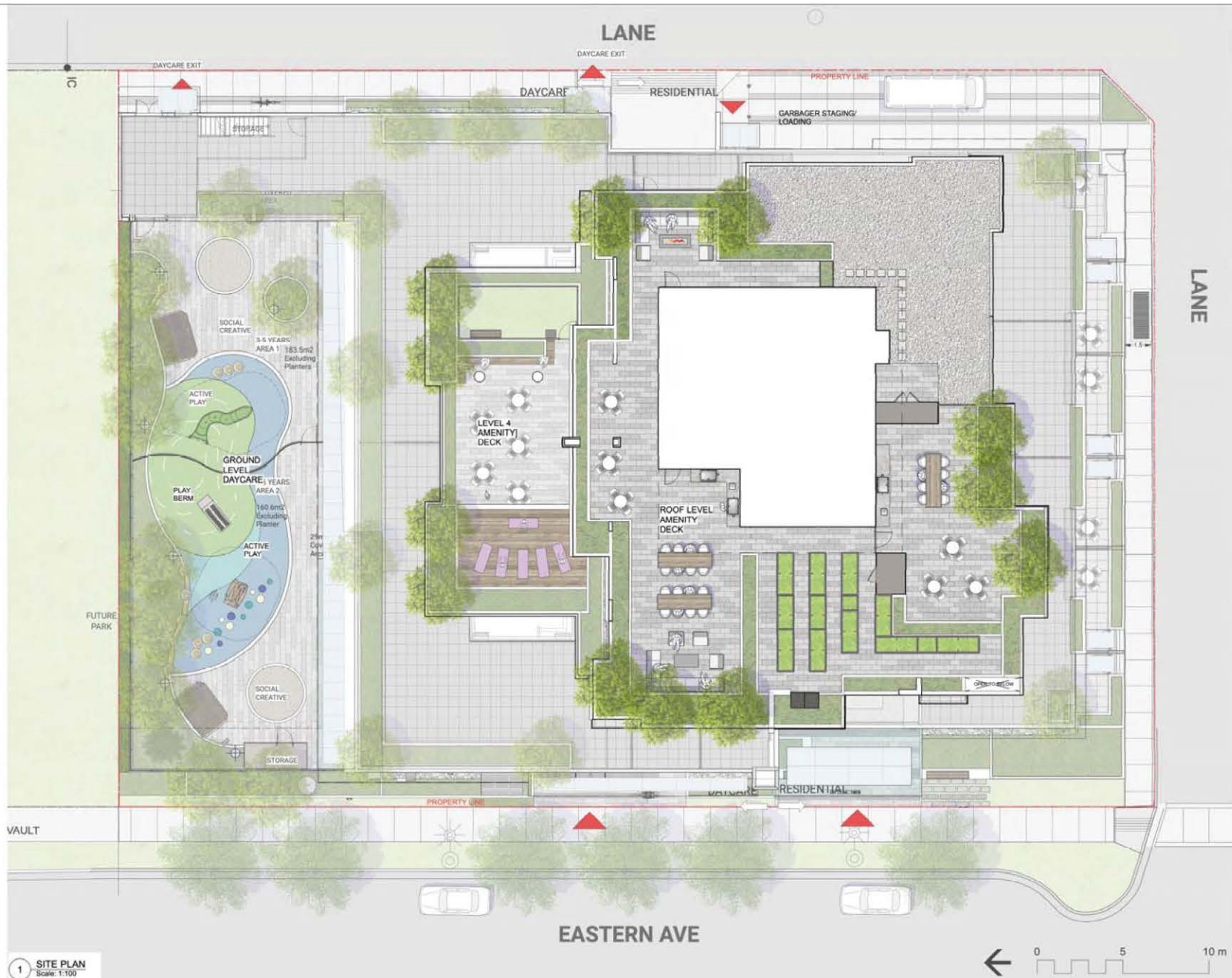
1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

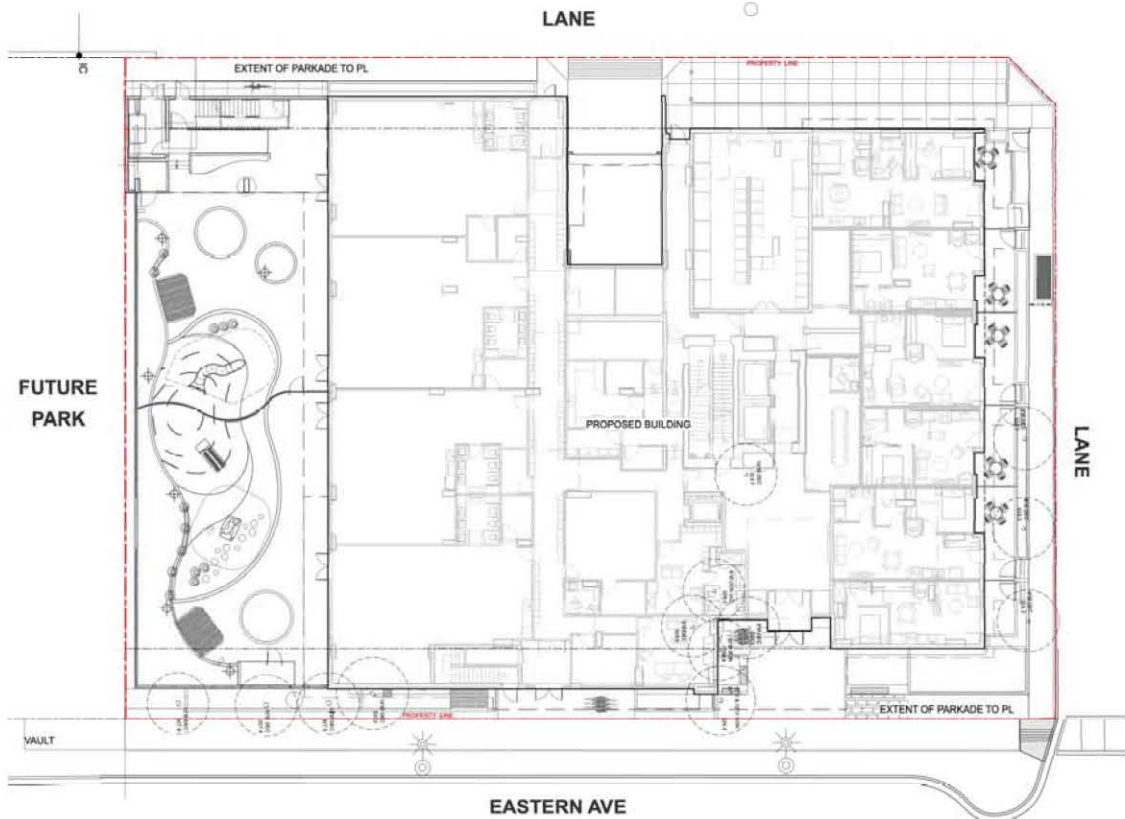
Scale: 1:100
Drawn: MR
Reviewed: KL
Project No. 06-705

OVERALL LANDSCAPE PLAN

L1.4



1 SITE PLAN
Scale: 1:100



1 SITE PLAN
Scale: 1:150

TREE RETENTION LEGEND
DESCRIPTION

EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

SYMBOL



TREE RETENTION NOTES

1. REFER ALSO TO SURVEY DRAWINGS. ANY EXISTING TREES NOT IDENTIFIED ON DRAWINGS ARE TO BE PROTECTED UNTIL CONSULTANTS CAN REVIEW AND DETERMINE THE CIRCUMSTANCES.
2. WHERE REQUIRED INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF NORTH VANCOUVER STANDARDS AND SPECIFICATIONS. INFORM LANDSCAPE ARCHITECT WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS PRIOR TO CONSTRUCTION ACTIVITY.
3. DO NOT REMOVE OR RELOCATE ANY TREE. ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF NORTH VANCOUVER TREE PROTECTION BY-LAWS. CONTRACTOR TO CONTACT CITY ARBORIST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
4. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES IS NOT PERMISSABLE. TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING OR AIR SPADE. DO NOT CUT MAIN LATERAL ROOTS. FOR CARE AND PROTECTION OF ROOT CURTAIN SYSTEM, SEE IFC SPECIFICATIONS. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES.

13	RE-ISSUED FOR REZONING	23-07-19
12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-08
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5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

**1550-EASTERN
AVENUE**

1550- Eastern Ave
North Vancouver, BC

Scale: 1:150
Drawn: MR
Reviewed: KL
Project No. 06-705

**TREE REMOVAL
AND RETENTION PLAN**

L1.5

LIGHTING LEGEND

DESCRIPTION	SYMBOL
BOLLARD LIGHT	
WALL STEP LIGHT	
LED LIGHT STRIP RECESSED UNDER BENCH	
CANOPY LIGHT	
BUILDING ENTRY LIGHTING BY ARCHITECTS	
STREET LIGHT	

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REVISIONS

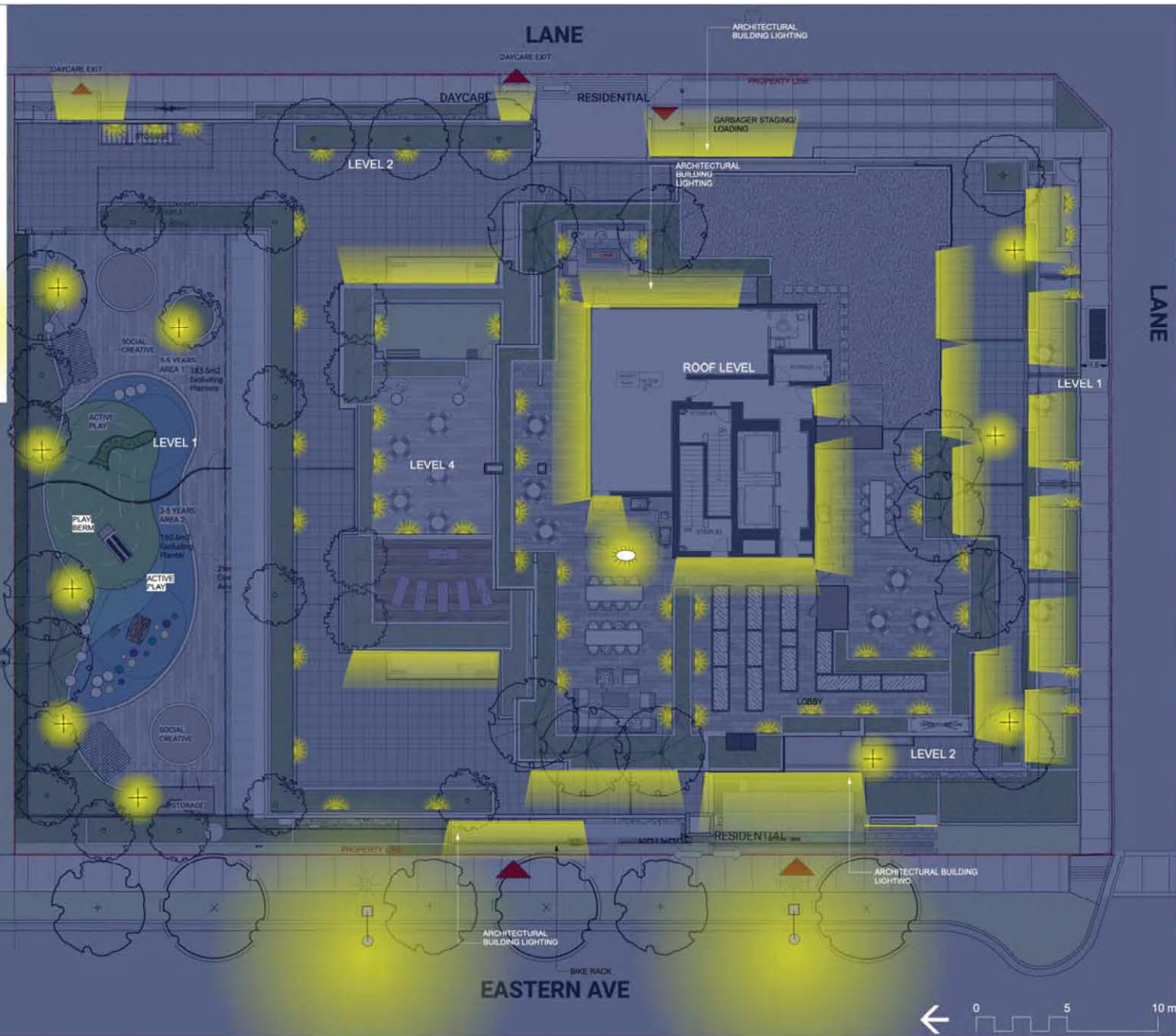
1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
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Project No.	06-705

OVERALL LANDSCAPE PLAN

L1.6



1 SITE PLAN
Scale: 1:100

Amended in Red
by
City of North Vancouver
May 2, 2023

Update Plant List to
include coniferous trees
to compensate the loss
of existing coniferous
trees on site.

PLANT LIST					
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES					
13	<i>Acer griseum</i>	Paperbark Maple	6cm cal.	as shown	specimen
4	<i>Acer palmatum 'Osakazuki'</i>	Osakazuki Japanese Maple	2.5m ht	as shown	multistem
5	<i>Gleditsia tricanthos 'Shademaster'</i>	Shademaster Honeylocust	6cm cal.	as shown	specimen
11	<i>Styrax japonicus</i>	Japanese Snowbell	6cm cal.	as shown	specimen
STREET TREES					
3	<i>Tilia tomentosa</i>	Silver Linden Tree	7cm cal.	as shown	2m Standard
3	<i>Nyssa sylvatica</i>	Black Tupelo	7cm cal.	as shown	2m Standard

PLANTING NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS LATEST EDITION.
2. ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.
3. SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.
4. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
5. OFFSITE LANDSCAPE TO BE IRRIGATED TO CNV STANDARDS.
6. ALL OFFSITE TREES TO HAVE MINIMUM OF 15m³ SOIL VOLUME.
7. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE LANDSCAPE ARCHITECT WILL BE REJECTED.
- 8.5. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIAL AND SIZES SHOWN ON THE DRAWINGS. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
9. CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED THAT MEETS OR EXCEEDS THE CONDITIONS PRIOR TO DISTURBANCE.
10. SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.

SHRUBS					
0	<i>Ribes microphylla 'Green Beauty'</i>	Green Beauty Ribes	No. 5 Pot	450mm O.C.	full & bushy
36	<i>Ceanothus 'Victoria' *</i>	California Lilac	No. 3 Pot	900mm O.C.	fully established
35	<i>Chrysia x dewileana 'Aster Pearl'</i>	Mexican Orange	No. 3 Pot	900mm O.C.	fully established
81	<i>Ilex crenata 'Compacta'</i>	Compact Japanese Holly	No. 3 Pot	600mm O.C.	fully established
19	<i>Hydrangea paniculata 'Quick Fire'</i>	Quick Fire panicle Hydrangea	No. 3 Pot	900mm O.C.	fully established
281	<i>Nandina domestica 'Gulfstream'</i>	Gulfstream Nandina	No. 2 Pot	600mm O.C.	fully established
175	<i>Lavendula angustifolia 'Hidecote' *</i>	Hidecote Lavender	No. 1 Pot	450mm O.C.	fully established
3	<i>Rhododendron 'Ken Janek' *</i>	Ken Janek Rhododendron	No. 2 Pot	750mm O.C.	fully established
13	<i>Rhododendron 'Mardi Gras' *</i>	Mardi Gras Rhododendron	No. 3 Pot	900mm O.C.	fully established
44	<i>Polystichum munifolium #</i>	Sword Fern	No. 1 Pot	600mm O.C.	fully established
41	<i>Sarcococca hookeriana humilis *</i>	Dwarf Sweet box	No. 2 Pot	600mm O.C.	fully established
106	<i>Taxus canadensis repandens</i>	Creeping Yew	No. 3 Pot	900mm O.C.	fully established
134	<i>Taxus x media 'Hickall'</i>	Hicks Yew	No. 10 Pot	450mm O.C.	1.5m ht. min.
182	<i>Vaccinium ovatum * #</i>	Evergreen Huckleberry	No. 5 Pot	750mm O.C.	fully established
PERENNIALS AND GRASSES					
29	<i>Carex testacea 'Prairie Fire'</i>	Prairie Fire Sedge	No. 1 Pot	450mm O.C.	fully established
257	<i>Hakonechloa macro 'Aurea'</i>	Golden Japanese Forest Grass	No. 1 Pot	380mm O.C.	fully established
111	<i>Liriope muscari 'Big Blue' *</i>	Big Blue Lilyturf	No. 1 Pot	300mm O.C.	fully established
29	<i>Sedum 'Autumn Joy' *</i>	Autumn Joy Sedum	No. 1 Pot	450mm O.C.	fully established
GROUNDCOVERS					
32	<i>Arctostaphylos uva-ursi * #</i>	Kinnikinnick	4" (10cm) Pot	350mm O.C.	fully established
32	<i>Fragaria chiloensis * #</i>	Beach Strawberry	4" (10cm) Pot	350mm O.C.	fully established

NOTES:
* Indicates pollinator/bird friendly plants
Indicates native plants

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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

