



**AGENDA FOR THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON **MONDAY, JULY 11, 2022 AT 6:00 PM****

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“Live” Broadcast via City Website [www.cnv.org/LiveStreaming](http://www.cnv.org/LiveStreaming)  
Complete Agenda Package available at [www.cnv.org/CouncilMeetings](http://www.cnv.org/CouncilMeetings)

*The City of North Vancouver acknowledges that this Council meeting is held on the traditional territories of the Squamish and Tsleil-Waututh Nations.*

**CALL TO ORDER**

**APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, July 11, 2022

**ADOPTION OF MINUTES**

2. Regular Council Meeting Minutes, June 27, 2022

**PUBLIC INPUT PERIOD**

**CONSENT AGENDA**

Items \*3, \*4, \*5, \*6 and \*7 are listed in the Consent Agenda and may be considered separately or in one motion.

**BYLAWS – ADOPTION**

- \*3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8877” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741)
- \*4. “Housing Agreement Bylaw, 2022, No. 8923” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741, Rental Housing Commitments)
- \*5. “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits)

**CORRESPONDENCE**

- \*6. Board in Brief – Metro Vancouver Regional District, June 24, 2022

**REPORT**

- \*7. 615 East 3<sup>rd</sup> Street – Funding Reallocation to Complete Off-Site Works

**PUBLIC HEARING – 328 West 14<sup>th</sup> Street**

**BYLAWS – THIRD READING**

8. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street, CD-756)
9. “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street)

**PUBLIC MEETING – 520 East 1<sup>st</sup> Street**

**MOTION**

10. Development Variance Permit No. PLN2022-00013 (520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue)

**BYLAW – ADOPTION**

11. “Taxation Exemption Bylaw, 2022, No. 8938”

**REPORT**

12. Highways Closing and Disposition Bylaw – 1345 Delbruck Avenue

**BYLAW – FIRST, SECOND AND THIRD READINGS**

13. “Highways Closing and Disposition Bylaw, 2022, No 8927” (Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue)

**REPORTS**

14. Rezoning Application: 357 East 22<sup>nd</sup> Street (Karl Wein / Karl Wein & Associates)
15. Child Care Progress Update
16. North Shore Homelessness Action Initiative Final Report

**PUBLIC CLARIFICATION PERIOD**

**COUNCIL INQUIRIES / REPORTS**

**NEW ITEMS OF BUSINESS**

**NOTICES OF MOTION**

**RECESS TO CLOSED SESSION**

**REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

**ADJOURN**



## **CALL TO ORDER**

## **APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, July 11, 2022

## **ADOPTION OF MINUTES**

2. Regular Council Meeting Minutes, June 27, 2022

## **PUBLIC INPUT PERIOD**

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.” The time allotted for each speaker addressing Council during the Public Input Period is 2 minutes, with the number of speakers set at 5 persons. Speakers’ comments will be audio recorded, as well as live-streamed on the City’s website, and will form part of the public record.

Speakers during the Public Input Period are permitted to join the meeting electronically via Webex or in person in the Council Chamber.

There are 2 ways to sign up to speak during the Public Input Period.

- 1) Speakers who choose to participate electronically must pre-register by 12:00 noon on the day of the Council meeting by completing the online form at [cnv.org/PublicInputPeriod](http://cnv.org/PublicInputPeriod), or by phoning 604-990-4230 to provide contact information. Pre-registrants will receive instructions via email or phone on the afternoon of the Council meeting, including a request to connect to the meeting 15-30 minutes before the meeting start time.
- 2) Speakers who choose to participate in person must sign the speaker list located outside the Council Chamber between 5:30 and 5:55 pm on the day of the Council meeting.

If a speaker has written material to accompany their comments, the material must be sent to the Corporate Officer at [clerks@cnv.org](mailto:clerks@cnv.org) no later than 12:00 noon on the day of the Council Meeting.

The Public Input Period offers an opportunity to express comments only; Council is there to listen only and questions will not be responded to. Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items listed in section 12.25(2).

Speakers are not to address matters that refer to items from a concluded Public Hearing or Public Meeting. When a Public Hearing or Public Meeting is scheduled on the same evening’s agenda, speakers are asked to only provide input when that matter comes forward for discussion on the agenda in order for the comments to be considered as part of the particular Public Hearing or Public Meeting. Otherwise the input cannot be considered or form part of the official record.

Please address the Mayor as “Your Worship” or “Mayor, followed by his/her surname”.  
Councillors should be addressed as “Councillor, followed by their surname”.

## **CONSENT AGENDA**

Items \*3, \*4, \*5, \*6 and \*7 are listed in the Consent Agenda and may be considered separately or in one motion.

### **RECOMMENDATION:**

THAT the recommendations listed within the “Consent Agenda” be approved.

## **START OF CONSENT AGENDA**

### **BYLAWS – ADOPTION**

- \*3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8877” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741)

### **RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8877” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

- \*4. “Housing Agreement Bylaw, 2022, No. 8923” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741, Rental Housing Commitments)

### **RECOMMENDATION:**

THAT “Housing Agreement Bylaw, 2022, No. 8923” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741, Rental Housing Commitments) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

- \*5. “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits)

### **RECOMMENDATION:**

THAT “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**CONSENT AGENDA – Continued**

**CORRESPONDENCE**

- \*6. Board in Brief, Metro Vancouver Regional District, June 24, 2022  
– File: 01-0400-60-0006/2022

Re: Metro Vancouver – Board in Brief

**RECOMMENDATION:**

THAT the correspondence from Metro Vancouver, dated June 24, 2022 regarding the “Metro Vancouver – Board in Brief”, be received and filed.

**REPORT**

- \*7. 615 East 3<sup>rd</sup> Street – Funding Reallocation to Complete Off-Site Works  
– File: 11-5330-20-0069/1

Report: Acting Director, Engineering Parks and Environment, June 29, 2022

**RECOMMENDATION:**

PURSUANT to the report of the Acting Director, Engineering Parks and Environment, dated June 29, 2022, entitled “615 East 3<sup>rd</sup> Street – Funding Reallocation to Complete Off-Site Works”:

THAT \$249,000 of existing funding from “SeaBus Upgrades” (Project #51184) and \$60,000 of existing funding from “Moodyville Traffic Signals” (Project #53250) be reallocated to “600 Block East 3<sup>rd</sup> Street Off-Site Works” (Project #51203) to allow for the award of tender and construction of off-site works at 615 East 3<sup>rd</sup> Street;

AND THAT should any of the amount remain unexpended as at December 31, 2022, the unexpended balance shall be returned to the credit of the Civic Amenity Reserve Fund.

**END OF CONSENT AGENDA**

**PUBLIC HEARING – 328 West 14<sup>th</sup> Street – 6:00 pm**

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street, CD-756) and “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street) would rezone the subject property from a One-Unit Residential 1 (RS-1) Zone to a Comprehensive Development 756 (CD-756) Zone to permit the development of 2 detached infill units, to support the retention, rehabilitation and designation of the existing Heritage ‘A’ Building.

*Bylaw Nos. 8935 and 8932 to be considered under Items 8 and 9.*

**AGENDA**

- Staff presentation
- Applicant presentation
- Representations from the public
- Questions of Council
- Motion to conclude the Public Hearing

**BYLAWS – THIRD READING**

8. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street, CD-756)

**RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street, CD-756) be given third reading.

9. “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street)

**RECOMMENDATION:**

THAT “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street) be given third reading.

**PUBLIC MEETING – 520 East 1<sup>st</sup> Street** (following Item 9)

Development Variance Permit No. PLN2022-00013 would vary the on-site parking requirement at the subject property from 104 parking spaces to 74. As a condition of the DVP, all residential strata units would be required to be held in single ownership and secured as rental units for a period of 20 years. These requirements would be secured through a Section 219 Restrictive Covenant to be registered on title of the property.

*Development Variance Permit No. PLN2022-00013 to be considered under Item 10.*

**AGENDA**

Staff presentation

Applicant presentation

Representations from the public

Questions of Council

Motion to conclude the Public Meeting

**MOTION**

10. Development Variance Permit No. PLN2022-00013 (520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue) – File: 08-3400-20-0085/1

**RECOMMENDATION:**

THAT Development Variance Permit No. PLN2022-00013 (520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue) be issued to Wall North Vancouver Townhome Ltd., Inc. No. BC1138119, in accordance with Section 498 of the *Local Government Act*,

AND THAT the Mayor and Corporate Officer be authorized to sign Development Variance Permit No. PLN2022-00013.

**BYLAW – ADOPTION**

11. “Taxation Exemption Bylaw, 2022, No. 8938”

**RECOMMENDATION:**

THAT “Taxation Exemption Bylaw, 2022, No. 8938” be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

## **REPORT**

12. Highways Closing and Disposition Bylaw – 1345 Delbruck Avenue  
– File: 06-2260-01-0001/2022

Report: Manager, Real Estate, May 26, 2022

### **RECOMMENDATION:**

PURSUANT to the report of the Manager, Real Estate, dated May 26, 2022, entitled “Highways Closing and Disposition Bylaw – 1345 Delbruck Avenue”:

THAT “Highways Closing and Disposition Bylaw, 2022, No. 8927” (Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue) be considered;

THAT any further required notices be given in accordance with Sections 40 and 94 of the *Community Charter*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

## **BYLAW – FIRST, SECOND AND THIRD READINGS**

13. “Highways Closing and Disposition Bylaw, 2022, No 8927” (Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue)

### **RECOMMENDATION:**

THAT “Highways Closing and Disposition Bylaw, 2022, No 8927” (Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue) be given first, second and third readings.

## **REPORTS**

14. Rezoning Application: 357 East 22<sup>nd</sup> Street (Karl Wein / Karl Wein & Associates)  
– File: 08-3400-20-0081/1

Report: Planner 1, June 29, 2022

### **RECOMMENDATION:**

PURSUANT to the report of the Planner 1, dated June 29, 2022, entitled “Rezoning Application: 357 East 22<sup>nd</sup> Street (Karl Wein / Karl Wein & Associates)”:

THAT the application submitted by Karl Wein / Karl Wein & Associates, to rezone the property located at 357 East 22<sup>nd</sup> Street from a One-Unit Residential 1 (RS-1) Zone to a One-Unit Residential 2 (RS-2) Zone be considered and no Public Hearing be held, in accordance with the *Local Government Act*;

AND THAT notification be circulated in accordance with the *Local Government Act*.

**REPORTS – Continued**

15. Child Care Progress Update – File: 10-4750-01-0001/2022

Report: Planner 1, Long Range and Community Planning, June 29, 2022

**RECOMMENDATION:**

PURSUANT to the report of the Planner 1, Long Range and Community Planning, dated June 29, 2022, entitled “Child Care Progress Update”:

THAT the report of the Planner 1, Long Range and Community Planning, dated June 29, 2022, be received and filed.

16. North Shore Homelessness Action Initiative Final Report  
– File: 10-5040-04-0001/2022

Report: Manager, Long Range and Community Planning, June 29, 2022

**RECOMMENDATION:**

PURSUANT to the report of the Manager, Long Range and Community Planning, dated June 29, 2022, entitled “North Shore Homelessness Action Initiative Final Report”:

THAT the North Shore Homelessness Action Initiative Final Report be endorsed.

**PUBLIC CLARIFICATION PERIOD**

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

**COUNCIL INQUIRIES / REPORTS**

**NEW ITEMS OF BUSINESS**

**NOTICES OF MOTION**

**RECESS TO CLOSED SESSION**

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(e) [land matter], 90(1)(g) [legal matter], 90(1)(i) [legal advice] and 90(1)(k) [contract negotiations].

**REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

**ADJOURN**



## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### PUBLIC HEARING / PUBLIC MEETING GUIDELINES

The purpose of **Public Hearings** is to provide members of the public an opportunity to make representations to Council regarding proposed changes to zoning bylaws, heritage designations or the Official Community Plan. Public Hearings are included as part of a Regular Council agenda and governed by the provisions of the *Local Government Act*.

The purpose of **Public Meetings** is to provide members of the public an opportunity to make representations to Council regarding various issues and/or proposed changes that do not require a Public Hearing, such as a Development Variance Permit or Temporary Use Permit. North Vancouver residents can participate in the civic process of a Public Meeting that may affect their community, property and interests.

All persons who believe their interest in property is affected by a proposed bylaw or permit are afforded a reasonable opportunity to be heard, voice concerns or present written submissions regarding matters contained within the bylaw/permit.

All written submissions and representations made at a Public Hearing or Public Meeting will form part of the official public record. Minutes of the Public Hearing/Public Meeting and a video recording of the proceedings will be posted on the City's website at [cnv.org](http://cnv.org).

To provide written input: All written submissions must include your name and address. If this information is not provided, it cannot be included as part of the public record. Email submissions sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org) are preferred, and hand-delivered or mailed submissions will also be accepted. **The deadline to submit written submissions is 12:00 noon on the day of the Public Hearing/Public Meeting.**

To speak at a Public Hearing or Public Meeting:

In person at City Hall: On the day of the meeting, a sign-up sheet will be available in the lobby, outside the Council Chamber, from 5:30pm. Enter City Hall through the doors at the southwest corner of the building (off 13<sup>th</sup> Street) after 5:30pm.

Via Webex/phone: Pre-register by completing the online form at [cnv.org/PublicHearings](http://cnv.org/PublicHearings), or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on the day of the Public Hearing/Public Meeting.**

Non-registered speakers: Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at [cnv.org/LiveStreaming](http://cnv.org/LiveStreaming).

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## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### **PUBLIC HEARING / PUBLIC MEETING GUIDELINES – Continued**

Comments from the public must specifically relate to the proposed bylaw/permit or subject of the Public Hearing/Public Meeting. Speakers are asked to avoid repetitive comments and not to divert to other matters.

Speakers will be asked to confirm their name and address for the record and will be provided one 5-minute opportunity to present their comments. Everyone will be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views known.

Procedural rules for the conduct of a Public Hearing/Public Meeting are set at the call of the Chair. Council's main function is to listen to the views of the public regarding the change of land use in the proposed bylaw/permit. It is not the function of Council to debate the merits of an application with speakers. Questions from members of the public and Council must be addressed through the Chair.

Once the Public Hearing/Public Meeting concludes, no further information or submissions can be considered by Council.

Following adjournment of the Public Hearing/Public Meeting, the Regular meeting reconvenes and the bylaw/permit is discussed and debated by members of Council, followed by consideration of third reading of the bylaw or approval of the permit.

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**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE  
COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY  
HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON  
MONDAY, JUNE 27, 2022**

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**PRESENT**

**COUNCIL MEMBERS**

Mayor L. Buchanan  
Councillor D. Bell  
Councillor A. Girard\*  
Councillor T. Hu\*  
Councillor J. McIlroy  
Councillor T. Valente

*\*participated electronically*

**ABSENT**

Councillor H. Back

**STAFF MEMBERS**

L. McCarthy, CAO  
K. Graham, Corporate Officer  
C. Baird, Deputy Corporate Officer  
J. Peters, Assistant City Clerk  
H. Granger, City Solicitor  
L. Sawrenko, Chief Financial Officer  
B. Johnson, Revenue Accountant  
M. Epp, Director, Planning and Development  
J. Draper, Deputy Director, Planning and Development  
R. Basi, Manager, Development Planning  
D. Johnson, Planner  
L. Maultsaid-Blair, Planner  
E. Chow, Planner  
H. Dang, Planner  
B. van der Heijden, Planner  
K. Magnusson, Acting Director, Engineering, Parks and Environment  
M. Hunter, Deputy Director, Engineering, Parks and Environment  
R. Skene, Director, Community and Partner Engagement  
G. Schalk, Public Safety Director and Fire Chief  
E. Dicken, Director, North Shore Emergency Management

The meeting was called to order at 6:00 pm.

**APPROVAL OF AGENDA**

Moved by Councillor Valente, seconded by Councillor McIlroy

1. Regular Council Meeting Agenda, June 27, 2022

**CARRIED UNANIMOUSLY**

**ADOPTION OF MINUTES**

Moved by Councillor Bell, seconded by Councillor McIlroy

2. Regular Council Meeting Minutes, June 20, 2022

**CARRIED UNANIMOUSLY**

## **PUBLIC INPUT PERIOD**

Nil.

## **CONSENT AGENDA**

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT the recommendations listed within the “Consent Agenda” be approved.

**CARRIED UNANIMOUSLY**

## **START OF CONSENT AGENDA**

### **BYLAWS – ADOPTION**

- \*3. “North Vancouver Cemetery Bylaw, 2011, No. 8109, Amendment Bylaw, 2022, No. 8920” (Fee Schedule and Memorial Regulations)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “North Vancouver Cemetery Bylaw, 2011, No. 8109, Amendment Bylaw, 2022, No. 8920” (Fee Schedule and Memorial Regulations) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

- \*4. “Development Cost Charge (Parks) Reserve Fund Bylaw, 2022, No. 8941” (2022 Capital Plan Funding)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Development Cost Charge (Parks) Reserve Fund Bylaw, 2022, No. 8941” (2022 Capital Plan Funding) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

- \*5. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2022, No. 8942” (2022 Capital Plan Funding)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2022, No. 8942” (2022 Capital Plan Funding) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

## **CONSENT AGENDA – Continued**

### **BYLAWS – ADOPTION – Continued**

- \*6. “General Local Election Bylaw, 2022, No. 8943”

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “General Local Election Bylaw, 2022, No. 8943” be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

- \*7. “Election Sign Bylaw, 2018, No. 8643, Amendment Bylaw, 2022, No. 8944”  
(Schedule A)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Election Sign Bylaw, 2018, No. 8643, Amendment Bylaw, 2022, No. 8944”  
(Schedule A) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

- \*8. “Automated Vote Counting System Authorization and Procedure Bylaw, 2022, No. 8946”

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Automated Vote Counting System Authorization and Procedure Bylaw, 2022, No. 8946” be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

### **REPORTS**

- \*9. 2021 Statement of Financial Information – File: 05-1880-20-0008/2021

Report: Chief Financial Officer, June 15, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Chief Financial Officer, dated June 15, 2022, entitled “2021 Statement of Financial Information”:

THAT the Statement of Financial Information for the year ended December 31, 2021 be approved and forwarded to the Ministry of Municipal Affairs.

**(CARRIED UNANIMOUSLY)**

## **CONSENT AGENDA – Continued**

### **REPORTS – Continued**

- \*10. Report Required Under the *Local Government (Green Communities) Statutes Amendment Act, 2008* – File: 05-1610-01-0001/2022

Report: Chief Financial Officer, June 15, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Chief Financial Officer, dated June 15, 2022, entitled “Report Required Under the *Local Government (Green Communities) Statutes Amendment Act, 2008*”:

THAT the report of the Chief Financial Officer, dated June 15, 2022, be received and filed.

**(CARRIED UNANIMOUSLY)**

- \*11. 2022 Appropriations #2 – Amendment – File: 16-8350-20-0039/1

Report: Chief Financial Officer, June 21, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Chief Financial Officer, dated June 21, 2022, entitled “2022 Appropriations #2 – Amendment”:

THAT (Funding Appropriation #2215), an amount of \$2,396,000, from the Carbon Reserve for the purpose of funding the 2022 Capital Plan, be amended to be from the Affordable Housing Reserve.

**(CARRIED UNANIMOUSLY)**

- \*12. Regional Public Works Mutual Aid Agreement – File: 11-5240-01-0001/2022

Report: Acting Director, Engineering, Parks and Environment, June 15, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Acting Director, Engineering, Parks and Environment, dated June 15, 2022, entitled “Regional Public Works Mutual Aid Agreement”:

THAT the City of North Vancouver enter into a new Regional Public Works Mutual Aid Agreement (2022) that supersedes similar previous agreements from 1988 and 2000;

THAT the role of “Authorized Representative” in the new agreement be delegated to the Director, Engineering, Parks and Environment;

*Continued...*

## **CONSENT AGENDA – Continued**

### **REPORTS – Continued**

- \*12. Regional Public Works Mutual Aid Agreement – File: 11-5240-01-0001/2022  
– Continued

THAT the Mayor and Corporate Officer be authorized to sign the new agreement;

AND THAT, once the new agreement is in place, the City terminate its participation in the Public Works – Mutual Aid Agreement for Emergencies (1988) and the GVRD Public Works Mutual Aid Agreement (2000).

**(CARRIED UNANIMOUSLY)**

- \*13. Appointment to Federation of Canadian Municipalities Committees and Forums  
– File: 01-0530-01-0001/2022

Report: Corporate Officer, June 21, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Corporate Officer, dated June 21, 2022, entitled “Appointment to Federation of Canadian Municipalities Committees and Forums”:

THAT Councillor McIlroy be appointed as the City of North Vancouver representative to the Federation of Canadian Municipalities Committees and Forums, for the term ending on May 31, 2023;

THAT, on approval of appointment, expenses be paid in accordance with “Council Expense Bylaw, 2003, No. 7487”;

AND THAT funds be allocated in the annual budget for future travel expenditures.

**(CARRIED UNANIMOUSLY)**

### **END OF CONSENT AGENDA**

### **PUBLIC HEARING – 124 West 20<sup>th</sup> Street**

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT the meeting recess to the Public Hearing regarding “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8898” (124 20<sup>th</sup> Street Holdings Ltd. Inc., No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746) and “Housing Agreement Bylaw, 2022, No. 8899” (124 20<sup>th</sup> Street Holdings Ltd., Inc. No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746, Rental Housing Commitments).

**CARRIED UNANIMOUSLY**

The meeting recessed to the Public Hearing at 6:01 pm and reconvened at 6:53 pm.

## **BYLAWS – THIRD READING**

14. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8898” (124 20<sup>th</sup> Street Holdings Ltd., Inc. No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8898” (124 20<sup>th</sup> Street Holdings Ltd., Inc. No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746) be given third reading.

**CARRIED UNANIMOUSLY**

15. “Housing Agreement Bylaw, 2022, No. 8899” (124 20<sup>th</sup> Street Holdings Ltd. Inc. No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746, Rental Housing Commitments)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Housing Agreement Bylaw, 2022, No. 8899” (124 20<sup>th</sup> Street Holdings Ltd. Inc. No. BC1081725 / RLA Architects, 124 West 20<sup>th</sup> Street, CD-746, Rental Housing Commitments) be given third reading.

**CARRIED UNANIMOUSLY**

## **BYLAWS – FIRST, SECOND AND THIRD READINGS**

16. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8934” (Mehrdad Rahbar / Vernacular Design Corp., 646 East 4<sup>th</sup> Street, RS-2)

Moved by Councillor Bell, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8934” (Mehrdad Rahbar / Vernacular Design Corp., 646 East 4<sup>th</sup> Street, RS-2) be given first and second readings.

**CARRIED UNANIMOUSLY**

Moved by Councillor Bell, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8934” (Mehrdad Rahbar / Vernacular Design Corp., 646 East 4<sup>th</sup> Street, RS-2) be given third reading.

**CARRIED UNANIMOUSLY**

17. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8905” (Cascadia Green Development Company / WA Architects, 800 Marine Drive, CD-755)

Moved by Councillor McIlroy, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8905” (Cascadia Green Development Company / WA Architects, 800 Marine Drive, CD-755) be given first and second readings.

**CARRIED UNANIMOUSLY**



## **BYLAWS – FIRST, SECOND AND THIRD READINGS – Continued**

17. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8905” (Cascadia Green Development Company / WA Architects, 800 Marine Drive, CD-755)  
– Continued

Moved by Councillor McIlroy, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8905” (Cascadia Green Development Company / WA Architects, 800 Marine Drive, CD-755) be given third reading.

**CARRIED UNANIMOUSLY**

## **PRESENTATIONS**

Living City Award Recipients 2022

Mayor Buchanan presented the 2022 Living City Awards to Queen Mary Community Elementary School; Sam Starr; Tom Riessner and Gabe Sentlinger.

The Living City Awards recognizes the efforts of community members committed to environmental sustainability.

Cool It! 2022 Recipients

Mayor Buchanan presented the 2022 Cool It! Challenge Award to Julie Eldon’s Grade 5 Class at Queen Mary Community Elementary School.

The Cool It! Challenge recognizes the efforts of the community members who play a key role in achieving climate action targets in the City.

North Shore Emergency Management – Council Update – Director, North Shore Emergency Management

The Director, North Shore Emergency Management provided a PowerPoint presentation regarding the “North Shore Emergency Management – Council Update” and responded to questions of Council.

## **REPORTS**

18. North Shore Emergency Management Annual Report and Extreme Heat Strategy  
– File: 14-7130-01/0001/2022

Report: Director, North Shore Emergency Management, June 15, 2022

Moved by Councillor Valente, seconded by Councillor McIlroy

PURSUANT to the report of the Director, North Shore Emergency Management, dated June 15, 2022, entitled “North Shore Emergency Management Annual Report and Extreme Heat Strategy”:

THAT the report the Director, North Shore Emergency Management, dated June 15, 2022, be received and filed.

**CARRIED UNANIMOUSLY**

## **REPORTS – Continued**

19. 2022 Living City Grants – File: 05-1850-20-0008/2022

Report: Planning Assistant, June 15, 2022

Moved by Councillor McIlroy, seconded by Councillor Valente

PURSUANT to the report of the Planning Assistant, dated June 15, 2022, entitled “2022 Living City Grants”:

THAT \$4,695 be appropriated from the Council Grants Reserve and that 2022 Living City Grants totaling \$19,695 be awarded as follows:

<b>Name of Applicant</b>	<b>Award Amount</b>
North Shore Neighbourhood House and the Edible Garden Project	\$4,000
Jump Buddies Fellowship	\$3,000
North Shore Streamkeepers	\$1,600
Greater Vancouver Orienteering Club	\$2,145
Access2Innovate Foundation	\$2,500
Urban Repurpose	\$3,000
The Craft Pod	\$1,500
St. Andrew’s United Church	\$1,950
<b>TOTAL</b>	<b>\$19,695</b>

THAT an increase to \$30,000 for the Living City Grant funding be considered in the 2023 budget;

AND THAT the following organization be notified that their application for a 2022 Living City Grant will not be funded:

**Name of Applicant**

Force of Nature – North Shore Alliance.

**CARRIED UNANIMOUSLY**

Councillor Valente recused himself at 8:46 pm, declaring a potential conflict of interest for Item 20 – “2023 Permissive Tax Exemptions” and Item 21 – “Taxation Exemption Bylaw, 2022, No. 8938”.

20. 2023 Permissive Tax Exemptions – File: 05-1970-07-0001/2022

Report: Chief Financial Officer, June 15, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Chief Financial Officer, dated June 15, 2022, entitled “2023 Permissive Tax Exemptions”:

THAT “Taxation Exemption Bylaw, 2022, No. 8938” be considered.

**CARRIED UNANIMOUSLY**  
(by members remaining)

## **BYLAW – FIRST, SECOND AND THIRD READINGS**

21. “Taxation Exemption Bylaw, 2022, No. 8938”

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Taxation Exemption Bylaw, 2022, No. 8938” be given first and second readings.

**CARRIED UNANIMOUSLY**  
(by members remaining)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT “Taxation Exemption Bylaw, 2022, No. 8938” be given third reading.

**CARRIED UNANIMOUSLY**  
(by members remaining)

Councillor Valente returned to the meeting at 8:48 pm.

## **REPORTS**

22. Development Variance Permit Applications: 253 East 28<sup>th</sup> Street (Bill Curtis / Bill Curtis & Associates Design Ltd.) – File: 08-3060-20-0247/1

Report: Planner 1, June 15, 2022

Moved by Councillor McIlroy, seconded by Councillor Bell

PURSUANT to the report of the Planner 1, dated June 15, 2022, entitled Development Variance Permit Applications – 253 East 28<sup>th</sup> Street (Bill Curtis / Bill Curtis & Associates Design Ltd.):

THAT Development Variance Permit Nos. PLN2022-00011 and PLN2022-00017 be considered for issuance under Section 498 of the *Local Government Act* and referred to the same Public Meeting;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

**CARRIED UNANIMOUSLY**

## **REPORTS – Continued**

23. Rezoning Application and Heritage Designation – 245 East 10<sup>th</sup> Street (James Stobie / Synthesis Design Inc.) – File: 08-3400-20-0068/1

Report: Planner 1, June 15, 2022

Moved by Councillor Valente, seconded by Councillor Girard

PURSUANT to the report of the Planner 1, dated June 15, 2022, entitled “Rezoning Application and Heritage Designation – 245 East 10<sup>th</sup> Street (James Stobie / Synthesis Design Inc.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8936” (James Stobie / Synthesis Design Inc., 245 East 10<sup>th</sup> Street, CD-757) be considered and referred to a Public Hearing;

THAT “Heritage Designation Bylaw, 2022, No. 8937” (James Stobie / Synthesis Design Inc., 245 East 10<sup>th</sup> Street) be considered and referred to the same Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report section “Density Bonus and Community Benefits” be secured, through agreements at the applicant's expense and to the satisfaction of staff.

**CARRIED UNANIMOUSLY**

## **BYLAWS – FIRST AND SECOND READINGS**

24. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8936” (James Stobie / Synthesis Design, 245 East 10<sup>th</sup> Street, CD-757)

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8936” (James Stobie / Synthesis Design, 245 East 10<sup>th</sup> Street, CD-757) be given first and second readings.

**CARRIED UNANIMOUSLY**

25. “Heritage Designation Bylaw, 2022, No. 8937” (James Stobie / Synthesis Design Inc., 245 East 10<sup>th</sup> Street)

Moved by Councillor Valente, seconded by Councillor Girard

THAT “Heritage Designation Bylaw, 2022, No. 8937” (James Stobie / Synthesis Design Inc., 245 East 10<sup>th</sup> Street) be given first and second readings.

**CARRIED UNANIMOUSLY**

## **REPORT**

26. Development Procedures Bylaw Amendment – Streamlining of Development Variance Permit Requests – File: 01-0125-01-0001/2022

Report: Director, Planning and Development, June 15, 2022

Moved by Councillor Valente, seconded by Councillor McIlroy

PURSUANT to the report of the Director, Planning and Development, dated June 15, 2022, entitled “Development Procedures Bylaw Amendment – Streamlining of Development Variance Permit Requests”:

THAT “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits) be considered.

**CARRIED UNANIMOUSLY**

## **BYLAW – FIRST, SECOND AND THIRD READINGS**

27. “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits)

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits) be given first and second readings.

**CARRIED UNANIMOUSLY**

Moved by Councillor Valente, seconded by Councillor McIlroy

THAT “Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916” (Bill 26 Update for Minor Development Variance Permits) be given third reading.

**CARRIED UNANIMOUSLY**

## **NOTICE OF MOTION**

28. Homes that Meet Today’s Climate Context – File: 08-3400-01-0001/2022

Submitted by Mayor Buchanan

Moved by Mayor Buchanan, seconded by Councillor McIlroy

WHEREAS the City of North Vancouver Council vision is to be the healthiest small city with five key priorities, including a City for People;

WHEREAS a Liveable City leads the way in climate action and acts as a steward of the environment for future generations;

*Continued...*

## **NOTICE OF MOTION – Continued**

28. Homes that Meet Today's Climate Context – File: 08-3400-01-0001/2022  
– Continued

WHEREAS we all have the right to be safe and healthy in our own home, and extreme heat threatens that right;

WHEREAS climate change is a reality we cannot ignore and more extreme weather events are predicted to impact communities everywhere;

WHEREAS approximately 80% of City residents live in multi-family buildings, many built long before today's climate context;

AND WHEREAS in June 2022, the BC Coroners Service's Review of Heat-Related Deaths in BC in Summer 2021 report found that 619 lives were lost during the 2021 heat dome and that greater support for at-risk populations is needed during extreme heat emergencies;

THEREFORE BE IT RESOLVED THAT staff be directed to report to Council on the tools available to work with applicants early in the redevelopment process to ensure the homes being delivered will meet today's climate context, including enhanced cooling systems that respond to extreme heat;

BE IT FURTHER RESOLVED THAT staff be directed to report back on paths of advocacy and action to ensure multi-family homes are properly retrofitted to keep cool;

AND BE IT FINALLY RESOLVED THAT Mayor Buchanan, on behalf of Council, write to the federal and provincial Ministers responsible for housing, public safety, and the environment, stressing the threat extreme heat is to our individual health and the need for further investments in retrofitting BC.

**CARRIED UNANIMOUSLY**

## **PUBLIC CLARIFICATION PERIOD**

Nil.

## **COUNCIL INQUIRIES / REPORTS**

Nil.

## **NEW ITEMS OF BUSINESS**

Nil.

## **NOTICES OF MOTION**

Nil.

## **RECESS TO CLOSED SESSION**

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(g) [legal matter] and 90(1)(i) [legal advice].

**CARRIED UNANIMOUSLY**

The meeting recessed to the Committee of the Whole, Closed Session, at 9:25 pm and reconvened at 10:29 pm.

## **REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

29. Legal Matter – File: 11-5330-20-0069/1

Report: Acting Director, Engineering, Parks and Environment, June 16, 2022

Moved by Councillor Valente, seconded by Councillor McIlroy

PURSUANT to the report of the Acting Director, Engineering, Parks and Environment, dated June 16, 2022, regarding a legal matter:

THAT the action taken by the Committee of the Whole (Closed Session) be ratified;

AND THAT the wording of the recommendation and the report of the Acting Director, Engineering, Parks and Environment, dated June 16, 2022, remain in the Closed session.

**CARRIED UNANIMOUSLY**

## **ADJOURN**

Moved by Councillor Bell, seconded by Councillor Valente

THAT the meeting adjourn.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 10:30 pm.

*“Certified Correct by the Corporate Officer”*

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CORPORATE OFFICER

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# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8877

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8877**” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-741 (Comprehensive Development 741 Zone):

Lots	Block	D.L.	Plan
A (Reference Plan 9816)	114	274	878 from RH-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-740 Comprehensive Development 740 Zone”:

“CD-741 Comprehensive Development 741 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-740 Comprehensive Development 740 Zone”:

“CD-741 Comprehensive Development 741 Zone”

In the CD-741 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RH-1 Zone, except that:

- (1) The permitted Principal Use on the Lot shall be limited to:

- (a) Rental Apartment Residential Use;

- (2) Gross Floor Area

- (a) The maximum Gross Floor Area is 2.6 Floor Space Ratio (FSR);

- (b) Notwithstanding (2)(a), the Gross Floor Area may be increased as follows:

<b>ADDITIONAL (BONUS) DENSITY</b>			
<b>ADDITIONAL DENSITY CATEGORY</b>	<b>DESCRIPTION</b>	<b>ADDITIONAL DENSITY (BONUS)</b>	<b>POLICY REFERENCE</b>
Rental Housing	100 percent secured rental apartment units with a minimum of 10 percent of the units being mid-market	Maximum 910.2 square metres (9797.9 square feet)	As per OCP Policy Section 2.2.1

Such that the total effective on-site Gross Floor Area is not to exceed 3.3 FSR;

(3) Lot Coverage

The Principal Building shall not exceed a Lot Coverage of 57 percent;

(4) Section 510(3), Building Width and Length, shall be waived;

(5) Siting

Sections 513(4) and 513(5) shall be waived and the Principal Building shall be sited not less than:

(a) 4.57 metres (15 feet) from a front or rear property line;

(b) 3.20 metres (10.5 feet) from the west property line;

(c) 3.05 metres (10 feet) from the east property line;

(6) Off-Street Parking and Short-Term and Secure Bicycle Parking shall be provided in conformity with the requirements of Division IV, Parts 9, and 10A, except that:

(a) A maximum of 39% small car parking spaces may be provided;

(7) A building constructed on the lot shall achieve an energy efficiency of Step 3 or better, subject to Section 419;

(8) Unit mix within the Rental Apartment Residential Use shall include a minimum 10 percent of three-bedroom or larger units;

- (9) All exterior finishes, design and landscaping shall be approved by the Advisory Design Panel.

READ a first time on the 18<sup>th</sup> day of October, 2021.

READ a second time on the 18<sup>th</sup> day of October, 2021.

RESCINDED second reading on the 25<sup>th</sup> day of April, 2022.

READ a second time, as amended, on the 25<sup>th</sup> day of April, 2022.

READ a third time on the 16<sup>th</sup> day of May, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8923

**A Bylaw to enter into a Housing Agreement (115 East Keith Road)**

**WHEREAS** Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

**NOW THEREFORE** the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2022, No. 8923**” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741, Rental Housing Commitments).
2. The Council hereby authorizes the agreement substantially in the form attached to this bylaw between The Corporation of the City of North Vancouver and Victoria Park (Denna Homes) GP Ltd. with respect to the lands referenced as 115 East Keith Road, “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8877” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741).
3. The Mayor and Corporate Officer are authorized to execute any documents required to give effect to the Housing Agreement.

READ a first time on the 25<sup>th</sup> day of April, 2022.

READ a second time on the 25<sup>th</sup> day of April, 2022.

READ a third time on the 16<sup>th</sup> day of May, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

## PART 2 – TERMS OF INSTRUMENT

### RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

**THIS AGREEMENT** dated for reference the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

BETWEEN:

**VICTORIA PARK (DENNA HOMES) GP LTD., INC.NO.**

600 Mountain Highway  
North Vancouver, BC  
V7J 2L6

(the “Owner”)

AND:

**THE CORPORATION OF THE CITY OF NORTH VANCOUVER,**  
a municipal corporation pursuant to the *Local Government Act* and  
having its offices at 141 West 14th Street, North Vancouver,  
British Columbia, V7M 1H9

(the “City”)

**WHEREAS:**

- A. The Owner is the registered owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant;
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has enacted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

**NOW THEREFORE** in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

## 1. DEFINITIONS

- (a) **“Act”** means the *Local Government Act*, RSBC. 2015 c.1 as amended from time to time;
- (b) **“Affordable Rent”** means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the “Private Apartment Average Rents” for the corresponding bedroom type in the City of North Vancouver as established by CMHC’s Housing Market Information Portal for the year the tenancy is entered into;
- (c) **“Agreement”** means this agreement as amended from time to time;
- (d) **“Commencement Date”** has the meaning set out in section 2.1 herein;
- (e) **“Council”** means the municipal council for the City of North Vancouver;
- (f) **“CMHC”** means Canada Mortgage and Housing Corporation;
- (g) **“Director of Planning”** means the chief administrator of the Department of Planning of the City and his or her successors in function and their respective nominees;
- (h) **“Dwelling Unit”** means a dwelling unit as defined in the City of North Vancouver’s “Zoning Bylaw 1995, No. 6700” as amended from time to time;
- (i) **“Lands”** means those lands and premises legally described as:  
  
Parcel Identifier: 009-870-822  
Lot A  
Block 114  
District Lot 274  
Plan 878;
- (j) **“Mid-Market Rental Units”** means the 8 Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;
- (k) **“Market Rental Units”** means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units;
- (l) **“Maximum Household Income”** means an annual gross household income determined by multiplying Affordable Rent by 12 to yield the households’ annual housing costs, and divided by 30% (0.30) to meet the standard definition of affordability.
- (m) **“Rental Purposes”** means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (n) **“Rental Units”** means the Market Rental Units and the Mid-Market Rental Units;

- (o) **“Residential Building”** means the six storey building to be constructed on the Lands to be used for Rental Purposes with 74 Dwelling Units;
- (p) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (q) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8896”;
- (r) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (s) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit; and
- (t) **“Term”** has the meaning set out in section 2.1 herein.

## 2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2022, No. 8923” (Victoria Park (Denna Homes) GP Ltd. / Integra Architecture Inc., 115 East Keith Road, CD-741, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).
- 2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.
- 2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

## 3. SECTION 219 COVENANT

- 3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, RSBC 1996, c. 250 that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands shall be used and built on only in strict compliance with the terms and conditions of this Agreement and that:
  - (a) the Lands shall not be subdivided or stratified;
  - (b) the Rental Units in the Residential Building shall be used for Rental Purposes only; and
  - (c) no Rental Unit in the Residential Building shall be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.
- 3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building shall be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.



- 3.3 Pursuant to section 219(6) of the *Land Title Act*, RSBC 1996, c. 250 except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;
  - (b) the Owner's default under this Agreement; and
  - (c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.

#### **4. TENANCY RESTRICTIONS**

- 4.1 The unit mix for Rental Units in the Residential Building shall be no fewer than 9 units of three or more bedrooms, 16 two-bedroom units, 5 one-bedroom units and 44 studio units, or as otherwise approved in writing by the Director of Planning in his or her discretion.
- 4.2 The 8 Mid-Market Rental Units shall be provided in the following unit mix: 5 studio units, 1 one-bedroom units, 1 two-bedroom unit, and 1 three-bedroom unit. The Owner may only change this mix with the approval in writing by the Director of Planning with such approval to be granted in his or her discretion. The Owner shall be entitled to determine the locations of the 8 Mid-Market Rental Units within the Residential Building.
- 4.3 The Owner shall enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy, the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.

#### **5. OWNER'S OBLIGATIONS**

- 5.1 Without limiting section 3.1 of this Agreement:
- (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing;
  - (b) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units;

- (c) Engagement of Third Party: the Owner will engage a non-profit third party entity (the "Selection Entity"), to be approved by the City, such approval not to unreasonably withheld and provided within fifteen (15) days of the Owner's request for approval (the "Approval Period"), to review selection of initial prospective tenants for the Mid-Market Rental Units to confirm that the Owner is making the Mid-Market Rental Units available in the order of priority set out in Section 5.1(d) and that initial tenants meet the eligibility requirements. In the event that the City does not approve the Owner's request within the Approval Period, then the Owner's choice of Selection Entity shall be deemed to be approved by the City, provided that the Selection Entity is either a society incorporated under the Societies Act, not-for-profit corporation incorporated under the Canada Not-for-profit Corporations Act or a registered charity with expertise in the area of tenant selection.
- (d) Tenant Selection: the Owner will make the Mid-Market Rental Units available in the following order of priority:
- (i) Tenants from the existing rental building on the Lands will be provided first right of refusal in the Mid-Market Rental Units, regardless of income, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
  - (ii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
  - (iii) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in Sections 5.1(d)(i) or (ii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
  - (iv) In determining whether a tenant meets the Maximum Household Income requirements, the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.

- (e) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased by the permitted annual rent increase then set under the RT Act.
- (f) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (g) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith; and
- (h) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act* (as amended from time to time) the Owner will, at Business License renewal on an annual basis, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

## 6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the "**Notice**") requiring the Owner to cure a default under this Agreement within 30 days of receipt of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.
- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.
- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.

- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

## **7. LIABILITY**

- 7.1 Except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible; and
  - (b) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors, employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.
- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

## **8. GENERAL PROVISIONS**

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement. The Owner will bear their own costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.
- 8.2 Nothing in this Agreement:
- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
  - (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or

- (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.
- 8.3 The Owner and the City agree that:
  - (a) this Agreement is entered into only for the benefit of the City;
  - (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
  - (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.
- 8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.
- 8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 483 of the Act and as such will be binding on the Owner.
- 8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.
- 8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.
- 8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.
- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.

- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver  
141 West 14<sup>th</sup> Street  
North Vancouver, British Columbia  
V7M 1H9  
**Attention: Director, Planning**  
Facsimile: 604.985.0576

The Owner: Victoria Park (Denna Homes) GP Ltd., Inc  
600 Mountain Highway  
North Vancouver, BC  
V7J 2L6

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.
- 8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.

## **9. INTERPRETATION**

- 9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.
- 9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.
- 9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.
- 9.4 The words "must" and "will" are to be construed as imperative.

- 9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.
- 9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2022, No. 8923".
- 9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia.
- 9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

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# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8916

### A Bylaw to amend “Development Procedures Bylaw, 2001, No. 7343”

The Council of the Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Development Procedures Bylaw, 2001, No. 7343, Amendment Bylaw, 2022, No. 8916**” (Bill 26 Update for Minor Development Variance Permits).
2. “Development Procedures Bylaw, 2001, No. 7343” is amended by:

A. Adding the following definition to Section 2:

“**Minor Development Variance Permit**” means a Development Variance Permit for a variance to the “Zoning Bylaw, 1995, No. 6700” that meets the following criteria:

- (a) 10% for minimum parking space provision for vehicles and bicycles, and this reduction may be increased to 25% if the variance is required for the preservation of mature on-site trees;
- (b) Any variance related to parking design standards, such as dimensions, siting and access;
- (c) Any variance related to loading requirements, including number of required loading spaces and design standards, such as dimensions, siting and access;
- (d) One parking space in areas designated ‘R1’ and ‘R2’ in the “Official Community Plan Bylaw, 2014, No. 8400”;
- (e) Any variance related to garbage and recycling storage facilities;
- (f) 25% for building setbacks and separations, lot coverage, open site space, and permeable surfaces;
- (g) Any variance related to patios and decks;
- (h) The lesser of 10% or one storey for building height; and
- (i) Less than 10% for building envelope dimensions, such as building width and length, upper storey step-backs and angular planes;

and any variance related to the “Sign Bylaw, 1992, No. 6363”.

- B. Replacing all instances of “Director of Community Development” with “Director of Planning and Development”.

- C. Deleting Section 6 in its entirety and replacing it with the following:

**“6. DELEGATION OF COUNCIL POWERS**

- (a) The Council delegates to the Director of Planning and Development the powers of the Council under s.490 of the *Local Government Act* to issue Development Permits in respect of Development Permit Areas established by the Official Community Plan, 2014, No. 8400, provided that they do not involve a variance to the Zoning Bylaw, 1995, No.6700, including the powers of the Council to require that the applicant provide security for the purposes of s.502 of the *Local Government Act*, however:
  - (i) The Director of Planning and Development reserves the ability to refer the Development Permit application to Council for consideration.
- (b) The Council delegates to the Director of Planning and Development the powers of the Council, pursuant to s.498.1 of the *Local Government Act*, to issue a Minor Development Variance Permit, subject to guidelines set out in Schedule “B”.
- (c) In imposing security requirements under s.502 of the *Local Government Act*, the Director of Planning and Development may require the applicant to provide as security:
  - (i) undertaking works, construction or other activities to satisfy a condition in the permit respecting landscaping; plus
  - (ii) provide a letter of credit in the amount of 1% of the estimated value of all construction occurring within the scope of the permit as calculated by a quantity surveyor, to be cashed if conditions of the permit with respect to development energy usage are not met and certified as such by a recognized professional within a period of 24 months following the issuance of a certificate of occupancy and/or at the discretion of the Director of Planning and Development.
- (d) In imposing the security requirements set out in section 6(d), the Director of Planning and Development may require security to be maintained for so long as there is a reasonable possibility of contravention of a landscaping condition, the creation of an unsafe condition, and the causing of harm to the environment in connection with the development authorized by the permit.
- (e) An owner of land whose Development Permit application or Minor Development Variance Permit application is subject to this section may, at any time following application submission or within 10 business days following being notified in writing of the Director of Planning and Development’s decision on their application, request Council reconsideration of their application by giving notice in writing to the Corporate Officer setting out the grounds for Council consideration, provided the owner has paid the applicable fee set out in Schedule “A”.
- (f) The Corporate Officer must notify the applicant of the date of the meeting at which the reconsideration will occur.

- (g) The Council may either confirm the decision of the Director of Planning and Development; or substitute its own decision, including the Development Permit or Minor Development Variance Permit conditions and amounts of security.
- (h) The Council delegates to the Director of Planning and Development the powers of the Council under s.242 of the *Strata Property Act* to act as the approving authority for applications to convert previously occupied buildings with fewer than three units to strata title."

D. Adding Schedule "B" as attached to this Bylaw.

READ a first time on the 27<sup>th</sup> day of June, 2022.

READ a second time on the 27<sup>th</sup> day of June, 2022.

READ a third time on the 27<sup>th</sup> day of June, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

## **SCHEDULE “B”**

### **MINOR DEVELOPMENT VARIANCE PERMIT CONSIDERATION GUIDELINES**

The following guidelines must be considered in the evaluation of Minor Development Variance Permit applications:

1. The proposed variance should be consistent with the goals, objectives and policies within the Official Community Plan and any other relevant policy documents including, but not limited to, the City’s housing policies, Mobility Strategy, Well-being Strategy, Climate and Environment Strategy, and Economic Strategy.
2. The proposed variance should be supported by a sound justification based on one or more of the following:
  - (a) an inability to reasonably develop a site in an efficient and effective manner while complying with bylaw requirements;
  - (b) a benefit to the community or surrounding properties as a result of a preferable form of development or outcome that is enabled through the proposed variance.
3. The proposed variance should not result in an unacceptable negative impact on neighbouring properties and should fully consider mitigation measures to reduce any identified negative impacts.
4. The proposed variance should not impose any costs on the municipality.
5. The proposed variance should not defeat the explicit or implicit intent of the bylaw requirement being varied.
6. The proposed variance should not result in any safety issues.

#### **Assessment by Categories**

In addition to the general guidelines above, the Director of Planning and Development shall consider the following specific guidelines for each type of variance outlined below:

1. Sign Bylaw Variances:
  - the variance request respecting size, number and placement of signs does not result in a significant increase in the total number or size of on-site signage and is in keeping with the aesthetic and character of the buildings and surrounding area; and
  - the effect of the variance does not result in safety concerns or adverse impact to neighbouring properties, such as light pollution.
2. Parking Variances:
  - the reduction is not expected to have undue impact on the on-street parking in the area;

- if there is a reasonable alternative to the minimum parking standard, particularly taking the intended uses of the building into consideration. These alternatives may include bicycle parking, personalized mobility aids parking, public transit passes or other measures as the Director of Planning & Development may deem appropriate;
  - in the case of a parking variance for the protection of mature on-site trees, the parking variance is a direct result of the reduction of parking stalls to ensure adequate soil volume for the long term health of said trees; and
  - any variance to the parking design, location would not result in any safety concerns or operational issues.
3. Garbage and Recycling Storage Facility Variances:
- consultation with the facility operator, as well as consultation with City Engineer, is required to ensure changes are operationally feasible;
  - noise impacts should be considered and the variance should not result in an increase in disruptive intermittent noise.
4. Building Siting Variances:
- that the variance to building siting requirements does not decrease the liveability of residential units and that there is a demonstration that the variance request does not result in undue impact on access to light and privacy.
5. Patio and Deck Variances:
- variance not to create undue privacy impact on adjoining neighbours; and
  - variance does not result in a significant increase of site coverage or impermeable surface on the lot;
6. Building Envelope Variances:
- variance to the building envelope or height be accompanied by supporting information clearly illustrating shadow and view impacts in a format acceptable to the Director of Planning & Development;
  - variance to building envelope and height be assessed for compatibility with adjacent land uses (both existing and as proposed in the OCP);
  - variance does not result in significant incremental shadow impacts, particularly where such an impact is to a sensitive public site, such as a park or greenspace; and
  - variance does not result in significant public view impacts as seen from the street or public spaces.

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**For Metro Vancouver meetings on Friday, June 24, 2022**

*Please note these are not the official minutes. Board in Brief is an informal summary. Material relating to any of the following items is available on request from Metro Vancouver. For more information, please contact: [media@metrovancover.org](mailto:media@metrovancover.org).*

**Metro Vancouver Regional District**

**E1.1 Alternative Transportation Study Part II: Access to Regional Parks Report**

**RECEIVED**

This report presented updated research about how people travel to regional parks. The original 1966 regional park system plan, *A Regional Parks Plan for the Lower Mainland Region*, anticipated that most visitors would travel by private automobile. Today around 25 per cent of regional park visitors come via sustainable transportation options. In 2020, Metro Vancouver initiated an alternative transportation study to better understand how to promote the use of cycling and public transit.

Part I of the study, completed in 2020, rated the relative connectivity of regional parks by cycling and public transit infrastructure. Part II reviewed other jurisdictions' practices, compared the Part I ratings to regional park visitor reported travel modes, highlighted key insights, and identified 11 possible actions to promote more alternative transportation use by regional park visitors. The study will be of value to member jurisdictions and other regional partners. Implementation of 11 short- to medium-term actions will require partnerships with member jurisdictions and other agencies.

The Board received the report for information and directed staff to share the report with TransLink and member jurisdictions.

**E2.1 Cannabis Retail Store Licence Application in the UEL (Burb Cannabis Corporation)**

**APPROVED**

Metro Vancouver is the local government responsible for making recommendations to the BC Liquor and Cannabis Regulation Branch (BCLCRB) on cannabis retail store licence applications in Electoral Area A, including in the University Endowment Lands (UEL). Burb Cannabis Corporation applied for a licence to the branch for a non-medical cannabis retail store to be located at 5784 University Boulevard in the UEL, and at the same time submitted a rezoning application for the same purpose to the UEL, which is responsible for local planning decisions. The UEL rezoning was approved by the Minister of Municipal Affairs in April 2022, and Metro Vancouver's role as the local government means it must consider the views of residents, comment on the general impact the store would have on the community, and provide a recommendation with reasons as to whether or not the BCLCRB should issue the licence.

At its June 9, 2022 meeting, the Electoral Area Committee considered the application and heard from delegations both in support of and opposition to the proposal. The Committee subsequently recommended the application.

The Board recommended to the BCLCRB that the licence for a non-medical cannabis retail store submitted by Burb Cannabis Corporation and proposed to be located at 5784 University Boulevard in the University Endowment Lands be issued for the following reason: to align with the University Endowment Lands approved rezoning, and directed staff to forward the supporting documentation.

**Reviewed by:**

*[Signature]*

CAO

**E2.2 UBCM Emergency Preparedness Grant Application for Electoral Area A (UBC)**

**APPROVED**

The Union of BC Municipalities has grants available through the Community Emergency Preparedness Fund to support members in increasing emergency preparedness and emergency response capacity. Metro Vancouver has long planned that emergency response in the Point Grey portion of Electoral Area A would best be coordinated through an area emergency operations centre established at the University of British Columbia, due to the area being home to the majority of Electoral Area A residents and because of its proximity to local agency representatives.

Through partnership with UBC, increasing the pool of emergency support services volunteers available to take care of the needs of displaced people following an emergency in the Point Grey area is a key gap in emergency preparedness that training funding would address.

The Board endorsed the grant application totalling \$25,000 from the Union of BC Municipalities to enhance emergency preparedness capacity in Electoral Area A.

**E2.3 Electoral Area A Community Works Fund – 2022 Projects (UNA/UBC)**

**APPROVED**

The Community Works Fund is delivered to all local governments in BC through a direct annual allocation to support local eligible priorities, and is distributed within Electoral Area A based on community population, with University Neighbourhoods Association (UNA) and University of British Columbia allotted approximately \$635,000 through 2023.

In June and September 2021, the Electoral Area A Director and staff met with community representatives to discuss potential projects to recommend for funding, and in May 2022, the UNA Board, with support from UBC, considered and endorsed three projects totaling \$435,101.

The Board approved funding from the Electoral Area A Community Works Fund as described for the following projects:

- Electric vehicle charging stations up to \$195,824
- Recycling receptacle replacement up to \$139,277
- Acadia neighbourhood active transportation improvements up to \$100,000

**E3.1 BC Lung Foundation – Contribution Agreement 2023-2025**

**APPROVED**

The BC Lung Foundation is a key partner in Metro Vancouver's air quality and climate change programs, linking regional programs and policies to lung health, facilitating dialogue, and advancing outreach and awareness. Staff proposed entering into a formal funding relationship with BC Lung, through a three-year contribution agreement in the amount of \$35,000 per year.





The funding will support key deliverables as specified in the agreement, such as an annual air quality and health workshop, an annual state of the air report, and the operation of an interagency committee comprised of representatives from environment and health departments from multiple orders of government as well as academia. The agreement also requires the submission of an annual report from BC Lung summarizing activities and deliverables.

The Board approved a three-year contribution agreement for Metro Vancouver to provide funding to the BC Lung Foundation in the amount of \$35,000 per year for the term January 1, 2023 to December 31, 2025.

### **E3.2 Best Management Practices for Invasive Species: Garlic Mustard, Poison Hemlock and Spurge Laurel**

**RECEIVED**

Adding to the existing library of technical guidance for priority invasive species, Metro Vancouver has been working with the Invasive Species Council of Metro Vancouver, the City of Surrey, other member jurisdictions and local experts to produce sets of best management practice guides; the latest set is for garlic mustard, poison hemlock, and spurge laurel. These documents provide information for practitioners about how to identify, track, report, dispose, prevent further spread, and effectively control these species, as well as regulatory requirements, monitoring and restoration tips, references and additional resources. Each guide also describes how these invasive species may adapt as our climate changes. An accompanying one-page fact sheet for each invasive species has been created to raise public awareness.

The Board received the report for information and directed staff to forward these best management practices and accompanying fact sheets to member jurisdictions for information.

### **E4.1 Appointment of Elected Officials for the 2022 General Local Election**

**APPROVED**

For the purposes of conducting the 2022 general local election for position of Electoral Area A Director on the MVRD Board, the Board appointed a Chief Election Officer and a Deputy Chief Election Officer at its January 2022 meeting. A recent staff vacancy has resulted in the need to reconsider those appointments.

The Board rescinded the appointments of Katie Karn as Chief Election Officer and of Janis Knaupp as Deputy Chief Election Officer, and appointed Janis Knaupp as Chief Election Officer and Dorothy Shermer as Deputy Chief Election Officer.

### **E4.2 UBCM 2022 Community Excellence Awards Nominations**

**APPROVED**

The UBCM Community Excellence Awards recognize UBCM members that have implemented projects or programs that demonstrate excellence in meeting the purposes of local government.

The Board supported submitting entries for the UBCM 2022 Community Excellence Awards, including:

- Excellence in Sustainability: Clean Air Plan
- Excellence in Service Delivery: Enhancement of the Regional Recycling Depot System in Metro Vancouver
- Excellence in Asset Management: Tracking 110,000+ Assets: Metro Vancouver's State of the Assets Reports

#### **G1.1 MVRD Dedication of Land as Regional Park Bylaw No. 1349, 2022**

**APPROVED**

Metro Vancouver undertakes an annual process to dedicate regional park land acquired in the previous year. Work is also underway to review regional park land that is not currently dedicated for inclusion in future bylaws. Included in the proposed bylaw, *Metro Vancouver Regional District Dedication of Land as Regional Park Bylaw, No. 1349, 2022*, is the regional park land acquired in 2021 and previously undedicated lands in Derby Reach Regional Park.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1349, 2022*, then passed and finally adopted it.

#### **G1.2 MVRD Dedication of Land as Regional Park Amendment Bylaw No. 1345, 2022 – Amends Bylaw 1061, 2007**

**APPROVED**

During a detailed review of previously dedicated parkland, it was discovered that there are a number of administrative amendments required in the *Greater Vancouver Regional District Dedication of Land as Regional Park Bylaw No. 1061, 2007*.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1061, 2007*, then passed and finally adopted it.

#### **G1.3 MVRD Dedication of Land as Regional Park Amendment Bylaw No. 1346, 2022 – Amends Bylaw 1076, 2008**

**APPROVED**

During a detailed review of previously dedicated parkland, it was discovered that there are a number of administrative amendments required in the *Greater Vancouver Regional District Dedication of Land as Regional Park Bylaw No. 1076, 2008*.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1076, 2008*, then passed and finally adopted said bylaw.

**G1.4 MVRD Dedication of Land as Regional Park Amendment Bylaw No. 1347, 2022 – Amends Bylaw 1111, 2009**

**APPROVED**

During a detailed review of previously dedicated parkland, it was discovered that there are a number of administrative amendments required in the *Greater Vancouver Regional District Dedication of Land as Regional Park Bylaw No. 1111, 2009*.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1111, 2009*, then passed and finally adopted said bylaw.

**G1.5 MVRD Dedication of Land as Regional Park Amendment Bylaw No. 1348, 2022 – Amends Bylaw 1300, 2020**

**APPROVED**

During a detailed review of previously dedicated parkland, it was discovered that there are a number of administrative amendments required in the *Greater Vancouver Regional District Dedication of Land as Regional Park Bylaw No. 1300, 2020*.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1300, 2020*, then passed and finally adopted the aforementioned bylaw.

**E1.6 MVRD Dedication of Land as Regional Park Amendment Bylaw No. 1344, 2022 – Amends Bylaw 1319, 2021**

**APPROVED**

During a detailed review of previously dedicated parkland, it was discovered that there are a number of administrative amendments required in the *Greater Vancouver Regional District Dedication of Land as Regional Park Bylaw No. 1319, 2021*. The amendments can be found in the attached bylaw.

The Board gave first, second and third readings to the *Dedication of Land as Regional Park Bylaw No. 1319, 2021*, then passed and finally adopted the aforementioned bylaw.

**I 1 Committee Information Items and Delegation Summaries**

**RECEIVED**

The Board received information items and delegation summaries from standing committees.

**Regional Parks Committee – June 8, 2022**

Information Items:

**5.9 t̓əmt̓əx̓w̓t̓ən/Belcarra Regional Park – Joint City of Port Moody and MVRD Bedwell Bay Rd Traffic Study results**

In 2021, Metro Vancouver partnered with the City of Port Moody to commission a traffic study for the section of Bedwell Bay Road adjacent and leading up to t̓əmt̓əx̓w̓t̓ən/Belcarra Regional Park.

Ongoing traffic congestion and safety concerns during peak park visitation days, and the desire for an active transportation connection to the park have established a need for safety improvements along this stretch of road.

The traffic study provides recommendations for development of a multi-use path, reconfiguration of the White Pine Beach Access Road and Tum-tumay Whueton Drive intersections, and establishment of dedicated parking at the float walk access area, to enhance existing roadside parking restrictions and digital traffic signboard and social media communication strategies. The traffic study findings have been endorsed by the City of Port Moody Transportation Committee, and will be presented to Port Moody Council for endorsement.

### **Electoral Area Committee – June 9, 2022**

Delegations:

#### **3.1 Steve Dowsley, Co-Founder and President, Burb Cannabis Corporation**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.2 Minister David Eby, MLA, Vancouver Point Grey**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.3 Guangrui (Maggie) Xia, Associate Professor, UBC**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.4 Ming Sally Geng**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.5 Randy Lines, RBL Innovations**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.6 Rishavraj Das, AMD Student Society of UBC**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.7 Connie Chen**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.8 Claire Huxtable**

Subject: Burb Cannabis Corporation Store in UEL

#### **3.9 Bert Hicks**

Subject: Burb Cannabis Corporation Store in UEL

### **Climate Action Committee – June 10, 2022**

Delegations:

#### **3.1 Tasha Murray, Executive Director, Invasive Species Council of Metro Vancouver, and Kevin Li, Chair, Regional Invasive Species Working Group**

Subject: Regional Invasive Species Management Support



Information Items:

### **5.1 2022 Update on Regional District Sustainability Innovation Fund Projects**

This report provides an update on 21 projects that were approved for funding in 2018 through to 2021 under the Sustainability Innovation Fund. The projects cover a wide variety of sustainability topics from climate action, air quality monitoring, buildings emissions reduction, to environmental protection and natural asset management. Of the 21 projects, four are now complete, one has been discontinued, and the rest are in progress.

### **Regional Culture Committee – June 15, 2022**

Information Items:

#### **5.1 MAXguide.org Update**

Maxguide.org was introduced 11 years ago as a free online tool for the arts and culture community to promote events taking place across the region. The website has seen incremental increases in membership and use over the years however, during the COVID-19 pandemic there was a noticeable decline in website traffic and use. In the last year, as public gathering and events have resumed, website traffic has returned to pre-pandemic volume. An assessment of the continued value of MAXguide.org will be undertaken in the fall of 2022. A report on the assessment will be provided to Committee in 2023.

#### **5.2 Metro Vancouver 2022 Regional Culture Grants: Adjudication Process**

Metro Vancouver's annual regional cultural project grants, funded from the Cultural Grants Reserve, support region-serving arts and culture projects. The allocation of the 2022 grants will continue to factor in considerations related to COVID-19 impacts and adapted project delivery resilient to evolving public health measures.

As was done with the 2021 grants, this year's grants consider an increase of \$150,000, as part of Metro Vancouver's restart and recovery support from the Province of BC's "COVID-19 Safe Restart Grant for Local Governments." This means the disbursement for 2022 Regional Culture Project Grants could total \$300,000.

Staff will undertake an initial review of all received applications and present shortlisted applications for adjudication by the Committee at its July 21, 2022 meeting. Adjudication will include a recommendation on the grant award for each successful proponent to a cap of \$10,000 per project. The Committee's recommended allocations will be presented to the July 29, 2022 MVRD Board meeting for final approval.

### **I2 Flood Update**

**RECIEVED**

The Commissioner provided an on-table verbal update about potential flooding resulting from the spring freshet, with potential impacts on Barnston Island in Electoral Area A.

## Greater Vancouver Water District

*No open agenda items.*

## Greater Vancouver Sewage and Drainage District

### **E1.1 Out-of-Region Trucked Liquid Waste Discharge Request (Super Save)**

**APPROVED**

Within GVS&DD Trucked Liquid Waste Bylaw No. 345, 2021, effective June 1, 2022 GVS&DD wastewater treatment plants will no longer accept trucked liquid waste generated outside the Metro Vancouver region, unless an out-of-region discharge number is authorized by the Board to assist neighbouring jurisdictions in exceptional circumstances. These discharges would still be subject to all *Trucked Liquid Waste Bylaw* provisions. In May 16, 2022, Super Save Toilet Rentals Inc. applied for discharge of out-of-region waste from Trans Mountain Pipeline construction portable toilets. Staff recommend the Board authorize the issuance of an out-of-region discharge number to Super Save Toilet Rentals Inc. for a four-month duration, to allow Super Save time to secure alternate disposal means. Acceptance for the full requested duration is not recommended because this waste is normally readily accepted at other facilities. This application is due to temporary operational challenges at the District of Hope's wastewater treatment plant, the past receiver of this waste.

The Board authorized staff to issue an out-of-region discharge number based on the application from Super Save Toilet Rentals Inc. to discharge out-of-region trucked liquid waste from June 1, 2022 to September 30, 2022 pursuant to the relevant bylaw as presented.

### **E1.1 Appointment of Deputy Sewage Control Manager and Enforcement Officer**

**APPROVED**

Recent changes in staff have resulted in a need to update staff appointments as Board-designated sewage control managers and officers under the GVS&DD Sewer Use Bylaw, the Environmental Management Act and the Offence Act.

