



**AGENDA FOR THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON **MONDAY, MARCH 28, 2022 AT 6:00 PM****

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“Live” Broadcast via City Website [www.cnv.org/LiveStreaming](http://www.cnv.org/LiveStreaming)  
Complete Agenda Package available at [www.cnv.org/CouncilMeetings](http://www.cnv.org/CouncilMeetings)

*The City of North Vancouver acknowledges that this Council meeting is held on the traditional territories of the Squamish and Tsleil-Waututh Nations.*

**CALL TO ORDER**

**APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, March 28, 2022

**ADOPTION OF MINUTES**

2. Regular Council Meeting Minutes, March 7, 2022

**PROCLAMATIONS**

Health Care, Public Safety and Essential Service Workers Appreciation Month  
– April 2022

Autism Acceptance Month – April 2022

**PUBLIC INPUT PERIOD**

**CONSENT AGENDA**

Items \*3, \*4, \*5 and \*6 are listed in the Consent Agenda and may be considered separately or in one motion.

**BYLAWS – ADOPTION**

- \*3. “Tree Bylaw, 2022, No. 8888”
- \*4. “Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw)
- \*5. “Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw)

**REPORT**

- \*6. Discharge of Development Covenant for 976 Cloverley Street
7. Potential Temporary Location of Skateboard Amenity - this Report was added to the agenda at the beginning of the meeting - See March 28, 2022 Minutes for resolution

**BYLAW – FIRST, SECOND AND THIRD READINGS**

7. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8894”  
(Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, 149 West  
3<sup>rd</sup> Street, CD-744)

**PUBLIC MEETING – 324 Ridgeway Avenue**

**MOTION**

8. Development Variance Permit No. PLN2022-00002 (324 Ridgeway Avenue)

**DELEGATION**

Julia Kaisla, Executive Director, Canadian Mental Health Association (CMHA)  
North and West Vancouver Branch; Jonathan Morris, CEO, CMHA, BC Division;  
and Tejal Barde, Manager, CMHA, Peer Assisted Care Team – Mental Health  
Crisis Response in our Community: A New Offering

**CORRESPONDENCE**

9. Julia Kaisla, Executive Director, CMHA North and West Vancouver Branch  
– Mental Health Crisis Response in our Community: A New Offering

**REPORT**

10. Rezoning Application and Heritage Designation – 364 East 14<sup>th</sup> Street (Karl Wein  
/ Bradbury Architecture)

**BYLAWS – FIRST AND SECOND READINGS**

11. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904”  
(Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750)
12. “Heritage Designation Bylaw, 2022, No. 8905”  
(Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street)

**REPORT**

13. Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. /  
Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue  
(CD-603)

**BYLAWS – FIRST AND SECOND READINGS**

14. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood  
Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and  
Text Amendment to 1629 St. Georges Avenue, CD-603)



**BYLAWS – FIRST AND SECOND READINGS – Continued**

15. “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments)

**REPORT**

16. 2022-2026 Financial Planning Update

**PUBLIC CLARIFICATION PERIOD**

**COUNCIL INQUIRIES / REPORTS**

**NEW ITEMS OF BUSINESS**

**NOTICES OF MOTION**

**RECESS TO CLOSED SESSION**

**REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

**ADJOURN**

## **CALL TO ORDER**

## **APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, March 28, 2022

## **ADOPTION OF MINUTES**

2. Regular Council Meeting Minutes, March 7, 2022

## **PROCLAMATIONS**

Health Care, Public Safety and Essential Service Workers Appreciation Month  
– April 2022

Autism Acceptance Month – April 2022

## **PUBLIC INPUT PERIOD**

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.” The time allotted for each speaker addressing Council during the Public Input Period is 2 minutes, with the number of speakers set at 5 persons. Speakers’ comments will be audio recorded, as well as live-streamed on the City’s website, and will form part of the public record.

Speakers during the Public Input Period are permitted to join the meeting electronically via Webex or in person in the Council Chamber.

There are 2 ways to sign up to speak during the Public Input Period.

- 1) Speakers who choose to participate electronically must pre-register by 12:00 noon on the day of the Council meeting by completing the online form at [cnv.org/PublicInputPeriod](http://cnv.org/PublicInputPeriod), or by phoning 604-990-4230 to provide contact information. Pre-registrants will receive instructions via email or phone on the afternoon of the Council meeting, including a request to connect to the meeting 15-30 minutes before the meeting start time.
- 2) Speakers who choose to participate in person must sign the speaker list located outside the Council Chamber between 5:30 and 5:55 pm on the day of the Council meeting.

If a speaker has written material to accompany their comments, the material must be sent to the Corporate Officer at [clerks@cnv.org](mailto:clerks@cnv.org) no later than 12:00 noon on the day of the Council Meeting.

The Public Input Period offers an opportunity to express comments only; Council is there to listen only and questions will not be responded to. Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items listed in section 12.25(2).

Speakers are not to address matters that refer to items from a concluded Public Hearing or Public Meeting. When a Public Hearing or Public Meeting is scheduled on the same evening’s agenda, speakers are asked to only provide input when that matter comes forward for discussion on the agenda in order for the comments to be considered as part of the particular Public Hearing or Public Meeting. Otherwise the input cannot be considered or form part of the official record.

Please address the Mayor as “Your Worship” or “Mayor, followed by his/her surname”.  
Councillors should be addressed as “Councillor, followed by their surname”.

## **CONSENT AGENDA**

Items \*3, \*4, \*5 and \*6 are listed in the Consent Agenda and may be considered separately or in one motion.

### **RECOMMENDATION:**

THAT the recommendations listed within the “Consent Agenda” be approved.

## **START OF CONSENT AGENDA**

### **BYLAWS – ADOPTION**

- \*3. “Tree Bylaw, 2022, No. 8888”

### **RECOMMENDATION:**

THAT “Tree Bylaw, 2022, No. 8888” be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

- \*4. “Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw)

### **RECOMMENDATION:**

THAT “Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

- \*5. “Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw)

### **RECOMMENDATION:**

THAT “Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw) be adopted, signed by the Mayor and Corporate Officer and affixed with the corporate seal.

## **CONSENT AGENDA – Continued**

### **REPORT**

- \*6. Discharge of Development Covenant for 976 Cloverley Street  
– File: 08-3060-20-0300/1

Report: Planner 1, March 16, 2022

#### **RECOMMENDATION:**

PURSUANT to the report of the Planner 1, dated March 16, 2022, entitled  
“Discharge of Development Covenant for 976 Cloverley Street”:

THAT Council authorize the discharge of Covenant BB4068635 and the related  
priority agreement BB4068636 from title, for the property located at 976  
Cloverley Street, in order to allow for the development of an Accessory Coach  
House;

AND THAT the Mayor and Corporate Officer be authorized to sign the necessary  
documentation to give effect to this motion.

### **END OF CONSENT AGENDA**

### **BYLAW – FIRST, SECOND AND THIRD READINGS**

7. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8894”  
(Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, 149 West  
3<sup>rd</sup> Street, CD-744)

#### **RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8894”  
(Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, 149 West  
3<sup>rd</sup> Street, CD-744) be given first, second and third readings.

*Application considered on February 28, 2022; notice published on March 16 and  
23, 2022.*

*No Public Hearing held.*

**PUBLIC MEETING – 324 Ridgeway Avenue – 6:00 pm**

Development Variance Permit No. PLN2022-00002 would vary the hydronic energy service requirement under the Zoning Bylaw.

*Development Variance Permit No. PLN2022-00002 to be considered under Item 8.*

**AGENDA**

Staff presentation  
Applicant presentation (verbal)  
Representations from the public  
Questions of Council  
Motion to conclude the Public Meeting

**MOTION**

8. Development Variance Permit No. PLN2022-00002 (324 Ridgeway Avenue)  
– File: 08-3400-20-0074/1

**RECOMMENDATION:**

THAT Development Variance Permit No. PLN2022-00002 (324 Ridgeway Avenue) be issued to 1250359 B.C. Ltd., Inc. No. BC1250359 (Cornerstone Architecture), in accordance with Section 490 of the *Local Government Act*;

AND THAT the Mayor and Corporate Officer be authorized to sign Development Variance Permit No. PLN2022-00002.

**DELEGATION**

Julia Kaisla, Executive Director, Canadian Mental Health Association (CMHA) North and West Vancouver Branch; Jonathan Morris, CEO, CMHA, BC Division; and Tejal Barde, Manager, CMHA, Peer Assisted Care Team

Re: Mental Health Crisis Response in our Community: A New Offering

*Item 9 refers.*

**CORRESPONDENCE**

9. Julia Kaisla, Executive Director, CMHA North and West Vancouver Branch,  
December 10, 2021 – File: 01-0230-20-0007/2022

Re: Mental Health Crisis Response in our Community: A New Offering

**RECOMMENDATION:**

THAT the correspondence from Julia Kaisla, Executive Director, CMHA North and West Vancouver Branch, dated December 10, 2021, regarding the “Mental Health Crisis Response in our Community: A New Offering”, be received with thanks.

## **REPORT**

10. Rezoning Application and Heritage Designation – 364 East 14<sup>th</sup> Street (Karl Wein / Bradbury Architecture) – File: 08-3400-20-0001/1

Report: Planner 2, March 16, 2022

### **RECOMMENDATION:**

PURSUANT to the report of the Planner 2, dated March 16, 2022, entitled “Rezoning Application and Heritage Designation – 364 East 14<sup>th</sup> Street (Karl Wein / Bradbury Architecture)”:

THAT the following bylaws be considered and referred to a Public Hearing:

- “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750);
- “Heritage Designation Bylaw, 2022, No. 8905” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street);

AND THAT notification be circulated in accordance with the *Local Government Act*.

*Items 11 and 12 refer.*

## **BYLAWS – FIRST AND SECOND READINGS**

11. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750)

### **RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750) be given first and second readings.

12. “Heritage Designation Bylaw, 2022, No. 8905” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street)

### **RECOMMENDATION:**

THAT “Heritage Designation Bylaw, 2022, No. 8905” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street) be given first and second readings.

## **REPORT**

13. Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603) – File: 08-3400-20-0038/1

Report: Development Planner, March 16, 2022

### **RECOMMENDATION:**

PURSUANT to the report of the Development Planner, dated March 16, 2022, entitled “Rezoning Application for 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Zoning Text Amendment for 1629 St. Georges Avenue (CD-603)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report, in the section “Density Bonus and Community Benefits” be secured, through agreements at the applicant’s expense and to the satisfaction of staff.

*Items 14 and 15 refer.*

## **BYLAWS – FIRST AND SECOND READINGS**

14. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603)

### **RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603) be given first and second readings.

15. “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments)

### **RECOMMENDATION:**

THAT “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be given first and second readings.

## **REPORTS**

16. 2022-2026 Financial Planning Update – File: 05-1700-01-0001/2022

Report: Chief Financial Officer, March 16, 2022

### **RECOMMENDATION:**

PURSUANT to the report of the Chief Financial Officer, dated March 16, 2022, entitled “2022-2026 Financial Planning Update”:

THAT the 2022 Operating Budget, dated March 16, 2022, be endorsed:

THAT the 2022-2031 Capital Plan, dated March 16, 2022, be endorsed;

THAT the 2022 Cemetery Operating Budget, dated March 16, 2022, be endorsed;

AND THAT staff bring forward a Financial Plan Bylaw (2022 to 2026) that reflects an overall tax rate increase of 3.75%.

## **PUBLIC CLARIFICATION PERIOD**

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

## **COUNCIL INQUIRIES / REPORTS**

### **NEW ITEMS OF BUSINESS**

### **NOTICES OF MOTION**

### **RECESS TO CLOSED SESSION**

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(a) [personal information] and 90(1)(l) [municipal objectives, measures and reports].

## **REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

### **ADJOURN**





## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### PUBLIC HEARING / PUBLIC MEETING GUIDELINES

The purpose of **Public Hearings** is to provide members of the public an opportunity to make representations to Council regarding proposed changes to zoning bylaws, heritage designations or the Official Community Plan. Public Hearings are included as part of a Regular Council agenda and governed by the provisions of the *Local Government Act*.

The purpose of **Public Meetings** is to provide members of the public an opportunity to make representations to Council regarding various issues and/or proposed changes that do not require a Public Hearing, such as a Development Variance Permit or Temporary Use Permit. North Vancouver residents can participate in the civic process of a Public Meeting that may affect their community, property and interests.

All persons who believe their interest in property is affected by a proposed bylaw or permit are afforded a reasonable opportunity to be heard, voice concerns or present written submissions regarding matters contained within the bylaw/permit.

All written submissions and representations made at a Public Hearing or Public Meeting will form part of the official public record. Minutes of the Public Hearing/Public Meeting and a video recording of the proceedings will be posted on the City's website at [cnv.org](http://cnv.org).

To provide written input: All written submissions must include your name and address. If this information is not provided, it cannot be included as part of the public record. Email submissions sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org) are preferred, and hand-delivered or mailed submissions will also be accepted. **The deadline to submit written submissions is 12:00 noon on the day of the Public Hearing/Public Meeting.**

To speak at a Public Hearing or Public Meeting:

Via Webex/phone: Pre-register by completing the online form at [cnv.org/PublicHearings](http://cnv.org/PublicHearings), or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on the day of the Public Hearing/Public Meeting.**

In person at City Hall: On the day of the meeting, a sign-up sheet will be available at City Hall reception (14<sup>th</sup> Street entrance) between 9:00am and 4:00pm, and then outside the Council Chamber from 5:30pm. Enter City Hall through the doors at the southwest corner of the building (i.e. staff entrance off 13<sup>th</sup> Street) after 5:30pm.

Non-registered speakers: Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at [cnv.org/LiveStreaming](http://cnv.org/LiveStreaming).

*Continued...*



## **THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

### **PUBLIC HEARING / PUBLIC MEETING GUIDELINES – Continued**

Comments from the public must specifically relate to the proposed bylaw/permit or subject of the Public Hearing/Public Meeting. Speakers are asked to avoid repetitive comments and not to divert to other matters.

Speakers will be asked to confirm their name and address for the record and will be provided one 5-minute opportunity to present their comments. Everyone will be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views known.

Procedural rules for the conduct of a Public Hearing/Public Meeting are set at the call of the Chair. Council's main function is to listen to the views of the public regarding the change of land use in the proposed bylaw/permit. It is not the function of Council to debate the merits of an application with speakers. Questions from members of the public and Council must be addressed through the Chair.

Once the Public Hearing/Public Meeting concludes, no further information or submissions can be considered by Council.

Following adjournment of the Public Hearing/Public Meeting, the Regular meeting reconvenes and the bylaw/permit is discussed and debated by members of Council, followed by consideration of third reading of the bylaw or approval of the permit.



**MINUTES OF THE REGULAR MEETING OF COUNCIL, HELD IN THE COUNCIL CHAMBER AND ELECTRONICALLY (HYBRID) FROM CITY HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON **MONDAY, MARCH 7, 2022****

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**PRESENT**

**COUNCIL MEMBERS**

Mayor L. Buchanan  
Councillor H. Back  
Councillor D. Bell  
Councillor A. Girard\*  
Councillor T. Hu\*  
Councillor J. McIlroy  
Councillor T. Valente

*\*participated electronically*

**STAFF MEMBERS**

L. McCarthy, CAO  
K. Graham, Corporate Officer  
C. Baird, Deputy Corporate Officer  
J. Peters, Assistant City Clerk  
H. Granger, City Solicitor  
B. Pearce, Deputy CAO / Director, Strategic and Corporate Services  
D. Foldi, Sr. Project Manager  
M. Friesen, Manager, Strategic Initiatives  
M. Cove, Research and Communications Specialist  
L. Sawrenko, Chief Financial Officer  
L. Garber, Deputy Director, Finance  
M. Epp, Director, Planning and Development  
J. Draper, Deputy Director, Planning and Development  
Y. Zeng, Manager, Development Planning  
L. Lensink, Planner  
H. Dang, Planner  
L. Karlberg, Planner  
M. Menzel, Planner  
D. Pope, Director, Engineering, Parks and Environment  
M. Hunter, Deputy Director, Engineering, Parks and Environment  
R. Skene, Director, Community and Partner Engagement  
G. Schalk, Public Safety Director and Fire Chief

The meeting was called to order at 6:00 pm.

Mayor Buchanan presented remarks regarding the war in Ukraine due to military invasion by Russian Armed Forces.

**APPROVAL OF AGENDA**

Moved by Councillor Bell seconded by Councillor McIlroy

1. Regular Council Meeting Agenda, March 7, 2022

**CARRIED UNANIMOUSLY**

**ADOPTION OF MINUTES**

Moved by Councillor McIlroy, seconded by Councillor Valente

2. Regular Council Meeting Minutes, February 28, 2022

**CARRIED UNANIMOUSLY**

## **PROCLAMATIONS**

Mayor Buchanan declared the following proclamations:

World Down Syndrome Day – March 21, 2022

Stop the Sexual Exploitation of Children and Youth Awareness Week  
– March 7 to 13, 2022 – read by Councillor Girard

International Women's Day – March 8, 2022 – read by Councillor Hu

Social Work Week – March 13 to 19, 2022

## **PUBLIC INPUT PERIOD**

- Carolyn Peters, Park Place Daycare, 1-1225 East Keith Road, North Vancouver, spoke regarding child care space related to Item 16 – OCP Amendment Application at 1225 East Keith Road.
- Reza Molavi and Parinaz Hadadtehrani, 8-265 East 8<sup>th</sup> Street, North Vancouver, spoke regarding construction at 273-275 East 8<sup>th</sup> Street.

## **CONSENT AGENDA**

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT Items 5, 6 and 7 be removed from the "Consent Agenda" and the remaining recommendations listed within the "Consent Agenda" be approved.

**CARRIED UNANIMOUSLY**

## **START OF CONSENT AGENDA**

### **BYLAWS – ADOPTION**

- \*3. "Street and Traffic Bylaw, 1991, No. 6234, Amendment Bylaw, 2022, No. 8846"  
(Electric Kick Scooter Pilot)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT "Street and Traffic Bylaw, 1991, No. 6234, Amendment Bylaw, 2022, No. 8846"  
(Electric Kick Scooter Pilot) be adopted, signed by the Mayor and Corporate Officer  
and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

- \*4. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8883" (Additional  
Coach House Requirements)

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8883" (Additional  
Coach House Requirements) be adopted, signed by the Mayor and Corporate Officer  
and affixed with the corporate seal.

**(CARRIED UNANIMOUSLY)**

## **CONSENT AGENDA – Continued**

### **CORRESPONDENCE**

- \*8. Board in Brief, Metro Vancouver Regional District, February 25, 2022  
– File: 01-0400-60-0006/2022

Re: Metro Vancouver – Board in Brief

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT the correspondence from Metro Vancouver, dated February 25, 2022, regarding the “Metro Vancouver – Board in Brief”, be received and filed.

**(CARRIED UNANIMOUSLY)**

### **REPORT**

- \*9. 402-438 East 3<sup>rd</sup> Street and 341-343 St. Davids Avenue – City Contribution to BC Housing’s Affordable Home Ownership Program (AHOP) – File: 08-3400-20-0005/1

Report: Manager, Development Planning, February 24, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Manager, Development Planning, dated February 24, 2022, entitled “402-438 East 3<sup>rd</sup> Street and 341-343 St. Davids Avenue – City Contribution to BC Housing’s Affordable Home Ownership Program (AHOP)”:

THAT the report be received for information.

**(CARRIED UNANIMOUSLY)**

## **END OF CONSENT AGENDA**

### **BYLAWS – ADOPTION**

Moved by Councillor Bell, seconded by Mayor Buchanan

THAT Items 5, 6 and 7 be tabled until the end of the meeting.

**CARRIED UNANIMOUSLY**

### **PRESENTATIONS**

Climate and Environment Strategy – Phase I Engagement Outcomes – Deputy Director, Planning and Development

The Deputy Director, Planning and Development provided a PowerPoint presentation regarding the “Climate and Environment Strategy – Phase I Engagement Outcomes” and responded to questions of Council.

## **PRESENTATIONS – Continued**

Council's Strategic Plan Progress Report – Research and Communications Specialist

The Research and Communications Specialist provided a PowerPoint presentation regarding the "Council's Strategic Plan Progress Report" and she and the Deputy Chief Administrative Officer responded to questions of Council.

## **REPORTS**

10. Strategic Plan Progress Update to End of 2021 – File: 13-6430-01-0001/2021

Report: Research and Communications Specialist, February 2, 2022

Moved by Councillor Valente, seconded by Councillor McIlroy

PURSUANT to the report of the Research and Communications Specialist, dated February 2, 2022, entitled "Strategic Plan Progress Update to End of 2021":

THAT the report be received for information.

**CARRIED UNANIMOUSLY**

11. 2022 Early Appropriations – File: 05-1705-30-0019/2022

Report: Chief Financial Officer, February 23, 2022

Moved by Councillor Bell, seconded by Councillor Girard

PURSUANT to the report of the Chief Financial Officer, dated February 23, 2022, entitled "2022 Early Appropriations":

THAT (Funding Appropriation #2201) an amount of \$559,613 be appropriated from the General Capital Reserve for the purpose of funding the 2022 Capital Plan;

THAT (Funding Appropriation #2202) an amount of \$235,000 be appropriated from the Fire Equipment Reserve for the purpose of funding the 2022 Capital Plan;

THAT (Funding Appropriation #2203) an amount of \$845,000 be appropriated from the Engineering Equipment Reserve for the purpose of funding the 2022 Capital Plan;

THAT (Funding Appropriation #2204) an amount of \$100,000 be appropriated from the Computer Equipment Reserve for the purpose of funding the 2022 Capital Plan;

THAT (Funding Appropriation #2205) an amount of \$700,000 be appropriated from the Affordable Housing Reserve for the purpose of funding the 2022 Capital Plan;

THAT (Funding Appropriation #2206) an amount of \$17,000,000 be appropriated from the Civic Amenity – HJ Reserve for the purpose of proceeding with tender and award of contracts for Foundation Works for the Harry Jerome Community Recreation Centre and Silver Harbour projects;

*Continued...*

## **REPORTS – Continued**

11. 2022 Early Appropriations – File: 05-1705-30-0019/2022 – Continued

AND THAT should any of the amounts remain unexpended as at December 31, 2025, the unexpended balances shall be returned to the credit of the respective fund.

**CARRIED UNANIMOUSLY**

12. Harry Jerome Community Recreation Centre and Silver Harbour Seniors' Centre Authority to Award Foundation Works – File: 02-0800-30-0028/1

Report: Senior Project Manager, Strategic Initiatives, February 23, 2022

Moved by Councillor Girard, seconded by Councillor McIlroy

PURSUANT to the report of the Senior Project Manager, Strategic Initiatives, dated February 23, 2022, entitled "Harry Jerome Community Recreation Centre and Silver Harbour Seniors' Centre Authority to Award Foundation Works":

THAT staff be authorized to award construction and associated contracts related to Foundation Works for the Harry Jerome Community Recreation Centre and Silver Harbour Seniors' Centre projects, pursuant to Council approval of \$17,000,000 early appropriation from the Civic Amenity Reserve Fund;

AND THAT should any of the amount remain unexpended as at December 31, 2025, the unexpended balance shall be returned to the credit of the Civic Amenity Reserve Fund.

**CARRIED UNANIMOUSLY**

13. Kings Mill Walk Park Master Plan – File: 12-6240-20-0045/1

Report: Park Planner, February 23, 2022

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Park Planner, dated February 23, 2022, entitled "Kings Mill Walk Park Master Plan":

THAT the Kings Mill Walk Park Master Plan be endorsed;

THAT staff be directed to invite the Squamish Nation to work with the City, in recognition of the park location next to Eslhá7an;

THAT staff be directed to bring forward names for Council's consideration regarding Kings Mill Walk Park to better reflect the area;

AND THAT the members of the Kings Mill Walk Park Master Plan Task Force be thanked for their significant contribution to the new Park Plan.

**CARRIED UNANIMOUSLY**

## **REPORTS – Continued**

14. Rezoning and Development Variance Permit Application: 502 East 5<sup>th</sup> Street (Mehrdad Rahbar / Vernacular Studio Inc.) – File: 08-3400-20-0050/1

Report: Planner 1, February 23, 2022

Moved by Councillor Girard, seconded by Councillor Back

PURSUANT to the report of the Planner 1, dated February 23, 2022, entitled “Rezoning and Development Variance Permit Application: 502 East 5<sup>th</sup> Street (Mehrdad Rahbar / Vernacular Development Corp.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8911” (Mehrdad Rahbar / Vernacular Studio Inc., 502 East 5<sup>th</sup> Street RS-2) be considered and referred to a Public Hearing;

THAT Development Variance Permit No. PLN2021-00006 (Mehrdad Rahbar / Vernacular Development Corp., 502 East 5<sup>th</sup> Street) be considered for issuance under Section 498 of the *Local Government Act* and a Public Meeting be held;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits outlined in the report be secured at the applicant’s expense.

**CARRIED UNANIMOUSLY**

## **BYLAW – FIRST AND SECOND READINGS**

15. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8911” (Mehrdad Rahbar / Vernacular Studio Inc., 502 East 5<sup>th</sup> Street RS-2)

Moved by Councillor Girard, seconded by Councillor Back

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8911” (Mehrdad Rahbar / Vernacular Studio Inc., 502 East 5<sup>th</sup> Street RS-2) be given first and second readings.

**CARRIED UNANIMOUSLY**

## **REPORT**

16. Rezoning Application: 341 West 24<sup>th</sup> Street (Bill Curtis / Bill Curtis & Associates Design) – File: 08-3400-20-0056/1

Report: Planner 1, February 23, 2022

Moved by Councillor Girard, seconded by Councillor Back

PURSUANT to the report of the Planner 1, dated February 23, 2022, entitled “Rezoning Application: 341 West 24<sup>th</sup> Street (Bill Curtis / Bill Curtis & Associates Design)”:

*Continued...*



## **REPORTS – Continued**

16. Rezoning Application: 341 West 24<sup>th</sup> Street (Bill Curtis / Bill Curtis & Associates Design) – File: 08-3400-20-0056/1 – Continued

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8908” (Bill Curtis / Bill Curtis & Associates Design, 341 West 24<sup>th</sup> Street) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits outlined in the report be secured at the applicant’s expense.

**CARRIED UNANIMOUSLY**

## **BYLAW – FIRST AND SECOND READINGS**

17. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8908” (Bill Curtis / Bill Curtis & Associates Design, 341 West 24<sup>th</sup> Street)

Moved by Councillor Girard, seconded by Councillor Back

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8908” (Bill Curtis / Bill Curtis & Associates Design, 341 West 24<sup>th</sup> Street) be given first and second readings.

**CARRIED UNANIMOUSLY**

Mayor Buchanan recused herself at 8:13 pm, declaring a potential conflict of interest with respect to Item 18 and Councillor Valente assumed the role of Chair.

## **REPORT**

18. Preliminary Report – OCP Amendment Application at 1225 East Keith Road (Darwin Properties) – File: 08-3400-20-0072/1

Report: Planner 2, February 16, 2022

Moved by Councillor McIlroy, seconded by Councillor Girard

PURSUANT to the report of the Planner 2, dated February 16, 2022, entitled “Preliminary Report – OCP Amendment Application at 1225 East Keith Road (Darwin Properties)”:

THAT the application for Official Community Plan amendment (PLN2021-00027) to allow residential use as part of a proposed redevelopment of a Mixed-Employment designated site at 1225 East Keith Road be rejected;

AND THAT staff be directed to work with the proponent to establish a supportable redevelopment proposal for the site that enhances employment generating uses while achieving needed community benefits.

**CARRIED UNANIMOUSLY**  
(by members remaining)

Mayor Buchanan returned to the meeting at 8:30 pm.

**NOTICE OF MOTION**

19. Fen Burdett Field Change Rooms – File: 12-5920-01-0001/2022

Submitted by Mayor Buchanan

Moved by Mayor Buchanan, seconded by Councillor Bell

WHEREAS Council received an Information Report dated February 10, 2022, entitled “Fen Burdett Field Change Rooms”:

AND WHEREAS Council was advised that team change rooms and showers would be removed from the new childcare and washroom facility;

THEREFORE BE IT RESOLVED THAT staff be directed to report back to Council with options to include team change rooms and showers within the new facility.

**CARRIED UNANIMOUSLY**

**BYLAW – THIRD READING – RESCIND AND AMEND**

5. “Tree Bylaw, 2022, No. 8888”

Moved by Councillor Bell, seconded by Councillor Back

THAT third reading of “Tree Bylaw, 2022, No. 8888” be rescinded;

THAT “Tree Bylaw, 2022, No. 8888” be amended by removing Section 2.C. and replacing it with:

“2. C. This Bylaw does not apply to trees on property if the City issues a building permit authorizing redevelopment of the property and either:

- (1) A complete application for the building permit was submitted, with fees paid, before the date this Bylaw is adopted; or
- (2) A complete zoning amendment or development permit application for the redevelopment was submitted, with fees paid, before the date this Bylaw is adopted and a complete application for the building permit is submitted, with fees paid, within 12 months of the date this bylaw is adopted,

except that in either case, if the building permit expires or is cancelled or revoked, or when the construction authorized by the building permit is complete, then this Bylaw will apply to the property.”

AND THAT “Tree Bylaw, 2022, No. 8888” be given third reading, as amended.

**CARRIED UNANIMOUSLY**

## **BYLAWS – ADOPTION**

6. “Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw)

Moved by Councillor Bell, seconded by Councillor Back

THAT Item 6 – “Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw) be removed from the Agenda.

**CARRIED UNANIMOUSLY**

7. “Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw)

Moved by Councillor Bell, seconded by Councillor Back

THAT Item 7 – “Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw) be removed from the Agenda.

**CARRIED UNANIMOUSLY**

## **PUBLIC CLARIFICATION PERIOD**

Nil.

## **COUNCIL INQUIRIES / REPORTS**

Nil.

## **NEW ITEMS OF BUSINESS**

Nil.

## **NOTICES OF MOTION**

Nil.

## **RECESS TO CLOSED SESSION**

Moved by Councillor McIlroy, seconded by Councillor Back

THAT Council recess to the Committee of the Whole, Closed Session, pursuant to the *Community Charter*, Sections 90(1)(a) [personal information], 90(1)(e) [land matter] and 90(1)(j) [information privacy].

**CARRIED UNANIMOUSLY**

The meeting recessed to the Committee of the Whole, Closed Session, at 8:48 pm and reconvened at 9:21 pm.

## **REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)**

20. Encroachments on City Road Allowance – File: 06-2370-01-0001/2021

Report: Manager, Public Realm Infrastructure, February 23, 2022

Moved by Councillor McIlroy, seconded by Councillor Valente

PURSUANT to the report of the Manager, Public Realm Infrastructure, dated February 23, 2022, entitled “Encroachments on City Road Allowance”:

THAT Council permit 6 separate encroachments from residential properties on City road allowance, as follows:

- 18 Fell Avenue;
- 828 East 4<sup>th</sup> Street;
- 1804 Fell Avenue;
- 152 West 3<sup>rd</sup> Street;
- 117 East 15<sup>th</sup> Street; and
- 629 East 12<sup>th</sup> Street on City-owned highway;

THAT the Mayor and Corporate Officer be authorized to execute the necessary documentation related to such encroachments;

THAT notice of disposition be issued in accordance with the *Community Charter*, if required;

AND THAT the report of the Manager, Public Realm Infrastructure, dated February 23, 2022, entitled “Encroachments on City Road Allowance”, remain in the Closed session.

**CARRIED UNANIMOUSLY**

21. Harry Jerome Community Recreation Centre Financial Strategy – Polygon Gallery Loan – File: 05-1660-02-0001/1

Report: Chief Financial Officer, February 28, 2022

Moved by Councillor McIlroy, seconded by Councillor Valente

PURSUANT to the report of the Chief Financial Officer, dated February 28, 2022, entitled “Harry Jerome Community Recreation Centre Financial Strategy – Polygon Gallery Loan”:

THAT a loan be authorized to the British Columbia Photography and Media Arts Society, doing business as The Polygon Gallery, for up to \$510,000 to replace the current loan guarantee and allow The Polygon Gallery to retire their existing debt with The Toronto Dominion Bank related to the construction of the Polygon Gallery;

THAT the Mayor and Corporate Officer be authorized to execute the required loan agreement and any related documentation;

*Continued...*

## **REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION) – Continued**

21. Harry Jerome Community Recreation Centre Financial Strategy – Polygon Gallery Loan – File: 05-1660-02-0001/1 – Continued

THAT notice of assistance to the Polygon Gallery be published in accordance with the requirements of the *Community Charter*;

AND THAT the report of the Chief Financial Officer, dated February 23, 2022, entitled “Harry Jerome Community Recreation Centre Financial Strategy – Polygon Gallery Loan”, remain in the Closed session.

**CARRIED UNANIMOUSLY**

22. Appointment to the Advisory Design Panel – File: 01-0360-20-0001/2022

Report: Corporate Officer, February 28, 2022

Moved by Councillor McIlroy, seconded by Councillor Valente

PURSUANT to the report of the Corporate Officer, dated February 28, 2022, entitled “Appointment to the Advisory Design Panel”:

THAT Sara Rasooli be appointed to the Advisory Design Panel, as the Public Art Representative, for the term commencing on March 7, 2022 and concluding on January 31, 2023;

AND THAT the report of the Corporate Officer, dated February 28, 2022, entitled “Appointment to the Advisory Design Panel”, remain in the Closed session.

**CARRIED UNANIMOUSLY**

## **ADJOURN**

Moved by Councillor Back, seconded by Councillor McIlroy

THAT the meeting adjourn.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 9:22 pm.

*“Certified Correct by the Corporate Officer”*

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CORPORATE OFFICER

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## Office of the Mayor

CITY OF NORTH VANCOUVER  
BRITISH COLUMBIA

# Proclamation

## HEALTH CARE, PUBLIC SAFETY AND ESSENTIAL SERVICE WORKERS APPRECIATION MONTH

*Whereas*

during this unprecedented and rapidly changing time, health care and essential service workers are on the front lines keeping our communities moving, caring for the ill, providing essential services and ensuring public safety;

*Whereas*

COVID-19 has reaffirmed the importance of the current role they play; and

*Whereas*

in recognition of the extraordinary measures being taken by health care, public safety and essential service workers, we would like to recognize these workers and thank them for their sacrifices and care;

*Now Therefore*

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **April 2022** as **Health Care, Public Safety and Essential Service Workers Appreciation Month** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, March 28, 2022

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Mayor Linda Buchanan



## Office of the Mayor

CITY OF NORTH VANCOUVER  
BRITISH COLUMBIA

# Proclamation

## AUTISM ACCEPTANCE MONTH

*Whereas*

the City of North Vancouver is a place where all people are welcomed, included, and celebrated; and

*Whereas*

1 in 37 Canadian children between 6 and 18 years of age have been diagnosed with autism; and

*Whereas*

knowledge promotes acceptance because it allows people to understand how to be more inclusive, and build more supportive experiences; and

*Whereas*

during the month of April, we strive to advance the inclusion and self-determination of people on the autistic spectrum, and advocate for more supports to ensure that each person with autism is able to reach their fullest potential;

*Now Therefore*

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **April 2022** as **Autism Acceptance Month** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, March 28, 2022

*Linda C. Buchanan*

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Mayor Linda Buchanan



# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8888

### A Bylaw to establish “Tree Bylaw, 2022, No. 8888”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Tree Bylaw, 2022, No. 8888”**.
2. Application
  - A. This Bylaw applies to trees on land throughout the City, but does not apply to a tree if the entire trunk of the tree is on a highway, or is on land zoned RS-1, RS-2, RS-4B, RT-1 or RT-2, or in a CD zone for which the permitted uses are based on any of the aforementioned zones.
  - B. This Bylaw only applies to trees having a DBH of 20 centimetres or more.
  - C. This Bylaw does not apply to trees on property if the City issues a building permit authorizing redevelopment of the property and either:
    - (1) A complete application for the building permit was submitted, with fees paid, before the date this Bylaw is adopted; or
    - (2) A complete zoning amendment or development permit application for the redevelopment was submitted, with fees paid, before the date this Bylaw is adopted and a complete application for the building permit is submitted, with fees paid, within 12 months of the date this bylaw is adopted,except that in either case, if the building permit expires or is cancelled or revoked, or when the construction authorized by the building permit is complete, then this Bylaw will apply to the property.

### 3. Definitions

In this Bylaw:

“Certified Arborist” means a trained arborist who has been certified and is in good standing with the International Society of Arboriculture (ISA).

“Certified Tree Risk Assessor” means a Certified Arborist with additional current training and certification in tree risk assessment determined by Worksafe BC.

“Critical Root Zone” is the area of soil immediately adjacent to the trunk where roots essential for tree health and stability are located (6 x DBH in cm), providing a radial zone extending from the tree.

“DBH” means diameter at breast height, measured 1.4 m above the highest immediately adjacent natural ground level.

“Director” means the City’s Director of Planning and Development, or any person acting in that person’s capacity or at that person’s direction.

“Hazardous Tree” means a tree which, due to structural defects or disease is likely to cause infrastructure damage or personal injury; identified in writing by a “Certified Tree Risk Assessor” as having defects sufficient to significantly increase the likelihood that all or part of the tree will fail.

“Owner” means the registered owner of land or, in the case of land that is shown as common property on a strata plan, the strata corporation.

“Permitted Building Envelope” means any part of a parcel that, under the City’s zoning bylaw, may be occupied by buildings or structures.

“Shared Tree” means a tree whose trunk is straddling the boundary between a parcel, and any other land that is not part of the parcel.

“Supportive Guidelines” means the most current version of the Tree Care Industry Association’s ANSI A300 standards.

“tree” means a woody perennial plant having one or more stems, with at least one stem having a diameter of 10 centimeters or more, measured at 1.3 metres above the natural grade on the uphill side of the tree, and includes the Critical Root Zone.

#### 4. Prohibition and Exemption

A. Except as specifically authorized by a permit issued under this Bylaw, or by a development permit issued by the City, no person shall:

- (1) Cut, remove or damage a tree, or any part of a tree;
- (2) Cause or allow a tree or any part of a tree to be cut, removed or damaged;
- (3) Take, cause or allow any other action likely to compromise the health or structural integrity of a tree.

B. Section 4.A does not apply:

- (1) To the pruning of a tree, carried out in accordance with sound arboricultural practice and the American National Standards Institute (ANSI) A300 and the latest edition of the companion publication “Best Management Practices – Tree Pruning”, published by the International Society of Arboriculture;
- (2) To the cutting or removal of tree that, due to natural causes only, presents an imminent danger to persons or property, in which case the Owner may cut the tree, but shall report the cutting to the Director within the next business day along with at least one photograph of the tree prior to such cutting, and shall not remove the tree until authorized to do so by the Director;

- (3) To the cutting or removal of a tree that has been specifically authorized following an application made under the City's "Tree Policy for the Management of Trees on City Property", or any other policy addressing the same subject matter and adopted for the same purpose.
  - C. Trees cut under the authority of section 4.B(2) must be replaced, with security provided, as if the tree was cut pursuant to a permit under this Bylaw.
5. Application for Tree Cutting or Removal Permit
- A. An Owner, or a person acting on behalf of the Owner with written authorization of the Owner, may apply to the Director for a permit to cut or remove a tree by paying the non-refundable application fee set out in Schedule A to this Bylaw and providing all of the following information:
    - (1) The civic address and legal description of the parcel where the tree or trees are located;
    - (2) A site plan or survey showing:
      - (a) Parcel lines and easements or rights of way;
      - (b) The location of all existing trees, including Shared Trees, on the parcel;
      - (c) Buildings and structures;
      - (d) Hard surface landscaping or pathways;
      - (e) Underground and above ground utilities and infrastructure;
    - (3) Statement of purpose and intent for tree removal, method of removal, and proposed dates for removal, excavation, and replacement;
    - (4) If the application is to cut or remove a Shared Tree, written consent from every Owner of property on which any part of the trunk of the tree is located;
    - (5) An arborist report prepared by a Certified Arborist that includes photographs of all trees on the site specifies:
      - (a) The location, size, and health of trees to be cut or removed,
      - (b) Health of trees in proximity to trees being cut or removed;
      - (c) The extent of disturbed soil, on private and public land;
    - (6) A tree protection plan showing the location of all trees on the land that are not proposed for cutting or removal, their tree protection zones, recommended protection measures, the location of tree protection fencing, any specifying any further requirements to ensure compliance with the Supportive Guidelines;

- (7) A tree replacement plan specifying:
    - (a) The location, species, caliper, and clearance of all replacement trees, to be planted, and distance to any nearby buildings or structures;
    - (b) Accessible soil volume;
    - (c) An irrigation plan for all replacement trees;
  - (8) The name of any company or individual who will do any work to be authorized by the permit, and proof that such company or individual is properly qualified and insured;
  - (9) Any further information the Director reasonably requires to decide whether or not to issue the permit, and what conditions, if any to include in the permit.
- B. The City may retain an independent arborist to review information submitted as part of a permit application, and the original reports/plans are determined to be incomplete or inaccurate, the costs of an independent arborist's report under this section will be paid by the applicant prior to issuance of tree removal permit.

## 6. Tree Removal Permits

- A. If a tree is located on a parcel that is the subject of an active building permit application, the Director may only issue a permit authorizing the cutting or removal of the tree if it is:
- (1) Located within the Permitted Building Envelope;
  - (2) Located such that the retention of the tree would, in the opinion of the Director having regard to site planning, architecture, engineering, cost of construction or other matters the Director considers relevant, place unreasonable constraints on development of the parcel to its permitted density, in accordance with any approved site plans;
  - (3) Within an area required to provide access during the construction of a proposed building or structure, and for this purpose the Director must rely on the determination of the City's Chief Building Official;
  - (4) Dead, dying, or hazardous, as confirmed in writing by a Certified Arborist;
  - (5) Directly interfering with utility wires, and not amenable to pruning to address the interference without compromising the health of the tree, as confirmed in writing by a Certified arborist; or,
  - (6) Directly blocking or interfering with sewer or drainage systems, as certified by an accredited plumber or civil engineer.
- B. Before issuing a permit under section 6.A(1), (2) or (3), the Director must consider whether the proposed cutting or removal could be avoided by the issue of a development variance permit under s. 498 of the *Local Government Act*.

- C. If a tree is located on a parcel that is not the subject of an active development permit or building permit application the Director may only issue a permit for the cutting or removal of the tree if it is:
- (1) Dead, dying, or hazardous, as confirmed in writing by a Certified Arborist;
  - (2) Directly interfering with utility wires, and not amenable to pruning to address the interference without compromising the health of the tree, as confirmed in writing by a Certified Arborist; or,
  - (3) Directly blocking or interfering with sewer or drainage systems, as certified by an accredited plumber or civil engineer.

## 7. Tree Replacement and Compensation

- A. Every person who cuts or removes a tree pursuant to a permit issued under this Bylaw shall within 6 months following the issuance of the permit or within such other time as may be specified by the Director, plant replacement trees on the same parcel as the parcel from which the trees are being cut or removed, as follows (and every such tree is, for the purpose of this Bylaw, a “replacement tree”):
- (1) 1 replacement tree for each dead, dying, or Hazardous Tree that is cut or removed;
  - (2) 3 replacement trees for each tree other than a dead, dying or Hazardous Tree that is cut or removed;
  - (3) Additional replacement trees if the applicant is seeking a reduction in the ecological compensation fee under section 7.G below.
- B. Except as may be required or authorized by the Director, having regard to the size, health and species of the tree being replaced, or based on the recommendations of a Certified Arborist, at least one replacement tree must be a conifer, and the caliper for a replacement tree must be at least 5 cm.
- C. Replacement trees shall be planted under the direction and supervision of a Certified Arborist or landscape architect retained by the applicant, and in accordance with the Supportive Guidelines.
- D. If, in the opinion of a Certified Arborist, the parcel from which trees are being cut or removed cannot accommodate some or all of the required replacement trees, the applicant shall pay cash-in-lieu to the City in the amount set out in Schedule A to this Bylaw.
- E. The permit holder shall maintain replacement trees for two years from the date of planting, or such longer period as the Director may order having regard to the species and size of the tree and the location where it is to be planted (the “maintenance period”), but in no case shall the maintenance period for a replacement tree be longer than 4 years.

- F. If a replacement tree does not survive the maintenance period the permit holder shall, as soon as possible, replace the tree with another replacement tree approved by the Director in the same manner as a replacement tree under s. 7.A., and subject to a further maintenance period in accordance with s. 7.E.
- G. The Director must not issue a permit under 6. A. (1), (2), or (3) unless the applicant first pays to the City the ecological compensation fee, as set out in Schedule A to this Bylaw, for every tree to be cut or removed pursuant to the permit, except that the ecological compensation fee shall be reduced by \$750 for each additional replacement tree the applicant agrees to plant.

## 8. Permit Conditions

- A. The Director must not issue a permit unless the applicant:
  - (1) Posts security for every replacement tree to be planted, in the amount set out in Schedule A to this Bylaw, with the security to be returned to the person who provided it only if, at the end of the maintenance period, the Director is satisfied the tree(s) is healthy, and otherwise the security shall be forfeited to the City; and,
  - (2) Pays to the City the inspection fee set out in Schedule A to this Bylaw, to cover the City's costs of carrying out inspections to determine whether replacement trees have survived the maintenance period.
- B. The Director may make permits subject to such other conditions as the Director deems advisable to protect other trees, vegetation, soils, watercourses, habitat, or municipal works, or for the health, safety or convenience of neighbours or other members of the community, including any of the following conditions:
  - (1) Conditions to minimize disturbance of or damage to bird nests;
  - (2) Each tree to be cut or removed shall be clearly identified with a mark of highly visible paint;
  - (3) Public notice of a permit posted on the parcel at least 2 days before trees are to be removed;
  - (4) A tree protection barrier around the Critical Root Zone of all retained trees identified in the tree protection plan;
  - (5) Tree parts and wood waste shall be properly disposed of by chipping or removal from the site;
  - (6) All watercourses, waterworks, ditches, drains, sewers, or other established drainage facilities shall be kept free of all wood waste arising from or caused by tree cutting or removal activities.

9. Right to Reconsideration by Council

- A. A person dissatisfied with the Director's decision to refuse a permit, or include a condition in a permit, may appeal the decision to council by delivering written notice to the City Clerk within 14 calendar days of the decision, with the notice to include a brief explanation of the basis for the appeal, and any further information the Clerk considers necessary to assist council in making a decision on the appeal.
- B. The Clerk will:
  - (1) Provide Council with copies of any notice delivered under s. 19, together with copies of the original tree removal permit application and the Director's reasons, if any were provided to the applicant, for the refusal or condition that is the subject of the appeal; and,
  - (2) Place the matter on an agenda for Council's consideration as soon as is reasonably possible.

10. Enforcement and Penalties for Contravention

- A. Every person who violates a provision of this Bylaw, or who consents, allows or permits an act or thing to be done in violation of a provision of this Bylaw, or who neglects to or refrains from doing anything required to be done by a provision of this Bylaw, is guilty of an offence and is liable to the penalties imposed under this Bylaw, and is guilty of a separate offence each day that a violation continues to exist.
- B. Every person who commits an offence is liable on summary conviction to a fine to imprisonment, or to both a fine and imprisonment, to a maximum of \$50,000 in fines or 6 months incarceration as authorized by the Community Charter.
- C. If a person cuts, removes or damages or causes or allows a tree to be cut, removed or damaged other than as authorized by this Bylaw or a permit issued under this Bylaw, the Director or a Bylaw enforcement officer may impose, in writing, a requirement that the person do one or both of the following, by a specified date:
  - (1) Pay a fee equal to 250% of the Ecological Compensation Fee for every tree that has been cut, removed or damaged;
  - (2) Plant replacement trees that would be required under section 7, plus at least two additional replacement trees, with the type, caliper and location of the replacement trees, and any other requirements in respect of the replacement trees, to be determined either by the Director or, at the Director's discretion, by a Certified Arborist hired at the expense of the person who is subject to the requirement.

- D. If a person fails to plant trees in accordance with a requirement imposed under section 7, the City may, by its employees or others, at least 7 days after giving a further written notice of the requirement imposed under section 7, enter on land and fulfill the requirement at the expense of the Owner, and the City may recover its costs as special fees, including in the same manner as property taxes, under Division 14 of Part 7 of the *Community Charter*.

READ a first time on the 28<sup>th</sup> day of February, 2022.

READ a second time on the 28<sup>th</sup> day of February, 2022.

READ a third time on the 28<sup>th</sup> day of February, 2022.

RESCINDED third reading on the 7<sup>th</sup> day of March, 2022.

READ a third time, as amended, on the 7<sup>th</sup> day of March, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

---

CORPORATE OFFICER



**SCHEDULE A  
FEES AND SECURITY AMOUNTS**

<b>Type of Fee or Charge</b>	<b>Amount</b>
Application Base Fee + Tree Removal Fee (per tree removed)	\$175 + \$75
Inspection Fee	\$130 (per site)
Replacement Tree Security	\$975 (per tree)
Tree replacement cash in lieu	\$750 (per tree)
Ecological compensation fee	\$1500 (per tree)

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8895

**A Bylaw to amend “Bylaw Notice Enforcement Bylaw, 2018, No. 8675”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Bylaw Notice Enforcement Bylaw, 2018, No. 8675, Amendment Bylaw, 2022, No. 8895” (Tree Bylaw)**.
2. “Bylaw Notice Enforcement Bylaw, 2018, No. 8675” is amended as follows:
  - A. In Schedule “A” – Designated Bylaw Contraventions and Penalties for Bylaw Contraventions, by adding with the following table:

<b>“Tree Bylaw, 2022, No. 8888”</b>						
<b>Description</b>	<b>Section</b>	<b>A1 Compliance Agreement Available</b>	<b>A2 Penalty</b>	<b>A3 Early Payment Penalty</b>	<b>A4 Late Payment Penalty</b>	<b>A5 Compliance Agreement Discount</b>
Cut, remove or damage a tree, or any part of a tree	4 (a)	No	\$450	\$400	\$500	n/a
Cause or allow a tree or any part of a tree to be cut, removed or damaged	4 (b)	No	\$450	\$400	\$500	n/a
Take, cause or allow any other action likely to compromise the health or structural integrity of a tree	4 (c)	No	\$450	\$400	\$500	n/a

READ a first time on the 28<sup>th</sup> day of February, 2022.

READ a second time on the 28<sup>th</sup> day of February, 2022.

READ a third time on the 28<sup>th</sup> day of February, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8897

**A Bylaw to amend “Fees and Charges Bylaw, 1993, No. 6383”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Fees and Charges Bylaw, 1993, No. 6383, Amendment Bylaw, 2022, No. 8897” (Tree Bylaw)**.
2. “Fees and Charges Bylaw, 1993, No. 6383” is amended by adding a new “Schedule E – Schedule of Tree Bylaw Fees”, as attached to this bylaw.

READ a first time on the 28<sup>th</sup> day of February, 2022.

READ a second time on the 28<sup>th</sup> day of February, 2022.

READ a third time on the 28<sup>th</sup> day of February, 2022.

ADOPTED on the <> day of <>, 2022.

---

MAYOR




---

CORPORATE OFFICER

**SCHEDULE E  
SCHEDULE OF TREE BYLAW FEES**

<b>PERMIT FEES:</b>		
Application Base Fee + Tree Removal Fee	\$175 + \$75	per tree removed
Inspection Fee	\$130	per site visit
Replacement Tree Security	\$975	per tree replaced
Tree Replacement Cash-in-Lieu	\$750	per tree removed
Ecological Compensation	\$1500	per tree removed



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Huy Dang, Planner 1

Subject: DISCHARGE OF DEVELOPMENT COVENANT FOR 976 CLOVERLEY STREET

Date: March 16, 2022 File No: 08-3060-20-0300/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 1, dated March 16, 2022, entitled  
“Discharge of Development Covenant for 976 Cloverley Street”:

THAT Council authorize the discharge of Covenant BB4068635 and the related  
priority agreement BB4068636 from title for the property located at 976 Cloverley  
Street, in order to allow for the development of an Accessory Coach House;

AND THAT the Mayor and the Corporate Officer be authorized to sign the necessary  
documentation to give effect to this motion.

**ATTACHMENTS**

1. Development Covenant (CityDocs [2153599](#))
2. Council Report, March 10, 2014, Development Variance Permit No. DVP2013-0003  
(976 Cloverley Street) (CityDocs [1156496](#))

**SUMMARY**

This report presents a request to discharge a covenant on title for the property at 976  
Cloverley Street, in order to allow for the development of an Accessory Coach House. The  
subject covenant currently prohibits residential uses within any Accessory Building on the  
property, which would include an Accessory Coach House use. This restriction is  
inconsistent with the City's current regulations, which now permits Accessory Coach House  
uses for One-Unit Residential 1 (RS-1) zones through a Development Permit.

## BACKGROUND

On March 10, 2014, Council had approved a Development Variance Permit (DVP) application to permit an 83.6 square metres (900 sq. ft.) two-storey garage for the property at 976 Cloverley Street. The One-Unit Residential 1 (RS-1) zoning at the time restricted Accessory Buildings, which includes garages, to one-storey with a potential cellar, up to a combined floor area of 55.7 square metres (600 sq. ft.). The respective DVP varied the zoning to permit the two-storey build and a 'redistribution' of the site's available Gross Floor Area (GFA) to accommodate the additional Accessory Building floor area, while still complying with the site-wide GFA requirements. Given that the original proposal was to develop the garage, as part of a condition of the DVP's issuance, council had resolved to register a covenant on title specifically prohibiting any residential use of that garage and any other Accessory Buildings on the property.

## DISCUSSION

The wording of that particular covenant condition, as per Section 2(a) of attachment #1, reads as follows: *"notwithstanding anything to the contrary in the Zoning Bylaw, no Residential Use shall be permitted in any Building, Accessory constructed on the Lands;"*.

The applicant has now applied for a Building and Development Permit for an Accessory Coach House in place of the existing two-storey garage, along with a formal request to have the subject covenant discharged in order to permit the development.

When the covenant was put in place alongside the approved DVP in 2014, the City had not yet formalized its Accessory Coach House Development Permit Guidelines to provide clear direction on coach house use and design potential throughout the city. Now with our well-established guidelines and zoning bylaw provisions, the development of coach houses throughout the city has been trending upwards annually, and have provided much-needed rental units to our neighbourhoods. Many of these applications include proposals to convert existing garages, and staff believe that same opportunity should be given to this property owner.

## CONCLUSION

Staff are supportive of discharging this covenant in order to permit the conversion of the existing garage to an Accessory Coach House, which is a zoning- and OCP-compliant use for the RS-1 lot, and provides an additional rental unit to the property.

## NEXT STEPS

If the discharge of this covenant is approved, staff will proceed with the standard reviews for the applicant's proposed coach house development after the covenant is formally discharged. The review will ensure the coach house complies with B.C. Building Code, the City's Zoning Bylaw and Accessory Coach House Development Permit Guidelines, and a Development Permit will be issued on title to permit this accessory residential use before a Building Permit is issued for construction.

RESPECTFULLY SUBMITTED:

  
Hay Wang  
Planner 1



LAND TITLE ACT

FORM C-10

(Section 233)

BB4068635

29 APR 2014 12 40

BB4068636

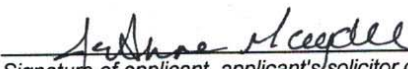
Province of  
British Columbia**GENERAL INSTRUMENT - PART 1**

(This area for Land Title Office Use)

PAGE 1 of 9 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

JoAnne Magdee, The Corporation of the City of North Vancouver, 141 West 14<sup>th</sup> Street,  
North Vancouver, B.C. V7M 1H9, 604-990-4239

  
Signature of applicant, applicant's solicitor or agent

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:\*

(PID)

(LEGAL DESCRIPTION)

016-318-170

LOT19, BLOCK 2, DISTRICT LOT 272, PLAN 3875

3. NATURE OF INTEREST:\*

DESCRIPTION

CHARGE NO.

ADDITIONAL INFORMATION

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only):

(a) Filed Standard Charge Terms

☐

D.F. Number:

(b) Express Charge Terms

☒

Annexed as Part 2

(c) Release

☐

There is no Part 2 of this instrument

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S):\*

**LANE DU TOIT**

1861 Westover Road  
North Vancouver, BC  
V7J 1X7

**ANTONETTE LOUISE DU TOIT**

1861 Westover Road  
North Vancouver, BC  
V7J 1X7

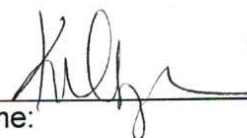
6. TRANSFEREE(S): (including postal address(es) and postal code(s))\*

**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**, a municipal corporation under the *Local Government Act* having its municipal officers and postal address 141 West 14<sup>th</sup> Street, North Vancouver, British Columbia, V7M 1H9

7. ADDITIONAL OR MODIFIED TERMS:\*

N/A

8. EXECUTION(S):\*\* This instrument creates, assigns, modifies, enlarges, discharges, or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.


  
Name:

(as to both signatures)

**KERRY MORGAN**  
Notary Public  
#108 - 120 West 16th Street  
North Vancouver, BC V7M 3N6  
Tel: 604-904-2099

Attested to only  
No legal advice sought or given  
Document not prepared

Officer Signature(s) **Kerry Morgan, Notary Public**

  
Name:

**Ian D. Steward**  
A COMMISSIONER FOR TAKING  
AFFIDAVITS WITHIN BRITISH COLUMBIA  
141 West 14<sup>th</sup> Street  
North Vancouver, BC V7M 1H9  
604-983-7358 June 30, 2016

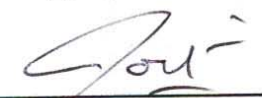
(as to both signatures)

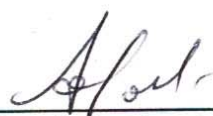
## EXECUTION DATE

Y	M	D
14	04	15
14	04	29

## Party(ies) Signature(s)

(Transferor) by its authorized signatory(ies):

  
Lane du Toit

  
Antonette Louise du Toit

**THE CORPORATION OF THE CITY OF NORTH VANCOUVER** by its authorized signatory(ies):

  
Darrell R. Mussatto – Mayor

  
Karla Graham – City Clerk

## OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c. 124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

\* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

\*\* If space insufficient, continue executions on additional page(s) in Form D.

LAND TITLE ACT  
FORM E

SCHEDULE

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD  
TRANSFER FORM, MORTGAGE FORM OR GENERAL DOCUMENT FORM.

3. NATURE OF INTEREST:		
DESCRIPTION	DOCUMENT REFERENCE (page and paragraph)	PERSON ENTITLED TO INTEREST
Covenant	Pages 5 to 6	Transferee
Priority Agreement	Page 9	



**DEVELOPMENT COVENANT**

- A. (i) the Transferor, **Lane du Toit and Antonette Louise du Toit** are called the "**Owner**"; and
- (ii) the Transferee, the City of North Vancouver, is called the "**City**" when referring to the corporate entity and the "**City of North Vancouver**" when referring to the geographic location;
- B. The Owner is the registered owner of Lands;
- C. As a condition of the enactment of the Zoning Bylaw, the Owner is required to grant this covenant to the City and the Owner has agreed to do so; and
- D. Section 219 of the *Land Title Act* R.S.B.C. 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on the land and that land is or is not to be built on except in accordance with the covenant.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the premises, covenants and agreements herein contained and the sum of \$10.00 now paid by the City to the Owner, and other good and valuable consideration (the receipt and sufficiency of which are hereby acknowledged by the Owner) the parties hereto hereby covenant and agree as follows:

**1. DEFINITIONS**

In this Agreement, the following terms have the following meanings:

- (a) "**Building**" means a single family residence constructed on the Lands;
- (b) "**Building, Accessory**" has the meaning set out in the Zoning Bylaw;
- (c) "**Lands**" means those lands and premises legally described in Item 2 of the Form C General Instrument Part 1 to which these Terms of Instrument are attached and any part or parts into which the Lands are divided or subdivided;
- (d) "**Plans**" means the plans, drawings and specifications and other documents in respect of the Project which were submitted to the City and presented at the public hearing held in respect of the Development Variance Permit including those described in Schedule "A", together with such further modifications as may be approved by the City's Director of Community Development from time to time at his sole discretion;
- (e) "**Project**" means building a single family residence on the Lands, together with any landscaping, parking and services required by the City;
- (f) "**Residential Use**" has the meaning set out in the Zoning Bylaw;
- (g) "**Zoning Bylaw**" means Zoning Bylaw, 1995, No 6700.

## 1.2 Schedules

The following schedules are attached to and form part of this Agreement:

- (a) Schedule A - Plans

## 2. SECTION 219 COVENANT

The Owner hereby covenants and agrees with the City, as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, it being the intention and agreement of the Owner that the provisions hereof be annexed to, and run with and be a charge upon the Lands, that the Lands shall be used and built on only in strict compliance with the terms and conditions of this Agreement and that:

- (a) notwithstanding anything to the contrary in the Zoning Bylaw, no Residential Use shall be permitted in any Building, Accessory constructed on the Lands;
- (b) the Owner does hereby waive, remise and release absolutely any and all claims against the City, its officials, officers, employees, agents, nominees and delegates for costs, expenses and damages which may derive from the withholding of any permit or approval under this Agreement.

## 2. REGISTRATION

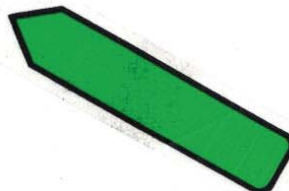
The Owner agrees to do everything necessary to ensure that this Agreement is registered against title to the Lands with priority over all financial charges, liens and encumbrances that are registered, or the registration of which is pending at the time of the application for registration of this Agreement, except those in favour of the City and those specifically approved in writing by the City.

## 3. SEVERANCE

If any portion of this Agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this Agreement.

## 4. RUNS WITH THE LANDS

The covenants set forth herein shall charge the Lands pursuant to section 219 of the *Land Title Act* and shall run with the Lands and bind the Lands and every part or parts thereof, and shall attach to and run with the Lands and each and every part to which the Lands may be divided or subdivided, whether by subdivision plan, strata plan or otherwise howsoever. The covenants set forth herein shall not terminate if and when a purchaser becomes the owner in fee simple of the Lands or any part of them, but shall charge the whole of the interest of such purchaser and shall continue to run with the Lands and bind the Lands and all future owners of the Lands and any part of them, until discharged.





**5. LIMITATION ON OWNERS OBLIGATIONS**

- (a) The parties agree that a condition of the sale of the Lands, from time to time, shall be that the purchaser or purchasers thereof shall covenant in writing to be bound by and to observe and perform each and every term, covenant and condition of this Agreement applicable to the Owner
- (b) The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered owner of the Lands.

**6. INTERPRETATION**

Wherever the singular or masculine is used in this Agreement, the same shall be construed as meaning the plural, the feminine or body corporate where the context or the parties thereto so required.

**7. BYLAW TO THE CONTRARY**

This agreement shall restrict the use of the Lands in the manner provided herein notwithstanding any right or permission to the contrary contained in any bylaw of the City.

**8. FURTHER ASSURANCES**

The parties hereto shall execute and do all such further deeds, acts, things and assurances that may be reasonably required to carry out the intent of this Agreement.

**9. WAIVER**

Waiver by the City of a default by the Owner shall be in writing and shall not be deemed to be a waiver of any subsequent or other default

**10. NO DEROGATION**

Nothing contained or implied herein shall derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Community Charter* and the *Local Government Act*, or any other Act of the legislature of British Columbia, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, bylaws, orders and regulations, all of which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this agreement had not been executed and delivered by the Owner and the City.

**11. REFERENCES**

Every reference to each party is deemed to include the heirs, executors, administrators, personal representatives, successors, assigns, servants, employees, agents, contractors, officers, licensees and invitees of such party, wherever the context so requires or allows.

**12. ENUREMENT**

This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

**13. EXECUTION**

By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal.

As evidence of their agreement to be bound by the terms of this instrument, the parties each have executed and delivered this Agreement under seal by executing Part 1 of the Land Title Act Form C to which this Agreement is attached and which forms part of this Agreement.

**IN WITNESS OF THIS AGREEMENT** the parties have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

**SCHEDULE A**

Designer	Project Name	Sheet #	Sheet Name	Sheet Date
L. Du Toit	976 Cloverley Street	P1	Property Plan	21-May-2013
L. Du Toit	976 Cloverley Street	P2	Elevations	21-May-2013
L. Du Toit	976 Cloverley Street	P3	Elevations	21-May-2013
L. Du Toit	976 Cloverley Street	P4	Garage and Storage Room – Top Floor Plan	21-May-2013
L. Du Toit	976 Cloverley Street	P5	Garage and Storage Room – Lower Floor Plan	21-May-2013
L. Du Toit	976 Cloverley Street	P6	Section A-A	21-May-2013
L. Du Toit	976 Cloverley Street	P7	Interior Section B-B	21-May-2013



### **PRIORITY AGREEMENT**

Lane du Toit and Antonette du Toit (collectively, the "Chargeholders") are the holder of a mortgage encumbering the Lands which mortgage was registered in the Lower Mainland Land Title Office on February 24, 2005 under No. BX415063 (the "Charge").

The Chargeholders, being the holders of the Charge, by signing the Form C – General Instrument attached hereto as Part 1, hereby join in and consent to the granting of these Section 219 covenant (the "Encumbrance") and hereby covenant that the Encumbrance shall bind the Charge in the Lands and shall rank in priority to the advance of any monies pursuant to the Charge. The grant of priority is irrevocable, unqualified and without reservation or limitation.



**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER, CITY HALL, 141 WEST 14<sup>th</sup> STREET, NORTH VANCOUVER, BC, ON MONDAY, MARCH 10, 2014.**

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**MOTIONS AND NOTICES OF MOTION**

**6. Development Variance Permit No. DVP2013-00003 (976 Cloverley Street)  
- File: 3090-20 DVP2013-00003 – 976 Cloverley St**

Moved by Councillor Keating, seconded by Councillor Clark

**THAT** Development Variance Permit No. DVP2013-00003 (976 Cloverley Street) be issued to Lane and Antonette Louise Du Toit, in accordance with Section 922 of the *Local Government Act*;

**THAT** as a condition of issuance of DVP2013-00003 a covenant be registered to title prohibiting the residential use of the garage;

**AND THAT** the Mayor and City Clerk be authorized to sign and seal Development Variance Permit No. DVP2013-00003.




A recorded vote was taken on the motion.

Voting in favour:   Councillor Bell  
                          Councillor Clark  
                          Councillor Heywood  
                          Councillor Keating  
                          Mayor Mussatto

Voting against:     Councillor Bookham

The motion was **CARRIED** by a vote of 5 to 1.



 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**ENGINEERING PARKS & ENVIRONMENT**

**REPORT**

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To: Mayor Linda Buchanan and Members of Council

From: Derek Priestley, Section Manager, Park Operations

Subject: POTENTIAL TEMPORARY LOCATION OF SKATEBOARD AMENITY

Date: March 24, 2022 File No: 01-0110-01-0001/2022

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*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Section Manager, Park Operations, dated March 24, 2022, entitled "Potential Temporary Location of Skateboard Amenity":

THAT staff be directed to investigate a temporary skateboard amenity within Mahon Park;

THAT staff be directed to work with members of the skate community to develop design options for a temporary skateboard amenity;

AND THAT the amount of \$175,000 be reallocated from the Centennial Theatre Power Modifications Project (45340) to fund the temporary skateboard amenity project.

**SUMMARY**

The purpose of this report is to direct staff to begin work with the skateboard community to determine if the site located at Mahon Park can house a temporary skateboard park during the construction of the Harry Jerome Community Recreation Centre and to allocate a budget for design and construction of the skatepark amenities.

**BACKGROUND**

The City recognizes the importance of the existing skatepark areas in our community for those that enjoy it, especially young people. It is also recognized that many users will be impacted by the temporary closure of the existing skatepark at Lonsdale Avenue and East 23<sup>rd</sup> Street while we are building the new skatepark at the Harry Jerome Community

Recreation Centre (HJCRC). As such, this report considers designating a space within Mahon Park for a temporary skatepark.

## **New Skatepark at HJCRC**

The skatepark is a key component of the new HJCRC.

- It is connected to the Centre's youth spaces and open to users of all ages and abilities.
- Design of the new skatepark was developed through a series of public design workshops with stakeholders, users and industry experts.
- A meeting is being planned to present the design to and hear feedback from the community.
- Budget for the new HJCRC skatepark is \$1.2 million.
- The new skatepark is to be delivered in 2025 with completion of the new HJCRC.

## **Construction/Closure**

As the largest project in the City's history, in late 2018 Council instructed staff to work on cost containment mechanisms for the construction of the recreation centre and related projects, as well as ways to minimize the financial risk to taxpayers.

As such, in 2019, after completion of the Recreation Strategy, the Harry Jerome Community Recreation Centre capital program was adjusted to reduce overall costs. This strategy guided recommendations to lower construction costs through the prioritization of permanent infrastructure, as well as overall resident needs. At that time, approximately \$27 million in adjustments were made.

Staff explored alternative timelines to keep this area open; however, as the aquatics component is the most complex with the most significant excavation needs, this area needs to be demolished, excavated and constructed first in order for the overall project to remain on track.

The northwest corner, where the current skatepark is located, is the site of the future aquatics facility. This location was most suitable for the aquatics component of the facility due to the grades on the site and the depth required for aquatics infrastructure.

Subsequent to these capital changes, the agreement for phase 2 of the adjacent Neighbourhood Lands was terminated, creating an opportunity for Council to keep the current recreation centre open during construction of the new centre. Keeping the centre open; however, will create space issues on site, with no available locations to add a temporary skatepark.

The City is committed to starting construction of the new HJCRC and its skatepark as soon as possible to mitigate potential cost increases associated with delays, inflation and unpredictable construction market.

## **Alternate locations for Skateboard park users**

There are other skatepark resources on the North Shore including Kirkstone, Parkgate, Peter Sullivan Skatepark (formerly Ambleside) and the Griffin Bowl. All of these skateparks will be available during the construction period.

The City and North Vancouver Recreation and Culture (NVRC) staff are in the process of exploring additional/interim options in the City. Through early conversations, staff have identified a potential location at Mahon Park. This temporary location would be smaller in scale and in place during the construction of HJCRC.

## **Site Context and Surrounding Use**

The potential location, identified below, is situated in Mahon Park. The approximate size is 600m<sup>2</sup>. Located nearby are basketball courts and pickle ball courts. This proposed location is adjacent a thick forest wall to reduce noise, and is recessed deep enough into the park so that there is a generous amount of park space between the closest residential neighbours in order to buffer skatepark noise.

In order for this site to be prepared, the following steps would need to be taken:

1. City Park Planning and Operations staff to consult and work through a design process with key stakeholders from the HJCRC project and the skate community;
2. Site analysis with the skate community to review opportunities and constraints of the selected location;
3. Development of the design layout with potential to repurpose features from the existing skatepark; and
4. Report to Council with the design plan and timeline for implementation, with the goal of delivering useable space as soon as possible.



*Aerial photo of proposed temporary skatepark location within Mahon Park*

## **FINANCIAL IMPLICATIONS**

The source of funding for this project is proposed to be \$175,000 from the Centennial Theatre Site Power Modifications Project. This project is near completion and is under budget. The total budget of the power project was \$338,172, and is currently on track for completion at \$163,000. A recommendation transferring the remaining funds to this new project is included for Council's consideration.

## **INTER-DEPARTMENTAL IMPLICATIONS**

This report has been developed in consultation with the Strategic & Corporate Services Department and the Finance Department.

## **STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS**

The temporary skateboard amenity will contribute to health and wellness opportunities within our community, inspiring residents to be active and connected to their community throughout their life.

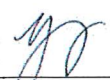


RESPECTFULLY SUBMITTED:

A handwritten signature in black ink, appearing to read "Derek Priestley", is written over a horizontal line.

Derek Priestley  
Section Manager, Park Operations





 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Emma Chow, Planner 2

Subject: ZONING BYLAW AMENDMENT FOR 149 WEST 3<sup>RD</sup> STREET (ANTHEM SUNSHINE DEVELOPMENTS)

Date: February 16, 2022 File No: 08-3400-20-0022/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 2, dated February 16, 2022, entitled "Zoning Bylaw Amendment for 149 West 3rd Street (Anthem Sunshine Developments)":

THAT the application submitted by Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, to rezone the property at 149 West 3<sup>rd</sup> Street from Special Commercial (CS-3) Zone to Comprehensive Development (CD-744) Zone, be considered and no Public Hearing be held, in accordance with the Local Government Act;

THAT notification be circulated in accordance with the *Local Government Act*,

AND THAT the community benefits listed in the report section "Density Bonus and Community Benefits" be secured, through agreements at the applicant's expense and to the satisfaction of staff.

**ATTACHMENTS**

1. Context Map (CityDocs [2143145](#))
2. Architectural Plans, dated February 3, 2022 (CityDocs [2144054](#))
3. Landscape Plans, dated February 3, 2022 (CityDocs [2144331](#))
4. Public Consultation Summary (CityDocs [2143213](#))
5. Sustainability Checklist (CityDocs [2143141](#))
6. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8894" (CityDocs [2144781](#))

## SUMMARY

This report presents, for Council consideration, a rezoning application for 149 West 3<sup>rd</sup> Street to permit a 5-storey mixed-use commercial and strata residential development.

## BACKGROUND

Applicant:	Alexander Wright, Anthem Sunshine Development Limited Partnership
Architect:	Steve McFarlane, McFarlane Biggar Architects + Designers Inc
Official Community Plan Designation:	Mixed Use Level 3 (MU3)
Existing Zoning:	CS-3 (Special Commercial)
Applicable Guidelines:	N/A

## DISCUSSION

### Site Context and Surrounding Use

The subject site is located in the Lower Lonsdale neighbourhood, on the south side of West 3<sup>rd</sup> Street between Chesterfield and Lonsdale avenues. The site is within close proximity to the shops, services and public transit of the Lonsdale corridor.

The site is approximately 53.3 metres (175 feet) wide by 36.5 metres (120 feet) deep and 1,948 square metres (20,973 square feet) in area. The site currently contains a 1-storey commercial building with four tenants: three restaurants and one grocery store.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North	116-160 W 1 <sup>st</sup> St; 310 Chesterfield Ave	2- to 7-storey mixed-used (ground floor commercial, residential above); 1-storey convenience store	CS-3; CD-508; CD-064-CD-345
South	120-170 W 2 <sup>nd</sup> St	5- to 28-storey apartment residential	LL-5; CD-344
East	125 W 1 <sup>st</sup> St	4-storey mixed-used (ground floor commercial, residential above);	CD-310
West	175 W 1 <sup>st</sup> St	5-storey mixed-used (ground floor commercial, residential above);	CD-681



## Policy Context

The site and surrounding areas to the north, east and west have an Official Community Plan (OCP) land use designation of Mixed Use Level 3, which allows for higher density multi-family and commercial uses to strengthen major arterials and corridors. The area to south of the site has a land use designation of Mixed Use Level 4A, which allows for high density development.

The OCP designation of the site allows for a density of up to 2.8 FSR and a maximum height of 16 metres (52.5 feet).

## Project Description

The proposal is for a 5-storey mixed-use building with commercial use at ground level and four levels of strata residential above. Parking access is provided off the rear lane. The following table provides an overview of the proposed development:

**Table 2: Development Proposal Overview**

Element	Proposal
Density	2.8 FSR
Commercial Space	Total of 583.1 square metres (6,276 square feet) or 0.3 FSR
Unit Mix	57 residential strata units, including: <ul style="list-style-type: none"><li>• 8 studio units;</li><li>• 20 one-bed units;</li><li>• 23 two-bed units; and</li><li>• 6 three-bed units (10.5%).</li></ul>
Adaptable Units	48 Level 2 adaptable units (84%)
Parking	Commercial – 12 vehicle spaces; 3 secure bicycle spaces Residential – 64 vehicle spaces; 202 secure bicycle spaces
Residential Amenity	Indoor – 100.5 square metres (1,082 square feet) Outdoor – 112.4 square metres (1,210 square feet)

The proposed amenities include a dog wash station and residential bike workshop on parking level 3, and gathering spaces and child play area on the rooftop. A public breezeway is also proposed to connect the West 3<sup>rd</sup> Street frontage with the rear laneway.

To allow the proposal, the amendment bylaw would vary the C-2 zone for increased density, height and lot coverage, as well as reduced rear setback.

**Table 3. Summary of Proposed Zoning Changes**

	<b>BASE C-2 ZONE</b>	<b>PROPOSED CD-744 ZONE</b>
<b>Permitted Principal Uses</b>	Various Commercial Uses	<ul style="list-style-type: none"> <li>• Retail-Service Group 1 Use</li> <li>• Accessory Apartment Use</li> <li>• Accessory Off-Street Parking Use</li> <li>• Accessory Off-Street Loading Use</li> </ul>
<b>Density Maximum</b>	2.3 FSR	2.8 FSR
<b>Lot Coverage Maximum</b>	70 percent	74 percent
<b>Height Maximum</b>	12.1 metres	16.0 metres
<b>Setbacks</b>	6.1metres (20 feet) from the Rear Lot Line	3.5 metres (11.4 feet) from the Rear Lot Lines
<b>Special Provisions</b>	Accessory Apartment Use shall be permitted only on a floor level above the second Storey	Accessory Apartment Use shall be permitted only on a floor level above the first Storey, and Accessory Apartment Use shall be permitted on the first Storey if dwelling units do not face the Front Lot Line
<b>Building Width &amp; Length</b>	Maximum 30.5 metres (100 feet) above second storey	(waived)

## PLANNING ANALYSIS

### *Policy Alignment*

The proposal is consistent with the OCP land use designation and within OCP height and density limits for the site. The rezoning application proposes an incremental increase in density and height compared to what is permitted on site as-of-right. Located within a block of the Lower Lonsdale corridor, the proposal is in alignment with a number of OCP goals and objectives to focus higher density residential and commercial uses within the Lonsdale Regional City Centre.

The proposed mix of unit types meets a key action of the *Housing Action Plan* to help support families by providing a minimum of 10% three-bedroom units. Also, 84% of proposed units meet Level 2 Adaptable Design, exceeding the *Zoning Bylaw* minimum requirement of 25%. The proposal addresses the Active Design Guidelines through provision of indoor and outdoor amenity spaces.

### *Building Setbacks*

The rear setback in the proposal is reduced by about 2.6 metres to accommodate townhome frontages along the lane. Landscaping and lane trees will be provided to help buffer the residential use from lane traffic. Across the lane is private open space for an adjacent high-rise residential development. This open space is separated from the lane by a fence and row of trees. The proposed setback reduction is expected to have minimal impact on neighbouring development.



### *Traffic and Parking*

A mini transportation study for the proposal showed that expected traffic generation would not have any material effect on operation of the existing street network. The proposed parking meets the minimum commercial requirement under the Zoning Bylaw and exceeds the residential requirement by four spaces. Proposed bicycle parking provision also exceeds minimum requirement with 202 residential secure bicycle spaces.

### *Infrastructure and Servicing*

The proposed mid-block pedestrian connection (the breezeway) has been designed to incorporate Crime Prevention Through Environmental Design (CPTED) measures to provide a safe and comfortable pedestrian mid-block connection. A 3.048 metre road dedication is also provided along the frontage, to support further public realm improvements along a critical east-west and transit corridor. Streetscape improvements will also be required, including lane trees and a double row of street trees.

## **Density Bonus and Community Benefits**

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the Official Community Plan, allows for density bonuses beyond 2.3 FSR in the Mixed Use Level 3 land use designation, up to a maximum of 2.8 FSR.

The proposed project would include community benefits valued at approximately \$2.4 million dollars, as outlined in Table 4 below.

**Table 4. Estimated Value of Community Benefits through Density Bonusing**

Density Value Calculation	Value
Density Bonus to 2.3 FSR / OCP Density (@ \$25 / sq. ft.)	\$471,904
Density Bonus to 2.8 FSR Max Bonus (@ \$190 / sq. ft.)	\$1,991,482
<b>Total Value of Community Benefits</b>	<b>\$2,464,386</b>

The policy provides a number of community benefits options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The specific amenities and benefits included in the proposed project are described in Table 5 below and would be secured as conditions of receiving a density bonus should Council wish to proceed with the proposed project.

**Table 5. Community Benefits Summary**

Community Benefit	Value
<b>A. Cash Contributions</b>	
Contribution to Civic Amenity Reserve Fund (80%)	\$1,971,509
Contribution to Affordable Housing Reserve Fund (20%)	\$492,877

In addition to the items above, the following items will be secured as conditions of this development:

- public art incorporated into the project with a value of \$85,000;
- a public access right-of-way through the project to provide a mid-block pedestrian connection;

- dedication of 3.048 metres along E 3<sup>rd</sup> Street for public realm improvement.

## **Legal Agreements**

Should Council support this rezoning, the following legal agreements should be prepared prior to final adoption:

- Servicing Agreement
- Pedestrian Statutory Right-of-Way (for the breezeway)
- Road Dedication
- Community Good Neighbour Agreement
- Shoring, Crane Swing, and Staging License Agreement
- Flooding Covenant
- Community Energy Agreement

## **ADVISORY BODY INPUT**

### **Advisory Design Panel**

The application was revised by the Advisory Design Panel on September 20, 2020. The Panel unanimously endorsed the following resolution:

THAT the Advisory Design Panel has reviewed the Rezoning Application for 149 West 3<sup>rd</sup> Street and recommends approval of the project;

AND THAT the Panel commends the applicant for the quality of the proposal and their presentation.

Carried Unanimously

## **COMMUNITY CONSULTATION**

A virtual Developer Information Session was held on September 2, 2020 with 18 attendees. Four comment forms and one email were received; two in support, one in opposition and two did not specify support or opposition.

Overall, feedback expressed support for the renewal of commercial space, as well as the proposed mix of unit types and sizes.

The main concerns specified were:

- Safety and accessibility of the breezeway
- Potential loss of existing local retailers
- Potential for vacant storefronts in the new development
- Traffic congestion
- Potential noise from rooftop amenity space

A summary of the public consultation, as prepared by the applicant, is available in Attachment #3.



### Staff response

The breezeway has been designed with safety in mind – public art at the E 3<sup>rd</sup> Street entrance and lighting along the pathway. Given the slope of the site and design of the building, however, it is difficult to incorporate this walkway without stairs.

Regarding potential for retaining existing retailers, which are mostly restaurants, the proposed commercial space is not designed for restaurant use, as exhaust fans and additional piping will increase the ground floor height, which would make this proposal not OCP compliant. However, the new CRU spaces can accommodate coffee shops or other eateries where on-site cooking is not required. The applicant has stated they are confident in their ability to lease the commercial spaces upon building completion.

As stated in previous section of the report, staff do not anticipate this development, which complies with the OCP and parking requirements, to generate significant vehicle traffic to interrupt local circulation patterns.

Finally, the applicant has designed the roof top outdoor amenity space to be setback from the surroundings.

## **ENVIRONMENTAL SUSTAINABILITY**

The proposal addresses the OCP's Sustainable City Framework through natural systems, physical structure/infrastructure, local economy, human potential, social connections and cultural diversity.

The proposed landscaping will be primarily native species using water efficient irrigation system. Building construction aims to exceed Energy Step Code 3 and will incorporate heat recovery ventilators. This is in addition to connection to LEC. Outdoor urban agricultural plots are proposed to be in the rooftop amenity space.

## **PROCESS WHEN NO PUBLIC HEARING HELD**

Bill 26 - Municipal Affairs Statutes Amendment Act (No. 2), 2021, enacted in November 2021, included a change to the Local Government Act to provide that a local government is not required to hold a public hearing on a proposed zoning bylaw if the bylaw is consistent with the OCP. This replaced the former provision that allowed local governments to waive a public hearing. Local governments now have to make a positive decision to have a public hearing as opposed to deciding to waive a public hearing.

Given the proposal's consistency with the OCP, and feedback from the public during the consultation period, staff recommend that no public hearing be held for this application.

Should Council wish to refer the application to public hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021/2022, No. 8894 " (Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, 149 West 3rd Street, CD-744) be considered and referred to a Public Hearing;

## **FINANCIAL IMPLICATIONS**

As discussed under the Density Bonus and Community Benefits section, this application, if approved, would generate \$2,464,386 in Community Amenity Contribution (CAC) cash contribution, which is in addition to City requirements such as Development Cost Charges, public art and road dedication.

## **CONCLUSION**

This proposal is in alignment with goals and objectives of the OCP and Council Strategic Plan to provide employment generating uses, and to increase and diversify the residential housing stock within the Lonsdale Regional City Centre. The proposal will enhance the public realm with public art, streetscape improvements and a public breezeway. The proposal will also contribute funds to further support community amenities.

RESPECTFULLY SUBMITTED:



---

Emma Chow  
Planner 2







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**Anthem**  
149 West 3rd St  
2018-017

Cover Sheet

# A000

North Vancouver, BC

## PROJECT TEAM

OWNER	ARCHITECTURAL	STRUCTURAL
<b>Antihom Properties Group Ltd</b> 1100-1055 Dunsmuir Street Vancouver, B.C. V7X 1K8 604.689.3040 Contact Alexander Wright amw@antihomproperties.com	<b>office of mcfarlane &amp; biggar architects + designers</b> 301 - 1925 Quebec St Vancouver, B.C. V5T 2Z3 604.558.6344 Contact Steve McFarlane smcfarlane@officomb.ca	<b>Reid Jones Christoffersen Ltd</b> 300-1205 West Broadway Vancouver, B.C. V6H 3X8 604.738.1107 Contact Grant Newfield gnewfield@rjcl.ca
<b>MACHINIST</b>	<b>LANDSCAPE</b>	<b>ENVELOPE/ENERGY</b>
<b>MCW Consultants Ltd</b> 1400 - 1111 W Georgia St Vancouver, B.C. V6E 4M3 604.587.1821 Contact Karoni Spolella kspolella@mcw.com	<b>van der Zalm + Associates</b> 102 - 355 Kingsway Vancouver, B.C. V5T 3J7 604.892.0024 Contact David Jerke djerke@vzlr.ca	<b>BC Building Science</b> 611 Bent Crescent New Westminster, B.C. V3M 1V3 604.520.8456 Contact Farshad Bagheri farshad@bcbuildingscience.com
<b>ELECTRICAL</b>	<b>CODE</b>	<b>CIVIL</b>
<b>MCW</b> 1400 - 1111 W Georgia St Vancouver, B.C. V6E 4M3 604.587.1821 Contact Erik Mak emak@mcw.com	<b>LMDO</b> VGB 2M1 604.682.7146 Contact Mike van Bockland mvanbockland@lmdo.com	<b>Binnie</b> 300-4940 Canada Way Burnaby, B.C. V5G 4K6 604.420.1721 Contact Russell Warren rwarren@binnie.com

## DRAWING LIST

A000	COVER SHEET
A001	PERSPECTIVES
A002	PERSPECTIVES
A010	DEVELOPMENT DATA
A011	GFA PLAN - LEVEL P3
A012	GFA PLAN - LEVEL P2
A013	GFA PLAN - LEVEL P1
A014	GFA PLAN - MID LEVEL TOWNHOME
A015	GFA PLAN - GROUND LEVEL
A016	GFA PLAN - LEVEL 2
A017	GFA PLAN - LEVEL 3
A018	GFA PLAN - LEVEL 4
A019	GFA PLAN - LEVEL 5
A020	GFA PLAN - LEVEL ROOF
A030	CONTEXT PLAN
A031	CONTEXT PHOTOS
A032	CONTEXT PHOTOS
A033	STREET SCENERY ELEVATIONS
A034	SHADOW ANALYSIS
A040	SITE PLAN
A100	PLAN - LEVEL P3
A101	PLAN - LEVEL P2
A102	PLAN - LEVEL P1
A103	PLAN - MID LEVEL TOWNHOME
A104	PLAN - GROUND LEVEL
A105	PLAN - LEVEL 2
A106	PLAN - LEVEL 3
A107	PLAN - LEVEL 4
A108	PLAN - LEVEL 5
A109	PLAN - ROOF DECK
A110	PLAN - ROOF
A200	ELEVATION - NORTH
A201	ELEVATION - SOUTH
A300	SECTION
A301	SECTION
A302	SECTION
A303	SECTION
A500	ADAPTABLE UNIT PLAN - 151, 181, 182, 261
A501	ADAPTABLE UNIT PLAN - 282, 303, 304
A502	ADAPTABLE UNIT PLAN - 286, 288
A503	ADAPTABLE UNIT PLAN - 297, 302, 303
A504	ADAPTABLE UNIT PLAN - 384, 385, 386





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**omb** office of mcfarlane biggar  
architects + designers

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**Anthem**  
149 West 3rd St  
2016-017

NOT FOR CONSTRUCTION Artistic Impression - Dusk View Southeast From Street

**A001**





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Anthem  
149 West 3rd St  
2016-011

NOT FOR CONSTRUCTION Artistic Impression - Daytime View Northwest From Lane

A002

PROJECT DEVELOPMENT DATA

PROJECT	CURRENT DESIGNATION / REGULATION	PROPOSED
5 Storey Mixed Use Residential with Commercial at Grade		
<b>LEGAL DESCRIPTION</b>		
Lot B Blocks 139 and 140 DL 274 Group 1 NWD Plan 879		
<b>OCF DESIGNATION</b>		
	Mixed Use Level 3	Mixed Use Level 3
<b>ZONING</b>		
	CS-3	CD (based on CD-481)

<b>LOT DATA</b>		
Lot Area (Gross Site Area)	20,973 sf	1,968 sm
Lot Frontage	174'-10 3/8"	53.30 m
Lot Depth	119'-11 1/8"	36.60 m

<b>SETBACKS &amp; HEIGHT</b>		
Front	3.048m (10') Road Dedication	3.048m (10') Road Dedication + 1.676m (5'-6") Front Setback
Side	8.596m (28')	3.48m (11' 5")
Height	N/A	N/A
	OCF: 16m; CS-3: 10.66m	16m to top of roof finish excluding any roof build up above 300mm

<b>SITE COVERAGE CALCULATIONS</b>		
Building Footprint Area	15,750 sf	1,463 sm
Lot Coverage Percentage <sup>1</sup>	70%	74%

NOTES:  
1. Canopies excluded from lot coverage calculation  
2. See diagram at top of page

FLOOR AREA RATIO (FSR) CALCULATION

MAXIMUM ALLOWABLE FSR	BUILDABLE AREA
Mixed Use Level 3	46,238 sf
	4,487 sm
	10,487 sf
	974 sm
TOTAL	58,724 sf
	5,456 sm

AREA STATS

RESIDENTIAL			SUMMARY OF RESIDENTIAL EXCLUSIONS										RETAIL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor	Parking / Bike Stop / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stor	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		Level	Total Retail Area Including Common Areas (Gross Area)	Total Exclusions by Floor (Ext Wall Thickness >165mm)
P-3	19144 sf	19144 sf	18656 sf										P-2		
P-2	19144 sf	19144 sf	19144 sf										P-1		
P-1	19134 sf	19134 sf	19134 sf	2138 sf	99 sf	0 sf							TH MID-LEVEL		
TH MID-LEVEL	2882 sf	80 sf	80 sf										LEVEL 1	7732 sf	2056 sf
LEVEL 1	7732 sf	2056 sf	1722 sf	807 sf	0 sf	49 sf	39 sf	1206 sf					LEVEL 2	1147 sf	771 sf
LEVEL 2	1147 sf	771 sf	1036 sf		0 sf	240 sf	155 sf	0 sf					LEVEL 3	12393 sf	1039 sf
LEVEL 3	12393 sf	1039 sf	1234 sf		0 sf	240 sf	155 sf	926 sf					LEVEL 4	12393 sf	1037 sf
LEVEL 4	12393 sf	1037 sf	1236 sf		0 sf	240 sf	155 sf	926 sf					LEVEL 5	12282 sf	1980 sf
LEVEL 5	12282 sf	1980 sf	1236 sf		0 sf	229 sf	185 sf	844 sf					ROOF	1849 sf	639 sf
ROOF	1849 sf	639 sf	237 sf		0 sf										
Total Area (by use)	119951 sf	63939 sf	54341 sf	2738 sf	1891 sf	887 sf	0 sf	980 sf	795 sf	3991 sf	1982 sf		Total Area (by use)	6282 sf	6 sf
Total Residential Area Minus Exclusions:		52412 sf											Total Retail Area Minus Exclusions (Net FSR)	6276 sf	
Gross Site Area (for FSR Calculation)	20973 sf												Net Site Area (after dedication)	19179 sf	
Retail FSR	0.39														
Residential FSR	2.59														
Total FSR	2.98														
Efficiency	80%														
Total Storeroys	0														

NOTES:  
1. Net FSR = Gross Area - Exclusions  
2. Efficiency = ((Sustainable Area + Sustainable Area) / Buildable Area)  
3. P-1, P-2, P-3 have been excluded from efficiency calculations  
4. Buildable Area = All above-grade conditioned space to outside face of cladding, excludes P1, P2 + P3  
5. Sustainable Area measured to inside face of exterior pane of glass and ceiling through wall assembly (to be further refined once facade design and window type confirmed)  
6. Roof decks excluded from calculations  
7. Total storeroys are as measured from 3rd Street (Ground Level - L1) and includes Rooftop Amenity Space

PARKING

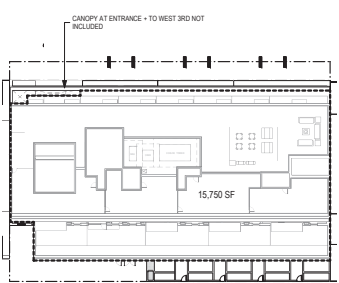
VEHICLE PARKING	REQUIRED	PROVIDED	VARIANCE	NOTES
<b>Commercial</b>				
Standard	11	11		
Small	0	0		906 (3)(a)(ii) - a maximum of 35% of the required Parking Spaces may be provided as small car parking spaces
Disabled	1	1		906 (1)(b) - 1 space per 25 required Parking Spaces, inclusive of total required
Total	12	12	0	906 (8) Fig. 9-3 - 1 space per 50 sm (538.2 sf) GFA (6276 sf CRU) 538.2 sf = 11.66 (12) commercial parking stalls
<b>Residential Visitor</b>				
Standard	5	4		
Small	0	1		906 (3)(a)(ii) - Maximum 35% required Parking Spaces
Disabled	1	1		906 (8)(e) - min. 1 space provided for use by visitors, inclusive of total required
Total	6	6	0	906 (7) - 0.1 spaces per Dwelling Unit, inclusive of total required (57 x 1 = 5.7 (6 stalls))
<b>Residential Secure</b>				
Standard	52	56		Includes spaces within townhouses
Small	0	0		
Disabled	2	2		906 (11) 0.038 Disability Parking Spaces for each Dwelling Unit (57 x 0.038 = 1.966 (2 stalls))
Total	54	58	4	906 (8) Fig. 9-3 - 1.05 spaces per Dwelling Unit, visitor parking included (57 x 1.05 = 59.85 (60 stalls))
<b>Residential Total</b>				
Standard	57	60		
Small	0	1		
Disabled	3	3		906 (11) 0.038 Disability Parking Spaces for each Dwelling Unit (57 x 0.038 = 1.966 (2 stalls))
Total	60	64	4	906 (8) Fig. 9-3 - 1.05 spaces per Dwelling Unit, visitor parking included
<b>Project Total</b>				
Standard	68	71		
Small	0	1		
Disabled	4	4		
Total	72	76	4	
<b>BICYCLE PARKING</b>				
<b>Commercial</b>				
Short term	6	6		10A-02 - 6 spaces per 1,000sm GFA
Secure	3	3		10A-02 - 1 space per 250sm GFA
Total	9	9		
<b>Residential</b>				
Short term	6	6		10A-02 - 30-50 units: 6 spaces
Secure (Horizontal)	98	202		10A-02 - 1.5 spaces per unit (see note 2)
Secure (Vertical)	0	0		
Total	102	208	116	
TOTAL	101	217		
<b>LOADING</b>				
Loading	2	1	-1	1901 (2) - 1 space per 1393.5 sm (15,000 sf) GFA

NOTES:  
1. Electric vehicle charging to be provided to all Residential Secure (S3) spaces and two Commercial spaces.  
2. Secure horizontal bicycle parking is provided through 98 double bike lockers at 4' x 6' and 2 triple bike lockers at 4' x 6'.  
3. An outlet for charging e-bikes will be provided for each bike space. For example a 4' x 6' double bike locker will have a double outlet capable of charging two bikes.