PLANT MATERIALS

L2.0

NOTE: REFER TO PLANT LIST ON L2.0

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REVISIONS

1550-EASTERN AVENUE

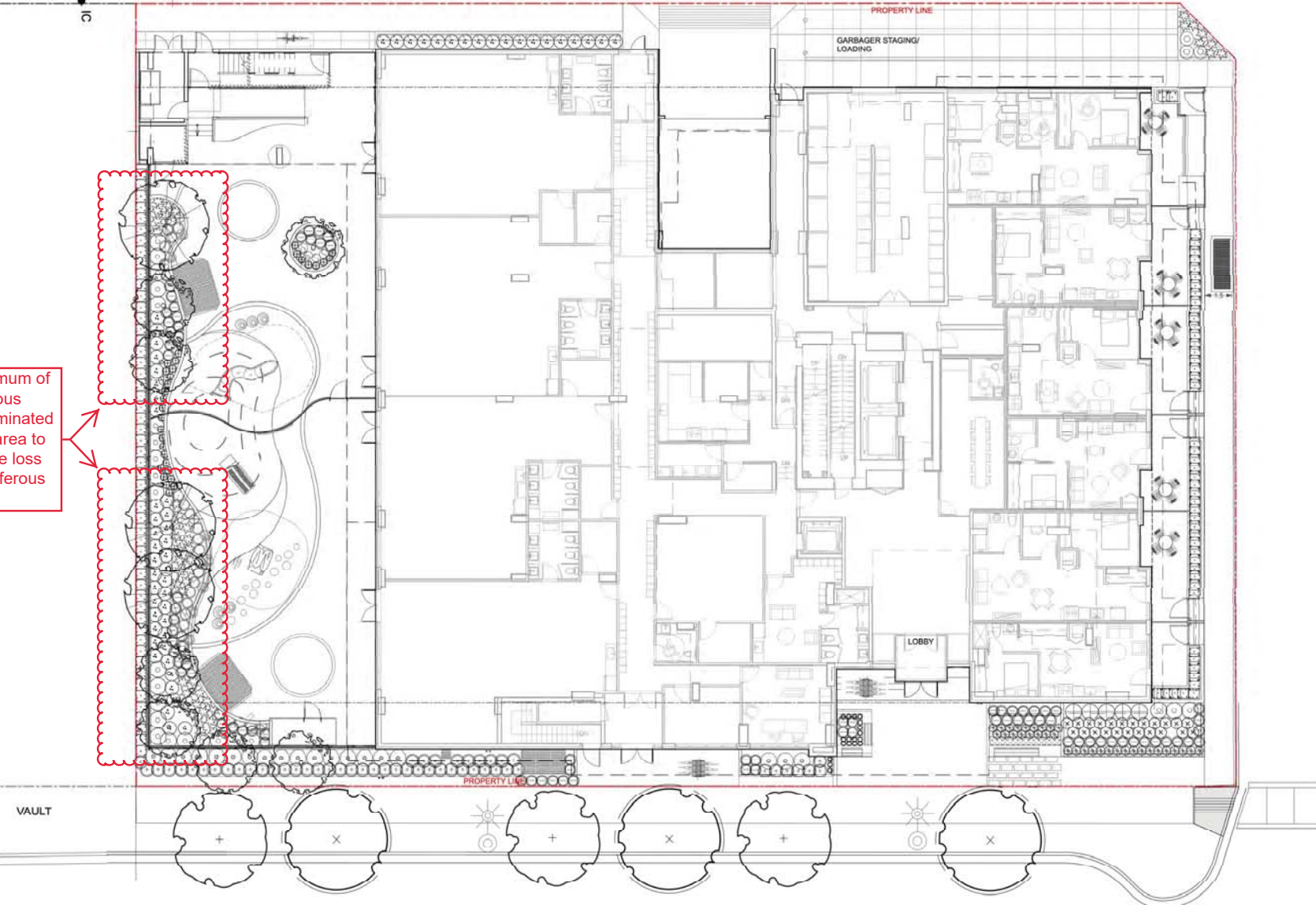
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PLANTING PLAN LEVEL 1

L2.1

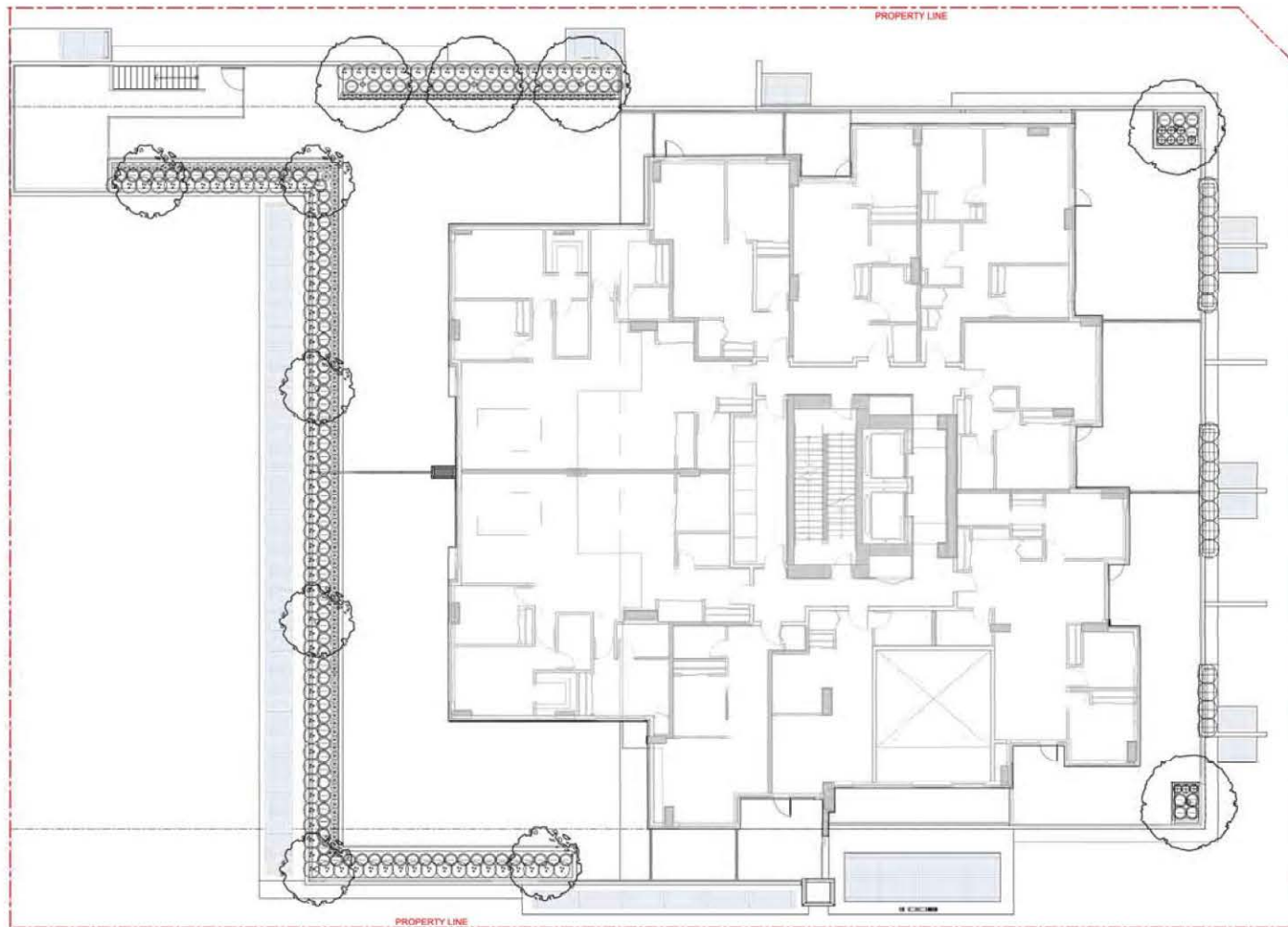
Provide a minimum of
two (2) coniferous
trees in the nominated
deep planting area to
compensate the loss
of existing coniferous
trees on site.



1 PLANTING PLAN
Scale: 1:100

Amended in Red
by
City of North Vancouver
May 2, 2023

NOTE: REFER TO PLANT LIST ON L2.0



1 LEVEL 2 PLANTING PLAN
Scale: 1:100

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REVISIONS

1550-EASTERN AVENUE

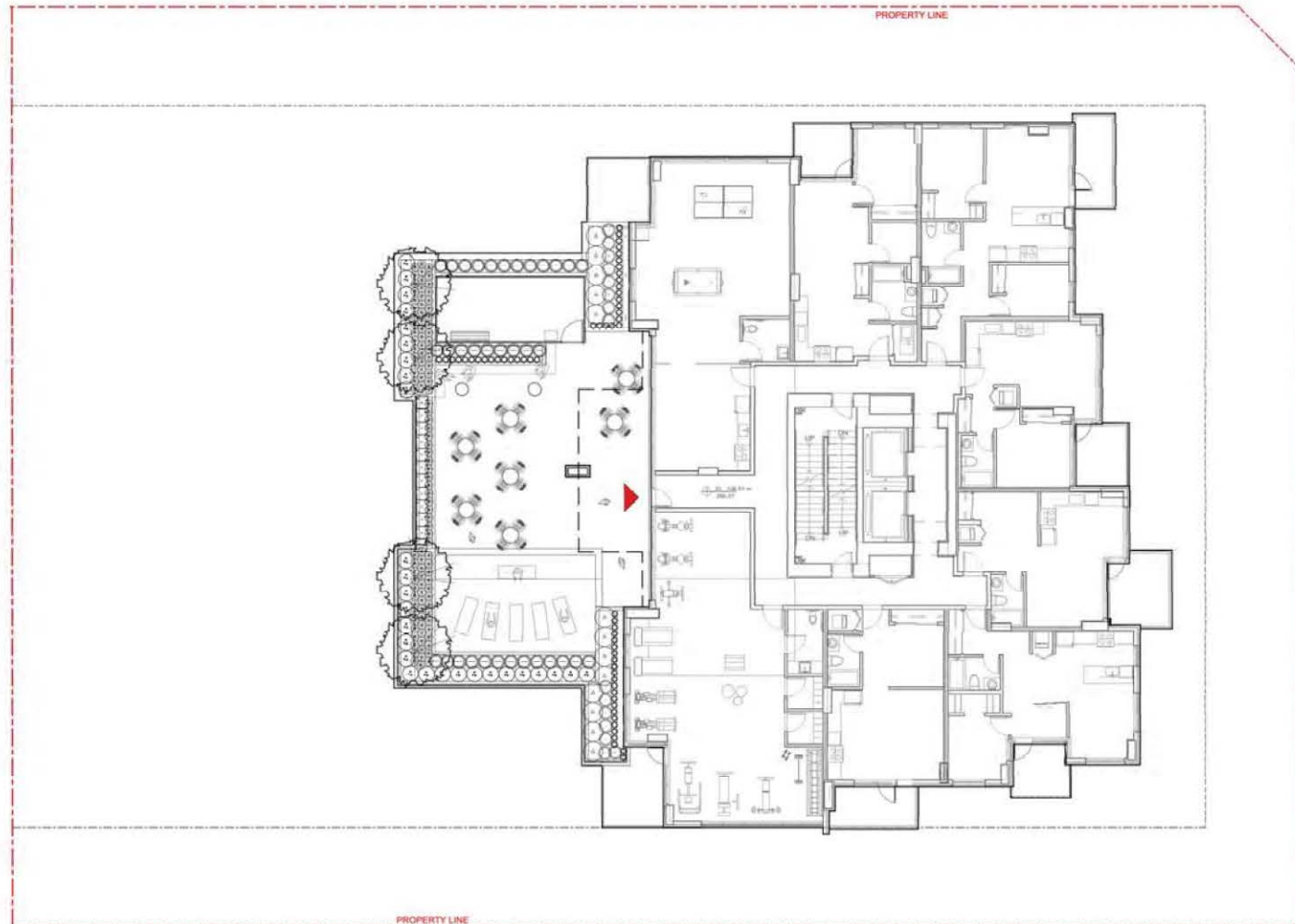
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LEVEL 2 PLANTING PLAN

L2.2

NOTE: REFER TO PLANT LIST ON L2.0



1 LEVEL 4 PLANTING PLAN
Scale: 1:100



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REVISIONS

**1550-EASTERN
AVENUE**

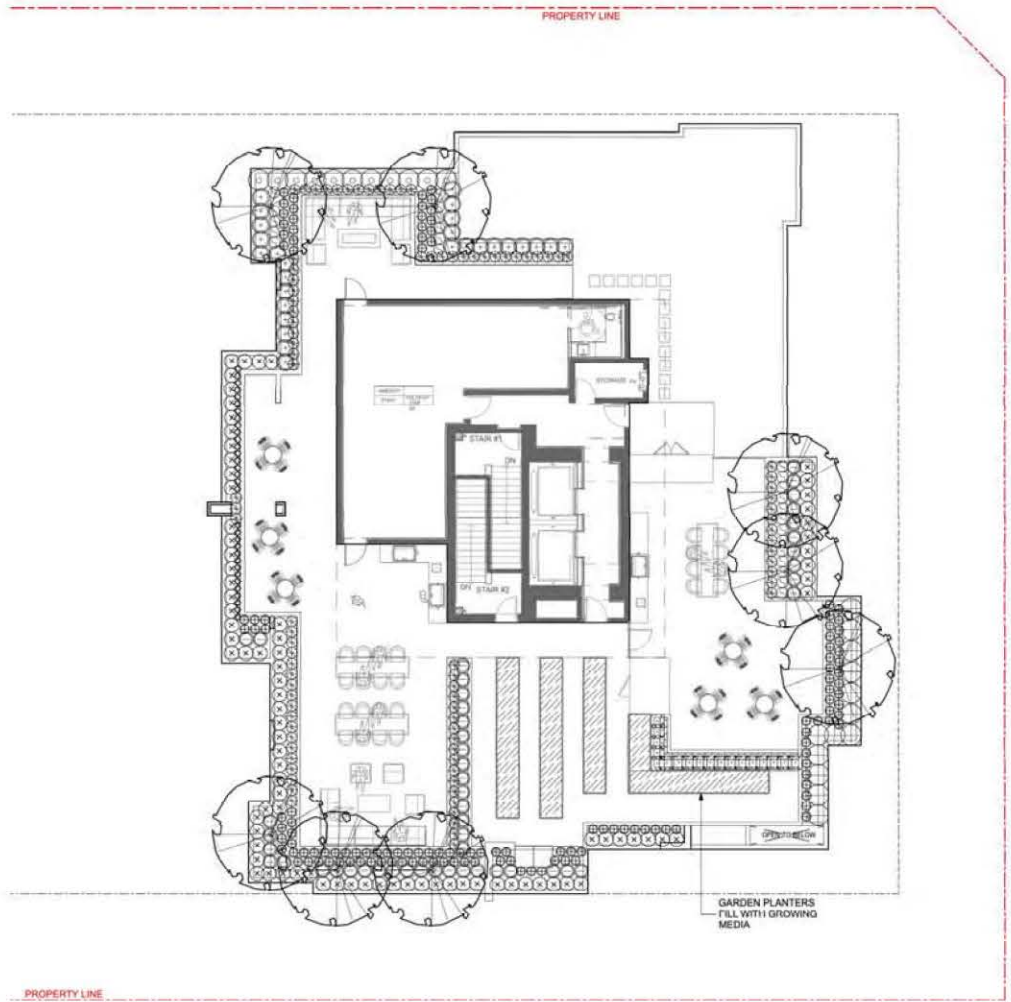
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North Vancouver, BC

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Project No. 06-705

**LEVEL 4
PLANTING PLAN**

L2.3

NOTE: REFER TO PLANT LIST ON L2.0



1 ROOF PLANTING PLAN
Scale: 1:100



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REVISIONS

1550-EASTERN AVENUE

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ROOF LEVEL PLANTING PLAN

L2.4



ROOF DECK AMENITY LOUNGE



WELCOMING ENTRY



KIDS PLAY



URBAN AGRICULTURE



OUTDOOR DINING AND BBQ AREA



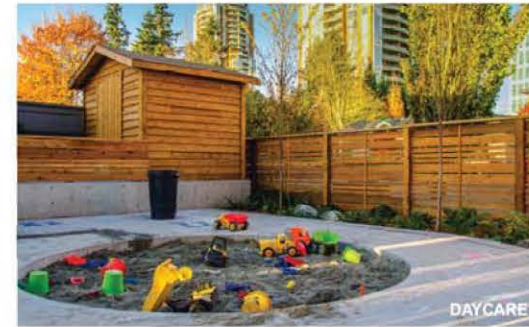
LAYERED STREET FRONTAGE PLANTING



SUNNING/ YOGA DECK



DOG RETREAT



DAYCARE

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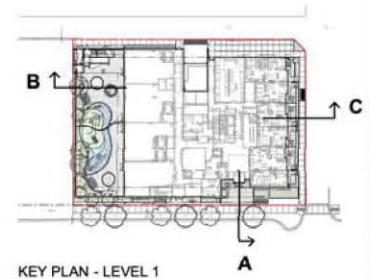
REVISIONS

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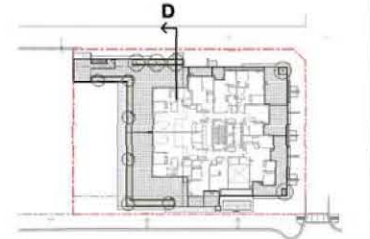
1550- Eastern Ave
North Vancouver, BC

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PRECEDENTS



KEY PLAN - LEVEL 1



KEY PLAN - LEVEL 2

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REVISIONS

1550-EASTERN
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LANDSCAPE SECTIONS

L4.0



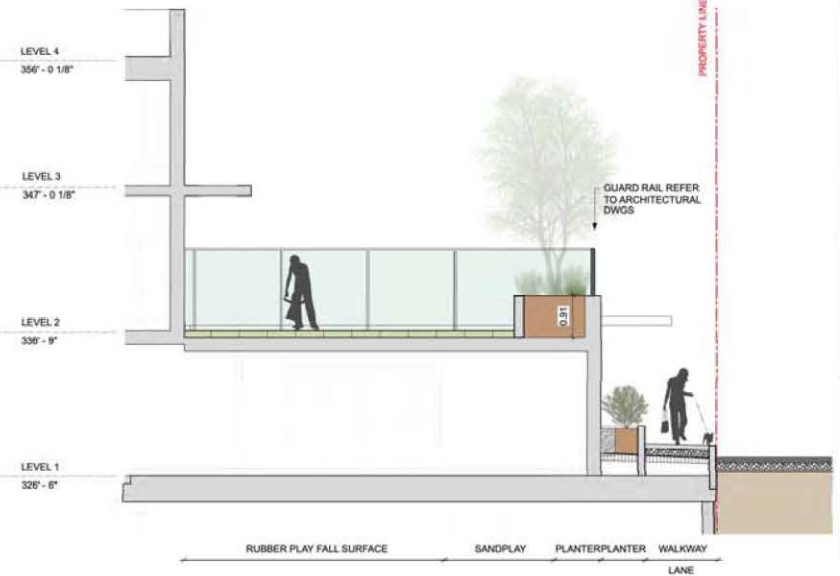
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C SECTION - LEVEL 1 AT LANE
Scale: 1:50