The Board, pursuant to the GVS&DD Sewer Use Bylaw and the Environmental Management Act:

- rescinded the appointment of former Metro Vancouver employee Grant McGillivray as a deputy sewage control manager and as an officer
- appointed Metro Vancouver employee Maari Hirvi Mayne as a deputy sewage control manager
- appointed City of Vancouver employee Charla Brake as an officer

Additionally, pursuant to Section 28 of the Offence Act for the purpose of serving summons for alleged violations under the Sewer Use Bylaw, the Board rescinded the appointment of former Metro Vancouver employee Grant McGillivray and appointed City of Vancouver employee Charla Brake.

**G1.1 Greater Vancouver Sewerage and Drainage District Sewerage and Drainage Areas Boundaries Amending Bylaw No. 356, 2022 – Fraser Sewerage Area – City of Maple Ridge** **APPROVED**

Metro Vancouver provides sewerage services to its member jurisdictions and properties requesting regional sewerage services must be located in one of the GVS&DD's designated sewerage areas. Metro Vancouver received a council resolution from the City of Maple Ridge requesting the Fraser Sewerage Area be amended to include the property located at 13179 224 Street to facilitate a new sewer connection to the property. The property is currently serviced by an on-site treatment system which the City of Maple Ridge indicates cannot be upgraded due to space limitations.

At its May 27, 2022 meeting, the Metro Vancouver Regional District Board resolved that the extension of GVS&DD sewerage services to an existing restaurant and three additional existing businesses at 13179 224 Street in Maple Ridge is consistent with the provisions of *Metro 2040*. A Liquid Waste Services technical review indicated no material financial impact on the Fraser Sewerage Area and negligible additional impact to the regional sewerage system.

The Board gave first, second and third readings to the *GVS&DD Sewerage and Drainage Areas Boundaries Amending Bylaw No. 356, 2022*, then passed and finally adopted the aforementioned bylaw.

**G2.1 GVS&DD Development Cost Charge Rate Amending Bylaw No. 353, 2022** **APPROVED**

As part of a plan to update the liquid waste development cost charge (DCC) program more frequently, a program review was initiated in 2020, with approval from the GVS&DD Board in July 2021 to proceed with engagement on the proposed update to the liquid waste development cost charge program.

Significant engagement with industry, member jurisdictions, First Nations, and the public was undertaken in the fall of 2021 during which feedback and comments were received and addressed. Of note is the inclusion of interest associated with financing growth capital in the calculation of DCC rates based on specific feedback from member jurisdictions. In May 2022, Metro Vancouver received approval from the Inspector of Municipalities for the proposed DCC rates.

The Board passed and finally adopted the DCC amending bylaw.

**I 1 Committee Information Items and Delegation Summaries** **RECEIVED**

The Board received information items and delegation summaries from standing committees.

**Liquid Waste Committee – June 8, 2022**



Information Items:

## **5.2 2021 GVS&DD Environmental Management and Quality Control Annual Report**

Annual reporting of GVS&DD Environmental Management & Quality Control is a regulatory requirement under the *Integrated Liquid Waste and Resource Management Plan*. This report summarizes the performance, process control, and regional environmental quality information gathered through various monitoring programs and other environmental management initiatives. In 2021, Metro Vancouver wastewater treatment plants met performance expectations with respect to reduction of contaminant loadings to the receiving environment. Regional liquid waste discharges were effectively managed in a manner that is protective of human health and aquatic life.

## **Zero Waste Committee – June 16, 2022**

Information Items:

### **5.1 Waste-to-Energy Facility 2021 Financial Update**

This report provides the annual financial update for the Metro Vancouver Waste-to-Energy Facility. The facility continues to be an environmentally sound, low-cost regional disposal option. In 2021, the Waste-to-Energy Facility processed 241,531 tonnes of municipal solid waste, at a net unit cost of \$66.60 per tonne for operation and maintenance. The Waste-to-Energy Facility net unit cost decreased as compared to 2020, primarily due to increased electrical and metals revenues, and reduced bottom ash disposal costs.

### **5.2 Summer 2022 Zero Waste Programs and Events**

Metro Vancouver continues working towards its zero waste and circular economy goals and is committed to increasing waste diversion. As part of its efforts to encourage and promote reuse, recycling, and responsible disposal of materials, Metro Vancouver is supporting and hosting a variety of zero waste programs and events throughout the summer of 2022. Programs that will be implemented over the summer of 2022 include reuse days at Metro Vancouver recycling and waste centres, community repair events in collaboration with member jurisdictions, food recovery network online events, and the Electoral Area A barge cleanup event. These new and evolving programs focus on moving up the waste hierarchy towards a local circular, low-carbon economy through collaboration and strategic partnerships.

### **5.3 2022 Regional Clothing Waste Reduction Campaign Results**

Now in its fourth year, Metro Vancouver's Think Thrice About Your Clothes behaviour change campaign performed strongly in terms of engagement and the number of Metro Vancouver residents reached. The campaign's goal is to increase diversion of textiles from the waste stream by raising awareness of the textile waste problem and empowering residents to take action. While clothing donation and recycling options were encouraged, the campaign has put additional emphasis on reduction and reuse options. The campaign creative received significant updates for 2022, introducing a new platform that celebrates the lives of "caring owners," focusing on clothing items clothing and the stories they collect. The promotional strategy included broad reach and targeted digital tactics and delivered over 33 million impressions.



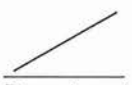

Post campaign research indicates that 55 per cent of residents who saw or heard Metro Vancouver advertising say they are more likely to donate their unwanted clothing, 48 per cent are more likely to buy clothing that lasts longer, 38 per cent are more likely to repair clothing, and 35 per cent are more likely to buy less clothing.

#### **5.4 Update on Metro Vancouver's Participation in the Love Food Hate Waste Canada Campaign**

As part of its commitment to waste prevention, Metro Vancouver successfully launched a regional Love Food Hate Waste (LFHW) campaign in 2015. LFHW inspires and empowers people to prevent household food waste. Building on the success of the regional campaign, the National Zero Waste Council, an initiative of Metro Vancouver, launched a national campaign engaging audiences across Canada through a partnership arrangement. Metro Vancouver is one of eight partners in this cross-Canada, bilingual campaign to prevent food waste. As a partner, Metro Vancouver receives creative for regional activations and benefits from national media buys, access to influencers, and press outreach. The campaign performed strongly regionally with close to four million total impressions, a reach of close to three million people, and close to 30,000 social media engagements. The national campaign delivered over 29.8 million impressions.

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**ENGINEERING, PARKS & ENVIRONMENT DEPARTMENT**

**COUNCIL REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Karyn Magnusson, Acting Director, Engineering Parks and Environment

Subject: 615 EAST 3<sup>RD</sup> STREET – FUNDING REALLOCATION TO COMPLETE OFF-SITE WORKS

Date: June 29, 2022 File No: 11-5330-20-0069/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Acting Director, Engineering Parks and Environment, dated June 29, 2022, entitled “615 East 3<sup>rd</sup> Street – Funding Reallocation to Complete Off-Site Works”:

THAT \$249,000 of existing funding from “SeaBus Upgrades” (Project #51184) and \$60,000 of existing funding from “Moodyville Traffic Signals” (Project #53250) be reallocated to “600 Blk E 3rd Str Off-Site Works” (Project #51203) to allow for the for the award of tender and construction of off-site works at 615 East 3<sup>rd</sup> Street;

AND THAT should any of the amount remain unexpended as at December 31, 2022, the unexpended balance shall be returned to the credit of the Civic Amenity Reserve Fund.

**PURPOSE**

The purpose of this report is to seek approval for allocation of available surplus funds to the 600 Block East 3<sup>rd</sup> Street Off-Site Works Project so that the City can construct the off-site works from the curb to the property line associated with the frontages at 615 East 3<sup>rd</sup> Street.

**DISCUSSION**

The development site at 615 East 3<sup>rd</sup> Street (the “Development”) was the first property to reach completion within the newly zoned Moodyville neighbourhood. At that time, TransLink was working with City staff to advance designs to accommodate bus lanes on

3<sup>rd</sup> Street and this caused a delay in finalizing the frontage design on 3<sup>rd</sup> Street, which would define the scope of the off-site works to be completed by the owner/developer under its Servicing Agreement.

It is highly unusual for a developer not to complete their off-site improvements during construction of their site but this instance of a regional infrastructure project caused a redesign of the works, which pushed possible delivery passed the occupancy date of the new residential building. As the developer no longer has a project team in place, it was mutually agreed that the best course of action to complete the work, that will benefit the residents of this building and the travelling public, is for the City to take on the work as permitted in the Servicing Agreement. The City has a Letter of Credit (LOC) from the developer to be put towards these works but cost escalation is resulting in additional funds to deliver the work. These costs are the responsibility of the developers and the City will continue negotiations with them.

Construction of the off-site works is important to provide the residents of this building and the travelling public the benefit of this amenity including the new sidewalk, new off-street mobility path, new street trees in new boulevards, new street lights, traffic signal upgrade, new curb and gutters and paving to centerline, all following the typical look and feel of the Moodyville streetscape character.

At this time, the City would focus on delivering elements of the design from the curb to the property line as this is what will bring the residents and the community the most amenity in terms of streetscape and will also provide safe and functional active transportation infrastructure for the neighbourhood as a whole. Some elements, such as street final paving and some aspects of the lane are best left to be bundled with adjacent construction or to be delivered within the scope of larger City programs in the coming years as that will provide best value to the City.

While current conditions provide pedestrians a safe place to walk, access to transit and the laneway has a paved surface, the state of the lane and frontages along East 3<sup>rd</sup> Street and Ridgeway Avenue do not meet the typical standard for public realm amenity at a newly constructed building and falls well short of the Moodyville neighbourhood standard and the off-street mobility lane on East 3<sup>rd</sup> Street is incomplete.

Staff are recommending proceeding with construction of the curb to property line elements of the design which would create the appropriate public realm amenity to the Moodyville standard. Should Council support this funding reallocation, staff will award the tender and construction would commence this summer. Staff will reach out to residents and non-resident owners of the building to inform them of the construction schedule and details.

## **FINANCIAL IMPLICATIONS**

Staff have closely evaluated the scope of works with our design consultant to be as cost effective as possible while still delivering an appropriate public realm experience for pedestrians, cyclists and transit users that is consistent with the 3<sup>rd</sup> Street corridor and Moodyville streetscape character. Steps were taken to mitigate unnecessary cost overages, which included value engineering many of the design elements to improve



constructability, tendering to a list of pre-qualified contractors and creating optional pricing for elements that can be cost effectively provided through a different process.

The current estimate to complete the immediate scope of work, namely elements from the curb to the property line including a modest contingency, is \$842,567, which is a significant escalation from what the estimated cost of the works were at the time that 615 East 3<sup>rd</sup> Street received building permit, but not out of line with price increases we have seen in the civil contracts tendered over the past 5 years.

Funding for this immediate scope of work include:

Funding			Value
<b>Available Developer Funds</b>			
Remaining Civil and Landscape LOC (developer funds)			\$534,566.94
<b>City Funds</b>			
Project #	Project Name	Description	Value
51184	SeaBus Upgrades	This project has surplus funds after delivering public art through the redesigned Lonsdale Quay Exchange. No further works are anticipated.	\$249,000
53250	Moodyville Traffic Signals	This project is intended to deliver required new signals in the Moodyville area, including an upgraded signal at Ridgeway and 3 <sup>rd</sup> Street. (This line does not require additional Council approval as these funds were allocated for this scope and location).	\$60,000
Total City Funds			\$309,000
<b>Total Estimated Civil and Landscape Works</b>			<b>\$842,566.94</b>

The source of funds for reallocation include two existing projects with unspent funds. First is the now completed SeaBus Bus Terminus Upgrade Project. The original scope of work included the removal of some paver treatments along the northern edge of Chadwick Court. This work is not safety related or time sensitive and it was felt that these residents have undergone a lot of disruptive construction over the past few years and so this scope has been eliminated at this time and will be considered in the future when the priority exists to advance it with new capital funds. Second is the Moodyville Traffic Signal Project which has delivered signal improvements through Moodyville in addition to the developer funded improvements.

Should Council not support the reallocation of funds, staff will proceed to produce a reduced scope of work matching the value of the developer LOC. This scope would likely result in a more traditional sidewalk and street treed boulevard and would be absent of the mobility lane, the enhanced planting and concrete curb work.

As the Servicing Agreement deems the developer responsible for costs associated with the off-site civil and landscape works, the City will continue to negotiate with the developer for the difference.

#### **INTER-DEPARTMENTAL IMPLICATIONS**

Staff from Finance and the City Solicitor have reviewed this report.

RESPECTFULLY SUBMITTED:



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Karyn Magnusson  
Acting Director, Engineering, Parks and  
Environment



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Huy Dang, Planner 1

Subject: REZONING AND HERITAGE DESIGNATION APPLICATION – 328  
WEST 14<sup>TH</sup> STREET (SCOTT MITCHELL / METRIC ARCHITECTURE)

Date: June 8, 2022 File No: 08-3400-20-0067/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 1, dated June 8, 2022, entitled  
“Rezoning and Heritage Designation Application – 328 West 14th Street (Scott  
Mitchell / METRIC Architecture)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8935”  
(Scott Mitchell / METRIC Architecture, 328 West 14th Street, CD-756) be  
considered and referred to a Public Hearing;

THAT “Heritage Designation Bylaw, 2022, No. 8932” (Scott Mitchell / METRIC  
Architecture, 328 West 14th Street) be considered and referred to the same  
Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report section “Density Bonus  
and Community Benefits” be secured, through agreements at the applicant’s  
expense and to the satisfaction of staff.

**ATTACHMENTS**

1. Context Map (CityDocs [2183351](#))
2. Architectural and Landscape Plans, dated May 19, 2022 (CityDocs [2187217](#))
3. Public Consultation Summary (CityDocs [2158295](#))
4. Heritage Conservation Plan, dated October 1, 2021 (CityDocs [2152206](#))



5. Heritage Restoration Works Estimate, dated May 25, 2022 (CityDocs [2183898](#))
6. Heritage Advisory Commission Resolution, dated May 2, 2022 (CityDocs [2184062](#))
7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935" (CityDocs [2183358](#))
8. "Heritage Designation Bylaw, 2022, No. 8932" (CityDocs [2184574](#))

## SUMMARY

This report seeks Council approval for a heritage retention and stratification application to rehabilitate an existing one-unit heritage residence into a two-unit development, each with lock-off units, in addition to providing two infill units in the rear. The proposal includes a Heritage Designation Bylaw to protect the existing Heritage 'A' building on the site in perpetuity.

## BACKGROUND

Applicant & Architect:	Scott Mitchell, METRIC Architecture
Official Community Plan Designation:	Residential Level 2 (R2)
Existing Zoning:	RS-1
Applicable Guidelines:	N/A

## DISCUSSION

### Site Context

This 650.5 square metre (7,002 square feet) site is located along West 14<sup>th</sup> Street with a frontage of 15.2 metre (50.0 feet). The buildings and uses immediately surrounding the subject site are described in Table 1 below.

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North (across the lane)	327 West 15 <sup>th</sup> Street	Single-detached home with suite	RS-1
South	327 West 14 <sup>th</sup> Street	Single-detached home	RS-1
West	330 West 14 <sup>th</sup> Street	Duplex and single-detached infill at the rear	CD-641
East	320-324 West 14 <sup>th</sup> Street	Single-detached home	RT-1

## Heritage Designation

### Heritage Value and Character

The heritage building on site is identified on the City's Heritage Register as the Knowles Residence. The building is listed with an 'A' ranking and has been recognized as having significant heritage value. See Figure 1 below.



**Figure 1:** *Heritage Register entry for Knowles Residence*

KNOWLES RESIDENCE  
328 West 14th Street  
William Knowles, Contractor (Assumed)  
1909  
REGISTER RANKING: A

**L**ocal contractor William Knowles (1879-1947) built this striking house, but lived here only briefly before building a new home on Larson Road. It displays the influences of the Arts and Crafts style, but its massing and proportion distinguish it from typical examples. The massive corner turret creates a distinct picturesque quality, providing the appearance of a grand manor house. The scale of the residence reflects the desire for grand homes of the people moving into North Vancouver prior to World War One, when the local housing market was booming and people were making small fortunes in speculative building. Its unusual style and imposing silhouette are unique in the neighbourhood.



As part of this application, the ongoing protection of the Knowles Residence will be secured in perpetuity through a Heritage Designation Bylaw (Attachment 8). Any future alteration to the house will need to be authorized by a heritage alteration permit in accordance with the Heritage Conservation Plan (Attachment 4), which will be registered on title through a Heritage Conservation Covenant.

#### Compatibility of Conservation with Area and Property

The site is located within close proximity to various heritage buildings sited in the blocks directly north and south. The site is within a transition area between lower to higher density areas in Central Lonsdale, with a mixture of detached housing forms and multi-residential developments that surround the block. The Residential Level 2 (R2) designation by the Official Community Plan supports duplexes and row home-type developments, which this proposal complies with.

### **PLANNING ANALYSIS**

#### Heritage Condition, Conservation and Additions

The proposal seeks to replace portions of the rear/north side of the building with additional floor area to the main, upper, and basement floors with new elevated decks. The building will be shifted closer towards the front property line on a new foundation, as the existing foundation was determined to be in poor condition. The existing front staircase will be replaced with a boxed-stairwell that fits appropriately with the architectural 'Arts and Crafts' style of the Knowles Residence, and the front upper-storey window will be opened up to support a balcony area for one of the two units. This improved stairwell configuration provides a better interface between the street and building entrance, and the rear decks will serve as both heritage unit's semi-private outdoor spaces.

The applicant's Heritage Conservation Plan (Attachment 4), which includes a statement of significance, further outlines the condition of the building and proposed conservation strategy for the preservation, restoration, and rehabilitation of the architectural style of the Knowles Residence, which includes:

- Preservation of rooflines and shingles, window assemblies and decorative leading, and cladding and siding throughout;
- Restoration of fascia boards and soffits, and wood window elements and trims;
- Rehabilitation of the roof and replica wood windows as needed.

Staff have reviewed the works proposed and support the works as they do not result in a significant alteration to the existing exterior massing, and character-defining elements of the building's front face as outlined under Section 3.3 of the Heritage Conservation Plan.

#### Infill Units and Economic Viability for Heritage Conservation

To help offset the costs associated with the heritage conservation efforts and building upgrades, the proposal includes two detached infill units at the rear of the site with an attached carport.

The detached infill buildings are designed to be compatible with the Knowles Residence, and the lower-profile and positioning of the buildings ensures that the heritage home remains as the focal point of the site. The infill buildings have been separated to reduce the overall massing, and the neutral colour pallet and modest exterior detailing presents a complimentary design that appears subordinate to the heritage home.

#### Heritage Density Bonusing

With the addition of the infill units, the site's proposed Gross Floor Area (GFA) will exceed the current density maximum of 0.5 FSR as per the property's Residential Level 2 (R2) land use designation. Section 2.2.1 of the Official Community Plan indicates that Council may approve additional floor area for the purposes of heritage conservation based on the individual merits of an application.

The applicant's Heritage Restoration Works Estimate (Attachment 5) provides an estimation of the construction costs of the proposed preservation, restoration, and rehabilitation works for the Knowles Residence, totaling \$436,300.

Staff are supportive of permitting the additional density on the basis that the proposed works will support the ongoing protection of the "A"-ranked heritage building, whilst introducing more diverse home ownership opportunities to the existing site.

#### Vehicular and Bicycle Parking

An attached 4-stall carport is proposed alongside the infill units, which meets the minimum parking requirements. The open-faced carport further helps with reducing the



massing of the infill structure as a whole. A variance will be required through the Comprehensive Development zone to exclude the carport floor area from GFA.

Bicycle storage is attached to the heritage building along the shared pathway bounding the western edge of the site. The storage will only be accessible from the exterior, and the 8-spaces meet the minimum bicycle parking requirements for multi-family units.

#### Tree Retention and Landscaping

A large walnut tree at the southeastern corner of the site will be retained, along with several city street trees along West 14<sup>th</sup> Street. The other 5 existing trees on site will be removed and replaced with 11 new trees that will be distributed throughout the site. The landscaping plan, which includes the tree retention and replacement, will be secured as part of the development covenant.

Various hedging and plantings are proposed throughout the site alongside pathways. The overall landscaping in the rear yard will help to separate the buildings and provide additional privacy and wayfinding between the individual units, which leads to the shared parking along the lane.

#### Zoning Variances

In addition to permitting additional density to incent the preservation of the heritage structure, Table 2 below outlines the other variances proposed for the Comprehensive Development 756 Zone to support this proposal.

**Table 2.** Requested Changes to the Zoning Bylaw

	<b>Current Designation/Regulation (RS-1)</b>	<b>Proposed Designation/Regulation (CD-756)</b>
<b>Principal Use</b>	Two-Unit Residential Use	Four principal Dwelling Units; two units in heritage building, one unit per infill
<b>Principal Building</b>	One per lot	Three per lot; one heritage building, two infill buildings
<b>Accessory Lock-Off Units</b>	-	One Accessory Lock-Off Unit permitted for each heritage Dwelling Unit
<b>GFA</b>	Combined an in total shall not exceed the lesser of 0.3 times the Lot Area plus 92.9 sq. m metres (1,000 sq. ft) or 0.5 times the Lot Area	Combined and in total, shall not exceed 0.69 FSR  Attached carport, bicycle storage shed, and garbage and recycling storage shall be excluded
<b>Lot Coverage</b>	40% (30% for Principal Building)	48%

	<b>Current Designation/Regulation (RS-1)</b>	<b>Proposed Designation/Regulation (CD-756)</b>
<b>Siting (Principal / Infill Buildings)</b>	Principal Buildings shall be sited not less than: <ul style="list-style-type: none"> <li>- 4.6 m (15.0 ft) from the Front Lot Line;</li> <li>- 14.9 m (49.0 ft) from the Rear Lot Line;</li> <li>- 1.2 m (4.0 ft) from an Interior Side Lot Line</li> </ul>	Southernmost heritage building shall be sited not less than: <ul style="list-style-type: none"> <li>- 4.9 m (15.9 ft) from the Front Lot Line;</li> <li>- 23.8 m (78.1 ft) from the Rear Lot Line;</li> <li>- 3.0 m (9.9 ft) from the western Interior Lot Line;</li> <li>- 1.9 m (6.2 ft) from the eastern Interior Lot Line;</li> </ul> Northernmost infill buildings shall be sited not less than: <ul style="list-style-type: none"> <li>- 29.8 m (97.8 ft) from the Front Lot Line;</li> <li>- 3.0 m (10.0 ft) from the Rear Lot Line;</li> <li>- 1.2 m (4.0 ft) from an Interior Side Lot Line;</li> <li>- 2.4 m (8.0 ft) from another infill building</li> </ul>
<b>Siting (Accessory Buildings / Carport)</b>	Accessory Buildings shall not be sited less than 1.2 m (4.0 ft) from the Rear Lot Line.	Attached carport shall not be sited less than 0.6 m (2.0 ft) from the Rear Lot Line.
<b>Heritage Building Height (southernmost building)</b>	A Principal Building shall not exceed a maximum ridge height of 10.1 m (33.0 ft)	Heritage building shall not exceed a maximum ridge height of 10.3 m (33.7 ft) (maximum geodetic height of 260.5 ft), not including height exception for architectural spire at southwest corner of the building.
<b>Infill Building Heights (northernmost buildings)</b>	A Principal Building shall not exceed a maximum ridge height of 10.1 m (33.0 ft)	Infill buildings shall not exceed a maximum ridge height of 8.2 m (27.0 ft) or maximum geodetic height of 253.7 ft.
<b>Bicycle Parking</b>	-	8 Bicycle Parking Spaces
<b>Bicycle Storage Height</b>	Bicycle parking space shall have an overhead clearance of no less than 2.5 m (8.2 ft)	Bicycle parking space shall have an overhead clearance of no less than 1.5 m (5.0 ft)



## FINANCIAL IMPLICATIONS:

According to the 2018 Density Bonusing and Community Benefits Policy, an equivalent development to permit this application's proposed density bonuses would include a suggested \$299,820 in Community Amenity Contributions.

The estimated value for heritage restoration works of \$436,300 (Attachment 5) in combination with the legal protection of this heritage building is deemed to be a value in-kind greater or equal to the Community Benefit Contribution.

**Table 2.** *Estimated Value of Community Benefits through the 2018 Density Bonusing and Community Benefits Policy*

Density Value Calculation	Value
Density Bonus from 0.5 FSR (325.2 sq. m / 3,500 sq. ft) to 0.69 FSR (446.9 sq. m / 4,810 sq. ft) / OCP Category B Bonus Density (@ \$190 / sq. ft)	\$248,900

## ADVISORY BODY INPUT

### Heritage Advisory Commission (HAC)

The proposal was presented to the Heritage Advisory Commission twice, first on January 11, 2022 and a second time on April 12, 2022 to address outstanding comments and clarifications from HAC. The Commission unanimously endorsed the project subject to the following recommendations:

- Exploration for new deck and landscaping detailing to support cohesion and compatibility of the overall design of the project; and
- Exploration of the proportions and materiality of the new windows on the west façade to reflect the proportions of the existing heritage windows and their design.

With the current submission, staff are satisfied that the applicant has adequately addressed the above recommendations.

### Advisory Design Panel (ADP)

The proposal was presented to the Advisory Design Panel on March 16, 2022, and the panel unanimously endorsed the following resolution:

- "THAT the Advisory Design Panel has reviewed the Heritage A Revitalization and Duplex Infill for 328 West 14th Street and recommends approval of the project;

## COMMUNITY CONSULTATION

A virtual Developer's Information Session was held on March 10<sup>th</sup>, 2022. No one was in attendance, and to date there has been no further feedback received from the public in respect to the project.

As the proposal involves a Heritage Designation Bylaw, the proposed development is required to be referred to a Public Hearing under the provisions of the *Local Government Act*.

## LEGAL DOCUMENTS

Should Council approve the proposal, the following legal documents would be required to be completed prior to final adoption of the Bylaw:

- Development Covenant;
- Servicing Agreement;
- Good Neighbour Agreement;
- Flooding Covenant; and
- Heritage Conservation Covenant (Section 219).

## CONCLUSION

This application would facilitate the long term protection of an important heritage asset and contribute towards diversifying and increasing the housing stock within this neighbourhood. The proposal has been designed to be compatible with the neighbourhood context and staff consider the proposal to be supportable.

RESPECTFULLY SUBMITTED:



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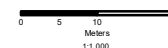
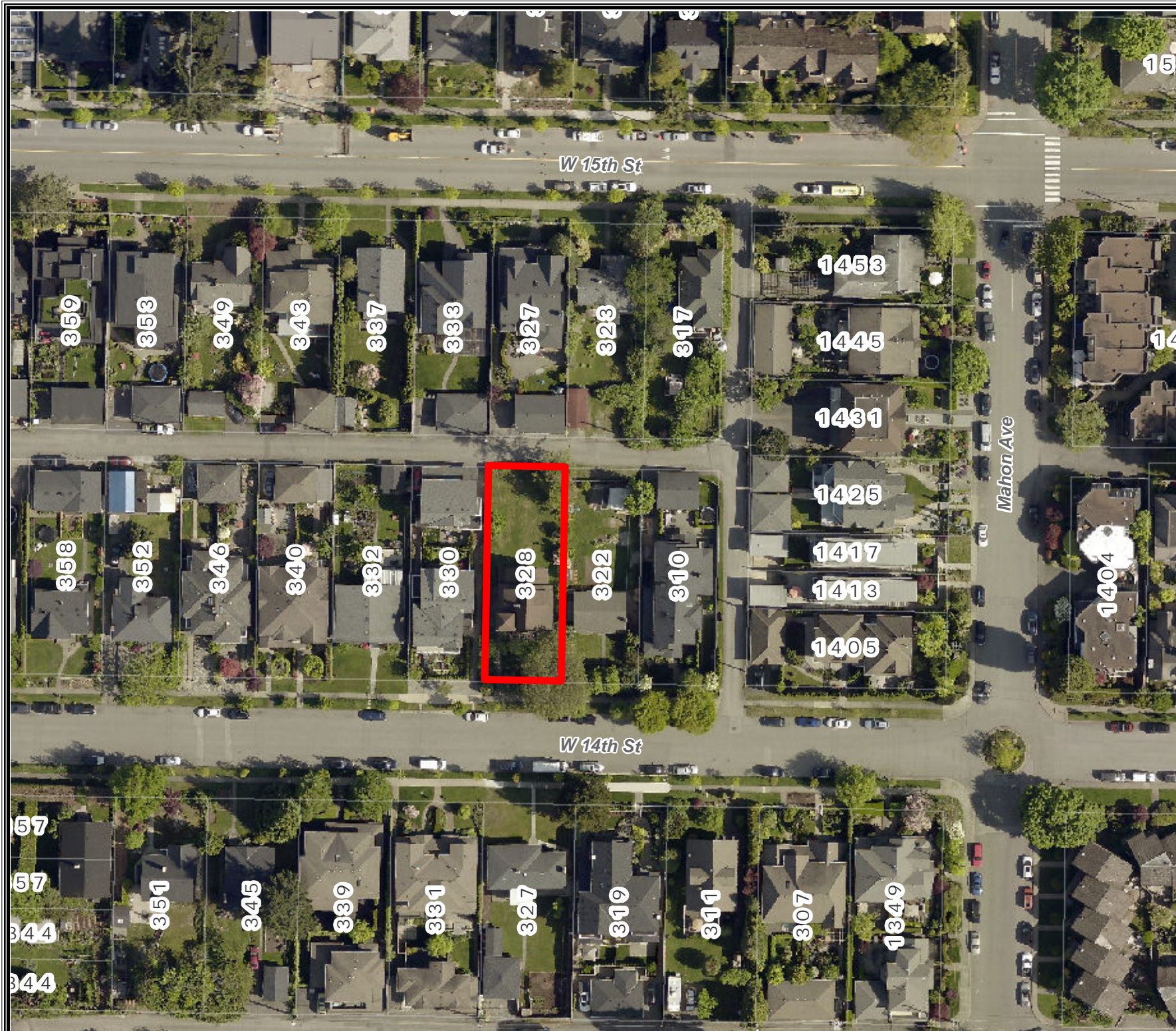
Huy Dang  
Planner 1



City of North Vancouver  
328 West 14th  
Street

# Legend

- Subject Site
- Legal\_Parcels



## DISCLAIMER

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GIS Division, Information Technology,  
City of North Vancouver

PLOTTED: 05/05/2019  
SOURCE: Various  
COORDINATE SYSTEM: NAD 83 UTM Zone 10

**city**  
of north  
vancouver





328 W 14<sup>th</sup> Street

CITY OF NORTH VANCOUVER, BC V7M 1P6

KNOWLES RESIDENCE RENOVATION + ADDITION

REVIEW MEMO #1 RESPONSE - 2022 05 19

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SEAL

2020-05-19

ISSUED

REVISION

No.	Date	Description
1	2021 07 23	RECONING APP DRAFT
2	2021 08 27	CLIENT REVIEW
3	2021 10 01	RECONING SUBMISSION
4	2022 01 26	CLIENT REVIEW
5	2022 02 23	RECONING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

PROJECT

KNOWLES RESIDENCE

328 W 14th ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

COVER

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DRAWN	DATE
07/23/21	

SCALE	REVIEWED
1/2" = 1'-0"	

PROJECT NO	2005
------------	------

A0



# 328 W 14<sup>th</sup> Street

CITY OF NORTH VANCOUVER, BC V7M 1P6

# KNOWLES RESIDENCE RENOVATION + ADDITION

REVIEW MEMO #1 RESPONSE - 2022 05 19

**METRIC**

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## PROJECT DATA

<b>CIVIC ADDRESS</b>	328 WEST 14TH STREET, NORTH VANCOUVER, BC
<b>LEGAL DESCRIPTION</b>	LOT 19 BLOCK 47 DISTRICT LOT 271 PLAN: 1658
<b>ZONING</b>	OCF RESIDENTIAL LEVEL 2 EXISTING ZONING: RS1 PROPOSED REZONING: CD ~ 50 F x 140 F
<b>LOT DIMENSIONS</b>	
<b>SITE AREA</b>	7,000 SF / 650.3 m <sup>2</sup>
<b>RS-1 FSR</b>	0.5
<b>RS-1 FSR AREA</b>	3,501 SF
<b>HERITAGE BONUS (HB)</b>	0-1.2 EXISTING ABOVE GRADE AREA 989 SF
<b>TOTAL FSR ALLOWED</b>	4,490 SF
<b>TOTAL FSR PROPOSED</b>	4,472 SF
<b>SITE COVERAGE</b>	PERMITTED: 35% = 2,450 SF EXISTING: 16% = 1,110 SF PROPOSED: 46.2% = 3,246 SF (25.5% PRINCIPAL BUILDING + 18.9% INFILL + 1.9% ACCESSORY)
<b>EXISTING HEIGHT</b>	RIDGE HEIGHT 33'-6"
<b>PROPOSED HEIGHT</b>	MAIN RIDGE HEIGHT 33'-6" INFILL RIDGE HEIGHT 28'-10"
<b>EXISTING SETBACKS</b>	FRONT YARD 35.9 FT REAR YARD 68.0 FT SIDE YARD WEST 9.3 FT SIDE YARD EAST 7.6 FT
<b>PROPOSED SETBACKS</b>	PRINCIPAL FRONT YARD 15.9 FT PRINCIPAL REAR YARD 66.0 FT PRINCIPAL SIDE YARD WEST 9.9 FT PRINCIPAL SIDE YARD EAST 6.2 FT  INFILL SIDE YARD WEST 4.0 FT INFILL SIDE YARD EAST 4.0 FT INFILL REAR YARD 10.0 FT  PRINCIPAL TO INFILL @ GRADE 20.7 FT PRINCIPAL TO INFILL @ MAIN LEV. 32.8 FT

## HERITAGE & INFILL DWELLING AREA:

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION HERITAGE DECK	626 SF	226 SF	403 SF	629 SF	1,287 SF
TO BE DEMOLISHED			1,838 31 SF	1,838 31 SF	1,838 31 SF
	1,606 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	926 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
(EXCLUDED)				PROPOSED FSR (0.64)	

## UNIT AREA:

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

## BY-LAW ALLOWABLE EXCLUSIONS:

HERITAGE BASEMENT	1,606 SF - ACCESSIBLE LOCK-OFF SUITES
INFILL BASEMENT	767 SF
BIKE STORAGE	110 SF
CARPORT	750 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM (MAX. 100 SF)	65 SF
WASTE ENCLOSURE (MAX. 150 SF)	67 SF
	2,375 SF + 1,023 SF
<b>TOTAL EXCLUSIONS</b>	<b>= 3,398 SF (0.48 FSR)</b>

## DRAWING LIST

A0	COVER
A0-01	STATS
A0-02	EXISTING SITE PLAN (SURVEY)
A0-03	SITE PLAN
A0-04	CHARACTER-DEFINING ELEMENTS
A0-05	EXISTING FLOOR PLANS
A0-06	DEMO PLANS
A0-07	NEW CONSTRUCTION PLANS
A0-08	RETENTION AXONOMETRICS
A1-00	BASEMENT PLAN - HERITAGE
A1-01	MAIN LEVEL PLAN - HERITAGE
A1-02	UPPER LEVEL PLAN - HERITAGE
A2-00	BASEMENT PLANS - INFILL
A2-01	MAIN LEVEL PLANS - INFILL
A2-02	UPPER LEVEL PLANS - INFILL
A2-03	ROOF PLAN
A3-01	ELEVATIONS - PROPOSED HERITAGE & EXISTING
A3-02	ELEVATIONS - PROPOSED HERITAGE & EXISTING
A3-03	ELEVATIONS - PROPOSED HERITAGE & EXISTING
A3-04	ELEVATIONS - PROPOSED HERITAGE & EXISTING
A3-05	ELEVATIONS - INFILL
A3-06	ELEVATIONS - INFILL
A3-07	ELEVATIONS - HERITAGE & INFILL + REFLECTED WINDOWS
A4-01	HERITAGE SECTIONS
A4-02	HERITAGE SECTIONS
A4-03	INFILL SECTIONS
A4-04	INFILL SECTIONS
A4-05	COURTYARD SECTIONS
A5-01	LEVEL 2 ADAPTABLE GUIDELINES - LOCK-OFF SUITES
A6-01	AREA PLANS
A6-02	SITE COVERAGE
A6-03	SITE PLAN - SHARED ACCESS
A6-04	WASTE ENCLOSURE DETAILS
A6-05	SHADOW STUDIES
A7-01	HERITAGE EXTERIOR PERSPECTIVES
A7-02	COURTYARD PERSPECTIVES
A7-03	INFILL EXTERIOR PERSPECTIVES
A7-04	AXONOMETRIC VIEW - SOUTH-WEST
A7-05	AXONOMETRIC VIEW - NORTH-WEST
A8-01	SPATIAL SEPARATION - HERITAGE
A8-02	SPATIAL SEPARATION - HERITAGE & INFILL
A8-03	SPATIAL SEPARATION - INFILL
A9-01	EXISTING PHOTOS
A9-02	EXISTING PHOTOS
A10-00A	BASEMENT AREA PLAN - HERITAGE
A10-01A	MAIN LEVEL AREA PLAN - HERITAGE
A10-02A	UPPER LEVEL AREA PLAN - HERITAGE
A20-00A	BASEMENT AREA PLANS - INFILL
A20-01A	MAIN LEVEL AREA PLANS - INFILL
A20-02A	UPPER LEVEL AREA PLANS - INFILL

\* Clarifies new drawing added after Planning Revision 1 dated 2022 02 23

REAL

ISSUED 2022-05-19

REVISION

No.	Date	Description
1	2021 07 23	RECONING APP DRAFT
2	2021 08 27	CLIENT REVIEW
3	2021 10 01	RECONING SUBMISSION
4	2022 01 18	CLIENT REVIEW
5	2022 02 23	RECONING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

PROJECT

**KNOWLES RESIDENCE**  
328 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

**STATS**

Drawn by: Kevin Leskiw	Checked by: Kevin Leskiw
Scale: As Indicated	Scale: As Indicated
Project No: 2006	Project No: 2006
Drawn: 07/23/21	Date: 07/23/21
Scale: As Indicated	Scale: As Indicated
Project No: 2006	Project No: 2006

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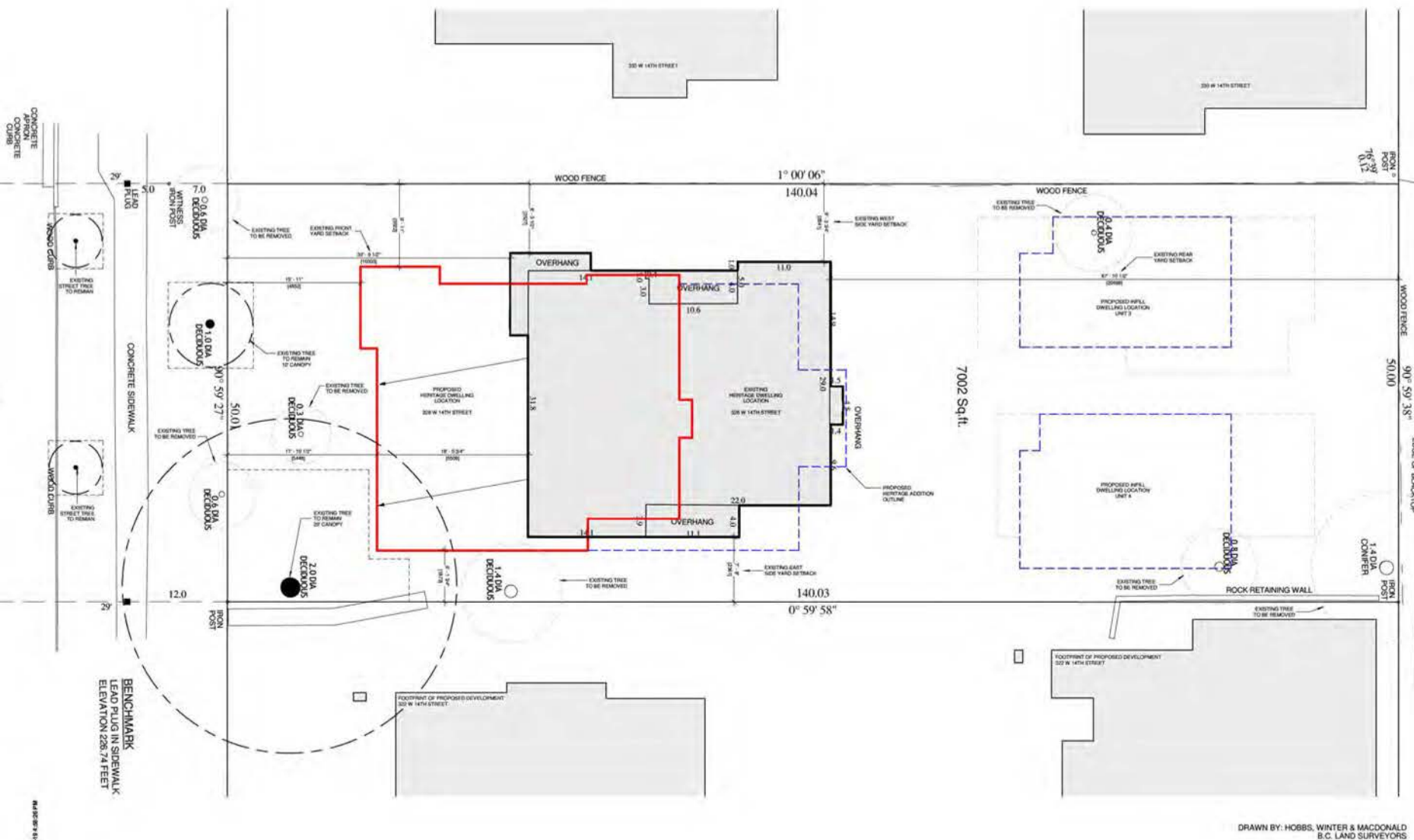
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**A0-01**



ISSUED: 2022-09-19

## REFERENCES

- | No. | Date       | Description         |
|-----|------------|---------------------|
| 1   | 2021 07 23 | REZONING APP DRAFT  |
| 2   | 2021 08 27 | CLIENT REVIEW       |
| 3   | 2021 10 01 | REZONING SUBMISSION |
| 4   | 2022 01 26 | CLIENT REVIEW       |
| 5   | 2022 02 23 | REZONING REV. 1     |
| 6   | 2022 05 18 | REVIEW MEMO 1 RESP  |

## PROJECT

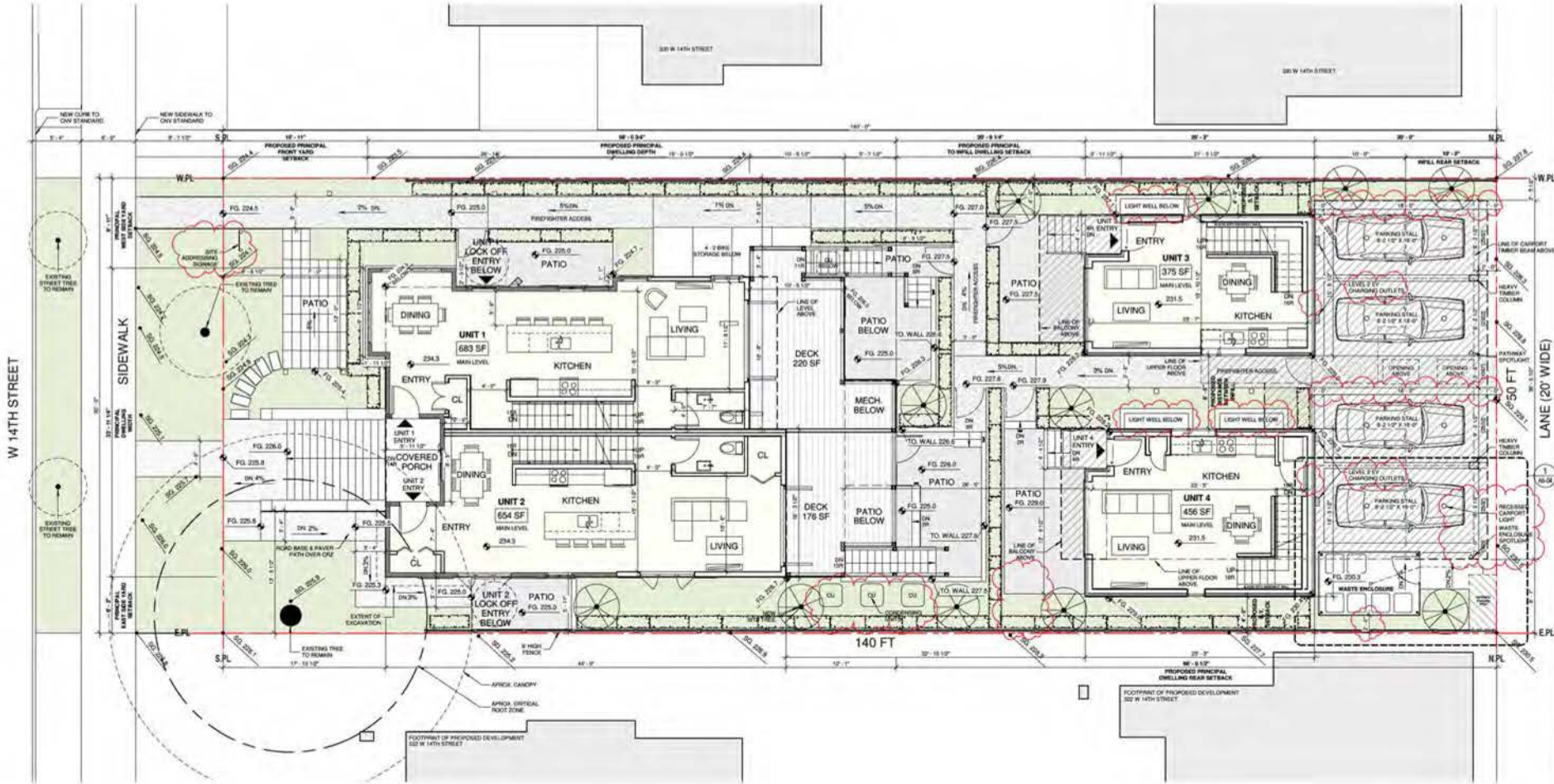
**KNOWLES RESIDENCE**  
328 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**EXISTING SITE PLAN  
(SURVEY)**

[illegible]

DRAWN	DATE
SCALE	REVIEWED
3/16" = 1'-0"	
PROJECT NO	2085





ISSUED: 2021-08-11

NO.	DATE	DESCRIPTION
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
338 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**SITE PLAN**

1 SITE PLAN  
A0-03 SCALE: 3/8" = 1'-0"

- LIGHTING LEGEND**
- BOLLARD LIGHT
  - NICHE LIGHT
  - RECESSED POTLIGHT
  - △ MOTION-SENSOR SPOTLIGHT

**VEHICLE PARKING & BIKE STORAGE**

EACH CAR STALL TO PROVIDE LEVEL 2 EV CHARGING

EACH BIKE LOCKER TO PROVIDE CHARGING

**GREEN MECH. ROOM**

CONTAINS A GREEN BUILDING SYSTEM AS DEFINED BY BYLAW NO.6700

MINIMUM HEADROOM CLEARANCE OF 2 METRES (6.6 FT)



## CHARACTER-DEFINING ELEMENTS

THE CHARACTER-DEFINING ELEMENTS OF THE KNOWLES RESIDENCE INCLUDE:

- A) IRREGULAR PICTURESQUE FORM, MASSIVE SCALE AND ASYMMETRICAL MASSING
- B) ELEMENTS OF THE ARTS AND CRAFTS STYLE INCLUDING PICTURESQUE MASSING AND THE USE OF NATURAL MATERIALS
- C) FRONT GABLE ROOF WITH OPEN EAVES AND EXPOSED PURLINS
- D) FRONT CORNER TOWER WITH BELLCAST PYRAMID ROOF
- E) INSET ROUND ARCHED ENTRY
- F) ARCHED INSET BALCONY AT UPPER LEVEL
- G) CEDAR SHINGLES
- H) HALF-TIMBERING IN GABLE ENDS AND ON TOWER
- I) LAPPED WOODEN SIDING AT FOUNDATION LEVEL
- J) DOUBLE-HUNG WOODEN-SASH WINDOWS; MULTIPLE ASSEMBLY CASEMENT WINDOWS IN TOWER WITH DECORATIVE LEADING

C & H



D & J



E



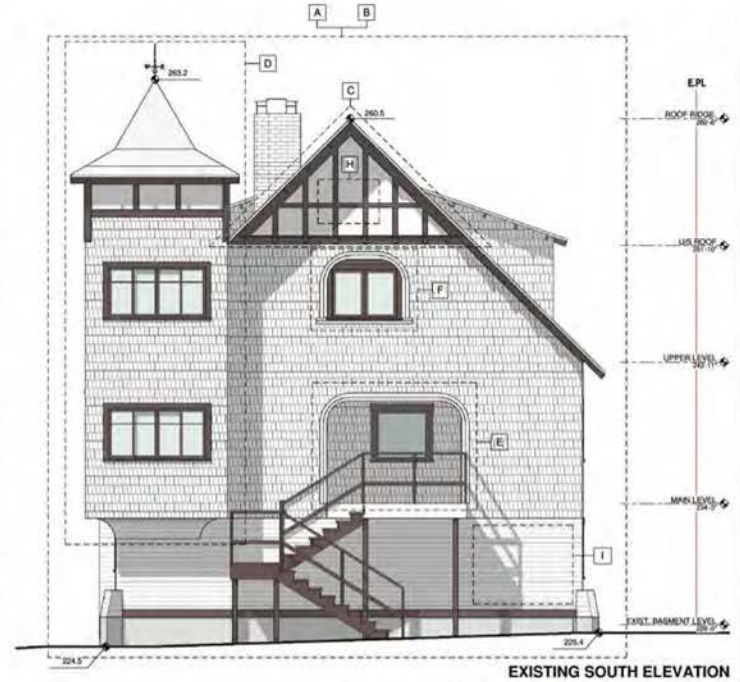
F



G



A & B



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SCALE



ISSUED 2022-09-02

REVISION	No.	Date	Description
	4	2022-01-26	CLIENT REVIEW
	5	2022-02-23	REZONING REV. 1
	6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
328 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**CHARACTER-DEFINING  
ELEMENTS**

DRAWN	DATE
As Indicated	8/23/21
SCALE	REVIEWED
As Indicated	2005
PROJECT NO	

A0-04



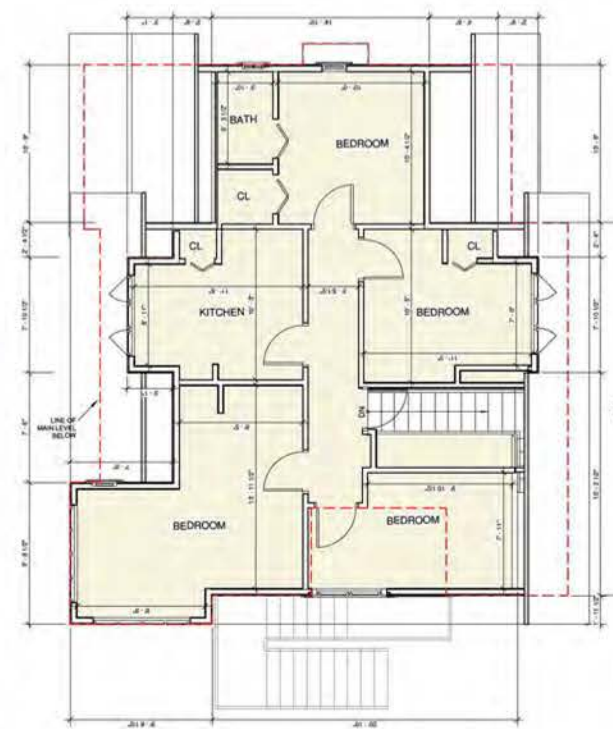
980 SF

1 BASEMENT LEVEL - EXISTING  
AD-01 SCALE: 1/4" = 1'-0"



1111 SF

2 MAIN LEVEL - EXISTING  
A0-04 SCALE: 1/4" = 1'-0"



863 SF

3 UPPER LEVEL - EXISTING  
A0-04 SCALE: 1/4" = 1'-0"



ISSUED 2013-06-13

THE VISION

No.	Date	Description
1	2021-07-22	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

**PROJECT**  
**KNOWLES RESIDENCE**  
328 W 14th ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

### DRAWING

#### EXISTING FLOOR PLANS

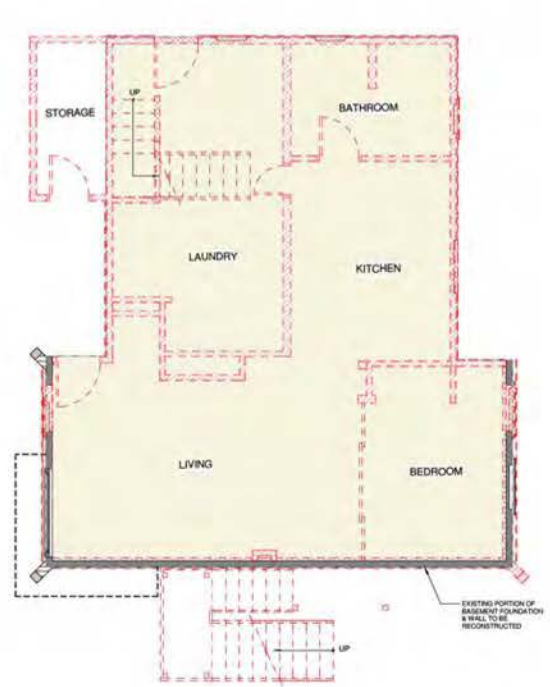
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The authors are gratefully indebted to the following persons:  
The authors are grateful to the following persons:

DRAWN	DATE
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2065

**A0-05**

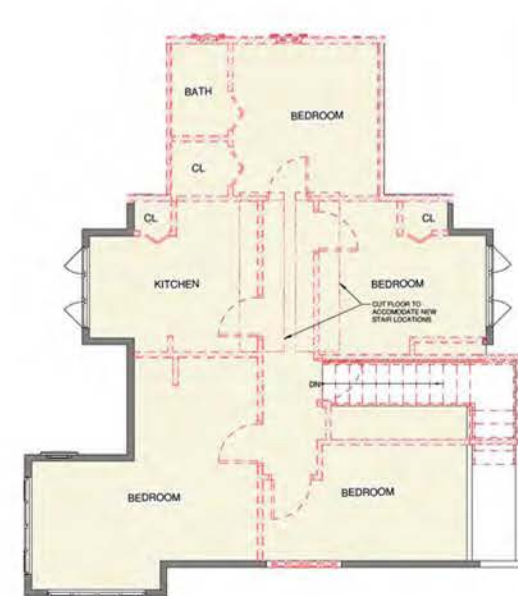




**1 BASEMENT LEVEL - DEMO**  
SCALE: 1/4" = 1'-0"



**2 MAIN LEVEL - DEMO**  
SCALE: 1/4" = 1'-0"



**3 UPPER LEVEL - DEMO**  
SCALE: 1/4" = 1'-0"

**WALL STYLE LEGEND**

	EXISTING TO BE RETAINED
	EXISTING TO BE REMOVED

**REVISION**

No.	Date	Description
1	2021 07 23	RECORDING APP DRAFT
2	2021 08 27	CLIENT REVIEW
3	2021 10 01	RECORDING SUBMISSION
5	2022 02 23	RECORDING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

**REVISION**

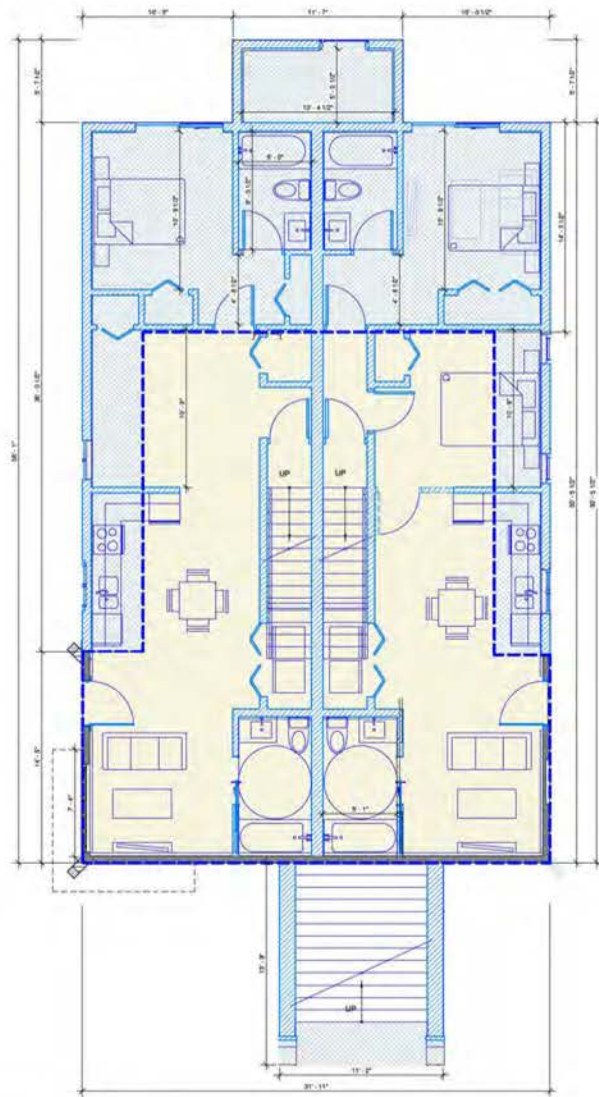
No.	Date	Description
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2	2021 08 27	CLIENT REVIEW
3	2021 10 01	RECORDING SUBMISSION
5	2022 02 23	RECORDING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

**PROJECT**  
**KNOWLES RESIDENCE**  
308 W 140 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

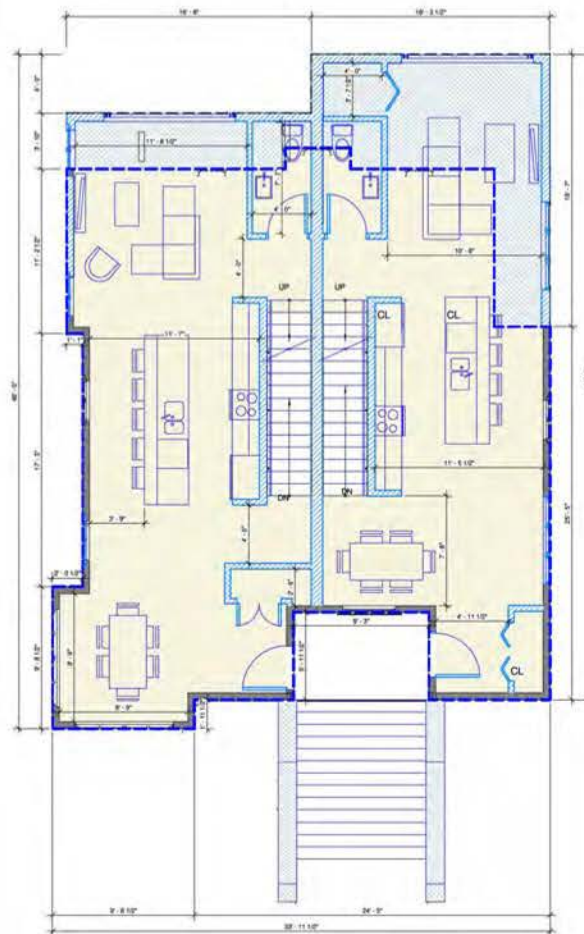
**DRAWING**  
**DEMO PLANS**

Drawn by: [Name]	Date: 07/23/21
Scale: As Indicated	Reviewed: [Name]
Project No: 2005	

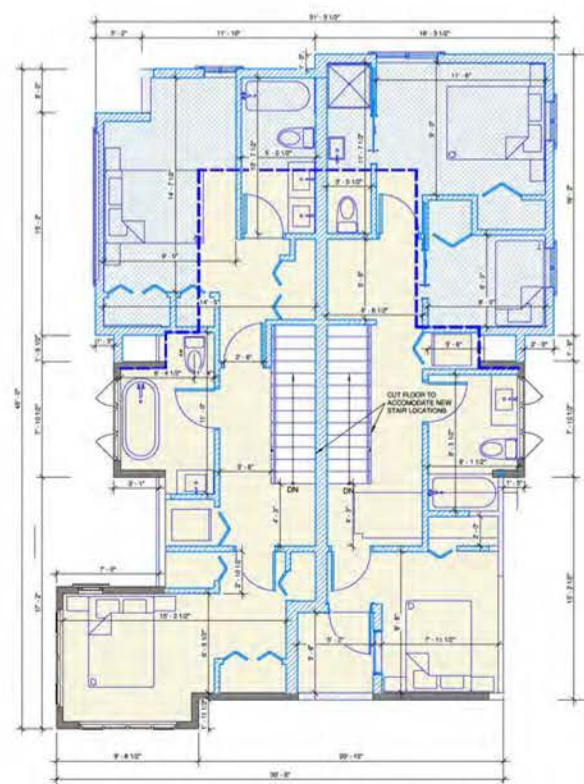
**A0-06**



1 BASEMENT LEVEL - NEW  
SCALE: 1/4" = 1'-0"



2 MAIN LEVEL - NEW  
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL - NEW  
SCALE: 1/4" = 1'-0"

# EXISTING & PROPOSED AREA LEGEND

- EXISTING FLOOR AREA
- PROPOSED FLOOR AREA



SEAL



ISSUED: 2022-09-01

## REVISION

No.	Date	Description
1	2021-07-23	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

**PROJECT**  
**KNOWLES RESIDENCE**  
308 W 140 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**DRAWING**  
**NEW CONSTRUCTION**  
**PLANS**

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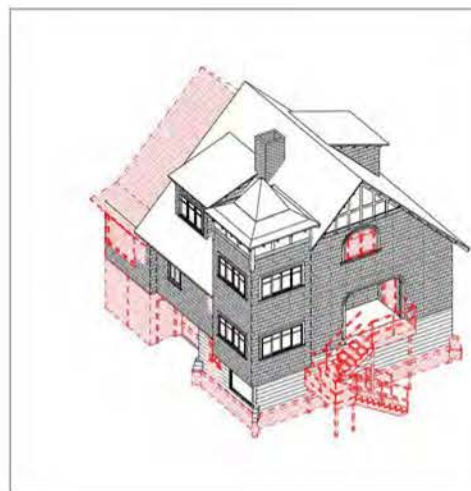
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DRAWN	DATE
ADG	07/23/21
SCALE	REVIEWED
As Indicated	
PROJECT NO	2905

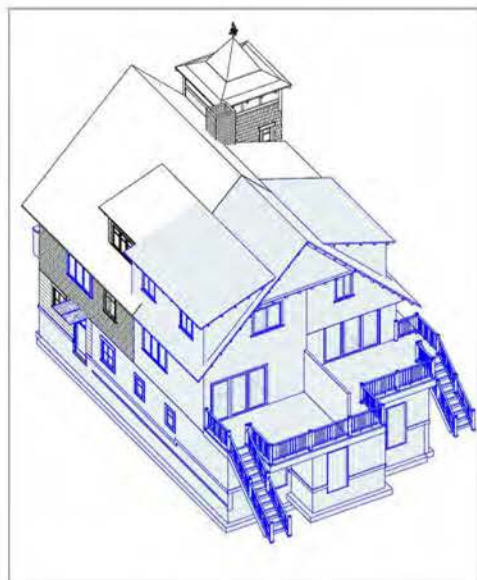
**A0-07**



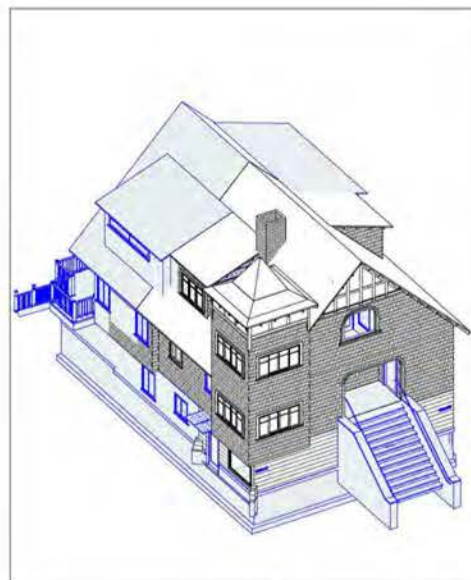
1 N-E CORNER - DEMO  
A0-08 SCALE



2 S-W CORNER - DEMO  
A0-08 SCALE



3 N-E CORNER - PROPOSED  
A0-08 SCALE



4 S-W CORNER - PROPOSED  
A0-08 SCALE

#### RETENTION LEGEND

- EXISTING - TO BE RETAINED AND/OR REFURBISHED
- EXISTING - TO BE REMOVED
- > 75% OF THE STRUCTURE ABOVE THE FOUNDATION IS TO BE REMOVED AND/OR REPLACED
- NEW - TO BE CONSTRUCTED
- > 50% OF THE TOTAL FINISHED STRUCTURE IS TO CONSIST OF NEW STRUCTURAL COMPONENTS

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ISSUED 2022-05-19

REVISION

No. Date Description  
6 2022-05-19 REVIEW MEMO 1 RESP.