SUITE MIX

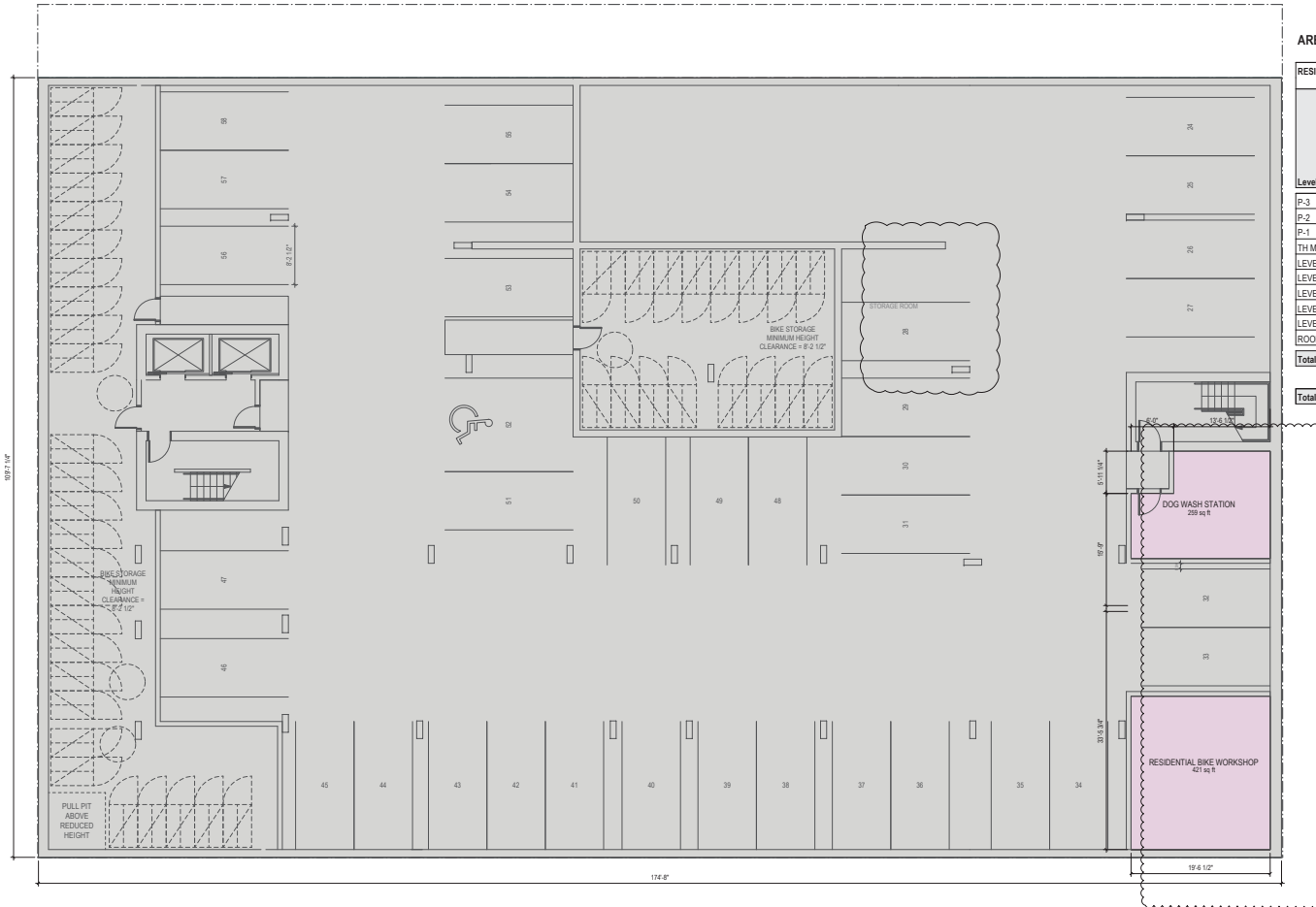
Type	TOWNHOME			STUDIO		1 BED		2 BED							Total #	Total # Adaptable Units
	TH1	TH2	TH3	151	152	181	182	281	282	283	284	285	286	287		
Size	1479 sf	1480 sf	1517 sf	684 sf	441 sf	976 sf	688 sf	825 sf	869 sf	976 sf	862 sf	957 sf	952 sf	763 sf	1280 sf	48 no.
Unit Counts	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	
Level 1	1	2	1	0	0	0	0	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Distribution	6%			14%		30%		30%							9%	10%

NOTES:  
1. All units except Townhomes are Level 2 Adaptable Units and Studio Unit 152  
2. All 1 Bedroom units include 67.1% of total units



LOT COVERAGE AREA  
LOT COVERAGE AREA: 15,750 SQ FT  
EXTERNAL WALL THICKNESS >165mm: -184 SQ FT  
LOT COVERAGE AREA MINUS EXCLUSIONS: 15,566 SQ FT  
LOT AREA: 20,973 SQ FT  
LOT COVERAGE: 74.22%

1 Lot Coverage Plan  
1/32" = 1'-0"



#### AREA STATS

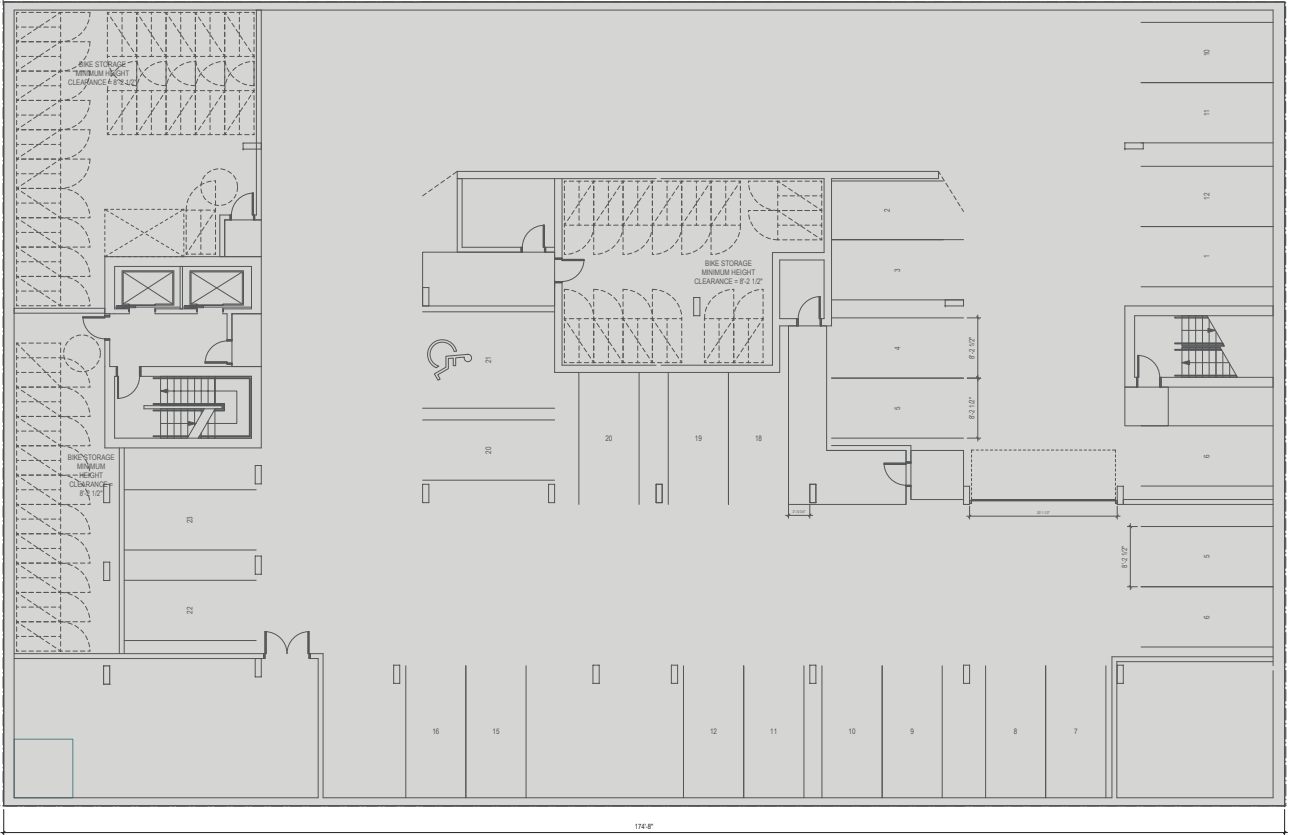
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2055 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
Total Area (by use)	119951 sf	63539 sf
Total Residential Area Minus Exclusions:		52412 sf

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
19454 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1205 sf			
		336 sf	0 sf	0 sf	240 sf	195 sf	0 sf			
		334 sf	0 sf	0 sf	240 sf	195 sf	925 sf			
		336 sf	0 sf	0 sf	240 sf	195 sf	925 sf			
		336 sf	0 sf	0 sf	220 sf	180 sf	844 sf			
		237 sf	0 sf						402 sf	
54341 sf	2738 sf	1851 sf	607 sf	0 sf	980 sf	795 sf	3901 sf	1082 sf		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - P3 Floor Plan  
1/8" = 1'-0"

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AREA STATS

RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
Total Area (by use)	115951 sf	63539 sf

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
18464 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf		0 sf	240 sf	195 sf	0 sf			
		334 sf		0 sf	240 sf	195 sf	826 sf			
		336 sf		0 sf	240 sf	195 sf	826 sf			
		336 sf		0 sf	220 sf	180 sf	844 sf			
		237 sf		0 sf					402 sf	
54341 sf	2738 sf	1851 sf	607 sf	0 sf	980 sf	795 sf	3981 sf	1082 sf		

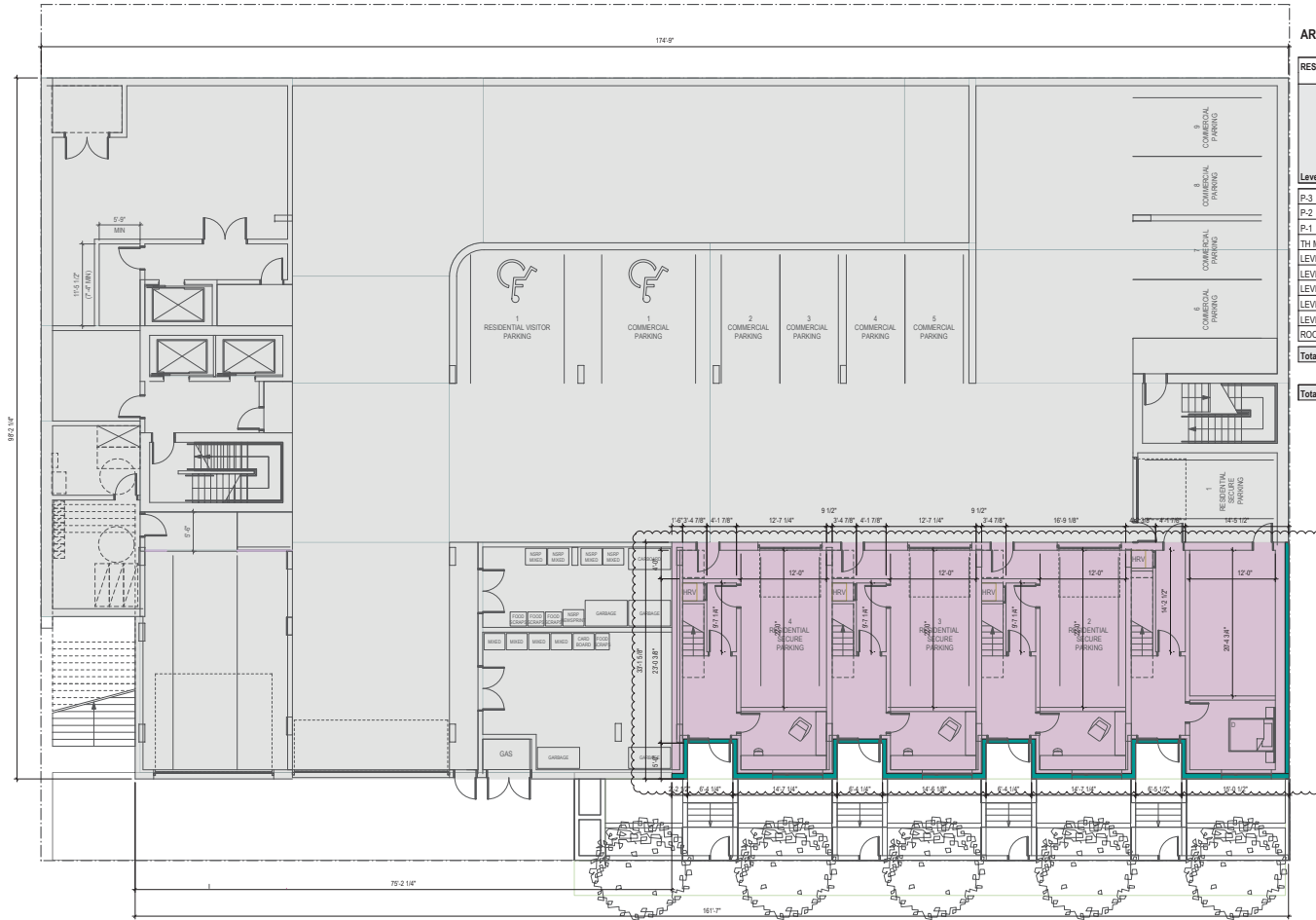
Total Residential Area Minus Exclusions: 52412 sf

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - P2 Floor Plan  
1/8" = 1'-0"

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# AREA STATS

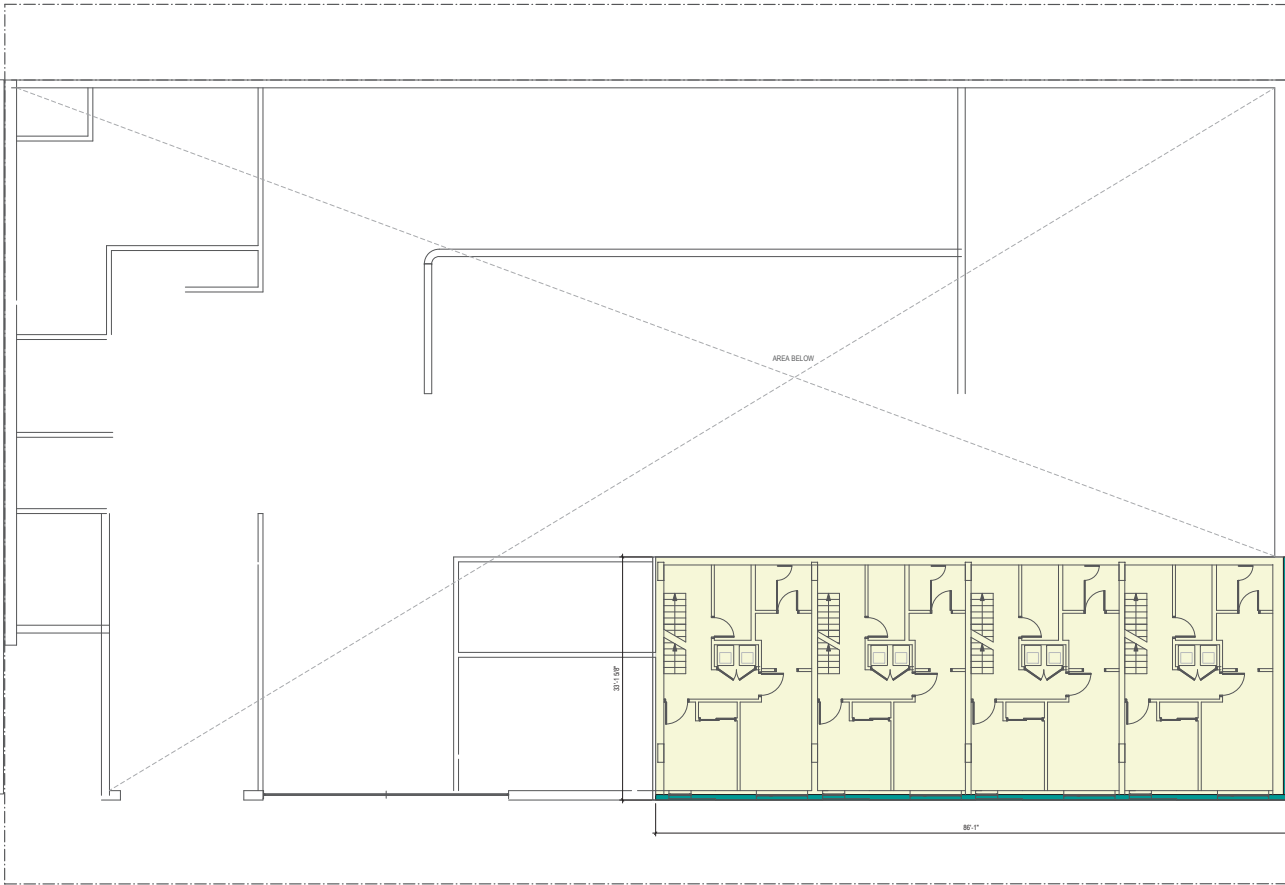
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1856 sf
LEVEL 4	12393 sf	1857 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
<b>Total Area (by use)</b>	<b>119851 sf</b>	<b>63539 sf</b>
<b>Total Residential Area Minus Exclusions:</b>		<b>52412 sf</b>

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
15464 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf			240 sf	195 sf				
		334 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	220 sf	180 sf	844 sf			
		237 sf		0 sf					402 sf	
<b>54341 sf</b>	<b>2738 sf</b>	<b>1851 sf</b>	<b>687 sf</b>	<b>0 sf</b>	<b>980 sf</b>	<b>795 sf</b>	<b>3901 sf</b>	<b>1082 sf</b>		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - P1 Floor Plan  
1/8" = 1'-0"

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AREA STATS

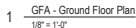
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
Total Area (by use)	115951 sf	63538 sf
Total Residential Area Minus Exclusions:		52412 sf

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
18454 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf		0 sf	240 sf	195 sf	0 sf			
		334 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	220 sf	180 sf	844 sf			
		237 sf		0 sf					402 sf	
54341 sf	2738 sf	1851 sf	687 sf	0 sf	980 sf	795 sf	3961 sf	1982 sf		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - Mid Level Townhome Floor Plan  
1/8" = 1'-0"

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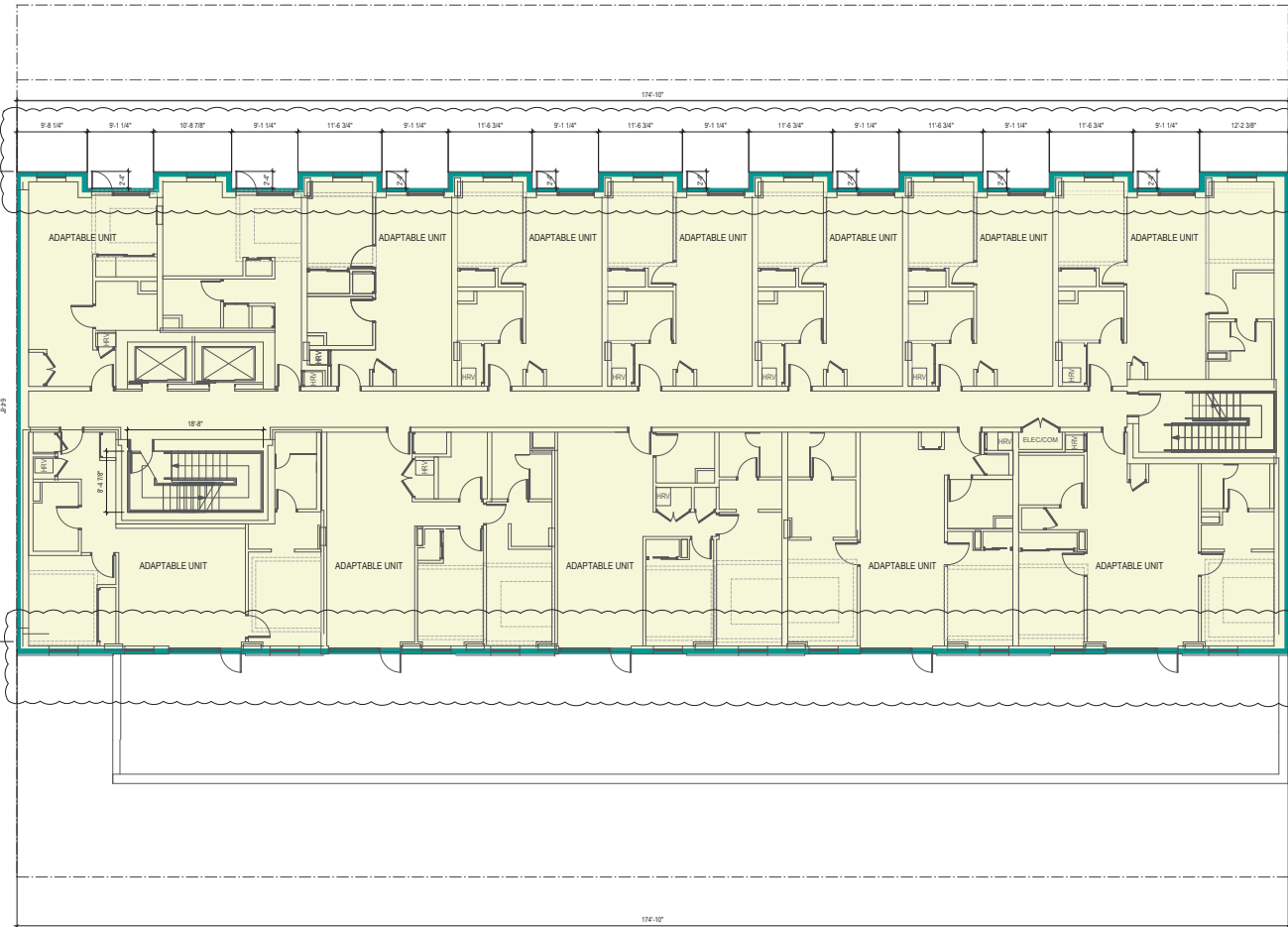


SUMMARY OF RESIDENTIAL EXCLUSIONS									
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness + 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%	
18404 sf									680
19144 sf									
16733 sf	2738 sf	99 sf	0 sf						
		80 sf							
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf		
		336 sf		0 sf	240 sf	195 sf	0 sf		
		334 sf		240 sf	195 sf		926 sf		
		336 sf		0 sf	240 sf	195 sf	926 sf		
		336 sf		0 sf	220 sf	180 sf	844 sf		
		237 sf		0 sf					402
54341 sf	2738 sf	1851 sf	607 sf	0 sf	980 sf	785 sf	3901 sf		1082

Total Retail Area Minus Exclusions (Net FSR)	6276 sq ft
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# AREA STATS

RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12382 sf	1580 sf
ROOF	1849 sf	639 sf
<b>Total Area (by use)</b>	<b>119951 sf</b>	<b>63539 sf</b>

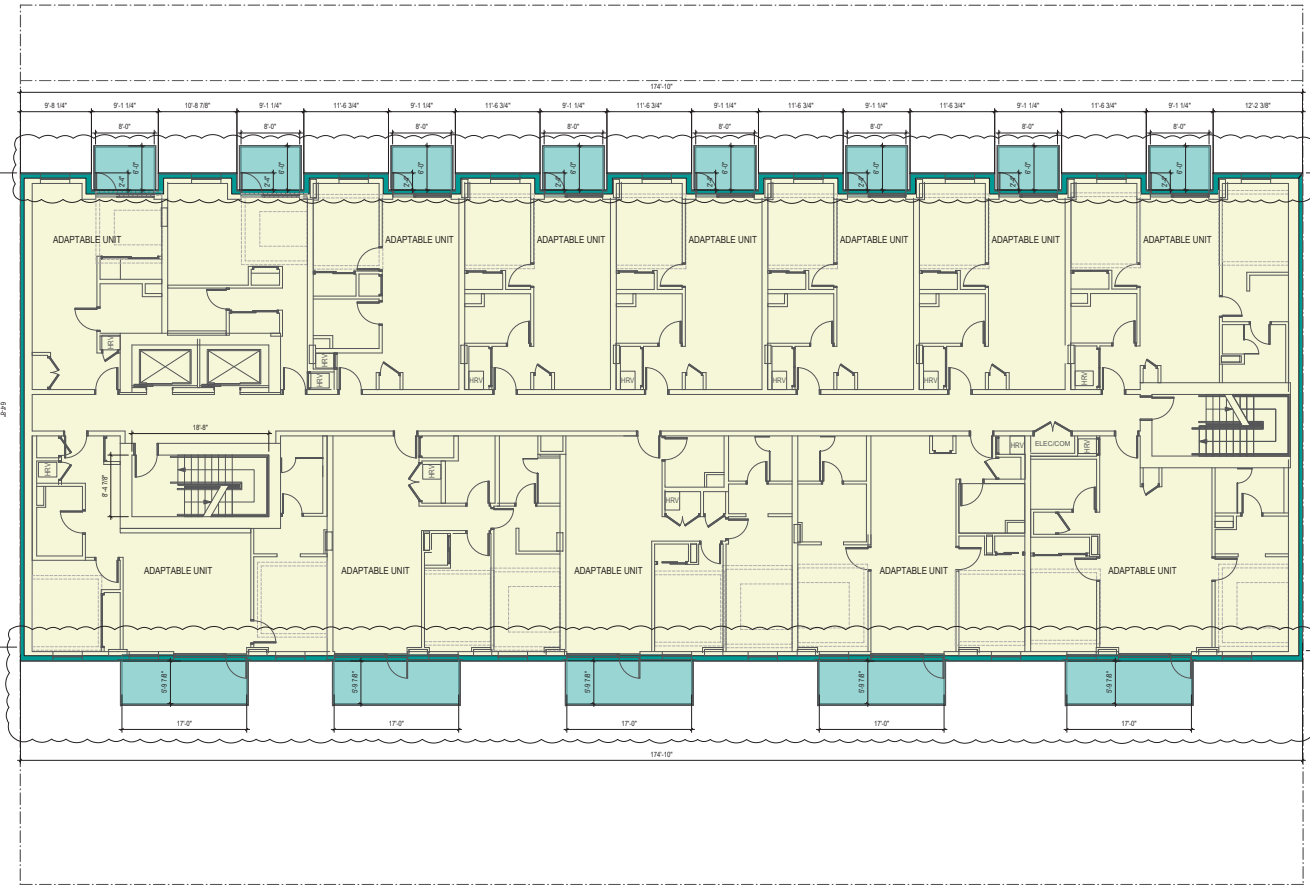
Total Residential Area Minus Exclusions: 56412 sf

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage < 10% GFA	Primary Stair	AD L2 Units	HRV	Balconies < 10% GFA	Amenity < 5%		
18464 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf		0 sf	240 sf	195 sf	0 sf			
		334 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	220 sf	180 sf	844 sf			
		237 sf		0 sf					402 sf	
<b>54341 sf</b>	<b>2738 sf</b>	<b>1891 sf</b>	<b>607 sf</b>	<b>0 sf</b>	<b>980 sf</b>	<b>795 sf</b>	<b>3961 sf</b>	<b>1082 sf</b>		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - L2 Floor Plan  
1/8" = 1'-0"

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AREA STATS

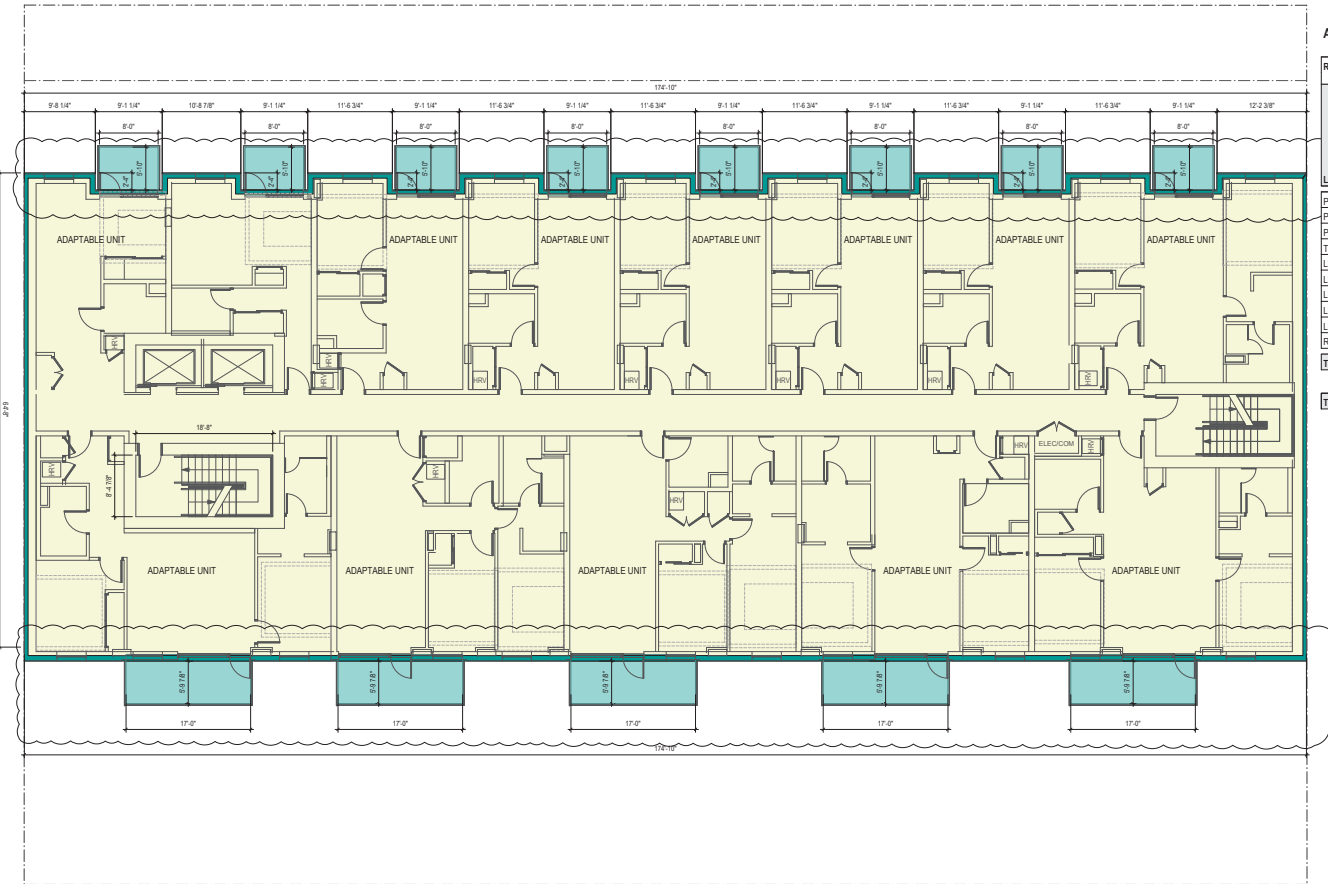
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
Total Area (by use)	115951 sf	63539 sf
Total Residential Area Minus Exclusions:		
62412 sf		

SUMMARY OF RESIDENTIAL EXCLUSIONS									
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Ext Wall Thickness > 165mm	Lobby / Storage < 10%GFA	Primary Stair	AD L2 Units	HRV	Balconies < 10%GFA	Amenity < 5%		
18464 sf	2738 sf	607 sf	0 sf	980 sf	795 sf	3901 sf	1082 sf		
19144 sf	80 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf		
16733 sf	99 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf		
2852 sf	80 sf	0 sf	0 sf	0 sf	0 sf	0 sf	0 sf		
7752 sf	172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf	0 sf		
11407 sf	336 sf	0 sf	0 sf	240 sf	195 sf	0 sf	0 sf		
12393 sf	334 sf	0 sf	0 sf	240 sf	195 sf	926 sf	0 sf		
12393 sf	336 sf	0 sf	0 sf	240 sf	195 sf	926 sf	0 sf		
12282 sf	336 sf	0 sf	0 sf	220 sf	180 sf	844 sf	0 sf		
1849 sf	237 sf	0 sf	0 sf	0 sf	0 sf	0 sf	402 sf		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - L3 Floor Plan  
1/8" = 1'-0"

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# AREA STATS

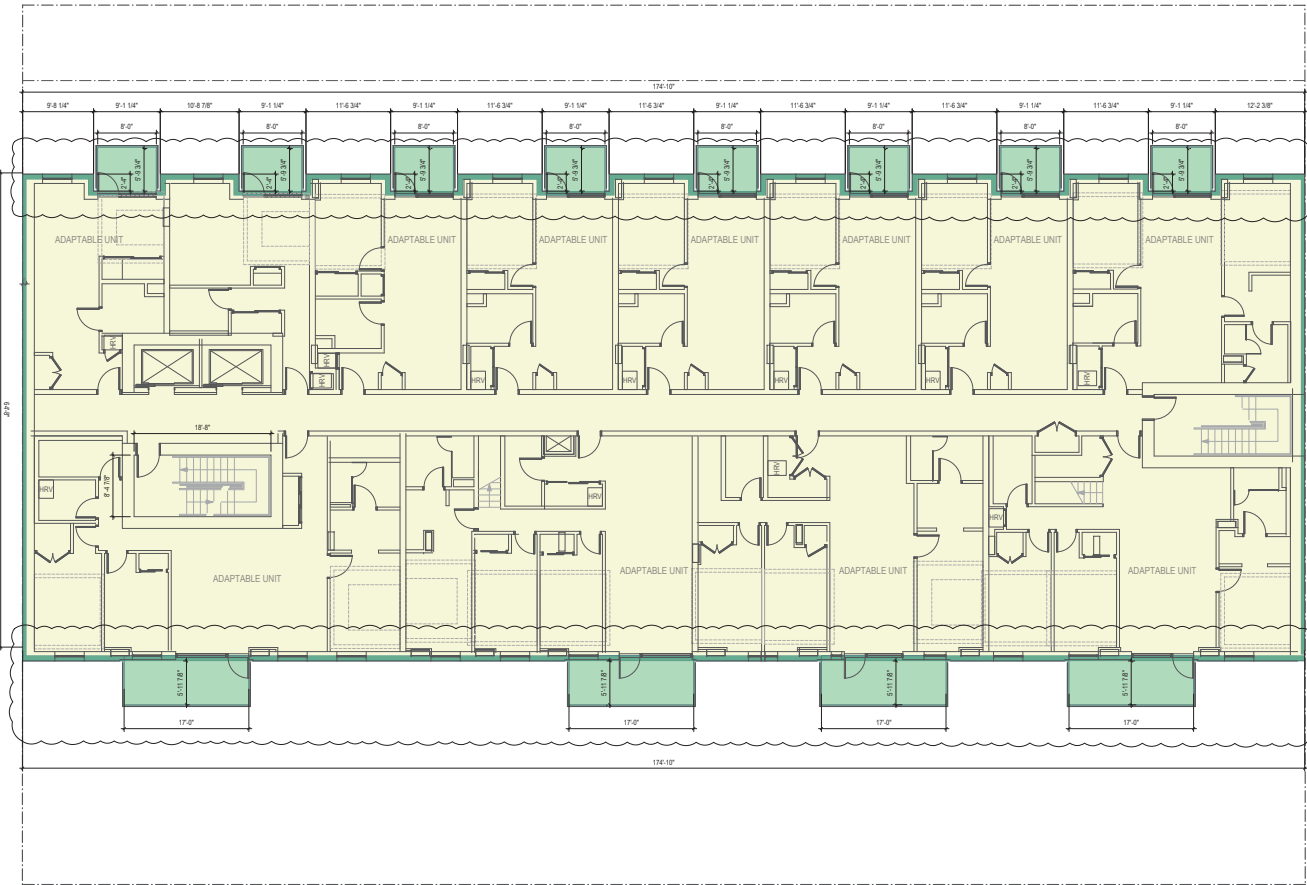
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1595 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1590 sf
ROOF	1849 sf	639 sf
<b>Total Area (by use)</b>	<b>115891 sf</b>	<b>63539 sf</b>
<b>Total Residential Area Minus Exclusions:</b>		<b>52412 sf</b>

SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
15464 sf									680 sf	
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf			240 sf	195 sf	0 sf			
		334 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	240 sf	195 sf	926 sf			
		336 sf		0 sf	220 sf	180 sf	844 sf			
		237 sf		0 sf					402 sf	
<b>54341 sf</b>	<b>2738 sf</b>	<b>1851 sf</b>	<b>607 sf</b>	<b>0 sf</b>	<b>980 sf</b>	<b>795 sf</b>	<b>3901 sf</b>	<b>1082 sf</b>		

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - L4 Floor Plan  
1/8" = 1'-0"





# AREA STATS

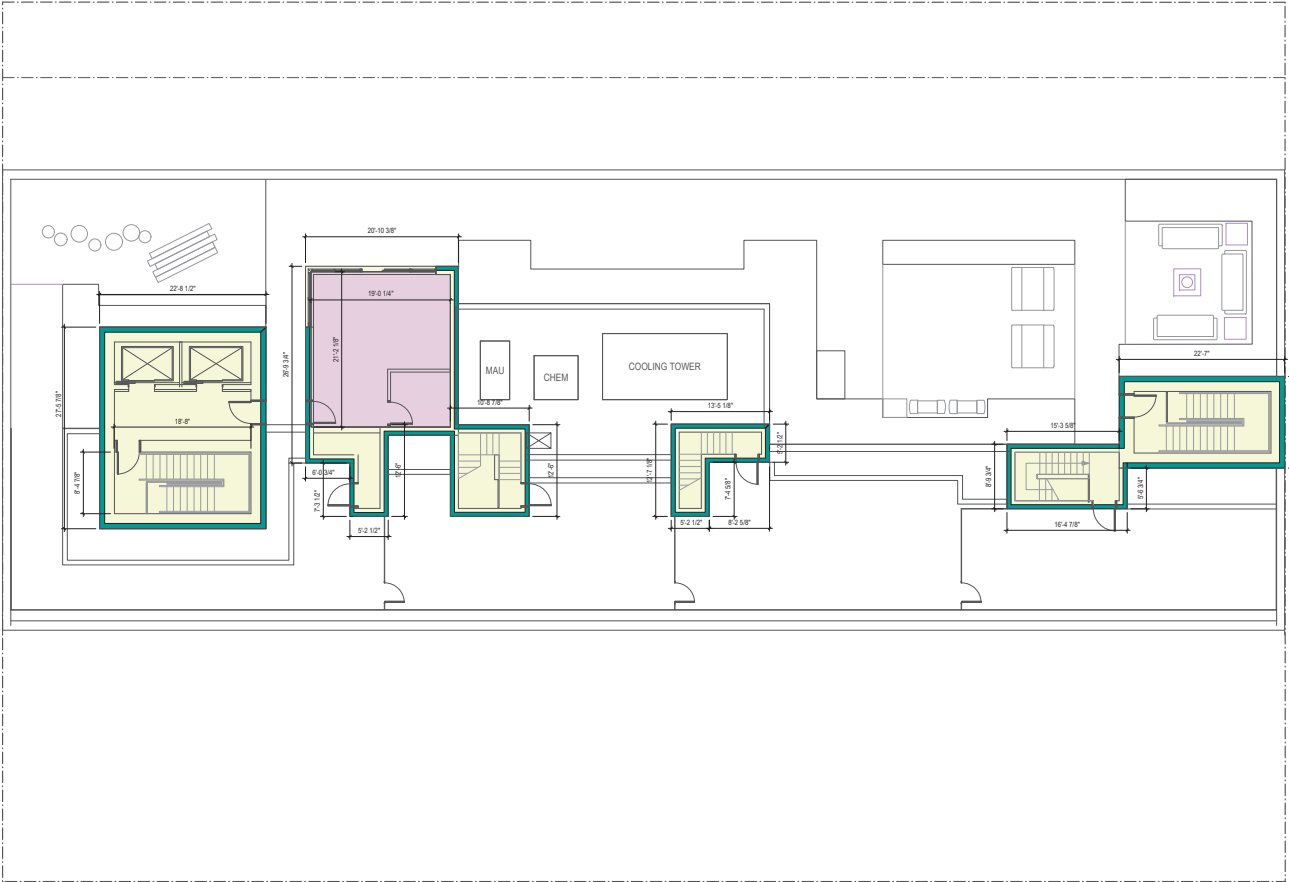
RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2852 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12383 sf	1695 sf
LEVEL 4	12383 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
<b>Total Area (by use)</b>	<b>158951 sf</b>	<b>83338 sf</b>
<b>Total Residential Area Minus Exclusions:</b>		<b>52412 sf</b>

SUMMARY OF RESIDENTIAL EXCLUSIONS									
Parking / Bike Stg / Garbage + Recycle / Mech / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%	
18464 sf									680 sf
19144 sf									
16733 sf	2738 sf	99 sf	0 sf						
		80 sf							
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf		
		336 sf	0 sf	240 sf	195 sf	0 sf			
		334 sf	0 sf	240 sf	195 sf	905 sf			
		336 sf	0 sf	240 sf	195 sf	905 sf			
		336 sf	0 sf	220 sf	180 sf	844 sf			
		237 sf	0 sf						402 sf
<b>54341 sf</b>	<b>2738 sf</b>	<b>1851 sf</b>	<b>607 sf</b>	<b>0 sf</b>	<b>980 sf</b>	<b>795 sf</b>	<b>3981 sf</b>	<b>1082 sf</b>	

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - L5 Floor Plan  
1/8" = 1'-0"

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AREA STATS

RESIDENTIAL		
Level	Total Residential Area Including Common Areas (Gross Area)	Total Exclusions by Floor
P-3	19144 sf	19144 sf
P-2	19144 sf	19144 sf
P-1	16734 sf	16734 sf
TH MID-LEVEL	2892 sf	80 sf
LEVEL 1	7752 sf	2056 sf
LEVEL 2	11407 sf	771 sf
LEVEL 3	12393 sf	1695 sf
LEVEL 4	12393 sf	1697 sf
LEVEL 5	12282 sf	1580 sf
ROOF	1849 sf	639 sf
Total Area (by use)	115951 sf	63539 sf

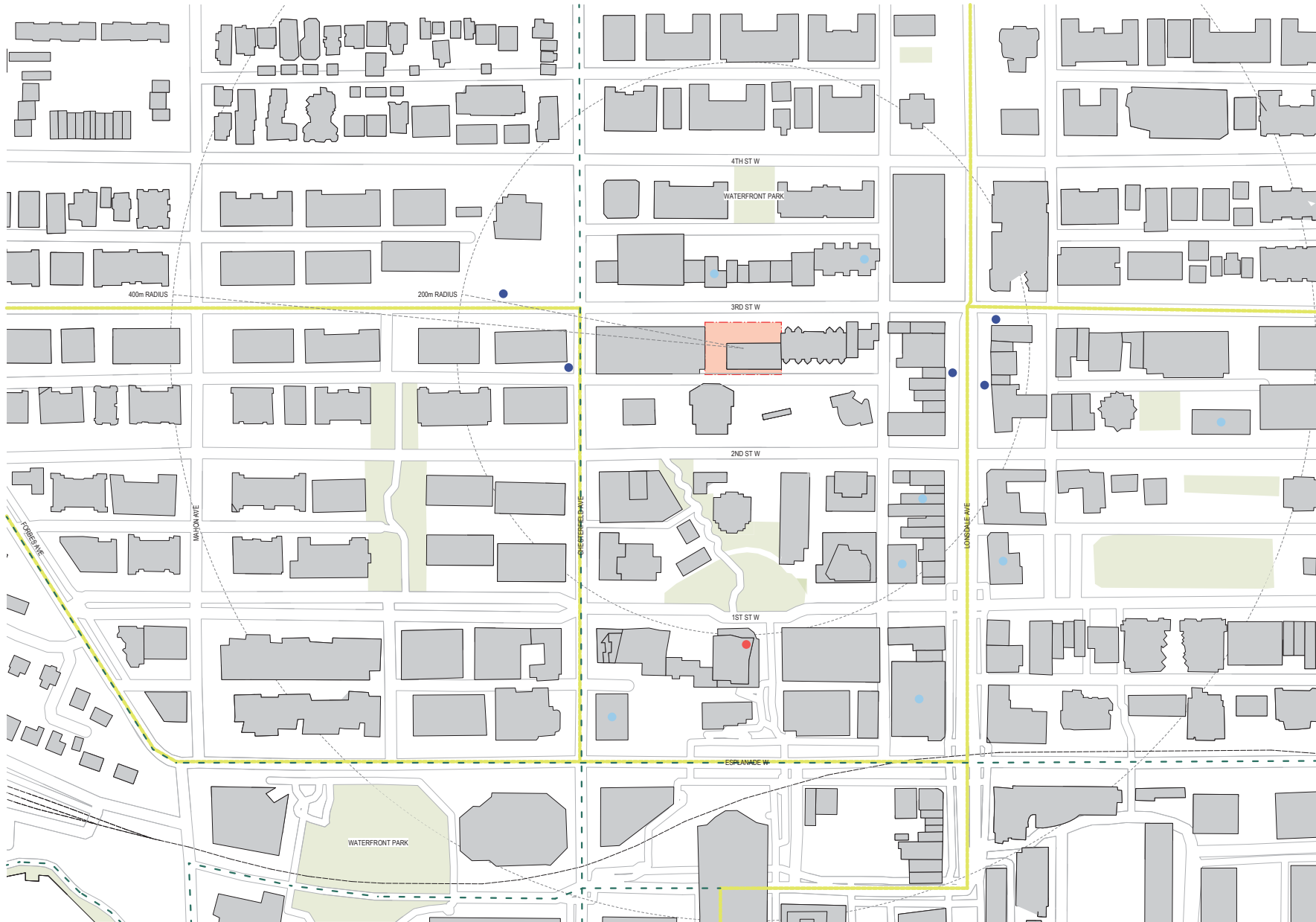
SUMMARY OF RESIDENTIAL EXCLUSIONS										
Parking / Bike Stg / Garbage + Recycle / Elec	Cellar	Ext Wall Thickness > 165mm	Lobby / Storage <10%GFA	Primary Stair	AD L2 Units	HRV	Balconies <10%GFA	Amenity <5%		
19464 sf										680 sf
19144 sf										
16733 sf	2738 sf	99 sf	0 sf							
		80 sf								
		172 sf	607 sf	0 sf	40 sf	30 sf	1206 sf			
		336 sf	0 sf	240 sf	195 sf	0 sf				
		334 sf	0 sf	240 sf	195 sf		926 sf			
		336 sf	0 sf	240 sf	195 sf		926 sf			
		336 sf	0 sf	220 sf	180 sf		844 sf			
		237 sf	0 sf							402 sf
Total Area (by use)										

Total Residential Area Minus Exclusions: 52412 sf

- RESIDENTIAL GFA
- COMMERCIAL GFA
- PARKING, BIKE STORAGE, RECYCLING + GARBAGE, CELLAR, COMMON MECHANICAL + ELECTRICAL EXCLUSION
- EXT WALL EXCLUSION
- LOBBY EXCLUSION
- STORAGE EXCLUSION
- BALCONY EXCLUSION
- AMENITY EXCLUSION
- CELLAR EXCLUSION

1 GFA - Roof Level  
1/8" = 1'-0"

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- SUBJECT SITE
- PUBLIC TRANSPORT ROUTES
- CYCLING ROUTES
- GROCERY STORES + MARKETS
- SCHOOLS + COMMUNITY CENTRES
- PUBLIC TRANSPORT STOPS
- PARKS

1 Context Plan  
1" = 100'-0"

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1 3rd St - Looking West



2 3rd St - Looking Southwest



3 3rd St - Looking Southeast



4 3rd St - Looking East



5 Chesterfield Ave - Looking South



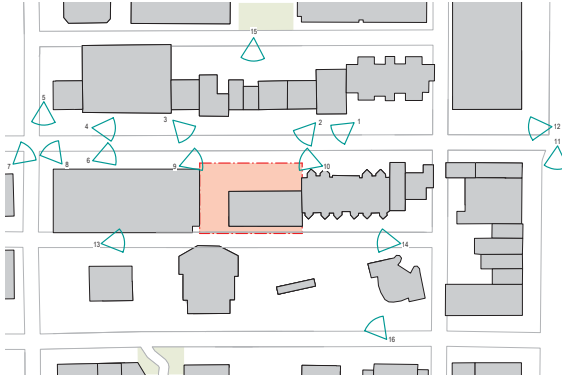
6 3rd St - Looking East



7 3rd St + Chesterfield Ave - Looking Northeast



8 3rd St + Chesterfield Ave - Looking Northwest



Key Plan

02/03/2022 10:26:54 AM



9 3rd St - Looking East



10 3rd St - Looking West



11 Lonsdale Ave - Looking South



12 3rd St + Lonsdale Ave - Looking West



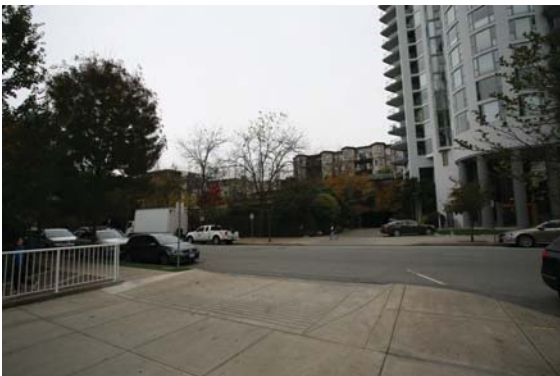
13 Laneway between 2nd + 3rd St - Looking East



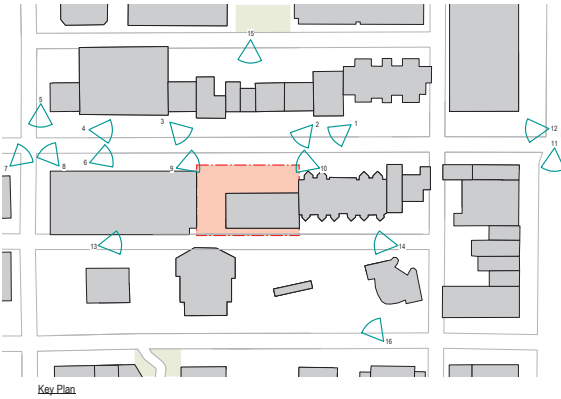
14 Laneway between 2nd + 3rd St - Looking West



15 Laneway between 3rd + 4th St - Looking South



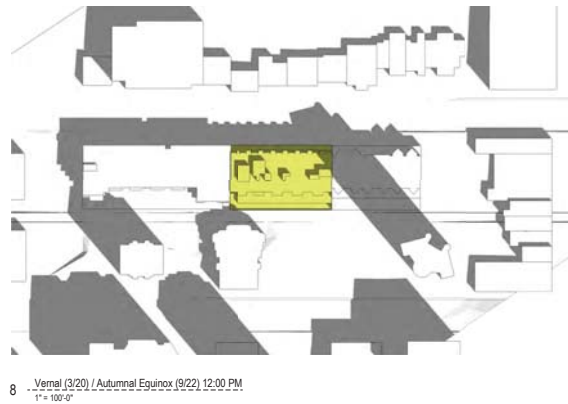
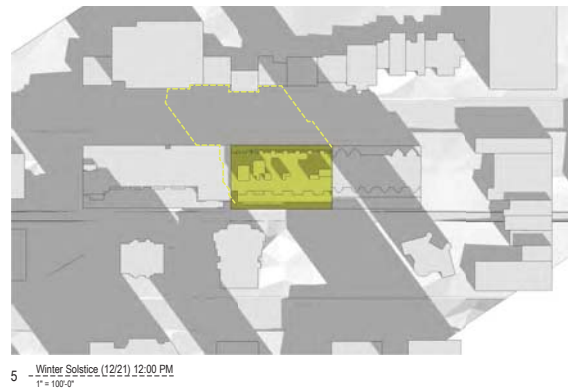
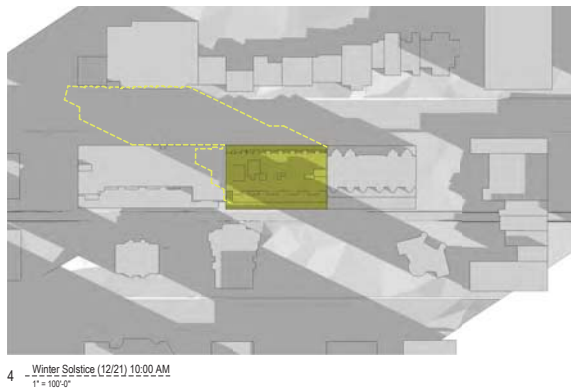
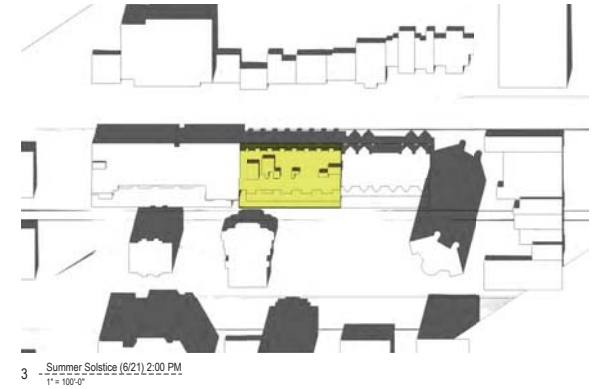
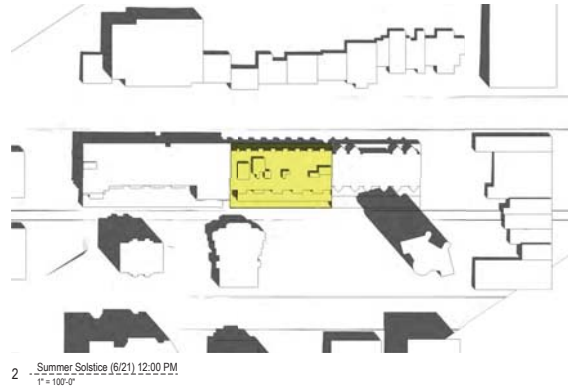
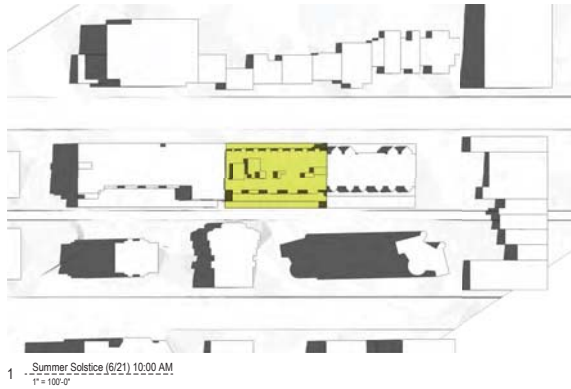
16 2nd St - Looking North



posted: Feb 3, 2022 10:26:55 AM







project: Feb 3, 2022 10:26:59 AM

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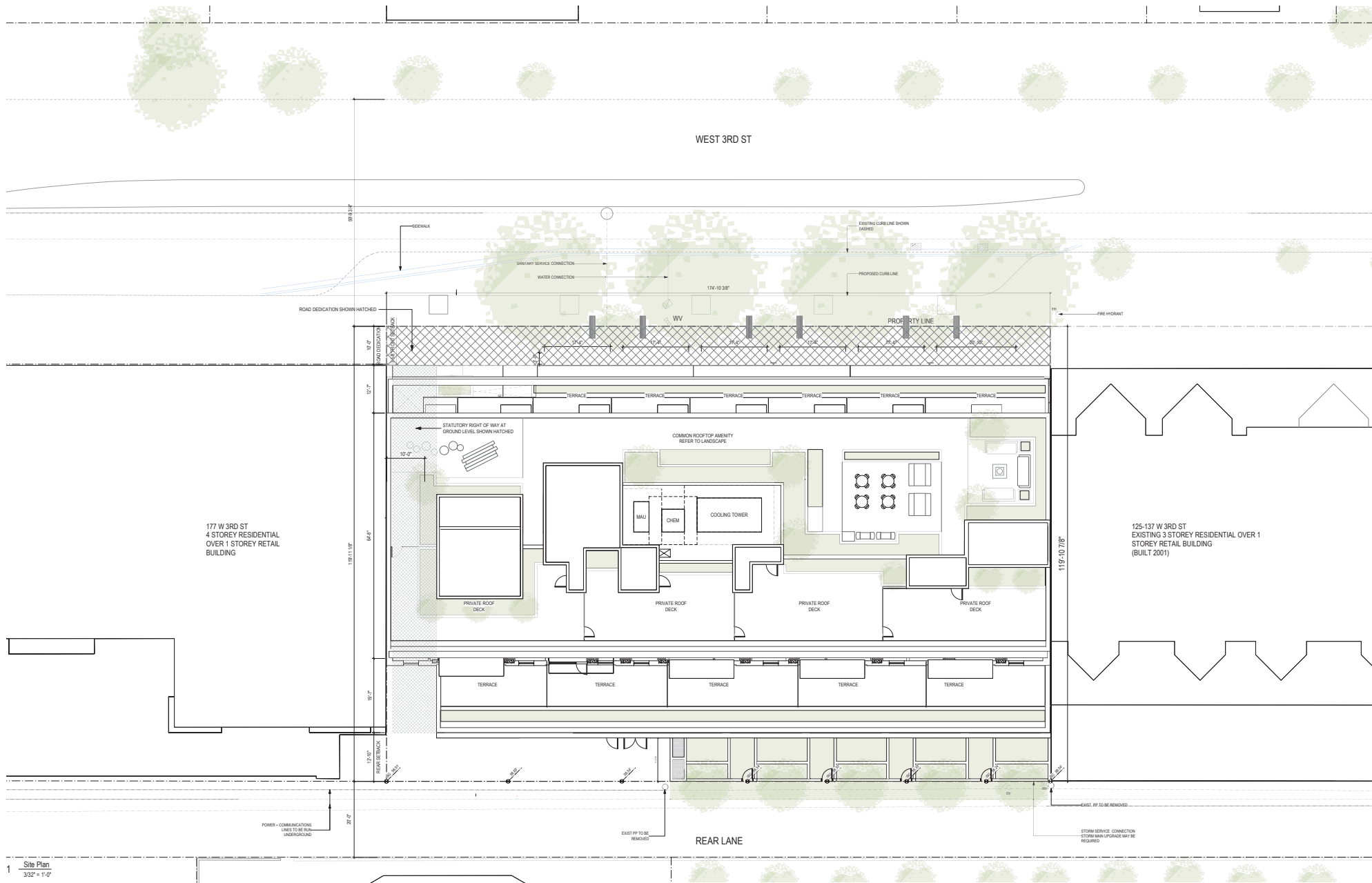
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Anthem  
149 West 3rd St  
2022-011

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Shadow Analysis

A034



1 Site Plan  
3/22" = 1'-0"

02/03/2022 10:27:32 AM

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Anthem  
149 West 3rd St  
2018-011

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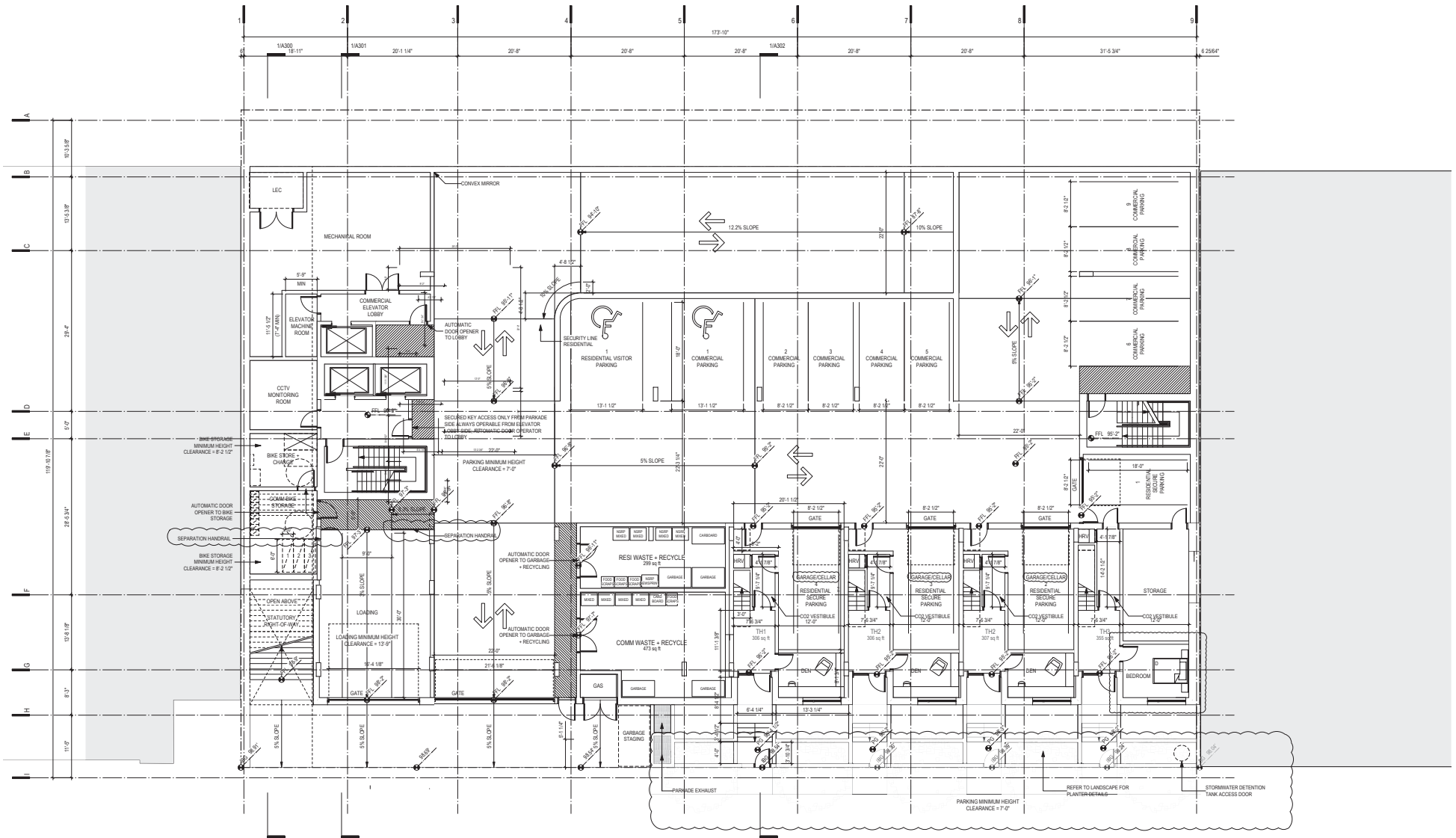


Site Plan

A040







1 P1 Floor Plan  
1/8" = 1'-0"

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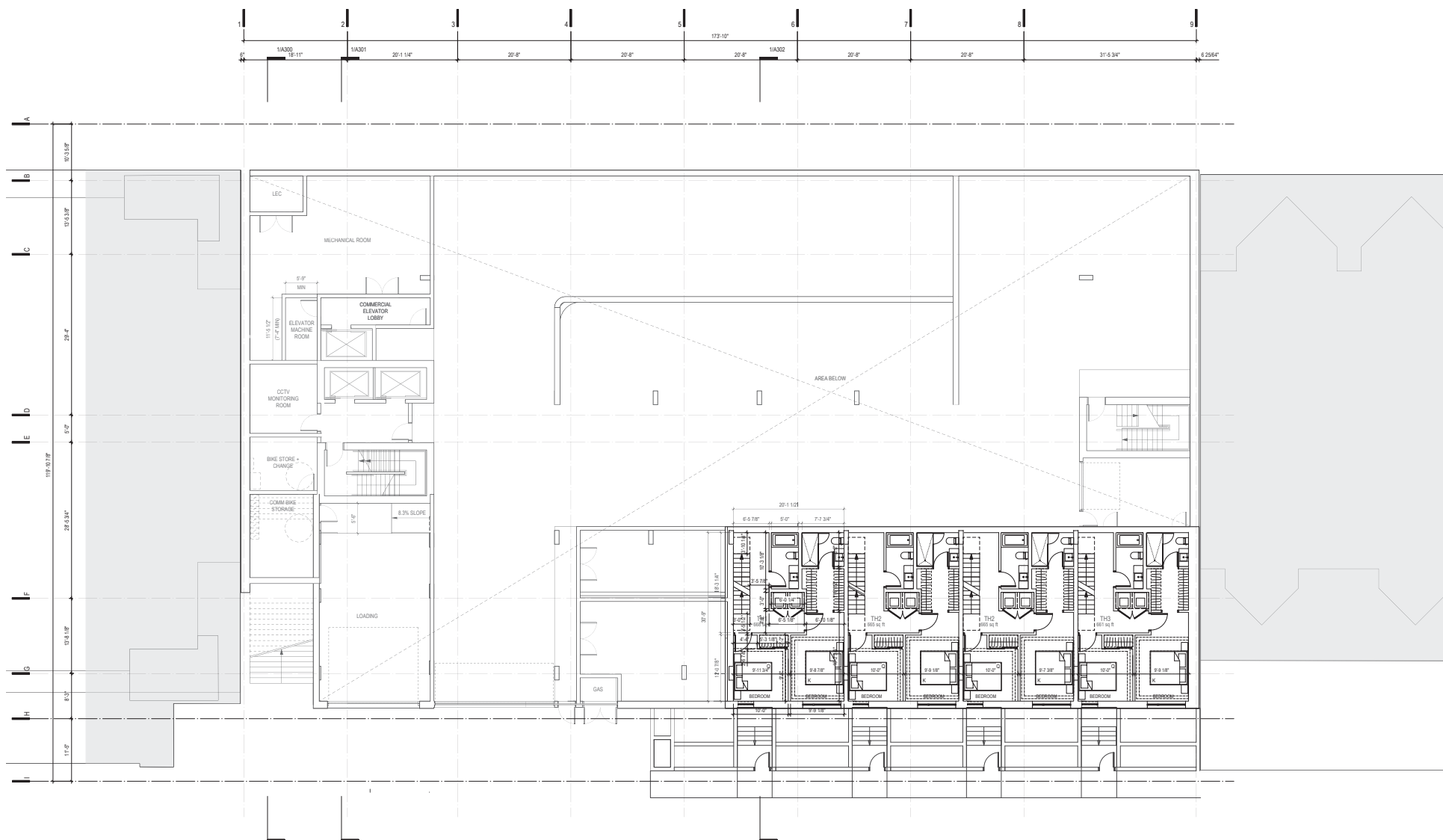
Anthem  
149 West 3rd St  
250-017

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Plan Level P1

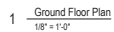
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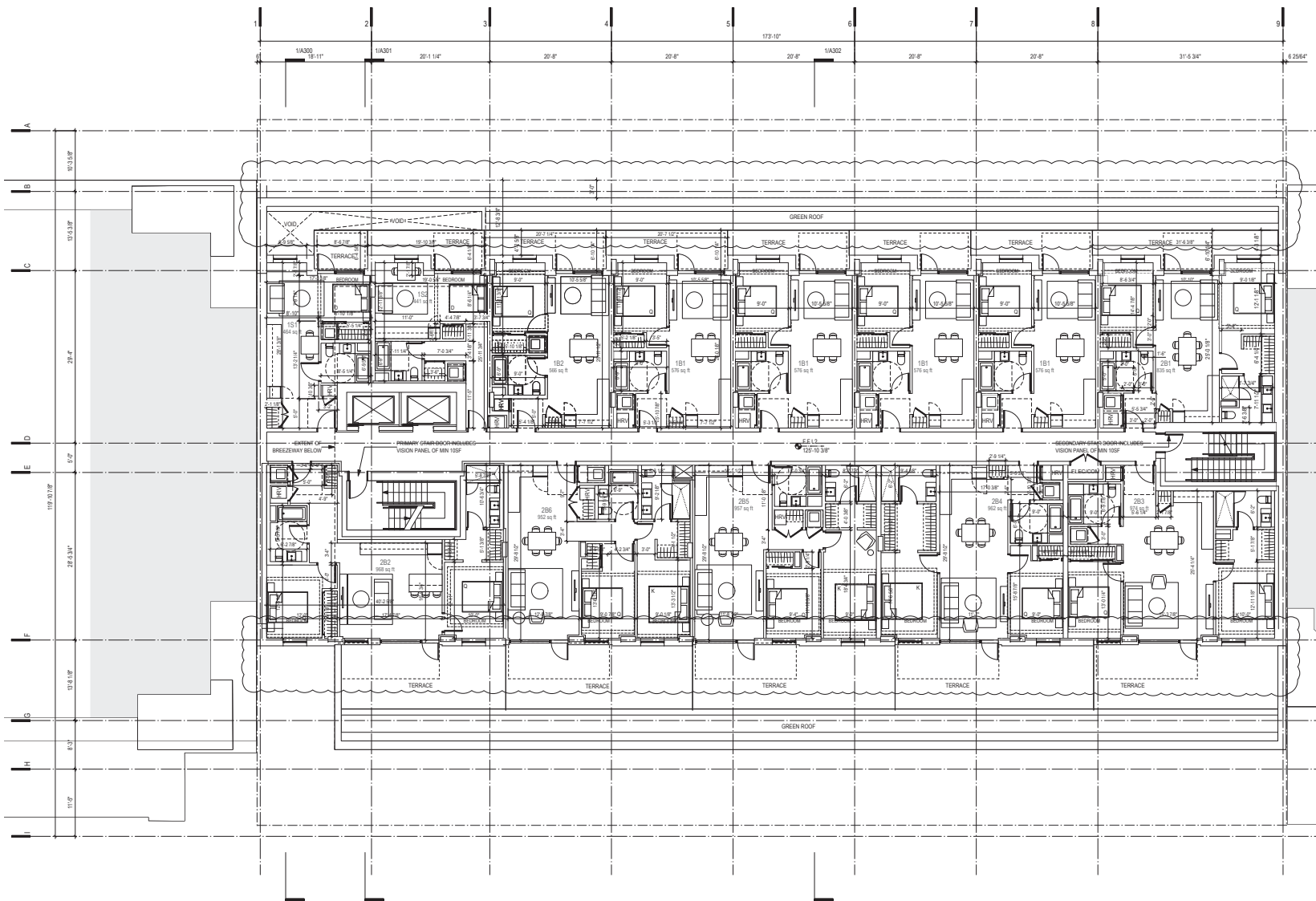


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1 L2 Floor Plan  
1/8" = 1'-0"

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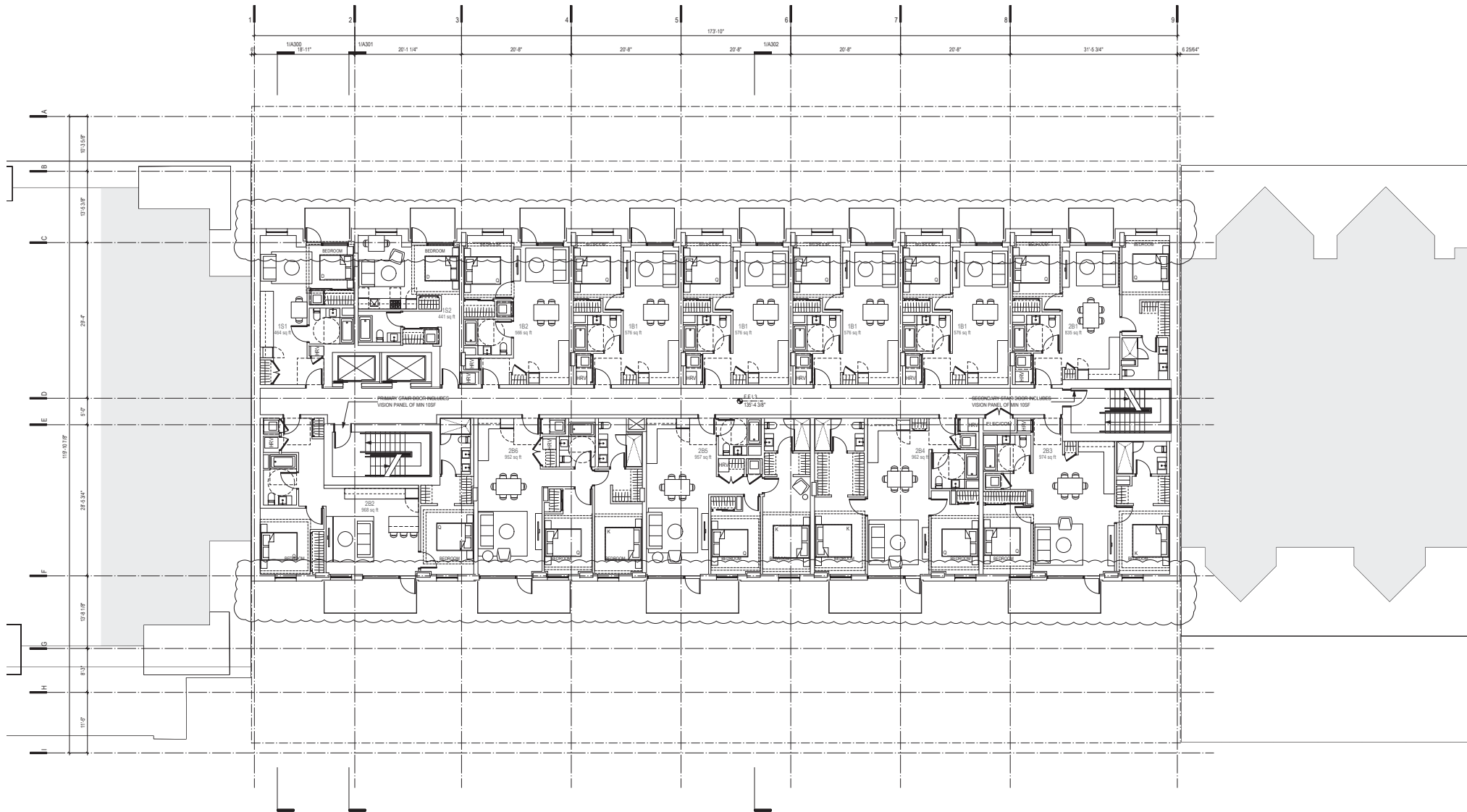
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2016-011

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Plan Level 2

A105



1 L3 Floor Plan  
1/8" = 1'-0"

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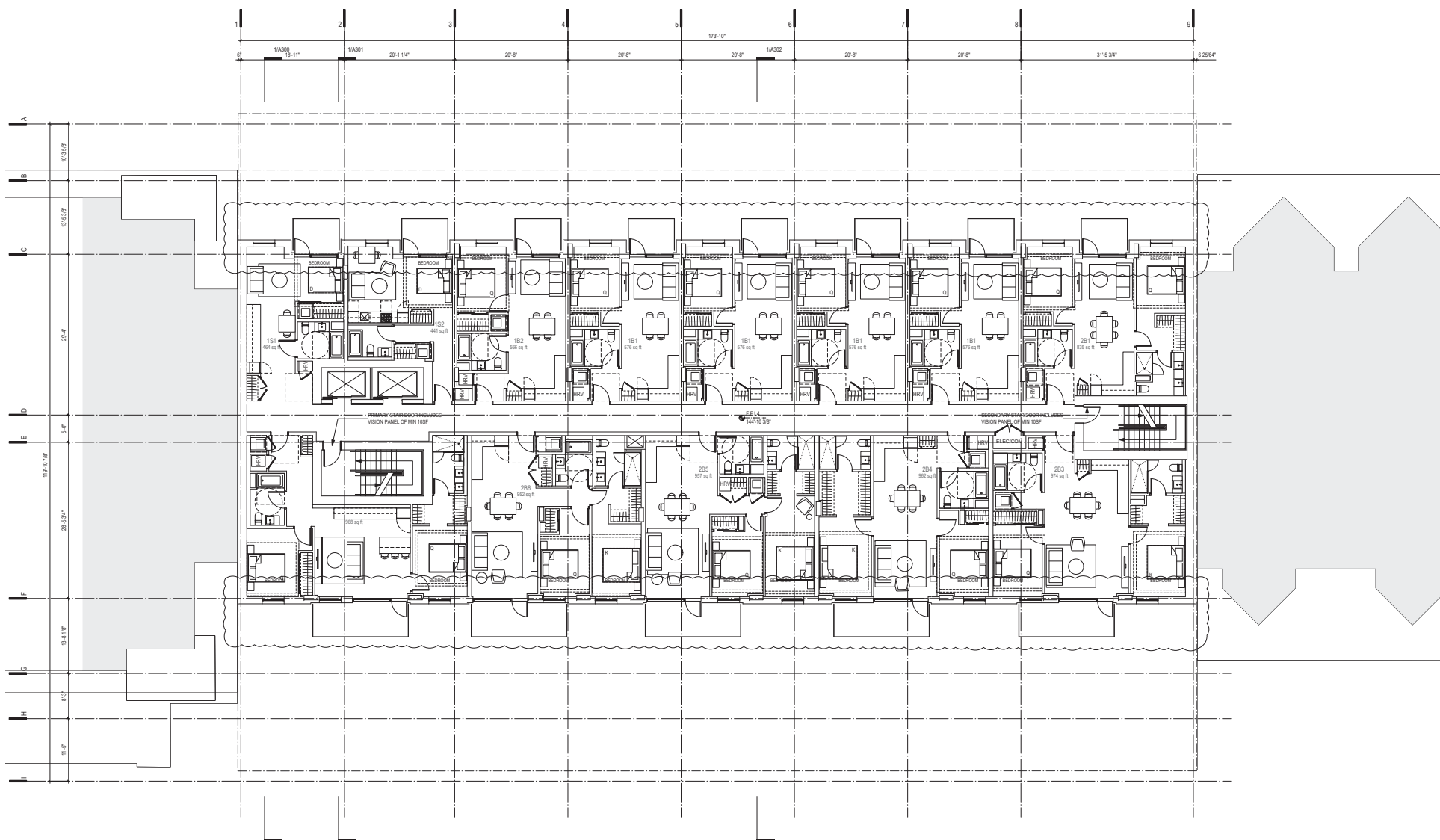
Anthem  
149 West 3rd St  
2916-017

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Plan Level 3

A106

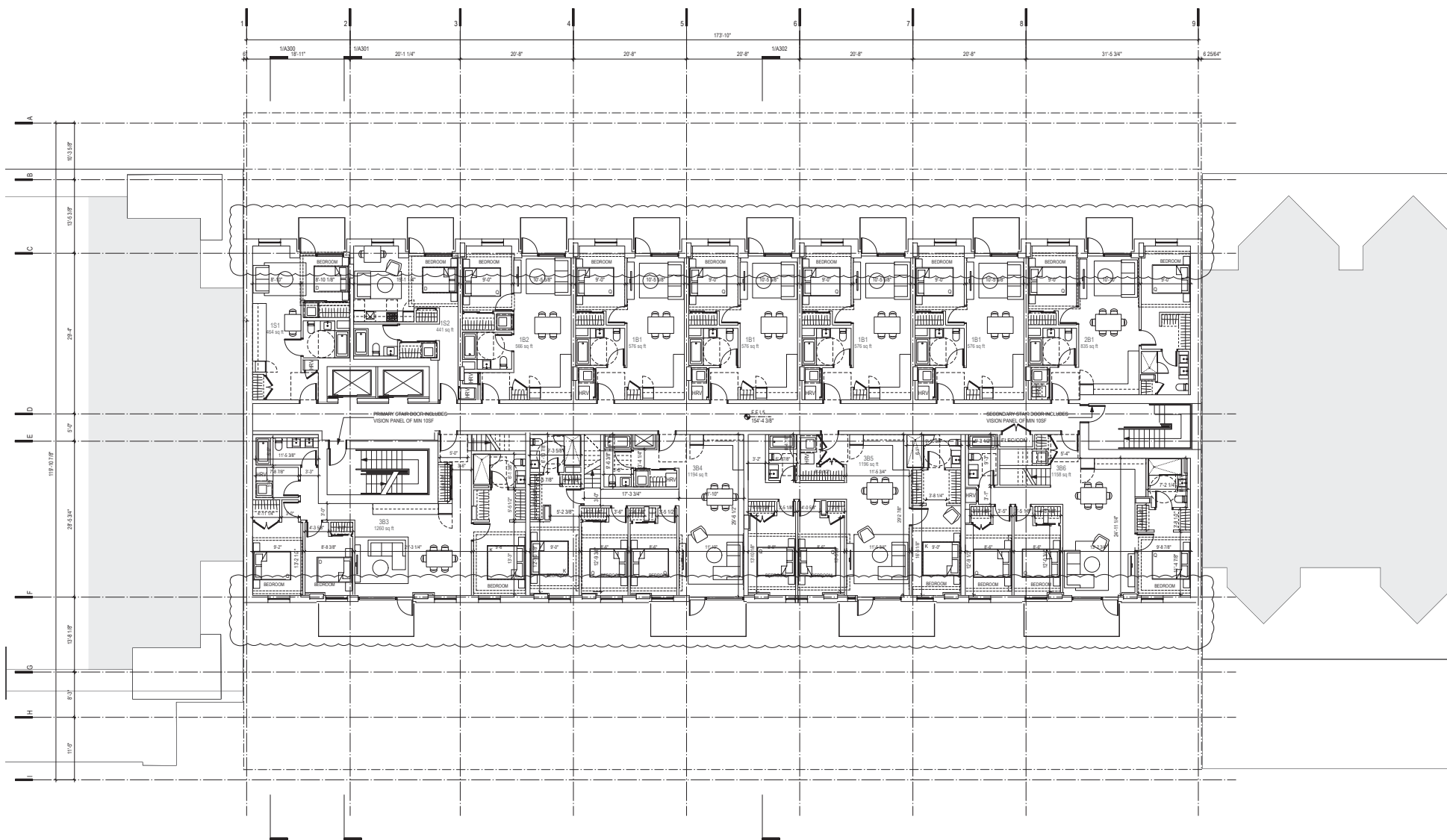




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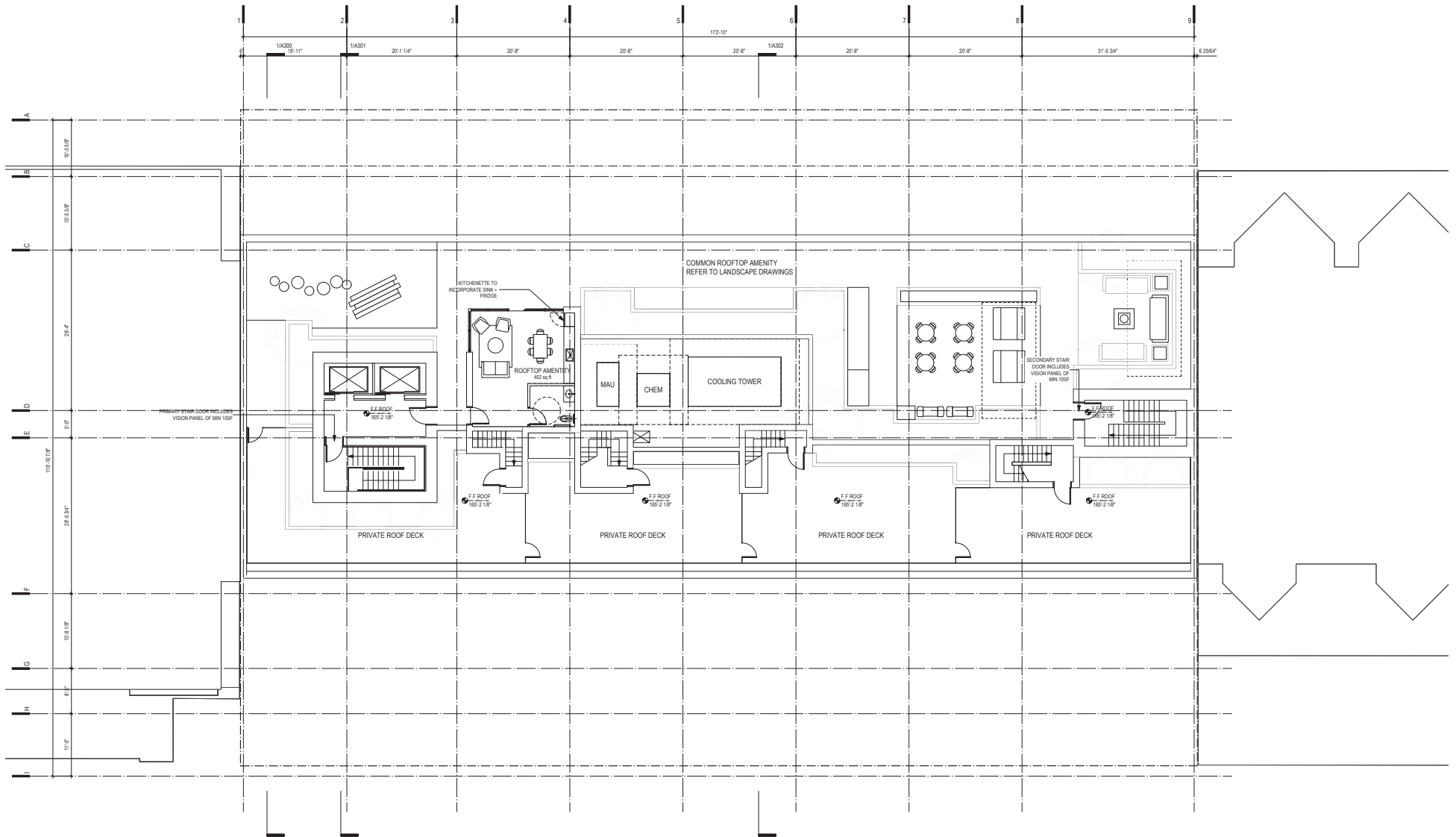
**Anthem**  
149 West 3rd St  
2018-017





1 L5 Floor Plan  
1/8" = 1'-0"

printed: Feb 3, 2022 10:27:40 AM



1 Roof Deck Plan  
1/8" = 1'-0"

project: Feb 3, 2022 10:27:52 AM

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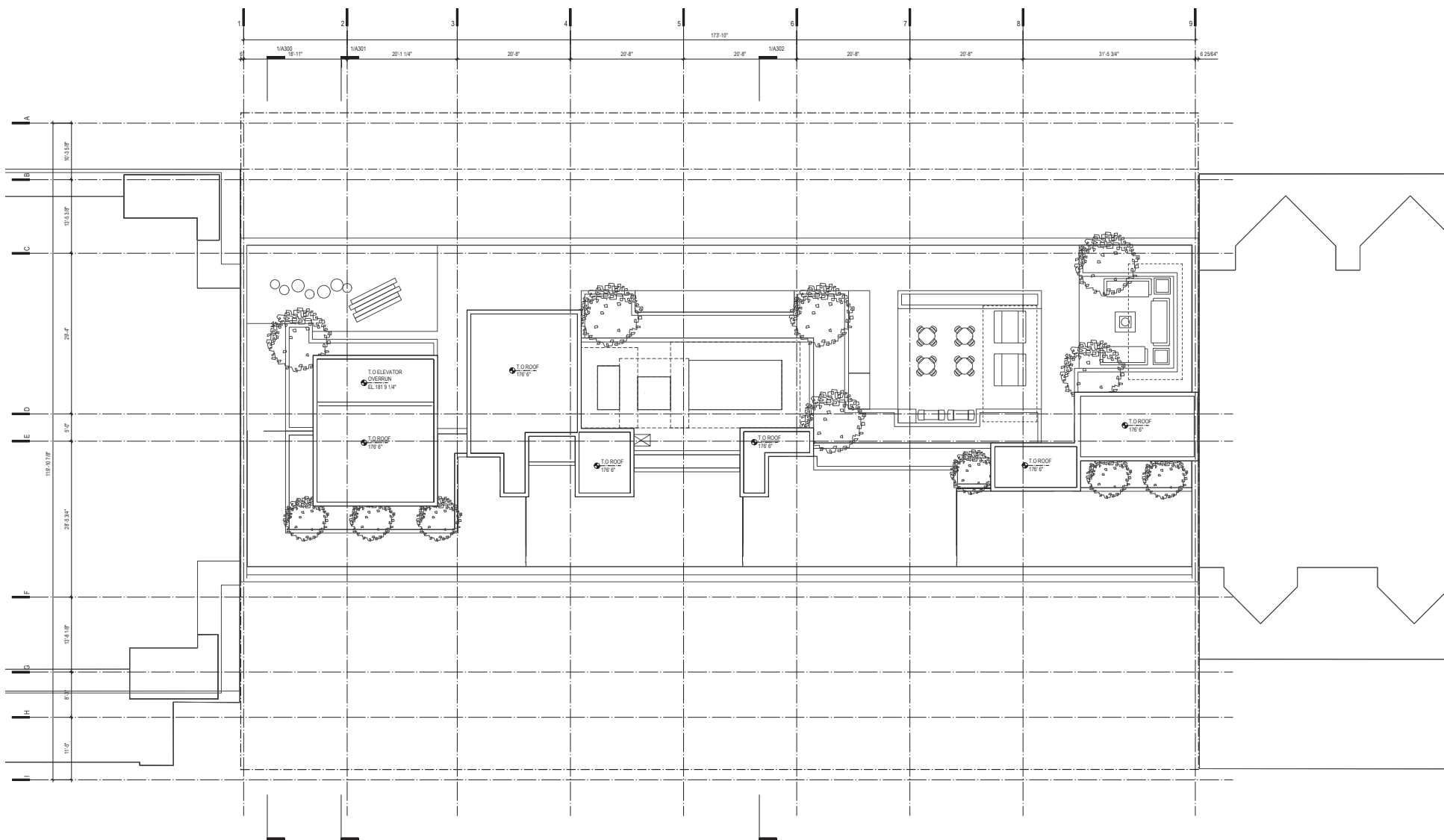
Anthem  
149 West 3rd St  
2016-011

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Plan Roof Deck Level



A109



2 Roof Plan  
1/8" = 1'-0"

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Plan Roof Level

A110





FINISH LEGEND	
GL-1	GLASS, CLEAR COLOUR
GL-2	GLASS, GREY COLOUR
MET-1	METAL, DARK GREY COLOUR
MET-2	METAL, LIGHT GREY COLOUR
BRICK	BRICK, LIGHT GREY COLOUR
CONC	CONCRETE
LVR	METAL LOUVRE, DARK GREY COLOUR



02/03/2022 Feb 3, 2022 10:34:25 AM

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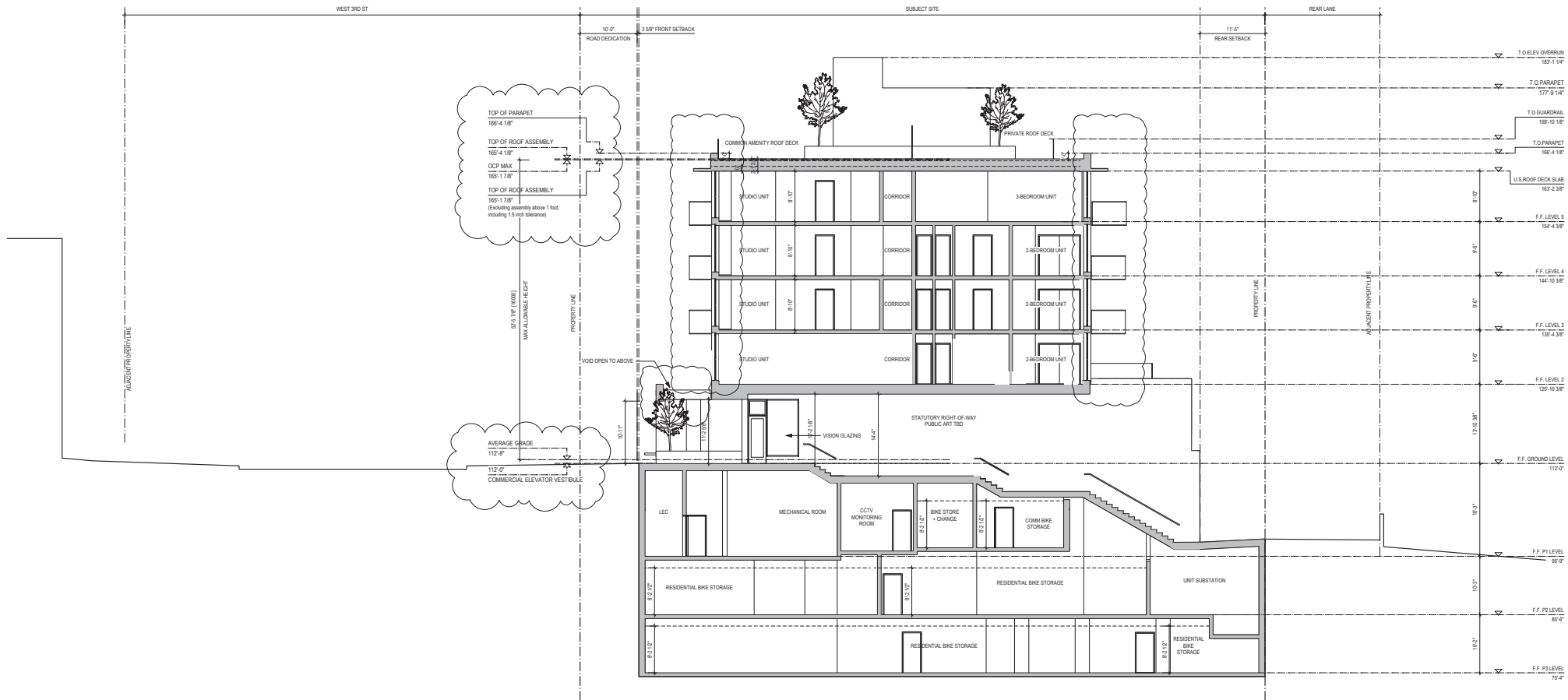
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149 West 3rd St  
2016-017

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Elevations - South Elevation

A201



1 Site Section - West SROW - Portal East  
1/8" = 1'-0"

02/03/2022 Feb 3, 2022 10:28:02 AM

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149 West 3rd St  
2016-011

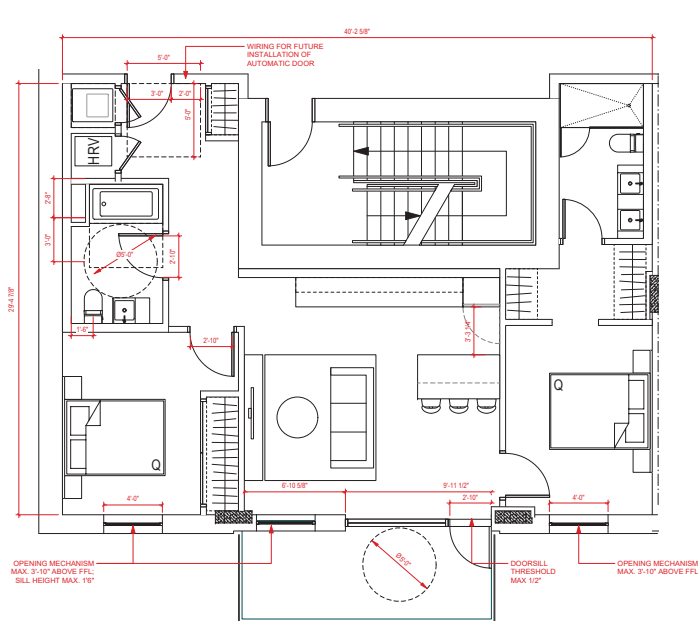
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Cross Section Thru SROW - East

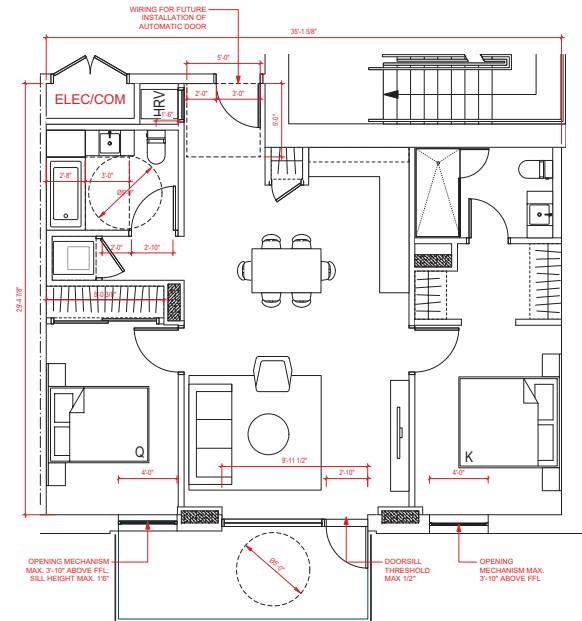
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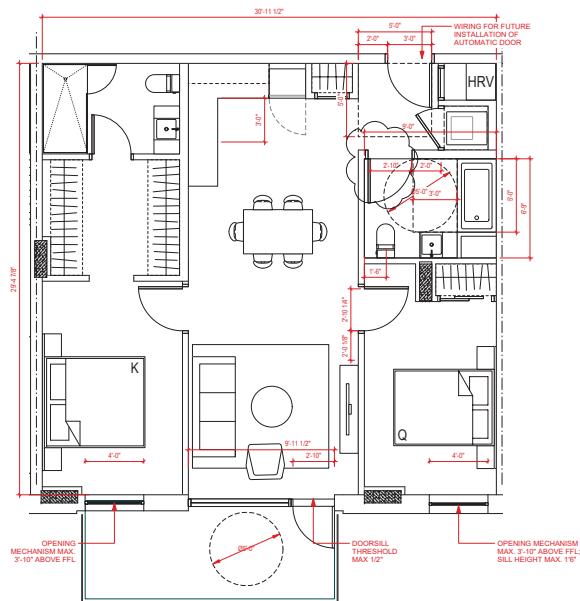




1 282 - 884 sf  
1/4" = 1'-0"



2 283 - 901 sf  
1/4" = 1'-0"



3 284 - 896 sf  
1/4" = 1'-0"



# CITY OF NORTH VANCOUVER - ADAPTABLE DESIGN GUIDELINES (LEVEL TWO)

## SUITE ENTRY / CIRCULATION:

- PROVIDE 1520mm (5') TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR OF EACH DWELLING UNIT
- PROVIDE WIRING FOR AN AUTOMATIC DOOR
- PROVIDE 610 mm (2') CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER
- MINIMUM ONE BATHROOM, MIN ONE BEDROOM AND STORAGE ROOM DOOR TO BE 800mm (2'-10") CLEAR OPENING

## ADAPTABLE BATHROOM LAYOUT:

- TOILET LOCATED ADJACENT TO THE WALL (MIN 915mm (3') LENGTH)
- PROVIDE TURNING RADIUS WITHIN BATHROOM
- 915 mm CLEARANCE ALONG FULL LENGTH OF TUB
- ACCESSIBLE STORAGE
- BACKING FOR TOWEL BAR AND FUTURE GRAB BARS
- SOLID BLOCKING PROVIDED IN WALLS OF TUB/SHOWER, TOILET AREAS AND BEHIND TOWEL BARS
- TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT AND SHOWER DIVERTED REMAINING IN CENTRAL POSITION
- ADJUSTABLE HEIGHT SHOWER HEAD OF HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET

## ADAPTABLE KITCHEN LAYOUT:

- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- PULL OUT WORK BOARDS AT 810mm (2'-8") HEIGHT

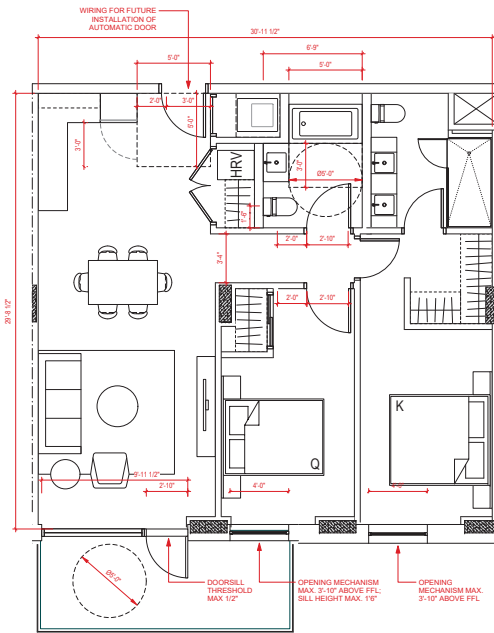
## PATIO/BALCONY REQUIREMENTS:

- MIN. ONE DOOR 800 mm (2'-10") CLEAR OPENING
- MIN. ONE BALCONY DOORSILL WITH MAX 13 mm (1/2") THRESHOLD
- MIN. 1520mm (5') TURNING RADIUS

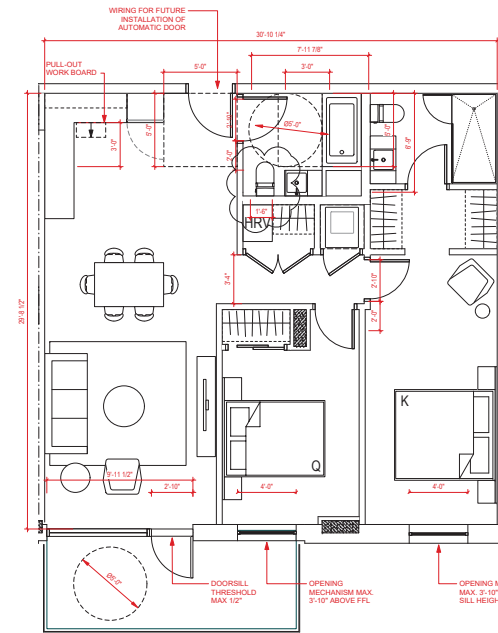
## WINDOWS:

- OPENING MECHANISM MAX 1168mm (48") ABOVE FLOOR
- PROVIDE MIN 1800mm (6') HORIZONTAL WINDOWS IN LIVING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 750mm (2'-6") ABOVE FLOOR





1 2B5 - 887 sf  
1/4" = 1'-0"



2 2B5 - 892 sf  
1/4" = 1'-0"



# CITY OF NORTH VANCOUVER - ADAPTABLE DESIGN GUIDELINES (LEVEL TWO)

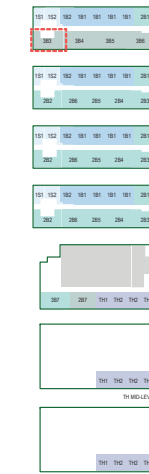
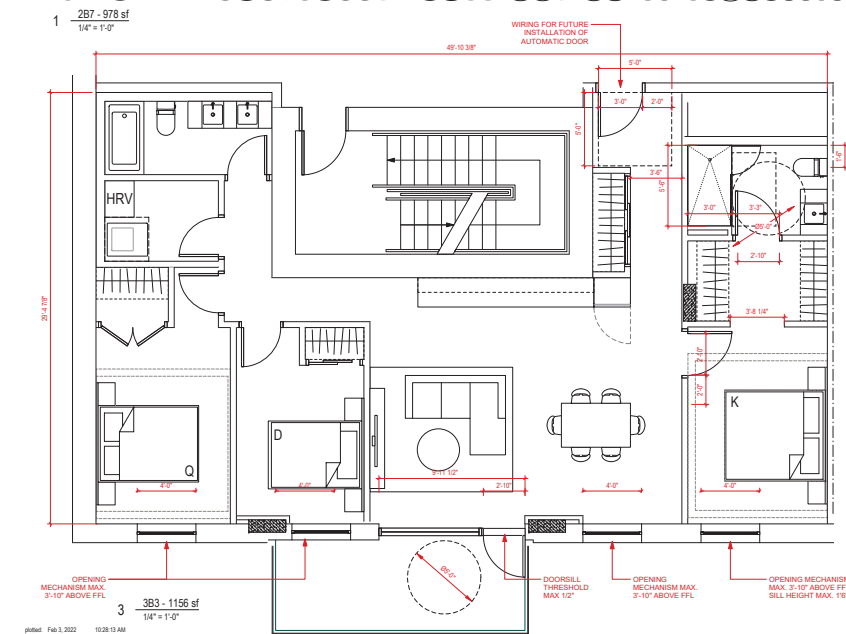
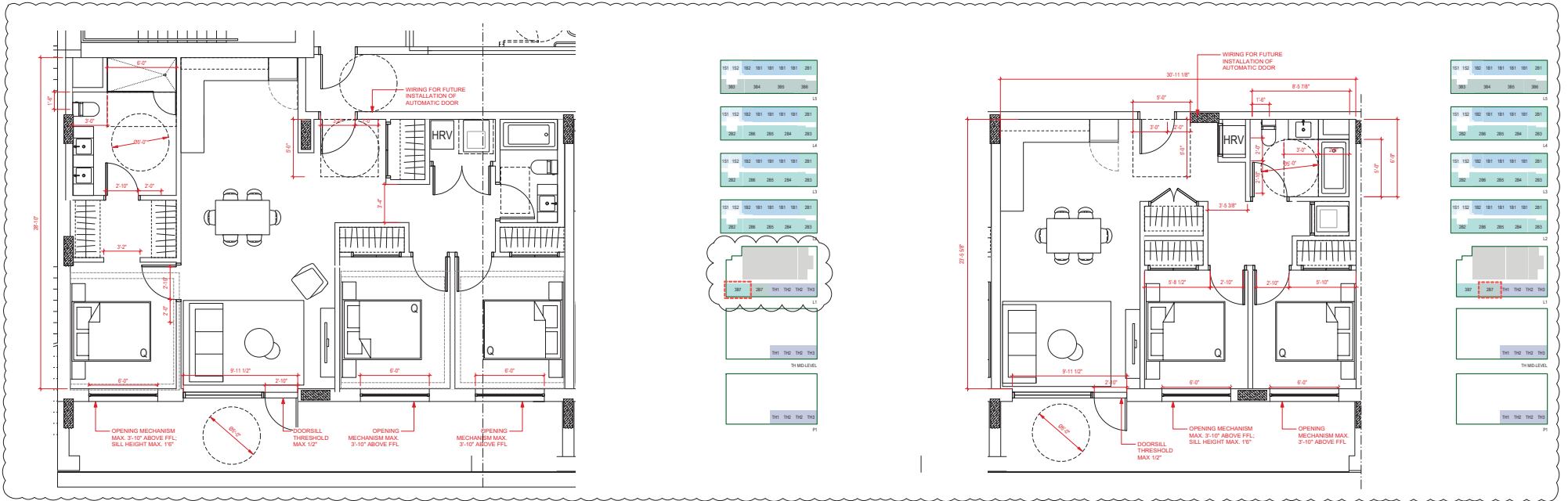
**SITE ENTRY / CIRCULATION:**  
 PROVIDE 150mm (6") TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR OF EACH DWELLING UNIT  
 PROVIDE WIRING FOR AN AUTOMATIC DOOR  
 PROVIDE 610 mm (2") CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER  
 MINIMUM ONE BATHROOM, MIN ONE BEDROOM AND STORAGE ROOM DOOR TO BE 800mm (2'-10") CLEAR OPENING

**ADAPTABLE BATHROOM LAYOUT:**  
 TOILET LOCATED ADJACENT TO THE WALL (MIN 915mm (3') LENGTH)  
 PROVIDE TURNING RADIUS WITHIN BATHROOM  
 915 mm CLEARANCE ALONG FULL LENGTH OF TUB  
 ACCESSIBLE STORAGE  
 BACKING FOR TOWEL BAR AND FUTURE GRAB BARS  
 SOLID BLOCKING PROVIDED IN WALLS OF TUB/SHOWER, TOILET AREAS AND BEHIND TOWEL BARS  
 TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT AND SHOWER DIVERTED REMAINING IN CENTRAL POSITION  
 ADJUSTABLE HEIGHT SHOWER HEAD OF HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET

**ADAPTABLE KITCHEN LAYOUT:**  
 CONTINUOUS COUNTER BETWEEN STOVE AND SINK  
 PULL OUT WORK BOARDS AT 810mm (2'-8") HEIGHT

**PATIO/BALCONY REQUIREMENTS:**  
 MIN. ONE DOOR 800 mm (2'-10") CLEAR OPENING  
 MIN. ONE BALCONY DOORSILL WITH MAX 13 mm (1/2") THRESHOLD  
 MIN. 150mm (6") TURNING RADIUS

**WINDOWS:**  
 OPENING MECHANISM MAX 1168mm (48") ABOVE FLOOR  
 PROVIDE MIN 1800mm (6') HORIZONTAL WINDOWS IN LIVING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 750mm (2'-6") ABOVE FLOOR



# CITY OF NORTH VANCOUVER - ADAPTABLE DESIGN GUIDELINES (LEVEL TWO)

## SITE ENTRY / CIRCULATION:

- PROVIDE 150mm (6") TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR OR EACH DWELLING UNIT
- PROVIDE WIRING FOR AN AUTOMATIC DOOR.
- PROVIDE 610 mm (2') CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER
- MINIMUM ONE BATHROOM, MIN ONE BEDROOM AND STORAGE ROOM DOOR TO BE 800mm (2'-8") CLEAR OPENING

## ADAPTABLE BATHROOM LAYOUT:

- TOILET LOCATED ADJACENT TO THE WALL (MIN 915mm (3') LENGTH)
- PROVIDE TURNING RADIUS WITHIN BATHROOM
- 915 mm CLEARANCE ALONG FULL LENGTH OF TUB
- ACCESSIBLE STORAGE
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- TUB CONTROL VALVE TO BE PLACED AT OUTER EDGE OF TUB WITH TUB SPOUT AND SHOWER DIVERTED REMAINING IN CENTRAL POSITION
- ADJUSTABLE HEIGHT SHOWER HEAD OF HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET

## ADAPTABLE KITCHEN LAYOUT:

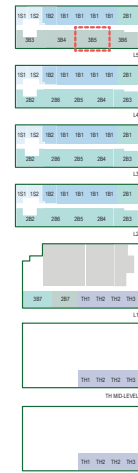
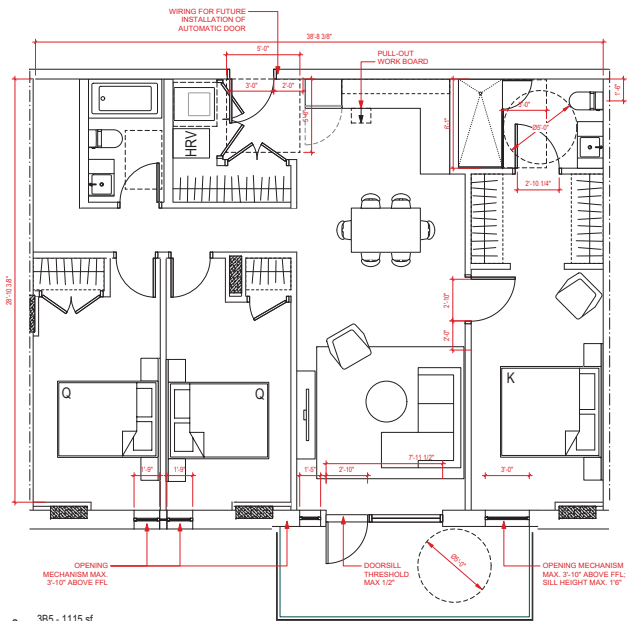
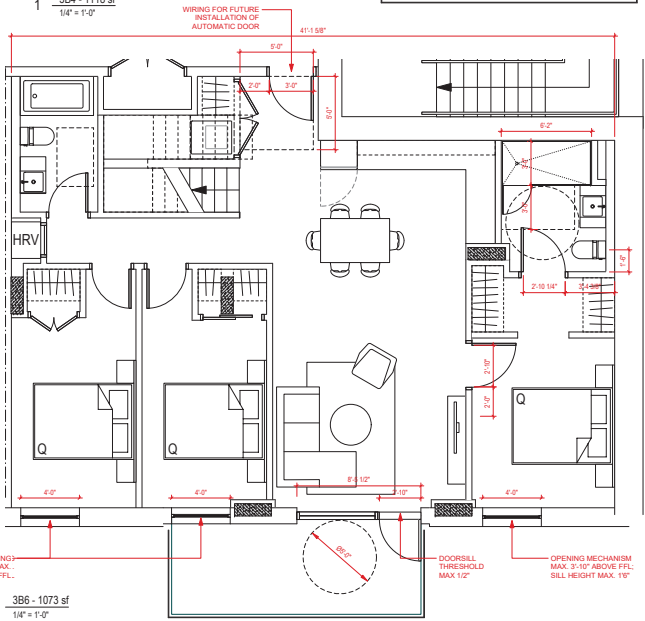
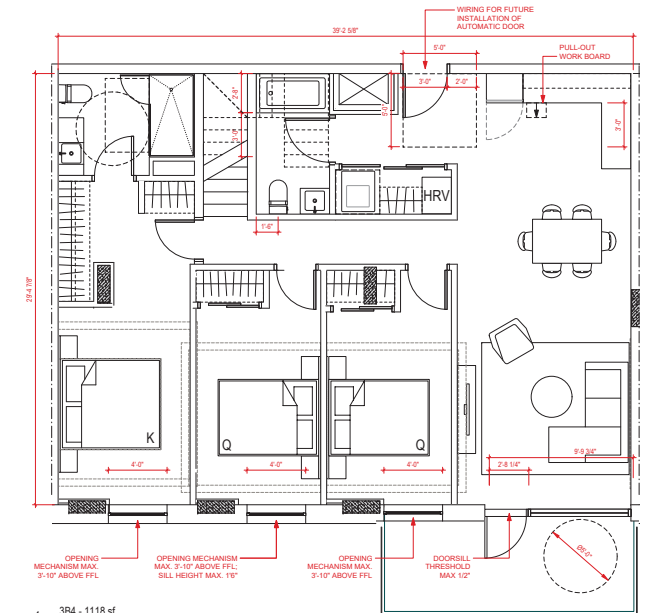
- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- PULL OUT WORK BOARDS AT 810mm (2'-8") HEIGHT

## PATIO/BALCONY REQUIREMENTS:

- MIN. ONE DOOR 800 mm (2'-10") CLEAR OPENING
- MIN. ONE BALCONY DOORSILL WITH MAX 13 mm (1/2") THRESHOLD.
- MIN. 150mm (6") TURNING RADIUS.

## WINDOWS:

- OPENING MECHANISM MAX 1168mm (48") ABOVE FLOOR
- PROVIDE MIN 180mm (6") HORIZONTAL WINDOWS IN LIVING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 750mm (2'-6") ABOVE FLOOR



CITY OF NORTH VANCOUVER - ADAPTABLE DESIGN GUIDELINES (LEVEL TWO)

**SUITE ENTRY / CIRCULATION:**  
 PROVIDE 150mm (6") TURNING RADIUS INSIDE AND OUTSIDE THE ENTRY CORRIDOR OF EACH DWELLING UNIT  
 PROVIDE WIRING FOR AN AUTOMATIC DOOR  
 PROVIDE 610 mm (2') CLEAR WALL SPACE ADJACENT TO DOOR LATCHES WHERE DOOR SWINGS TOWARD USER  
 MINIMUM ONE BATHROOM, MIN ONE BEDROOM AND STORAGE ROOM DOOR TO BE 800mm (2'-10") CLEAR OPENING

**ADAPTABLE BATHROOM LAYOUT:**  
 TOILET LOCATED ADJACENT TO THE WALL (MIN 915mm (3') LENGTH)  
 PROVIDE TURNING RADIUS WITHIN BATHROOM  
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 ADJUSTABLE HEIGHT SHOWER HEAD OF HAND-HELD SHOWER HEAD ON ADJUSTABLE BRACKET

**ADAPTABLE KITCHEN LAYOUT:**  
 CONTINUOUS COUNTER BETWEEN STOVE AND SINK  
 PULL OUT WORK BOARDS AT 810mm (2'-8") HEIGHT

**PATIO/BALCONY REQUIREMENTS:**  
 MIN. ONE DOOR 800 mm (2'-10") CLEAR OPENING  
 MIN. ONE BALCONY DOORSILL WITH MAX 13 mm (1/2") THRESHOLD  
 MIN. 150mm (6") TURNING RADIUS

**WINDOWS:**  
 OPENING MECHANISM MAX 1168mm (48") ABOVE FLOOR  
 PROVIDE MIN 180mm (6") HORIZONTAL WINDOWS IN LIVING ROOM, DINING ROOM AND MIN ONE BEDROOM WHERE SILLS ARE NOT MORE THAN 750mm (2'-4") ABOVE FLOOR



# 149 WEST 3RD

## Issue for Rezoning Resubmission



Location Map (NTS)

### Contact Information

#### VDZ+A

Project Landscape Architecture

Fort Langley Studio  
102 - 9181 Church Street  
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio  
102-355 Kingsway  
Vancouver, British Columbia, V5T 3J7

Primary project contact:  
David Jerke  
davidj@vdz.ca  
o. 604 546 0921

Alternate contacts (incase away):  
Mark van der Zalm  
Principal Landscape Architect  
mark@vdz.ca  
o. 604 546 0920

### Contact Information

#### Anthem Properties

Project Owner

Suite 1100 Bentall IV, 1055 Dunsmuir St, Vancouver,  
BC V7X 1K8

#### Office of Mcfarlane Biggar

Project Building Architecture

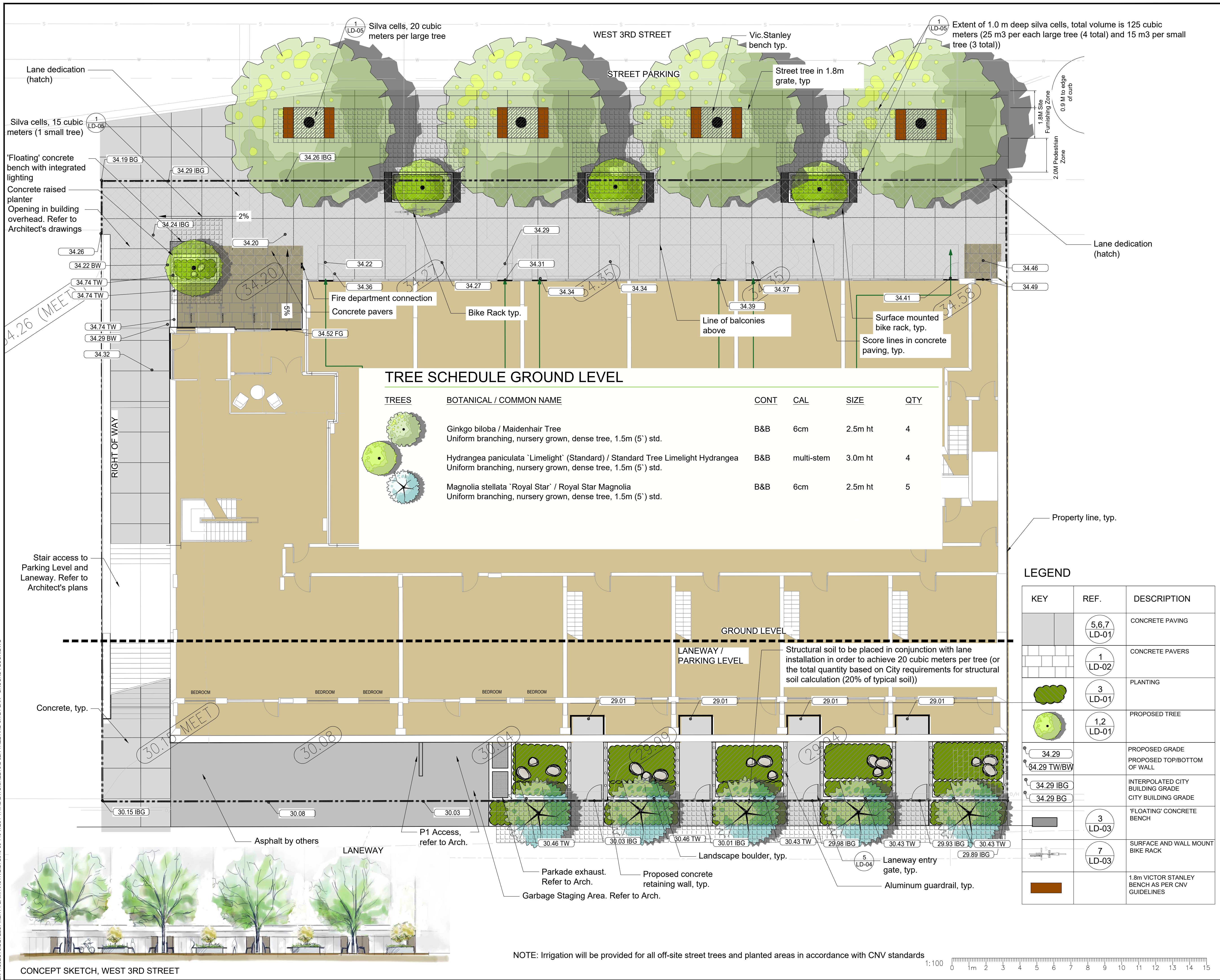
301 - 1825 Quebec Street  
Vancouver BC  
V5T 2Z3, Canada

## Landscape Sheets

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	TREE AND SITE PLAN - GROUND FLOOR
L-02B	TREE AND SITE PLAN - LEVEL 2 & ROOF
L-03A	PLANTING PLAN - GROUND FLOOR
L-03B	PLANTNG PLAN - LEVEL 2 & ROOF
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS

11	DY	Re-Issue for Re-zoning	Feb 03, 2022
10	DY	Re-Issue for Re-zoning	Dec 21, 2021
9	ET	Re-Issue for Re-zoning	Dec 16, 2021
8	DY	Re-Issue for DP	Nov 22, 2021
7	DY	Issue for Development Permit	Oct 29, 2021
6	DJ	Issue for Development Permit	July 20, 2021
5	DJ	Issue for Development Permit	July 09, 2021
4	DR	Issue for Development Permit	Mar 31, 2020
3	DR	Issue for Development Permit	Mar 26, 2020
2	DJ	Issue for Re-zoning	Mar 13, 2020
1	DJ	Issue for Development Permit	Dec 18, 2019
No.	By:	Description	Date
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Location: 149 West 3rd Street North Vancouver, B.C.			
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AL DR			
Checked:			
DJ			
Approved:	Original Sheet Size:		
DJ	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PA/HA/PP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
NTS			





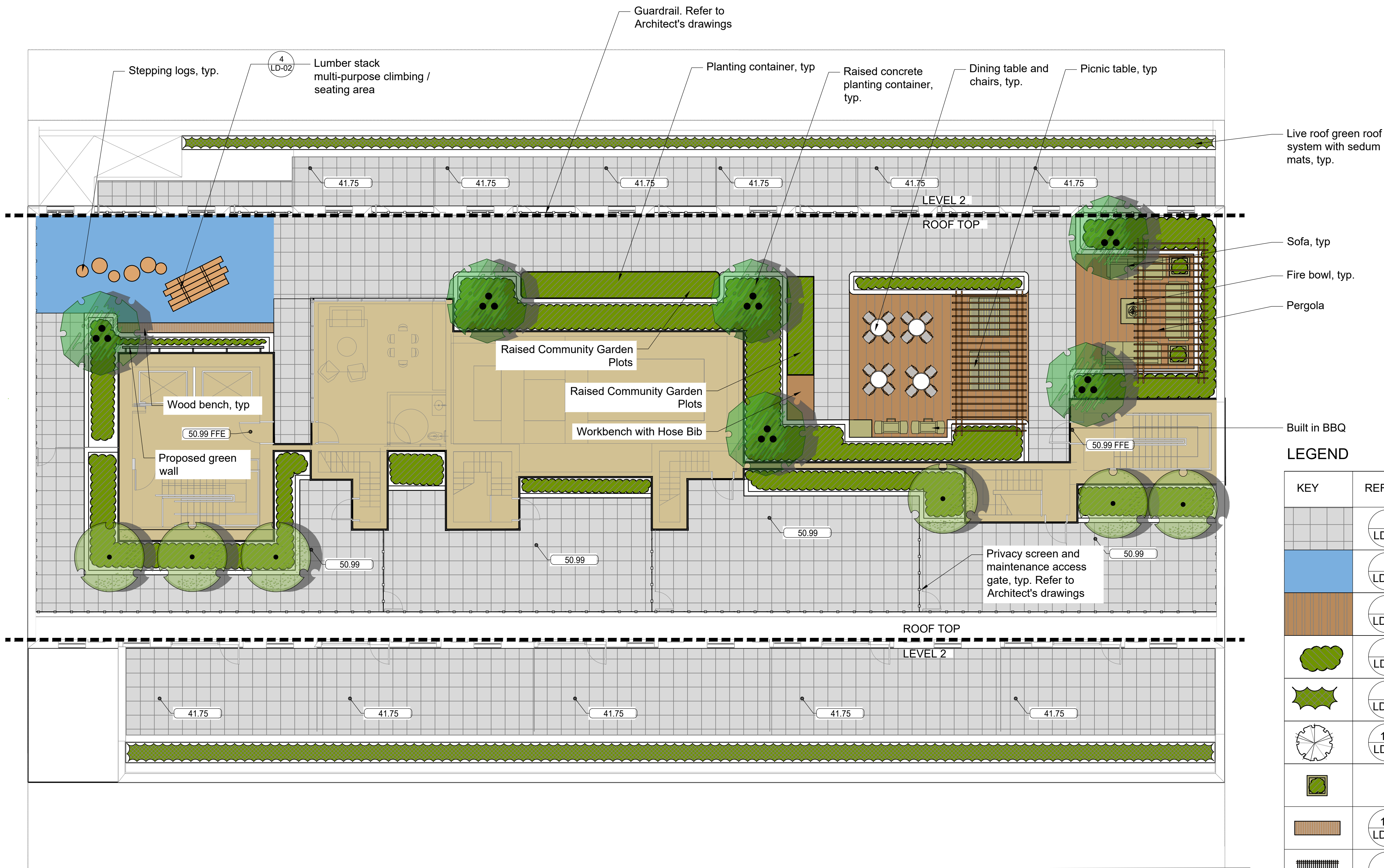
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10	DY	Re-Issue for Re-zoning	Dec 21, 2021
9	ET	Re-Issue for Re-zoning	Dec 16, 2021
8	DY	Re-Issue for DP	Nov 22, 2021
7	DY	Issue for Development Permit	Oct 29, 2021
6	DJ	Issue for Development Permit	July 20, 2021
5	DJ	Issue for Development Permit	July 09, 2021
4	DR	Issue for Development Permit	Mar 31, 2020
3	DR	Issue for Development Permit	Mar 26, 2020
2	DJ	Issue for Re-zoning	Mar 13, 2020
1	DJ	Issue for Development Permit	Dec 18, 2019
No.	By:	Description	Date

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No.	By:	Description	Date

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Approved:	Original Sheet Size: 24"x36"		
DJ			
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1:100			



WEST 3RD STREET



LEGEND

KEY	REF.	DESCRIPTION
	8 LD-01	HYDRAPRESSED SLABS
	2 LD-02	RUBBER PLAYGROUND TILES
	6 LD-02	DECKING
	3 LD-01	SHRUB PLANTING
	4 LD-04	GREEN ROOF PLANTING MODULE
	1,2 LD-01	PROPOSED TREE
		FREESTANDING PLANTER
	1,2 LD-03	WOOD BENCH ON CONCRETE
	6 LD-03	PERGOLA
	5 LD-03	FIRE TABLE
	2,3 LD-04	DINING TABLE AND CHAIR
	1 LD-04	SOFA
	5 LD-02	BUILT IN BBQ
	4 LD-03	PICNIC TABLE

TREE SCHEDULE: ROOFTOP

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer circinatum / Vine Maple Uniform branching, nursery grown, dense tree, minimum 3 stems.	B&B	6cm	2.5m ht	6
	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf Uniform branching, nursery grown, dense tree, 1.5m (5') std.	B&B	6cm	2.5m ht	6

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

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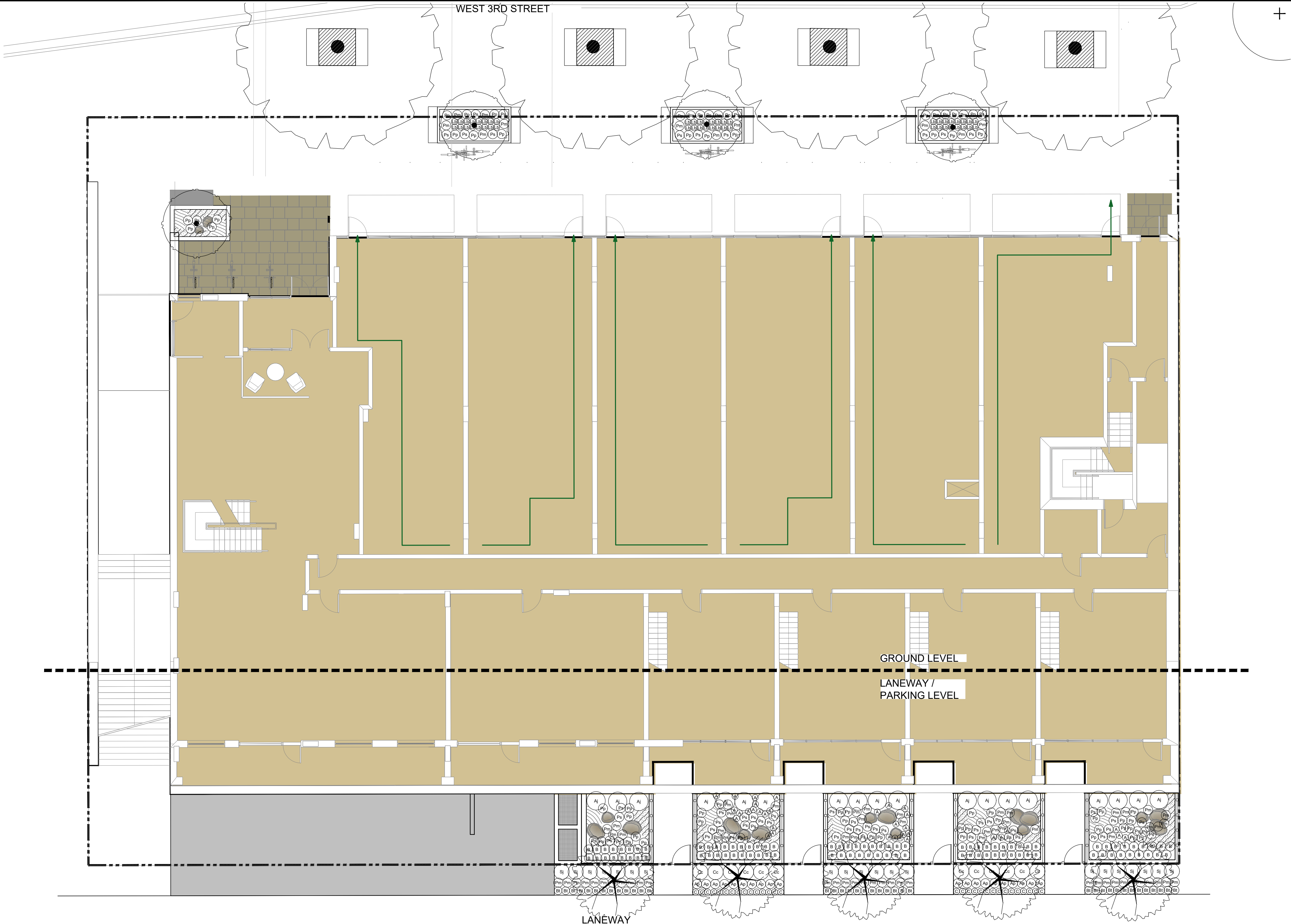
Project:  
149 WEST 3RD STREET  
MIXED-USE DEVELOPMENT

Location:  
149 West 3rd Street  
North Vancouver, B.C.