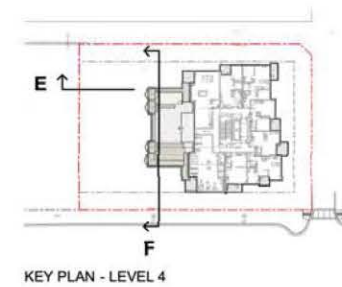


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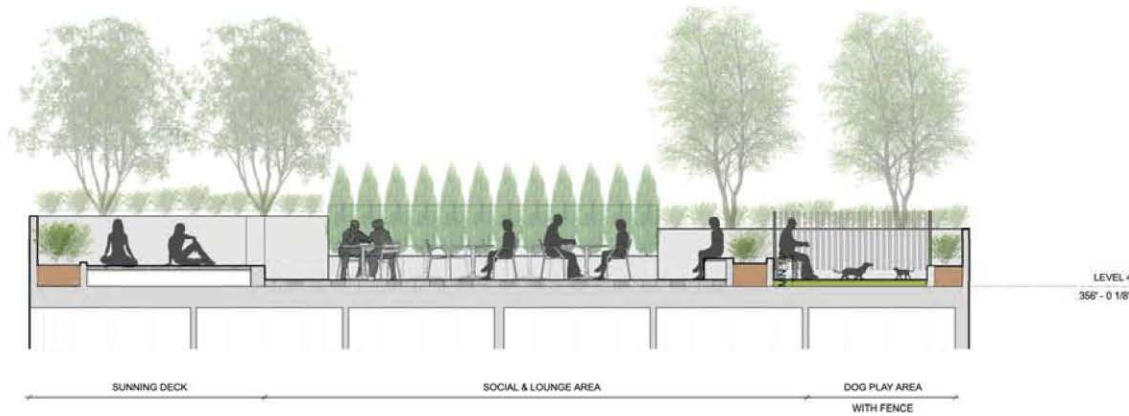


D SECTION - LEVEL 2 DAYCARE DECK
Scale: 1:50





E SECTION - LEVEL 4 AMENITY
Scale: 1:50



F SECTION - LEVEL 4 AMENITY
Scale: 1:50

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REVISIONS

1550-EASTERN
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1550- Eastern Ave
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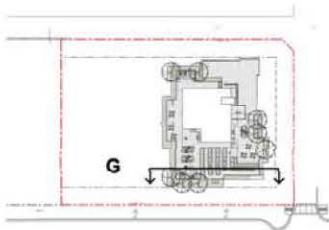
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LANDSCAPE SECTIONS

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KEY PLAN - ROOF



PERIMETER PLANTER URBAN AGRICULTURE AREA PLANTER LOUNGE AREA PERIMETER PLANTER

G SECTION - ROOF AMENITY WEST
Scale: 1:50



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4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

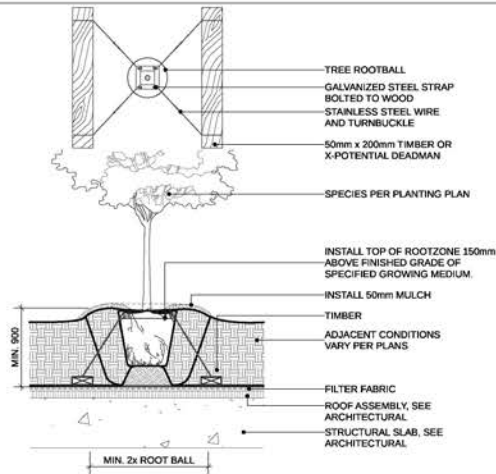
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Drawn: MR

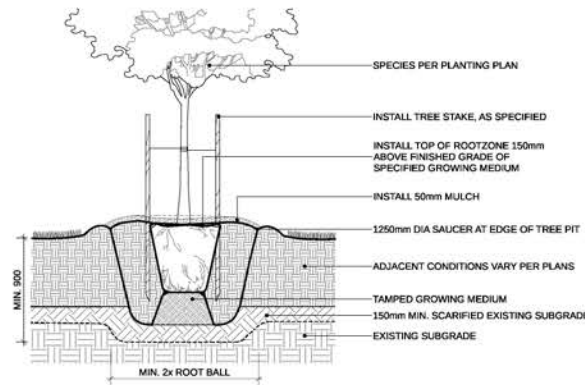
Reviewed: KL

Project No. 06-705

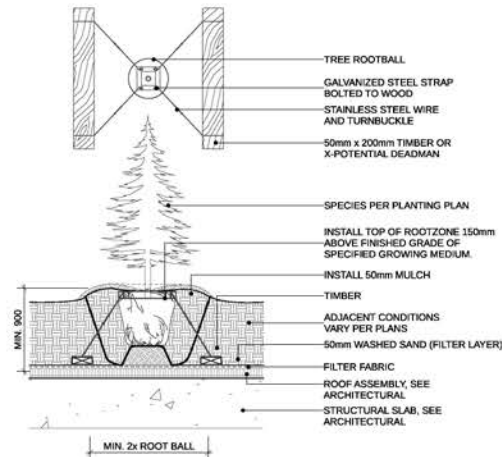
LANDSCAPE SECTIONS



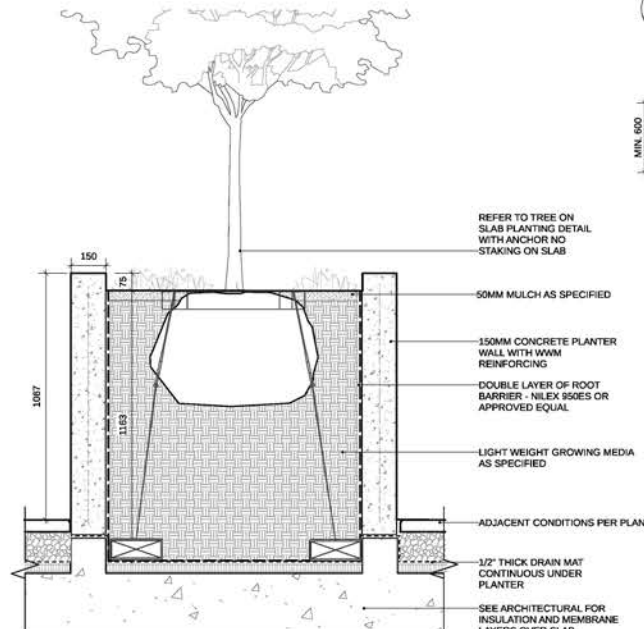
1 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
SCALE 1:25



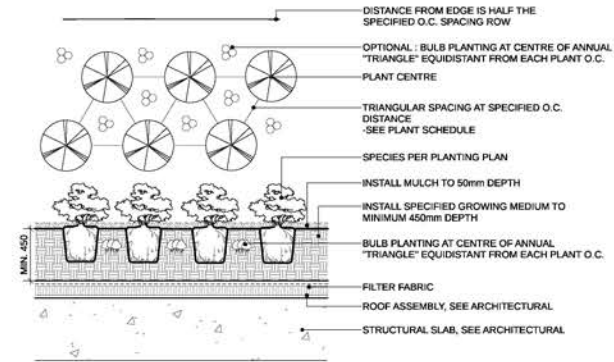
3 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
SCALE 1:20



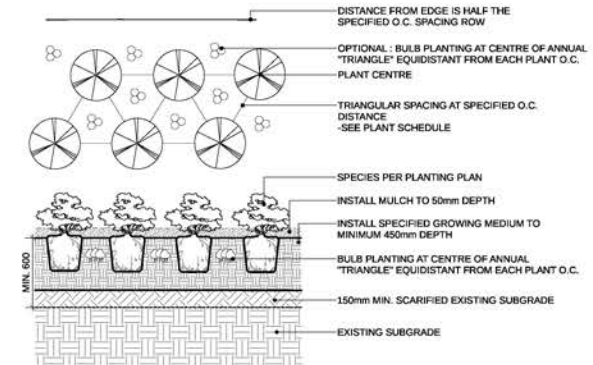
2 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)
SCALE 1:25



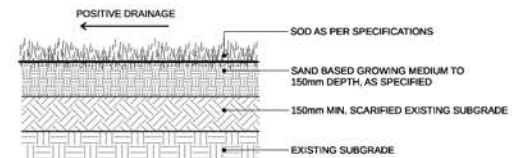
4 TYPICAL ON SLAB/ROOF PLANTER
Scale: 1:10



5 PLANTING ON SLAB (TYPICAL)
SCALE 1:20



6 PLANTING ON GRADE (TYPICAL)
SCALE 1:20



7 SOD LAWN ON GRADE (TYPICAL)
SCALE 1:10

13	RE-ISSUED FOR REZONING	22-07-19
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REVISIONS

1550-EASTERN
AVENUE

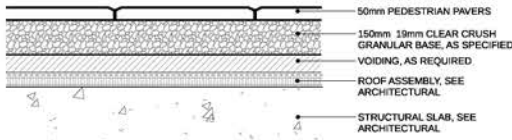
1550 - Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

LANDSCAPE DETAILS



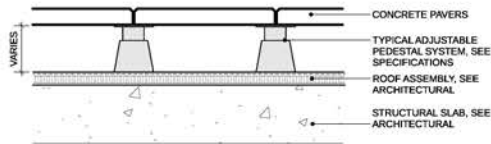
TYPE: HYDRAPRESSED SLAB, TEXADA
BY ABBOTSFORD CONCRETE
SIZE: 610mm x 305mm x 50mm
COLOR: MIX OF 60% CHARCOAL, 40% NATURAL
PATTERN: RUNNING BOND



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS
ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

1 HYDRAPRESSED CONCRETE PAVERS ON SLAB ROOF DECKS
SCALE 1:10

TEXADA SERIES
SIZE: 610mm x 305mm x 50mm
COLOR: NATURAL
BY ABBOTSFORD CONCRETE PRODUCTS
(1.800.663.4091)

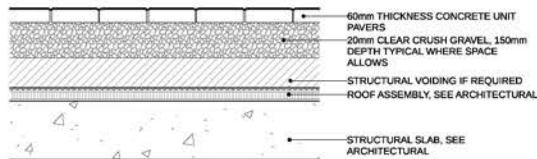


2 HYDRAPRESSED CONCRETE PAVERS ON PEDESTALS
Scale: 1:10

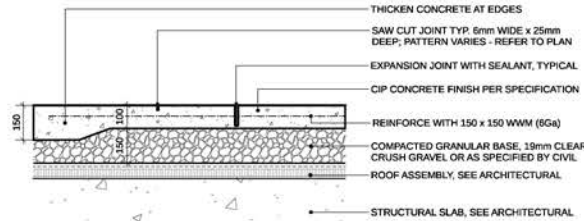
RUNNING BOND PATTERN



TYPE: CLASSIC STANDARD SERIES CALIFORNIA
SIZE: 303mm x 153mm x 50mm
PATTERN: RUNNING BOND
COLOR: CHARCOAL AND NATURAL
SUPPLIER: ABBOTSFORD CONCRETE PRODUCTS
VANCOUVER, BC
1.800.663.4091

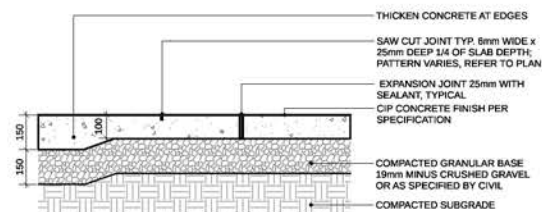


3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)
Scale: 1:10



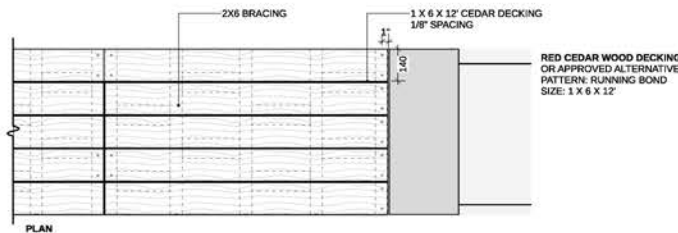
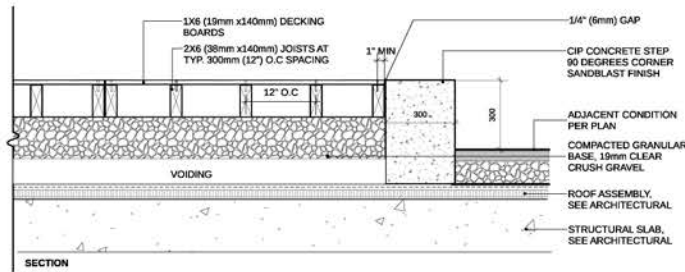
NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
3. LIGHT SANDBLAST FINISH

4 CIP CONCRETE PAVING ON SLAB (TYPICAL)
SCALE 1:10

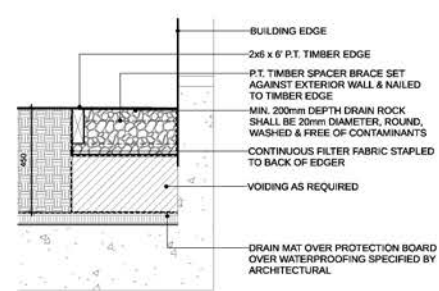


NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
3. LIGHT SANDBLAST FINISH

5 CIP CONCRETE PAVING ON GRADE (TYPICAL)
SCALE 1:10



6 CEDAR DECKING ON SLAB
SCALE 1:10



7 GRAVEL DRAIN STRIP ON SLAB
SCALE 1:10

13	RE-ISSUED FOR REZONING	22-07-19
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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

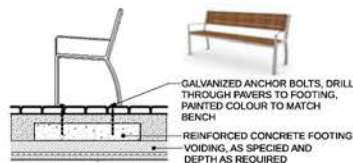
1550-EASTERN AVENUE

1550 - Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

LANDSCAPE DETAILS

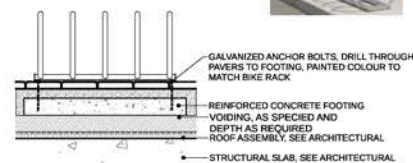
MLB970-W BENCH BY MAGLIN SITE FURNITURE (1-800-716-5500)
DIMENSIONS: 84.2cm HEIGHT x 177.8cm LENGTH x 58.4cm DEPTH
POWDERCOAT COLOUR: GUNMETAL, IPE WOOD



NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

1 BACKED BENCH TYPE 1
SCALE 1:10

MBR350-S BICYCLE RACK BY MAGLIN SITE FURNITURE (1-800-716-5500)
DIMENSIONS: 60.48cm HEIGHT x 94.62cm LENGTH x 62.56cm DIAMETER
POWDERCOAT COLOUR: GUNMETAL

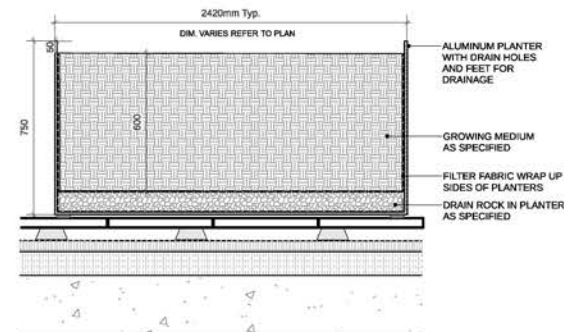


NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

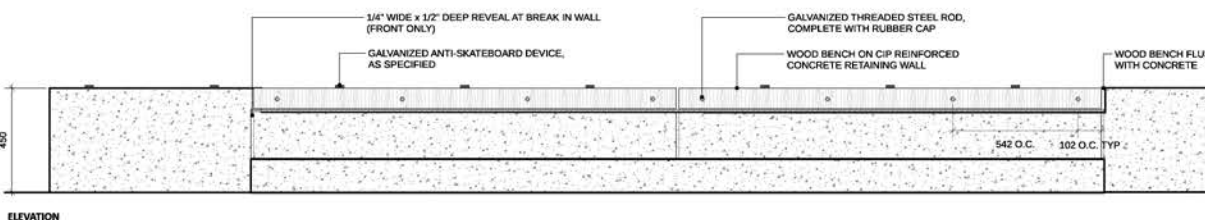
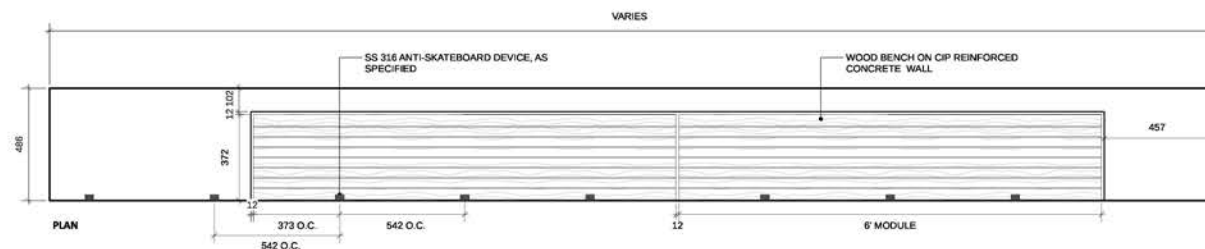
2 BIKE RACK
SCALE 1:10



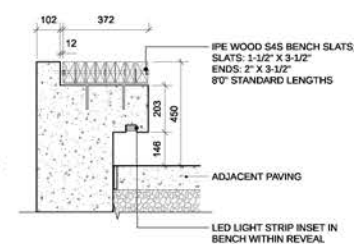
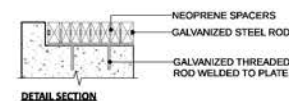
MODEL: ALUMINUM PLANTER
SIZE: 750mm H x 915mm L x 2420mm W
COLOUR: PEWTER
BY: GREEN THEORY (604 475-7002)



3 ALUMINUM URBAN AGRICULTURE PLANTER ON SLAB
SCALE 1:10



4 CIP CONCRETE SEATWALL WITH BENCH TOP
SCALE 1:10



13	RE-ISSUED FOR REZONING	22-07-19
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REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave
North Vancouver, BC

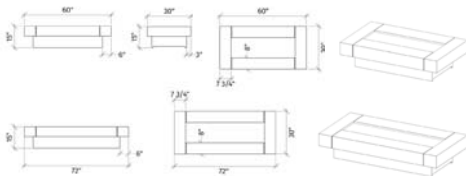
Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

LANDSCAPE DETAILS

QUADRA

-60in + 72in-

DIMENSIONS



COMFORTABLE LIVING



Designed to enhance outdoor entertainment areas, the highly expressive **Quadra** fire table helps define the modern patio.