PROJECT

KNOWLES RESIDENCE  
308 W 140 ST  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

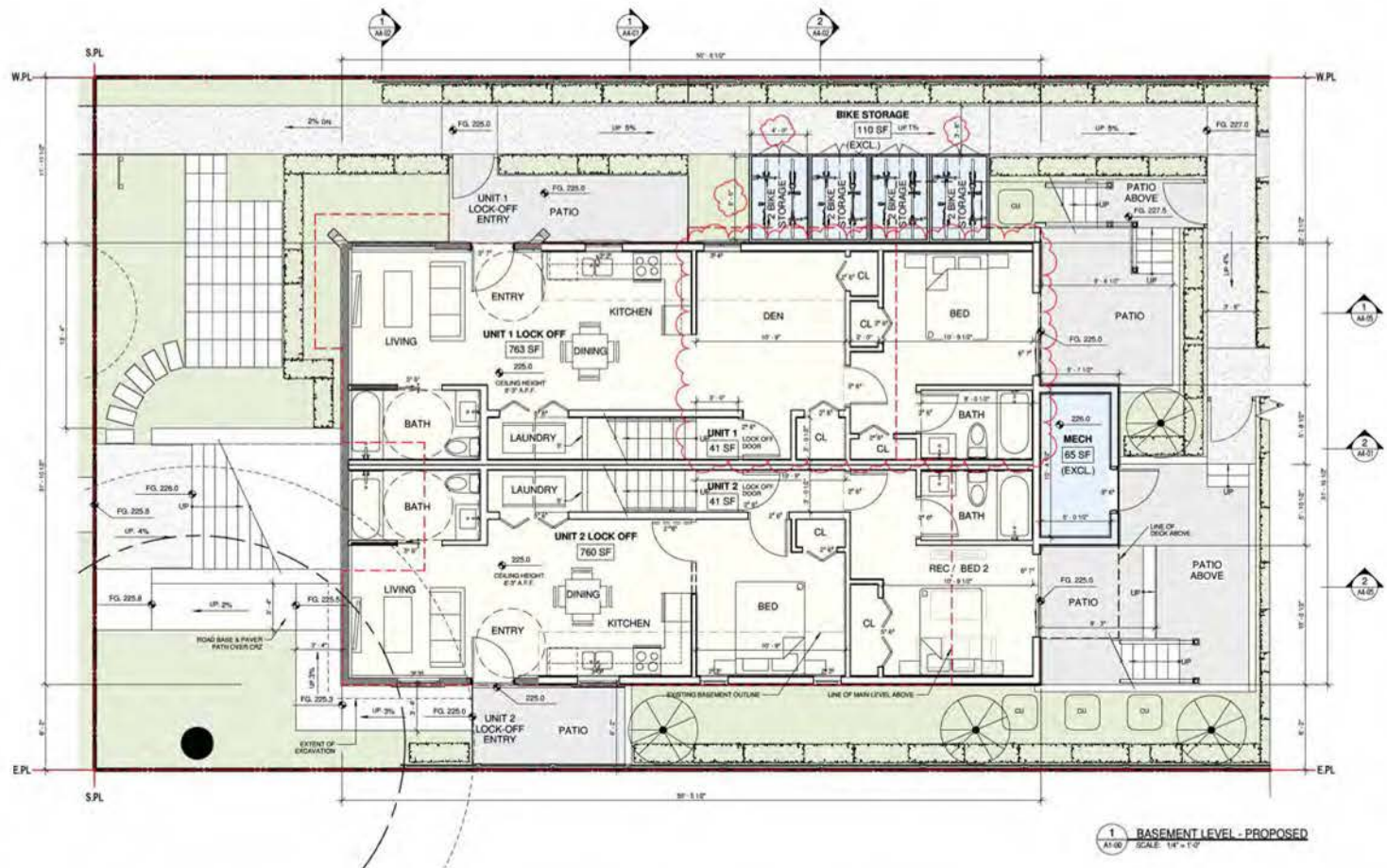
DRAWING

RETENTION  
AXONOMETRICS

DRAWN DATE  
SCALE 07/21/21  
PROJECT NO 2505

A0-08





SEA

ISSUED 2022-09-12

REVISION

No.	Date	Description
1	2021-07-23	REDOING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REDOING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	REDOING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

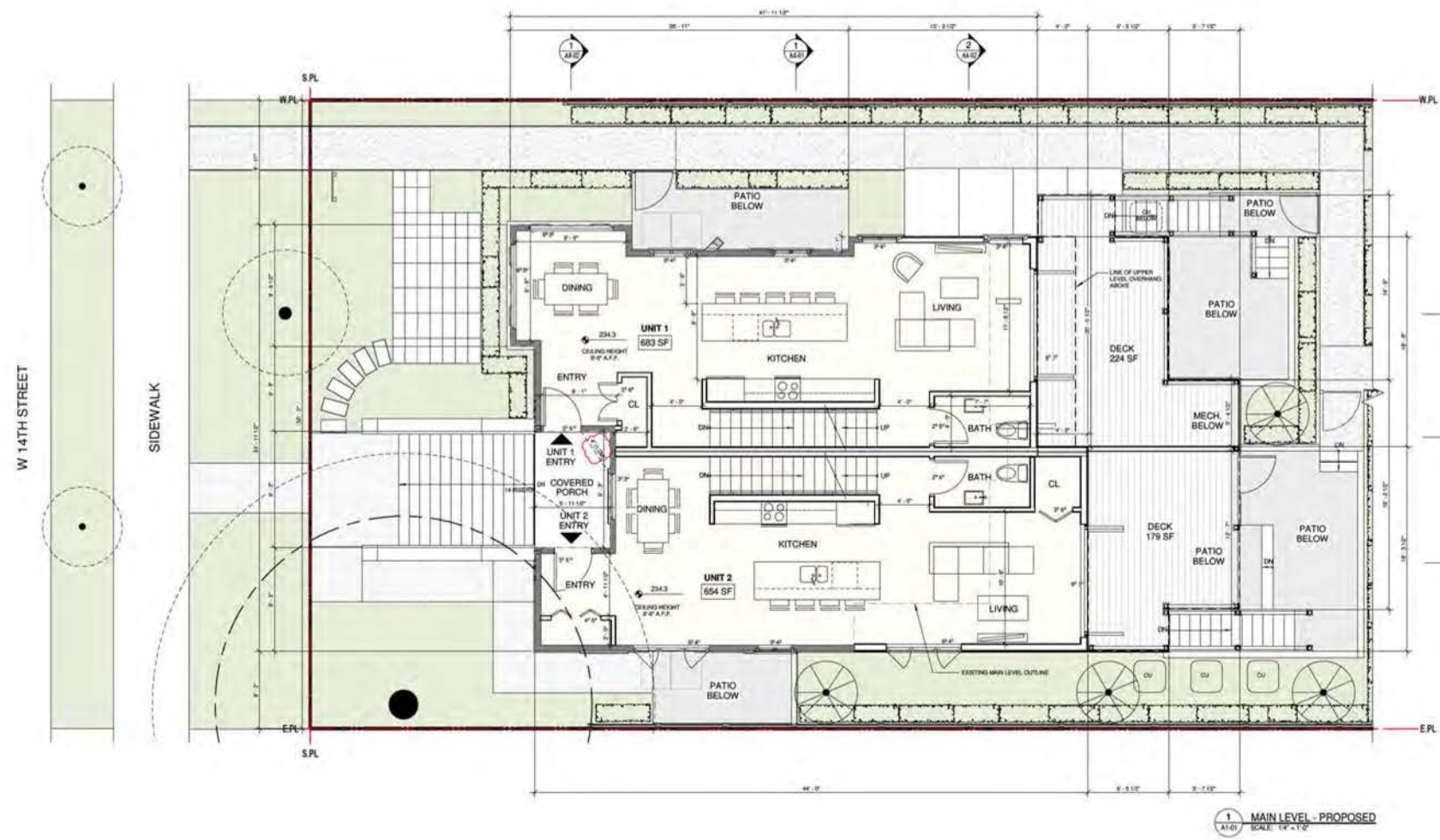
**KNOWLES RESIDENCE**  
338 W 146th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

**BASEMENT PLAN - HERITAGE**

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DRAWN	DATE
2021-09-23	
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2005



1 MAIN LEVEL - PROPOSED  
A1-01 SCALE: 1/4" = 1'-0"

SEALED



ISSUED 2022-09-15

REVISION

No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
308 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**MAIN LEVEL PLAN - HERITAGE**

Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]  
Date: [Date]

DRAWN	DATE
[Name]	07/23/21

SCALE	REVIEWED
1/4" = 1'-0"	[Name]

PROJECT NO	2505
------------	------

SEALED

ISSUED 2022-08-12

REVISION

No.	Date	Description
1	2021-07-23	RECONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECONING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

KNOWLES RESIDENCE  
308 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

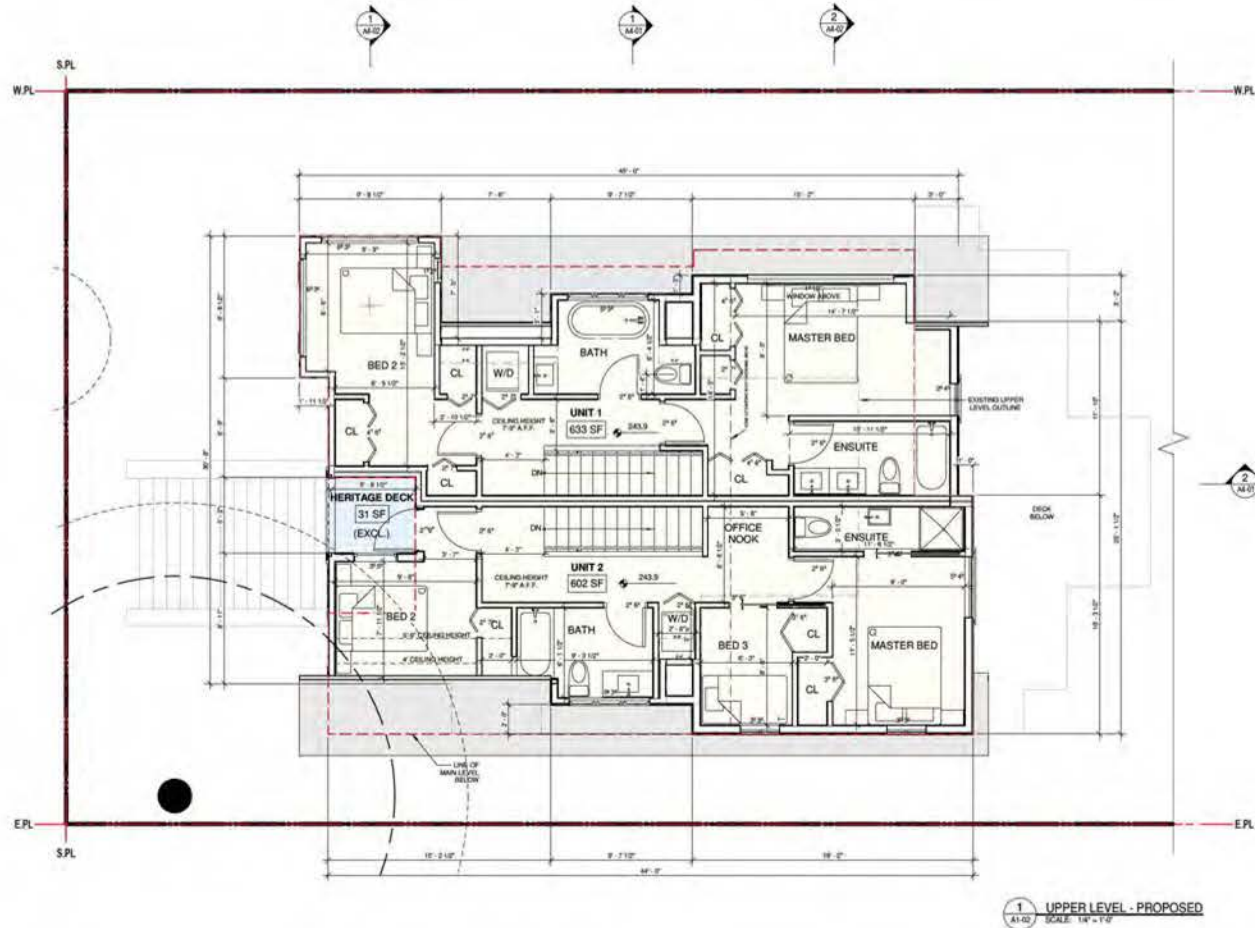
DRAWING

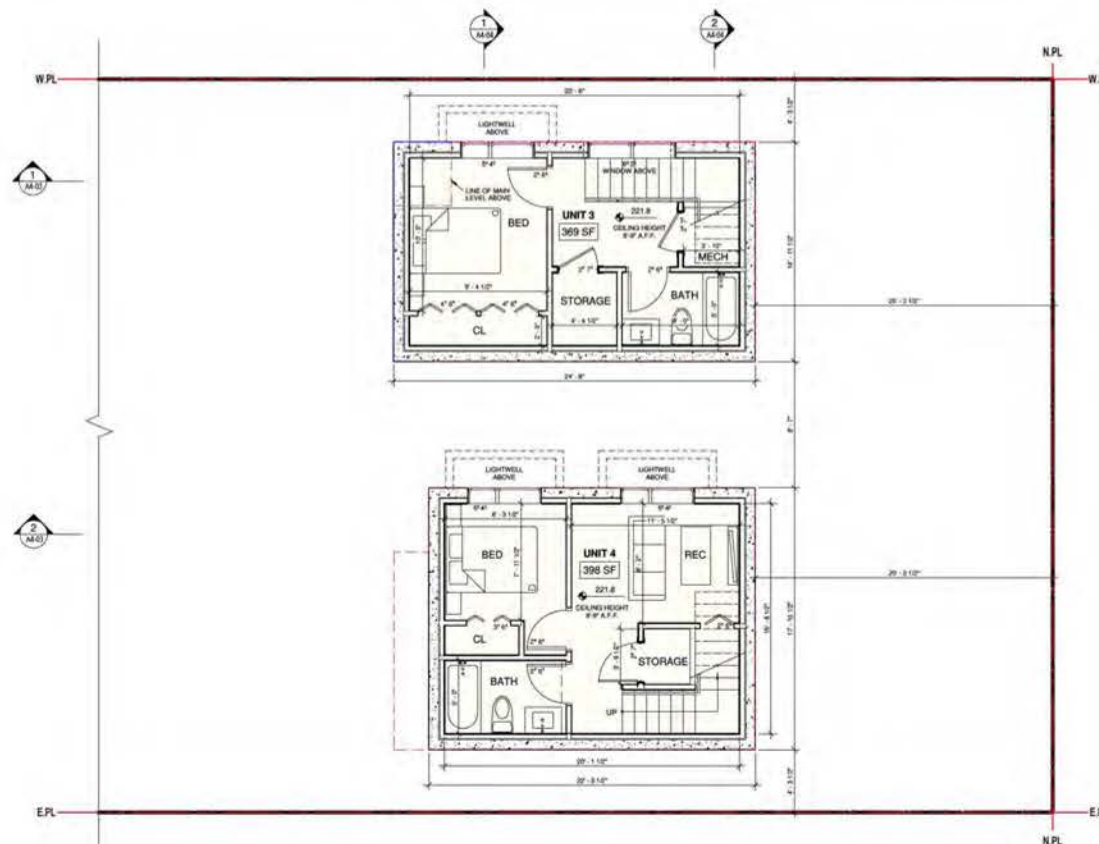
UPPER LEVEL PLAN -  
HERITAGE

This drawing is prepared for the project and site shown on the accompanying site plan. It is not to be used for any other project or site without the written consent of Metric Architecture. The client is responsible for ensuring that the information provided is accurate and complete. Metric Architecture is not responsible for any errors or omissions in this drawing.

DRAWN	DATE
2021-08-11	
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2060

A1-02





**1 BASEMENT PLANS - INFILL**  
A2-00 SCALE: 1/4" = 1'-0"

SEAL



ISSUED 2022-06-15

**REVISION**

No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

**PROJECT**

**KNOWLES RESIDENCE**  
308 W 146 ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**DRAWING**

**BASEMENT PLANS -  
INFILL**

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DRAWN	DATE
07/23/21	
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2505

**A2-00**



SEALED

ISSUED 2022-08-15

REVISION

No.	Date	Description
1	2021-07-23	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

**KNOWLES RESIDENCE**  
328 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

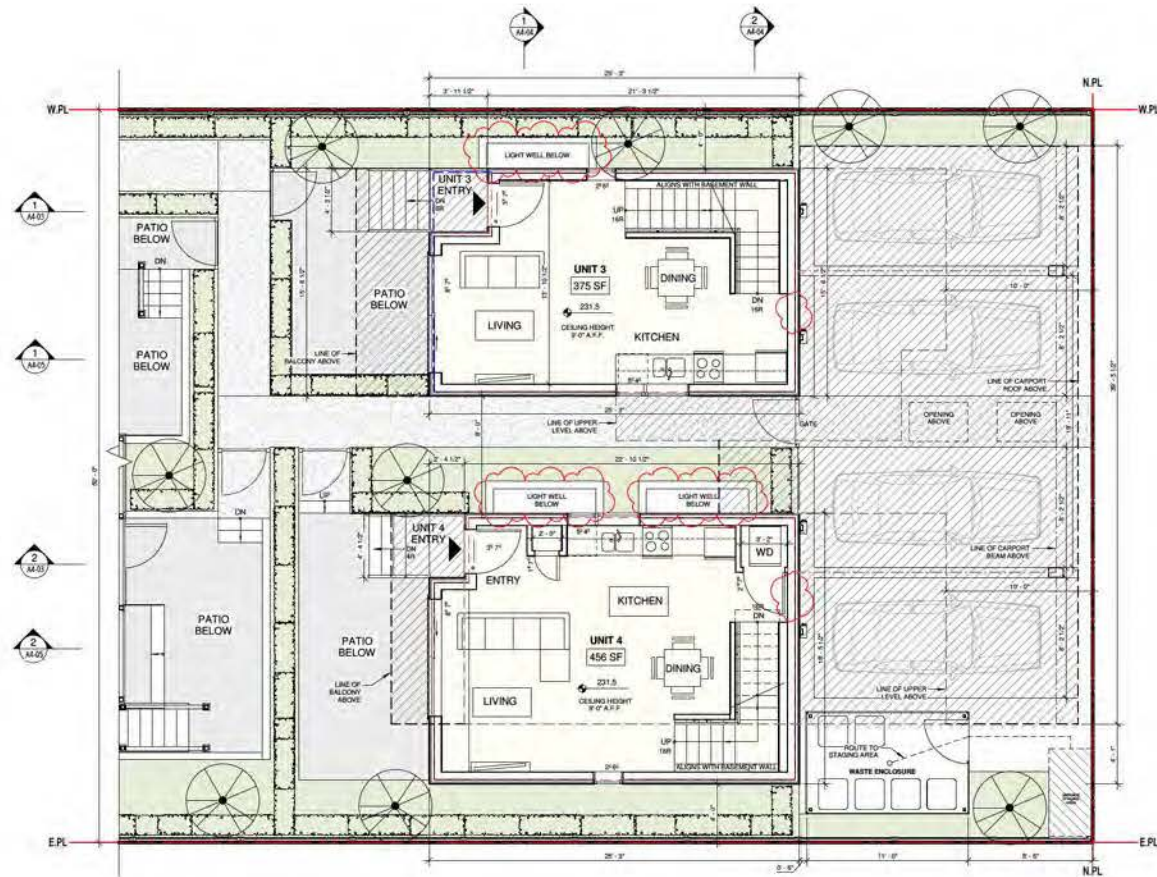
**MAIN LEVEL PLANS - INFILL**

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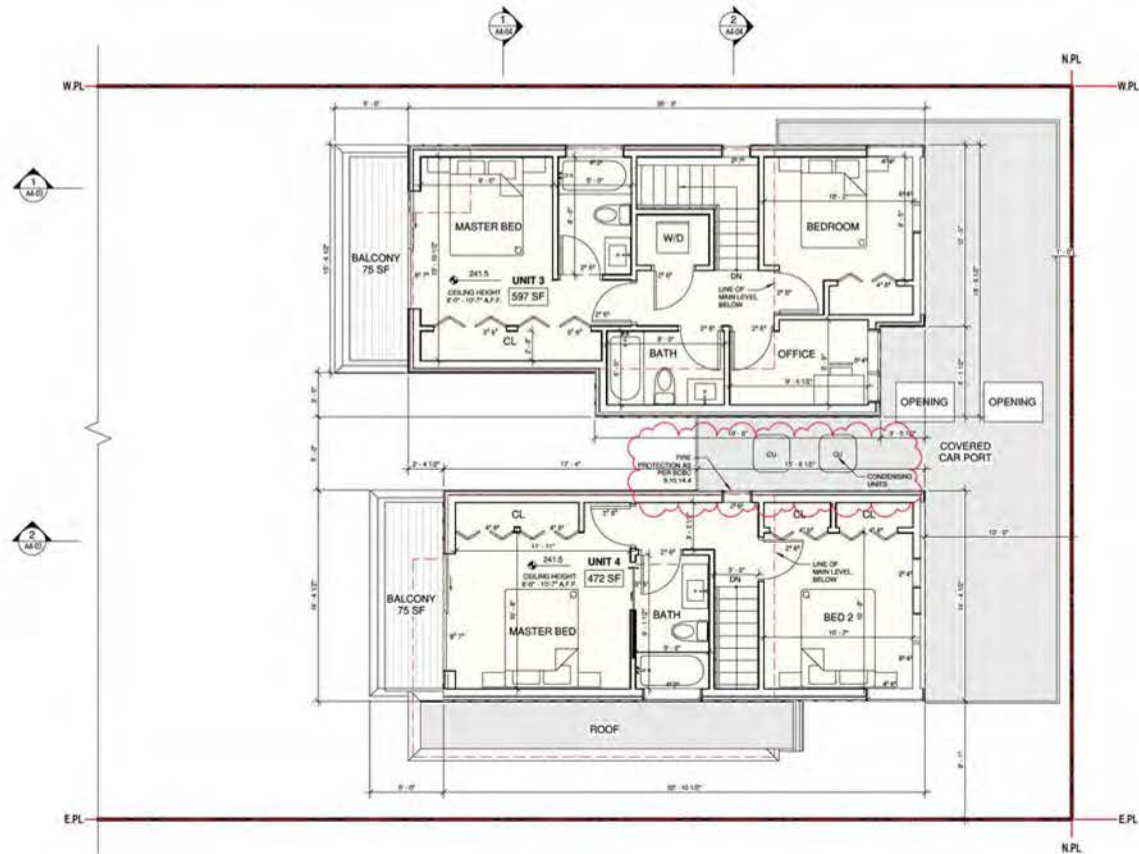
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DRAWN	DATE
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2005

A2-01



1 MAIN LEVEL PLANS - INFILL  
SCALE: 1/4" = 1'-0"



1 UPPER LEVEL PLANS - INFILL  
SCALE: 1/4" = 1'-0"

SEAL



ISSUED 2022-06-15

REVISION

No.	Date	Description
1	2021-07-23	RECOGNIZING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECOGNIZING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECOGNIZING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

**KNOWLES RESIDENCE**  
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CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

**UPPER LEVEL PLANS -  
INFILL**

Drawn and checked by: [Name] and [Name]  
Scale: 1/4" = 1'-0"

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DRAWN	DATE
07/23/21	
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2505

W 14TH STREET

SIDEWALK

2022-06-14 4:26:10 PM



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ISSUED 2022-06-12

REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REWORKING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

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CITY OF NORTH VANCOUVER,  
BC V7M 1P6

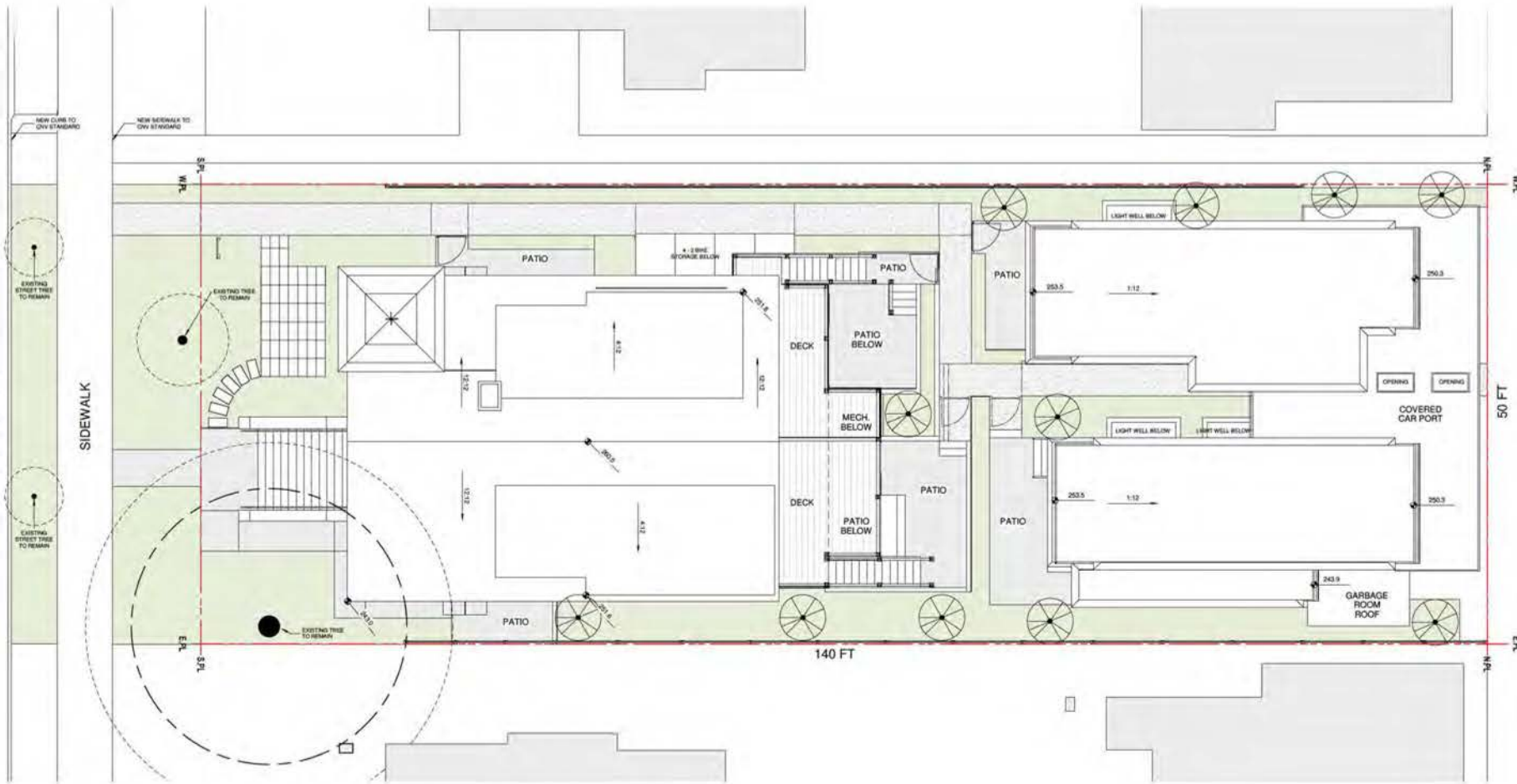
DRAWING

**ROOF PLAN**

1 ROOF PLAN  
A2-03 SCALE: 3/16" = 1'-0"

DRAWN	DATE
1623/21	1623/21
SCALE	REVIEWED
3/16" = 1'-0"	
PROJECT NO	2505

**A2-03**





# MATERIAL SCHEDULE - HERITAGE

C1. CLADDING:	restored cedar shingles
C2. CLADDING:	restored cedar planks
C3N. CLADDING:	new cedar planks to match exist.
C3N. FOUNDATION:	new concrete wall
CH1. CHIMNEY:	existing brick - restored as needed
D1. DOORS:	new solid entry door
D2. DOORS:	new sliding door with glass panel
D3. DOORS:	new 3-panel folding door
S1. STAIRS:	new painted wood stair
S2. STAIRS:	new CIP concrete stair
W1. WINDOWS:	new wood replacement to match exist.
W2. WINDOWS:	new painted wood replacement
R1. ROOF:	new asphalt shingle
RA1. RAILING:	new painted wood railing
PR1. PURLINS:	preserved wood - restored as needed
PR2. PURLINS:	new wood to match existing
F1. FASCIA:	new painted aluminum
T1. TRIM:	preserved existing wood - restored as needed
T2. TRIM:	new painted wood
FE1. FENCE:	new cedar fence
B1. BIKE LOCKER:	new aluminum partition

## HEIGHT ENVELOPE CALCULATION

### 1) FRONT AND REAR PROPERTY GRADES

FRONT  
S/E CORNER: 226.1 FRONT =  $226.1 + 224.4 / 2 = 225.25$   
S/W CORNER: 224.4

REAR  
N/W CORNER: 227.8 REAR =  $227.8 + 230.5 / 2 = 229.15$   
N/E CORNER: 230.5

2) REFERENCE GRADE  
REFERENCE =  $225.25 + (229.15 - 225.25) \times 0.4 = 226.81$

### 3) MAX. TOP PLATE AND ROOF RIDGE

MAX. TOP PLATE =  $226.81 + 26.2 = 253.01$

MAX. ROOF RIDGE =  $226.81 + 33.0 = 259.81$

DENTOTES SCOPE OF PROPOSED ADDITION

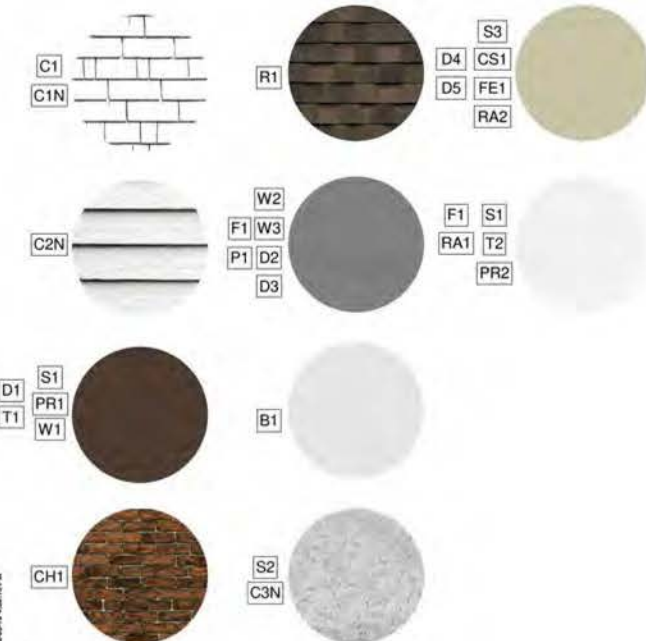


EXISTING SOUTH ELEVATION IMAGE



EXISTING SOUTH ELEVATION

3 EXISTING - SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUED 2020-06-10

## REVISION

No.	Date	Description
1	2021-07-23	REWORKING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REWORKING SUBMISSION
4	2022-01-05	CLIENT REVIEW
5	2022-02-23	REWORKING REV. 1
6	2022-05-19	REWORKING MEMO 1 RESP.

## PROJECT

KNOWLES RESIDENCE  
328 W 146 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

## DRAWING

ELEVATIONS -  
PROPOSED HERITAGE &  
EXISTING

DRAWN	DATE
AS INDICATED	07/19/21
SCALE	REVIEWED
AS INDICATED	2005
PROJECT NO	

A3-01



EXISTING HERITAGE WINDOW SCHEDULE			
ELEVATION	TAG	SIZE	CONSERVATION OBJECTIVE
SOUTH	①	6'3"	Preserved and restored
	②	3'3"	Preserved and restored
	③	6'3"	Preserved and restored
	④	4'3"	To be removed
WEST	⑤	2'3"	To be removed
	⑥	6'4"	Preserved and restored
	⑦	7'5"	To be removed
	⑧	3'4"	Preserved and restored
	⑨	6'3"	Preserved and restored
	⑩	5'3"	Preserved and restored
	⑪	6'3"	Preserved and restored
NORTH	⑫	2'2"	To be removed
	⑬	2'2"	To be removed
	⑭	2'3"	Preserved - relocated to east facade
	⑮	2'3"	To be removed
	⑯	2'3"	Preserved - relocated to east facade
	⑰	4'6"	To be removed
	⑱	1'2"	To be removed
	⑲	1'2"	To be removed
	⑳	1'2"	To be removed
	㉑	3'3"	Preserved and restored
EAST	㉒	3'3"	Preserved - relocated on east facade
	㉓	3'3"	To be removed
	㉔	2'2"	To be removed
	㉕	3'2"	To be removed
	㉖	3'4"	Preserved and restored
	㉗	5'3"	Preserved and restored

□ DENTOTES SCOPE OF PROPOSED ADDITION

#### MATERIAL SCHEDULE - HERITAGE

C1. CLADDING:	restored cedar shingles
C2. CLADDING:	restored cedar planks
C1M. CLADDING:	new cedar shingles to match exist.
C2M. CLADDING:	new cedar planks to match exist.
C3M. FOUNDATION:	new concrete wall
CH1. CHIMNEY:	existing brick - restored as needed
D1. DOORS:	new solid entry door
D2. DOORS:	new sliding door with glass panel
D3. DOORS:	new 3-panel folding door
S1. STAIRS:	new painted wood stair
S2. STAIRS:	new CIP concrete stair
W1. WINDOWS:	new wood replacement to match exist.
W2. WINDOWS:	new painted wood replacement
R1. ROOF:	new asphalt shingle
RA1. RAILING:	new painted wood railing
PR1. PURLINS:	preserved wood - restored as needed
PR2. PURLINS:	new wood to match existing
F1. FASCIA:	new painted aluminum
T1. TRIM:	preserved existing wood - restored as needed
T2. TRIM:	new painted wood
FE1. FENCE:	new cedar fence
B1. BIKE LOCKER:	new aluminum partition



EXISTING WEST ELEVATION

1 EXISTING - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUED 2022-06-10

#### REVISION

No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-03-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

#### PROJECT

KNOWLES RESIDENCE  
338 W 146 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

#### DRAWING

ELEVATIONS -  
PROPOSED HERITAGE &  
EXISTING

DRAWN	DATE
11/09/21	
SCALE	REVIEWED
As Indicated	
PROJECT NO	2005

A3-02



EXISTING NORTH ELEVATION IMAGE



EXISTING NORTH ELEVATION

3 EXISTING - NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

DENTOTES SCOPE OF PROPOSED ADDITION

#### MATERIAL SCHEDULE - HERITAGE

C1. CLADDING:	restored cedar shingles
C2. CLADDING:	restored cedar planks
C1N. CLADDING:	new cedar shingles to match exist.
C2N. CLADDING:	new cedar planks to match exist.
C3N. FOUNDATION:	new concrete wall
CH1. CHIMNEY:	existing brick - restored as needed
D1. DOORS:	new solid entry door
D2. DOORS:	new sliding door with glass panel
D3. DOORS:	new 3-panel folding door
S1. STAIRS:	new painted wood stair
S2. STAIRS:	new CIP concrete stair
W1. WINDOWS:	new wood replacement to match exist.
W2. WINDOWS:	new painted wood replacement
R1. ROOF:	new asphalt shingle
RA1. RAILING:	new painted wood railing
PR1. PURLINS:	preserved wood - restored as needed
PR2. PURLINS:	new wood to match existing
F1. FASCIA:	new painted aluminum
T1. TRIM:	preserved existing wood - restored as needed
T2. TRIM:	new painted wood
FE1. FENCE:	new cedar fence
B1. BIKE LOCKER:	new aluminum partition



PROPOSED NORTH ELEVATION

1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUED

ISSUED 2022-06-02

#### REVISION

No.	Date	Description
1	2021-07-23	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

#### PROJECT

**KNOWLES RESIDENCE**  
308 W 14TH ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

#### DRAWING

**ELEVATIONS -  
PROPOSED HERITAGE &  
EXISTING**

DRAWN	DATE
AS INDICATED	07/19/21
SCALE	REVIEWED
PROJECT NO	2060

A3-03



EXISTING HERITAGE WINDOW SCHEDULE			
ELEVATION	TAG	SIZE	CONSERVATION OBJECTIVE
SOUTH	①	6'3"	Preserved and restored
	②	3'3"	Preserved and restored
	③	6'3"	Preserved and restored
	④	4'3"	To be removed
WEST	⑤	2'3"	To be removed
	⑥	6'4"	Preserved and restored
	⑦	7'5"	To be removed
	⑧	3'4"	Preserved and restored
	⑨	6'3"	Preserved and restored
	⑩	5'3"	Preserved and restored
NORTH	⑪	6'3"	Preserved and restored
	⑫	2'2"	To be removed
	⑬	2'2"	To be removed
	⑭	2'3"	Preserved - relocated to east facade
	⑮	2'3"	To be removed
	⑯	2'3"	Preserved - relocated to east facade
	⑰	4'5"	To be removed
	⑱	1'2"	To be removed
EAST	⑲	1'2"	To be removed
	⑳	1'2"	To be removed
	㉑	3'3"	Preserved and restored
	㉒	3'3"	Preserved - relocated on east facade
	㉓	3'3"	To be removed
	㉔	2'2"	To be removed
	㉕	3'2"	To be removed
	㉖	3'4"	Preserved and restored
	㉗	5'3"	Preserved and restored

  DENTOTES SCOPE OF PROPOSED ADDITION

#### MATERIAL SCHEDULE - HERITAGE

C1. CLADDING:	restored cedar shingles
C2. CLADDING:	restored cedar planks
C1N. CLADDING:	new cedar shingles to match exist.
C2N. CLADDING:	new cedar planks to match exist.
C3N. FOUNDATION:	new concrete wall
CH1. CHIMNEY:	existing brick - restored as needed
D1. DOORS:	new solid entry door
D2. DOORS:	new sliding door with glass panel
D3. DOORS:	new 3-panel folding door
S1. STAIRS:	new painted wood stair
S2. STAIRS:	new CIP concrete stair
W1. WINDOWS:	new wood replacement to match exist.
W2. WINDOWS:	new painted wood replacement
R1. ROOF:	new asphalt shingle
RA1. RAILING:	new painted wood railing
PR1. PURLINS:	preserved wood - restored as needed
PR2. PURLINS:	new wood to match existing
F1. FASCIA:	new painted aluminum
T1. TRIM:	preserved existing wood - restored as need
T2. TRIM:	new painted wood
FE1. FENCE:	new cedar fence
B1. BIKE LOCKER:	new aluminum partition



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

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ISSUED 2022-06-15

REVISION	No.	Date	Description
1	2021-07-23	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	2021-08-27	CLIENT REVIEW
3	2021-10-01	2021-10-01	RECORDING SUBMISSION
4	2022-01-18	2022-01-18	CLIENT REVIEW
5	2022-02-23	2022-02-23	RECORDING REV. 1
6	2022-05-19	2022-05-19	REVIEW MEMO 1 REPLY

PROJECT  
**KNOWLES RESIDENCE**  
338 W 148 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**ELEVATIONS -  
PROPOSED HERITAGE &  
EXISTING**

DRAWN	DATE
SCALE	11/20/21
As Indicated	REVIEWED
PROJECT NO	2065

**A3-04**



#### HEIGHT ENVELOPE CALCULATION

##### 1) FRONT AND REAR PROPERTY GRADES

FRONT  
S/E CORNER: 226.1  
S/W CORNER: 224.4  
FRONT =  $226.1 + 224.4 / 2 = 225.25$

REAR  
NW CORNER: 227.8  
NE CORNER: 230.5  
REAR =  $227.8 + 230.5 / 2 = 229.15$

2) REFERENCE GRADE  
REFERENCE =  $225.25 + (229.15 - 225.25) \times 0.4 = 226.81$

3) MAX. TOP PLATE AND ROOF RIDGE  
MAX. TOP PLATE =  $226.81 + 26.2 = 253.01$   
MAX. ROOF RIDGE =  $226.81 + 33.0 = 259.81$

#### MATERIAL SCHEDULE - INFILL

C3N. FOUNDATION: new concrete wall  
C4. CLADDING: new vinyl clapboard siding  
D4. DOORS: new solid entry door  
D5. DOORS: new sliding door with glass panel  
S2. STAIRS: new CIP concrete stair  
S3. STAIRS: new wood stair  
W3. WINDOWS: new high performance vinyl  
R2. ROOF: new low slope torch on  
RA2. RAILING: new painted wood railing  
F1. FASCIA: new painted aluminum  
FE1. FENCE: new cedar fence  
FE2. FENCE: new metal fence  
P1. PARAPET: new painted aluminum  
CS1. CARPORT: new wood structure

#### 4 EAST ELEVATION - INFILL UNIT 4

AS-05 SCALE: 1/4" = 1'-0"



#### 3 SOUTH ELEVATION - INFILL UNIT 3 & 4

AS-05 SCALE: 1/4" = 1'-0"



#### 2 WEST ELEVATION - INFILL UNIT 3

AS-05 SCALE: 1/4" = 1'-0"



#### 1 NORTH ELEVATION - INFILL UNIT 3 & 4

AS-05 SCALE: 1/4" = 1'-0"

METRIC

ARCHITECTURE

6710 Mainway  
Vancouver, BC  
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E info@metricarchitects.com

SEAL

ISSUED

REVISION

1. 2021-07-23 REZONING APP DRAFT  
2. 2021-08-27 CLIENT REVIEW  
3. 2021-10-01 REZONING SUBMISSION  
4. 2022-01-18 CLIENT REVIEW  
5. 2022-02-23 REZONING REV. 1  
6. 2022-05-19 REVIEW MEMO 1 RESUB

PROJECT  
KNOWLES RESIDENCE  
308 W 148 ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
ELEVATIONS - INFILL

DRAWN DATE  
AS-05 07/18/21  
SCALE REVIEWED  
As Indicated  
PROJECT NO 2505

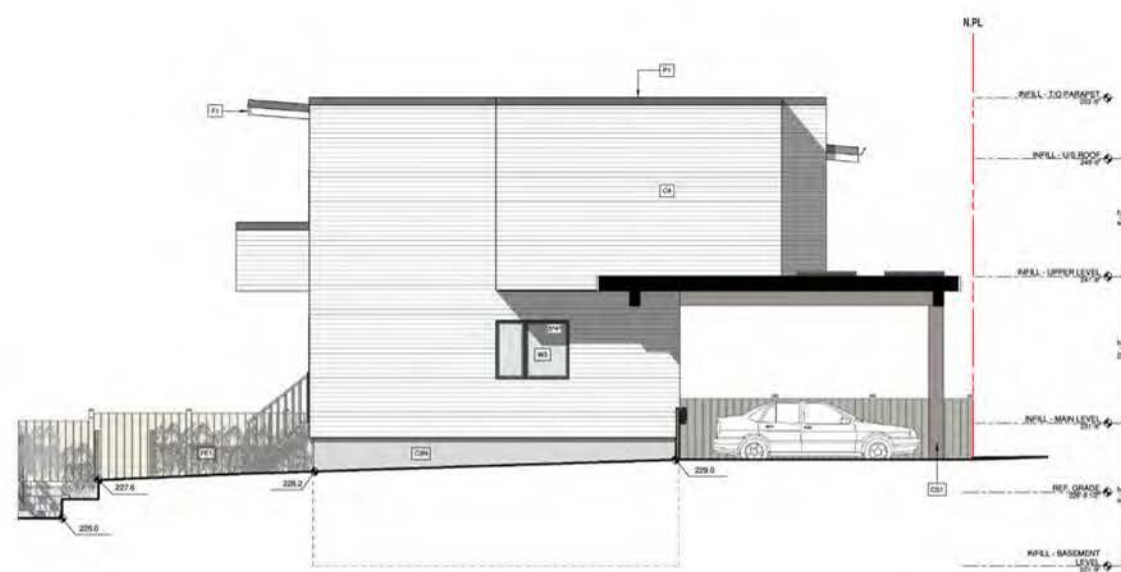
A3-05

NO.	DATE	DESCRIPTION
1	2021-07-23	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESUB

PROJECT  
**KNOWLES RESIDENCE**  
308 W 16th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**ELEVATIONS - INFILL**

DRAWN	DATE
As Indicated	8/23/21
SCALE	REVIEWED
PROJECT NO	2005



1 EAST ELEVATION - INFILL UNIT 3  
SCALE: 1/4" = 1'-0"

INTERNAL SECTION PATH



2 WEST ELEVATION - INFILL UNIT 4  
SCALE: 1/4" = 1'-0"

INTERNAL SECTION PATH

## MATERIAL SCHEDULE - INFILL

- C3N. FOUNDATION: new concrete wall
- C4. CLADDING: new vinyl clayboard siding
- D4. DOORS: new solid entry door
- D5. DOORS: new sliding door with glass panel
- S2. STAIRS: new GIP concrete stair
- S3. STAIRS: new wood stair
- W3. WINDOWS: new high performance vinyl
- R2. ROOF: new low slope torch on
- RA2. RAILING: new painted wood railing
- F1. FASCIA: new painted aluminum
- FE1. FENCE: new cedar fence
- FE2. FENCE: new metal fence
- P1. PARAPET: new painted aluminum
- CS1. CARPORT: new wood structure



REVISION

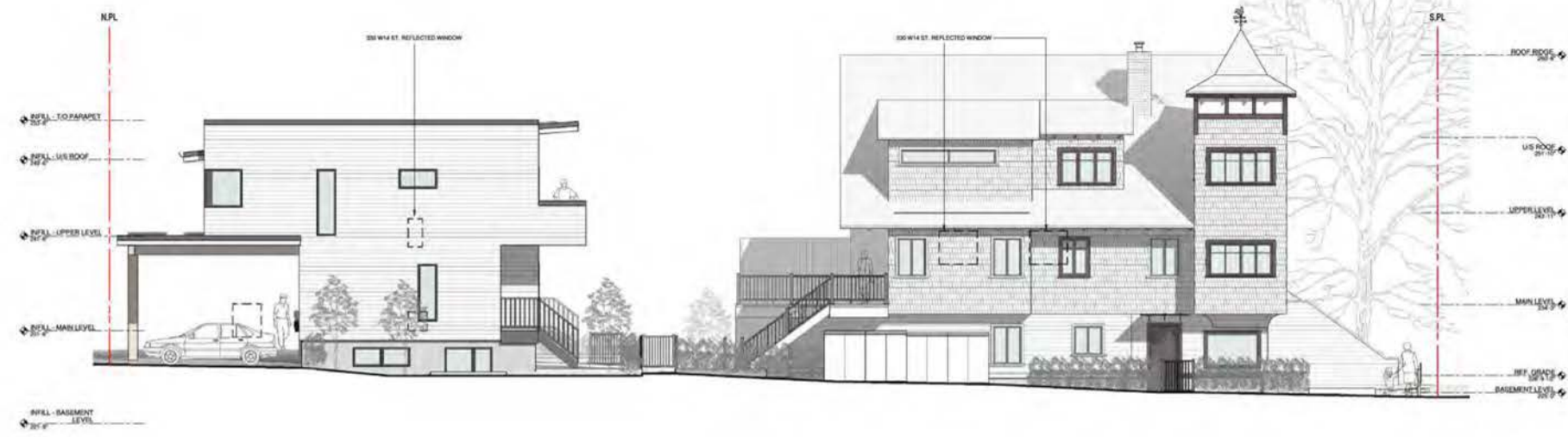
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1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-07-18	CLIENT REVIEW
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESH.

PROJECT  
**KNOWLES RESIDENCE**  
308 W 16th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**ELEVATIONS - HERITAGE  
& INFILL + REFLECTED  
WINDOWS**

Drawn by: [Signature]  
Checked by: [Signature]  
Reviewed by: [Signature]  
Scale: 3/16" = 1'-0"  
Project No: 2565

DRAWN	DATE
9/9/23	
SCALE	REVIEWED
3/16" = 1'-0"	
PROJECT NO	2565



1 WEST SITE ELEVATION  
SCALE: 3/16" = 1'-0"



2 EAST SITE ELEVATION  
SCALE: 3/16" = 1'-0"

SEA

ISSUED 2022-05-19

REVISION

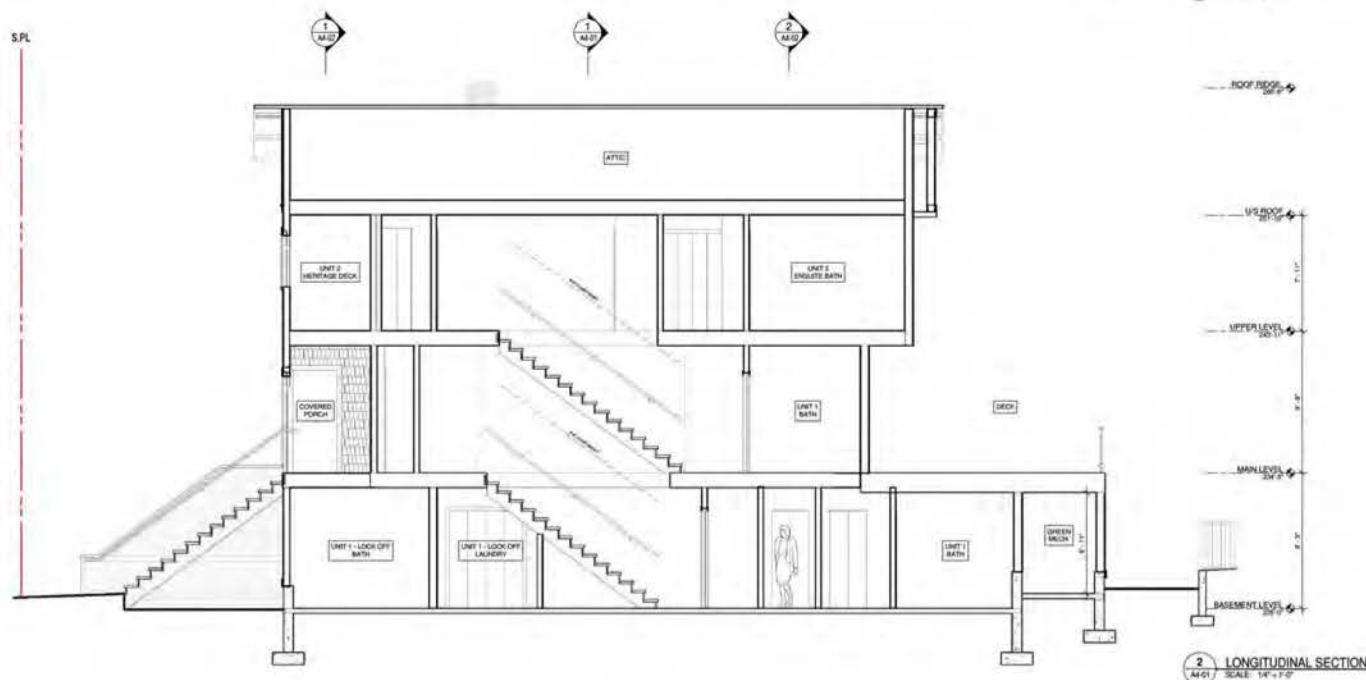
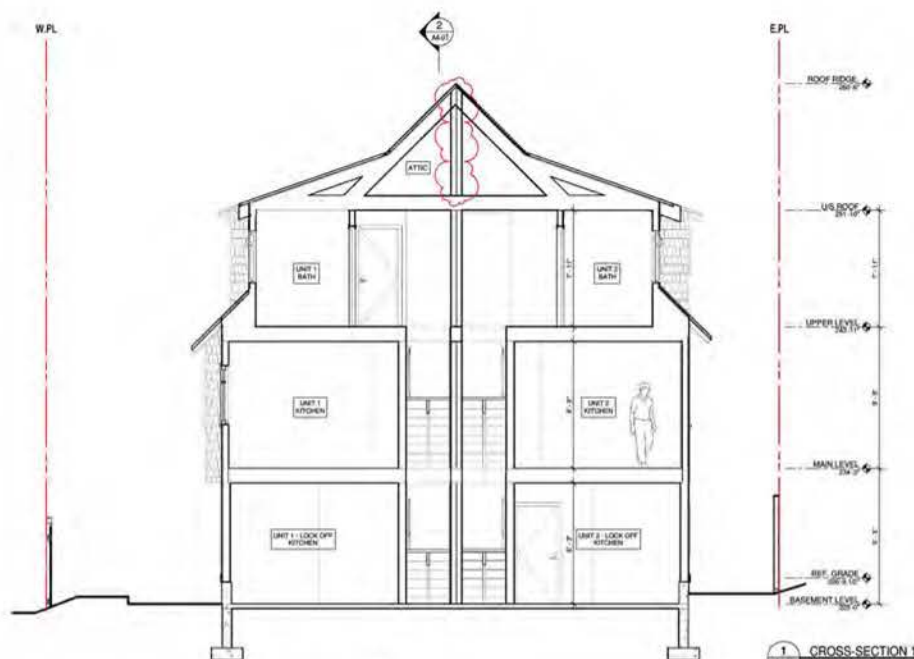
No.	Date	Description
1	2021-07-23	REZONING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	REZONING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

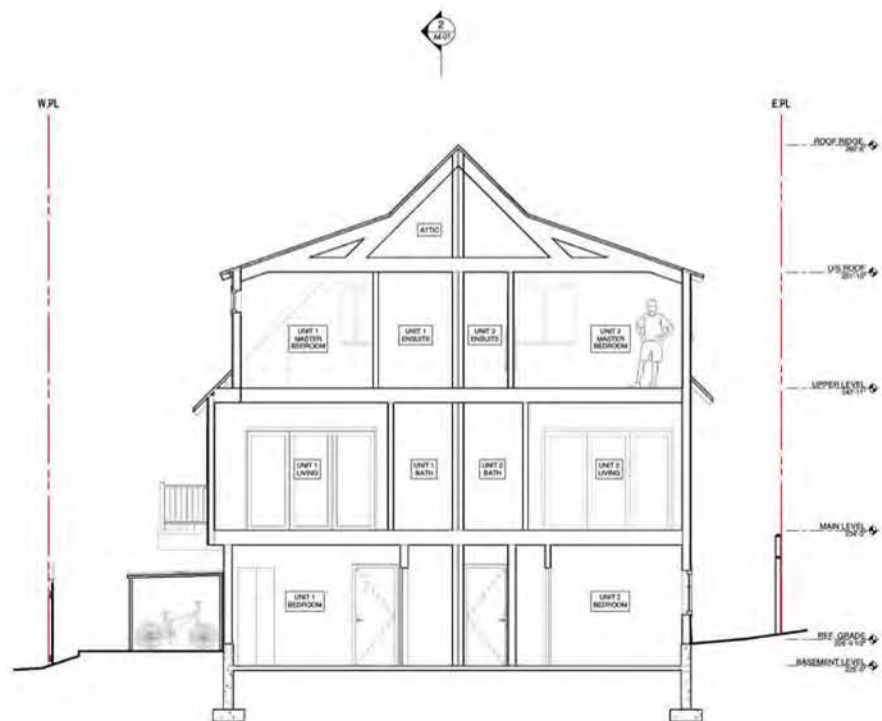
PROJECT  
**KNOWLES RESIDENCE**  
308 W 18th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING  
**HERITAGE SECTIONS**

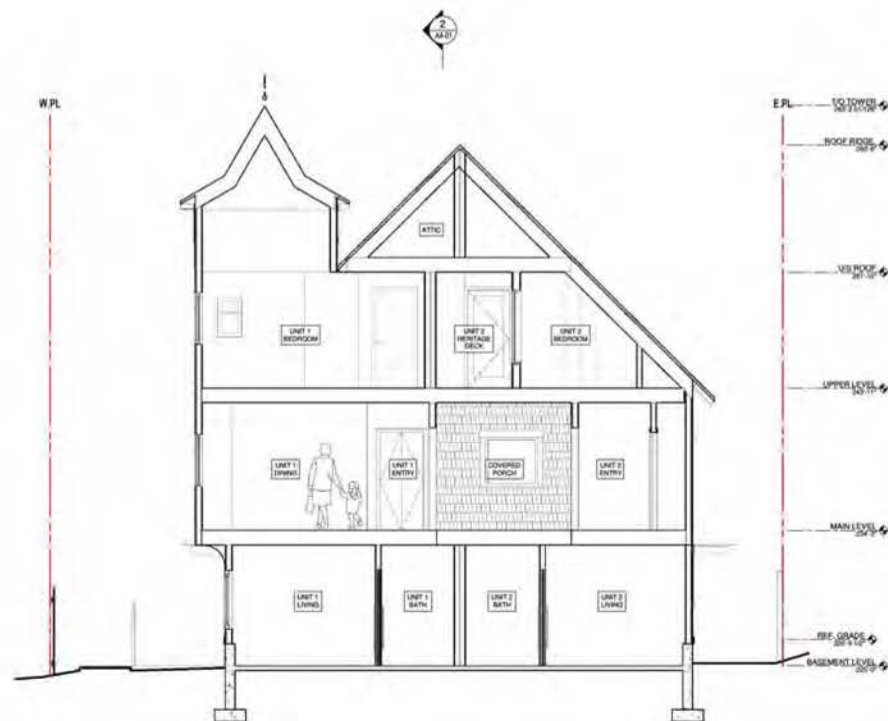
DRAWN	DATE
MBZ/221	2022-05-19
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2060

**A4-01**





2 CROSS-SECTION 3  
SCALE: 1/4" = 1'-0"



1 CROSS-SECTION 2  
SCALE: 1/4" = 1'-0"

REVISION



REVISION

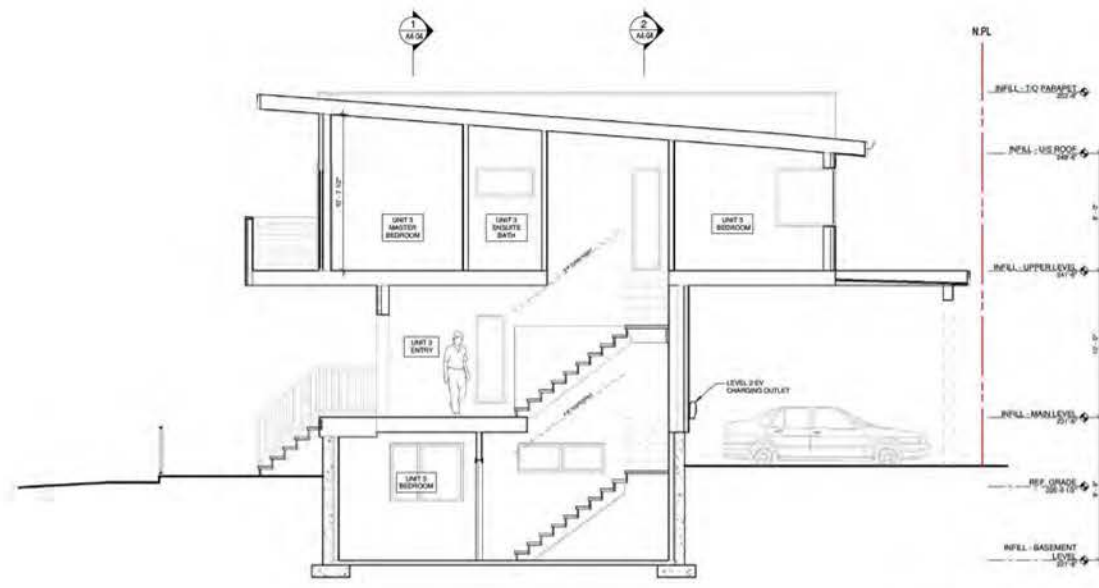
REVISION  
No. Date Description  
# 2022.05.19 REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
308 W 14th St,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

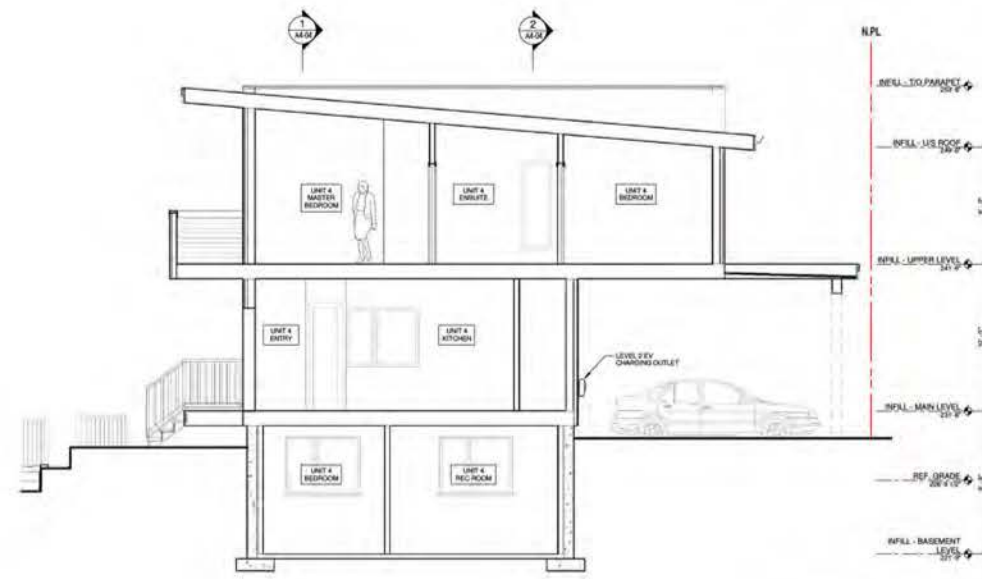
DRAWING  
**HERITAGE SECTIONS**

DRAWN DATE  
8/11/22  
SCALE REVIEWED  
1/4" = 1'-0"  
PROJECT NO 2505





**1 UNIT 3 CROSS-SECTION**  
SCALE: 1/4" = 1'-0"



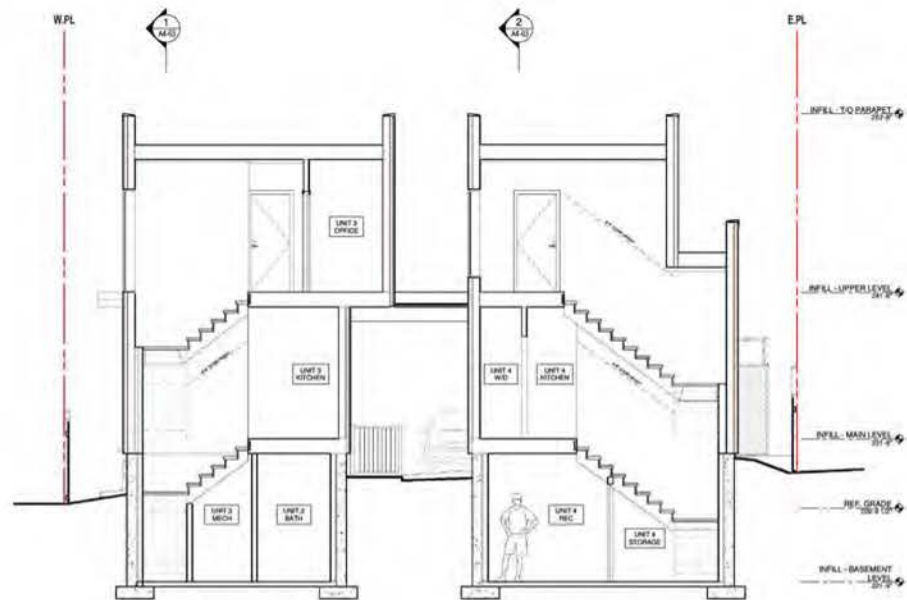
**2 UNIT 4 CROSS-SECTION**  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	2021 07 23	REZONING APP DRAFT
2	2021 08 27	CLIENT REVIEW
3	2021 10 01	REZONING SUBMISSION
4	2022 01 18	CLIENT REVIEW
5	2022 02 23	REZONING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

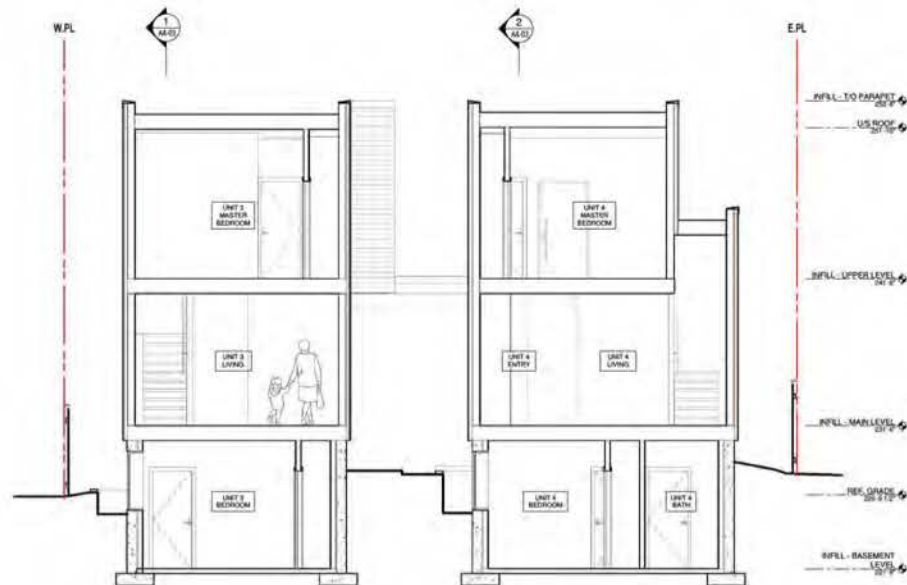
**PROJECT**  
**KNOWLES RESIDENCE**  
308 W 146 ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**DRAWING**  
**INFILL SECTIONS**

DRAWN	DATE
MB	02/2/21
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2505



2 LONGITUDINAL SECTION 2  
SCALE: 1/4" = 1'-0"



1 LONGITUDINAL SECTION 1  
SCALE: 1/4" = 1'-0"

METRIC

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SEA

ISSUED

REVISION

No. Date Description  
# 2022.05.19 REVIEW MEMO 1 RESP.