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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2019-50\_149 WEST 3RD STREET\DWG\SHEET\SL-03A PLANTING PLAN - GROUND FLOOR.DWG



PLANT SCHEDULE GROUND FLOOR

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Ap	Andromeda polifolia 'Blue Ice' / Bog Rosemary Nursery grown, well established	#1	0.45m	20
Al	Azalea japonica 'Girard's Kathy' / Girard's Kathy Azalea - white Nursery grown, well established	#3	0.9m	19
Bt	Berberis thunbergii 'Royal Burgundy' / Royal Burgundy Barberry Nursery grown, well established	#2	0.38m	38
B	Buxus x 'Green Velvet' / Boxwood Nursery grown, well established	#3	0.45m	93
Cc	Cotinus coggygria 'Velvety' / Velvety Compact Smokebush Nursery grown, well established	#2	0.75m	12
Sl	Skimmia japonica / Skimmia Nursery grown, well established	#2	0.75m	20

(Pm)	Polystichum munitum / Western Sword Fern Nursery grown, well established	#2	0.45m	80	
(Pp)	Polystichum polyblepharum / Japanese Tassel Fern Nursery grown, well established	#2	0.45m	56	
(Ps)	Polystichum setiferum / Soft Shield Fern Nursery grown, well established	#2	0.45m	56	
<u>GRASSES</u>		<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>
(C)	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge Nursery grown, well established	#1	0.3m	30	
<u>PERENNIALS</u>		<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>
(A)	Astilbe x arendsii 'Look at Me' / False Spiraea Nursery grown, well established	#1	0.3m	34	
(Lb)	Liriope spicata 'Big Blue' / Creeping Lily Turf Nursery grown, well established	#1	0.3m	48	

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Heliconia scoleroli / baby's tears Nursery grown, well established	#1	750mm	16
	Tiarella cordifolia / Foamflower Nursery grown, well established	#1	300mm	44

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

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Drawing Title:

PLANTING PLAN - GROUND FLOOR



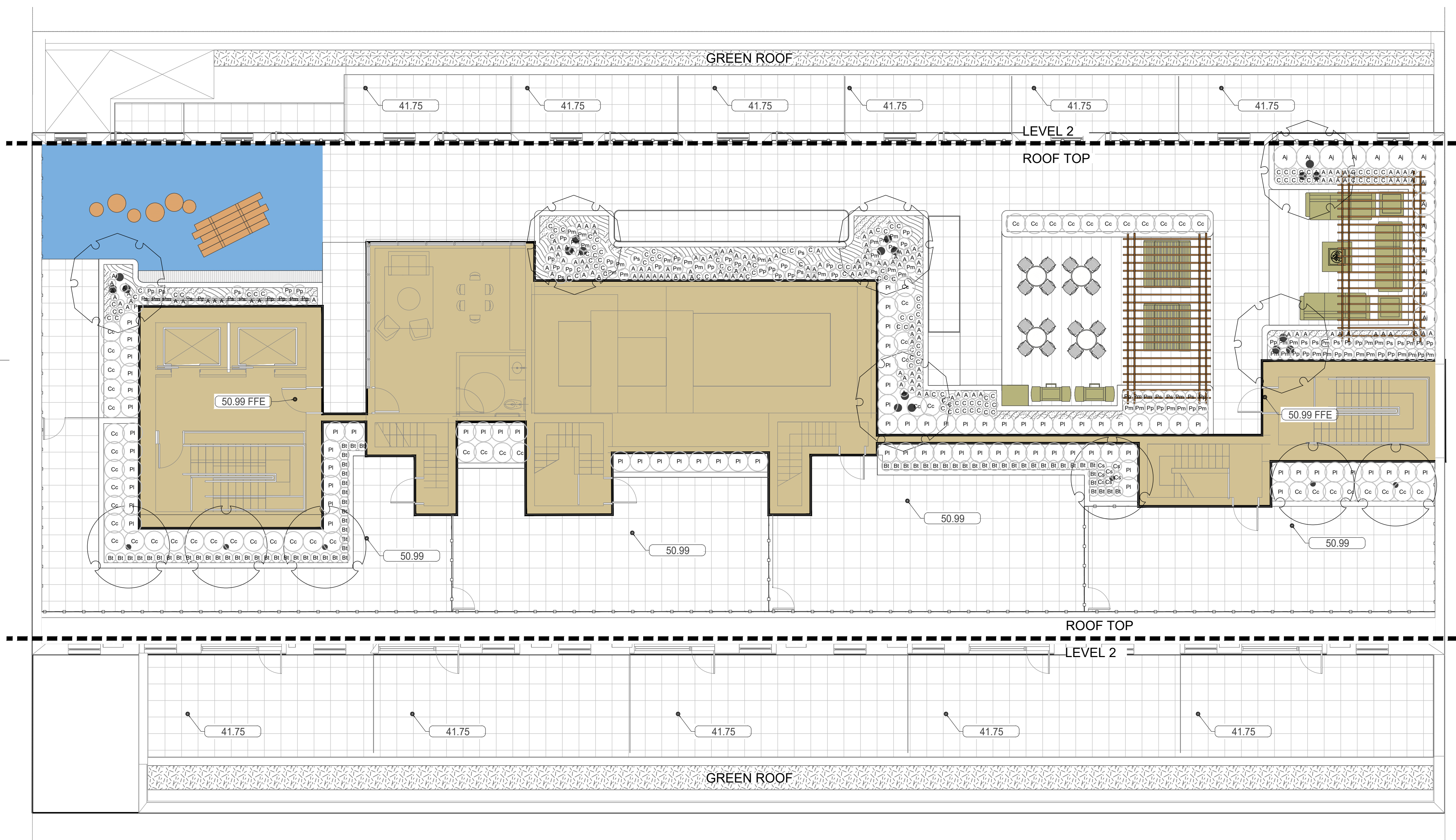
VDZ Project #:

DP2019-50

Drawing #:

L-03A





## PLANT SCHEDULE ROOF

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Ai	Azalea japonica 'Girard's Kathy' / Girard's Kathy Azalea - white Nursery grown, well established	#3	0.9m	14
Bt	Berberis thunbergii 'Royal Burgundy' / Royal Burgundy Barberry Nursery grown, well established	#2	0.38m	42
Cs	Cornus sericea 'Kelsey' / Kelseyi Dogwood Nursery grown, well established	#2	0.38m	7
Cc	Cotinus coggygia 'Velvetenny' / Velveteeny Compact Smokebush Nursery grown, well established	#2	0.75m	52
Pi	Prunus lusitanica 'Lolita' / Little Leafed Portugal Laurel Nursery grown, well established	#2	0.75m	91
FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Pm	Polystichum munitum / Western Sword Fern Nursery grown, well established	#2	0.45m	47
Pp	Polystichum polyblepharum / Japanese Tassel Fern Nursery grown, well established	#2	0.45m	43
Ps	Polystichum setiferum / Soft Shield Fern Nursery grown, well established	#2	0.45m	21
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
C	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge Nursery grown, well established	#1	0.3m	111
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Astilbe x arendsii 'Look at Me' / False Spiraea Nursery grown, well established	#1	0.3m	153
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Heliconia scoloriol / baby's tears Nursery grown, well established	#1	750mm	16
	Tiarella cordifolia / Foamflower Nursery grown, well established	#1	300mm	79

## CONCEPT PLANT SCHEDULE LEVEL 2

GREEN ROOF	72.4 m <sup>2</sup>			
Antennaria microphylla / Pussytoes	3.6 m <sup>2</sup>	SP4	5%	
Armeria maritima / Common Thrift	3.6 m <sup>2</sup>	SP4	5%	
Carex densa / Dense Sedge	7.2 m <sup>2</sup>	SP4	10%	
Carex pachystachya / Chamisso Sedge	7.2 m <sup>2</sup>	SP4	10%	
Carex tumulicola / Berkeley Sedge	7.2 m <sup>2</sup>	SP4	10%	
Festuca rubra / Red Fescue	7.2 m <sup>2</sup>	SP4	10%	
Fritillaria lanceolata / Chocolate Lily	3.6 m <sup>2</sup>	SP4	5%	
Sedum album 'Muralis' / Chubby Fingers	7.2 m <sup>2</sup>	SP4	10%	
Sedum caudicola 'Lidakense' / Purple Stonecrop	7.2 m <sup>2</sup>	SP4	10%	
Sedum reflexum 'Blue Spruce' / Blue Spruce-leaved Stonecrop	7.2 m <sup>2</sup>	SP4	10%	
Sedum x 'Vera Jameson' / Vera Jameson Sedum	10.9 m <sup>2</sup>	SP4	15%	

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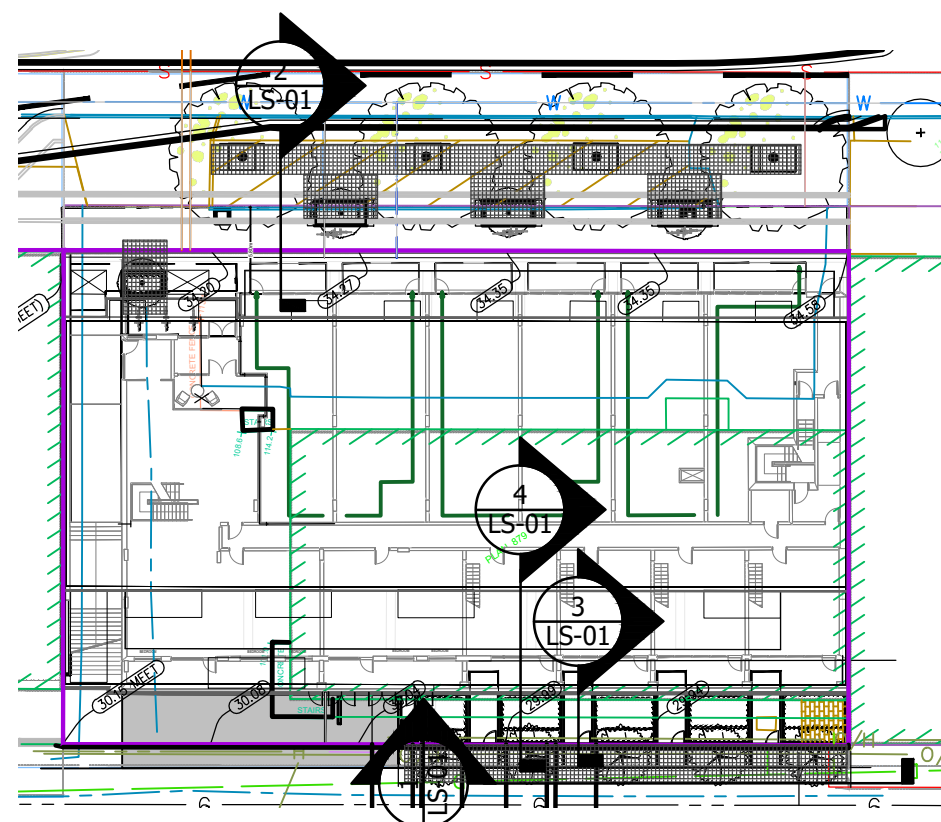
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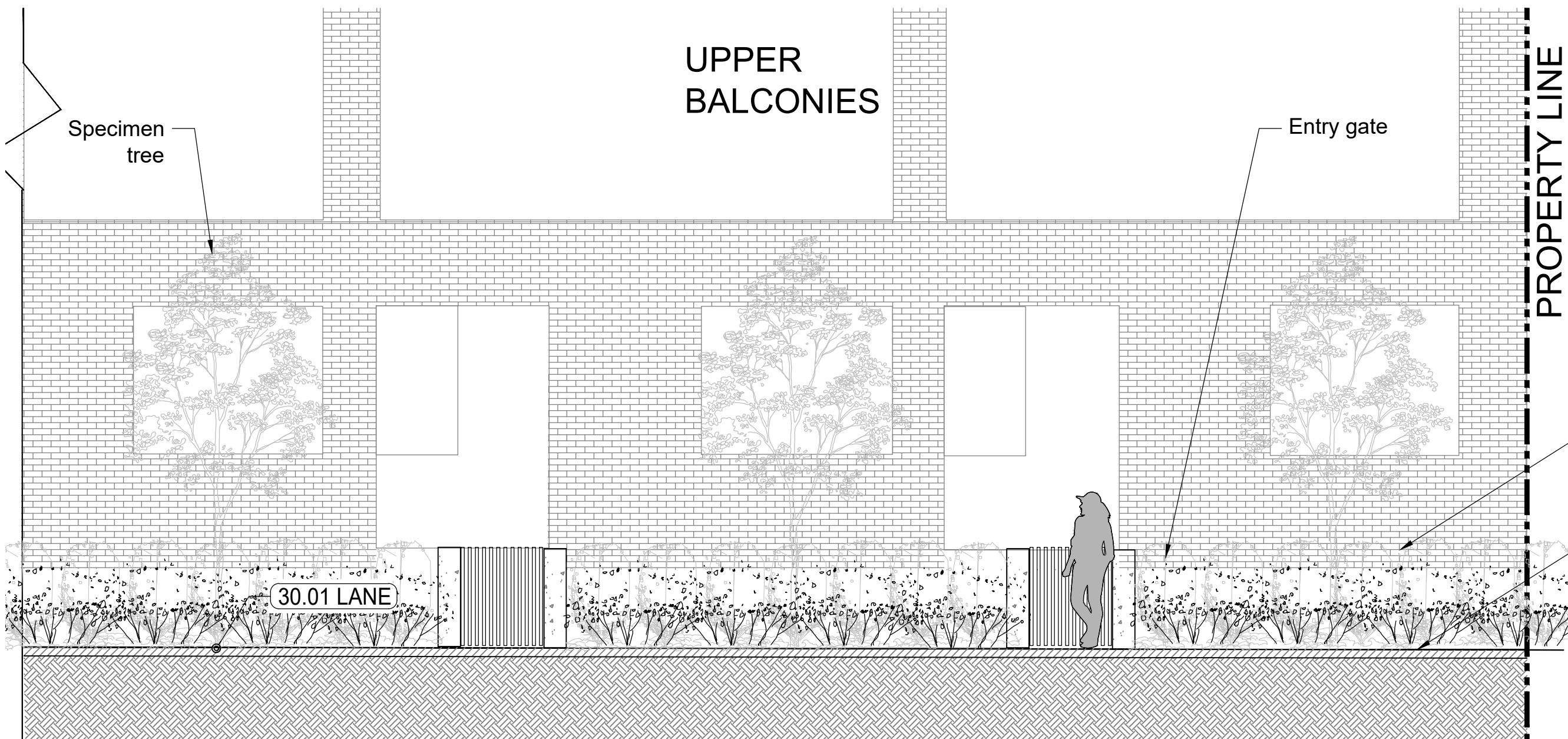
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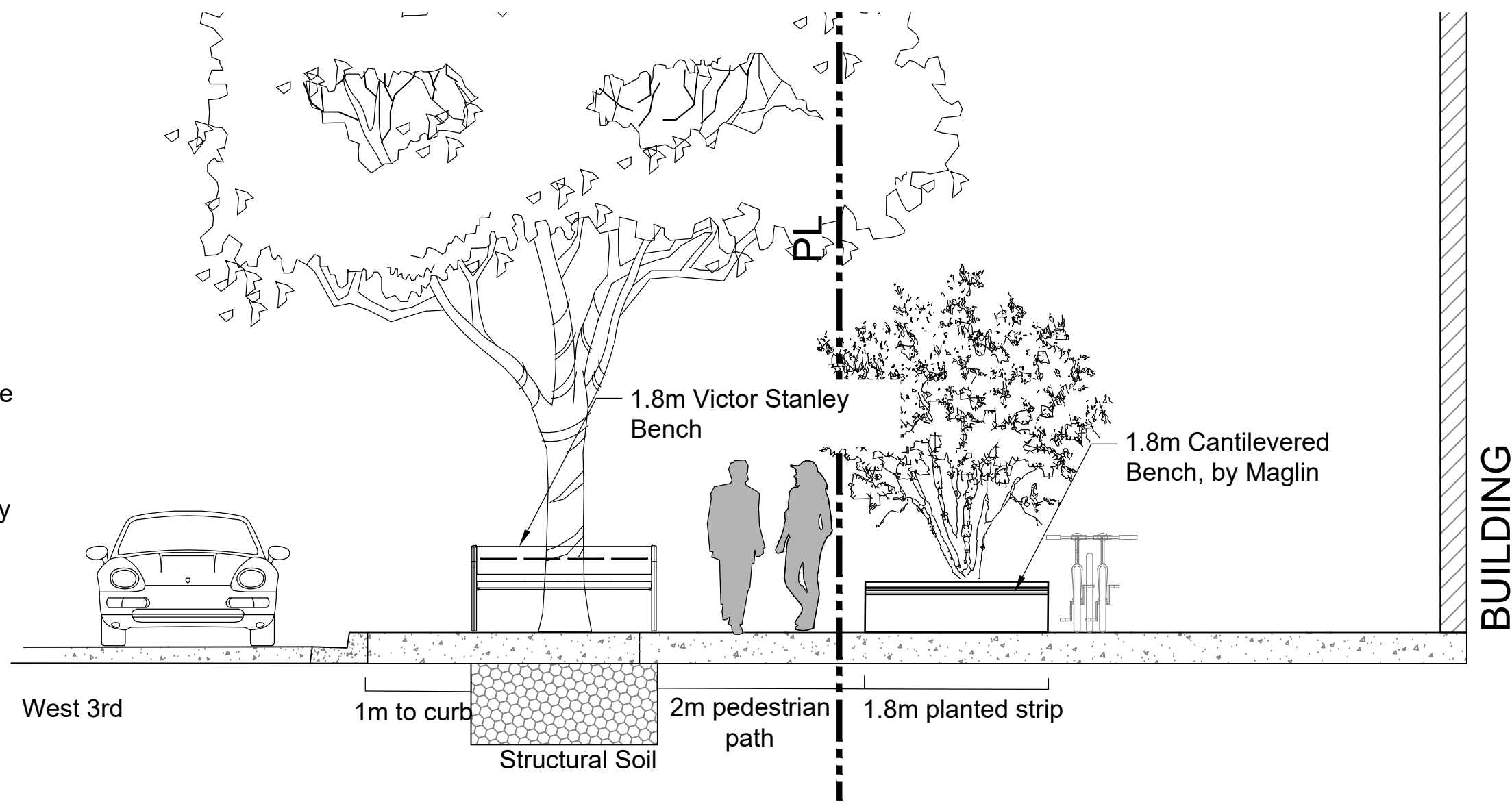




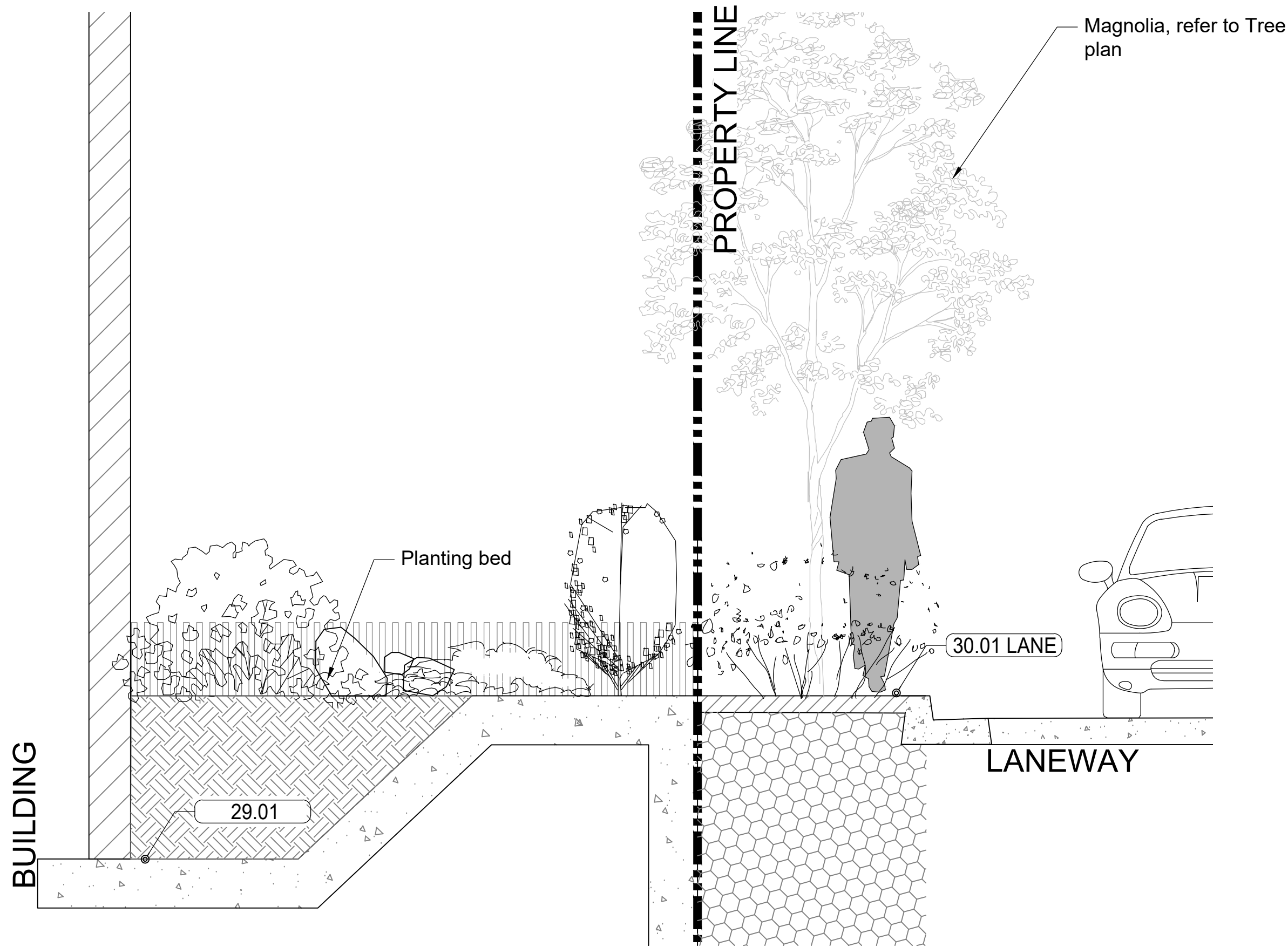
1 KEY PLAN  
NTS



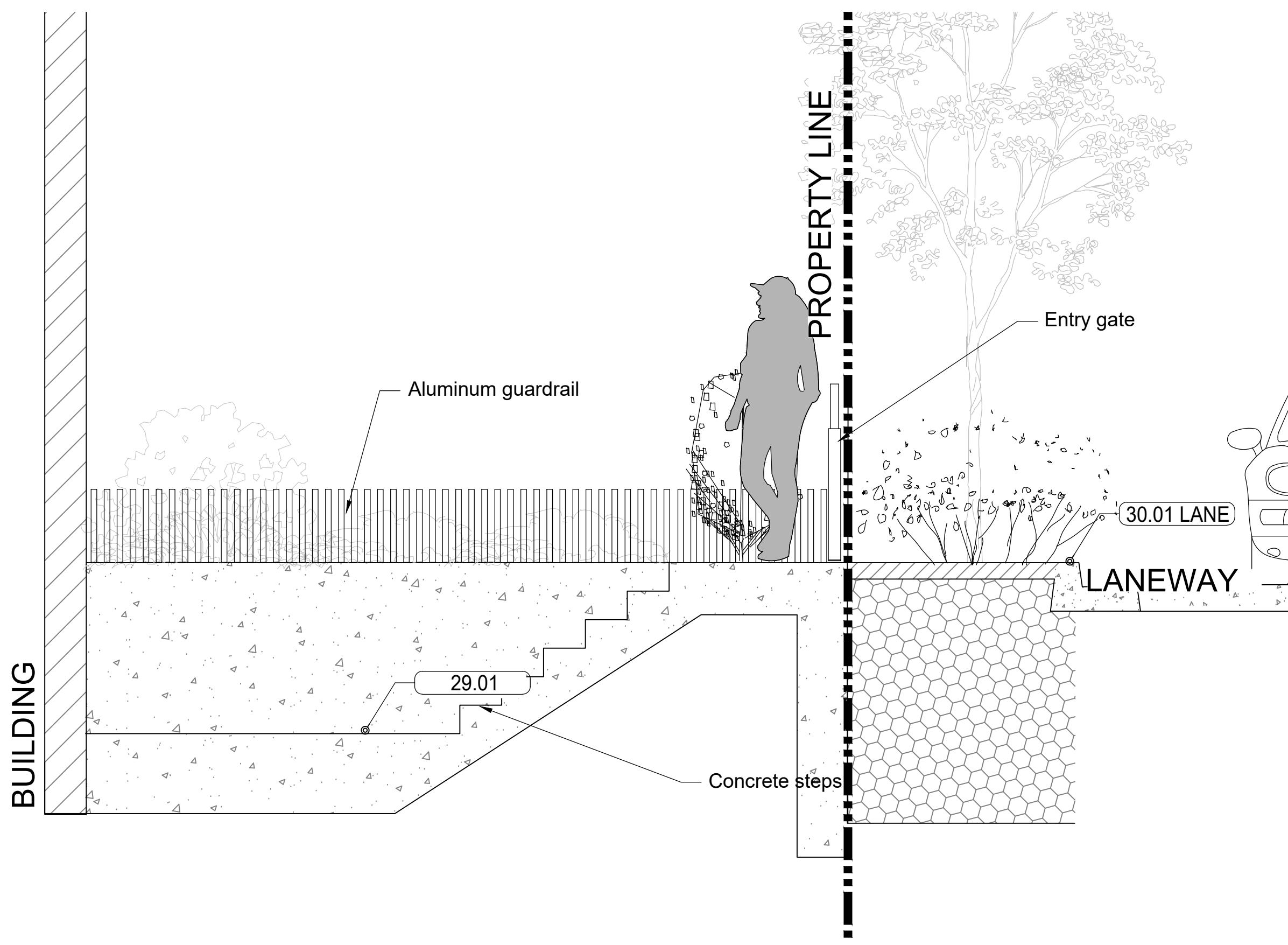
2 SECTION 1  
Scale 1:50



3 SECTION 2  
Scale 1:50



4 SECTION 3  
Scale 1:25



5 SECTION 4  
Scale 1:25

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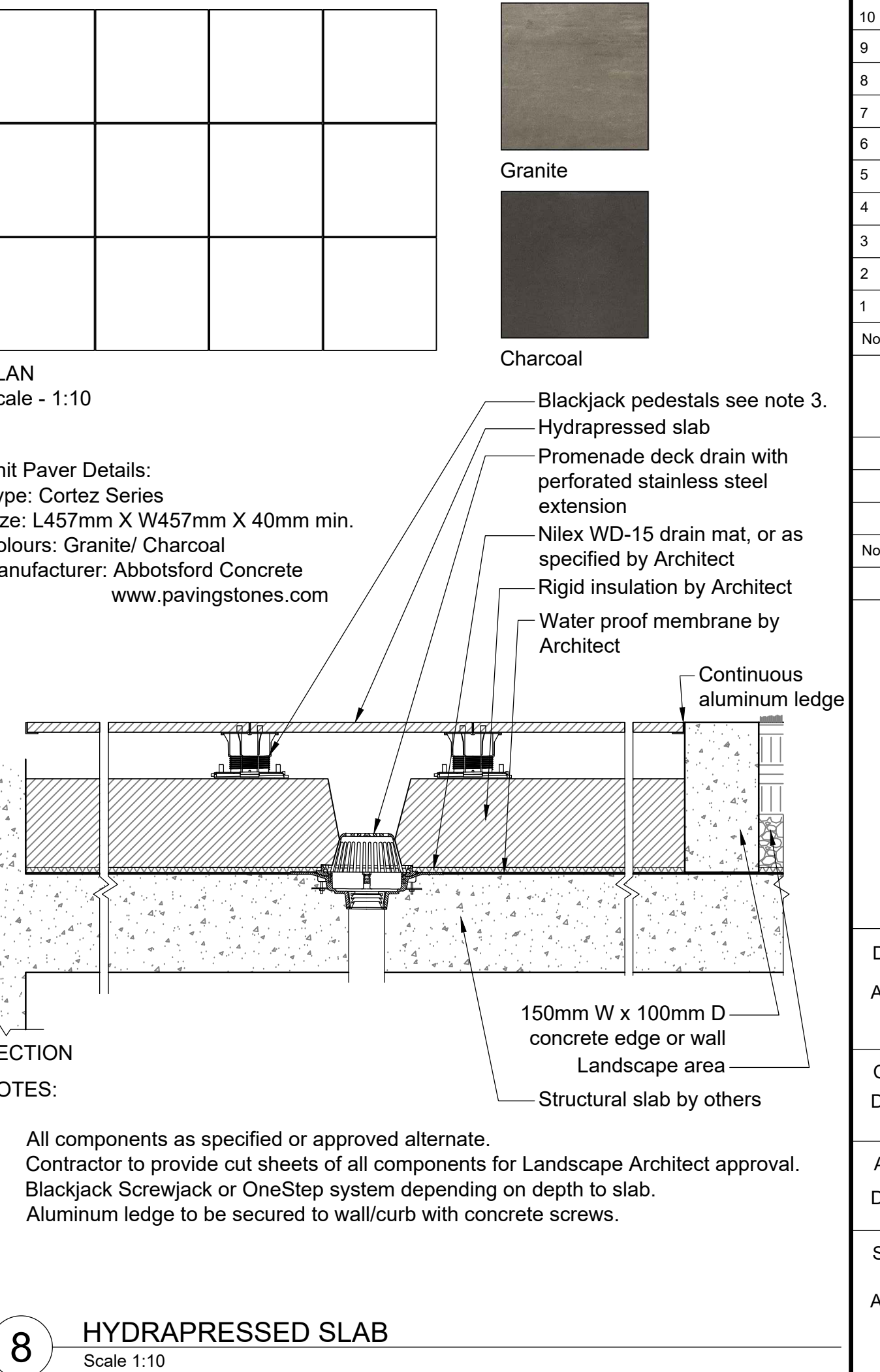
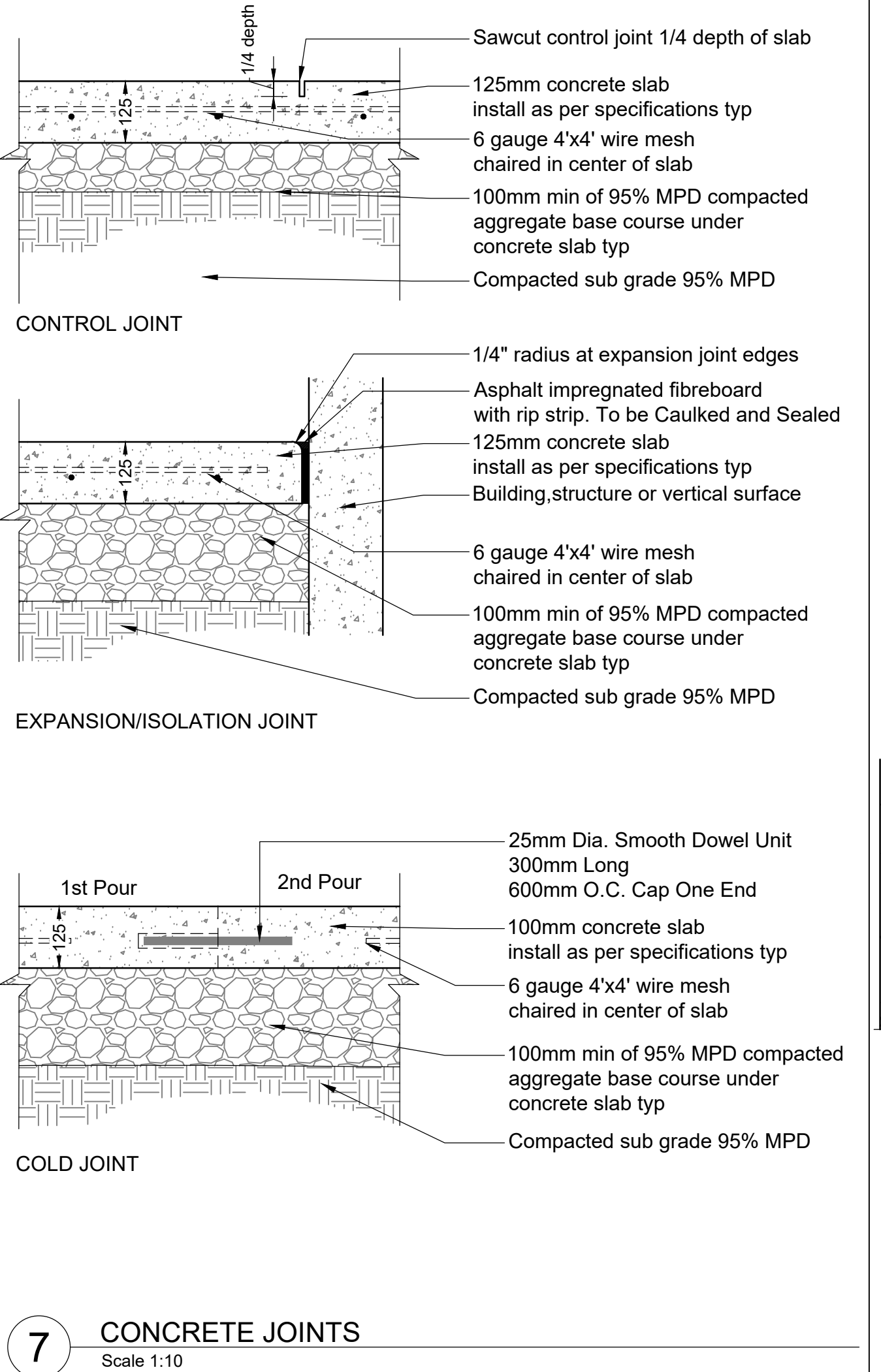
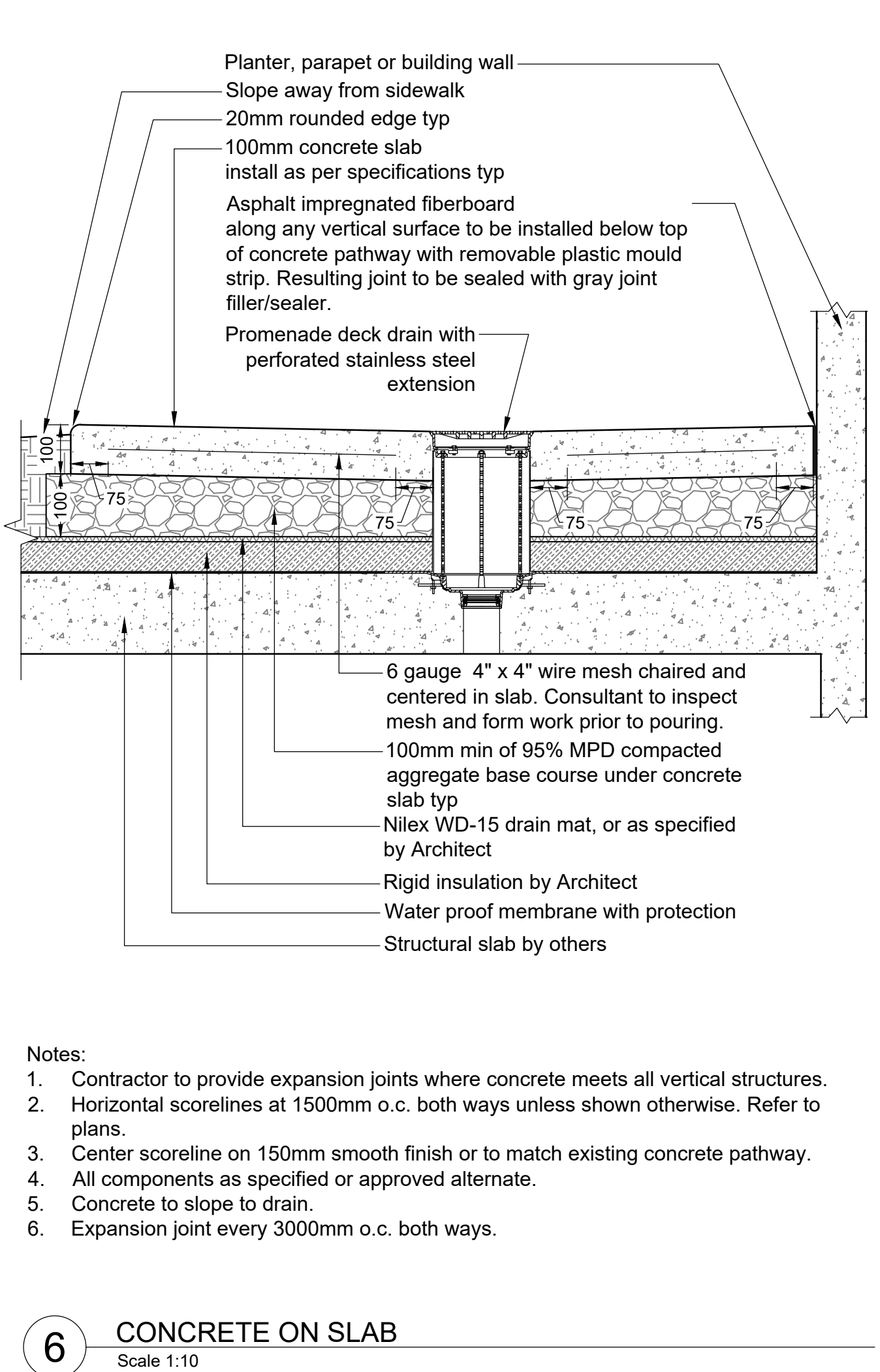
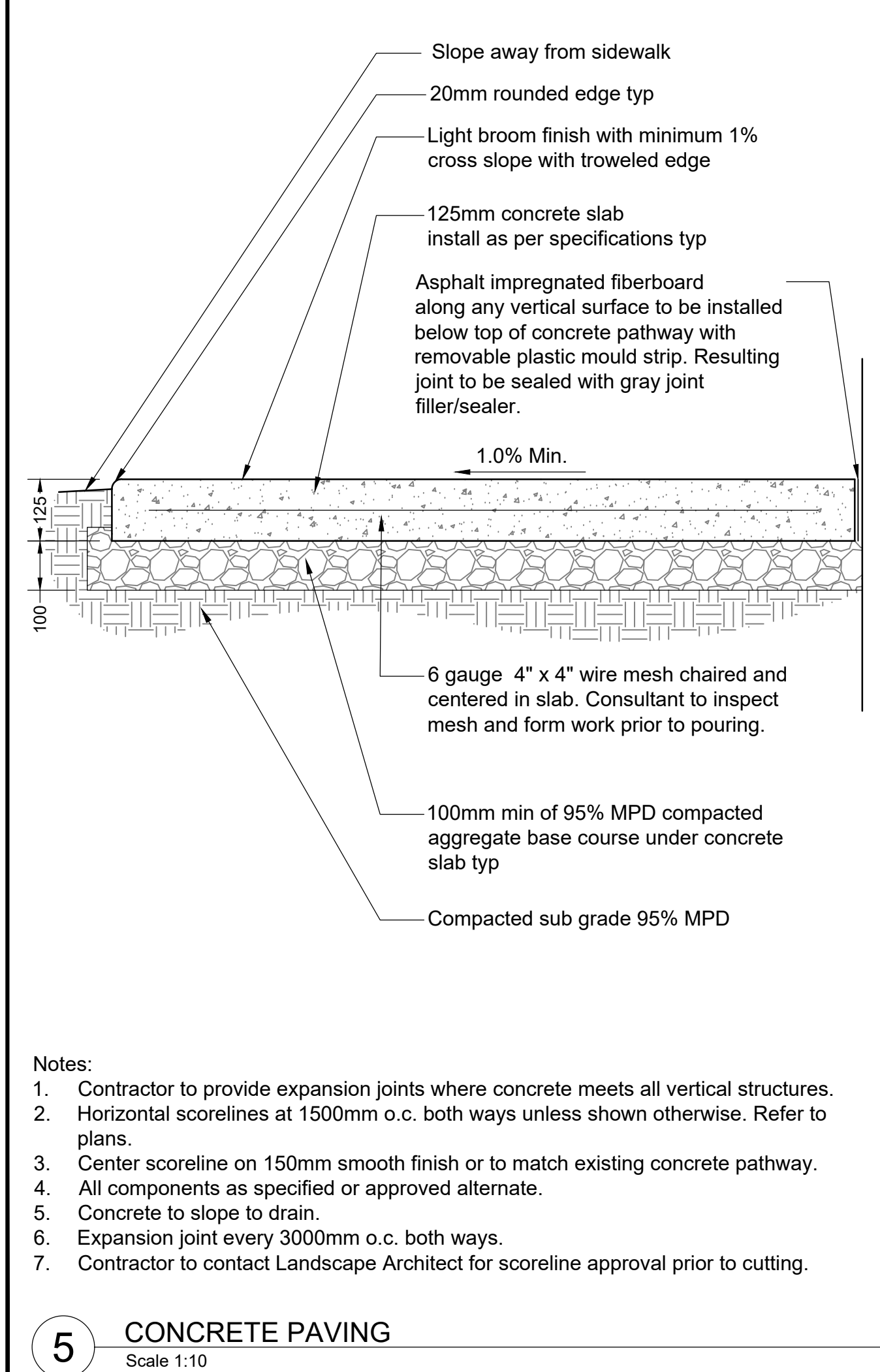
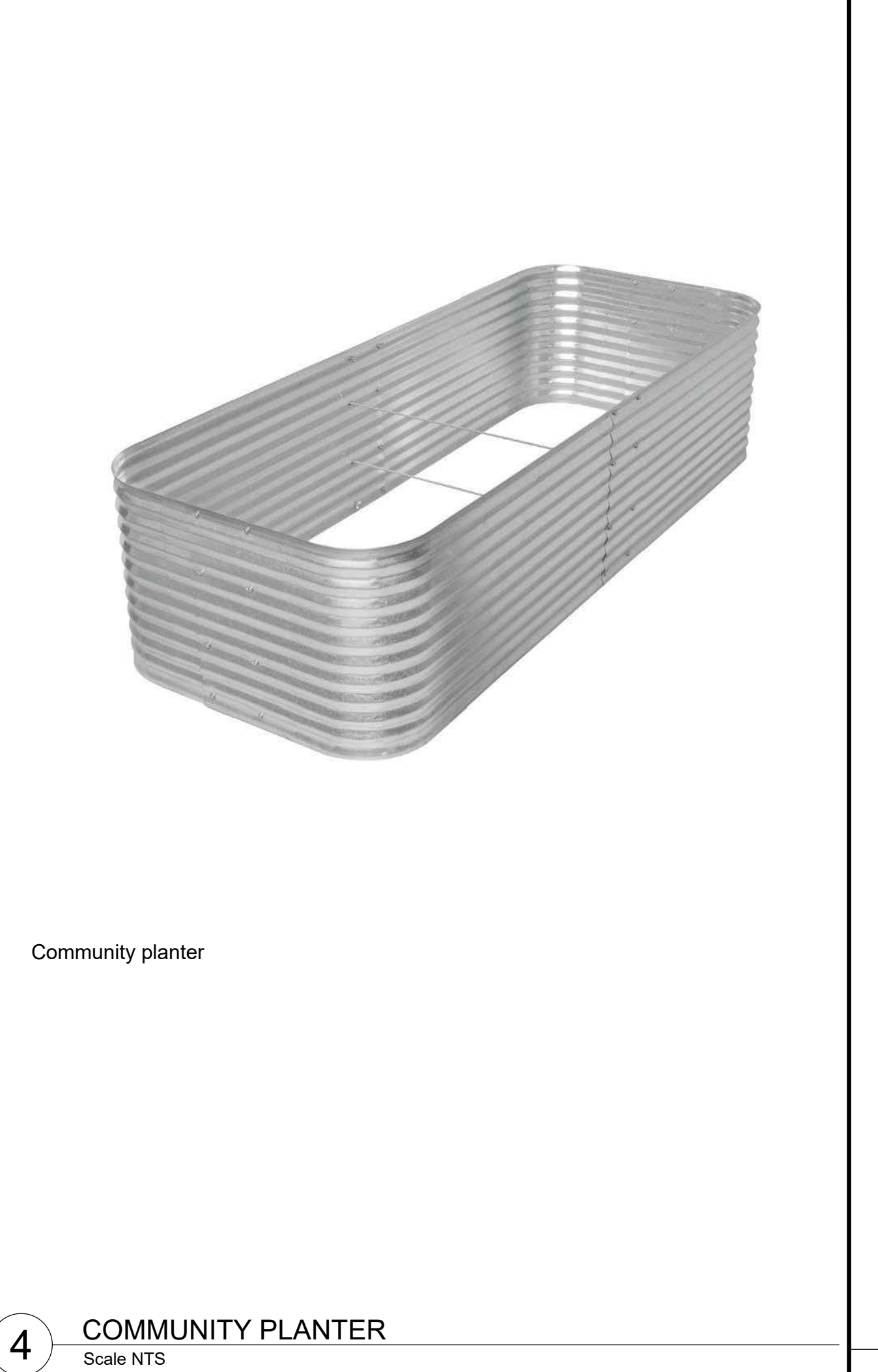
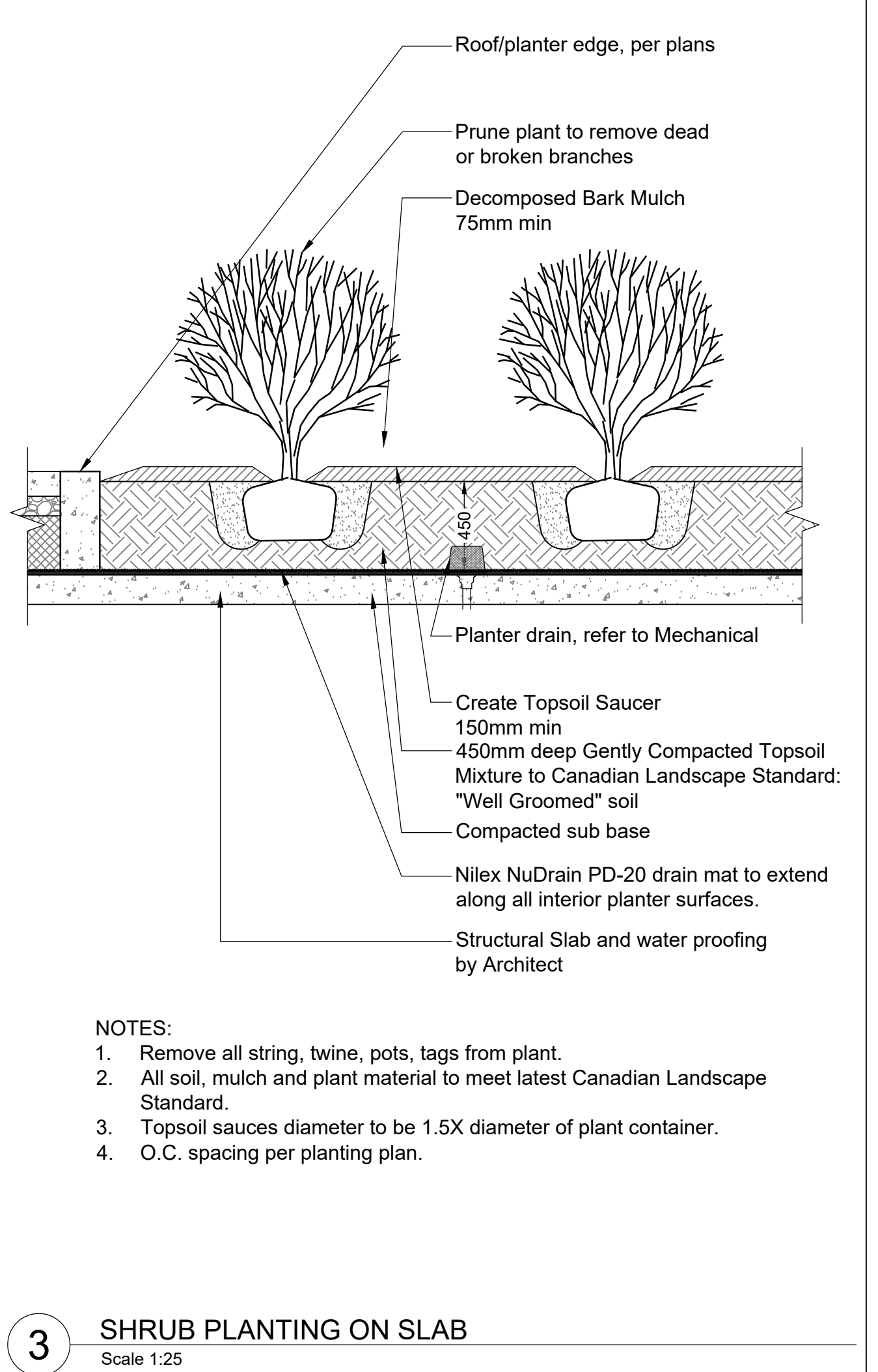
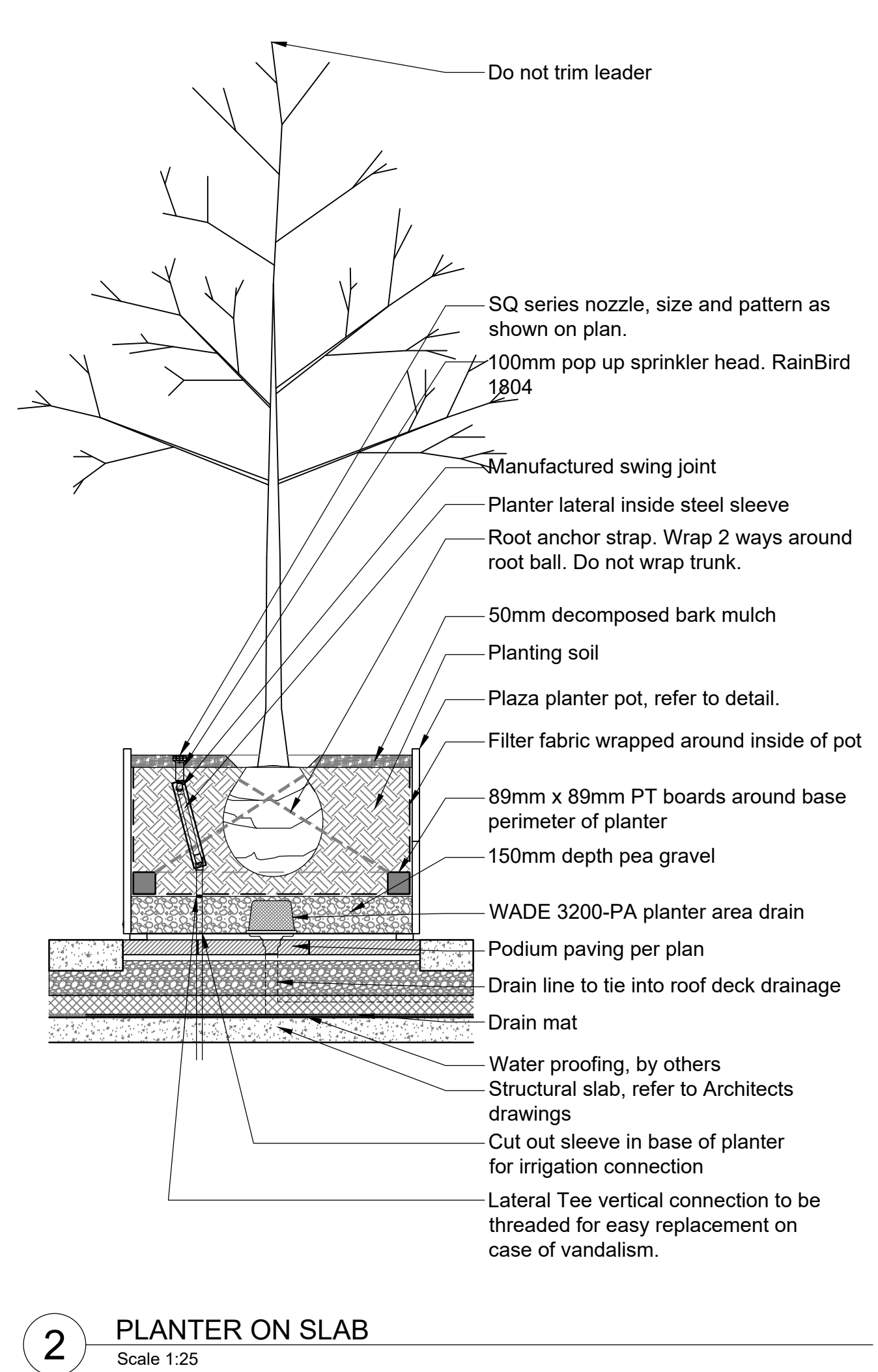
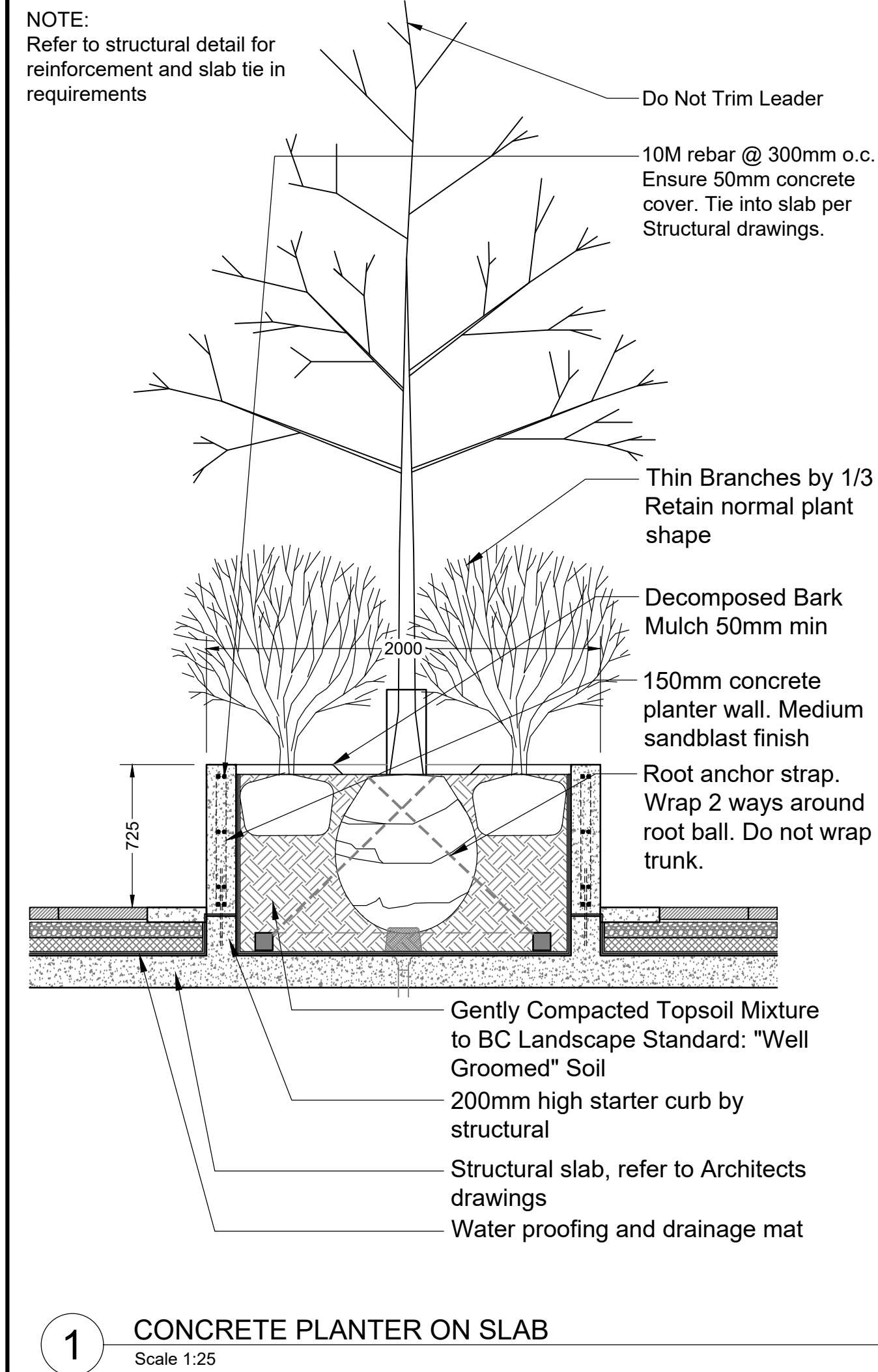
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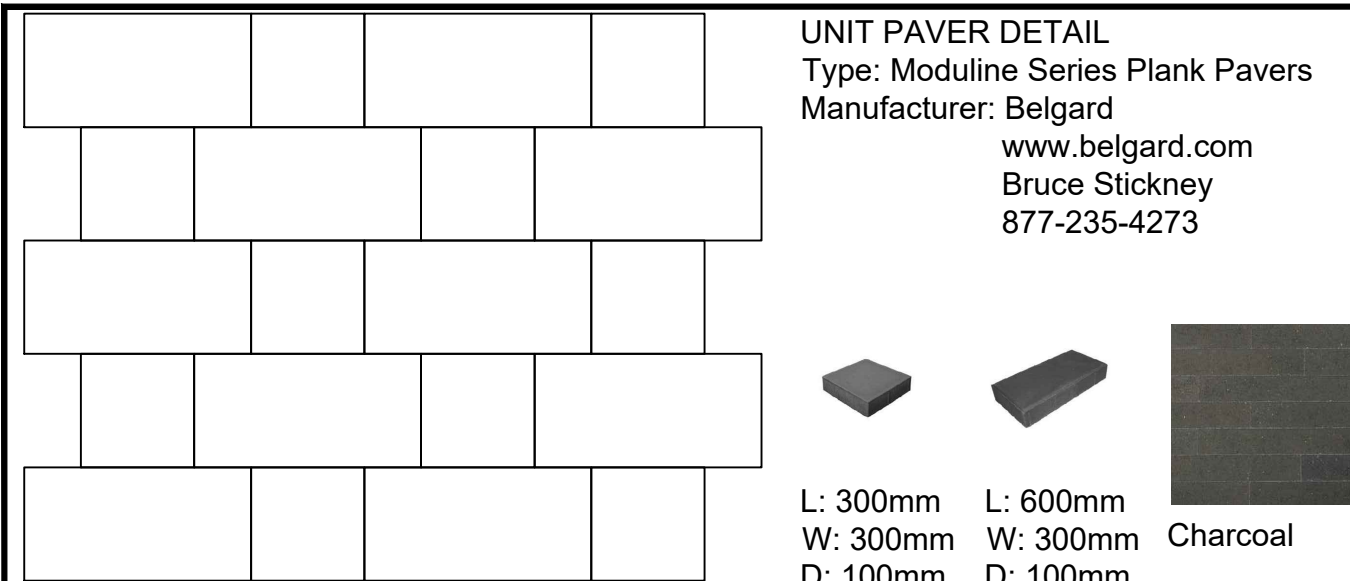




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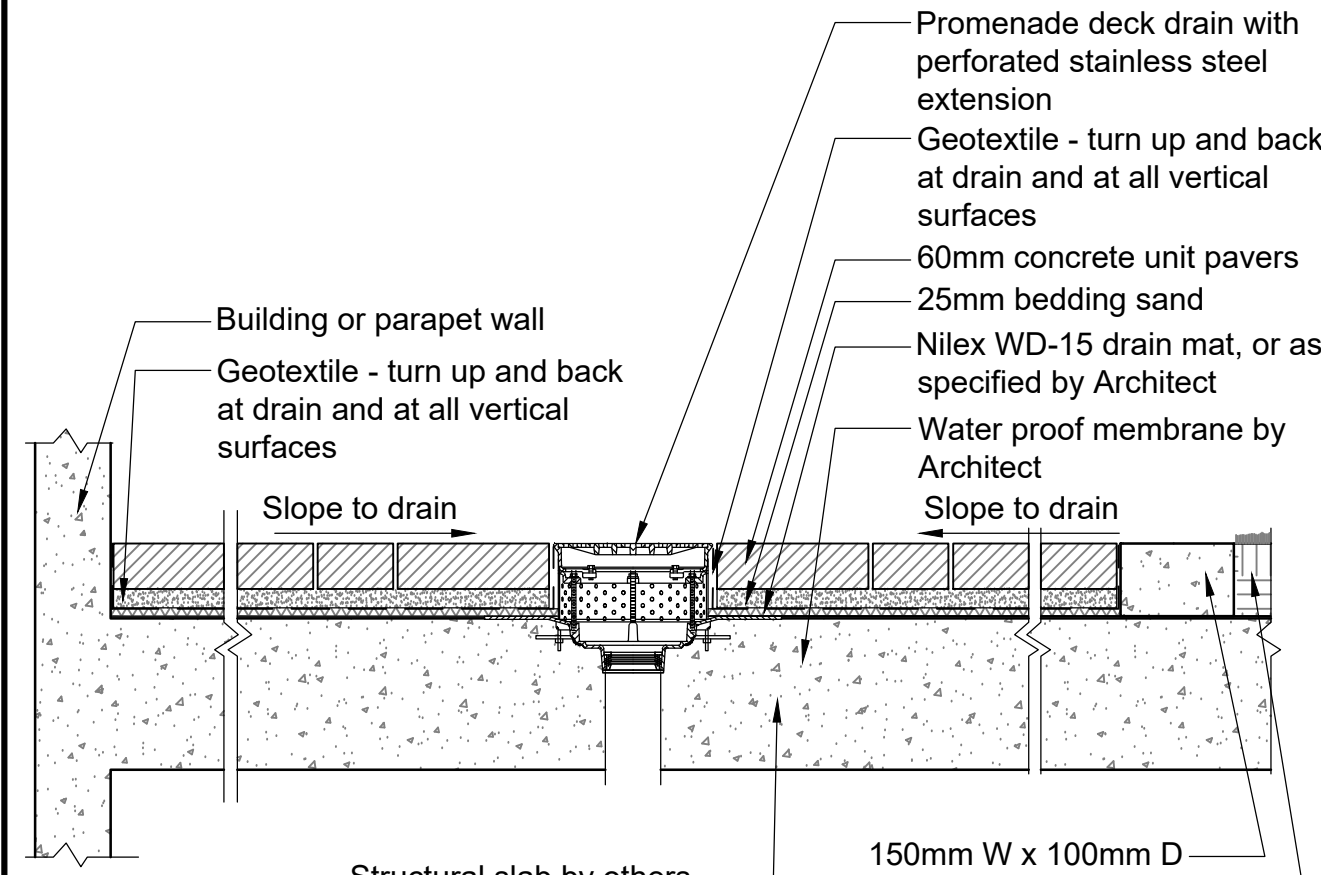




UNIT PAVER DETAIL  
Type: Moduline Series Plank Pavers  
Manufacturer: Belgard  
www.belgard.com  
Bruce Stickney  
877-235-4273

L: 300mm  
W: 300mm  
D: 100mm  
L: 600mm  
W: 300mm  
D: 100mm  
Charcoal

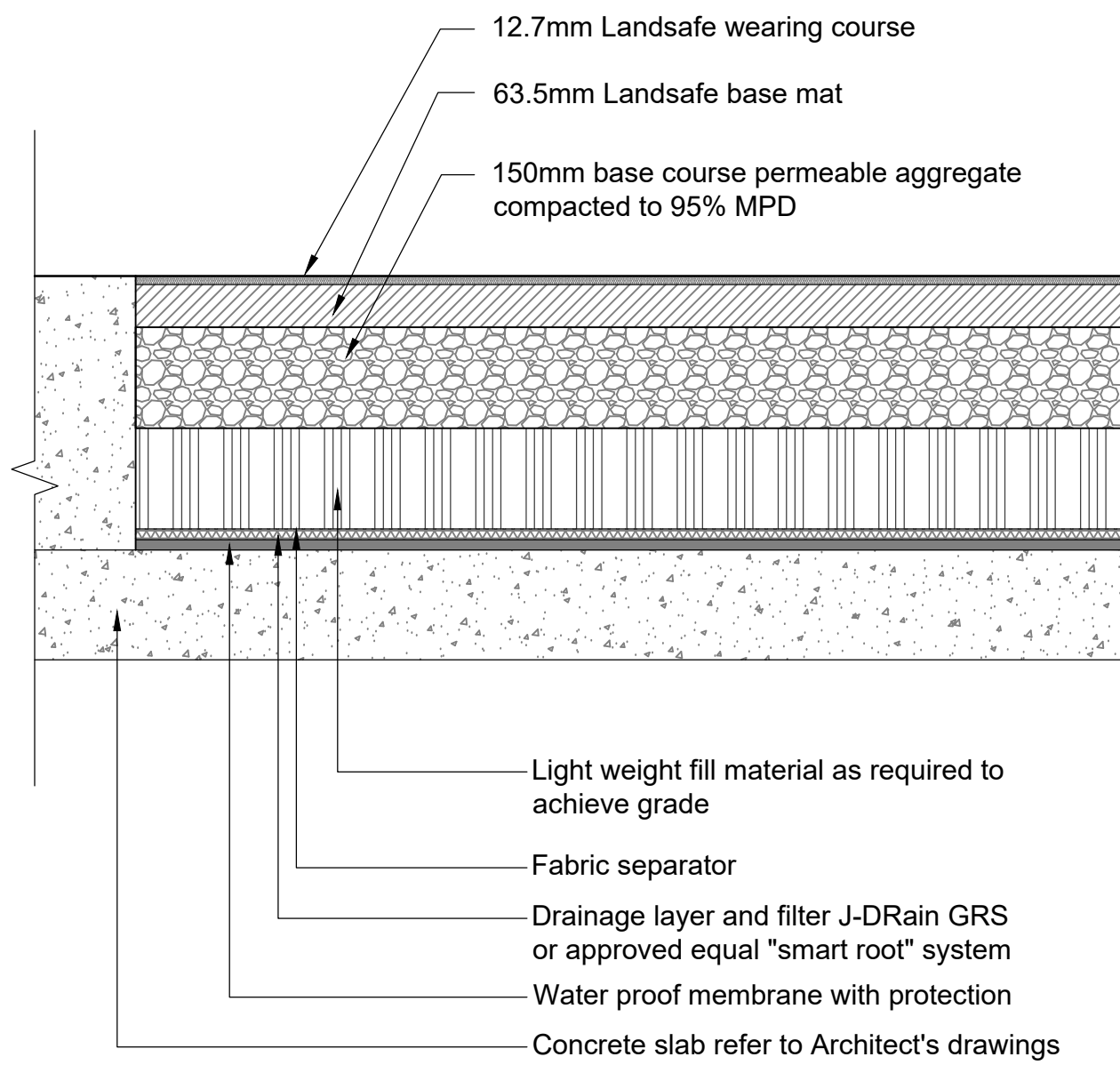
PLAN  
Scale - 1:20



- NOTES:
1. All bedding sand to meet ASTM C33 or CSA A23.1 FA1.
  2. All joint sand to meet ASTM C144 or CSA A179.
  3. All components as specified or approved alternate.
  4. Contractor to provide cut sheets of all components for Landscape Architect approval.
  5. Contractor to ensure no visible pooling occurs on paver surface.
  6. All joints to be tight fit.
  7. All paver cuts to be minimum  $\frac{1}{3}$  Paver.

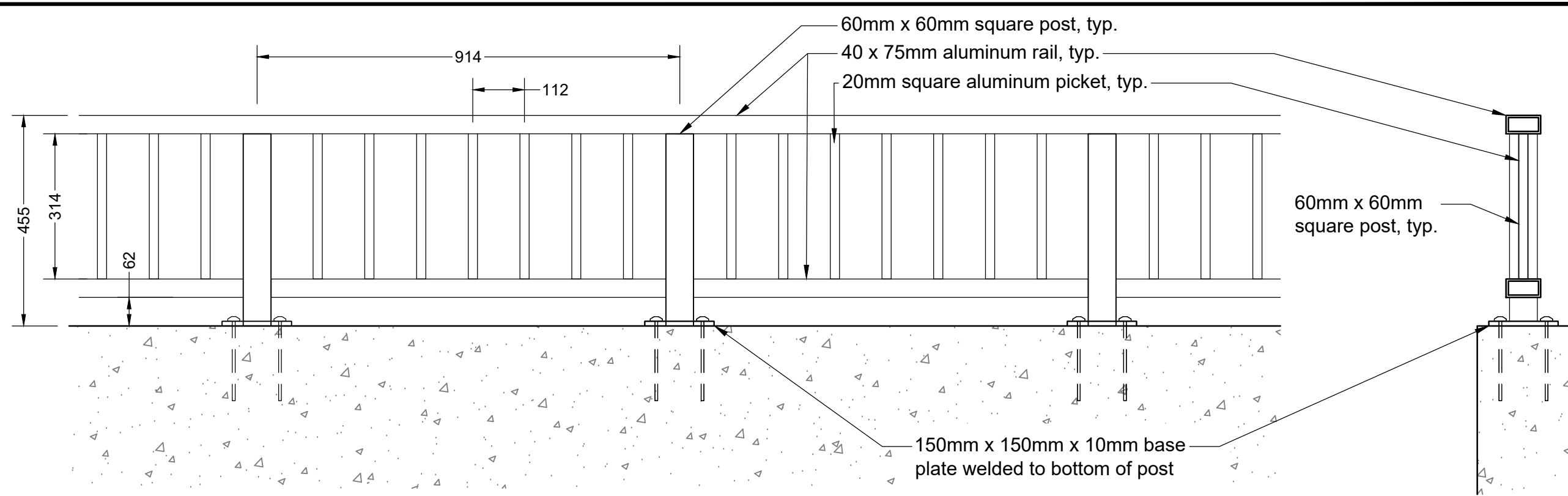
## 1 UNIT PAVERS OVER PARKADE

Scale 1:10



## 2 RUBBER SURFACE ON SLAB

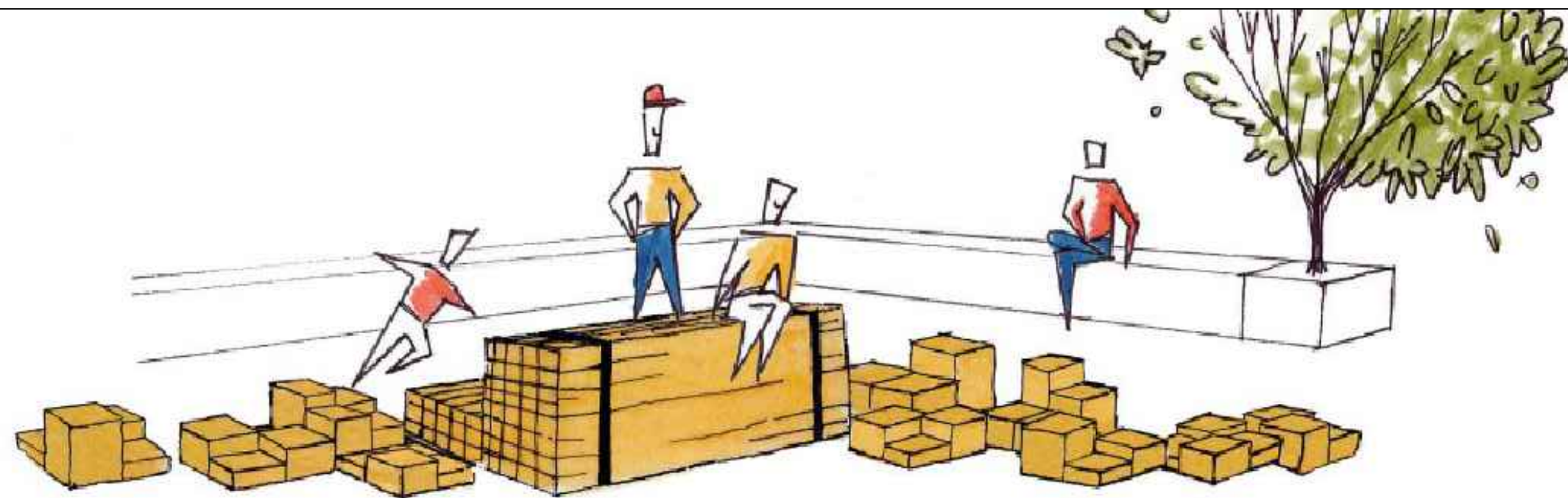
Scale 1:10



- NOTES:
1. All hardware to be hot dip galvanized.
  2. Railing to receive a matt black rough finish.

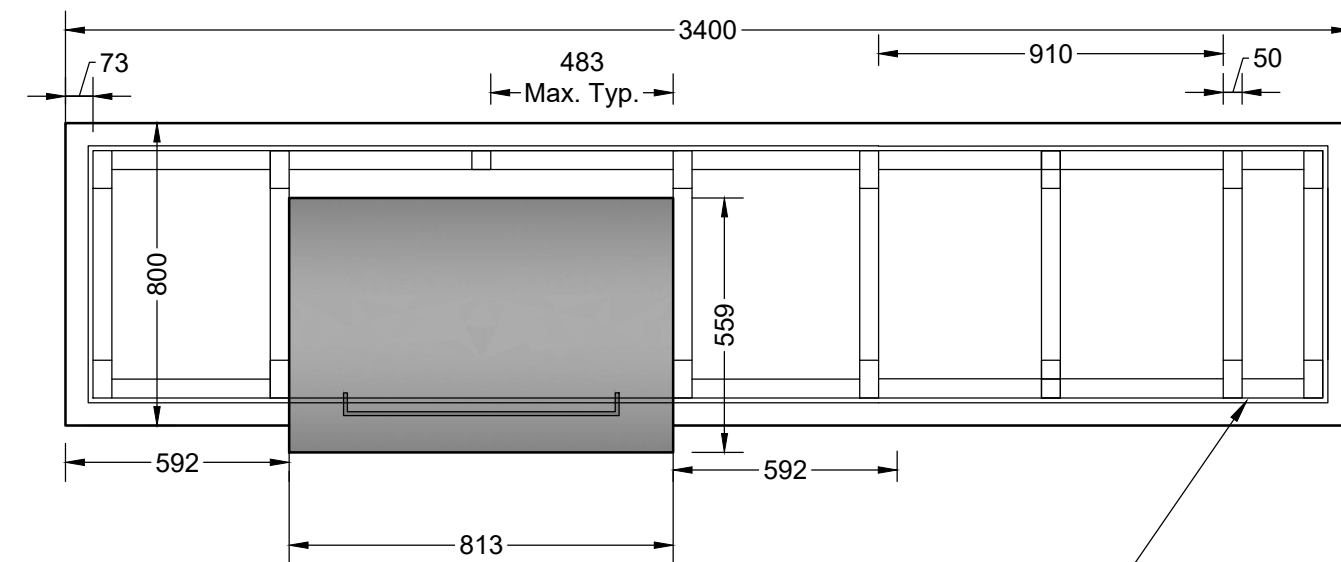
## 3 RAILING ON WALL

Scale 1:10



## 4 LUMBER STACK MULTI-PURPOSE CLIMBING / SEATING AREA

NTS

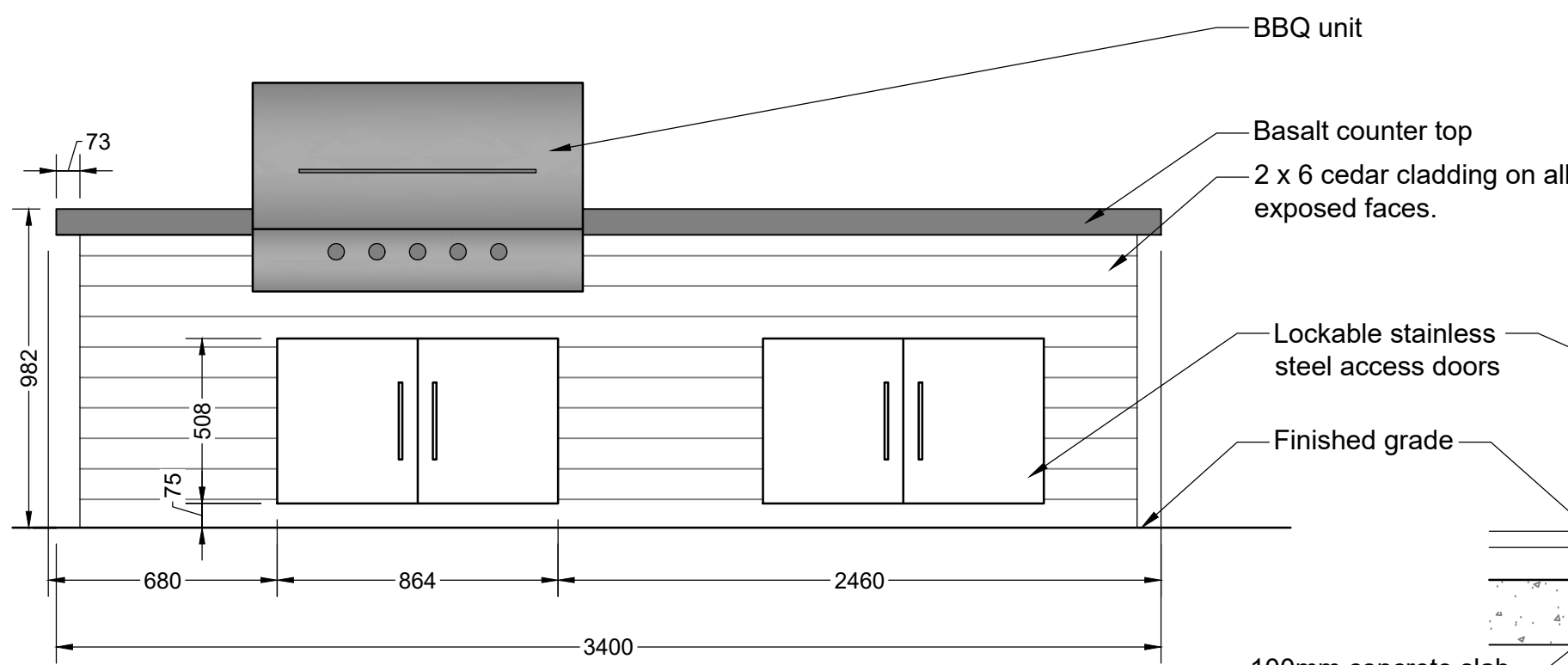


Inside edge cedar cladding



GRILL SPECIFICATIONS	
Material	AISI 304 Stainless Steel
Cooking Surface	540 sq. inches (30" x 18")
Primary Burner BTU's	63,000
Backburner BTU's	18,000
Cut Out Dimensions	32" w x 18" (2" d x 12" h)

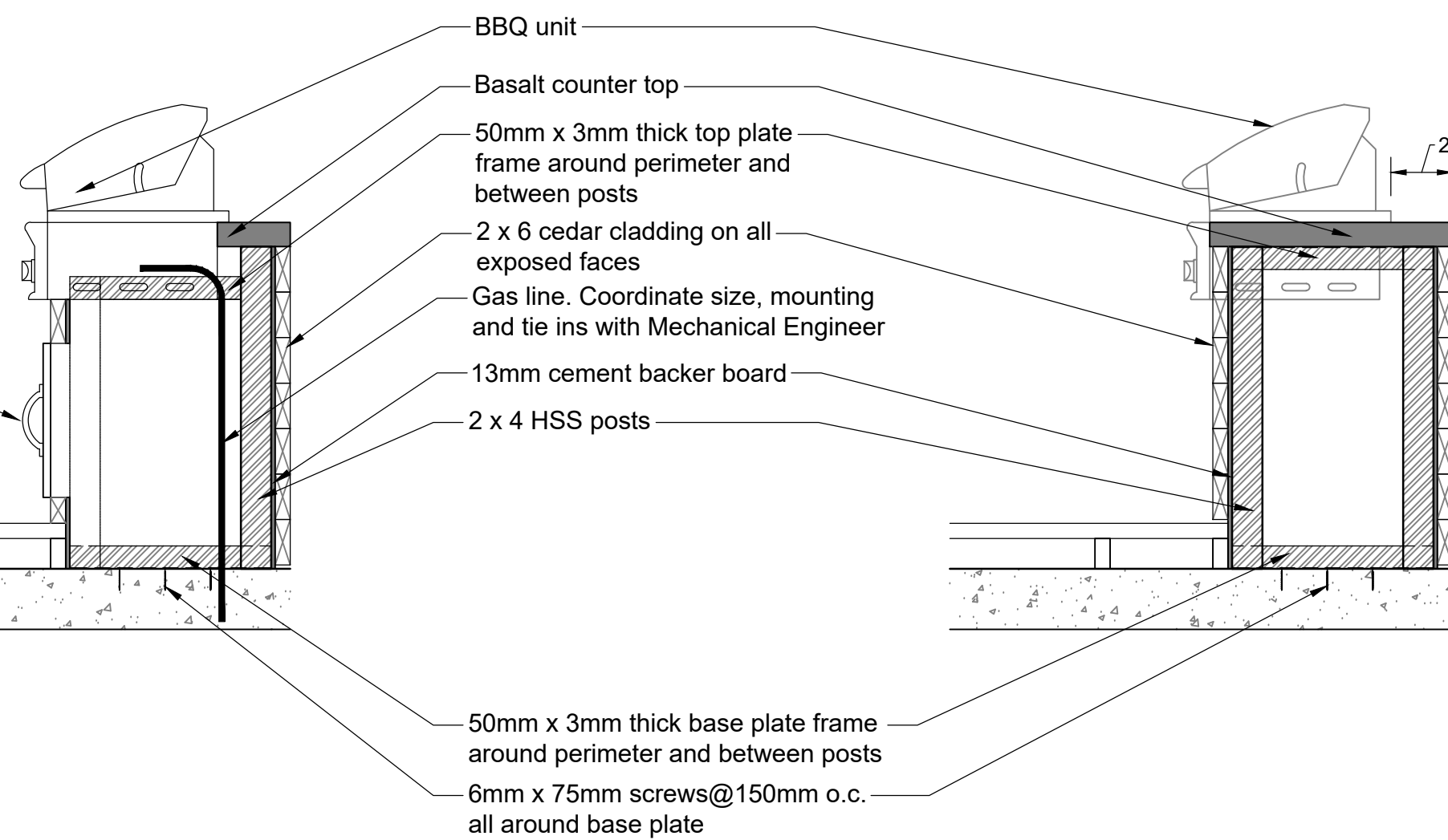
GAS BBQ (NTS)  
Supplier: Fire Magic  
Product name: A540i



- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
  2. Contractor to submit shop drawings for approval.
  3. BBQ grill to be installed per manufacturers specifications.
  4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
  5. BBQ Unit model Fire Magic Auroa A790i, or approved equal.

## 5 BUILT-IN BBQ

Scale 1:20



- NOTES:
1. Joists to be pressure treated.
  2. Contractor to supply shop drawing.

## 6 WOOD DECK ON SLAB

Scale 1:10

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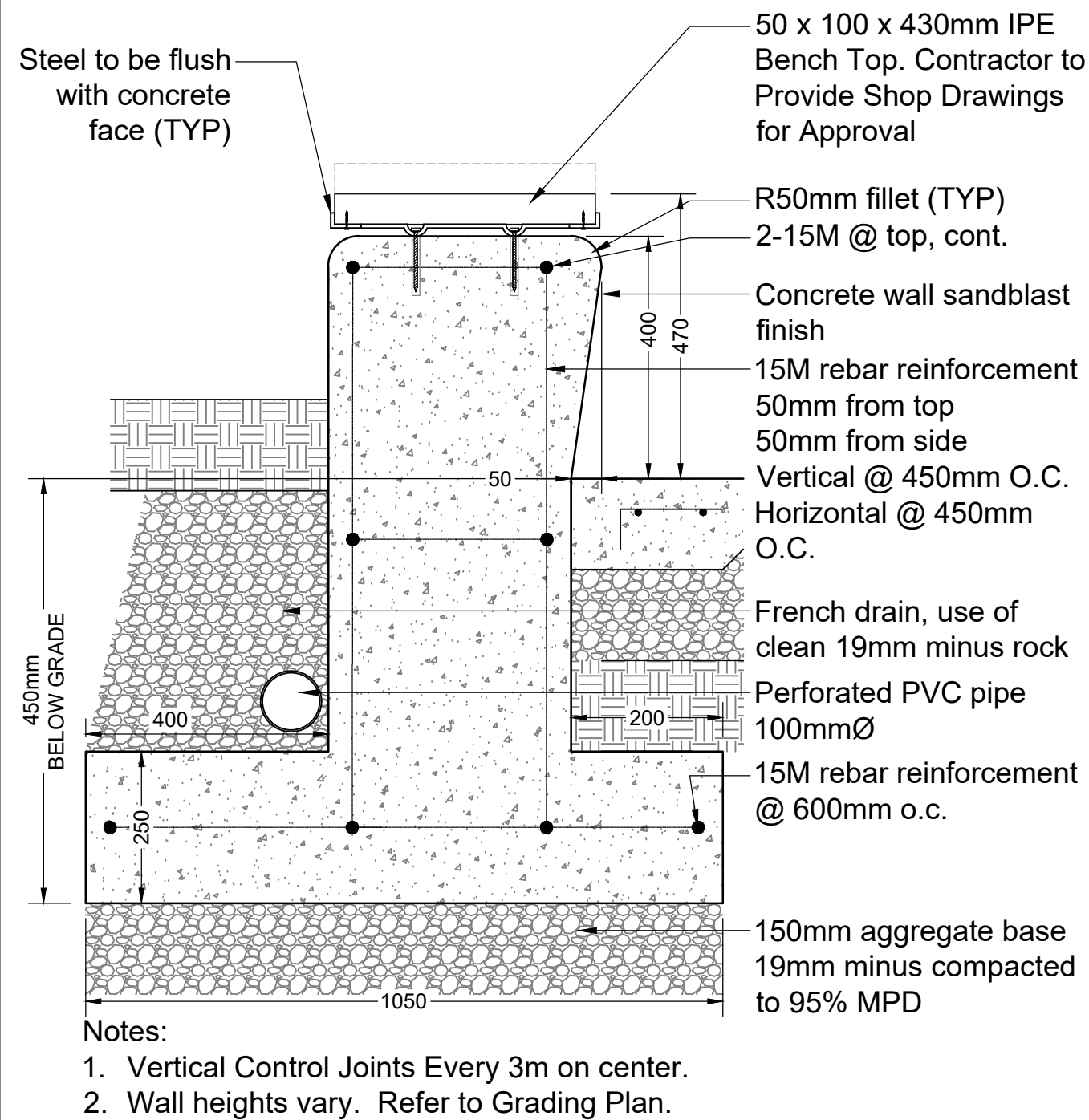
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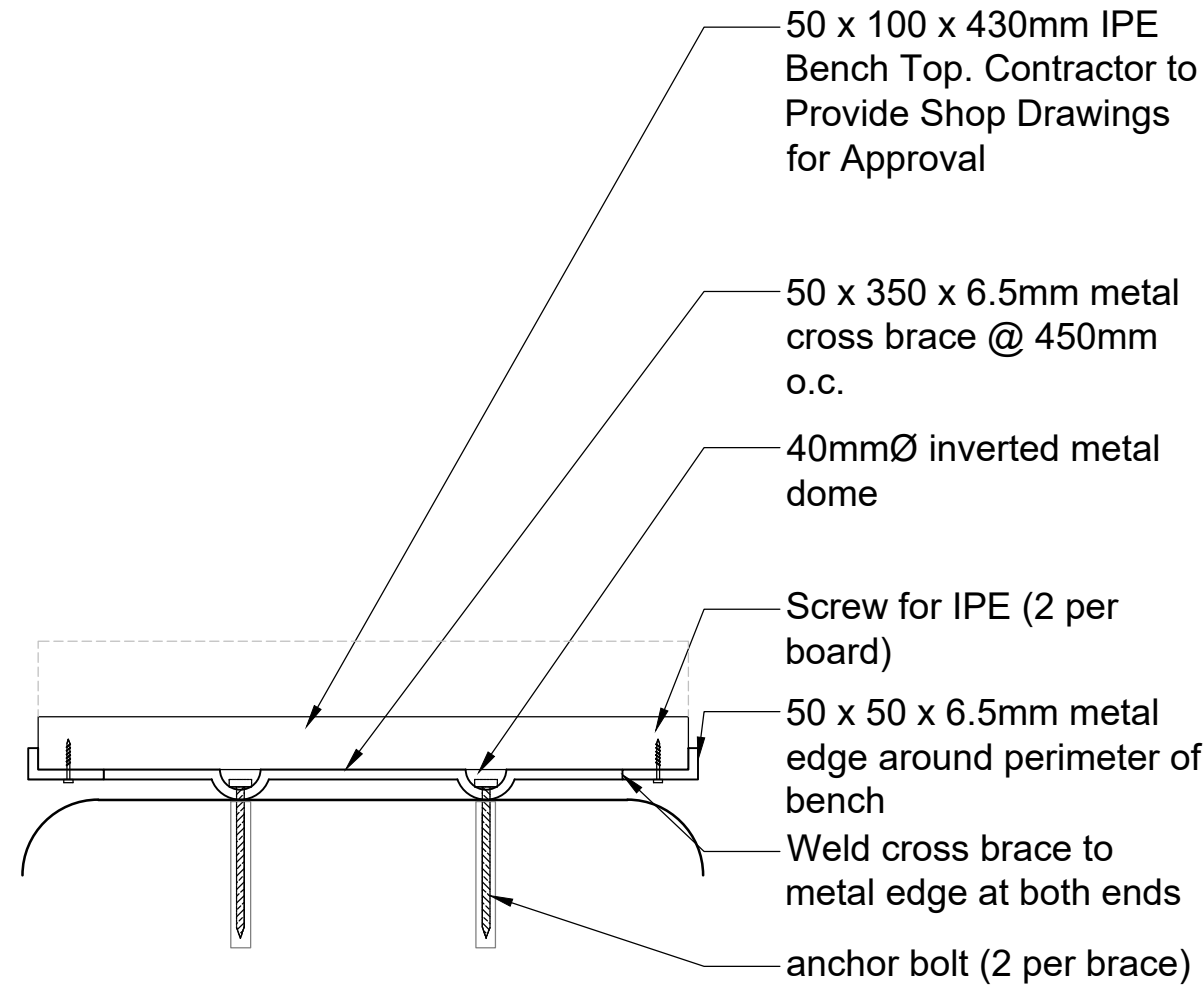
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VDZ Project #: DP2019-50  
Drawing #: LD-02



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1 WOOD BENCH ON CONCRETE  
Scale 1:10



2 WOOD BENCH TOP  
Scale 1:5



'FLOATING' CONCRETE BENCH  
Type: Agata  
Size: 2100mm X 750mm X 450mm  
Mount: Surface  
Materials: White polished concrete top; Powder coated steel bottom  
Manufacturer: ID Created  
www.idcreated.com  
877-690-7755  
info@idcreated.com

3 'FLOATING' CONCRETE BENCH  
NTS

VICTOR STANLEY BENCH  
Type: Eva  
Size: 1778mm X 632mm X 445mm  
Mount: Surface  
Materials: Recycled Plastic, Walnut colour; Powder coated steel bottom  
Manufacturer: Victor Stanley  
https://victorstanley.com/  
1-800-368-2573, 301-855-8300

4 VICTOR STANLEY EVA BENCH  
NTS



TABLE & BENCHES  
Type: MLPT720 Series Cluster Seating  
Size: 1780mm X 940mm X 762mm (table)  
1780mm X 444mm (bench)  
Mount: Surface (MLPT720-S)  
Materials: Ipe slats; powder coated Aluminum  
Manufacturer: Maglin  
www.maglin.com  
800-716-5506  
sales@maglin.com

5 PICNIC TABLE  
NTS

NORTH AMERICA SPECIFICATIONS			
Gas type:	Natural Gas	Propane	
Gas press:	3.5" - 7.0" w.c.	N/A	
Electrical:	24V / 110 VAC	24V / 110 VAC	
	1.5A, 60 hz	1.5A, 60 hz	
BTU / kWh:	60,000/11.7	76,000/22.5	

ANSI Z21.97-2014  
CSA 2.41-2014

LC



FIRE BOWL  
Supplier: Solus  
Product name: Hemi Firebowl 36"

6 FIRE BOWL  
NTS



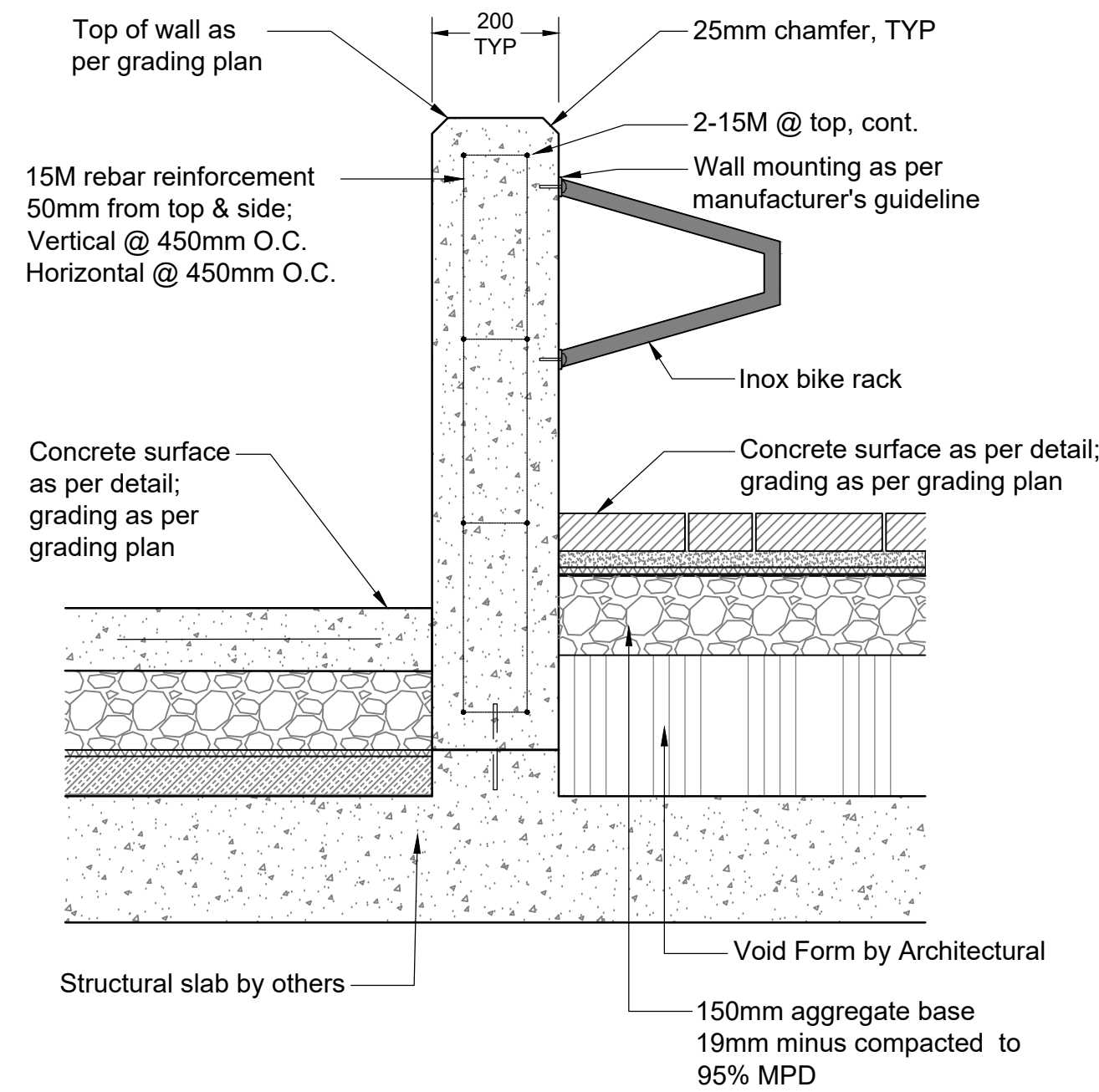
7 PERGOLA  
NTS

SURFACE MOUNT

WALL MOUNT

BIKE RACK  
Type: Inox  
Mount: Surface / Wall  
Material: Ipe Wood, Stainless Steel  
Manufacturer: Paris Site Furnishings  
www.peml.com  
1-800-387-6318  
sales@peml.com

8 BIKE RACKS (SURFACE & WALL MOUNT)  
NTS



Notes:  
1. Vertical control joints every 3000mm on center.  
2. Wall heights as per Grading Plan.  
3. Perforated pipe to drain to daylight or to tie into storm system.  
4. Ensure 50mm concrete cover over all rebar.  
5. Walls over 1200mm in height to be structurally engineered.

9 FREESTANDING CONCRETE WALL  
Scale 1:10

11	DY	Re-Issue for Re-zoning	Feb 03, 2022
10	DY	Re-Issue for Re-zoning	Dec 21, 2021
9	ET	Re-Issue for Re-zoning	Dec 16, 2021
8	DY	Re-Issue for DP	Nov 22, 2021
7	DY	Issue for Development Permit	Oct 29, 2021
6	DJ	Issue for Development Permit	July 20, 2021
5	DJ	Issue for Development Permit	July 09, 2021
4	DR	Issue for Development Permit	Mar 31, 2020
3	DR	Issue for Development Permit	Mar 26, 2020
2	DJ	Issue for Re-zoning	Mar 13, 2020
1	DJ	Issue for Development Permit	Dec 18, 2019

No.	By:	Description	Date
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No.	By:	Description	Date
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No.	By:	Description	Date
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No.	By:	Description	Date
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CabanaCoast®  
Collection: Wynn

Item Number: 30164  
Dimensions: 78"W x 32"D x 34"H  
AH:26" SW:72" SDw/C:23" SHw/C:18" SD:29" SH:11"  
Material: Cast Aluminum

Weight: 140 lbs

Detail: Modern Cast Aluminum Patio Furniture, Durable Aluminum Frames, North American Brand Powder-Coat Paint. Cushions Shown 40012-0096 Fife Smoke. The Deep Seating Group Picture Cushions Shown 40012-0096 Fife Smoke, Pillows 45697-0001 Stella Ribbon.

Frame Finishes:



SOFA

Type: Wynn 3 Seats  
Frame Finish: Dark Rum  
Manufacturer: Cabana Coast  
www.cabanacoast.com  
Alan Cameron (local representative)  
604-382-4271

1

SOFA  
NTS



CabanaCoast®  
Collection: Monaco

Item Number: 30035-36  
Dimensions: 36"D x 30"H  
Weight: 66 lbs  
Material: Cast Aluminum

Detail: Contemporary Cast Aluminum Patio Furniture, Durable Aluminum Frames, North American Brand Powder-Coat Paint.

Frame Finishes:



DINING TABLE

Type: Monaco 36" Round  
Frame Finish: Dark Rum  
Manufacturer: Cabana Coast  
www.cabanacoast.com  
Alan Cameron (local representative)  
604-382-4271

2

DINING TABLE  
NTS



CabanaCoast®  
Collection: Venice

Item Number: 30148  
Dimensions: 20.5"W x 24"D x 37"H  
SW:20" SHw/C:19.75" SD:20" SH:16.75"  
Material: Aluminum

Weight: 26 lbs

Detail: Modern Cast Aluminum Dining Set. Cushion Shown 32000-0018 Sailcloth Salt. The Group Picture Cushions Shown 40012-0079 Fife Silver.

Frame Finishes:



DINING CHAIR

Type: Venice Side Arm  
Frame Finish: Dark Rum  
Manufacturer: Cabana Coast  
www.cabanacoast.com  
Alan Cameron (local representative)  
604-382-4271

3

DINING CHAIR  
NTS

LiveRoof DEEP SYSTEM  
Over Protected Membrane Assembly

SIDE VIEW



TOP VIEW



LiveRoof System Saturated Weight: 40-50 lbs / sf

NOT TO SCALE

DEEP 8  
V 2014-10-15

LiveRoof, LLC  
P.O. Box 633  
Spring Lake, MI 48456

(800) 875-1392  
www.liveroof.com

LiveRoof

GREEN ROOF PLANTING MODULE  
NTS

4

GREEN ROOF PLANTING MODULE  
NTS

# VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

**FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO**  
100-9181 Church St | 102-355 Kingsway  
Fort Langley, BC | Vancouver, BC  
V1M 2R8 | VST 317  
www.vdz.ca 604-882-0024

11	DY	Re-Issue for Re-zoning	Feb 03, 2022
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2	DJ	Issue for Re-zoning	Mar 13, 2020
1	DJ	Issue for Development Permit	Dec 18, 2019
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: 149 WEST 3RD STREET MIXED-USE DEVELOPMENT			
Location: 149 West 3rd Street North Vancouver, B.C.			
Drawn:	Stamp:		
AL			
Checked:			
DJ			
Approved:	Original Sheet Size:		
DJ	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PA/HA/HP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
As Shown			

Notes:

- Contractor to provide shop drawings for gate including all hardware for approval before manufacture
- All aluminum to be powder coated black
- No welding on site



PLAN

ELEVATION

450mm x 200mm concrete column with 25mm wide reveals

10M Rebar Dowel, 200mm Long.

Hinge plate attached to face of pillar

Polished stainless lever handle

1/8" plate aluminum

3" square H.S.S. black powder coated aluminum post

1x2 H.S.S. black powder coated aluminum insets

1/8" plate aluminum

1x2 H.S.S. black powder coated aluminum frame base plate with 3" concrete anchors

5

LANEWAY ENTRY GATE  
1:10



Maglin cantilever bench, refer to detail. Refer to Level 12 landscape plan for locations.

R25mm Reglet. Refer to Architecture.

Concrete wall

10M rebar reinforcement @ 300 O.C. in both directions. Refer to Structural.

Structural Slab. Refer to architectural drawings

2-10M T&B Cont.

Drain. Refer to Mechanical

50mm drain rock

Fabric separator

Slab protection and drainage mat, refer to Architects/Structural Engineers drawings

Water proof membrane by others

MLB720BCL-W

BENCH

MATERIALS: Bench ends are made from solid cast aluminum. The seat employs 1.38" x 1.5" (3.5 cm x 3.8 cm) and 1.38" x 4.00" (3.5 cm x 10.2 cm) Ipe slats.

FINISH: The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Mounting Brackets can be configured for proposed mounting surface.