COLOUR: LONDON FOG

QUADRA PACKAGE INCLUDES:
CONCRETE FIREPIT TOP
CONCRETE FIREPIT BASE
MANUAL LIT NG/LP BURNER
LAVA ROCK
Firepits ship fully sealed
Accessories available



Dreamcast
design and production

Please contact us at 1-604-278-4939 with any questions.
Our experienced team can assist you with product information, installation and design recommendations.
We also encourage you to explore our website at www.dreamcastfirepits.com

1 GAS FIRE PLACE AMENITY AREA

3 BOLLARD

PROVIDER: DALS
MODEL: LEDPATH003/LEDPATH004
COLOUR: SILVER GREY
AVAILABLE THROUGH SLS LIGHT
RESOURCE 778-329 9439



6 RECESSED WALL LIGHT

PROVIDER: MP LIGHTING
MODEL: L46 LED LIGHT
COLOUR: ANNOXIDIZED ALUMINUM FINISH
CONTACT: 604.708.1184



7 EXTERIOR WALL MOUNT LIGHT

PROVIDER: MP LIGHTING
MODEL: L721 LED LIGHT
COLOUR: ANNOXIDIZED ALUMINUM FINISH
CONTACT: 604.708.1184



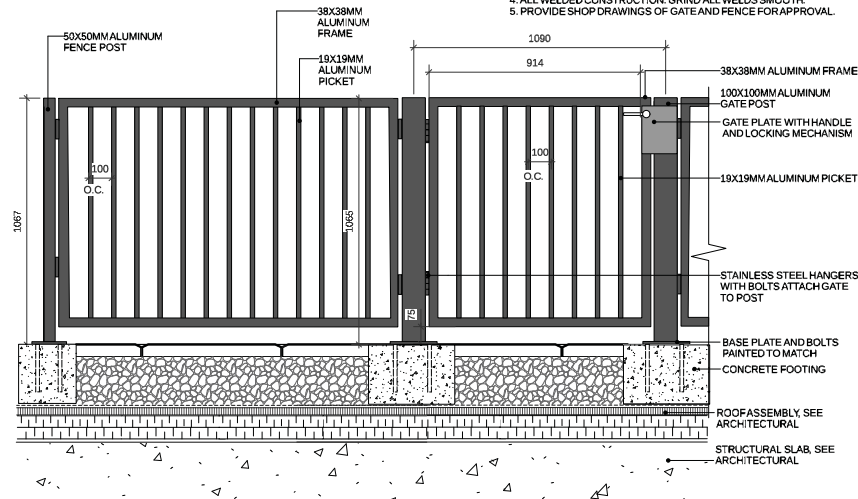
8 TRELLIS LIGHT

PROVIDER: TEGAN
MODEL: EXTON MONO - DIRECT MOUNT - GEMS ANNOXIDIZED ALUMINUM AVAILABLE THROUGH SLS LIGHT
RESOURCE 778-329 9439



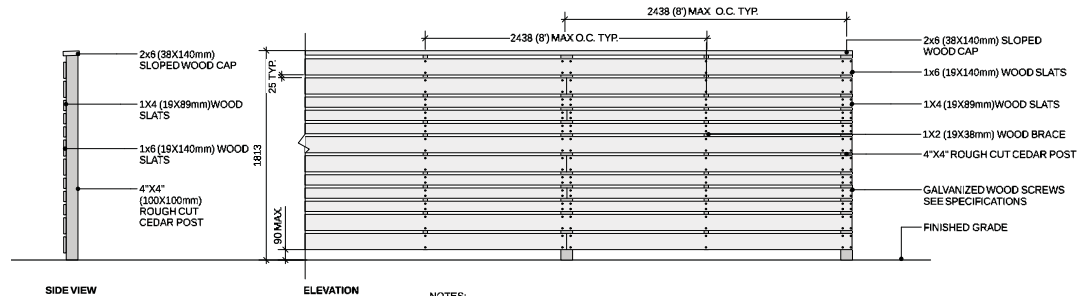
NOTES:

1. SELF CLOSING GATE AND LATCH
2. USE PREFABRICATED GATEBOX FOR LATCH ASSEMBLY AND KEY
3. ALL METAL ALUMINUM WITH BLACK CHARCOAL POWDER COAT FINISH (TO BE FACTORY APPLIED).
4. ALL WELDED CONSTRUCTION. GRIND ALL WELDS SMOOTH.
5. PROVIDE SHOP DRAWINGS OF GATE AND FENCE FOR APPROVAL.



4 METAL FENCE AND GATE ON SLAB

SCALE 1:10



5 TIMBER FENCE @ DAYCARE

SCALE 1:10

NOTES:

1. ALL WOOD SLATS TO BE TO BE CEDAR STRUCTURAL SELECT UNTREATED CONTINUOUS STRUCTURAL WOOD.
2. ALL WOOD TO BE CEDAR, NO PRESSURE TREATED WOOD.
3. ALL WOOD TO BE SANDED.

2305 Hemlock St Vancouver BC V6H2V1
T804 681 3303 F804 681 3307
www.connect.ca

CONNECT LANDSCAPE ARCHITECTURE INC.
DOES NOT GUARANTEE THE EXISTENCE,
LOCATION AND DEPTH OF UTILITIES AND /
OR CONCEALED STRUCTURES AT THE PROJECT
SITE.

THE CONTRACTOR IS RESPONSIBLE FOR
DETERMINING THE EXISTENCE, LOCATION, AND
ELEVATION OF ALL UTILITIES AND / OR
CONCEALED STRUCTURES, AND IS
RESPONSIBLE FOR NOTIFYING THE
APPROPRIATE COMPANY, DEPARTMENT OR
PERSON(S) OF ITS INTENTION TO CARRY OUT ITS
OPERATIONS.

13	RE-ISSUED FOR REZONING	22-07-19
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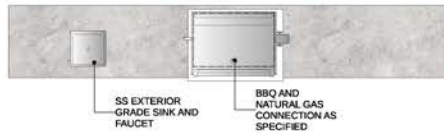
REVISIONS

1550-EASTERN AVENUE

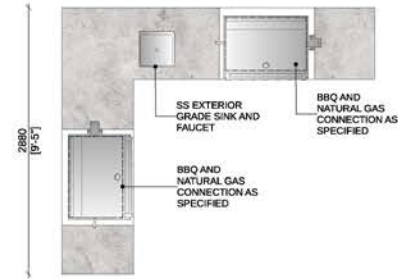
1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

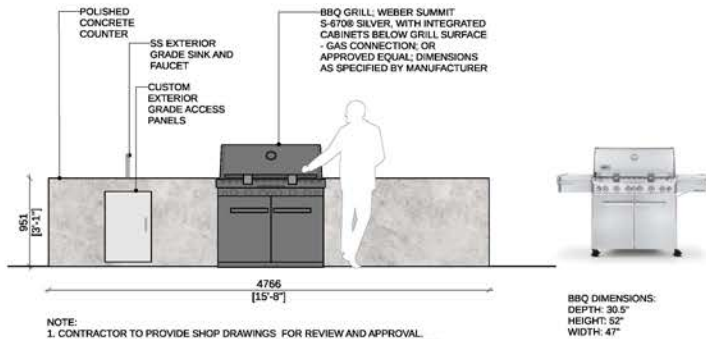
LANDSCAPE DETAILS



PLAN VIEW - BBQ AND COUNTER



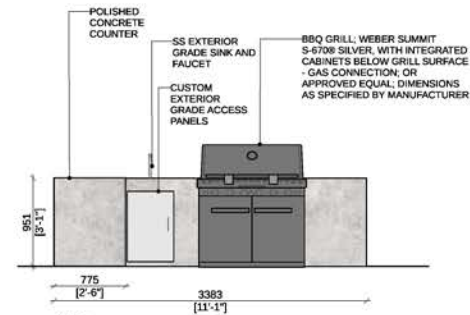
PLAN VIEW - BBQ AND COUNTER



- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

- 1 BBQ AND SINK WITH COUNTER SOUTH
Scale: 1:25



- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
 3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
 4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

- 2 BBQ AND SINK WITH COUNTER NORTH
Scale: 1:25

13	RE-ISSUED FOR REZONING	22-07-19
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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN
AVENUE

1550- Eastern Ave
North Vancouver, BC

Scale: AS SHOWN
Drawn: MR
Reviewed: DS
Project No. 06-705

LANDSCAPE DETAILS

1536-1550 Eastern Avenue

Virtual Developer Information Session

Prepared by: Pooni Group

August 2021



1536-1550 Eastern Ave

Definitions

The Site: Refers to 1536-1550 Eastern Avenue

Virtual Developer Information Session (VDIS): The engagement opportunity consisting of a project website, a fillable online comment form, live webinar sessions, and dedicated email address. During the DIS the website is live, feedback is being collected and questions from the public are being answered.

Webinar: A live-streamed interactive engagement session hosted through Zoom which includes a presentation by the project team and a live Q&A during which the project team answers questions submitted by the attendees.

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1.0 EXECUTIVE SUMMARY

Kenwood Apartments Ltd. has submitted a Rezoning and Special Development Permit Application to the City of North Vancouver (CNV) for the properties at 1536-1550 Eastern Avenue (the site) to permit the development of a 13-storey building. The proposal includes 105 new purpose-built rental homes, a much needed 185-space daycare, several residential amenity spaces, and a 2,000 square foot land dedication to the CNV to expand the new urban park to the north of the property and to provide an east lane pathway to improve and promote outdoor social connections.

The site is currently improved with two three-storey rental buildings.

As part of the rezoning application process, the project team recently hosted a Virtual Developer Information Sessions (VDIS) and two webinar sessions to engage with the community and collect feedback. The VDIS consisted of a project website (www.1550easternave.com) where all the project information was posted, two webinar sessions hosted by the project team on Thursday July 22, 2021 from 12:00-1:00 pm and 6:00-7:00 pm, and an online comment form and dedicated email address to collect feedback. The VDIS provided an opportunity for community members to meet the project team, learn more about the proposal, ask questions and provide feedback.

Between July 15, 2021, the day the website went live and August 5, 2021, the last day for the submission of comments, over 134 individuals visited the website. A total of 11 individuals attended one of the two webinar sessions on July 22, 2021.

Feedback could be submitted in three ways: through questions posed during the live Q&A portion of the webinar, comment form submissions, and by email. In total 23 questions and/or comments were submitted during the webinar sessions, 4 comment forms were submitted, and emails from three individuals were received.

The following themes emerged based on participant feedback:

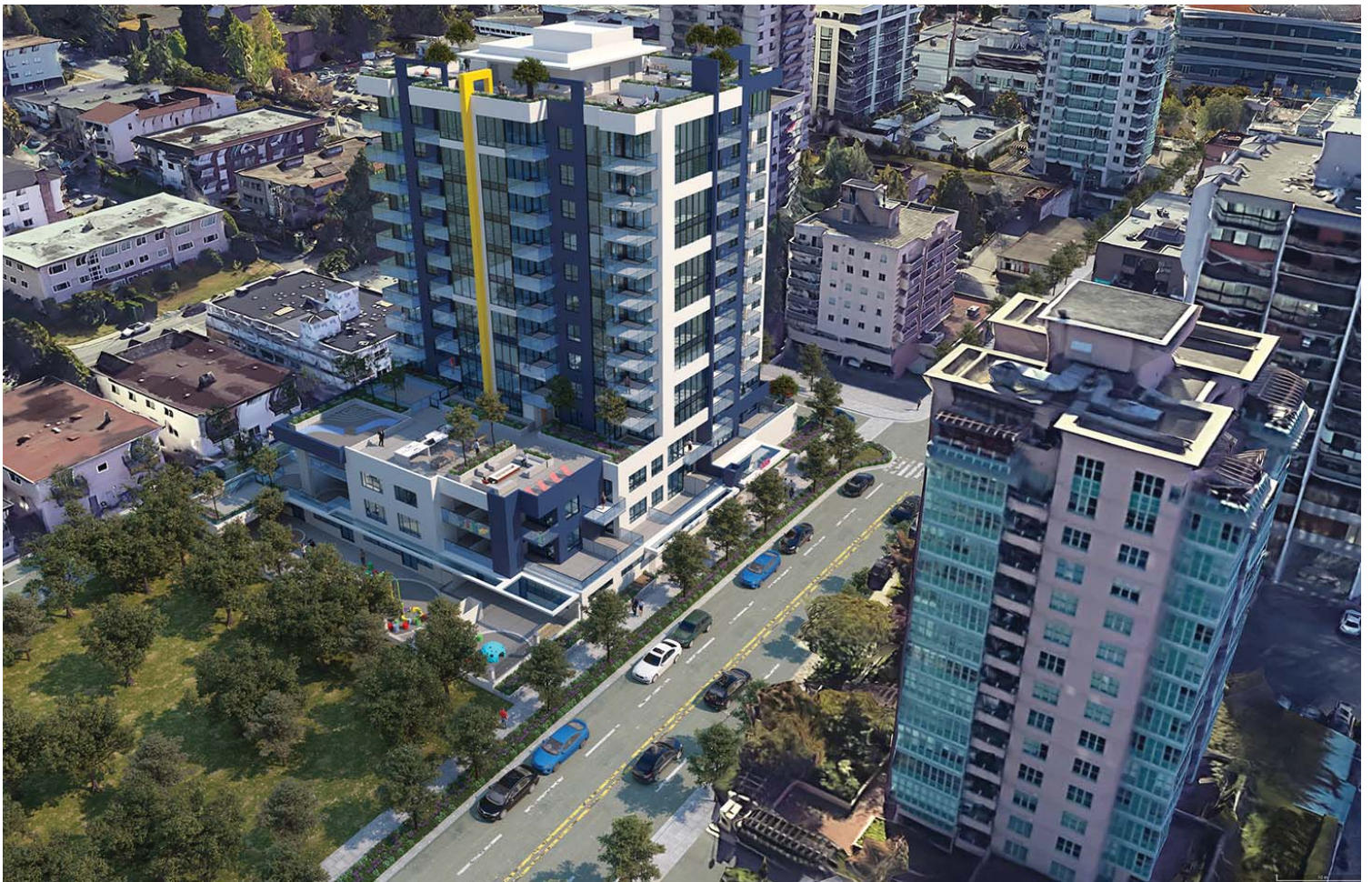
- Questions about the height of the development in relation to the height guidelines set in place by the City of North Vancouver's OCP.
- Questions about the anticipated date of demolition and timeline for construction
- Support for more affordable housing in this neighbourhood, especially for families
- Support for a daycare centre and family oriented park space
- Questions about the sizing of both the greenspace and daycare centre
- Questions about the building design

The following report provides a summary of the public engagement, including:

- An introduction
- Engagement event details, including a description of the notification method, the format of the event and an overview of the information presented
- Feedback received by comment form submission
- Questions received during the webinars
- Feedback received by email
- Transcription of all comments received
- Copies of all materials presented; website, presentation, copy of notification area, site signage

2.0 INTRODUCTION

The site currently contains two, three-storey walk up, wood frame rental buildings located in the heart of Central Lonsdale and is well serviced by frequent transit, near many shops, restaurants, amenities, and schools. The site is situated to the east of Eastern Avenue and approximately 55 m north of 15th St E. Within the CNV's OCP, the land use map identifies the property as Residential Level 6 (high density). In 2019, Kenwood Apartments submitted their Rezoning and Special Development Permit Application to the CNV to permit a 13-storey 3.45 FSR mixed use building.



The proposal includes:

- One 13-storey building
- 105 rental suites
- 185-space daycare
- Nearly 2,000 square feet of land to enlarge the adjacent urban park and to provide an east lane pathway to improve and promote outdoor social connections.
- Residential amenity space including a 2,500 square foot sports court
- 126 parking stalls within a two-level underground parkade



3.0 VIRTUAL DEVELOPER INFORMATION SESSION

The VDIS provided opportunities for public engagement including a project website and two webinar (via Zoom) sessions consisting of a presentation and live Q&A session. These webinar sessions allowed the project team to gather valuable feedback to inform application refinements for the site.

Project Website

On **July 15, 2021**, the project website went live with information about the proposal, and details on how to attend the webinar sessions. As of July 22, 2021 the website also contained a copy of the PDF presentation slides for download, a fillable comment form, contact information, and details related to the VDIS, including the ability to sign up to be reminded of the webinars date and times. From July 15, 2021 until August 5, 2021, 73 individuals visited the project website.

The project website included the following content:

- Information on the Virtual Developer Information Session, and webinar dates and times
- A PDF copy of the presentation slides for download
- How to Participate, Neighbourhood Context, Project Highlights, Comment Form
- Information on Kenwood Apartments
- Information on Rafii Architects Inc.
- Link to access the live presentation during the webinars
- Comment form - fillable online
- Contact Information

Tenant Engagement

A letter was sent to the existing residential tenants of the site in advance of the webinars. The letters reminded tenants of Kenwood Apartments Ltd. intentions to redevelop the site, provided information about the proposal, and identified the existing building manager, as their Tenant Relocation Coordinator. The Tenant Relocation Coordinator set up individual meetings with each of the tenants during the weeks leading up to the VDIS to review the Tenant Relocation Package, existing timelines, and answer any questions the tenants had. Tenants were encouraged to join the VDIS to learn more about the proposal.

Public Notifications

Mail-Out

4,493 notification flyers were sent out via Canada Post ad-mail drop to residents and businesses in the area surrounding the site. The notification flyer informed the neighbouring community about the development proposal, provided webinar details, and information on how to participate in the online engagement sessions.

Signage

On July 7, 2021 a site sign was installed by the project team on the subject property with the purpose of informing the public about the VDIS. The site sign informed the immediate neighbours about the development proposal, provided webinar details, and information on how to participate in the online engagement.

Newspaper Ads

On July 7, 2021 and July 14, 2021 a newspaper ad ran in the North Shore News to inform the public about the VDIS. The newspaper ad informed the community about the development proposal, provided webinar details, and information on how to participate in the online engagement.

An audience overview of the project website is included in Appendix A, a copy of the notification flyer is included in Appendix B, a copy of the site signage is included in Appendix C, a copy of the newspaper advertisement is included in Appendix D, a map of the unaddressed notification delivery area is included in Appendix E, and a copy of the tenant letter is included in Appendix F.

Webinar Summary

Date: Thursday July 22, 2021

Time: Session #1 - 12:00-1:00 pm

Session #2 - 6:00-7:00 pm

Location: Zoom Webinar via the project's website @ www.1550easternave.com

Between the day the website went live on July 15, 2021 and the last day for comment form feedback, August 5, 2021, 73 visitors viewed the project website. In total, between the two live webinar sessions, 11 individuals joined the Zoom Webinars to view the presentation and to participate in the Q&A.