PROJECT

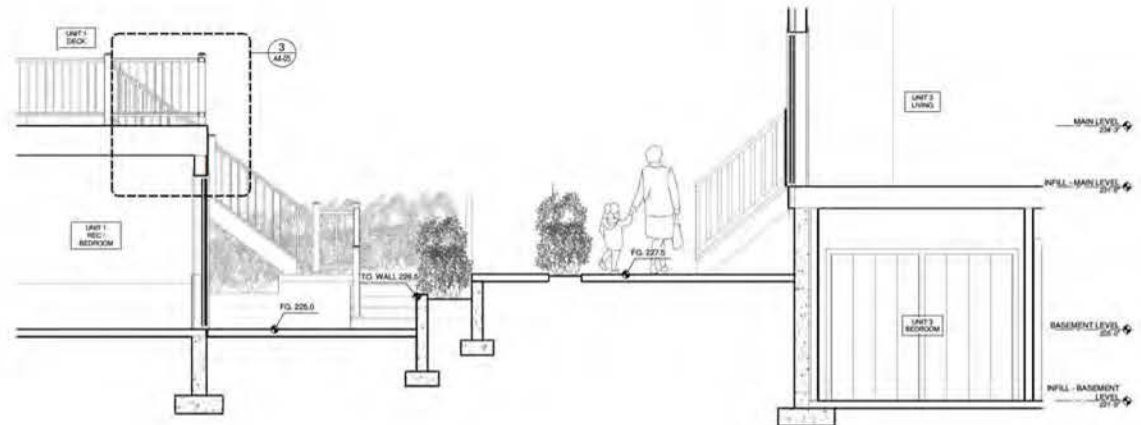
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308 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

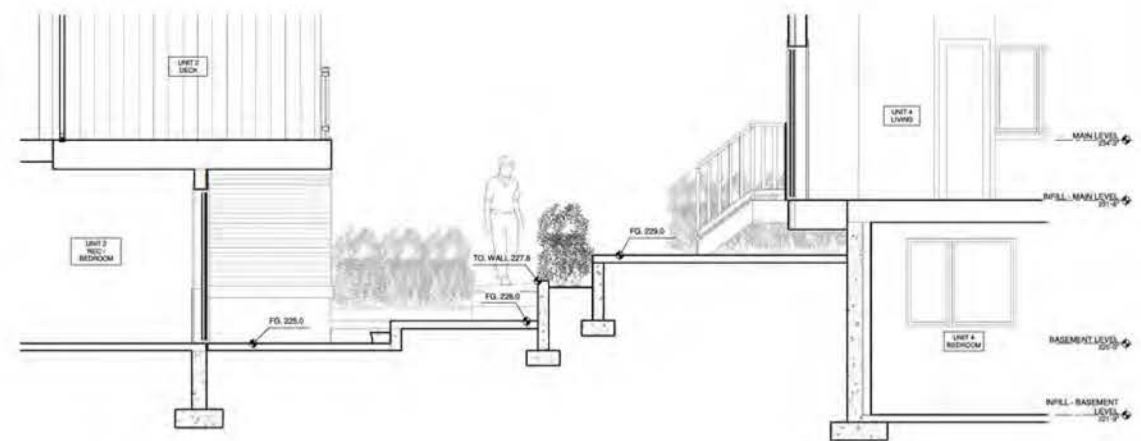
INFILL SECTIONS

DRAWN DATE  
8/5/22  
SCALE REVIEWED  
1/4" = 1'-0"  
PROJECT NO 2505

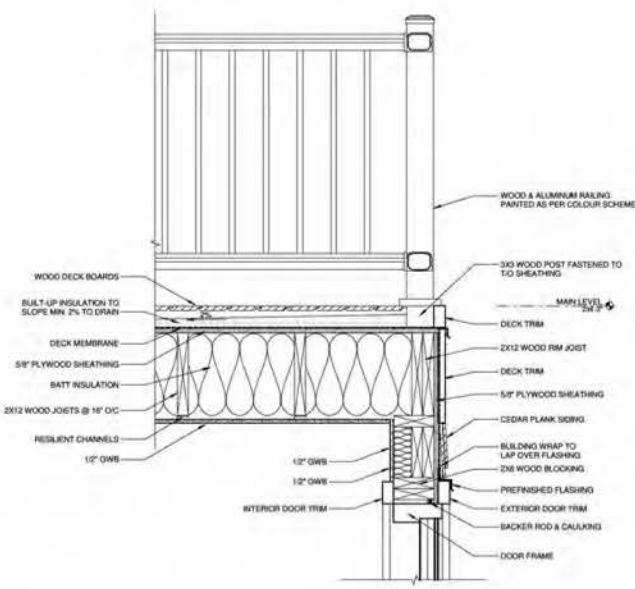
A4-04



1 COURTYARD SECTION - UNIT 1 & 3  
SCALE: 3/8" = 1'-0"



2 COURTYARD SECTION - UNIT 2 & 4  
SCALE: 3/8" = 1'-0"



3 HERITAGE DECK & RAILING DETAIL  
SCALE: 1 1/2" = 1'-0"

SEA

ISSUED 2022-05-19

REVISION

No. Date Description  
# 2022-05-19 REVIEW MEMO 1 RESP.

PROJECT  
KNOWLES RESIDENCE

308 W 146 ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

COURTYARD SECTIONS

DRAWN DATE  
As Indicated 04/23/22  
SCALE REVIEWED  
PROJECT NO 2505

A4-05

## LEVEL 1

### DESIGN ELEMENTS

#### BUILDING ACCESS

- Outside stairs - maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from sidewalks
- Canopy over main building entrances (3' or 915mm) and entrance
- Disability Parking provided in accordance with Zoning Bylaw Figure 9-4 as attached
- Flush thresholds throughout the building maximum 1/2" or 13mm height
- Accessible building entrance, call buttons and, where provided, suite door bells

#### CIRCULATION

- Corridors minimum 4' or 1200mm wide (except for service access areas)

### FIXTURES AND FINISHES

#### BASIC

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
- No polished finish on building entry flooring (provide flooring samples)
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide rotation on door schedule)
- Signage throughout common areas has well contrasted colours
- Elevators have well contrasted control buttons

#### CIRCULATION

- Slip resistant flooring
- Colour contrasting and doors

#### ELECTRICAL

- Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system

## LEVEL 2

### FIXTURES AND FINISHES

#### BASIC

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries
- No polished finish on building entry flooring (provide flooring samples)
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide rotation on door schedule)
- Signage throughout common areas has well contrasted colours
- Elevators have well contrasted control buttons

#### CIRCULATION

- Slip resistant flooring
- Colour contrasting and doors

### BUILDING MEETING / AMENITY ROOMS

- Provide carpet and drapes to absorb sound and decrease echoes

#### UNIT ENTRIES

- Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
- Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below

#### UNIT FLOORING

- Non-slip flooring in kitchen and minimum one bathroom (provide flooring samples)
- High density, low level loop carpet and underlay maximum 1/2" or 13mm height

#### PATIOS AND BALCONIES

- Outdoor light fixture provided
- Electrical outlet provided

#### ELECTRICAL

- Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 48" or 1170mm above finished floor
- Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
- Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
- Pocket switches

#### WINDOWS

- Easily grasped and operated mechanisms for opening and locking windows

#### KITCHEN

- Task lighting of at least 100 lux level at sink, stove and work areas in addition to general overhead lighting
- Pull-out work board in addition to a cutlery drawer at 24" or 610mm height
- Lever handle faucets and cabinet handles which can be easily used with an open hand eg. "D" or "J" cabinet handles
- Adjustable shelves in all cabinets

#### MIN. ONE BATHROOM

- Solid blocking provided in walls of tub / shower and toilet area, and behind towel bars
- Platform shower and tub / shower valves
- Pressure in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
- Provision for vanity sink removal
- Adjustable height shower head or hand held shower head on adjustable bracket

#### LIVING ROOM

- One switched electrical outlet

#### BEDROOMS

- Three-way switched outlet at bed area and doorway
- Provide light fixture in or adjacent to closet
- Telephone jack

#### IN-SUITE STORAGE

- Provide light and electrical outlet provided

\* Illustrations available (20-2000)

### DESIGN ELEMENTS

#### BUILDING ACCESS

- Outside stairs - maximum degree of colour contrast on nosing of each stair
- Curb cuts have tactile and visual cues
- Unobstructed access to main building entrances from sidewalks
- Unobstructed internal access
- from parking levels containing accessible parking (5' or 1500mm corridors, 2' or 610mm clear walk space adjacent to door width)
- garbage and recycling receptacles and storage lockers
- no stairs within building circulation including corridors on residential levels
- accessible storage lockers for each unit
- Canopy over main building entrances (3' or 915mm) and entrance
- Provide automatic door opener for at least one building entry door at ground level as well as doors leading into the building on each underground parking level where disability parking is provided
- Disability Parking provided in accordance with Zoning Bylaw Figure 9-4 as attached
- 2' or 610mm building and suite entry doors
- Flush thresholds throughout the building maximum 1/2" or 13mm height
- Accessible building entrance, call buttons and, where provided, suite door bells

#### COMMON AREAS

- Accessible mailboxes for all AD Level 2 units, and 5' or 1500mm turning radius in front

#### CIRCULATION

- Corridors minimum 4' or 1200mm wide (except for service access areas)
- Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit

#### SUITE CIRCULATION

- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear walk space adjacent to door swings toward user (specify door swing) acceptable for bedrooms and bathrooms

#### DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2' 10" or 660mm clear opening

#### PATIOS AND BALCONIES

- Minimum one door 2' 10" or 660mm clear door opening
- Minimum one patio or balcony door with maximum 1/2" or 13mm threshold
- Minimum 5' or 1500mm turning radius on patio / balcony

#### WINDOWS

- Opening mechanism maximum 48" or 1180mm above floor (provide rotation on window schedule)
- Provide minimum 6'0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2' 4" or 750mm above the floor

#### KITCHEN

- Continuous counter between sink and stove

#### MIN. ONE BATHROOM

- Toilet located adjacent to wall (min. 2' or 610mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 2' or 610mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position
- Accessible storage

\* Illustrations available (20-2000)  
\*\* Options considered

#### WINDOWS

- Easily grasped and operated mechanisms for opening and locking windows
- Opening mechanism maximum 48" or 1180mm above floor (provide rotation on window schedule)
- Provide minimum 6'0" or 1800mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2' 4" or 750mm above the floor

#### BEDROOMS

- Three-way switched outlet at bed area and doorway
- Provide light fixture in or adjacent to closet
- Telephone jack

#### UNIT ENTRY DOOR

- Easy to read building address numbers (min. 4" or 100mm high in contrasting colours)
- 2' or 610mm building and suite entry doors
- Provide 5' or 1500mm turning radius inside and outside the entry corridor of each dwelling unit
- Provide wiring for an automatic door opener for the suite entry door
- Provide 2' or 610mm clear walk space adjacent to door swings toward user (specify door swing) acceptable for bedrooms and bathrooms
- Adjustable door closers to reduce force to open door to maximum 22N or 5 lbs.
- Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
- Door handle at 40" or 1000mm above the floor, with deadbolts placed immediately above or below
- Flush thresholds throughout the building maximum 1/2" or 13mm height
- Accessible building entrance, call buttons and, where provided, suite door bells
- Lighting levels to a minimum of 100 lux outside and inside main building entries and suite entries

#### ENTRY

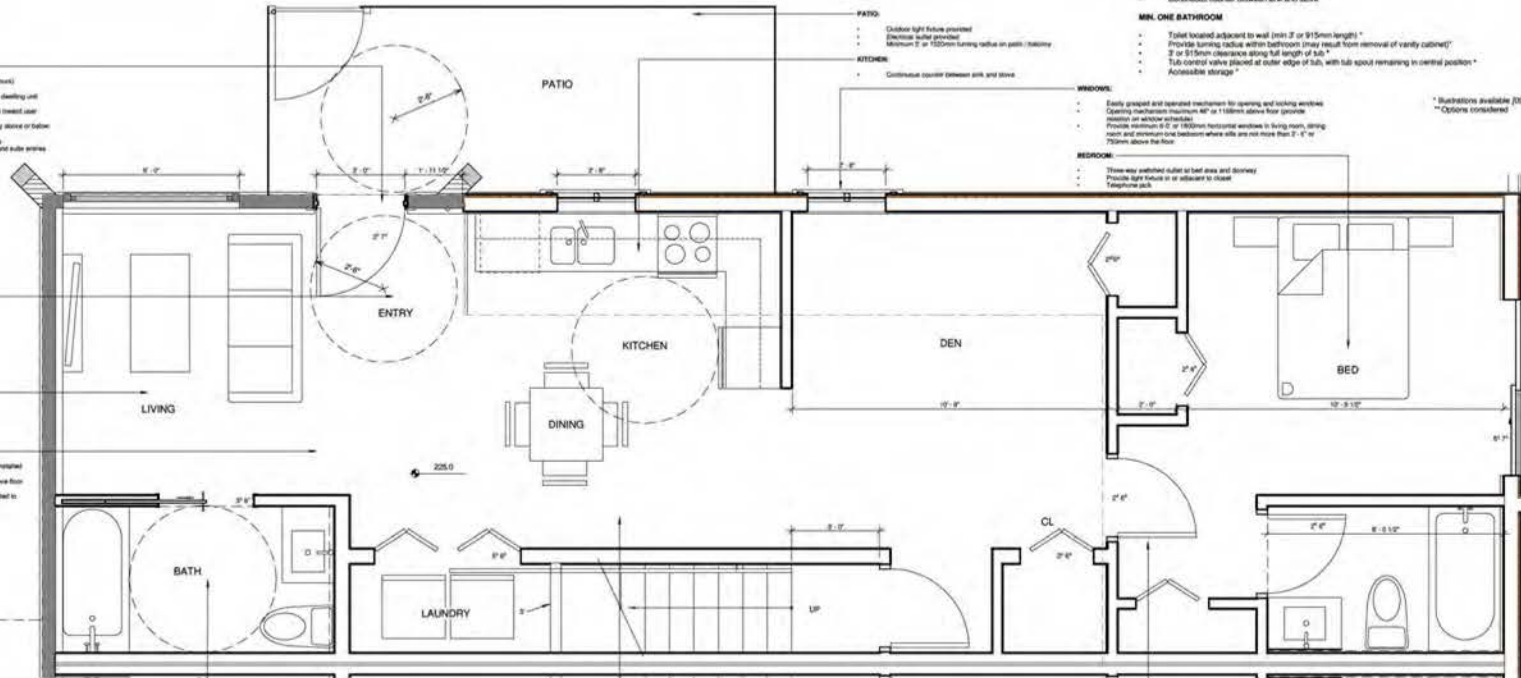
- No polished finish on building entry flooring

#### LIVING ROOM

- One switched electrical outlet

#### ELECTRICAL

- Switches, controls, thermostats and the highest breaker in the suite panel, to be installed no higher than 48" or 1170mm above finished floor
- Electrical outlets, cable outlets, telephone jacks not lower than 18" or 450mm above floor
- Within suites a duplex outlet is required within 8' or 200mm of a telephone jack
- Wiring for visual alarm system in living room and minimum one bedroom, connected to fire alarm system
- Pocket switches



#### BATHROOM

- Toilet located adjacent to wall (min. 2' or 610mm length)
- Provide turning radius within bathroom (may result from removal of vanity cabinet)
- 2' or 610mm clearance along full length of tub
- Tub control valve placed at outer edge of tub, with tub spout remaining in central position
- Accessible storage
- Solid blocking provided in walls of tub / shower and toilet area, and behind towel bars
- Platform shower and tub / shower valves
- Pressure in water supply and drain to allow for a 4" (100mm) drop in vanity height (offset plumbing)
- Provision for vanity sink removal
- Adjustable height shower head or hand held shower head on adjustable bracket

#### FLOORING

- Non-slip flooring in kitchen and minimum one bathroom
- High density, low level loop carpet and underlay
- High density, low level loop carpet and underlay
- Maximum 1/2" or 13mm height

#### INTERIOR DOORS

- Minimum one bathroom, minimum one bedroom and storage room doors 2' 10" or 660mm clear opening
- Provide 2' or 610mm clear walk space adjacent to door swings toward user (specify door swing) acceptable for bedrooms and bathrooms
- Except for pocket doors, sliding doors, or doors equipped with openers, lever door handles are required on all doors (provide rotation on door schedule)

2 ADAPTABLE UNIT 1 (UNIT 2 SIMILAR)  
SCALE: 1/2" = 1'-0"

## METRIC

### ARCHITECTURE

6719 Market Hill  
Vancouver, BC  
Canada V5Z 4B5  
T: 604.785.4315  
E: info@metricarchitects.com

#### SEA



#### ISSUED

2022-06-01

#### REVISION

No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

#### PROJECT

KNOWLES RESIDENCE  
336 W 146 ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

#### DRAWING

LEVEL 2 ADAPTABLE  
GUIDELINES - LOCK-OFF  
SUITES

Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]  
Date: [Date]  
Scale: [Scale]  
Project No: [Project No]

DRAWN	DATE
AS-01	2022-01
SCALE	REVIEWED
As Indicated	
PROJECT NO	2008

## A5-01



No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
4	2022-01-18	CLIENT REVIEW
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

KNOWLES RESIDENCE  
308 W 16th St.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

AREA PLANS



## HERITAGE & INFILL DWELLING AREA

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	228 SF	403 SF	629 SF	1,257 SF
HERITAGE DECK (TO BE REINTEGRATED)			1,235 SF	31 SF	1,266 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,160 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
	(EXCLUDED)			PROPOSED FSR (0.54)	

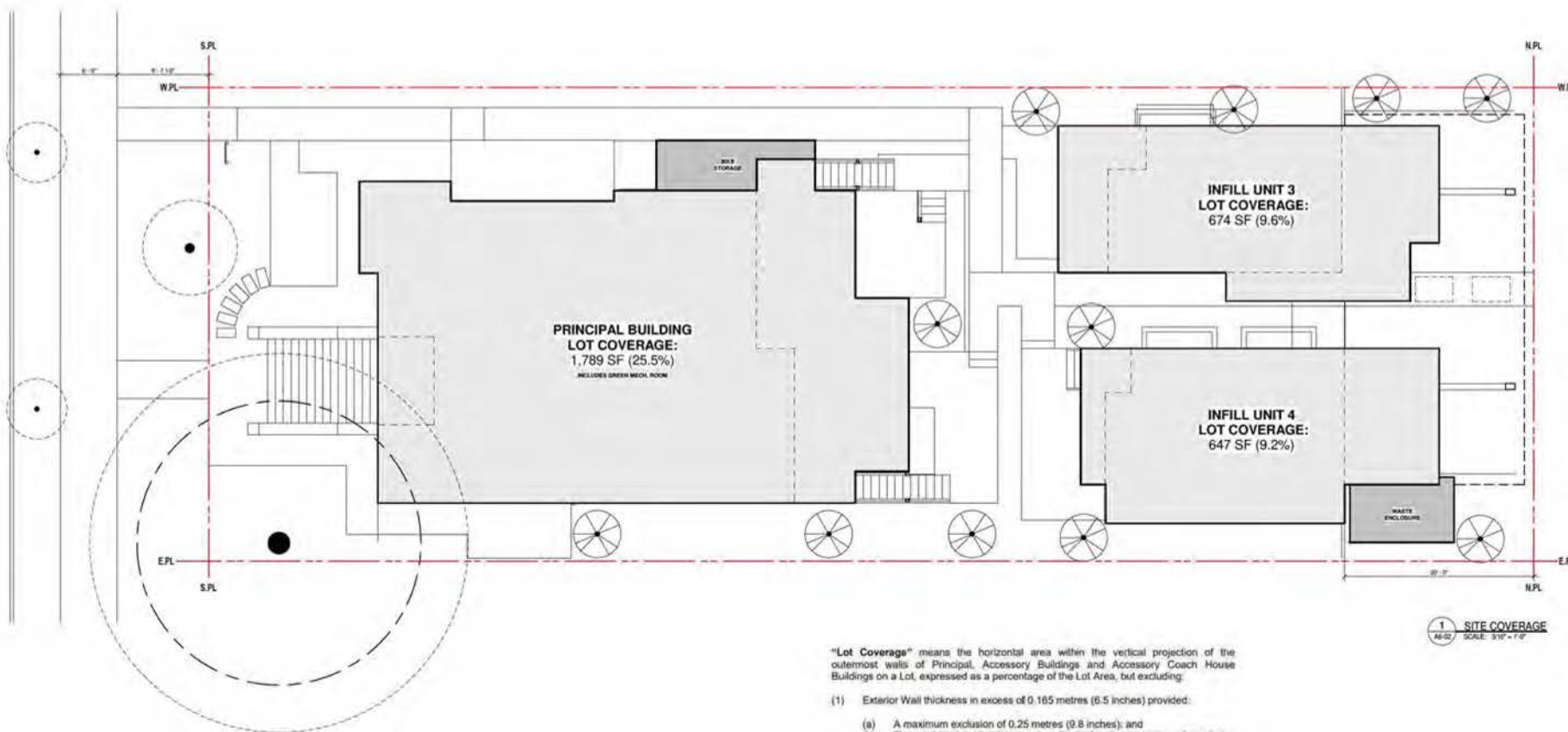
## UNIT AREAS

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	766 SF
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	760 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

## EXCLUSIONS

	TOTAL
BASEMENT	2,375 SF
BIKE STORAGE	110 SF
CARPORT	750 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM	65 SF
WASTE ENCLOSURE	67 SF
	3,398 SF





"Lot Coverage" means the horizontal area within the vertical projection of the outermost walls of Principal, Accessory Buildings and Accessory Coach House Buildings on a Lot, expressed as a percentage of the Lot Area, but excluding:

- (1) Exterior Wall thickness in excess of 0.165 metres (6.5 inches) provided:
  - (a) A maximum exclusion of 0.25 metres (9.8 inches); and
  - (b) The excluded wall thickness is utilized for the provision of insulating materials and/or for the protection against wind, water and vapour;
- (2) Accessory Structures to shelter Off-Street Parking Uses or enclose swimming pools;
- (3) Underground Structures;
- (4) Bay Windows; (Bylaw 7130, June 28, 1989)
- (5) For One Unit Residential Use and Two Unit Residential Use Lot Coverage shall include: (Bylaw 9418, June 15, 2015)
  - (a) Decks;
  - (b) Porches; and,
  - (c) Balconies greater than 1.0 metres (3.28 feet) above grade; but shall exclude Accessory Buildings subject to Section 514(1)(b).

City of North Vancouver  
Division 1: Administration  
Zoning Bylaw, 1995, No. 4700

<b>PRINCIPAL BUILDING COVERAGE:</b>	1,789 SF (25.5%)
<b>INFILL COVERAGE:</b>	1,321 SF (18.8%)
<b>ACCESSORY STRUCTURES:</b> (BIKE STORAGE & WASTE ENCLOSURE)	136 SF (1.9%)
<b>TOTAL SITE COVERAGE:</b>	3,246 SF (46.2%)
<b>SITE AREA:</b>	7,000 SF

REVISION

REVISION

REVISION  
No. Date Description  
4 2022-01-26 CLIENT REVIEW  
5 2022-02-23 REZONING REV. 1  
6 2022-05-19 REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
308 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V6M 1P6

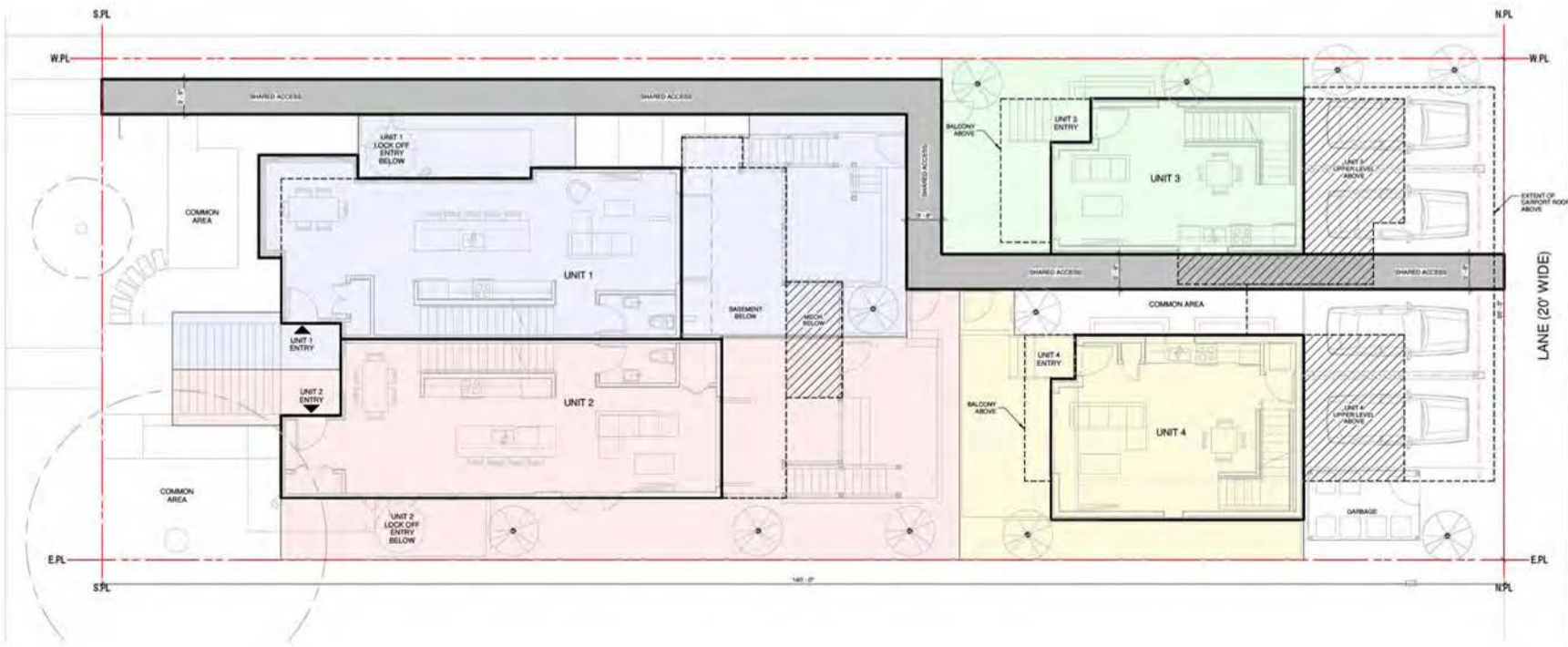
DRAWING  
**SITE COVERAGE**

DRAWN DATE  
9/23/21  
SCALE REVIEWED  
3/16" = 1'-0"  
PROJECT NO 2365

**A6-02**

W 14TH STREET

SIDEWALK



■ DENTOES LOCATION OF SHARED ACCESS



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ISSUED 2022-09-15

REVISION  
No. Date Description  
4 2022-01-26 CLIENT REVIEW  
5 2022-02-23 REZONING REV. 1  
6 2022-05-19 REVIEW MEMO 1 RESP.

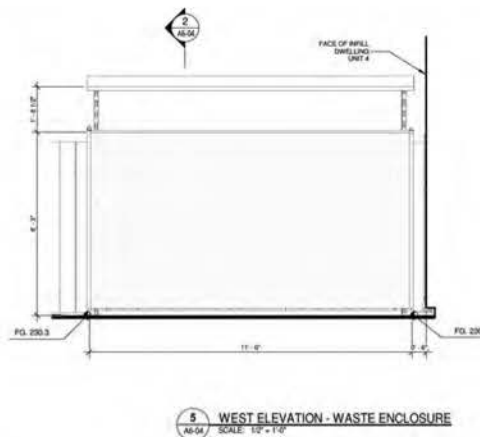
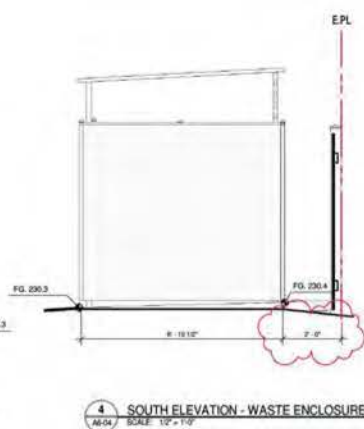
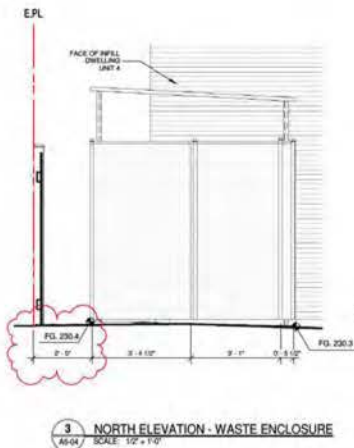
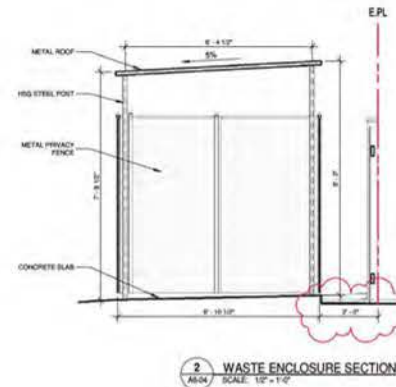
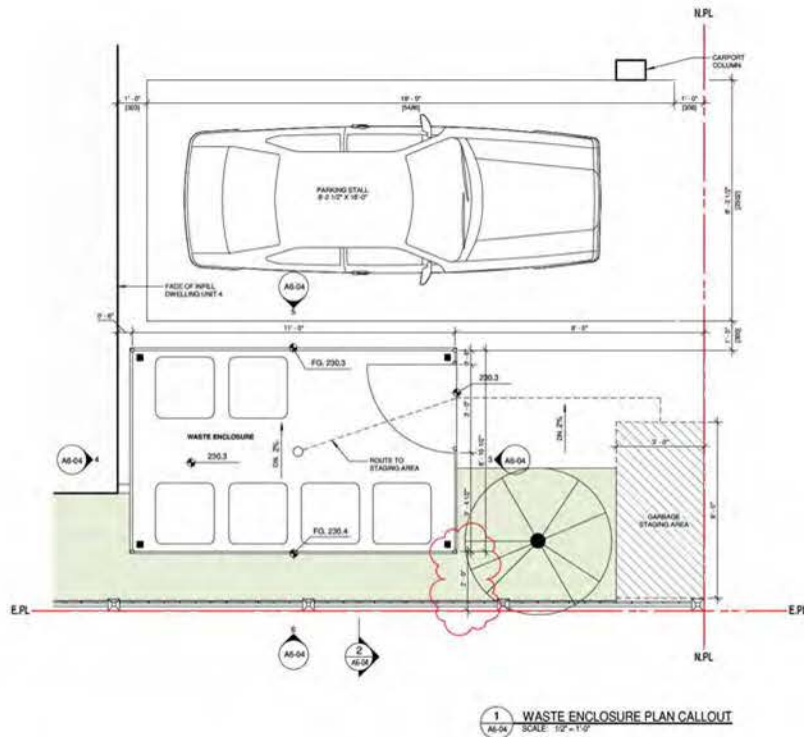
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BC V7M 1P6

DRAWING  
**SITE PLAN - SHARED ACCESS**

1 SITE PLAN - SHARED ACCESS  
A6-03 SCALE: 3/16" = 1'-0"

DRAWN DATE  
As Indicated 12/19/21  
SCALE REVIEWED  
PROJECT NO 2505

**A6-03**







DECEMBER 21<sup>ST</sup> @ 10:00 am



MARCH 21<sup>ST</sup> @ 10:00 am



JUNE 21<sup>ST</sup> @ 10:00 am



DECEMBER 21<sup>ST</sup> @ 12:00 pm



MARCH 21<sup>ST</sup> @ 12:00 pm



JUNE 21<sup>ST</sup> @ 12:00 pm



DECEMBER 21<sup>ST</sup> @ 2:00 pm



MARCH 21<sup>ST</sup> @ 2:00 pm



JUNE 21<sup>ST</sup> @ 2:00 pm

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ISSUED 2022-09-05

**REVISION**

No.	Date	Description
1	2021-07-23	RECORDING APP DRAFT
2	2021-08-27	CLIENT REVIEW
3	2021-10-01	RECORDING SUBMISSION
5	2022-03-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

**PROJECT**

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**DRAWING**

**SHADOW STUDIES**

Drawn by: [Name]	Date: 09/27/21
Scale: 1" = 30'-0"	Reviewed: [Name]
Project No: [Number]	2006

**A6-05**





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2022-05-19

REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

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DRAWING

**HERITAGE EXTERIOR  
PERSPECTIVES**

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DRAWN	DATE
	01/25/22
SCALE	REVIEWED
1" = 1'-0"	
SHEET NO	2000

**A7-01**



REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT  
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DRAWING  
**COURTYARD  
PERSPECTIVES**

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REVISION

No.	Date	Description
4	2022 01 26	CLIENT REVIEW
5	2022 02 23	REZONING REV. 1
6	2022 05 19	REVIEW MEMO 1 RESP.

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DRAWING

**INFILL EXTERIOR  
PERSPECTIVES**

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8/23/22	
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1/4" = 1'-0"	
PROJECT NO	2005

**A7-03**

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ISSUED 2022-05-19

REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT  
**KNOWLES RESIDENCE**  
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DRAWING  
**AXONOMETRIC VIEW -  
SOUTH-WEST**

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PROJECT NO	2005





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5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

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DRAWING

**AXONOMETRIC VIEW -  
NORTH-WEST**

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DRAWN DATE

1/23/22

SCALE REVIEWED

1/4" = 1'-0"

PROJECT NO 2005

**A7-05**



SPATIAL SEPARATION - EAST ELEVATION HERITAGE

LIMITING DISTANCE: 6.2 FT (1.9 M)

UNIT 2

AREA OF EXPOSING BUILDING FACE: 608.5 SF (56 SM)

ALLOWABLE AREA OF UNPROTECTED OPENINGS: 119 SF (10.9 SM) - 19.4 %

PROPOSED AREA OF UNPROTECTED OPENINGS: 97.26 SF (9.0 SM) - 15.9 %

UNIT 2 LOCK OFF

AREA OF EXPOSING BUILDING FACE: 408.5 SF (38 SM)

ALLOWABLE AREA OF UNPROTECTED OPENINGS: 85 SF (7.9 SM) - 20.8 %

PROPOSED AREA OF UNPROTECTED OPENINGS: 33.0 SF (3.0 SM) - 8.0 %

BCBC 9.10.14.4.-A



1 EAST ELEVATION - UNPROTECTED OPENINGS  
AS-01 SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION - WEST ELEVATION HERITAGE

LIMITING DISTANCE: 9.9 FT (3.0 M)

UNIT 1

AREA OF EXPOSING BUILDING FACE: 670 SF (62.25 SM)

ALLOWABLE AREA OF UNPROTECTED OPENINGS: 236 SF (21.9 SM) - 35.2 %

PROPOSED AREA OF UNPROTECTED OPENINGS: 128.5 SF (11.9 SM) - 19.2 %

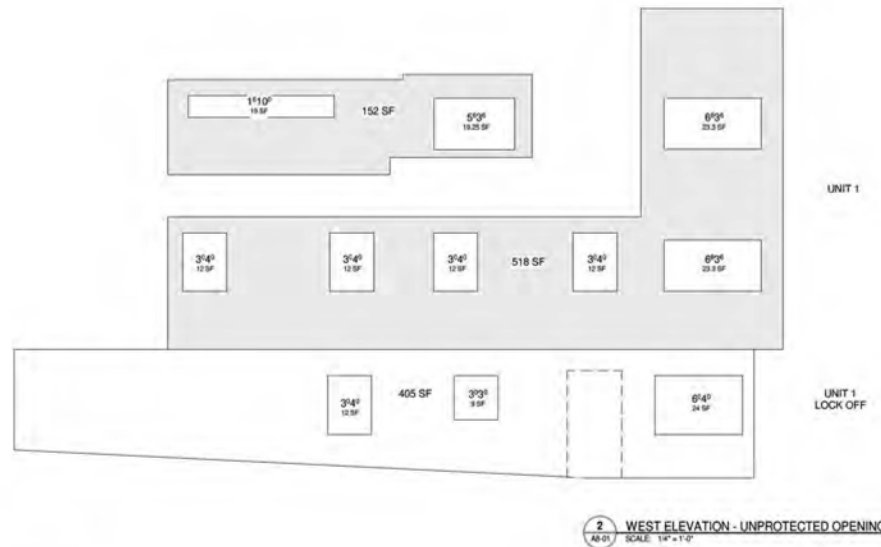
UNIT 1 LOCK OFF

AREA OF EXPOSING BUILDING FACE: 405 SF (37.6 SM)

ALLOWABLE AREA OF UNPROTECTED OPENINGS: 174 SF (16.2 SM) - 42.9 %

PROPOSED AREA OF UNPROTECTED OPENINGS: 45 SF (4.1 SM) - 11.1 %

BCBC 9.10.14.4.-A



2 WEST ELEVATION - UNPROTECTED OPENINGS  
AS-01 SCALE: 1/4" = 1'-0"

Table 9.10.14.4.-A  
Maximum Aggregate Area of Unprotected Openings in Exterior Walls<sup>(1)</sup>  
Forming Part of Sentence 9.10.14.4.(1)

Occupancy Classification of Building	Maximum Total Area of Exposing Building Face, m <sup>2</sup>	Maximum Aggregate Area of Unprotected Openings, % of Exposing Building Face Area											
		Limiting Distance, m											
		Less than 1.2	1.2	1.5	2.0	4.0	6.0	8.0	10.0	12.0	16.0	20.0	25.0
Residential, business and personal services, and low-hazard industrial	30	0	7	9	12	39	88	100	-	-	-	-	-
	40	0	7	8	11	32	69	100	-	-	-	-	-
	50	0	7	8	10	28	57	100	-	-	-	-	-
	100	0	7	8	9	18	34	55	84	100	-	-	-
	Over 100	0	7	7	8	12	19	29	40	55	82	100	-

Notes to Table 9.10.14.4.-A:

(1) See also Sentences (6) and (7) to calculate the maximum permitted area of unprotected openings in sprinklered buildings or where wired glass or glass blocks are used.

(6) The maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), where the unprotected openings are glazed with:

- a) wired glass in steel frames, as described in Article 9.10.13.5, or;
- b) glass blocks, as described in Article 9.10.13.7.

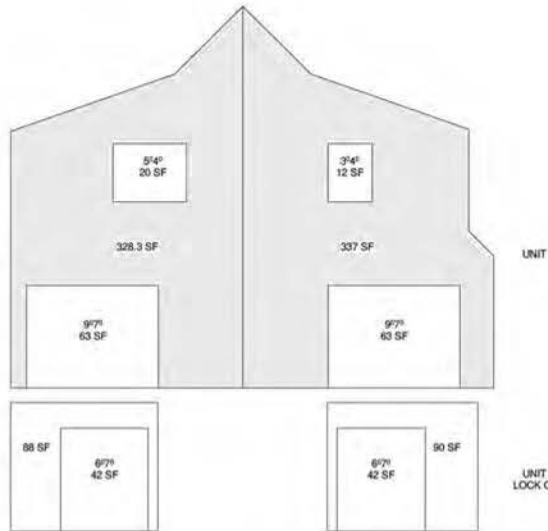
(7) Where the building is sprinklered, the maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), provided all rooms, including closets and bathrooms, (i) are adjacent to the exposing building face and that have unprotected openings are sprinklered, notwithstanding any exemptions in the sprinkler standards referenced in Article 3.2.3.12.



**SPATIAL SEPARATION - NORTH ELEVATION HERITAGE**

LIMITING DISTANCE: 16.4 FT (5.0 M)  
**UNIT 2**  
AREA OF EXPOSING BUILDING FACE: 328.3 SF (30.5 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 328.3 SF (30.5 SM) - 100 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 83 SF (7.7 SM) - 25.3 %

UNIT 2



**SPATIAL SEPARATION - NORTH ELEVATION HERITAGE**

LIMITING DISTANCE: 16.4 FT (5.0 M)  
**UNIT 1**  
AREA OF EXPOSING BUILDING FACE: 337 SF (31.3 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 337 SF (31.3 SM) - 100 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 75 SF (6.9 SM) - 22.3 %

UNIT 1

LIMITING DISTANCE: 13.2 FT (4.0 M)

**UNIT 2 - LOCK OFF**

AREA OF EXPOSING BUILDING FACE: 89 SF (8.3 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 70 SF (6.5 SM) - 78.6 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 42 SF (3.9 SM) - 39.0 %  
BCBC 9.10.14.4 - A

UNIT 2  
LOCK OFF

LIMITING DISTANCE: 13.2 FT (4.0 M)

**UNIT 1 - LOCK OFF**

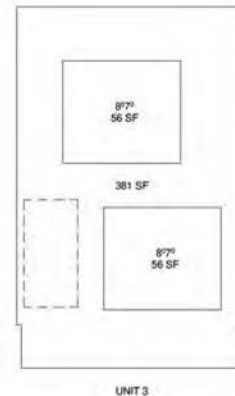
AREA OF EXPOSING BUILDING FACE: 90 SF (8.4 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 70.2 SF (6.5 SM) - 78.0 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 42 SF (3.9 SM) - 38.8 %  
BCBC 9.10.14.4 - A

UNIT 1  
LOCK OFF

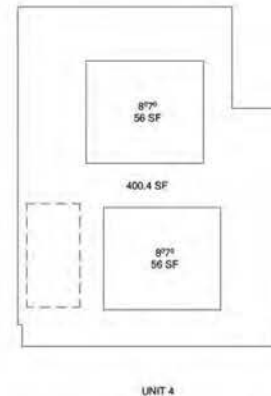
**1 NORTH ELEVATION - UNPROTECTED OPENINGS**  
SCALE: 1/4" = 1'-0"

**SPATIAL SEPARATION - SOUTH ELEVATION INFILL**

LIMITING DISTANCE: 13.2 FT (4.0 M)  
**INFILL - UNIT 3**  
AREA OF EXPOSING BUILDING FACE: 381 SF (35.4 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 269 SF (25 SM) - 70.5 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 112.0 SF (10.4 SM) - 29.3 %  
BCBC 9.10.14.4 - A



UNIT 3



UNIT 4

**2 SOUTH ELEVATIONS INFILL - UNPROTECTED OPENINGS**  
SCALE: 1/4" = 1'-0"

**SPATIAL SEPARATION - SOUTH ELEVATION INFILL**

LIMITING DISTANCE: 13.2 FT (4.0 M)  
**INFILL - UNIT 4**  
AREA OF EXPOSING BUILDING FACE: 400.4 SF (37.2 SM)  
ALLOWABLE AREA OF UNPROTECTED OPENINGS: 271.2 SF (25.2 SM) - 67.7 %  
PROPOSED AREA OF UNPROTECTED OPENINGS: 112.0 SF (10.4 SM) - 28.0 %  
BCBC 9.10.14.4 - A

**Table 9.10.14.4-A**  
**Maximum Aggregate Area of Unprotected Openings in Exterior Walls<sup>(1)</sup>**  
Forming Part of Sentence 9.10.14.4.(1)

Occupancy Classification of Building	Maximum Total Area of Exposing Building Face, m <sup>2</sup>	Maximum Aggregate Area of Unprotected Openings, % of Exposing Building Face Area										
		Limiting Distance, m										
		Less than 1.2	1.2	1.5	2.0	4.0	6.0	8.0	10.0	12.0	16.0	20.0
Residential, business and personal services, and low-hazard industrial	30	0	7	9	12	39	88	100	-	-	-	-
	40	0	7	8	11	32	69	100	-	-	-	-
	50	0	7	8	10	28	57	100	-	-	-	-
	100	0	7	8	9	18	34	56	84	100	-	-
	Over 100	0	7	7	8	12	19	23	40	55	92	100

**Notes to Table 9.10.14.4-A:**

(1) See also Sentences (6) and (7) to calculate the maximum permitted area of unprotected openings in sprinklered buildings or where wired glass or glass blocks are used.

(6) The maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), where the unprotected openings are glazed with:

- a) wired glass in steel frames, as described in Article 9.10.15.5, or
- b) glass blocks, as described in Article 9.10.15.7.

(7) Where the wiring is prohibited, the maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), provided all rooms, including closets and bathrooms, that are adjacent to the exterior building face and that have unprotected openings are sprinklered, notwithstanding any exemptions in the sprinkler standards referenced in Article 9.2.5.1.2.

SEA

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REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

PROJECT

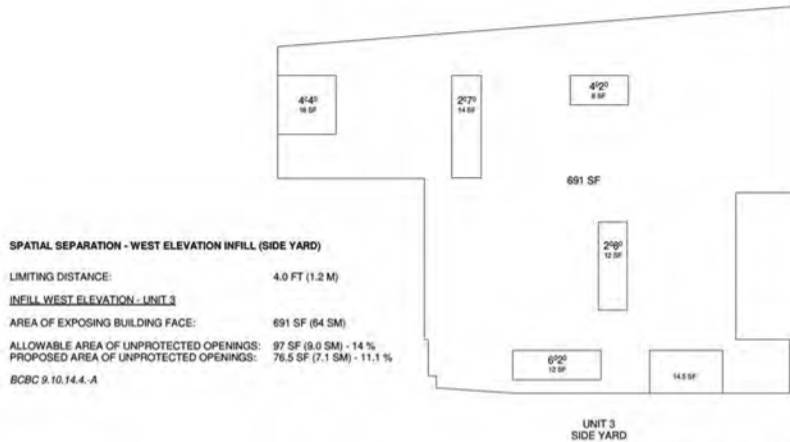
**KNOWLES RESIDENCE**  
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DRAWING

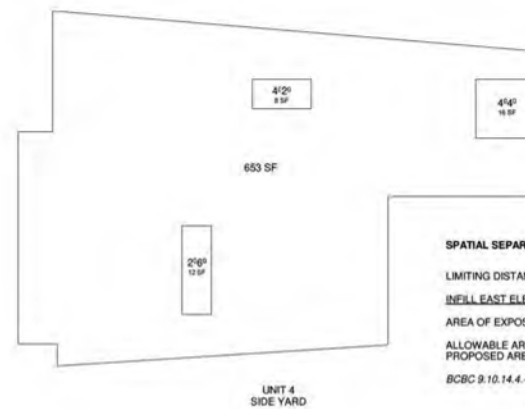
**SPATIAL SEPARATION - HERITAGE & INFILL**

1/2" = 1'-0"  
As indicated  
PROJECT NO 2060

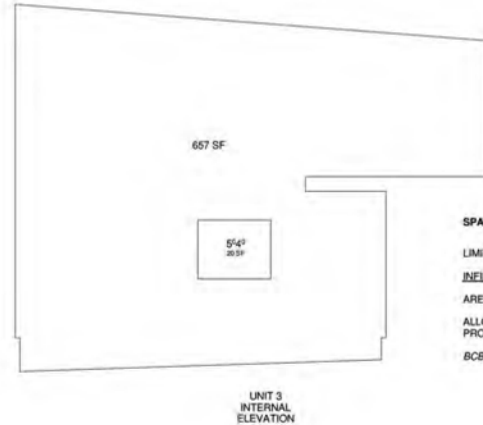
DRAWN	DATE
As indicated	09/2/21
SCALE	REVIEWED
As indicated	2060



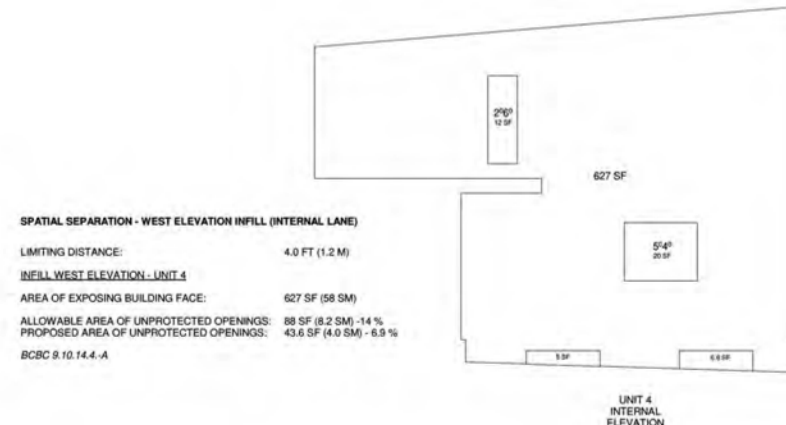
**WEST ELEVATION - UNIT 3 UNPROTECTED OPENINGS**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION - UNIT 4 UNPROTECTED OPENINGS**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION - UNIT 3 UNPROTECTED OPENINGS**  
 SCALE: 1/4" = 1'-0"



**WEST ELEVATION - UNIT 4 UNPROTECTED OPENINGS**  
 SCALE: 1/4" = 1'-0"

**Table 9.10.14.4-A**  
 Maximum Aggregate Area of Unprotected Openings in Exterior Walls<sup>(1)</sup>  
 Forming Part of Sentence 9.10.14.4.(1)

Occupancy Classification of Building	Maximum Total Area of Exposing Building Face, m <sup>2</sup>	Maximum Aggregate Area of Unprotected Openings, % of Exposing Building Face Area										
		Limiting Distance, m										
		Less than 1.2	1.2	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0	5.5
Residential, business and personal services, and low-hazard industrial	30	0	7	9	12	39	88	100	—	—	—	—
	40	0	7	8	11	32	69	100	—	—	—	—
	50	0	7	8	10	28	57	100	—	—	—	—
	100	0	7	8	9	18	34	56	84	100	—	—
	Over 100	0	7	7	8	12	19	28	40	55	92	100

**Notes to Table 9.10.14.4-A:**  
 (1) See also Sentences (6) and (7) to calculate the maximum permitted area of unprotected openings in sprinklered buildings or where wired glass or glass blocks are used.  
 (6) The maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), when the unprotected openings are glazed with:  
 a) wired glass in steel frames, as described in Article 9.10.13.5, or  
 b) glass blocks, as described in Article 9.10.13.7.  
 (7) Where the building is sprinklered, the maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), provided all rooms, including closets and bathrooms, that are adjacent to the exposing building face and that have unprotected openings are sprinklered, notwithstanding any exemptions in the sprinkler standards referenced in Article 9.2.5.1.2.

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ISSUED 2022-09-15

**REVISION**  
 No. Date Description  
 4 2022-01-26 CLIENT REVIEW  
 5 2022-02-23 REZONING REV. 1  
 6 2022-05-19 REVIEW MEMO 1 RESP.

**PROJECT**  
**KNOWLES RESIDENCE**  
 338 W 14th ST,  
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**DRAWING**  
**SPATIAL SEPARATION - INFILL**

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**DRAWN** DATE  
 19/12/21  
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**PROJECT NO** 2005



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ISSUED 2022-05-19

REVISION

No.	Date	Description
5	2022-02-23	RECORDING REV. 1
6	2022-05-19	REVIEW MEMO 1 RESP.

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DRAWN	DATE
GTJ/21	2022-05-19

SCALE	REVIEWED
1/2" = 1'-0"	2022-05-19

PROJECT NO	2005
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**A9-01**





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ISSUED 2022-09-15

## REVISION

No. Date Description  
5 2022-02-23 REWORKING REV. 1  
6 2022-05-19 REVIEW MEMO 1 RESP.

## PROJECT

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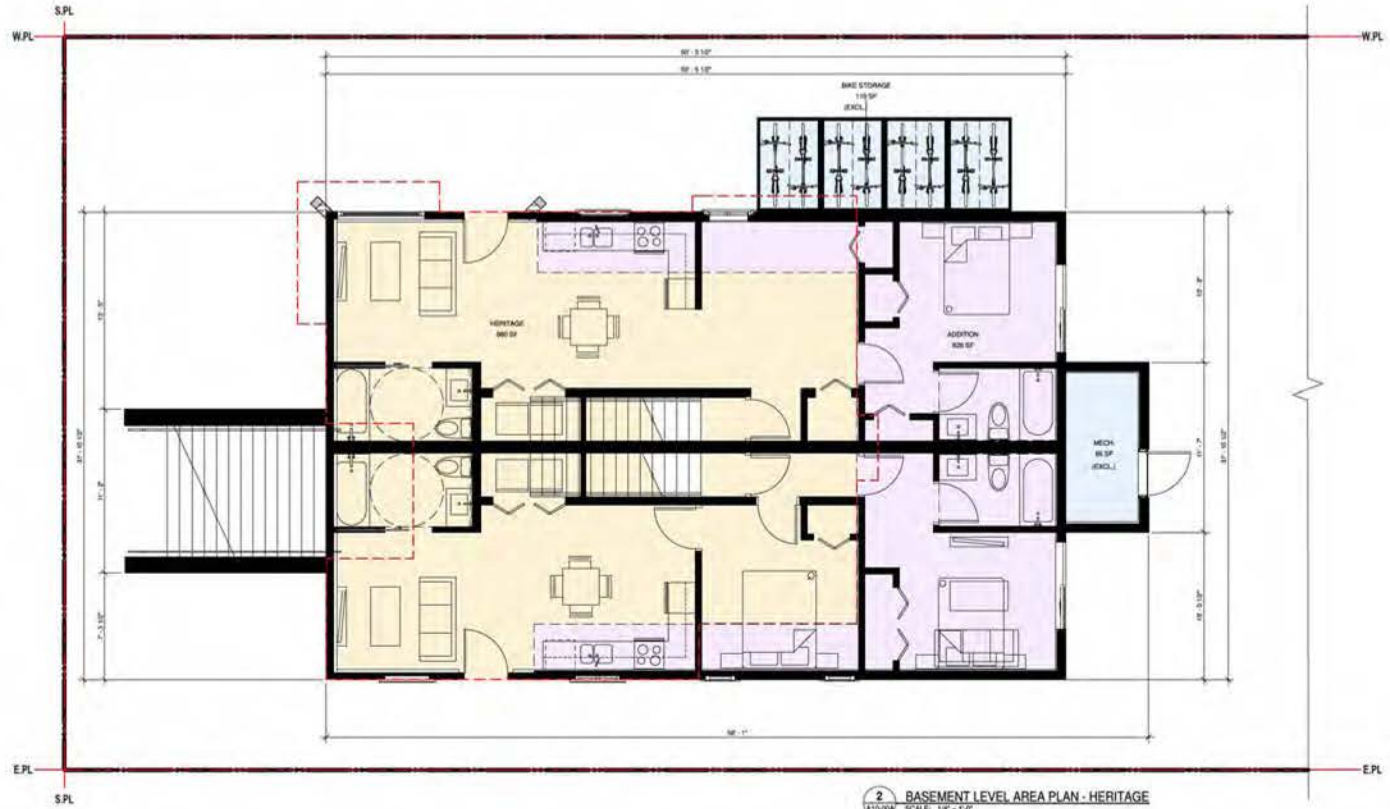
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**DRAWN** **DATE**  
07/2/21

**SCALE** **REVIEWED**

**PROJECT NO** **2005**

**A9-02**



**2 BASEMENT LEVEL AREA PLAN - HERITAGE**  
SCALE: 1/4" = 1'-0"

**HERITAGE & INFILL DWELLING AREA**

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,904 SF
ADDITION	628 SF	228 SF	629 SF	629 SF	1,257 SF
HERITAGE DECK (TO BE REINTEGRATED)			31 SF	31 SF	31 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
(EXCLUDED)					
				PROPOSED FSR (0.64)	

**UNIT AREAS**

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	110 SF
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	110 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

**EXCLUSIONS**

	TOTAL
BASEMENT	2,375 SF
BIKE STORAGE	110 SF
CARPORT	750 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM	65 SF
WASTE ENCLOSURE	67 SF
	3,398 SF

SCALE



ISSUED 2022-08-02

**REVISION**

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1

**PROJECT**

**KNOWLES RESIDENCE**  
308 W 16th St.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**DRAWING**

**BASEMENT AREA PLAN - HERITAGE**

Drawings created by Metric Architects and its staff. All other drawings are the property of Metric Architects and its staff.

Drawings created by Metric Architects and its staff. All other drawings are the property of Metric Architects and its staff.

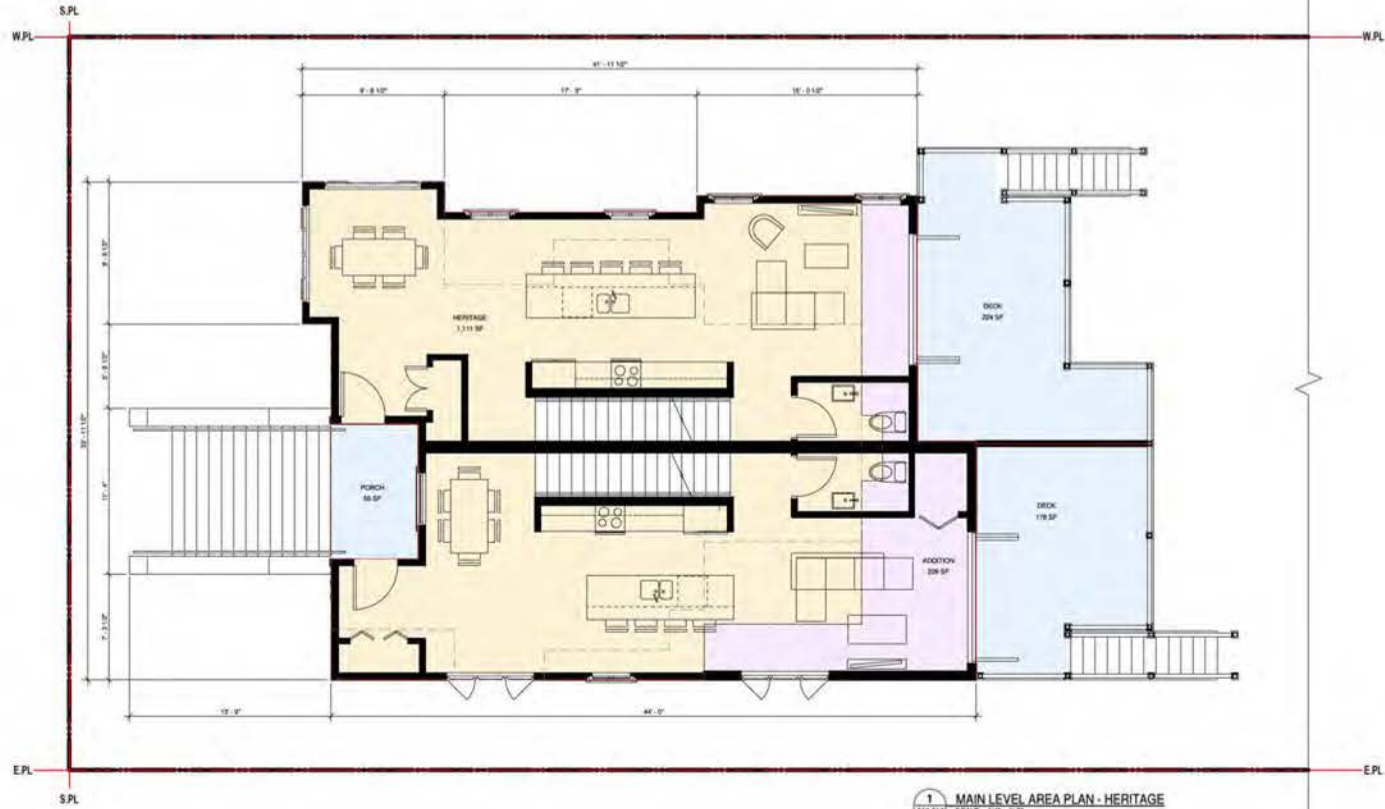
Drawings created by Metric Architects and its staff. All other drawings are the property of Metric Architects and its staff.

Drawings created by Metric Architects and its staff. All other drawings are the property of Metric Architects and its staff.

Drawings created by Metric Architects and its staff. All other drawings are the property of Metric Architects and its staff.

**A10-00A**





1 MAIN LEVEL AREA PLAN - HERITAGE  
A10-01A SCALE: 1/4" = 1'-0"

HERITAGE & INFILL DWELLING AREA					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,924 SF
ADDITION	628 SF	629 SF	1,257 SF	629 SF	1,257 SF
HERITAGE DECK TO BE REINTEGRATED			31 SF	31 SF	31 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
	(EXCLUDED)			PROPOSED FSR (0.64)	

UNIT AREAS					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	766 SF
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	760 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

EXCLUSIONS		TOTAL
BASEMENT		2,375 SF
BIKE STORAGE		110 SF
CARPORT		750 SF
HERITAGE DECK		31 SF
GREEN MECH. ROOM		65 SF
WASTE ENCLOSURE		67 SF
		3,398 SF

SEAL



ISSUED 2022-08-02

REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1

PROJECT

KNOWLES RESIDENCE  
308 W 16th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

MAIN LEVEL AREA PLAN  
- HERITAGE

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

Drawn by: [Name] and checked by: [Name]

Reviewed by: [Name] and approved by: [Name]

A10-01A



**2 UPPER LEVEL AREA PLAN - HERITAGE**  
A10-02A SCALE: 1/4" = 1'-0"

HERITAGE & INFILL DWELLING AREA					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	403 SF	629 SF	1,257 SF	1,257 SF
HERITAGE DECK TO BE RENOVATED			31 SF	31 SF	31 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
	(EXCLUDED)			PROPOSED FSR (0.54)	

UNIT AREAS					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	766 SF
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	760 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

EXCLUSIONS		TOTAL
BASEMENT		2,375 SF
BIKE STORAGE		110 SF
CARPORT		750 SF
HERITAGE DECK		31 SF
GREEN MECH. ROOM		65 SF
WASTE ENCLOSURE		67 SF
		3,398 SF

SEA

ISSUED

REVISION

No. Date Description  
4 2022-01-26 CLIENT REVIEW  
5 2022-02-23 REZONING REV. 1

PROJECT

**KNOWLES RESIDENCE**  
308 W 16th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

**UPPER LEVEL AREA  
PLAN - HERITAGE**

DATE

12/19/21

SCALE

1/4" = 1'-0"

PROJECT NO

2000

**A10-02A**



## HERITAGE &amp; INFILL DWELLING AREA

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	403 SF	629 SF	1,257 SF	1,257 SF
HERITAGE DECK (TO BE REINTEGRATED)			1,235 SF	31 SF	31 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,160 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	6,847 SF
	(EXCLUDED)			PROPOSED FSR (0.64)	

## UNIT AREAS

	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF	0 SF
UNIT 2 EAST	41 SF	654 SF	662 SF	1,297 SF	2,057 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF	0 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF	

## EXCLUSIONS

	TOTAL
BASEMENT	2,375 SF
BIKE STORAGE	110 SF
CARPORT	750 SF
HERITAGE DECK	31 SF
GREEN MECH. ROOM	65 SF
WASTE ENCLOSURE	67 SF
	3,398 SF

SEAL

ISSUED 2022-06-02

## REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1

## PROJECT

**KNOWLES RESIDENCE**  
308 W 16th ST.  
CITY OF NORTH VANCOUVER,  
BC V6M 1P6

## DRAWING

**BASEMENT AREA PLANS**  
- INFILL

Drawings prepared by Metric Architects and Associates Inc.  
Drawing prepared by Metric Architects and Associates Inc.  
Drawing prepared by Metric Architects and Associates Inc.  
Drawing prepared by Metric Architects and Associates Inc.

DRAWN	DATE
12/13/21	
SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO	2000

A20-00A



1 MAIN LEVEL AREA PLANS - INFILL  
SCALE: 1/4" = 1'-0"

HERITAGE & INFILL DWELLING AREA					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	228 SF	403 SF	629 SF	1,257 SF
HERITAGE DECK TO BE REINTEGRATED			1,238 - 31 SF	1,238 - 31 SF	
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	597 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	456 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF (EXCLUDED)	2,168 SF	2,304 SF	4,472 SF PROPOSED FSR (0.64)	6,847 SF

UNIT AREAS				
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF
UNIT 2 EAST	41 SF	654 SF	662 SF	1,297 SF
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF
UNIT 3 WEST	369 SF	375 SF	597 SF	1,341 SF
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF
	2,375 SF	2,168 SF	2,304 SF	6,847 SF

EXCLUSIONS		TOTAL
BASEMENT		2,375 SF
BIKE STORAGE		110 SF
CARPORT		750 SF
HERITAGE DECK		31 SF
GREEN MECH. ROOM		65 SF
WASTE ENCLOSURE		67 SF
		3,398 SF

SEALED



ISSUED 2022-06-10

REVISION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1

PROJECT

KNOWLES RESIDENCE  
308 W 14th ST.  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

DRAWING

MAIN LEVEL AREA  
PLANS - INFILL

Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]

Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]

Drawn by: [Name]  
Checked by: [Name]  
Reviewed by: [Name]

SCALE  
1/4" = 1'-0"  
PROJECT NO 2000

A20-01A





1 UPPER LEVEL AREA PLANS - INFILL  
A20-024 SCALE: 1/4" = 1'-0"

HERITAGE & INFILL DWELLING AREA					
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	ABOVE GRADE	TOTAL AREA
EXIST. HERITAGE	980 SF	1,111 SF	863 SF	1,974 SF	2,954 SF
ADDITION	628 SF	226 SF	403 SF	629 SF	1,257 SF
HERITAGE DECK (7,000 4000001312)			1,818 31 SF	1,818 31 SF	1,818 31 SF
	1,608 SF	1,337 SF	1,235 SF	2,572 SF	4,180 SF
INFILL WEST - UNIT 3	369 SF	375 SF	567 SF	972 SF	1,341 SF
INFILL EAST - UNIT 4	398 SF	458 SF	472 SF	928 SF	1,326 SF
	767 SF	831 SF	1,069 SF	1,900 SF	2,667 SF
	2,375 SF	2,168 SF	2,304 SF	4,472 SF	5,847 SF
	(EXCLUDED)			PROPOSED FSR (0.64)	

UNIT AREAS						
	BASEMENT LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL AREA	UNIT TOTAL	
UNIT 1 WEST	41 SF	683 SF	633 SF	1,357 SF	2,123 SF	
UNIT 1 LOCK-OFF	766 SF	0 SF	0 SF	766 SF		
UNIT 2 EAST	41 SF	654 SF	602 SF	1,297 SF	2,051 SF	
UNIT 2 LOCK-OFF	760 SF	0 SF	0 SF	760 SF		
UNIT 3 WEST	369 SF	375 SF	567 SF	1,311 SF	1,341 SF	
UNIT 4 EAST	398 SF	456 SF	472 SF	1,326 SF	1,326 SF	
	2,375 SF	2,168 SF	2,304 SF	6,847 SF		

<b><u>EXCLUSIONS</u></b>	
	<b>TOTAL</b>
<b>BASEMENT</b>	2,375 SF
<b>BIKE STORAGE</b>	110 SF
<b>CARPORT</b>	750 SF
<b>HERITAGE DECK</b>	31 SF
<b>GREEN MECH. ROOM</b>	65 SF
<b>WASTE ENCLOSURE</b>	67 SF
	<hr/> 3,398 SF



ISSUED 2012-06-19

### THE VERSION

No.	Date	Description
4	2022-01-26	CLIENT REVIEW
5	2022-02-23	REZONING REV. 1

## PROJECT

**KNOWLES RESIDENCE**  
328 W 14th ST,  
CITY OF NORTH VANCOUVER,  
BC V7M 1P6

**DRAWING**

UPPER LEVEL AREA  
PLANS - INFILL

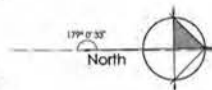
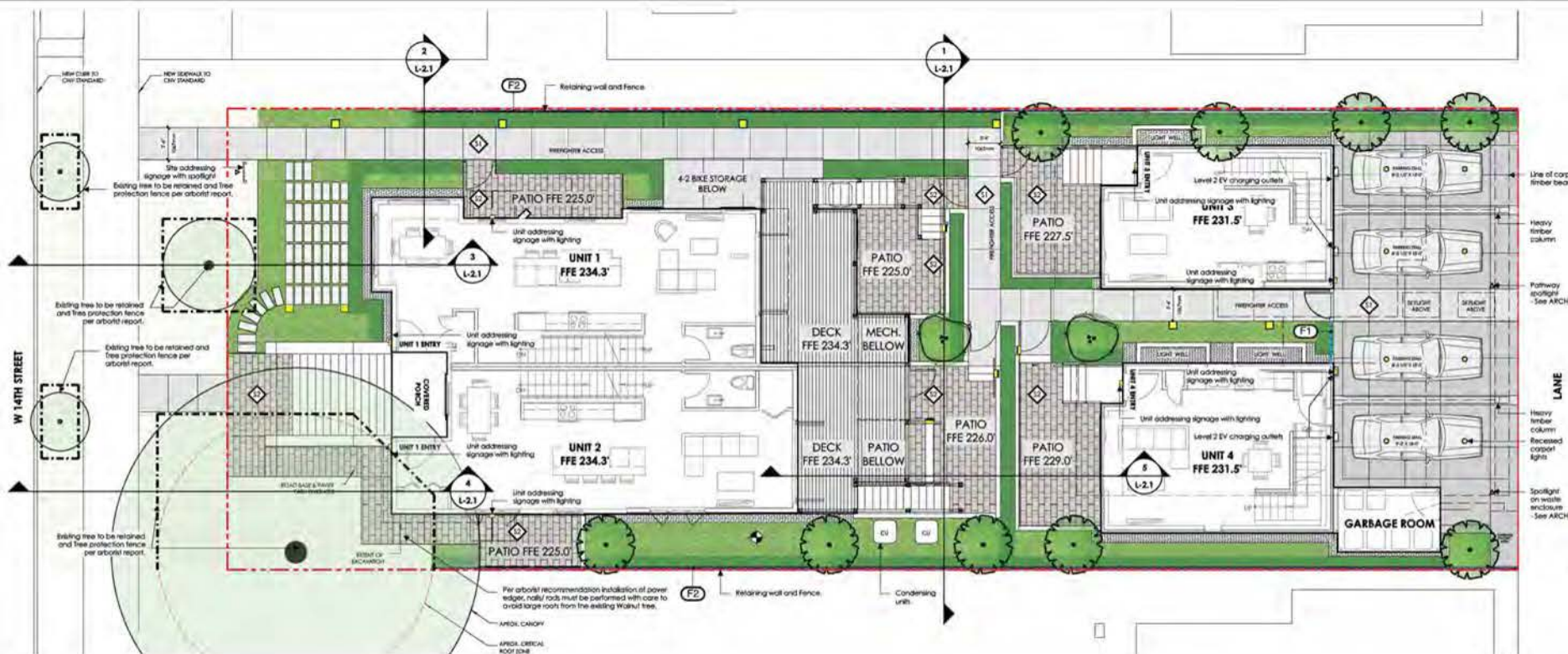
**Keywords:** Gender inequality; women's empowerment; economic growth

The following is a preliminary assessment of the results of the study and the implications for practice.