TO SPECIFY: Select MLB720BCL-W  
Choose:  
- Powdercoat Color  
- Plaque  
- Skate Deterrent

DIMENSIONS:  
Height: 13.25" (33.5cm)  
Length: 69.94" (177.6cm)  
Width: 21" (53.3cm)  
Weight: 84.65lbs (38.4kg)

MAGLIN

Notes:  
1. Colour: Black

5

CANTILEVERED BENCH  
1:10

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2019-50 149 WEST THIRD\DWGS\SHEET\SLD-04 DETAILS.DWG

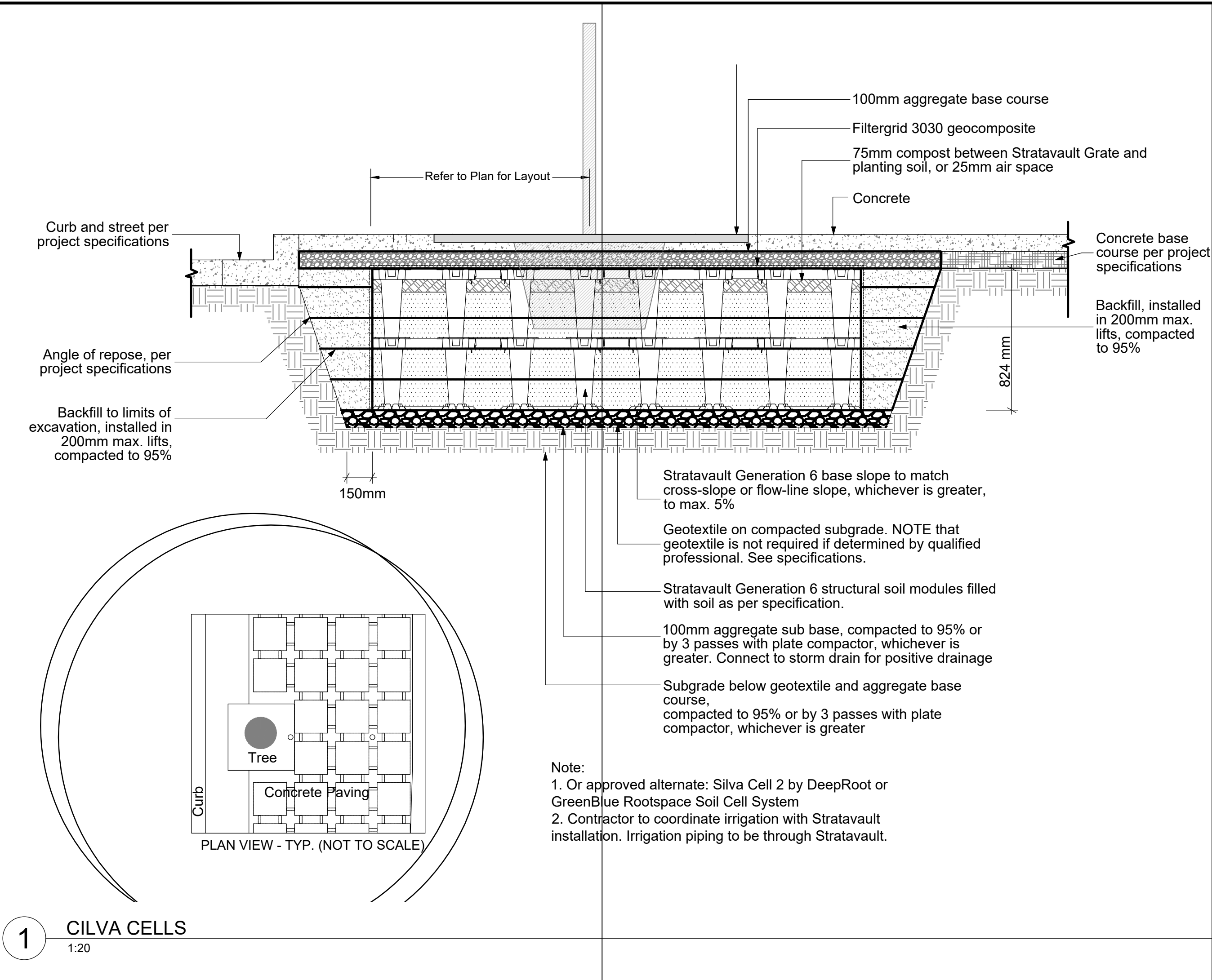
Drawing Title: DETAILS

VDZ Project #: DP2019-50

Drawing #: LD-04



Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2019-50 149 WEST THIRD\DWGS\Sheet\SLD-05 DETAILS.DWG



1 SILVA CELLS  
1:20

11	DY	Re-Issue for Re-zoning	Feb 03, 2022
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REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET			
No.	By:	Description	Date

Project: 149 WEST 3RD STREET MIXED-USE DEVELOPMENT	
Location: 149 West 3rd Street North Vancouver, B.C.	
Drawn: AL	Stamp:
Checked: DJ	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/PPA/PAH/PAHP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:  
LD-05 DETAILS

VDZ Project #:  
DP2019-50

Drawing #:  
----



October 2, 2020

Emily Macdonald  
Planning & Development  
141 West 14th Street  
North Vancouver, BC V7M 1H9  
[emacdonald@cnv.org](mailto:emacdonald@cnv.org)

Dear Ms. Macdonald,

**RE: Virtual Developer Information Session: 149 West Third Street**

Anthem is pleased to provide the following summary of the applicant hosted Virtual Developer Information Session (DIS) for 149 West Third Street in the City of North Vancouver.

Introduction

Anthem has submitted a rezoning application to the City of North Vancouver to permit the redevelopment of 149 West Third Street. The proposed development has been designed in accordance with the Official Community plan and consists of:

- A five storey, mixed use building;
- 57 stratified market homes, including four lane-fronting townhomes;
- Retail at grade;
- A public breezeway that connects West Third Street to the lane; and
- Three levels of underground parking with 91 vehicle parking spaces and 106 bicycle parking spaces.

Virtual DIS Details

Date: Wednesday, September 23, 2020

Time: 6:00PM-6:30PM: Presentation  
6:30PM-7:30PM: Q & A

Format: Zoom Webinar

Number of Registrants: 19 (excluding City and Applicant team representatives)

Number of Attendees: 18 (excluding City and Applicant team representatives)

Comment Forms Submitted: Four (4)



### DIS Public Notification and Website

The public was notified of the Virtual DIS through three different mediums in accordance with the City of North Vancouver's requirements:

- **Mail-out:** Public notification postcards (provided to Canada Post on September 3, 2020) were sent to approximately 425 homes and businesses located within the notification area map and spreadsheet provided by the City of North Vancouver (Appendix A).
- **Site sign:** A notification sign was erected on the property on September 1, 2020 to inform the public of the application and Virtual DIS details (Appendix B).
- **North Shore News advertisements:** An advertisement notifying the public of the DIS ran in two consecutive editions of the North Shore News on September 9, 2020 and September 16, 2020.

In addition to the required public notification materials, a project website was established: [www.149WestThird.com](http://www.149WestThird.com). The website was accessible to the public and could be used to both access the information included in the public notification material, and to register to participate in the Virtual DIS.

### DIS Format and Registration Summary

Individuals who wished to participate in the Virtual DIS were instructed to register in advance at [www.149WestThird.com](http://www.149WestThird.com). Registrants received a confirmation email with the Zoom Webinar meeting details. Those without access to a computer/internet were able to call the applicant to receive a dial-in number in order to attend via telephone. Prior to the Virtual DIS, a reminder email including a comment form was circulated to all registrants.

The meeting was hosted by the applicant and began with introductory remarks and a full review and explanation of how attendees could participate in the Q & A period. The applicant team then provided a presentation. Following the presentation, the applicant team took questions from online and telephone participants, and encouraged participants to complete and submit the comment form.

### DIS Question and Answer Period Summary

The applicant team took questions from participants for a period of one hour. Recurring themes during the question and answer period included:

- The breezeway: safety, accessibility, design/aesthetics, etc.
- The laneway: need for improvements, congestion, traffic safety, desire for underground powerlines, etc.

- The retail space and current tenants: prevalence of empty store fronts in the neighbourhood, concern about existing retailers on the property, interest in opportunities for retailers to move next door or relocate into the new building when it is complete, etc.
- The project details: type of construction material, parking, air conditioning, etc.
- Construction of the building: duration, what neighbours should expect, strategies to mitigate impacts, etc.
- Housing affordability in the community.

### Comment Form Results

A total of four completed comment forms were submitted. Copies of the completed comment forms were provided to the City of North Vancouver (Appendix D).

Summary of the completed comment forms:

1. Do you support the proposed project?
  - Yes: two respondents (50%)
  - No: one respondent (25%)
  - Undecided: one respondent (25%)
2. Do you have any concerns about the proposed project?
  - Safety and accessibility of the breezeway
  - Potential loss of existing local retailers
  - Potential for vacant storefronts in the new development
  - Traffic congestion
  - Potential noise from rooftop amenity space
3. What do you like about the proposed project?
  - Renewal of old commercial space
  - Variety of unit types and sizes
4. What would you suggest to change or improve the proposed project?
  - More parking
5. Additional comments
  - Some respondents in neighbouring buildings would like to see the portions of the laneway adjacent to their own homes upgraded (repaving, moving power lines underground, etc.)
  - Work with existing tenants to see if they can relocate into West Third development next door during construction
  - Anthem has been a great community partner for the neighbours

Appendices

- **Appendix A:** Public Notification Postcard
- **Appendix B:** North Shore News Advertisement
- **Appendix C:** Photo of Site Sign
- **Appendix D:** Copies of Completed Comment Forms

Should you have any additional questions regarding the Virtual Developer Information Session, please do not hesitate to contact us.

Sincerely,



Emily Howard  
Senior Manager, Community Relations  
Anthem Properties Group Ltd.  
Direct 604 235 3182  
[ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)

## **Appendix A**

### Public Notification Postcard





## Virtual Developer Information Session

Early Public Comment Opportunity – Rezoning Application  
149 West Third Street

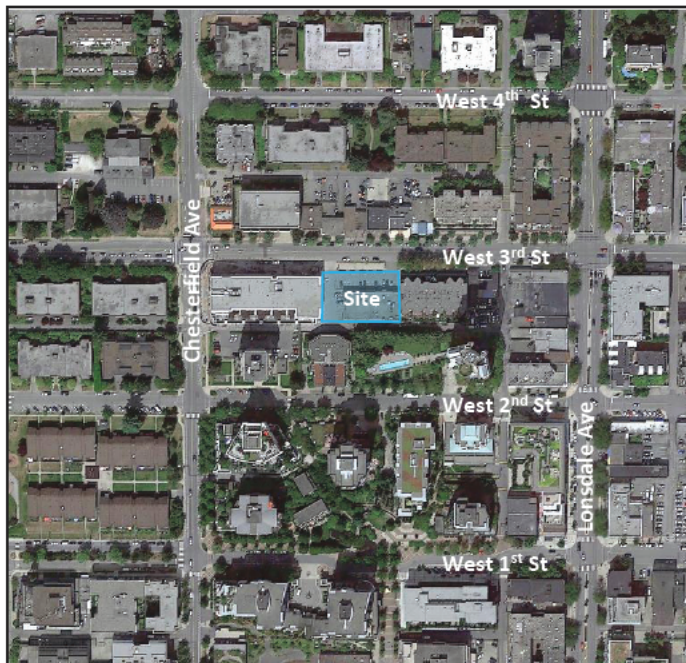
Date & Time: Wednesday, September 23, 2020  
6:00PM-6:30PM: Presentation  
6:30PM-7:30PM: Q&A

How to Participate:

Please register in advance at: [www.149WestThird.com](http://www.149WestThird.com)

If you do not have access to the internet and would like to attend via telephone, please contact Emily Howard at **604-235-3182**.

Resident  
503-160 3rd St W  
North Vancouver BC V7M 0A9



Anthem has submitted a rezoning application to the City of North Vancouver to permit the redevelopment of 149 West Third Street. The proposed development has been designed in accordance with the Official Community plan and consists of:

- A five storey, mixed use building;
- 57 stratified market homes, including four lane-fronting townhomes;
- Retail at grade;
- A public breezeway that connects West Third Street to the lane; and
- Three levels of underground parking with 91 vehicle parking spaces and 106 bicycle parking spaces.

Interested members of the public are invited to attend the Virtual Developer Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

#### City of North Vancouver Contact

Emily Macdonald  
Planning & Development  
141 West 14th Street, North Vancouver, BC V7M 1H9  
[emacdonald@cnv.org](mailto:emacdonald@cnv.org)  
Telephone: 604-982-3904

#### Applicant Contact

Emily Howard  
Anthem Properties Group Ltd.  
1100 – 1055 Dunsmuir Street, Vancouver, BC V7X 1K8  
[ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
Telephone: 604-235-3182



## **Appendix B**

### Site Sign



## Sign Location: 149 West Third Street





## **Appendix C**

### North Shore News Advertisement

# Virtual Developer Information Session

**Anthem has submitted a rezoning application to the City of North Vancouver for 149 West Third Street to support the development of a five-storey strata residential development with ground-floor retail.**

Interested members of the public are invited to attend the Virtual Developer Information Session with the applicant for an early opportunity to review the proposal, ask questions, and submit a comment form.

## How to Participate

**Please register in advance at: [www.149WestThird.com](http://www.149WestThird.com)**

If you do not have access to the internet and would like to attend via telephone, please contact the applicant.

**Date & Time:** **Wednesday, September 23, 2020**  
**6:00PM-6:30PM: Presentation**  
**6:30PM-7:30PM: Q&A**

## Applicant Contact

Emily Howard  
Anthem Properties Group Ltd.  
[ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
Telephone: 604-235-3182

## City of North Vancouver Contact

Emily Macdonald  
Planning & Development  
[emacdonald@cnv.org](mailto:emacdonald@cnv.org)  
Telephone: 604-982-3904



This meeting is required by the City of North Vancouver as part of the development process.

**Anthem** 

**Appendix D**  
Completed Comment Forms

September 23, 2020

## Virtual Developer Information Session: 149 West Third Street Participant Comment Form

The purpose of this form is to collect your comments regarding the proposed development. These comments will be collected by the Applicant and will be summarized in their report to City staff and Council. If you do not wish to be identified, do not include your name or address on the form.

<b>Name:</b>		<b>Address:</b>	
--------------	--	-----------------	--

1. Do you support the proposed project? Please check one:

☒ Yes

☐ No

☐ Undecided

2. Do you have any concerns about the proposed project?

The breezeway down to the lane - concerned that it will attract homeless people as a toilet area and/or sleeping spot at night if this area is covered. Ramp area could also become a skate board spot, perhaps stick to stairs only. Also, open rooftop area - concerns re noise at night if owners abuse the space.

3. What do you like about the proposed project?

Various sizes of units becoming available.

4. What would you suggest to change or improve the proposed project?

Please add more parking spots to your design. While this neighbourhood is great for being able to walk to lots of spots and transit is very handy, we aren't there "yet" with couples/families getting rid of their second vehicles. Having just one spot per unit isn't realistic at this point in time and it's very hard to find parking for visitors - be it in the building or on the street.

5. Any additional comments?

I lived at [REDACTED] for 20 years and was in the hood while W3 was being built. At that time I had no idea I would move into W3 - during the construction phase - Anthem was a great community partner for the neighbours. Best of luck for this new venture + please make a deal with Vaades so that they can move their business into the W3 building while the new building is going up!! We don't want them leaving the neighbourhood!!

If you would like your comments to be included in the report to Staff and Council, you must submit your form to the Applicant via email or mail by **September 28, 2020**. You may also send your comments to the City Planner.

Additional questions may be directed to the applicant.

Applicant Contact: Emily Howard, Anthem Properties, 604-235-3182, [ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
1100 – 1055 Dunsmuir Street, Box 49200, Vancouver, BC, V7X 1K8

City Planning Contact: Emily Macdonald, Planning & Development, 604-982-3904, [emacdonald@cnv.org](mailto:emacdonald@cnv.org)



September 23, 2020

## Virtual Developer Information Session: 149 West Third Street Participant Comment Form

The purpose of this form is to collect your comments regarding the proposed development. These comments will be collected by the Applicant and will be summarized in their report to City staff and Council. If you do not wish to be identified, do not include your name or address on the form.

<b>Name:</b>		<b>Address:</b>	
--------------	--	-----------------	--

1. Do you support the proposed project? Please check one:

☒ Yes

☐ No

☐ Undecided

2. Do you have any concerns about the proposed project?

1. The Breezeway is not accessible. You should work with the Rick Hansen Foundation to build an accessible breezeway.

2. Your photo shows a car parked behind the townhouses. This is impossible! People walk up and down the laneway all the time and it is difficult now to access our underground parking. Please ensure no lane parking.

3. What do you like about the proposed project?

The current commercial spaces are old and outdated. The commercial owners throw garbage into the laneway all the time. It looks like this problem will be eliminated. I have often seen rats run under the laneway buildings after feasting on the laneway garbage.

4. What would you suggest to change or improve the proposed project?

Please try to make the laneway "whole". By this I mean upgrading the lane all the way from Chesterfield to the east side of 131 W3rd. The new speed bumps behind 171 W3rd are great. This includes removing all the telephone poles and wires across the entire length of the lane and putting everything underground.

5. Any additional comments?

I would like to volunteer on your community planning committee to help develop a "whole", modern, upgraded neighbourhood.

If you would like your comments to be included in the report to Staff and Council, you must submit your form to the Applicant via email or mail by **September 28, 2020**. You may also send your comments to the City Planner.

Additional questions may be directed to the applicant.

Applicant Contact: Emily Howard, Anthem Properties, 604-235-3182, [ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
1100 – 1055 Dunsmuir Street, Box 49200, Vancouver, BC, V7X 1K8

City Planning Contact: Emily Macdonald, Planning & Development, 604-982-3904, [emacdonald@cnv.org](mailto:emacdonald@cnv.org)

September 23, 2020

## Virtual Developer Information Session: 149 West Third Street Participant Comment Form

The purpose of this form is to collect your comments regarding the proposed development. These comments will be collected by the Applicant and will be summarized in their report to City staff and Council. If you do not wish to be identified, do not include your name or address on the form.

<b>Name:</b>		<b>Address:</b>	
--------------	--	-----------------	--

1. Do you support the proposed project? Please check one:

☐ Yes

☐ No

☒ Undecided

2. Do you have any concerns about the proposed project?

The disappearance of local retailers is a major concern. All of the retail units at the adjacent West Third development are still sitting empty one year after opening. Empty units are not good for the local community. Losing these retailers to have more empty storefronts is not building a community. I'm sure Covid will take the blame, however these units were empty before Covid struck.

3. What do you like about the proposed project?

4. What would you suggest to change or improve the proposed project?

5. Any additional comments?

I would like to see the City and/or the developer re-pave the entire laneway behind the building and 131 West Third upon completion of this development. I was previously told by the City that they have no budget to repave laneways, but with the increased traffic this development will bring, combined with the 2 years of construction traffic, the condition of the laneway will deteriorate to a worse condition than the current state. Repaving the laneway will at least help to improve the local community. Community art doesn't help me while I am driving over potholes - practical improvements are of more value!

**If you would like your comments to be included in the report to Staff and Council, you must submit your form to the Applicant via email or mail by September 28, 2020. You may also send your comments to the City Planner.**

Additional questions may be directed to the applicant.

Applicant Contact: Emily Howard, Anthem Properties, 604-235-3182, [ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
1100 – 1055 Dunsmuir Street, Box 49200, Vancouver, BC, V7X 1K8

City Planning Contact: Emily Macdonald, Planning & Development, 604-982-3904, [emacdonald@cnv.org](mailto:emacdonald@cnv.org)

September 23, 2020

## Virtual Developer Information Session: 149 West Third Street Participant Comment Form

The purpose of this form is to collect your comments regarding the proposed development. These comments will be collected by the Applicant and will be summarized in their report to City staff and Council. If you do not wish to be identified, do not include your name or address on the form.

<b>Name:</b>	<div></div>	<b>Address:</b>	<div></div>
--------------	-------------	-----------------	-------------

1. Do you support the proposed project? Please check one:

☐ Yes

☒ No

☐ Undecided

2. Do you have any concerns about the proposed project?

Quite a few! You are taking jobs away from people, destroying livelihoods of those running the businesses, bullying those of us who use those businesses to accept your proposal, and shoving it down our throats when we like what is there, and vehemently hate the traffic congestion you create with these developments. As well: there are tonnes of people who are rather angry at you and really don't want to lose any of those businesses. How do you think you are going to either help us, or help out those businesses that we use?  
You are going to kill those businesses, destroying their incomes, and telling us, their customers to f-off, and YOU think that's "pleasant"? Aside from that, the traffic is horrendous in North Vancouver now because of you developers putting up these condos. It's amazing that you couldn't care less for the citizens in North Vancouver who might want to get off the North Shore once in a while to see friends in other areas of the lower mainland

3. What do you like about the proposed project?

I like nothing about your project, and as a resident, think it should be shelved indefinitely.

4. What would you suggest to change or improve the proposed project?

Kill it! There are far too many people on the North Shore already, traffic never used to be anywhere near as bad as it is until council started this insane development binge, and now the only thing I want is sell and move away from North Vancouver.

5. Any additional comments?

I can't emphasize strongly enough that you should stop this crazy development binge that you are on, for the sake of your city and citizens, except, since you have no power, you only look at us as residents.

Why does it seem so impossibly difficult to get across that the traffic congestion alone you create by these property developments is something that affects every citizen of the North Shore and is something only city council is willing to live with and that the residents do not want, even the silent majority who have better things to do than to be alone writing you on this form at their computer? Some, indeed, are students at Cap College, or a real school, need to get off the North Shore for SFU, UBC, BCIT of some real university, and cannot because of the traffic congestion you create with these developments?

If you would like your comments to be included in the report to Staff and Council, you must submit your form to the Applicant via email or mail by **September 28, 2020**. You may also send your comments to the City Planner.

Additional questions may be directed to the applicant.

**Applicant Contact:** Emily Howard, Anthem Properties, 604-235-3182, [ehoward@anthemproperties.com](mailto:ehoward@anthemproperties.com)  
1100 – 1055 Dunsmuir Street, Box 49200, Vancouver, BC, V7X 1K8

**City Planning Contact:** Emily Macdonald, Planning & Development, 604-982-3904, [emacdonald@cnv.org](mailto:emacdonald@cnv.org)

# SUSTAINABLE DEVELOPMENT GUIDELINES FOR REZONING & DEVELOPMENT PERMIT APPLICATIONS

CIVIC ADDRESS \_\_\_\_\_

APPLICANT NAME \_\_\_\_\_

## I. INTRODUCTION

These Guidelines have been developed to help applicants prepare a successful Development Application submission. All Development Applications must include a response to the Sustainable Development Guidelines, which will be reviewed by Advisory Bodies, staff and, ultimately, City Council who will give serious consideration to the sustainability achievements of a project.

Applicants must demonstrate how their development will contribute to the current and future needs of the community by highlighting sustainability achievements of an application.

The Guidelines challenge applicants to advance the sustainability objectives of the City, as outlined in the 2014 Official Community Plan (OCP), which guides community development in our city with the following Vision:

**In 2031, the City of North Vancouver will be a vibrant, diverse, and highly livable community that is resilient to climate or other changes, and sustainable in its ability to prosper without sacrifice to future generations.**



One of the key ways that the community vision will be realized is through property development. Buildings house us, provide employment centres and frame our streets. They remain with us for many decades with significant ongoing impacts, including generating approximately 50% of our community greenhouse gas emissions. Buildings now need to adapt to the impacts of climate change to help the City become resilient to that new reality. Building forms and densities also have significant effects on housing cost and diversity, transportation choices, and the liveability of our community.

**Sustainability** in the City means balancing the natural, physical (human-made), human, social, cultural and local economic implications of our activities in order to meet the needs of people today without compromising the ability of future generations to meet their own needs.



## **II. PREPARING THE SUSTAINABLE DEVELOPMENT GUIDELINES**

Applicants are required to submit a response to the Guidelines as a key part of their development application package. Projects are not expected to incorporate all measures in the Guidelines.

For information on underlying City goals and objectives, it is recommended that applicants refer to other relevant City policies such as the OCP, Social Plan, Economic Development Strategy, Transportation Plan, Community Energy and Emissions Plan, Food Strategy and Food Action Plan, as well as others.

The Guidelines address the six capacities that comprise the OCP's Sustainable City Framework, including Natural Systems, Physical Structures / Infrastructure, Local Economy, Human Potential, Social Connections, and Cultural Diversity.

### **DEVELOPMENT GUIDELINES**

Applicants are required to submit a response to the Guidelines as a key part of their development application package. Projects are not expected to incorporate all measures in the Guidelines.

For information on underlying City goals and objectives, it is recommended that applicants refer to other relevant City policies such as the OCP, Social Plan, Economic Development Strategy, Transportation Plan, Community Energy and Emissions Plan, Food Strategy and Food Action Plan, as well as others.

The Guidelines address the six capacities that comprise the OCP's Sustainable City Framework, including Natural Systems, Physical Structures / Infrastructure, Local Economy, Human Potential, Social Connections, and Cultural Diversity.

**1. Natural Systems:** The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.



	Yes/No or N/A	Comments
<b>LANDSCAPE</b>		
Private Trees Retained or Added (indicate number)		
Green Roof / Wall		
Majority Native Species Landscaping		
Habitat Restoration (butterfly, bird-friendly, naturalized areas)		
Community Gardens*		
50% or More Edible Landscaping for Common Space		
Water Efficient Irrigation System (drip hose, low-flow nozzles)		
Rainwater Collection (rain barrel)		
Reuse of Wastewater		
Permeable Paving for Hardscape		
40%+ Open Site Space (see Zoning Bylaw definition)		
<b>Other Sustainability Achievements:</b>		

\*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

**2. Physical Structures/Infrastructure:** The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.



	Yes/No or N/A	Comments
<b>LANDSCAPE</b>		
Durable Building (modular / deconstructable)		
Building Reuse / Recycled Content / Use of Repurposed materials		
Majority Native Species Landscaping		
Certified by a Third-Party Green Building Rating System		
<b>ENERGY EFFICIENCY AND HEALTHY BUILDINGS</b>		
Energy Performance (% better than Building Code or energy use / m <sup>2</sup> )		
Superior Insulation (thick wall exclusion in Zoning Bylaw sought for insulation above BC Building Code)		
Airtightness (1.5+ blower door test and appropriate ventilation strategy)		
High-performance Windows e.g. Energy-Star, Passive House Certified (whole project)		
Heat Recovery Ventilator (75% or better recovery)		
LED Lighting (whole building)		
Energy-Star Appliances (whole building)		
Renewable Energy Fixtures Installed		
Water Efficient Fixtures (whole building)		
Greywater Reuse		

	Yes/No or N/A	Comments
<b>TRANSPORTATION</b>		
End of Trip Bicycle Infrastructure (beyond Zoning Bylaw requirements)		
Car-Share Program		
<b>Electric Vehicle Supply Equipment:</b> 20% of all residential parking spaces include an electrical outlet, a receptacle or electric vehicle supply equipment, and are supplied by a branch circuit rated not less than 40A at the nominal voltage of 208 V or 240V as applicable.		
<b>Electric Vehicle Supply Equipment:</b> Adequate space in the electrical room or electrical vault to support future electric vehicle charging for the remaining 80% of parking spaces.		
<b>Other Sustainability Achievements:</b>		

**3. Local Economy:** The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.



	Yes/No or N/A	Comments
<b>HIGH PERFORMANCE CONSTRUCTION</b>		
Net New Jobs Generated (long term, full time)		
Commercial floor space (net increase, indicate area)		
Neighbourhood-Scale Commercial (unit frontages ≤6m (20ft))		
Non-Market / Lower-End of Market Commercial		
Commercial Relocation Strategy		
<b>Other Sustainability Achievements</b>		



**4. Human Potential:** The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.



	Yes/No or N/A	Comments
Market Rental Housing (net increase, indicate number of units)		
Non-Market / Lower-End of Market Rental Housing		
10%+ Three+ Bedroom Units (in multi-unit residential buildings)		
Micro-units ~37.16m <sup>2</sup> (~400 ft <sup>2</sup> )		
Childcare Facilities		
Community Space for Food Preparation, Storage and Processing		
Green Building Educational / Interpretive Features		
Primary and Secondary Stair Design*		
Outdoor Circulation*		
Storage space for residents in units and storage rooms (multi-unit residential buildings)		
<b>Other Sustainability Achievements:</b>		

**5. Social Connections:** The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.



	Yes/No or N/A	Comments
Design Features for People with Disabilities (beyond Zoning Bylaw requirement)		
Communal Cooking Amenities		
Indoor Amenity*		

	Yes/No or N/A	Comments
Outdoor Recreation*		
Amenities for Senior Users		
Crime Prevention Through Environmental Design		
<b>Other Sustainability Achievements:</b>		

**6. Cultural Diversity:** The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.



	Yes/No or N/A	Comments
Formal and Informal Gathering Spaces		
Retention of Heritage Building		
Public Art Reflecting Local Culture		
Streetscape Improvements (benches, planters, lighting)		
<b>Other Sustainability Achievements:</b>		

### III. SUMMARY

The Sustainable Development Guidelines are important in both shaping and processing development applications. Applicants are advised to consider these issues at the outset of a project and to contact planning staff for more information on sustainable design strategies.

Endorsed by Council October 5, 2015

**From:** Agnes van Gijzen  
**Sent:** March-15-22 5:24 PM  
**To:** Submissions  
**Subject:** Rezoning 149 West 3rd St

To whom it may concern,

I would like to make some arguments against this rezoning proposal.

- As this building is going to be built in between two existing buildings, there should be a third route available by car because the back alley is only accessible via Chesterman street or the back alley of Lonsdale Ave.
- The back alley of Lonsdale is mostly congested because people bringing their belongings to the backside of the thrift store with their cars and park anywhere (even in the middle of the road) or the truck from the thrift store is blocking the way.
- If we have three buildings with their garage on the back-alley side, means that you have at least 150 cars going in and out their garage on a daily basis. If the many cars or truck standing on the thrift store side of the alley and the garbage truck comes in from the other side, you are stuck.
- The new proposed building will be a 5-storey building which means the building will be higher than the existing building which will take away views from the existing buildings but most importantly privacy.
- As my building, 131 West 3<sup>rd</sup> st, is a 4-storey building, the new building will not only have their roof higher than us, they will also allow their owners on the rooftop which not only bring more **noise** but also less **privacy**. ( we have skylights on our roof into our living rooms)
- Not sure as to where the building ends on the back-alley side, if it's in line with our building or will they build more into the alley.
- If that is the case, the views and privacy on the backside of our building will be taken away.
- The new commercial units should allow the current tenants to rent the property with a proper discount as they are well-established businesses and will be greatly missed in this community if they would not return.

Sincerely,  
Agnes van Gijzen  
131 West 3<sup>rd</sup> St



1070 Roosevelt Crescent  
North Vancouver | BC | V7P 1M3  
T: 604.984.9321 | F: 604.984.9882  
[www.nsconnexions.org](http://www.nsconnexions.org)

March 11, 2022

To whom it concerns,

**ANTHEM PROPERTIES SUNSHINE MARKET**

As the Executive Director for North Shore ConneXions Society I am acknowledging our support for Anthem Properties proposal for the “Sunshine Market” Development at 149 West Third Street in North Vancouver.

North Shore ConneXions Society is a non-profit in North Vancouver that supports individuals with intellectual disabilities and enables them to feel safe and supported and live the lives they choose. Our Vision is a community where all people with disabilities have equal opportunities to lead active, fulfilling lives and are recognized as contributing members of the community.

It is imperative to our Mission that local business leaders acknowledge the disabled community and recognize the importance of accessible spaces for all. Anthem Properties is doing just that with the “Sunshine Market” Development plan. The team is building 85% of the residential units as Level 2 Adaptable units (higher than the 25% of units required by the City of North Vancouver). This is important to our community, as it creates the opportunity for folks to adapt units to match their physical ability and will allow folks to age in place by adapting the space to better serve an aging population.

In closing I want to acknowledge our support of the Anthem Properties “Sunshine Market” project and look forward to seeing it move forward.

Yours Truly

A handwritten signature in black ink, appearing to be "AS", written over a horizontal line.

Allen Smith  
Executive Director



**From:** Neil Martin  
**Sent:** March-18-22 5:00 PM  
**To:** Submissions  
**Subject:** 149 West 3rd Street public input

Mayor and Council - I'd like to express my strong support for the rezoning application at 149 West 3rd Street. I'm also happy to see that council is taking advantage of changes in the Local Government Act to forego public hearing for rezonings that are in compliance with the OCP. As noted by several councillors at previous council meetings, this application closely mirrors the development next door, and will create a nice extension of that development and provide some uniformity to the streetscape. The project will create some much needed new for-sale condos within Lower Lonsdale; new sales launches have become quite rare these past few years and that lack of new housing has reflected in further increasing prices for older, typically more affordable, condos.

I urge council to approve this application, as it is in compliance - both height and density - with the OCP and new condo housing is needed in Lower Lonsdale.

Neil Martin  
258 West 14<sup>th</sup> Street  
North Vancouver

**From:** Jane Keresztes  
**Sent:** March-21-22 8:50 PM  
**To:** Submissions  
**Subject:** 149 West 3rd St.

Dear City of North Vancouver Council,

We are writing this email to show our support for the proposed project at 149 W 3rd Street, in Lower Lonsdale. My husband and I have been residents of Lower Lonsdale for over 3 years and absolutely love the area and walkability to local stores and the Seabus. My hair salon and butcher are across from the proposed building site that is outdated and in need of a remodel. We are in favour of the public breezeway, public art, and lane improvements that Anthem Properties is proposing. Lower Lonsdale is attracting many retired people such as ourselves and aesthetically pleasing condos will be a boost to the local economy and provide adequate housing to keep the small businesses operational.

Thanks for your time and consideration of our viewpoint.

Jane and Zoltan Keresztes  
#410 105 W 2nd St.  
North Vancouver, BC V7M 0E3

**From:** Lisa Taylor  
**Sent:** March-23-22 4:58 PM  
**To:** Submissions  
**Subject:** 149 West Third Street

Dear City of North Vancouver Council,

I am writing to show my support for the proposed project at 149 West Third Street, in North Vancouver. I am a resident of North Vancouver - my condo is located at 137 1<sup>st</sup> Street E, not far from this project.

I believe Lower Lonsdale needs a more diverse range of homes, particularly 3-bedroom condos and townhomes, as many people are being priced out of detached homes and are not able to find enough space for their young families in this area.

Also, the building that houses the current commercial spaces on this lot is old and getting run down - this project includes lots of space for nice, new commercial units, which will only add to the neighbourhood as Lower Lonsdale continues upgrading into a progressive and thriving community.

I hope this project is able to go ahead

Thank you,  
Lisa Taylor  
137 East 1<sup>st</sup> Street  
North Vancouver

# PUBLIC NOTICE

**Regular Council Meeting, Monday, March 28, 2022 at 6:00pm**

**Zoning Amendment Bylaw No. 8894 for 149 West 3<sup>rd</sup> Street**

**View the meeting online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming)**

**Or in person at City Hall, 141 West 14<sup>th</sup> Street**

**Purpose:** To rezone the subject property to permit a 5-storey mixed-use building, including ground floor retail commercial space and 57 residential strata units.

**To provide written input:** All persons who believe their interest in property may be affected by the proposed bylaw will be afforded an opportunity to be heard by written or email submission. All submissions must include your name and address and should be sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, March 28, 2022**, to ensure their availability to Council at the meeting. No Public Hearing will be held.

**To view the meeting online:** Visit [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming)

**To attend the meeting in person:** Enter City Hall through the doors at the southwest corner of the building after 5:30pm.

**To view the documents:** The proposed bylaw and background material can be viewed online at [cnv.org/PublicHearings](https://cnv.org/PublicHearings) or at City Hall.

**Questions?** Emma Chow, Planner, [echow@cnv.org](mailto:echow@cnv.org) / 604-982-3919





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# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8894

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8894**” (Anthem Sunshine Developments Ltd. / McFarlane Biggar Architects, 149 West 3<sup>rd</sup> Street, CD-744).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-744 (Comprehensive Development 745 Zone):

Lots	Block	D.L.	Plan	
B	13	274	879	from CS-3

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. Adding the following section to Section 1100, thereof, after the designation “CD-743 Comprehensive Development 743 Zone”:  
  
“CD-744 Comprehensive Development 744 Zone”
  - B. Adding the following to Section 1101, thereof, after the “CD-743 Comprehensive Development 743 Zone”:  
  
“CD-744 Comprehensive Development 744 Zone”

In the CD-744 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-2 Zone, except that:

- (1) The permitted Principal Uses on the Lot shall be limited to:
  - (a) Retail-Service Group 1 Use;
  - (b) Accessory Apartment Use subject to Section 607(1) of this Bylaw;
    - i. Accessory Home Occupation Use, subject to Section 507(6);
    - ii. Accessory Home Office Use, subject to Section 507(6);
  - (c) Accessory Off-Street Parking Use;
  - (d) Accessory Off-Street Loading Use;

(2) Gross Floor Area:

- (a) Combined and in total, shall not exceed 2.3 times the Lot Area;
- (b) Maximum Gross Floor Area may be further increased to a maximum of 2.8 times the Lot Area, as follows:

BASE DENSITY			
OCP Schedule 'A'		2.3 FSR	
ADDITIONAL (BONUS) DENSITY			
ADDITIONAL DENSITY CATEGORY	DESCRIPTION	ADDITIONAL (BONUS) DENSITY	POLICY REFERENCE
Community Benefit Cash Contribution	Provision of an Amenity Share of \$2,464,386 for density increase	Maximum 974.3 sq.m. (10,487 sq.ft.) / 0.5 FSR	OCP section 2.2
TOTAL DENSITY		2.8 FSR	

(3) Lot Coverage of Principal Building shall not exceed a maximum of 74 percent;

(4) Height:

- (a) Building Height shall not exceed 16 metres (52.5 feet) as measured from average Building Grade of north Lot Line;
- (b) The following Height exceptions shall be permitted:
  - i. Mechanical rooms, ventilating machines, elevator over-runs, mechanical screening, architectural appurtenances, rooftop shared amenity spaces to a maximum of 37.3 square metres (402 square feet) and access to communal outdoor rooftop areas may be up to 5.5 metres (18.0 feet) in additional Height;

(5) Principal Building shall be sited a minimum of 3.48 metres (11.4 feet) from Rear Lot Lines;

(6) Section 607(1)(b) be varied to permit Accessory Apartment Use above the first Storey, and Accessory Apartment Use shall be permitted on the first Storey if dwelling units do not face the Front Lot Line;

(7) Section 611(6) "Building Width and Length" be waived.

READ a first time on the <> day of <>, 2022.

READ a second time on the <> day of <>, 2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER



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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Yan Zeng, Manager, Development Planning

Subject: DEVELOPMENT VARIANCE PERMIT APPLICATION - 324 RIDGEWAY AVENUE (CORNERSTONE ARCHITECTURE)

Date: February 23, 2022 File No: 08-3400-20-0074/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Manager, Development Planning dated February 23, 2022 entitled "Development Variance Permit Application – 324 Ridgeway Avenue (Cornerstone Architecture)":

THAT Development Variance Permit No. PLN2022-00002 be considered for issuance under Section 498 of the *Local Government Act* and a Public Meeting be held;

THAT notification be circulated in accordance with Section 499 of the *Local Government Act*;

AND THAT staff report back on a bylaw review to examine pathways to meet the City's district energy as well as high performance building design requirements.

**ATTACHMENTS**

1. Context Map (CityDocs [#2150219](#))
2. Development Variance Permit (CityDocs [#2150166](#))

**SUMMARY**

This report recommends a Development Variance Permit (DVP) to allow a 10-unit townhouse development in the Moodyville area at 324 Ridgeway Avenue (Attachment #1) to use on-site technology to satisfy the development's space heating needs, as an

alternative to the Community Energy System (CES) operated by Lonsdale Energy Corporation (LEC).

## BACKGROUND

- The 10-unit townhouse development at 324 Ridgeway received a Development Permit (DP) in July 2018.
- Subsequently, a Building Permit application was filed with the City in November 2018.
- Consistent with the sequential issuance of phased permits, the foundation permit was given manager's authorization to proceed (with conditions) on July 23, 2019.
- Foundation has been in place for the past two years but no full building permit has yet been issued. Property subsequently changed ownership.
- Resubmission of Building Permits was filed on November 25, 2021, with foundation permit issued on November 30, 2021.

A key outstanding issue preventing the issuance of the full building permit is the project's non-compliance with respect to connection to LEC for space heating.

For majority of projects in Moodyville, connection to a CES is required by the Hydronic Energy Service Bylaw unless staff consider that the cost of providing the connection would be excessive to the City.

The Zoning Bylaw also has provisions requiring connection to a CES and outlines cases where no connection for space heating may be considered:

- As part of the DP issuance, it is required that the project demonstrate either:
  - connection to LEC for all heating purposes; or
  - achievement of Passive House certificate so as to not be connected to LEC for space heating purposes only. This is to be done prior to BP issuance.

On February 3, 2022, the applicant submitted a DVP application to vary the Zoning Bylaw in order to allow the use of on-site heat pump for space heating instead of using the hydronic energy service operated by LEC. This DVP is the subject of this report.

## DISCUSSION

The Zoning Bylaw allows an exception for buildings that achieve Passive House energy standards (with certification) and that feature a designed and installed space heating capacity not exceeding 10 watts per square meter – if this is achieved, no connection to LEC for space heating is required.



The subject development has been aiming for the Passive House certification as a way to demonstrate superior energy performance in order to meet the Zoning Bylaw provision to not connect to LEC for space heating.

The applicant has indicated challenges to achieving certification due to factors such as:

- the requirement to connect to LEC - LEC's current mix of heat sources is not able to meet the PER (Primary Energy Renewable) or the alternate PE (primary energy at source) requirements;
- use of roof hatches instead of a smaller, more vertical hatch or a door for roof access (due to Zoning height provision) – there is significant heat loss through these hatches.

The building, however, achieves energy performance of Step 4 of the BC Energy Step Code, which currently is its highest step (i.e. "Net Zero Energy Ready"). This means, while the subject development wasn't able to achieve Passive House certification, it is still a high performing building in terms of energy consumption. This is compared with the majority of developments going through rezoning in the City which achieve Step 3 of the Code.

While the application is not proposing the Passive House standard, the energy efficiency of Step 4 is excellent and the building's demand for input energy associated with space heating is low. To support the variance to allow a Step 4 building without connection to CES for space heating, staff would use the opportunity to study the real-world performance of an alternative solution to satisfy its space heating needs. This would provide additional information to evaluate the performance and space heating needs of buildings which achieve the Step 4 / "Net Zero Energy Ready" standard. This will help to determine whether to permit alternative pathways other than LEC connection for space heating on small townhome projects (or similar projects) which achieve Step 4 in the future. Therefore, staff support the DVP to allow no connection to LEC for space heating purposes. This will allow a monitoring study of the alternative solution (see condition in Attachment #2).

### **Implications for Other Sites in Moodyville**

Building technology is constantly evolving to better address the energy and climate imperatives. For smaller scale development like small townhouse developments, highly efficient individual buildings using on-site technology for space heating, hot water and cooling purposes, may be able to meet environmental performance objectives without connection to a CES. This can be evaluated on a case by case basis, especially as lifecycle costs and technical considerations are not yet well understood. The pilot proposed through this DVP would provide more information to inform future decisions.

Staff also note that there is a lack of clarity between the Hydronic Energy Service Bylaw and the Zoning Bylaw in terms of connectivity requirement and pathways for buildings to be able to not connect. Staff will need to undertake a review to make sure there is a close alignment between the bylaws as well as clearly defined pathways to allow the achievement of highly efficient buildings in the City and laying of the foundation for CES to serve future high density growth.



## Community Consultation

Due to the technical nature of the application, no community consultation has been conducted as part of staff review. Should Council proceed with this application, notice will be provided in accordance with the *Local Government Act* and staff recommend a Public Meeting be held to allow interested members of the public to participate.

Alternatively, should Council wish to not hold a Public Meeting, the last active clause of the resolution should be substituted:

“AND THAT a Public Meeting be waived.”

Further, through this application, the applicant has also requested that hydronic energy service requirement for hot water heating also be waived. As staff are recommending a more gradual and studied approach to consider on-site technology as an alternative means to meeting CES connectivity requirement, connection to LEC for hot water heating would still be required. If Council should wish to waive the connection requirement for hot water heating, an active clause in the resolution like the following will be necessary:

“FURTHER THAT the Development Variance Permit will vary the requirement of section 420 (1) to connect to a Community Energy System, including space heating and domestic hot water heating services;”

## FINANCIAL IMPLICATIONS

Due to the very low space heating demand for this development, allowing an alternative technology or system to satisfy the space heating needs in this case would not result in any significant financial impacts to the City-owned utility. The building would remain an LEC customer for hot water heating.

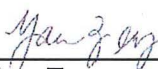
## INTER-DEPARTMENTAL IMPLICATIONS

None.

## STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS

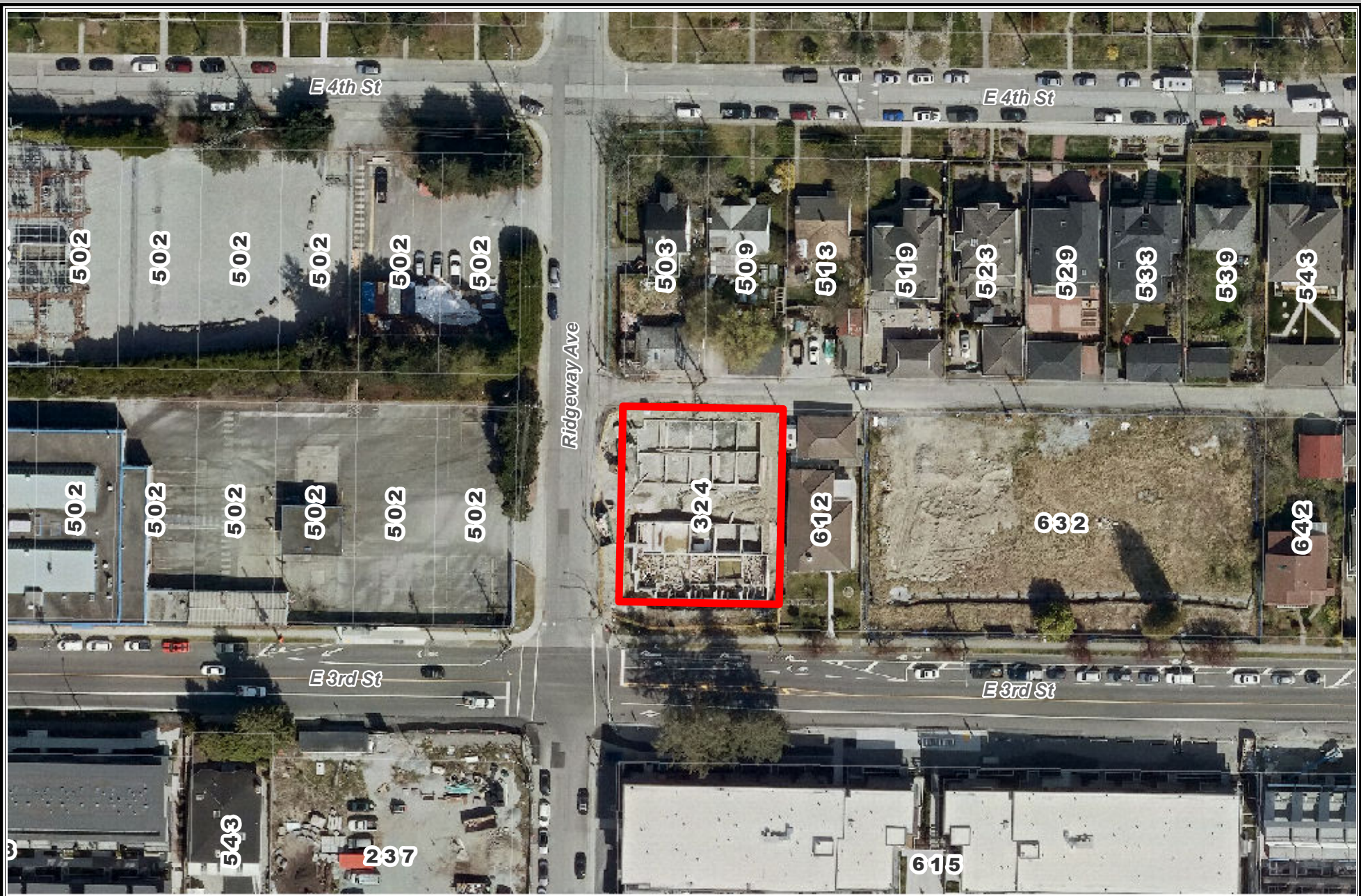
This application would allow an opportunity to study alternative solutions to CES connection in achieving environmental objectives. It is aligned with Council Strategic Plan of a livable city that leads the way in climate action and acts as a steward of the environment for future generations. It also aligns with OCP's Guiding Principle that the city be resilient and adaptable with local solutions to global issues and meeting targets for greenhouse gas reduction to mitigate climate change.

RESPECTFULLY SUBMITTED:

  
\_\_\_\_\_  
Yan Zeng

Manager, Development Planning








## Public Meeting: 324 Ridgeway - Development Variance Permit




**Presented March 28, 2022**  
Development Planning



## Project Description



Context Map: 324 Ridgeway Avenue



2

## DVP Application

- 10-unit townhouse development designed to achieve Passive House
- In the end, project only able to achieve Step 4 of the BC Energy Step Code
- Applicant proposes on-site heat pump for building's space heating and hot water needs – therefore they seeks to not to connect to a Community Energy System (CES)

## City Regulatory Context

- CES and LEC
- Hydronic Energy Service Bylaw and Zoning Bylaw
- Zoning Bylaw requires connection to a CES (under section 420) for this building
- Purpose of DVP is to vary the connectivity requirement



## DVP Requests

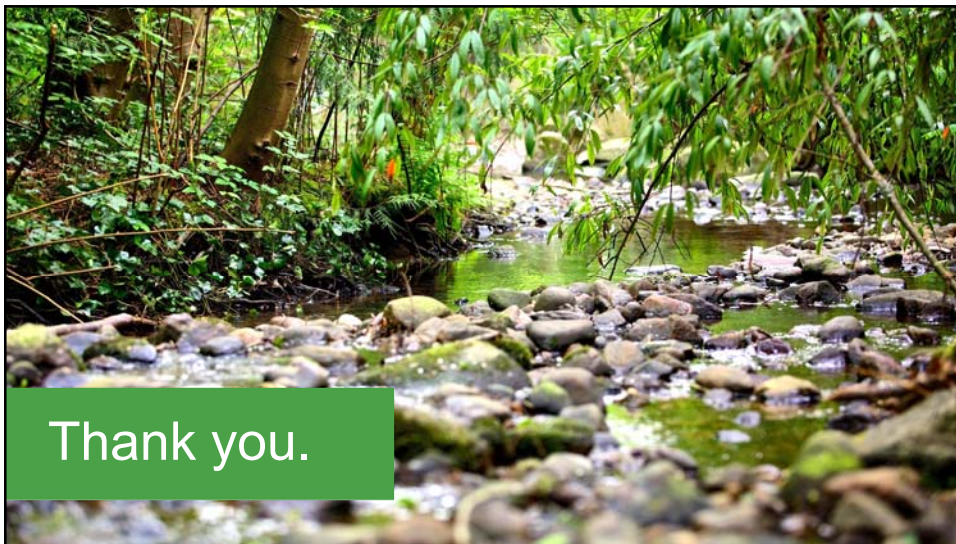
- Applicant requests that no connection to CES, including both space heating connection and domestic hot water connection, owing to the highly efficient on-site system
- Staff only support space heating needs NOT be supplied by CES, staff recommend domestic hot water is still supplied by CES.

## Why Staff Support On-site Space Heating

- Passive House or equivalent is a pathway to allow buildings in the city not to connect to CES
- Small-scale high-performing buildings produce minimal load need for space heating
- Staff propose a monitoring study in this case to inform future decisions where connection to CES may be waived for smaller-scale energy efficient buildings

## Future Work

- Reconcile provisions between Hydronic Energy Service Bylaw and Zoning Bylaw to clearly delineate pathways for individual buildings to achieve climate emergency goals



Thank you.

# PUBLIC MEETING

Monday, March 28, 2022 at 6:00 pm

Development Variance Permit No. PLN2022-00002 for **324 Ridgeway Ave**

View the meeting online at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming)  
Or in person at City Hall, 141 West 14<sup>th</sup> Street

**Purpose:** To vary the hydronic energy service requirement under the Zoning Bylaw.

**To provide written input:** All persons who believe their interest in property may be affected by the proposed permit will be afforded an opportunity to speak at the Public Meeting and/or by written or email submission. All submissions must include your name and address and should be sent to the Corporate Officer at [input@cnv.org](mailto:input@cnv.org), or by mail or delivered to City Hall, **no later than 12:00 noon on Monday, March 28, 2022**, to ensure their availability to Council at the Public Meeting.

## To speak at the Public Meeting:

**Via Webex/phone:** Pre-register by completing the online form at [cnv.org/PublicMeetings](https://cnv.org/PublicMeetings), or by phoning 604-990-4230 to provide contact details, so call-in instructions can be forwarded to you. **All Webex/phone pre-registration must be submitted no later than 12:00 noon on Monday, March 28, 2022.**

**In person at City Hall:** On the day of the meeting, a sign-up sheet will be available at City Hall reception (14<sup>th</sup> Street entrance) between 9:00am and 4:00pm, and then outside the Council Chamber from 5:30pm. Enter City Hall through the doors at the southwest corner of the building.

**Non-registered speakers:** Speakers who have not pre-registered will also have an opportunity to provide input. Once all registered speakers have spoken, the Mayor will call for a recess to allow time for additional speakers to phone in or speak in person. Call-in details will be displayed on-screen during the livestream at [cnv.org/LiveStreaming](https://cnv.org/LiveStreaming).

**To view the documents:** The proposed permit, background material and presentations can be viewed online at [cnv.org/PublicMeetings](https://cnv.org/PublicMeetings) and at City Hall.

**Questions?** Yan Zeng, Manager, Development Planning, [yzeng@cnv.org](mailto:yzeng@cnv.org) / 604-982-8305





**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**  
**DEVELOPMENT VARIANCE PERMIT**

---

Permit No. PLN2022-00002

File: 08-3400-20-0074/1

---

Issued to owner(s): **1250359 B.C. LTD., INC. NO. BC1250359**

---

Respecting the lands located at **324 Ridgeway Avenue**, North Vancouver, BC, legally described as:

**LOT 1 DISTRICT LOT 273 GROUP 1 NEW WESTMINSTER DISTRICT PLAN  
EPP91439 PID: 030-855-900**

(the “**Lands**”)

---

**List of Attachments:**

None.

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**Authority to Issue:**

1. This Development Variance Permit is issued pursuant to Section 498 of the *Local Government Act*.
- 

**Bylaws Supplemented or Varied:**

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” are hereby varied as follows:
    - A. Section 420 (1) be varied to allow the building to pursue an on-site space heating technology alternative to the Community Energy System operated by Lonsdale Energy Corporation (LEC), to satisfy the building's space heating needs only, subject to achieving Step 4 of the BC Energy Step Code.
-



### **Special Terms and Conditions of Use:**

3. No variances other than those specifically set out in this permit are implied or to be construed.
  4. At the City's discretion, to monitor the performance of alternate space heating technology, the City may carry out an energy monitoring study in the building on site, after the building is at full occupancy. Terms and conditions of the study are subject to the satisfaction of the Director of Planning and Development, in consultation with the Chief Executive Officer of the Lonsdale Energy Corporation.
  5. The Lands may be subject to additional regulations, restrictive covenants and agreements which may affect their use, development and amenities, if any section or lesser portion of this Development Variance Permit is held invalid for any reason the invalid portion shall be severed from this Development Variance Permit and the validity of the remainder of the Development Variance Permit shall not be affected.
- 

### **General Terms and Conditions:**

6. Pursuant to Section 504 of the *Local Government Act*, this Permit lapses if the work authorized herein is not commenced within 24 months following issuance of this Development Variance Permit. In the event the Owner is delayed or interrupted or prevented from commencing or continuing the construction on or about the subdivision by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the works shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.
7. This Development Variance Permit shall not vary the permitted uses or densities of land use in the applicable zoning bylaw nor a flood plain specification designated under Section 524(3) of the *Local Government Act*.
8. Nothing in this Permit shall in any way relieve Land Owner/Developers obligation to ensure that the development proposal complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.

9. Nothing in this Permit shall in any way relieve the Land Owner/Developers obligation to comply with all setback regulations for construction of structures or provision of on-site services pursuant to the *Health Act*, the *Fire Services Act*, the *Electrical Energy Inspection Act*, and any other provincial statutes.
- 

Authorized by Council: \_\_\_\_\_  
Year / Month / Day

\_\_\_\_\_  
Linda C. Buchanan, Mayor

\_\_\_\_\_  
Karla D. Graham, Corporate Officer

Date Signed: \_\_\_\_\_  
Year / Month / Day

---

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Development Variance Permit No. PLN2022-00002.

Notice filed the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

THIS IS NOT A BUILDING PERMIT

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Canadian Mental  
Health Association  
North and West Vancouver  
*Mental health for all*

## Mental Health Crisis Response in our Community: A New Offering

For: Municipal Council, City of North Vancouver  
Presented by: Julia Kaisla, ED, CMHA North West Vancouver  
Date: March 28, 2022



Canadian Mental  
Health Association  
North and West Vancouver  
*Mental health for all*

## Mental Health Interventions: A Continuum

**Thriving:** Active. Positive.  
Calm. Flow. Sleeping well.  
Eating regularly.

Keep doing what you're  
doing!!

**Surviving:** Mental health  
is waning or substance  
use is escalating

Interventions incl:  
counselling, peer support,  
self serve tools, rest/reset,  
movement, connection to  
land and culture.

**Start with what has  
worked in the past. If it's  
new or you aren't able to  
get back to green within  
a couple of weeks, visit  
your GP, or reach out to  
social and community  
supports and networks.**

**Struggling:** Caregiver or  
individual needing  
support: someone to listen  
and help navigate next  
steps.

PACT to respond by  
phone, text, virtually, or in  
person.

**Call PACT:**  
**1-888-261-7228 or text**  
**778-839-1831**

**Major Crisis:** Individual  
is at risk to themselves or  
others or is significantly  
deteriorating.

Police intervention  
required for apprehension  
under the Mental Health  
Act.

**Call 911 and request Car  
22.**

**Goal: With consent,  
police can call PACT to  
come and support the  
family who are also in  
crisis.**



## Civilian-Led Mobile Crisis Teams



Teams composed of **non-police mental health workers** are dispatched to crisis events to **de-escalate** the situation and **provide ongoing support** to the person to access voluntary health and social services.

Other jurisdictions have demonstrated that civilian-led teams include Eugene OR, Rochester NY, Toronto! And soon: New West and Victoria!. They:

- ✓ **save money**
- ✓ **free up police resources** for re-allocation towards preventing and solving crime
- ✓ **reduce stigma** of mental illness and substance use
- ✓ **divert** people from unnecessary use of hospital emergency rooms and interactions with the criminal justice system
- ✓ **map** existing services and **improve navigation**

## On the North Shore: Our Peer Assisted Care Team



### First civilian North Shore mental health crisis team launched

Brent Richter

Nov 22, 2021 3:58 PM

<https://www.nsnews.com/local-news/first-civilian-north-shore-mental-health-crisis-team-launched-4786256>

### Here is how to access local mental health supports over the holidays

Brent Richter

Dec 23, 2021 8:05 AM

<https://www.nsnews.com/amp/local-news/here-is-how-to-access-local-mental-health-supports-over-the-holidays-4888014>

## P.A.C.T. - The Details:

آیا شما یا عزیزانتان دچار پریشانی و ناراحتی هستید؟  
ما می‌توانیم به شما یاری برسانیم

با P.A.C.T. - Peer Assisted Care Team (مددکاران هم‌درد و هم‌تجربه) تماس بگیرید

P.A.C.T. یک تیم خودمختار برای رسیدگی به فشارهای بحرانی مربوط به بهداشت روانی با استفاده از افراد با تجربه و آموزش دیده است. ما با افراد مبتلایان و خانواده‌های آنها کار می‌کنیم تا آنها را از تجربه‌های دشوار و ترسناک حمایت کنیم و به آنها کمک کنیم تا با مشکلات خود کنار بیایند.

• افرادی که در معرض خطر خودکشی یا آسیب به دیگران هستند  
• افرادی که در معرض خطر آسیب جسمانی یا جنسی هستند  
• افرادی که در معرض خطر آسیب روانی یا عاطفی هستند  
• افرادی که در معرض خطر آسیب اجتماعی یا تحصیلی هستند

برای آگاهی بیشتر به وبسایت [www.NorthShorePACT.com](http://www.NorthShorePACT.com) سر بزنید

تلفن: 1-888-261-7228  
پیامک: 778-839-1831  
ساعات کاری: پنجشنبه تا یکشنبه ۶ بعد از ظهر تا ۱۲ (نیمه شب)

توجه: این خدمات در معرض خطر بود و باید تا ۱۵۱ تماس بگیرید.

- Launched Nov 4
- Accessible by phone or text
- Available to any individual who is 13+
- Available in 2 languages (Farsi and English)
- New resource guide for mental health supports (Farsi and English)
- Response is a trained peer and a mental health professional who work as a team
- Fulsome intake process to assess risk prior to deployment (protocol in place with police teams)
- Fully funded for one year (Nov-Oct)
- Thurs-Sun 6pm-Midnight (when other services are closed)
- Working closely with CMHA BC Division to launch similar teams in New Westminster and City of Victoria
- Over 190 calls to date!

## How did we get here: Extensive Community Planning

**ENGAGE** key stakeholders to determine community needs and corresponding operational requirements. **Over 40 community consultations!**

**CONVENED** a Community Planning Table comprised of local organizations, First Nations representatives, independent councillors, police agencies, health services and people with lived/living experience and their families.

**OPERATING** a model based on the input from the Community Planning Table and findings from stakeholder engagement

**EVALUATING** to assess impact on health and social outcomes. To identify and amplify gaps and support continued investment in early intervention.

## Where are we going?

- Integrating into Crisis Line BC for North Shore residents
- Working with indigenous evaluation firm to identify culturally informed and safe mental health and substance use resources across Metro Vancouver
- Collaborating with CMHA BC on a cross municipal evaluation of civilian teams...continuing to build an evidence base to petition for annualized provincial funding
- Continuing to integrate with police responses
- Soon: Expansion to 5 days per week
- Soon: Adding a virtual response option
- Soon: Adding a second base location in West Van one day per week



## What do we need from you?

Help us promote this service for our community! It is safe, culturally inclusive, and we meet people where they are at. It reduces social isolation; it reduces the burden on police and emergency systems, and it gives North Shore residents and families an earlier option for support before they reach the point of crisis.

The more we can show it works and that our community trusts us, the more likely it is that we can make it a provincially-funded service in our community.

Letters of support are always welcome! Thank you 😊



Canadian Mental  
Health Association  
North and West Vancouver  
*Mental health for all*

North and West Vancouver Branch  
300-1835 Lonsdale Avenue  
North Vancouver, British Columbia V7M 2J8  
Phone: 604.987.6959 Fax: 604.980.0336

December 10, 2021

Dear Mayor and Council,

As a follow up to a couple of conversations between Mayor Buchanan and our CMHA BC Division office, and an ongoing engagement with Councillor McIlroy who participated in our Community Planning Table as an independent, I would like to follow up and ask about an opportunity to present on CMHA's new Peer Assisted Care Team to Council. We launched the service on November 4, 2021, and in one month we responded to over 55 calls. We would welcome the opportunity to share information about this service with Mayor and Council and answer any questions.

We have done or are scheduled to do similar presentations with DVN, DWV, Tsleil Waututh and Squamish Nation.

Similar civilian teams are being worked on in New Westminster and Victoria. In December CMHA presentations were made to the Special Committee on Police Reform. The Ministry of Mental Health and Addictions and the Ministry of Public Safety are both watching this work carefully.

Here is a link to the North Shore News article on the service: <https://www.nsnews.com/local-news/first-civilian-north-shore-mental-health-crisis-team-launched-4786256>

Also, our website that includes more information about the project. We also have posters available in English and Farsi for download: <https://northwestvancouver.cmha.bc.ca/programs-services/peer-assisted-care-team-pact/>

Thank you,

**Julia Kaisla**

Executive Director

Pronouns: She/Her/Hers

CMHA North and West Vancouver Branch

Also serving the Sunshine Coast and Sea to Sky regions.

300-1835 Lonsdale Avenue, North Vancouver BC V7M 2J8

Cell: 778-847-1507 Fax: 604-980-0336

[www.northwestvancouver.cmha.bc.ca](http://www.northwestvancouver.cmha.bc.ca)

I respectfully acknowledge that CMHA NWV works on the unceded, ancestral, and traditional territories of the xʷməθkʷəy̓əm (Musqueam), Skwxwú7mesh (Squamish), Selilwətaʔ (Tsleil-Waututh), shíshálh (Shishalt) and ʔəms gijc (Tla'amin)




Reviewed by:

CAO



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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Matthew Menzel, Planner 2

Subject: REZONING APPLICATION AND HERITAGE DESIGNATION – 364 EAST 14<sup>TH</sup> STREET (KARL WEIN / BRADBURY ARCHITECTURE)

Date: March 16, 2022 File No: 08-3400-20-0001/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Planner 2, dated March 16, 2022, entitled “Rezoning Application and Heritage Designation – 364 East 14<sup>th</sup> Street (Karl Wein / Bradbury Architecture)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2021, No. 8904” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750) be considered and referred to a public hearing;

That “Heritage Designation Bylaw, 2022, No. 8905” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street) be considered and referred to the same public hearing;

AND THAT notification be circulated in accordance with the *Local Government Act*.

**ATTACHMENTS**

1. Context Map (CityDocs [2125020](#))
2. Architectural Drawings dated 23 February, 2022 (CityDocs [2151246](#))
3. Landscape Plan, dated 18 October, 2021 (CityDocs [2110720](#))
4. Tree Retention Plan, dated October 19, 2021 (CityDocs [2110721](#))
5. Conservation Plan (CityDocs [1916290](#))
6. Heritage Advisory Committee Resolution, dated December 16, 2019 (CityDocs [2127025](#))

7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904" (CityDocs [2127018](#))
8. "Heritage Designation Bylaw, 2022, No. 8905" (CityDocs [2134624](#))

## SUMMARY

This report seeks Council approval for a heritage retention and infill development. The proposal includes a Heritage Designation Bylaw to protect the existing Heritage 'A' building on the site in perpetuity.

## BACKGROUND

<b>Applicant:</b>	Karl Wein, Karl Wein and Associates
<b>Architect:</b>	Bradbury Architecture
<b>Official Community Plan Designation:</b>	Residential Level 2 (R2)
<b>Existing Zoning:</b>	RS-1
<b>Applicable Guidelines:</b>	N/A

## DISCUSSION

### Site Context

This 817.5-square metre (8,800 square feet) site is located on the northwest corner of East 14<sup>th</sup> Street and Ridgeway Avenue in the Central Lonsdale neighbourhood. The site has a frontage of 18.3 metres (60 feet) along 14<sup>th</sup> Street and 44.7 metres (146.7 feet) along Ridgeway Avenue and is relatively flat.

### Heritage Designation

#### *Heritage Value of Building*

Located on site is a heritage building identified on the City's heritage register as MacLeod House. The building is A-listed and has been recognized as having significant heritage value. See figure 1 below.

**Figure 1: Heritage Register entry for MacLeod House**



### Compatibility of Conservation with Area and Property

The surrounding area consists of detached houses and duplexes, with some large multi-residential development to the west along East 14<sup>th</sup> Street. The buildings and uses immediately surrounding the subject site are described and shown in Table 1 below.

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North	367 East 15 <sup>th</sup> Street	Detached house	RS-1
South	364 East 14 <sup>th</sup> Street	Three (3) strata units	CD-673
East	400 East 14 <sup>th</sup> Street	Detached house	RS-1
West	358 East 14 <sup>th</sup> Street	Detached house	CD-471

### **Planning Analysis**

#### Heritage Conservation – Building Condition and Viability

The applicant's Heritage Conservation Plan (Attachment #5) outlines the proposed conservation strategy to ensure the retention and rehabilitation of the Craftsman architectural style of the MacLeod House.

It is intended that the existing heritage house be retained as a single family dwelling.

Minor works will be made to the house, including:

- removal of a window at the basement level, which will be infilled with materials that match the existing building;
- removal of the existing deck at the rear;
- removal of some windows and siding to create a new opening along the western elevation; and
- construction of a new deck to the western side.

Staff have reviewed the minor work proposed and support the work as they do not result in any significant alteration to the existing heritage building. Worth noting is the new deck on the west side of the building is to replace an existing deck at the rear of the building. It is proposed to be designed compatibly with the existing style of the house. Further, existing mature landscaping between the site and neighbor to the west will ensure privacy.

As part of this application, the ongoing protection of the house will be secured through a Heritage Designation Bylaw (Attachment #8). Any future alteration to the house will need to be authorized by a heritage alteration permit and done in accordance with the Heritage Conservation Plan (Attachment #5) which will be registered on title through a Heritage Conservation Covenant (Section 219).



### Infill Duplex

To help offset the costs associated with the heritage conservation efforts, including upgrades and securing a heritage designation of the property, the proposal includes a new infill duplex building at the rear of the site.

The proposed infill building has been oriented towards Ridgeway Avenue, with main entrances to the two units directly off of Ridgeway. Directly adjacent to the laneway are four surface parking spaces to serve the entire development.

The two-storey structure is designed to be compatible with the main house, incorporating several architectural features that are present in the MacLeod House, such as the shed roof, the veranda, similar building materials and colour palette.

Two accessory suites (i.e. secondary suites) are proposed, one for each of the primary units in the duplex. These suites will be accessed from the sides of the duplex, as well as internally to the units.

Siting of the new infill building has been considered so as to balance the positioning of the heritage building, while achieving a suitable rear boundary setback to the northern laneway. Given the existing heritage building has such a significant front boundary setback to East 14<sup>th</sup> Street, the proposal will involve a minor variation to the rear boundary setback requirement to ensure a suitable separation distance is achieved.

The new infill has been designed with a 4.8 metre building separation to the existing heritage building. The proposed separation will facilitate an adequate break in the form between the two buildings. Furthermore, the two existing significant landscaping trees will be retained along the frontage will further reduce the visual impacts of the development on the streetscape.

A summary of minor zoning variances are listed below and supported by staff:

**Table 2. Requested Changes to the Zoning Bylaw**

	Current Designation/Regulation (RT-1)	Proposed Designation/Regulation (CD-736)
<b>Principal Use</b>	Two-Unit Residential Use	Three principal dwelling units  Two Accessory suites
<b>Principal Building</b>	One per lot	Two per lot
<b>GFA</b>	Combined an in total, shall not exceed 0.35 time the Lot Area plus 92.9 square metres (1,000 square feet)	Combined and in total, shall not exceed 0.5 FSR  Garbage and recycling storage provided for private use shall be excluded

	Current Designation/Regulation (RT-1)	Proposed Designation/Regulation (CD-736)
<b>Lot Coverage</b>	35%	36.5%
<b>Setbacks (Principal Buildings)</b>	Principal Buildings shall be sited not less than 8 metres (26.2 feet) from the rear lot line.	Principal Building shall be sited not less than 6.8 metres (22.3 feet) from the rear lot line
<b>Setbacks (Accessory Buildings)</b>	Accessory Buildings shall be sited not less than 0.61 metres (2 feet) from the Interior Side Lot Line.	Accessory Buildings shall be sited not less than 0.2 metres (0.66 feet) from the Interior Side Lot Line.

## Advisory Committees Review

### Heritage Advisory Commission

The proposal was presented to the Heritage Advisory Commission in December 16, 2019. The Commission supported the project subject to the following recommendations:

- Ensure consistency between the Heritage Conversation Plan, landscape plan and architectural plans;
- Confirm that there is adequate privacy achieved between the upper storey bedrooms of each building;
- Further explore the colour palette for the infill building, perhaps by referring to the Benjamin Moore colour palette, so that a lighter palette and complementary colour for the infill building can be achieved.

With the current submission, staff are generally satisfied that the applicant has addressed the above recommendations.

## Community Consultation

A Developer's Information Session was held on October 8, 2019. Seven people attended. A total of four comment forms were submitted from the attendees; all of which were opposed to the development.

The main concerns were:

- Scale, form and density of the project;
- Impacts on privacy;
- Provision of car parking;
- Limited upgrades to the existing heritage building; and
- Vegetation removal and lack of greenspace.

As the proposal involves a Heritage Designation Bylaw, the proposed development is required to be referred to a Public Hearing under the provisions of the *Local Government Act*. It is also recommended that the Zoning Bylaw amendment also be referred to a Public Hearing.

Staff responses:

The proposed development has been designed with an appropriate density of 0.5 FSR, as anticipated by the OCP and RT-1 zone, and has a modest site coverage of 36.5%. The proposed infill has been appropriately sited to ensure it will sensitively integrate with the existing heritage building, and result in an appropriate setback to the laneway.

Mitigating privacy concerns has been an important discussion point between staff and the applicant. The proposed development has been designed to mitigate potential overlooking of adjoining residents to the west, through the following design measures:

- orientation of the windows in the upper level bedrooms to the north and south;
- installation of frosted glazing to the west-facing windows in the upper level bathrooms;
- integration of a 6-foot-high, frosted glazing panel to the suspended decks of the new infill units; and
- Introduction of a landscaped screening buffer along the western boundary.

The proposal has also provided one additional car parking space compared to the zoning requirements to reduce the potential of on-street car parking.

Minor upgrades and restorative works are proposed to the MacLeod House to ensure its continued preservation and modern usage. These upgrades will also bring the heritage building up to current building code standards. Ongoing maintenance and alteration to the house will be managed through the Heritage Conservation Covenant.

Finally, the proposed development retains the majority of significant trees on site, along the Ridgeway frontage. The removal of a White Oak tree at the rear of the lot is necessary to accommodate parking. The retention of significant landscape trees on the site, along with the new landscaping treatments throughout the site, will enhance the streetscape character of the new infill duplex, and soften the built form elements.

## **Legal Documents**

Should Council approve the proposal, the following legal documents would be required to be completed prior to final adoption of the Bylaw:

- Development Covenant;
- Servicing Agreement;
- Good Neighbour Agreement;
- Flooding Covenant; and
- Heritage Conservation Covenant (Section 219).

## CONCLUSION

This application would facilitate the long term protection of an important heritage asset and allow the increase and diversification of residential housing stock within the city. The proposal has been designed to be compatible with the neighborhood context and staff consider the design responses to address privacy concerns supportable.

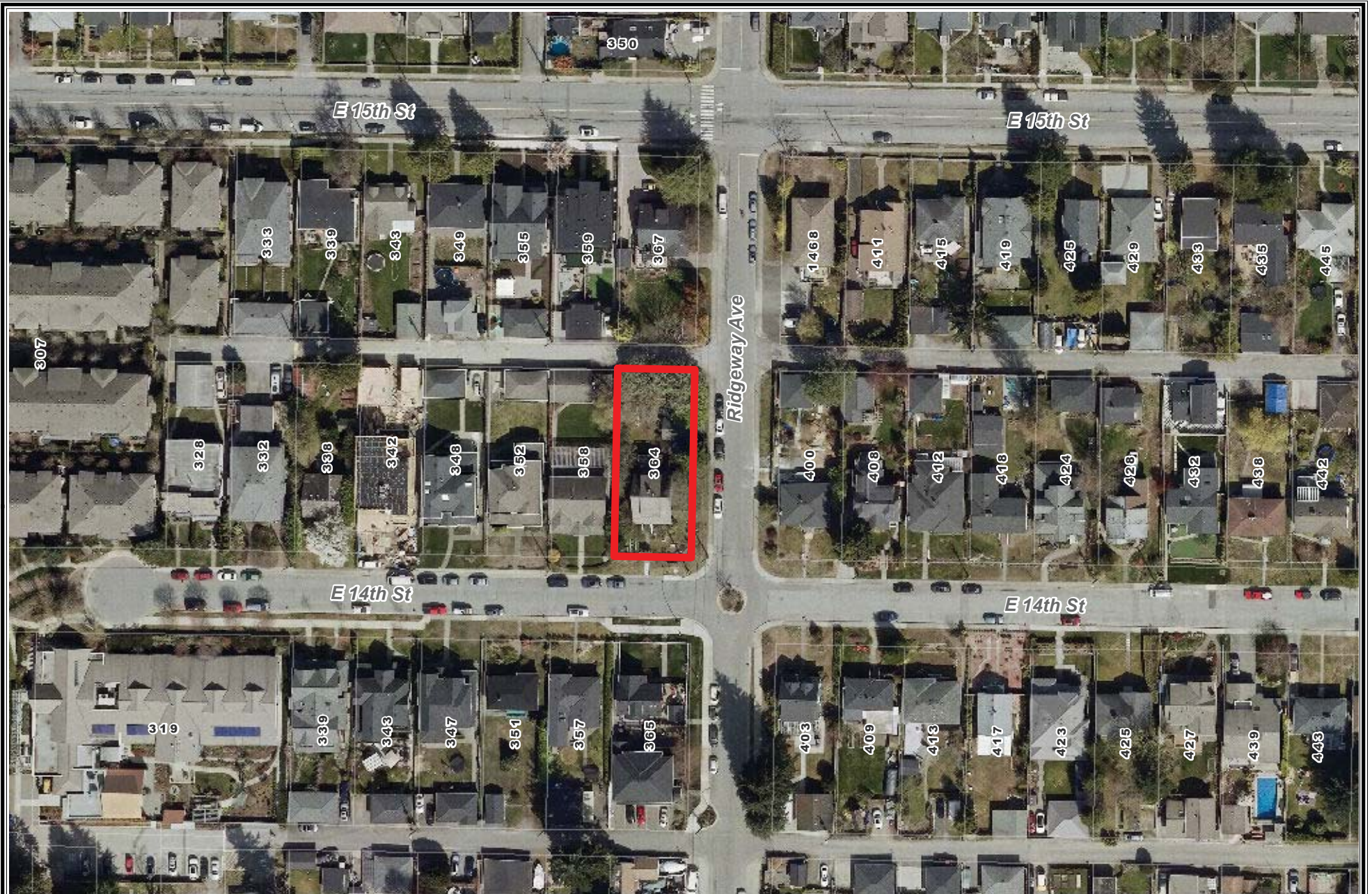
RESPECTFULLY SUBMITTED:



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Matthew Menzel  
Planner 2









3D VIEW - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX INFILL



CONTEXT PLAN  
1/2" = 1'-0"

CONSULTANTS

**SURVEYING:** HENNETT LAND SURVEYING LTD.  
8-201-210 PELL AVENUE  
NORTH VANCOUVER, BC, V3P 3M5  
(604) 960-4868

**ARCHITECT:** BRADBURY ARCHITECTURE  
8-200-440 W HASTINGS STREET  
VANCOUVER, BC, V6B 1L1  
(604) 731-7227

**STRUCTURAL ENGINEER:** TRD  
ADDRESS  
CONTACT INFO

**LANDSCAPE:** PS GROUP LANDSCAPE ARCHITECTURE LTD.  
8-200-960 WEST 81 STREET  
NORTH VANCOUVER, BC, V3P 3M5  
(604) 960-1980

**ARCHITECT:** BRADBURY ARCHITECTURE  
8-200-440 W HASTINGS STREET  
VANCOUVER, BC, V6B 1L1  
(604) 731-7227

**CIVIL ENGINEER:** CRIVIS ENGINEERING  
8-100 EAST TOWN, 121 EXPLORER WEST  
NORTH VANCOUVER, BC, V3P 3J3  
(604) 960-8070

**ARCHITECT:** TAVUS CONSULTING LTD  
703A PARKSIDE LANE  
NORTH VANCOUVER, BC, V3S 0V5  
(604) 524-7700

PROJECT SUMMARY

**CIVIC ADDRESS:** 364 1/4 STREET EAST, CITY OF NORTH VANCOUVER, BC  
**LEGAL DESCRIPTION:** LOT 14, BLOCK 52, DL 550, PLAN 1063, PD 809-793-797  
**CURRENT ZONING:** RS-1 / 10P LAND USE R-2  
**PROPOSAL:** INFILL DUPLEX WITH SECONDARY SUITE ON NORTH SIDE OF SITE

**ZONING ANALYSIS:** AS PER ZONING BYLAW 4100

LOT DIMENSION: 8791.34 SF (813.30m<sup>2</sup>)  
LOT WIDTH: 59.99' (19.20m)  
LOT DEPTH: 146.71' (44.72m)

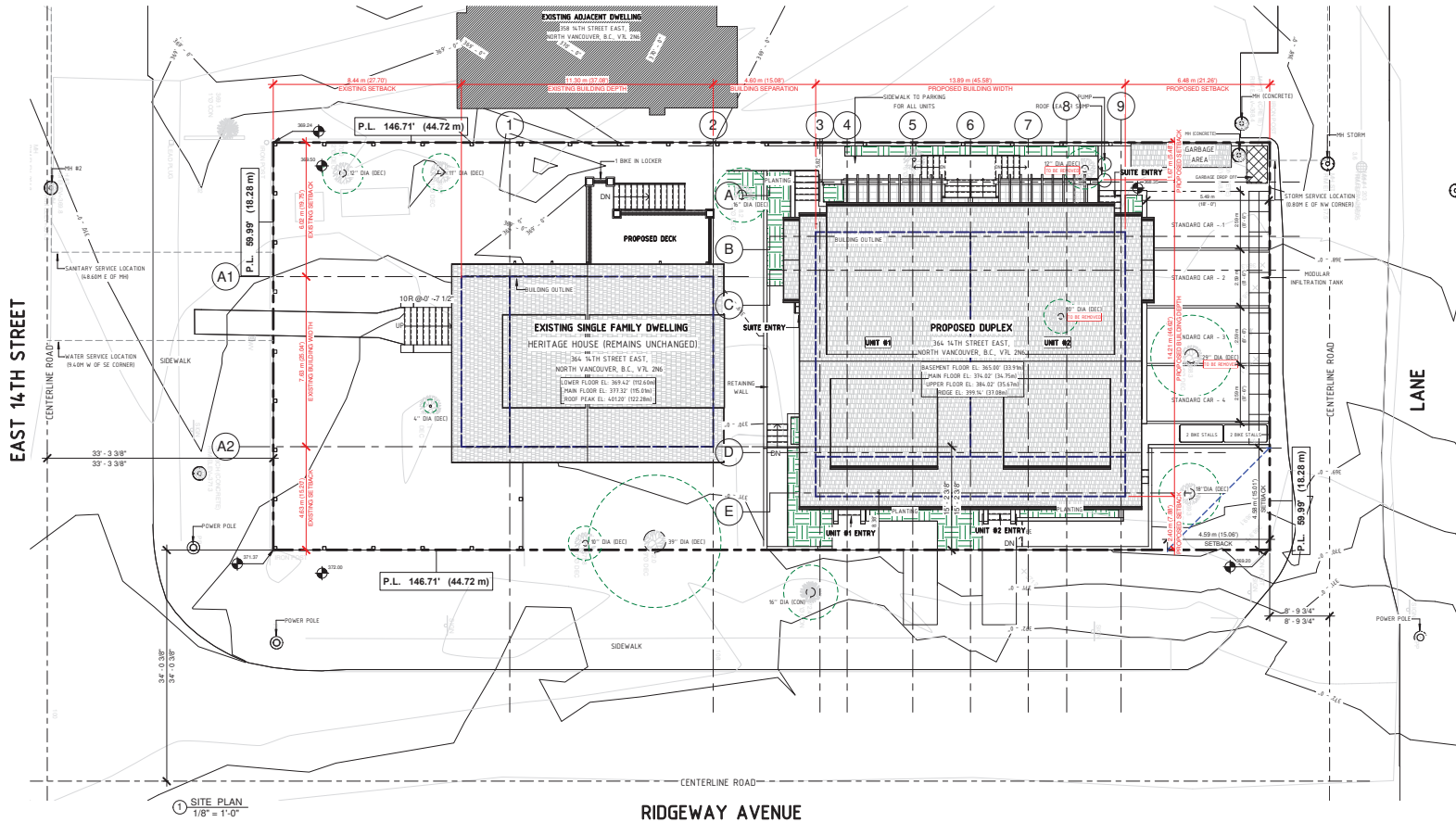
**LOT COVERAGE CALCULATION - REFER TO SHEET A1.05**  
**PROPOSED BUILDING COVERAGE:** 375.0% SF (34.9m<sup>2</sup>) 26.5%  
**GROSS FLOOR AREA CALCULATION - REFER TO SHEET A1.05**  
**PROPOSED FGA:** 4375.52 SF (404.6m<sup>2</sup>) 4.9% FGA  
**HEIGHT CALCULATION:**  
**EXISTING BUILDING HEIGHT (HERITAGE):** 31.27' (9.53m)  
**PROPOSED BUILDING HEIGHT DUPLEX INFILL:** 29.10' (8.87m)

**BUILDING SETBACKS:**  
REFER TO SITE PLAN

DRAWING LIST	
Sheet	Sheet Name

A0.00	COVER SHEET
A1.00	HERITAGE HOUSE - EXISTING PLANS
A1.01	BASEMENT FLOOR PLAN - PROPOSED
A1.02	MAIN FLOOR PLAN - PROPOSED
A1.03	UPPER FLOOR PLAN - PROPOSED
A1.04	ROOF PLAN - PROPOSED
A1.05	AREA CALCULATIONS (G.F.A)
A1.06	SHADOW IMPACT STUDY
A2.00	INFILL - N & S ELEVATIONS
A2.01	INFILL & EXISTING H.H. - E & W ELEVATIONS
A2.02	EXISTING H.H. - S & N ELEVATIONS
A2.03	INFILL - S & W ELEVATIONS (LDC)
A2.04	INFILL - E & N ELEVATIONS (LDC)
A3.00	SECTIONS
A4.00	DETAILS
A4.01	DETAILS
A4.02	DETAILS
A4.03	DETAILS
A4.04	WINDOW & DOOR SCHEDULES

REVISIONS / ISSUES: DATED FEBRUARY 2022  
SHEET: A1.02, A1.03, A1.04, A1.05, A1.06, A1.07, A1.08, A1.09, A1.10, A1.11, A1.12



1 SITE PLAN  
1/8" = 1'-0"

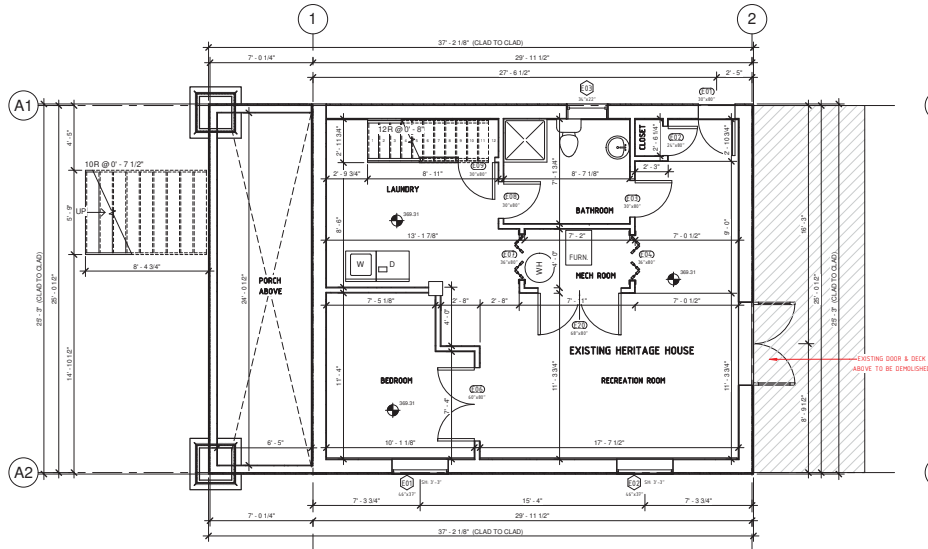
RIDGWAY AVENUE



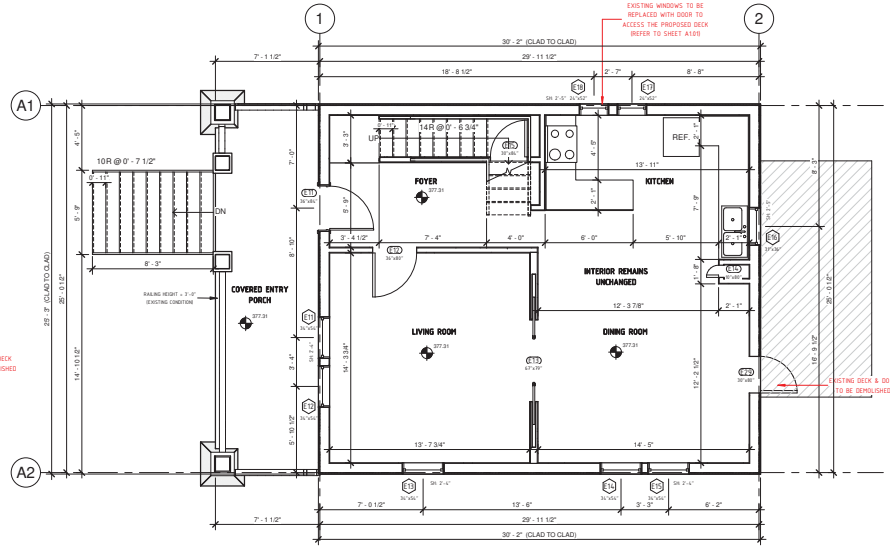
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**GENERAL NOTES:**

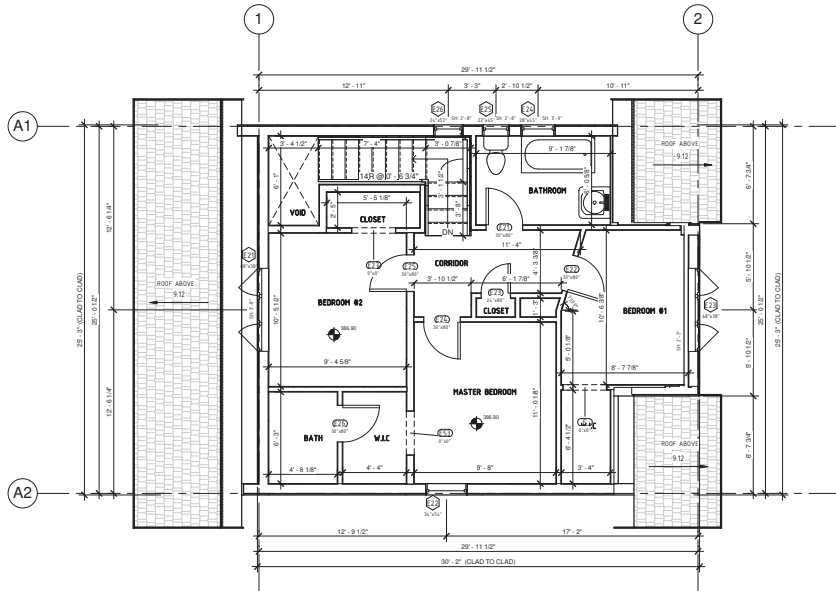
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3. SHOP DRAWINGS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO SUBMISSION.
4. ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF ALL BUILDING CODES AND BYLAWS APPLICABLE IN THE MUNICIPALITY OF BRADBURY ARCHITECTURE. IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT FOR CLARIFICATION.
5. BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROTECTED TO ADEQUATELY PROTECT THE CLIENT'S INVESTMENT.
6. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



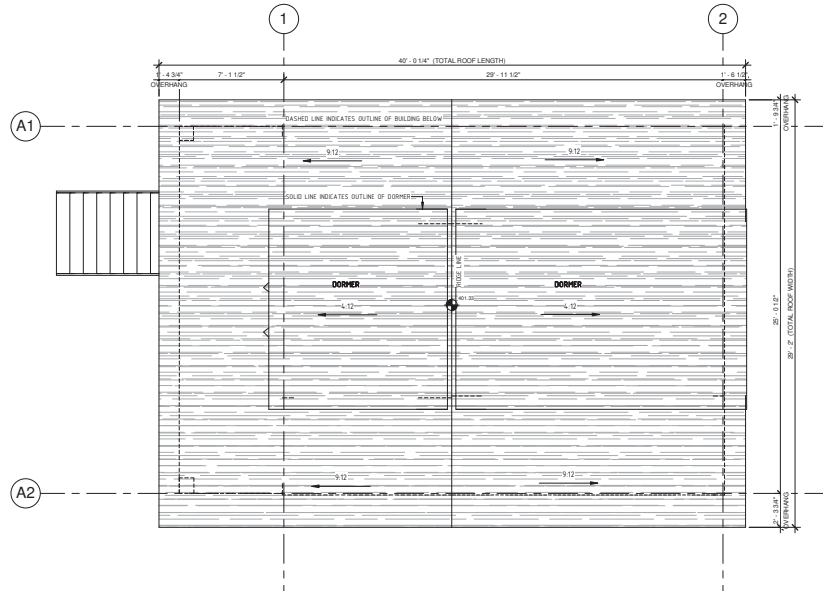
1 HERITAGE HOUSE - EXISTING BASEMENT FLOOR PLAN  
1/4" = 1'-0"



2 HERITAGE HOUSE - EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



3 HERITAGE HOUSE - EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"



4 HERITAGE HOUSE - EXISTING ROOF PLAN  
1/4" = 1'-0"

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE

1 REVISED AS PER CITY COMMENTS - DP 2021-10-27

364 E 14TH STREET

DUPLEX INFILL  
HERITAGE HOUSE - EXISTING PLANS

PROJECT NUMBER 36414TH / 1920  
DATE 01/25/2022  
DRAWN BY Author  
CHECKED BY Checker

A1.00

SCALE As indicated

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2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
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NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

364 E 14TH STREET

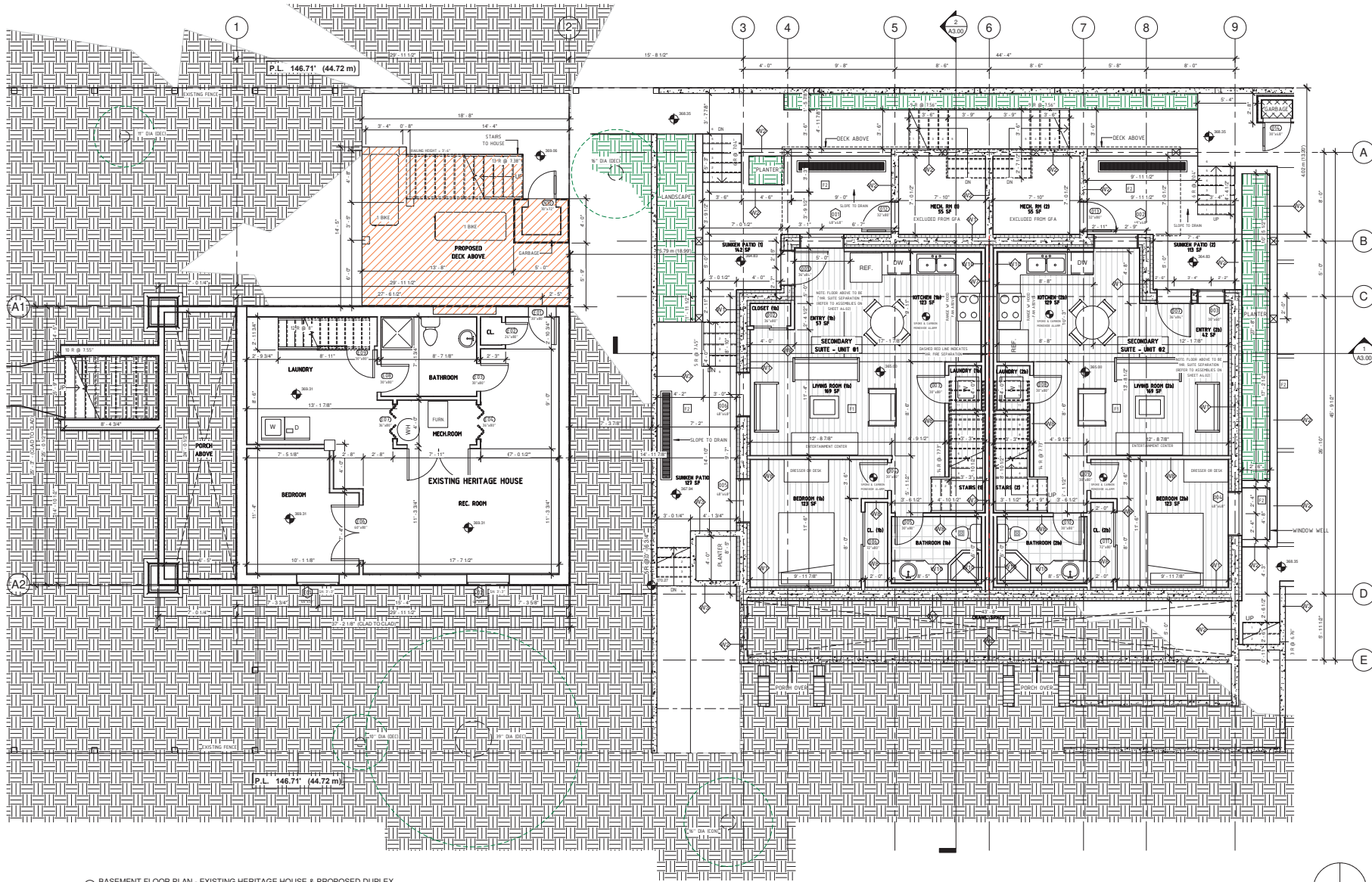
DUPLEX INFILL

BASEMENT FLOOR PLAN - PROPOSED

PROJECT NUMBER	364 E 14TH / 1920
DATE	01/25/2022
DRAWN BY	BR
CHECKED BY	KW

A1.01

SCALE As indicated



1 BASEMENT FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX  
1/4" = 1'-0"



REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-03

364 E 14TH STREET

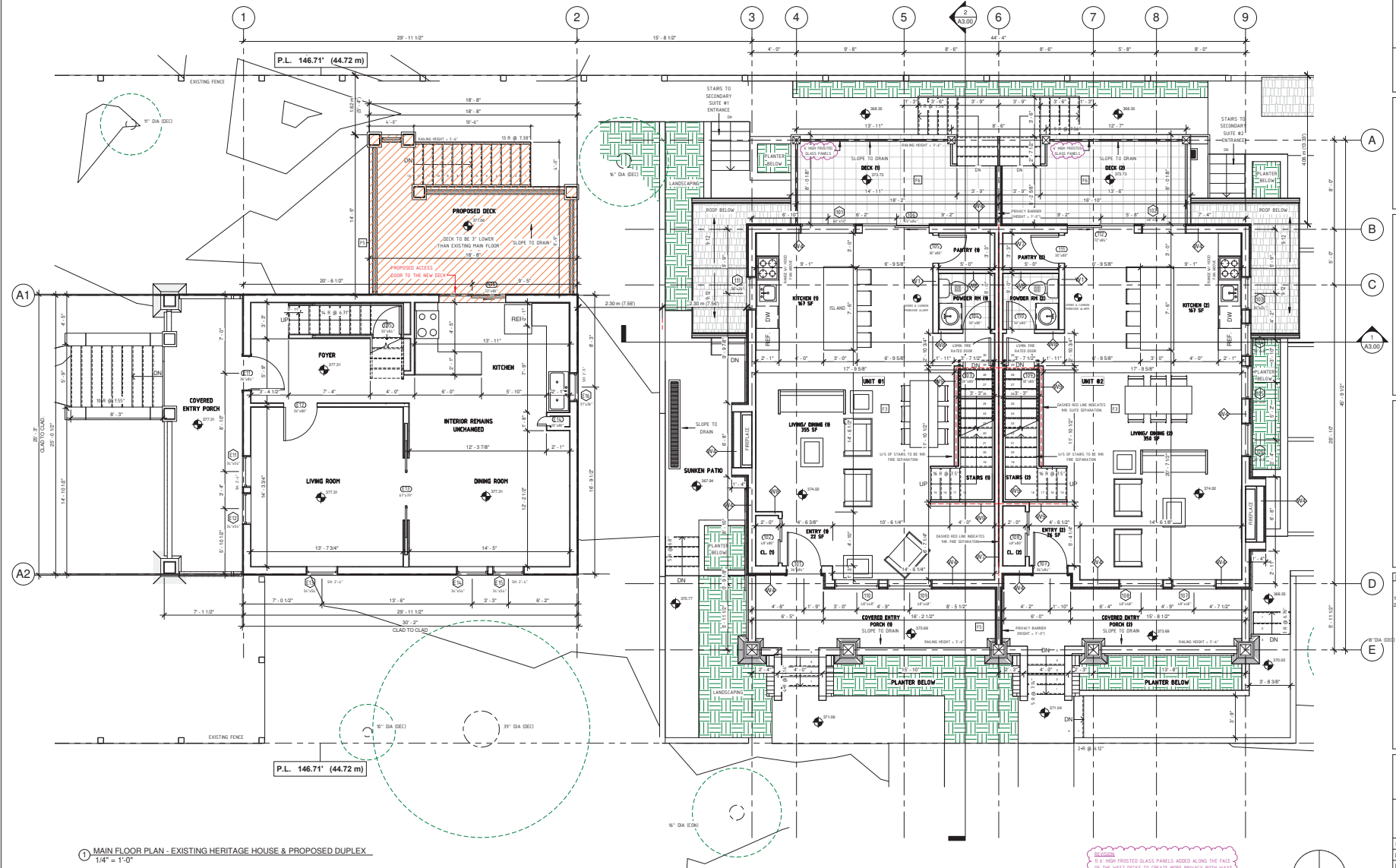
DUPLEX INFILL

MAIN FLOOR PLAN - PROPOSED

PROJECT NUMBER	364/14TH / 1920
DATE	01/25/2022
DRAWN BY	RMR
CHECKED BY	KW

A1.02

SCALE As indicated



1 MAIN FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX  
1/4" = 1'-0"

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
2	OVERSIGHT COMMENTS	2022-02-03

364 E 14TH STREET

DUPLEX INFILL

UPPER FLOOR PLAN - PROPOSED

PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
DRAWN BY	RHR
CHECKED BY	KW

A1.03

SCALE As indicated

1 UPPER FLOOR PLAN - EXISTING HERITAGE HOUSE & PROPOSED DUPLEX  
1/4" = 1'-0"

REVISIONS:  
1. REVISION OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST.  
2. BATHROOM WINDOWS FACING WEST TO BE PROTECTED GLASS.