Project Team in Attendance

The following team members were in attendance for the webinar sessions

Kenwood Apartments (Developer) - Brad Nelson

Rafii Architects Inc (Architecture) - Foad Rafii, Homayoon Rahimi

CTS (Traffic Engineer) - Jan Voss

Connect Landscape Architecture (Landscape Architect) - Marina Rommel

Pooni Group (Urban Planning) - Sophie Perndl and Samantha Potter

City of North Vancouver (Development Planner) - David Johnson

A presentation was provided during both webinars. The session began with a welcome from Pooni Group's Sophie Perndl and introductions to the project team. An overview of the rezoning proposal was presented by Foad Rafii and the rest of the project team in attendance. The presentation slide headings, representative of the content, are as follows:

- | | |
|---|--|
| 1. Introduction | 19. Next Steps |
| 2. Land acknowledgment | 20. Floor Plans - Level 1 |
| 3. Meet the Developer | 21. Floor Plans - Level 2 |
| 4. Neighbourhood Context | 22. Floor Plans - Level 3 |
| 5. Site Context | 23. Floor Plans - Level 4 Podium |
| 6. Encouraging Sustainable Transportation | 24. Floor Plans - Level 5-12 |
| 7. City of North Vancouver's OCP | 25. Floor Plans - Penthouse (Level 13) |
| 8. Proposal Vision | 26. Elevations - West |
| 9. A Variety of New Housing | 27. Elevations - North |
| 10. A Significant Contribution to Daycare Spaces in North Vancouver | 28. Elevations - East |
| 11. Daycare Floor Plan | 29. Elevations - South |
| 12. Daycare Parking | 30. Section A |
| 13. New Residential Amenities | 31. Section B |
| 14. Rendering - Aerial View from the Northwest | 32. Section C |
| 15. Sustainability | 33. Shadow Studies |
| 16. Site Plan | 34. Project Stats |
| 17. Landscape Plan | |
| 18. Landscape and Outdoor Amenity Precedents | |

These slides as well as floor plans, elevations, sections, shadow studies, and project statistics were available for download on July 22, 2021.

The project presentation was followed by a live Q&A session with the community members in attendance.

Screenshots from the VDIS Website are included in Appendix G, and a copy of the presentation slides are included in Appendix H.

1536-1550 Eastern Ave

4.0 FEEDBACK SUMMARY

The webinar sessions provided opportunities for the community to review the rezoning application for the site, have their questions answered by the project team and submit feedback.

The public was able to provide feedback in following ways:

- *Submission of questions and comments during the webinar sessions;*
- *Online comment form and submissions through the website; and*
- *Submission of questions and comments via email*

In total, 30 questions/comments were received from the webinar sessions, via online comment forms, and email.

Summary Comments and Questions

Several questions received during the webinar sessions revolved around amenity spaces, building height and design, and construction timelines. Questions did not indicate support or opposition towards the application. Through comment form and email correspondence there was a mix of support and opposition towards the application. Those in support of the application identified the new rental homes and daycare space as desirable aspects of the proposal. Those in opposition of the application predominately shared concerns around construction. Overall, the majority of participants of the VDIS appeared to have a few questions and did not provide their sentiment towards the application.

A transcript of the questions/comments from the webinar sessions are included in Appendix I, a copy of the online comment forms are included in Appendix J, a copy of the comment form transcriptions are included in Appendix K, and a copy of emails received are included in Appendix G.

5.0 CONCLUSION

Kenwood Apartments Ltd. submitted a Rezoning application to the CNV for the site to permit the development of a 3.45 FSR, 13-storey building containing 105 rental homes and a 185-space daycare. As part of the application process, Kenwood Apartments Ltd. and the project team hosted a VDIS that included a project website and two webinar sessions. The website went live on July 15, 2021, and featured information about the proposal and details on how the community could attend and participate in the two virtual webinar sessions which were held on Thursday July 22, 2021 during two, 1-hour sessions held from 12:00-1:00 pm and 6:00-7:00 pm. Members of the surrounding community were encouraged to visit the project website and submit any inquires they may have regarding the proposal via email, phone or the comment form that was available on the project website after July 15, 2021. 4,493 notifications were sent out to the surrounding residents via Canada post ad-mail drop. In total, 11 individuals attended one of the two webinar sessions, and from this group, 23 questions and/or comments were submitted during the live Q&A. Between July 15, 2021 and August 5, 2021, 4 comment forms were submitted via the project website and 3 comments/questions were received through email. The supportive comments were predominately around additional daycare spaces for children in the area as well as new rental homes for individuals. Some individuals expressed concerns relating to the noise levels generated by the current developments in the area and the safety risks associated with the removal and demolition of the existing site.

The project team will consider the feedback received from the Virtual DIS as they progress through the design and approval process within the City of North Vancouver.

Appendices

Appendix A - Audience Overview

Appendix B - Copy of Notification Flyer/Newspaper Ad

Appendix C - Copy of Site Signage

Appendix D - Copy of Newspaper Ad

Appendix E - Map of Unaddressed Notification Delivery Area

Appendix F - Copy of Tenant Letter

Appendix G - Screenshots from VDIS Website

Appendix H - Copy of Presentation Slides

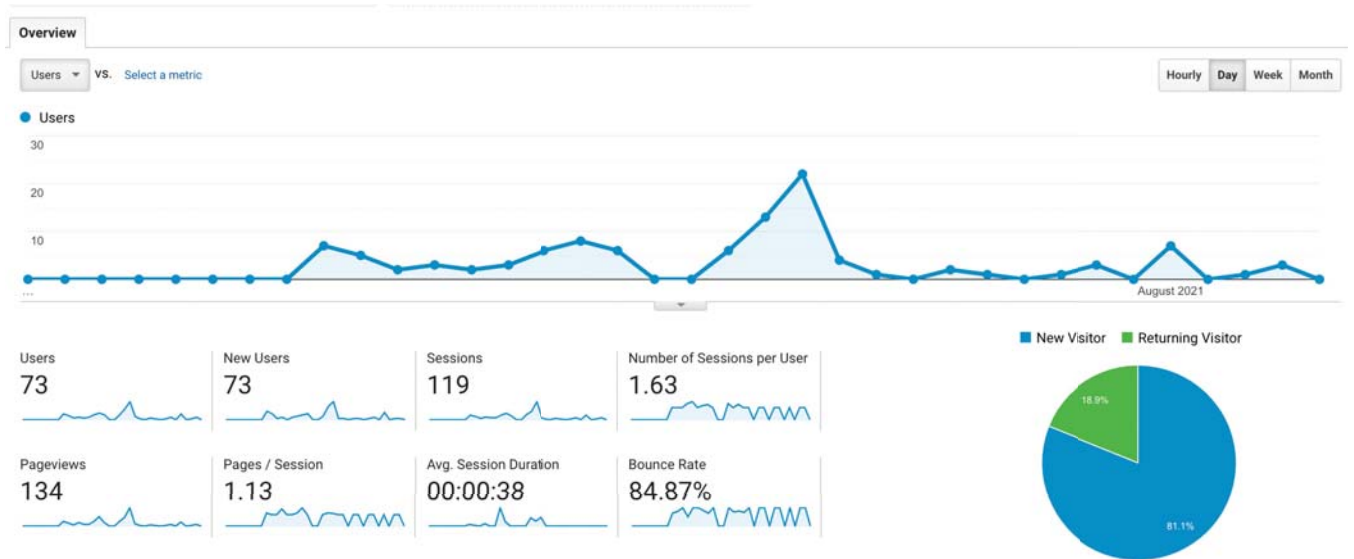
Appendix I - Transcript of Questions/Comments from Webinar Sessions

Appendix J - Copy of Online Comment Form

Appendix K - Comment Form Transcriptions

Appendix L - Copy of Emails Received

Appendix A - Audience Overview



Appendix B - Copy of Notification Flyer

Virtual Developer Information Session

Early Public Input Opportunity

Rezoning Application

1536 - 1550 Eastern Avenue, North Vancouver, BC

Kenwood Apartment's Ltd. has submitted a rezoning application to the City of North Vancouver for the properties at 1536 and 1550 Eastern Avenue to permit the development of a 13- storey building. The project as proposed would provide 105 new purpose-built rental homes and a much-needed 185-space daycare.

Interested members of the public are invited to attend the Virtual Developer's Information Session hosted by the applicant for an early opportunity to review the proposal and offer comments.

Applicant Contact

Samantha Potter
Pooni Group
openhouse@poonigroup.com
604.731.9053 ext. 101

City of North Vancouver Contact

David Johnson, Development Planner
City of North Vancouver
djohnson@cnv.org
604.990.4219



KENWOOD APARTMENTS

How to Participate

STEP 1: Visit the project website to learn about the proposal



Visit the project website at www.1550easternave.com after July 15, 2021 to review information about the proposal or scan the QR code to the left with your smartphone camera (click the link that appears).

STEP 2: Join the video presentation and live Q&A Session



Visit www.1550easternave.com and click "Join the Presentation" button during one of the following times:

- Thursday, July 22, 2021 - 12:00pm - 1:00pm
- Thursday, July 22, 2021 - 6:00pm - 7:00pm

On the website, you will find a "Join the Presentation" button during the designated time. The project team will provide a presentation followed by a live Q&A period where you will be able to ask questions.

STEP 3: Provide your feedback through the website



From July 15-August 5, 2021, you can provide feedback either online by visiting the project website at www.1550easternave.com and filling out the comment form on the home page or by emailing openhouse@poonigroup.com with "1536-1550 Eastern Ave" as the subject line.



PLEASE NOTE: We endeavor to be as inclusive as possible. If you require additional accommodation for any reason including not having access to the internet or not being able to participate virtually for any reason, please call Samantha at 604.731.9053 ext 101 or email openhouse@poonigroup.com and we will make our best effort to assist.

Appendix C - Copy of Site Signage

1550 Eastern - Sign Proof C
Jensen Signs
24-Jun-21

48,000 in
96,000 in

DEVELOPMENT APPLICATION

1550 Eastern Avenue

PROPOSAL:

Kenwood Apartments Ltd. has submitted a rezoning application to the City of North Vancouver for the properties at 1536 and 1550 Eastern Avenue to permit the development of a 13- storey building. The project as proposed would provide 105 new purpose-built rental homes and a much-needed 185-space daycare.

Kenwood Apartments Ltd. will be hosting a virtual information session where interested members of the public can learn about and comment on the application.

APPLICANT CONTACT:

NAME: Samantha Potter
COMPANY: Pooni Group
EMAIL: openhouse@poonigroup.com
PHONE: 604-731-9053 ext 101

PROPOSED DEVELOPMENT SITE



PROPOSED DEVELOPMENT



FOR MORE INFORMATION AND TO SHARE YOUR OPINION:

DEVELOPER'S INFORMATION SESSION

How to participate:

Step 1: Visit the project website to learn about the proposal:
Visit the project website (www.1550easternave.com) after July 15, 2021 to review information about the proposal or scan the QR code below with your smartphone camera (click the link that appears).



Step 2: Join the video presentation and live Q&A session:
Visit www.1550easternave.com and click "Join the Presentation" during one of the following times:

Thursday July 22, 2021 - 12:00 pm - 1:00pm
Thursday July 22, 2021 - 6:00 pm - 7:00 pm

CITY OF NORTH VANCOUVER CONTACT
David Johnson, Development Planner
djohnson@cnv.org 604-990-4219


cnv.org



1536-1550 Eastern Ave

VIRTUAL DEVELOPER INFORMATION SESSION

Kenwood Apartment's Ltd. is holding a virtual information session where interested members of the public are invited to learn about our rezoning application for a 13-storey building providing 105 new purpose-built rental homes and a much needed 185-space daycare facility at 1536 and 1550 Eastern Avenue in North Vancouver, BC.

How to Participate:

Step 1: Visit the project website to learn about the proposal:

Visit the project website at www.1550easternave.com after July 15, 2021 to review information about the proposal.

Step 2: Join the video presentation and live Q&A session:

Visit www.1550easternave.com and click "Join the Presentation" button during one of the following times:

- **Thursday, July 22, 2021 - 12:00 pm-1:00 pm**
- **Thursday, July 22, 2021 - 6:00 pm-7:00 pm**

KENWOOD APARTMENTS

Applicant Contact:

Samantha Potter
Pooni Group
openhouse@poonigroup.com
604.731.9053 ext 101



Planning Department Contact: David Johnson, Development Planner, City of North Vancouver e: djohnson@cnv.org t: 604.990.4219

This meeting is required by the City of North Vancouver as part of the development process.

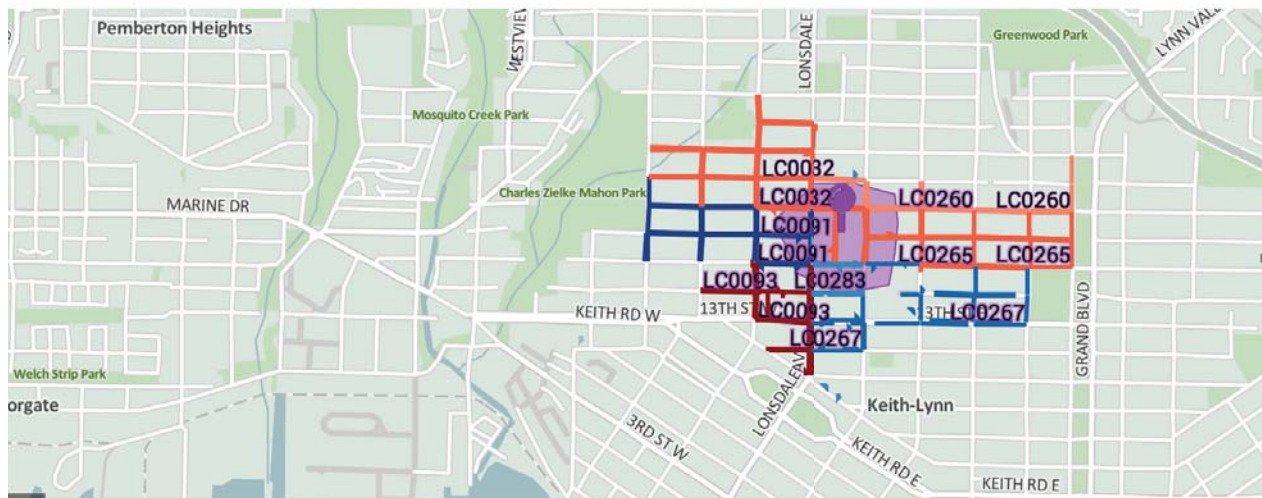
Appendix E - Map of Unaddressed Notification Delivery Area

Precision Targeter

Your total number of mail pieces is **4,493** for an estimated delivery cost of **\$851.54**

[Place order](#)

[View more details](#)



Appendix F - Copy of Tenant Letter

June 30, 2021

Dear Resident,

As you may recall from our previous correspondence in September of 2020, Kenwood Apartments (Kenwood) has submitted a rezoning application to redevelop these buildings (1536-1550 Eastern Avenue). Redevelopment means that these buildings will be replaced and all existing residents will have to vacate. We are still in the early stages of the application process with the City of North Vancouver which means that relocation is still at least over a year away. Kenwood is committed to working with each resident and will be providing you with ongoing communication throughout the application process.

We are writing today to provide you with an update on the rezoning process and to let you know that I, Jason, will be reaching out to schedule a meeting with you in the coming days.

In October of 2020, Kenwood submitted a rezoning application to the City of North Vancouver. The proposal is to replace the current rental buildings with a 13-storey rental building containing 105 new purpose built rental homes and a 185-space daycare facility. The next steps in the rezoning process include a Developer Information Session which will provide information about the application to the general public as well as additional staff review. The process will eventually conclude with the application being presented to City Council at a Public Hearing.

We anticipate that the rezoning and permitting will take approximately 12-18 months before any construction could begin. However, we will keep you informed as the application moves forward.

In the meantime, we are working on a tenant relocation package as per the City of North Vancouver's Residential Tenant Displacement Policy that was adopted by Council in November 2015. This document outlines the minimum requirements for tenant relocation including:

1. **Compensation** in the form of free rent or cash in lieu
2. **Payment** for moving expenses
3. **Assistance** with identifying alternate accommodations
4. **Right of First Refusal** to a replacement rental unit on site
5. **Additional support** or assistance for vulnerable tenants
6. **A minimum of four months' notice*** to vacate after a Demolition Permit has been issued by the City

As we are working through the rezoning process and developing a relocation package, we would like to meet with each of you individually to discuss your needs when seeking alternative housing, share our draft tenant relocation package, answer any questions you might have, and listen to your feedback. I have allocated July 5th 2021 through July 9th 2021 for meetings with each of you. I will be reaching out to each of you individually over the next week to schedule those one-on-one meetings. If you feel that you require additional assistance or would like to meet right away, please get in touch with me via email (trimarkpm@gmail.ca) or phone (604.323.4467).

In the coming days, you will also receive a formal notification for a Virtual Developer Information Session on July 22, 2021 from 12:00pm-1:00pm and again from 6:00pm-7:00pm. Here we will be sharing the details of our application with the neighbourhood. If you are interested in specific details about the application, we encourage you to attend one of these sessions. Note that the purpose of this session is to inform the general public and it will not include information about the tenant relocation package. I have included the notification outlining how you can participate.

Please look out for a phone call from me to schedule our meeting in the coming days.

Yours truly,

Jason Trimark
Trimark Property Management
trimarkpm@gmail.ca
604.323.4467

Cc: David Johnson, Development Planning Manager, City of North Vancouver

1536-1550 Eastern Ave

Join us on July 22

1536-1550 Eastern Avenue

[HOME](#)



Virtual Information Session

[HOME](#)

Join the project team online as they share information about the proposal for 1536-1550 Eastern Ave. During these sessions you will be able to ask questions and provide your feedback.

Virtual Information Sessions:

July 22, 2021 from 12pm-1pm
July 22, 2021 from 6pm-7pm

[COMMENT FORM](#)

Thank you to those who participated in the Virtual Developer Information Session on July 22.

How To Participate

Review the information found on this website. The presentation is now available for download below.

[DOWNLOAD THE PDF](#)

Join the virtual information session(s) on July 22, 2021. On the day of the information sessions, the website will be updated with a "Join the Presentation" button that will link you directly to the information session via Zoom webinar. A call-in number will also be provided. If you need to call in, we suggest emailing your questions in advance.

July 22, 2021 from 12pm-1pm
July 22, 2021 from 6pm-7pm

Feedback received will be compiled into a report and submitted to the City of North Vancouver for review.

If you prefer to provide your comments directly to City Staff, please email David Johnson, Development Planner at the City of North Vancouver: djohnson@cnv.org

The comment period is open from July 15-August 5.

[HOME](#)

SITE CONTEXT



1536-1550 Eastern Avenue (the property) is located in Central Lonsdale, an area designated as a Town Center in the City of North Vancouver's Official Community Plan.