DRAWN	DATE
	12/13/21

SCALE	REVIEWED
1/4" = 1'-0"	
PROJECT NO.	2000

**A20-02A**



Revisions:

No.	Date	Description
1	Oct 04/2021	Issued for DP
2	Feb 15/2021	Issued for DP
3	Jun 04/2022	Issued for ADP Comments



## MATERIALS LEGEND

- OFF-SITE: CIP Concrete paving, Natural Colour Light Broom Finish to City Standards
- ON-SITE: CIP Concrete paving, Natural Colour, Sand Blast Finish with control joints
- INTERLOCKING PAVING STONES, California II, Size 12" x 6" x 3-1/8", Colour: Natural, Classic Standard Series by Abbottford Concrete Products.
- Note: Pavers used at the car shore parking area must be tolerant of vehicular movement.
- DRAIN STRIP ALONG BUILDING FACE
- HEDGE PLANTING, Privacy screening
- PLANTING
- OFF-SITE/ON-SITE SOD LAWN, Non-netted sand based turf

## IRRIGATION

IRRIGATION STUB OUT,  
50 PSI @ 50 GPM

## LIGHTING LEGEND

- NICHE LIGHT,  
L-36 BY MP LIGHTING
- BOLLARD LIGHT,  
L-900 BY MP LIGHTING
- WALL LUMINAIRE,  
L-16 MP LIGHTING
- Recessed ceiling lighting  
- See Architectural
- Spotlight  
- See Architectural

## DRAWING KEY

- PROPERTY LINE
- EXTENT OF EXCAVATION PER ARCHITECTURE
- LINE OF ARCHITECTURAL CANOPY ABOVE PER ARCHITECTURE
- 4' HIGH WOOD PRIVACY FENCE
- 6' HIGH WOOD PRIVACY FENCE
- EXISTING TREE PROTECTION FENCE PER ARBORIST REPORT AND EXISTING TREE MANAGEMENT PLAN
- EXISTING TREE CRITICAL ROOT ZONE
- EXISTING TREE TO BE RETAINED.
- Note: Any work construction work within the critical root zone and tree protection fence to be supervised by the arborist. Refer to arborist report and existing tree management plan for more information.

## LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
- Refer to Architectural package for overall plan, survey information and dimensioned site plan.
- For hard landscape details attached to the building - REFER TO ARCHITECTURAL.
- For parking layout and number of spaces - REFER TO ARCHITECTURAL.
- For hard landscape grading information - REFER TO ARCHITECTURAL.
- For drainage information - REFER TO MECHANICAL.
- ALL STREET TREES Install 8" x 18" Deep Root Barrier centred on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
- ALL STREET TREES to be installed to City Standards.
- Although not always shown, all planting areas adjacent to the building face to be separated by a min. 8" wide gravel strip, separated by a pressure treated wood assembly as shown in the details.
- Soil depths to meet or exceed the Canadian Landscape Standard, as described in Landscape Specifications.
- All ground level patios to be provided with a hose bib at each unit.
- All invasive plant material to be removed before the start of construction. This includes, but is not limited to, Japanese Knotweed, Himalayan Blackberry, Scotch Broom, Giant cow parsnip, honeysuckle, etc. All plant parts, including root systems are to be eradicated sufficiently so to prevent any reappearance after removal. All work to comply with applicable environmental laws and local by-laws and any material removed is to be disposed of off site.

## IRRIGATION NOTES

- Irrigation to be provided for all "Soft Landscape Areas" shown on the drawing. All irrigation to be to IABC Standards.
- Irrigated areas to be installed as a design build irrigation system from the stub outs provided. Provide submittals of design to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
- The irrigation system design and installation shall be in accordance with the irrigation industry of BC Standards and Guidelines.
- Planters and Plant pots to be irrigated with a high efficiency irrigation system. Separate zone and required sleeves to be provided for spray irrigation of the boulevard.
- All irrigation valve boxes to be equipped with quick couplers.
- Irrigation valve boxes to be integrated into building design or base of planter.

## Drawing List

- | Sheet | Description                        | Scale           |
|-------|------------------------------------|-----------------|
| L-1.1 | Cover and Landscape Materials Plan | Scale: 3/16"=1' |
| L-1.2 | Grading and Drainage Plan          | Scale: 3/16"=1' |
| L-1.3 | Planting Plan                      | Scale: 3/16"=1' |
| L-2.1 | Landscape Sections                 | Scale: 3/16"=1' |
| L-3.2 | Landscape Details                  | Scale: 1"=1'    |



Project:  
**KNOWLES RESIDENCE**  
**328 W 14th ST.**  
**NORTH VANCOUVER,**

Drawn by: RSI  
Checked by: PE  
Date: June 06/2022  
Scale: 3/16" = 1'

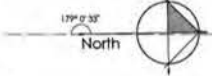
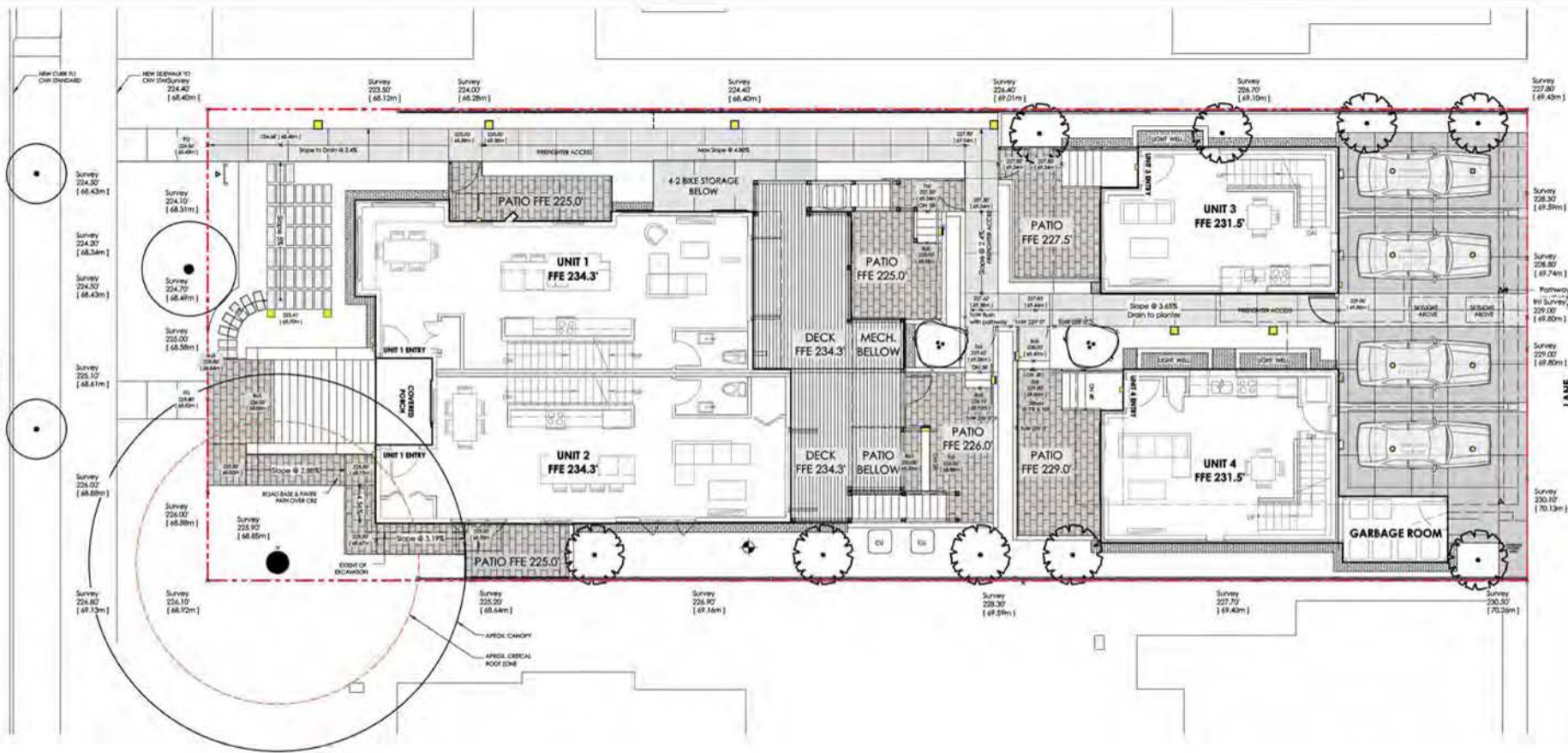
Drawing Title:  
**LANDSCAPE LAYOUT  
AND MATERIALS PLAN**

Project No.:  
**21069**  
Sheet No.:

L-1.1



W 14TH STREET



Revisions:  
 3 Jun 04/2022 Issued for ADP Comments  
 2 Feb 15/2021 Issued for DP Resubmission  
 1 Oct 04/2021 Issued for DP  
 (no.) (date) (item)



Project:  
**KNOWLES RESIDENCE**  
**328 W 14th ST.**  
**NORTH VANCOUVER,**

Drawn by: RSE  
 Checked by: PE  
 Date: June 04/2022  
 Scale: 3/16" = 1'-0"  
 Drawing title:

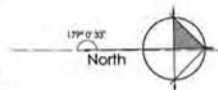
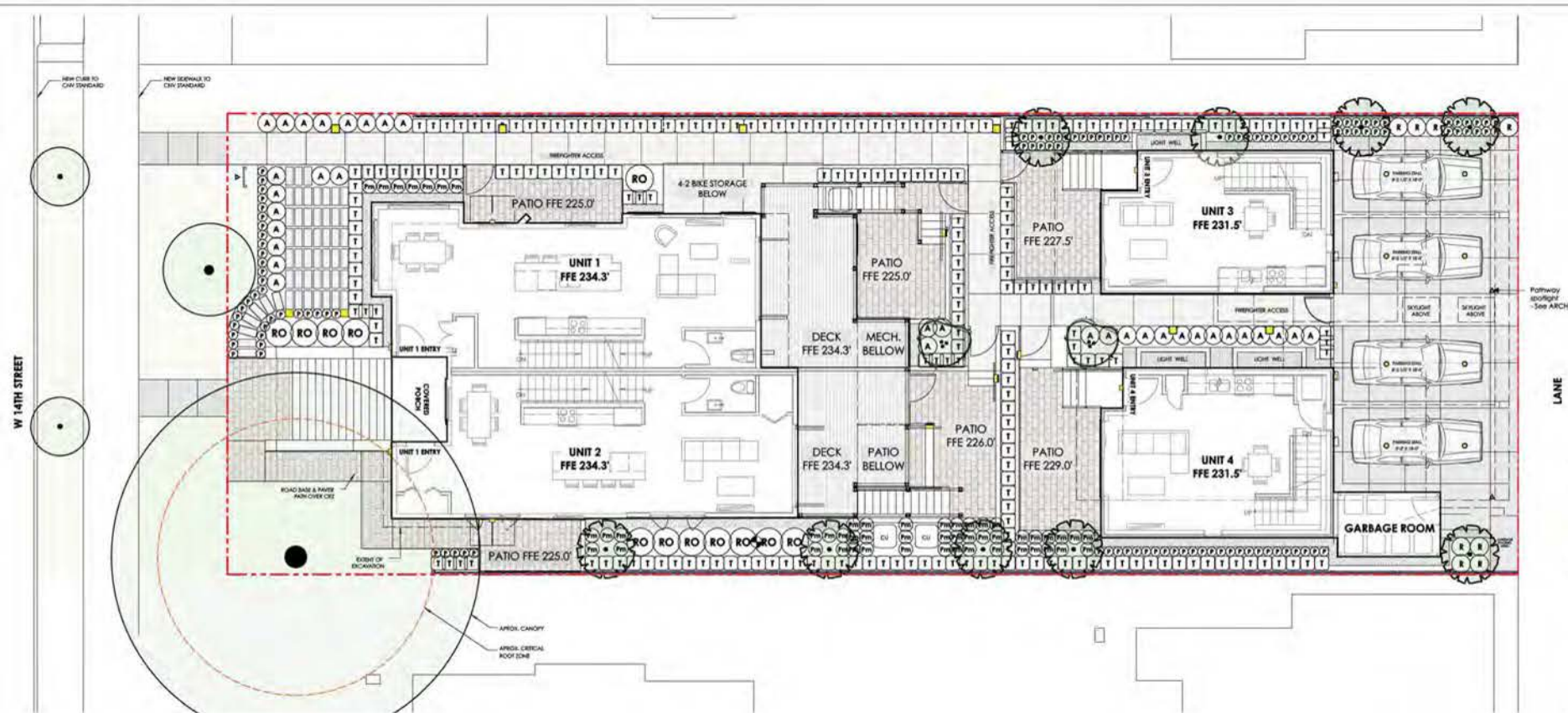
**GRADING AND DRAINAGE  
 PLAN**

Project No.:  
**21069**

Sheet No.:

**L-1.1**





Revisions:

No.	Date	Description
1	Jun 04 2022	Issued for ADP Comments
2	Feb 15 2021	Issued for CP Resubmission
3	Oct 04 2021	Issued for CP

Drawn by: KSL  
 Checked by: PK  
 Date: June 04 2022  
 Scale: 3/16" = 1'-0"

Project:  
**KNOWLES RESIDENCE**  
**328 W 14th ST,**  
**NORTH VANCOUVER,**

## PLANTING LIST

### TREES

SYMBOL	QTY	Botanical Name	Common Name	Size/ Comments
	2	Magnolia Stellata	Star magnolia	5 cm (2") Cal.
	9	Acer palmatum	Japanese maple	5 cm (2") Cal.

### SHRUBS / PERENNIALS / GRASSES / GROUNDCOVERS

SYMBOL	QTY	Botanical Name	Common Name	Size/ Comments
A	36	Azalea 'Gumpo White'	Gumpo White azalea	#2 Pot, 24" O.C.
Pm	51	Polystichum munitum	Western swordfern	#2 Pot, 18" O.C.
T	225	Taxus media 'Hill'	Hill's yew	4" Ht, 88 to 98
R	8	Rhododendron 'Blue Diamond'	Blue Diamond rhododendron	#3 Pot, 24" O.C.
RO	12	Rhododendron 'Purple Lace'	Purple Lace rhododendron	#3 Pot, 36" O.C.
P	114	Pachysandra terminalis	Japanese spurge	#1 Pot, 24" O.C.



MAGNOLIA STELLATA



ACER PALMATUM



ACER PALMATUM FALL COLOR



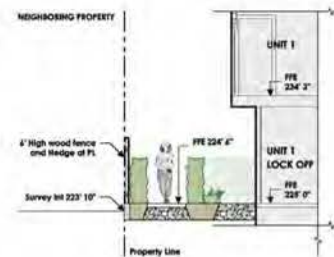
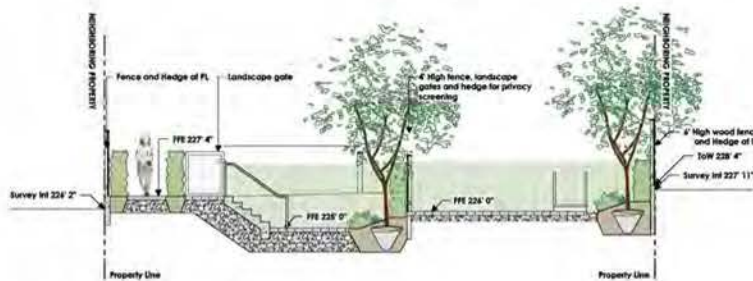
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Project No.:  
**21069**

Sheet No.:

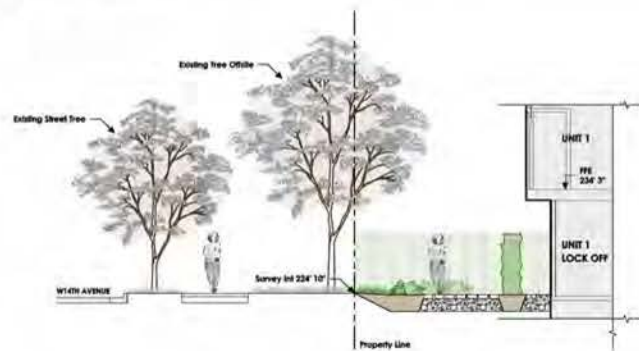
L-1.1



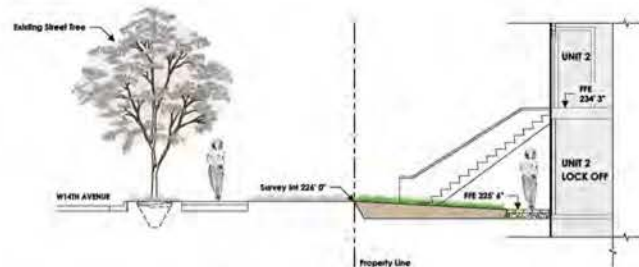


1  
1-1.1  
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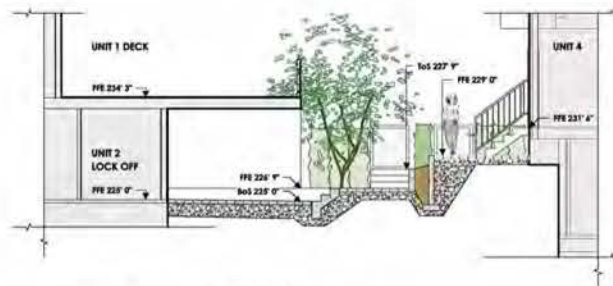
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1-1.1  
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SECTION THROUGH PRIVATE PATIOS AT UNIT 2 AND 4  
SCALE = 1:64 (3/16"=1' 0")

3 Jun 04/2022 Issued for ADP Comments  
2 Feb 15/2021 Issued for CP Resubmission  
1 Oct 04/2021 Issued for CP

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Project:  
**KNOWLES RESIDENCE**  
328 W 14th ST,  
CITY OF NORTH VANCOUVER,

Drawn by: RSI

Checked by: PE

Date: June 06/2022

Scale: 3/16" = 1' 0"

Drawing Title:

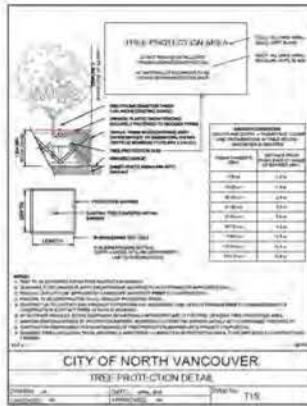
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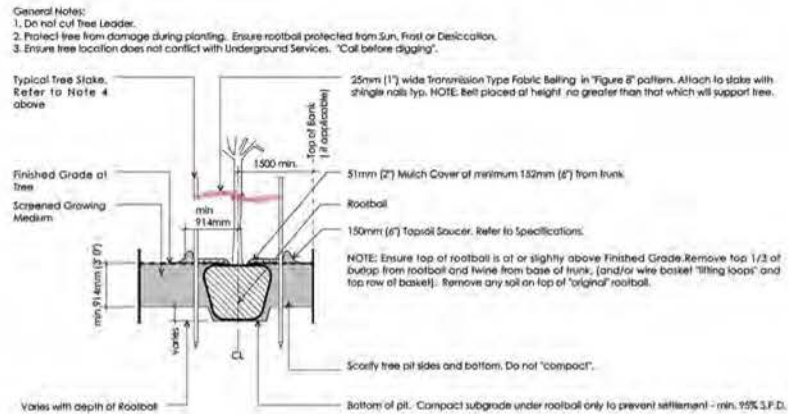
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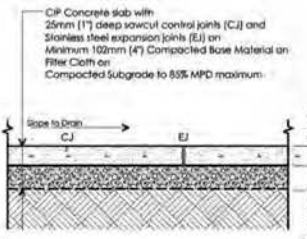
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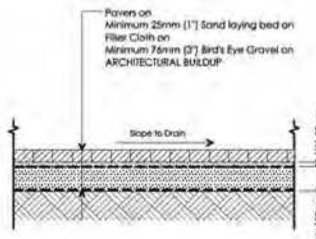
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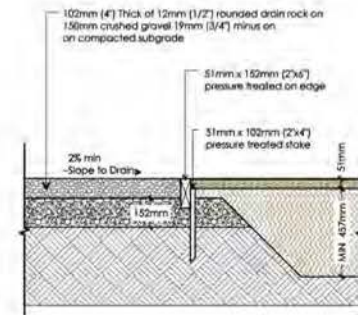
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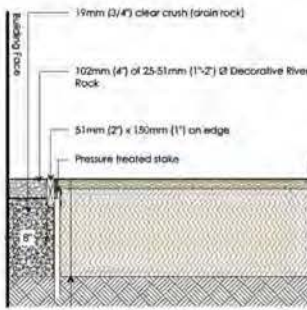
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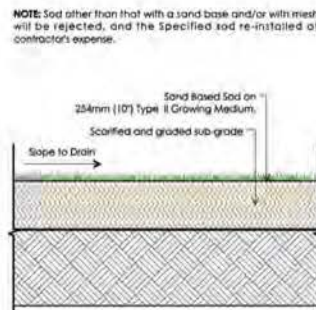
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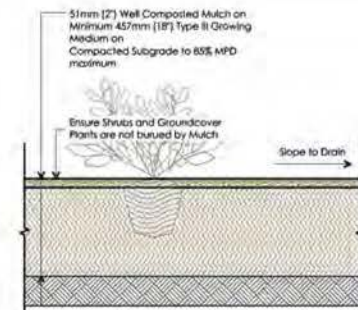
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**7**  
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**8**  
SHRUB PLANTING - ON GRADE  
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3 Jun 04/2022 Issued by ADP Comments  
2 Feb 15/2021 Issued for DP Reevaluation  
1 Oct 04/2021 Issued for DP  
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Project:  
**KNOWLES RESIDENCE**  
**328 W 14th ST.**  
**CITY OF NORTH VANCOUVER.**

Drawn by: RS  
Checked by: PE  
Date: June 04/2022  
Scale: 1" = 10'  
Drawing Title:  
**LANDSCAPE DETAIL**

Project No.:  
**21069**  
Sheet No.:

**L-3.1**



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## Public Consultation Summary - 328 W 14th St

The purpose of this Public Consultation Summary is to outline for the opportunities for public input, detail the public interest received and provide a brief overview of the DIS (Developer Information Session) held on Thursday, March 10th, 2022, for the proposed development at 328 W 14th St, North Vancouver.

### Public Notifications

The following public notification requirements were fulfilled in alignment with city requirements as follows:

- **Signage-** Leah Karlberg, City Planner provided a pdf for the site signage; Upward Construction printed the 4'x3' sign and placed it on the subject property 10 days prior to the DIS. Photos of the sign were sent to Leah Karlberg.
- **Mail-Outs** - City approved mail-outs were hand delivered to properties within a 40-meter radius on February 25th, 2022, thus fulfilling the 10-day notification requirement. Leah Karlberg, City Planner was notified when this was complete.
- **Newspaper Ads** - The news ads were published on March 2nd, 2022, and March 9th, 2022 respectively in the North Shore News. Copies of the ads and screenshots were provided to Leah Karlberg, City Planner.

### Public Engagement – Interest Received

Despite the above opportunities for public input, none of our team members received any inquiries or interest through any of the available channel's (i.e phone, email or web forms)

### DIS Overview

The DIS was held via **Zoom on March 10th, 2022, at 7 pm**. There were zero participants and a total of five attendees on behalf of the applicant team and City: Kevin Leskiw, Owner of Upward Construction and owners representative, Scott Mitchel, Principal of Metric Architecture, Leah Karlberg, City Planner, Brandon Todd, Modeler from Metric Architecture and Carla Mugleston from Upward Construction. As mentioned above, we had no registrations or inquiries about the proposed development or the DIS. All attendees waited 15 minutes on the Zoom call ready to answer questions and to ensure that there were no day-of registrations.



## Heritage Conservation Plan

Knowles Residence, 328 West 14th Street, North Vancouver, BC

October 1, 2021



Fig. 1: Front view of the Knowles Residence at 328 W 14th Street, North Vancouver, BC, 2020. (Source: Spotzi)



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## 1.0 Introduction

The subject house, Knowles Residence, is a two-storey wood-frame construction with concrete foundation located at 328 W 14th Street in North Vancouver (Fig. 2). It is located in the Central Lonsdale neighbourhood of the City of North Vancouver.

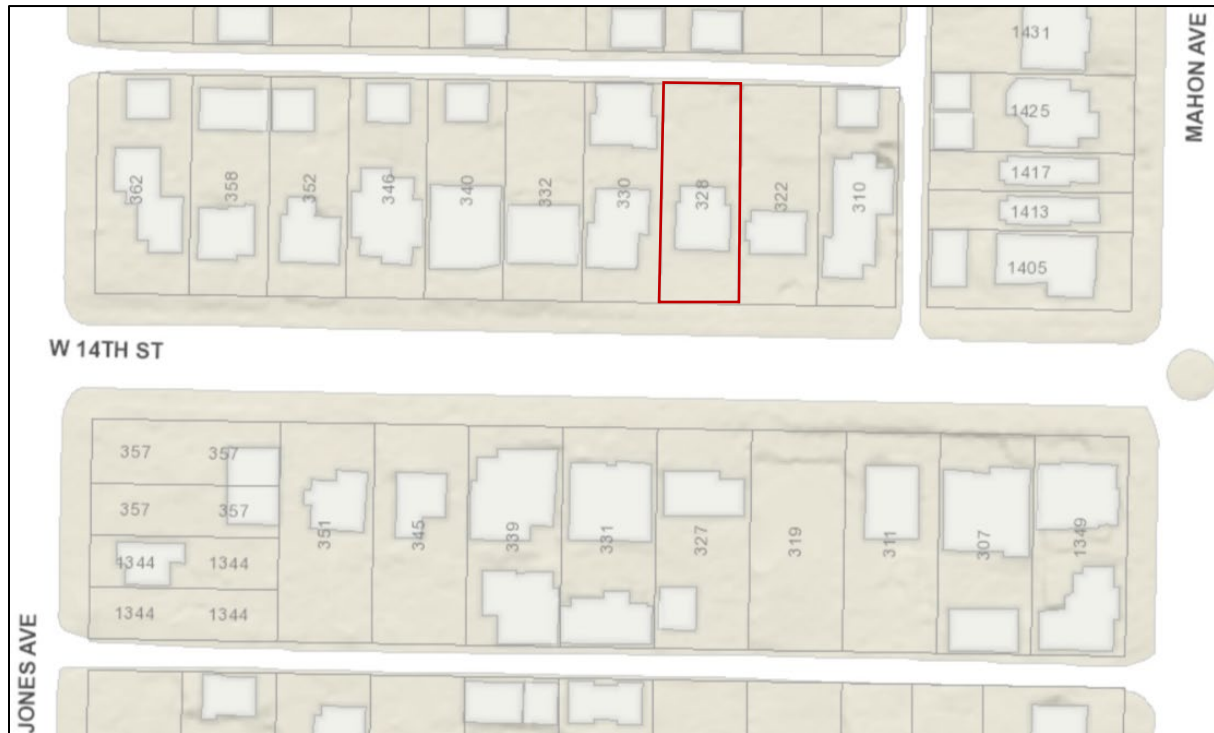


Fig. 2: Map of the area surrounding 328 W 14th Street, outlined in red. (Source: City of North Vancouver Map Viewer, CityMAP)



Fig. 3: Aerial view of 328 W 14th Street, outlined in red. (Source: Google, 2021)



## 2.0 Historic Context

Although situated on the land of the Tsleil-Waututh, Squamish and Musqueam First Nations, the colonial history of the City of North Vancouver dates back to 1862 when contractors came to build a sawmill (Davis 1997, p. 124). The broader area was incorporated in 1891 as the District of North Vancouver and the City of North Vancouver (previously labelled a townsite) decided to incorporate in 1907 (Blair 1997, p. 122). “When the 1,012-hectare North Vancouver City was carved out of the surrounding district, it had almost 2,000 residents and possessed 53 businesses, a bank, two hotels and a school...By 1910 there were 5,000 residents, a board of trade, a high school – and land prices had soared” (*Ibid.*). The captioned house at 328 W 14th Street is part of this very early development of the City of North Vancouver. As was typical at the time, the area was developed in a grid pattern overlooking the Burrard Inlet (Figs. 4a and 4b). The development and growth of this area is discernible in comparing an 1890s map of the area to a 1930s Fire Insurance Plan (Fig. 5).



Figs. 4a and 4b: Fig. 4a (above) shows the wider context of the “Plan of the Townsite of North Vancouver,” from the 1890s. In Fig. 4a (above), the immediate neighbourhood of 328 W 14th Street is outlined in red, shown in detail in Fig. 4b (below), where its lot (19) is outlined in bolded red. (Source: City of Vancouver Archives, AM1594-MAP 621)



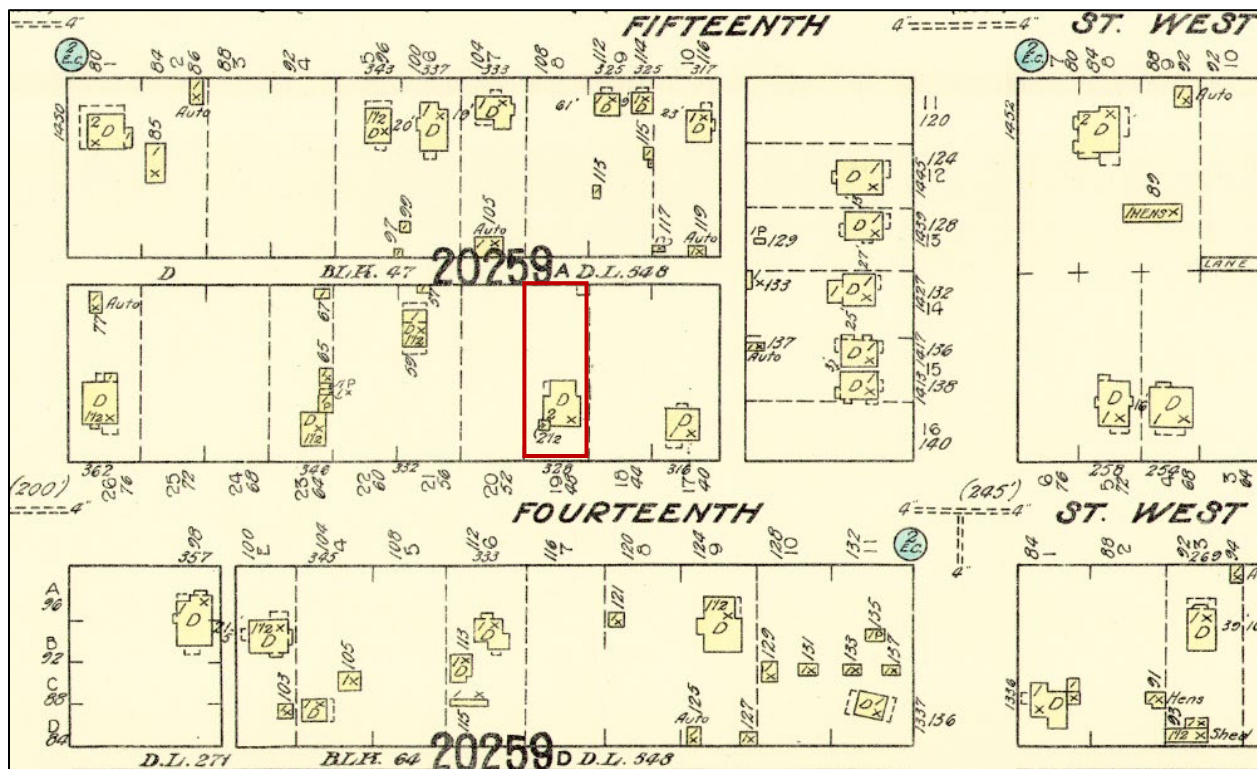


Fig. 5: Detail view of a Fire Insurance Plan of North Vancouver from 1930, showing the immediate neighbourhood of 328 W 14th Street, the lot of which is outlined in red. (Source: MONOVA MP 123 – Sheet 2025)

The house at 328 W 14th Street has been an eye-catching fixture of the neighbourhood since its development in 1909. It was first recognized in 1995 as having heritage significance and added to the City of North Vancouver's Heritage Register, being photographed and described as follows (Fig. 6). It was also illustrated and celebrated in an early 1990s newspaper article outlining its various unique features (Fig. 7). These elements have persisted and directly influence the site's Statement of Significance, outlined in the following section (Section 3.0).

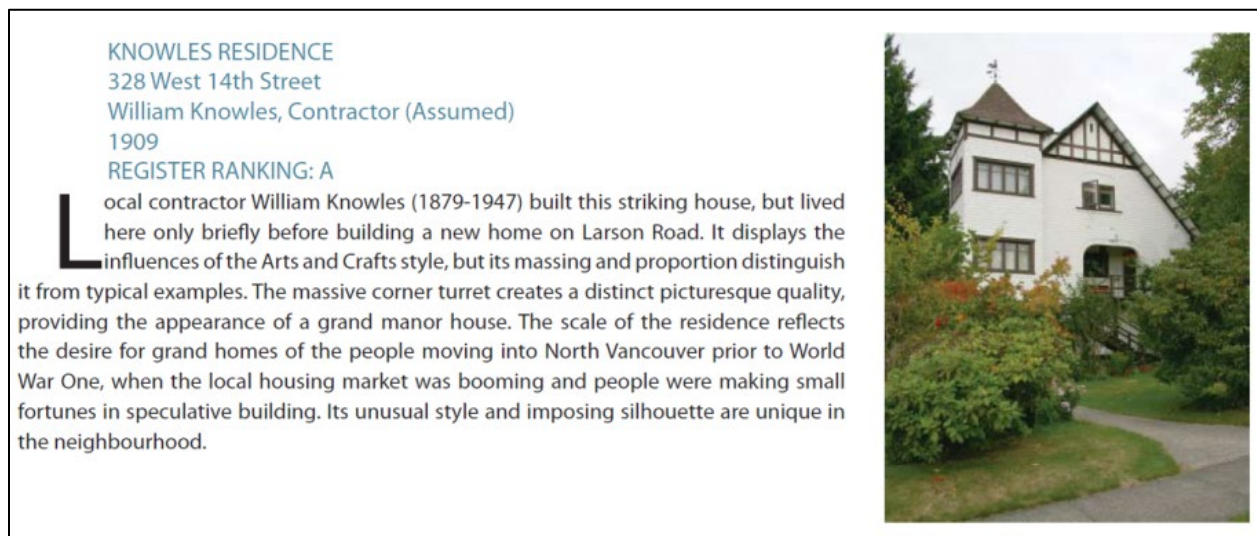


Fig. 6: Heritage inventory photograph and description of 328 W 14th Street. (Source: City of North Vancouver 2013, p. 111)





Fig. 7: Newspaper article by Dorothy Foster on 328 W 14th Street, North Vancouver. Although the article is undated in the archives, it is likely from the early 1990s, as the author (Dorothy Foster) was active with the North Shore Newspaper from 1991 to 1994. (Source: North Shore News, n.d.)

For ease of reading, the relevant excerpts of the above newspaper are transcribed here:

This home is unusual for its style of architecture and the date in which it was built.

Other homes at that time in the area were being built in the Edwardian builder style, in the Craftsman style, or in a combination of both.

This home is very different. It is a combination of elements of a picturesque European manor house and the Craftsman design.

The house has a bellcast pyramidal roof on the tower, and perched on top of the tower is an eye-catching weather vane.

Borrowed from the Craftsman style are the exposed purlin ends, and the set round arched entry.

Other design elements of note are the half-timbering on the gable ends and on the tower, and the decorative lead treatment of the windows.

(Foster n.d.)

### 3.0 Statement of Significance

The following is the Statement of Significance of the Knowles Residence at 328 W 14th Street, as articulated when it was formally recognized on the Canadian Register of Historic Places, based on the Heritage Planning Files of the City of North Vancouver (Canada's Historic Places, 2005).

#### 3.1 Description of Historic Place

The Knowles Residence is a two-storey plus basement wood-frame residence that combines picturesque European manor house elements with an Arts and Crafts influence. Its distinctive features include a tall corner tower with a bellcast hip roof.

#### 3.2 Heritage Value of Historic Place

Built in 1909, this house is valued for its unique architecture. Designed with strong influences from the Arts and Crafts style, its massing and unusual detailing distinguish it from other Arts and Crafts houses built in North Vancouver before World War 1. The massive corner turret creates a distinct picturesque quality, and its unique style and imposing silhouette contribute to its prominence in the neighbourhood. William Knowles, a contractor, was the first owner and resident. A recent emigrant from England, Knowles (1879-1947) lived only briefly in this house but remained in North Vancouver, working as a carpenter and builder until his death.

The house reflects the desire for grand and personalized homes of the people moving into North Vancouver prior to the First World War. This was a time of faith in continued prosperity, based on speculative growth, and the scale of house construction reflected this sense of unlimited optimism. The boom period was short-lived, and housing after the end of World War One was often built at a much smaller scale, demonstrating the strictures of the postwar economy and resultant social changes such as the move away from domestic servants. One of the earliest houses in this neighbourhood, the Knowles Residence is also one of the largest.

#### 3.3 Character-Defining Elements

Key elements that define the heritage character of the Knowles Residence at 328 W 14th Street include its:

- Irregular picturesque form, massive scale and asymmetrical massing.
- Elements of the Arts and Crafts style including picturesque massing and the use of natural materials.
- Front gable roof with open eaves and exposed purlins.
- Front corner tower with bellcast pyramidal roof.
- Inset round arched entry with arched inset balcony\* above.
- Variety of cladding including cedar shingles, half-timbering in gable ends and on tower, and lapped wooden siding at foundation level.
- Double-hung wooden-sash windows; multiple-assembly casement windows in tower with decorative leading.

*\*CHC Note: Please note that, since the time this Statement of Significance was written in 2005, the "arched inset balcony" has been closed in, however, as part of the proposed work on the building, this character-defining element (CDE) will be restored.*

#### 4.0 Research Findings

Neighbourhood: Central Lonsdale

Address & Postal Code: 328 W 14th Street, V7M 1P6

Parcel Roll Number & PID: 047020.000 & 014-493-004

Legal Description: Lot 19; Block 47; DL 271; Plan 1658

Zoning: RS-1

Builder: William Knowles

Date of completion: 1909

The following tables are a consolidated summary of the residents of 328 W 14th Street in North Vancouver, as determined from the available city directories, as well as a list of the construction dates of the surrounding properties, illustrating the range of ages to this section of the street (visualized in Fig. 8 and with a comparative aerial view in Fig. 9).

Table 1: Consolidated list of the known occupants of 328 W 14th Street from the available city directories (Source: Vancouver Public Library, 1909 to 1955)

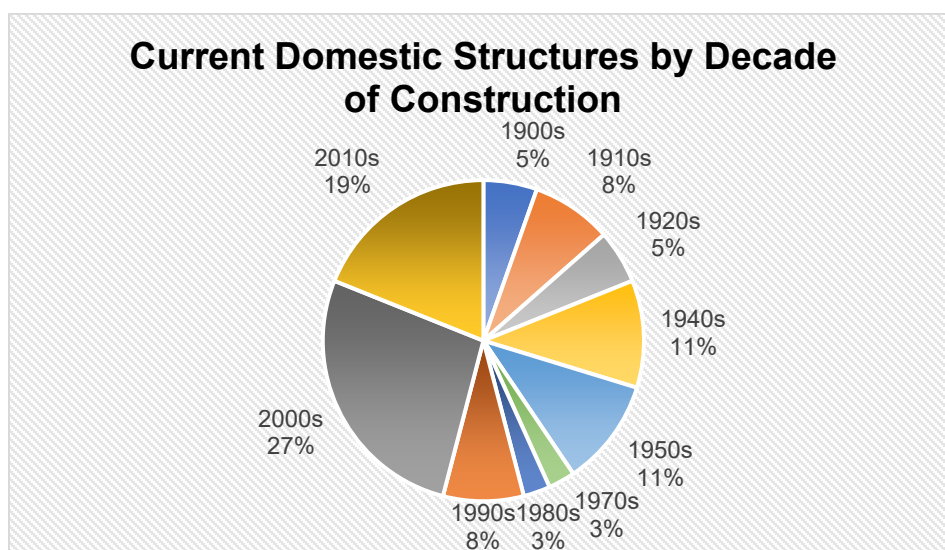
Year(s)	Name(s)	Occupation (if listed)
1910	Knowles, William	Carpenter
1911 to 1924	Data not available	
1925	David M. Moore	Principal, Capilano School
1930	Vacant	
1935, 1940	Allan Wheeler (Jessie T.)	Warehouseman, Home Oil
1945	Eric H. Church (Marion L.)	booman, Horne Brothers
1950	Henry F. Redmile (Lily) Frederick H. Redmile (Emma E)	Baker, Old Country Bakery Retired
1955	Mrs. Betty J. Boak Thomas V. Dixon	Teller, Canadian Bank of Canada; Driver, Palm Dairies

Table 2: Consolidated list of the construction dates for the properties surrounding 328 W 14th Street, North Vancouver, BC. (Source: BC Assessment)

Address	Year Built	Configuration
1413 Mahon Ave.	2016	4 Bedrooms, 5 Baths
1417 Mahon Ave.	2016	4 Bedrooms, 5 Baths
1425, 1427 Mahon Ave. (Duplex)	1997	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
1431, 1433 Mahon Ave. (Duplex)	1980	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
1445, 1447 Mahon Ave. (Duplex)	2004	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
1453 Mahon Ave.	1950	4 Bedrooms, 2 Baths
303 14 <sup>th</sup> St. W; 1349-1, 1349-2 Mahon Ave.	2002	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
307, 309 14 <sup>th</sup> St. W (Duplex)	2000	5 Bedrooms, 3 Baths; 5 Bedrooms, 3 Baths
308 14 <sup>th</sup> St. W; 1405 Mahon Ave. (Duplex)	2000	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
310, 312 14 <sup>th</sup> St. W (Duplex)	2009	3 Bedrooms, 4 Baths
311 14 <sup>th</sup> St. W	1910	4 Bedrooms, 2 Baths
319, 321, 323 14 <sup>th</sup> St. W (Townhouse)	2018	4 Bedrooms, 4 Baths; 4 Bedrooms, 3 Baths; 4 Bedrooms, 4 Baths
322 14 <sup>th</sup> St. W	1953	2 Bedrooms, 1 Bath

Address	Year Built	Configuration
327 14 <sup>th</sup> St. W	1952	6 Bedrooms, 2 Baths
<b>328 14<sup>th</sup> St. W</b>	<b>1909</b>	<b>5 Bedrooms, 2 Baths</b>
330 14 <sup>th</sup> St. W (Townhouse, 1 – 3)	2015	3 Bedrooms, 3 Baths; 4 Bedrooms, 4 Baths; 3 Bedrooms, 4 Baths
331, 333, 335 14 <sup>th</sup> St. W (Townhouse)	2006	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths; 2 Bedrooms, 2 Baths
332 14 <sup>th</sup> St. W	1970	6 Bedrooms, 2 Baths
339, 341, 343 14 <sup>th</sup> St. W (Townhouse)	2005	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
340 – 342 14 <sup>th</sup> St. W (Duplex)	2001	3 Bedrooms, 3 Baths; 4 Bedrooms, 3 Baths
345 14 <sup>th</sup> St. W	1953	2 Bedrooms, 2 Baths
346 – 348 14 <sup>th</sup> St. W (Duplex)	1994	3 Bedrooms, 3 Baths; 3 Bedrooms, 3 Baths
352 14 <sup>th</sup> St. W	1946	5 Bedrooms, unknown baths
351 14 <sup>th</sup> St. W	1927	3 Bedrooms, 1 Bath
357 14 <sup>th</sup> St. W	1913	4 Bedrooms, 2 Baths
358 14 <sup>th</sup> St. W	1940	6 Bedrooms, 2 Baths
362 14 <sup>th</sup> St. W (Duplex, 1 - 2)	1994	5 Bedrooms, 4 Baths; 5 Bedrooms, 4 Baths
317 15 <sup>th</sup> St. W	1923	3 Bedrooms, 2 Baths
323 15 <sup>th</sup> St. W	1948	4 Bedrooms, 2 Baths
327 15 <sup>th</sup> St. W	2014	7 Bedrooms, 6 Baths
333 15 <sup>th</sup> St. W	2008	6 Bedrooms, 6 Baths
337 15 <sup>th</sup> St. W	1910	3 Bedrooms, 1 Bath
343 15 <sup>th</sup> St. W	2002	4 Bedrooms, 5 Baths
349 15 <sup>th</sup> St. W	1949	3 Bedrooms, 3 Baths
353 15 <sup>th</sup> St. W	2017	7 Bedrooms, 6 Baths
359 15 <sup>th</sup> St. W	2013	5 Bedrooms, 5 Baths
1415 Jones Ave	1907	4 Bedrooms, 3 Baths

In summary, there are 37 residential structures along this section of 14th and 15th Streets West, between Mahon Ave and Jones Avenue. As a point of reference for understanding the surrounding neighbourhood and streetscape, their time periods breakdown as follows:



Decade	Houses
1900s	2
1910s	3
1920s	2
1930s	0
1940s	4
1950s	4
1960s	0
1970s	1
1980s	1
1990s	3
2000s	10
2010s	7
2020s	0



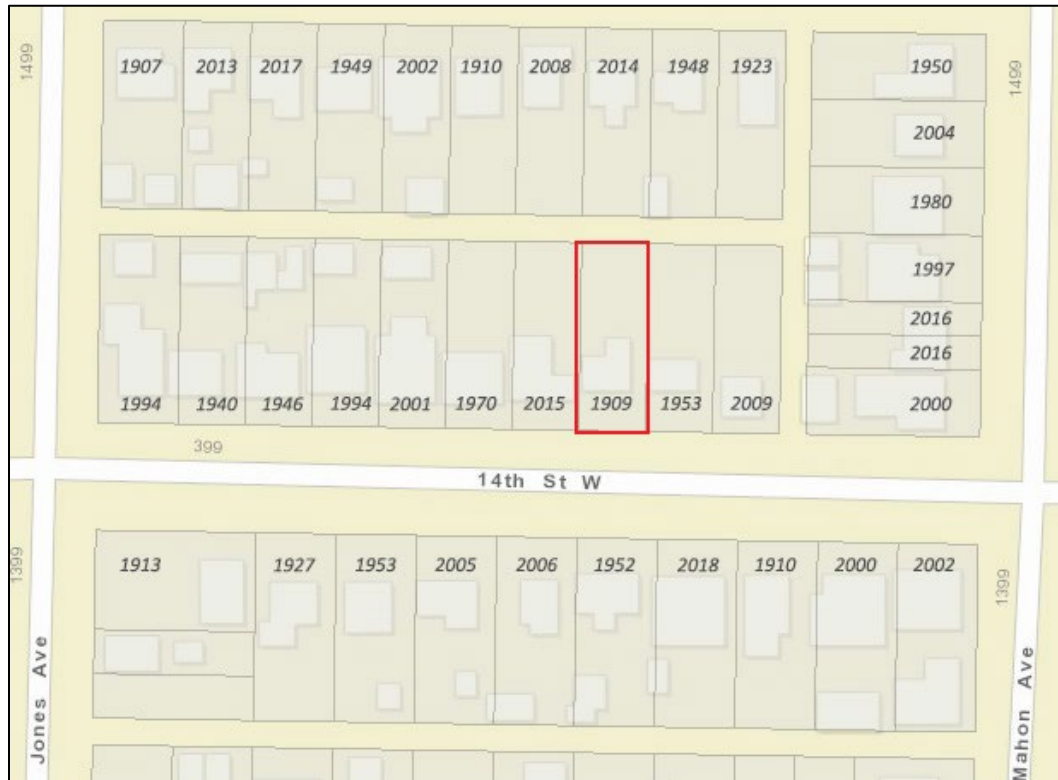


Fig. 8: Map of the area surrounding 328 W 14th Street in North Vancouver, outlined in red, with the construction years listed for the buildings in the immediate vicinity of the study site. Note the range of years. (Source: BC Assessment)



Fig. 9: Map of the area surrounding 328 W 14th Street West in North Vancouver, outlined in red. (Source: Google Maps)

## 5.0 Archival Photographs

Unfortunately, no historical photographs of the property were available beyond the drawing from the early 1990s newspaper article (Fig. 7 above) and an undated archival photograph (Fig. 10). Without additional archival images it is difficult to know changes to the property over time.



Fig. 10: Undated archival image of 328 W 14th Street, North Vancouver, BC. (Source: MONOVA)



## 6.0 Current Photographs



Fig. 11: Southwest corner view of the front of the Knowles Residence at 328 W 14th Street, 2021. (Source: Leskiw)



Fig. 12: Back view of the Knowles Residence at 328 W 14th Street, 2021. (Source: Leskiw)

## 7.0 Conservation Objectives

The Knowles Residence at 328 W 14th Street will be preserved, with heritage bonus areas granted and distributed over a stratified extension to the back of the house as well as an added infill laneway house, to help increase the density on the lot and provide additional housing to the neighbourhood. The interior has undergone various changes and renovations over the years and does not appear to be of great heritage significance. The interior elements, therefore, do not require conservation.

The proposed changes do not affect the heritage values nor the character-defining elements of this historic place. If anything, in fact, the proposed increased density connects to the house's historical legacy of being "one of the largest" houses on the street (Canada's Historic Places) and "of providing the appearance of a grand manor house. The scale of the residence reflects the desire for grand homes of the people moving into North Vancouver prior to World War One, when the local housing market was booming" (City of North Vancouver 2013, p. 111). Over 100 years later, there is a different booming housing market and an increased need for more available housing, which is attainable, adaptive, family- and ground-oriented. As outlined in the City's Housing Action Plan, this is "to ensure there are diverse and appropriate housing options for current and future residents of all ages, incomes, and abilities" (City of North Vancouver 2016, p. 6). The proposed redevelopment of this site helps to provide such additional needed housing, while protecting the heritage asset; adding a new layer to the history and story of this heritage place.

**Preservation, Restoration and Rehabilitation** are the conservation objectives for the building. As defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2<sup>nd</sup> edition):

*Preservation:* The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

*Restoration:* The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

*Rehabilitation:* The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

(Canada's Historic Places 2010, p. 255)

The conservation of the Knowles Residence is focused on the preservation of the heritage house exterior, including its various character-defining elements; restoration of its front arched balcony and other wood elements, as needed; and rehabilitation of the foundation, roof and front staircase. The following table summarizes the specific elements of the Knowles Residence to be preserved, restored and rehabilitated.

Table 3: List of the Knowles Residence elements that are to be preserved, restored and rehabilitated.

Preserved	Restored	Rehabilitated
Overall structure, including its irregular picturesque form, scale and massing, along with its arts and crafts detailing, including its inset round arched entry way	Arched inset balcony (above the front entry)	New foundation in a new location on the lot, with a new, more grand front staircase
Front corner tower with bellcast pyramidal roof	Masonry chimney elements, as needed (following the house relocation)	



Table 3 (continued).

Preserved	Restored	Rehabilitated
Rooflines, including its front gable roof with open eaves and exposed purlins	Fascia boards and soffits, as needed	New roof
All double-hung wooden-sash windows; multiple-assembly casement windows in tower with decorative leading	Wood window elements, such as trims and sills, as needed	New replica wood windows, if and as needed
Variety of cladding including cedar shingles, half-timbering in gable ends and on tower, and lapped wooden siding at foundation level		

## 8.0 Building Description

The Knowles Residence is a two-storey plus basement wood-frame residence that combines picturesque European manor house elements with an Arts and Crafts influence, as well as with elements from the Queen Anne Revival style (particularly its asymmetry and corner tower) and the Tudor Revival style (with its half-timbering in its front gable and leaded diamond-patterned windows). Its distinctive features include a tall corner tower with a bellcast hip roof. It has a mix of horizontal wood siding on the house, particularly along the lower levels with cedar shingles on most of the front of the house and areas of the sides and back gable. It also has two dormers in the middle of its roof, with one on each side of the house. The house is a prominent landmark along W 14th Street, between Mahon Avenue and Jones Avenue in the Central Lonsdale neighbourhood. It is one of the few early 20<sup>th</sup> century houses remaining in the neighbourhood.

## 9.0 Condition Assessment

The exterior of the Knowles Residence at 328 W 14th Street appears to be in good condition, overall, based on the available exterior photographs. As outlined below there are a few areas in need of attention.

### 9.1 Structure and Foundations

Overall, the condition of the walls and building envelope of the residence, appears to be good and having aged well. However, sections of the foundation appear to be in poor condition. In particular, at the front, “the house has settled 3 to 6 inches in the front room and entry area” (Leskiw personal correspondence, 2021). This issue will be resolved when the house is moved and put on a new foundation and lower-level walls.

### 9.2 Wood Elements

The visible, exterior wood elements, such as the doors, door frames, roof fascia and windows are, for the most part, in good condition. Any signs of deterioration are largely cosmetic, as illustrated and discussed further in the relevant sections below. Please note an internal inspection was not conducted to inspect the internal timber elements.

### 9.3 Roofing and Waterworks

The roof is in fair to poor condition and in need of replacement. It appears to be a decades-old roof, with signs of deterioration and shingles missing in places (Fig. 13). It is difficult to determine the condition of the waterworks system from photographs, however, it is recommended that these be cleaned and replaced, as needed, when the roof is being redone. Going forward, they should be checked regularly to ensure their continued efficient functioning.



Fig. 13: Front view of the Knowles Residence at 328 W 14th Street, 2021. Note the missing shingles and signs of deterioration, pinpointed with red arrows. (Source: Leskiw)

### 9.4 Chimney

There is a chimney on the house, with intact chimney caps, that it is in fair condition (Fig. 14). It is worth noting that there are some signs of deterioration (loss of mortar) and possible efflorescence (white deposits). This should be checked by a chimney sweep, prior to relocation.



Fig. 14: Close up view of the Knowles Residence chimney, from the back of the property. (Source: Leskiw)

## 9.5 Windows and Doors

Most of the windows on the house are original and in largely good condition, considering the age of the building (Fig. 15). The six windows visible below, on either side of the tower and along the western side of the house are all original, featuring leaded diamond patterned panes in the upper lites of the windows. There is one upper-level window whose trim appears to be in need of maintenance, pinpointed below. The window in the arched trim above the arched entryway is a later addition, which is why it is a different and simpler window design. There is a range of window sizes and styles on the back of the house (Fig. 16), possibly suggesting a range of time periods. The condition of these windows is, for the most part, good.



Fig. 15: Southwest corner view of the Knowles Residence at 328 W 14th Street, 2021, illustrating the largely good condition of its original windows, with leaded diamond patterned panes in the upper lites of the windows. (Source: Leskiw)





Fig. 16: Back view of the Knowles Residence at 328 W 14th Street, 2021, illustrating the range of sizes and styles of windows, which are largely in good condition. (Source: Leskiw)

The front door of the property is not visible in the available photographs.

#### 9.6 Cladding and Trimwork

There is a mix of horizontal wood siding on the house, particularly the lower levels of the house with cedar shingles on most of the front of the house and areas of the sides and back gable. These are, for the most part, in good condition with some areas in need of cleaning, particularly at the back (see Fig. 16 above). As for the trimwork, as mentioned above, there is one trim at the front requiring attention (visible in Fig. 15 above), however, the remaining appears to be in good condition throughout, at least as discernible from the available photographs.

#### 9.7 Finishes

The finishes of the house are in good condition, overall, with just minor touch-ups required in places.

#### 9.8 Landscaping

The landscaping on site is good, overall, although there are some areas where the landscaping is growing possibly too near to the structure. This is an issue that will be addressed when the house is moved.

Despite these minor issues and concerns stated above, the overall condition of the property is good.



## 10.0 Recommended Conservation Procedures

### 10.1 Structure and Foundations – **Preservation** and **Rehabilitation**

- The main one and a half storey structure will be **preserved**.
- The foundation will be **rehabilitated** with a new foundation laid when the house is moved.

### 10.2 Wood Elements – **Preservation** and **Restoration**

- As addressed in greater detail in the relevant sections below, the wood elements will be **preserved**, as much as possible and **restored**, as needed.

### 10.3 Roofing and Waterworks – **Rehabilitation**

- The roofing and waterworks should be **rehabilitated**, with a new roof and cleaned/replaced waterworks, as needed.
- Once a new roof is installed, it should be regularly monitored and maintained to ensure and extend its ongoing good condition.

### 10.4 Chimney – **Preservation** and **Restored**

- The chimney should be **preserved**, and **restored**, if needed. Prior to relocation, the chimney should be checked by a chimney sweep.
- It may not survive the relocation process. If that is the case, it should be dismantled to the roofline, the bricks should be cleaned and then re-used to rebuild the chimney with its original bricks, as much as possible.
- Following relocation (and rebuilding, if needed), the chimney should be regularly monitored and repointed by certified professionals, as needed, to avoid it needing to be rebuilt again.

### 10.5 Windows and Doors – **Preservation** and **Restoration**

- The arched front entryway should be **preserved**.
- All remaining original wood windows should be **preserved** and **restored**, as needed.
- With some of the proposed changes to the building (such as the back extension), the current placement of the windows are impacted. These windows will be installed elsewhere on the building (as opposed to installing new windows throughout). This allows for these original elements to be repurposed and **preserved** on their original building (as opposed to being salvaged/recycled for another project/building or, worse, ending up in a landfill). The following figures outline the proposed location and placement of the repurposed and preserved windows (Figs. 17a and 17b).
- If there are concerns with regards to the performance of the original windows, an immediate measure to allow for better protection of them (while address heating and sound issues), is to install exterior wood storm windows on them. This would be the best conservation approach for their long-term preservation, if so desired, however, this is not a requirement.
- If this route is taken, the proposed storm windows should be traditional wood storm windows: Single pane, single light and of similar sash dimension to the window sash itself, to minimise the visual impact on the building and to allow the windows to continue to be visible on the exterior. They should be painted the same colour as the current.

- This is a reversible measure that would immediately benefit the building, providing greater protection to the house and improving its performance in relation to temperature control, energy efficiency and also from a noise perspective.



Figs. 17a and 17b: Top (Fig. 17a) shows the western side view of the Knowles Residence at 328 W 14th Street, 2021, and the bottom (Fig. 17b) shows the eastern side view. Note that the brown windows with the thicker casings are the heritage windows that will be preserved either in-situ (as is the case with those illustrated in 17a), or with those repurposed from the back elevation to along the eastern side (as is the case with some of the windows illustrated in 17b). Any new windows introduced on the building are distinguishable as new, but are compatible in design being the inverse of the heritage windows. (Source: METRIC Architecture)

#### 10.6 Cladding and Trimwork – **Preservation and Restoration**

- The horizontal wood siding and cedar shingles should be **preserved**.

- The trims should be **preserved** and **restored**, as needed.

### 10.7 Finishes – **Preservation**

- Although the house is described as having Arts and Crafts features, it does also have elements of the Queen Anne Revival style (its asymmetry and turret in particular) and the Tudor Revival style as well (particularly with its half-timbering and leaded diamond-patterned windows). The current finish is in keeping with Tudor Revival colouring, with “earth tone body with dark trim & dark sash” (Halfnight and Luxton 2001, p. 4).
- The current finish and colour scheme will be **preserved**, with touching up in the areas requiring attention.
- If a full repainting is desired, for any re-painting, follow Master’s Painters’ Institute, Repainting Manual procedures, including removing loose paint down to next sound layer, clean surface with mild TSP solution with gentlest means possible and rinse with clean water; do not use power-washing.

### 10.8 Landscaping

- Any additional landscaping being put in should have a minimum 2-ft clearance between the vegetation and the building face. This is preferable to ensure there is sufficient space from the structure and to remove any threat to the foundation or the building’s finishes over time.

## 11.0 Proposed Alterations and Future Changes

### 11.1 Proposed Alterations

The major proposed alterations to the property are as follows and illustrated in Figs. 18 to 20 below:

- 1) Moving the heritage house forward on the lot onto a new foundation, better aligning with the neighbouring properties and allowing the heritage house to be more prominent and visible in the streetscape;
- 2) Adding a more grand, front-facing set of stairs to the main entrance of the building;
- 3) Building an extension to the back of the house to provide more livable space;
- 4) Building a subordinate and distinguishable infill duplex laneway house at the back of the lot; and
- 5) Stratifying the property.

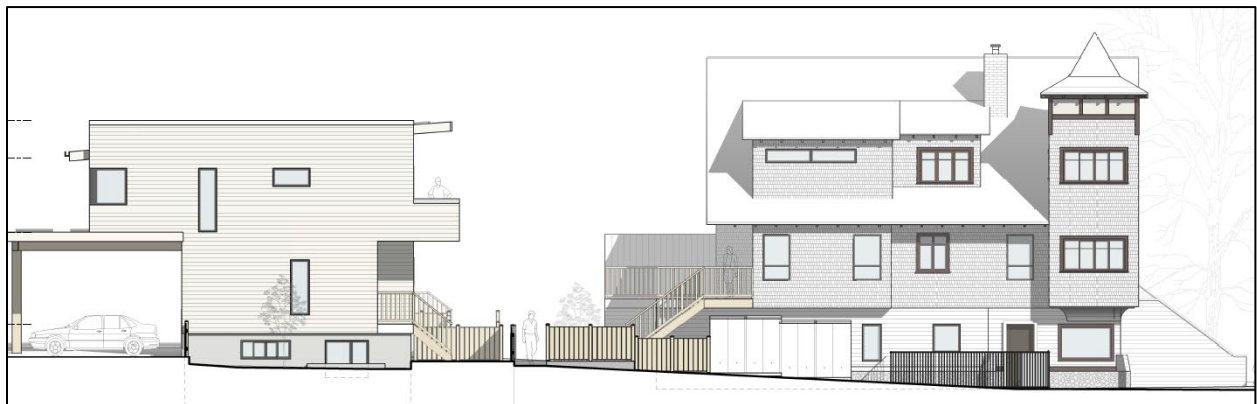


Fig. 18: Western elevation view of the proposed alterations to 328 W 14th Street, 2021, including its back extension as well as the infill development at the back of the lot. (Source: METRIC Architecture)



Fig. 19: Eastern elevation view of the proposed alterations to 328 W 14th Street, 2021, including its back extension as well as the infill development at the back of the lot. (Source: METRIC Architecture)



Fig. 20: 3D render, from the southwest corner of the property, illustrating the proposed alterations to 328 W 14th Street, 2021. (Source: METRIC Architecture)

Without any historical photographs of the property to refer to, it is difficult to know what the original front staircase looked like. However, considering the Arts and Crafts inspiration and the age of the building a more grand, front-facing staircase seems appropriate, particularly considering that “Architect Samuel Maclure’s grand mansion of the Edwardian era are the best representatives of the Arts & Crafts Style in British Columbia” (VHF, n.d.) and how often his buildings had a front-facing main set of stairs (Segger 1986 and Gamble 2016), as opposed to the current set of front stairs that seem more like a set one would see off the back deck of a house.