135/2 1451 MARINE DV  
WEST VANCOUVER  
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- THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
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REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

364 E 14TH STREET

**DUPLEX INFILL**

**ROOF PLAN - PROPOSED**

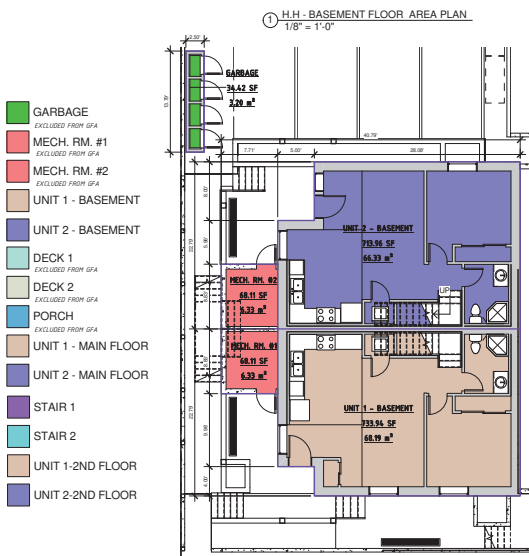
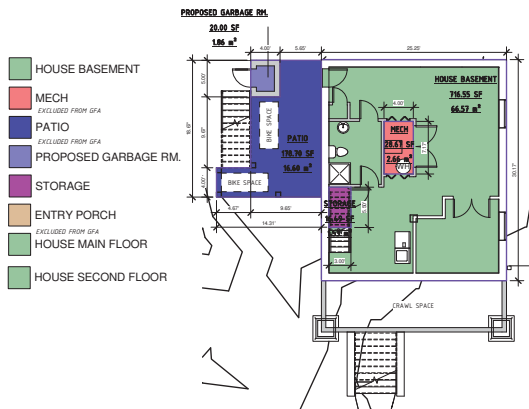
PROJECT NUMBER	36414TH / 192
DATE	01/25/202
DRAWN BY	RM
CHECKED BY	K

A1.04

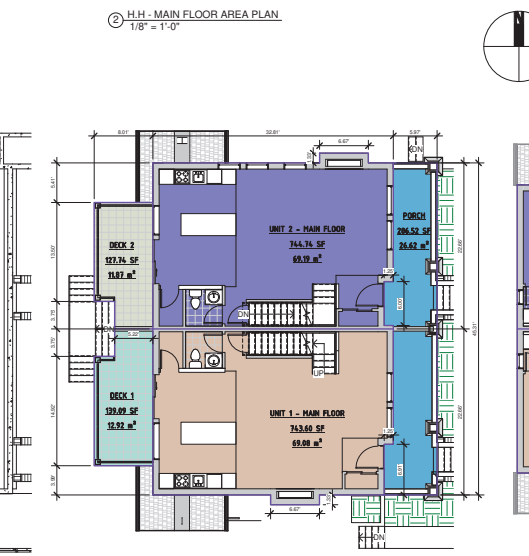
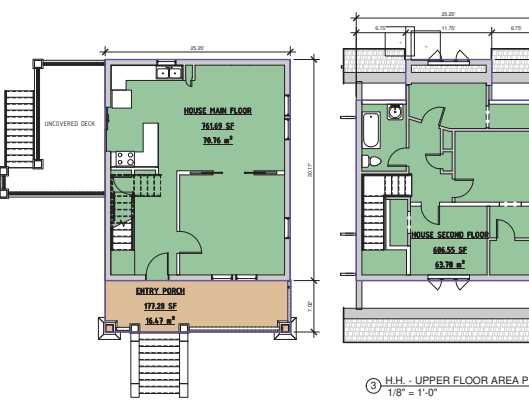
SCALE	As indicated
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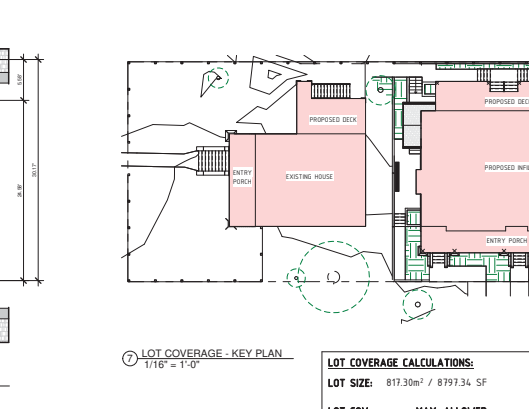
① ROOF PLAN  
1/4" = 1'-0"



UNIT 1 - BASEMENT	733.94 SF	68.19 m <sup>2</sup>
MECH. RM. #1	68.11 SF	6.33 m <sup>2</sup>
BASEMENT	802.05 SF	74.51 m <sup>2</sup>
UNIT 1 - MAIN FLOOR	743.60 SF	69.08 m <sup>2</sup>
DECK 1	139.09 SF	12.92 m <sup>2</sup>
MAIN FLOOR	882.70 SF	82.01 m <sup>2</sup>
UNIT 1-2ND FLOOR	719.35 SF	66.83 m <sup>2</sup>
STAIR 1	31.28 SF	2.91 m <sup>2</sup>
UPPER FLOOR	750.63 SF	69.74 m <sup>2</sup>
UNIT #1 - TOTAL AREA =	2435.38 SF	226.25 m <sup>2</sup>



UNIT 2 - BASEMENT	713.96 SF	66.33 m <sup>2</sup>
MECH. RM. #2	68.11 SF	6.33 m <sup>2</sup>
BASEMENT	782.08 SF	72.66 m <sup>2</sup>
UNIT 2 - MAIN FLOOR	744.74 SF	69.19 m <sup>2</sup>
DECK 2	127.74 SF	11.87 m <sup>2</sup>
MAIN FLOOR	872.48 SF	81.06 m <sup>2</sup>
UNIT 2-2ND FLOOR	719.18 SF	66.81 m <sup>2</sup>
STAIR 2	31.28 SF	2.91 m <sup>2</sup>
UPPER FLOOR	750.46 SF	69.72 m <sup>2</sup>
UNIT #2 - TOTAL AREA =	2405.02 SF	223.43 m <sup>2</sup>



LOT SIZE:	817.30m <sup>2</sup> / 8797.34 SF	
LOT COV:	MAX. ALLOWED 286.05m <sup>2</sup> / 3079.07 SF	PROPOSED 298.56m <sup>2</sup> / 3213.78 SF
FSR	35%	36.5%
HERITAGE HOUSE TOTAL LOT COV= 105.69m <sup>2</sup> / 1137.67 SF (PATIO, GARBAGE, MAIN FLOOR 1 & 2, ENTRY PORCH)		
DUPLEX TOTAL LOT COV= 192.87m <sup>2</sup> / 2076.11 SF (GARBAGE, DECK 1 & 2, MAIN FLOOR 1 & 2, ENTRY PORCH)		



NAME	GROSS FLOOR AREA	FSR EXCLUSIONS	AREA (FSR)
HOUSE BASEMENT	716.55 SF	EXCLUDED	0.00 SF
PROPOSED GARBAGE RM	20.00 SF	EXCLUDED	0.00 SF
MECH	28.67 SF	EXCLUDED	0.00 SF
PATIO	16.43 SF	EXCLUDED	0.00 SF
HOUSE MAIN FLOOR	744.74 SF	INCLUDED	744.74 SF
ENTRY PORCH	177.28 SF	EXCLUDED	0.00 SF
HOUSE SECOND FLOOR	686.55 SF	INCLUDED	686.55 SF
HOUSE TOTAL AREA	2061.55 SF		2061.55 SF

NAME	GROSS FLOOR AREA	FSR EXCLUSIONS	AREA (FSR)
UNIT 2 - BASEMENT	713.96 SF	EXCLUDED	0.00 SF
UNIT 1 - BASEMENT	733.94 SF	EXCLUDED	0.00 SF
MECH RM. #1	68.11 SF	EXCLUDED	0.00 SF
MECH RM. #2	68.11 SF	EXCLUDED	0.00 SF
GARBAGE	20.00 SF	EXCLUDED	0.00 SF
UNIT 2 - MAIN FLOOR	744.74 SF	INCLUDED	744.74 SF
UNIT 1 - MAIN FLOOR	743.60 SF	INCLUDED	743.60 SF
DECK 1	139.09 SF	EXCLUDED	0.00 SF
DECK 2	127.74 SF	EXCLUDED	0.00 SF
PORCH	286.52 SF	EXCLUDED	0.00 SF
MAIN FLOOR	2041.69 SF		2041.69 SF
UNIT 2-2ND FLOOR	719.18 SF	INCLUDED	719.18 SF
UNIT 1-2ND FLOOR	719.35 SF	INCLUDED	719.35 SF
STAIR 1	31.28 SF	EXCLUDED	0.00 SF
STAIR 2	31.28 SF	EXCLUDED	0.00 SF
UPPER FLOOR	1462.81 SF		1462.81 SF
INFILL DUPLEX - TOTAL AREA =	5161.35 SF		5161.35 SF

BRADBURY ARCHITECTURE

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- DEEP FOUNDATIONS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
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**REVISIONS / ISSUES:**

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - GP OVERSIGHT COMMENTS	2021-10-27
2		2022-08-23

364 E 14TH STREET

**DUPLEX INFILL**

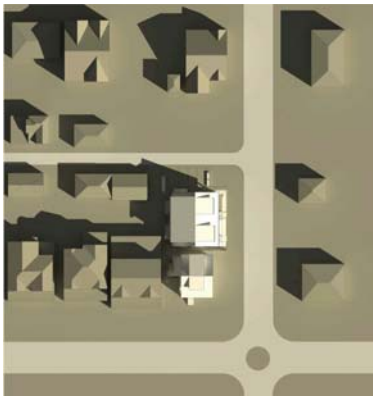
**AREA CALCULATIONS (G.F.A.)**

PROJECT NUMBER	364.14TH / 1920
DATE	01/25/2022
DRAWN BY	ML
CHECKED BY	Checker

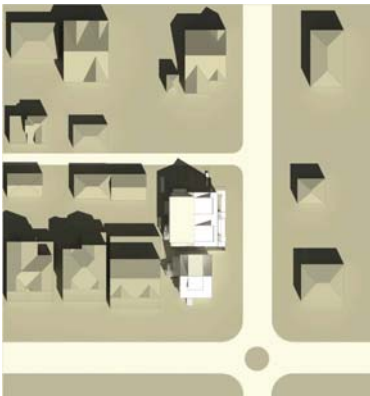
**A1.05**

SCALE: As indicated

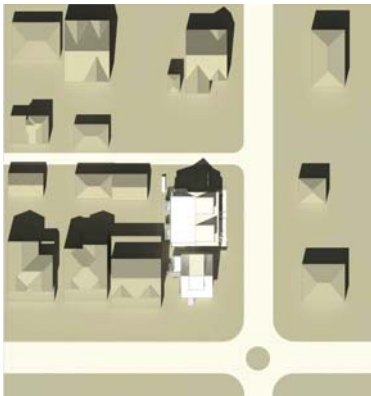




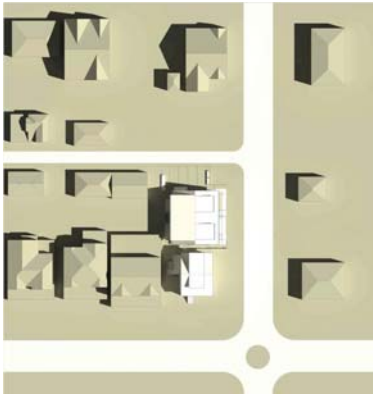
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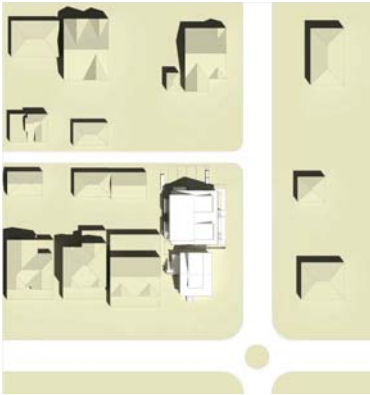
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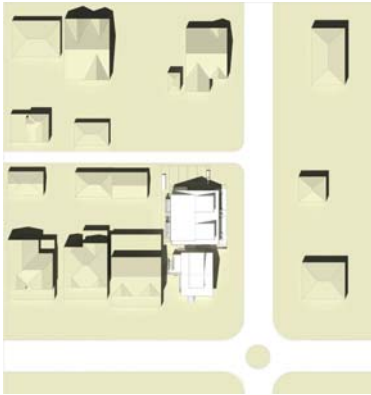
MAR 21ST, 2 PM



JUN 21ST, 10 AM



JUN 21ST, 12 PM



JUN 21ST, 2 PM



DEC 21ST, 10 AM



DEC 21ST, 12 PM



DEC 21ST, 2 PM

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2. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S RISK.  
3. SHOP DRAWINGS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
4. ALL MATERIALS AND MATERIALS SHALL BE LATEST EQUIPMENT TO THE CURRENT EDITION OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE MUNICIPALITY. BRADBURY ARCHITECTURE IS UNDER NO OBLIGATION TO SUPPLY LATEST CODES FOR THIS PROJECT TO THE CONTRACTOR OR FOR CONTRACTOR, BRADBURY ARCHITECTURE AND ITS EMPLOYEES ARE NOT LIABLE TO ANY OTHER PARTIES RELATIVE TO THE USE OF THESE DRAWINGS.  
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6. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

REVISIONS / ISSUES:		
NO.	DESCRIPTION	DATE

1	REVISED AS PER CITY COMMENTS - DP	2021-10-27
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364 E 14TH STREET

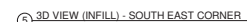
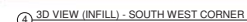
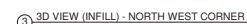
DUPLEX INFILL

SHADOW IMPACT STUDY

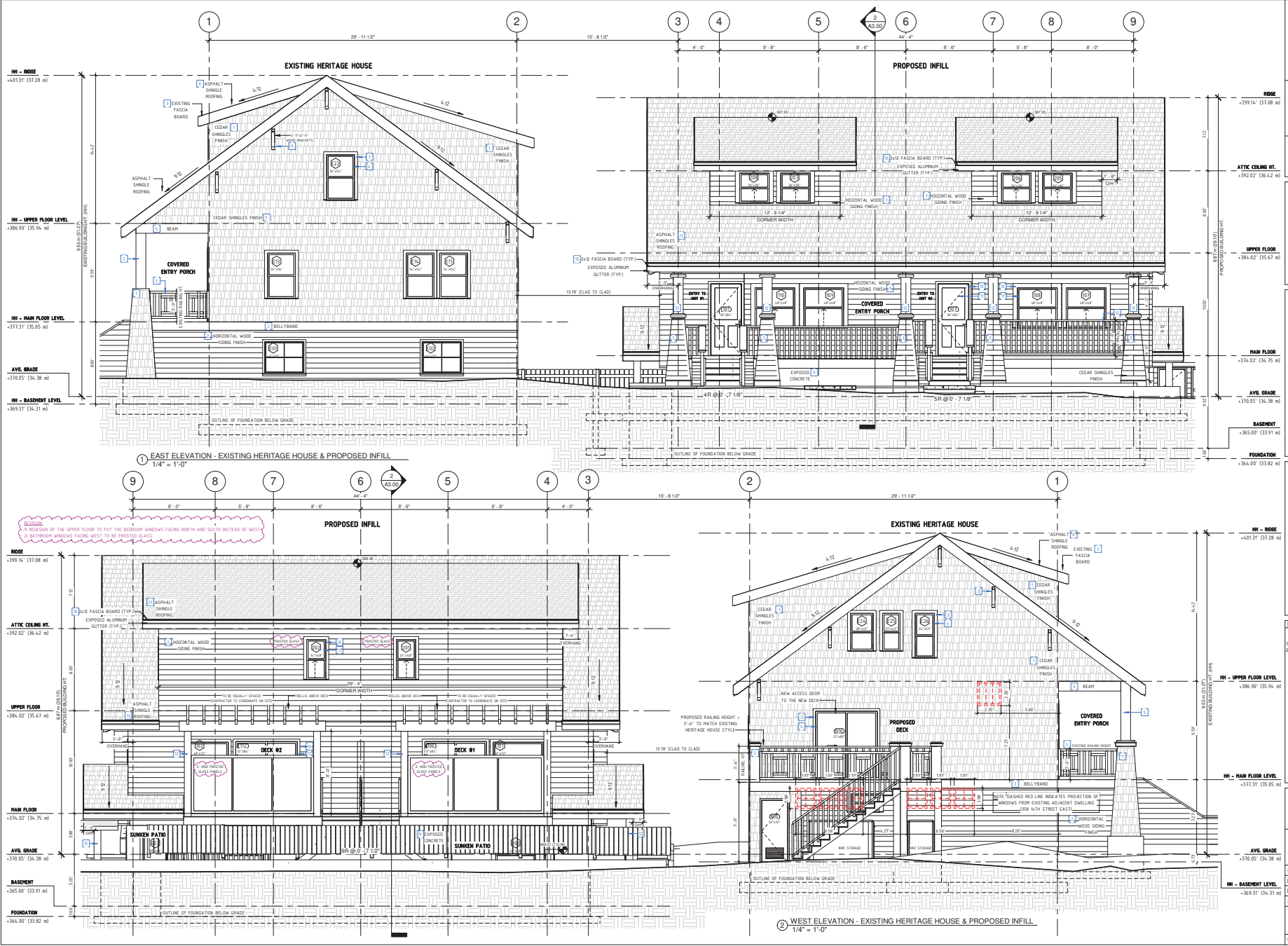
PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
DRAWN BY	DV
CHECKED BY	RB

**A1.06**

SCALE



REVISION:  
1) REDESIGN OF THE UPPER FLOOR TO PUT THE BEDROOM WINDOWS FACING NORTH AND SOUTH INSTEAD OF WEST





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**GENERAL NOTES:**

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE AND SHALL VERIFY BRADBURY ARCHITECTURE OF ANY DISCREPANCIES, DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO BRADBURY ARCHITECTURE.
- BRADBURY ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR WORK CONSTRUCTED IN VIOLATION OF THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT AND SUBJECT TO CORRECTION BY THE CONTRACTOR.
- SHOP DRAWINGS SHALL BE SUBMITTED TO BRADBURY ARCHITECTURE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL WORKSHOPS AND MATERIAL SHALL BE LATEST EDITIONS OF THE CURRENT EDITIONS OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE MUNICIPALITY OF BRADBURY ARCHITECTURE. IN ORDER TO OBTAIN PERMITS, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE CONTRACTOR OR FOR CONSTRUCTION, BRADBURY ARCHITECTURE AND ITS EMPLOYEES ARE NOT LIABLE FOR ANY OTHER PARTIES RELIANCE ON THE USE OF THESE DRAWINGS.
- BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROTECTED TO ADEQUATELY PROTECT SHALL NOT BE CALLED FROM DOCUMENTS.
- ALL DIMENSIONS ARE IN METERS AND MILLIMETERS UNLESS OTHERWISE NOTED.

**BUILDING ENVELOPE MATERIALS:**

- EXISTING HERITAGE HOUSE:**
- ROOF: SHINGLES: PENNEL VERDORIS VC-22
  - BASE: SIDING: BELLBRAND PENNEL GREEN VC-18
  - WINDOW/DOOR TOP & FASCIA: GLOSS BLACK VC-25
  - SASH & DOORS: STRATHCONA RED VC-27
  - FORN: PAINTING: COLUMBIAN/BEAMS & SPOUT: OXFORD IVORY VC-1
  - ROOFING: SHINGLES: WEATHERED SLATE - SLATLINE SHINGLES BY GAF

- PROPOSED DUPLEX INFILL:**
- BODY SIDING: CORDEX SAGE VC-16
  - BASE: SIDING: SHINGLES: CORDEX SAGE VC-16
  - BASE: CONCRETE
  - WINDOW/DOOR TOPS & FASCIA: GLOSS BLACK VC-25
  - SASH & DOORS: STRATHCONA RED VC-27
  - FORN: PAINTING: COLUMBIAN/BEAMS & SPOUT: OXFORD IVORY VC-1
  - ROOFING: SHINGLES: WEATHERED SLATE - SLATLINE SHINGLES BY GAF

NOTE: ALL COLOURS ARE FROM TRUE COLOURS PALETTE BY BENJAMIN MOORE

**REVISIONS / ISSUES:**

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - DP	2021-10-27

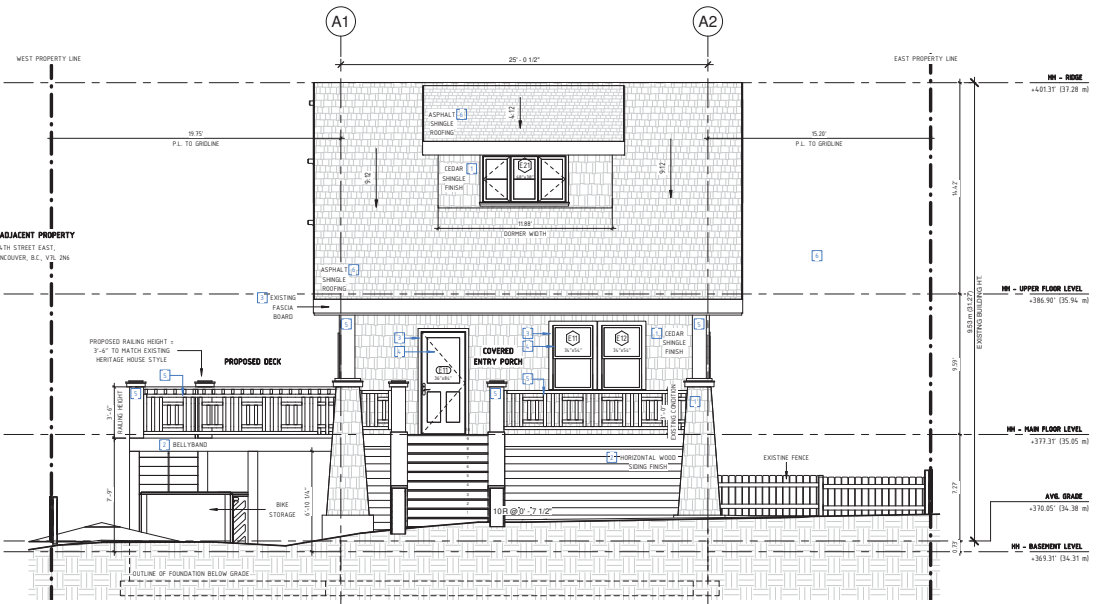
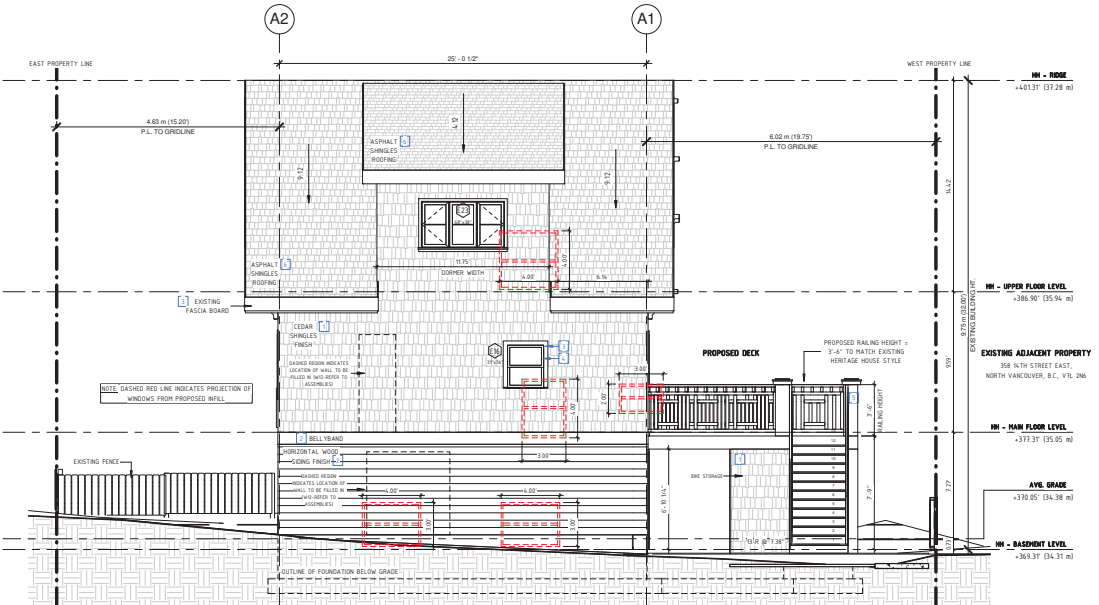
364 E 14TH STREET

**DUPLEX INFILL  
EXISTING H.M. - S & N ELEVATIONS**

PROJECT NUMBER	36414TH / 1920
DATE	01/25/2022
DRAWN BY	Author
CHECKED BY	Checker

A2.02

SCALE As indicated



3D VIEW (H.H.) - SOUTH WEST CORNER



3D VIEW (H.H.) - SOUTH EAST CORNER

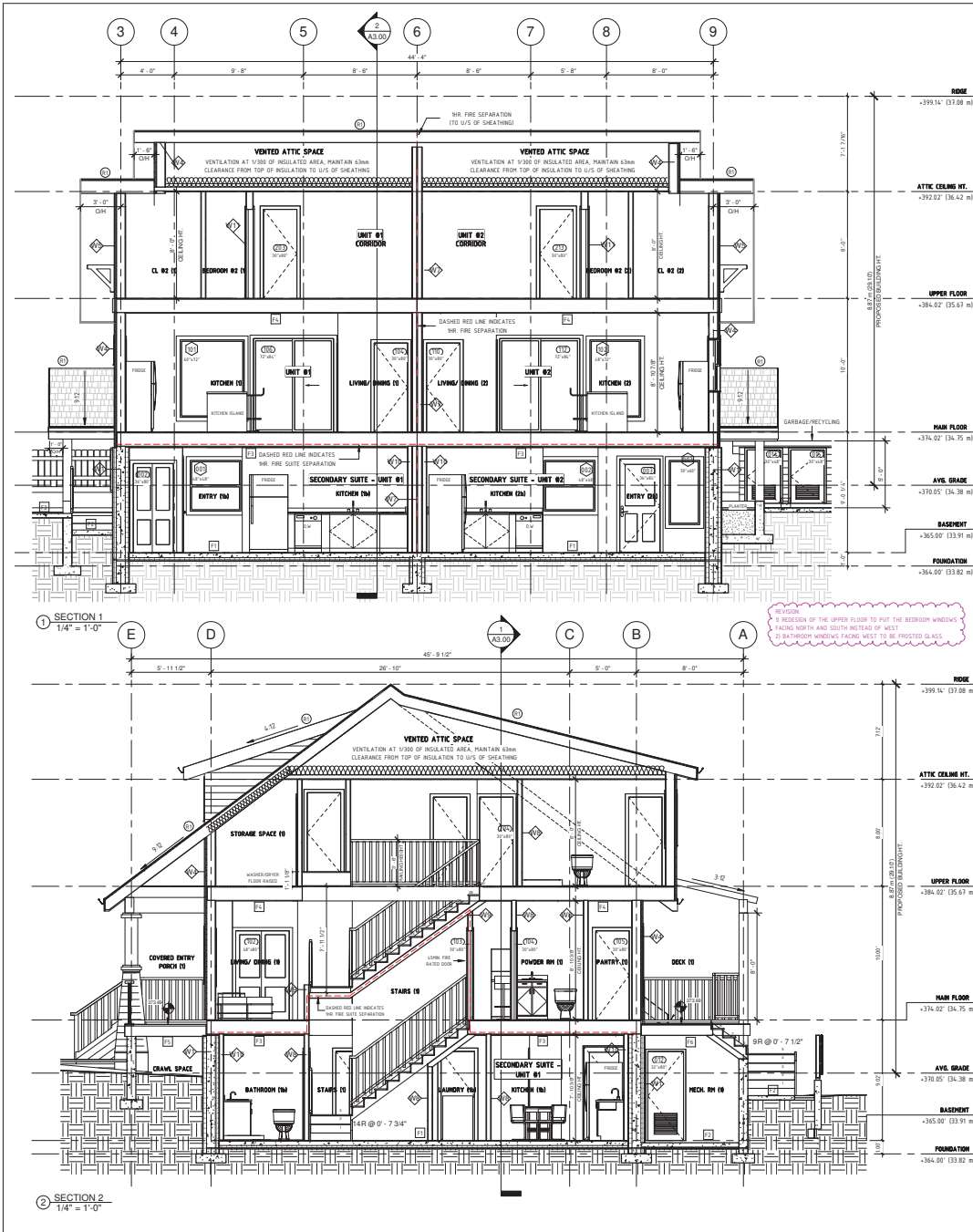


3D VIEW (H.H & INFILL) - EAST ELEVATION









WALL ASSEMBLIES			FLOOR ASSEMBLIES		
TYPE	PLAN	DESCRIPTION	TYPE	PLAN	DESCRIPTION
W1		<b>14" KF FOUNDATION WALL</b> - 1/2" EPSFOM WALLBOARD - 1/2" GFI WITH REINFORCED CONCRETE FILL - SELF-ADHERED WATERPROOFING MEMBRANE (PEEL & STICK) - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER REPLAZED BY CEMENTITIOUS SINGING WHEN IT IS NOT IN CONTACT WITH SOIL	F1		<b>4" CONCRETE SLAB ON GRADE - CONDITIONED SPACE</b> - 4" CONCRETE SLAB ON GRADE - 6" ML POLYETHYLENE (VBI) - 3" FIBRE INSULATION - 4" MIN. COMPACTED FILL AS SPECIFIED BY GEOTECHNICAL ENGINEER
W2		<b>8" CONCRETE RETAINING WALL</b> - 8" CONCRETE FOUNDATION WALL - BIFURCATED DAMPPROOFING - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER	F2		<b>4" CONCRETE SLAB ON GRADE - UNCONDITIONED SPACE</b> - 4" CONCRETE SLAB ON GRADE - 6" MIN. COMPACTED FILL AS SPECIFIED BY GEOTECHNICAL ENGINEER
W3		<b>6" CONCRETE FOUNDATION WALL</b> - 6" CONCRETE FOUNDATION WALL - BIFURCATED DAMPPROOFING - DRAINAGE MAT - COMPACTED GRAVEL AS SPECIFIED BY GEOTECHNICAL ENGINEER	F3		<b>FRAMED FLOOR - MAIN FLOOR - 1HR. FIRE RATED</b> <b>SPK IN TABLE 9.10.3.1-A RICC 2001</b> <b>STC = 52, F&amp;R = 90, U = 0.05</b> - FLOOR FINISH MATERIAL TBD - 3/4" TAG PLYWOOD SUBFLOOR - RIGID BATT INSULATION IN CAVITY (FOR ACUSTICS) OR OVER EXTERIOR ONLY - 11 5/16" I 2 FLOOR JOISTS @ 16" O.C. - RESILIENT METAL CHANNELS @ 8" O.C. - 2 LAYERS OF 5/8" TYPE X EPSFOM WALLBOARD
W4		<b>EXTERIOR WOOD STUD (2x6) - HORIZONTAL SIDING</b> - 1/2" EPSFOM WALLBOARD - 4 ML POLYETHYLENE (VBI) - 2x6 R2 SPF WOOD STUDS @ 16" O.C. - RIGID BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED ABI) - 1/2 P.T. VERTICAL WOOD STRAPPING - HORIZONTAL SIDING	F4		<b>FRAMED FLOOR - UPPER FLOOR (SPK IN TABLE 9.10.3.1-B RICC 2001)</b> <b>STC = 52, F&amp;R = 90, U = 0.05</b> - FLOOR FINISH MATERIAL TBD - 3/4" TAG PLYWOOD SUBFLOOR - RIGID BATT INSULATION IN CAVITY (FOR ACUSTICS) OR OVER EXTERIOR ONLY - 11 5/16" I 2 FLOOR JOISTS @ 16" O.C. - RESILIENT METAL CHANNELS @ 8" O.C. - 2 LAYERS OF 5/8" TYPE X EPSFOM WALLBOARD
W5		<b>EXTERIOR WOOD STUD (2x6) - CEDAR SHINGLES</b> - 1/2" EPSFOM WALLBOARD - 4 ML POLYETHYLENE (VBI) - 2x6 R2 SPF WOOD STUDS @ 16" O.C. - RIGID BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED ABI) - 1/2 P.T. VERTICAL WOOD STRAPPING - CEDAR SHINGLES	F5		<b>FRAMED DECK - MAIN FLOOR</b> - 2x6 P.T. CEDAR DECKING ON FLAT WITH 1/4" CAPS - 2x6 P.T. 4x8 SPF WOOD STUDS @ 16" O.C.
W6		<b>EXTERIOR WOOD STUD (2x6)</b> - 1/2" EPSFOM WALLBOARD - 4 ML POLYETHYLENE (VBI) - 2x6 R2 SPF WOOD STUDS @ 16" O.C. - RIGID BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED ABI) - 1/2 P.T. VERTICAL WOOD STRAPPING	F6		<b>TYP. DECK (2x10, WOOD TAPERS) - DECK OVER MECH RM</b> - 20mm EXT. TLE, TYPE/BRAND/MODEL TBD - STANDED RUBBER LEVELERS - TONGUE AND GROOVE BETWEEN ROOF MEMBRANE (2 LAYERS) - 1/4" PROTECTION BOARD - 3/4" TAG PLYWOOD SUBFLOOR (PER STRUCTURAL DRAWINGS) - TAPED WOODEN SLIPERS, 2x6 SLOPE TO DRAIN - 2x6 R2 SPF WOOD JOIST (SEE STRUCTURAL) - CLOSED-CELL SPRAY FOAM INSULATION / R28 PM IN OVER INTERIOR - 6 ML POLYETHYLENE VAPOUR BARRIER (IF OVER INTERIOR) - 1/2" EPSFOM WALLBOARD OR SFFPT TBD
W7		<b>LOADBEARING PARTY WALL (W10 IN TABLE 9.10.3.1-A RICC 2001)</b> <b>STC = 52, F&amp;R = 90, U = 0.05</b> - 5/8" TYPE X EPSFOM WALLBOARD - SMART INTERIOR AIR BARRIER & VAPOUR BARRIER (INTELLO FROM PROCLIMA OR CIRCLAR) - 2x4 R2 SPF WOOD JOIST @ 16" O.C. - RIGID BATT INSULATION IN CAVITY (FOR ACUSTICS) - 1" AIR GAP (PRESTOPPED @ FLOOR & CEILING LEVELS) - RIGID BATT INSULATION IN CAVITY (FOR ACUSTICS) - SMART INTERIOR AIR BARRIER & VAPOUR BARRIER (INTELLO FROM PROCLIMA OR CIRCLAR) - 5/8" TYPE X EPSFOM WALLBOARD			
W8		<b>INTERIOR WOOD STUD (2x4)</b> - 1/2" EPSFOM WALLBOARD - 2x4 R2 SPF WOOD JOIST @ 16" O.C. - 1/2" EPSFOM WALLBOARD			
W9		<b>INTERIOR WOOD STUD (2x4) - 1HR. FIRE RATED (W10 IN TABLE 9.10.3.1-A RICC 2001)</b> - 5/8" TYPE X EPSFOM WALLBOARD - 2x4 R2 SPF WOOD JOIST @ 16" O.C. - 5/8" TYPE X EPSFOM WALLBOARD			
W10		<b>INTERIOR WOOD STUD (2x4) - PLUMBING WALL</b> - 1/2" EPSFOM WALLBOARD - 2x4 R2 SPF WOOD JOIST @ 16" O.C. - 1/2" EPSFOM WALLBOARD * WALL USED IN BASEMENT ONLY (REFER TO SHEET A100)			
W11		<b>INTERIOR WOOD STUD (2x4)</b> - 1/2" EPSFOM WALLBOARD - 2x4 R2 SPF WOOD JOIST @ 16" O.C. - 1/2" EPSFOM WALLBOARD			
W12		<b>EXISTING EXTERIOR WOOD STUD - SIDING OR SHINGLES</b> - 3/4" PLASTERING - 1/2" WOODEN LATH - 4 ML POLYETHYLENE (VBI) - "TRUE" 2x4 R2 SPF WOOD STUDS @ 16" O.C. - BATT INSULATION IN CAVITY - 3/4" PLYWOOD SHEATHING - VAPOUR PERMEABLE HOUSE WRAP (TAPED & SEALED ABI) - 1/2 P.T. VERTICAL WOOD STRAPPING - HORIZONTAL SIDING OR CEDAR SHINGLES (TO MATCH EXISTING) NOTE: USE THIS ASSEMBLY TO FILL IN EXISTING WALL ASSEMBLIES WHERE DOORS/WINDOWS HAVE BEEN REMOVED			

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- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND RESOLUTION OF THE DISCREPANCIES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT AND SHALL BE SUBJECT TO THE CONTRACTOR'S JUDGMENT.
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**REVISIONS / ISSUES:**

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - CP	2021-10-27
2	OVERSIGHT COMMENTS	2022-08-23

364 E 14TH STREET

DUPLEX INFILL

SECTIONS

PROJECT NUMBER: 364.14TH / 1920

DATE: 01/25/2022

DRAWN BY: TJ

CHECKED BY: RB

**A3.00**

SCALE: As indicated

PRINT DATE: 2/23/2022 4:50:20 PM











DOOR SCHEDULE - PROPOSED INFILL				
Mark	Description	Access	Width	Height

BASEMENT				
001	SINGLE FLUSH DOOR	ENTRY (1b)	3' - 0"	7' - 0"
002	TWO PANEL SLIDING DOOR	CLOSET (1b)	3' - 0"	6' - 8"
003	SINGLE FLUSH DOOR	LAUNDRY (1b)	2' - 6"	6' - 8"
004	SINGLE FLUSH DOOR	BEDROOM (1b)	2' - 6"	6' - 8"
005	SINGLE FLUSH DOOR	BATHROOM (1b)	2' - 6"	6' - 8"
006	TWO PANEL SLIDING DOOR	CL. (1b)	6' - 0"	6' - 8"
007	SINGLE FLUSH DOOR	ENTRY (2b)	3' - 0"	7' - 0"
008	SINGLE FLUSH DOOR	LAUNDRY (2b)	2' - 6"	6' - 8"
009	SINGLE FLUSH DOOR	BEDROOM (2b)	2' - 6"	6' - 8"
010	SINGLE FLUSH DOOR	BATHROOM (2b)	2' - 6"	6' - 8"
011	TWO PANEL SLIDING DOOR	CL. (2b)	6' - 0"	6' - 8"
012	SINGLE FLUSH DOOR	MECH. RM (1)	2' - 8"	6' - 8"
013	SINGLE FLUSH DOOR	MECH. RM (2)	2' - 8"	6' - 8"

GROUND				
014	SINGLE FLUSH DOOR	GARAGE ENCLOSURE	2' - 6"	4' - 0"
015	SINGLE FLUSH DOOR	GARAGE ENCLOSURE	2' - 6"	4' - 0"
016	SINGLE FLUSH DOOR	GARAGE ENCLOSURE	2' - 6"	4' - 0"
017	SINGLE FLUSH DOOR	GARAGE ENCLOSURE	2' - 6"	4' - 0"

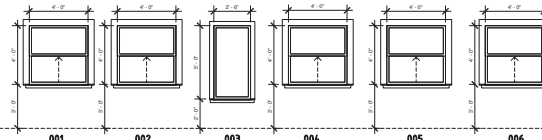
H.H. - BASEMENT LEVEL				
N10	SINGLE FLUSH DOOR	GARAGE ENCLOSURE	2' - 6"	6' - 0"

H.H. - MAIN FLOOR LEVEL				
N16	DOUBLE SLIDING GLASS DOOR	KITCHEN	6' - 0"	6' - 8"

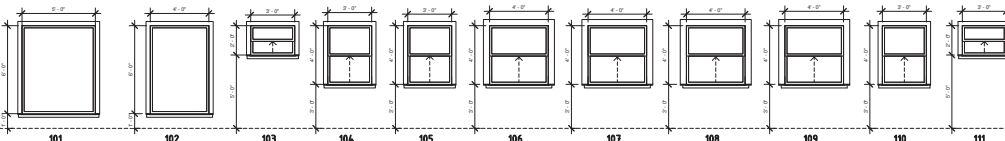
MAIN FLOOR				
101	SINGLE FLUSH DOOR	ENTRY (1)	3' - 0"	7' - 0"
102	TWO PANEL SLIDING DOOR	CL. (1)	4' - 0"	6' - 8"
103	SINGLE FLUSH DOOR	STAIRS (1)	2' - 6"	6' - 8"
104	SINGLE FLUSH DOOR	POWDER RM (1)	2' - 6"	6' - 8"
105	SINGLE FLUSH DOOR	PANTRY (1)	2' - 6"	6' - 8"
106	DOUBLE SLIDING GLASS DOOR	DECK (1)	6' - 0"	7' - 0"
107	SINGLE FLUSH DOOR	ENTRY (2)	3' - 0"	7' - 0"
108	TWO PANEL SLIDING DOOR	CL. (2)	4' - 0"	6' - 8"
109	SINGLE FLUSH DOOR	STAIRS (2)	2' - 6"	6' - 8"
110	SINGLE FLUSH DOOR	POWDER RM (2)	2' - 6"	6' - 8"
111	SINGLE FLUSH DOOR	PANTRY (2)	2' - 6"	6' - 8"
112	DOUBLE SLIDING GLASS DOOR	DECK (2)	6' - 0"	7' - 0"

UPPER FLOOR				
201	SINGLE FLUSH DOOR	CL. #1 (1)	2' - 6"	6' - 8"
202	TWO PANEL SLIDING DOOR	CL. (1)	6' - 0"	6' - 8"
203	SINGLE FLUSH DOOR	MASTER BEDROOM (1)	2' - 6"	6' - 8"
204	SINGLE FLUSH DOOR	BEDROOM #2 (1)	2' - 6"	6' - 8"
205	TWO PANEL SLIDING DOOR	CL. #2 (1)	5' - 0"	6' - 8"
206	SINGLE FLUSH DOOR	BATHROOM (1)	2' - 6"	6' - 8"
207	SINGLE FLUSH DOOR	BEDROOM #3 (1)	2' - 6"	6' - 8"
208	TWO PANEL SLIDING DOOR	CL. #3 (1)	4' - 0"	6' - 8"
209	SINGLE FLUSH DOOR	STORAGE SPACE (1)	2' - 6"	6' - 8"
210	SINGLE FLUSH DOOR	W/D (1)	2' - 6"	6' - 0"
211	SINGLE FLUSH DOOR	CL. #1 (1)	2' - 6"	6' - 8"
212	TWO PANEL SLIDING DOOR	CL. (2)	6' - 0"	6' - 8"
213	SINGLE FLUSH DOOR	MASTER BEDROOM (2)	2' - 6"	6' - 8"
214	SINGLE FLUSH DOOR	BEDROOM #2 (2)	2' - 6"	6' - 8"
215	TWO PANEL SLIDING DOOR	CL. #2 (2)	5' - 0"	6' - 8"
216	SINGLE FLUSH DOOR	BATHROOM (2)	2' - 6"	6' - 8"
217	SINGLE FLUSH DOOR	BEDROOM #3 (2)	2' - 6"	6' - 8"
218	TWO PANEL SLIDING DOOR	CL. #3 (2)	4' - 0"	6' - 8"
219	SINGLE FLUSH DOOR	STORAGE SPACE (2)	2' - 6"	6' - 8"
220	SINGLE FLUSH DOOR	W/D (2)	2' - 6"	6' - 0"

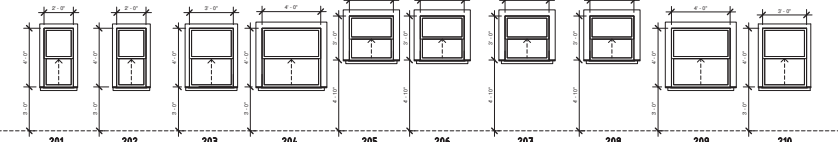
## BASEMENT FLOOR



## MAIN FLOOR

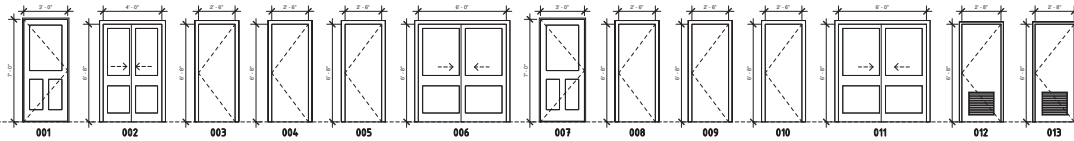


## UPPER FLOOR

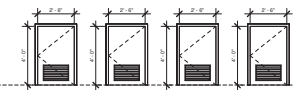


WINDOW ELEVATIONS  
1/4" = 1'-0"

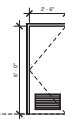
## BASEMENT FLOOR



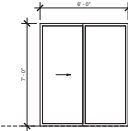
## GROUND FLOOR



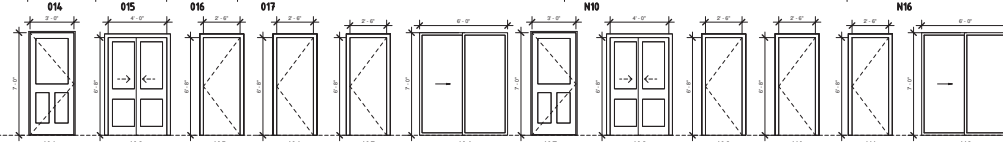
## H.H. BASEMENT FLOOR



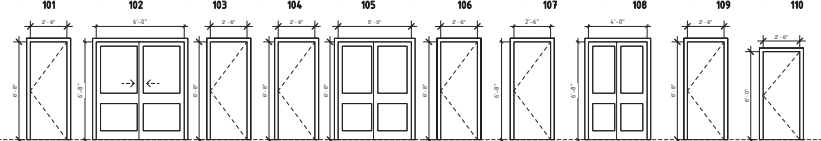
## H.H. MAIN FLOOR



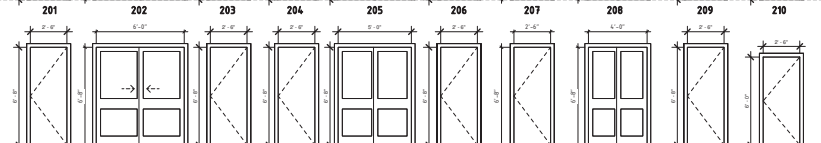
## MAIN FLOOR



## UPPER FLOOR



## UPPER FLOOR



DOOR ELEVATIONS  
1/4" = 1'-0"

WINDOW/DOOR SCHEDULE & ELEVATIONS UPDATED AS PER LAYOUT CHANGES

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3. ALL DIMENSIONS AND MATERIAL SHALL BE LATEST STANDARD TO THE CURRENT EDITION OF ALL BUILDING CODES AND BY-LAWS APPLICABLE IN THE JURISDICTION. BRADBURY ARCHITECTURE IS UNDER NO OBLIGATION TO BE LIAISON FOR THE PROJECT TO THE CONTRACTOR OR FOR CONTRACTOR, BRADBURY ARCHITECTURE AND ITS EMPLOYEES ARE NOT LIABLE TO ANY OTHER PARTIES RELYING ON THE USE OF THESE DRAWINGS.  
4. BRADBURY ARCHITECTURE DOES NOT WARRANT THAT THE DRAWINGS ARE PROBABLY TO SCALE. DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.  
5. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

## REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
1	REVISED AS PER CITY COMMENTS - CP	2021-10-27
	OVERSIGHT COMMENTS	2022-02-03

364 E 14TH STREET

## DUPLEX INFILL

## WINDOW & DOOR SCHEDULES

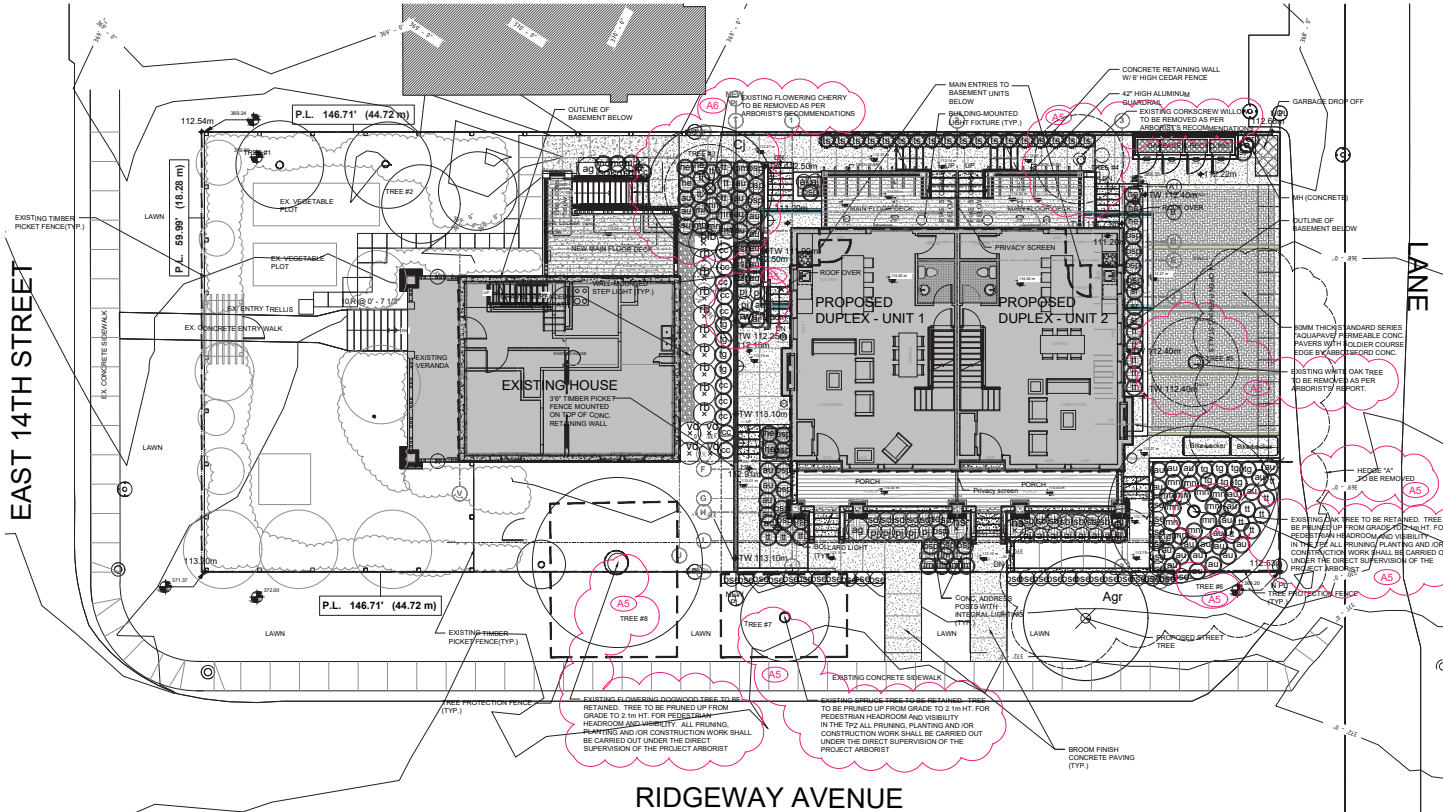
PROJECT NUMBER	364/14TH / 1920
DATE	01/25/2022
DRAWN BY	TJ
CHECKED BY	RB

**A4.03**

SCALE 1/4" = 1'-0"

PLOT DATE: 2/23/2022 1:05:30 PM





LEGEND

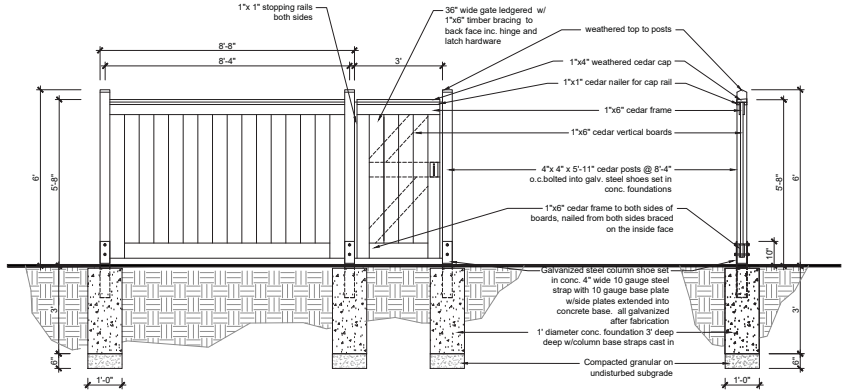
- Existing trees to be removed / retained
- Proposed Tree Planting
- Mixed Plantings of Shrubs, Perennials and Groundcovers
- Evergreen Hedge
- 80mm thick Standard Series "Aquapave" permeable conc. pavers with solder course edge by Absolut Conc.
- Gravel surface
- Decking as per architectural details
- Tree Protection Fence
- Step light
- Powder coated cast aluminum bollard light
- Building-mounted light

NOTES:

- All landscape work shall be carried out in accordance with the current edition of the Canadian Landscape Standard published by CSLACNTA and the contract specification.
- Growing medium in accordance with the current edition of the Canadian Landscape Standard shall be provided to the following minimum depths/dimensions: Grass Areas - 150 mm (6") Shrubs, Groundcovers, Vines & Perennials - 450 mm (18") Trees - Minimum 300 mm (1") of topsoil around the rootball compacted to 85% Std. Proctor Density
- Ensure excavation or fill adjacent to existing trees does not exceed 6" (15cm) depth.
- Tree protection fence shall be installed prior to construction and maintained until project completion. Construction and/or planting work within the tree protection zone shall be carried out under the direct supervision of the project arborist. Paving in the tree protection zone shall require use of an air-spade, backfill with structural soil to match existing grade and paving finish base elevation shall be no lower than previous existing grade to a maximum depth of 6" above previous natural grade.
- All onsite planting shall be irrigated by a fully automatic irrigation system using low-flow, high efficiency means. The system shall be designed and installed by an "IABC" qualified designer/installer employed by the landscaper. Shop drawings for the system shall be subject to prior review and approval of the drawing before system installation.

RIDGEWAY AVENUE

1 LANDSCAPE PLAN  
SCALE: 1/8"=1'-0"



2 CLOSE-BOARDED CEDAR FENCE W/ GATE  
SCALE: 1/2"=1'-0"

364 East 14th St. Plant List									
CODE	QTY	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE		
Ag1	1	Acer glabrum 'Red November'	Red November Maple	7cm Cal	as shown	tree	nonnative		
C1	1	Cercidiphyllum japonicum	Katsura	7cm Cal	as shown	tree	nonnative		
az1	9	Azalea japonica 'Blue Danube'	Japanese azalea	#2 pot	as shown	shrub	nonnative		
az2	2	Azalea japonica 'Globe'	Japanese azalea	#2 pot	as shown	shrub	nonnative		
bx1	30	Buxus sempervirens 'Ellegrensis'	Variegated Boxwood	#2 pot	as shown	shrub	nonnative		
hy1	2	Hydrangea serrata 'Bluebird'	Bluebird hydrangea	#3 pot	as shown	shrub	nonnative		
ph1	1	Philadelphus lewisii 'Blosser'	'Mock orange'	#3 pot	as shown	shrub	native		
pi1	8	Pieris japonica 'Little Heath'	Lily of the Valley shrub	#2 pot	as shown	shrub	nonnative		
rh1	9	Rhododendron Cunningham's Blush	Cunningham's Blush Rhododendron	#2 pot	as shown	shrub	nonnative		
sp1	19	Spiraea x bumalda 'Gold Flame'	Mountain Spiraea	#2 pot	as shown	shrub	nonnative		
st1	7	Spiraea x bumalda 'Gold Flame'	Gold Flame Spiraea	#2 pot	as shown	shrub	nonnative		
th1	18	Thuja occidentalis 'Smaragd'	Emerald cedar	1.8 m	as shown	shrub	nonnative		
vd1	4	David's yellow-flowered	David's yellow-flowered	#3 pot	as shown	shrub	nonnative		
ar1	3	Arja reptans 'Alcapurpurina'	Purple Bugle	#1 pot	as shown	perennial	nonnative		
as1	2	Asplenium japonica	Asplenium	#1 pot	as shown	perennial	nonnative		
ho1	8	Hosackia subcordata elegans	Flaming Lily	#1 pot	as shown	perennial	nonnative		
lm1	5	Liriope muscari	Blue Lily turf	#1 pot	as shown	perennial	nonnative		
md1	3	Maianthemum dilatatum	False Lily of the Valley	#1 pot	as shown	perennial	native		
st1	5	Stachys recta	False Solomon's Seal	#1 pot	as shown	perennial	native		
lg1	12	Yucca grandiflora	Fingerplant	#1 pot	as shown	perennial	native		
tr1	21	Trillium liliifolium	Foamflower	#1 pot	as shown	perennial	native		
ar1	39	Arctostaphylos uva-ursi	Kinnikinnick	#2 pot	as shown	ground cover	native		
co1	11	Cornus canadensis	Bunchberry	#2 pot	as shown	ground cover	native		
lm1	18	Malva nervosa	Cascade Oregon Grape	#1 pot	as shown	ground cover	native		
tr1	22	Trillium repens	Deer lily	#2 pot	as shown	ground cover	native		
pn1	1	Polystichum munitum	Western sword fern	#1 pot	as shown	fern	native		

REVISIONS

No.	DATE	DESCRIPTION
1	18/10/21	REVISED PER CIVIL COMMENT

ISSUE

No.	DATE	DESCRIPTION
1	08/07/19	ISSUED FOR REVIEW
2	18/10/21	ISSUED FOR O.P.

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CLIENT  
Mr. P. Cull  
364 East 14th Street  
Vancouver, B.C.

PROJECT  
3-Unit Project  
364 East 14th Street  
NORTH VANCOUVER, B.C.

DWG TITLE  
Landscape Plan

DESIGNED	DR	
DRAWN	SK	
CHECKED	DR	
SCALE	AS SHOWN	
DATE	13 July 2019	
PROJECT No.	DWG No.	REV
1905	L-1 of 2	1





RIDGEWAY AVENUE



# MACLEOD RESIDENCE

364 EAST 14TH STREET, NORTH VANCOUVER BC

## CONSERVATION PLAN

JUNE 2019

**DONALD LUXTON**  
AND ASSOCIATES INC





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# 1.0 INTRODUCTION

**NAME:** MACLEOD RESIDENCE  
**ADDRESS:** 364 EAST 14TH STREET, NORTH VANCOUVER, BRITISH COLUMBIA  
**ORIGINAL OWNER:** DUNCAN P. CLARK  
**FIRST RESIDENTS:** WILLIAM RAY AND BEULAH ROSSLAND MACLEOD  
**BUILDER:** WILLIAM SMITH  
**DATE OF CONSTRUCTION:** 1921

The MacLeod Residence, constructed in 1921, is an important example of an interwar residential building constructed during a period of recovery throughout British Columbia, including the Central Lonsdale neighbourhood of North Vancouver. Designed in the Craftsman architectural style, the house was built with local, high quality materials. The MacLeod family, including educator and war veteran William Ray and his wife, Beulah, were the first residents of the house. For close to

a century, the MacLeod Residence has stood as a reminder of the early history of the Central Lonsdale neighbourhood.

This Conservation Plan is based on Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada*. It outlines the preservation, restoration, and rehabilitation that will occur as part of the proposed development.

## 2.0 HISTORIC CONTEXT

During the first several years of its incorporated existence, the City of North Vancouver was often referred to as 'The Ambitious City'. This was understandable considering the tremendous growth and prosperity of those years, but the City's fortunes followed the general booms and busts of the local economy. After regular ferry service was established in 1903 and the city was incorporated in 1907, North Vancouver experienced a period of unprecedented growth and prosperity. This construction boom accelerated until a general financial depression in 1913 halted this ambitious suburban development. The MacLeod Residence was constructed in 1921, just as the economy was beginning to recover from the effects of the First World War. As soldiers, including first resident William MacLeod, returned to B.C., additional housing was required to accommodate the increasing population. It was, however, many years before the City fully recovered, and the growth that was reestablished during the late 1920s was also curtailed; this time, due to the onset of the Great Depression. During World War Two, the City became a hub of wartime industrial production, and after the cessation of hostilities, it settled into a period of gradual development.

Lower Lonsdale, the commercial core of North Vancouver, is also the earliest and most historic area on the North Shore of Burrard Inlet, and contains many of the City's oldest commercial buildings. The streetcar, ferry to Vancouver and the PGE railway converged at the southern foot of Lonsdale Avenue, the major transportation hub on the North Shore. The area represents a formative period in B.C.'s economy, driven at the time by major industries including logging and shipbuilding. Located to the north of the Lower Lonsdale area, the siting of the MacLeod Residence, along East 14th Street, several blocks east of Lonsdale Avenue, was a popular and convenient area for local residents; close enough to services and transportation hubs, but far enough removed to enjoy a tranquil lifestyle.

The following is an excerpt from the 1921 Wrigley's British Columbia Directory, written the year the MacLeod Residence was constructed:

The North Shore of Burrard Inlet is divided into three municipalities; The District of North Vancouver, which at one time embraced the whole area between the North Arm of the Inlet on the east and Howe Sound on the west, but is now restricted to the area outside of the city, bounded by the Capilano River on the west and the North Arm on the east; the City of North Vancouver, embracing a central area of about 3,500 acres; and the District of West Vancouver, extending from the Capilano River on the east to Howe Sound on the west.

The North Shore industries include the following: Wallace Shipyards, Ltd., North Shore Shingles, Ltd., E. C. Walsh Lumber Co., Ltd., McNair Lumber and Shingles, Ltd., Hobson & Hobson Shingle Mill all within the city; Vancouver Creosoting Works, Capilano Timber Co., Ltd., Robert Dollar Timber Co., Ltd., Vancouver Lumber Co., Ltd., Cedars Ltd., Lynn Valley Lumber Co., Ltd., and the D. Bailey Mill Co., all in the District of North Vancouver; and the Vedder River Shingle Co. and the Askew Shingle Mill, in the District of West Vancouver. There are excellent summer resorts at Woodlands, Deep Cove and other points on the North Arm, and at many different points between Ambleside Ferry Landing on the east and Whitecliff at the terminus of a local branch of the P.G.E. Railway on the west.

At present all transportation to outside points from these municipalities is by ferry boats. A ferry service is operated between the cities of Vancouver and North Vancouver, owned by the latter city, and carries upwards of 3,000,000 passengers annually and a large number of vehicles of all kinds, loaded and unloaded. Efforts are now being put forth to

have this service made a joint charge on all the municipalities interested and to reduce the ferry charges to a lower rate.

West Vancouver is connected with the North Vancouver ferry by means of the P.G.E. Railway, but the Municipal Council also operates a ferry service from Ambleside to Vancouver for passengers and freight, but not for vehicles. In 1920 they carried over 900,000 passengers. The eastern end of the North Vancouver District is served by ferry boats from Vancouver to different points on the North Arm. Strenuous efforts are now being put forth to have a large joint traffic and railway bridge erected at the Second Narrows. The carrying out of this work would at once open up thousands of acres of land admirably adapted for industrial sites, and about 20 miles of deep-water frontage suitable for docks and works of all kinds. Considerable benefit will be conferred by the installation of a car ferry to bring freight cars from the Government docks to connect with the P.G.E. Railway on the North Shore. Suitable barges and docks are not being constructed.

The Capilano Timber Company have constructed a railway up the side of Capilano River to give access to extensive timber limits there.

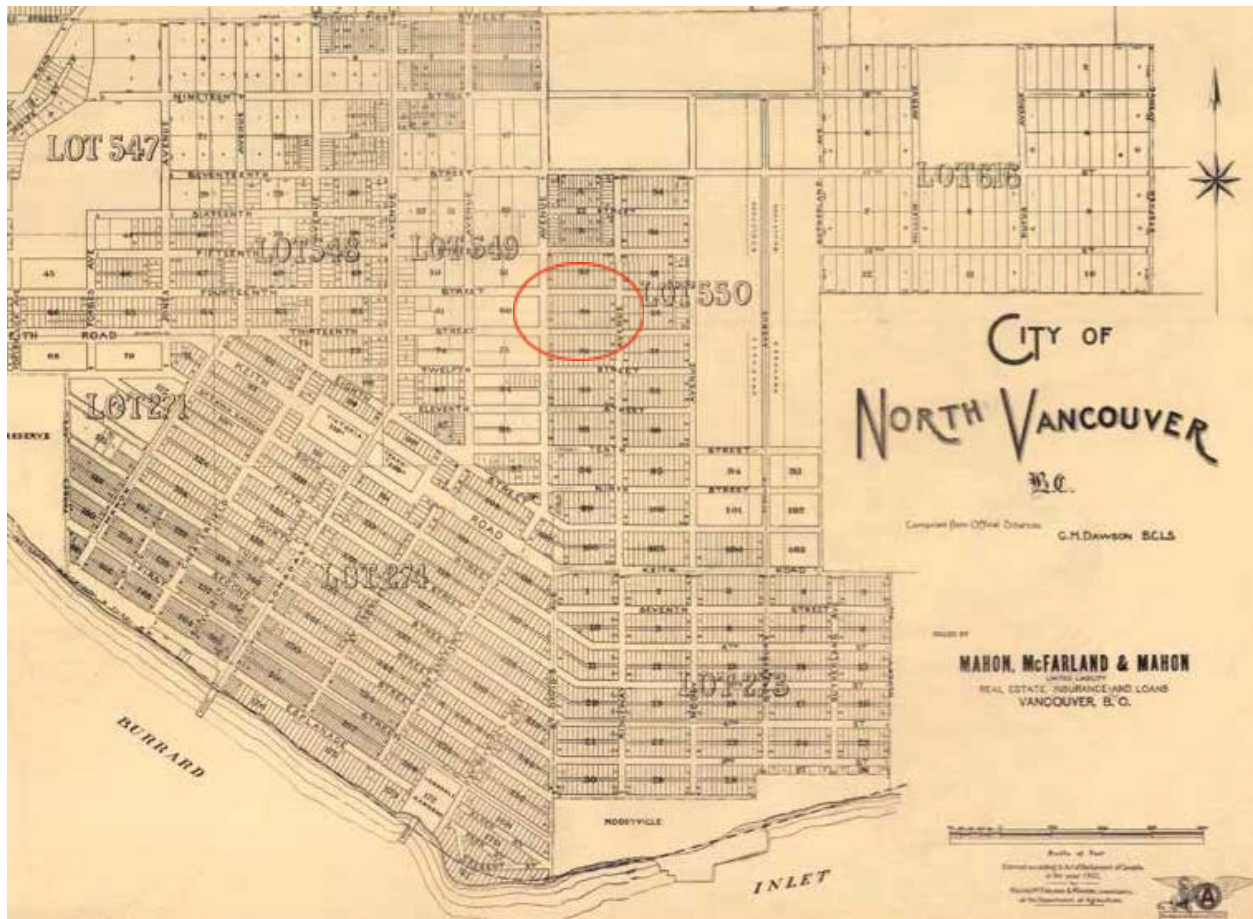
There are several well developed copper and zinc claims near the source of the Lynn Creek, and it is claimed that very valuable iron deposits exist near the headwaters of the Seymour River.

The North Shore is famous for the number of beautiful mountains adjoining, including the Lions (6,500 ft.). Mount Crown (5,450 ft.), and Grouse Mountain (4,500 ft.)

The North Shore possesses a number of beautiful streams of the finest kind of water for domestic and industrial purposes. The principal of these are the Capilano and the Seymour rivers, both of which have been tapped to supply the City of Vancouver and its suburbs with water for all requirements, and the Lynn Creek, which is the source whence the City of North Vancouver takes its water service.

These streams are all great resorts for fishermen, and in summer they are visited by many thousands of tourists from all parts of the world. Notable canyons are on all the streams, but certainly the most notable are those on the Capilano River.

The population on the North Shore is approximately from 12,000 to 15,000.



City of North Vancouver, 1907, Library and Archives Canada e011202289, Block 52, future location of the MacLeod Residence, circled in red





*Ferry Landing, 1910, Foot of Lonsdale in North Vancouver, City of Vancouver Archives (CVA) 371-2133*



*Lower Lonsdale 1913, North Vancouver Museum and Archives 10822*



*North Vancouver waterfront, 1919, CVA 1123-8*





*Ferry line-up on Lonsdale Avenue up to Eighth Street, 1931, CVA Br P75.2*





*Ferry Slip at the foot of Lonsdale, 1958, CVA 288-072.2*

B. C. Co.  
1960/3 Baffin, Western University

**ATTESTATION PAPER.**  
No. 911908  
Full

**CANADIAN OVER-SEAS EXPEDITIONARY FORCE.**

**QUESTIONS TO BE PUT BEFORE ATTESTATION.**

1. What is your name? **Mac LEOD**
- 1a. What are your Christian names? **William Ray**
- 1b. What is your present address? **Atchewitz, B.C. Canada.**
2. In what Town, Township or Parish, and in what Country were you born? **Edgewater, B.C.**
3. What is the name of your next of kin? **John Alexander MacLeod**
4. What is the address of your next of kin? **Atchewitz, B.C.**
- 4a. What is the relationship of your next of kin? **Father**
5. What is the date of your birth? **June 25th, 1892**
6. What is your Trade or Calling? **School Teacher**
7. Are you married? **No**
8. Are you willing to be vaccinated or re-vaccinated and inoculated? **Yes**
9. Do you now belong to the Active Militia? **No**
10. Have you ever served in any Military Force? **Yes - Officer Training Corps - 8 mos.**
11. Do you understand the nature and terms of your engagement? **Yes**
12. Are you willing to be attested in accordance with the Canadian Overseas Expeditionary Force? **Yes**

**DECLARATION TO BE MADE BY MAN ON ATTESTATION.**

*William Ray MacLeod* do solemnly declare that the above answers made by me to the above questions and that they are true, and that I am willing to fulfil the requirements by me made, and I hereby engage and agree to serve in the Canadian Overseas Expeditionary Force, and to be attached in any form of the service thereof, for the term of one year, or during the war now existing between Great Britain and Germany should that war last longer than one year, and for six months after the termination of that war provided His Majesty should no longer require my services, or until lawfully discharged.

Date **May 5th** 1916 *W. Ray MacLeod* (Signature of Recruit)  
*St. H. MacLeod* (Signature of Witness)

**OATH TO BE TAKEN BY MAN ON ATTESTATION.**

*William Ray MacLeod* do make Oath, that I will be faithful and bear true Allegiance to His Majesty King George the Fifth, His Heirs and Successors, and that I will as in duty bound honestly and faithfully defend His Majesty, His Heirs and Successors, in Person, Crown and Dignity, against all enemies, and will observe and obey all orders of His Majesty, His Heirs and Successors, and of all the Generals and Officers not now in. So help me God.

Date **May 5th** 1916 *W. Ray MacLeod* (Signature of Recruit)  
*St. H. MacLeod* (Signature of Witness)

**CERTIFICATE OF MAGISTRATE.**

The Recruit above named was examined by me that if he made any false answer to any of the above questions he would be liable to be punished as provided in the Army Act.

The above questions were then read to the Recruit in my presence.

I have taken care that he understands each question, and that his answer to each question has been duly entered as replied to, and the said Recruit has made and signed the declaration and taken the oath before me, at **Vancouver** this **fifth** day of **May** 1916.

*W. H. MacLeod* (Signature of Justice)

**Description of MacLeod William Ray on Enlistment.**

Age **23** years **11** months

Height **5' 2 1/2"**

Weight **124 lb**

Range of expansion **5 1/2"**

Complexion **Medium**

Eyes **Grey**

Hair **Brown**

Church of England

Presbyterian

Methodist

Baptist or Congregationalist

Roman Catholic

Jewish

Other denomination

Disabilities

Scar over R. frontal bone

Small scar over L. eyebrow

Little finger R. hand missing

Scar on front L. arm

**CERTIFICATE OF MEDICAL EXAMINATION.**

I have examined the above-named Recruit and find that he does not present any of the causes of rejection specified in the Regulations for Army Medical Services.

He was free of any physical disability with either eye; his heart and lungs are healthy; he has the free use of his arms and limbs, and he declares that he is not subject to fits of any description.

I consider him **F + C** for the Canadian Overseas Expeditionary Force.

Date **May 5** 1916 *W. H. MacLeod* (Signature of Medical Officer)  
*St. H. MacLeod* (Signature of Witness)

Place **Vancouver**

**CERTIFICATE OF OFFICER COMMANDING UNIT.**

*William Ray MacLeod* having been duly approved and inspected by me this day, with his Name, Age, Date of Attestation, and every particular particular having been recorded, I certify that I am satisfied with the correctness of this Attestation.

*W. H. MacLeod* (Signature of Officer)

Date **VANCOUVER** **JUN 1** 1916

Library & Archives Canada: Soldiers of the First World War CEF: MACLEOD, WILLIAM RAY; Regimental number(s): 911908, Reference: RG 150, Accession 1992-93/166, Box 7097 – 26; Date of Birth: 25/06/1892



## KET ACT IS FAVORED

ment Knows What  
Doing, Declares  
W. L. Macken.

## D REGULATION

Rt. Hon. Mackenzie King, the Opposition, is questioning the constitutionality of the Marketing Act. I happen to know the department of justice has taken this question very carefully several weeks, and we know government will not commit anything it is not prepared to handle.

Mr. W. L. Macken, vice-president of the Fraser Valley Milk Association, in an address before transportation and commerce of the Board of Trade subject "The Producer at the Center," Mr. Macken explained British Columbia Marketing designed to take advantage of the milk act.

The new legislation the fruit of the province will undoubtedly, he said, and also the milkers. There is unanimity among both producers and consumers, he said, that there should be regulation of marketing.

Mr. Macken took a dig at the Chamber of Commerce, which put out a questionnaire on the act, when he said that it is the nature of the question that some of the raised issues for which the act was never asked.

Marketing Act becomes law, confidence in the men asking it continued. "They are at you in the desire that all fit from it, consumer as well as producer, for it is only by harmonious community of interest that the marketing problems will be ironed out."

Mr. Macken devoted the greater part of his talk to the British Marketing Act, showing its wide powers, and the act as part of the economic revolution. The act, he said, is only a regulation designed to be dormant until the provinces have passed their marketing acts. Some think the act will not go far enough, while others think its constitutionality, he

## IN the DOMAIN of ART *CA Weekly Causee - - - of Interest to Art Lovers*

By RITA W. MYERS

**E**LECTION of ten members to the council of the Vancouver Art Gallery Association will be the major piece of business to be undertaken at the third annual meeting of this group which will be held at the gallery on May 16. Within the next week nomination forms will be sent out to all members with the request that they file the names of those whom they feel would be valuable members of this body.

Following previous elections there has always appeared to be considerable criticism of the personnel of the council, with particular reference to the fact that several members' names have been passed over, although their qualifications appear to be most desirable. If those who are most prone to criticize would take an interest in the matter before the election, we would have more sympathy for them.

Now is the time to consider the matter. The government of the gallery and its affairs should be of utmost interest to members of the Art Gallery Association. Careful selection of names for nomination and then full attendance at the annual meeting so that the election represents the full opinion of the body would seem to ensure best results. Too often those who have criticized the council have been those who have not taken the trouble to attend the election and cast their own vote.

The place of artists in this body is also a point that is worthy of consideration. While laymen have the common sense and business experience so necessary to the government of such an organization, the place of the artist is paramount when it comes to the judgment of work. The fact that there are different schools of opinion and that the layman feels the artists themselves can not agree, should have little bearing on the matter. No matter how an artist leans, the fact remains that behind him he has years of study and training that give him proper understanding of the necessary fundamentals of painting and sculpture. Such opinions are valuable and will result in adding considerably to the prestige and reputation of the gallery, both locally and abroad.

Watching from the sidelines, it appears that there is too great a gulf between artist and layman and that a closer relation between the two would

be free to choose from a variety of scene that offers the vast new workshops and factories to be found in all parts of the Union, the naval dockyards at Leningrad or the tea plantations at Batoum. On their return they must produce work illustrative of their travels at an exhibition especially organized for the purpose. Such work remains the property of the artist.

In two years more than 1000 artists were sent to different parts of the Union, the resulting work showing that the artists had no dearth of inspiration. Intense realism is the keynote of contemporary Russian art, and as yet there is no place for the stunted and the quack. But the revolution has given such impetus to the artists of the Soviet regime that, urged to expression by an irresistible uprush of renewed vitality, they are creating a new world of colors, figures and ideas, with violent enthusiasms and titanic forces struggling together in the rebirth of a great nation.

**INCIDENTALLY**, it is interesting to know that the Artists' Co-operative, the organization under which professional artists are "rationalized," manufactures all working materials and supplies them at reasonable prices. In this way uniformity of quality and steadiness of supply is assured.

There is much to be said on both sides of the question concerning the organization of artists. Genius blossoms in strange places and art is one commodity that can not be sold across counters. Artists, too, are inclined to be effervescent people not easily organized and sometimes more spurred on by adversity than by having life made easy.

There are many examples of such men who created masterpieces in order to keep from starving in a garret but who never reached the heights when financial responsibility had been lifted. There is something about strivings and struggles that often produce great work. Maybe it is because the mind and body are much more sensitive when not lulled to rest with easy living. Perhaps it is the opportunity for struggle that encourages latent faculties to a pitch where men become more than ordinary mortals and take on some of the attributes of the gods.

It has been proved that during times of depression, national art has taken on greater importance and more worthwhile work is produced than in

## CHILLIWACK MOURNS NATIVE SON'S DEATH

Many Attend Funeral of  
W. R. MacLeod, Popular  
School Inspector.

**CHILLIWACK, April 21.**—The funeral of William Ray MacLeod, inspector of public schools in the Peace River block, who died at Pouce Coupe, April 14, was held here Friday noon. Service was conducted in Cooke's Presbyterian Church by Rev. John McTurk and Rev. George Turpin, chaplain of Chilliwack Branch Canadian Legion. There was a very large attendance, including more than 100 returned men in a body, who followed the casket, draped with the Union Jack, to the I. O. O. F. cemetery, where interment was made in the family plot.

Mr. MacLeod was a native son of Chilliwack and a member of one of the Valley's best known and most highly esteemed families. He went overseas with the 196th (University) Battalion, losing a leg and suffering severe shrapnel wounds. Returning from overseas he took up school teaching and was for a number of years principal of Lynn Valley public school, North Vancouver. About three years ago he was appointed to the provincial public school inspectorate staff and assigned to the Peace River district, where he did excellent work and attained a marked degree of popularity.

Deceased was the son of John A. MacLeod, who was a school teacher in the Fraser Valley in early days, and for a number of years reeve of the municipality of Chilliwack.

Besides his father, Mr. MacLeod leaves a wife and two sons; two brothers, Flight-Lieutenant Earl L. MacLeod, of the Royal Canadian Air Force at Winnipeg, and Clarence H. MacLeod at home. The late John Virgil MacLeod, of North Vancouver high school staff, was a brother, and another brother, Malcolm, was killed in the first battle of Ypres. Two sisters are also deceased. Four of the five deaths in the family have occurred in the month of April.

Among those from outside points at the funeral were Flight-Lieutenant MacLeod; S. J. Willis, deputy minister of education, Victoria; A. R. Lord, L. J. Bruce, H. H. Mackenzie, F. G. Calvert, E. G. Daniels, J. G. Pollock, provincial public school inspectors; W. H. Davison, North Vancouver; Mr. and Mrs. W. D. Kipp, Vancouver; Reeve R. M. Grauer, Richmond.

The Daily Province, April 21, 1934, page 18

# 3.0 STATEMENT OF SIGNIFICANCE

**NAME:** MacLeod Residence  
**ADDRESS:** 364 East 14th Street, North Vancouver, British Columbia  
**ORIGINAL OWNER:** Duncan P. Clark  
**FIRST RESIDENTS:** William Ray and Beulah Rossland MacLeod  
**BUILDER:** William Smith  
**DATE OF CONSTRUCTION:** 1921

## Description of the Historic Place

The MacLeod Residence, located at 364 East 14th Street in North Vancouver's historic Central Lonsdale neighbourhood, is a wood-frame interwar house with Craftsman influences. One and one-half storeys in height, the house is characterized by its prominent side-gabled roof, central shed roof dormer, and full-width verandah.

## Heritage Value of the Historic Place

Constructed in 1921, the MacLeod Residence is significant for its association with the economic recovery of the interwar period in North Vancouver, and for its Craftsman architecture.

During the early 1900s, the City of North Vancouver was often referred to as 'The Ambitious City', a name attributed to its tremendous growth and early prosperity. Lonsdale, the historic commercial core of North Vancouver, grew explosively, establishing a streetcar, ferry service to Vancouver, and the PGE railway, all of which converged at the foot of Lonsdale Avenue. Growth and development continued from the turn of the twentieth century until the general financial depression in 1913 halted the ambitious construction of the previous years. The MacLeod Residence is valued as an example of residential architecture constructed shortly after the First World War, as the community's economy was still in recovery. Construction of the house was commissioned in 1921 by the principal of

Lonsdale School, Duncan Clark, and was constructed by local contractor William Smith. The house was sold to fellow educator William Ray MacLeod, a World War One veteran and principal of Lynn Valley School, and his new wife Beulah; the couple remained in the home until 1924. Following the MacLeods, the house was owned by a series of working professionals, including the treasurer of a logging company, an accountant, and another school teacher. The MacLeod Residence represents the type of housing built during the interwar period when smaller-scale one and one-half storey houses in traditional styles were built on vacant lots.

The MacLeod Residence is valued as a very good example of the influence of the Craftsman style, the most popular housing style in the Lower Mainland in the early twentieth century. The Craftsman style was typified by rational space planning, the use of natural materials and a mix of traditional design elements inspired by the Arts and Crafts movement, such as picturesque rooflines, decorative brackets and a rich textural contrast of siding and shingles. Characteristic of the style, the design of this house includes an uninterrupted verandah with tapered verandah piers, exposed raftertails, triangular eave brackets and a variety of wooden siding types. The MacLeod Residence illustrates the gradual economic recovery that followed the end of the First World War, and also the persistence of the Craftsman style.



### **Character-Defining Elements**

The elements that define the heritage character of the MacLeod residence are its:

- original location on East 14th Street in the Central Lonsdale neighbourhood of North Vancouver;
- siting on a corner lot with mature landscaping;
- continuous residential use since 1921;
- residential form, scale and massing as expressed by its: one and one-half storey height with prominent side-gabled roof, and full-width verandah accessed by a flight of steps;
- wood-frame construction with a variety of siding types including cedar shingles and narrow lapped wooden siding;
- features of the Craftsman architectural style including: overhanging eaves with exposed raftertails and triangular eave brackets; pointed bargeboards; full-width front verandah with square wooden columns at each corner and square newel posts on either side of the staircase; shingle clad tapered verandah piers; decorative open verandah balustrade; closed low stair balustrade; central shed roof dormer on front elevation and central shed roof wall dormer on rear elevation; wooden bellyband; and bellcast cedar shingle cladding of the main body with narrow lapped wooden siding on the foundation level;
- wooden-sash and frame windows including: single, paired, and tripartite casement and double-hung assemblies with bellcast shingles above each frame on the main body; and
- masonry elements including its concrete foundation, and internal central red brick chimney.

# 4.0 CONSERVATION GUIDELINES

## 4.1 STANDARDS AND GUIDELINES

The MacLeod Residence is an A-listed building on the municipal heritage register and is a significant historical resource in the City of North Vancouver. The Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the work proposed for the MacLeod Residence includes aspects of preservation, rehabilitation and restoration.

**Preservation:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

**Restoration:** *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**Rehabilitation:** *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the MacLeod Residence should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

## STANDARDS

### Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

## 4.0 CONSERVATION GUIDELINES

### Additional Standards relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

### Additional Standards relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## 4.2 CONSERVATION REFERENCES

The proposed work entails the preservation, restoration and rehabilitation of the exterior of the MacLeod Residence and the rehabilitation of the surrounding site. The following conservation resources should be referred to:

*Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2010.  
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

### National Park Service, Technical Preservation Services. Preservation Briefs:

*Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

*Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

*Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

*Preservation Brief 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/37-lead-paint-hazards.htm>

*Preservation Brief 39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/39-control-unwanted-moisture.htm>

*Preservation Brief 45: Preserving Historic Wooden Porches.*  
<http://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

## 4.0 CONSERVATION GUIDELINES

### 4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation of the exterior balconies and surrounding site to increase the site's functionality for continued residential use. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored. A new infill structure is proposed to the rear of the historic residence, and the original garage will be removed.

#### Proposed Redevelopment Scheme

The development scheme for this property has been prepared by Bradbury Architecture and Karl Wein Associates. The major proposed interventions of the overall project are to:

- preserve the historic structure in-place;
- remove the exterior main floor rear balcony;
- rehabilitate the front balcony by extending to the west; and
- demolish the existing garage to accommodate construction of a new duplex infill structure to the rear of the site.

Due to the proposed new infill building on site, all new visible construction will be considered a modern addition to the historic structure. The *Standards & Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.
- The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.

An addition should be subordinate to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.

Additions or new construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

### 4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, *Building Resilience: Practical Guidelines for the Retrofit and Rehabilitation of Buildings in Canada* that is "intended to establish a common pan-Canadian 'how-to' approach for practitioners, professionals, building owners, and operators alike."

The following is an excerpt from the introduction of the document:

*[Building Resilience] is intended to serve as a "sustainable building toolkit" that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a*



## 4.0 CONSERVATION GUIDELINES

*useful set of best practices, the guidelines in **Building Resilience** can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.*

*These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners, custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.*

***Building Resilience** is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced consideration of heritage value and sustainable rehabilitation measures.*

***Building Resilience** can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the *Standards and Guidelines for the Conservation of Historic Places in Canada*.*

### 4.5 ALTERNATE COMPLIANCE

As a listed building on the Municipal Heritage Register, the MacLeod Residence may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following municipal legislation.

#### 4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the “Alternative Compliance Methods for Heritage Buildings.”

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

#### 4.5.2 ENERGY EFFICIENCY ACT

The provincial Energy Efficiency Act (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

## 4.0 CONSERVATION GUIDELINES

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards & Guidelines for the Conservation of Historic Places in Canada* for further detail about “Energy Efficiency Considerations.”

### 4.5.4 HOMEOWNER PROTECTION ACT

The Homeowner Protection Act was implemented in 1998 as a means to strengthen consumer protection for the purchase of new homes. The act was passed following a commission of enquiry into the leaky condo crisis, and was intended on protecting homeowners by ensuring home warranty insurance was provided on new construction, covering two years on labour and materials, five years on the building envelope and 10 years on the structure of the home. As the Act was intended to regulate new construction, considerations were not taken of buildings that have remained in sound condition for a many number of years that already far exceeded what the HPA requires for a warranty on a new home. The act did not take into consideration the protection of heritage projects, and consequently resulted in the loss of significant heritage fabric through the requirement of new windows and rainscreen wall assemblies on residential heritage rehabilitation projects. An example being the requirement to remove original wooden siding that has successfully protected the building for 100 years, and replace it with a rainscreen assembly that is only warrantied for five years. Not only was valuable heritage fabric lost, but new materials will likely not last nearly as long as the original.

Amendments to the Homeowner Protection Act Regulation made in 2010 allow for exemptions for heritage sites from the need to fully conform to the BC Building Code under certain conditions, thus removing some of the barriers to compliance that previously conflicted with heritage conservation standards and guidelines. The changes comprised:

1. an amendment to the Homeowner Protection Act Regulation, BC Reg. 29/99 that allows a warranty provider, in the case of a commercial to residential conversion, to exclude components of the building that have heritage value from the requirement for a warranty, and
2. clarification of the definition of ‘substantial reconstruction.’ The latter clarification explains that 75% of a home must be reconstructed for it to be considered a ‘new home’ under the Homeowner Protection Act, thus enabling single-family dwelling to multi-family and strata conversions with a maximum of 75% reconstruction to be exempt from home warranty insurance. The definition of a heritage building is consistent with that under the Energy Efficiency Act.

The MacLeod Residence falls into the second category, as the proposed project involves retaining a high degree of the original structure and less than 75% of the house will be reconstructed. Consequently, this project is not considered a substantial reconstruction as per the amended definition in the Homeowners Protection Act, and will be exempt from the requirement of a warranty. This amendment will enable a higher degree of retention and preservation of original fenestration, siding and woodwork.

## 4.0 CONSERVATION GUIDELINES

### 4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the building is left vacant, it should be secured against unauthorized access or damage through the use of appropriate fencing and security measures. Additional measures to be taken include:

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened once the building is vacant?
- Have the following been removed from the interior: trash, hazardous materials such as inflammable liquids, poisons, and paints and canned goods that could freeze and burst?

The building should be protected at all times during construction work. Install monitoring devices to document and assess cracks and possible settlement of the facades, as required.

## 5.0 CONSERVATION RECOMMENDATIONS



A condition review of the MacLeod Residence was carried out during a site visit on May 28, 2019. The recommendations for the preservation, restoration and rehabilitation of the historic site are based on the site review and archival research that provide valuable information about the original appearance of the historic building.

The following chapter describes the materials, physical condition and recommended conservation strategy for the MacLeod Residence based on Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada*.

### 5.1 SITE

The McLeod Residence sits on a prominent corner lot at East 14th Street and Ridgeway Avenue in the City of North Vancouver. The house is recognized as a category A heritage resource on the Municipal Heritage Register. A part of the redevelopment of the site, the historic residence will be preserved in its original location and the rear garage will be demolished to accommodate construction of the proposed infill structure. The west and north sides of the house will be rehabilitated to accommodate the revised deck configuration while the street-fronting east and south sides of the house will be preserved.

All heritage resources within the site should be protected from damage or destruction at all times. Reference Section 4.6: Site Protection for further information.



## 5.0 CONSERVATION RECOMMENDATIONS



### Conservation Strategy: Rehabilitation

- Preserve the original location of the building. All rehabilitation work should occur within the property lines. Retain the main frontage on East 14th Street.
- Any drainage issues should be addressed through the provision of adequate site drainage measures.
- Carefully salvage relevant material from original garage for use on main house prior to demolition.
- Design a new infill structure to the north of the historic structure that is “physically and visually compatible with, subordinate to, and distinguishable from the historic place” as recommended in **Standard 11**.

### 5.2 FORM, SCALE & MASSING

The MacLeod Residence features a residential form, scale and massing as expressed by its one and one-half storey height with prominent side-gabled roof, and full-width verandah accessed by a flight of steps. As part of the scope of work, the overall form, scale and massing of the historic residence.

### Conservation Strategy: Preservation

- Preserve the overall form, scale and massing of the building.

## 5.0 CONSERVATION RECOMMENDATIONS

### 5.3 FOUNDATIONS

The historic residence sits on original concrete foundations, which will be retained in place as part of the redevelopment scheme. Careful attention should be executed to ensure the foundations are not damaged during adjacent construction work.

#### **Conservation Strategy: Preservation**

- Existing foundations should be preserved.
- If foundations are to be rehabilitated or new foundations are proposed in the future, concrete is a suitable material. New material should match original in appearance, as viewed from the exterior.
- In the event of any structural rehabilitation of the historic house, foundations should be reviewed by a Structural Engineer. Once condition is assessed, conservation recommendations can be finalized.

### 5.4 EXTERIOR WOOD-FRAME WALLS

The MacLeod house has been maintained in good condition and features a Craftsman architectural style. Character-defining exterior elements include the overhanging eaves with exposed raftertails and triangular eave brackets pointed bargeboards, full-width front verandah with square wooden columns



at each corner and square newel posts on either side of the staircase, shingle clad tapered verandah piers, decorative open verandah balustrade, closed low stair balustrade, central shed roof dormer on front elevation and central shed roof wall dormer on rear elevation, wooden bellyband, and bellcast cedar shingle cladding of the main body with narrow lapped wooden siding on the foundation level. As part of the scope of work, character-defining elements will be preserved, and repaired where required. Exterior siding on the rear elevation below deck and where deck will be removed should be restored to match existing.

#### **Conservation Strategy: Preservation**

- Due to the integrity of wood frame structure, the exterior walls should be preserved through retention and in-situ repair work.
- Preserve the original wood-frame structure of the historic building.
- Preserve original siding on all elevations. Exterior siding on the rear elevation below deck and where deck will be removed should be restored to match existing.
- Replace any damaged siding to match existing in material, size, profile and thickness. Utilize salvaged shingles from garage, where possible.
- At time of repainting, clean siding using approved heritage cleaning procedures.
- Cleaning procedures should be undertaken with non-destructive methods. Areas with biological growth should be cleaned using a soft, natural bristle brush, without water, to remove dirt and other material. If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as D/2 Biological Solution®) and a soft bristle brush. High-pressure power washing, abrasive cleaning or sandblasting should not be allowed under any circumstances.

#### *5.4.1 WOOD TRIM*

The house features original painted wood trim, which is in good condition and will be preserved. In locations where trim may be damaged or missing, new wood trim to match original in kind will be installed and painted to match existing.



## 5.0 CONSERVATION RECOMMENDATIONS



### Conservation Strategy: Preservation

- Any existing trim should be preserved, and new material that is visually physically compatible with the original should be reinstated when original fabric is missing. Combed and/or textured lumber is not acceptable. Hardi-plank or other cementitious boards are not acceptable

### 5.5 VERANDAH/ PORCH

The historic residence features a character-defining front verandah with original detailing. As part of the proposed redevelopment, the front verandah will be extended to the west and wrapped around the side of the house. Railing design should be compatible with but distinguishable from historic original.

Heritage homes were typified by a low balustrade of approximately 24" in height. To ensure the heritage character of the house is preserved, the restored balustrade design should reflect the original configuration. In order to restore the original balustrade height, alternate compliance measures should be explored, such as the use of metal pipe rail and glass panels to make up the remaining height to meet code requirements.

### Conservation Strategy: Rehabilitation

- Existing balustrade should be preserved.
- Existing low height of the balustrade should be retained, with alternate compliance methods utilized to achieve code height, if required.
- New possible alternative materials may be glass panels, metal pipe rails or a combination of both.
- New balustrade on west verandah extension should be compatible yet distinguishable from the historic original. To be reviewed by heritage consultant.

## 5.0 CONSERVATION RECOMMENDATIONS



### 5.6 FENESTRATION

*Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation.*

*— Standards and Guidelines for the Conservation of Historic Places in Canada.*

#### 5.6.1 WINDOWS

All windows on the MacLeod residence have previously been rehabilitated and appear to be in good condition. As part of the scope of work, windows will be preserved and repaired, as required. Any alterations or proposed new windows to be reviewed by heritage consultant.

##### **Conservation Strategy: Preservation**

- Inspect for condition and complete detailed inventory to determine condition of all windows.
- Retain existing window sashes; repair as required; install replacement matching sashes where missing or beyond repair.
- Preserve and repair as required, using in kind repair techniques where feasible.
- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.



#### 5.6.2 DOORS

All existing doors will be preserved with the exception of the rear patio door, which may be converted into a window.

##### **Conservation Strategy: Preservation and Rehabilitation**

- Retain the door openings in their existing locations, and preserve and repair all existing doors.
- Rehabilitate rear main-level door following removal of deck. Replace with window, as desired. Consider utilizing original window salvaged from garage.
- Any new doors should be visually compatible with the historic character of the building.



## 5.0 CONSERVATION RECOMMENDATIONS



### 5.7 ROOF

The MacLeod Residence features a prominent side-gabled roof with front and rear shed-roofed dormers. The original roof configuration will be retained, including all original trim and detailing. If desired, cedar shingles may be reinstated at time of roof replacement.

#### **Conservation Recommendation: Preservation**

- Preserve the roof structure in its current configuration, as expressed by its prominent side-gabled configuration with front and rear shed-roofed dormers.
- If required, roofing membrane and cladding system may be rehabilitated. At time of roofing replacement in the future, cedar shingles are the preferred material, but Duroid shingles or Aged Cedar Enviroshingles™ are also acceptable.

- Retain the original bargeboards and fascia boards, as well as the soffit any exposed roof elements.
- Ensure adequate rainwater disposal system and proper drainage from the site is maintained.

#### *5.7.1 CHIMNEY*

The house features one internal red brick chimney, which will be preserved.

#### **Conservation Recommendation: Preservation**

- Preserve the chimney in its original configuration.
- Investigate condition of brickwork. If required, brickwork may be repointed and cleaned using a natural bristle brush and mild rinse detergent.



## 5.8 INFILL HOUSE

A new duplex infill house is proposed for the rear of the site, facing Ridgeway Avenue. The new construction is distinguishable in form from the main house and features a compatible material palette.

### **Conservation Strategy: New**

- Infill house should not mimic historic appearance of the main house, and should be distinguishable.
- Asphalt shingles are acceptable for new construction, and should be grey or black 3-tab shingles, preferably.
- Colour scheme should be compatible with, but different from, the historic MacLeod Residence.

## 5.9 COLOUR SCHEDULE

The house has been repainted, which appears to be in good condition. A restoration colour scheme will be developed in conjunction with the project architect, and may be adopted at time of repainting, if desired.

The building displays areas where there was original applied paint. The final colour scheme will be based on a colour palette that will be determined by sampling. Onsite testing will be carried out once access is available, and paint samples assessed by microscopic analysis in order to reveal the original colour scheme of the structure.

### **Conservation Strategy: Restoration**

- Determine an appropriate historic colour scheme for exterior painted finishes.

# 6.0 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the MacLeod Residence. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the MacLeod Residence is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

## 6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. As defined by the *Standards & Guidelines*, maintenance is defined as:

*Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.*

The assumption that newly renovated buildings become immune to deterioration and require

less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

## 6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

## 6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards & Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as concrete and stucco wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.



### 6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. – must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

### 6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building. From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then be entered in a log book so that corrective action

can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

### 6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

#### 6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building.



## 6.0 MAINTENANCE PLAN

Routine maintenance work should be noted in the maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

### 6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

#### 6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the MacLeod Residence, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

#### EXTERIOR INSPECTION

##### Site Inspection:

- ☐ Is the lot well drained? Is there pooling of water?
- ☐ Does water drain away from foundation?

##### Foundation

- ☐ Moisture: Is rising damp present?
- ☐ Is there back splashing from ground to structure?
- ☐ Is any moisture problem general or local?
- ☐ Is spalling from freezing present? (Flakes or powder?)
- ☐ Is efflorescence present?
- ☐ Is spalling from sub-fluorescence present?
- ☐ Is damp proof course present?
- ☐ Are there shrinkage cracks in the foundation?
- ☐ Are there movement cracks in the foundation?
- ☐ Is crack monitoring required?
- ☐ Is uneven foundation settlement evident?

##### Wood Elements

- ☐ Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- ☐ Is wood in direct contact with the ground?
- ☐ Is there insect attack present? Where and probable source?
- ☐ Is there fungal attack present? Where and probable source?
- ☐ Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- ☐ Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
- ☐ Is any wood warped, cupped or twisted?
- ☐ Is any wood split? Are there loose knots?
- ☐ Are nails pulling loose or rusted?
- ☐ Is there any staining of wood elements? Source?

## 6.0 MAINTENANCE PLAN

### Condition of Exterior Painted Materials

- ☐ Paint shows: blistering, sagging or wrinkling, alligating, peeling. Cause?
- ☐ Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- ☐ Paint cleanliness, especially at air vents?

### Verandahs / Porches:

- ☐ Are steps safe? Handrails secure?
- ☐ Do any support columns show rot at their bases?
- ☐ Attachment – are porches, steps, etc. securely connected to the building?

### Windows

- ☐ Is there glass cracked or missing?
- ☐ Are the seals of double glazed units effective?
- ☐ If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- ☐ If the glass is secured by beading, are the beads in good condition?
- ☐ Is there condensation or water damage to the paint?
- ☐ Are the sashes easy to operate? If hinged, do they swing freely?
- ☐ Is the frame free from distortion?
- ☐ Do sills show weathering or deterioration?
- ☐ Are drip mouldings/flushing above the windows properly shedding water?
- ☐ Is the caulking between the frame and the cladding in good condition?

### Doors

- ☐ Do the doors create a good seal when closed?
- ☐ Are the hinges sprung? In need of lubrication?
- ☐ Do locks and latches work freely?
- ☐ If glazed, is the glass in good condition? Does the putty need repair?
- ☐ Are door frames wicking up water? Where? Why?
- ☐ Are door frames caulked at the cladding? Is the caulking in good condition?
- ☐ What is the condition of the sill?

### Gutters and Downspouts

- ☐ Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- ☐ Are downspouts complete without any missing sections? Are they properly connected?
- ☐ Is the water being effectively carried away from the downspout by a drainage system?
- ☐ Do downspouts drain completely away?

### Roof

- ☐ Are there water blockage points?
- ☐ Is the leading edge of the roof wet?
- ☐ Is there evidence of biological attack? (Fungus, moss, birds, insects)
- ☐ Are flashings well seated?
- ☐ Does the soffit show any signs of water damage? Insect or bird infestation?

## 6.7.2 MAINTENANCE PROGRAMME

### INSPECTION CYCLE:

#### Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

#### Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

## 6.0 MAINTENANCE PLAN

### **Annually (Spring)**

- Inspect concrete for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

### **Five-Year Cycle**

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

### **Ten-Year Cycle**

- Check condition of roof every ten years after last replacement.

### **Twenty-Year Cycle**

- Confirm condition of roof and estimate effective lifespan. Replace when required.

### **Major Maintenance Work (as required)**

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.

# APPENDIX A: RESEARCH SUMMARY

Name: MacLeod Residence

Address: 364 East 14th Street, North Vancouver, British Columbia

Original Owner: Duncan P. Clark

First Residents: William Ray and Beulah Rossland MacLeod

Builder: William Smith

Date of Construction: 1921

## Building Permit:

- City of North Vancouver Building Permit Number: 1743; 1921; Owner D.P. Clark; contractor W. Smith; House: value \$3000; Lot 14, Block 52, District Lot 550

## Directories:

1921: no entry  
1922 - 1924: MacLeod William Ray  
1925 - 1926: W.H. Brown, Sec. Treas. Campbell Logging  
1927 - 1929: J.S. McKenzie, accountant, Capilano Timber  
1930: H.L.O Pearson, schoolteacher  
1931: vacant  
1932 - 1933: T.D. Edwards  
1934: vacant  
1935 - 1937: Mrs. C. A. Adams  
1938 - 1939: Arthur P. Croker, district rep. BCER

## Vital Events:

- Death Registration: William Ray MacLeod; April 14, 1934; Pouce Coupe; BC Archives Reg. #1934-09-495916
- Death Registration: Beulah Roseline Macleod; March 19, 1978; North Vancouver; BC Archives Reg. #1978-09-005140
- Marriage Registration: William Ray Macleod & Beulah Rossland Champion; Marpole; July 7, 1921; BC Archives Reg. #1921-09-235386

## Attestation Papers:

- Library & Archives Canada: Soldiers of the First World War CEF: MACLEOD, WILLIAM RAY; Regimental number(s): 911908, Reference: RG 150, Accession 1992-93/166, Box 7097 – 26; Date of Birth: 25/06/1892



December 16, 2019

Mr. Karl Wein  
Karl Wein & Associates  
1451 Marine Drive  
West Vancouver, BC V7T 1B8

Dear Karl:

**Re: 364 East 14<sup>th</sup> Street, MacLeod Residence**

At their regularly scheduled meeting on December 3, 2019, the Heritage Advisory Commission received a presentation from yourself regarding the above mentioned. Following review and discussion, the following motion was made:

THAT, the Heritage Advisory Commission, having reviewed the presentation from Karl Wein and Robert Bradbury on 364 East 14<sup>th</sup> Street (MacLeod Residence), supports the project subject to the resolution of the following items to the satisfaction of City staff:

- a. Ensure consistency between the Heritage Conversation Plan, Landscape Plan and architectural plans;
- b. Confirm that there is adequate privacy achieved between the upper story bedrooms of each building;
- c. Further explore the colour palette for the infill building, perhaps by referring to the Benjamin Moore colour palette, so that a lighter palette and complementary colour for the infill building can be achieved.

FURTHER, the Commission wishes to note that their support is subject to the legal protection of the heritage house, following the recommendations of the Heritage Conversation Plan.

**CARRIED UNANIMOUSLY**

The recommendations of the Heritage Advisory Commission do not, in any way, represent Council and/or staff approval or rejection of this proposal.

Yours truly,



Edytha Barker  
Committee Clerk/Secretary

c: M. Friesen, Planner, City of North Vancouver  
K. Graham, City Clerk, City of North Vancouver  
R. Bradbury, Bradbury Architecture

# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8904

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8904**” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street, CD-750).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-750 (Comprehensive Development 750 Zone):

Lots	Block	D.L.	Plan	
14	52	550	1363	from RS-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-749 Comprehensive Development 749 Zone”:

“CD-750 Comprehensive Development 750 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-749 Comprehensive Development 749 Zone”:

“CD-750 Comprehensive Development 750 Zone”

In the CD-750 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) Two Principal Buildings shall be permitted on one Lot;
- (2) Gross Floor Area:
  - (a) Shall not exceed 0.5 times the Lot Area;
  - (b) Recycling and garbage storage for private use and held in private ownership may be excluded from Gross Floor Area (one-Unit and Two-Unit Residential);
- (3) Three Primary dwelling units shall be permitted on the Lot;
- (4) Two Accessory Secondary Suite uses are permitted on the Lot;

- (5) Lot Coverage shall not exceed 37%;
- (6) Principal Buildings shall be sited as in the RT-1 zone, except that:
  - (a) The Principal Buildings shall be sited not less than 6.48 metres (21.26 feet) from the rear lot line (northern boundary);
- (7) Accessory buildings shall be sited per section 514 (5), except that:
  - (a) the Accessory buildings shall not be sited less than 0.2m (0.6 feet) from the interior Side Lot Line.
- (8) Section 906(3)(b), Parking Space setback from Lot Lines, shall be waived.

READ a first time on the <> day of <>, 2022.

READ a second time on the <> day of <>, 2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8905

**A Bylaw to Designate a Municipal Heritage Site**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Heritage Designation Bylaw, 2022, No. 8905**” (Karl Wein / Bradbury Architecture, 364 East 14<sup>th</sup> Street).
2. Pursuant to the *Local Government Act*, the following lands, buildings and structures are, in their entirety, designated as a protected heritage property:

**Street Address:** 364 East 14<sup>th</sup> Street, North Vancouver

**Common Name / Description:** MacLeod Residence

**Legal Description:** LOT 14, EXCEPT THE NORTH 10 FEET NOW  
LANE, BLOCK 52 DISTRICT LOT 550 PLAN 1363  
PID 009-773-797

3. Pursuant to the *Local Government Act*, this bylaw requires adherence to the City of North Vancouver’s “Heritage Conservation Procedures Bylaw, 2013, No. 8292”.

READ a first time on the <> day of <>, 2022.

READ a second time on the <> day of <>,  
2022.

READ a third time on the <> day of <>, 2022.

ADOPTED on the <> day of <>, 2022.

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MAYOR




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CORPORATE OFFICER



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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING & DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION FOR 1536-1550 EASTERN AVENUE  
(KENWOOD APARTMENTS / RAFII ARCHITECTS INC.) AND  
ZONING TEXT AMENDMENT FOR 1629 ST. GEORGES AVENUE (CD-  
603)

Date: March 16, 2022 File No: 08-3400-20-0038/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Development Planner, dated March 16, 2022, entitled "Rezoning Application: 1536-1550 Eastern Avenue (Kenwood Apartments Ltd. / Rafii Architects Inc.) and Text Amendment: 1629 St. Georges Avenue (CD-603)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892" (Kenwood Apartments Ltd., Inc. No. 0759503 / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743 and text amendment: 1629 St. Georges Avenue, CD-603) be considered and referred to a Public Hearing;

THAT "Housing Agreement Bylaw, 2022, No. 8893 (Kenwood Apartments Ltd., Inc. No. 0759503 / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT the community benefits listed in the report, in the section "Density Bonus and Community Benefits" be secured, through agreements at the applicant's expense and to the satisfaction of staff.

## ATTACHMENTS

1. Context Map (CityDocs [2076511](#))
2. Project Summary Sheet (CityDocs [2138389](#))
3. Architectural and Landscape Plans, dated February 2022 (CityDocs [2154891](#))
4. City Policy Description (CityDocs [2156727](#))
5. Public Consultation Summary (CityDocs [2113295](#))
6. Tenant Relocation Plan (CityDocs [2153982](#))
7. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892" (CityDocs [2089959](#))
8. "Housing Agreement Bylaw No. 8893 (CityDocs [2138430](#))

## PURPOSE

The purpose of this report is to present a rezoning application for 1536-1550 Eastern Avenue to amend the Zoning Bylaw to permit a 13-storey apartment building with 107 residential rental units, two child care staff accommodation units, one guest suite, and a 180-space child care facility, all over two levels of underground parking.

Included in the proposal is a transfer of density from a private property at 1629 St. Georges Avenue to the subject site to facilitate the proposed development.

The proposal would replace the existing two apartment buildings containing a total of 34 rental units that were built in the 1960s.

## BACKGROUND

Applicant:	Brad Nelson
Architect:	Rafii Architects Inc.
Official Community Plan Designation:	Residential Level 6 (R6)
Existing Zoning:	Medium Density Residential 1 (RM-1)
Applicable Policies:	<ul style="list-style-type: none"><li>• 2014 Official Community Plan</li><li>• City's Strategic Plan</li><li>• Zoning Bylaw, 1995, No. 6700</li><li>• Density Bonus and Community Benefits Policy</li><li>• Residential Tenant Displacement Policy</li><li>• Housing Action Plan</li><li>• Child Care Action Plan</li><li>• Active Design Guidelines</li></ul>

## DISCUSSION

### Site Context and Surrounding Uses

The subject site is in the Central Lonsdale area of the city, along the eastern side of Eastern Avenue between East 17<sup>th</sup> Street to the north, and East 15<sup>th</sup> Street to the south

(Attachment #1). The area consists of high density residential and mixed-use buildings, and one- and two-storey commercial buildings along Lonsdale Avenue, which is one block west.

Two lanes border the site with an east-west lane along the southern edge of the site and a north-south lane to the east. To the north of the site is the forthcoming 1600 Eastern Avenue Park that was a part of the recent development at 143 East 17<sup>th</sup> Street.

The applicant is proposing a land dedication along a portion of its easterly lane frontage (from the northern end of the parkade access to the northern property line). This is intended to facilitate a public walkway adjacent to the lane that would connect with the new park space to the north of the site.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

**Table 1. Surrounding Uses**

Direction	Address	Description	Zoning
North	143 East 17 <sup>th</sup> Street	13 storey apartment building, separated by a public park.	CD-403
South	136 East 15 <sup>th</sup> Street	7 storey mixed-use building	CD-176
South	150 East 15 <sup>th</sup> Street	12 storey apartment building	CD-111
East	1565 St. Georges Avenue	3 storey apartment building	RM-1
East	1549 St. Georges Avenue	4 storey apartment building	CD-660
East	1535 St. Georges Avenue	3 storey townhouse building	RM-1
West	1555 Eastern Avenue	14 storey apartment building	CD-172
West	112 East 15 <sup>th</sup> Street	14 storey mixed-use building	CD-111

## Project Description

The proposal is for a 13-storey residential development with the first two floors mainly dedicated to the proposed child care space, with most of the residential units located within the tower portion. The building will cover the two levels of underground parking for residents, their visitors and the child care use (Attachment #3).



Access to the residential tower is along Eastern Avenue with the main lobby giving access to a common meeting room, mail/parcel room, stairs and elevators, and the recycling/garbage room. Through the main residential lobby off Eastern Avenue, the primary stairs leading to the upper floors are easily seen before one sees the elevator; the intent of this arrangement is to encourage active use of the staircase.

A loading bay is located off the rear lane to the east. The lane along the south provides direct outdoor access to five of the rental units and a guest suite through their own porches via a raised walkway within the property. The remainder of the main floor is for a portion of the child care space dedicated for pre-school programs. A separate entrance to the child care facility is proposed along Eastern Avenue, to the north of the main resident entrance. Four separate rooms for pre-school programs are proposed along with an amenity room. These rooms have direct access to the outdoor space at the northern side of the property adjacent to the public park. The outdoor space is separated by a six-foot-tall timber fence, which would sit on top of a two-foot-high retaining wall.

The second-floor space is dedicated for infant/toddler child care programs, with separate rooms for indoor use and direct access to a balcony for outdoor use.

The third floor includes two fully furnished staff accommodation units that can each house up to four child care staff members. Each unit would share common living, kitchen and laundry facilities while providing individual bedrooms and bathrooms. These units would be managed by the child care provider.

The proposal includes partially enclosed balconies for the residential units. Public realm improvements would be provided along both Eastern Avenue and the bordering laneways, and would be secured through a Servicing Agreement should the project proceed.

#### *On-Site Amenities*

The applicant is proposing several on-site amenities for the development. The ground floor would house a common meeting room while the fourth floor proposes an outdoor deck on the north side for exercising and lounging, and has a pet relief area. Next to the roof deck are indoor amenities such as a common gym and a games room. The rooftop proposes a multi-purpose amenity room next to an outdoor deck that is large enough to accommodate a variety of uses for residents, including an area for outdoor gardening.

#### *Rental Housing*

The applicant is proposing a total of 107 apartment units for the project, with 96 market units, 11 mid-market units. Additionally, two units for child care staff housing and one studio guest suite for short-term rentals for guests of the tenants. The proposed breakdown of residential units by type is as shown in Table 2 following.

**Table 2. Proposed Unit Breakdown**

Unit Type	Number of Units	Size
Studio	22	38.2 – 43.2 sq. metres (411 - 465 sq. ft.)
1-Bedroom	62	43.5 – 54.5 sq. metres (468 – 587 sq. ft.)
2-Bedroom	12	64.2 – 70.2 sq. metres (691 – 756 sq. ft.)
3-Bedroom	11	75.4 – 88.4 sq. metres (859 – 951 sq. ft.)
Child Care Staff Units (managed by the child care operator)	2	12.3 sq. metres (1,360 sq. feet)
Studio Guest Suite	1	40.7 sq. metres (438 sq. ft.)

In accordance with City policies, of the proposed rental units, eleven are proposed as mid-market units, proportionally reflecting the overall unit mix in the building (two studio units, seven one-bedroom units, one two-bedroom unit, and one three-bedroom unit).

The applicant is proposing 27 of the rental units meet Level 2 adaptability, meeting the minimum requirements. The distribution will reflect the unit mix. The remaining units are to meet Level 1.

The rental tenure and the MMR units will be secured in perpetuity through a Housing Agreement (Attachment #8). Clauses in the draft Housing Agreement (Attachment 8) are included to reflect the forthcoming updates to MMR eligibility criteria, including priority to tenants who live or work in the City of North Vancouver; priority to families for units that have two or more bedrooms, and a minimum advertisement period of one month on two common rental property search platforms when the MMR units first become available.

#### *Residential Tenant Displacement Policy*

The applicant has obtained a private company to manage the relocation of existing tenants. A letter was sent out to the tenants prior to the application being filed with the City on September 21, 2020, to introduce the plans for the property. Further information was provided to the tenants on June 30, 2021 that included a possible timeline of events occurring and outlined one-on-one meetings with the relocation coordinator, as well as information on the applicant's VDIS meeting and how they could participate. Communication with tenants is ongoing.

The applicant has offered all tenants financial assistance, as well as relocation services in accordance with Policy (Attachment #6). In terms of financial assistance, in addition to all tenants being offered \$1,000 relocation expenses for a one-bedroom unit and \$1,250 for a two-bedroom unit, three months rent is being provided and notifications for first rights of refusal for the mid-market units in the new building has been communicated.

These provisions meet the expectations of the City's Residential Tenancy Displacement Policy from 2015. While an updated Residential Tenant Displacement Policy was adopted in July 2021, the updated policy applies only to rezoning applications submitted after July 12, 2021.

At the time of this report, the applicant informed staff that, of the residents of the existing 34 units, seven have relocated, with only one using the relocation services at this time and has moved within the city. Others have relocated on their own based on each individual circumstance, such as relocated out of the region or country due to work, or family situations. No one at this time has expressed an interest in renting a Mid-Market Rental unit in the new building. An update on the status of tenant relocation can be provided should Council move the application forward.

Under the provincial *Residential Tenancy Act*, the earliest the applicant may issue notice to end tenancy is when all permits have been issued for the development. The notice shall be a minimum of four months' notice.

#### *Child Care*

The applicant is proposing a privately-run child care facility for up to 180 children, including both infant/toddler and pre-school programs. The facility would be housed on the first two floors of the development with pre-school programs located on the ground floor and infant/toddler programs on the second floor. A separate access to the facility is provided along Eastern Avenue, to the north of the main residential entrance. Access is also provided from a dedicated elevator that is located on the top underground parkade level. Outdoor activity space is proposed on both floors of the facility, with one along the northern edge of the property connecting directly to the rooms on the ground floor. Outdoor balconies on the second level connect directly to the infant/toddler rooms.

At the time of writing this report, the applicant has been discussing these plans with two potential child care providers who each have established facilities elsewhere in the region. They have also been in contact with Vancouver Coastal Health regarding licensing requirements. In designing the facility, the applicant and the potential operators stated that they not only aim to meet the minimum requirements of Vancouver Coastal Health, but also consulted the City of Richmond's Childcare Design Guidelines, which the City of North Vancouver refers to as a best practice tool for new City-owned facilities.

Child Care Use is permitted in all the city's residential areas. While there is a high demand for child care spaces across the city, there is a particularly acute need in the Central Lonsdale area, given the current number of dwelling units, as well as the anticipated increase of residential units in this area. The proposal would allow sufficient outdoor space for the children in their designated areas within the site so they would not be dependent on the adjacent public park for their daily use. Pick-up and drop-off areas located in the underground parkade would mitigate noise during these times, and it is anticipated that some users would be arriving from nearby residential buildings on foot or using public transit. Under the City's 2020 Child Care Action Plan, a need for 299 new infant and toddler spaces and 300 new pre-school spaces for the next 10 years



have been established for the City. This proposal, if approved, would make a significant contribution to the City's child care spaces target.

The applicant is not seeking the 1.0 FSR density bonus to be a part of the proposed child care component.

The applicant is proposing two units within the proposal for staff accommodation for up to eight staff members of the child care facility. The applicant is proposing each unit to be fully furnished and would accommodate four people in a shared accommodation arrangement, such as a shared living, kitchen and laundry facilities, but each tenant would have their own private bedroom and full bathroom. Management of these units is to be provided by the chosen child care provider and tenancy would be conditional of employment of the child care facility. Should the units not fit with the plans of the child care provider, they may be placed in the general rental pool. Conversion for rentals less than month-to-month would not be allowed.

## **PLANNING ANALYSIS**

### *Policy Alignment*

The subject site is designated Residential Level 6 (R6) in the Official Community Plan (OCP). The designation is to provide well-designed high-density development in the Lonsdale Regional City Centre. It supports a maximum density of 3.30 FSR, including a 1.0 FSR density bonus in accordance with Schedule A Land Use map.

The applicant is proposing a density transfer of 0.15 FSR or 338.7 square metres (4,184.0 square feet) from a nearby site at 1629 St. Georges Avenue to increase the allowable FSR to 3.45. The transfer is a private arrangement where the available density is being held in a transfer bank on the donor's property and cannot be used as part of the development on that property.

As the proposal meets the requirements of the OCP, no amendment to the OCP is necessary.

A full description of how the proposed development meets the City's policy objectives can be found in Attachment #4.