NEIGHBOURHOOD CONTEXT



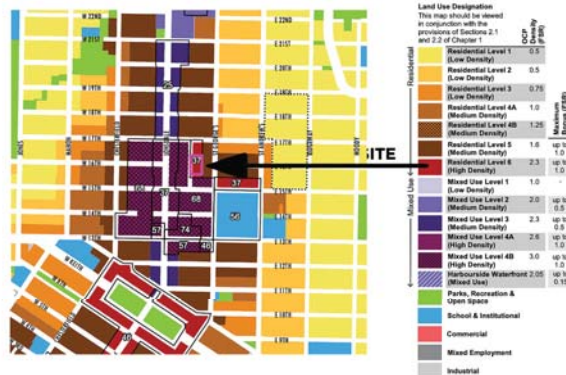
HOME



The property is located in the heart of Central Lonsdale, a vibrant neighbourhood well serviced by frequent transit and containing many shops, restaurants, amenities, and schools. Central Lonsdale is home to a range of educational institutions, Lions Gate Hospital, and Harry Jerome Community Centre. The neighbourhood includes a range of housing - multi-unit apartment and condominium buildings as well as single family homes.

HOME

POLICY CONTEXT



The City's 2014 Official Community Plan (OCP) land use map, identifies the property as Residential Level 6 (high density) permitting a Floor Space Ratio (FSR) of 2.3 with a 13 story height maximum.

The 2018 City's Density Bonus and Community Benefits Policy permits the density to be increased by 1.0 FSR to a total FSR of 3.3 if all the density is developed as rental housing. This Policy also enables the transfer of density from nearby properties that cannot use it. The applicant has applied for a density transfer of 0.15 FSR to a total density of 3.45 to accommodate additional daycare space.

Learn more about the [CNV Official Community Plan here](#).



Project Highlights



NEW RENTAL HOMES

Of the 105 homes, 25% will be adaptable to allow wheelchair use, 18% will be 3 bedrooms and just over 10% will be rented with under market rents for the life of the building.

NEW DAYCARE SPACE

Recognizing that a daycare shortage is an issue that impacts many families in the community, the proposal includes a significant daycare facility able to accommodate 185 children with indoor and outdoor space.

NEW AMENITY SPACE

The proposal includes a 2,500 sf sports court suitable for a range of activities including volleyball, indoor hockey and indoor soccer as well as a climbing wall.

IMPROVED PATHWAYS & GREENSPACE

The project will include a dedication of approximately 2,000 sf of land to expand the new urban park to the north of the property and to provide an east lane pathway to improve and promote outdoor social connections.

RESIDENTIAL AMENITIES

The proposal includes an indoor gym facility and games room. On the podium deck, 5,000 sf of outdoor amenity space is envisioned including a kid's play area, a pet play area, a BBQ and outdoor eating area, gardening spaces and family gathering space.

UNDERGROUND PARKING

126 parking stalls are proposed underground over two levels. 20 stalls will be dedicated to daycare use, 11 stalls for visitor parking and 95 stalls dedicated to the rental suites. All parking stalls will have e-charging capabilities.



COMMENT FORM

Provide your feedback on the proposal via the comment form below. You may also send your comments via email to openhouse@poonigroup.com

If you prefer to provide your comments directly to City Staff, please email David Johnson at djohnson@cnv.org.

The comment period is open from July 15-August 5

Name & Address

Do you support the proposed project?

Do you have any concerns about the proposed project?

What do you like about the proposed project?

What do you suggest we change about the proposal?

Any additional comments?

Would you like the applicant to respond to your comments? If so, please provide your contact information.

Meet the Applicants

KENWOOD APARTMENTS

Kenwood Apartments (the Applicant) has proudly owned and operated the buildings on Eastern Avenue for nearly 30 years. The family run business plans to continue to be a part of the North Vancouver community as rental property owners.



Established in 1983, Rafil Architects Inc. is a Vancouver based architectural firm offering comprehensive services in architecture, urban design, planning, and interior design. Their extensive portfolio includes many projects throughout the Greater Vancouver area, Vancouver Island, Alberta, and the US with particular recognition for our work in high-rise residential and mixed-use projects.

Contact us: openhouse@poonigroup.com

Appendix H - Copy of Presentation Slides

Welcome to the Virtual Open House For

1536-1550 Eastern Avenue, North Vancouver

The proposal includes:

- One 13-storey building
- 105 new rental homes
- 185-space daycare
- 126 parking spaces
- Park and land dedications
- On-site amenities

If you cannot stay for the entire presentation and Q&A, we encourage you to fill out a feedback form before you leave or email openhouse@poonigroup.com with any comments or questions.

Your feedback will be included in a summary report and will be provided to the City of North Vancouver.



Land Acknowledgment


The city of North Vancouver is located on unceded and traditional lands of the Skwxwú7mesh (Squamish) Nation and Tsleil-Waututh Nation. We would like to express our gratitude to the Squamish and Tsleil-Waututh Nations and we value the opportunity to learn, live and share experiences on this traditional territory.

1536-1550 Eastern Avenue

Meet The Developer

KENWOOD APARTMENTS

Kenwood Apartments have been rental property owners on Eastern Avenue for nearly 30 years and are proud members of the North Vancouver community.




1550 Eastern Avenue

1536 Eastern Avenue

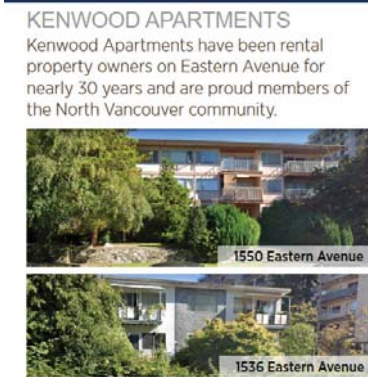
KENWOOD APARTMENTS

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1550 Eastern Avenue

1536 Eastern Avenue



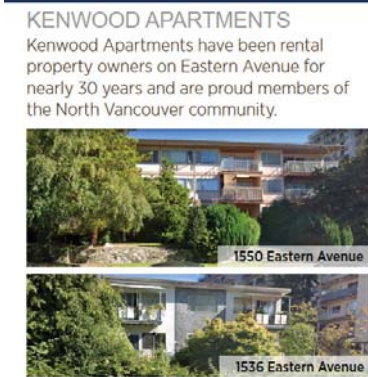
KENWOOD APARTMENTS

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1550 Eastern Avenue

1536 Eastern Avenue



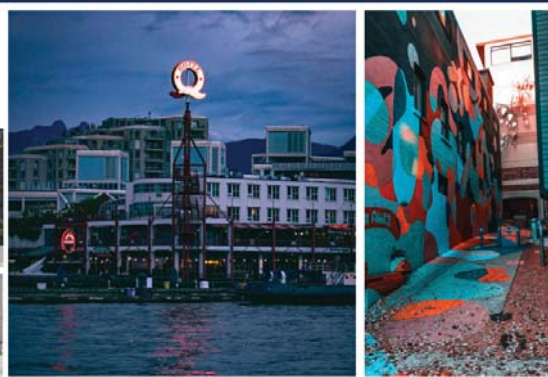
KENWOOD APARTMENTS

Kenwood Apartments have been rental property owners on Eastern Avenue for nearly 30 years and are proud members of the North Vancouver community.

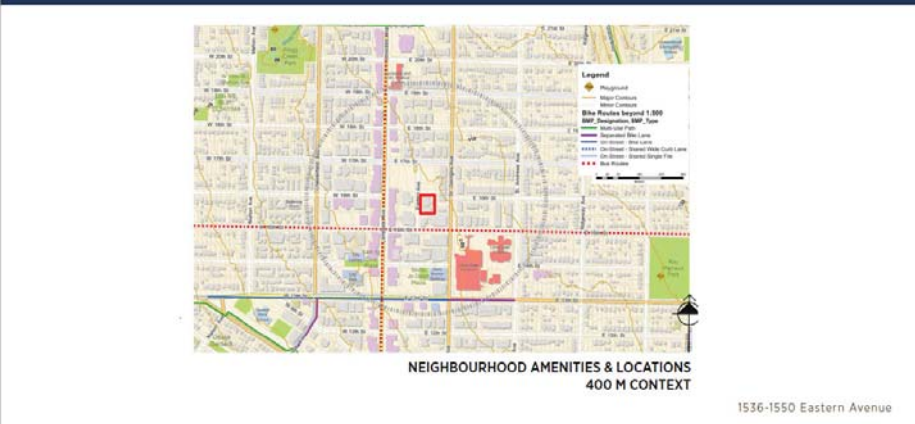


1550 Eastern Avenue

1536 Eastern Avenue



Neighbourhood Context



**NEIGHBOURHOOD AMENITIES & LOCATIONS
400 M CONTEXT**

1536-1550 Eastern Avenue

**NEIGHBOURHOOD AMENITIES & LOCATIONS
400 M CONTEXT**

1536-1550 Eastern Avenue

Site Context



1536-1550 Eastern Avenue

Encouraging Sustainable Transportation

The site is located in a walkable and bikeable community and is in close proximity to several Frequent Transit Networks.



1536-1550 Eastern Ave

City of North Vancouver's Official Community Plan

The site is designated Residential Level 6 (high density).



Proposal Vision

Our vision is to provide one 13-storey building that bring rental opportunities and additional daycare spaces to the City of North Vancouver.

The proposal includes:

- 105 new rental homes
- 185-space daycare
- 126 parking spaces
- Park and land dedications
- On-site amenities



1536-1550 Eastern Ave

A Variety of New Housing

105 new purpose built rental homes suitable for families, seniors, downsizers, couples, and singles.

Unit Type	Regular Units	Adaptable Units	Total Units
3 Bedroom + Den	2	0	2
3 Bedroom	1	0	1
2 Bedroom + Den	15	0	15
2 Bedroom	0	10	10
1 Bedroom + Den	10	9	19
1 Bedroom	29	9	38
Studio	20	0	20
Total	77	28	105

*Per City of North Vancouver Policy, 11 of the units are proposed to be 10% below the average Canadian Mortgage and Housing Corporation rental rates in the City of North Vancouver in perpetuity.

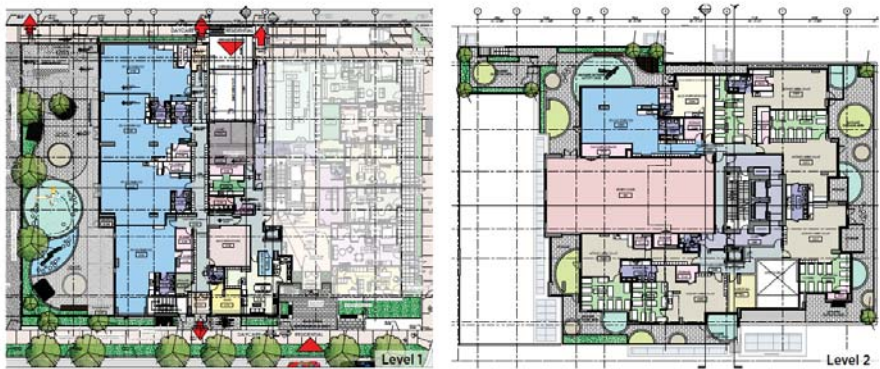


A Significant Contribution to Daycare Spaces in North Vancouver

With over 1,500 sq. m (16,700 sq. ft.) of indoor space and nearly 1,000 sq. m (10,800 sq. ft.) of outdoor play space, a new 185 space daycare intended for children ranging from infants to 5 year olds is envisioned at the site.



Daycare Floor Plan



1536-1550 Eastern Avenue

Daycare Parking



1536-1550 Eastern Avenue

New Residential Amenities



A Sports Court



Workout Room



Children's Play Space - Podium Deck



Social Gathering Space - Podium Deck



Ebike Rentals

Rendering - Aerial View from the North West



1536-1550 Eastern Avenue

Sustainability

Environmental Sustainability

- Increased Walkability - Close Proximity to Public Transit
- Utilization of Green Infrastructure

Social Sustainability

- Increased Crime Prevention through Environmental Design
- Community Garden/Greenspace - Family Oriented

Economic Sustainability

- Smaller Affordable Housing Units
- Work Opportunities
- Mid-Market Rental Suites
- Daycare/Childcare Services



Site Plan



1536-1550 Eastern Avenue

Landscape Plan

MATERIALS LEGEND



1536-1550 Eastern Avenue

Landscape and Outdoor Amenity Precedents



Next Steps

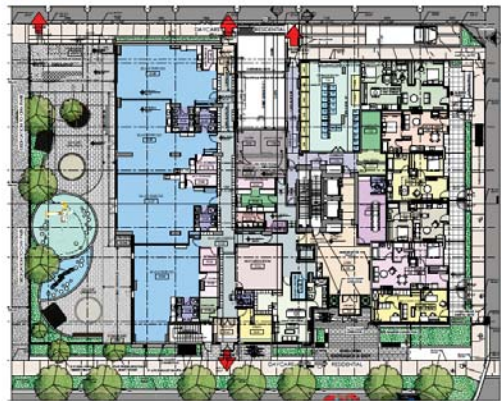
We have submitted a Rezoning Application and the proposed project is in the early stages of the process.

We anticipate the following next steps:

Spring 2020	Rezoning Application Submitted
July 2021	Advisory Design Panel
July 2021	Virtual Developer Information Session (We are here)
Summer-Fall 2021	Staff Rezoning Package Review
Fall-Winter 2021	Staff Report for Council (TBC)
Winter 2021	Referral and Public Hearing (TBC)

1536-1550 Eastern Avenue

Floor Plans - Level 1



1536-1550 Eastern Avenue

Floor Plans - Level 2



1536-1550 Eastern Avenue

Floor Plans - Level 3



1536-1550 Eastern Avenue

Floor Plans - Level 4 Podium



1536-1550 Eastern Avenue

Floor Plans - Levels 5-12



1536-1550 Eastern Avenue

Floor Plans - Penthouse (Level 13)



1536-1550 Eastern Avenue

Elevations - West



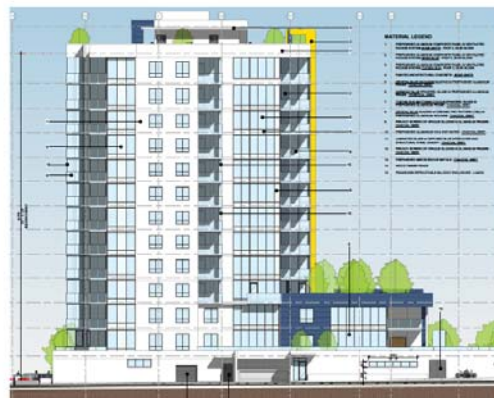
1536-1550 Eastern Avenue

Elevations - North



1536-1550 Eastern Avenue

Elevations - East



1536-1550 Eastern Avenue

Elevations - South

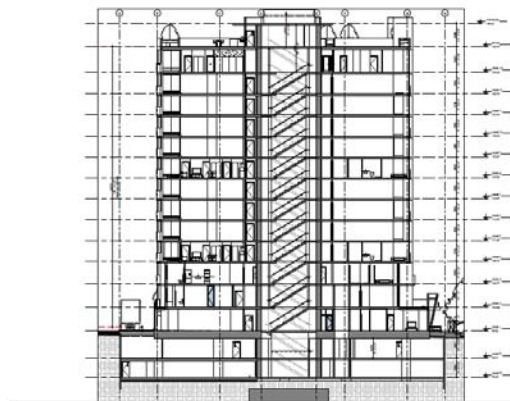
MATERIAL LEGEND

1. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT
2. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT
3. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT
4. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT
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19. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT
20. EXTERIOR WALLS: CONCRETE WITH WHITE GROUT



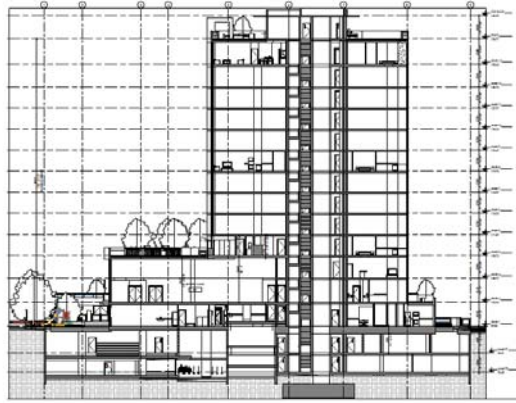
1536-1550 Eastern Avenue

Section A



1536-1550 Eastern Avenue

Section B



1536-1550 Eastern Avenue

Section C



1536-1550 Eastern Avenue

Shadow Studies



1536-1550 Eastern Avenue

Project Stats

# of Homes Proposed	105 new rental suites
Daycare	185-space child daycare
Height	13-storeys
FSR	3.45
Parking	126 parking stalls: 11 visitor stalls, 19 daycare stalls, 96 residential stalls

1536-1550 Eastern Avenue

[illegible][illegible]

COMMENT FORM

Provide your feedback on the proposal via the comment form below. You may also send your comments via email to openhouse@poonigroup.com

If you prefer to provide your comments directly to City Staff, please email David Johnson at djohnson@cnv.org.

The comment period is open from July 15-August 5

Name & Address

Do you support the proposed project?

Do you have any concerns about the proposed project?

What do you like about the proposed project?

What do you suggest we change about the proposal?

Any additional comments?

Would you like the applicant to respond to your comments? If so, please provide your contact information.

Submit Review

HOME

Appendix K - Copy of Comment Forms Received

Submission Time	Do you support the proposed project?	Do you have any concerns about the proposed project?	What do you like about the proposed project?	What do you suggest we change about the proposal?	Any additional comments?	Would you like the applicant to respond to your comments? If so, please provide your contact information.
2021-07-23T03:24:10Z	Yes rental housing and affordable childcare are critical	Ensure it's not just low income but middle income too	Childcare			
2021-07-23T14:08:00Z	Yes	No	Quality rental properties are in high demand and this will meet the needs of a specific customer that is currently under served. The selected location is a good fit for a taller building and will be ideal with the suggested amenities.		New and modern daycare options are impossible to find so this is a welcome addition.	
2021-07-21T21:57:43Z	Yes	Daycare should be available for residents in the local community first.	Providing more rental units to market will help create a more competitive environment thus improving the low vacancy rates.	Nothing of note.		
2021-07-22T17:37:06Z	Yes I fully support the project	No	Purpose built rental. The rental market in North Vancouver is so tight and so unaffordable. We moved our dad closer to us and he is renting. To get him into a rental was competitive and we had to out bid other applicants. We need more rental supply in the area. Also, as we bring more amenities like restaurants etc. We need to ensure an employee base can afford to live in the neighbourhood. We need more rental options.	Nothing.		

Appendix L - Copy of Emails Received

Email #1: Received on Thursday, August 5, 2021 (11:03 pm)

City council and developers,

I'm writing to voice my opposition to the proposed development.