The proposed alterations for 328 W 14th Street are considered reasonable interventions given generally accepted conservation standards, site conditions and housing needs. These proposed changes do not affect the heritage values nor the character-defining elements of the building and are in keeping with the



*Standards and Guidelines for the Conservation of Historic Places in Canada (Second Edition)*, particularly Standard 11 with regards to new additions:

**11. Conserve the heritage value and character-defining elements** when creating any new additions to an historic place or any related new construction. Make the **new work physically and visually compatible with, subordinate to and distinguishable from** the historic place.

(Canada's Historic Places 2010, p. 23, with author bolding)

## 11.2 Future Changes

Any future changes to the building should be carefully considered for minimal effect on the heritage values as embodied in the character-defining elements (CDEs) listed in the building's Statement of Significance.

## 12.0 Maintenance Plan

Following completion of the outlined conservation work, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow the *Standards and Guidelines for the Conservation of Historic Places in Canada (2<sup>nd</sup> Edition)*. As general upkeep is frequently overlooked and will lead to the deterioration of heritage resources, maintenance standards warrant special attention to help to extend the physical life of a heritage asset. Any building should be kept in a reasonable condition so that it continues to function properly without incurring major expenses to repair deterioration due to neglect. The most frequent source of deterioration problems is from poorly maintained roofs, rainwater works and destructive pests. It is important to establish a maintenance plan using the information below:

### 12.1 Maintenance Checklist

- a. Site
  - Ensure site runoff drainage is directed away from the building.
  - Maintain a minimum 2-ft clearance between vegetation and building face and a 12-inch-wide gravel strip against the foundation in planted areas, if possible.
  - Do not permit vegetation (such as vines) to attach to the building.
- b. Foundation
  - Review exterior and interior foundations, where visible, for signs of undue settlement, deformation or cracking.
  - If encountered, seek advice from a professional Engineer, immediately.
  - Ensure perimeter drainage piping is functional.
  - Arrange a professional drainage inspection every three to five years.
- c. Wood Elements
  - Maintaining integrity of the exterior wood elements is critical in preventing water ingress into the building. Annual inspection of all wood elements should be conducted.
  - Closely inspect highly exposed wood elements for deterioration. Anticipate replacement in kind of these elements every 10 to 15 years.
  - Any signs of deterioration should be identified and corrective repair/replacement action carried out. Signs to look for include:
    - Wood in contact with ground or plantings;
    - Excessive cupping, loose knots, cracks or splits;

- Open wood-to-wood joints or loose/missing fasteners;
  - Attack from biological growth (such as moss or moulds) or infestations (such as carpenter ants);
  - Animal damage or accumulations (such as chewed holes, nesting, or bird/rodent droppings). These should be approached using Hazardous Materials procedures; and
  - Signs of water ingress (such as rot, staining or mould).
  - Paint finishes should be inspected every three to five years and expect a full repainting every seven to ten years. Signs to look for include:
    - Bubbling, cracks, crazing, wrinkles, flaking, peeling or powdering; and
    - Excessive fading of colours, especially dark tones.
  - Note all repainting should be as per the recommended historic colours in section 10.7 above.
- d. Windows and Doors
- Replace cracked or broken glass as it occurs.
  - Check satisfactory operation of windows and doors. Poor operation can be a sign of building settlement distorting the frame or sashes or doors may be warped.
  - Check condition and operation of hardware for rust or breakage. Lubricate annually.
  - Inspect weather stripping for excessive wear and integrity.
- e. Roofing and Rainwater Works
- Inspect roof condition every five years, in particular looking for:
    - Loose, split or missing shingles, especially at edges, ridges and hips;
    - Excessive moss growth and/or accumulation of debris from adjacent trees; and
    - Flashings functioning properly to shed water down slope, especially at the chimney.
  - Remove roof debris and moss with gentle sweeping and low-pressure hose.
  - Plan for roof replacement at around 18 to 22 years.
  - Annually inspect and clean gutters and flush out downspouts. Ensure gutters positively slope to downspouts to ensure there are no leaks or water splashing onto the building.
  - Ensure gutter hangers and rainwater system elements are intact and secure.
  - Ensure downspouts are inserted into collection piping stub-outs at grade and/or directed away from the building onto concrete splash pads.
- f. General Cleaning
- The building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from the ground.
  - Cleaning prevents build up of deleterious materials, which can lead to premature and avoidable maintenance problems.
  - Windows, doors and rainwater works should be cleaned annually.
  - When cleaning always use the gentlest means possible, such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary, such as diluted TSP or Simple Green ©.
  - Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements and it will drive water in wall assemblies and lead to larger problems.

### 13.0 References

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Cummer Heritage Consulting

Katie Cummer, PhD CAHP  
 639 Moss Street  
 Victoria, BC, V8V 4N8  
 (778) 678 1913

May 25, 2022

**City of North Vancouver**  
 Planning & Development  
 141 W 14th Street  
 North Vancouver, BC, V7M 1H9

RE: 328 W 14th Street Restoration Valuation Estimation

This letter provides my professional perspective on the proposed revitalisation of the Knowles Residence at 328 W 14th Street in the City of North Vancouver. The estimated value of the proposed preservation, restoration and rehabilitation work, as outlined in the project's Heritage Conservation Plan (Cummer 2021), breaks down as follows:

<b>Proposed Work</b>	<b>Estimated Cost</b>
Moving the house and making it level	\$25,000 + \$85,000 = \$110,000
New foundation	\$75,000
New front staircase	\$22,000
New front path	\$8,500
New roof	\$12,500
New wood windows	\$48,500
Restoration of the arched inset balcony	\$12,500
Restoration of the chimney (after moving the house)	\$6,800
Restoration of the fascia boards and soffits, as needed	\$35,000
Restoration of the siding (cedar shingles), as needed	\$64,000
Restoration of the wood window elements, as needed	\$24,000
Repainting	\$17,500
<b>Total estimated amount for the proposed preservation, restoration and rehabilitation work</b>	<b>\$436,300</b>

I hope this helps to provide the necessary reference information for the estimated cost of the proposed conservation work for 328 W 14th Street in the City of North Vancouver. If you have any further questions or would like me to clarify anything, please feel free to contact me by email at [kcummer@gmail.com](mailto:kcummer@gmail.com) or by phone at (778) 678 1913.

Thank you for your time.

Sincerely,

Katie Cummer, PhD CAHP  
 Principal, Cummer Heritage Consulting (CHC)



**HERITAGE ADVISORY COMMISSION**

CITY OF NORTH VANCOUVER	T 604 985 7761
141 WEST 14TH STREET	F 604 985 9417
NORTH VANCOUVER	INFO@CNV.ORG
BC / CANADA / V7M 1H9	CNV.ORG

May 2, 2022

VIA EMAIL: [scott@metricarchitects.com](mailto:scott@metricarchitects.com)

Scott Mitchell, Metric Architects  
671b Market Hill  
Vancouver, BC V5Z 4B5

Dear Mr. Mitchell:

**Re: 328 West 14<sup>th</sup> Street – Knowles Residence (Heritage Revitalization Agreement)**

At their regularly scheduled meeting on April 12, 2022, the Heritage Advisory Commission received a presentation regarding the above. Following review and discussion, the following motion was made:

“THAT the Heritage Advisory Commission, having reviewed the presentation from Metric Architecture for the property located at 328 West 14<sup>th</sup> Street, supports the project and encourages the applicant to further explore the following with the input of City Staff:

- Exploration for new deck and landscaping detailing to support cohesion and compatibility of the overall design of the project; and
- Exploration of the proportions and materiality of the new windows on the west façade to reflect the proportions of the existing heritage windows and their design;

AND THAT the Heritage Advisory Commission thanks the applicant for their presentation.”

The recommendations of the Heritage Advisory Commission do not, in any way, represent Council and/or staff approval or rejection of this proposal.

Yours truly,

A handwritten signature in blue ink that reads "T. Huckell".

T. Huckell  
Committee Clerk-Secretary

Cc: E. Chow, Planner 2, Planning and Development  
H. Dang, Planner 1, Planning and Development  
K. Cummer, Heritage Consultant  
K. Leskiw, Owner

# Public Hearing Presentation for 328 West 14<sup>th</sup> St

Bylaw No. 8932 and 8935



Presented July 11, 2022  
Development Planning



## Proposal: Heritage Protection

The “Knowles  
Residence”

- Recognized as a  
Heritage-A building





2

## Location



## Land Use and Zoning

- OCP
  - Residential Level 2
  - 0.5 FSR density
- Current Zoning
  - One-Unit Residential 1 (RS-1)



## Heritage Conservation

- Heritage Designation Bylaw to protect the building in perpetuity.
- Development Covenant
  - Securing the Heritage Conservation Plan, including implementing conservation recommendations.
  - Ongoing maintenance to be managed through the recommendations of the Heritage Conservation Plan.



## Proposed Development

- Three Principal Buildings
  - Heritage building in front (converted to duplex) with two lock-offs
  - Two detached infill buildings in the rear
  - Four parking stalls
- Four Principal Dwellings, Two Accessory Dwellings
- Density: 0.69 FSR
  - OCP allows for consideration of additional floor area for the purposes of heritage conservation
  - Density does not exceed next higher land use designation (Residential Level 3; 0.75 FSR)



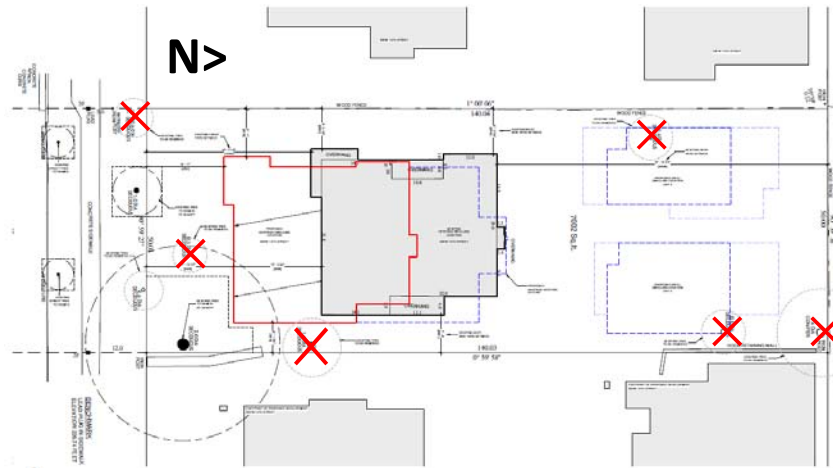
## Policy Analysis: OCP and Strategic Plan

- The proposal complies with the OCP
- Conservation and rehabilitation of a Heritage-A asset
- Meets the Strategic Plan as a City for People and a Vibrant City

## Proposal: Form and Design



## Proposal: Form and Design



city  
of north  
vancouver

9

## Proposal: Form and Design



city  
of north  
vancouver

10

## Scale and Form



## Scale and Form



## Scale and Form



## Heritage Conservation, Restoration & Rehabilitation

- Conservation:
  - Preserving and restoring key exterior elements, such as window frames, roof shingles, soffits, and exterior cladding
- Additions:
  - New foundations
  - New staircase and deck
  - Floor area additions at the rear





## Advisory Body Reviews

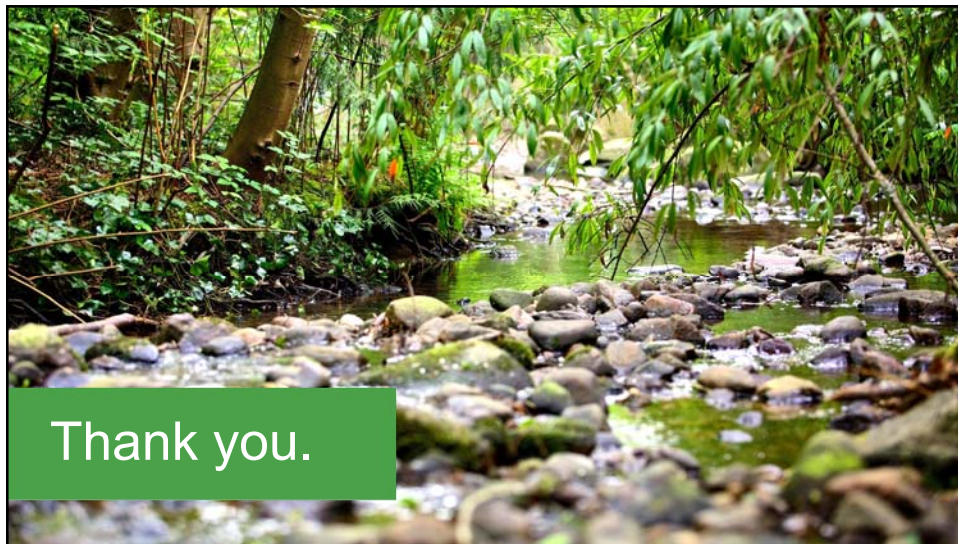
- Heritage Advisory Committee review on January 11, 2022 and April 12, 2022
  - Project unanimously endorsed, with some recommendations, including:
    - Recommendations for alternate deck design and overall landscaping to better support compatibility of the additions with heritage character
    - Exploring materiality of proposed windows to better reflect façade and proportions of existing heritage windows
- Advisory Design Panel review on March 16, 2022
  - Project unanimously endorsed

## Public Engagement

- A Virtual Developer's Information Session was held on March 10<sup>th</sup>, 2022
  - No attendees
  - No follow-up feedback received from the public
- One letter of support received from the North Shore Heritage Society

## Conclusion

- The proposal complies with the OCP and Strategic Plan.
- Ensures ongoing protection of a heritage asset in the City.
- Establishes an appropriately scaled infill development.
- The site's proximity to existing amenities, public transit and active transportation facilities makes it an appropriate location for the proposal.



Thank you.



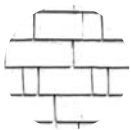
## KNOWLES RESIDENCE - RENOVATION, ADDITION & INFILL

METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

### CHARACTER-DEFINING ELEMENTS & MATERIALITY

- A) IRREGULAR PICTURESQUE FORM, MASSIVE SCALE AND ASYMMETRICAL MASSING
- B) ELEMENTS OF THE ARTS AND CRAFTS STYLE INCLUDING PICTURESQUE MASSING AND THE USE OF NATURAL MATERIALS
- C) FRONT GABLE ROOF WITH OPEN EAVES AND EXPOSED PURLINS
- D) FRONT CORNER TOWER WITH BELLCAST PYRAMID ROOF
- E) INSET ROUND ARCHED ENTRY
- F) ARCHED INSET BALCONY AT UPPER LEVEL
- G) CEDAR SHINGLES
- H) HALF-TIMBERING IN GABLE ENDS AND ON TOWER
- I) LAPPED WOODEN SIDING AT FOUNDATION LEVEL
- J) DOUBLE-HUNG WOODEN-SASH WINDOWS; MULTIPLE ASSEMBLY CASEMENT WINDOWS IN TOWER WITH DECORATIVE LEADING



- CEDAR SHINGLE CLADDING
- EXISTING CEDAR SHINGLES - RESTORED
  - NEW CEDAR SHINGLES - TO MATCH



- CEDAR PLANK CLADDING
- EXISTING CEDAR PLANKS - RESTORED
  - NEW CEDAR PLANKS - TO MATCH



- ASPHALT SHINGLES
- NEW ASPHALT SHINGLES



- WOOD TRIMS, DOORS & WINDOWS
- HERITAGE FINISHES - RESTORED OR TO MATCH



- WOOD TRIMS, DOORS & WINDOWS
- NEW HERITAGE ADDITION FINISHES



- WOOD, ALUMINUM & WINDOWS
- NEW HERITAGE ADDITION FINISHES

A & B



D & J



E



F



G



I



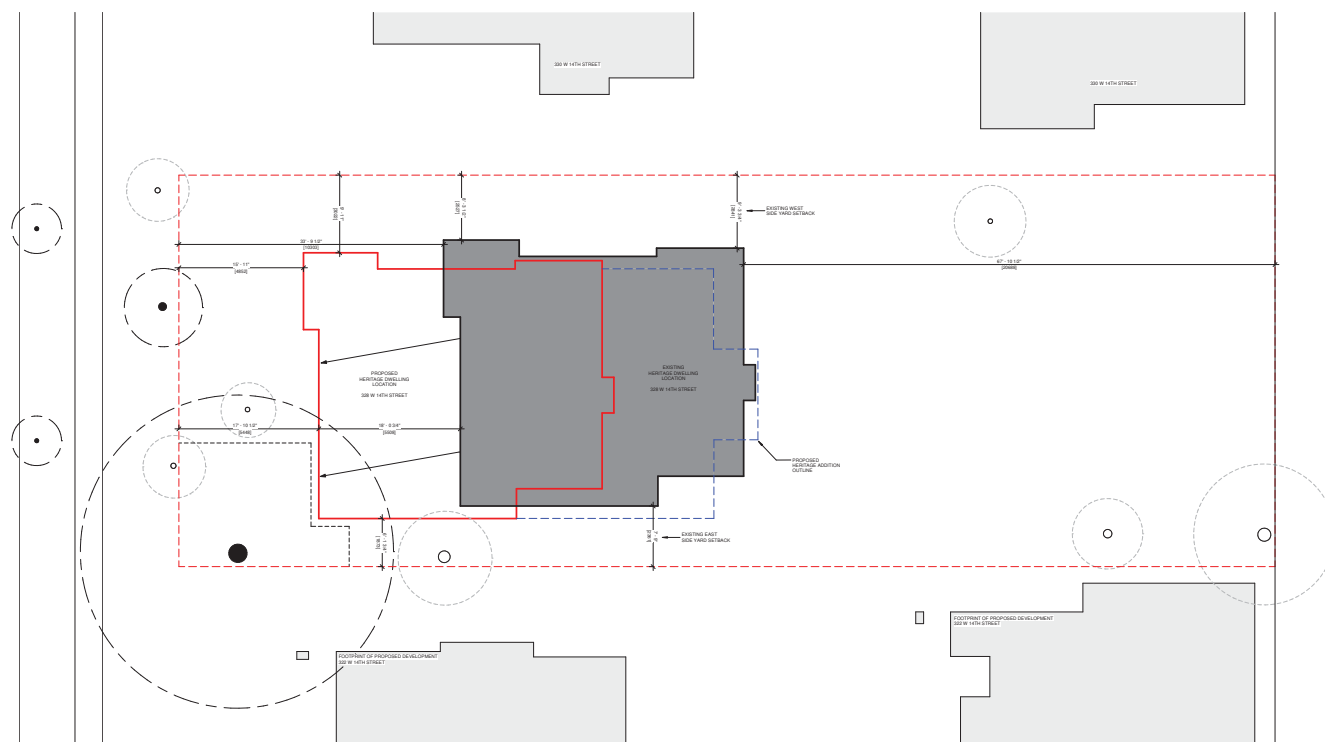
C & H



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER





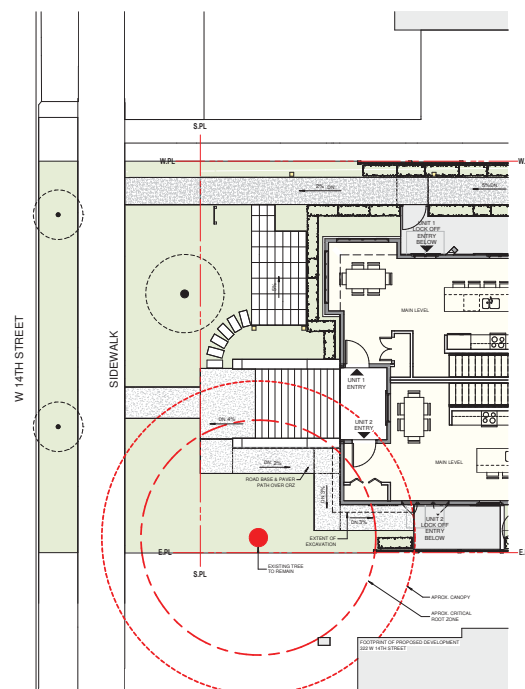
**KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER**

The top-left photograph shows a large, mature tree with dense green foliage in a residential yard. A two-story house with a dark roof and white siding is visible in the background under a cloudy sky.

The top-right photograph shows the same tree from a wider angle, with its bare branches visible against a cloudy sky. A red SUV and a white sedan are parked on a street in front of the tree. A blue and white sign is visible on the right side of the image.

The bottom-left photograph is a close-up of the tree's trunk and lower branches, showing the texture of the bark and the green leaves. A concrete walkway leads from the foreground towards the tree.

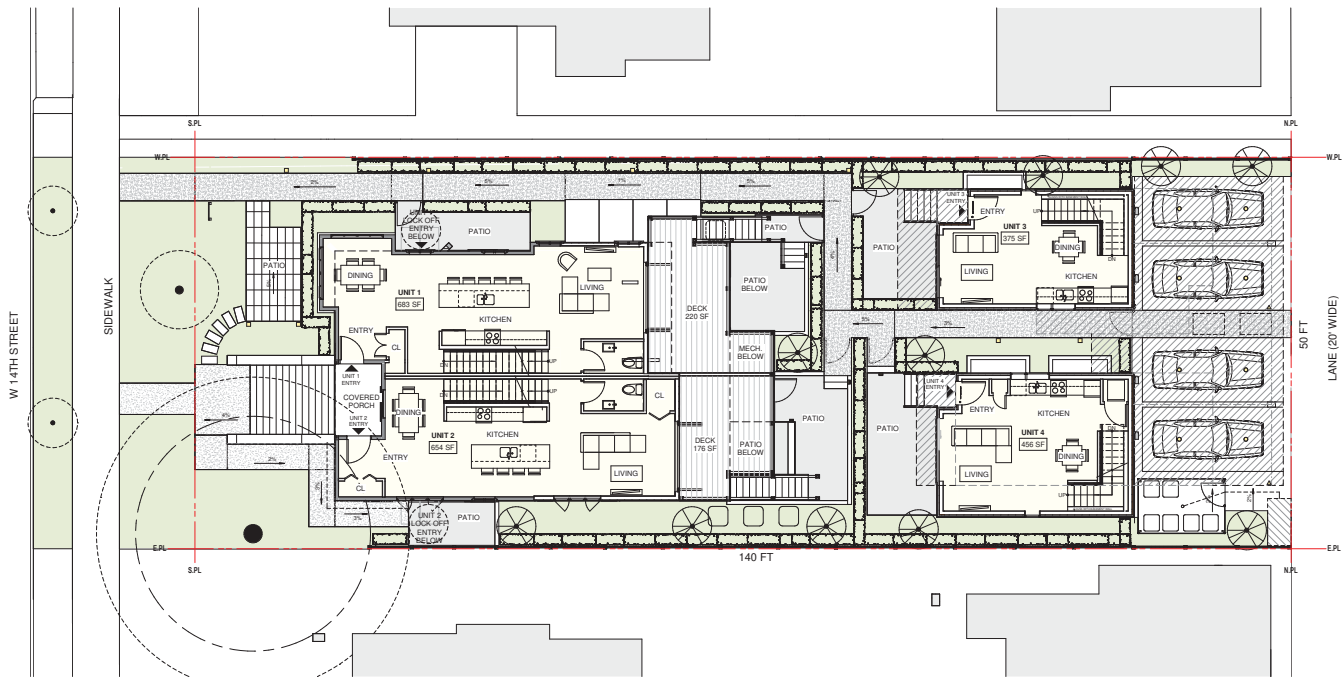
The bottom-right photograph is another close-up of the tree's trunk and lower branches, showing the texture of the bark and the green leaves. A concrete walkway leads from the foreground towards the tree.



**KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER**



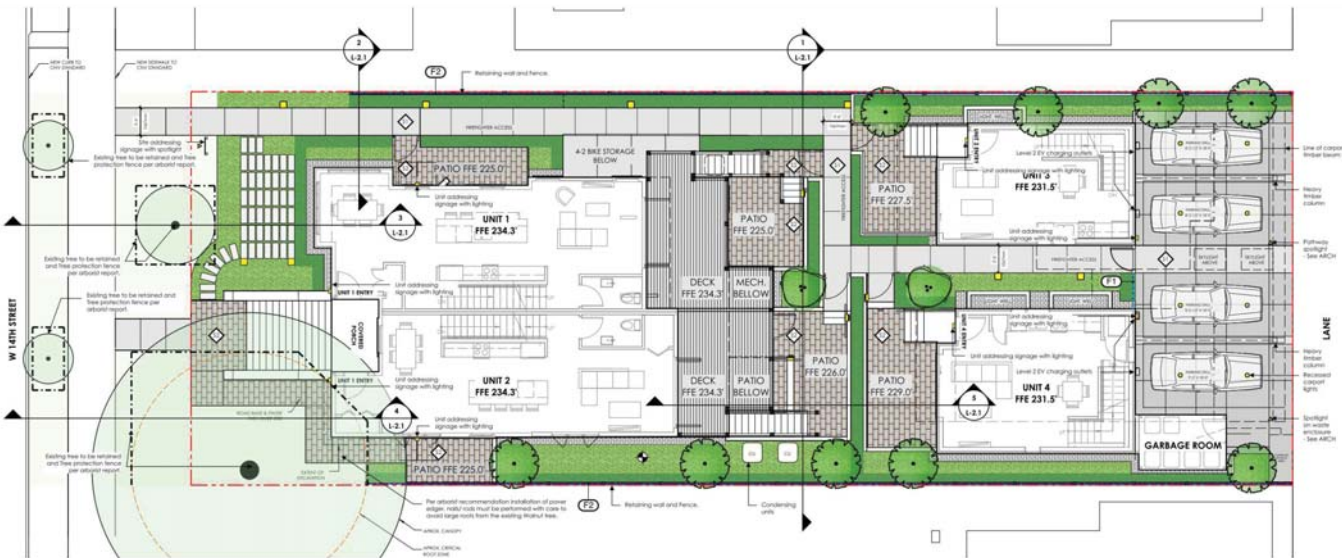
SITE PLAN



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

LANDSCAPE PLAN



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

## SITE ELEVATIONS



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

## W 14TH STREET - HERITAGE SOUTH PERSPECTIVE



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

COURTYARD - HERITAGE ADDITION PERSPECTIVE



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

INFILL ELEVATIONS & MATERIALITY



SOUTH ELEVATION



NORTH ELEVATION



HARDI CEMENT BOARD CLADDING



WINDOWS, WOOD & ALUMINUM FINISHES



WOOD STRUCTURE & ENTRY DOORS

METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER



COURTYARD - INFILL PRESPECTIVE



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER

LANEWAY - INFILL NORTH PERSPECTIVE



METRIC

KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER





***THANK YOU!***

**METRIC**

**KNOWLES RESIDENCE - 328 W 14TH STREET, CITY OF NORTH VANCOUVER**



# NORTH SHORE HERITAGE PRESERVATION SOCIETY

2695 Nelson Avenue, West Vancouver, BC, V7V 2R8  
(604) 926-6096  
info@northshoreheritage.org

[www.northshoreheritage.org](http://www.northshoreheritage.org)

BC Society Registration No. S-49292

**Received June 20, 2022  
PH 328 West 14th Street**

June 20, 2022

Mayor and Council  
City of North Vancouver  
453 West 12th Street  
North Vancouver BC

By e-mail only to: [citycouncil@cnv.org](mailto:citycouncil@cnv.org)

Dear Mayor and Members of Council:

Re: 328 W 14th Street, North Vancouver

We are writing in support of the Heritage Revitalization Agreement (HRA) that is being sought for the above captioned property.

The Knowles Residence, built in 1909, is a unique example of the Arts & Crafts style of architecture, but with massing and proportions that distinguish it from other typical examples. Most notable is its massive corner turret providing the appearance of a grand manor house that was popular at the time.

We fully support any attempt to preserve a building with heritage qualities and thereby prevent its demolition and removal to landfill. In today's awareness of the importance of environmental stewardship it has become increasingly clear that the greenest building is the existing building.

It is also becoming increasingly important for our community to have a variety of housing options to increase supply and provide more affordability. Converting the heritage house into a duplex with lock off suites and the addition of two detached infill homes at the rear is a welcome solution to these housing issues, and the approval of the Heritage Designation Bylaw will ensure that the heritage house will be protected in perpetuity.

Please let us know if you have any questions or require further information.

Kind regards,

Kyla Gardiner  
President  
North Shore Heritage Society



# PUBLIC HEARING

Monday, July 11, 2022 at 6:00 pm

Zoning Amendment Bylaw No. 8935 and Heritage Designation  
Bylaw No. 8932 for **328 West 14<sup>th</sup> Street**

Watch the meeting online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming)  
or in person at City Hall, 141 West 14<sup>th</sup> Street

**Proposal:** To rezone the subject property from a One-Unit Residential 1 (RS-1) Zone to a Comprehensive Development 756 (CD-756) Zone to permit the development of 2 detached infill units, to support the retention, rehabilitation and designation of the existing Heritage 'A' Building.

**To provide written input:** All persons who believe their interest in property may be affected by the proposed bylaws will be afforded an opportunity to speak at the Public Hearing and/or by written or email submission. **All submissions must include your name and address** and should be sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, July 11, 2022**, to ensure their availability to Council at the Public Hearing. No further information or submissions can be considered by Council after the Public Hearing has concluded.



**To speak at the Public Hearing in person OR by Webex/phone:**

**In person at City Hall:** On the day of the Public Hearing, a sign-up sheet will be available in the lobby, outside the Council Chamber, between 5:30 and 6:00pm. Enter City Hall through the doors at the southwest corner of the building (off 13<sup>th</sup> Street) after 5:30pm.

**Via Webex/phone:** Pre-register by completing the online form at [cnv.org/PublicHearings](https://cnv.org/PublicHearings), or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on Monday, July 11, 2022.**

**Non-registered speakers:** Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming).

**To view the documents:** The proposed bylaws, background material and presentations can be viewed online at [cnv.org/PublicHearings](https://cnv.org/PublicHearings).

**Questions?** Huy Dang, Planner, [hdang@cnv.org](mailto:hdang@cnv.org) / 604-990-4216

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



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# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8935

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8935**” (Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street, CD-756).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-756 (Comprehensive Development 756 Zone):

Lots	Block	D.L.	Plan	
19	47	271	1658	from RS-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-755 Comprehensive Development 755 Zone”:

“CD-756 Comprehensive Development 756 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-755 Comprehensive Development 755 Zone”:

“CD-756 Comprehensive Development 756 Zone”

In the CD-756 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) Three Principal Buildings shall be permitted on one Lot;
- (2) The permitted Principal Use on the Lot shall be limited to:
  - (a) Two Principal Dwelling Units in the southernmost heritage building;
    - (i) One Accessory Lock-Off Unit is permitted for each Dwelling Unit;
  - (b) Two Principal Dwelling Units in the two northernmost infill buildings;
- (3) The Principal Buildings shall not exceed a combined Gross Floor Area of 0.69 times the Lot Area. For the purposes of CD-756 the following areas shall be excluded from Gross Floor Area calculations:

- (a) The attached carport area connected to the northernmost infill buildings;
  - (b) Bicycle parking storage;
  - (c) Garbage and recycling enclosure area;
- (4) The Principal Buildings shall not exceed a combined Lot Coverage of 48 percent;
- (5) The Principal Buildings shall be sited as follows:
  - (a) The southernmost Principal Building (heritage home) shall be not less than:
    - (i) 4.9 metres (15.9 feet) from the Front Lot Line;
    - (ii) 23.8 metres (78.1 feet) from the Rear Lot Line;
    - (iii) 3.0 metres (9.9 feet) from the western Interior Lot Line;
    - (iv) 1.9 metres (6.2 feet) from the eastern Interior Lot Line;
  - (b) The northernmost Principal Buildings (infill buildings) shall be not less than:
    - (i) 29.8 metres (97.8 feet) from the Front Lot Line;
    - (ii) 3.0 metres (10.0 feet) from the Rear Lot Line;
    - (iii) 1.2 metres (4.0 feet) from the Interior Lot Line;
    - (iv) 2.4 metres (8.0 feet) from another infill building;
- (6) The attached carport shall be sited not less than 0.6 metres (2.0 feet) from the Rear Lot Line
- (7) The southernmost Principal Building (heritage home) shall not exceed a Height of 10.3 metres (33.7 feet) (maximum geodetic height of 260.5 feet)
- (8) The northernmost Principal Buildings (infill buildings) shall not exceed a Height of 8.2 metres (27.0 feet) (maximum geodetic height of 253.7 feet)
- (9) Each Dwelling Unit shall have access to 2 secure Bicycle Parking Spaces and a total of 8 shall be provided;

- (10) Section 10A02(1)(c) shall be varied to permit Bicycle Parking Space overhead clearance height of no less than 1.5 metres (5.0 feet).

READ a first time on the 20<sup>th</sup> day of June, 2022.

READ a second time on the 20<sup>th</sup> day of June, 2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8932

**A Bylaw to Designate a Municipal Heritage Site**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Heritage Designation Bylaw, 2022, No. 8932**” (**Scott Mitchell / METRIC Architecture, 328 West 14<sup>th</sup> Street**).
2. Pursuant to the *Local Government Act*, the following lands, buildings and structures are, in their entirety, designated as a protected heritage property:

**Street Address:** 328 West 14<sup>th</sup> Street, North Vancouver

**Common Name / Description:** Knowles Residence

**Legal Description:** LOT 19, BLOCK 47, DISTRICT LOT 271, PLAN  
1658 PID 014-493-004

3. Pursuant to the *Local Government Act*, this bylaw requires adherence to the City of North Vancouver’s “Heritage Conservation Procedures Bylaw, 2013, No. 8292”.

READ a first time on the 20<sup>th</sup> day of June, 2022.

READ a second time on the 20<sup>th</sup> day of June,  
2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

---

CORPORATE OFFICER

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**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON **MONDAY, JUNE 20, 2022****

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**REPORT**

26. Development Variance Permit Application: 520 East 1<sup>st</sup> Street (Wall North Vancouver Townhome Ltd.) – File: 08-3400-20-0085/1

Report: Planner 1, June 8, 2022

Moved by Councillor Bell, seconded by Councillor Valente

PURSUANT to the report of the Planner 1, dated June 8, 2022, entitled “Development Variance Permit Application: 520 East 1<sup>st</sup> Street (Wall North Vancouver Townhome Ltd.)”:




THAT Development Variance Permit No. PLN2022-00013 (Wall North Vancouver Townhome Ltd., Inc. No. BC1138119) be considered for issuance under Section 498 of the *Local Government Act* and referred to a Public Meeting;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

**CARRIED UNANIMOUSLY**



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Bram van der Heijden, Planner 1

Subject: DEVELOPMENT VARIANCE PERMIT APPLICATION: 520 EAST 1<sup>ST</sup> STREET (WALL NORTH VANCOUVER TOWNHOME LTD.)

Date: June 8, 2022 File No: 08-3400-20-0085/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 1, dated June 8, 2022, entitled "Development Variance Permit Application: 520 East 1<sup>st</sup> Street (Wall North Vancouver Townhome Ltd.):

THAT Development Variance Permit No. PLN2022-00013 (Wall North Vancouver Townhome Ltd., Inc. No. BC1138119) be considered for issuance under Section 498 of the Local Government Act and the Public Meeting be waived;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary documentation to give effect to this motion.

**ATTACHMENTS**

1. Project Statistics, dated May 17, 2022 (CityDocs #2170913)
2. Site Plan, dated May 17, 2022 (CityDocs #2180891)
3. Parkade Plan, dated May 17, 2022 (CityDocs #2180898)
4. Development Variance Permit No. PLN2022-00013 – 520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue (CityDocs #2178015)



## SUMMARY

Wall North Vancouver Townhome Ltd. ("Wall") has applied for a Development Variance Permit (DVP) to vary the on-site parking requirement at 520 East 1<sup>st</sup> Street (the "Development") from 104 parking spaces to 74. The applicant's intention is to operate the stratified development as a rental building. As a condition of the DVP all residential strata units would be required to be held in single ownership and secured as rental units for 20 years. The requirement for single ownership will be secured by a Section 219 covenant to be registered on title to the lands for a term of 20 years.

## BACKGROUND

Applicant:	Wall North Vancouver Townhome Ltd.
Official Community Plan Designation:	Residential Level 4B
Existing Zoning:	CD-669
Applicable Guidelines:	Moodyville development permit area

### Site Context and Surrounding Use

The Development is part of the Trails development which is a multi-phase development across multiple properties in the Moodyville area. The Development, also referred to as Phase 2B at 520 East 1st, was issued a Development Permit in 2018 for a 104 unit townhome development. Most of the surrounding parcels share the same CD-669 Zone. Phase 3 – 6 of the Trails development have not yet been issued a Development Permit. All phases are owned by Wall North Vancouver Townhome Ltd.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North	505–565 E 2nd St.	Townhouse development (under construction) – Phase 1	CD-669
South	519–609 E 1st St.	Vacant lot – Phase 3	CD-669
East	602–622 E 1st St., 603–609 E 2nd St.	Vacant lot – Phase 2A	CD-669
West	109 St. Davids Ave	Single family home	CD-669

## Project Description

- The applicant has obtained a development permit and a building permit to construct the Development which consists of 104 townhouse units. The project is currently under construction and is expected to be finalized in August 2022.

- Through the development permit process, the parking requirements of the Zoning Bylaw were achieved by providing 64 residential parking stalls, 10 car share stalls which count as 4 regular stalls each and cash in lieu contributions for 5 additional stalls.
- The applicant has been unable to secure car share vehicles for the development. Therefore, the development no longer meets the parking requirements of the Zoning Bylaw.

On May 21, 2022, the applicant submitted a DVP application to vary the Zoning Bylaw parking requirement, including a proposal to provide all units in the development as rental units, secured through a section 219 rental covenant effectively creating a rental building with corresponding parking requirements.

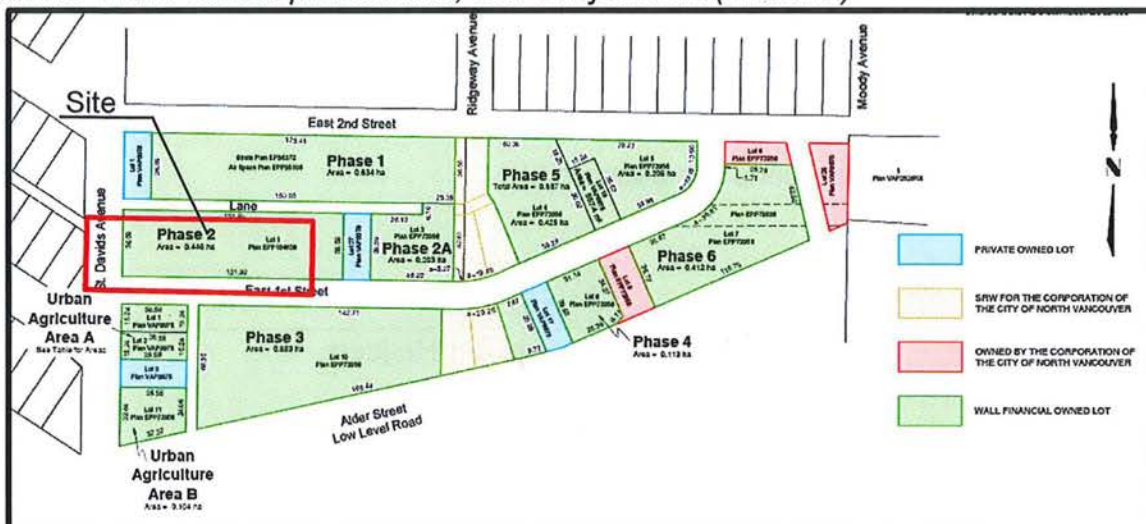
## DISCUSSION

The development that was approved through the DP process can no longer meet the parking requirements because the applicant has not been able to secure the required car share vehicles. The applicant has provided a letter of credit in the amount of \$500,000 to the City as security to ensure provision of the required car share vehicles.

### Car Share Security

Forfeiting the security amount would be a significant financial burden to the applicant. Also, the security amount would have limited benefit to mitigate the parking deficit because it must be allocated to new and existing off-street parking spaces, or transportation infrastructure that supports walking, bicycling, public transit or other alternative forms of transportation projects according to the Local Government Act. Since the site is part of the Trails development area (See Figure 1), most surrounding streets will see significant upgrades while the area is being fully redeveloped. For this reason it will be challenging to allocate the security amount within the immediate vicinity of the site to further improve upon any localized parking shortages.

**Figure 1. 'Trails' Development Area, and Subject Site (Phase 2)**





### **Proposed Provision of Rental Housing**

The applicant has proposed proceeding with the project as a rental development, rather than strata. A Rental Apartment Residential Use has a lower parking requirement and the change would result in a decrease from 1.05 required stalls per unit to 0.6 stalls per unit. However, as the project has already been stratified, the site cannot meet the zoning bylaw definition of Rental Apartment Residential Use.

To secure rental housing on the site and permit the typical rental housing parking ratio, two measures are proposed: 1) a rental covenant prohibiting the sale of the units; and, 2) a parking variance to 0.71 spaces per unit. The parking variance combined with a rental covenant would ensure the property will function as a rental building for the next 20 years while exceeding the parking requirement for Rental Apartment Residential Use of 0.6 stalls per unit. This proposal, if approved, would result in the building exceeding the parking requirements for Rental Apartment Residential Use by 10 stalls.

At the end of the 20 year covenanted period (i.e. 2044), individual units could be sold as strata condos and the building would maintain the 0.7 space per unit parking ratio. It is expected that parking demand in 2044 will be significantly reduced owing to the greater availability of alternative transportation modes such as rapid transit, improved active transportation options, technological changes and compact urban development.

### **Need for Family-Friendly Rental Housing**

The proposed DVP combined with the 20-year rental covenant would bring large family-friendly rental homes to the area. Townhome rental units are exceedingly rare in the city and would significantly contribute to meeting needs identified in the Housing Needs Report and advance a number of goals set out in the Housing Action Plan including:

- Family-Friendly Housing; and
- Diversity of Rental Suites.


### **FINANCIAL IMPLICATIONS**

The security for the 10 car share vehicles for the amount of \$500,000 will be released if the DVP is issued.

### **INTER-DEPARTMENTAL IMPLICATIONS**

No inter-departmental implications are expected.

RESPECTFULLY SUBMITTED:

  
\_\_\_\_\_  
Bram van der Heijden  
Planner I

## PROJECT DESCRIPTION

PROJECT NAME: The Trails - Phase 2B  
PROJECT ADDRESS: 502-528 East 1st Street  
LEGAL DESCRIPTION:

PID  
030-393-761  
009-558-705  
004-587-022

LEGAL  
LOT 2  
LOT 28  
LOT 29



ZONING: CD 669  
OCP: R4B  
SITE DIMENSIONS: RECTANGULAR  
~400' x 120'

SITE AREA: 48,037.00 SF, 4,462.78 SM.

LOT COVERAGE: Allowable 60.0%, Proposed 45.1%, 21678 SF.

## SETBACKS

	Required (ft)	Provided (ft)
Front Lot Line	9.8	10.00
Interior or Exterior Side Lot Line	7.9	10.00
Rear Lot Line	5.2	5.2

## FSR SUMMARY

FSR: 1.25, 60,046.25 SF, 5,578.48 SM.  
Density Bonus per CD669 Item 5(b)(i) and Figure Cd-669-2

MAX FSR 1.55, 74,457.35 SF, 6,917.31 SM.  
Per CD-669 Item 5(b)(iii)

FSR Area Proposed 73,551.00 SF, 1.53

## BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT 49.17 FT, 15.0 m  
Per CD-669 Item 7(c) - height measured relative to average building grade

	Average Building Grade	Max Height
Building A Street	94.72 FT.	143.89 FT.
Building A Lane	104.89 FT.	154.06 FT.
Building B	108.67 FT.	157.84 FT.
Building C	99.60 FT.	148.77 FT.

## UNIT COUNT

Town homes - 1 bed	6
Town homes 2 Bed	11
Apartments	65
Adaptable/Accessible Apartments	22
<b>Total</b>	<b>104</b>

## PARKING AND BIKE SUMMARY

Per City of North Vancouver Parking and Loading Standards (Part 9 Fig. 9.3)(Rental Apartment Residential) A minimum of 0.6 parking space.

Total Parking Required	63	(INCLUDING 11 VISITOR STALLS)
Total Parking Proposed	74	
Total Reg Parking	58	
Disabled parking Required	5	

Per City of North Vancouver Parking and Loading Standards minimum visitor parking requirements shall be calculated at a rate of 0.1 spaces per dwelling.

0.1 spaces per unit 10.4

Visitor Parking Required 11

Visitor Parking Proposed 11

## SHORT TERM BIKE PARKING REQUIRED

Per City of North Vancouver Parking and Loading Standards, 6 spaces per every 60 units of part thereof are required.

Short Term Bike Parking Provided: 12 spaces

## SECURE BIKE PARKING REQUIRED

Per City of North Vancouver Parking and Loading Standards, 1.5 spaces per unit.

Secure Bike Parking Provided: 156.0

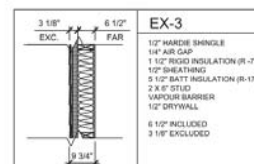
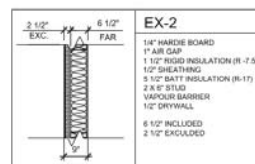
## THE TRAILS - Phase 2B FSR Summary

Floor	Floor Area (sft)	Exclusions(Stairs & exterior finish on walls) (sft)	Below Average Grade Exclusion(sft)	Cellar Exclusion (Storage, Bike, M & E, Garbage rooms) (sft)	Parkade FSR Exclusion(sft)	Balcony & Walkway (sft)	CNV Level 2 Adaptable Unit Exclusion	CNV Level 3 Adaptable Unit Exclusion
Parkade P1	2,918	1,070	3,520	4,424	28,168	-	-	-
Level 1	19,939	1,589	-	-	-	-	60	90
Level 2	20,561	976	-	-	-	5162	-	270
Level 3	20,561	976	-	-	-	5162	-	270
Level 4	9,571	645	-	-	-	2441	100	-
Total Area	73,551	-	-	-	-	-	-	-
Site Area	48,037	-	-	-	-	-	-	-
FSR	1.53	-	-	-	-	-	-	-

\*CNV Level 2 Exclusion (8 units x 20sqft = 160 sqft) CNV Level 3 Exclusion (14 units x 45 sqft = 630) total adaptable exclusion 790 sqft\*\*

## THE TRAILS- PHASE 2B GROSS FLOOR AREA SUMMARY

Floor	Gross Floor Area (sft)	Walkway Area (sft)	Balcony Area(sft)
Parkade P1	40,100		
Level 1	21,678		
Level 2	26,969	3,604	1,558
Level 3	26,969	3,604	1,558
Level 4	12,757	1,719	722
Total GFA including Parking	128,474	8,927	3,838
10% of total GFA	12,847		
Total of Walkways + Balconies (sqft)	12,765		
Allowable: 10% total Area	12,847		



## Trails Phase 2B Unit Count

Unit #	Type	Standard	Unit #	Type	Standard	Unit #	Type	Standard	Unit #	Type	Standard
Ground/Courtyard Storey	2nd Storey		3rd Storey			Level 4					
101 18bed TH	201 18bed		301 18bed	401 18bed							
102 18bed TH	202 18bed		302 18bed	402 18bed							
103 18bed TH	203 18bed		303 18bed	403 18bed							
104 18bed TH	204 18bed		304 18bed	404 18bed							
105 1+ TH	205 18bed		305 18bed	405 18bed							
106 1+ TH	206 18bed		306 18bed	406 18bed							
107 18bed TH	207 18bed		307 18bed	407 18bed							
108 1+ TH	208 18bed		308 18bed	408 18bed							
109 1+ TH	209 18bed		309 18bed	409 18bed							
110 18bed TH	210 18bed	Accessible	310 18bed	410 18bed	Accessible						
111 18bed	211 18bed		311 18bed	411 18bed	Accessible						
112 18bed	212 18bed		312 18bed	412 18bed	Accessible						
113 18bed	213 18bed		313 18bed	413 18bed	Accessible						
114 18bed	214 18bed		314 18bed	414 18bed	Accessible						
115 18bed	215 18bed		315 18bed	415 18bed	Accessible						
116 18bed	216 18bed	Universal	316 18bed	416 18bed	Accessible						
117 18bed	217 18bed	Universal	317 18bed	417 18bed	Accessible						
118 18bed	218 18bed	Universal	318 18bed	418 18bed	Accessible						
119 18bed	219 18bed	Universal	319 18bed	419 18bed	Accessible						
120 18bed	220 18bed	Universal	320 18bed	420 18bed	Accessible						
121 18bed	221 18bed	Universal	321 18bed	421 18bed	Accessible						
122 18bed	222 18bed	Universal	322 18bed	422 18bed	Accessible						
123 18bed TH	223 18bed		323 18bed	423 18bed	Accessible						
124 18bed TH	224 18bed		324 18bed	424 18bed	Accessible						
125 1+ TH	225 18bed		325 18bed	425 18bed	Accessible						
126 1+ TH	226 18bed		326 18bed	426 18bed	Accessible						
127 18bed TH	227 18bed		327 18bed	427 18bed	Accessible						
128 18bed TH	228 18bed		328 18bed	428 18bed	Accessible						
129 18bed TH	229 18bed		329 18bed	429 18bed	Accessible						
	230 18bed		330 18bed	430 18bed	Accessible						

7.7%	8	City of North Vancouver Accessible Level 2
11.5%	12	City of North Vancouver Accessible Level 3
1.9%	2	CMHC Universal Access guideline / CNV Level 2 & above
21.2%	22	Total Adaptable units to CNV Level 2 & above

9.2%	8	City of North Vancouver Accessible Level 2
13.8%	12	City of North Vancouver Accessible Level 3
2.3%	2	CMHC Universal Access guideline / CNV Level 2 & above
25.8%	22	Total Adaptable units to CNV Level 2 & above

## PARKING STATISTICS

CNV ZONING REQUIREMENT 0.6 PER UNIT. 104 x 0.6 = 63

TOTAL STALLS PROVIDED 74

BREAKDOWN

REGULAR STALLS 45

SMALL CAR STALLS (MAX 38% VARIANCE REQUIRED) 24

DISABLED STALLS 5

VISITOR PARKING 11

REQUIRED VISITOR STALLS 11

PER CNV PARKING AND LOADING STANDARDS MINIMUM VISITOR PARKING REQUIREMENTS 0.1 STALLS PER UNIT

0.1 STALLS PER UNIT 104 x 0.1 = 10.4

PROVIDED VISITOR STALLS 11

SHORT TERM BIKE PARKING

REQUIRED: 6 SPACES FOR EVERY 60 UNITS 12

PROVIDED 12

SECURE BIKE PARKING

REQUIRED: 1.5 SPACES PER UNIT 104 x 1.5 = 156

BREAKDOWN

HORIZONTAL STALLS 103

VERTICAL STALLS 54

ADAPTABLE UNITS:

25% OF APARTMENTS REQUIRED TO BE L2 ADAPTABLE 22

PROVIDED 22

DISABLED PARKING REQUIRED

FOR "LEVEL 2 & 3 ADAPTABLE" UNITS: 5

"EV OUTLET" LOCATIONS DENOTED IN GREEN

Issued For: DEVELOPMENT PERMIT  
Date: 2019-11-15



PROJECT TITLE: MOODYVILLE - THE TRAILS - PHASE 2B

RESIDENTIAL DEVELOPMENT

PROJECT NO: 100000

DRAWN BY: Architect

CHECKED BY: Checker

SCALE: 1/4" = 1'-0"

DATE: 10/20/19

SHEET TITLE: PROJECT STATISTICS

SHEET NUMBER: DP-A0.01

REV: 1







# Public Meeting presentation for 520 East 1<sup>th</sup> Street

Parking DVP

Presented July 11, 2022  
Development Planning

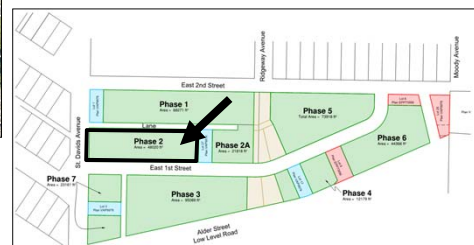


## Site Context

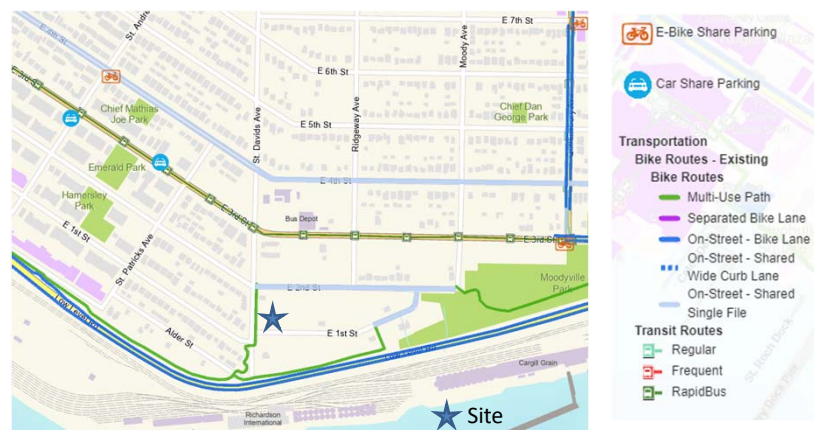
- **Location:** 520 East 1<sup>st</sup> St.



Trails Development Area



## Transportation Context



## Previous Approvals

- **Zoning:** CD-669 - permits 4 storey, multi-unit residential development (strata residential)
- **Development Permit (DP) issued October 13 2020** – project meets Moodyville Dev. Guidelines
- Project currently under construction and close to completion



## Parking Summary as approved under DP (Strata Residential)

Type of parking provision	Regular stalls
Regular stalls	64
Cash in Lieu	-5
Car share stalls +vehicle (1 stall = 4 regular stalls)	10 stalls x 4= 40
Total regular stalls equivalent	104 spaces

## Car Share – Securing as part of Projects

- **For project** - Car share vehicles and spaces secured through \$500,000 security for project. Confirmation letter from car share provider required before BP issuance
- **Current Approach** – Car share vehicles & spaces secured through legal agreement (with securities) and provision of a confirmation letter from Car Share provider prior to planning approvals.

## Scope of Development Variance Permit (DVP) Applications

- DVP applications can be used to vary provisions in the Zoning Bylaw such as parking requirements
- Cannot vary use or density.
- DVP subject to Council consideration
- Conditions for DVP need to be tied to variance request

## Current DVP Application

- DVP application submitted May 2022 to address parking shortage as applicant was unable to secure 10 car share vehicles and spaces prior to BP occupancy
- **Scope of DVP** – vary required parking from 104 stalls to 74 (net reduction of 30 stalls)
  - 1.05 stalls/unit to 0.71 stalls/per unit

## Current DVP + Rental Condition

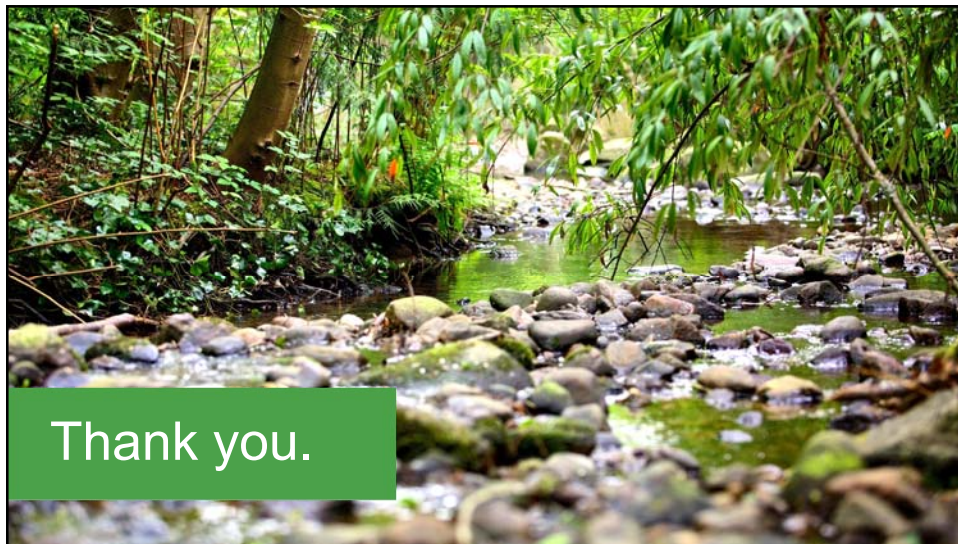
- Applicant proposing 100% of all units as Secured Market Rental (period of 20 years) – to be secured as condition of DVP
  - Rental Residential rate is 0.6 stalls per unit.
    - 61 stalls would be required
  - Project would provide for a minimum of 74 stalls
- Applicant proposing to rent all units at 10%, with some units up to 20%, below market rates as per CMHC construction financing requirements

## Rental Housing Benefits

- The provision of rental housing aligns with City objectives around increasing supply of rental housing throughout city
- The project would provide larger family-oriented units and housing choice (townhouses)
- Mid-Market Rental (MMR) units not being pursued as no additional density proposed

## Summary of DVP

- DVP to vary parking minimum.
  - Vary parking minimum from 104 stalls to 74 (30 stalls)
  - Condition to provide 100% rental housing for 20 years
- Project within 200 metres of rapid bus and cycling routes
- Variance would facilitate the delivery of family-friendly, townhouse rental units
- Opportunities for applicant to include car share within subsequent phases of the Trails development.



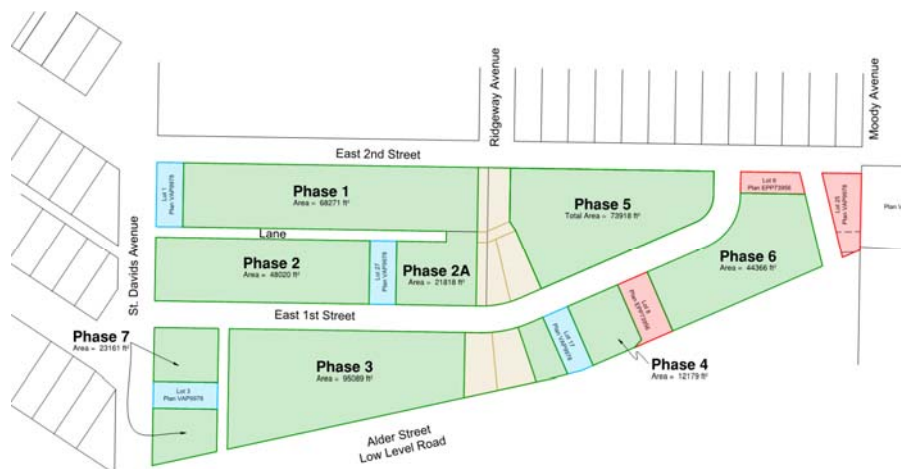
Thank you.



# The Trails

By Wall Financial

## Trails Development Lands



## Existing Rental in North Vancouver

- Wall Financial owns and operates approximately 1,300 rental units throughout the lower mainland.
- We currently own and operate 3 separate rental buildings in North Vancouver.
  - 123 Rental Units – Vista Del Mar
  - 89 Rental Units – Beacon Hill
  - 72 Rental Units – St Georges
- 520 E1st will bring another 104 rental units (totaling 388 including 21 town homes) into our North Vancouver rental portfolio.

## Car Share Spaces

- Due to current conditions in the market we are not able to facilitate all 10 car share stalls contemplated in the approved development permit. The Car Share Operators will not commit to enacting all 10 spaces at the onset of the agreement.
- Any replacement Car Share Spaces are to be allocated throughout upcoming phases of the Trails Developments.

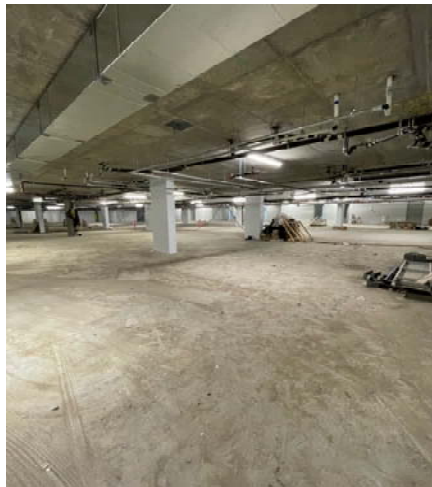
## Affordable Rental

- 520 E1st Ave rental is to be secured with CNV by a 20 year covenant registered on title, per the Development Variance Permit process.
- The rental will also be rented out at 10% below market rates per a housing agreement with CMHC. Some units may be discounted by up to 20%.
- Wall is proud to partner with the City in providing additional affordable rental at the Trails.

## 520 E1st - Exterior



## 520 E1st - Parkade





**From:** Hector Del Villar  
**Sent:** June-30-22 10:31 AM  
**To:** Submissions  
**Cc:** "Elizabeth Peón"  
**Subject:** Development Variance Permit No. PLN2022-00013 - 520 East 1st Street

Dear Corporate Officer,

We would like to communicate our disagreement to the Developer's proposal to reduce the on-site parking from 104 parking spaces to 74. The developments within the area is growing significantly and the future of this community needs to be further considered.

We believe that the Developer must continue with the initial amount of parking proposed to avoid potential problems in the short and long term.

We are submitting this input before the public meeting (July 11, 2022) and as requested, please find my name and address below.

Thank you for considering our voice as part of this community.

Hector Del Villar  
123-525 East 2<sup>nd</sup> Street  
V7L 1E1 North Vancouver

**From:** Grant Myles

**Date:** July 4, 2022 at 11:10:28 AM PDT

**To:** Mayor Linda Buchanan, "Holly Back (Councillor)", "Don Bell (Councillor)", "Angela Girard (Councillor)", "Tina Hu (Councillor)", Jessica McIlroy, "Tony Valente (Councillor)"

**Subject:** Trails Parking Variance - Info Session

Hello Mayor and Councilors,

In discussion with and subsequent to the recommendation of City Staff, we have submitted an application for a Development Variance Permit related to the number of parking stalls at our Trails Phase 2B project which is under construction (520 E 1<sup>st</sup> Ave. North Vancouver BC). I believe we are set to meet with Council on July 11<sup>th</sup> to discuss the matter and was hoping to touch base with some of you prior to that meeting. Below are some point form bullets related to the request for variance, also a few MS Teams meeting times I will keep open where anyone can join in to gain further clarity.

- The Trails Development by Wall is a large multiphase development covering 11 Acres in Moodyville
- The Current Phase Trails 2B (520 E 1<sup>st</sup> Ave) is set to complete in August 2022.
- There have been numerous discussions with City Staff regarding the proposed car share arrangement, current planners have deemed the arrangement as not confirming with the bylaw even though we have a Full Development Permit and Full Building Permits.
- To Resolve the matter (which is urgent) we have agreed place a 10 year rental covenant on the project, thus reducing the overall parking requirements as our development would be classified as a rental building which only requires 0.6 spaces per unit.
- Car Share will be broken up into future phases on the Moodyville Developments

**We ask that you give every effort to support the DVP recommended by Staff. With the rental housing covenant in place there will be 104 new rental apartments and town homes available September 1, 2022. The project will also be rented out at 10% below market rates, bringing much needed supply to the rental housing market in the immediate future.**

**Drop in meeting times:**

Title: 520 E 1st - Rental Housing Covenant & Parking

Time: Tuesday, July 5, 2022 at 1:30:00 PM Pacific Daylight Time

[Click here to join the meeting](#)

Title: 520 E 1st - Rental Housing Covenant & Parking

Time: Thursday, July 7, 2022 at 2:00:00 PM Pacific Daylight Time

[Click here to join the meeting](#)

Grant Myles | Vice President of Construction

**WALL FINANCIAL CORPORATION**

# PUBLIC MEETING

## Monday, July 11, 2022 at 6:00pm

Development Variance Permit No. PLN2022-00013  
for **520 East 1<sup>st</sup> Street**

Watch the meeting online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming)  
or in person at City Hall, 141 West 14<sup>th</sup> Street

**Proposal:** To vary the on-site parking requirement at the subject property from 104 parking spaces to 74. As a condition of the DVP, all residential strata units would be required to be held in single ownership and secured as rental units for a period of 20 years. These requirements would be secured through a Section 219 Restrictive Covenant to be registered on title of the property.

**To provide written input:** All persons who believe their interest in property may be affected by the proposed permit will be afforded an opportunity to speak at the Public Meeting and/or by written or email submission. **All submissions must include your name and address** and should be sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, July 11, 2022**, to ensure their availability to Council at the Public Meeting.

**To speak at the Public Meeting in person OR by Webex/phone:**

**In person at City Hall:** On the day of the Public Meeting, a sign-up sheet will be available in the lobby, outside the Council Chamber, between 5:30 and 6:00pm. Enter City Hall through the doors at the southwest corner of the building (off 13<sup>th</sup> Street) after 5:30pm.

**Via Webex/phone:** Pre-register by completing the online form at [cnv.org/PublicMeetings](https://cnv.org/PublicMeetings), or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on Monday, July 11, 2022.**

**Non-registered speakers:** Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming).

**To view the documents:** The proposed permit, background material and presentations can be viewed online at [cnv.org/PublicMeetings](https://cnv.org/PublicMeetings).