### *Zoning Bylaw Variances*

The subject site is zoned "Medium Density Apartment Residential 1 (RM-1)" under the Zoning Bylaw, which would allow a building up to three storeys on the property and limits the maximum allowable density to 1.60 FSR. This proposal will require an amendment to the Zoning Bylaw to permit the proposal and is reflected in "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw No. 8892" (Attachment #7).

Using the RM-1 Zone as a base, the proposal requires the following special provisions be incorporated into the new Comprehensive Development Zone:



- Set the maximum allowable density to 3.30 FSR by entering into a Housing Agreement with the City to secure rental housing in perpetuity, as well as providing eleven mid-market units, also in perpetuity;
- Securing a transfer of density of 388.7 square metres (4,184 square feet) from 1629 St. Georges Avenue. This would increase the total allowable density for the proposal by 0.15 FSR to achieve 3.45 FSR;
- Allow a maximum Building Height not exceeding 37.0 metres (121.4 feet);
- Allow the maximum Lot Coverage to increase from the maximum 50% to 58% of the lot area;
- Increase the maximum number of children in a Child Care Use in a residential area from 20 to 180 children at one time;
- Allow the proposed building setbacks from the property lines; and
- Allow a small variance to the building length and width of the proposal.

A summary comparing the zoning requirements to the proposal is shown in Attachment #2.

#### *Density*

The proposed density is 3.45 FSR and consists of two components.

1. The OCP permits a maximum base density of 2.3 FSR in the Residential Level 6 land use designation, with the potential of an additional 1.0 FSR density bonus should the applicant commit through the signing of a Housing Agreement to secure all the units as rental, as well as provide at least 10% of the units for Mid-Market (or below market rental as outlined in the Density Bonus and Community Benefits policy) for a total of 3.3 FSR. The applicant has signed the Housing Agreement (Attachment #8), meeting the requirement of policy.
2. There is a transfer of density from 1629 St. Georges Avenue of 388.7 square metres (4,184 square feet) through a private financial arrangement. This would add 0.15 FSR to the proposal without adding any overall density within the City.

The building at 1629 St. Georges Avenue is a four-storey apartment building completed in 2013. To help finance the project, the Council of the day supported the establishment of a density bank for the site. The supported density could not be used for a building on the property, and can only be sold to another project. This created the financial stability for that project to be completed.

Staff feel this is a suitable location for the density transfer as it does conform with the OCP as the density would not increase the overall density within the city, and the Density Bonus and Community Benefits Policy as the donor site is located from a nearby site. Both the OCP and the Density Bonus and Community Benefits Policy require that a Public Hearing be held for the density transfer.

Should Council support the proposed application with the density transfer, the CD-603 Zone would also be amended to remove the density bank portion of the zone, as the amount being transferred is the same that was initially established.

### *Maximum Building Height*

In addition to the Residential Level 6 OCP land designation that specifies density limits, the site is also subject to a height limit above the maximum of the current RM-1 Zone to 37 metres (121.4 feet). The proposal meets these limits.

### *Lot Coverage*

A variance to the site coverage is required to allow the proposed building footprint to be 58% of the site area, instead of the maximum of 50% in the Zoning Bylaw. This is considered a minor variance and similar relaxations have been applied elsewhere.

### *Maximum Child Care numbers*

While Child Care Use is permitted in all residential areas of the city, the Zoning Bylaw limits the number of children in a single facility to 20 in residential areas. The intent of this limit is to allow small licensed family childcares in primarily low density detached residential areas.

The proposed increase to 180 is supported based on the mixed use high density context, and the need for child care spaces in the Central Lonsdale area given the number of current and anticipated dwelling units in the area. Currently, there are four similar facilities within 500 metres of the subject site, each at full capacity. It should also be noted that the location of the subject site is across from mixed-use designations where this 20-child limit would not apply, and no variance would be required.

Potential noise mitigation (children playing outside) and pick-up and drop-off traffic have been carefully thought through the overall building design (see Project Description section for details).

### *Building Setbacks*

The proposed development is requesting a relaxation to some of the setbacks set in the RM-1 Zone, specifically along the front along Eastern Avenue and the eastern setback.

The proposed relaxations are considered appropriate, as they mainly stem from the bottom two floors that contain the proposed child care facility, with the remaining floors consisting of the residential tower stepping back from the street. The proposed 2.0 metre setback from Eastern Avenue will help provide a positive street front with a good presence along Eastern Avenue. The rear setback of 2.5 metres (8.1667 feet) along the east side is caused by the location of the child care space on the first two floors with the remainder of the building at a greater distance from the property line.

### *Building Width and Length*

A variance is required, as the width of the tower section of the proposal exceeds the maximum allowed by approximately 2.5 metres (8.3 feet). The variance is considered minor and has been applied to other tower projects in the city.

### *Parking, Loading and Circulation*

The development is located within the Lonsdale Regional City Centre, within walking distance to shops and amenities. The site is less than a block from two different routes on the Frequent Transit Network: Lonsdale, providing a frequent link along Lonsdale

and to the SeaBus, and 15th Street providing a link to Lynn Valley, Marine Drive and Downtown Vancouver. The site is a block from the City's developing AAA bicycle network on 17<sup>th</sup> Street bike route. From its location residents and day care users will have multiple active transportation and transit options to access the site.

Vehicle parking is proposed to be accommodated in a one and one-half level underground parking structure, accessed from the rear lane to the east of the site. Level P1 accommodates parking for residents, as well as visitors and dedicated parking for the child care use. The visitor parking and child care stalls are located on the same level and it would be possible for these to be shared during peak pick-up and drop-off times. The level also provides mechanical rooms and space for secured bicycle parking, including 15 spaces for e-bikes, provided and maintained by the applicant, that are available for use by tenants of the building, as well as child care staff. Level P2 houses resident parking, as well as storage rooms for tenants.

One loading bay is proposed off the lane to the east of the site, adjacent to the parkade access.

The submitted transportation analysis from the applicant's consultant included a signal warrant analysis that a new traffic light at the St. Georges and East 17<sup>th</sup> Street intersection is required. To assist in the installation, the applicant has agreed to contribute \$220,000 towards the installation of this new traffic light and would be conditional upon rezoning adoption. Additional contributions from other applicants whose projects are also in the area will be making their own contributions towards this light installation.

#### *Public Realm Improvements*

Frontage works along Eastern Avenue will improve the pedestrian environment through the installation of a wider sidewalk and a grassed and treed boulevard separating the sidewalk and the street. A landscaped area fronting the building between the main and child care entrances would add to the pedestrian experience. The lane to the south will also be improved through a dedicated sidewalk fronting the townhouse units fronting the lane. A raised patio at the entrance of each unit is separated from the sidewalk by a raised planter to give each patio a semi-private appearance.

#### ***Density Bonus and Community Benefits***

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the Official Community Plan, allows for density bonuses beyond 2.3 FSR in the Residential Level 6 land use designation, up to a maximum of 3.3 FSR.

The proposed density transfer from the other property is not considered in this policy.

The policy provides several community benefit options for projects seeking additional density and seeks to ensure the City receives value for additional density granted. The value could be in the form of a cash contribution or some form of amenity, such as an all-rental apartment building to be secured in perpetuity, plus a form of below market housing in accordance with the City's Housing Action Plan. In this case, to achieve the



desired 1.0 FSR bonus density, the applicant has agreed to secure, through the registration of a Housing Agreement (Attachment #8), all proposed 107 units as rental units in perpetuity, as well as to provide eleven of these units at Mid-Market rates (rates below market levels) also in perpetuity.

As the Density Bonus and Community Benefits Policy recognizes rental and affordable rental dwelling units as an acceptable public amenity, any cash contribution for the density bonus that is generally required for a non-rental project is waived.

For example, if the applicant was proposing these units for sale as a strata development project, the Density Bonus and Community Benefits Policy would value this density bonus at approximately \$5.8 million, as outlined in the Table 3 below.

**Table 3. Estimated Value of Community Benefits through Density Bonusing**

Density Value Calculation	Value
Density Bonus to 2.3 FSR / OCP Density (194,500 square feet @ \$25 / sq. ft.)	\$487,500
Density Bonus to 3.3 FSR Max Bonus (27,586 square feet @ \$190 / sq. ft.)	\$5,292,640
<b>Total Value of Community Benefits</b>	<b>\$5,780,140</b>

Instead of this amount, and consistent with the Density Bonusing and Community Benefits Policy, the City's total rental housing stock would receive 107 rental apartment units, with eleven of these being below market, or Mid-market units. These will be secured in the Housing Agreement. This building will be privately owned and the tenant selection for the eleven mid-market units will be at the discretion of the building owner.

Staff also seeks Council's endorsement for the item listed below. This item is not specifically required under the authority of City bylaws, but could be made a requirement of rezoning under the direction of Council.

- A financial contribution of \$220,000 towards the future traffic light installation at St. Georges and East 17<sup>th</sup> Street as determined by the Developer's consultant and confirmed by staff.

In addition to the item above, the following legal agreements relating to the development of this building will be entered into with the applicant at the applicant's expense:

- Development Covenant;
- Servicing Agreement;
- Flooding Covenant;
- Crane Swing and Underpinning Agreement; and
- Good Neighbour Agreement.

## **ADVISORY BODY INPUT**

### ***Advisory Design Panel***

At their July 21, 2021 meeting, the Advisory Design Panel reviewed and supported the proposal. The Panel provided a few recommendations to enhance the design, including



improvements in the textures and materiality of the proposal, as well as weather protection on the south side of the lower podium. The applicant has responded to these comments in their current proposal. In staff's view, the revisions presented in the current proposal has improved the project's overall response to the context and does not require an additional review of the Panel.

## **COMMUNITY CONSULTATION**

The applicant held their Developer Information Session on July 22, 2021, which was attended by 11 people. Twenty-three comment forms were received where there was a mixture of support and opposition (Attachment #5).

Those who support the proposal liked the design of the building, the inclusion of mid-market units and a child care facility.

The comments that were opposed to the application expressed concerns about the amount of construction in the area over the past several years, and the noise that occurs during the day when people are working from home more often. There have been concerns about the existing trees on the site, in particular a cedar tree fronting Eastern Avenue that could be a retention candidate.

### *Construction Impact Management*

In addition to the City's *Construction Regulation Bylaw* and *Noise Control Bylaw*, staff also do hands-on work with construction crews on mitigating neighbour disruptions during the construction of a building, such as communicating with crews for noise outside of allowable construction hours, neighbour notifications prior to the commencement of certain works to be undertaken. Fines have also been issued in complaints that have been found to be in violation with City Bylaws. Staff continue to monitor complaints and work with construction crews on ways to mitigate noise coming from construction sites.

### *Tree Retention*

The application is not subject to the recently adopted Tree Bylaw. However, recognizing the significance of some trees on site, staff and the applicant have been working to find solutions to identify and protect existing trees on site. The cedar in the front yard has been identified as a good candidate for retention as the tree is substantial and in good health and its retention will not cause significant cost to the applicant. A solution continues to be worked on at the time of report writing, as saving this tree will mean redesign of the underground parkade and reduction of some parking stalls.

Members of the public will have an additional opportunity to provide comments during the Public Hearing prior to Council considering the application at third reading.

## **FINANCIAL IMPLICATIONS**

In addition to the community benefits outlined above, the project will be expected to make a financial contribution towards DCC and public art.

## CONCLUSION

This proposal is consistent with the Official Community Plan and will bring in 107 new rental apartment units, including eleven below market units for the life of the building, as well as two child care staff accommodation units and one guest suite, in addition to a large private child care facility. The subject site's proximity to existing amenities, commercial areas, and public transit makes it an appropriate site for the proposal.

RESPECTFULLY SUBMITTED:



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David Johnson  
Development Planner









# PROJECT SUMMARY SHEET

DEVELOPMENT APPLICATION

1536-1550 Eastern Avenue



## SITE CHARACTERISTICS

OCP Designation	Residential Level 6 (R6)
Existing Zoning	Medium Density Apartment Residential 1 (RM-1)
Site Area	2,587.9 sq. m (27,856 sq. ft.)

FLOOR AREA AND HEIGHT	Existing Zoning (RM-1)	Official Community Plan	Proposed (CD-733)
Floor Space Ratio	Maximum 1.60 FSR 2,219.5 sq. m (23,891 sq. ft.)	Maximum - 3.30 FSR 8,540 sq. m. (91,925 sq. ft.) (Including 0.15 FSR Density Transfer) 8,928.3 sq. m (96,103 sq. ft.)	3.45 FSR 8,919.8 sq. m (96,012 sq. ft.)
Total Lot Coverage	50%	N/A	59%
Principal Building Height (maximum)	Three Storeys and 13.0 m (62.3 ft.)	37.0 m (121.4 ft.)	37.0 m (121.4 ft.)

SETBACKS	Existing Zoning (RM-1)	Proposed
Front (Eastern Avenue)	6.1 m (20.0 ft.)	2.0 m (6.56 ft.)
Interior Side Yard (North)	4.57 m (15.0 ft.)	9.75 m (32.0 ft.) (building) 0.0 m (0.0 ft.) (child care balcony)
Interior Side Yard (South)	4.57 m (15.0 ft.)	4.60 m (15.10 ft.)
Rear (East)	6.1 m (20.0 ft.)	2.50 m (8.17 ft.)

BICYCLE PARKING	Required	Proposed
Short Term	11	14
Secured	165	169
Total Bicycle Parking (stalls)	176	183

VEHICLE PARKING	Required	Proposed
Resident Parking	66	66
Visitor Parking	11	11
Child Care	3	13
Total Vehicle Parking (stalls)	69	90

Numbers based on plans dated February 28, 2022



FEB. 28-2022 RE-ISSUED FOR REZONING

1536 + 1550 EASTERN AVENUE  
NORTH VANCOUVER, BC

KENWOOD APARTMENTS



**CLIENT****KENWOOD APARTMENTS LTD.**

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**Drawing Issue Date****Revision Schedule**

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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**Client****KENWOOD  
APARTMENTS****Project**

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

**Drawing Title**

CONSULTANTS & TABLE  
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Date:  
AUG. 01 - 2019

Project No.  
17-55

Scale

Drawing No.

Drawn By:  
HR

A0-01

File name:

Rev:

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### 1 Introduction

#### 1.1 Purpose

The purpose of this document is to describe a Rezoning application to develop a new 13-storey rental residential building that will contain 110 rental suites and a 180 child daycare at 1536 – 1550 Eastern Avenue North Vancouver.



#### 1.2 Project Team

##### Kenwood Apartments

The project is led by Brad Nelson, President of Kenwood Apartments (Kenwood) and the Nelson family have been proud owners of rental buildings on Eastern Avenue in the City of North Vancouver (CNV) for nearly 30 years. These include the two existing, 34 suite, three-storey wood frame rental buildings on the site.

##### Core Consulting Team:

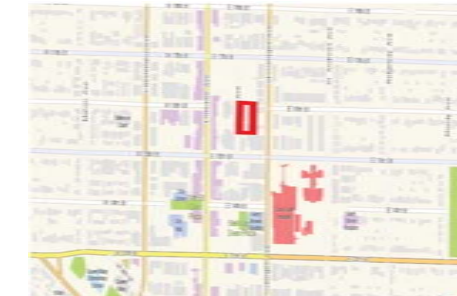
Developer:	Kenwood Apartments Ltd.	Consult:	McAuley Architectural Services
Architect:	Rafi Architects, Inc.	Energy:	Muri Energy Consulting
Landscape Architect:	Connet Landscape Architects	Electrical:	Nemco Electrical
Civil Engineer:	Cross Engineering	Structural:	Gutman Simpson
Traffic Consultant:	CTS Traffic Consultants		

#### 1.3 Why Redevelop?

The site currently contains two, three-storey walk-up, wood frame rental buildings. They are more than 30 years old, and in original condition. Major renovations and updates are required to extend the lifespan of these buildings. This work will take at least one year to finish and require a vacant building to complete. The land use designation for the site has now been changed in the 2024 OCP to Residential (low-density) (high-rise) density. These three-storey buildings now underutilize the development potential of this site and a new redevelopment may create significant community benefits. As a result, Kenwood is now applying for a rezoning to construct a new building and increase the rental stock in the CNV by 76 suites and add a significant new daycare rather than retrofitting the existing 34 suites. Both options will require termination of all existing tenancies. Kenwood will provide tenant relocation services, compensation packages and first rights to re-rent in the new rental building to all the existing tenants as required in the CNV Residential Tenancy Displacement Policy #28.



1536 Eastern Avenue 1550 Eastern Avenue  
Kenwood seeks to redevelop the property and continue to be long-term rental property owners in the City of North Vancouver.

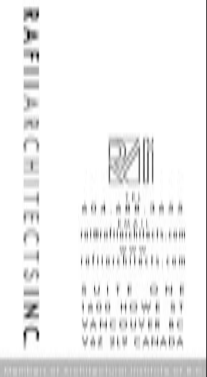


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Client

KENWOOD  
APARTMENTS

Project

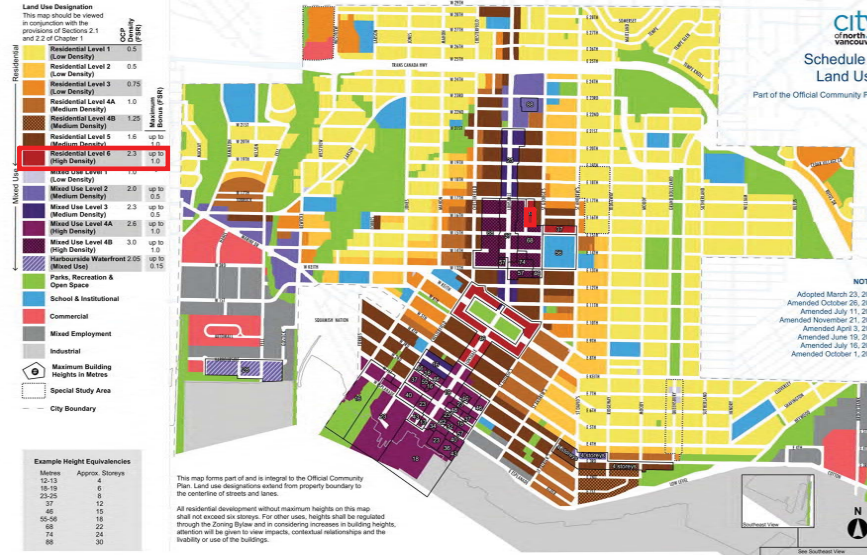
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

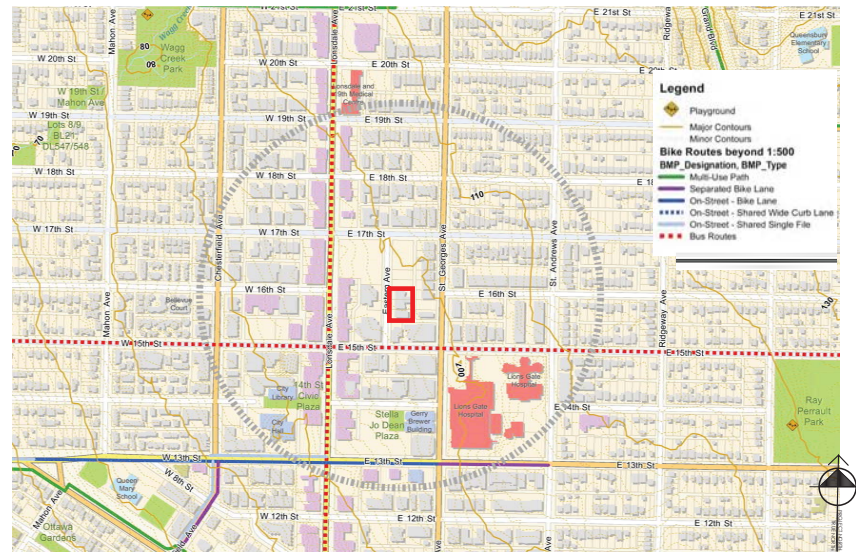
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NEIGHBOURHOOD AMENITIES & LOCATIONS  
800 m CONTEXT



NEIGHBOURHOOD AMENITIES & LOCATIONS  
400 m CONTEXT

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**RAH ARCHITECTS INC.**  
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Client

**KENWOOD APARTMENTS**

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

LAND USE MAP, 800m & 400m CONTEXT MAPS

Date:	Project No.
AUG. 01 - 2010	17-55

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Drawn By:	Rev:
HR	

File name:	Rev:



## 2.1 Official Community Plan and Density-Bonusing Policy Compliance

The site is designated Residential Level 6 (high density) in the 2014 Official Community Plan. This designation allows for a base density of 2.3 FSR. The City's Community Amenity and Density Bonus policy allows for a bonus density of 1.0 FSR for a total of 3.3 FSR if the development includes 100% rental housing.

The CNV Zoning Bylaw and the OCP also allow daycare facilities to be located within residential zones. To support the residential uses on site and in the neighbourhood, this application seeks to utilize a portion of the 3.3 FSR to introduce a daycare use.

Density transfers from one parcel of land to another are also permitted within the OCP with Council approval. This proposal includes a request to purchase unused density of 380m<sup>2</sup> from a nearby property for additional daycare use. This density will increase the total density on the site by 4.5% from 3.3 FSR to 3.45 FSR.

Official Community Plan (2014) Land Use Designation Map (Citymap 610)



## 2.2 Building Height

The OCP designates the maximum height of the site to be 37m. The proposed 13-storey building is also 37m tall. This height is consistent with the newly approved 13-storey building under construction north of the site on Eastern Avenue.

## 2.3 Development Permit Area

Land designated as R6 in the OCP are in Development Permit Areas that guide the form and character of development, that reduce greenhouse gases and water use and promote energy conservation. While the lands are located within a Development Permit Area, the City has not yet produced design guidelines for R6-designated lots, and prefers to regulate development through Comprehensive Development Zones, instead.

## 2.4 Other Relevant OCP Policies

The following OCP policies and guidelines are applicable to this site:

OCF Policy, Plan or Guideline	Application Response
The Active Design Guidelines encourage and promote the use of primary stair travel, to support indoor amenity areas for social gatherings and indoor physical fitness and support outdoor play areas for children.	To encourage stairwell travel (rather than by elevator), the primary stairs have been widened and brightened to accommodate two-way travel and the stairwell doors placed in a direct line of sight from the main lobby entry doors. Signs and stairwell door windows will be added to south floor to further encourage stairwell travel. These stairs will be located adjacent to all the indoor and outdoor amenity areas within the building to further encourage stairwell travel.
The 2018 Density Bonus policy allows consideration of density transfers between nearby properties.	This application includes a density transfer from a nearby property on the same block. This density transfer will not increase the density within the City but relocate it from one site to another.
The 2018 Housing Action Plan encourages new developments to provide a range of housing options, such as a diverse mix of housing sizes, inclusion of mid-market rental units, and additional lower-income supportive housing types.	Affordable daycare staff housing will be offered to the daycare staff to provide incentives to live and work in the City. Commuting will cease for these employees. Eleven mid-market rental units will also be provided in perpetuity. Nearly 80 % of the new units will be small, affordable one and one + den suites.
1.1.3 Reduce the commute distances for City residents.	A large daycare is proposed on the site providing 180 childcare spaces for infants, toddlers and 3-5 year olds.
1.1.4 Locate high-density and commercial uses in the urban core of the City.	A large daycare is proposed on the site providing 180 childcare spaces for infants, toddlers and 3-5 year olds.
1.1.7 Allow for child care in residential areas.	The 37m tower fits within the context of the Central Lonsdale neighbourhood and will act as a transition site between the 68 m zoned sites to the west and south and the 18 m sites to the east.
1.3.1 Ensure the new development is compatible with established urban form and reflects the Lonsdale Regional Town Centre.	A new east laneway walkway will be provided to the CNV to allow public access to the new urban park. Ground level townhomes will face a south lane path.
1.3.2 Avoid zoning cliffs.	The large podium deck will accommodate a kid's play area, a pet retreat area, and separate family gathering and adult exercise areas.
1.3.3 and 1.3.10 Encourage more social connections through the pedestrian use of the laneway.	The large podium deck will accommodate a kid's play area, a pet retreat area, and separate family gathering and adult exercise areas.
1.4.1 Encourage designs and amenities that consider households with children.	Adjacent to the 4 <sup>th</sup> floor podium deck will be a large games/recreation room and large separate gym. Both facilities have outdoor areas that overlook the podium deck. The close proximity of these recreational areas will provide more opportunities for tenant social interactions.
1.4.3 and 1.4.4 Encourage recreational area in new developments that will provide a social infrastructure and create a healthier community.	The rooftop deck contains many family amenities including: a communal lounge, BBQ stations, covered eating areas, numerous garden planting areas, family gathering areas and adult social areas.

2.2.1.1, 2.2.2 and 2.2.4 Provide housing alternatives, including mid-market rental units, to support the diverse needs of the community.	1) Mid-market rental suites will be created to the east of the building to support the diverse needs of the community.
2.2.2.2 Encourage housing diversity to be located in densely accessible areas. Encourage independent living options for these employees.	Two suites will provide shared accommodations for 10 daycare staff, providing housing diversity and independent living options for these employees. All suites in the building will be well-served by the high frequency transit on nearby Lonsdale Avenue and 27 <sup>th</sup> Avenue.
2.2.2.3 Promote walking and cycling by providing facilities to promote these means of travel.	Air stairs and stairs will be provided to the rental suites and daycare staff to promote these as an affordable alternative to vehicular traffic.
2.2.2.4 Encourage the use of public transit by providing facilities to promote these means of travel.	The proposal will increase the number of rental units from 30 to 125 units, will generate 35 new full-time daycare-related jobs and will allow many parents the opportunity to return to the workforce.
2.2.2.5 Increase the concentration of jobs in the designated transit area in the Town Centre.	The proposal will provide 25 new jobs, helping to stimulate the economy.
2.2.2.6 Increase the concentration of jobs in the designated transit area in the Town Centre.	Affordable housing will be provided for some of the daycare staff, allowing them to remain in the City and contribute to the local economy.
2.2.2.7 Increase the concentration of jobs in the designated transit area in the Town Centre.	Remote-market glass balcony enclosures are also included in the building to provide a high-quality work environment for the daycare staff.
2.2.2.8 Increase the concentration of jobs in the designated transit area in the Town Centre.	Remote-market glass balcony enclosures are also included in the building to provide a high-quality work environment for the daycare staff.

The existing roads to the east and south are relatively quiet with only two traffic lanes. Eastern Avenue is a local road only two blocks long and does not receive through-traffic.

The site is adjacent to a new urban park located to the north which provides an ideal interface for the daycare's outdoor play area. The location of the daycare, oriented towards the park, means that neighbouring buildings will not be impacted by outside daycare play noise.

The site's proximity to Lonsdale provides access to frequent public transit making it highly accessible for families from the neighbourhood and for daycare employees.

**Economic Impact:** New daycare spaces, means that local families will have improved childcare options, supporting parents to return to the workforce. The daycare will also create nearly 35 full time jobs, with some affordable staff housing provided on-site.

**Outside play areas:** Daycares also require sizable dedicated outside playgrounds that have adequate solar access. Suitable sites that can accommodate these are typically difficult to find, particularly within a dense urban area. This efficient and thoughtful childcare design includes 12,000 sf of outside play space for all daycare groups. The 3-5 year old children have access to a large ground-floor outside play area and for security reasons all the infant/toddler outside play areas occupy the second floor.

The ability to accommodate a sizable outside play area on this site presented a unique opportunity to provide a large daycare in an underserved high-density neighbourhood.

**Costs:** Daycares are costly to build and operate and require specialized financing. To qualify for a childcare loan, a larger facility was necessary to create improved operating efficiencies.

**Daycare fees:** New Provincial legislation has recently been introduced placing limits on the fees that new daycares who receive Provincial funding may charge for providing daycare services. This legislation will significantly impact the financial viability of these types of new daycares and may suppress new daycare development. To include a daycare in this proposal and respond to these lower fees, a large childcare center was essential to create economies of scale.

**Original Daycare Proposal:** The original daycare concept for this rezoning application included a 100-space daycare occupying the first floor and providing 12 infant/toddler spaces.

**Revised Daycare Proposal:** After considering the infant/toddler needs in the CNV, the social and economic benefits derived from a larger daycare and the daycare opportunities presented at this location, the second floor was converted to daycare use from rental use and 80 new infant/toddler spaces were added. Many young families will now find comfort in staying at the same daycare for 4 years from the VT years to kindergarten.

To accommodate these 80 new VT spaces, 10 rental suites were deleted from the second floor and seven new VT class-rooms were added. 110 new rental suites still remain, and 180 families will find nearby childcare.

## 3 Use

Kenwood is applying for a rezoning to develop their properties with a new rental residential building that will include a daycare facility.

## 3.1 Zoning

The site is currently zoned RM-1. This application is requesting a rezoning and applying for a Comprehensive Development Zone to accommodate this proposal.

## 3.2 Multifamily Residential Use

A range of housing options is being proposed that will be suitable for a diverse group of residents, ranging from smaller studio units to family oriented 3-bedroom suites. 25% of the units (28) are proposed to meet the Adaptable Level 2 design guidelines.

## Residential Unit Count

Unit Type	Regular Units	Adaptable Units	Total Units
3 Bedroom + Den	2	0	2
3 Bedroom	11	0	11
2 Bedroom + Den	0	0	0
2 Bedroom	5	11	12
1 Bedroom + Den	11	11	22
1 Bedroom	30	10	40
Studio	23	0	23
Total	78	32	110

As per City policy, 11 of the units are proposed to be affordable mid-market rental units in perpetuity.

## 4 Daycare

### 4.1 Why include a new large daycare?

The proposal includes a new daycare facility that can accommodate 180 children ranging from infant to five years old.

**OCF Compliance:** The current zoning on this site allows for the opportunity to include childcare density in lieu of rental density.

**Need:** The City, and Central Lonsdale in particular, requires more daycare spaces which has been identified as a priority need and essential service by the City Council and City Planning Staff. Today, daycare wait lists in North Vancouver are nearly one year for 3-5-year-old spaces and nearly two years for infant/toddler spaces. With over 1,200 new rental suites in various forms of development within 3 blocks of this property, new families will require additional childcare spaces.

**Site Context:** This site is ideally situated to include a new daycare facility. The surrounding area includes many mid- and high-rise residential buildings and shopping options along Lonsdale Avenue. The introduction of a large daycare facility will contribute to the completeness of the neighbourhood and allow even more families to meet their daily needs close to home.

## 4.2 Second Floor rationale

**Employee Housing:** To encourage daycare staff to relocate to the City, to create City jobs and to reduce commuting and pollution, two large four bedroom suites have been added to house 8 daycare staff at below market rents. Each employee will have a furnished private bedroom, work space, balcony and bathroom and will share communal kitchen and living room areas. This design will create a unique, lower-cost, day/work accommodation for these daycare employees.

**Impact on Nearby Parks:** A new urban park will be located north of the outside daycare play areas. While the Park provides an ideal interface to the daycare outdoor space, with the park by daycare children during care hours are anticipated to be minimal. A six-foot-high secure fence and adjacent hedge will separate these two areas and no direct access will be provided through this fence to the park to ensure the safety and security of all daycare children. The outside daycare play areas will be furnished with an extensive array of play equipment and structures to meet their needs.

**Walkability:** Family drop-off and pickup is anticipated to be unique for this daycare location. Over 1,200 new homes will be built within 3 blocks of this daycare. Many families choose this area to live and work because they can meet their daily needs here - shopping, proximity to public transit, urban park, and nearby amenities. It is therefore anticipated that the vast majority of all children will be walked or biked to daycare. The site and nearby streets are also relatively flat and will also encourage walking and biking rather than vehicle travel. Social, economic and environmental benefits will result.

**Proximity to Lions Gate Hospital:** Lions Gate Hospital is only one block away from this daycare. With VCH and CNV permission, flexible daycare hours can be added to accommodate shift worker families and emergency personnel with immediate childcare needs. The daycare will also offer some fee reductions and bursaries to families in need.

## 4.3 On-Site Amenities

Several significant resident amenities are included in this proposal:

**Amenity rooms:** A full-size workout gym and a games room will be provided on the 4<sup>th</sup> floor for use by the rental tenants.

**Podium deck:** A large 180m<sup>2</sup> podium deck will also be located on the 4<sup>th</sup> floor. It will include a children's play area, a pet retreat area, and separate family gathering and exercise areas. These facilities will be for use by the rental tenants only.

**Tower decks:** The roof top tower deck will provide amenities for all the tenants including an indoor communal lounge, outdoor family BBQ and eating areas, multiple parking/picnicking areas and adult lounge areas.

**Bikes:** An assortment of bikes will be provided for the rental tenants' and daycare employees' use. A separate secured bike parking room will be located in the parkade.

## 4.4 Parking

**Underground parking:** 91 parking stalls will be provided in two levels of underground parking. Access to the parkade will be from the base east of the site. 11 stalls will be for Visitor parking, 19 stalls for daycare use and 67 stalls are available for the rental tenants in the building. The daycare staff tenants may continue to park in the daycare spaces after daycare hours creating more stalls available for the other tenants.

It is anticipated that many tenants will locate in this area for the ability to access and use the excellent nearby high frequency public transit facilities. As such, Kenwood has elected to reduce the parking count in the building to

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further encourage public transit use, car share and e-bike use.  
All parking stalls will be roughed in for e-car charging capabilities.

**Daycare Parking:** To accommodate families who will use vehicular transport to access this daycare, 13 dedicated daycare parking stalls have been provided in Level 1 of the parkade. All of these stalls will be located at or near the parkade entrance for ease of access and two stairwells and a private daycare elevator will provide the access routes to the two daycare floors above.

**Daycare access from parkade:** All daycare families with 3-5 year old children using the parkade will be requested to use the stairs to access the first floor classrooms. The infant/toddler families will be encouraged to use the daycare elevator to travel from the parkade to the second floor classrooms. In the event the daycare elevator is unavailable, the infant/toddler families may use the stairs or the main building elevators to access either the parkade or second floor.

**E-bike Parking:** The site is flat and is in proximity to CNV bike routes. Biking will be encouraged. Low-cost E-bikes will be made available for use by daycare staff and the rental tenants. A 15 stall dedicated e-bike room has been provided in the parkade.  
Bike racks and stroller storage areas will be located at the daycare entries to encourage walking and bike use.

**Construction parking:** Once the underground parkade is built, a large daycare play area space will be available to accommodate the construction outbuildings plus some construction parking. This will lessen the construction parking demands on the CNV streets.

#### 4.5 Bike Storage

This proposal meets the City's bicycle storage requirements for by providing 167 secure, indoor bicycle parking stalls. 15 additional E-bike stalls are also being provided in a separate e-bike room.

#### 4.6 Storage Lockers

All suites have the use of one individual full height storage locker. Some Council members may appreciate this.

#### 4.7 Solid Waste and Recycling

A large solid waste and recycling room is located on the east side of the building with direct access from the lane. This room will accommodate all the solid waste and recycling bin pickups for both the daycare and rental tenants use. The daycare will also have a separate smaller garbage pickup facility with access from the rear lane.

### 5 Form & Intensity

#### 5.1 Height

This application proposes a 13-storey tower that fits within the 37m maximum height stipulated by the OCP. This responds to the existing urban context and matches the height of the new 13-storey tower currently under construction north of the site.

#### 5.2 Density

Consistent with the R-6 High Density land use designation in the OCP and the CNV Density Rezoning Policy, a total rental FSR of 3.3 is achievable. With Council approval, density transfers may also be approved. This application seeks Council approval for a 0.15 FSR transfer of density from a nearby property creating 3.45 total FSR on this site. This density has been used for daycare use only and will add 4 infant/toddler classrooms, allowing more infant/toddler children to have childcare services. Rental garden home development (Garden) as the most needed approach for garden services in the City.

#### 5.3 Building Form

This development consists of a thirteen storey residential tower with a three storey podium attached. The tower contains only rental suites, and the podium accommodates only the daycare classrooms on the first two floors and the daycare staff suites on the third floor. The daycare and residential portions of the building have separate entrances and separate elevator systems. The 4<sup>th</sup> floor of the podium is a large communal deck containing many of the building's proposed recreational amenities.

#### 5.4 Tower Location

The residential tower has been moved to the southern end of the site to reduce any shadow impacts on the new urban park and pedestrian access to the street between the two residential towers on Eastern Avenue to reduce any view or privacy concerns for these building residents. This tower location also maintains the required 30-meter separation distance from the neighbouring 31-storey tower to the south of the site.

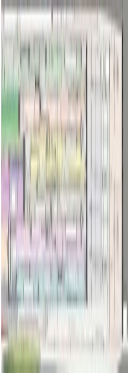
#### 5.5 Building Profile

The sides of the building have been articulated to allow additional penetration to all of the tower's sides and giving facades enhanced to lighten the building and increase the building's texture. The ground floor townhome facades will include architectural elements to provide ventilation and visual diversity to these townhome entries.

#### 5.6 Retractable Balcony Enclosures

This application seeks Council approval to install retractable, retractable glass balcony enclosures on the building balconies and for these enclosed balconies to be included from the density calculations. These glass facades will create year-round balcony living spaces, reduce solar heat loss and energy consumption, lower building carbon emissions and provide weather protection.

These retractable balcony systems have been in use in various parts of the world for many years and recently have been included in some new developments in various Municipalities in the Lower Mainland. Many social and economic benefits will accrue from the ability of the rental tenants to use their balconies all year round.



wooden fences and hedges will separate the daycare outside play area and the new urban park. No gate access is available from the daycare to the new urban park.

Townhouses with raised patios and planters are proposed on the south edge of the building. A communal pathway on this lane will allow public access and the landscape planters will provide distinction from the south lane.

Planters are proposed along the west and east perimeters of the building. Three trees are proposed on-site, at the south-west, and north-west corners.

The large 4<sup>th</sup> floor multi-purpose podium deck will include significant landscape treatments to separate the pet retreat area and the kids play area from the family and recreational lounge areas. The child deck play area will include landscape furniture to engage the rental children while the parents lounge in the adjacent family areas. A selection of privacy trees will help provide separation of these areas.

The roof-top deck features soft undistinctive landscape treatments surrounding the perimeter of the deck providing privacy barriers for the neighbours. A large communal garden/planting area is also proposed, providing opportunities for tenant social interactions and opportunities to reduce the carbon footprint of the building.

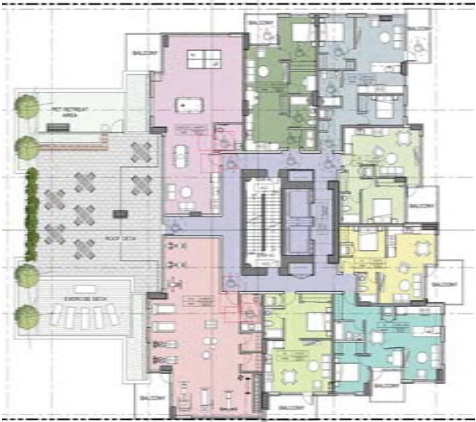
Water bike racks will be included near the daycare drop-off entrance and residential entrances on the west side of the building.

#### 6.2 Lane Pathway

Renwood will dedicate over 52m<sup>2</sup> of lands to the City to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles.

#### 6.3 Lane Loading Bay

Renwood is providing access to a loading bay via the east lane to accommodate moving vans and commercial delivery vehicles. These vehicles will not require loading on any public street or lane.



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#### Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING



Client

KENWOOD  
APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

PROPOSAL & DESIGN  
RATIONAL

Date:

AUG. 01 - 2019

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A0-05

File name:

Rev:





**7.3 Communal Podium Deck**  
The fourth floor podium deck will have separate areas for parents with children, tenants with pets, and lounge and recreational areas. All of these sections of the podium deck will encourage social interactions between tenants and their guests, provide physical activity opportunities for different age groups and are open, visual and bright. Access to the podium deck leads directly to the visible primary stair entries which will also encourage stair travel as the primary method to access this amenity deck.

**7.4 Communal rooftop deck**  
The rooftop design will promote opportunities for tenant interactions, and encourage active lifestyles. The deck lounge and covered BBQ areas will attract social gatherings in inclement weather conditions and the large common garden/playing areas will require co-operation and organization to create a healthy community rooftop garden.

**7.5 E-bikes**  
An e-bike system will also be provided in the building. For a nominal fee, all tenants and daycare staff can access these bikes and cargo bikes. This will provide an economically viable and active alternative to vehicle travel. A separate, secure 15 stall e-bike room has been provided in the parkade.

**8 Community Benefits**  
Approval and construction of this project will bring many community benefits:  
**16<sup>th</sup> and St Georges Intersection Improvements:** Kenwood will provide a financial contribution of \$220,000 to the CMV for intersection improvements at the corner of St Georges and 16<sup>th</sup> Street.  
**Lane Pathway:** Kenwood will also dedicate lands, at no cost to the City, to create a new east lane pathway to access the new urban park. The pedestrian use of this laneway will also encourage more social connections and promote active lifestyles. The new pathway will further contribute to the neighbourhood walkability and pedestrian realm.  
**New Rental Housing:** This application will increase the rental stock in the City by 76 additional rental suites.

**Below Market Housing:** 11 suites in the rental building will be new mid-market rental suites. They will include a variety of suite sizes and will be secured by a covenant for the life of the building as required in the Housing Action Plan.

**Daycare Staff Housing:** Low-cost housing will be provided for 8 daycare staff in 2 large communal suites. These live/work employees will remain in the community, will not need to commute and will contribute to a growing economic recovery in the City. These 2 low-cost housing suites will be in addition to the 11 mid-market rental units required under the Housing Action Plan.

**Large Group Daycare Facility:** Daycare vacancy waits in the City are nearly one year long! Providing this new, large, multi-age group daycare will help reduce these wait times and will encourage new families to move to the area for the convenience and availability of this new large daycare.

**Parental Job Creation:** Providing a new large daycare in the City will allow many parents to re-enter the work force creating more wealth and jobs in the City.

**Construction Job Creation:** Many new jobs will be created during the three-year construction period of the new building. This has special significance as the economy recovers from covid-related impacts.

**Daycare Job Creation:** Thirty-five new full-time daycare jobs will be required to manage and operate the new daycare. The economic benefits from these new jobs will provide a financial stimulus to the City.

**Battery/Charging:** Battery enclosures will create year-round battery use, will provide more live/work opportunities for the tenants and will reduce the carbon emissions from the building.

**After-Hour Daycare use:** The daycare has been designed to accommodate after-hour daycare use without the need to access any of the daycare classroom areas. With KCH and CMV approvals, Kenwood will investigate opportunities to provide after-hour daycare use for hospital staff with children and for non-profit and social group activities. Kenwood will provide all the necessary cleaning and security required for any of these services.

**Child Minding:** KCH, with CMV and KCH approvals, Kenwood will provide some free weekend child minding services for single parents to attend to grocery shopping or personal matters.

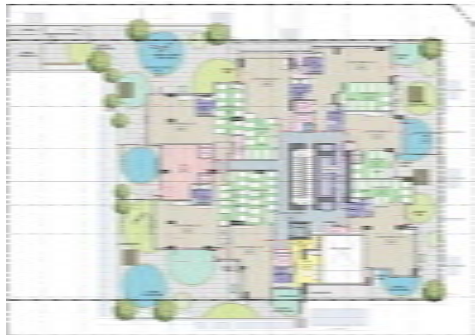
**Infrastructure Renewal:** If approved, this project will provide new sidewalks, curbs, gutters, street lights, street trees, and stormwater drainage. Payment of Development Cost Charges will also contribute financially to new roads, parks, and other civic and regional infrastructure.

**Renewable Energy Corporation Utility:** This project will create another significant customer for the City-owned Renewable Energy Corporation utility.

**Population Growth:** Re-development of this site will support further population growth in the City. Doing so will more intensively to support population growth will support local businesses and expand the tax base.



1ST FLOOR WITH DAYCARE



2ND FLOOR WITH DAYCAFE & SPORTS COURT

## ACTIVE DESIGN GUIDELINES

### Checklist

Primary Stairs	Y	N	NA
Provide a clear visual path into and out of the stairs by having the stairs open to top of house levels	Y	N	NA
Locate the stairs in a prominent location near the building's main entrance	Y	N	NA
Minimize impediments for users while maintaining necessary access for house with existing conditions	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA
Design stair width that can accommodate groups traveling in two directions	Y	N	NA

Secondary Stairs	Y	N	NA
Provide a clear visual path into and out of the stairs by	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

Outdoor Circulation	Y	N	NA
Provide a clear visual path into and out of the building's main and secondary entrances	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

Indoor Amenity	Y	N	NA
Provide an indoor amenity area that is located in a common corridor with the following	Y	N	NA
Provide a clear visual path into and out of the building's main and secondary entrances	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION 18

## ACTIVE DESIGN GUIDELINES

Outdoor Recreation	Y	N	NA
Provide an outdoor amenity area that is located in a common corridor with the following	Y	N	NA
Provide a clear visual path into and out of the building's main and secondary entrances	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

Outdoor Gardens	Y	N	NA
Provide a community garden area that is located in a common corridor with the following	Y	N	NA
Provide a clear visual path into and out of the building's main and secondary entrances	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

Other Elements	Y	N	NA
Provide an outdoor amenity area that is located in a common corridor with the following	Y	N	NA
Provide a clear visual path into and out of the building's main and secondary entrances	Y	N	NA
Locating the stairs near to the building's main and secondary entrances	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Enclosing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Minimizing the stairs with a low color glass enclosure with minimal doors	Y	N	NA
Provide stairs that have changed and steps follow external grade	Y	N	NA
Minimize high-quality, lighting, and visually appealing materials and finishes and	Y	N	NA
Provide visible signage to encourage and direct stair use at the entrance and	Y	N	NA

When a design element is captured in this document, we want to hear how it encourages daily physical activity in your community.

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IN SUPPORT OF ACTIVE LIFESTYLES AND SOCIAL INTERACTION 18

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
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4	FEB 28-2022	RE-ISSUED FOR REZONING



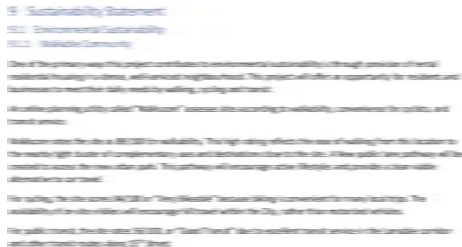
Client

KENWOOD APARTMENTS

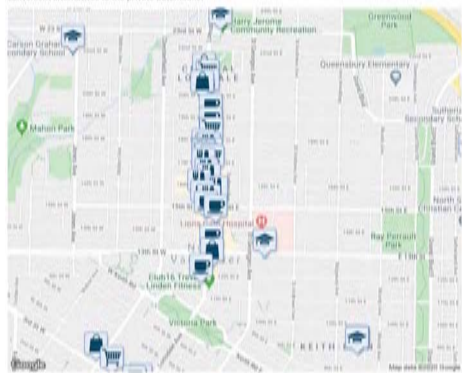
Project  
1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
PROPOSAL & DESIGN RATIONAL

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-06
Drawn By: HR	Rev:
File name:	



These indicators show that the site has excellent attributes for sustainable transportation, offering future residents convenient alternatives to the private automobile.



Above: Walkability Map. Source: "Walkscore" online utility.

#### 9.1.2 Green Building

The building is designed to meet the ASHRAE 90.1 2010 plus 15% thresholds, and will exceed Step Code Level 3 requirements.

The complete building, including the daycare, will connect to the Liondale Energy Corporation's district energy utility. The daycare will include an HVAC system to create a healthier environment for the daycare children.

The design of this compact residential tower will create a lower environmental impact by allowing more natural light and ventilation to all of the suites. The energy consumption will also be reduced from the installation of the thermal efficient windows and a metal insulated cladding system.

Balcony enclosures will significantly reduce the carbon footprint of the building and contribute to meeting higher LEED certifications.

#### 9.2 Social Sustainability

This project contributes to community social sustainability in several ways.

The project offers a much-needed daycare in the community and low-cost housing for daycare staff which will allow some daycare workers to live in the community where they work.

Amenity room areas are proposed for family gatherings, communal recreation areas, and adult lounges, allowing for diverse households to congregate.

The podium deck features a dog walk area and recreational areas providing an opportunity for tenants to gather with neighbours, friends and family.

#### 9.2.1 Crime Prevention through Environmental Design

The project design has embraced the principles of CPTED, through natural surveillance, natural access control, and natural territorial enforcement.

The large two-level front lobby has an open glass facade for clear, unobstructed observation. The south side lane pathway is gated at each entrance and fronted by the open patios and full height glass windows of the ground floor townhomes. The other ground level windows and doors surrounding the site have been minimized to enhance ground floor security. Security cameras will be installed in all common areas, at all entrances, and in the elevators.

The new daycare has secured drop-off rooms at both the street and laneway entries. Only pedestrian drop-off services will be available at the lane entry. All vehicle drop-off will only have access from the front entrance or parkade areas. Cameras will be installed at all entrances and in the outside play areas. Secure, six-foot high fencing and area equipment will form the security barrier between the outside daycare play areas and the new urban park.

The daycare and the rental areas of the building all have completely independent entrance doors, hallway corridors, and areas of use. The main elevator and the main lobby entrance will be for the private use of the rental tenants and the daycare elevator for the private use of the daycare occupants.

#### 9.3 Economic Sustainability

This proposal will contribute to community economic sustainability in several ways.

This project will take two years to build and many construction jobs will be created. The economic spinoff from these jobs will help the CNV recover from the current financial crisis.

76 additional rental suites will be added to the CNV rental stock. This will create job stimulation and additional consumer spending within the City.

Filling 180 new child daycare vacancies will create opportunities for many parents to return to the workforce. Many long-term economic spinoffs will result from the creation of these new jobs.



## SUSTAINABILITY DEVELOPMENT CHECKLIST

**1. Natural Systems:** The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.



	Y	N	N/A	Please Provide Comments:
<b>LANDSCAPE</b>				
Private Trees Retained or Added in proposal (indicate number of each)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	20 ADDED (33 NEW - 13 EXISTING)
Green Roof / Wall	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Native Species Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTIVE SPECIES
Habitat Restoration (butterfly, bird-friendly, naturalized areas)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Community Gardens*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
50% or More Edible Landscaping for Common Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Irrigation System (drip hose, low-flow nozzles)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Rainwater Collection (rain barrel)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Reuse of Wastewater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>HARDSCAPE</b>				
Permeable Paving for Hardscape	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
40%+ Open Site Space (see Zoning Bylaw definition)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>Other Sustainability Achievements:</b>				

\*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

**2. Physical Infrastructure:** The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, noise, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.



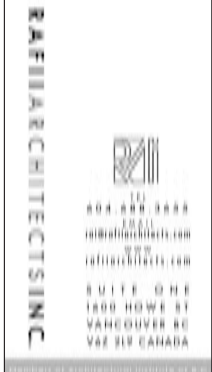
	Y	N	N/A	Please Provide Comments:
<b>HIGH PERFORMANCE CONSTRUCTION</b>				
Durable Building (modular / deconstruction)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Reuse / Reoccupied / Use of Reclaimed Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Majority Use of Environmentally Friendly Materials (non-toxic, wood)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NATIVE AND ADAPTIVE SPECIES
Certified by a Third Party Green Building Rating System	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>ENERGY EFFICIENCY AND HEALTHY BUILDING</b>				
Energy Performance (per building type)	Min		Exceeding (if so, specify Step)	
Part 3 Commercial (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEP 3
Part 4 Residential (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 5 Commercial (BC BC min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 6 Residential (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Part 7 Residential (1,200 sq ft (Step 3 min.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Superior Insulation (thick wall exclusion in Zoning Bylaw except for insulation above BC Building Code)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Airtightness (1-ft shower door test and appropriate ventilation strategy)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
High-performance Windows & a Energy-Star, Passive House Certified (whole project)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Heat Recovery Ventilator (75% or better recovery)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	80% STEP 3, 80% STEP 4
LED Lighting (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Energy-Star Appliances (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Renewable Energy Features (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Water Efficient Fixtures (whole building)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Cybernetic House	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>TRANSPORTATION</b>				
End of Trip Bicycle Infrastructure (beyond Zoning Bylaw requirements)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Car-Share Program	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>Electric Vehicle Readiness:</b>				
A minimum of 20% of all commercial parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
<b>Electric Vehicle Readiness:</b>				
A minimum of 20% of all residential visitor parking spaces include an energized outlet capable of providing Level 2 or higher charging level for an electric vehicle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100% OF PARKING STALLS TO BE EV READY
<b>Other Sustainability Achievements:</b>				

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Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

CPTED & SUSTAINABILITY CHECKLIST 1/2

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-07
Drawn By: HR	Rev:
File name:	



Building new rental units close to Lions Gate Hospital will provide nearby housing opportunities for hospital workers to remain and live in the City. With VCH approval, temporary childcare services will be provided to hospital employees with children in the event of an emergency.

Replacing an older building and refreshing the landscape and civil improvements will have a positive impact on local property values. Increasing property values will increase property taxes.

Providing this residential tower within walking, cycling and transit distance of the Lansdale corridor will contribute to local economic development while reducing reliance upon private auto transit.

Providing balcony enclosures will reduce suite heat loss, reduce heating costs and reduce the costs to rent. All year-round balcony use may support live home work environments, create more tenant disposable income, and contribute to the economic recovery of the City.

The introduction of this rental residential building with a daycare will attract young families seeking in-house daycare facilities and opportunities for a quicker return to the workforce.

New jobs and more incomes will also contribute to the economic recovery of the City.

#### 9.3.1 Affordability Statement

Affordability in new housing projects is typically difficult to provide and becomes more of a reality as the buildings age. High rents in newer buildings eventually become average rents with the passage of time.

Increasing the supply of rental suites produces more rental choices for tenants, creates more competition for rental providers and eventually results in lower rental rates offered to attract tenants. This is happening in the City today.

Affordability in daycare rates is similar to rental market rates. Both are rents to occupy spaces. As more daycare spaces are provided, more choices and less waiting times will result and daycare fees will also fall.

Kenwood is providing: 1) affordable mid-market rental units in perpetuity 2) low-cost e-bikes to reduce travel costs, 3) live/work suites to provide smaller, low-cost, efficient housing and 4) balcony enclosures to create energy efficient home work opportunities that will lower commuting and off-site office costs.

This combination of programs and proposals are unique. Other developments may not have the opportunities to provide this array of on-site amenities that will create more affordable homes for the tenants.

#### 9.3.2 Smaller Affordable Suites

The proposal replaces 34 existing rental suites with 110 new rental suites. Nearly 80% of the suites will be smaller, more affordable studio, one-bedroom and one + den suites.

#### 9.3.3 Live/work Opportunities

As suites become smaller the balconies become more important. The proposed retractable balconies will allow all year balcony use. More people now work at home rather than commute to work each day. In inclement weather some tenants may elect to use these balconies as home office spaces. Commuting costs and traditional office costs will be reduced. These suites will become more affordable for renters.



#### 9.3.4 Mid-Market Rental Suites

Eleven suites will be mid-market rental units in perpetuity. One guest suite will be provided.

#### 9.3.5 Daycare Staff Housing

Low cost live/work accommodation will be provided for 8 daycare employees. For these employees: daily commuting is reduced, vehicle use reduced, transportation costs reduced, tenant affordability increased and environmental impacts lessened. All these factors will contribute to the economic recovery of the City.

#### 9.4 Tenant Relocation Plan

As a redevelopment application with existing rental tenancies, Kenwood has hired TriMark Property Management to act as a Tenant Relocation Coordinator to communicate with tenants and administer the program, as per the City's Residential Tenant Displacement Policy. Following City policy, tenant compensation will include 3 months' rent and the right of first refusal for existing tenants to return to the new building.

#### 10 Conclusion

Kenwood Apartments is proud to propose this comprehensive redevelopment project.

The project meets City rental housing requirements, creates additional non-market low-cost housing, addresses current daycare shortages, provides new balcony opportunities, enhances active lifestyles, contributes to environmental responsibility, engages non-profit and social groups and will generate significant economic benefits to the city.

Kenwood Apartments looks forward to working with City staff, the Public, and Council to bring this vision to reality.

## SUSTAINABILITY DEVELOPMENT CHECKLIST

**3. Local Economy:** The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.



	Y	N	N/A	Please Provide Comments:
Net New Jobs Generated (long term, full time)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	38 FULL TIME DAYCARE STAFF 5 FULL TIME RENTAL APT. STAFF
Commercial floor space (net increase, indicate area)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Neighbourhood-Scale Commercial (unit frontages <50m (20ft))	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Non-Market / Lower-End of Market Commercial	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Commercial Relocation Strategy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other Sustainability Achievements:				

**4. Human Potential:** The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.



	Y	N	N/A	Please provide comments:
Market Rental Housing (net increase, indicate number of units)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	110 NEW ADDITIONAL RENTAL SUITES
Non-Market / Lower-End of Market Rental Housing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11 MID-MARKET UNITS, 1 GUEST SUITE AND 2 SUBSIDIZED DAYCARE UNITS
105+ "Tiny" Bedroom Units (in multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10%
Micro-units <37 sqm (<400 sq ft)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Childcare Facilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	18 CHILDREN
Community Space for Food Preparation, Storage and Processing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Green Building Educational / Interpretive Features	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Primary and Secondary Stair Design*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PRIMARY STAIRS TO FULLY MEET ACTIVE DESIGN REQUIREMENT
Outdoor Circulation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Storage space for residents in units and storage rooms (multi-unit residential buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ALL SUITES HAVE STORAGE LOCKER IN STORAGE LOCATIONS PLUS FEW SUITES HAVE IN-UNIT STORAGE E-BIKE AVAILABILITY
Other Sustainability Achievements:				

\*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

**5. Social Connections:** The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent families, and matters specific to children, youth, seniors and people with disabilities.



	Y	N	N/A	Please provide comments:
Design Features for People with Disabilities (beyond Zoning Bylaw requirement)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Communal Cooking Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rooftop deck BBQ + Eating areas
Indoor Amenity*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gym, Games room
Outdoor Recreation*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Podium deck communal child play area + pet play areas
Amenities for Senior Users	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Crime Prevention Through Environmental Design	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements				
Outdoor Gardening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Large communal outdoor garden plots + garden shed

\*See City of North Vancouver Active Design Guidelines for recommended compliance paths.

**6. Cultural Diversity:** The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.



	Y	N	N/A	Please provide comments:
Formal and Informal Gathering Spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Podium deck family eating + gathering area + Pet play areas
Retention of Heritage Building	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Public Art Reflecting Local Culture	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Streetscape Improvements (benches, planters, lighting)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other Sustainability Achievements:				

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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING



Client

## KENWOOD APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

CPTD &  
SUSTAINABILITY  
CHECKLIST 2/2

Date:

AUG. 01 - 2019

Scale

Scale

Drawn By:

HR

File name:

Project No.

17-55

Drawing No.

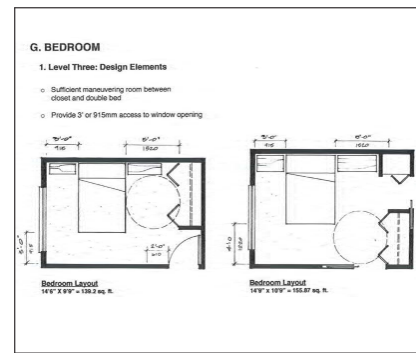
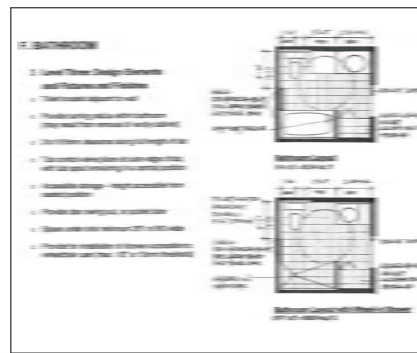
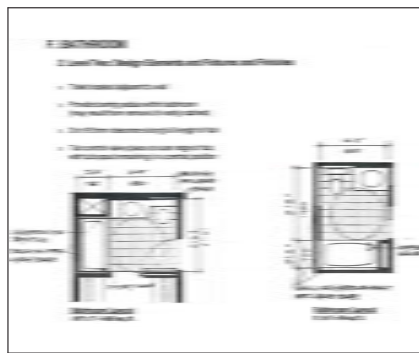
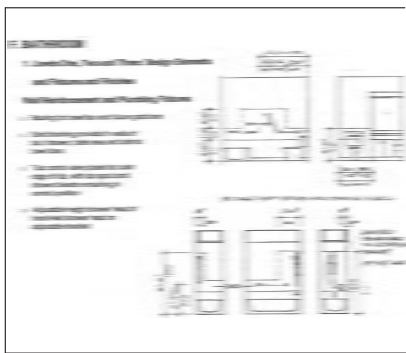
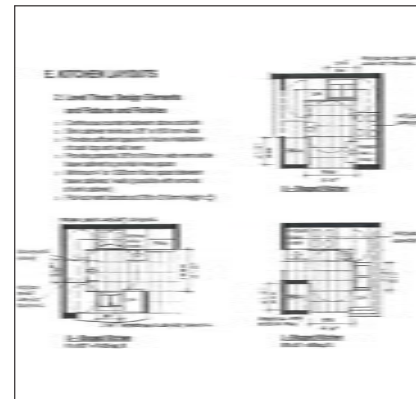
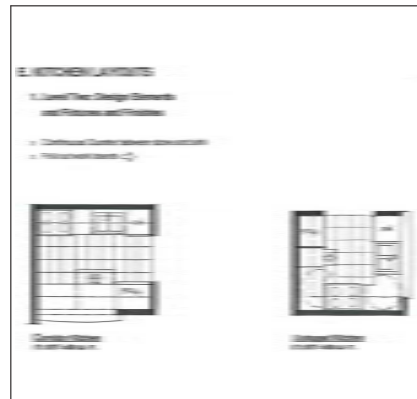
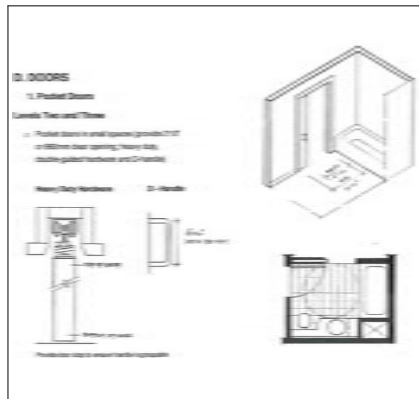
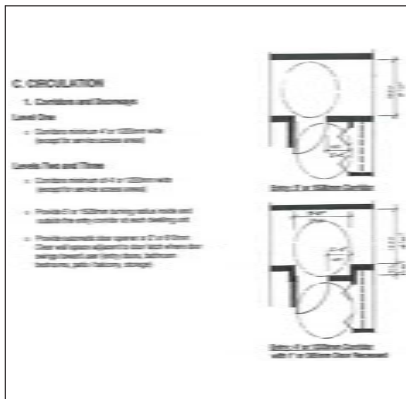
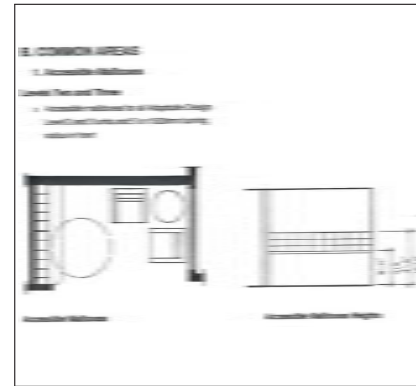
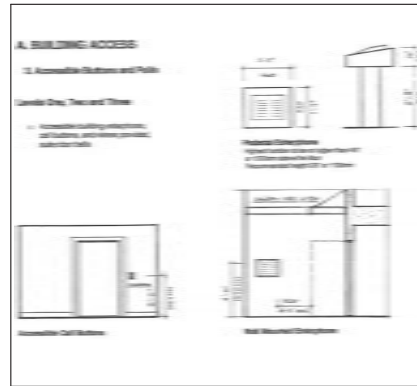
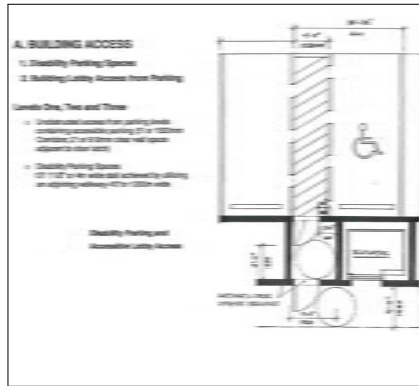
A0-08

Rev:



# ADAPTABLE DESIGN

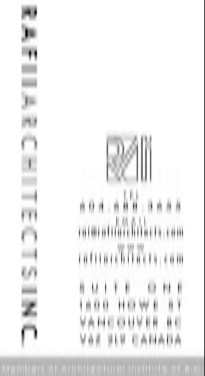
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KENWOOD APARTMENTS

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1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
ADAPTABLE DESIGN

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-10
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VIEW FROM NORTH WEST

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V6Z 3Y7 CANADA

ARCHITECTS OF RECORD FOR THIS PROJECT

Client

KENWOOD  
APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
NORTH WEST 3D VIEW

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-11
Drawn By: HR	
File name:	Rev:



# PROJECT STATISTIC

1536 & 1550 EASTERN AVENUE - NORTH VANCOUVER



## REGULATION TABLE

EXISTING ZONING:	RM-1	PROPOSED ZONING:	C3
FLOOR SPACE RATIO:	3.44		
SETBACK:	9.0 (3.8) 7.5 (3.0)	5.4 (2.5) 5.0 (2.0)	5.4 (2.5) 5.0 (2.0)
BUILDING HEIGHT:	37' 6"		
LOT COVERAGE:	1.50 (0.57) 3.00 (1.14)	38.25%	
PARKING:	3 LEVEL BELOW GRADES	91 SPACES	

## LEGAL DESCRIPTION:

LOT 6, T18 & OF BLOCK 153

(DISTRICT LOT 174)

GROUP ONE NEW WESTMINSTER DISTRICT

P1.0 (0.5-0.8) 1.00 (0.07) 3.4

P1.0 (0.5-0.8) 1.00 (0.07) 3.4

CIVIC ADDRESS:

1536 & 1550 EASTERN AVENUE, NORTH VANCOUVER, B.C. V7L 3J5

## AREA CALCULATION

FLOOR	EXCLUSIONS																									EFFICIENCY
	FUR TO FUR		GROSS AREA		INVENTORY		SERVICE / GARBAGE		ADAPT. ENCL. (0.9 m2/UNIT)		WALLS		LOBBY & ACTIVE DESIGN		EXCLUSION SUB TOTAL		DAYCARE	NET AREA (FAR)		CIRCULATIONS & COMMON		RES. RENTABLE AREA				
	mm	ft	sqm	sqft	sqm	sqft	sqm	sqft	sqm	sqft	sqm	sqft	sqm	sqft	sqm	sqft		sqm	sqft	sqm	sqft	sqm	sqft			
TOP ROOF																										
ROOF LEVEL	3500	11 48 00					1,046.92	1,130.02																		
LEVEL 13 (PENTHOUSE)	3300	10 83 00	680.00	7,350.00									126.70	1,370.00	126.70	1,370.00	253.40	2,740.00	253.40	2,740.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 12	2900	9 52 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 11	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 10	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 9	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 8	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 7	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 6	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 5 (TOWER TYPICAL)	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 4	2700	8 87 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 3	2900	9 52 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 2	3100	10 17 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
LEVEL 1	3100	10 17 00	680.00	7,350.00									93.30	1,005.00	93.30	1,005.00	186.60	2,010.00	186.60	2,010.00	94.61	1,015.24	100.00	1,070.00	86.30%	
TOTAL			5,540.00	59,740.00	400.00	4,300.00	90.00	970.00	50.00	540.00	50.00	540.00	20.00	210.00	20.00	210.00	1,522.40	16,367.00	1,522.40	16,367.00	94.61	10,152.40	100.00	10,700.00	86.30%	

TOTAL RESIDENTIAL (GROSS)	8,420.00 sq/Meter	90,000.00 sqft
TOTAL BUILDING AREA (GROSS)	8,420.00 sq/Meter	90,000.00 sqft
TOTAL FLOOR AREA	8,420.00 sq/Meter	90,000.00 sqft
TOTAL EXEMPTION	3,040.00 sq/Meter	32,840.00 sqft
EXEMPTIONS		
LOBBY & ACTIVE DESIGN	200.00 sq/Meter	2,160.00 sqft
ADJUTY	400.00 sq/Meter	4,320.00 sqft
RECYCLING	90.00 sq/Meter	970.00 sqft
AD BONUS	50.00 sq/Meter	540.00 sqft
EXT. WALL EXEMPTION	200.00 sq/Meter	2,160.00 sqft
WALL EXEMPTION	100.00 sq/Meter	1,080.00 sqft
WALL EXEMPTION	100.00 sq/Meter	1,080.00 sqft

DAYCARE	
DAYCARE INDOOR SPACE	1,520.00 sq/Meter
DAYCARE OUTDOOR SPACE	1,520.00 sq/Meter
TOTAL	3,040.00 sq/Meter

SPECIAL PROVISIONS	
ADAPT. UNITS	20%
2-BEDROOM UNITS (MAX 2+0)	10%
TOTAL	30%

TOTAL SITE AREA:	2,507.00 sq/Meter	FAR 3.45	8,550.00 sq/Meter	90,000.00 sqft
TOTAL RESIDENTIAL FAR PROPOSED:		FAR 3.45	8,550.00 sq/Meter	90,000.00 sqft

NOTE: (FAR 3.45 + 400.00) = FAR 3.45

FLOOR	# OF CLASS "W" BIKE ST.	# OF CLASS "W" BIKE ST.	# OF CLASS "W" BIKE ST.
LEVEL P1	100	10	10
LEVEL P2	100	10	10
LEVEL P3	100	10	10
TOTAL	300	30	30
REQUIRED BIKE STORAGE	115 PER UNIT	300	30

LEVEL	RES. CAR	SMALL CAR	HC	WHEELCHAIR	DAYCARE	TOTAL
LEVEL P1	27	4	4	10	10	55
LEVEL P2	24	4	4	10	10	52
LEVEL P3	24	4	4	10	10	52
TOTAL	75	12	12	30	30	159

TYPE OF USE	# OF UNITS	REQUIRED	PROVIDED
RESIDENTIAL UNITS	100	100	100
WHEELCHAIR	100	100	100
DAYCARE	1,520.00 sq/Meter	1,520.00 sq/Meter	1,520.00 sq/Meter
TOTAL	100	100	100
HC INCL. WHEELCHAIR	100	100	100

FLOOR	PROVIDED	REQUIRED
LEVEL 1	10	10
LEVEL 2	10	10
LEVEL P1	10	10
LEVEL P2	10	10
TOTAL	40	40

FLOOR	UNIT MIXTURE												# OF UNITS PER FLOOR
	STUDIO		STUDIO-OWN		3BR		3BR-OWN		3BR		3BR-OWN		
TOP ROOF	RES.	AD	RES.	AD	RES.	AD	RES.	AD	RES.	AD	RES.	AD	
ROOF & MECH.													
LEVEL 13	2				1	1	1	1					5
LEVEL 12	2				1	1	1	1					5
LEVEL 11	2				1	1	1	1					5
LEVEL 10	2				1	1	1	1					5
LEVEL 9	2				1	1	1	1					5
LEVEL 8	2				1	1	1	1					5
LEVEL 7	2				1	1	1	1					5
LEVEL 6	2				1	1	1	1					5
LEVEL 5 (TOWER TYPICAL)	2				1	1	1	1					5
LEVEL 4	2				1	1	1	1					5
LEVEL 3	2				1	1	1	1					5
LEVEL 2	2				1	1	1	1					5
LEVEL 1	2				1	1	1	1					5
TOTAL	22	0	0	0	22	22	22	22	0	0	0	0	110

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Drawing Issue Date

Revision Schedule

Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

ARCHITECTURAL



Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVENUE, NORTH VANCOUVER, BC

Drawing Title

PROJECT DATA

Date:

AUG. 01 - 2019

Scale

HR

File name:

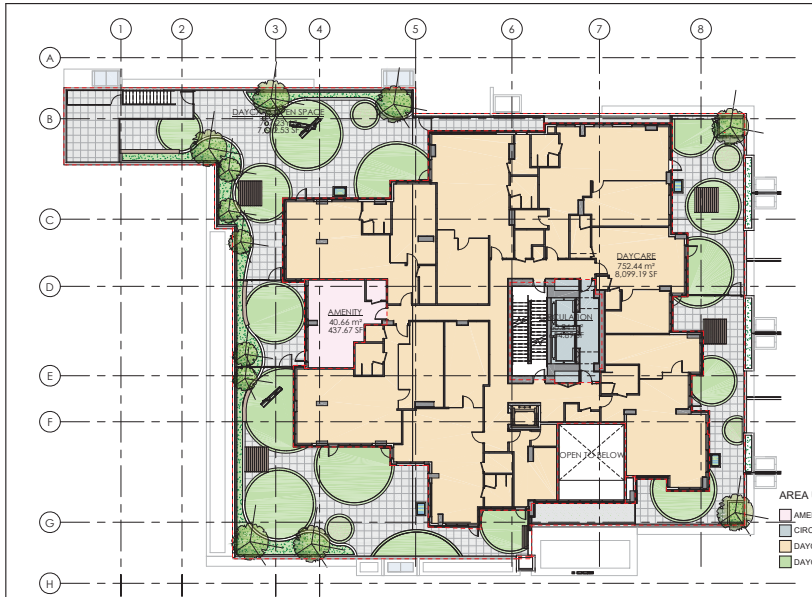
Project No.

17-55

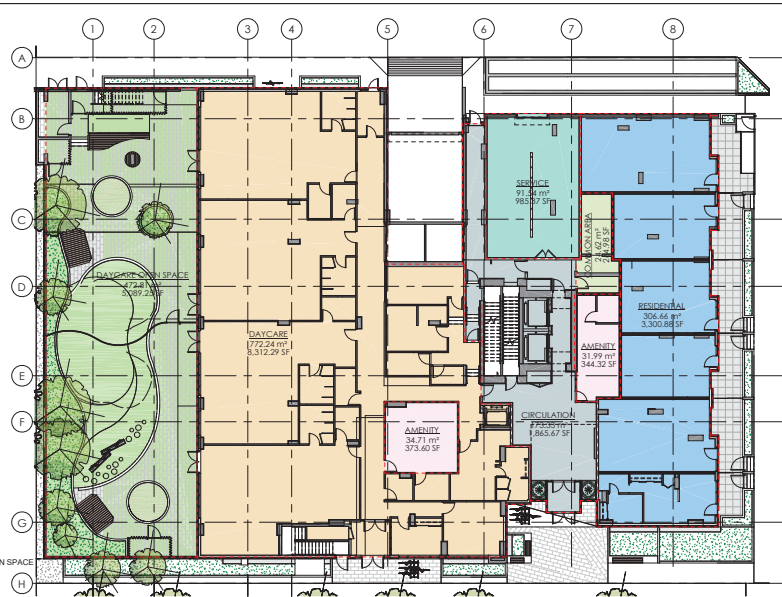
Drawing No.

A0-12

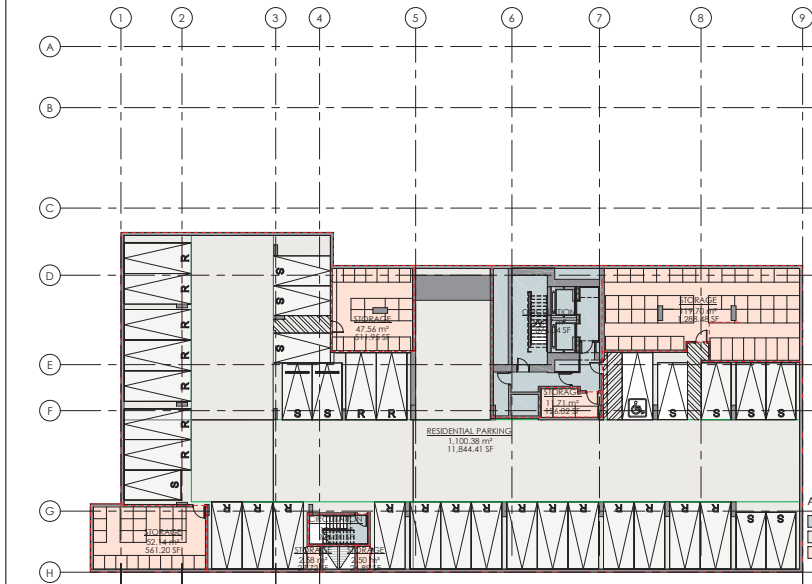
Rev:



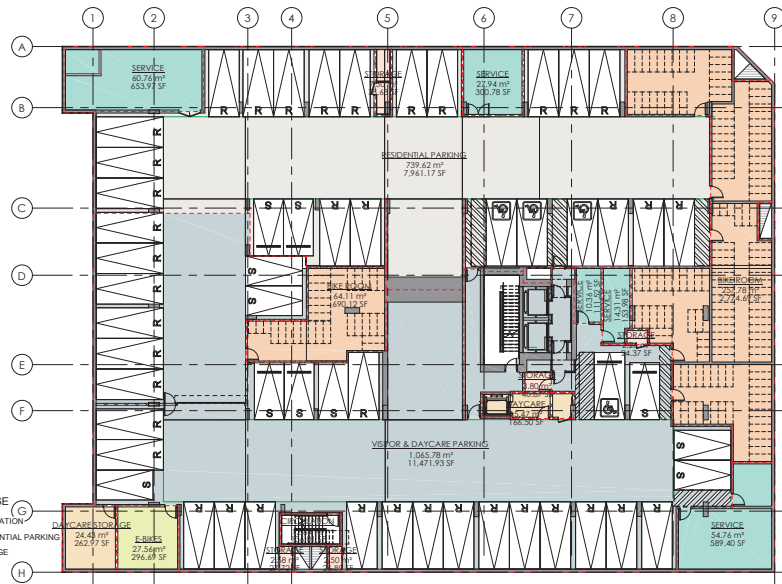
4 LEVEL 2  
1:200



3 LEVEL 1  
1:200



2 Level P2  
1:200



1 Level P1  
1:200

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4	FEB 28-2022	RE-ISSUED FOR REZONING

RAH ARCHITECTS INC.

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Client  
**KENWOOD APARTMENTS**

Project  
**1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title  
**SPACE PLANNING (GROSS)**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1:200	Drawing No. <b>A0-13</b>
Drawn By: HR	Rev:
File name:	

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Drawing Issue Date

Revision Schedule

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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

RAH ARCHITECTS INC.



Client

KENWOOD  
APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

SPACE PLANNING  
(GROSS)

Date:  
AUG. 01 - 2019

Project No.  
17-55

Scale:  
1 : 200

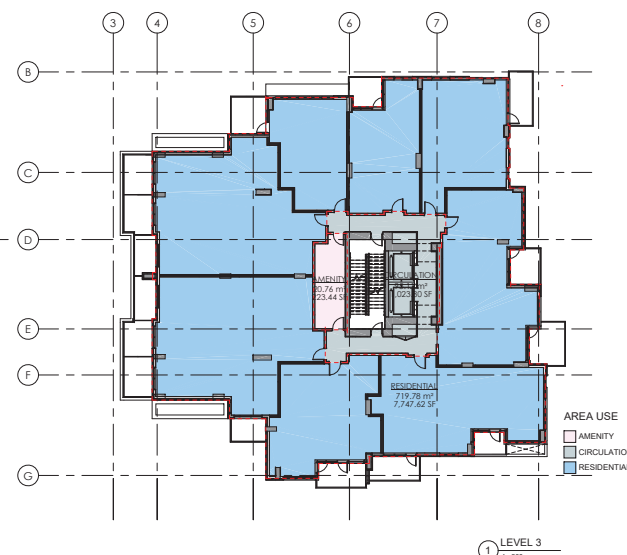
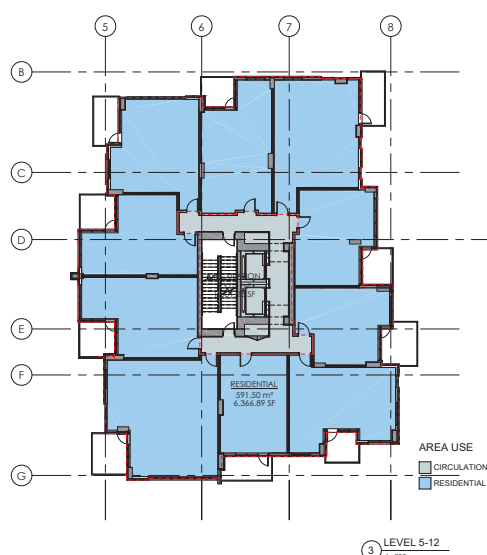
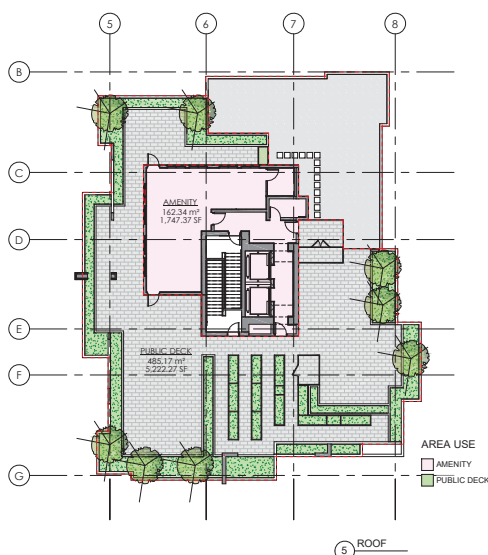
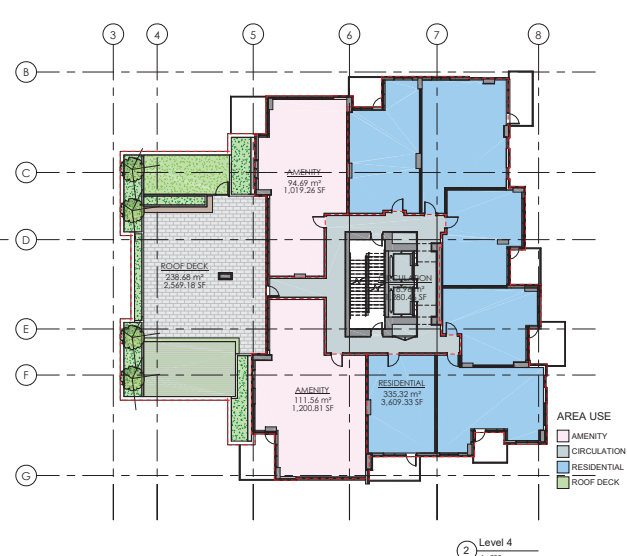
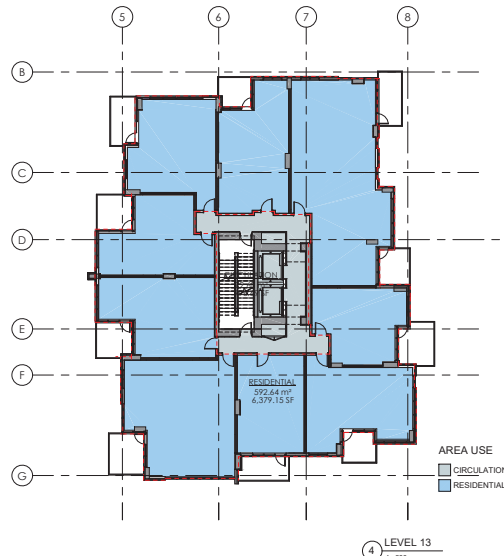
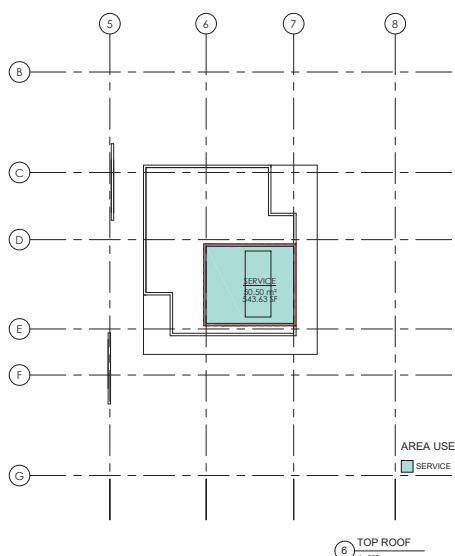
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A0-14

Drawn By:  
HR

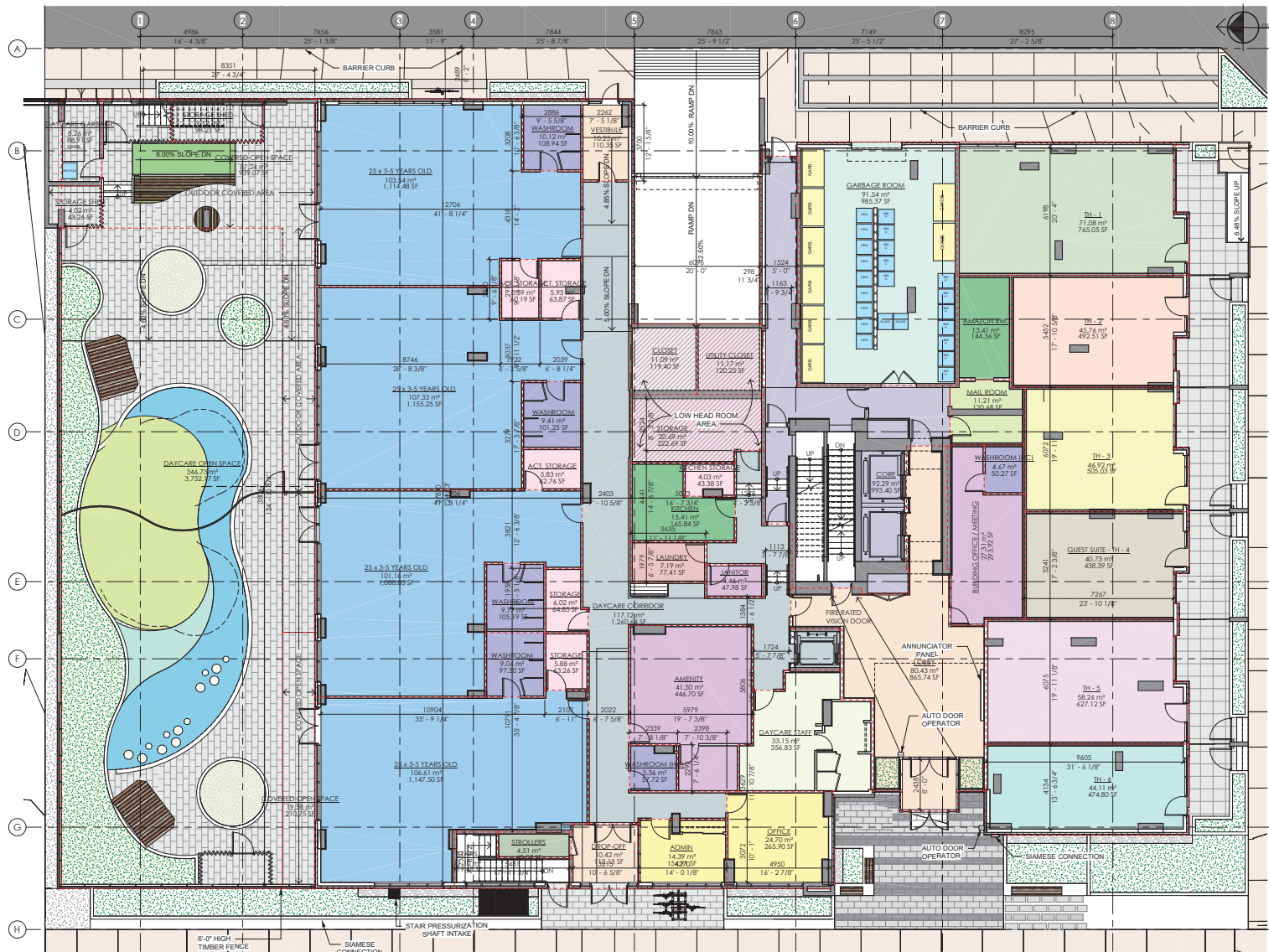
Rev:

File name:

Rev:







ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 1	STAIRS	21.14 m <sup>2</sup>	227.55 sqf
TOTAL		21.14 m <sup>2</sup>	227.55 sqf

LEVEL 1 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 1	2 BED RM - AD	1	1.9 m <sup>2</sup>	20.45 sqf
TOTAL		1	1.9 m <sup>2</sup>	20.45 sqf

LEVEL 1 WALL EXCLUSION			
Level	TOTAL LENGTH	AREA SQM	AREA SQFT
LEVEL 1	163.96 m	21.81 m <sup>2</sup>	234.72 sqf
TOTAL	163.96 m	21.81 m <sup>2</sup>	234.72 sqf

LEVEL 1 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 1	AMENITY	73.48 m <sup>2</sup>	791 sqf
LEVEL 1	LOBBY	80.43 m <sup>2</sup>	866 sqf
LEVEL 1	SERVICE	91.54 m <sup>2</sup>	985 sqf
TOTAL		245.45 m <sup>2</sup>	2642 sqf

LEVEL 1 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 1	AMENITY	73.48 m <sup>2</sup>	791 sqf
LEVEL 1	COMMON	116.91 m <sup>2</sup>	1258 sqf
LEVEL 1	DAYCARE	769.01 m <sup>2</sup>	8278 sqf
LEVEL 1	LOBBY	80.43 m <sup>2</sup>	866 sqf
LEVEL 1	RESIDENTIAL	308.65 m <sup>2</sup>	3333 sqf
LEVEL 1	SERVICE	91.54 m <sup>2</sup>	985 sqf
TOTAL		1438.22 m <sup>2</sup>	15481 sqf

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Revision Schedule

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1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

RAHARCHITECTS INC.

Client

KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

LEVEL 1 FAR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawn By:

HR

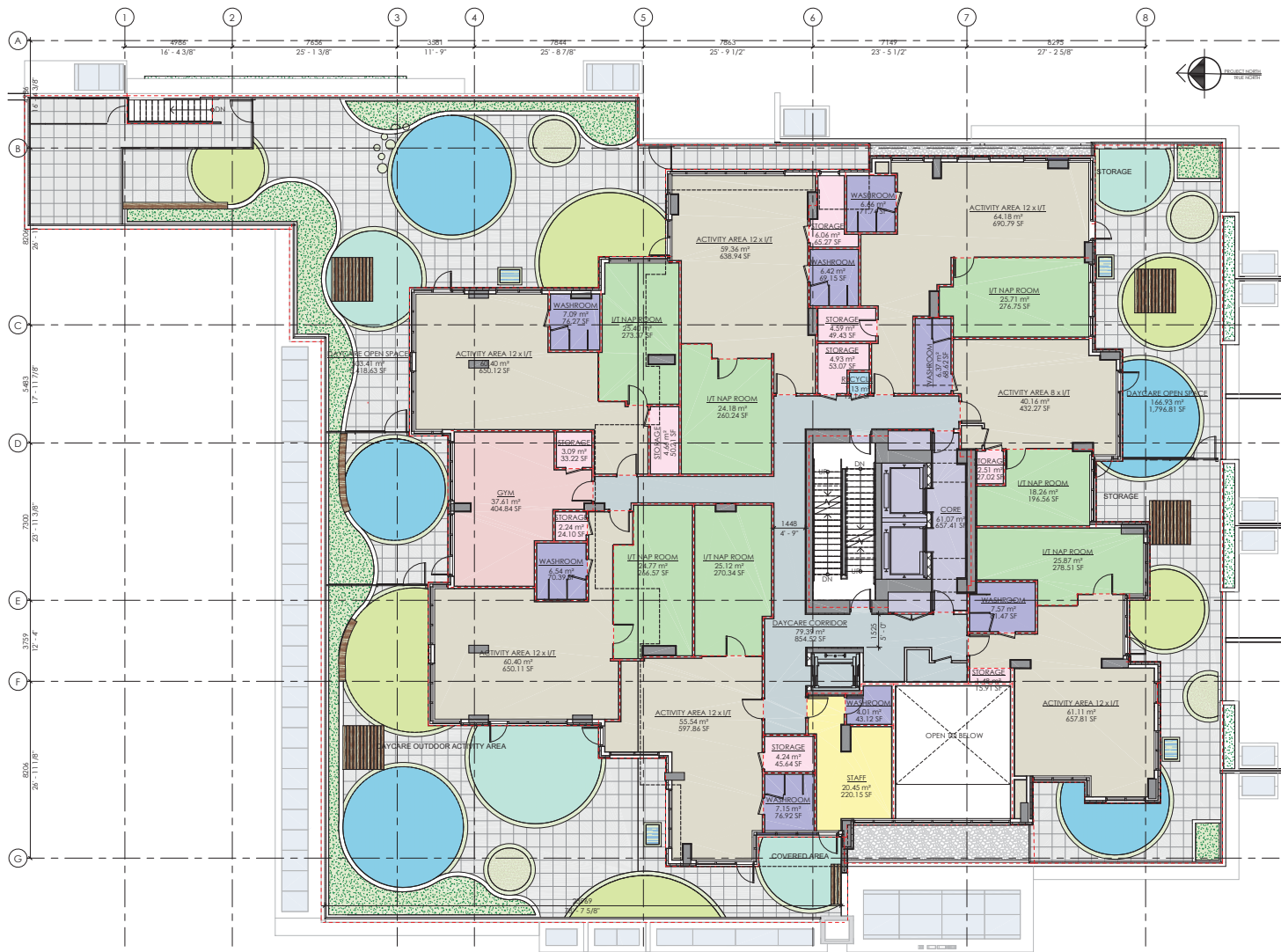
Drawing No.

A0-15

File name:

Rev:





ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 2	STAIRS	21.14 m <sup>2</sup>	227.55 sft
TOTAL		21.14 m <sup>2</sup>	227.55 sft

LEVEL 2 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF

LEVEL 2 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQFT
L2	152.79 m	20.32 m <sup>2</sup>	218.74 ft <sup>2</sup>
TOTAL	152.79 m	20.32 m <sup>2</sup>	218.74 ft <sup>2</sup>

LEVEL 2 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	40.70 m <sup>2</sup>	438 ft <sup>2</sup>
TOTAL	AMENITY	40.70 m <sup>2</sup>	438 ft <sup>2</sup>

LEVEL 2 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 2	AMENITY	40.70 m <sup>2</sup>	438 ft <sup>2</sup>
LEVEL 2	COMMON	81.07 m <sup>2</sup>	867 ft <sup>2</sup>
LEVEL 2	DAYCARE	753.94 m <sup>2</sup>	8115 ft <sup>2</sup>
TOTAL		875.71 m <sup>2</sup>	9420 ft <sup>2</sup>

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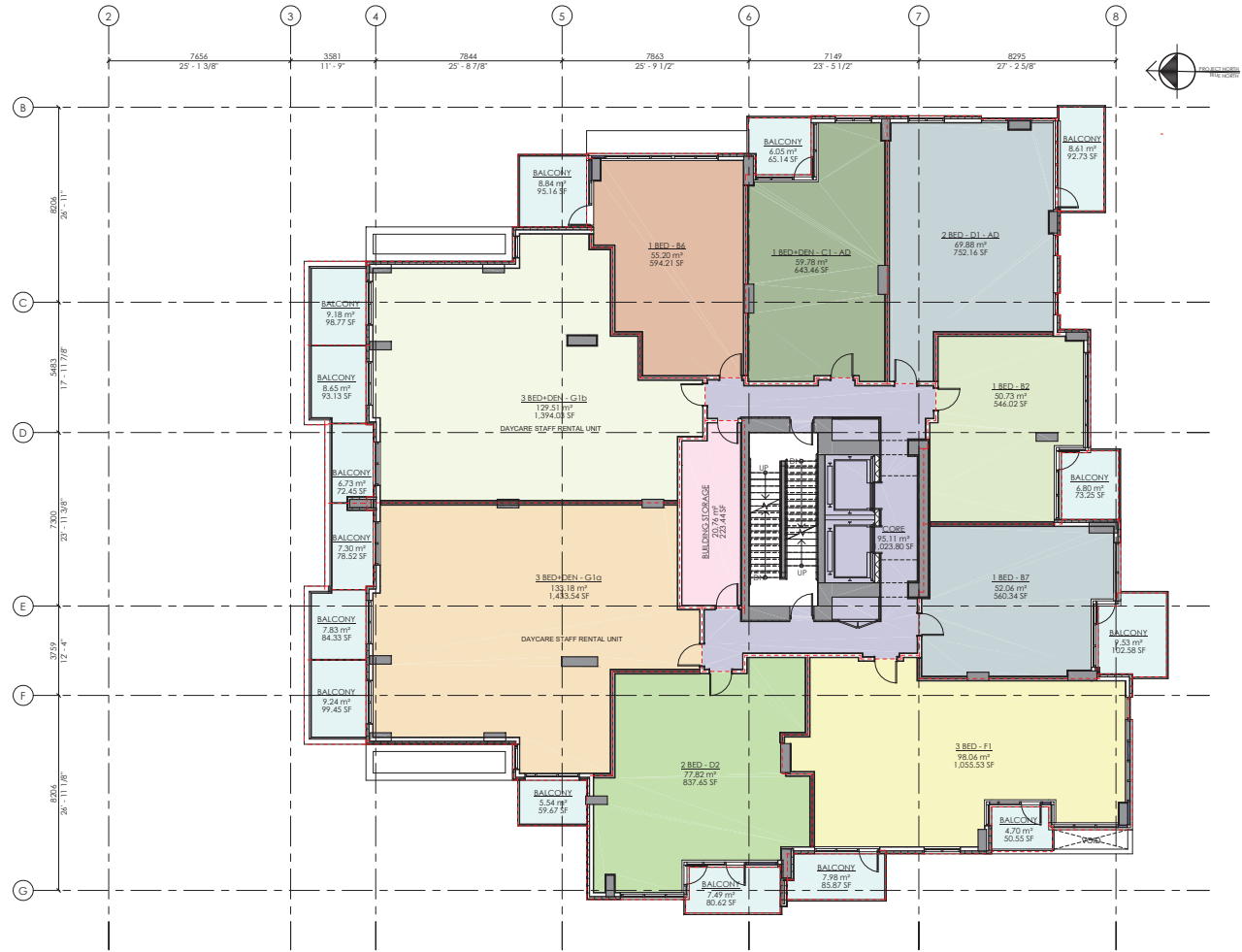
Client  
**KENWOOD APARTMENTS**

Project  
**1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

Drawing Title  
**LEVEL 2 FAR PLAN**

Date: AUG. 01 - 2019  
Scale: 1 : 100  
Drawn By: HR  
File name:

Project No: 17-55  
Drawing No: A0-16  
Rev:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 3	STAIRS	21.14 m <sup>2</sup>	227.55 sf
TOTAL		21.14 m <sup>2</sup>	227.55 sf

LEVEL 3 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 3	1 BED RM + DEN - AD	1	1.9 m <sup>2</sup>	20.45 sf
LEVEL 3	2 BED RM - AD	1	1.9 m <sup>2</sup>	20.45 sf
TOTAL		2		

LEVEL 3 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQFT
L3	140.51 m	18.69 m <sup>2</sup>	201.16 ft <sup>2</sup>
TOTAL	140.51 m	18.69 m <sup>2</sup>	201.16 ft <sup>2</sup>

LEVEL 3 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m <sup>2</sup>	223 ft <sup>2</sup>
TOTAL		20.76 m <sup>2</sup>	223 ft <sup>2</sup>

LEVEL 3 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 3	AMENITY	20.76 m <sup>2</sup>	223 ft <sup>2</sup>
LEVEL 3	COMMON	95.11 m <sup>2</sup>	1024 ft <sup>2</sup>
LEVEL 3	RESIDENTIAL	126.22 m <sup>2</sup>	1361 ft <sup>2</sup>
TOTAL		342.09 m <sup>2</sup>	3668 ft <sup>2</sup>

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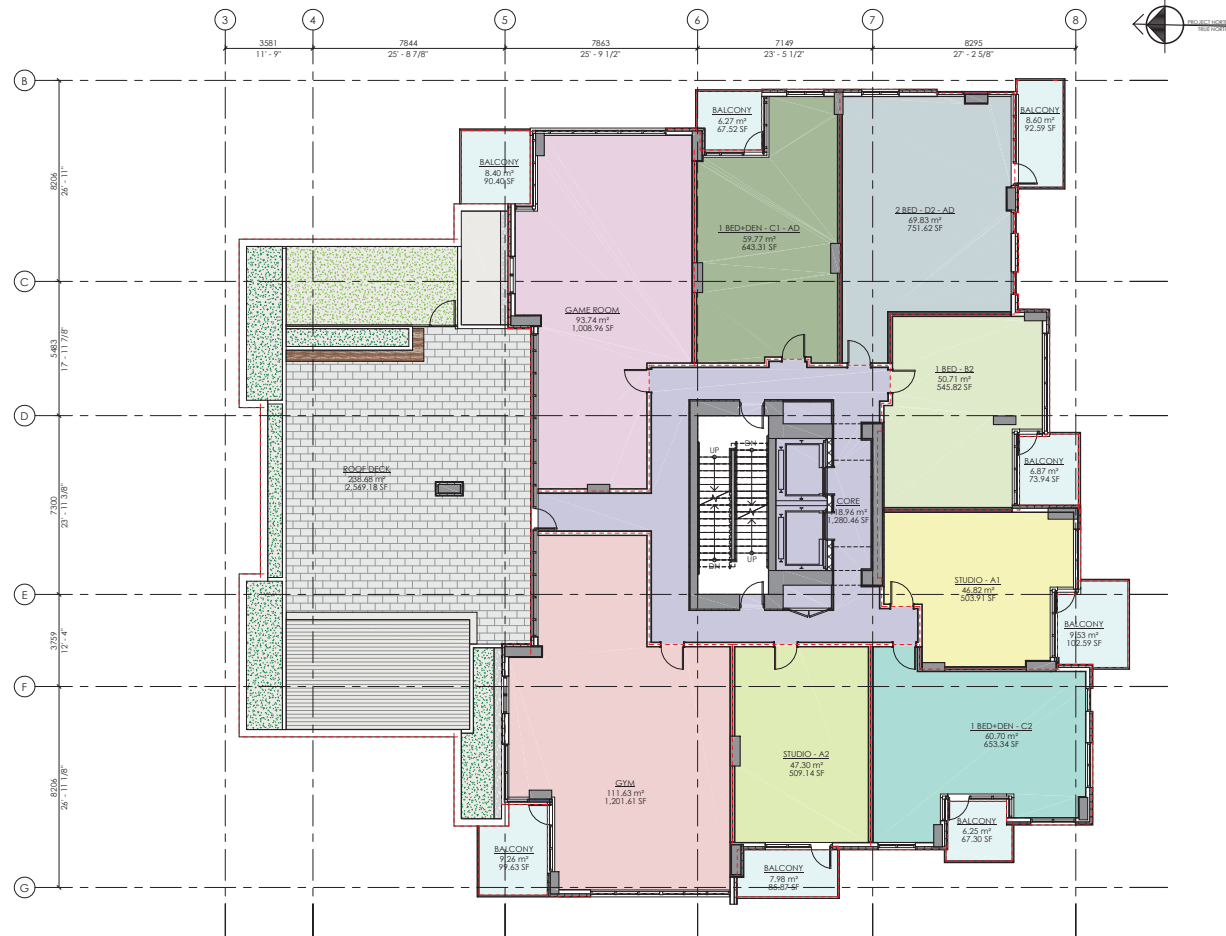
Client  
**KENWOOD APARTMENTS**

Project  
**1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

Drawing Title  
**LEVEL 3 FAR PLAN**

Date: AUG. 01 - 2019  
Scale: 1 : 100  
Drawn By: HR  
File name:

Project No: 17-55  
Drawing No: A0-17  
Rev:



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 4	STAIRS	21.14 m2	227.55 sf
TOTAL		21.14 m2	227.55 sf

LEVEL 4 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQF
L4	123.54 m	16.43 m²	176.86 ft²
TOTAL	123.54 m	16.43 m²	176.86 ft²

LEVEL 4 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
Level 4	AMENITY	205.37 m²	2211 ft²
Level 4	COMMON	118.96 m²	1280 ft²
Level 4	RESIDENTIAL	335.11 m²	3607 ft²
TOTAL		659.44 m²	7098 ft²

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RAFIIARCHITECTS INC

Client

KENWOOD  
APARTMENTS

**Project**  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
LEVEL 4 FAR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. <b>A0-18</b>
Drawn By: HR	
File name:	Rev:

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Drawing Issue Date

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Rev #	Date	Description
1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING



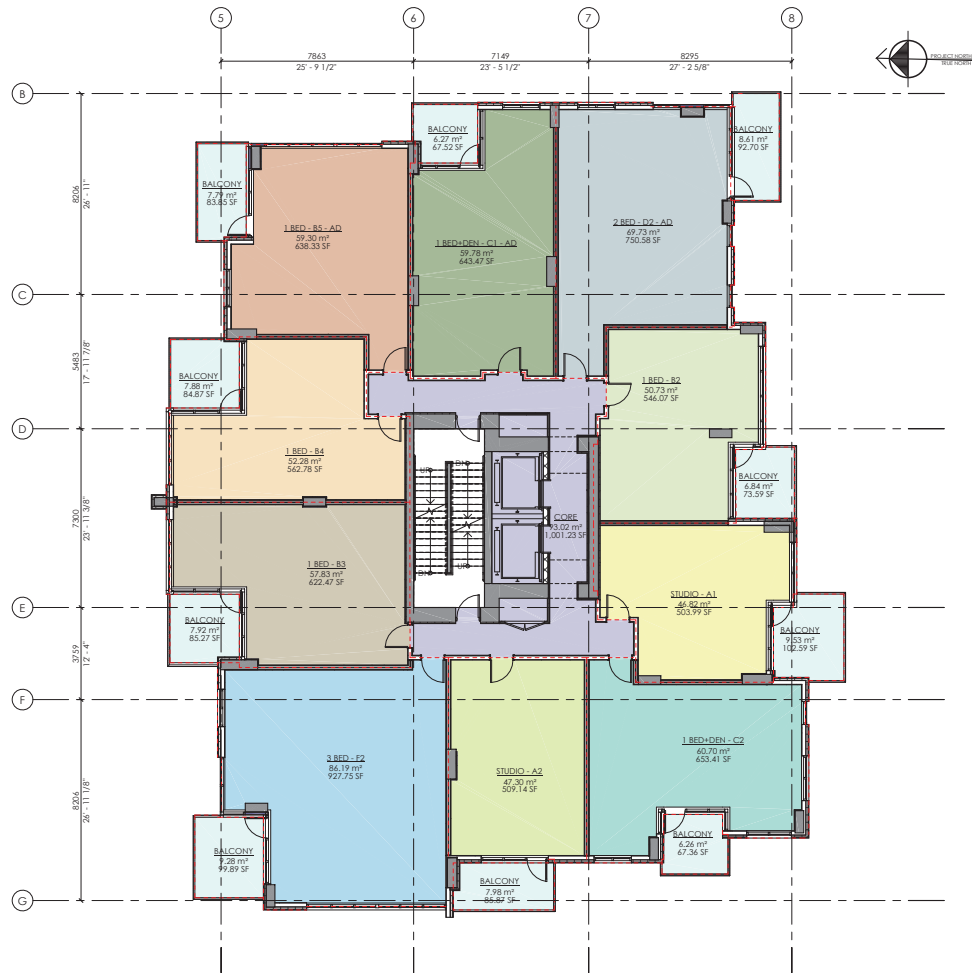
Client

KENWOOD  
APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
LEVEL 5-12 FAR PLAN

Date: AUG. 01 - 2019	Project No: 17-55
Scale: 1 : 100	Drawing No: A0-19
Drawn By: HR	Rev:
File name:	



ACTIVE DESIGN			
Level	TYPE	AREA	AREA SF
LEVEL 5-13	STAIRS	21.14 m <sup>2</sup>	227.55 sf
TOTAL		21.14 m <sup>2</sup>	227.55 sf

LEVEL 5-12 ADAPTABLE UNIT BONUS				
Level	UNIT TYPE	Count	BONUS AREA	BONUS AREA SF
LEVEL 8	1 BED RM + DEN - AD	1	1.9 m <sup>2</sup>	20.45 sf
LEVEL 8	1 BED RM - AD	1	1.9 m <sup>2</sup>	20.45 sf
LEVEL 8	2 BED RM - AD	1	1.9 m <sup>2</sup>	20.45 sf
TOTAL		3	5.7 m <sup>2</sup>	61.35 sf

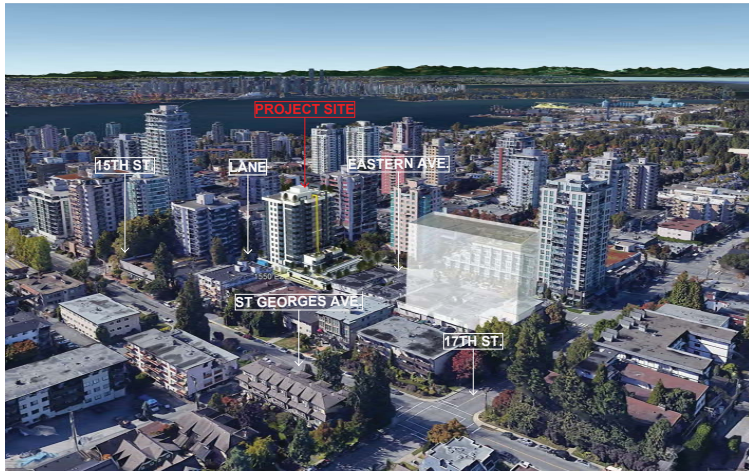
LEVEL 5-13 WALL EXCLUSION			
LEVEL	TOTAL LENGTH	AREA SQM	AREA SQFT
5-13	103.25 m	13.73 m <sup>2</sup>	147.81 ft <sup>2</sup>
TOTAL	103.25 m	13.73 m <sup>2</sup>	147.81 ft <sup>2</sup>

LEVEL 5-13 EXEMPTIONS			
Level	AREA USE	Area	Area (Imperial)
LEVEL 8	COMMON	60.70 m <sup>2</sup>	658.81 ft <sup>2</sup>
LEVEL 8	RESIDENTIAL	590.68 m <sup>2</sup>	6358 ft <sup>2</sup>
TOTAL		651.38 m <sup>2</sup>	7016.81 ft <sup>2</sup>

LEVEL 5-13 GROSS AREA			
Level	AREA USE	Area	Area (Imperial)
LEVEL 8	COMMON	60.70 m <sup>2</sup>	658.81 ft <sup>2</sup>
LEVEL 8	RESIDENTIAL	590.68 m <sup>2</sup>	6358 ft <sup>2</sup>
TOTAL		651.38 m <sup>2</sup>	7016.81 ft <sup>2</sup>







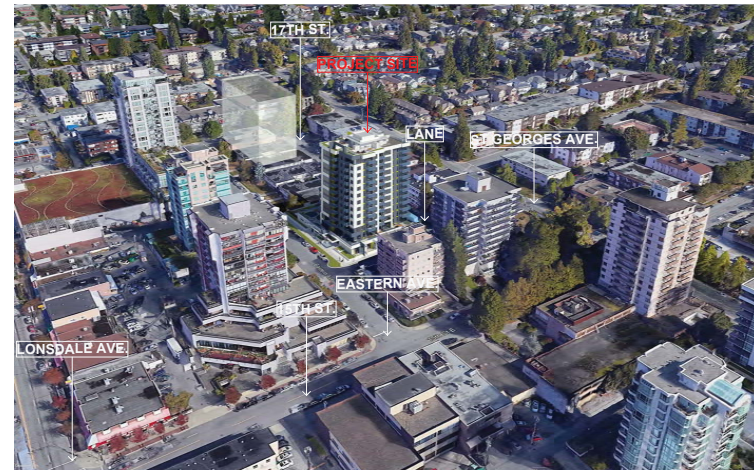
VIEW FROM NORTH EAST



VIEW FROM SOUTH EAST



VIEW FROM NORTH WEST



VIEW FROM SOUTH WEST

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4	FEB 28-2022	RE-ISSUED FOR REZONING

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**KENWOOD  
APARTMENTS**

Project

**1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title

**3D CONTEXT VIEWS**

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

Drawing No.