Over the last three years our neighborhood had to endure and still is ensuring the Anthem development on Eastern and 17th.

Witnessing on how companies disrespected the people living in the area was saddening.

It started with the Asbestos was being removed without having the building wrapped.

Two years ago my wife died, after suffering with Huntington's disease. During the two month leading up to her passing and months after. There was a super loud drill running all day long. I wasn't able to process that very impactful moment of my life properly.

In the following month contractors showed up outside the posted allowed times. Repeated complaints to bylaw seemed to have no impact. Being reassured that fines were issued, only seemed to prove that companies just pay them as part of normal business. Companies kept showing up before 7am, or on Sundays. Which I couldn't help but feeling disrespected. Recently smoke detectors kept beeping for night after night.

It is very exhausting to constantly having to deal with disturbances, having to prove it.

It feels like that there is little to no consideration for the people living in the area, already having to endure unbearable noise during the day. But also having to fight for peace after hours is just not fair.

Now realizing that one development is leading straight to the next one. Knowing what we had to go through with the Anthem development. Is just triggering anxiety in our neighborhood.

Especially when developers and their contractors don't respect their neighbors. Paying fines and just keep doing what they want.

Email #2: Received on Thursday, August 5, 2021 (10:59 pm)

Developers and City of North Vancouver,

I vehemently oppose the building of this development.

My reasons are as follows:

First and foremost, the ongoing issues and health and safety concerns for the neighbourhood regarding the present development of Anthem on 17th and Eastern, which have resulted in 2 of my neighbours attempting suicide in part, because of the constant noise and issues around this construction site. I have said it before and I will say it again; in no other area, being it in a family, work environment or community, would a threat of suicide not be taken seriously, acted upon immediately, and remedies not taken and implemented immediately.

Since this has not occurred, I oppose this project. People's lives are at risk. This has been documented for years now and if anything happens to these people, and there may be others, you will all have to report to the families and friends of these people, myself included. This is not business as usual anymore-this is a health and safety risk for the people living in this neighbourhood.

Myself and fellow neighbours have been complaining about this development for 3 years ongoingly. I first complained about asbestos not being removed properly, then my complaints had to continue with contractor and workers arriving on site before 7am repeatably as well as working after hours and on Sundays. The fact that we had to complain for years, says the City of North Vancouver and the Developers have no responsibility or accountability to pass these projects of this magnitude until they can actively prove they are willing and able to remedy the ongoing issues large developments impose on the community surrounding them.

The fines came late in the game, the fines we not enough to distract the developers, the work stop orders came??? at a minimum.

Business carries on without any compassion or adherence to people living here. I am tired of the YEARS of the incessant noise, the back-up beeping tones which one cannot escape, the noise that comes without warning (i.e.: 7 hours of jackhammering without notice), removal of concrete in alley ways without notice, smoke detectors going off all night long for months without a conclusive solution, air pressure valves releasing at all hours of the days and nights, pot holes and further deterioration of our alley ways, the exterior elevator on construction sites and its loud and ongoing noise all day long, security guards idling their engines all night long because the Bylaw says they can (which I have also stated is inhumane, get these workers a safe warm place to do security on sites so they don't have to sit in a vehicle all night long and only keep warm by idling their engines all night), do I need to continue?

1536-1550 Eastern Ave

A few weeks ago, I was woken up, not by someone arriving before 7am, but by someone swearing and yelling at someone who arrived before 7am and was apparently playing music on site before 7 am. Does the City of North Vancouver really think this is all under control? Also, since I live right next to the site, I also have the privy to hear all the incessant chatter first thing in the morning by the workers who have their trailers set up right outside my apartment. Do I really need to hear the F word first thing in the morning by numerous loud-mouthed workers who arrive without any observation that they are working in a neighbourhood and people like myself can hear everything they are saying?

There are no logical clear guidelines in this industry apparently that would communicate this.

The City of North Vancouver does not have the means to monitor and manage these sites accordingly to their own Bylaw, and by the way of Health Concerns these construction sites/Developments impact their voting, tax paying community members and therefore I oppose this development.

Every member of City of North Vancouver Council needs to be educated and aware of how people access the 10% of low-income housing options available to them, to have these Development's pass through their hands, i.e. by voting for or not and if they are indeed available to these people when they are evicted from their homes, , and since they all don't, I oppose this project.

Developers get to continue working even in a pandemic and a heat wave, while community members have sent in documents and proof, they are suffering which has been for the large part been ignored. We complained during the pandemic; we are willing to comply to the health order restrictions by staying home and had to endure noise from construction sites without any reprieve. We complained during the heat wave we cannot open our windows due to noise impacts from the construction site and had no resolution but to leave our homes.

I have lived here since 2001 and have had many developments surround me and my living quarters including 7 in the past few YEARS within a 1 block radius. Upcoming we have 3 developments in proposal withing a 1 block radius. Therefore, I oppose this project.

We have absolutely no compensation whatsoever for these impacts on our lives. Meanwhile the City of North Vancouver gets a Provincial Covid Grant and \$50,000 within it goes to dogs in the neighbourhood? See attachment below.

We have asked for a survey to be done of community members to seek input from the community about the impacts of the construction noise on our health and welfare from the Mayor herself and were declined. We asked for measurements of construction sound and the Bylaw to reduce sound Bylaws which may be coming (Thank you!) We have asked further noise reductions to be analyzed and implemented such as, sound barriers around construction sites, back up beeping tones reduced to livable sound tones or white noise sound machines to be used etc., I have asked repeatedly for some sort of compensation for those of us living within these construction zones and nothing has come about.

I therefore oppose this project until these recommendations are implemented.

I have also stated we need to think about seniors living within this community and where they will go once the Baby Boomer Generation needs more help, as well as more low-income affordable housing-now-not in the long run, made available. I oppose any project that ignores our seniors and our housing crisis and continues to try and adhere to family only demographics as our Elders are also important. I can think of 3 Daycares within a 1 block of this proposal site and nothing geared towards our Elders. Therefore, I oppose this development.

In closing I would like to thank those on City Council and Bylaw who are listening and helping us, you know who you are, and the one and only Troy, who is also compassionately listening to us and is doing his best at the Anthem site.

I will not go quietly into the night when these developments and constructions sites have impacted me negatively during the loss of my friend Cali, in which I should have been able to grieve her passing in peace and quiet; as well as my Fathers passing recently. As a family care giver to my father and a Home Care worker by trade, I work shift work, just to keep my rent paid and food on the table and to give back to my community. Often, I need to rest in the day in order to do my job and with these developments it has been impossible. If my own community cannot support me then what does this say?

I am also speaking on behalf of community members, which I have documented before; seniors who have no access to internet and neighbours who have limited English and are too afraid to come forward. Please see the attachment below.

Thank you for your time.

Email #3: Received on Wednesday, August 7, 2021 (4:38 pm)

Hello Ms. Potter,

I am interested in commenting on the plans, but cannot attend the DIS on July 22 at either 12:00 or 6:00, so could you please send me electronic versions of the architectural and landscape plans.

I am also interested in any measures the developer will be taking towards energy efficiency and minimizing the use of fossil fuels.

FYI, I have a family and we like to eat together at regular mealtimes, e.g. 12:00 and 6:00.

Response Received on Friday, August 20, 2021 (9:13 pm)

Comments on 1536 and 1550 Eastern Ave.

The proposal is to demolish 2 existing small apartment buildings and construct a 13 storey 105-unit rental building, and a daycare. A rezoning will be required. The FSR is 2.3 plus a bonus of 1.0. The height limit is 37m (12 storeys). There are large existing trees including a Cedar on the NW corner of the site. There is a proposal for a 2000 sq. ft. park strip on the north side of the site.

The following questions pertain mainly to the buildings energy use, with a goal of keeping greenhouse gas (GHG) to a minimum:

The property within the Lonsdale Energy Corp (LEC) service zone, but has a heat pump been considered for cooling? has solar been considered ? If not, why not? If not currently installing, then we recommend conduits be installed. EV charging is being provided; does it service ALL stalls, not just some? If not ALL stalls, then recommend conduits for future charging be setup.

embodied carbon - Will any concrete used be low-carbon? (Alcuin College is proposing to use; see La Farge Cement; Chris Magwood and his knowledge and expertise); climate-friendly choices are available on overall insulation.

Has passive design been considered? The plans seem to show a lot of glass and very little sun-shading or consideration of orientation/ window sizing for solar gain in winter.

Will the trees be retained? Note: trees this size are should be retained because they are huge carbon-sinks and cannot be replaced by any number of new trees on this site.

General comments on the design:

This seems like a worthwhile project providing rental units and a large daycare. The applicants appear to be asking for a FSR of 3.45 whereas the OCP maximum, with the bonus, is 3.3! Also the height limit is 12 storeys while the plans show 13 stories!

Existing trees, in particular the cedars on the NW corner of the site should be retained, by reducing the size of the underground parking in that area. A tree survey and arborist report should be submitted, and detailed landscape plans.

Parking seems excessive, considering that the site is close to public transit. The parking should be reduced to a bare minimum to encourage people not to drive.

There should be a green roof on all flat areas. This will facilitate rainwater retention and habitat for birds and insects, etc. The outdoor amenity area is nice, but should have more greenery and less paving. The community gardens seem minimal.

The park dedication seems like a slim strip. Perhaps it should be consolidated in the corner of the site containing the existing trees.

Conclusions:

The proposal has merit, but needs to take more measures to improve energy efficiency and to lessen GHG emissions. Existing trees should be retained. If all of these requests can be accomplished, I would support an FSR of 3.3, not 3.45. I have no objections to the increase in the number of stories.

I recommend that, if this project goes ahead, the existing buildings be dis-assembled by someone like "The Un-builders" and the materials be recycled as much as possible.

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8892

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lands currently having a civic address of 1536-1550 Eastern Avenue and legally described below as henceforth being transferred, added to and forming part of CD-743 (Comprehensive Development 743 Zone):

PID: 007-980-264	Lot 6 Blocks 31 and 37 District Lot 549 Plan 7163
PID: 007-980-272	Lot 7 Blocks 31 and 37 District Lot 549 Plan 7163
PID: 010-719-261	Lot 8 Blocks 31 and 37 District Lot 549 Plan 7163

from zone RM-1.

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following Comprehensive Development Zone to Section 1101 in numerical order:

CD-743 Comprehensive Development 743 Zone (1536-1550 Eastern Avenue)

In the CD-743 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RH-1 Zone, except that:

- (1) The permitted Principal Uses on the Lot shall be limited to:

- (a) Rental Apartment Residential Use:

- i. Accessory Off-Street Parking Use;
- ii. Accessory Home Office Use.

- (b) Child Care Use:

- i. Accessory Off-Street Parking Use.

(2) Gross Floor Area

- (a) The Principal Building shall not exceed a Gross Floor Area of 1.0 times the Lot Area, provided that this amount may be increased to a maximum of 1.60 times the Lot Area through the provision of Adaptable Design subject to Section 423;
- (b) Notwithstanding 2(a), the maximum Gross Floor Area may be further increased upon entering into a Housing Agreement with the City, from the “Base Density” to the “Total Density” as follows:

BASE DENSITY			
OCP Schedule ‘A’		2.30 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL DENSITY (BONUS)	POLICY REFERENCE
100% Rental Housing	Secured rental apartment building, of which 12 units are mid-market	1.0 FSR	OCP Section 2.2
DENSITY TRANSFER			
Transferred from 1629 St. Georges Avenue (CD-603)	Residual Density that is not to be utilized on donor site.	388.7 square meters (4,184 square feet)	OCP Section 2.3
TOTAL DENSITY		3.45 FSR	

- (3) The minimum required Principal Building setback, measured to each building face, shall be limited to:
 - (a) 2.0 metres (6.56 feet) from the west property line (Eastern Avenue);
 - (b) 9.75 meters (32.0 feet) from the north property line;
 - (c) 4.60 metres (15.10 feet) from the south property line; and
 - (d) 2.48 metres (8.10 feet) from the east property line.
- (4) Notwithstanding 3(b) above, the second floor deck may be extended to 0.0 metres (0.0 feet) setback from the north property line, up to a maximum width of 5.75 metres (18.9 feet).
- (5) Height
 - (a) Principal building shall not exceed a Building Height of 37.0 metres (121.4 feet) as measured from the average Building Grades at the north property line;

- (b) Notwithstanding 5(a), the parapet walls above the top floor may not exceed a height of 39.75 metres (130.41 feet);
- (c) Notwithstanding 5(a), elevator and mechanical penthouses may project beyond the defined height by a maximum of 6.1 metres (20 feet) including elevator shafts and mechanical rooms;
- (d) Notwithstanding 5(a), common amenity area structures may project above the defined height by a maximum of 3.5 metres (11.5 feet);
- (6) Variance to Section 507(5)(h) Child Care Use to increase the maximum number of children in a Child Care Use at any one time to 81;
- (7) Variance to Section 513(2) Lot Coverage to allow the maximum allowable Lot Coverage to not exceed 59%;
- (8) Section 510(3) Building Width and Length shall not apply;
- (9) Variance to Section 513(5), such that all portions of Principal Buildings exceeding four Storeys shall be sited at least 23.7 metres (77.75 feet) from all portions of other Principal Buildings exceeding four Storeys;
- (10) Off-Street Parking, Short-Term and Secure Bicycle Parking, and Accessory Off-Street Loading Spaces shall be provided in conformity with the requirements of Division IV, Parts 9, 10, and 10A, except that:
 - (a) The required residential visitor parking spaces shall be identified as shared residential visitor and child care centre drop off parking;
- B. Comprehensive Development 603 Zone (CD-603) be amended by removing “Table CD 603 – 1: Density and Transfer Calculations” in its entirety and replacing with the following:

Table CD-603 – 1: Density and Transfer Calculations

SITE	COMMON ADDRESSES	SITE AREA (SQ. FT.)	FLOOR SPACE RATIO	MAXIMUM GROSS FLOOR AREA (SQ. FT.)	TRANSFERRED GROSS FLOOR AREA (SQ. FT.)	ON-SITE GROSS FLOOR AREA (SQ. FT.)
“A”	1629 St. Georges Avenue	9,298	1.6 times transferrable Density Bonus 0.715 2.315	21,528 sq. ft. (2.315 FSR)	6,652 (0.715 FSR) To Site “B”	14,876 (1.6 FSR)
“B”	1854 & 1860 Lonsdale Avenue	7,392	2.3	17,002 sq. ft. (2.3 FSR)	6,652 (0.9 FSR) From Site “A”	23,654 (3.2 FSR)

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8893

A Bylaw to enter into a Housing Agreement (1536-1550 Eastern Avenue)

WHEREAS Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

NOW THEREFORE the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2023, No. 8893**” (**Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments**).
2. The Council hereby authorizes the agreement substantially in the form attached to this bylaw between The Corporation of the City of North Vancouver and Kenwood Apartments Ltd. with respect to the lands referenced as 1536-1550 Eastern Avenue, “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743).
3. The Mayor and Corporate Officer are authorized to execute the Housing Agreement and any documents required to give effect to the Housing Agreement.

READ a first time on the <> day of <>, 2023.

READ a second time on the <> day of <>, 2023.

READ a third time on the <> day of <>, 2023.

ADOPTED on the <> day of <>, 2023.

MAYOR

CORPORATE OFFICER

PART 2 – TERMS OF INSTRUMENT

RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

THIS AGREEMENT dated for reference the _____ day of _____, 20____.

BETWEEN:

KENWOOD APARTMENTS LTD., INC.NO. 0759503

3939 West 14th Avenue
Vancouver, British Columbia,
V6R 2X2

(the “Owner”)

AND:

THE CORPORATION OF THE CITY OF NORTH VANCOUVER,
a municipal corporation pursuant to the *Local Government Act* and
having its offices at 141 West 14th Street, North Vancouver, British
Columbia, V7M 1H9

(the “City”)

WHEREAS:

- A. The Owner is the registered and beneficial owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Local Government Act*, RSBC 2015, c. 1 and the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant.
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has adopted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

NOW THEREFORE in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

1. DEFINITIONS

- (a) **"Act"** means the *Local Government Act*, RSBC 2015, c.1 as amended from time to time;
- (b) **"Affordable Rent"** means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the "Private Apartment Average Rents" for the corresponding bedroom type in the City of North Vancouver as established by CMHC's Housing Market Information Portal for the year the tenancy is entered into;
- (c) **"Agreement"** means this agreement as amended from time to time;
- (d) **"Child Care"** means the group child care facility located on the first two levels of the Residential Building on the Lands;
- (e) **"Commencement Date"** has the meaning set out in section 2.1 herein;
- (f) **"Council"** means the municipal council for the City of North Vancouver;
- (g) **"CMHC"** means Canada Mortgage and Housing Corporation;
- (h) **"Director, Planning and Development"** means the chief administrator of the Department of Planning of the City and their successors in function and their respective nominees;
- (i) **"Dwelling Unit"** means a dwelling unit as defined in the City of North Vancouver's "Zoning Bylaw 1995, No. 6700" as amended from time to time;
- (j) **"Lands"** means those lands and premises legally described as:

Parcel Identifier: 010-719-261
Lot 8
Blocks 31 and 37
District Lot 549
Plan 7163;

Parcel Identifier: 007-980-272
Lot 7
Block 31 and 37
District Lot 549
Plan 7163;

Parcel Identifier: 007-980-264
Lot 6
Block 31 and 37
District Lot 549
Plan 7163;

- (k) **"Mid-Market Rental Units"** means the 13 Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;

- (l) **“Market Rental Units”** means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units and the Staff Units;
- (m) **“Maximum Household Income”** means an annual gross household income determined by multiplying Affordable Rent by 12 to yield the households’ annual housing costs, and divide by 30% (0.30) to meet the standard definition of affordability;
- (n) **“Rental Purposes”** means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (o) **“Rental Units”** means the Market Rental Units and the Mid-Market Rental Units;
- (p) **“Residential Building”** means the 13 storey building to be constructed on the Lands to be used for Rental Purposes with 118 Dwelling Units, of which 104 Dwelling Units will be Market Rental Units, 2 Dwelling Units will be for Staff Units, and 13 Dwelling Units will be Mid-Market Rental Units;
- (q) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (r) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2023, No. 8892”;
- (s) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (t) **“Staff Units”** means the two self-contained Dwelling Units in the Residential Building intended to be rented as shared accommodation at Affordable Rent for staff who work at the Child Care;
- (u) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit;
- (v) **“Tenant Relocation Plan”** means the Tenant Relocation Plan dated October 26, 2020 (amended March, 2023) as prepared by the Owner and approved by the City, to meet the requirements of the City’s Residential Tenant Displacement Policy, version 2015 and dated as of November 16, 2015, a copy of which is attached as Schedule A to this Agreement; and
- (w) **“Term”** has the meaning set out in section 2.1 herein.