**Questions?** Bram van der Heijden, Planner, [bheijden@cnv.org](mailto:bheijden@cnv.org) / 604-982-3995



141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9

T 604 985 7761 / F 604 985 9417 / [CNV.ORG](https://cnv.org)



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**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**  
**DEVELOPMENT VARIANCE PERMIT**

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Permit No. PLN2022-00013

File: 08-3400-20-0085/1

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Issued to owner(s): **WALL NORTH VANCOUVER TOWNHOME LTD., INC. NO. BC1138119**

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Respecting the lands located at **520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue**, North Vancouver, BC, legally described as:

**LOT 1 DISTRICT LOT 273 PLAN EPP104606 PID: 031-245-781**

(the “**Lands**”)

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**List of Attachments:**

Schedule “A”: List of Plans

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**Authority to Issue:**

1. This Development Variance Permit is issued pursuant to Section 498 of the *Local Government Act*.
- 

**Bylaws Supplemented or Varied:**

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” are hereby varied as follows:
    - A. Section 908(8) shall be varied to reduce the minimum number of Parking Spaces required to 74 spaces.
- 

**Special Terms and Conditions of Use:**

3. The Buildings and Structures shall be developed in accordance with the plans dated and listed on the attached Schedule A “List of Plans” and filed in the offices of the City, and in compliance with the regulations and conditions listed hereunder:
  - A. A Section 219 Covenant must be registered to title of the Lands to ensure:

- a. All Strata units shall be held by one owner for 20 years, starting at the date permission to occupy the buildings has been granted by the City.
    - b. All units shall be used as rental units for 20 years, starting at the date permission to occupy the buildings has been granted by the City.
  4. No variances other than those specifically set out in this permit are implied or to be construed.
- 

#### **General Terms and Conditions:**

5. Pursuant to Section 504 of the *Local Government Act*, this Permit lapses if the work authorized herein is not commenced within 24 months following issuance of this Development Variance Permit. In the event the Owner is delayed or interrupted or prevented from commencing or continuing the construction on or about the subdivision by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the works shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.
6. This Development Variance Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under Section 524(3) of the *Local Government Act*.
7. Nothing in this Permit shall in any way relieve Land Owner/Developers obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.
8. Nothing in this Permit shall in any way relieve the Land Owner/Developers obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Health Act*, the *Fire Services Act*, the *Electrical Energy Inspection Act*, and any other provincial statutes.

---

Authorized by Council: \_\_\_\_\_  
Year / Month / Day

\_\_\_\_\_  
Linda C. Buchanan, Mayor

\_\_\_\_\_  
Karla D. Graham, Corporate Officer

Date Signed: \_\_\_\_\_  
Year / Month / Day

---

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Development Variance Permit No. PLN2022-00013.

Notice filed the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

THIS IS NOT A BUILDING PERMIT

**Schedule A**  
**List of Plans – 520 East 1<sup>st</sup> Street and 114-120 St. Davids Avenue**

<b>Designer</b>	<b>Project Name</b>	<b>Sheet Description</b>	<b>Sheet No.</b>	<b>Sheet Date</b>	<b>CityDocs File Number</b>
Butties Architecture Inc.	520 East 1st Street	Parkade plan	A2.02	May 17, 2022	<a href="#"><u>2180898</u></a>
Butties Architecture Inc.	520 East 1st Street	Site plan	A 2.01	May 17, 2022	<a href="#"><u>2178015</u></a>



## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### BYLAW NO. 8938

#### **A Bylaw to exempt certain lands and improvements in the City of North Vancouver from taxation for the year 2023**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Taxation Exemption Bylaw, 2022, No. 8938**”.
2. Tax exemptions under section 224 of the *Community Charter*.

The following lands situated, lying and being in the Corporation of the City of North Vancouver, Province of British Columbia, and any and all improvements thereon are hereby exempt from taxation imposed by the Corporation of the City of North Vancouver under section 224 of the *Community Charter* for the year 2023:

A. land or improvements that:

- i. are owned or held by a charitable, philanthropic or other not for profit corporation; and
- ii. the council considers are used for a purpose that is directly related to the purposes of the corporation:
  1. Anavets Senior Citizens' Housing, District Lot 274 Block 142 Lot 1 Plan BCP48496, PID: 028-616-260, 245 East 3rd Street, registered in the name of Anavets Senior Citizens' Housing Society, Roll # 142001.100;
  2. Army, Navy Air Force Veterans in Canada, Unit 45, District Lot 274 Block 141 Lot 11 Plan 878, PID: 015-077-179, 119 East 3rd Street, registered in the name of Army, Navy Air Force Veterans in Canada, Roll # 141011.000;
  3. The Cascadia Society for Social Working, District Lot 547 Block 4 Lot G 3846, PID: 012-111-902, 348 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 004081.000;
  4. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot H Plan 20988, PID: 005-163-064, 325 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021010.001;
  5. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot F Plan 20141, PID: 003-683-702, 351 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021004.001;
  6. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 1 Plan BCS2790, PID: 027-428-613, 170 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.001;

7. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 2 Plan BCS2790, PID: 027-428-621, 168 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.002;
8. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 3 Plan BCS2790, PID: 027-428-630, 166 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.003;
9. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 4 Plan BCS2790 PID: 027-428-648, 164 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.004;
10. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 5 Plan BCS2790 PID: 027-428-656, 162 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.005;
11. HYAD Society (Housing for Young Adults with Disabilities), District Lot 545 Block 206 Lot C Plan BCP44933, PID: 028-231-619, 2130 Chesterfield Avenue, registered in the name Provincial Rental Housing Corporation leased to HYAD Society, Roll # 206011.400;
12. Kiwanis Senior Citizens Homes Ltd., District Lot 271 Block 139 Lot D Plan 13604, PID: 008-538-191, 170 West 2nd Street, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 139026.000;
13. Kiwanis Care Homes Ltd., District Lot 550 Block 52 Lot 1 PI BCP23494 PID: 026-683-211, 1480 St. Andrews, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 052100.100;
14. Lighthouse Harbour Ministries, District Lot 274 SL1 Plan VR786, PID: 005-892-244, 1 - 260 East Esplanade, registered in the name of Lighthouse Harbour Ministries, Roll # 980786.001;
15. North Shore Connexions Society, District Lot 547 Block 4 Lot 2 Plan 14515, PID: 007-780-591, 1924 Jones Avenue, registered in the name of North Shore Connexions Society, Roll # 004045.000;
16. North Shore Disability Resource Centre Association, District Lot 616 Block B Lot 218 Plan 20292, PID: 006-672-728, 2412 Wilding Way, registered in the name of North Shore Disability Resource Centre Association, Roll # 950001.218;
17. North Shore Multicultural Society, Portion of District Lot 549 Block 50 Lot B Plan 15169, PID: 007-671-032, 123 East 15th Street, Units 100, 202, 203, 204, 204A, 205, 207, 301, 302, 303, 304, 305 only, registered in the name of Horizon Square Properties Ltd. leased to North Shore Multicultural Society, Roll # 050010.000;
18. North Vancouver Chamber of Commerce, District Lot 274 Block 274 SL2 Plan LMS4443, PID: 025-073-591, 102-124 West 1st Street, registered in the name of North Vancouver Chamber of Commerce, Roll # 994443.002;

19. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 1 Plan LMS4102, PID: 024-750-638, 123 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.001;
20. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 2 Plan LMS4102, PID: 024-750-646, 121 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.002;
21. Silver Harbour Seniors' Activity Centre, District Lot 545 Block 207 Lot C Plan 15014, PID: 007-711-280, 144 East 22nd Street, registered in the name of Silver Harbour Seniors' Activity Centre, Roll # 207050.000;
22. St Leonard's Society of North Vancouver, District Lot 547 Block 67 Lot 26 Plan 750, PID: 015-141-926, 312 Bewicke Avenue, registered in the name of St Leonard's Society of North Vancouver, Roll # 067027.000;
23. Family Services of the North Shore, Portion of District Lot 548/549 Block 86 Lot G Plan LMP29334, PID: 023-499-486, Suite 203 and 206, 1111 Lonsdale Avenue, registered in the name of Djavad Mowafaghian Foundation leased to Family Services of the North Shore, Roll # 086015.100;
24. Canadian Mental Health Association North and West Vancouver Branch, Portion of District Lot 548/549 Lot A Plan EPP22742, excluding 2,223 sq. ft. of the subleased rental office space of the total 3,596 sq. ft. leased space, PID 028-911-237, 300-1835 Lonsdale Avenue, registered in the name of Solitude Investments Ltd. leased to Canadian Mental Health Association, North and West Vancouver Branch Roll #019033.100;
25. The British Columbia Photography and Media Arts Society, Portion of District Lot 271 Lot A Plan EPP30712, and excluding the commercial retail space, PID 029-093-554, 101 Carrie Cates Court, registered in the name of the Corporation of the City of North Vancouver and leased to The British Columbia Photography and Media Arts Society, Roll # 177035.301;
26. Young Women's Christian Association (YWCA), District Lot 549, Block 61, Lot Air Space Parcel 5, Plan EPP68325, PID 030-180-741, 125 East 14<sup>th</sup> Street, Units 203, 204, 401, 402, 403, 404, 405, 406, 407 and 408, registered in the name of Young Women's Christian Association, Roll # 061011.600;
27. Girl Guides of Canada District Lot 271, Lot 220, Plan EPS4482, PID 030-250-218, Unit 107-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.220;
28. Girl Guides of Canada District Lot 271, Lot 221, Plan EPS4482, PID 030-250-226, Unit 108-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.221;
29. Girl Guides of Canada District Lot 271, Lot 222, Plan EPS4482, PID 030-250-234, Unit 109-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.222;

30. Girl Guides of Canada District Lot 271, Lot 229, Plan EPS4482, PID 030-250-307, Unit 207-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.229;
31. Girl Guides of Canada District Lot 271, Lot 230, Plan EPS4482, PID 030-250-315, Unit 208-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.230;
32. Girl Guides of Canada District Lot 271, Lot 231, Plan EPS4482, PID 030-250-323, Unit 209-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.231;
33. Hollyburn Family Services Society, District Lot 548 Lot 4 Plan BCS4407 PID: 028-810-317, 104-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver and leased to Hollyburn Family Services Society, Roll # 994407.004;
34. Hollyburn Family Services Society, District Lot 548 Lot 6 Plan BCS4407, PID: 028-810-333, 106-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.006;
35. Hollyburn Family Services Society, District Lot 548 Lot 7 Plan BCS4407, PID: 028-810-341, 107-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.007;
36. Hollyburn Family Services Society, District Lot 548 Lot 13 Plan BCS4407, PID: 028-810-406, 205-210 West 13th Street, registered in the name the Corporation of the City of North Vancouver leased to of Hollyburn Family Services Society, Roll # 994407.013;
37. Hollyburn Family Services Society, District Lot 548 Lot 14 Plan BCS4407, PID: 028-810-414, 206-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.014;
38. Hollyburn Family Services Society, District Lot 548 Lot 15 Plan BCS4407, PID: 028-810-422, 207-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.015;

B. land or improvements that:

- i. are owned or held by a municipality, regional district or other local authority; and,
- ii. the council considers are used for a purpose of the local authority:
  1. The Pipe Shop, District Lot 274 Block 176 Lot 4 Plan BCP 39824, PID: 027-842-215, 115 Victory Ship Way, registered in the name of 366466 BC LTD, leased to the Corporation of the City of North Vancouver, operated by Quay Property Management Corp., Roll # 175100.400;



2. The Shipyard Commons, District Lot 274, Block 176, Portion of Lot 5, Plan BCP 39824, PID 027-842-223, 125 Victory Ship Way, registered in the name of the Corporation of the City of North Vancouver leased to Shipyards Development Ltd, includes 1,317 ft<sup>2</sup> Office Space and 6,290 ft<sup>2</sup> Public Support Space and 28,310 ft<sup>2</sup> Public Plaza SRW leased back to the Corporation of the City of North Vancouver, Roll # 175100.500;
  3. North Vancouver Museum and Archives, District Lot 271 Lot 131 Plan ELSP6231, PID: 030-942-667, 115 Esplanade W, registered in the name of the Corporation of the City of North Vancouver, leased by the North Vancouver Museum and Archives Commission, Roll# 996231.131;
- C. land or improvements that the council considers would otherwise qualify for exemption under section 220 [general statutory exemptions] were it not for a secondary use:
1. The Lonsdale Creek Daycare Centre Society, operating in Lonsdale Annex Elementary School, Portion of District Lot 545 Block 205 Lot 8/14 Plan 3181, PID: 013-068-831, 230 West 21st Street, registered in the name of North Vancouver School District #44, leased to Lonsdale Creek Daycare Centre Society, Roll # 205008.000;
- D. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a public authority or local authority; and,
  - ii. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:
1. Lookout Emergency Aid Society, NS Shelter, District Lot 265 Lot 2 Plan BCP8797, PID: 025-819-828, 705 West 2nd Street, registered in the name of the Corporation of the City of North Vancouver, leased to Lookout Emergency Aid Society, Roll # 510061.300;
  2. North Shore Neighbourhood House, District Lot 274 Block 154 Lot M Plan 22039, PID: 012-590-975, 225 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.002;
  3. North Shore Neighbourhood House (Community Garden), District Lot 274 Block 154 Lot L Plan 22039, PID: 012-590-924, 207 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.001;
  4. North Shore Neighbourhood House, District Lot 274, Lot 63, Plan EPS 1235, PID 029-140-676, 113 East 3rd Street, registered in the name of the Corporation of the City of North Vancouver licenced to use by North Shore Neighbourhood House, Roll # 991235.063;

5. North Shore Neighbourhood House (Centreview Childcare Centre), District Lot 549, Block 61, Lot Air Space Parcel 4, Plan EPP68325, PID 030-180-732, 143 East 14<sup>th</sup> Street, registered in the name of the City of North Vancouver, leased to North Shore Neighbourhood House, Roll # 061011.500;
  6. Margaret Fulton Adult Day Centre, District Lot 547 Lot A Plan LMP42825, PID: 024-562-874, 1601 Forbes Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Vancouver Coastal Health Authority, subleased to Margaret Fulton Adult Day Centre, Roll # 003002.100;
  7. Navy League of Canada, District Lot 547, Block 27, Lot 27, Plan 12205, PID 008-935-629, 1555 Forbes Avenue, registered in the name of the City of North Vancouver leased to the Navy League of Canada, Roll #003004.000;
  8. Presentation House Cultural Society, District Lot 274 Block 134 Lot 15 &16 Plan 735 and District Lot 247 Block 134 Lots 12 to 21 Plan 735, 333 Chesterfield Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Presentation House Cultural Society, Roll # 134013.000;
  9. North Vancouver Community Arts Council, District Lot 274, Lot 9, Plan LMS3740, PID 024-324-523, 335 Lonsdale Avenue, registered in the name of the City of North Vancouver leased to the North Vancouver Community Arts Council, Roll #993740.009;
- E. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a person who is providing a municipal service under a partnering agreement;
  - ii. an exemption under section 225 [partnering and other special tax exemption authority] would be available for the land or improvements in relation to the partnering agreement if they were used in relation to the service;
  - iii. the partnering agreement expressly contemplates that the council may provide an exemption under this provision; and,
  - iv. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:
- NIL
- F. in relation to property that is exempt under section 220 (1) (h) [buildings for public worship]:
- i. an area of land surrounding the exempt building;
  - ii. a hall that the council considers is necessary to the exempt building and the land on which the hall stands; and,
  - iii. an area of land surrounding a hall that is exempt under subparagraph (ii):

1. North Shore Bethel Christian Mennonite Brethren Church, District Lot 274 Block 114 Lot 19 Plan 878, PID: 015-069-141, 185 East Keith Road, registered in the name of The B. C. Conference of the Mennonite Brethren Churches, Roll # 114025.000;
2. Holy Trinity Catholic Church. District Lot 545 Block 239 Lot 3 Plan BCP45481, PID: 028-295-943, 2705 Lonsdale Avenue, registered in the name Roman Catholic Archbishop of Vancouver, Roll # 239066.100;
3. North Shore Alliance Church, District Lot 545 Block 208 Lot 1 Plan 20958, PID: 005-061-563, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.001;
4. North Shore Alliance Church, District Lot 545/546 Block 208 Lot 2 Plan 20958, PID: 005-061-571, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.002;
5. King's Temple Missionary Society (N S Christian Centre), District Lot 616 Block 12 Lot C Plan 21170, PID: 006-853-838, 1400 Sutherland Avenue, registered in the name of King's Temple Missionary Society (N S Christian Centre), Roll # 912009.001;
6. Parish of St. Agnes Anglican Church of Canada, District Lot 550 Block 78 Lot A Plan LMP40523, PID: 024-355-712, 530 East 12th Street, registered in the name of Synod of the Diocese of New Westminster, Roll # 078014.100;
7. Parish of St. John The Evangelist Anglican Church, District Lot 548 Block 72 Plan 20861, PID: 004-364-970, 209 West 13th Street, registered in the name of Parish of St. John The Evangelist Anglican Church, Roll # 072001.001;
8. Salvation Army North Vancouver Community Church, District Lot 548/549 Block 86 Lot C Plan 1464, PID: 014-606-950, 105 West 12th Street, registered in the name of The Governing Council of the Salvation Army of Canada, Roll # 086009.001;
9. St. Andrew's & St. Stephen's Presbyterian Church, District Lot 545 Block 227A Lot A Plan 2836, PID: 013-252-409, 2641 Chesterfield Avenue, registered in the name of Congregation of St. Andrew's & St. Stephen's Presbyterian Church, Roll # 227100.000;
10. St. Andrew's United Church, District Lot 549 Block 88 Lot B Plan 750 PID: 015-136-931, 1046 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088003.000;
11. St. Andrew's United Church, District Lot 549 Block 88 Lot 27/28/29 Plan 4328, PID: 011-642-483, PID:011-642-475, PID:011-642-491, 1044 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088038.000;
12. The Way Church, District Lot 550 Block 12 Lot C Plan 9445, PID: 009-653-309, 630 East 19th Street, registered in the name of Sutherland Church, Inc, No. S8825 Roll # 012028.000;

13. St. Edmund's Parish, District Lot 271 Block 71 Lot B Plan 8415, PID: 010-087-460, 613 Mahon Avenue, registered in the name of the Roman Catholic Archbishop of Vancouver-St. Edmund's Parish, Roll # 071009.000;

- G. land or improvements used or occupied by a religious organization, as tenant or licensee, for the purpose of public worship or for the purposes of a hall that the council considers is necessary to land or improvements so used or occupied:

NIL

- H. in relation to property that is exempt under section 220 (1) (i) [seniors' homes], (j) [hospitals] or (l) [private schools], any area of land surrounding the exempt building:

NIL

- I. land or improvements owned or held by an athletic or service club or association and used as a public park or recreation ground or for public athletic or recreational purposes:

1. North Vancouver Lawn Bowling Club, Portion of District Lot 546 Block 217 Lot B Plan 18193, PID: 007-204-001, 249 East 24th Street, registered in the name of the Corporation of the City of North Vancouver leased to the North Vancouver Lawn Bowling Club, (Includes 60,170 sq. ft. for Licensed Area 1,2,2A and 3 per Schedule A of License Agreement) Roll # 217000.002;

- J. land or improvements owned or held by a person or organization and operated as a licensed community care facility and registered assisted living residence under the Community Care and Assisted Living Act:

1. Marineview Housing Society, District Lot 548 Block E.48 Lot A Plan 12729 PID: 008-811-946, excluding land and improvement portions relating to market rental units #202 and #204, 1415 Chesterfield Avenue, registered in the name of Marineview Housing Society, Roll # 048019.000;

2. Marineview Housing Society, District Lot 272 Block 5 Lot 12 Plan 3875 PID: 005-751-390, 1057 Cloverley Street, registered in the name of Marineview Housing Society, Roll # 605012.000;

3. Magnolia House Residential Mental Health Facility, District Lot 616 Block 6 Lot 73 Plan 1763, PID: 004-276-914, 720 East 17th Street, registered of in the name of Provincial Rental Housing Corporation leased to Vancouver Coastal Health Authority, subleased to Magnolia House Residential Mental Health Facility, Roll # 906073.000;

4. Community Living Society, District Lot 274 Block 116 Lot 4 Plan 878, PID: 015-131-548, 317 & 319 East Keith Road, registered in the name of Community Living Society, Roll # 116003.000;

5. Community Living Society, District Lot 544 SL21 Plan LMS531, PID: 017-957-826, 1003-555 West 28th Street, registered in the name of Community Living Society, Roll # 990531.021;



6. Marineview Housing Society, District Lot 550, Block 91, Lot 8, Plan 1647, PID 005-751-454, 1053 Grand Boulevard, registered in the name of Marineview Housing Society, Roll #091008.000;

- K. land or improvements for which a grant has been made, after March 31, 1974, under the Housing Construction (Elderly Citizens) Act before its repeal:

NIL

3. The effective date of this bylaw is January 1, 2023 to December 31, 2023.

READ a first time on the 27<sup>th</sup> day of June, 2022.

READ a second time on the 27<sup>th</sup> day of June, 2022.

READ a third time on the 27<sup>th</sup> day of June, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**STRATEGIC & CORPORATE SERVICES DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Brian Lightfoot, Manager Real Estate

Subject: HIGHWAYS CLOSING AND DISPOSITION BYLAW – 1345 DELBRUCK AVENUE

Date: May 26, 2022 File No: 06-2260-01-0001/2022

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

**PURSUANT** to the report of the Manager, Real Estate, dated May 26, 2022, entitled "Highway Closing and Disposition – 1345 Delbruck Avenue":

**THAT** Highways Closing and Disposition Bylaw 2022, No 8927 (A Bylaw to stop up and close and remove highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue) be considered;

**THAT** any further required notices be given in accordance with Sections 40 and 94 of the *Community Charter*;

**AND THAT** the Mayor and the Corporate Officer be authorized to execute any such documents as may be required in order to give effect to the above motions.

**ATTACHMENTS**

1. [CNVLIVE-#2170689-Proposed Bylaw 8927 Highways Closing and Disposition Bylaw 2022 No 8927 Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue](#)

**PURPOSE:**

This report follows Council direction to stop up, close and dispose of a portion of Delbruck Avenue for consolidation with 1345 Delbruck Avenue. It introduces the draft

Document Number: 2176772

Highways Closing and Disposition Bylaw 2022 No. 8927 shown in Attachment #1. If approved this bylaw will provide staff authority to enact the recommendations approved by Council in the April 11, 2022 report entitled Closure and Disposition of Road Adjacent to 1345 Delbruck Avenue.

## **BACKGROUND**

Further to a report from the Manager Real Estate, on April 11<sup>th</sup>, 2022, Council endorsed the following resolution:

PURSUANT to the report of the Manager, Real Estate, and the Manager, Development Planning, dated March 24, 2022, entitled “Closure and Disposition of Road Adjacent to 1345 Delbruck Avenue”:

THAT staff be directed to bring forward a bylaw to stop up, close and raise title to a portion of the street adjacent to 1345 Delbruck Avenue (the “Street”);

THAT the Mayor and Corporate Officer be authorized to execute a Purchase and Sale Agreement with the owners of 1345 Delbruck Avenue for \$120,000 for the sale of approximately 880.2 square feet (81.8 square metres) of roadway, including raising title to the Street, subject to consolidation with the property at 1345 Delbruck Avenue;

THAT the Mayor and Corporate Officer be authorized to sign any other necessary documentation to give effect to this motion;

THAT notice of the highway closure, removal of highway dedication and Notice of Disposition be given in accordance with the *Community Charter*;

AND THAT the report of the Manager, Real Estate, and the Manager, Development Planning, dated March 24, 2022, entitled “Closure and Disposition of Road Adjacent to 1345 Delbruck Avenue”, remain in the Closed session.

The advertising in the North Shore news has concluded and there have not been any enquiries directed to the City’s Real Estate Department.

Notices have been sent to the major utilities;

- BC Hydro requires a right of way if the existing power lines are to remain (staff working on that presently)
- Telus - no response received
- Fortis – no response received

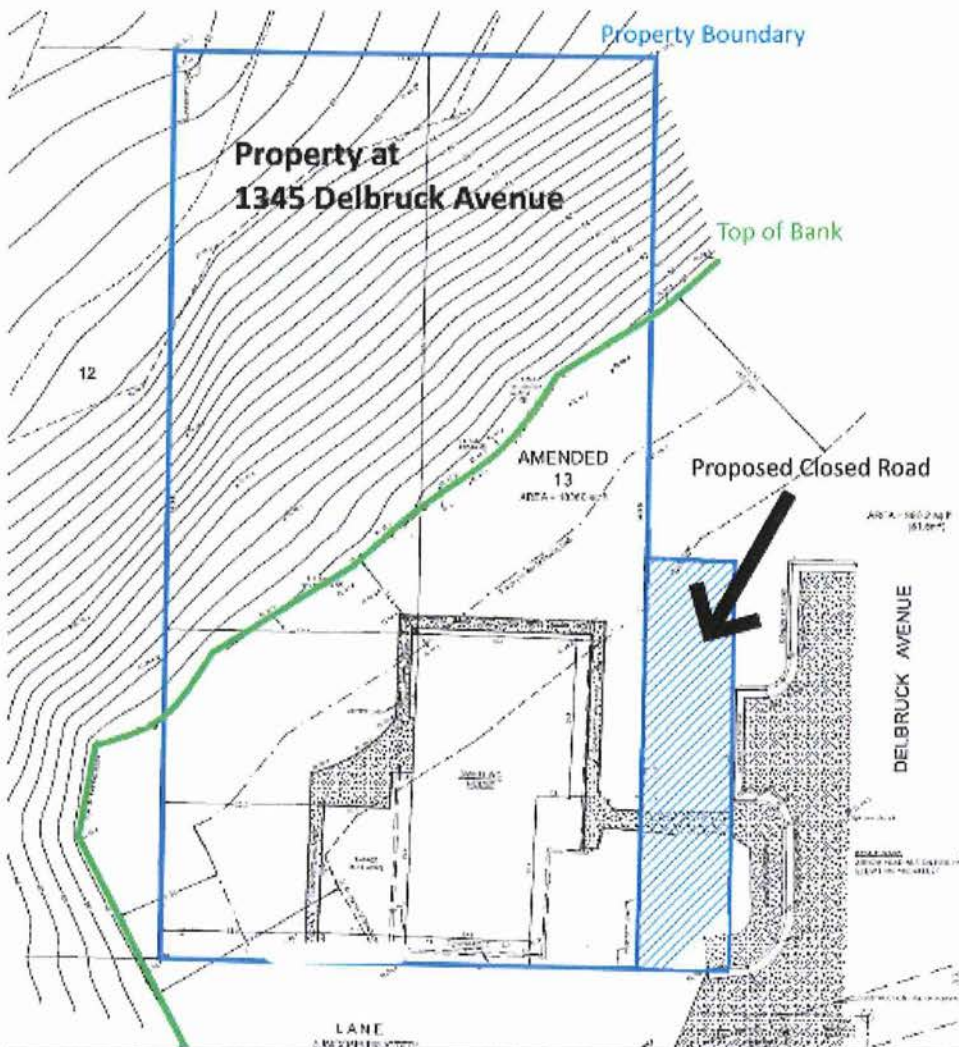
Staff are now in a position to present the proposed Bylaw No. 8927 to Council for their consideration.

## **DISCUSSION:**

The City is closing a portion of Delbruck Avenue to allow the proposed residential structure at 1345 Delbruck Avenue to be sited further away from the top of bank than



would have been possible without the additional land area. A sketch of the area the City will be selling has been provided below (see area hatched in blue).



## FINANCIAL IMPLICATIONS

The sale of the road right of way will realize \$120,000 to the City. Proceeds of the sale will go into the Civic Amenity Reserve.

## INTER-DEPARTMENTAL IMPLICATIONS:

The initial report that was presented to Council on April 11<sup>th</sup>, 2022 was a joint report authored by the Manager Real Estate and Manager Development Planning with input from Parks and Environment and Finance.

### STRATEGIC PLAN IMPLICATIONS:

The closing of the road will allow the new structure to be located further away from the top of bank reducing potential stability issues that may be evident in properties built at the tops of ravines. This initiative is also consistent with the City's Strategic Plan and Community Objective C2 (we will protect and maintain new and existing public infrastructure and amenities and enhance the natural and built environment).

RESPECTFULLY SUBMITTED:



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Brian Lightfoot, Manager Real Estate

## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### BYLAW NO. 8927

#### **A Bylaw to stop up and close and dispose of a portion of Delbruck Avenue subject to consolidation with 1345 Delbruck Avenue**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Highways Closing and Disposition Bylaw, 2022, No 8927” (Closing and removal of highway dedication and disposition of a portion of highway located east of 1345 Delbruck Avenue).**
2. All that portion of City road established by the deposit of Plan 750, which portion contains 880.5 square feet, shown as Closed Road on the preliminary version of Reference Plan EPP121053 prepared by Hobbs, Winter and MacDonald B.C. Land surveyors, and dated the 19<sup>th</sup> day of May, 2022, a print of which is attached as Schedule A hereto, is hereby stopped up and closed to traffic.
3. The highway dedication on the Closed Road described in section 2, is hereby removed.
4. The Closed Road described in section 2 will not be made available to the public for acquisition and will be disposed of by the Corporation of the City of North Vancouver to Michael Dutson and Dalit Holzman, the owners of the lands immediately adjacent to the closed road, (“Adjacent Land”) in order to allow subdivision of the adjacent land. The closed road will be consolidated with the adjacent land and all survey, advertising and registration costs to close the road and consolidate the parcel will be borne by Michael Dutson and Dalit Holzman, The Corporation of the City of North Vancouver will receive consideration from Michael Dutson and Dalit Holzman in the amount of \$120,000 plus GST.
5. The Mayor and Corporate Officer are hereby authorized to sign and seal with the Corporate Seal, the said Reference Plans and such other instruments as may be required in order to carry into effect the highway closure, removal of highway dedication, and disposition of the Closed Roads described in this Bylaw.

6. Notice of the highway closure, removal of highway dedication and disposition of the Closed Road shall be given in accordance with the *Community Charter*.

READ a first time on the <> day of <>, 2022.

READ a second time on the <> day of <>, 2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

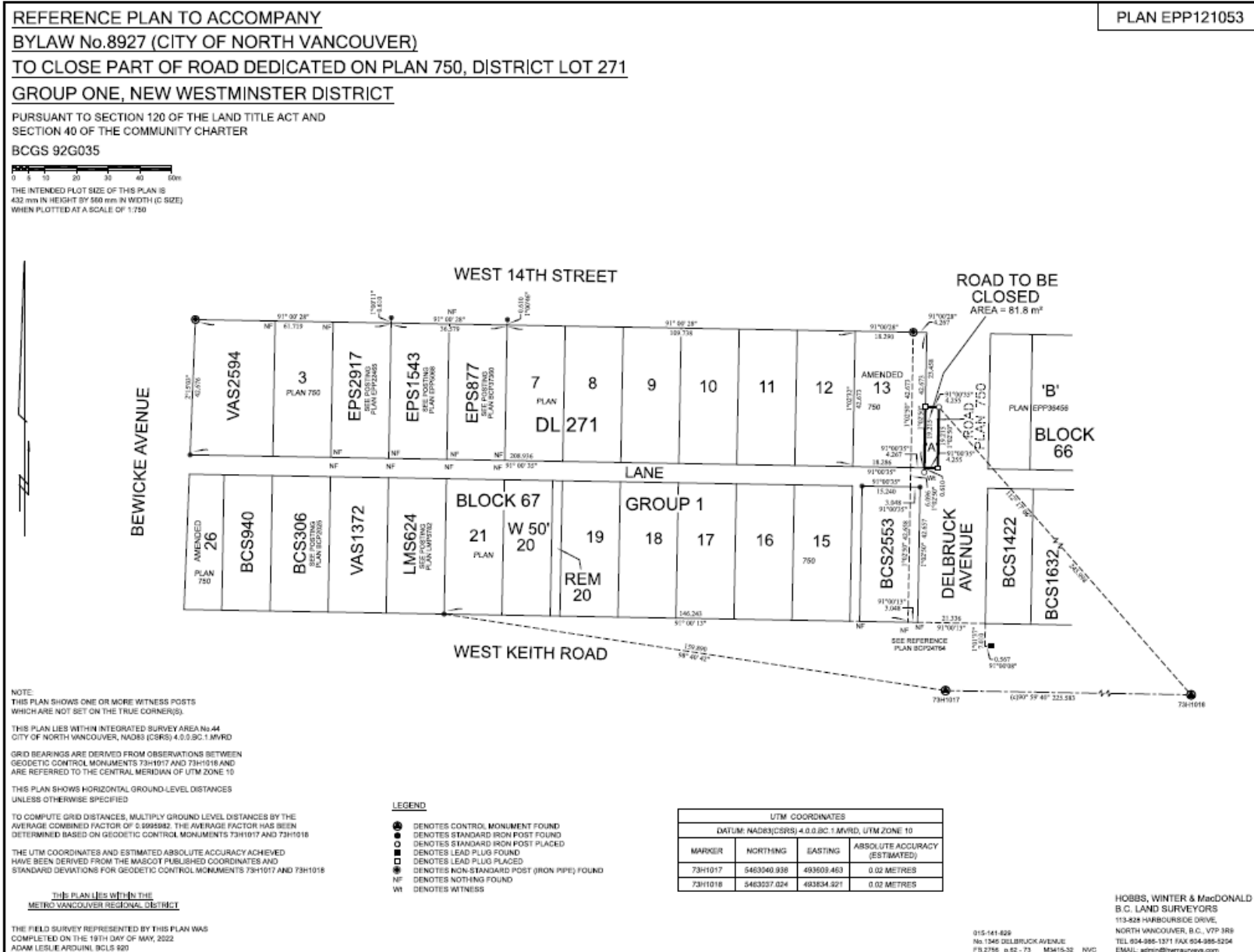
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MAYOR

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CORPORATE OFFICER




## SCHEDULE A





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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Bram van der Heijden, Planner 1

Subject: REZONING APPLICATION: 357 EAST 22<sup>ND</sup> STREET (KARL WEIN /  
KARL WEIN & ASSOCIATES)

Date: June 29, 2022 File No: 08-3400-20-0081/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 1, dated June 29, 2022, entitled  
"Rezoning Application: 357 East 22<sup>nd</sup> Street (Karl Wein / Karl Wein &  
Associates)":

THAT the application submitted by Karl Wein / Karl Wein & Associates, to rezone  
the property located at 357 East 22<sup>nd</sup> Street from a One-Unit Residential 1 (RS-1)  
Zone to a One-Unit Residential 2 (RS-2) Zone be considered and no Public  
Hearing be held, in accordance with the *Local Government Act*;

AND THAT notification be circulated in accordance with the *Local Government  
Act*.

**ATTACHMENTS**

1. Context Map (CityDocs [#2192434](#))
2. Public Consultation Summary (CityDocs [#2195701](#))
3. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8947" (Karl Wein /  
Karl Wein & Associates, 357 East 22<sup>nd</sup> Street, RS-2) (CityDocs [#2192372](#))

**SUMMARY**

This report presents an application to rezone 357 East 22<sup>nd</sup> Street from One-Unit  
Residential 1 (RS-1) Zone to One-Unit Residential 2 (RS-2) Zone to allow for future  
subdivision of the existing one lot into two lots. The intent is to develop a single family

dwelling with a secondary suite and detached garage on each subdivided lot. Depending on the eventual subdivision of the 18 metre (59 foot) lot, one lot may have a coach house if the front lot line of the lot is greater than 10 metres (32.8 feet).

## BACKGROUND

On February 28, 2022, Council directed staff to continue to process RS-2 rezoning applications on a case-by-case basis. Council also approved a simplified process for these applications, where at rezoning stage there would be a focused review on zoning, subdivision and servicing requirements. No design review would be conducted. This is to set a clear expectation with the applicant and the public that the City does not have design control over single family homes.

## DISCUSSION

### Site Context

The site is located on the south side of East 22<sup>nd</sup> Street between St. Andrews Avenue and Ridgeway Avenue in the Grand Boulevard neighbourhood. It is designated Residential Level-1 in the Official Community Plan (OCP).

The surrounding area consists of single detached homes on lots ranging in width from 10 metres (33 feet) to 20 metres (66 feet). The buildings immediately surrounding the subject site are described in Table 1 below.

**Table 1. Surrounding uses**

Direction	Address	Description	Zoning
North—across the street	350 East 22 <sup>nd</sup> Street	Single detached home	RS-1
South—across the lane	350 East 21 <sup>th</sup> Street	Single detached home	RS-1
East	361 East 22 <sup>nd</sup> Street	Single detached home	RS-1
West	347 East 22 <sup>nd</sup> Street	Single detached home	RS-1

### Zoning Analysis

The proposal for two new lots each with a single-family dwelling requires a rezoning from RS-1 (One-Unit Residential 1) to RS-2 (One-Unit Residential 2) to allow for a narrower Minimum Lot Frontage as per Table 2 following.



**Table 2. Requested Changes to the Zoning By-law**

	Current RS-1 Zone	Proposed RS-2 Zone
<b>Buildings</b>	One Principal Building per lot	One Principal Building per lot
<b>Use</b>	One-Unit Residential Use	One-Unit Residential Use
<b>Units</b>	3 Units (one Principal Dwelling Unit, one Accessory Secondary Suite, one Coach House)	2 Units per lot (one Principal Dwelling Unit, one Accessory Secondary Suite)* * Depending on how property is subdivided, there could be 3 units on one of the proposed lots (for an accessory coach house) if a lot has a front lot line greater than 10 m (32.8 ft)
<b>GFA</b>	Lesser of 0.3 FSR + 93 sq. m. (1,000 sq. ft.), or 0.5 FSR.  For subject site, maximum GFA is 0.3 FSR + 93 sq. m. (1,000 sq. ft.) = 315 sq. m. (3,390 sq. ft.)	Lesser of 0.3 FSR + 93 sq. m. (1,000 sq. ft.), or 0.5 FSR.  For both proposed sites, combined maximum GFA 0.5 FSR <ul style="list-style-type: none"> <li>• Each lot will be between 411 sq. m. (4,426 sq. ft.) and 329 sq. m. (3,541 sq. ft.) in size.</li> <li>• allowing for a 206 sq. m (2,213 sq. ft.) to 164 sq. m. (1,771 sq. ft.) floor area on each lot</li> <li>• A total GFA (both lots) of 370 sq. m. (3,984 sq. ft.)</li> </ul>
<b>Lot Coverage</b>	30% per Principal Building	30% per Principal Building
<b>Minimum Lot Frontage</b>	10 m (32.8 ft)	7.5 m (24.6 ft)
<b>Principal Building Setbacks</b>	Front Lot Line – 4.6 m (15 ft) Rear Lot Line – 14.4 m (47 ft) Interior Lot Lines – 1.2 m (4 ft)	Front Lot Line – 4.6 m (15 ft) Rear Lot Line – 14.4 m (47 ft) Interior Lot Lines – 1.2 m (4 ft)
<b>Minimum on site parking</b>	2 parking stalls	2 parking stalls

### *Density and Form*

The policy framework supports the proposed single-family and potential suite uses, and the two developments remain within the OCP-maximum density permitted for the existing lot. Up to two additional net units are permitted through the RS-2 rezoning and subdivision, depending on how the existing lot is subdivided. One lot could have a front lot line greater than 10 metres (32.8 feet), which allows for a primary dwelling, secondary suite and coach house. The other lot could have a front lot line between 7.5 metres (24.6 feet) and 8 metres (26.2 feet) allowing for a primary dwelling and secondary suite. If the lot is subdivided and residual parcels are less than 10 metres (32.8 feet) in width,

only one additional unit would be permitted as this would eliminate the possibility for a coach house.

Overall, the development aligns with the character and scale of the surrounding neighbourhood.

The proposed new lots can each accommodate 2 parking spaces, meeting the minimum parking requirements according to the Zoning Bylaw regardless of how the lots are subdivided.

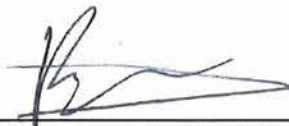
## **COMMUNITY CONSULTATION**

A Developer Information Session (DIS) was held on June 16<sup>th</sup>. There were no participants at the DIS and no comments have been provided to the city or applicant before or after the meeting.

Given the conformity of the proposal with the OCP and existing character of the area, staff is not recommending that a Public Hearing be held. Notice would be published prior to first reading of the bylaw. Should Council wish to refer the application to a Public Hearing, and consider the bylaw for first and second readings at this time, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8947" (Karl Wein / Karl Wein & Associates, 357 East 22<sup>nd</sup> Street) be considered and referred to a Public Hearing;

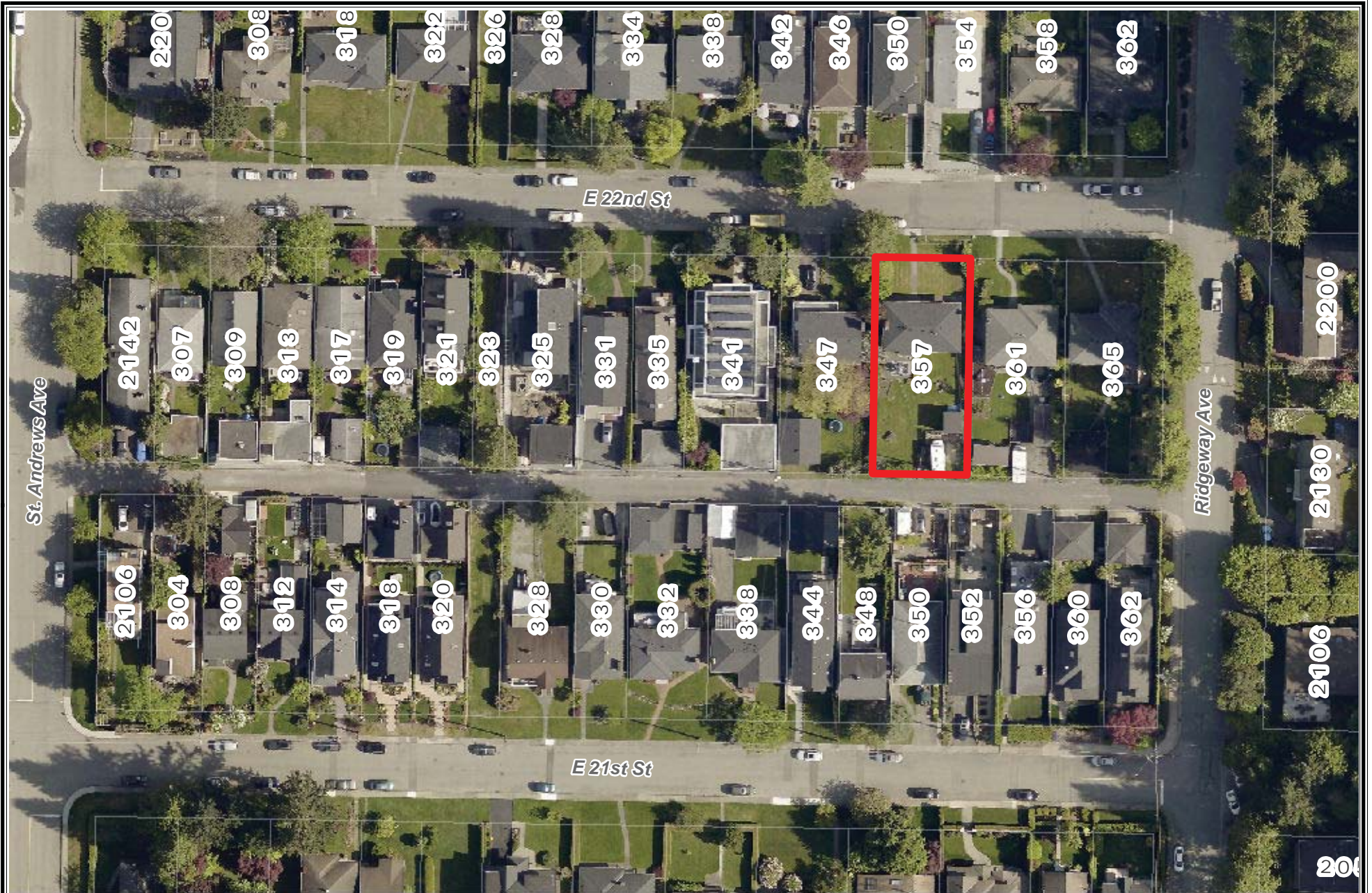
RESPECTFULLY SUBMITTED:



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Bram van der Heijden  
Planner 1







June 28, 2022

Hi Bram,

As you requested, I am sending you the DIS Summary Report :

Karl Wein and Associates  
135/2 - 1451 Marine Drive  
West Vancouver, BC  
V7T 1B8  
604 727 3764

The DIS session was held June 16th 2022 at 6:00 PM - 8:00 PM  
Virtual at [karl@kwadesigngroup.com](mailto:karl@kwadesigngroup.com)  
No Attendees  
As there were no attendees there were no issues to be discussed

#### DIS Summary Report

On June 16th 2022 between 6&8 PM we held a DIS session via Zoom.  
Previously we had installed a sign at the subject site #357 East 22nd Street N.Vancouver, placed two newspaper ads,  
posted information on our website for the proposed subdivision.  
There were no public attendees other than the applicant and the City planner.

Enclosed are :

- 1) Notice of Development Proposal
- 2) 2 Newspaper Ads
- 3) Picture of sign at the site

Thank you,

A handwritten signature in black ink, appearing to read 'Karl Wein', written over a light blue horizontal line.

Karl Wein, MRAIC

KARL WEIN  
DIPL.ENG., M.R.A.I.C

135/2 - 1451 MARINE DR.  
WEST VANCOUVER, BC  
CANADA V7T 1B8  
[karl\\_wein@shaw.ca](mailto:karl_wein@shaw.ca)

C 604 727 3764  
T 778 280 3670  
F 778 280 3672

**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

**BYLAW NO. 8947**

**A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8947” (Karl Wein / Karl Wein & Associates, 357 East 22<sup>nd</sup> Street, RS-2).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of RS-2 (One Unit Residential 2 Zone):

<b>Lots</b>	<b>Block</b>	<b>D.L.</b>	<b>Plan</b>	
F	209	546	9912	from RS-1

READ a first time on the <> day of <>, 2022.

READ a second time on the <> day of <>, 2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.




\_\_\_\_\_  
MAYOR

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CORPORATE OFFICER



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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Kendra Taylor, Planner 1, Long Range and Community Planning

Subject: CHILD CARE PROGRESS UPDATE

Date: June 29, 2022 File No: 10-4750-01-0001/2022

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 1, Long Range and Community Planning, dated June 29, 2022, entitled "Child Care Progress Update":

THAT the report of the Planner 1, dated June 29, 2022, be received and filed.

**BACKGROUND**

In December 2020, Council approved the Child Care Action Plan (CCAP) with a vision to improve child care in the City over the next 10 years by collaborating with partners, creating new spaces, and advocating for accessible, affordable quality child care. Since the CCAP was adopted, the City has made progress on a number of key actions.

**DISCUSSION**

Over the last 18 months, the City has been working to increase the number of City-owned child care centres, create new after school care spaces, and is working with North Shore Community Resources (NSCR) to establish an Online Child Care Directory. The City has also increased the overall number of licensed child care spaces by securing new child care spaces through rezoning. Additionally, the City accomplished a number of key actions identified in the CCAP. The details and progress of these initiatives are outlined below.



## **1. New Child Care Facilities**

In recognizing the urgent need to establish new, licensed child care spaces in the City, the City has approved the following projects that will see new licensed spaces created in the City.

### **a. Mahon Park Child Care Centre**

In early 2023, it is anticipated that construction will begin on the City-owned, Mahon Park Child Care Centre and amenity facility located in Mahon Park. The Centre is to be located adjacent to Fen Burdett Stadium, in place of the existing Field House building. The Centre will include a total of 37 new licensed child care spaces (12 infant and toddler program spaces and 25 3-5 years program spaces). The YMCA was selected as the operator of the Centre. As part of this project, the City is also constructing a new community washroom and bookable team change rooms with shower facilities, as well as a covered outdoor gathering space on the rooftop level, and has committed additional funding to support this public amenity. Tendering will begin when full funding is in place, with construction anticipated to start in 2023. The facility is expected to open in early 2024.

This new facility is being constructed with the City's funding commitment of \$2.85 million and with the help of provincial capital funding (approx. \$1.48 million secured to-date). The City is currently awaiting Class B cost estimates for the project. It is anticipated that the City will need to work to address increasing costs for this project, due to external factors (inflation, labour, material costs, supply chain issues, etc.). Staff will report back to Council in the Fall of 2022.

### **b. Moodyville Child Care Centre**

A new 16 space City-owned child care facility, located at East 3<sup>rd</sup> and St. David's, will be constructed as part of the in-kind amenity contribution for the development at the same location. The estimated value of the in-kind, developer provided child care amenity is approximately \$3 million. All 16 spaces will accommodate 3-5 year olds and the program will be operated by the North Shore Neighbourhood House. The building permit for this project is currently under assessment and construction is anticipated to begin in the fall of 2022.

### **c. Additional Approved New Child Care Spaces through Rezoning**

Over the past 18 months, the City has approved two new child care centres through rezoning. These are privately owned and licensed child care facilities in which a total of 101 new spaces are being created.

## **2. New After School Care Programs**

On May 10, 2021, Council approved a resolution in support of the City's After School Program Initiative. This was in recognition that there was a need for more child care spaces and programs for school aged children in the City. As a result, staff have worked with partners to establish the following programs for school aged children.

**a. John Braithwaite After School Care and Bus Pilot Program**

A new after school care and bus pilot program for school aged children has been established at the John Braithwaite Community Centre. The program launched November 2021 and is administered and operated by the North Shore Neighbourhood House (NSNH), with partial funding provided by the City of North Vancouver through the Covid-19 Safe Restart Grant funding. A total of 38 new licensed after school care spaces have been established through this partnership, serving students in Grades K-7. This new pilot program differs from other after school care programs in that it serves students from four of the City's elementary schools including: Larson, Queensbury, Queen Mary and Ridgeway. The students from Queen Mary are picked up and walked to the Community Centre while students from the other three schools are transported to the Community Centre via the NSNH school bus. The Bus Pilot Program will run until June 2023, at which time it will be evaluated by the City and NSNH. Should the Bus Program continue after June 2023, the program will be financially self-sustaining.

The concept for this program is that the City provides funding to support the use of the bus until the program is fully subscribed, thereafter it is self-sustaining through regular program fees. This model potentially offers a scalable, replicable, and cost-effective way to support afterschool care in the City, given that one of the most significant challenges is finding space on or near existing school sites. A bus program enables the potential for more locations for afterschool programs.

**b. Middle Years Collaboratory Club at CNV Library**

During the Spring of 2022, a new afterschool program for students aged 10-13 was piloted at the North Vancouver City Library's new digital and technology learning space, the Collaboratory. This was a weekly program (Wednesday afternoons from 3:30 to 4:30pm), that ran from May 4 to June 8, 2022. Session topics focused on a different type of technology and included robotics, drones, virtual reality, and more. By the last two weeks, the program had achieved full registration and has received positive feedback from families. The Library intends to continue with the Collaboratory Club in September 2022 and throughout the school year, and is exploring opportunities to offer more frequent after school sessions.

**3. New Child Care Resources**

In recognizing the need to create resources to support parents and guardians searching for child care, the City is working to implement the following online resource program:

**a. Online Child Care Directory**

The City is supporting North Shore Community Resources (NSCR) Child Care Resource and Referral (CCRR) in establishing an online Child Care Directory to serve parents/guardians. The intent of the Directory is to provide parents/guardians with an online, map-based tool, to help them in their search for licensed and registered child care programs on the North Shore. The other municipalities have also contributed funding to this project to enable it to be North Shore wide. The Directory is in the final stages of completion and it is anticipated that the website will be live and accessible to the public in July 2022.

In addition to the Directory, staff are continuing to explore the feasibility and costs associated with other potential online supports and/or upgrades to existing online tools. Given the significant changes to the child care landscape at the provincial level, staff are monitoring provincial updates to enable alignment with any new direction or systems that may be implemented by the Province.

**4. Collaboration between the City and the North Vancouver School District**

The City is actively working to strengthen its partnership with the North Vancouver School District. The work that is being done will serve to ensure that child care facilities are part of new and renovated school facilities.

**a. 2021 Memorandum of Understanding (MOU)**

In March 2021, Council approved a Memorandum of Understanding (MOU) and Terms of Reference for a Collaborative Working Group focused on establishing a more formalized practice of collaboration with the North Vancouver School District (SD44). Staff have since been working with SD44 on opportunities to expand child care, including opportunities for creating new child care spaces through collaboration during the planning stages for new school facilities.

**b. 2022 Memorandum of Understanding (MOU) - In Progress**

The City is currently working with the School District on a new MOU, which builds on the 2021 MOU mentioned above. The 2022 MOU will address the opportunity to include child care facilities with a significant number of child care spaces in conjunction with the construction of the new Cloverley Elementary School.

**5. Child Care Action Plan 2021-2031: Progress on Actions**

Since the Child Care Action Plan was approved by Council in December 2020, the City has made progress towards accomplishing the actions in the Plan, including:

- Accessing provincial capital funding to build child care spaces;
- Creating in-kind child care spaces that are delivered through development;



- Directing new spaces to sites that meet locational criteria (areas of population growth, civic facilities and parks, new developments, on school properties, etc.);
- Working with other agencies to develop after-school programs that support children aged 10-12 years whose needs are not specifically addressed by school aged licensed child care space;
- Leasing City-owned child care facility spaces to non-profit child care providers at nominal lease rates;
- Exploring feasibility and options for creating design guidelines for City-owned child care spaces; and,
- Building partnerships and joint planning protocols with the School District around child care to ensure that child care is part of school facilities.

### **Changing Landscape for Child Care**

There have been significant changes to the Child Care landscape over the last five years with the move towards providing Universal Child Care in BC and with the Federal Government creating bi-lateral agreements to fund early learning and child care. At the provincial level, Child Care has officially been moved from the Ministry of Children and Family Development to the Ministry of Education & Child Care (MECC), which occurred on April 1, 2022. At this time, it is still unclear as to how local governments will fit into this new model moving forward (for example, how will the Ministry use the City's Child Care Action Plan to inform their planning? and what will be the extent of the Ministry or the City's role in delivering child care?). It is expected that further consultation between the Province and the municipalities will occur over the next several months. Staff will continue to monitor provincial updates to mitigate the duplication of regulations or policy and maintain alignment with current programs.

### **NEXT STEPS**

Staff will continue to work to achieve progress on the actions identified in the CCAP. Staff will also continue to provide updates and bring forward policy, projects, and initiatives to Council at regular intervals.

### **FINANCIAL IMPLICATIONS**

NIL.

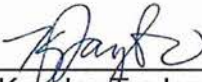
### **INTER-DEPARTMENTAL IMPLICATIONS**

This report was shared with the Strategic & Corporate Services and Community Partnership and Engagement Departments.

## STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS

The City's *Child Care Action Plan* is supported by the vision and priorities of Council's *Strategic Plan* to be 'A City for People' and 'A Prosperous City'. It is further supported by the City's *Official Community Plan*, specifically Chapter 3 - Community Well Being, that recognizes issues and challenges faced by families including access to child care spaces.

RESPECTFULLY SUBMITTED:





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Kendra Taylor  
Planner 1





<hr/> Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Renee de St. Croix, Manager, Long Range and Community Planning

Subject: NORTH SHORE HOMELESSNESS ACTION INITIATIVE FINAL REPORT

Date: June 29, 2022 File No: 10-5040-04-0001/2022

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Manager, Long Range and Community Planning, dated June 29, 2022, entitled "North Shore Homelessness Action Initiative Final Report":

THAT the North Shore Homelessness Action Initiative Final Report be endorsed.

**ATTACHMENTS**

1. North Shore Homelessness Action Initiative Final Report (CityDocs [#2195159](#))

**PURPOSE**

To seek Council endorsement of the final report on the North Shore Homelessness Action Initiative.

**BACKGROUND**

In June of 2020, Council approved a resolution directing staff to create a cross-jurisdictional Steering Committee and Working Group to develop actions that are focused on clear, comprehensive and coordinated strategies to prevent homelessness, to serve the people who are currently homeless, and to create pathways out of homelessness. The District of North Vancouver and the District of West Vancouver passed similar motions in summer 2020.

The resolution was written in response to the fact that the number of people who are experiencing or are at risk of homelessness is increasing and that COVID-19 has further exposed the lack of services and supports available to those experiencing homelessness.

A staff Working Group was convened during the fall and winter of 2020 to begin the organizing and information gathering to prepare a Terms of Reference. The Working Group was comprised of staff from each of the five local jurisdictions: City of North Vancouver, District of North Vancouver, District of West Vancouver, Skwxwú7mesh Úxwumixw (Squamish) Nation, and səilwətał (Tsleil-Waututh) Nation.

In late November and December 2020, all three municipal Councils endorsed the Terms of Reference for the North Shore Homelessness Action Initiative (NSHAI) and at its first meeting on March 24, 2021, the Steering Committee also approved the Terms of Reference.

The Steering Committee was comprised of elected and appointed government officials or delegates from each of the local jurisdictions including the City of North Vancouver, District of North Vancouver, District of West Vancouver, Skwxwú7mesh Úxwumixw (Squamish) Nation, and səilwətał (Tsleil-Waututh) Nation, as well as Vancouver Coastal Health, BC Housing, and Provincial and Federal elected Members of Parliament and the Legislative Assembly.

## DISCUSSION

The NSHAI served as a forum for coordination amongst First Nations, Municipal, and other levels of government and agencies with direct and indirect authority for homelessness initiatives, supportive policies, funding, and capital investments.

Attachment 1 provides a detailed final report on the work completed over the course of the NSHAI and includes actions for moving forward.

Over the last 18 months, the Steering Committee has met five times and the Working Group met on an ongoing and regular basis to undertake tasks related to achieving the objectives outlined in the Terms of Reference (included in Attachment 1). The outcomes of the NSHAI include:

- A shared understanding of the issues, complexities, and the policy and housing needs related to homelessness;
- A vision and principles to guide the work;
- The creation of an inventory of all the work (policies, actions, facilities, committees, and more) related to homelessness within the five local North Shore jurisdictions for staff to use to better support and collaborate with one another; and,
- The creation of 12 priority actions that are focused on:
  - Advocacy for and implementation of a single point of entry and housing first model;

- Advocacy for and delivery of emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing;
- Commitments to improve and expand collaboration and communication between jurisdictions and partners, including the informal continuation of the Working Group;
- Consideration of new policy ideas and response protocols to improve on the ground communications, equity, and consistency in Municipal and First Nations response across the North Shore; and,
- The collection, monitoring, and sharing of data to understand current and future needs as well as support public awareness and dialogue.

In addition to the above, the five local North Shore jurisdictions have been working together on several policy and action-based projects specific to homelessness and those at risk of homelessness through grants provided by the Provincial Government and administered by the Union of British Columbia Municipalities.

Going forward, the Steering Committee, which has completed its mandate, remains committed to increasing coordination and supporting initiatives, policies, funding, and capital investments to better support individuals experiencing homelessness and those who are at risk of homelessness. The Working Group has established close working relationships and will continue to meet as needed to support initiatives related to homelessness on the North Shore.

With the endorsement of this report, staff will work collaboratively to bring forward actions, initiatives, policies, and projects for Council's consideration to support individuals experiencing homelessness on the North Shore.

## **FINANCIAL IMPLICATIONS**

Nil.

## **INTER-DEPARTMENTAL IMPLICATIONS**

This report has been shared with Community Partnership and Engagement, Corporate Strategic Initiatives, Leadership Team, and Policy and Projects Team.

## **STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS**

The North Shore Homelessness Action Initiative is supported by the Council Strategic Plan priorities to create a City for People. It is also supported by the City's Housing Action Plan goals and the upcoming Community Wellbeing Strategy.

RESPECTFULLY SUBMITTED:



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Renee de St. Croix  
Manager, Long Range and Community  
Planning

# NORTH SHORE HOMELESSNESS ACTION INITIATIVE REPORT 2022

# NSHAI



TSLEIL-WAUTUTH NATION  
PEOPLE OF THE INLET





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# ACKNOWLEDGEMENTS

**We respectfully acknowledge that we live and work on the traditional, ancestral, and unceded territories of the xʷməθkʷəy̍əm (Musqueam), Skwxwú7mesh Úxwumixw (Squamish), and Səlílwətaʔ (Tsleil-Waututh) Nations, who have lived on these lands since time immemorial.**

The North Shore is a diverse and complex place with many interconnected jurisdictions. This initiative, working across jurisdictional boundaries, has enabled better dialogue, understanding, connection, and commitment to supporting people experiencing homelessness or who are at risk of homelessness living on the North Shore.

The North Shore Homelessness Action Initiative (NSHAi) is an assembly of North Shore officials with a mutual commitment to enhancing coordination and action to prevent and alleviate homelessness in our communities. The work that was undertaken with this initiative would not have been possible without the dedicated time and efforts from all jurisdictions. Please see *Appendix 1 Terms of Reference* for further information.

## STEERING COMMITTEE

The Steering Committee was comprised of elected and appointed government officials or delegates from each of the local jurisdictions including the City of North Vancouver, District of North Vancouver, District of West Vancouver, Skwxwú7mesh Úxwumixw (Squamish) Nation, and Səlílwətaʔ (Tsleil-Waututh) Nation, as well as Vancouver Coastal Health, BC Housing, and Provincial and Federal elected Members of Parliament and the Legislative Assembly.

Mayor Linda Buchanan	City of North Vancouver
Mayor Mike Little	District of North Vancouver
Mayor Mary-Ann Booth	District of West Vancouver
Chair Khelsilem	Skwxwú7mesh Úxwumixw (Squamish) Nation
Chief Jennifer Thomas	Səlílwətaʔ (Tsleil-Waututh) Nation
MLA Bowinn Ma	North Vancouver-Lonsdale
MLA Susie Chant	North Vancouver-Seymour
MLA Karin Kirkpatrick	West Vancouver-Capilano
MLA Jordan Sturdy	West Vancouver-Sea to Sky
MP Jonathan Wilkinson	North Vancouver
MP Terry Beech	Burnaby North-Seymour
MP Patrick Weiler	West Vancouver-Sunshine Coast-Sea to Sky Country
Sean Parr	Vancouver Coastal Health
Cassie Doyle	BC Housing

### ALTERNATES

Bob Chapman	Vancouver Coastal Health
Naomi Brunemeyer	BC Housing
Heidi Hartman	BC Housing

## STAFF WORKING GROUP

Staff from each of the local jurisdictions: City of North Vancouver, District of North Vancouver, District of West Vancouver, Skwxwú7mesh Úxwumixw (Squamish) Nation, and Səlílwətaʔ (Tsleil-Waututh) Nation.

## MESSAGE FROM THE CHAIR



Mayor, Linda Buchanan

### **A Message from the NSHAI Chair City of North Vancouver Mayor Linda Buchanan**

The right to safe, suitable, and affordable housing is a fundamental human right we all share.

But for too long people haven't had access to the homes they need to support themselves and their families.

The past few years have been hard for everyone, but for some people in our community it has been harder than we can even imagine. The number of people who are experiencing homelessness, or those who are at risk of homelessness, on the North Shore is increasing.

For many years we have found ourselves in an affordability crisis that has created extreme challenges for people as they try to make ends meet. The COVID-19 pandemic, and now the extreme inflation we are seeing on essential items and food, have only exacerbated these challenges.

The NSHAI Steering Committee was convened in 2020 to enhance the coordination of services, implement measures that would prevent people from experiencing homelessness, and alleviate homelessness across our communities.

Despite many social and health services being available, a fragmented system has created the gaps in which our community's most vulnerable are able to slip through. Together we looked upstream and through our conversations it became clear that in order to support people, we must adopt a model that allows for a single point of entry.

Creating a single point of entry for people who are experiencing or at risk of homelessness will allow people to access the exact services and accommodation they need. To transition to this model, senior levels of government, health authorities, and non-profit agencies must work with municipal and First Nations governments in investing in the housing, health and social supports needed. Together we are committed to building a framework that includes identifying a single contact who will assist people in navigating available supports.

Through collective action we can support people and create better health outcomes for everyone. This work is not easy, but it is necessary.

I want to thank the many members of the Steering Committee for engaging in this process. As we move forward I am excited to work in tandem with other governments and agencies on a range of investments and policies. Now is the time for communities across the North Shore to work together towards a single point of entry service model so that we can be an inclusive, healthy, vibrant, and prosperous place for generations to come.

Mayor Linda Buchanan

## EXECUTIVE SUMMARY

The North Shore Homelessness Action Initiative (NSHAI) is an assembly of North Shore officials with a mutual commitment to enhancing coordination and action to prevent and alleviate homelessness in our communities.

Homelessness is a complex topic that has many compounding influences, issues, and challenges. While housing and homelessness are the mandate of the Provincial Government, there are opportunities for municipalities, First Nations, the Federal Government, and other organizations to support and take action.

In the summer of 2020, the North Shore municipal Councils each passed a Resolution directing staff to create a cross-jurisdictional Steering Committee and Working Group to develop actions that are focused on clear, comprehensive, and coordinated strategies to prevent homelessness, to serve the people who are currently homeless, and to create pathways out of homelessness.

### PRINCIPLES:



**1. Prioritize Dignity:** Ensure services and facilities are designed to be inviting, inclusive, accessible, and physically and culturally safe spaces that treat each client with dignity.



**2. Decisions are People-Focused:** Be informed by peoples' lived experience, and consider the extent to which decisions will meet their diversity of needs.



**3. Accepting Change:** Existing practices are underserving those experiencing homelessness on the North Shore, and we need to be willing to accept changes and innovate our approach.



**4. Create a Sandwich, not Spaghetti:** Coordinate services across the North Shore to deliver distinct services and facilities with clear purposes (like layers in a sandwich) and avoid duplication, gaps, and ambiguity (like spilled spaghetti).



**5. Each NSHAI Partner has a Role:** Show leadership and timely commitment to action by identifying and committing resources (operating, capital, staff) to implement the priority actions identified in this report.

### KEY TAKEAWAYS:

- The North Shore is seeing increasing numbers of individuals experiencing homelessness – both visibly homeless and hidden homeless.
- More housing options are needed to support a broad spectrum of individual needs, including options that are culturally appropriate, and include both mental and physical health supports.
- The North Shore needs additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.
- The North Shore is advocating for the implementation of a single point of entry and a housing first model.
- It is critically important to keep working together in partnership across jurisdictions and with partner organizations.