A0-21

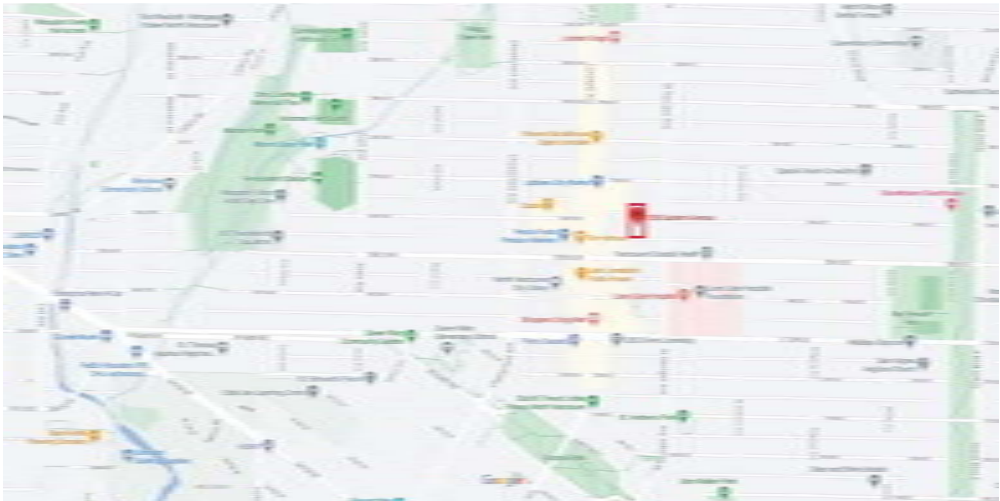
Drawn By:

HR

File name:

Rev:

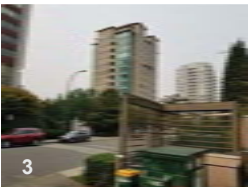
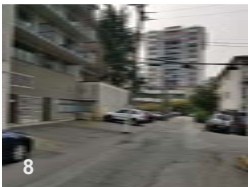




NEIGHBOURHOOD AMENITIES & LOCATIONS



SITE CONTEXT PHOTOS



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4	FEB 28-2022	RE-ISSUED FOR REZONING



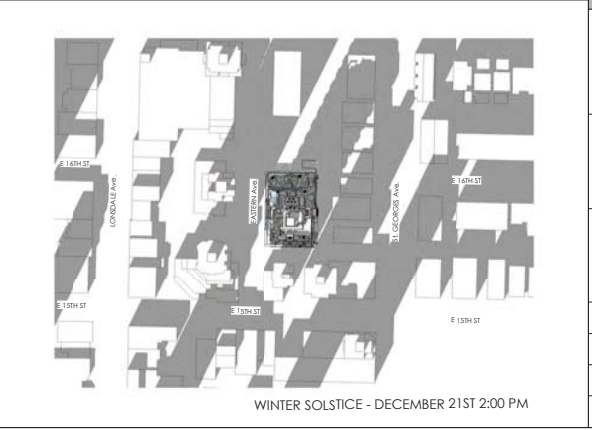
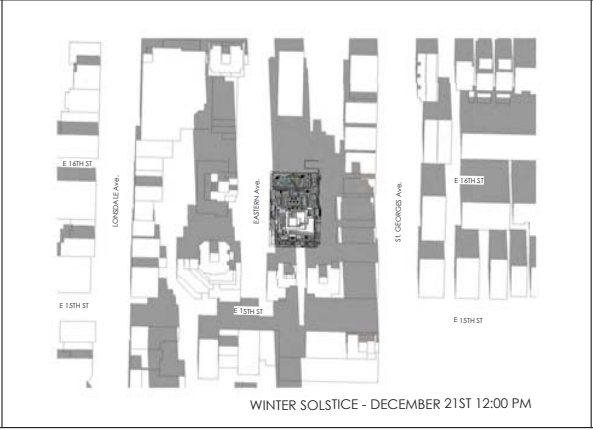
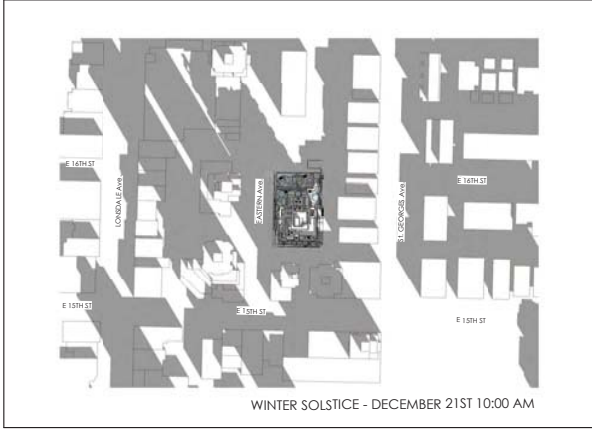
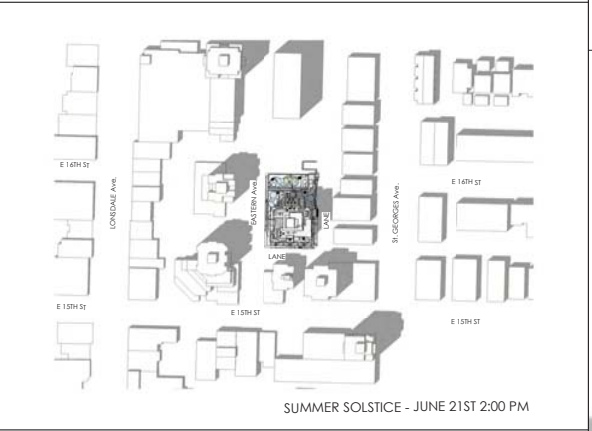
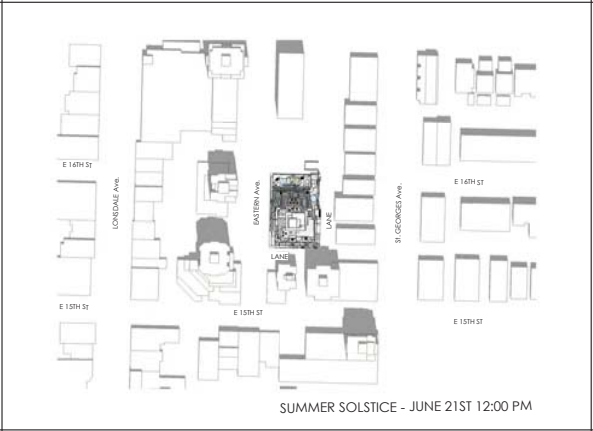
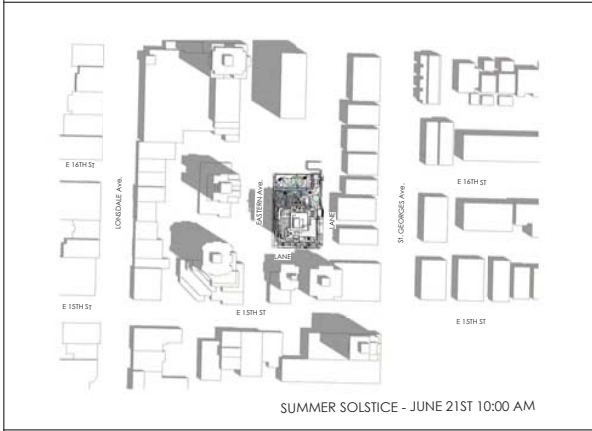
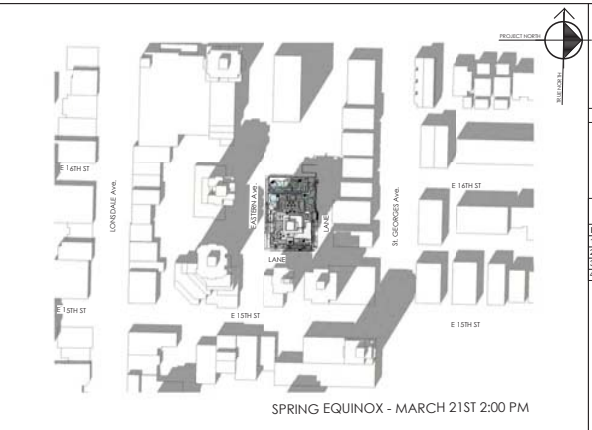
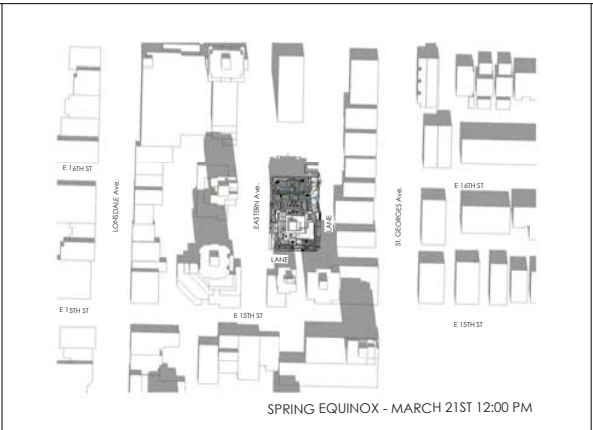
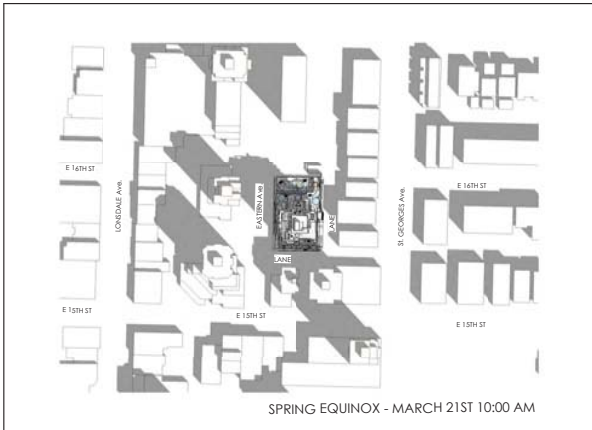
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KENWOOD APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
CONTEXT PHOTOS

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-22
Drawn By: HR	Rev:
File name:	



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1	OCT 14-2020	ISSUED FOR REZONING
2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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**KENWOOD APARTMENTS**

Project

**1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title

**SHADOW STUDY**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 2000	Drawing No. <b>A0-23</b>
Drawn By: HR	
File name:	Rev:





AERIAL VIEW FROM NORTH WEST

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Revision Schedule		
Rev #	Date	Description
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3	JUN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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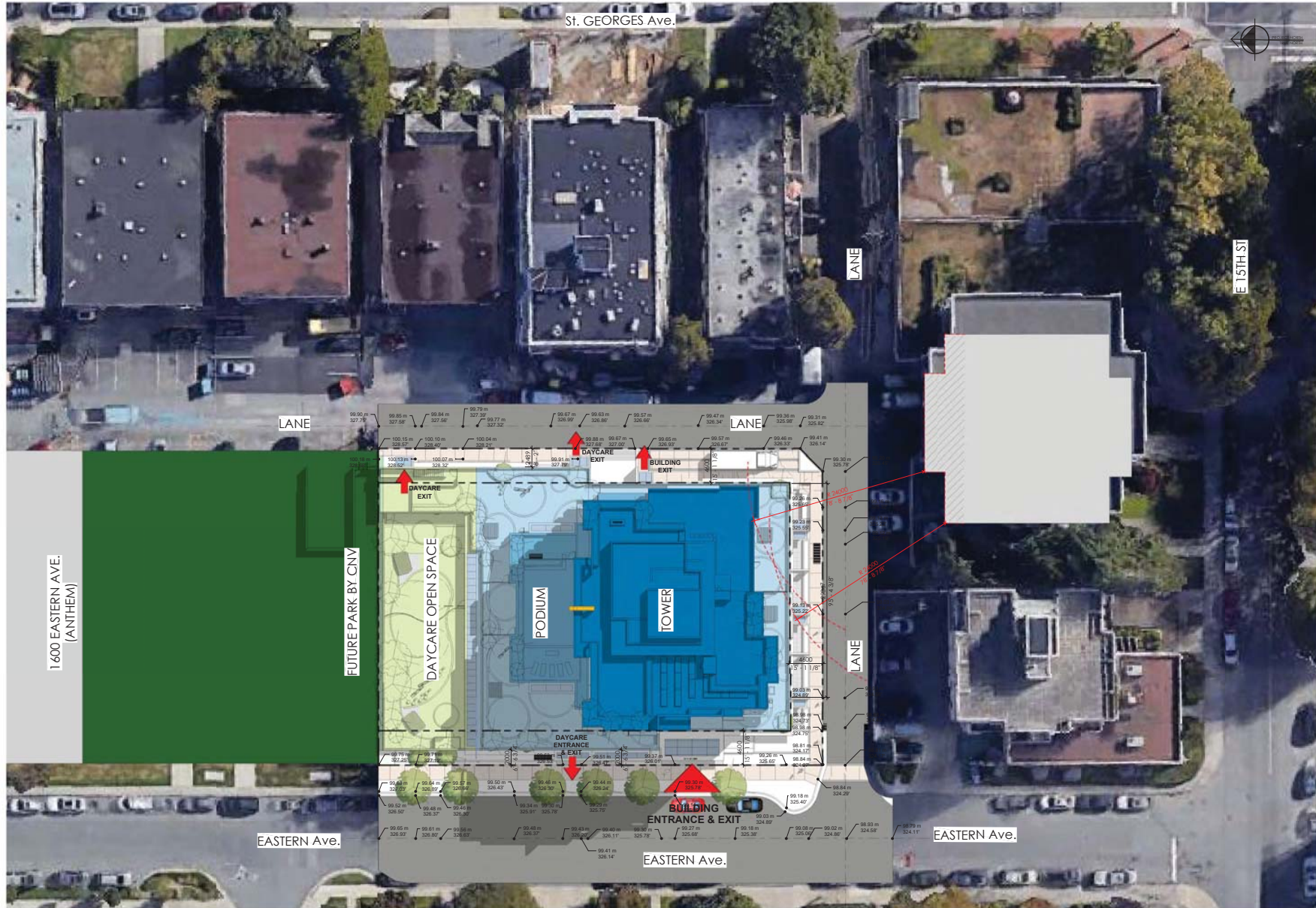
Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

3D AERIAL VIEW FROM  
NORTH WEST

Date: AUG. 01 - 2019	Project No. 17-55
Scale	Drawing No. A0-24
Drawn By: HR	
File name:	Rev:



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4	FEB 28-2022	RE-ISSUED FOR REZONING

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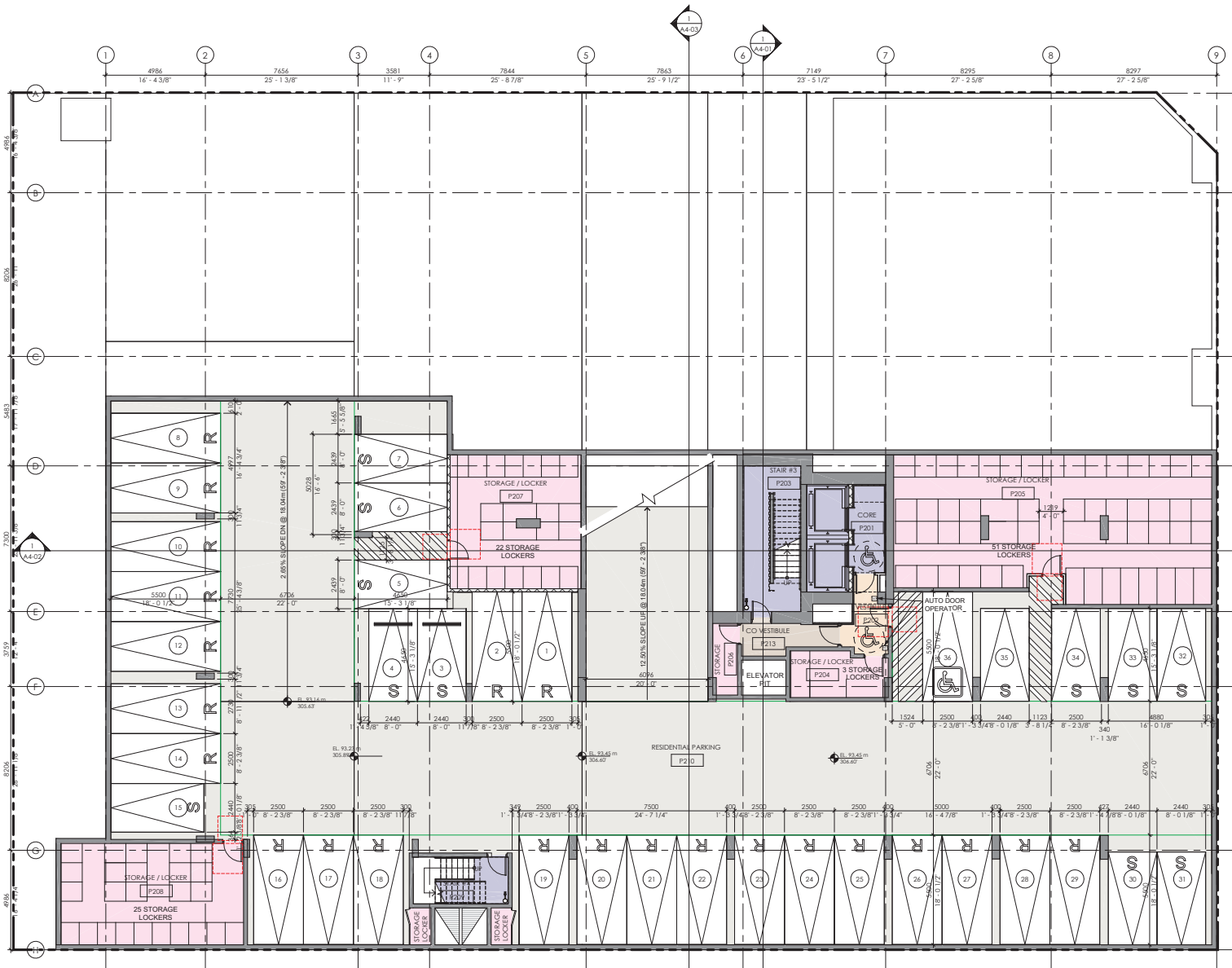
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

SITE PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 250	Drawing No. A1-01
Drawn By: HR	
File name:	Rev:





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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING



Client  
**KENWOOD APARTMENTS**

Project  
**1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

Drawing Title  
**PARKING LEVEL P2**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A2-01
Drawn By: HR	
File name:	Rev:

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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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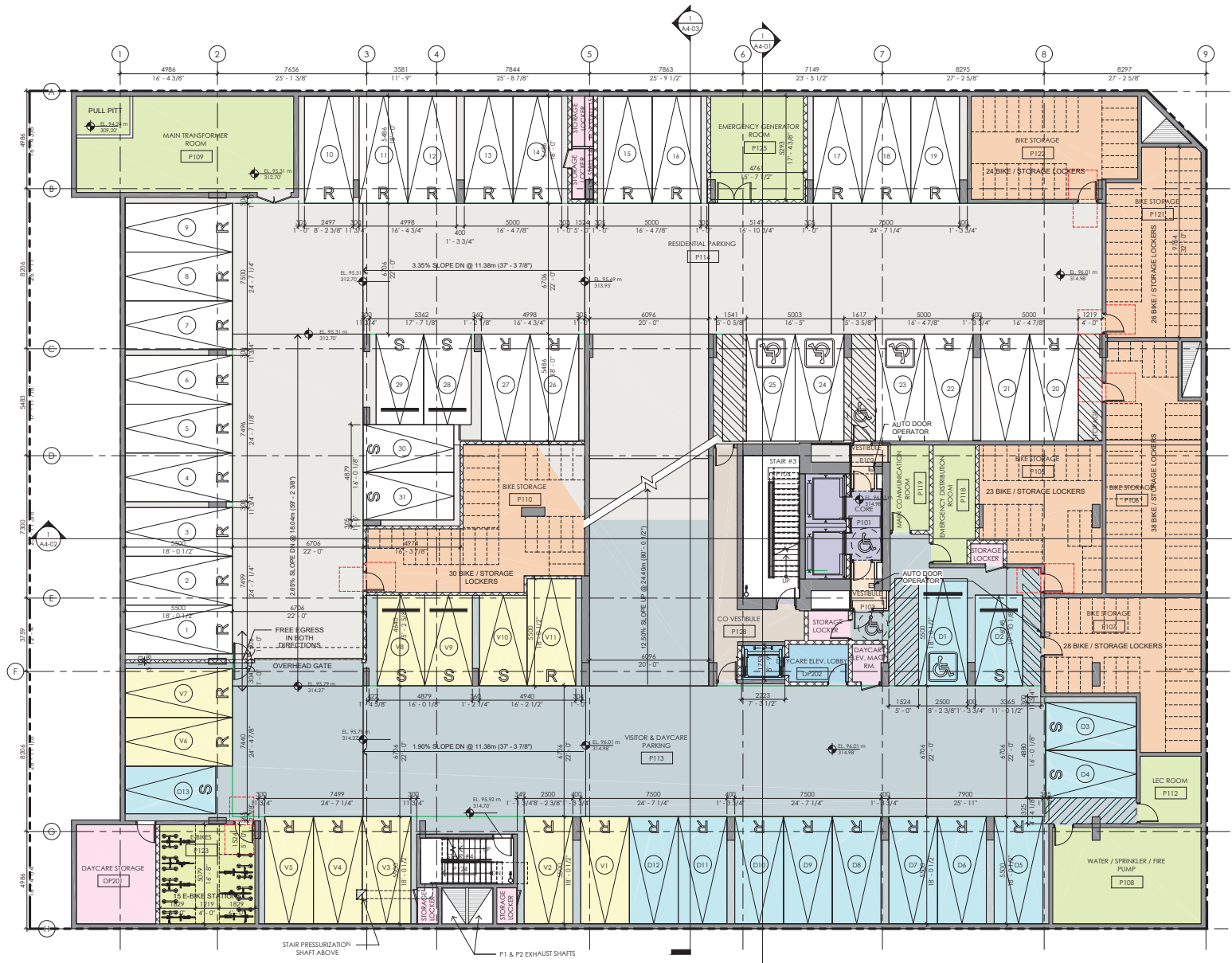
Client

KENWOOD  
APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
PARKING LEVEL P1

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A2-02
Drawn By: HR	
File name:	Rev:





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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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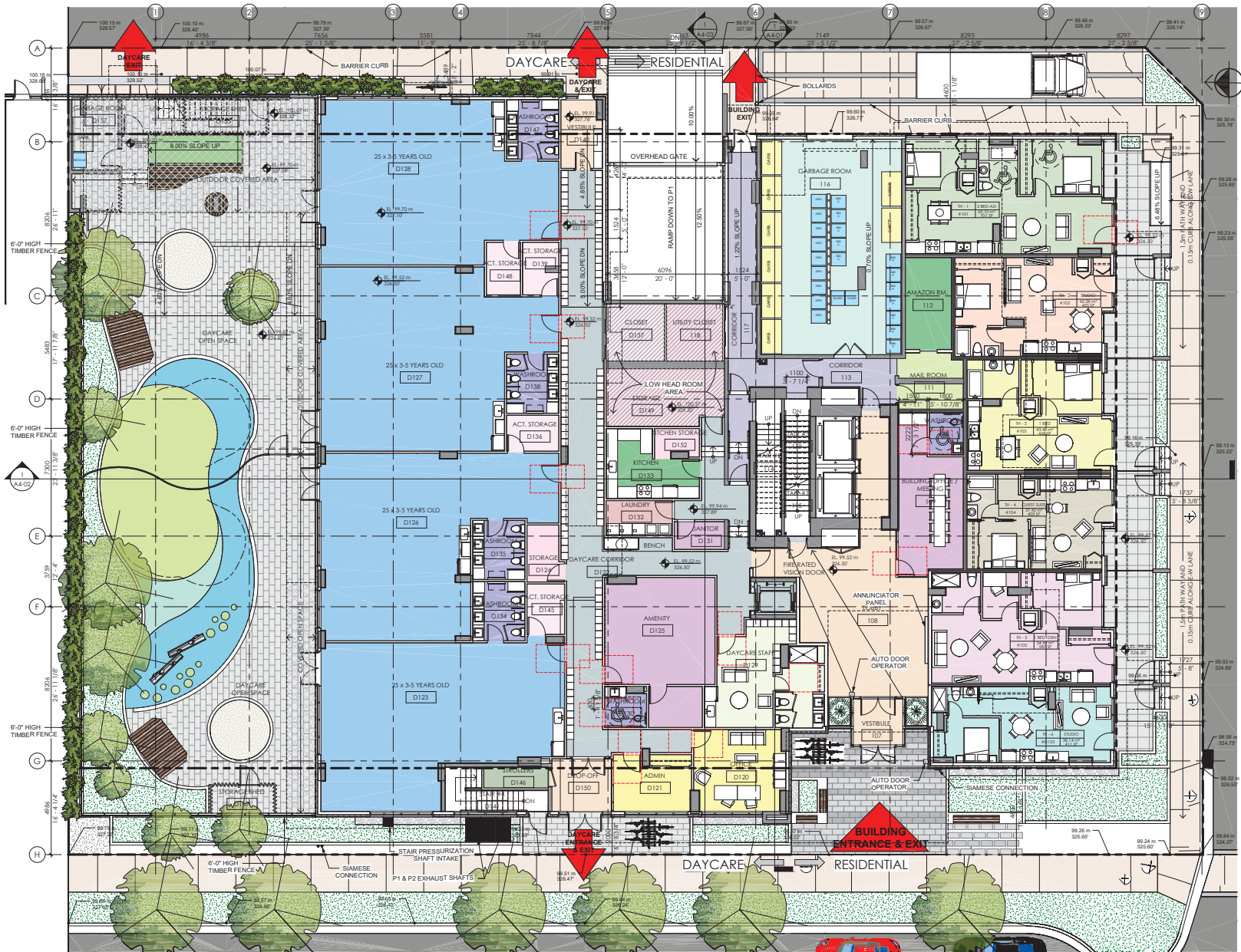
Client

KENWOOD  
APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
LEVEL 1 FLOOR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A2-03
Drawn By: HR	
File name:	Rev:



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KENWOOD APARTMENTS

Project

1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

LEVEL 2 FLOOR PLAN

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

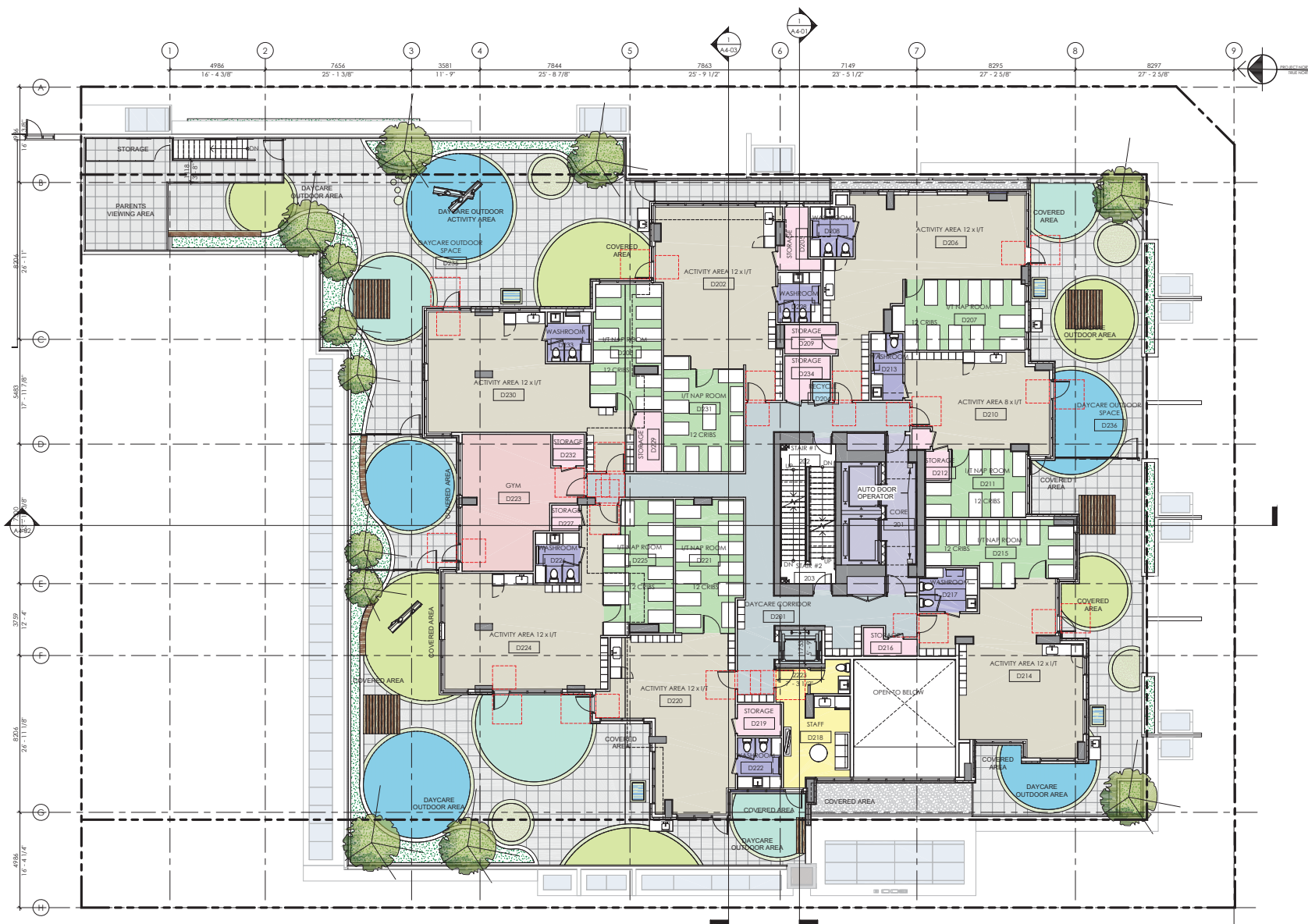
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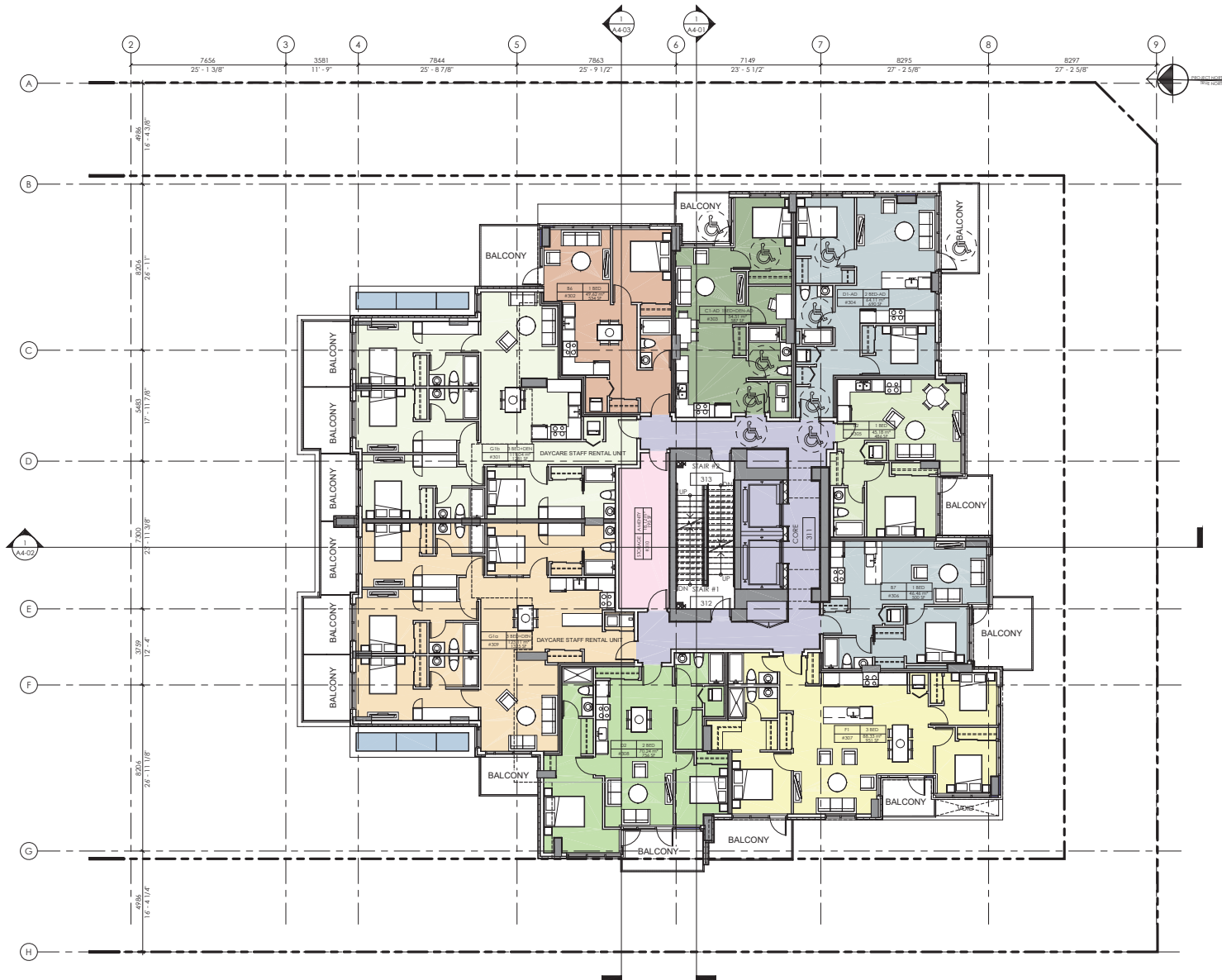
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KENWOOD APARTMENTS

Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
LEVEL 3 FLOOR PLAN

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A2-05
Drawn By: HR	
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APARTMENTS

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1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

LEVEL 5-12 FLOOR  
PLANS

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

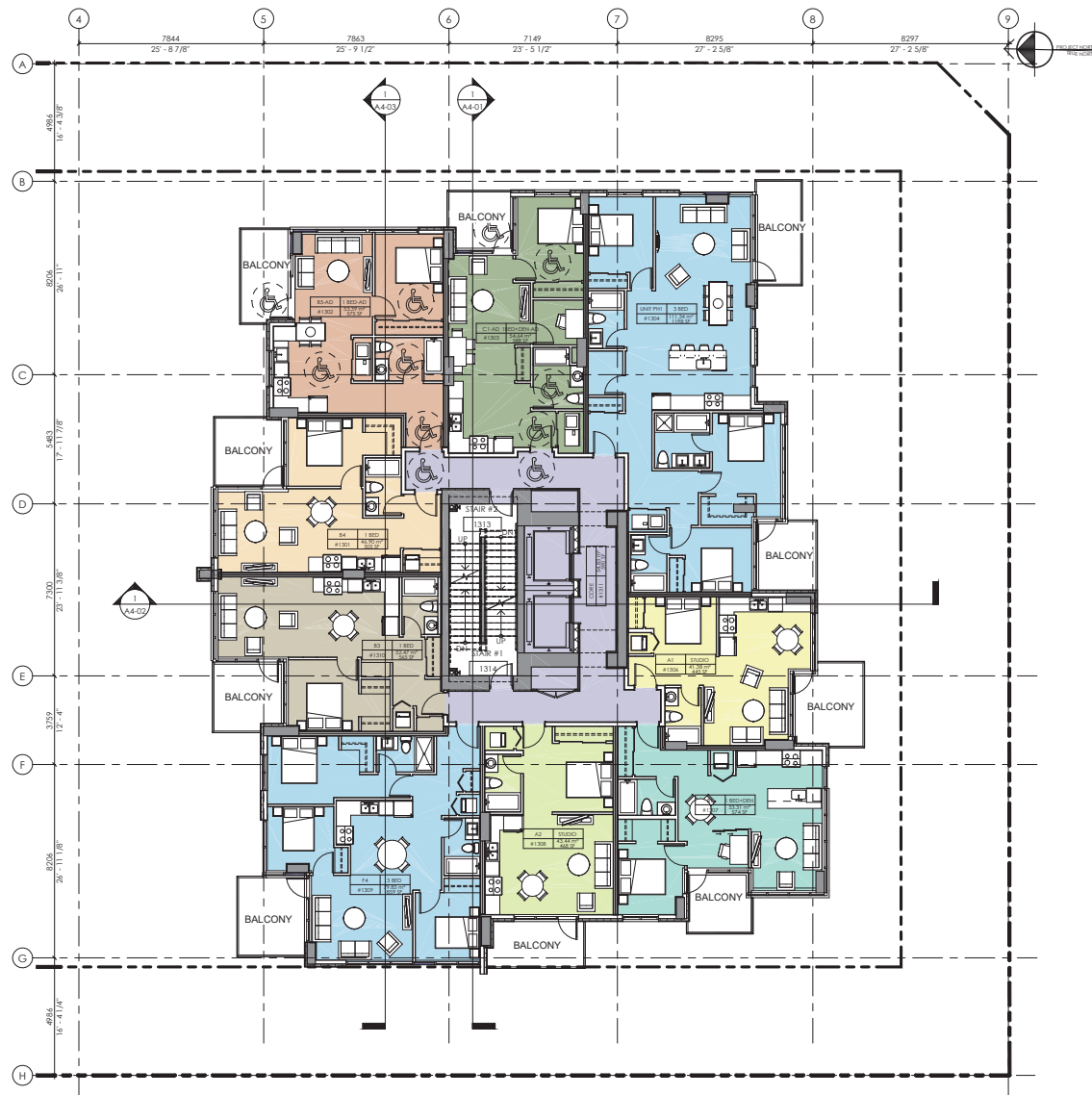
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Drawn By:

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File name:

Rev:



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**KENWOOD APARTMENTS**

Project

**1536 & 1550 EASTERN AVE.  
 NORTH VANCOUVER, BC**

Drawing Title

**LEVEL 13 FLOOR PLAN**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. <b>A2-08</b>
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1	NOV 14-2020	ISSUED FOR REZONING
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4	FEB 28-2022	RE-ISSUED FOR REZONING

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APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

ROOF LEVEL & TOP  
ROOF PLAN

Date:  
AUG. 01 - 2019

Scale:  
1 : 100

Drawn By:  
HR

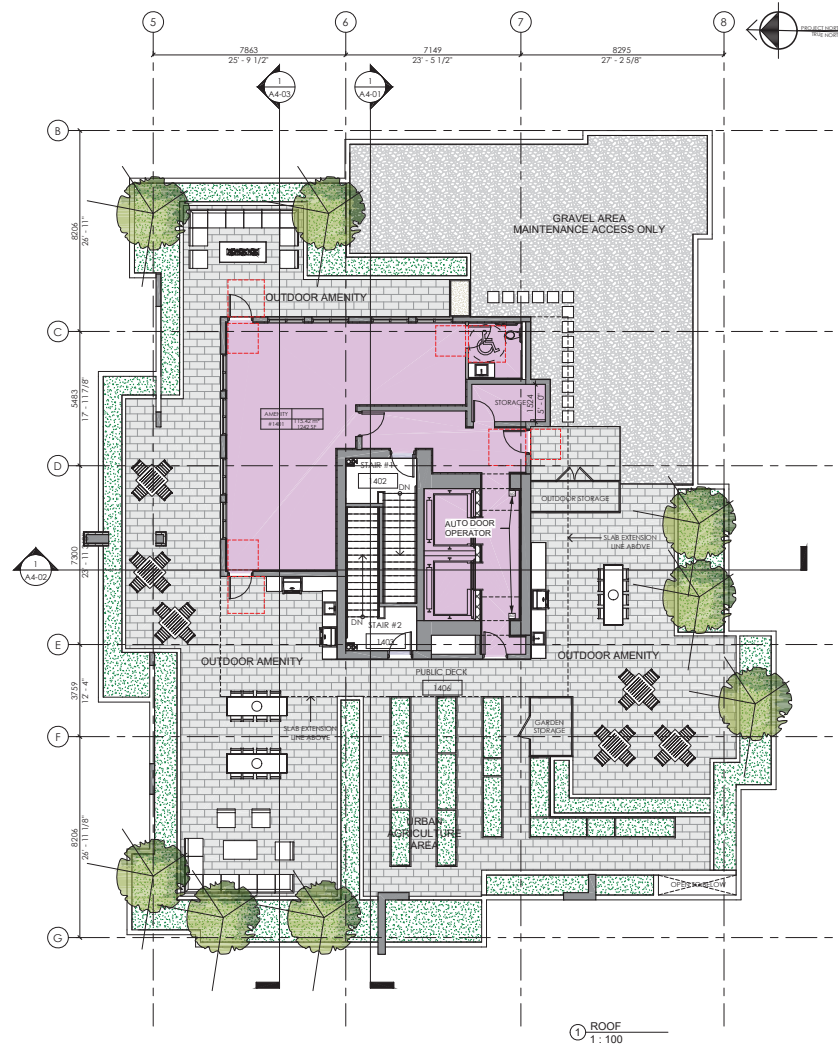
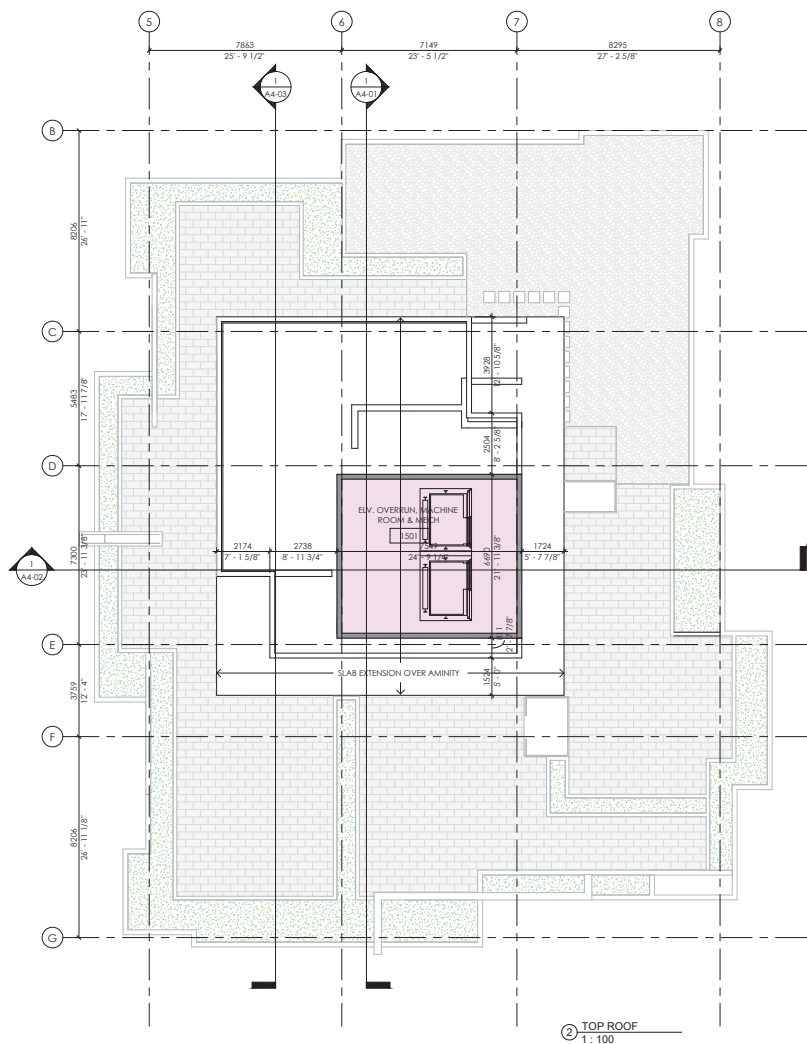
File name:

Project No.  
17-55

Drawing No.

A2-09

Rev:





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APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

WEST ELEVATION

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawing No.

A3-01

Drawn By:

HR

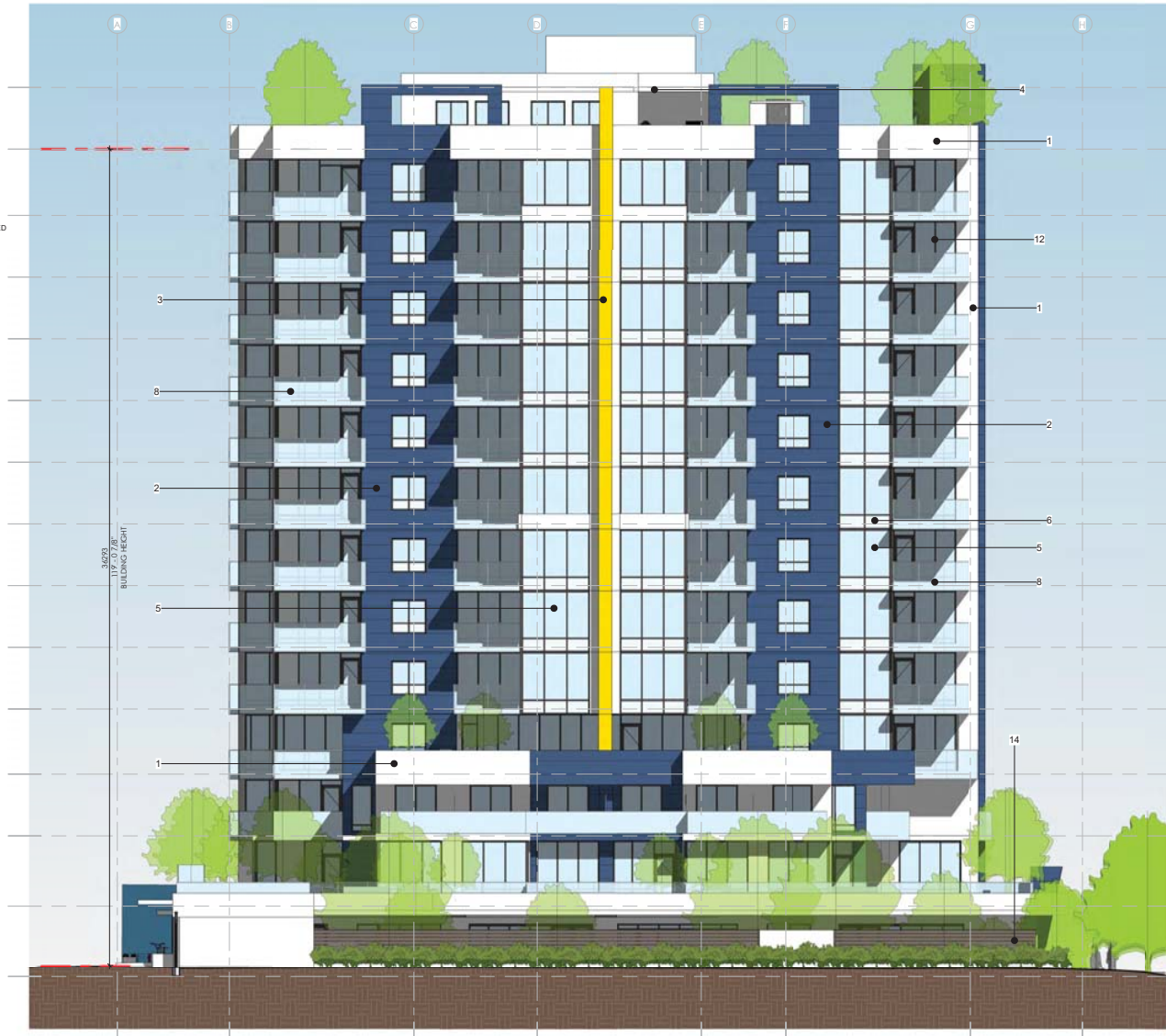
Rev:

File name:



### MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINUM RAILINGS - CHACOAL GREY
9. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
10. PREFINISHED ALUMINUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
13. PREFINISHED MISCELENEOUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON



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2	APR 12-2021	RE-ISSUED FOR REZONING
3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

RAH ARCHITECTS INC.



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Client

KENWOOD  
APARTMENTS

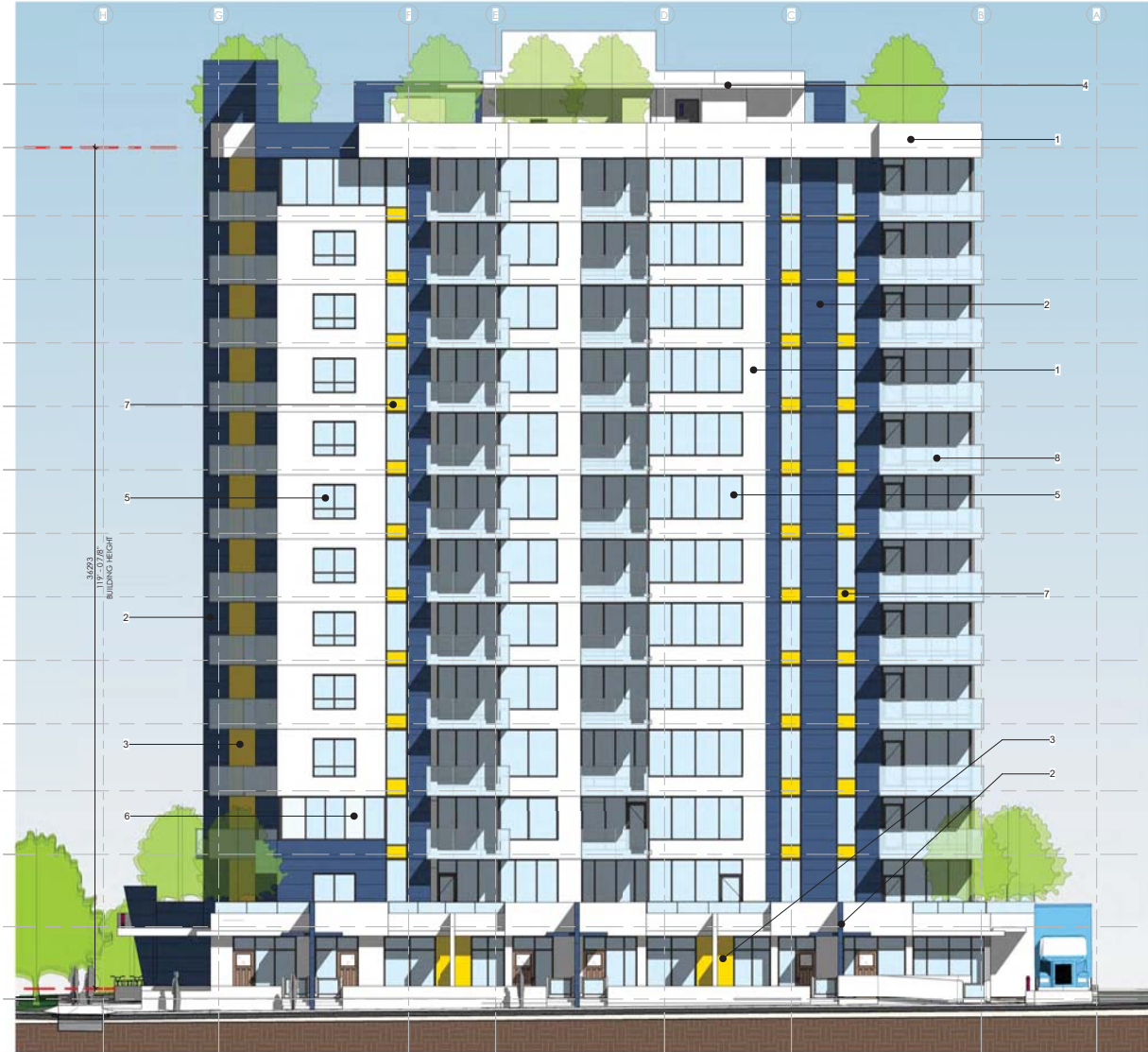
Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title  
NORTH ELEVATION

Date: AUG. 01 - 2019	Project No. 17-55
Scale 1 : 100	Drawing No. A3-02
Drawn By: HR	
File name:	Rev:

# MATERIAL LEGEND

1. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM BONE WHITE - PVDF 2, 25-35 GLOSS
2. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM SPIRE BLUE - PVDF 3, 25-35 GLOSS
3. PREFINISHED ALUMINUM COMPOSITE PANEL IN VENTILATED FACADE SYSTEM TUSCAN SUN - PVDF 2, 25-35 GLOSS
4. PAINTED ARCHITECTURAL CONCRETE - BONE WHITE
5. CRYSTAL BLUE ON CLEAR GLAZING IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
6. HARMONY BLUE SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
7. TUSCAN SUN MATCHING COLOUR SPANDREL GLASS IN PREFINISHED ALUMINUM FRAME - CHACOAL GREY
8. CRYSTAL BLUE GLAZING w/ CERAMIC FRIT PATTERN (TBD) IN PREFINISHED ALUMINUM RAILINGS - CHACOAL GREY
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10. PREFINISHED ALUMINUM OH & EXIT GATES - CHACOAL GREY
11. LAMINATED GLASS w/ DIFFUSED BLUE INTERLAYER AND STRUCTURAL STEEL CANOPY - CHACOAL GREY
12. PRIVACY SCREEN OF OPAQUE GLAZING IN ALUMINUM FRAMES - CHACOAL GREY
13. PREFINISHED MISCELLANEOUS METALS - CHACOAL GREY
14. WOOD TIMBER FENCE
15. FRAMELESS RETRACTABLE BALCONY ENCLOSURE - LUMON



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Drawing Issue Date

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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

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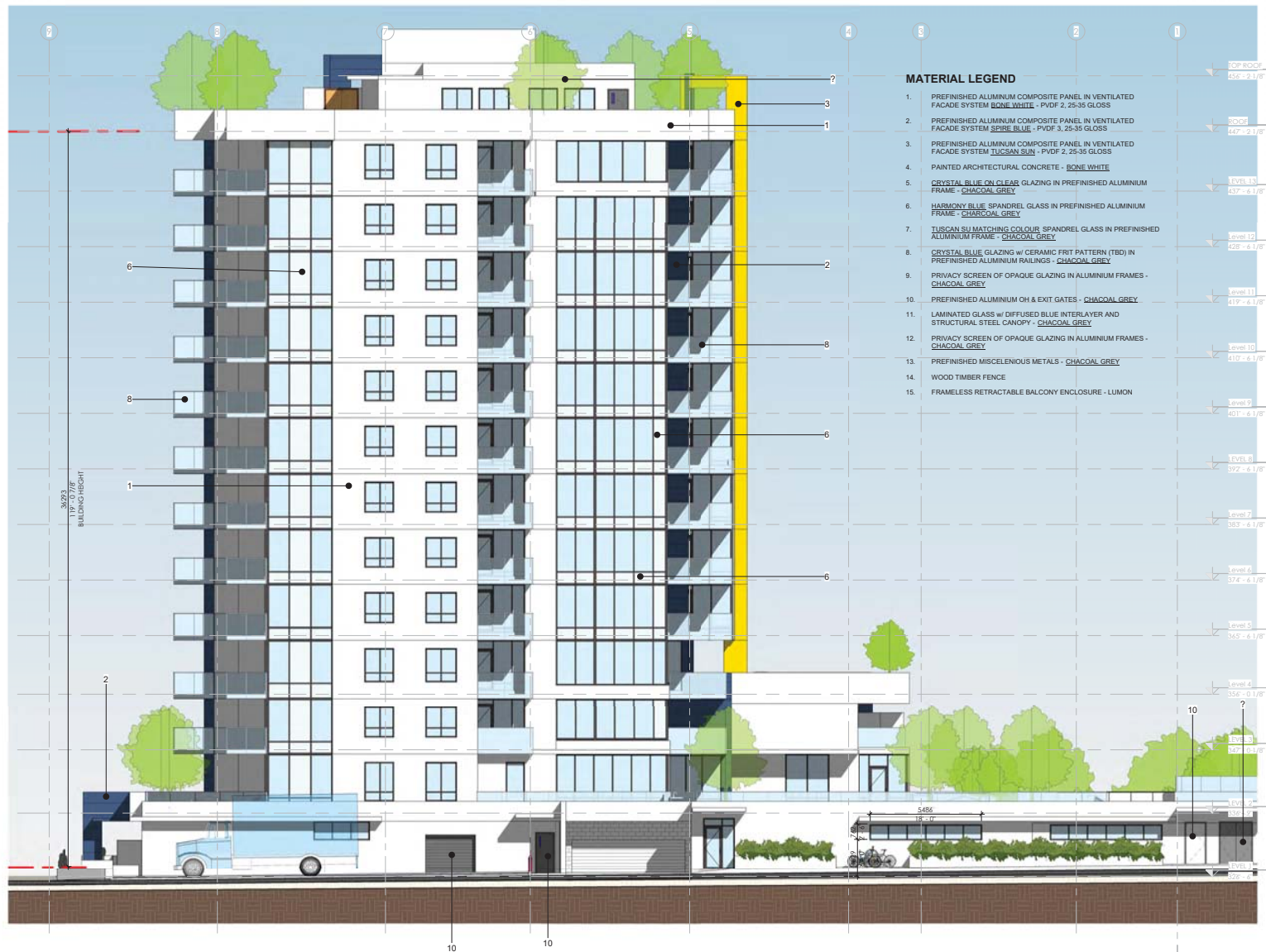
Client

**KENWOOD  
APARTMENTS**

Project  
**1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title  
**SOUTH ELEVATION**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. <b>A3-03</b>
Drawn By: HR	
File name:	Rev:



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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

RAH ARCHITECTS INC.



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Client

KENWOOD  
APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

EAST ELEVATION

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1 : 100

Drawn By:

HR

File name:

Drawing No.

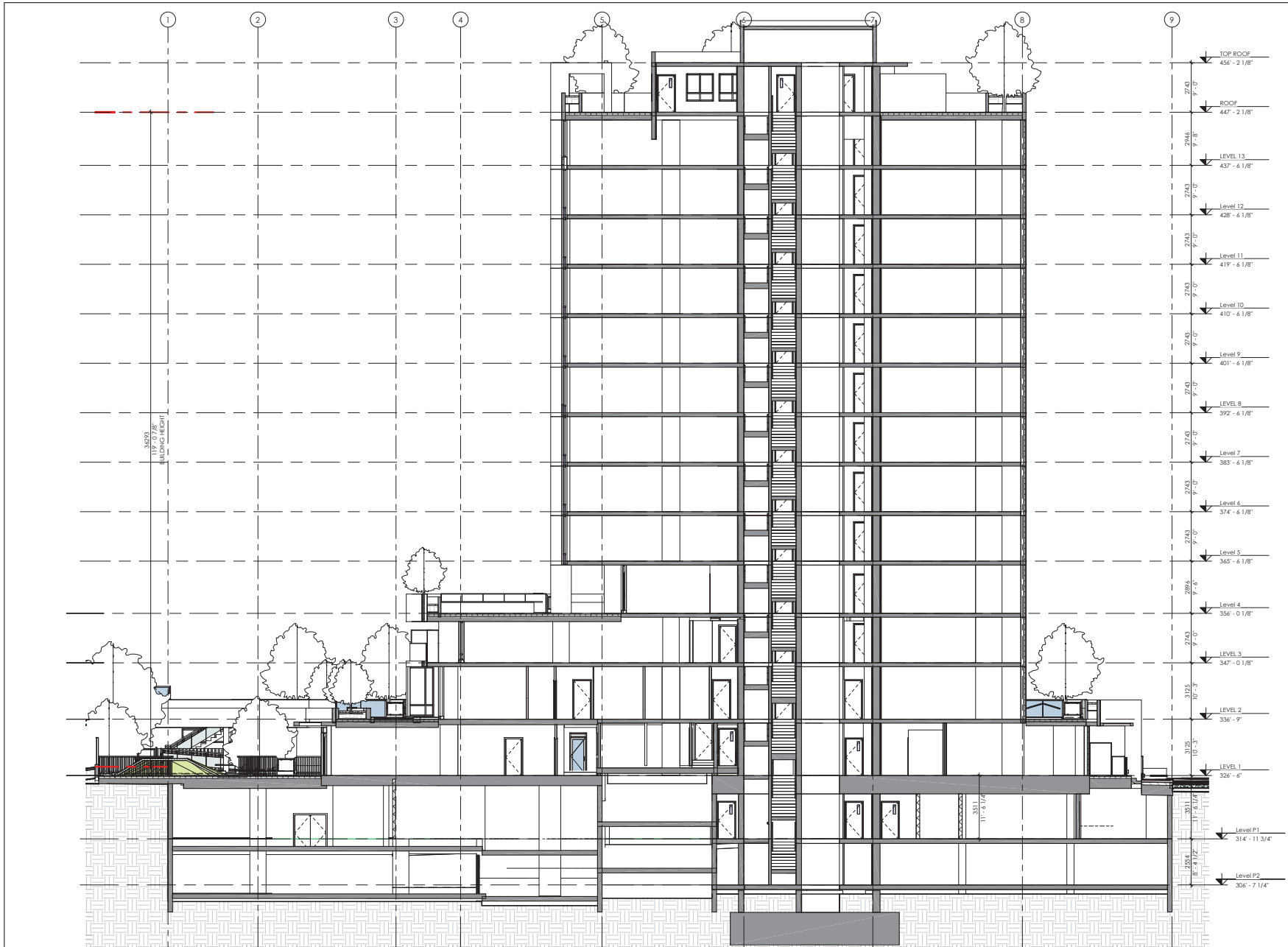
A3-04

Rev:









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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING



Client  
**KENWOOD APARTMENTS**

Project  
**1536 & 1550 EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title  
**SECTION B**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 100	Drawing No. A4-02
Drawn By: HR	
File name:	Rev:



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3	JAN 19-2022	RE-ISSUED FOR REZONING
4	FEB 28-2022	RE-ISSUED FOR REZONING

RAHAR ARCHITECTS INC.

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Client  
**KENWOOD APARTMENTS**

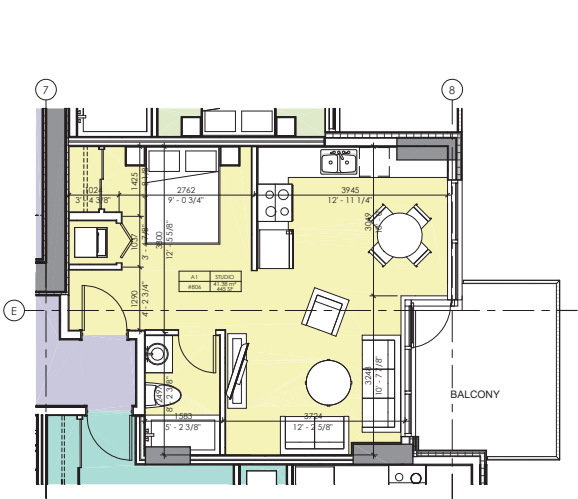
Project  
**1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC**

Drawing Title  
**UNIT PLANS A1, A2, B1,  
B2, B3, B4**

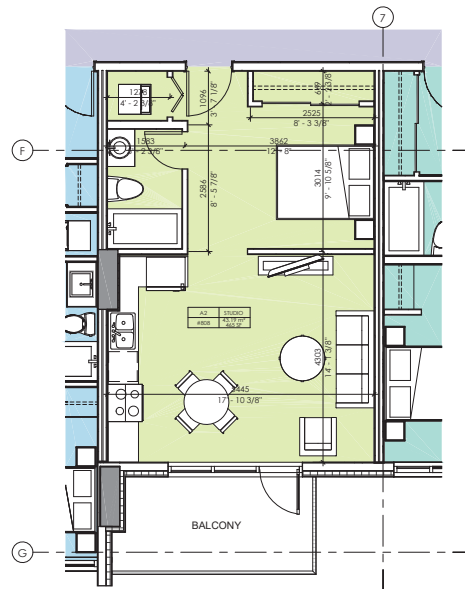
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Drawn By: HR	
File name:	Rev:



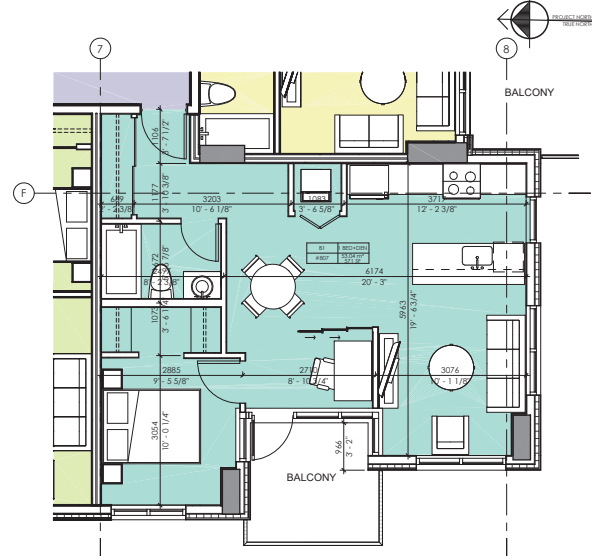
BALCONY



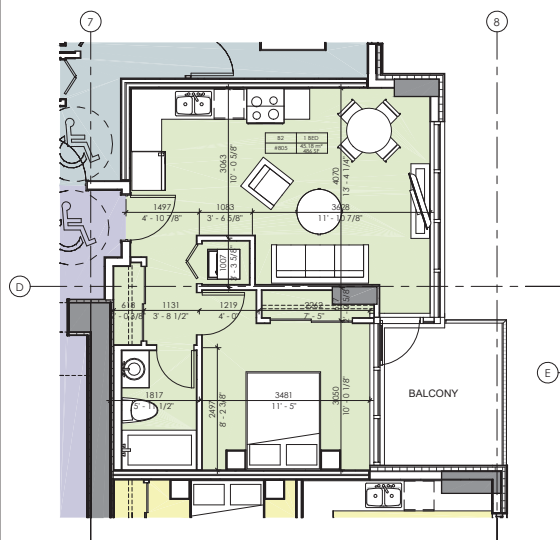
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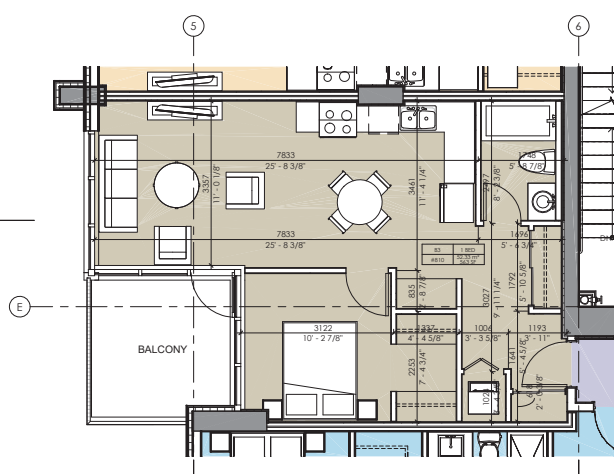
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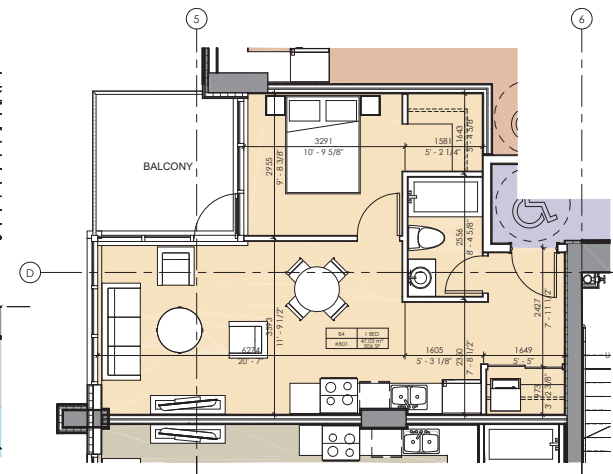
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④ UNIT - B2 - LEVEL 4-12  
1 : 50



⑤ UNIT - B3 - LEVEL 5-13  
1 : 50



⑥ UNIT - B4 - LEVEL 5-13  
1 : 50

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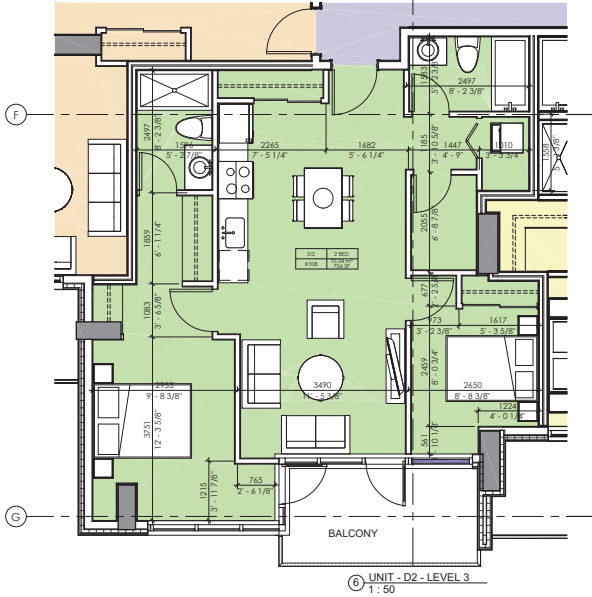
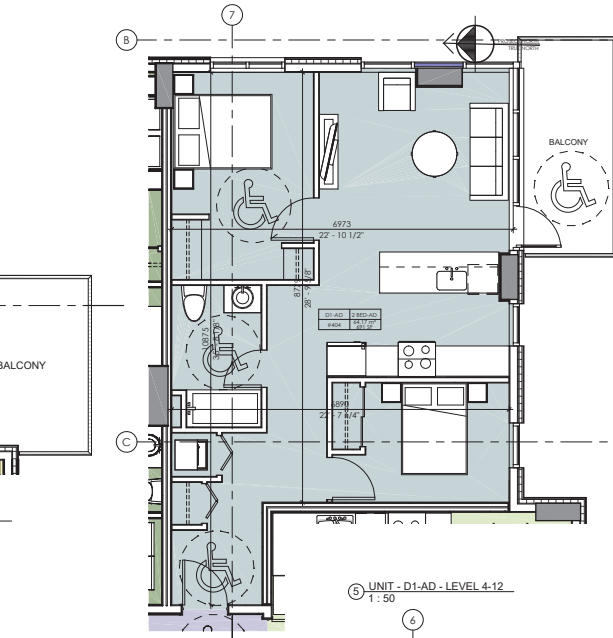
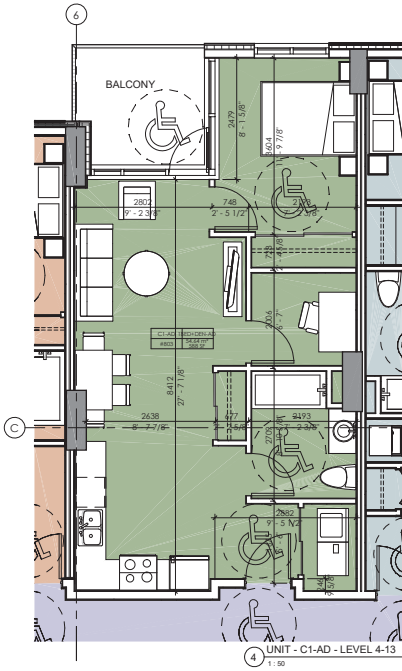
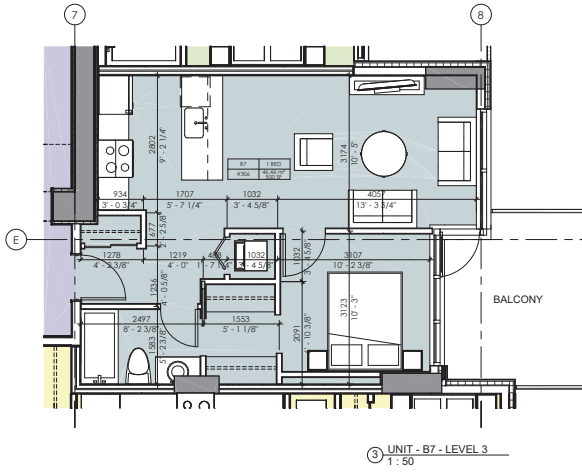
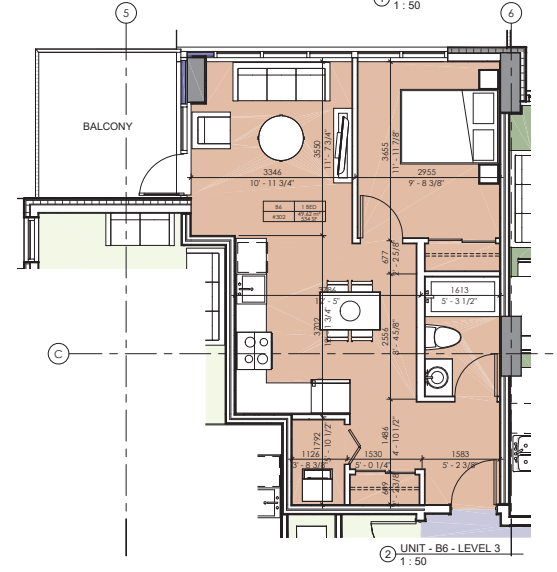
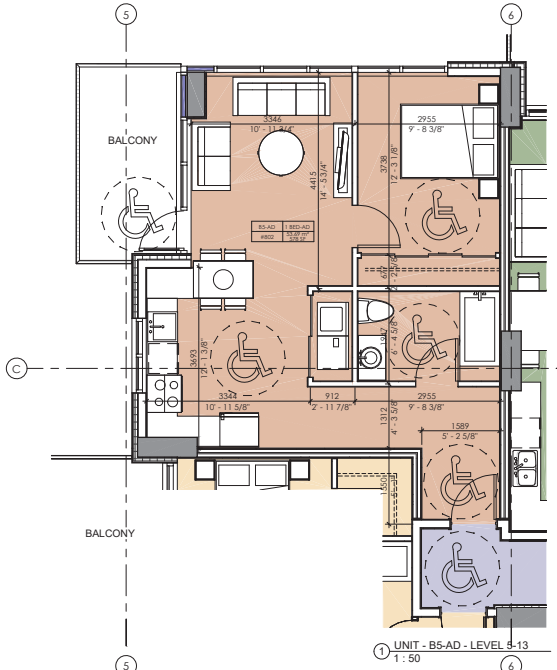


Client  
**KENWOOD APARTMENTS**

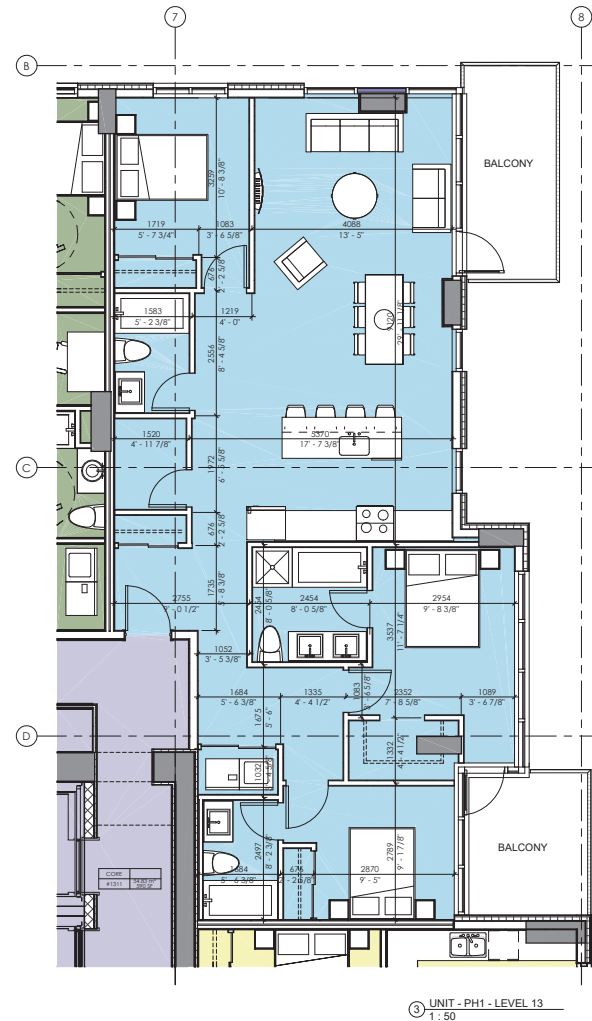
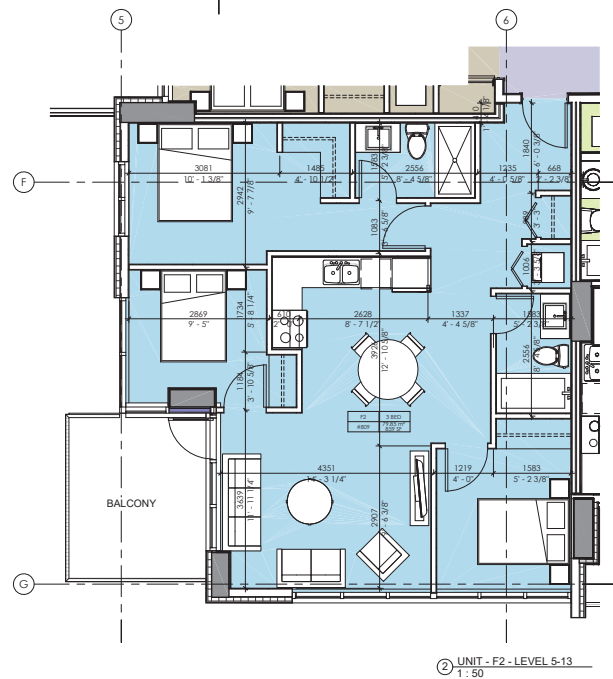
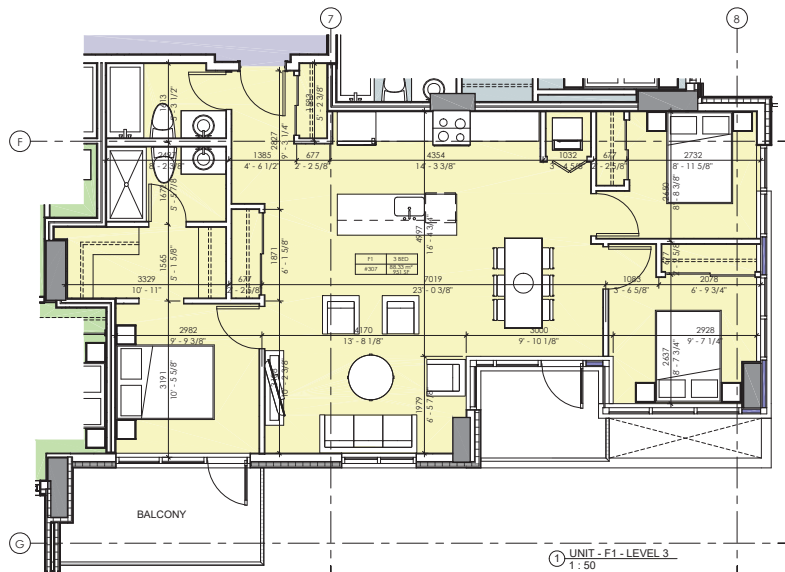
Project  
**1536 & 1550 EASTERN AVE. NORTH VANCOUVER, BC**

Drawing Title  
**UNIT PLANS B5-AD, B6, B7, C1-AD, D1-AD, D2**

Date: AUG. 01 - 2019	Project No. 17-55
Scale: 1 : 50	Drawing No. <b>A5-02</b>
Drawn By: HR	Rev:
File name:	







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4	FEB 28-2022	RE-ISSUED FOR REZONING

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Client

KENWOOD  
APARTMENTS

Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS F1, F2, PH1

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

1:50

Drawing No.

A5-03

Drawn By:

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File name:

Rev:



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4	FEB 28-2022	RE-ISSUED FOR REZONING

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Project

1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS G1a, G1b

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

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Drawing No.

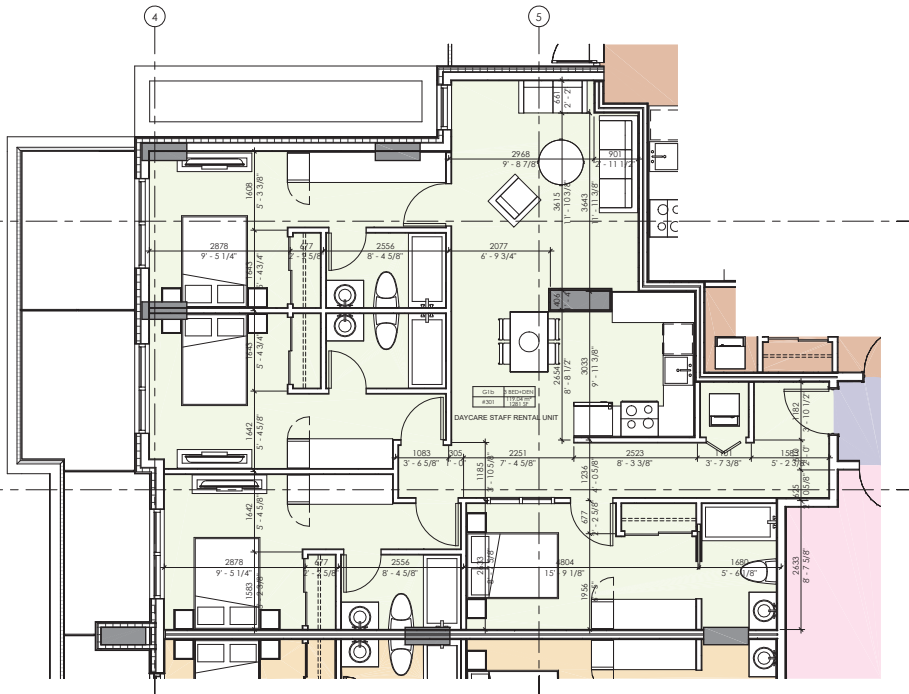
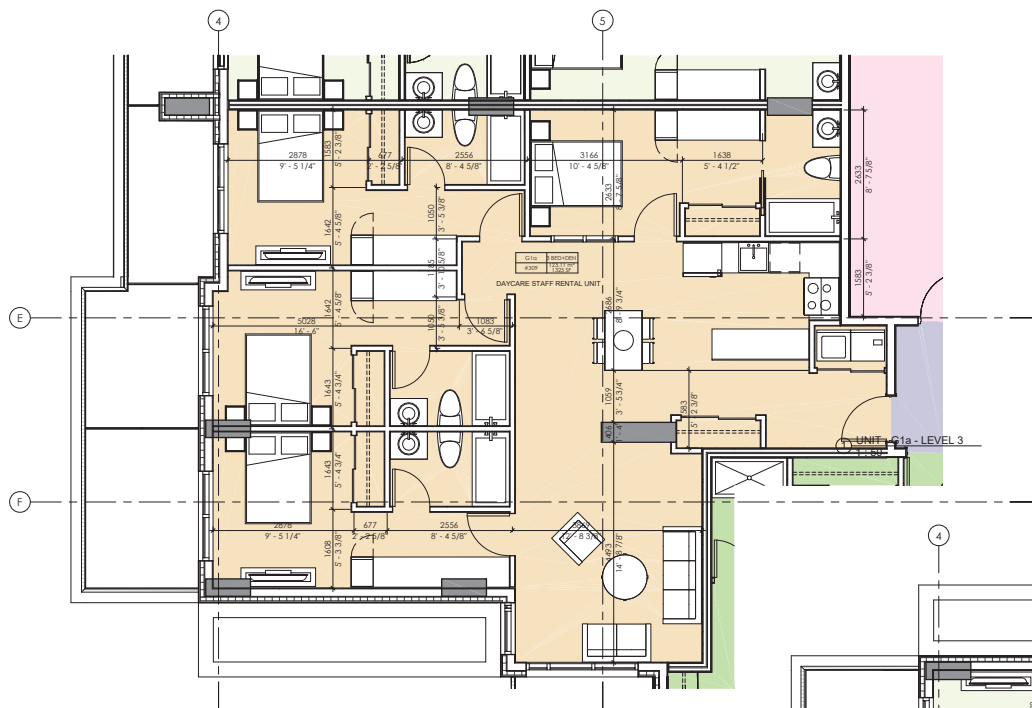
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Drawn By:

HR

File name:

Rev:



② UNIT - G1b - LEVEL 3  
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Client

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Project  
1536 & 1550  
EASTERN AVE.  
NORTH VANCOUVER, BC

Drawing Title

UNIT PLANS TH - 1, TH - 2, TH - 3, TH - 4, TH - 5, TH - 6

Date:

AUG. 01 - 2019

Project No.

17-55

Scale

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Drawing No.

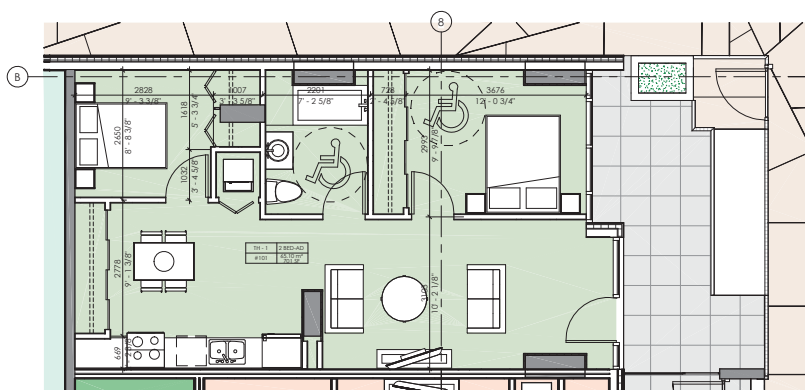
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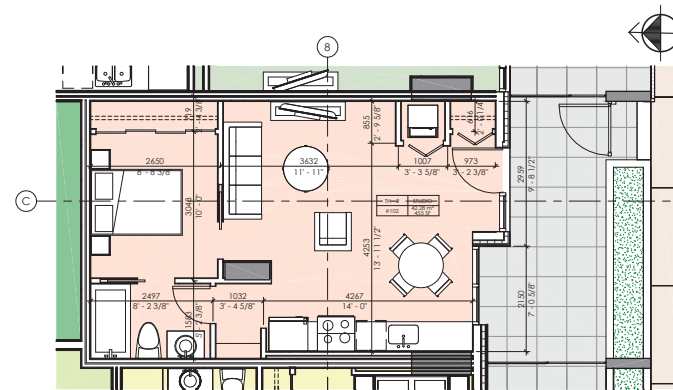
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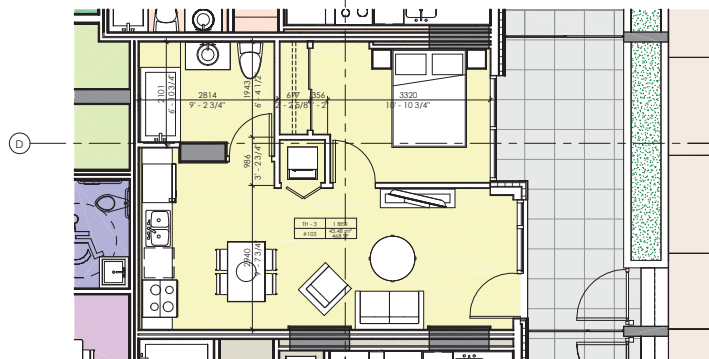
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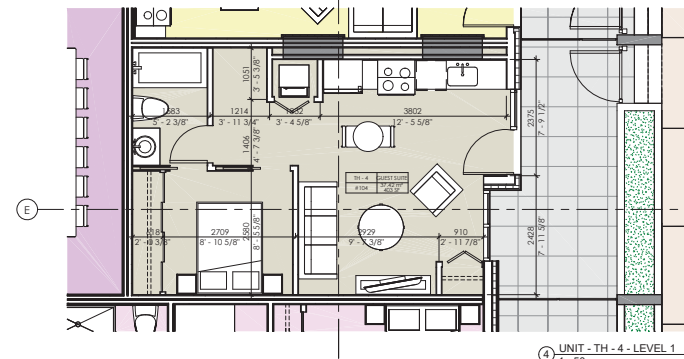
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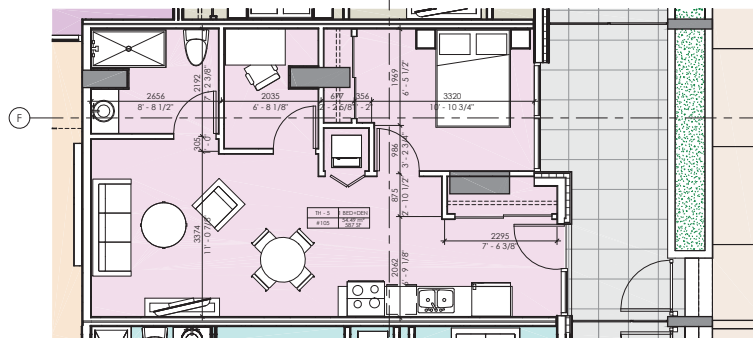
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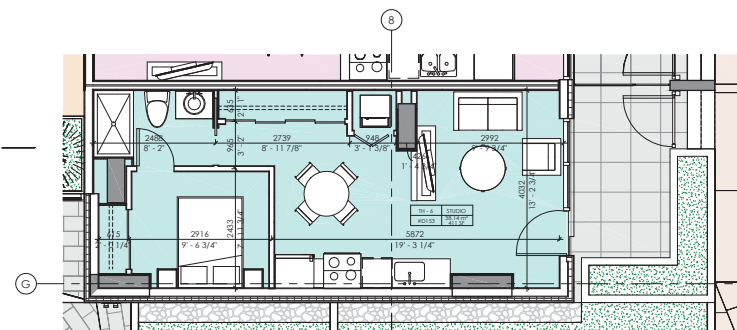
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⑤ UNIT - TH - 5 - LEVEL 1  
1 : 50



⑥ UNIT - TH - 6 - LEVEL 1  
1 : 50

1550 EASTERN AVENUE  
NORTH VANCOUVER, BC  
RE-ISSUE FOR REZONING

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L0.1	DESIGN RATIONALE
L1.0	SITE PLAN/ LEVEL 1
L1.1	LANDSCAPE PLAN LEVEL 2
L1.2	LANDSCAPE PLAN LEVEL 4 AMENITY
L1.3	LANDSCAPE PLAN ROOF LEVEL
L1.4	LANDSCAPE OVERALL PLAN
L1.5	TREE RETENTION AND REMOVAL PLAN
L1.6	OVERALL LIGHTING PLAN
L2.0	PLANT MATERIALS AND PLANT LIST
L2.1	PLANTING PLAN LEVEL 1
L2.2	PLANTING PLAN LEVEL 2
L2.3	PLANTING PLAN LEVEL 4 AMENITY
L2.4	PLANTING PLAN ROOF LEVEL
L3.0	PRECEDENTS
L4.0	SECTIONS
L4.1	SECTIONS
L4.2	SECTIONS
L5.0	LANDSCAPE DETAILS
L5.1	LANDSCAPE DETAILS
L5.2	LANDSCAPE DETAILS
L5.3	LANDSCAPE DETAILS
L5.4	LANDSCAPE DETAILS
L5.5	LANDSCAPE DETAILS
L5.6	LANDSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF NORTH VANCOUVER.

PROJECT INFORMATION

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RAFI ARCHITECTS INC.  
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1600 HOWE STREET, VANCOUVER, BC, V6Z 2L9  
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PH: (604) 688-3655

LANDSCAPE ARCHITECT:  
CONNECT LANDSCAPE ARCHITECTURE  
CONTACT NAME: MARINA ROMMEL/ KEN LARSSON  
2305 HEMLOCK STREET  
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EMAIL: MARINA@CONNECTLA.CA  
PH: (604) 681-3303 EXT 223

12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-08
8	ISSUED FOR ADP	21-07-14
7	ISSUED FOR VCH REVIEW	21-05-26
6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

COVER SHEET



## DESIGN RATIONALE AND PRINCIPALS

### WELCOMING BUILDING



#### WELCOMING BUILDING

Building entries have been designed to provide comfortable sheltered seating areas that promote social interaction and activate the street.

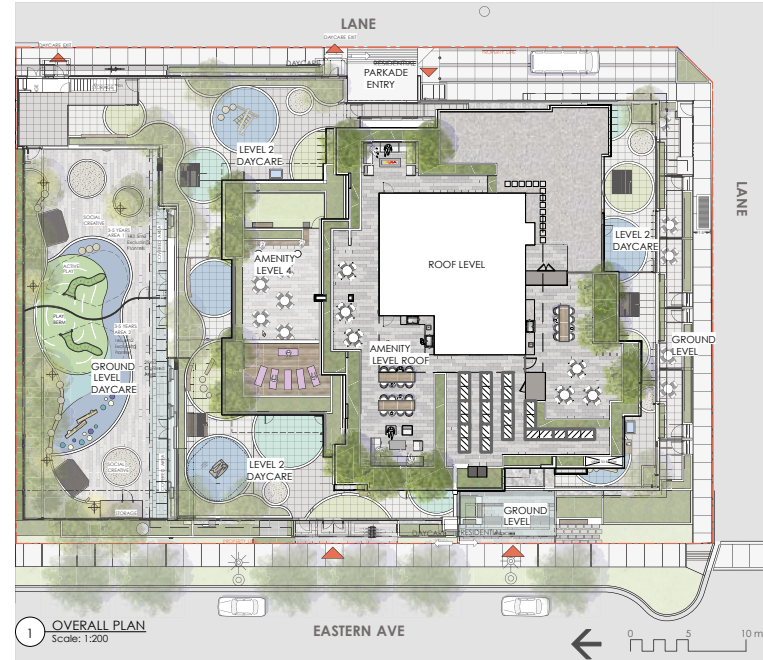
Layered Westcoast planting and materials reinforce the place identity of the North Shore.

Boulevard improvements and new street trees, as well as new lane sidewalks and street level patios with planters facing the lane, create a friendly improved street face.

### PLACE IDENTITY



### SPACES FOR EVERYONE



#### AMENITY SPACES FOR EVERYONE

Multiple daycare groups occupy the ground level and the second level outdoor space providing much needed child care spaces to the community.

The communal amenity deck on level 4 offers residents a wide variety of outdoor spaces.

A fenced pet retreat area, provides space for dogs and their owners. A terrace with movable seating and raised deck for exercise and lounging with views to the future park and nature promote a healthy lifestyle.

The sunny roof deck amenity adjacent to the indoor amenity features a family BBQ and dining area to the N-W and an adult BBQ and dining area to the S-W. Urban agriculture planter area to the south provides residents with the opportunity to grow their own food and connect to nature. A lounge seating area with fire place to the East adds to the social communal program of the terrace.

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2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29
REVISIONS		GROUND LEVEL

#### 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

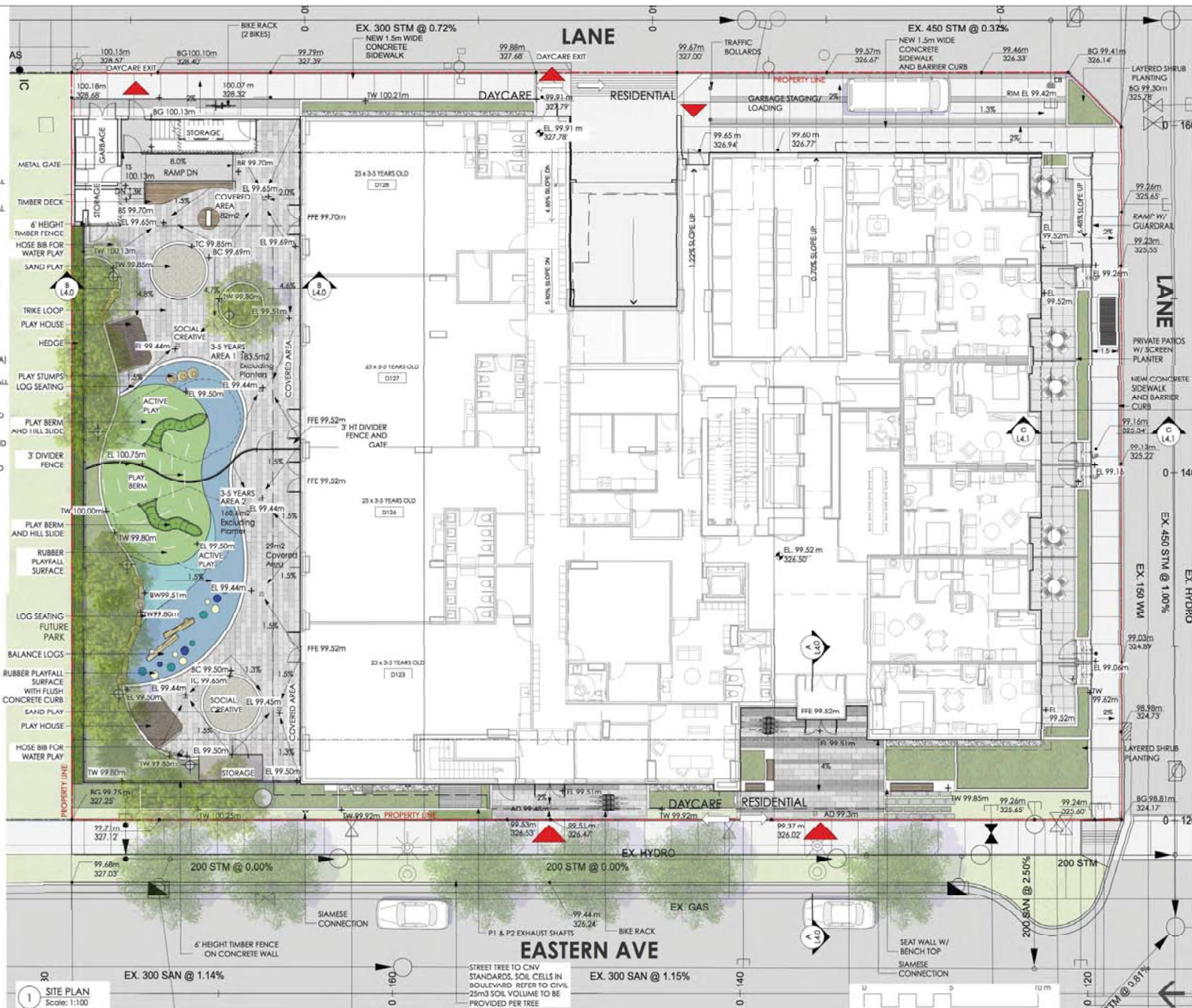
Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

#### DESIGN RATIONALE

## MATERIALS LEGEND



**NOTE:**  
ALL OFFSITE BOULEVARD AND TREES TO BE IRRIGATED TO CNV STANDARDS. IRRIGATION PLANS TO BE PROVIDED AT BP.



**SITE PLAN**  
Scale: 1:100

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## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

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## SITE PLAN

L1.0



## MATERIALS LEGEND LEVEL 2



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### REVISIONS

## 1550-EASTERN AVENUE

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Project No. 06-705

## LEVEL 2 LANDSCAPE PLAN

L1.1





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REVISIONS

## 1550-EASTERN AVENUE

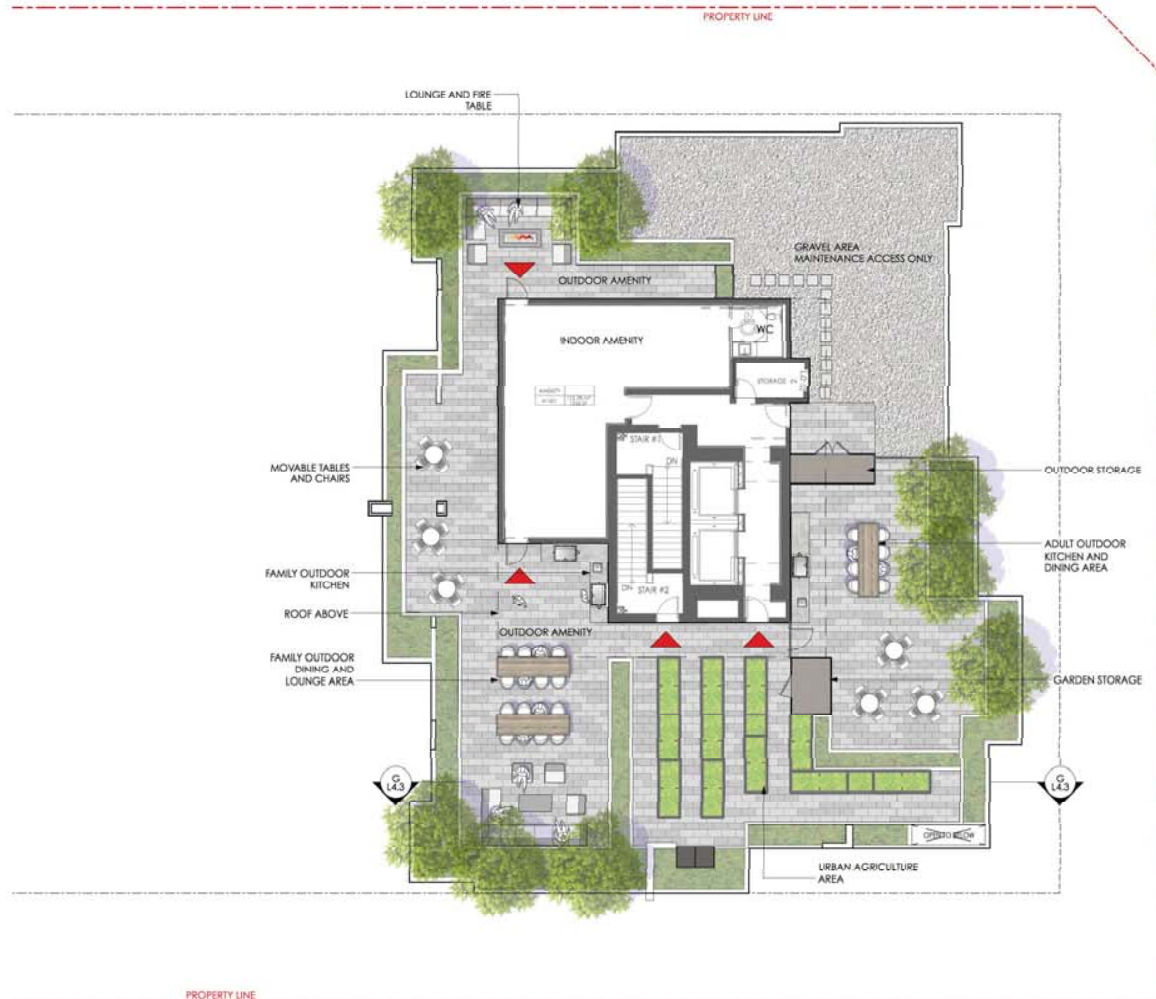
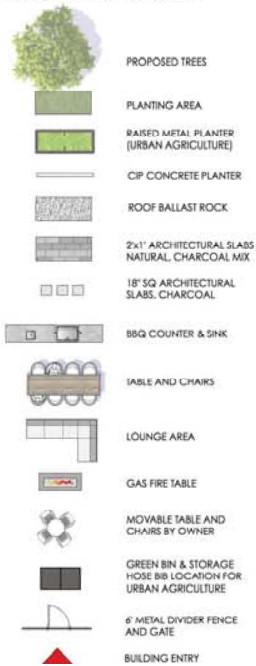
1550- Eastern Ave  
North Vancouver, BC

Scale:	1:100
Drawn:	MR
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Project No.	06-705

## ROOF LEVEL LANDSCAPE PLAN

L1.3

### MATERIALS LEGEND ROOF



1 ROOF PLAN  
Scale: 1:100



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REVISIONS

1550-EASTERN  
AVENUE

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Scale:	1:100
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OVERALL  
LANDSCAPE PLAN

L1.4

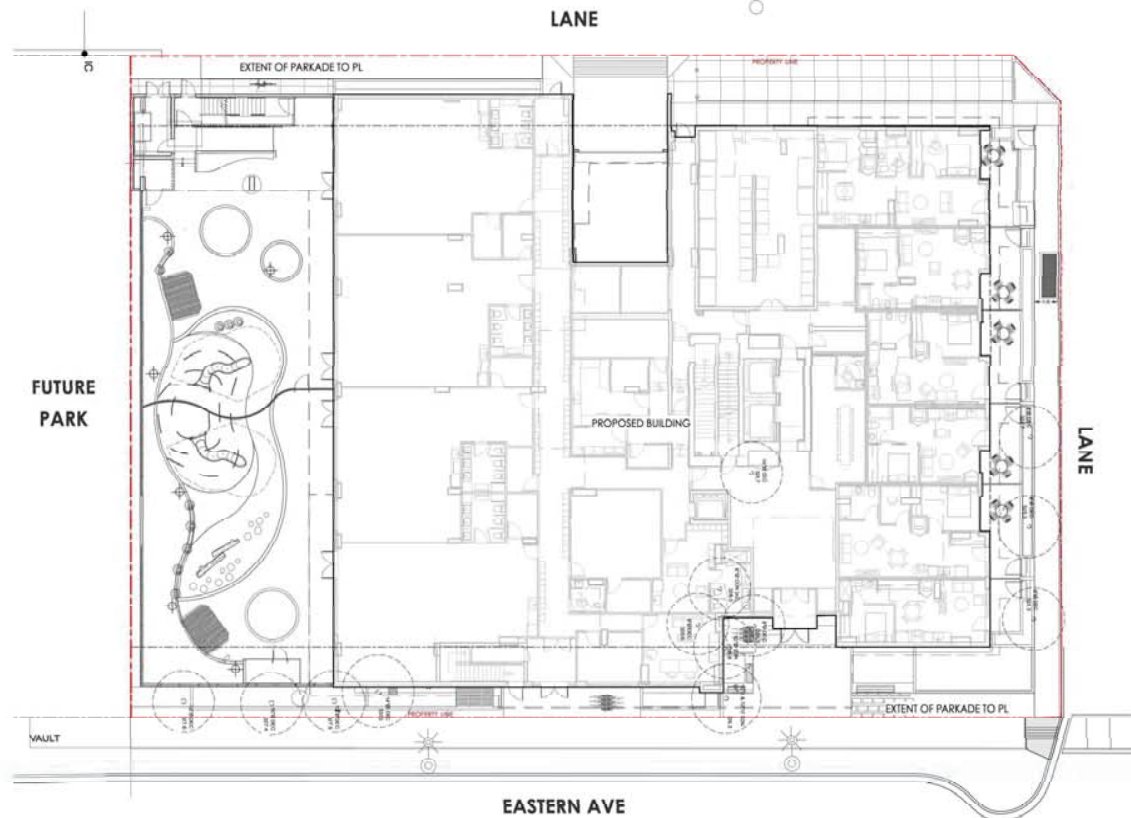


1 SITE PLAN  
Scale: 1:100



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1 SITE PLAN  
Scale: 1:150

#### TREE RETENTION LEGEND DESCRIPTION

EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

#### SYMBOL



#### TREE RETENTION NOTES

1. REFER ALSO TO SURVEY DRAWINGS. ANY EXISTING TREES NOT IDENTIFIED ON DRAWINGS ARE TO BE PROTECTED UNTIL CONSULTANTS CAN REVIEW AND DETERMINE THE CIRCUMSTANCES.
2. WHERE REQUIRED INSTALL TREE PROTECTION BARRIER AROUND ALL TREES TO BE PRESERVED TO CITY OF NORTH VANCOUVER STANDARDS AND SPECIFICATIONS. INFORM LANDSCAPE ARCHITECT WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS PRIOR TO CONSTRUCTION ACTIVITY.
3. DO NOT REMOVE OR RELOCATE ANY TREE. ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF NORTH VANCOUVER TREE PROTECTION BY-LAWS. CONTRACTOR TO CONTACT CITY ARBORIST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
4. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES IS NOT PERMISSIBLE. TUNNEL UNDER AND AROUND ALL SIGNIFICANT ROOTS BY HAND DIGGING OR AIR SPADE. DO NOT CUT MAIN LATERAL ROOTS. FOR CARE AND PROTECTION OF ROOT CURTAIN SYSTEM, SEE IFC SPECIFICATIONS. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES.