2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2023, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).

2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.

2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

3. SECTION 219 COVENANT

3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, RSBC 1996, c. 250 that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands will be used and built on only in strict compliance with the terms and conditions of this Agreement and that:

- (a) the Lands shall not be subdivided or stratified except for a subdivision either under the *Strata Property Act* or *Land Title Act* to create a separate legal parcel for the Child Care;
- (b) the Rental Units in the Residential Building must be used for Rental Purposes only and all Rental Units must be owned and operated by the Owner, provided that the Mid-Market Rental Units may be operated by a non-profit entity engaged by the Owner and having expertise in non-market housing, with the approval of the Director, Planning and Development, and the Staff Units may be operated by the owner of the Child Care; and
- (c) no Rental Unit in the Residential Building must be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.

3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building must be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.

3.3 Pursuant to section 219(6) of the *Land Title Act*, RSBC 1996, c. 250 except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:

- (a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;
- (b) the Owner's default under this Agreement; and
- (c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.

4. TENANCY RESTRICTIONS

- 4.1 The unit mix for Rental Units in the Residential Building will be no fewer than 15 three-bedroom units, 14 two-bedroom units, 65 one-bedroom units and 24 studio units or as otherwise approved in writing by the Director, Planning and Development in their discretion.
- 4.2 The 13 Mid-Market Rental Units will be provided in the following unit mix: 2 studio units, 8 one-bedroom units, 1 two-bedroom unit, and 2 three-bedroom units. The Owner may only change this mix with the approval in writing by the Director, Planning and Development with such approval to be granted in their discretion. The Owner will be entitled to determine the locations of the 13 Mid-Market Rental Units within the Residential Building.
- 4.3 The Owner will rent the Mid-Market Rental Units at or below Affordable Rent and will enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy, the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.
- 4.4 The Staff Units will be rented at or below Affordable Rent and will be used for Rental Purposes and be managed and operated either by the Owner, their designated rental agent, or the operator of the Child Care and will, subject to Section 5.1(e), be used only to provide accommodation to staff of the Child Care. Ending the tenancy of an employee is subject to requirements of the RT Act. The Owner will be entitled to determine the locations of the Staff Units within the Residential Building.

5. OWNER'S OBLIGATIONS

- 5.1 Without limiting section 3.1 of this Agreement:
 - (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing and all Mid-Market Rental Units must be managed by one rental agent;
 - (b) Compliance with Tenant Relocation Plan: The Owner will fulfil all of the commitments set out in the Tenant Relocation Plan and if requested by the City at any time, will provide information to the City to confirm compliance with the Tenant Relocation Plan;
 - (c) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units. When a Mid-Market Rental Unit becomes available for a subsequent, new tenancy, the Owner will advertise the unit in accordance with the foregoing requirements for a period of at least one week;

- (d) Tenant Selection: the Owner will make the Mid-Market Rental Units available, both at the first tenancy and each subsequent tenancy, in the following order of priority:
- (i) If the Residential Building replaces an existing rental building, then tenants from the existing rental building on the Lands being replaced who have household incomes at or below the Maximum Household Income will be provided first right of refusal in the Mid-Market Rental Units, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (ii) Households who have been displaced from redevelopment elsewhere in the City who have household incomes at or below the Maximum Household Income will have second priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis
 - (iii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
 - (iv) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in sections 5.1(d)(i) to (iii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
 - (v) Tenants in Mid-Market Rental Units must not have an ownership interest in a residential property in the City or in a neighbouring municipality which the tenant could otherwise occupy and the Owner will require confirmation from the prospective tenant that they meet this requirement at the time of tenancy;
 - (vi) In determining whether a tenant meets the Maximum Household Income requirements or the requirement in section 5.1(d)(v), the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.

- (e) Tenant Selection for Staff Units: both at the first tenancy and each subsequent tenancy, the Staff Units will first be offered to staff who work at the Child Care. If no staff members who work at the Child Care seek to rent the Staff Units, then the Staff Units may be offered to other prospective tenants at market rates, provided that when such unit becomes available again, it becomes a Staff Unit and is offered for rent as set out in this Section 5.1(e).
- (f) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased below or at the permitted annual rent increase then set under the RT Act;
- (g) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (h) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith;
- (i) Information Regarding Unit Availability: If the City establishes a register for availability of Mid-Market Rental Units within the City, the Owner will provide to the City information regarding any Mid-Market Rental Units that become available for rent, in a form acceptable to the Director, Planning and Development;
- (j) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act* (as amended from time to time) the Owner will, on an annual basis at the time of Business License renewal and upon any other request by the City, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the "**Notice**") requiring the Owner to cure a default under this Agreement within 30 days of receipt of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.
- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.

- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.
- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

7. LIABILITY

- 7.1 Except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible; and
 - (b) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors, employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.
- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

8. GENERAL PROVISIONS

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement and notice of this Agreement which is required to be filed pursuant to the *Local Government Act*. The Owner will bear their

own costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.

8.2 Nothing in this Agreement:

- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
- (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or
- (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.

8.3 The Owner and the City agree that:

- (a) this Agreement is entered into only for the benefit of the City;
- (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
- (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.

8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.

8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 483 of the Act and as such will be binding on the Owner.

8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement and notice of this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.

8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.

8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver

of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.

- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.
- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver
141 West 14th Street
North Vancouver, British Columbia
V7M 1H9
Attention: Director, Planning & Development
Facsimile: 604.985.0576
Email: planning@cnv.org

The Owner: Kenwood Apartments Ltd.
3939 West 14th Street
Vancouver, British Columbia,
V6R 2X2
Attention:
Email: nelsonbrad54@gamil.com
Phone: 604-737-0400

KENWOOD APARTMENTS LTD., INC.NO. 0759503
3939 West 14th Avenue
Vancouver, British Columbia,
V6R 2X2

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.

- 8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.

9. INTERPRETATION

- 9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.
- 9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.
- 9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.
- 9.4 The words "must" and "will" are to be construed as imperative.
- 9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.
- 9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2023, No. 8893".
- 9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia.
- 9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

SCHEDULE A TENANT RELOCATION PLAN

1536 - 1550 Eastern Ave

Kenwood Apartments has submitted a rezoning application for their properties at 1536 and 1550 Eastern Avenue.

The proposal includes a 13-storey building with 105 rental homes, including 11 homes that will be 10% below the Canadian Mortgage and Housing Corporation's average rents, a 185-space daycare, as well as indoor and outdoor amenities. If you are interested in learning more about the proposal, please visit www.1550easternave.com.



Looking towards the northeast, across Eastern Avenue

Tenant Relocation Information

This provides an **overview of the Tenant Compensation Package** that is required per the City of North Vancouver's Residential Tenant Relocation Policy as part of any redevelopment application on projects that include existing tenants.

In order to ease the transition for existing tenants, Kenwood Apartments has assigned the current property manager, **Jason Trimark, who will be providing relocation assistance to tenants of 1536 and 1550 Eastern Avenue.**

Tenants living in either building today will have access to the following:

1. **Financial compensation** totaling three month's rent.
2. **Moving expenses** covered, up to \$1,000 for bachelor suites and one-bedroom homes and up to \$1,250 for two-bedroom homes.
3. **Assistance** in finding new accommodations:
 - Unless otherwise agreed upon, **three options comparable in unit type**, with at least one in the City of North Vancouver.
 - Options with rents no more than **10% above the Canadian Mortgage and Housing Corporation's average rents** for the area.
 - Where possible, **options tailored to tenants needs** (e.g., pet friendly, accessibility, smoke free, etc.).
4. The **Right of First Refusal** for any existing tenants wishing to move back into the new building:
 - Existing tenants will be provided with the **first opportunity to move back into the new building once complete with the opportunity to move into one of the 11 mid-market rental homes** included in the new building provided you qualify. This option will be provided in an order based on tenancy and seniority, with additional consideration for those in extenuating circumstances.

Kenwood Apartments will keep you up to date on the application process. Over the coming months you will likely have additional questions. As those arise, please feel free to reach Jason via email or phone.

Jason Trimark
Trimark Property Management
trimarkpm@gmail.ca
604.323.4467

Q&A About the Compensation Process

What if I want to move out right away? Do I still get compensation?

The compensation package will be available once the rezoning application has been approved by City Council. At this time, no council date has been set, however, Kenwood Apartments will keep you informed.

Do I need to work with Jason? Will this impact my compensation?

No. You are entitled to compensation regardless of whether you use Jason's assistance or not.

Do I need to notify Jason if I don't need assistance with finding new accommodation?

Yes. You don't need to use Jason to assist with your move, but you do need to tell him that you don't need assistance.

How will Jason help me find alternate accommodation?

Jason will meet with you to assess your needs and timeline. He will look for housing options that meet your requirements and provide them to you.

How do I register for one of the mid-market rental homes?

Upon moving out, we will ask you to complete a right of first refusal form that will include your contact information. Once the new building is complete, we will contact you and assess whether you qualify for a mid-market rental home. It is your responsibility to keep your contact information up to date.

How many options are available to me if I want to move back in once the building is complete?

Preference will be given to returning tenants for both market (94 suites) and below-market suites (11 suites). Those who apply to return to market suites will be subject to market rents in effect at the time of the contract.

How is my rental and moving expense compensation paid? What about my damage deposit?

2 cheques will be issued:

1. Rental compensation and moving expense compensation
2. Damage deposit return.

When will I get my cheques? Who do I get them from?

You will receive your cheques from Jason at the time you complete your move out inspection.

How do I ensure I receive my rental and moving expense compensation?

You must complete the following tasks to qualify for compensation:

1. Pay all rent in full
2. Provide a written notice to vacate (including your new address)
3. Empty your suite of all furniture and personal belongings
4. Return keys and fobs
5. Sign Tenant Relocation Compensation Form
6. Complete the Right of First Refusal Form, if applicable

**1536 – 1550 Eastern Avenue
City of North Vancouver**

Tenant Relocation Plan Addendum

March 2023

Prepared for: The City of North Vancouver
Submitted on Behalf of: Kenwood Apartments

PURPOSE

The following document is intended to serve as an addendum to the original Tenant Relocation Plan (TRP) for 1536-1550 Eastern Avenue submitted to the City of North Vancouver (CNV) in October 2020. This addendum outlines additional financial support that will be provided to eligible tenants.

BACKGROUND

In November 2020, Kenwood Apartments submitted a rezoning application for their properties located at 1536-1550 Eastern Avenue. The application to rezone these properties were required to comply with the 2015 CNV Residential Tenant Displacement Policy. Given years have passed since this policy was adapted, the Kenwood owners have decided to increase the relocation compensation for the qualifying tenants, as outlined below.

REVISED RELOCATION PACKAGE

The revised relocation package now includes:

- Financial Compensation equal to four months' rent for tenants residing in the building for less than five years and equal to four months' rent plus \$25 per month of tenancy for tenants residing in the building for more than five years.
- Payment of moving expenses up to \$1,000 for studio and 1-bedroom units and \$1,250 for two-bedroom units (there are no three-bedroom units in 1536-1550 Eastern Avenue)
- Assistance with identifying alternate accommodations.
- Right of First Refusal to a replacement rental unit on site
- Additional support or assistance for vulnerable tenants
- A minimum of four months' notice to vacate after a Demolition Permit has been issued by the CNV

OCCUPANCY REPORT

The following provides an overview of each building's occupancy including total number of units, unit size, and status.

1536 Eastern Avenue

Total number of units: 11

Unit	Tenancy Type	Tenancy Start	Rent	Unit Area (SF)	Bedrooms	Occupied?	Tenant Characteristics
1	Periodic	Dec 1, 2017	\$1,140	625	1	Yes	3 (family) - Age: 40-50 + 17
2	Periodic	Dec 1, 2018	\$900	850	1	Yes	2 (couple) - Age: 20-30
3	Periodic	Aug 1, 2019	\$1,520	525	2	Yes	2 (couple) - Age: 20-30
4	Periodic	Nov 1, 2020	\$1,125	625	1	Yes	Single – Age: 20-30
5	Periodic	Apr 1, 2020	\$1,500	625	2	Yes	1 – Age: 30-40
6	Periodic	Nov 1, 2021	\$1,450	625	2	Yes	1 – Age: 30-40
7	Periodic	Feb 15 th , 2022	\$1800	625	1	Yes	2 (couple) – Age: 20-30

8	Periodic	Apr 1, 2021	\$935	850	1	Yes	2 (couple) – Age: 20-30
9	Periodic	Jan 1, 2021	\$1,005	625	1	Yes	1 – Age: 20-30
10	Periodic	Oct 1, 2014	\$1,015	850	1	Yes	1 – Age: 20-30
11	Periodic	Jul 1, 2019	\$1,200	525	2	Yes	2 (couple) Age: 40-50

1550 Eastern Avenue

Total number of units: 24

Unit	Tenancy Type	Tenancy Start	Rent	Unit Area (SF)	Bedrooms	Occupied?	Tenant Characteristics
101	Periodic	Jun 1, 2011	\$1,046	625	1	Yes	2 – Age: 30-40
102	Periodic	Dec 1, 2020	\$1,475	850	2	Yes	3 – Age: 30-40
103	Periodic	Aug 11, 2021	\$900	525	0	Yes	2 (couple) – Age: 20-30
104	Periodic	Jan 6, 2021	\$1,300	625	1	Yes	1 – Age: 30-40
105	Periodic	Jul 1, 2012	\$1,103	625	1	Yes	3 (family) Age: 30-40 + 2
106	Periodic	May 15, 2015	\$1,050	625	1	Yes	2 (couple) – Age: 30-40
107	Periodic	May 1, 2021	\$1,250	625	1	Yes	1 – Age: 30-40
108	Periodic	Sep 1, 2014	\$1,236	850	2	Yes	3 (family) – Age: 30-40 + 18
201	Periodic	May 15, 2019	\$1,075	625	1	Yes	2 – Age: 20-30
202	Periodic	Aug 1, 2017	\$1,308	850	2	Yes	4 (family) – Age: 30-40 + 8 & 9
203	Periodic	Feb 15, 2022	\$1,500	525	0	Yes	1 – Age: 30-40
204	Periodic	Feb, 2020	\$1,170	625	1	Yes	1 – Age: 30-40
205	Periodic	Apr 1, 2009	\$800	1,050	2	Yes	1 – Age: 50-60
206	Periodic	Aug, 2017	\$1,120	625	1	Yes	2 – Age: 50-60 + 18
207	Periodic	Dec 1, 2020	\$1,200	6250	1	Yes	1 – Age: 20-30
208	Periodic	Mar 1, 2021	\$1,357	850	2	Yes	1 – Age: 50-60
300	Periodic	Jun 1, 2012	\$1,275	850	2	Yes	2 – Age: 30-40

301	Periodic	Aug 1, 2022	\$1,050	625	1	Yes	1 – Age: 35-45
303	Periodic	Jun 1, 2012	\$1,040	525	0	Yes	1 – Age: 40-50
304	Periodic	Jun 1, 2012	\$1,001	625	1	Yes	2 – Age: 50-60 + 30-40
305	Periodic	Nov 1, 2020	\$1,456	1,050	2	Yes	1 – Age: 30-40
306	Periodic	Jun 1, 2015	\$1,046	625	1	Yes	1 – Age: 40-50
307	Periodic	Jun 1, 2017	\$1,160	625	1	Yes	3 – Age: 40-50 + 16
308	Periodic	Sep 1, 1992	\$1,106	850	2	Yes	1 – Age: 55-65, with a pet (cat)

TENANT COMMUNICATION

Tenants have been engaged and informed throughout the application process and will continue to be informed. A letter will be sent in the coming days notifying tenants of the revised compensation package. A copy of this letter is enclosed herein.

Encl: March 2023 Tenant Update Letter

March 2023 Tenant Update Letter

March 15, 2023

Dear Resident,

As you know Kenwood Apartments (Kenwood) submitted a rezoning application to redevelop the property at 1536-1550 Eastern Avenue in 2020.

Today's letter is intended to provide you with the following:

1. An update on the rezoning process
2. Information about changes we are making to the Tenant Relocation Package, and
3. An updated timeline for construction.

Since our last letter, Kenwood has worked with the City to progress the application. The proposal is still for a 13-storey residential building with 118 residential rental homes. Of these homes, 12 will be 10% below the Canadian Mortgage and Housing Corporation's average rents. The proposal also includes an 81-space daycare facility, as well as indoor and outdoor amenities for residents.

It is anticipated that the revised application will be at City Council in the coming months. At this meeting, Council can choose to move the application forward to a public hearing. During the public hearing, the application is presented to City Council, input is received from members of the community, and Council makes a decision on the application.

If Council approves the project at a public hearing, a Building Permit application will then need to be submitted and reviewed by the City. Following a public hearing, we anticipate that the additional required permitting will take approximately 6-9 months before any construction could begin. However, we will keep you informed as the application moves forward.

As discussed in our one-on-one meetings in the summer of 2021 if the application is approved, tenants who have been living in the building since the time before an application was submitted are eligible for a tenant relocation package. We'd like to inform you that Kenwood has decided to increase the relocation compensation to tenants.

The revised relocation package now includes::

1. Financial Compensation four months' rent for tenants residing in the building for less than five years and four months' rent plus \$25 per month of tenancy for tenants residing in the building for more than five years
2. Payment for moving expenses of up to \$1,000 for studio and 1-bedroom units and \$1,250 for two-bedroom units
3. Assistance with identifying alternate accommodations
4. Right of First Refusal to a replacement rental unit on site
5. Additional support or assistance for vulnerable tenants
6. A minimum of four months' notice* to vacate after a Demolition Permit has been issued by the City

If you have questions about the compensation or your eligibility, please feel free to contact me via phone (604.323.4467) or email (trimarkpm@gmail.com).

Yours truly,

Jason Trimark
Trimark Property Management
trimarkpm@gmail.com
604.323.4467

Cc: David Johnson, Development Planning Manager, City of North Vancouver

*per the BC Residential Tenancy Act

You can read the City of North Vancouver's Residential Tenant Displacement Policy online at: <http://www.cnv.org/-/media/city-of-north-vancouver/documents/housing/residential-tenant-displacement-policy-adopted---november-16-2015.ashx?la=en>

You may also wish to seek more information regarding your rights under the Residential Tenancy Act, available on the Residential Tenancy Branch website at <http://www.rto.gov.bc.ca>