## EXECUTIVE SUMMARY (CONT'D)

### NORTH SHORE ACTIONS UNDERWAY:

- Almost \$2 million Strengthening Communities' Services Program Grant (Intake #1) to improve the health and safety of unsheltered homeless people in partnership between CNV, DNV, DWV, Squamish, Tsleil-Waututh, NSNH, City Library, and Lookout. This includes outreach services and cultural supports, indigenous outreach services, a community hub program, shower programs, and other supports and activities.
- Applied for almost \$900,000 Strengthening Communities' Services Program Grant (Intake #2) to continue to improve the health and safety of unsheltered homeless people on the North Shore.
- North Shore Poverty Reduction Strategy – \$75,000 Grant to address inequities and reduce poverty on the North Shore.
- Applied for \$150,000 North Shore Poverty Reduction Strategy Action and Implementation Grant to support action out of the Poverty Reduction Strategy.
- The North Shore Homeless Task Force (NSHTF) completed a Community Action Strategy which is a community-informed plan for reducing the impacts of poverty and homelessness.
- Ongoing advocacy for more housing options.
- Ongoing outreach, supports, and programs by non-profit organizations and partners.
- The North Shore Homelessness Task Force produced updated 'Keeping Safe' Cards to provide a pocket-sized North Shore Directory for Shelter, Assistance, Food, and Engagement.

### SUMMARY OF PRIORITY ACTIONS MOVING FORWARD

#### LEADERS WILL:

1. Advocate for and focus efforts on **delivering emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.**
2. **Advocate for and implement the systemic changes needed** to move towards a single point of entry and housing first model.

#### STAFF WILL:

3. Work in **partnership** to move towards a **single point of entry and housing first model.**
4. **Develop housing options** that support individuals experiencing homelessness or who are at risk of homelessness.
5. Undertake the **'homelessness response protocols'** project to improve on the ground communications, equity, and consistency in municipal and First Nations response across the North Shore.

6. **Develop policy options** that support and address access to basic needs, individuals living in vehicular or boat accommodation, a more consistent and people-centred approach, and the provision of housing options.
7. **Pursue grant funding** for projects and policy related to homelessness.
8. **Support advocacy** efforts related to homelessness and housing.
9. **Continue the working group** informally to maintain coordination and collaboration efforts.
10. Maintain the **Inventory of Opportunities and Actions.**
11. **Collect and monitor data** to understand current and future needs.
12. Share data on community needs and available information to **support better public awareness and dialogue.**

# 1 ABOUT THE NORTH SHORE HOMELESSNESS ACTION INITIATIVE (NSHAI)

**Homelessness is a complex topic that has many compounding influences, issues, and challenges. While housing and homelessness are the mandate of the Provincial Government, there are opportunities for municipalities, First Nations, the Federal Government, and other organizations to support and take action.**

In the summer of 2020, the North Shore municipal Councils each approved a Resolution directing staff to create a cross-jurisdictional Steering Committee and Working Group to develop actions that are focused on clear, comprehensive, and coordinated strategies to prevent homelessness, to serve the people who are currently homeless, and to create pathways out of homelessness.

The resolution was written in response to the fact that the number of people who are experiencing or are at risk of homelessness is increasing and that COVID-19 has further exposed the lack of services and supports available to those experiencing homelessness.

The Working Group was convened during the fall and winter of 2020 to begin the organizing and information gathering to prepare a *Terms of Reference* for the Steering Committee. At its first meeting on March 24, 2021, the *North Shore Homelessness Action Initiative (NSHAI) Terms of Reference* was approved by the Steering Committee.



## 1.1 FUNCTION AND OBJECTIVES

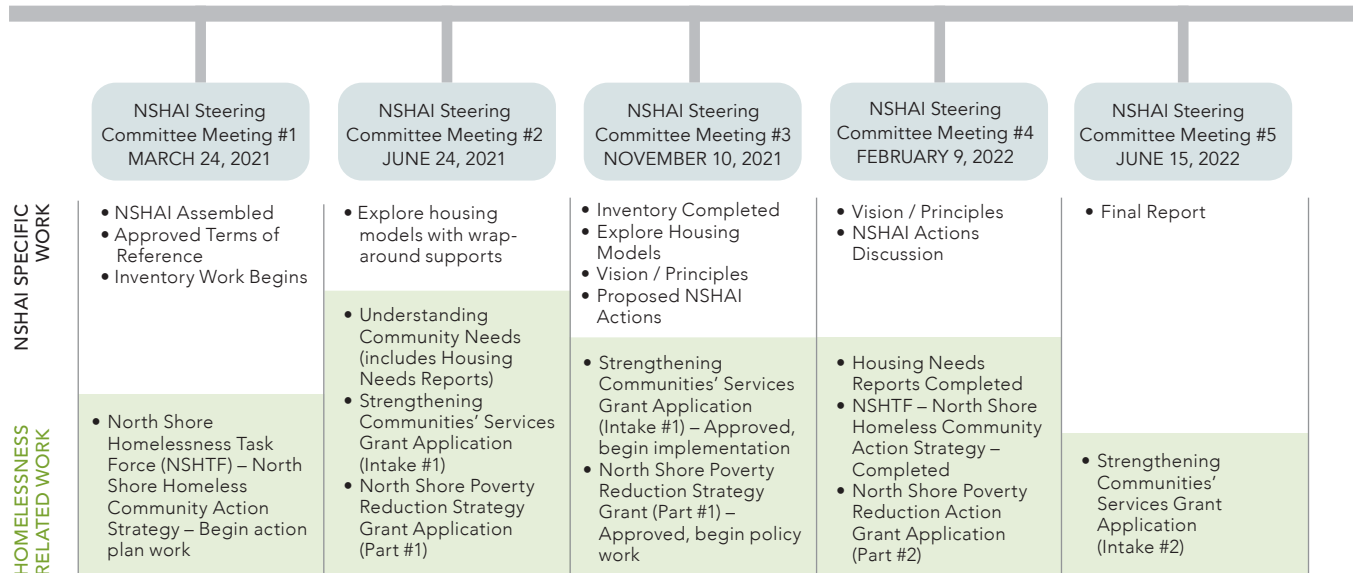
**The NSHAI Terms of Reference is provided in Appendix 1.**

The NSHAI functioned as a forum for coordination amongst First Nations, municipal, and provincial governments and agencies with direct and indirect authority for homelessness initiatives, supportive policies, funding, and capital investments. The Initiative aimed to:

- Review and consider community needs pertaining to homelessness in close coordination with service providers, relevant community agencies, and First Nations.
- Inventory opportunities and existing planned actions across jurisdictions on the North Shore.
- Develop a concise list of priority actions and partner roles in advancing the respective actions, with a focus on identifying opportunities for investments in permanent supportive housing.
- Explore alternative and coordinated delivery mechanisms for services, supports, and responses to issues, including the potential for a North Shore-wide approach to resourcing recommended initiatives related to homelessness.
- Produce a Report for the North Shore Councils with the outcomes of the Initiative.
- Launch a coordinated and ongoing communications and advocacy strategy outlining key North Shore achievements, challenges, needs, and partner commitments including reporting out on priority actions to the community and other levels of government.

## 1.2 TIMELINE

The Initiative was undertaken between January 2021 and July 2022, with the Steering Committee meeting five times. The following timeline provides an overview of the different activities that were undertaken by the NSHAI as well as key related cross-jurisdictional efforts and collaboration:



## 2 CONTEXT OF HOMELESSNESS ON THE NORTH SHORE

Homelessness describes the situation of an individual, family, or community without stable, permanent, appropriate housing, or the immediate prospect, means and ability of acquiring it. It is the result of systemic or societal barriers, a lack of affordable and appropriate housing, the individual/household's financial, mental, cognitive, behavioural, or physical challenges, and/or racism and discrimination.<sup>1</sup>

The complexities of homelessness make it difficult to get accurate data and a clear picture of how many people are experiencing homelessness or might be at risk of homelessness. This is because people can move in and out of homelessness and/or through the varying forms of homelessness.

The homeless population on the North Shore is dispersed throughout the three municipalities, and within the traditional territories of the Skwxwú7mesh Úxwumixw (Squamish) and Səlíl̓wətaʔ (Tsleil-Waututh) Nations, with notable concentrations in urban, semi-urban, parks, and deep woods locations. An increasing number of individuals living in vehicles and on boats has also been observed. The homeless population on the North Shore is not static, with many individuals regularly moving across jurisdictional boundaries to access services, income, food, and other necessities. While there are distinct issues within each jurisdiction, the majority of needs-serving organizations operate across the North Shore.

The [2020 Point-In-Time Homeless Count](#), a Federal initiative, which took place in March just prior to the initial COVID-19 pandemic shutdowns, revealed 121 homeless individuals on the North Shore. Of these, 46 people (38%) were unsheltered. However, the North Shore 2020 Extended Count Pilot project, a local initiative, revealed higher numbers with 212 homeless individuals recorded. It is important to note that the 2020 count took place just prior to the COVID-19 pandemic therefore it is likely that the data does not adequately reflect the extent of homelessness on the North Shore given the economic impacts and policy responses stemming from the pandemic.

In 2021, the Lookout Housing and Health Society (Lookout) connected with 580 homeless individuals on the North Shore (an average of 48 homeless individuals per month), supporting their primary needs and providing shelter, medical and hygiene referrals. Lookout estimates that approximately 40% of contacts are Indigenous individuals. While the majority of recorded homeless individuals are male<sup>2</sup>, over the past few years there has been an increase in the number of women, families with children, and seniors within encampments due to the lack of available alternatives.

While homeless counts can offer some valuable indicators, they are widely acknowledged as significantly underestimating the number of homeless people in a community, and those reachable by a homeless count do not represent the true diversity of identities and experiences in the homeless population. At the same time there is a growing and diverse need for housing, there is only one co-ed emergency shelter on the North Shore offering 45 beds. Service providers indicate existing supports are often at capacity, and the number of beds/units available on the North Shore are not enough to meet current and growing needs.

### 2.1 IMPACTS OF COVID-19 ON THE NORTH SHORE HOMELESS POPULATIONS

COVID-19 has had substantial negative implications for people experiencing homelessness, with the closure of the majority of locations where the unsheltered homeless populations would regularly access services and resources as well as increased costs associated with mask use and other preventative measures. There was an increased fear of using the North Shore Shelter because of social distancing and increased vulnerability associated with the higher risks of contracting COVID-19 due to poor health conditions.

Family and friends of homeless individuals who previously may have been willing to open their doors to those in need were unable to do so due to the risks associated with COVID-19. This particularly impacted Indigenous individuals leaving institutional settings. As a result, since March 2020, Squamish Nation has been supporting individuals who would otherwise be unsheltered by providing accommodation in hotel rooms.

<sup>1</sup> Canadian Observatory on Homelessness. (2012.) Canadian Definition of Homelessness. Toronto: Canadian Observatory on Homelessness Press. [www.homelesshub.ca/homelessdefinition](http://www.homelesshub.ca/homelessdefinition)

<sup>2</sup> BC Non-Profit Housing Association (2020). *2020 Homeless Count in Metro Vancouver*. Prepared for the Greater Vancouver Reaching Home Community Entity. Vancouver, BC: Metro Vancouver.



For services that have been maintained there was, and may still be, reduced capacity or changes in location or type of service delivery. Whereas unsheltered homeless individuals previously would have had multiple options for accessing supports and services (both specialized drop-in services and broader services through each of the North Shore libraries and community centres), they are now reliant on fewer locations. With facility closures there was a lack of access to public and semi-public washrooms, showers, and sources of drinking water, all of which made it difficult for unsheltered individuals to meet basic human needs with dignity. In addition, library closures and capacity limitations reduced access to services, technology, internet connectivity, and other information. Due to social distancing requirements, the Emergency Weather Response (EWR) had to be moved from Lookout's Shelter to the North Shore Neighbourhood House (NSNH). This relocation of EWR service was challenging to communicate and for people in need to access the new location.

The suspension and adaptation of free community meal programs eliminated access to food relied on by many unsheltered individuals. When meal programs resumed with COVID-safe measures, meals were provided as takeaway and heat-at-home meals in place of onsite meals. The heating and storage of take away meals is problematic for unsheltered individuals and can present health and safety concerns.

Public health orders issued during COVID-19 have been difficult, if not impossible, for those experiencing homelessness to comply with, creating additional barriers in connecting individuals to the services they need to survive. For those individuals who may have avoided going to mainstream services even in normal times, COVID-19 has pushed them further into isolation and there are likely many individuals who have become completely disconnected over the past two years.

All of the above changes have resulted in significantly reduced options for homeless individuals to meet their basic needs or access resources and support services. This has led to a disruption in already precarious social relationships and further marginalization in the public sphere; at the same time that the visibility and number of homeless individuals has increased, support networks have been limited.

The locational and geographical challenges of homeless service provision on the North Shore and the systematic inequalities facing Indigenous individuals experiencing homelessness have also been exacerbated by COVID-19. As service providers and partner organizations shifted their operations to COVID-19 response, this has diverted focus away from or paused initiatives that were in development to support homeless individuals, despite the need for enhanced service provision during the pandemic. The pandemic has left a notable capacity gap within partner organizations which has been detrimental for coordination amongst those working on housing, homelessness and service provision. For example, prior to COVID-19, Lookout and Squamish Nation had been investigating the potential of partnership to design a collaborative pilot project to provide outreach/in-reach that is inclusive and culturally safe and supports Squamish Nation Members and Indigenous people to thrive with positive holistic outcomes. This was stalled due to the diversion of Squamish Nation resources to response activities following a COVID outbreak in the community. Squamish Nation members and other Indigenous individuals who have experienced past trauma and are currently homeless have become extremely vulnerable during COVID-19 as there are less supports in place.

For North Shore community and social service organizations that support unsheltered individuals, COVID-19 has increased operational costs (for example, increase in cleaning supplies and protocols, changing ways of offering service, needing computer and technology upgrades). This has exacerbated the lean budgets and strained capacity of organizations that were already stretched. In addition to the increased costs, these organizations are serving more individuals in the community since the pandemic's socio-economic impact has hit many people who would not previously have drawn on their services for support.

At a more fundamental level, COVID-19 demonstrated the fragility of existing supports for the unsheltered homeless population. Support for individuals is delivered by multiple organizations who, while they have a vast amount of expertise in their area and the will to deliver in a coordinated way, do not have the resources to facilitate a comprehensive, North Shore wide response to COVID-19. There is no spare capacity within organizations involved in service delivery to take on an operational role in regards to coordination and collaboration between partners and across jurisdictions, yet it is this operational role that sits at the core of an effective and efficient crisis response, including the ability to shift from crisis to recovery actions.

## 3 VISION AND PRINCIPLES

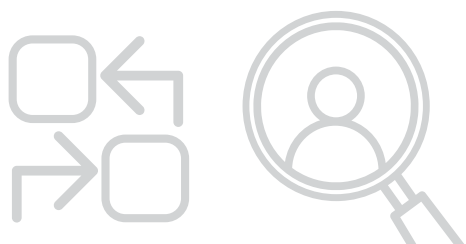
To further support the NSHAI work and establish a common view, the Steering Committee created a vision and principles to evaluate priority actions and to support collaboration.

### 3.1 VISION

The NSHAI is an assembly of North Shore officials with a mutual commitment to enhancing coordination and action to prevent and alleviate homelessness in our communities.

### 3.2 PRINCIPLES

- 1. Prioritize Dignity:** Ensure services and facilities are designed to be inviting, inclusive, accessible, and physically and culturally safe spaces that treat each client with dignity.
- 2. Decisions are People-Focused:** Be informed by peoples' lived experience, and consider the extent to which decisions will meet their diversity of needs.
- 3. Accepting Change:** Existing practices are underserving those experiencing homelessness on the North Shore, and we need to be willing to accept changes and innovate our approach.
- 4. Create a Sandwich, not Spaghetti:** Coordinate services across the North Shore to deliver distinct services and facilities with clear purposes (like layers in a sandwich) and avoid duplication, gaps, and ambiguity (like spilled spaghetti).
- 5. Each NSHAI Partner has a Role:** Show leadership and timely commitment to action by identifying and committing resources (operating, capital, staff) to implement the priority actions.



## 4 OBJECTIVES AND OUTCOMES

The following sections describe a key objective, as outlined in the Terms of Reference in Appendix 1, the work undertaken, and actions for moving forward:

### 4.1 UNDERSTANDING EACH COMMUNITY'S NEEDS

### 4.2 INVENTORY OF OPPORTUNITIES AND ACTIONS

### 4.3 EXPLORE ALTERNATIVE AND COORDINATED DELIVERY MECHANISMS

### 4.4 COMMUNICATION AND ADVOCACY

### 4.5 PRIORITY ACTIONS

## 4.1 UNDERSTANDING COMMUNITY NEEDS

**Objective:** Review and consider community needs pertaining to homelessness in close coordination with service providers, relevant community agencies, and First Nations.

In 2019, the British Columbia government mandated that municipalities and regional districts are required to complete Housing Needs Reports by April 2022, and every five years thereafter.

Housing Needs Reports are intended to help communities better understand their current and future housing needs. They help to identify existing and projected gaps in housing supply by collecting and analyzing quantitative and qualitative data and information about local demographics, economics, housing stock, and other factors.

The three North Shore municipalities and both Skwxwú7mesh Úxwumixw (Squamish) and Səlilwətaʔ (Tsleil-Waututh) Nations have completed Housing Needs Reports. Based on these reports, the prominent themes related to homelessness on the North Shore include:

- **Increasing Numbers:** An increase in the number of individuals experiencing homelessness on the North Shore – both in people who are visibly homeless, and those experiencing hidden homelessness.
- **More Options are Needed:** There is a broad continuum of individual needs, requiring a wider range of options to meet those needs – for example, a need for enhanced provision for youth, women and children fleeing violence, seniors, and those with mental health issues. There is a need for additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.
- **Indigenous Individuals are Overrepresented:** Indigenous individuals are overrepresented in the homeless population, and further work is required to better understand and define culturally appropriate options to meet shelter and support needs.

It is important to note that much of the data for the Housing Needs Reports were from the previous census year (2016) and also prior to the COVID-19 pandemic. Based on data collected from non-profit and other service organizations throughout the pandemic, it is evident that the number of individuals at-risk of homelessness are also increasing. For example, the Foodbank, at the North Shore Neighbourhood House, has seen an increase from approximately 200 individual families per week to approximately 700. Additional supports focused on prevention of homelessness are also needed.

### *What Does This Mean For The North Shore?*

In relation to homelessness, additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing is needed. Further, there are some specific areas of focus such as additional beds for youth and seniors, non-mixed gender options, daytime provision, transition housing, and more to support people out of emergency shelter and specialist housing (women, youth, mental health, and substance use).

#### • **Emergency Shelter Provision**

- » North Shore Shelter and safe houses (youth, seniors) operate at capacity. There is a need for additional beds and more options that are not mixed gender and are designed to meet the needs of marginalized community members who are highest at risk.
- » The Emergency Weather Response requires a location that is not linked to the Shelter.
- » There is a need for more daytime provisions, where people can go during the day.

#### • **Transition and Supportive Recovery Housing**

- » Residents at the North Shore Housing Centre have very limited options to transition to, regardless of tenure (non-market, supportive, or private rental), there is a need for transitional and supportive recovery housing.
- » Specialist housing providers (women, youth, mental health, substance use) require additional locations for small-scale provision, generally 6-10 beds or up to 6 self-contained units within one building.

#### • **Permanent Affordable and/or Supportive Housing**

- » Need for significantly more non-market affordable housing, as well as permanent supportive housing with on-site operator space and service provision (e.g. complex care).



Assembling care and hygiene kits and handing these out starts a dialogue. This can create opportunities to offer support like counselling, rehabilitation, or first aid.



Community Access  
Coordinator (funded by  
provincial Strengthening  
Community Services' North  
Shore Grant)

In addition to the above, through various engagements on the topic of homelessness, the following observations were shared:

- There is a need for more provision of clean water, supplies, and spaces for individuals who are homeless to meet their basic needs with dignity (water, shower, laundry).
- Palliative care, medical respite, and other health-supports for people who are homeless and are discharged from the medical system are needed.
- A lack of choice can create challenges for those at greater risk of becoming victimized to find safe shelter space.

## **MOVING FORWARD**

- Staff will continue to collect and monitor data related to homelessness and poverty to understand current and future needs.
- Staff will continue to seek opportunities to work across jurisdictions to develop housing options that support individuals experiencing homelessness or who are at risk of homelessness.
- Leaders will advocate and focus efforts on delivering emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.



## 4.2 INVENTORY OF OPPORTUNITIES AND ACTIONS

**Objective:** Inventory opportunities and existing planned actions across jurisdictions on the North Shore.

There is a significant amount of work that has been and continues to be undertaken across the North Shore to support individuals experiencing homelessness or who are at risk of homelessness. In order to better understand the potential networks, policy, housing, and programs and services gaps it was necessary to undertake a substantive review of the existing frameworks and conditions.

The Inventory (Figure 1), summarized below, includes a wide range of plans, strategies, policies, and studies; the various housing and facilities across the north shore; the programs and services; and the existing committees and networks that are available for people experiencing or who are at risk of homelessness. It will be used by staff to better coordinate and support efforts across all jurisdictions.

Figure 1. Summary of Opportunities and Existing Actions Inventory



It is important to acknowledge that much of the work noted above is done in partnership and collaboration between First Nations, municipal, provincial, and federal governments, non-profit organizations, and other stakeholders. The focus of NSHAI's work has been specifically on the governmental and First Nations roles and how they can better support the upstream mechanisms necessary to support people experiencing or at risk of homelessness.

## Plans, Policies + Studies

There are over 20 plans, policies, strategies, initiatives, and studies across the North Shore that address homelessness. These include:

- Housing Action Plans which provide policies on housing and homelessness. Examples include the [City of North Vancouver's Housing Action Plan](#), the [District of West Vancouver's Housing Action Plan](#), and the [District of North Vancouver's Rental and Affordable Housing Strategy](#).
- Strategies such as the [North Shore Homelessness Task Force's Strategic Plan \(2022-2032\)](#) which is designed to address issues relating to homelessness and poverty on the North Shore.
- Studies and Reports to inform policy and decision-making, including the [2020 Point in Time Homelessness Count](#) and the various municipal Housing Needs Reports.
- Policies to guide decision-making such as the [District of North Vancouver's Residential Tenant Relocation Assistance Policy](#) and the [City of North Vancouver's Below Market Rental in New Market Rental Development Policy](#).
- Protocols such as the North Vancouver Municipal Homeless Protocol and the Extreme Weather Response Protocol.
- Federal and Provincial level plans such as the Federal government's [Reaching Home: Canada's Homelessness Strategy](#) and a number of initiatives at the [Provincial government level](#).

These initiatives and funding programs influence and support local work.

## Housing + Facilities

The North Shore has emergency shelters, transitional housing, and supportive recovery housing intended to provide a pathway out of homelessness.

- Emergency shelters offer night by night emergency accommodation.
- Transitional housing is intended to bridge the gap between homelessness and permanent housing and typically has length of stay limitations.
- Supportive recovery housing is subsidized housing with on-site supports for single adults, seniors and people with disabilities to help people find and maintain stable housing.

### Existing Housing and Facilities on the North Shore

EMERGENCY SHELTERS (Nightly accommodation)	TRADITIONAL HOUSING (Time-limited accommodation)	SUPPORTIVE RECOVERY HOUSING
North Shore Shelter (45 beds, co-ed)	North Shore Housing Centre (25 studios)	Addiction Recovery:
COVID/Temporary Shelter (24 rooms)	SAGE Transition House (18 beds, women)	Dovercourt Group Home (20 beds)
Seasonal EWR (20 mats, co-ed)	SAGE Second Stage Transition (6 beds)	NS Men's Recovery House (9 beds)
Youth Safe House (4 beds)	HOPE's Second Stage Transition (2 units)	NS Women's Recovery House (9 beds)
Seniors Safe House (5 beds)	Youth Transition Houses x 4 (12 beds)	CMHA Group Homes (6 homes)
Mental Health Emergency (7 beds)		LEGEND
	<div>Permanent Shelter Locations</div> <div>Temporary Shelter Locations</div>	<div>Youth-Oriented Locations</div> <div>Seniors-Oriented Locations</div> <div>Health Support Locations</div> <div>Women-Oriented Locations</div>

In addition to the above:

- Skwxwú7mesh Úxwumixw (Squamish) Nation created a non-profit housing society called “Hiyám ta Skwxwú7mesh Úxwumixw Housing Society,” which means “The Squamish Are Coming Home.” The Society currently has six sites for affordable rental housing that will provide much-needed equitable and diverse housing options.
- Səlílwətał (Tsleil-Waututh) Nation builds and rents subsidized housing to members. The Nation’s Public Works Department plans, develops, and manages social housing projects on reserve land. They also manage an on-reserve seniors housing program, which helps elders with rent subsidies or maintaining or repairing their privately-owned homes. Most recently, the Nation created a non-profit housing society for the newest multi-unit residence.
- Both Nations offer a variety of member services to support indigenous individuals who are in crisis, experiencing homelessness, or are at risk of homelessness.

### Programs + Services

There are over 30 community-based programs and services available across the North Shore to assist people to meet their housing needs or provide other supports including:

- Outreach (Canadian Mental Health Association, Hollyburn Family Services, Lookout Housing and Health Society, North Shore Crisis Services Society, Salvation Army).
- Hotlines for distress, safety, and health issues.
- Health Services (Addiction Recovery, Vancouver Coastal Health’s Health Connections Clinic, Community Psychiatric Services).
- Mental Health Support Services (Car 22, Peer Assisted Crisis Team).
- Seniors Supports (Seniors One Stop, Silver Harbour Centre, West Vancouver Seniors’ Activity Centre).
- Food Assistance Programs (meal programs, food banks, grocery store gift cards).
- Financial Supports (North Shore Rent Bank offered by Harvest Project).
- Drop-in hygiene programs.
- Other supports (household goods).

In addition to the above, both Skwxwú7mesh Úxwumixw (Squamish) and Səlílwətał (Tsleil-Waututh) Nations have a broad spectrum of member services to provide supports for Indigenous individuals experiencing or at risk of homelessness. These supports can include emergency shelter, crisis services, housing, education, income support, and other forms of assistance.

One cold morning in February we were at the Emergency Weather Response Shelter and two individuals were heading out and we were there to offer hand warmers, gloves, toques and a hot drink.

Community Access Coordinator  
(funded by provincial  
Strengthening Community  
Services’ North Shore Grant)

## Committees + Networks

The following cross-jurisdictional, inter-agency, and issue-based committees, task forces, and networks exist across the North Shore:

- Committees and Task Forces:
  - » North Shore Substance Use Standing Committee.
  - » Metro Vancouver Regional Planning and Advisory Committee on Social Issues.
  - » Community Housing Action Committee (CHAC).
  - » North Shore Homelessness Task Force.
- Network of Community Organizations:
  - » Squamish Nation Streamline Meeting.
  - » Squamish Nation, Tseil-Waututh Nation, Vancouver Coastal Health Patient Discharge Working Meetings.
  - » North Shore Community Resources Society Inter-Agency Network.
  - » City of North Vancouver Balanced Housing Lab.
  - » Foundry North Shore Society Youth Urgent Response Team (YURT).

These committees and networks offer knowledge and information sharing, connection, collaboration, partnership, and provide an opportunity to acknowledge gaps within policy, programs, and service provision, as well as work towards solutions.

## IDENTIFIED POLICY GAPS IN EXISTING ACTIONS

Throughout this work and discussions of the Steering Committee, there were a few policy areas that were identified as gaps that require additional review and consideration:

- A policy framework that would support access to basic needs with dignity including water, hygiene facilities (showers, laundry), public washrooms, etc.
- A policy framework that would address and support parking and provision of access to facilities and supports in recognition of the increasing number of individuals living in vehicular or boat accommodation.
- A policy framework that provides a more consistent and people-centred approach across jurisdictions.
- A policy framework to enable and support the provision of additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.

## MOVING FORWARD

- Staff will maintain the Inventory of Opportunities and Actions to support individual and cross-jurisdictional work.
- Leaders and staff will continue to seek opportunities to work across jurisdictions to develop policy options that support individuals experiencing homeless or who are at risk of homelessness including policy frameworks that:
  - a. Support individuals' access to basic needs with dignity including water, hygiene facilities (showers, laundry) and public washrooms.
  - b. Address and support individuals living in vehicular or boat accommodation.
  - c. Provide a more consistent and people-centred approach across jurisdictions.
  - d. Enable and support the provision of additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.

## 4.3 EXPLORE ALTERNATIVE AND COORDINATED DELIVERY MECHANISMS

**Objective:** Explore alternative and coordinated delivery mechanisms for services, supports, and responses to issues, including the potential for a North Shore-wide approach to resourcing recommended initiatives related to homelessness.

Over the 18-month term of the NSHAI, many local, provincial, national, and international examples of mechanisms to respond to homelessness were explored. These examples included single project interventions such as the Health and Housing Project in Prince George, BC to the single point of entry system in Perth, Australia, to Housing First systemic change projects in Medicine Hat, AB and Finland. See Appendix 2 for highlights of these projects. The common elements of success throughout the examples included:

- Delivery of services and housing within a prevention-based framework – stopping individuals from becoming homeless in the first place.
- Centralized assessment system focused on understanding and meeting client needs.
- Multiplicity of options – not a ‘one-size fits-all’ approach, acknowledging complexity.
- Providing additional housing supply at all points along the housing continuum.
- Providing timely options for delivery of services and housing provision.
- Provision of culturally appropriate and trauma informed response and supports.

In addition to the research of various models, the five local North Shore jurisdictions have been working on five policy and action-based projects specific to homelessness and those at risk of homelessness through grants provided by the Provincial Government and administered by the Union of British Columbia Municipalities.

GRANT	VALUE	PURPOSE	ACTIVITIES
Strengthening Communities’ Services Program (Intake #1)	\$1.97 M – UBCM Underway 2021/22	<ul style="list-style-type: none"> <li>• To improve the health and safety of unsheltered homeless people and address related community impacts</li> <li>• Partnership between CNV, DNV, DWV, Squamish, Tsleil-Waututh, NSNH, City Library, and Lookout</li> </ul>	<ul style="list-style-type: none"> <li>• Outreach services and cultural supports</li> <li>• Urban indigenous outreach services</li> <li>• Open door community hub program</li> <li>• Shower programs</li> <li>• Mobile outreach vehicle</li> <li>• Other supports and activities</li> </ul>
Strengthening Communities’ Services Program (Intake #2)	\$0.9 M – UBCM Application Submitted April 2022	<ul style="list-style-type: none"> <li>• To continue to improve the health and safety of unsheltered homeless people and address related community impacts</li> <li>• Partnership between CNV, DNV, DWV, Squamish, Tsleil-Waututh, NSNH, City Library, and Lookout</li> </ul>	<ul style="list-style-type: none"> <li>• Outreach services and cultural supports</li> <li>• Urban indigenous outreach services</li> <li>• Open door community hub program</li> <li>• Shower programs</li> <li>• Other supports and activities</li> </ul>
North Shore Poverty Reduction Strategy	\$75,000 – UBCM Underway 2021/22	<ul style="list-style-type: none"> <li>• To address inequities and reduce poverty on the North Shore</li> <li>• Partnership between CNV, DNV, DWV, Squamish, Tsleil-Waututh</li> </ul>	<ul style="list-style-type: none"> <li>• Targeted Consultation</li> <li>• North Shore Poverty Reduction Task Force</li> <li>• Create strategies and actions</li> </ul>
North Shore Poverty Reduction Strategy Action and Implementation	\$150,000 – UBCM Application Submitted Feb 2022	<ul style="list-style-type: none"> <li>• To support action out of the Poverty Reduction Strategy</li> <li>• Partnership between CNV, DNV, DWV, Squamish, Tsleil-Waututh</li> </ul>	<ul style="list-style-type: none"> <li>• Solutions Navigator position to provide individuals one-to-one support, navigation, and access to community resources</li> </ul>
North Shore Homeless Task Force (NSHTF) Community Action Strategy	\$25,000 – SPARC Completed 2022	<ul style="list-style-type: none"> <li>• NSHTF created a community-informed plan for reducing the impacts of poverty and homelessness</li> </ul>	<ul style="list-style-type: none"> <li>• Homelessness Situation Report</li> <li>• NSHTF Strategic Plan (2022-2032)</li> <li>• NSHTF Relationship Map</li> </ul>



Key learnings from work funded under these grants, so far include:

- North Shore residents benefit from an excellent non-profit sector.
- Clarity and understanding of needs and gaps related to program and service provision.
- Better understanding of on-the-ground implementation needs in order to be successful.
- Non-profit organizations and partners are better able to tackle service provision than municipalities.

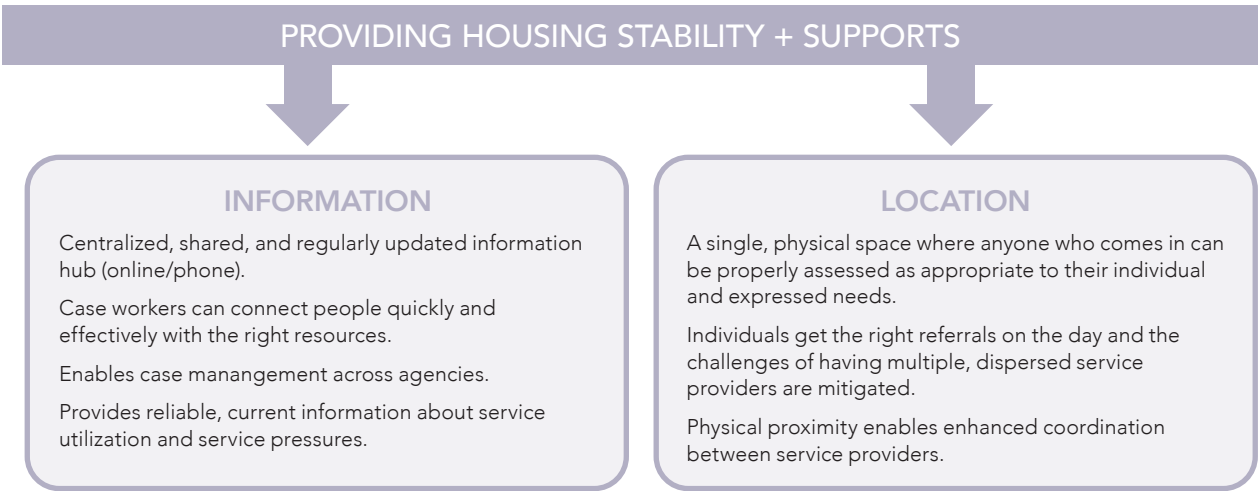
From the above common elements of success and key learnings, the Steering Committee determined that the path forward for the North Shore to better support individuals experiencing homelessness or those who are at risk of homelessness would be to focus on moving towards a single point of entry and a housing first model.

### SINGLE POINT OF ENTRY

A single point of entry system would provide a centralized and coordinated intake and information hub to help individuals access the supports they need and limit or mitigate the multiple referrals to different agencies to seek various supports.

“ Recently a young person left one of the shelters and was feeling quite ill. Shelter staff had been unable to locate him and had become concerned for his wellbeing. He was spotted by bylaw officials and through enhanced communication and coordination he was identified as the person that shelter staff had been trying to locate. ”

Community Access Coordinator (funded by provincial Strengthening Community Services' North Shore Grant)

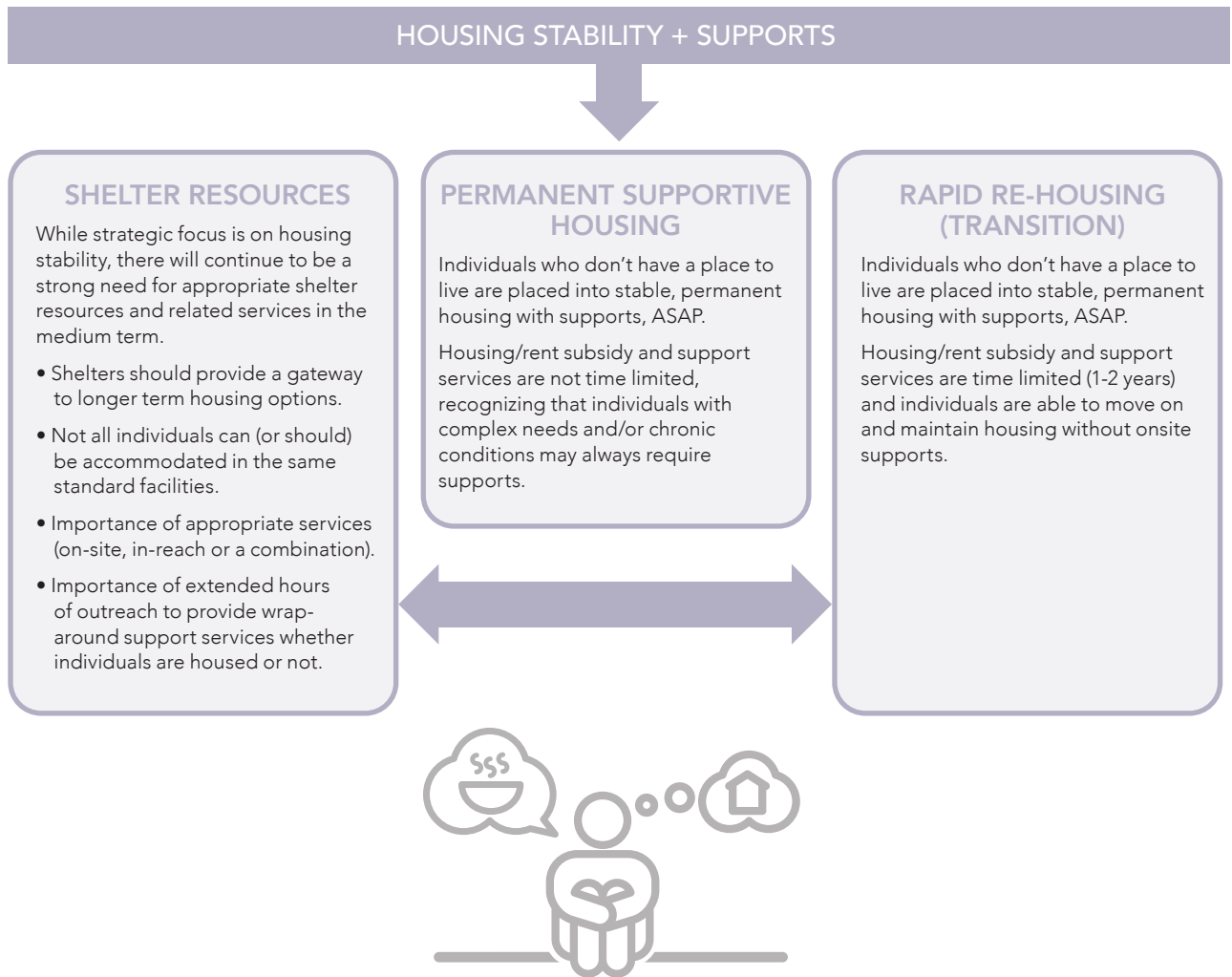


The information system should also have a public facing online/phone component to help those needing information for themselves or to support others navigate the system.

## HOUSING FIRST

The Federal Government has endorsed a Housing First model defined as: “moving people experiencing homelessness – particularly people experiencing chronic homelessness – rapidly from the street or emergency shelters into stable and long-term housing, with supports. Stable housing provides a platform to deliver services to address issues frequently faced among the chronically and episodically homeless. The goal is to encourage housing stability and improved quality of life for persons served by Housing First and, to the extent possible, foster self-sufficiency.”

For the North Shore, this means a focus on increasing emergency shelter spaces, transition housing options, and supportive housing choices. In addition, it means a clear focus on both physical and mental health supports and services. Health and housing must go hand-in-hand.



## MOVING FORWARD

- Staff will continue to look for opportunities to pursue grant funding for projects and policy related to homelessness in partnership and individually.
- Staff will continue to work with government and external partners (Vancouver Coastal Health, BC Housing, and not-for-profit service providers) to move towards a single point of entry and housing first model.
- Leaders will advocate for and implement the systemic changes needed to move towards a single point of entry and housing first model.

## 4.4 COMMUNICATION AND ADVOCACY

**Objective:** Launch a coordinated and ongoing communications and advocacy strategy outlining key North Shore achievements, challenges, needs, and partner commitments including reporting out on priority actions to the community and other levels of government.

One of the key objectives of the NSHA was to improve collective communications and advocacy related to homelessness. With three municipal governments, two First Nation governments, three fire departments, two police agencies, multiple non-profit organizations, (including those that are faith-based), Vancouver Coastal Health, and BC Housing providing programs and services on the North Shore, there are challenges to coordination and providing consistent and appropriate responses to support unsheltered individuals.

At the Steering Committee (political level) it was important to have everyone working from the same information and building a mutual understanding of local issues – not only about the homeless population but also the various political, financial, and mandate positioning and challenges.

At the Working Group (staff level), it was important to build relationships, understand each jurisdictional context – policy and studies, housing and facilities, programs and services, and committees and networks – and look for opportunities to collaborate.

### Homelessness Response Protocols

To support better on the ground communications, equity, and consistency in response across the North Shore, an update of cross-jurisdictional homelessness response protocols was proposed:

PROJECT:	Update the multi-jurisdictional “Homelessness Response Protocols”
WHAT:	The “Response Protocols” is a document for staff that outlines available tools and responses to issues, challenges, and situations to better support people experiencing homelessness in public spaces.
HOW:	It is intended to provide or support: <ul style="list-style-type: none"><li>• A framework for coordinated and consistent approaches</li><li>• Information and guidance on appropriate responses/actions for a variety of situations</li><li>• Information on available services/supports for people in need</li><li>• Communication protocols for responding to businesses and community concerns</li><li>• Closer working relationships amongst staff across jurisdictions</li></ul>
WHO:	Staff from Bylaws, Police, Fire, Parks, Engineering, Planning, Public Safety, Member Services, Recreation, Community Services and other front-line workers or people that have interactions with homeless individuals from across the North Shore. It will be updated to include expertise and resources from community partners and service agencies.

Updated or new homelessness response protocols would better equip staff for the variety of situations that can occur in public spaces. It would enable better response, access to supports, and outcomes for all involved. The intent would be to move from a more enforcement based approach to a people-centred approach.

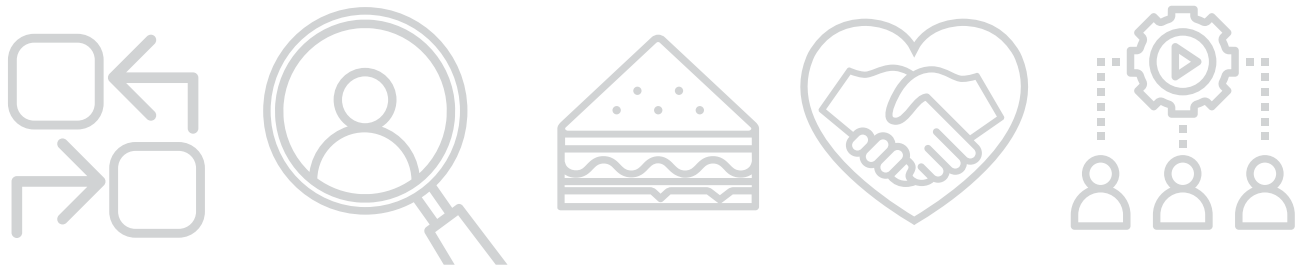
## COMMUNICATIONS STRATEGY

Three areas of commitment were endorsed:

STAFF COMMUNICATIONS	ADVOCACY	PUBLIC COMMUNICATIONS
<ul style="list-style-type: none"><li>• Continue the working group informally</li><li>• Maintain inventory of existing actions</li><li>• Seek opportunities to collaborate</li><li>• Encourage and support training and education</li></ul>	<ul style="list-style-type: none"><li>• Focus on a shared vision for service provision</li><li>• Focus on additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.</li></ul>	<ul style="list-style-type: none"><li>• Share community needs, data, and statistics regularly</li><li>• Share information on services and supports</li><li>• Share achievements</li><li>• Support greater public awareness</li></ul>

### Key Takeaways

- The North Shore is seeing increasing numbers of individuals experiencing homelessness – both visibly homeless and hidden homeless.
- More housing options are needed to support a broad spectrum of individual needs, including options that are culturally appropriate, and include both mental and physical health supports.
- The North Shore needs additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.
- The North Shore is advocating for the implementation of a single point of entry and a housing first model.
- It is critically important to keep working together in partnership across jurisdictions and with partner organizations.



### MOVING FORWARD

- Staff will continue to support advocacy efforts related to homelessness and housing.
- Staff will continue the working group informally to maintain coordination and collaboration efforts.
- Staff will undertake the 'homelessness response protocols' project to improve on the ground communications, equity, and consistency in municipal and First Nations response across the North Shore.
- Staff and leaders will share data on community needs and available information to support better public awareness and dialogue.

## 4.5 PRIORITY ACTIONS – MOVING FORWARD

**Objective:** *Develop a concise list of priority actions and partner roles in advancing the respective actions, with a focus on identifying opportunities for investments in permanent supportive housing.*

A key objective of the NSHA has been to agree on actions that partners will take to prevent and alleviate homelessness on the North Shore. In each of the preceding sections, actions have been listed as outcomes for “moving forward”. The 12 priority actions are summarized below. These actions may be advanced by staff and/or leaders in each partner organization. As an outcome of the NSHA, the staff working group (representatives from the Nations and municipalities), will meet on a regular basis to coordinate and collaborate.

### MOVING FORWARD

#### LEADERS WILL:

1. Advocate for and focus efforts on delivering emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.
2. Advocate for and implement the systemic changes needed to move towards a single point of entry and housing first model.

#### STAFF WILL:

3. Work with other government and external partners (Vancouver Coastal Health, BC Housing, and non-profit service providers) to move towards a single point of entry and housing first model.
4. Seek opportunities to work across jurisdictions to develop housing options that support individuals experiencing homelessness or who are at risk of homelessness.
5. Undertake the ‘homelessness response protocols’ project to improve on the ground communications, equity, and consistency in municipal and First Nations response across the North Shore.
6. Seek opportunities to develop policy options that support individuals experiencing homelessness or who are at risk of homelessness including policy frameworks that:
  - a. Support individuals’ access to basic needs with dignity including water, hygiene facilities (showers, laundry), and public washrooms.
  - b. Address and support individuals living in vehicular or boat accommodation.
  - c. Provide a more consistent and people-centred approach across jurisdictions.
  - d. Enable and support the provision of additional emergency shelter provision, transition and supportive recovery housing, and permanent affordable and/or supportive housing.
7. Look for opportunities to pursue grant funding for projects and policy related to homelessness in partnership and individually.
8. Support advocacy efforts related to homelessness and housing.
9. Continue the working group informally to maintain coordination and collaboration efforts.
10. Maintain the Inventory of Opportunities and Actions to support individual and cross-jurisdictional work.
11. Collect and monitor data related to homelessness and poverty to understand current and future needs.
12. Share data on community needs and available information to support better public awareness and dialogue.



## 5 CONCLUSION

Over the course of 18 months, and in alignment with the stated objectives of the the NSHAI, the Steering Committee has:

- Achieved a shared understanding of the issues, complexities, and the policy and housing needs related to homelessness.
- Supported the creation of an inventory of all the work related to homelessness within the five North Shore jurisdictions for staff to use to better support and understand work in other jurisdictions and to better support one another.
- Created 12 priority actions that focus on opportunities to achieve better data and understanding of community needs, working together, advocacy, improved communications, and more public awareness and dialogue.
- Reviewed and considered multiple models and examples of housing and supports and selected two key paths forward – single point of entry and housing first.
- Supported commitments to better communication for staff, the public, and advocacy efforts.

Going forward, the Steering Committee, which has completed its' mandate, remains committed to increasing coordination and supporting initiatives, policies, funding, and capital investments to better support individuals experiencing homelessness and those who are at risk of homelessness.

The Working Group has established close working relationships and will continue to meet as needed to support this work and undertake the priority actions.



## APPENDIX 1. TERMS OF REFERENCE

### PURPOSE

The North Shore Homelessness Action Initiative (NS-HAI) is an assembly of North Shore officials with a mutual commitment to enhancing coordination and action to prevent and alleviate homelessness in our communities.

### FUNCTION AND OBJECTIVES

The North Shore Homelessness Action Initiative is a forum for coordination amongst officials and agencies with direct and indirect authority for homelessness actions, supportive policies, funding and capital investments. This Initiative aims to:

- Review and consider community needs pertaining to homelessness in close coordination with service providers, relevant community agencies, and First Nations;
- Inventory opportunities and existing planned actions across jurisdictions on the North Shore;
- Develop a concise list of priority actions and partner roles in advancing the respective actions, with a focus on identifying opportunities for investments in permanent supportive housing;
- Explore alternative and coordinated delivery mechanisms for services, supports, and responses to issues, including the potential for a North Shore-wide approach to resourcing recommended initiatives related to homelessness;
- Produce a Report for the North Shore Councils with the outcomes of the Initiative; and,
- Launch a coordinated and ongoing communications and advocacy strategy outlining key North Shore achievements, challenges, needs, and partner commitments including reporting out on priority actions to the community and other levels of government.

The initiative duration is anticipated to be twelve months and will officially launch in Q1 of 2021. It may be extended at the discretion of the Steering Committee.

## **STEERING COMMITTEE**

The work of the NS-HAI will be directed by a Steering Committee comprised of elected and appointed government officials or delegates including:

- (1) City of North Vancouver Mayor
- (1) District of North Vancouver Mayor
- (1) District of West Vancouver Mayor
- (1) Tsleil-Waututh Nation Council Member
- (1) Squamish Nation Council Member
- (1) Vancouver Coastal Health Board Chair
- (1) BC Housing Board Chair
- Provincial and Federal elected Members of Parliament and the Legislative Assembly (involved at key intervals to support advocacy and to review findings and investments)

The Steering Committee's deliberations will be supported by information provided by a Staff Working Group, Partners, and by invited presentations from selected agencies, businesses, and not-for-profit organizations with direct involvement in the delivery of public health initiatives, social services, housing, real estate, finance and other services.

## **WORKING GROUP**

A Working Group, comprised of staff from each jurisdiction, will support the work of the Steering Committee. The Working Group will include:

- City of North Vancouver staff representative(s)
- District of North Vancouver staff representative(s)
- District of West Vancouver staff representative(s)
- Tsleil-Waututh Nation staff representative(s)
- Squamish Nation staff representative(s)

The Working Group, or selected members of the Working Group, will be convened to advance business as directed by the Steering Committee.

## **PARTNERS**

A number of Partners have been identified to support the work of the Steering Committee and Staff Working Group. They are comprised of key not-for-profit organizations and stakeholders:

- North Shore Homelessness Task Force
- Lookout Housing and Health Society
- North Shore Crisis Services Society
- Canadian Mental Health Association (North Shore branch)
- Hiýám ta Sḱwḱwú7mesh Housing Society

- Hollyburn Family Services Society
- Vancouver Coastal Health
- BC Housing

The Partners, or selected members, will be convened to participate in discussions and advance business as directed by the Steering Committee and Staff Working Group.

## MEETINGS AND STAFF SUPPORT

- A Chair will be determined by the membership of the Steering Committee at the first meeting.
- Steering Committee meetings will be held quarterly at the call of the Chair and hosted by the Chair's jurisdiction. This will include organizing meetings, taking and distributing any minutes.
- Should the Initiative be extended past 12 months, the Chair will be selected annually.
- Working Group meetings will be held as required.
- Each organization will provide in-kind staff support to the Project.
- Each organization will identify financial resources to be committed to the Action Project's objectives and implementation.
- Consensus shall be the method of conducting business.
- Roberts Rules of Order shall be the parliamentary procedures for the Steering Committee.
- A quorum of the Steering Committee shall be a minimum of **three** members. A meeting shall not proceed if a quorum cannot be achieved.
- A quorum of the Working Group shall be a minimum of **two** members.

## COMMUNICATIONS

Any reports, statements or communications that are presented or prepared by the Steering Committee and/or Working Group will be treated as **confidential** and are not for distribution unless otherwise specified by the Chair. The designated spokesperson in public communications for all work being completed through the North Shore Homelessness Action Initiative is the Chair, unless alternative spokespersons are approved by the Chair.

## APPENDIX 2. PRECEDENTS ON THE HOUSING FIRST AND SINGLE POINT OF ENTRY SERVICES

### FINLAND

#### POLICY HIGHLIGHTS:

- Housing policies are built on the foundation of “Housing First”, a principle introduced in 2007 which provides rough sleepers or people who become homeless with a stable and permanent home as soon as possible and then provides them with the help and support they need. Even if people are taking drugs or abusing alcohol they can stay, as long as they are interacting with support workers.
- The [Action Plan for Preventing Homelessness in Finland \(2016-2019\)](#) focuses on the prevention of homelessness built off of Housing First Principles and work done in part with [PAAVO I \(National Programme to Reduce Long-Term Homelessness\)](#) and the [Name on the Door Development Project \(2010-2012\)](#).

#### RECENT WORK:

- The City of Helsinki provides a homeless support unit responsible for organizing housing services for homeless adults, childless couples, mental health clients, and residents under 65. This includes housing advisory services, placement and evaluation, social work for supported living, and the Hietaniemenkatu Service Centre.
- [Hietaniemenkatu Service Centre](#): 24/7 service centre for the homeless. Rehabilitation-oriented unit that refers people requiring further aid to services they need. Clients are forwarded to more permanent housing or appropriate assistance, including:
  - » Emergency housing services.
  - » Social and Health Care Services.
  - » Accommodation for 15 euros per day.



*Permanent Supportive Housing Facility provided by Y-Foundation (non-profit housing provider) under Finland's National Homelessness Strategy*

#### BUDGET:

- 300M euros over the past decade, providing 3,500 new homes for the homeless and more than 300 new support workers.

#### RELEVANT LINKS:

[City of Helsinki Allowances and Services for the Homeless Webpage](#)  
[Info on Name on the door – development project \(2010-2012\)](#)  
[AUNE - Action Plan for Preventing Homelessness in Finland \(2016–2019\)](#)  
[The Finnish Homelessness Strategy: An International Review](#)



# MEDICINE HAT

## POLICY HIGHLIGHTS:

- A [Plan for Alberta: Ending Homelessness in 10 years \(2008\)](#) was a 10-year Alberta-wide plan focused on “ending homelessness rather than managing it”. This plan employed a different approach from simply building shelters and focused on three areas:
  - » Rapid re-housing (housing first).
  - » Providing client-centred supports (single point of entry), and providing the assistance needed to restore stability and maintain housing.
  - » Preventing homelessness.
- Seven cities, including Medicine Hat, are targeting a “Functional Zero” approach to homelessness. This does not mean that there are zero homeless individuals, but rather that homelessness is prevented whenever possible and experiences of homelessness are rare, brief, and non-reoccurring.
- Ending chronic homelessness means that the [Medicine Hat Community Housing Society](#) connects people to housing resources within 10 days of learning that they don’t have a place to live, which is a goal outlined in their Housing First Plan.
  - » Currently aiming to connect people with housing resources within three days, and eventually within 24 hours.



*The Champion's Centre*

## RECENT WORK:

- The Champions Centre provides supports such as free breakfast, storage, and showers.
- The [Medicine Hat Women's Shelter Society Housing First Program](#) supports for individuals and families.
- Two Permanent Supportive Housing sites (15 units each, tenancy is not time limited).

## BUDGET:

- None disclosed, only informal and unsourced, but “estimates on how much it costs to house one homeless (\$20,000) individual versus providing services to them while unsheltered (\$80,000)”.

## RELEVANT LINKS:

[Alberta Secretariat for Ending Homelessness – A Plan For Alberta \(to end homelessness in 10 years\)](#)  
[MHCHS Homelessness Initiatives](#)

# SQUAMISH NATION

## POLICY HIGHLIGHTS:

- [Squamish Nation's 2020-2023 Strategic Plan](#) sets a goal for the Nation: to house every Squamish person within a generation.
- \$1.1 million budgeted for the housing society to develop affordable rentals.
- Council has allocated (in principle) six sites for consideration for housing.
- Hiŷám Housing is Squamish Nation's non-profit organization mandated to lead the development and management of non-profit housing for the Squamish People. Over the next year, they'll be building up the organization, applying for government funds, developing partnerships with funders, and working with consultant teams to design and develop new affordable housing for the Squamish People.

## RECENT WORK:

- Affordable housing complexes on reserve land for Squamish members: BC Housing will be providing funding for on-reserve affordable housing, which will be located at Squamish Nation's Capilano Reserve No. 5 (northwest corner of Welch Street and Mathias Road, just east of Lions Gate Bridge). The building complex will be a 95-unit building consisting of:
  - » 16 studios, 50 1-bedroom units, 20 2-bedroom units, 10 3-bedroom units, and 1 5-bedroom unit.
  - » Mix of rents for a range of incomes (follows BC Housing's Community Housing Fund breakdown):
    - ~ 20% of units deep subsidy (starting at \$375/month for studio or 1-bedroom).
    - ~ 50% of units at Housing Income Limits (starting at \$837 for studio or 1-bedroom).
    - ~ 30% of units as affordable moderate (starting at \$1030 for 1-bedroom).
  - » Multi-generational mix of tenants with 59 units dedicated to elders, and 16 units for vulnerable youth. Including 11 lock-off studios in the townhouses to have potential to be integrated with family units above. Multi-generational housing approach mixing Elders, families, and youth in a holistic community which will foster positive intergenerational relationships.
  - » Will also include solar screens, First Nations blanket pattern on exterior of building entrance, culturally relevant and evocative landscaping and other features.
  - » Will integrate cultural art and dance spaces and a community grocery store operating under a co-op model with the space doubling as an informal community gathering space.
  - » Construction was anticipated to complete by the end of 2023.



*Artistic rendering of project*

## BUDGET:

- Not disclosed, but funding is provided by BC Housing through the Community Housing Fund program.

## RELEVANT LINKS:

[Squamish Nation's Housing Report \(2008\)](#)

[Bring Squamish Home Project Page](#)

# SEATTLE

## POLICY HIGHLIGHTS:

- Regional homelessness authority explicitly mandates “evidence-based, housing first policies”.
- Low barrier housing began in the 1990s:
  - » 1811 Eastlake serving residents for 17 years, with 17 units of low-barrier housing for homeless men and women with severe alcohol addiction.
    - ~ Provides meals, counselling, and health care.
    - ~ The goal was not to cure drinking problems, but to provide basic needs to the chronically homeless.
- Other programs include diversion funds to people at risk of homelessness to keep them out of the emergency shelter system.

## RECENT WORK:

- The Navigation Centre (started in 2017) connects unsheltered individuals with existing services and shelters, staffed by outreach workers and Seattle Police with advanced certification in crisis intervention and de-escalation techniques.
  - » The members of the Navigation Team are the primary access point for people served by the Navigation Center, a dormitory-style living facility that provides showers, bathrooms, and laundry facilities, as well as meals and a place to store their belongings.
  - » Seattle’s Navigation Center is open 24/7 and welcomes pets, couples, and individuals currently struggling with addiction, though no drug use is allowed on-site. The Navigation Center serves up to 75 individuals at one time.
- The City has also passed an ordinance that would allow up to 40 tiny house villages, encampments or parking lot camps. This has enabled Tiny Home Villages to emerge, providing more than 300 people with a tiny house structure that locks, with access to restrooms and showers, case management, a kitchen and managed community.



*Tiny Home Village: Lake Union*

## BUDGET:

- In 2018, Seattle expected to spend about 78 million dollars in direct response to homelessness, directed towards emergency response, (shelter, hygiene, outreach) and housing options (permanent supportive housing, rapid rehousing and diversion services).

## RELEVANT LINKS:

[Seattle Tiny House Villages](#)

[Office of the Mayor, Feb 23, 2021: City Provides an Update on More Than 350 New Shelter Beds Coming Online, Including Opening of Hotels, Tiny House Villages, and An Enhanced Shelter for Women](#)

# VANCOUVER

## POLICY HIGHLIGHTS:

- [Building BC's Rapid Response to Homelessness \(2017\)](#) invested \$291 million to deliver permanent and temporary units in response to homelessness across BC. This included:
  - » Construction costs and operating subsidies for non-profit operators.
  - » Delivery of projects and non-profit selection, building handover coordination and tenancing.
  - » Support for homeless/at-risk, including people living on the street and in shelters.
  - » Housing operators providing 24/7 staffing and supportive housing operations and programming.
  - » Rapid re-housing (housing first), client-centred supports (single point of entry), and assistance to maintain housing.
- 10 sites approved under the Rapid Response to Homelessness program between 2017-2019:
  - » 3-storey form on underutilized/vacant land (i.e., City-owned parking lots or developer lands being held for at least three years), 1-2 buildings on each of the 10 sites; 39-52 suites per building.
  - » BC Housing pays for construction and owns the buildings. City or developer leases the land to BC Housing for agreed-upon term.
  - » 606 suites total, each suite is ~320 ft<sup>2</sup> and includes furnishings, 3-piece washroom, and in-suite cooking facilities. Building amenities include commercial kitchen (2 meals/day provided), free on-site shared laundry room, furnished and programmed indoor space for socializing and activities, landscaped outdoor amenity with healing space/community gardens.
- Supportive Housing to assist people who are homeless or at risk of homelessness:
  - » Trained support workers partner with each resident to develop a customized plan to meet their personal and housing goals. Some supports are offered inside the building while others are offered in the local community.
  - » Residents are selected through a thoughtful and thorough assessment to make sure each person has the housing and support services they need to achieve a successful tenancy.

## RECENT WORK:

- Larwill Place is located on an underutilized portion of a City-owned parking lot.
- BC Housing and Vancouver Coastal Health (VCH) signed an MOU. Tenancing was a coordinated activity between BC Housing, City of Vancouver, the Non-profit operator, and VCH.
- VCH provides a nurse, mental health worker, and care aide on-site to give residents better coordinated comprehensive care.



Larwill Place

## BUDGET:

- \$16.2 million for both of the buildings. Annual operating funding is provided to the non-profit housing society that operates the projects. VCH provides additional operational funding to Larwill Place for 20 units for people experiencing mental health challenges and/or addictions.

## RELEVANT LINKS:

[BC Housing and Supportive Housing in your Community](#)

[City of Vancouver and Temporary Modular Housing](#)

[BC Housing news release and backgrounder for Larwill Place](#)

[BC Housing Research page](#) with published studies on resident outcomes conducted post-occupancy

[City of Vancouver's resident outcomes summary](#) based on BC Housing's research

## APPENDIX 3. GLOSSARY

### **At-Risk of Experiencing Homelessness:**

Individuals who are in extreme core housing need and spend at least 50% of their income on shelter or , those individuals or families whose current housing situations are dangerously lacking security or stability, and so are considered to [be at risk of homelessness](#).

### **Chronic Homeless:**

Individuals who have experienced at least six months (180 days) of homelessness over the past year and have recurrent experiences of homelessness over the past three years, with a cumulative duration of at least 18 months (546 days).

### **Drop-In Services:**

[Drop-in Services](#) provide access to meals and amenities that address immediate needs such as showers, laundry, and telephone among others. They often include a safe gathering place with access to information resources and other support services. Drop-in services do not include providing sleeping accommodations.

### **Episodic Homeless:**

[Individuals](#) that have had at least more than one period of homelessness in the last year. This population tends to be younger and often suffer from a type of disabling condition, such as substance use, mental illness, and/or medical challenges.

### **Extreme Weather Response (EWR) Shelter:**

Extreme Weather Response Shelters provide extra beds during extreme weather conditions to ensure those who are at risk have a safe place to sleep. [Extreme Weather Response Shelters \(EWRs\)](#) are operated by Lookout in Abbotsford, Burnaby, Langley, North Shore, Surrey and Vancouver. They are open from November 1st to March 31st during extreme weather nights as called by the City and the EWR response coordinator.

### **Emergency Shelter:**

[Emergency shelters](#) are temporary but immediate places to stay for anyone who is homeless or at risk of homelessness.

### **Hidden Homelessness:**

[Individuals](#) who do not have a home of their own where they have security of tenure, and people who may be staying temporarily in another household (couch surfing). This population is considered to be “hidden” because they are less likely to access homelessness supports and services even though they are improperly or inadequately housed. This can also include people who are deep in forests or parks, and other locations where they are less likely to be seen.



**Homeless:**

[Homelessness](#) describes the situation of an individual, family or community without stable, permanent, appropriate housing, or the immediate prospect, means and ability of acquiring it. It is the result of systemic or societal barriers, a lack of affordable and appropriate housing, the individual/household's financial, mental, cognitive, behavioural or physical challenges, and/or racism and discrimination.

**Housing First:**

[Housing First](#) involves moving people experiencing homelessness —particularly people experiencing chronic homelessness—rapidly from the street or emergency shelters into stable and long-term housing, with supports.

**Housing Needs Reports:**

Municipalities and regional districts in B.C. are required to complete [housing needs reports](#) by April 2022 and every five years thereafter. These reports will help local governments and the B.C. government better understand and respond to housing needs in communities throughout B.C.

**Point in Time (PiT) Homeless Count:**

A [PiT Count](#) provides an estimate of homelessness in a community within a specified time period, generally 24 hours. A PiT Count is not intended to be a comprehensive research study, nor is it designed to provide the absolute number of individuals experiencing homelessness in a community. Instead, it offers a snapshot of homelessness and when conducted consistently, allows communities to measure their progress in reducing homelessness.

**Single-Point-of-Entry:**

Single Point of Entry provides a centralized and coordinated intake and information hub to help individuals access the supports they need and limit or mitigate the amount of multiple referrals to different agencies to seek various supports.

**Supportive Housing:**

[Supportive housing](#) is subsidized housing with on-site supports for single adults, seniors and people with disabilities at risk of or experiencing homelessness. These supports help people find and maintain stable housing

**Transitional Homeless:**

Individuals experiencing homelessness, typically for less than a year, as a result of a major life change or catastrophic event.

**Transitional Housing:**

[Transitional housing](#) refers to temporary accommodation that is meant to bridge the gap from homelessness to permanent housing by offering structure, supervision, support (for addictions and mental health, for instance), life skills, and in some cases, education and training.

**Unsheltered Homeless:**

[Individuals](#) who are living outside, such as in makeshift shelters or tents, vacant buildings, vehicles, or were staying temporarily indoors (couch-surfing).

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NSHA