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#### REVISIONS

#### 1550-EASTERN AVENUE

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Reviewed: KL  
Project No. 06-705

#### TREE REMOVAL AND RETENTION PLAN

L1.5

## LIGHTING LEGEND

DESCRIPTION	SYMBOL
BOLLARD LIGHT	
WALL STEP LIGHT	
LED LIGHT SIGN RECESSED UNDER BENCH	
CANOPY LIGHT	
BUILDING ENTRY LIGHTING BY ARCHITECTS	
STREET LIGHT	

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### REVISIONS

## 1550-EASTERN AVENUE

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## OVERALL LANDSCAPE PLAN

L1.6



1 SITE PLAN  
Scale: 1:100



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## PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
<b>TREES</b>					
	Acer griseum	Paperbark Maple	6cm cal.	as shown	specimen
4	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	2.5m ht	as shown	multistem
13	Gleditsia tricanthos 'Shademaster'	Shademaster Honeylocust	6cm cal.	as shown	specimen
1	Picea amara	Serbian Spruce	2.5-3m ht	as shown	specimen
5	Styrax japonicus	Japanese Snowbell	6cm cal.	as shown	specimen
<b>STREET TREES</b>					
3	Tilia tomentosa	Silver Linden Tree	7cm cal.	as shown	2m Standard
3	Nyssa sylvatica	Black Tupelo	7cm cal.	as shown	2m Standard

## SHRUBS

136	Buxus microphylla 'Green Beauty'	Green Beauty Boxwood	No. 5 Pot	450mm O.C.	full & bushy
36	Ceanothus 'Victoria' *	California Lilac	No. 3 Pot	900mm O.C.	fully established
35	Choyia x dewilleana 'Aztec Pearl'	Mexican Orange	No. 3 Pot	900mm O.C.	fully established
81	Ilex crenata 'Compacta'	Compact Japanese Holly	No. 3 Pot	600mm O.C.	fully established
19	Hydrangea paniculata 'Quick Fire'	Quick Fire panicle Hydrangea	No. 3 Pot	900mm O.C.	fully established
217	Nandina domestica 'Gulfstream'	Gulfstream Nandina	No. 2 Pot	600mm O.C.	fully established
192	Lavendula angustifolia 'Hidecate' *	Hidecate Lavender	No. 1 Pot	450mm O.C.	fully established
3	Rhododendron 'Ken Janek' *	Ken Janek Rhododendron	No. 2 Pot	750mm O.C.	fully established
13	Rhododendron 'Murali Orus' *	Murali Orus Rhododendron	No. 3 Pot	900mm O.C.	fully established
76	Polystichum munium #	Sword Fern	No. 1 Pot	600mm O.C.	fully established
85	Sarcococca hookeriana humilis *	Dwarf Sweet box	No. 2 Pot	600mm O.C.	fully established
108	Taxus baccata repandens	Creeping Yew	No. 3 Pot	600mm O.C.	fully established
134	Taxus x media 'Hickall'	Hicks Yew	No. 10 Pot	450mm O.C.	1.5m ht. min.
136	Vaccinium ovatum * #	Evergreen Huckleberry	No. 5 Pot	750mm O.C.	fully established

## PERENNIALS AND GRASSES

29	Carex testacea 'Prairie Fire'	Prairie Fire Sedge	No. 1 Pot	450mm O.C.	fully established
176	Hakonechloa macro 'Aurea'	Golden Japanese Forest Grass	No. 1 Pot	360mm O.C.	fully established
111	Liriope muscari 'Big Blue' *	Big Blue Lilyturf	No. 1 Pot	300mm O.C.	fully established
29	Sedum 'Autumn Joy' *	Autumn Joy Sedum	No. 1 Pot	450mm O.C.	fully established

## GROUNDCOVERS

32	Arctostaphylos uva-ursi * #	Kinnikinnick	6" (10cm) Pot	350mm O.C.	fully established
32	Fragaria chiloensis * #	Beach Strawberry	6" (10cm) Pot	350mm O.C.	fully established

## NOTES:

\* Indicates pollinator/bird friendly plants.

# Indicates native plants

## PLANTING NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, AND CANADIAN LANDSCAPE STANDARDS LATEST EDITION.

2. ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.

3. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

4. OFFSITE LANDSCAPE TO BE IRRIGATED TO CNV STANDARDS.

5. ALL OFFSITE TREES TO HAVE MINIMUM OF 15m3 SOIL VOLUME.

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## REVISIONS

## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale:	1:100
Drawn:	MR
Reviewed:	KL
Project No.	06-705

## PLANT MATERIALS

NOTE: REFER TO PLANT LIST ON L2.0

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REVISIONS

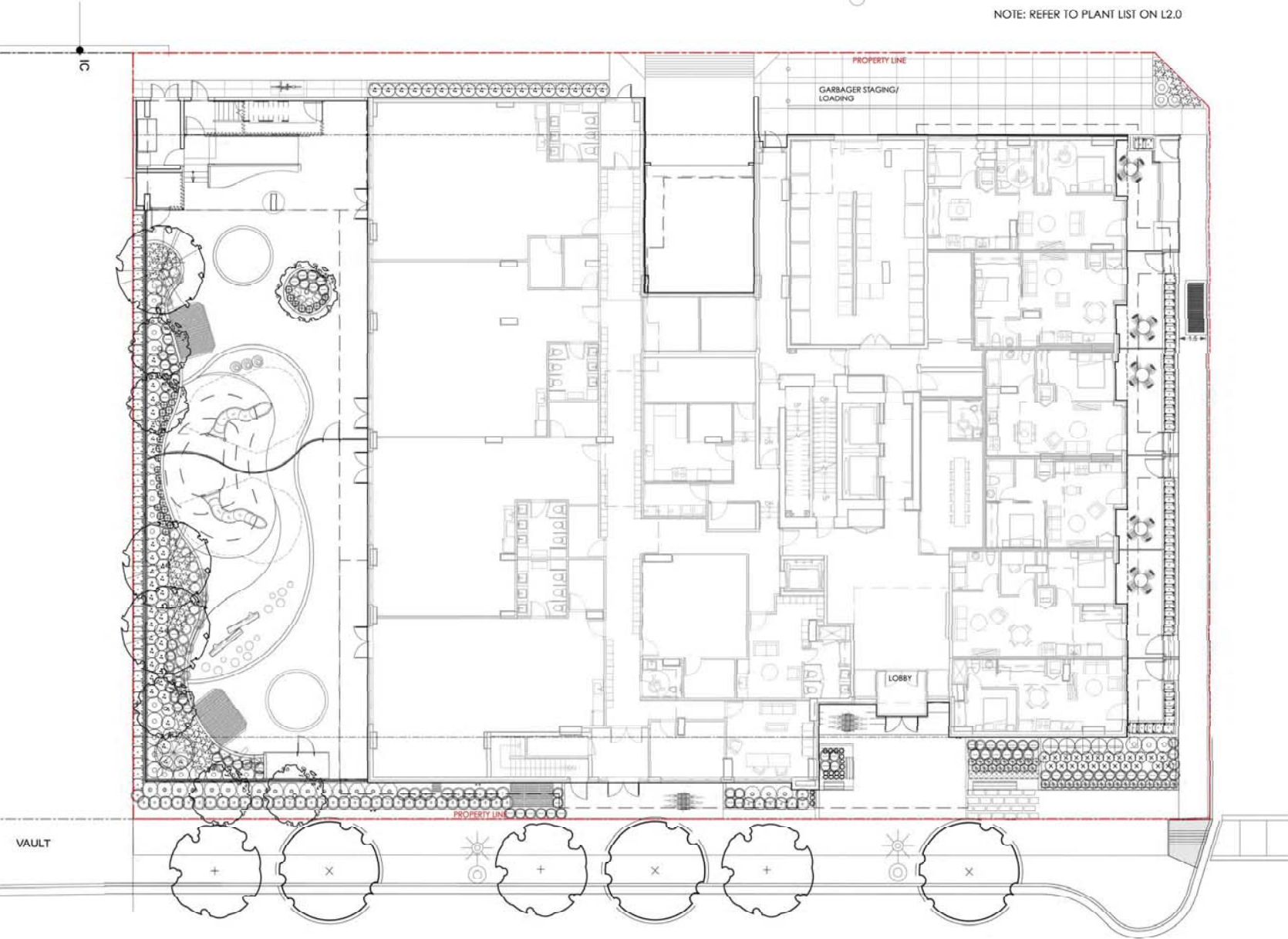
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## PLANTING PLAN LEVEL 1

← 0 5 10 m



1 PLANTING PLAN  
Scale: 1:100

L2.1

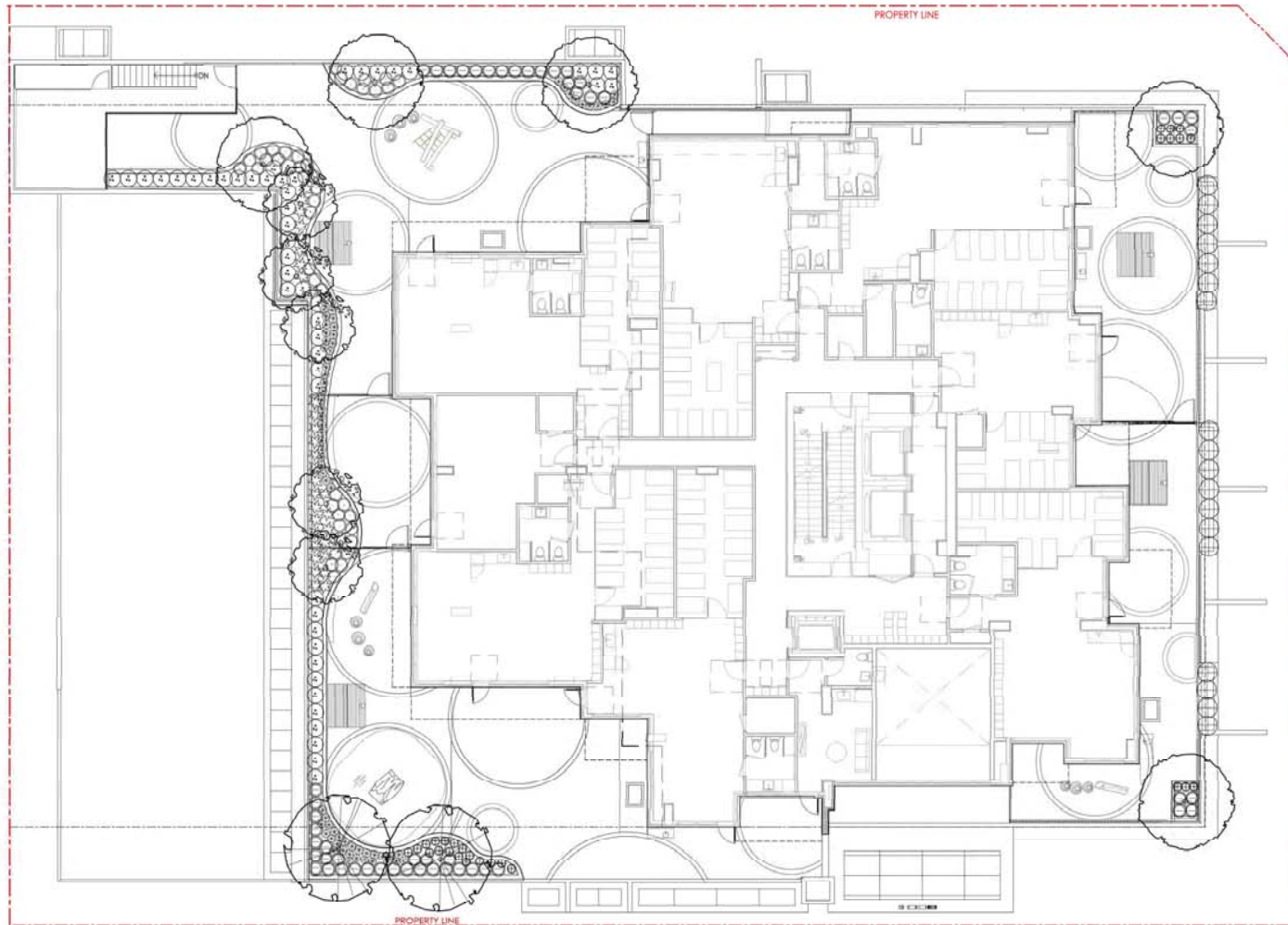
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1 LEVEL 2 PLANTING PLAN  
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REVISIONS

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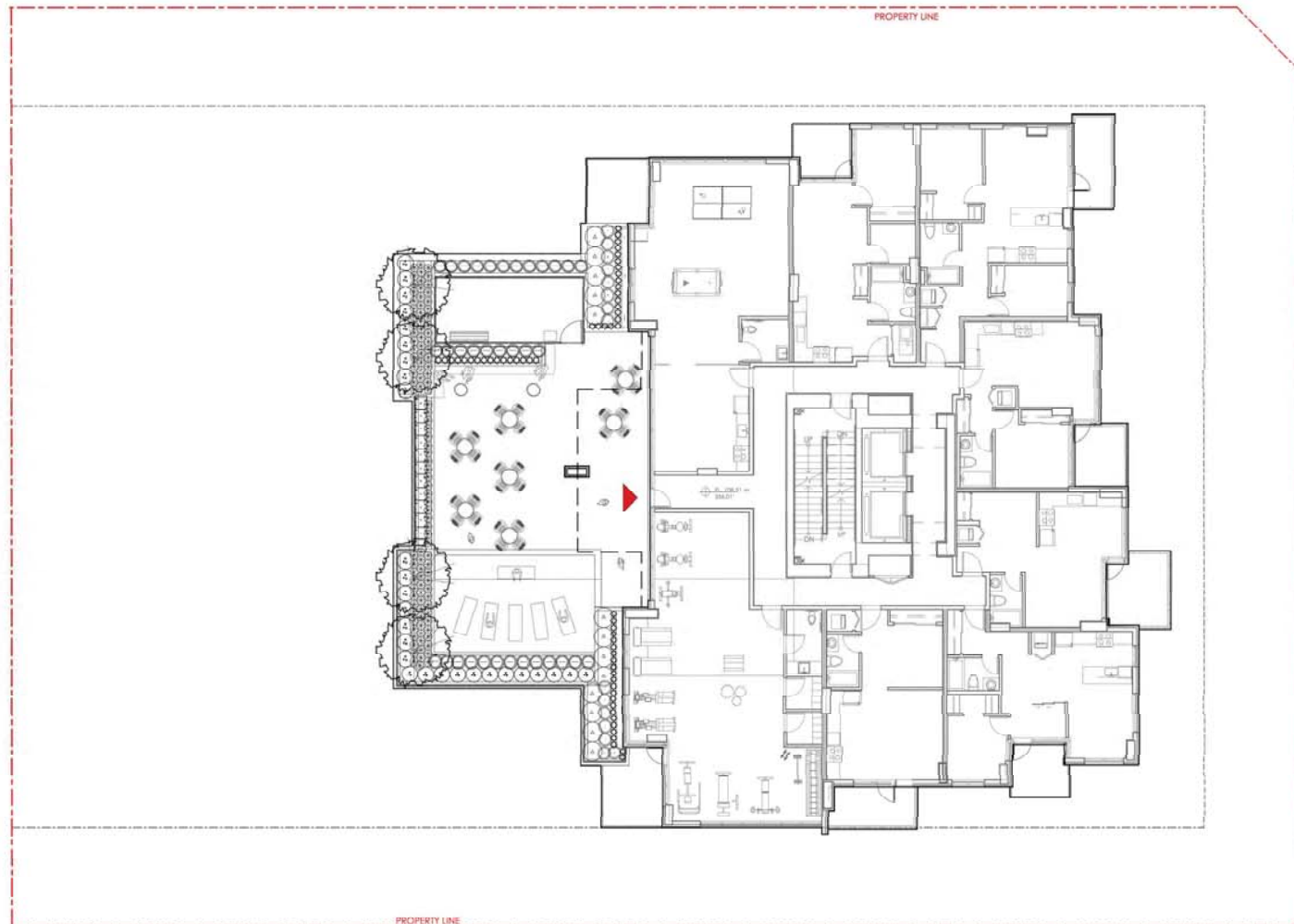
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## LEVEL 2 PLANTING PLAN

L2.2

NOTE: REFER TO PLANT LIST ON L2.0



1 LEVEL 4 PLANTING PLAN  
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REVISIONS

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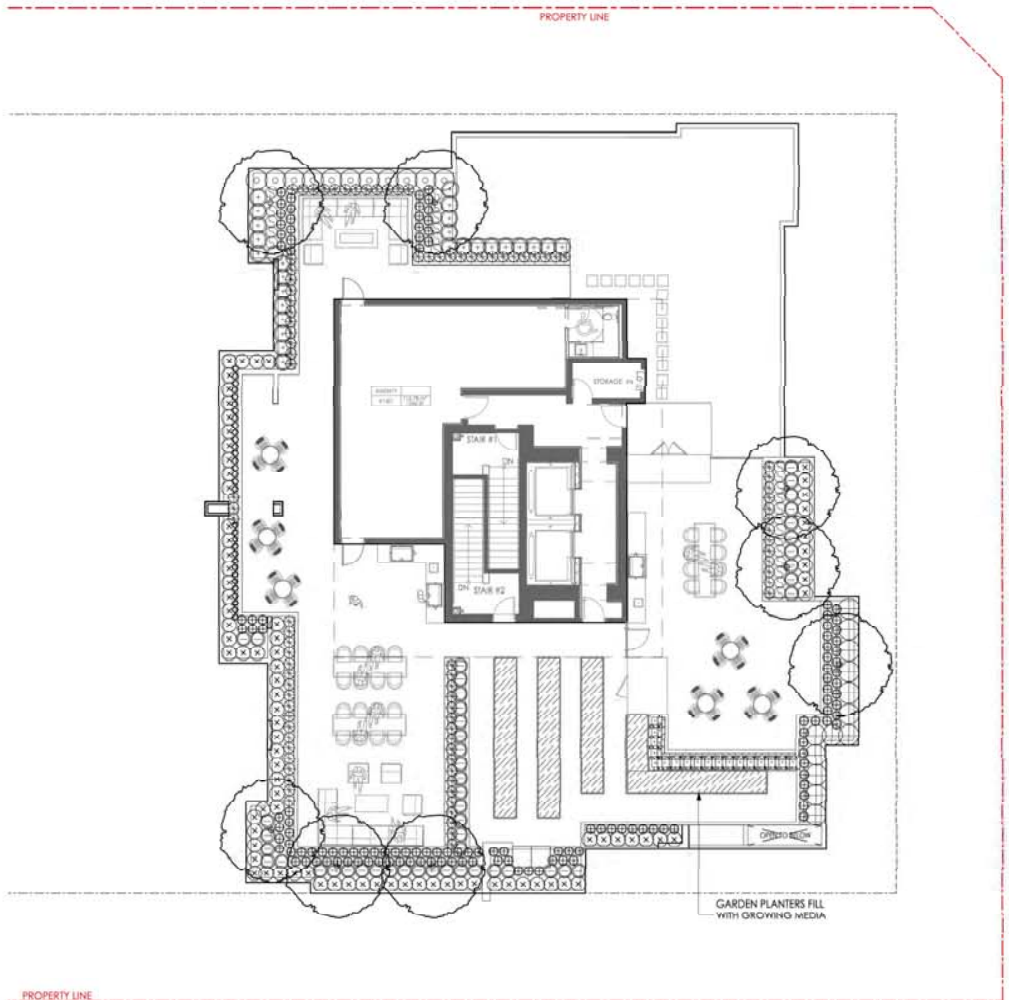
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## LEVEL 4 PLANTING PLAN

L2.3



NOTE: REFER TO PLANT LIST ON L2.0



1 ROOF PLANTING PLAN  
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## ROOF LEVEL PLANTING PLAN



ROOF DECK AMENITY LOUNGE



WELCOMING ENTRY



KIDS PLAY



URBAN AGRICULTURE



OUTDOOR DINING AND BBQ AREA



LAYERED STREET FRONTAGE PLANTING



SUNNING/ YOGA DECK



DOG RETREAT



DAYCARE

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3	ISSUED FOR REVIEW	20-09-18
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1	ISSUED FOR REVIEW	20-06-29

REVISIONS

1550-EASTERN  
AVENUE

1550- Eastern Ave  
North Vancouver, BC

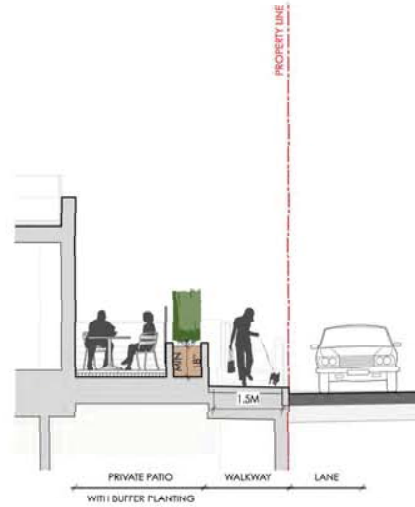
Scale:	AS SHOWN
Drawn:	MR
Reviewed:	KL
Project No.	06-705

PRECEDENTS

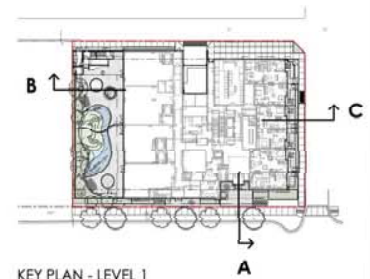




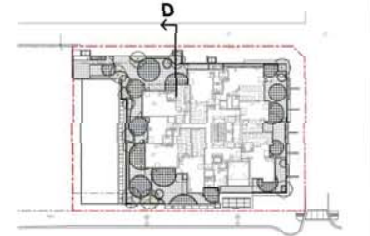
**A** SECTION - LEVEL 1 MAIN ENTRY  
Scale: 1:50



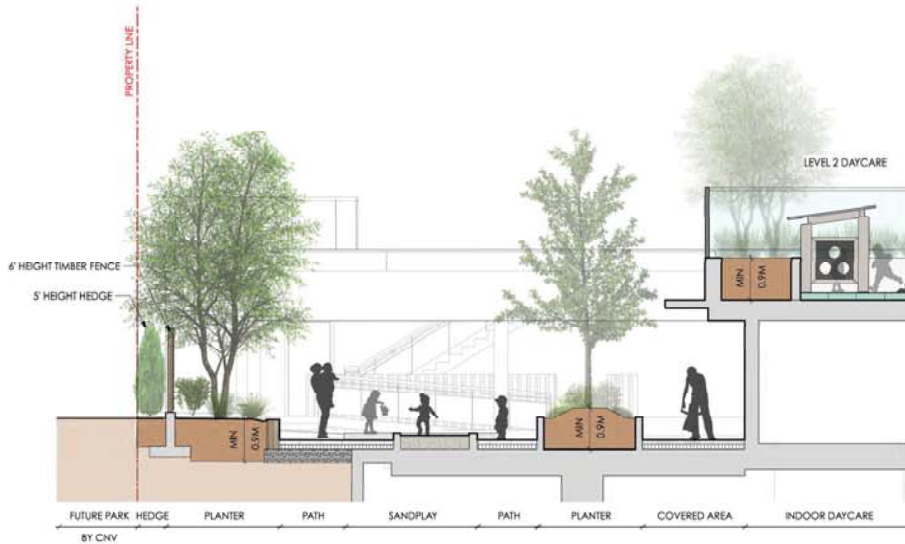
**C** SECTION - LEVEL 1 AT LANE  
Scale: 1:50



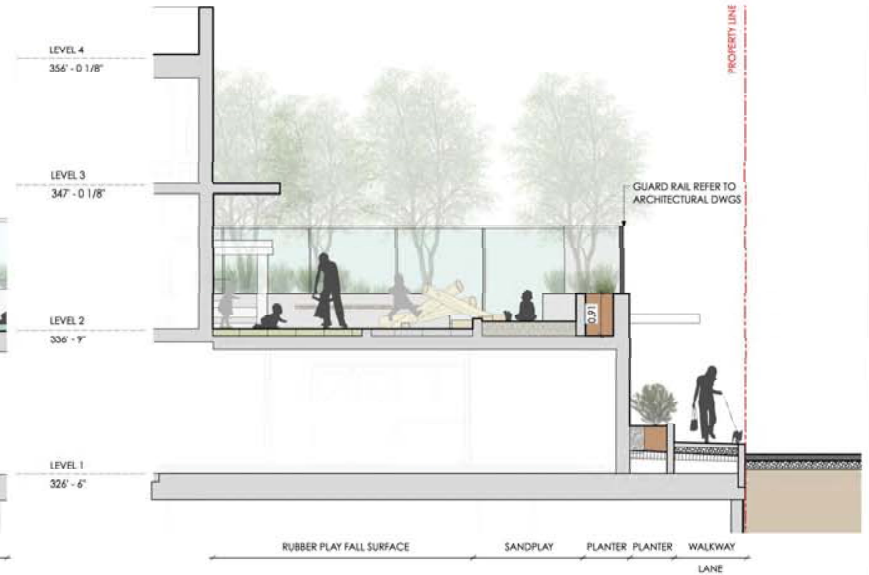
KEY PLAN - LEVEL 1



KEY PLAN - LEVEL 2



**B** SECTION - LEVEL 1 DAYCARE  
Scale: 1:50



**D** SECTION - LEVEL 2 DAYCARE DECK  
Scale: 1:50

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REVISIONS

## 1550-EASTERN AVENUE

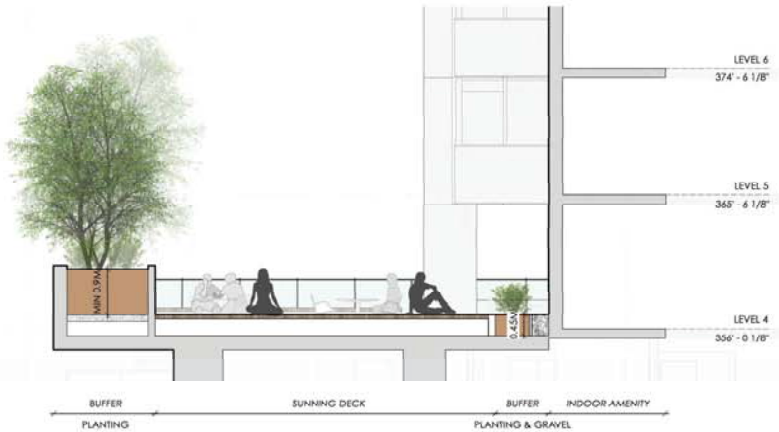
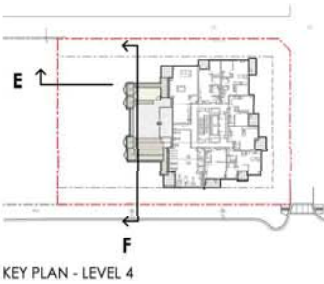
1550- Eastern Ave  
North Vancouver, BC

Scale: AS SHOWN  
Drawn: MR  
Reviewed: KL  
Project No. 06-705

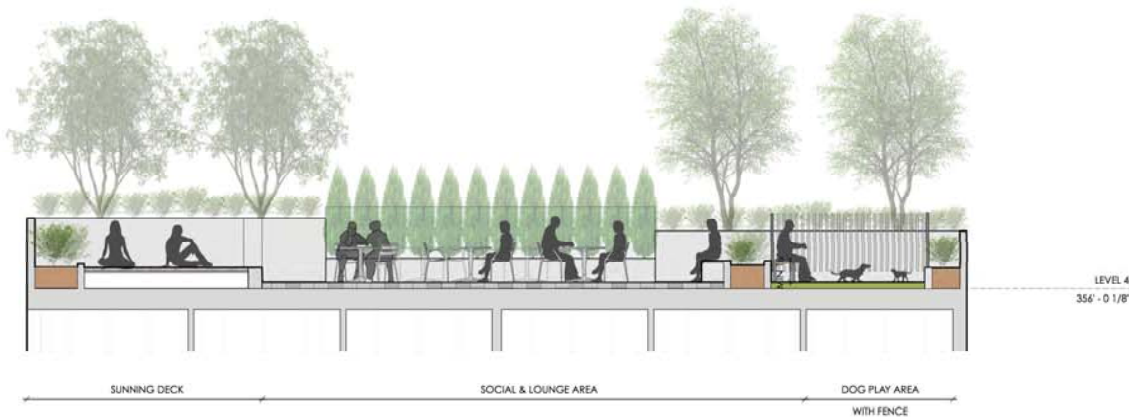
LANDSCAPE SECTIONS

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E SECTION - LEVEL 4 AMENITY  
SCALE: 1/30



F SECTION - LEVEL 4 AMENITY  
SCALE: 1/30

0 5 10 m

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REVISIONS

## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale: AS SHOWN

Drawn: MR

Reviewed: KL

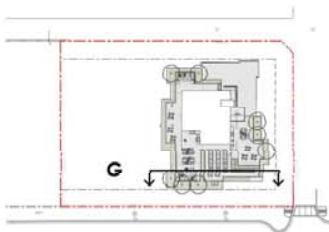
Project No. 06-705

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KEY PLAN - ROOF



G SECTION - ROOF AMENITY WEST  
Scale: 1:50



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REVISIONS

1550-EASTERN  
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REVISIONS

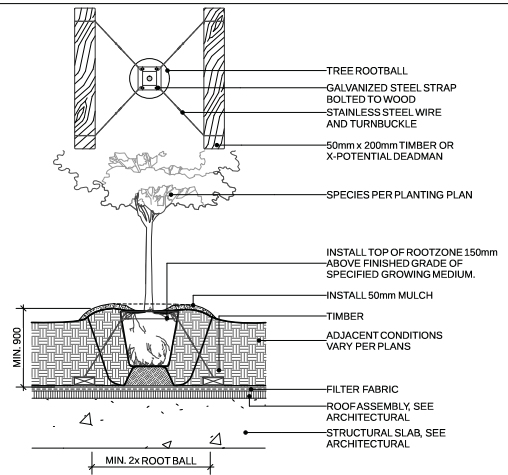
## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

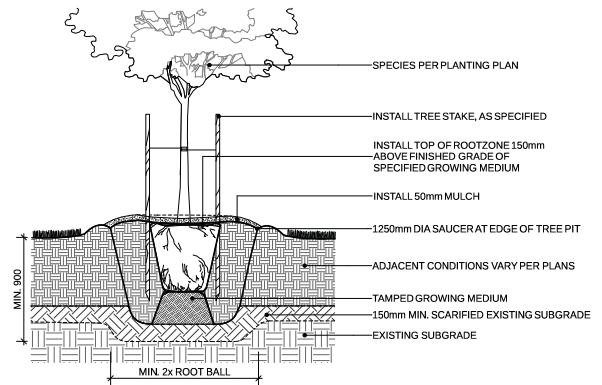
Scale:	AS SHOWN
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Project No.	06-705

## LANDSCAPE DETAILS

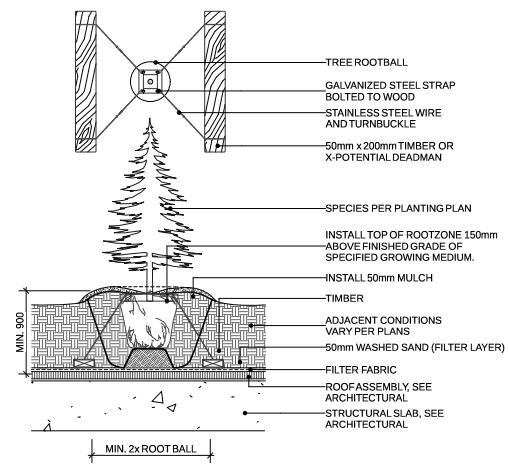
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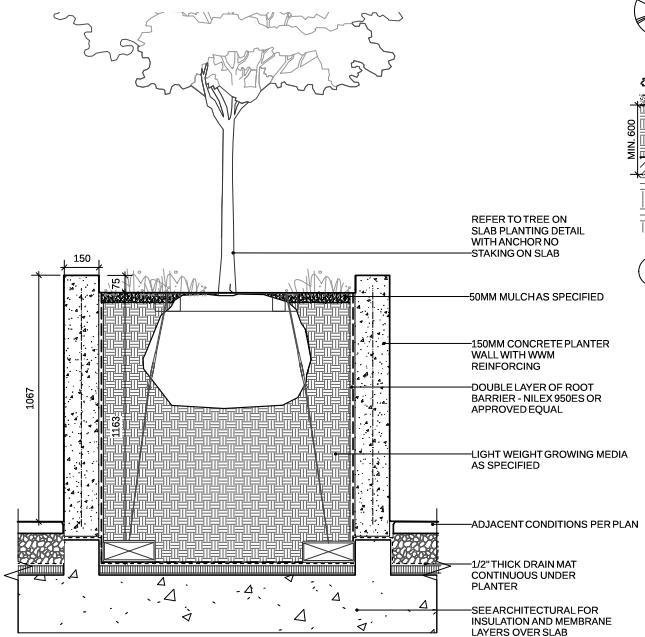
**1 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)**  
SCALE 1:25



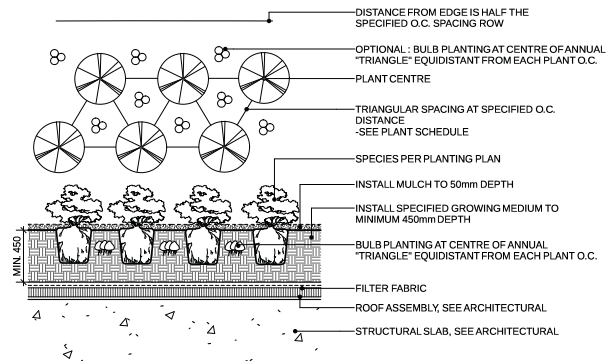
**3 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)**  
SCALE 1:20



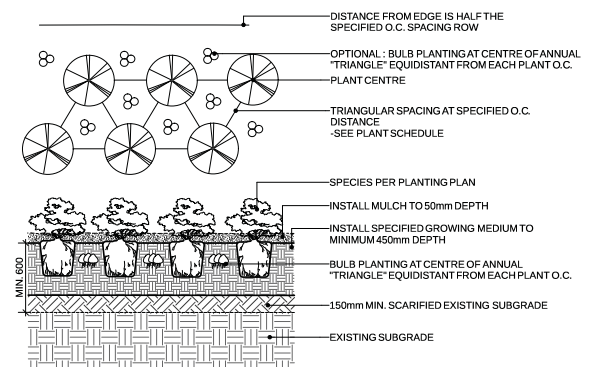
**2 CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)**  
SCALE 1:25



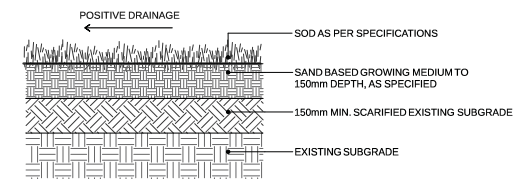
**4 TYPICAL ON SLAB/ROOF PLANTER**  
Scale: 1:10



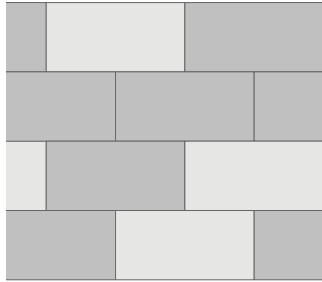
**5 PLANTING ON SLAB (TYPICAL)**  
SCALE 1:20



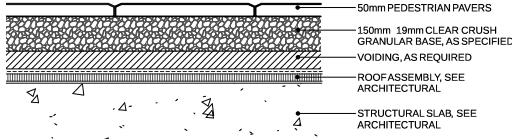
**6 PLANTING ON GRADE (TYPICAL)**  
SCALE 1:20



**7 SOD LAWN ON GRADE (TYPICAL)**  
SCALE 1:10



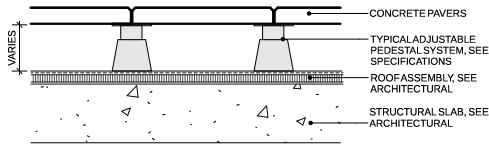
TYPE: HYDRAPRESSED SLAB, TEXADA  
BY ABBOTSFORD CONCRETE  
SIZE: 610mm x 305mm x 50mm  
COLOR: MIX OF 60% CHARCOAL, 40% NATURAL  
PATTERN: RUNNING BOND



NOTE:  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS  
ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

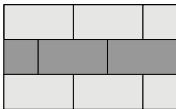
**1 HYDRAPRESSED CONCRETE PAVERS ON SLAB ROOF DECKS**  
SCALE 1:10

TEXADA SERIES  
SIZE: 610mm x 305mm x 50mm  
COLOUR: NATURAL  
BY ABBOTSFORD CONCRETE PRODUCTS  
(1.800.663.4091)

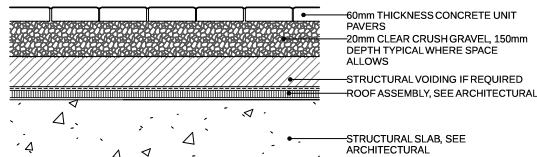


**2 HYDRAPRESSED CONCRETE PAVERS ON PEDESTALS**  
Scale: 1:10

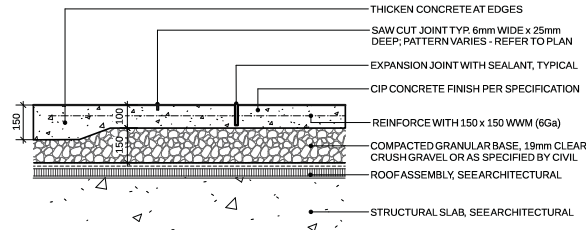
RUNNING BOND PATTERN



TYPE: CLASSIC STANDARD SERIES CALIFORNIA  
SIZE: 301mm x 151mm x 60mm  
PATTERN: RUNNING BOND  
COLOR: CHARCOAL AND NATURAL  
SUPPLIER: ABBOTSFORD CONCRETE PRODUCTS  
VANCOUVER, BC  
1.800.663.4091

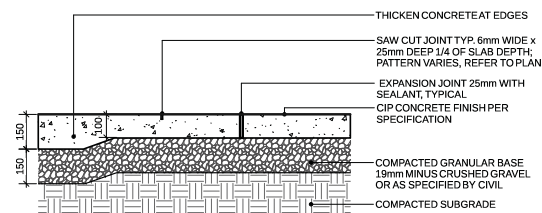


**3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)**  
Scale: 1:10



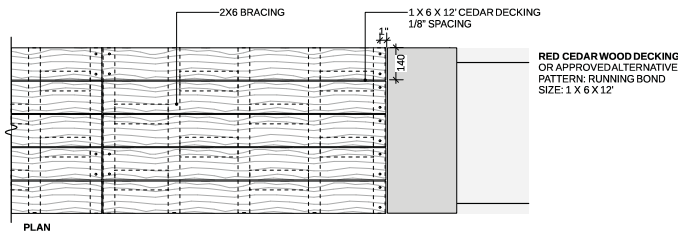
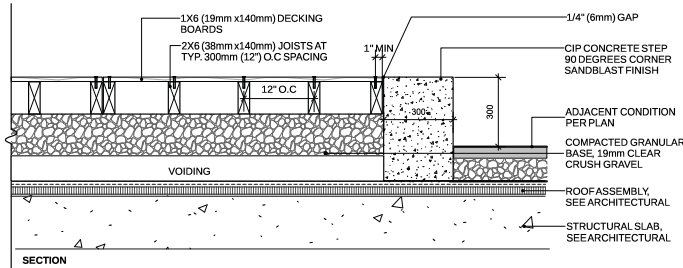
NOTES:  
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.  
3. LIGHT SANDBLAST FINISH

**4 CIP CONCRETE PAVING ON SLAB (TYPICAL)**  
SCALE 1:10

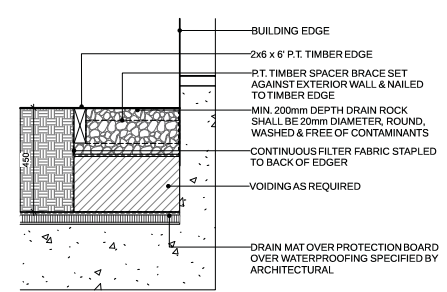


NOTES:  
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.  
3. LIGHT SANDBLAST FINISH

**5 CIP CONCRETE PAVING ON GRADE (TYPICAL)**  
SCALE 1:10



**6 CEDAR DECKING ON SLAB**  
SCALE 1:10



**7 GRAVEL DRAIN STRIP ON SLAB**  
SCALE 1:10

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REVISIONS

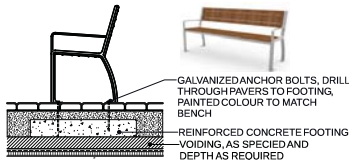
## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale:	AS SHOWN
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## LANDSCAPE DETAILS

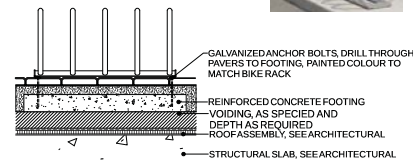
MLB970-W BENCH BY MAGLIN SITE FURNITURE (1-800-716-5506)  
DIMENSIONS: 84.2cm HEIGHT x 177.8cm LENGTH x 58.4cm DEPTH  
POWDERCOAT COLOUR: GUNMETAL, IPE WOOD



NOTE:  
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

1 BACKLESS BENCH TYPE 1  
SCALE 1:10

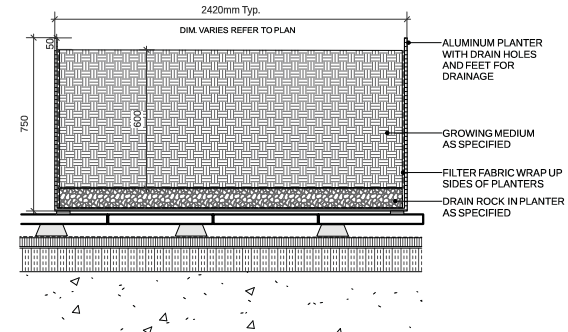
MBR350-S BICYCLE RACK BY MAGLIN SITE FURNITURE (1-800-716-5506)  
DIMENSIONS: 60.48cm HEIGHT x 94.62cm LENGTH x 62.56cm DIAMETER  
POWDERCOAT COLOUR: GUNMETAL



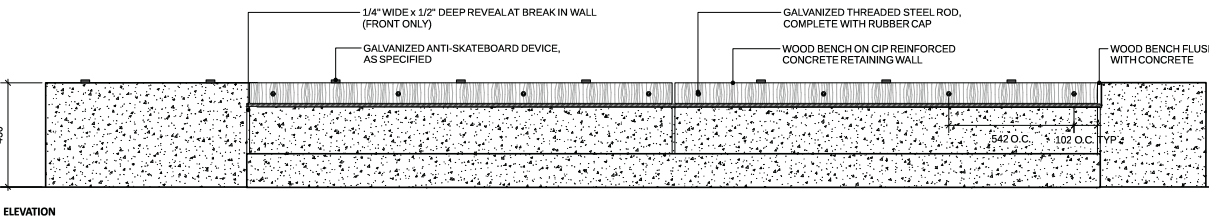
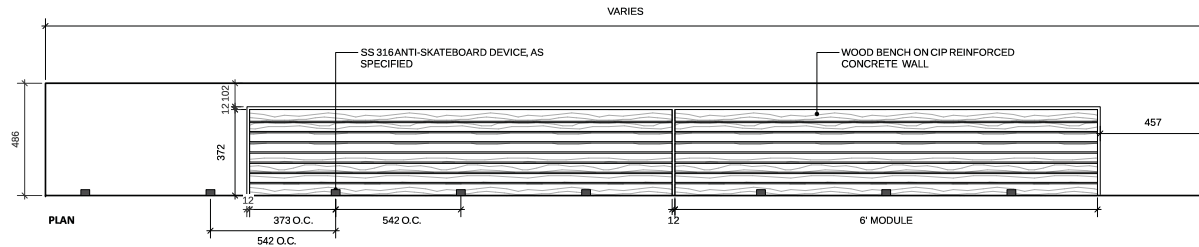
NOTE:  
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

2 BIKE RACK  
SCALE 1:10

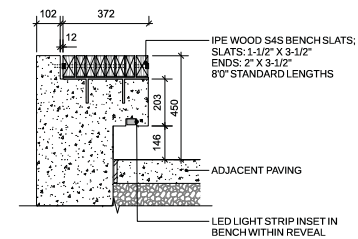
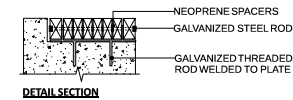
MODEL: ALUMINUM PLANTER  
SIZE: 750mm H x 915mm L x 2420mm W  
COLOUR: PEWTER  
BY: GREENTHEORY (604 475-7002)



3 ALUMINUM URBAN AGRICULTURE PLANTER ON SLAB  
SCALE 1:10



4 CIP CONCRETE SEATWALL WITH BENCH TOP  
SCALE 1:10



## 1550-EASTERN AVENUE

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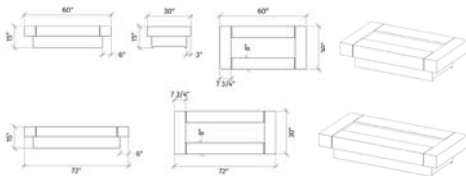
## LANDSCAPE DETAILS



# QUADRA

-60in + 72in-

DIMENSIONS



## COMFORTABLE LIVING



Designed to enhance outdoor entertainment areas, the highly expressive **Quadra** fire table helps define the modern patio.

COLOUR: LONDON FOG

QUADRA PACKAGE INCLUDES:
CONCRETE FIREPIT TOP
CONCRETE FIREPIT BASE
MANUAL LIT NG/LP BURNER
LAVA ROCK
Firepits ship fully sealed Accessories available



**Dreamcast**  
design and production

Please contact us at 1-604-278-4939 with any questions. Our experienced team can assist you with product information, installation and design recommendations. We also encourage you to explore our website at [www.dreamcastfirepits.com](http://www.dreamcastfirepits.com)

## 1 GAS FIRE PLACE AMENITY AREA

### 3 BOLLARD

PROVIDER: DALS  
MODEL: LEDPATH003/LEDPATH004  
COLOUR: SILVER GREY  
AVAILABLE THROUGH SLS LIGHT  
RESOURCE 778-329 9439



### 6 RECESSED WALL LIGHT

PROVIDER: MP LIGHTING  
MODEL: L46 LED LIGHT  
COLOUR: ANNOXIDIZED ALUMINUM FINISH  
CONTACT: 604.708.1184



### 7 EXTERIOR WALL MOUNT LIGHT

PROVIDER: MP LIGHTING  
MODEL: L721 LED LIGHT  
COLOUR: ANNOXIDIZED ALUMINUM FINISH  
CONTACT: 604.708.1184



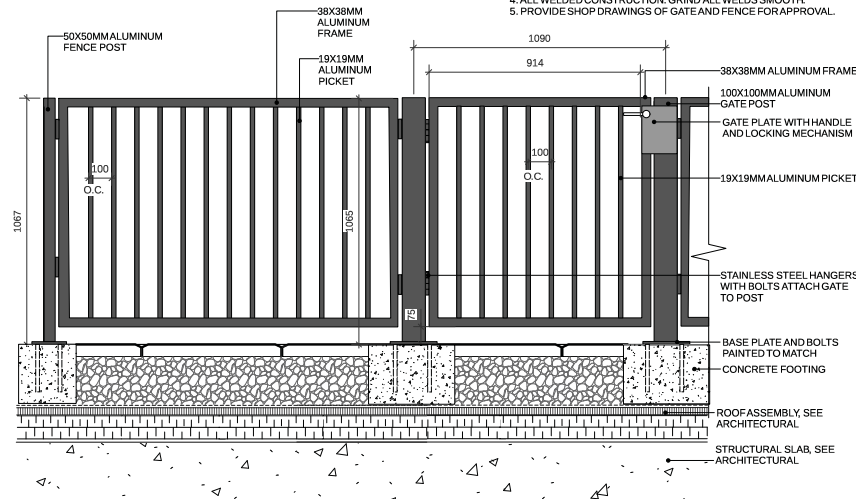
### 8 TRELLIS LIGHT

PROVIDER: TESAN  
MODEL: EXTON MONO - DIRECT MOUNT - GEMS ANNOXIDIZED ALUMINUM AVAILABLE THROUGH SLS LIGHT  
RESOURCE 778-329 9439

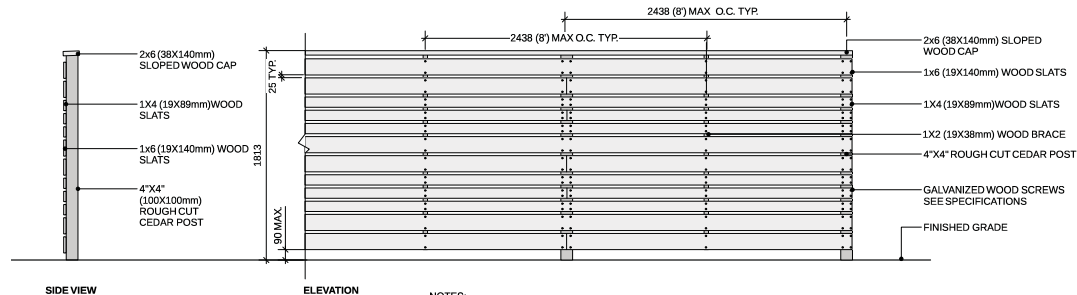


#### NOTES:

1. SELF CLOSING GATE AND LATCH
2. USE PREFABRICATED GATEBOX FOR LATCH ASSEMBLY AND KEY
3. ALL METAL ALUMINUM WITH BLACK CHARCOAL POWDERCOAT FINISH (TO BE FACTORY APPLIED).
4. ALL WELDED CONSTRUCTION. GRIND ALL WELDS SMOOTH.
5. PROVIDE SHOP DRAWINGS OF GATE AND FENCE FOR APPROVAL.



### 4 METAL FENCE AND GATE ON SLAB SCALE 1:10



### 5 TIMBER FENCE @ DAYCARE SCALE 1:10

#### NOTES:

1. ALL WOOD SLATS TO BE TO BE CEDAR STRUCTURAL SELECT UNTREATED CONTINUOUS STRUCTURAL WOOD.
2. ALL WOOD TO BE CEDAR, NO PRESSURE TREATED WOOD.
3. ALL WOOD TO BE SANDED.

**connect**  
LANDSCAPE ARCHITECTURE

2305 Hemlock St, Vancouver BC, V6H 2V1  
T 604 681 3303 F 604 681 3307  
[www.connectsl.ca](http://www.connectsl.ca)

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REVISIONS

## 1550-EASTERN AVENUE

1550- Eastern Ave  
North Vancouver, BC

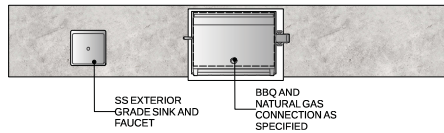
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Reviewed:	DS
Project No.	06-705

## LANDSCAPE DETAILS

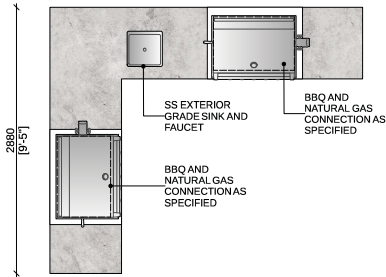
L5.3

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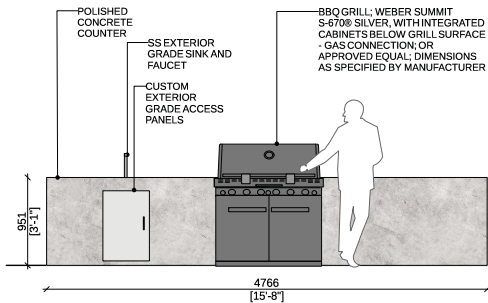
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RESPONSIBLE FOR NOTIFYING THE  
APPROPRIATE COMPANY, DEPARTMENT OR  
PERSON(S) OF ITS INTENTION TO CARRY OUT ITS  
OPERATIONS.



PLAN VIEW - BBQ AND COUNTER



PLAN VIEW - BBQ AND COUNTER



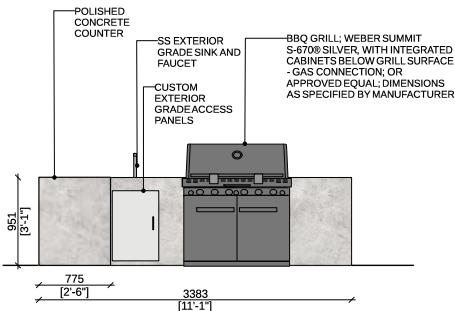
- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
  2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
  3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURES INSTRUCTION.
  4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

1 BBQ AND SINK WITH COUNTER SOUTH  
Scale: 1:25



BBQ DIMENSIONS:  
DEPTH: 30.5"  
HEIGHT: 52"  
WIDTH: 47"



- NOTE:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
  2. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBEQUE CONNECTION.
  3. BARBEQUE GRILL TO BE INSTALLED AS PER MANUFACTURES INSTRUCTION.
  4. REFER TO MECHANICAL DRAWINGS FOR SINK AND PLUMBING

ELEVATION

2 BBQ AND SINK WITH COUNTER NORTH  
Scale: 1:25

12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-08
8	ISSUED FOR ADP	21-07-14
7	ISSUED FOR VCH REVIEW	21-05-26
6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-18
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

REVISIONS

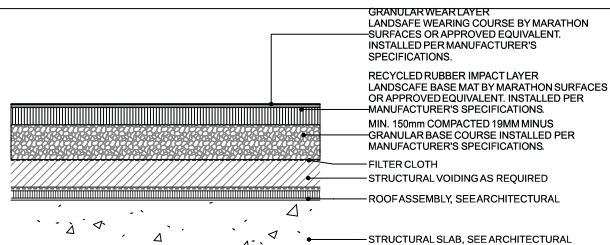
1550-EASTERN  
AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale: AS SHOWN  
Drawn: MR  
Reviewed: DS  
Project No. 06-705

LANDSCAPE DETAILS

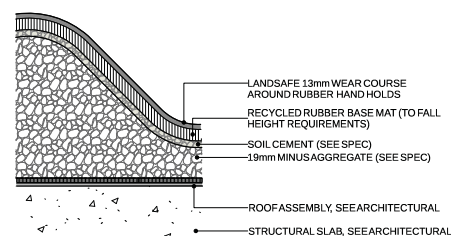
L5.4



NOTES:  
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.  
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT.

**POURED IN PLACE RUBBER PLAYFALL SURFACE**

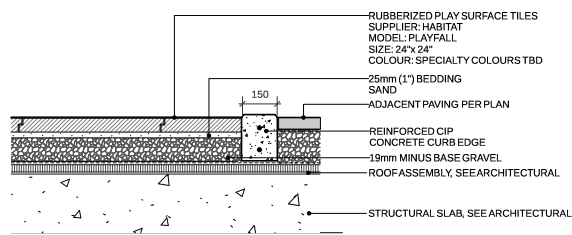
Scale: 1:10



NOTES:  
1. FALL SURFACING TO CONFORM TO REQUIRED CSA SAFETY STANDARDS.  
2. THICKNESS OF SURFACING LAYERS TO BE DETERMINED BY CRITICAL FALL HEIGHT

#### 4 RUBBER PLAY MOUND ON SLAB

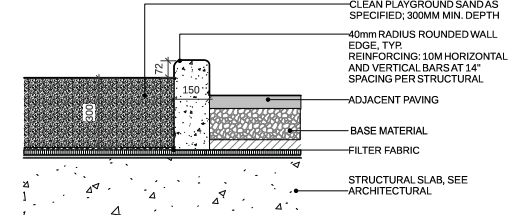
Scale: 1:10



NOTE:  
RUBBERIZED SURFACE TO BE PLAYFALL RUBBER PLAY SURFACE  
TILES, THICKNESS TO BE CONFIRMED WITH DISTRIBUTOR, OR  
PRE-APPROVED EQUAL.

**RUBBERIZED PLAY TILES ON SLAB**

Scale: 1:10



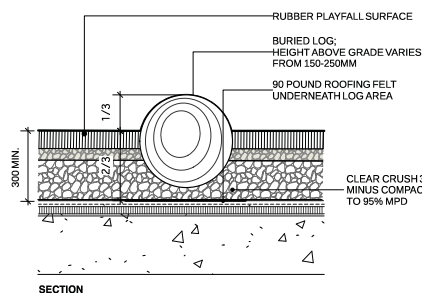
**c SAND AREA AND CURB ON SLAB**

**6** Scale: 1:10



### 8. Hill SLIDE

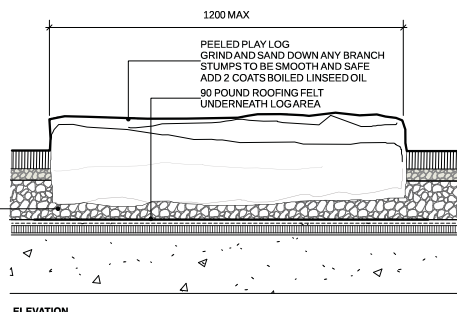
Scale: 1:20



## SECTION

## 2 PLAY LOGS

**Scale: 1:10**



**ELEVATION**



**LOG CRAWL TUNNEL**  
BY: LANDSCAPE STRUCTURES  
AVAILABLE THROUGH HABITAT

connect  
LANDSCAPE ARCHITECTURE

2305 Hemlock St, Vancouver BC, V6H 2V1  
T 604 681 3303 F 604 681 3307  
[www.connectia.ca](http://www.connectia.ca)

CONNECT LANDSCAPE ARCHITECTURE INC.  
DOES NOT GUARANTEE THE EXISTENCE,  
LOCATION, AND ELEVATION OF UTILITIES AND /  
OR CONCEALED STRUCTURES AT THE PROJECT  
SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

12	RE-ISSUED FOR REZONING	22-02-23
11	RE-ISSUED FOR REZONING	22-01-19
10	ISSUED FOR VCH REVIEW	21-12-22
9	ISSUED FOR VCH REVIEW	21-09-06
8	ISSUED FOR ADP	21-07-14
7	ISSUED FOR VCH REVIEW	21-05-26
6	ISSUED FOR VCH REVIEW	21-03-26
5	ISSUED FOR REZONING	20-10-14
4	ISSUED FOR VCH REVIEW	20-10-07
3	ISSUED FOR REVIEW	20-09-19
2	ISSUED FOR REVIEW	20-07-10
1	ISSUED FOR REVIEW	20-06-29

## REVISIONS

1550-EASTERN  
AVENUE

1550- Eastern Ave  
North Vancouver, BC

Scale: AS SHOWN

Drawn: MF

Reviewed: \_\_\_\_\_ DS \_\_\_\_\_

Project No. 06-705

LANDSCAPE DETAILS

## L5.5

ALPINE PLAY HUT  
Intended user age: 2-5

ASTM F1487

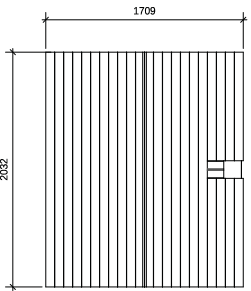


PRODUCT INFORMATION

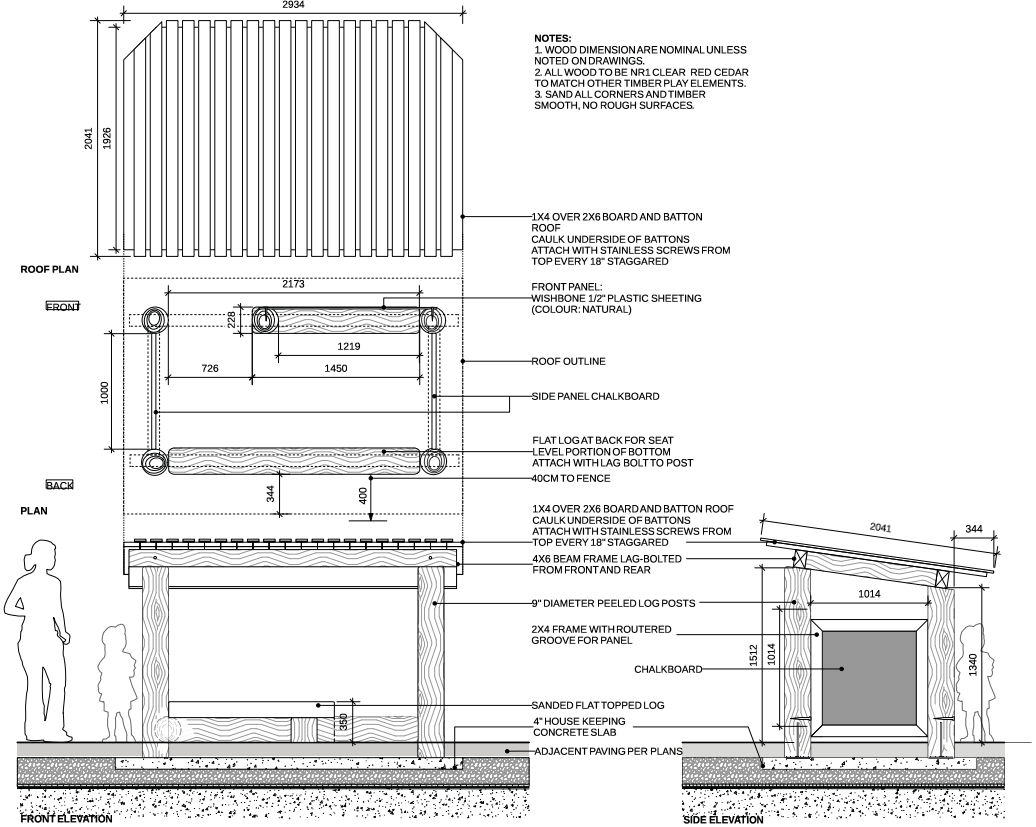
The tall peaked roof of the Alpine Hut is a clean and modern design that could fit into a range of playground themes and styles. A-Frame in style, the small house is finished with a chimney. It is fully enclosed on one side but open at the bottom on two sides providing visibility for caregivers but giving children a sense of privacy.



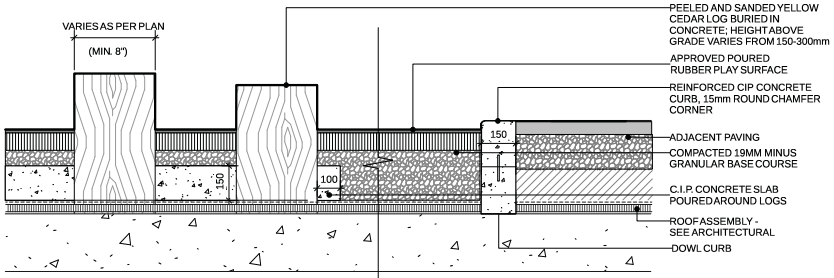
NON CLIMBABLE PLAY HUT



2 PLAY HOUSE LEVEL 2  
SCALE: 1:20



1 PLAY HOUSE LEVEL 1 ON SLAB  
SCALE: 1:20



NOTES:  
1. POURED RUBBER SURFACE TO BE CERTIFIED FALL SURFACE MATERIAL. SOURCE TO PROVIDE SPECIFICATIONS AND SAMPLES FOR REVIEW AND APPROVAL.  
2. LOGS TO BE YELLOW CEDAR, PEAELED AND SANDED. ROUNDED CORNERS NO SHARP EDGES.

3 PLAY STUMPS  
Scale: 1:10

1550-EASTERN AVENUE

Scale:	AS SHOWN
Drawn:	MR
Reviewed:	DS
Project No.	06-705

LANDSCAPE DETAILS



**Policy Objectives for:  
1536-1550 Eastern Avenue  
PLN2020-00022**

The project is in keeping with the goals and objectives of the following City policies:

<b>Official Community Plan</b>	
<p><u>Policy 1.1.1</u> <i>Plan for growth in the City's population, dwelling units and employment in keeping with the projections in Metro Vancouver's Regional Growth Strategy.</i></p>	<ul style="list-style-type: none"> <li>• Intensification of the site supports the use of existing amenities, including the new urban park to the north of the site.</li> <li>• Nearby services and public transit are along Lonsdale Avenue and 15<sup>th</sup> Street.</li> <li>• The site is also close to Lions Gate Hospital.</li> </ul>
<p><u>Policy 1.1.3</u> <i>Balance the number of jobs to number of residents employed in the labour force in the City, reducing the need for longer commute distances for City residents.</i></p>	<p>The proposed child care would employ approximately 35 staff and provide on-site housing for up to 8 child care staff. This would result in less commuting time and more staff being housed in North Vancouver.</p>
<p><u>Policy 1.1.4</u> <i>Support the role of the Lonsdale Regional City Centre as the urban core of the City, reducing the need for longer commute distances for City residences.</i></p>	<p>The site is located in Central Lonsdale, close to many services and employment opportunities along the Lonsdale Avenue corridor and Lions Gate Hospital.</p>
<p><u>Policy 1.1.7</u> <i>Allow for accessory uses, such as home-based businesses and childcare, in residential areas.</i></p>	<p>The proposal would supply a child care facility for up to 180 children from infant to pre-school, and would be zoned to allow desk and computer style home-based businesses in this residential area.</p>
<p><u>Policy 1.2.1</u> <i>Ensure the location, density, design and durability of developments and their infrastructure are informed by the best available science on climate impacts.</i></p>	<p>The proposed development is located close to the Lonsdale Avenue corridor and is utilizing an existing site and infrastructure to densify, while proposing to achieve an energy level of Step 3 in the BC Building Code.</p>
<p><u>Policy 1.3.1</u> <i>Ensure that new development is compatible with the established urban form of the City, reflecting primacy of the Lonsdale Regional City Centre and the transition through mid and low-rise buildings to lower-density residential neighbourhoods.</i></p>	<p>The proposal includes high-quality materials and design in a location that is one block east of Lonsdale Avenue. The scale of the proposed building provides a good example for higher density buildings found in the Central Lonsdale area.</p>
<p><u>Policy 1.3.6</u> <i>Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner.</i></p>	<p>Design and materials are consistent with those found in the local context. Landscaping utilizes native plant species.</p>

<p><u>Policy 1.3.9</u>  <i>Explore ways to activate laneways in the City including opportunities for varied uses, pedestrian and cycling activity, as well as stormwater management and urban agriculture.</i></p>	<p>The proposed townhouse units fronts off the south lane. This activates the lane for pedestrian use.</p>
<p><u>Policy 1.3.10</u>  <i>Encourage active, healthy lifestyles and the opportunity for more social connections through planning and active design principles that encourage physical activity and contribute to enhanced walkability and active streets, sidewalks and public spaces.</i></p>	<p>The proposal includes several common amenities, such as a gym, games room and an outdoor rooftop terrace on the fourth level and the roof. The location is close to local services along both Lonsdale Avenue, East 15<sup>th</sup> Street, Lions Gate Hospital and a new urban park.</p>
<p><u>Policy 1.4.1</u>  <i>Consider the needs of households with children in the design of multi-family developments.</i></p>	<p>The proposal would provide eleven 3-bedroom units and is located next to a new urban park.</p>
<p><u>Policy 1.4.3</u>  <i>Consider recreational, cultural and other community spaces as aspects of informal community living rooms and essential 'social infrastructure', particularly in high-density neighbourhoods like Central/Lower Lonsdale.</i></p>	<p>The proposed outdoor amenity space provides opportunities for social interaction, as well as the proposed rooftop gardens, games room and gym.</p>
<p><u>Policy 1.4.4</u>  <i>Incorporate active design principals in new development that encourage physical movement and social interaction, thereby contributing to a healthier community.</i></p>	<p>The application has provided arrangements for active movement throughout the proposed building, as well as proposing several common amenity areas to encourage active social interaction.</p>
<p><u>Policy 1.4.5</u>  <i>Focus amenity and infrastructure investments in the Lonsdale Regional City Centre and Frequent Transit Development Areas.</i></p>	<p>The proposed child care at this location would attract children within the same high density neighbourhood. With the location being one block away from an active public transit intersection, it would allow a convenient option to access the facility.</p>
<p><u>Policy 1.5.1</u>  <i>Provide opportunities for a range of housing densities, diversified in type, size and location.</i></p>	<p>The proposal would provide 107 new rental units with a range of unit types and sizes, from 411 to 951 sq. ft. Eleven of these units will be 3-bedroom.</p>
<p><u>Policy 1.5.4</u>  <i>Prioritize the development and revitalization of affordable rental housing and use density bonusing and density transfers to incentivize the retention, renewal and/or replacement of rental units as a public benefit.</i></p>	<p>The proposed 107 rental units, including 11 mid-market units, will be secured by a Housing Agreement for the life of the building, which is considered a public benefit.</p>
<p><u>Policy 1.5.6</u>  <i>Ensure a sufficient number of new apartment buildings provide accessible units and that these accessible units are represented across various unit sizes.</i></p>	<p>The proposal meets the minimum number of Adaptable Level 2 units, in accordance with the Zoning Bylaw, and the distribution of which will reflect the overall unit-mix; the remaining units will be Adaptable Level 1.</p>

<p><b><u>Policy 2.1.1</u></b>  <i>Invest in cycling and pedestrian networks and facilities to make these more attractive, safe, and convenient transportation choices for all ages and abilities with and aim to increase these ways of travelling over single-occupant vehicle use.</i></p>	<p>The proposal includes secured bike storage, including a room for the provision of 15 e-bikes for tenant and child care staff use. The subject site is close to a proposed AAA bike route along East 17<sup>th</sup> Street.</p>
<p><b><u>Policy 2.2.3</u></b>  <i>Encourage higher and medium density residential area uses near jobs and services.</i></p>	<p>The subject site is located one-half block east of Lonsdale Avenue, near many services and employment opportunities. Lions Gate Hospital is also close by.  The applicant is proposing staff housing for up to 8 employees of the child care facility to help with providing accommodations.</p>
<p><b><u>Policy 2.3</u></b>  <i>Density Transfer</i></p>	<p>Council may authorize transfers of density between properties that would not increase the overall density within the City.</p>
<p><b>Strategic Plan</b></p>	
<p>City for People</p>	<p>The proposal supports the Strategic Plan vision and priority to be a City for People by using an existing site to increase the number of rental units in the Lower Lonsdale area, providing employment opportunities and services within close walking distance.  The application is also proposing a private child care facility and on-site housing for up to 8 staff.</p>
<p><b>Housing Action Plan</b></p>	
<p><b><u>Action #3:</u></b>  <i>Mid-Market Rental Units</i></p>	<p>The project will provide eleven mid-market units, to be secured by a Housing Agreement for the life of the building.</p>
<p><b><u>Action #4:</u></b>  <i>Family-Friendly Housing</i></p>	<p>The project includes eleven three-bedroom units to support families.</p>
<p><b>Sustainable Development Guidelines</b></p>	
<p><b><u>Natural Systems</u></b>  <i>The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</i></p>	<ul style="list-style-type: none"> <li>• The landscaping plan would provide for green space on the ground level to benefit the local natural systems and help mitigate the storm water runoff from the site.</li> <li>• The planting plan includes several native species.</li> </ul>
<p><b><u>Physical Structures/Infrastructure</u></b></p>	<ul style="list-style-type: none"> <li>• The project will use high-performance and environmentally friendly building materials</li> </ul>

<p><i>The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications and energy efficiency and conversion including district energy. As well, this category includes attractive streetscapes, durable buildings, provision of a range of housing types and adequate community amenities.</i></p>	<p>and will achieve Step 3 of the Step Code. Energy Star and water-efficient appliances will be installed in the dwelling units</p> <ul style="list-style-type: none"> <li>• The proposal will be connecting to the LEC network.</li> <li>• An on-site stormwater management system will be provided and secured through the Servicing Agreement.</li> </ul>
<p><u>Local Economy</u>  <i>The ability to maintain and grow a healthy local economy. A strong economy brings employment and a solid tax base to support services without compromising other areas of capacity. A stronger economy has been shown to support healthier lifestyles for community members and greater opportunities for personal fulfillment and overall quality of life.</i></p>	<p>The proposal anticipates the child care will employ 35 full-time staff.</p>
<p><u>Human Potential</u>  <i>The ability of our local community to support our residents in their pursuit of individual livelihood objectives including access to education, healthy food, active transportation and affordable housing. Meeting these basic needs is essential for the maintenance and growth of human capacity.</i></p>	<p>The development provides Market Rental and Mid-Market Rental housing at a range of unit types and sizes.  The subject site is close to several public transit routes and the services along Lonsdale Avenue and is close to a number of local bike routes.</p>
<p><u>Social Connections</u>  <i>The ability of our community to foster communication, interaction and networks to respond effectively to community issues. These may include supporting community members with low incomes, lone-parent familie, and matters specific to children, youth, seniors and people with disabilities.</i></p>	<p>The project includes both indoor and outdoor amenity areas that are well-programed with multiple opportunities for activities.</p>
<p><u>Cultural Diversity</u>  <i>The ability of our community to support and celebrate a diversity of cultural backgrounds. This includes recognition of the traditions of the Squamish Nation and the many cultures of residents who make the City their home. With both tangible and intangible elements, cultural capacity has economic implications and is strongly connected to social traditions. Manifestations of cultural practices can range from spiritual practices to heritage buildings.</i></p>	<p>The proposed design includes various informal gathering spaces for tenants both within the building and in the public realm.</p>



<b>Active Design Guidelines</b>	
Proposed Amenities	<ul style="list-style-type: none"> <li>• Indoor weight room and separate games room.</li> <li>• Fourth floor outdoor common area for residents on the norther side that includes: <ul style="list-style-type: none"> <li>- Lounge area;</li> <li>- Exercise area; and</li> <li>- Pet relief area;</li> </ul> </li> <li>• Individual outdoor rooftop deck space for all residents. Adjacent multi-use indoor amenity room.</li> </ul>
Enhanced bicycle facilities	Provision for 15 e-bikes to be available for tenants and child care staff residents.
<b>Child Care Action Plan</b>	
Target to create 1063 new licensed childcare spaces by 2031.	<p>The proposal includes a private childcare facility that would provide up to 180 new spaces in the City. The proposed breakdown would be as follows:</p> <p>Infant/Toddler – 80 spaces</p> <p>Pre-school – 100 spaces.</p>

# 1536-1550 Eastern Avenue

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Virtual Developer Information Session

Prepared by: Pooni Group

August 2021



1536-1550 Eastern Ave

# Definitions

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**The Site:** Refers to 1536-1550 Eastern Avenue

**Virtual Developer Information Session (VDIS):** The engagement opportunity consisting of a project website, a fillable online comment form, live webinar sessions, and dedicated email address. During the DIS the website is live, feedback is being collected and questions from the public are being answered.

**Webinar:** A live-streamed interactive engagement session hosted through Zoom which includes a presentation by the project team and a live Q&A during which the project team answers questions submitted by the attendees.

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# 1.0 EXECUTIVE SUMMARY

Kenwood Apartments Ltd. has submitted a Rezoning and Special Development Permit Application to the City of North Vancouver (CNV) for the properties at 1536-1550 Eastern Avenue (the site) to permit the development of a 13-storey building. The proposal includes 105 new purpose-built rental homes, a much needed 185-space daycare, several residential amenity spaces, and a 2,000 square foot land dedication to the CNV to expand the new urban park to the north of the property and to provide an east lane pathway to improve and promote outdoor social connections.

The site is currently improved with two three-storey rental buildings.

As part of the rezoning application process, the project team recently hosted a Virtual Developer Information Sessions (VDIS) and two webinar sessions to engage with the community and collect feedback. The VDIS consisted of a project website ([www.1550easternave.com](http://www.1550easternave.com)) where all the project information was posted, two webinar sessions hosted by the project team on Thursday July 22, 2021 from 12:00-1:00 pm and 6:00-7:00 pm, and an online comment form and dedicated email address to collect feedback. The VDIS provided an opportunity for community members to meet the project team, learn more about the proposal, ask questions and provide feedback.

Between July 15, 2021, the day the website went live and August 5, 2021, the last day for the submission of comments, over 134 individuals visited the website. A total of 11 individuals attended one of the two webinar sessions on July 22, 2021.

Feedback could be submitted in three ways: through questions posed during the live Q&A portion of the webinar, comment form submissions, and by email. In total 23 questions and/or comments were submitted during the webinar sessions, 4 comment forms were submitted, and emails from three individuals were received.

**The following themes emerged based on participant feedback:**

- Questions about the height of the development in relation to the height guidelines set in place by the City of North Vancouver's OCP.
- Questions about the anticipated date of demolition and timeline for construction
- Support for more affordable housing in this neighbourhood, especially for families
- Support for a daycare centre and family oriented park space
- Questions about the sizing of both the greenspace and daycare centre
- Questions about the building design

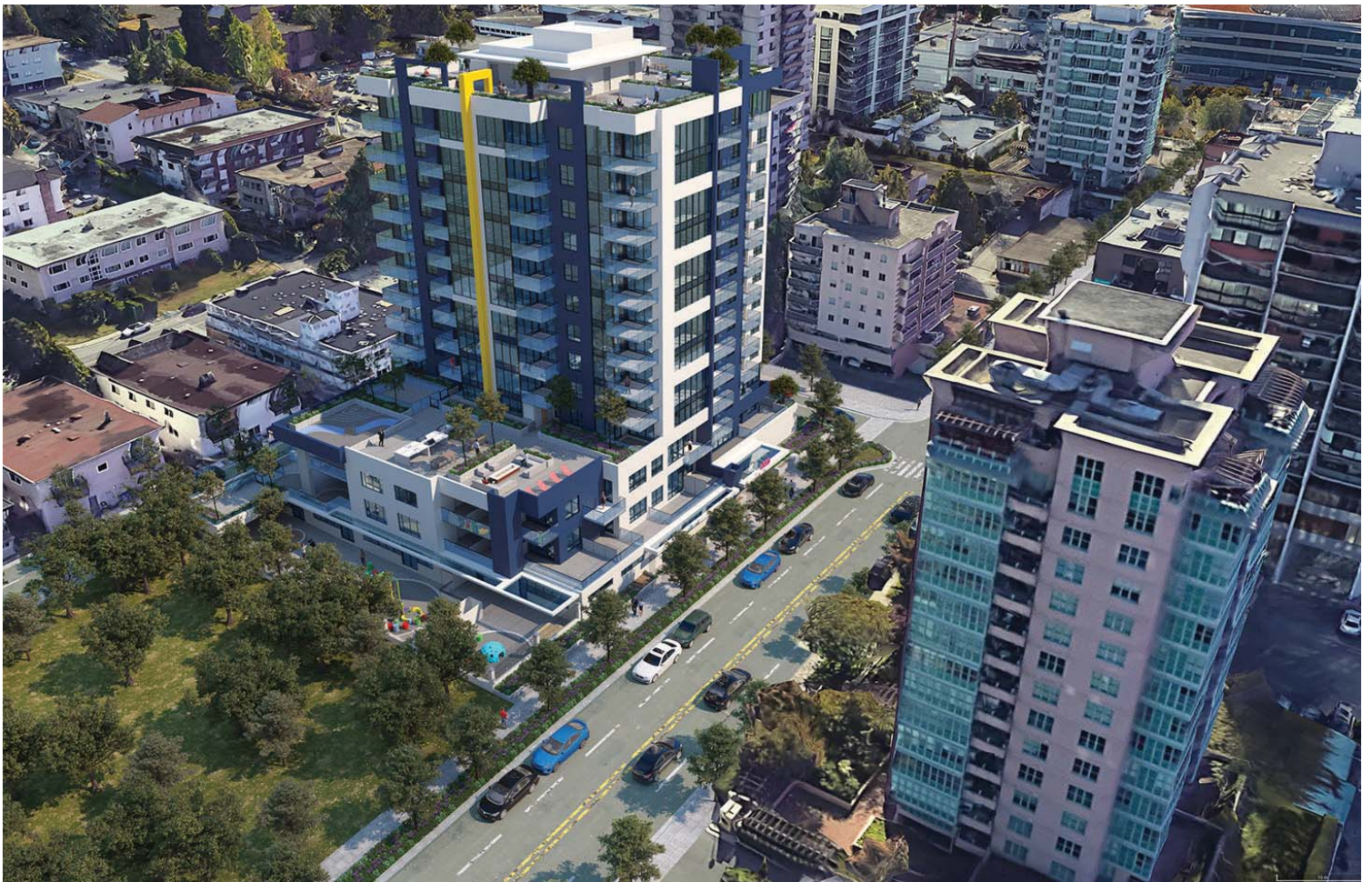


The following report provides a summary of the public engagement, including:

- An introduction
- Engagement event details, including a description of the notification method, the format of the event and an overview of the information presented
- Feedback received by comment form submission
- Questions received during the webinars
- Feedback received by email
- Transcription of all comments received
- Copies of all materials presented; website, presentation, copy of notification area, site signage

## 2.0 INTRODUCTION

The site currently contains two, three-storey walk up, wood frame rental buildings located in the heart of Central Lonsdale and is well serviced by frequent transit, near many shops, restaurants, amenities, and schools. The site is situated to the east of Eastern Avenue and approximately 55 m north of 15th St E. Within the CNV's OCP, the land use map identifies the property as Residential Level 6 (high density). In 2019, Kenwood Apartments submitted their Rezoning and Special Development Permit Application to the CNV to permit a 13-storey 3.45 FSR mixed use building.





The proposal includes:

- One 13-storey building
- 105 rental suites
- 185-space daycare
- Nearly 2,000 square feet of land to enlarge the adjacent urban park and to provide an east lane pathway to improve and promote outdoor social connections.
- Residential amenity space including a 2,500 square foot sports court
- 126 parking stalls within a two-level underground parkade



## 3.0 VIRTUAL DEVELOPER INFORMATION SESSION

The VDIS provided opportunities for public engagement including a project website and two webinar (via Zoom) sessions consisting of a presentation and live Q&A session. These webinar sessions allowed the project team to gather valuable feedback to inform application refinements for the site.

### Project Website

On **July 15, 2021**, the project website went live with information about the proposal, and details on how to attend the webinar sessions. As of **July 22, 2021** the website also contained a copy of the PDF presentation slides for download, a fillable comment form, contact information, and details related to the VDIS, including the ability to sign up to be reminded of the webinars date and times. From **July 15, 2021** until **August 5, 2021**, 73 individuals visited the project website.

The project website included the following content:

- Information on the Virtual Developer Information Session, and webinar dates and times
- A PDF copy of the presentation slides for download
- How to Participate, Neighbourhood Context, Project Highlights, Comment Form
- Information on Kenwood Apartments
- Information on Rafii Architects Inc.
- Link to access the live presentation during the webinars
- Comment form - fillable online
- Contact Information

### Tenant Engagement

A letter was sent to the existing residential tenants of the site in advance of the webinars. The letters reminded tenants of Kenwood Apartments Ltd. intentions to redevelop the site, provided information about the proposal, and identified the existing building manager, as their Tenant Relocation Coordinator. The Tenant Relocation Coordinator set up individual meetings with each of the tenants during the weeks leading up to the VDIS to review the Tenant Relocation Package, existing timelines, and answer any questions the tenants had. Tenants were encouraged to join the VDIS to learn more about the proposal.

### Public Notifications

#### Mail-Out

4,493 notification flyers were sent out via Canada Post ad-mail drop to residents and businesses in the area surrounding the site. The notification flyer informed the neighbouring community about the development proposal, provided webinar details, and information on how to participate in the online engagement sessions.



## Signage

On July 7, 2021 a site sign was installed by the project team on the subject property with the purpose of informing the public about the VDIS. The site sign informed the immediate neighbours about the development proposal, provided webinar details, and information on how to participate in the online engagement.

## Newspaper Ads

On July 7, 2021 and July 14, 2021 a newspaper ad ran in the North Shore News to inform the public about the VDIS. The newspaper ad informed the community about the development proposal, provided webinar details, and information on how to participate in the online engagement.

An audience overview of the project website is included in Appendix A, a copy of the notification flyer is included in Appendix B, a copy of the site signage is included in Appendix C, a copy of the newspaper advertisement is included in Appendix D, a map of the unaddressed notification delivery area is included in Appendix E, and a copy of the tenant letter is included in Appendix F.

## Webinar Summary

Date: Thursday July 22, 2021

Time: Session #1 - 12:00-1:00 pm

Session #2 - 6:00-7:00 pm

Location: Zoom Webinar via the project's website @ [www.1550easternave.com](http://www.1550easternave.com)

---

Between the day the website went live on July 15, 2021 and the last day for comment form feedback, August 5, 2021, 73 visitors viewed the project website. In total, between the two live webinar sessions, 11 individuals joined the Zoom Webinars to view the presentation and to participate in the Q&A.

# Project Team in Attendance

The following team members were in attendance for the webinar sessions

Kenwood Apartments (Developer) - Brad Nelson

Rafii Architects Inc (Architecture) - Foad Rafii, Homayoon Rahimi

CTS (Traffic Engineer) - Jan Voss

Connect Landscape Architecture (Landscape Architect) - Marina Rommel

Pooni Group (Urban Planning) - Sophie Perndl and Samantha Potter

City of North Vancouver (Development Planner) - David Johnson

A presentation was provided during both webinars. The session began with a welcome from Pooni Group's Sophie Perndl and introductions to the project team. An overview of the rezoning proposal was presented by Foad Rafii and the rest of the project team in attendance. The presentation slide headings, representative of the content, are as follows:

- |   |  |
|---|--|
| 1. Introduction   | 19. Next Steps                         |
| 2. Land acknowledgment  | 20. Floor Plans - Level 1              |
| 3. Meet the Developer   | 21. Floor Plans - Level 2              |
| 4. Neighbourhood Context  | 22. Floor Plans - Level 3              |
| 5. Site Context   | 23. Floor Plans - Level 4 Podium       |
| 6. Encouraging Sustainable Transportation                           | 24. Floor Plans - Level 5-12           |
| 7. City of North Vancouver's OCP                                    | 25. Floor Plans - Penthouse (Level 13) |
| 8. Proposal Vision  | 26. Elevations - West                  |
| 9. A Variety of New Housing   | 27. Elevations - North                 |
| 10. A Significant Contribution to Daycare Spaces in North Vancouver | 28. Elevations - East                  |
| 11. Daycare Floor Plan  | 29. Elevations - South                 |
| 12. Daycare Parking   | 30. Section A                          |
| 13. New Residential Amenities                                       | 31. Section B                          |
| 14. Rendering - Aerial View from the Northwest                      | 32. Section C                          |
| 15. Sustainability  | 33. Shadow Studies                     |
| 16. Site Plan   | 34. Project Stats                      |
| 17. Landscape Plan  |  |
| 18. Landscape and Outdoor Amenity Precedents                        |  |

These slides as well as floor plans, elevations, sections, shadow studies, and project statistics were available for download on July 22, 2021.

The project presentation was followed by a live Q&A session with the community members in attendance.

Screenshots from the VDIS Website are included in Appendix G, and a copy of the presentation slides are included in Appendix H.

1536-1550 Eastern Ave

## 4.0 FEEDBACK SUMMARY

The webinar sessions provided opportunities for the community to review the rezoning application for the site, have their questions answered by the project team and submit feedback.

The public was able to provide feedback in following ways:

- *Submission of questions and comments during the webinar sessions;*
- *Online comment form and submissions through the website; and*
- *Submission of questions and comments via email*

In total, 30 questions/comments were received from the webinar sessions, via online comment forms, and email.

### Summary Comments and Questions

Several questions received during the webinar sessions revolved around amenity spaces, building height and design, and construction timelines. Questions did not indicate support or opposition towards the application. Through comment form and email correspondence there was a mix of support and opposition towards the application. Those in support of the application identified the new rental homes and daycare space as desirable aspects of the proposal. Those in opposition of the application predominately shared concerns around construction. Overall, the majority of participants of the VDIS appeared to have a few questions and did not provide their sentiment towards the application.

A transcript of the questions/comments from the webinar sessions are included in Appendix I, a copy of the online comment forms are included in Appendix J, a copy of the comment form transcriptions are included in Appendix K, and a copy of emails received are included in Appendix G.

## 5.0 CONCLUSION

Kenwood Apartments Ltd. submitted a Rezoning application to the CNV for the site to permit the development of a 3.45 FSR, 13-storey building containing 105 rental homes and a 185-space daycare. As part of the application process, Kenwood Apartments Ltd. and the project team hosted a VDIS that included a project website and two webinar sessions. The website went live on July 15, 2021, and featured information about the proposal and details on how the community could attend and participate in the two virtual webinar sessions which were held on Thursday July 22, 2021 during two, 1-hour sessions held from 12:00-1:00 pm and 6:00-7:00 pm. Members of the surrounding community were encouraged to visit the project website and submit any inquires they may have regarding the proposal via email, phone or the comment form that was available on the project website after July 15, 2021. 4,493 notifications were sent out to the surrounding residents via Canada post ad-mail drop. In total, 11 individuals attended one of the two webinar sessions, and from this group, 23 questions and/or comments were submitted during the live Q&A. Between July 15, 2021 and August 5, 2021, 4 comment forms were submitted via the project website and 3 comments/questions were received through email. The supportive comments were predominately around additional daycare spaces for children in the area as well as new rental homes for individuals. Some individuals expressed concerns relating to the noise levels generated by the current developments in the area and the safety risks associated with the removal and demolition of the existing site.

The project team will consider the feedback received from the Virtual DIS as they progress through the design and approval process within the City of North Vancouver.



# 1536 - 1550 Eastern Ave

Kenwood Apartments has submitted a rezoning application for their properties at 1536 and 1550 Eastern Avenue.

The proposal includes a 13-storey building with 105 rental homes, including 11 homes that will be 10% below the Canadian Mortgage and Housing Corporation's average rents, a 185-space daycare, as well as indoor and outdoor amenities. If you are interested in learning more about the proposal, please visit [www.1550easternave.com](http://www.1550easternave.com).



Looking towards the northeast, across Eastern Avenue

# Tenant Relocation Information

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This provides an **overview of the Tenant Compensation Package** that is required per the City of North Vancouver's Residential Tenant Relocation Policy as part of any redevelopment application on projects that include existing tenants.

In order to ease the transition for existing tenants, Kenwood Apartments has assigned the current property manager, **Jason Trimark, who will be providing relocation assistance to tenants of 1536 and 1550 Eastern Avenue.**

Tenants living in either building today will have access to the following:

1. **Financial compensation** totaling three month's rent.
2. **Moving expenses** covered, up to \$1,000 for bachelor suites and one-bedroom homes and up to \$1,250 for two-bedroom homes.
3. **Assistance** in finding new accommodations:
  - Unless otherwise agreed upon, **three options comparable in unit type**, with at least one in the City of North Vancouver.
  - Options with rents no more than **10% above the Canadian Mortgage and Housing Corporation's average rents** for the area.
  - Where possible, **options tailored to tenants needs** (e.g., pet friendly, accessibility, smoke free, etc.).
4. The **Right of First Refusal** for any existing tenants wishing to move back into the new building:
  - Existing tenants will be provided with the **first opportunity to move back into the new building once complete with the opportunity to move into one of the 11 mid-market rental homes** included in the new building provided you qualify. This option will be provided in an order based on tenancy and seniority, with additional consideration for those in extenuating circumstances.

Kenwood Apartments will keep you up to date on the application process. Over the coming months you will likely have additional questions. As those arise, please feel free to reach Jason via email or phone.

Jason Trimark  
Trimark Property Management  
trimarkpm@gmail.ca  
604.323.4467

# Q&A About the Compensation Process

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## **What if I want to move out right away? Do I still get compensation?**

The compensation package will be available once the rezoning application has been approved by City Council. At this time, no council date has been set, however, Kenwood Apartments will keep you informed.

## **Do I need to work with Jason? Will this impact my compensation?**

No. You are entitled to compensation regardless of whether you use Jason's assistance or not.

## **Do I need to notify Jason if I don't need assistance with finding new accommodation?**

Yes. You don't need to use Jason to assist with your move, but you do need to tell him that you don't need assistance.

## **How will Jason help me find alternate accommodation?**

Jason will meet with you to assess your needs and timeline. He will look for housing options that meet your requirements and provide them to you.

## **How do I register for one of the mid-market rental homes?**

Upon moving out, we will ask you to complete a right of first refusal form that will include your contact information. Once the new building is complete, we will contact you and assess whether you qualify for a mid-market rental home. It is your responsibility to keep your contact information up to date.

## **How many options are available to me if I want to move back in once the building is complete?**

Preference will be given to returning tenants for both market (94 suites) and below-market suites (11 suites). Those who apply to return to market suites will be subject to market rents in effect at the time of the contract.

## **How is my rental and moving expense compensation paid? What about my damage deposit?**

2 cheques will be issued:

1. Rental compensation and moving expense compensation
2. Damage deposit return.

## **When will I get my cheques? Who do I get them from?**

You will receive your cheques from Jason at the time you complete your move out inspection.

## **How do I ensure I receive my rental and moving expense compensation?**

You must complete the following tasks to qualify for compensation:

1. Pay all rent in full
2. Provide a written notice to vacate (including your new address)
3. Empty your suite of all furniture and personal belongings
4. Return keys and fobs
5. Sign Tenant Relocation Compensation Form
6. Complete the Right of First Refusal Form, if applicable

# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8892

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892**” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, and Text Amendment to 1629 St. Georges Avenue, CD-603).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-743 (Comprehensive Development 743 Zone):

Lots	Block	D.L.	Plan	
8	31 and 37	549	7163	from RM-1
6	31 and 37	549	7163	from RM-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. Adding the following section to Section 1100, thereof, after the designation “CD-742 Comprehensive Development 742 Zone”:

“CD-743 Comprehensive Development 743 Zone”
  - B. Adding the following to Section 1101, thereof, after the “CD-742 Comprehensive Development 742 Zone”:

“CD-743 Comprehensive Development 743 Zone”

In the CD-743 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RM-1 Zone, except that:

- (1) The permitted Principal Uses on the Lot shall be limited to:
  - (a) Rental Apartment Residential Use:
    - i. Accessory Off-Street Parking Use;
    - ii. Accessory Home Office Use.
  - (b) Child Care Use:
    - i. Accessory Off-Street Parking Use.
- (2) Gross Floor Area



- (a) The Principal Building shall not exceed a Gross Floor Area of 1.0 times the Lot Area, provided that this amount may be increased to a maximum of 1.60 times the Lot Area through the provision of Adaptable Design subject to Section 423;
- (b) Notwithstanding 2(a), the maximum Gross Floor Area may be further increased upon entering into a Housing Agreement with the City, from the “Base Density” to the “Total Density” as follows:

<b>BASE DENSITY</b>			
<b>OCP Schedule ‘A’</b>		<b>2.30 FSR</b>	
<b>ADDITIONAL (BONUS) DENSITY</b>			
<b>ADDITIONAL DENSITY CATEGORY</b>	<b>DESCRIPTION</b>	<b>ADDITIONAL DENSITY (BONUS)</b>	<b>POLICY REFERENCE</b>
100% Rental Housing	Secured rental apartment building, of which 11 units are mid-market	1.0 FSR	OCP Section 2.2
<b>DENSITY TRANSFER</b>			
Transferred from 1629 St. Geroges Avenue (CD-603)	Residual Density that is not to be utilized on donor site.	0.15 FSR	OCP Section 2.3
<b>TOTAL DENSITY</b>		<b>3.45 FSR</b>	

- (3) The minimum required Principal Building setback, measured to each building face, shall be limited to:
  - (a) 2.0 metres (6.56 feet) from the west property line (Eastern Avenue);
  - (b) 9.75 metres (32.0 feet) from the north property line;
  - (c) 4.60 metres (15.10 feet) from the south property line; and
  - (d) 2.50 metres (8.20 feet) from the east property line.
- (4) Notwithstanding 3(b) above, the second floor balcony for the Child Care Use may be extended to 0.0 metres (0.0 feet) setback from the north property line, up to a maximum width of 5.75 metres (18.9 feet).
- (5) Height
  - (a) Principal building shall not exceed a Building Height of 37.0 metres (121.4 feet) as measured from the average Building Grades at the North property line;
  - (b) Notwithstanding 4(a), the following exclusions shall apply:
    - i. Parapet walls above the top floor may not exceed a height of 38.3 metres (125.66 feet); and
    - ii. Mechanical rooms and common elevator structures may not exceed a height of 43.73 metres (143.5 feet).

- (6) Variance to Section 507(5)(h) Child Care Use to increase the maximum number of children in a Child Care Use at any one time to 180;
  - (7) Variance to Section 512(2) Lot Coverage to allow the maximum allowable Lot Coverage to not exceed 58%;
  - (8) Section 510(3) Building Width and Length shall not apply;
  - (9) Section 507(5)(h) that the maximum number of children in care not exceed 180 children at any one time.
- C. Comprehensive Development 603 Zone (CD-603) be amended by removing "Table CD 603 – 1: Density and Transfer Calculations" in its entirety and replacing with the following:

Table CD-603 – 1: Density and Transfer Calculations

<b>SITE</b>	<b>COMMON ADDRESSES</b>	<b>SITE AREA (SQ. FT.)</b>	<b>FLOOR SPACE RATIO</b>	<b>MAXIMUM GROSS FLOOR AREA (SQ. FT.)</b>	<b>TRANSFERRED GROSS FLOOR AREA (SQ. FT.)</b>	<b>ON-SITE GROSS FLOOR AREA (SQ. FT.)</b>
<b>"A"</b>	1629 St. Georges Avenue	9,298	1.6 times transferrable Density Bonus 0.715  2.315	21,528 sq. ft. (2.315 FSR)	6,652 (0.715 FSR) To Site "B"	14,876 (1.6 FSR)
<b>"B"</b>	1854 & 1860 Lonsdale Avenue	7,392	2.3	17,002 sq. ft. (2.3 FSR)	6,652 (0.9 FSR) From Site "A"	23,654 (3.2 FSR)

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ADOPTED on the <> day of <>, 2022.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8893

**A Bylaw to enter into a Housing Agreement (1536-1550 Eastern Avenue)**

**WHEREAS** Section 483 of the *Local Government Act* R.S.B.C. 2015 c.1 permits a local government to enter into a housing agreement for rental housing.

**NOW THEREFORE** the Council of The Corporation of the City of North Vancouver, in open meeting assembled enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Housing Agreement Bylaw, 2022, No. 8893**” (**Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments**).
2. The Council hereby authorizes the agreement substantially in the form attached to this bylaw between The Corporation of the City of North Vancouver and Kenwood Apartments Ltd., Inc. No. 0759503 with respect to the lands referenced as 1536-1550 Eastern Avenue, “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743).
3. The Mayor and Corporate Officer are authorized to execute any documents required to give effect to the Housing Agreement.

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ADOPTED on the <> day of <>, 2022.

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MAYOR

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CORPORATE OFFICER



## PART 2 – TERMS OF INSTRUMENT

### RENTAL HOUSING AGREEMENT AND SECTION 219 COVENANT

**THIS AGREEMENT** dated for reference the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

BETWEEN:

**KENWOOD APARTMENTS LTD., INC.NO. 0759503**

3939 West 14<sup>th</sup> Avenue  
Vancouver, British Columbia,  
V6R 2X2

(the “Owner”)

AND:

**THE CORPORATION OF THE CITY OF NORTH VANCOUVER,**  
a municipal corporation pursuant to the *Local Government Act* and  
having its offices at 141 West 14th Street, North Vancouver,  
British Columbia, V7M 1H9

(the “City”)

**WHEREAS:**

- A. The Owner is the registered owner of the Lands.
- B. The City is a municipal corporation incorporated pursuant to the *Community Charter*, SBC 2003, c. 26.
- C. Section 219 of the *Land Title Act*, RSBC 1996, c. 250 permits registration of a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land, that land is or is not to be built on except in accordance with the covenant and that land is not to be subdivided except in accordance with the covenant;
- D. Section 483 of the Act permits a local government to, by bylaw, enter into a housing agreement that may include terms and conditions regarding the occupancy of the housing units identified in the agreement, including respecting the form of tenure of the housing units, the availability of the housing units to classes of persons, the administration and management of the housing units and the rents and lease, sale or share prices that may be charged.
- E. The City has enacted a bylaw authorizing this Agreement.
- F. The Owner and the City wish to enter into this Agreement pursuant to Section 219 of the *Land Title Act* and section 483 of the Act.

**NOW THEREFORE** in consideration of the sum of Ten Dollars (\$10.00) now paid by the City to the Owner and for other good and valuable consideration (the receipt and sufficiency of which the Owner hereby acknowledges), the Owner and the City covenant each with the other as follows:

## 1. DEFINITIONS

- (a) **“Act”** means the *Local Government Act*, RSBC. 2015 c.1 as amended from time to time;
- (b) **“Affordable Rent”** means with respect to each Mid-Market Rental Unit a rent payment amount equal to 10% below the “Private Apartment Average Rents” for the corresponding bedroom type in the City of North Vancouver as established by CMHC’s Housing Market Information Portal for the year the tenancy is entered into;
- (c) **“Agreement”** means this agreement as amended from time to time;
- (d) **“Child Care”** means the group child care facility located on the first two levels of the Residential Building on the Lands;
- (e) **“Commencement Date”** has the meaning set out in section 2.1 herein;
- (f) **“Council”** means the municipal council for the City of North Vancouver;
- (g) **“CMHC”** means Canada Mortgage and Housing Corporation;
- (h) **“Director of Planning”** means the chief administrator of the Department of Planning of the City and his or her successors in function and their respective nominees;
- (i) **“Dwelling Unit”** means a dwelling unit as defined in the City of North Vancouver’s “Zoning Bylaw 1995, No. 6700” as amended from time to time;
- (j) **“Guest Suite”** means a self-contained Dwelling Unit that is held in common ownership and rented out to guests of the tenants of Market Units and Mid-Market Units in the Residential Building;
- (k) **“Lands”** means those lands and premises legally described as:

Parcel Identifier: 010-719-261  
Lot 8  
Blocks 31 and 37  
District Lot 549  
Plan 7163;

and

Parcel Identifier: 007-980-264  
Lot 6  
Blocks 31 and 37  
District Lot 549  
Plan 7163;

- (l) **“Mid-Market Rental Units”** means the 11 Dwelling Units in the Residential Building to be constructed on the Lands that are rented to tenants for Affordable Rent;
- (m) **“Market Rental Units”** means all Dwelling Units in the Residential Building other than the Mid-Market Rental Units, the Guest Suite and the Staff Units;
- (n) **“Rental Purposes”** means an occupancy or intended occupancy which is or would be governed by a tenancy agreement as defined in Section 1 of the *Residential Tenancy Act*, SBC 2002 c. 78 as amended from time to time between the Owner and the tenant;
- (o) **“Rental Units”** means the Market Rental Units and the Mid-Market Rental Units;
- (p) **“Residential Building”** means the thirteen-storey building to be constructed on the Lands to be used for the Child Care and Rental Purposes with 110 Dwelling Units, of which 96 Dwelling Units will be Market Rental Units, 11 Dwelling Units will be Mid-Market Rental Units, 2 Dwelling Units will be Staff Units, and one Guest Suite;
- (q) **“RT Act”** means the *Residential Tenancy Act*, SBC 2002 c. 78;
- (r) **“Rezoning Bylaw”** means the rezoning bylaw applicable to the Lands described as “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2022, No. 8892”;
- (s) **“Section 219 Covenant”** means a covenant pursuant to Section 219 of the *Land Title Act*;
- (t) **“Staff Units”** means the two self-contained Dwelling Units in the Residential Building that are managed by the operator of the Child Care and used as shared accommodation for staff who work at the Child Care for up to four persons per unit;
- (u) **“Tenancy Agreement”** means an agreement, whether written or oral, express or implied, between the Owner and a tenant respecting possession or occupancy of a Rental Unit for Rental Purposes; and
- (v) **“Term”** has the meaning set out in section 2.1 herein.

## 2. TERM

- 2.1 This Agreement will commence upon adoption by the City’s Council of “Housing Agreement Bylaw, 2022, No. 8893” (Kenwood Apartments Ltd. / Rafii Architects Inc., 1536-1550 Eastern Avenue, CD-743, Rental Housing Commitments) (the **“Commencement Date”**) and will continue until the date this Agreement is terminated in accordance with sections 2.2 or 8.3(c) (the **“Term”**).
- 2.2 This Agreement will terminate immediately upon the removal or destruction of the Residential Building provided the Residential Building is not repaired or rebuilt following the destruction thereof.
- 2.3 Subject to section 7.3, upon termination of this Agreement, this Agreement will be at an end and of no further force and effect.

### **3. SECTION 219 COVENANT**

- 3.1 The Owner covenants and agrees with the City as a covenant in favour of the City pursuant to Section 219 of the *Land Title Act*, RSBC 1996, c. 250 that during the Term of this Agreement, it being the intention and agreement of the Owner that the provisions in this Agreement be annexed to, and run with and be a charge upon the Lands, that notwithstanding the Rezoning Bylaw, the Lands shall be used and built on only in strict compliance with the terms and conditions of this Agreement and that:
- (a) the Lands shall not be subdivided or stratified except for a subdivision either under the *Strata Property Act* or *Land Title Act* to create a separate legal parcel for the Child Care;
  - (b) the Rental Units in the Residential Building shall be used for Rental Purposes only; and
  - (c) no Rental Unit in the Residential Building shall be occupied for any purpose except for Rental Purposes pursuant to a Tenancy Agreement.
- 3.2 The Owner further covenants and agrees with the City that the Lands and any buildings or structures constructed thereon including the Residential Building shall be developed, built, and maintained in accordance with all City bylaws, regulations and guidelines as amended from time to time.
- 3.3 Pursuant to section 219(6) of the *Land Title Act*, RSBC 1996, c. 250 except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission, negligent or otherwise, by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible;
  - (b) the Owner's default under this Agreement; and
  - (c) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.

### **4. TENANCY RESTRICTIONS**

- 4.1 The 11 Mid-Market Rental Units shall be provided in the following unit mix: 2 studio units, 7 one-bedroom units, 1 two-bedroom unit, and 1 three-bedroom unit. The Owner may only change this mix with the approval in writing by the Director of Planning with such approval to be granted in his or her discretion. The Owner shall be entitled to determine the locations of the 11 Mid-Market Rental Units within the Residential Building.
- 4.2 The Owner shall enter into a minimum 1 year Tenancy Agreement for each of the Mid-Market Rental Units which will convert to a month to month tenancy at the end of the 1 year term. If such a tenancy is ended prior to the end of the Term, the Owner must rent the Mid-Market Rental Unit at Affordable Rent. For greater certainty, at the end of each tenancy,



the Mid-Market Rental Unit will continue to be rented as a Mid-Market Rental Unit at Affordable Rent, which obligation will be ongoing at all times during the Term.

- 4.3 The Guest Suite shall be used to provide short-term accommodation for guests of the tenants of the Mid-Market Rental Units and Market Rental Units at all times during the Term. The Guest Suite must not be advertised or used for short-term market rentals or for Rental Purposes under a Tenancy Agreement.
- 4.4 The Staff Units shall be used for Rental Purposes and be managed and operated by the operator of the Child Care and shall be used only to provide accommodation to staff of the Child Care up to a maximum of four staff members per unit, for a maximum total of eight staff members in the Staff Units. Ending the tenancy of an employee is subject to requirements of the RT Act.

## **5. OWNER'S OBLIGATIONS**

5.1 Without limiting section 3.1 of this Agreement:

- (a) Management and administration: the management, administration, and associated costs with the management and administration of the Rental Units, including the Mid-Market Rental Units and the Guest Unit, will be borne by the Owner or its designated rental agent, unless otherwise approved by the City in writing;
- (b) Advertisement: when the Mid-Market Rental Units first become available, the Owner will advertise such units for a minimum of one month on at least two common rental property search platforms that allow potential tenants to view available properties for rent in North Vancouver without payment of a fee or requirement for registration, and the Owner will feature the tenure restrictions set out in this Agreement prominently in all advertising of Mid-Market Rental Units;
- (c) Tenant Selection: the Owner will make the Mid-Market Rental Units available in the following order of priority:
  - (i) Tenants from the existing rental building on the Lands will be provided first right of refusal in the Mid-Market Rental Units, regardless of income, and have first priority, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;
  - (ii) The Owner will then make any remaining Mid-Market Rental Units not rented by tenants from the existing building on the Lands available to tenants with an annual household income at or below that the Maximum Household Income who are either current residents of the City of North Vancouver or who work in the City of North Vancouver and have done so for at least six months, provided that if there are multiple applicants in this category for one unit, then applicant families with one or more dependents will have priority for units with two or more bedrooms and if applicants are equal in this regard, then applications will be considered on a first come-first-served basis;

- (iii) If there are any remaining Mid-Market Rental Units not rented by tenants who meet the criteria in Sections 5.1(c)(i) or (ii) after the expiry of the one-month advertising period, then the Owner will make such units available to tenants who meet the Maximum Household Income requirement; and
- (iv) In determining whether a tenant meets the Maximum Household Income requirements, the Owner or its rental agent, so long as it acts honestly and in good faith, is entitled to rely on all information provided by the prospective tenant and the Owner will have no liability if the prospective tenant intentionally or unintentionally provides any incorrect information. The Owner is under no obligation to monitor or update the financial circumstances of the tenant once the lease is signed.
- (d) Rent Amount and Permitted Increases: Affordable Rent for Mid-Market Rental Units is to be determined at the time of tenancy. Rent amounts may be subsequently increased by the permitted annual rent increase then set under the RT Act.
- (e) Compliance with applicable laws: without restricting the foregoing, the Owner will comply with all applicable provisions of the RT Act and any other provincial or municipal enactments imposing obligations on landlords in relation to residential tenancies;
- (f) Performance: the Owner will perform its obligations under this Agreement diligently and in good faith; and
- (g) Evidence of compliance: provided that the same can be done without breaching the *Personal Information Protection Act* (as amended from time to time) the Owner will, at Business License renewal on an annual basis, supply to the City copies of any documentation in possession of the Owner necessary to establish compliance with the Owner's obligations under this Agreement.

## 6. DEFAULT AND REMEDIES

- 6.1 The City may, acting reasonably, give to the Owner a written notice (in this section 6.1, the "**Notice**") requiring the Owner to cure a default under this Agreement within 30 days of receipt of the Notice. The Notice must specify the nature of the default. The Owner must act with diligence to correct the default within the time specified.
- 6.2 If the default is not corrected within the time specified, the Owner will pay to the City on demand by the City 200 percent of the difference between current market rent, as determined by a third-party appraiser, and Affordable Rent for each Mid-Market Rental Unit in default for the default year to the end of the Term of the Agreement. The monies collected from default will be deposited to the City's Affordable Housing Reserve Fund.
- 6.3 The Owner will pay to the City on demand by the City all the City's costs of exercising its rights or remedies under this Agreement, on a full indemnity basis.
- 6.4 The Owner acknowledges and agrees that in case of a breach of this Agreement which is not fully remediable by the mere payment of money and promptly so remedied, the harm sustained by the City and to the public interest will be irreparable and not susceptible of adequate monetary compensation.

- 6.5 Each party to this Agreement, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies including specific performance, injunction and declaratory relief, or any of them, to enforce its rights under this Agreement.
- 6.6 The Owner acknowledges and agrees that it is entering into this Agreement to benefit the public interest in providing housing for Rental Purposes, and that the City's rights and remedies under this Agreement are necessary to ensure that this purpose is carried out and that the City's rights and remedies under this Agreement are fair and reasonable and ought not to be construed as a penalty or forfeiture.
- 6.7 No reference to nor exercise of any specific right or remedy under this Agreement or at law or at equity by any party will prejudice, limit or preclude that party from exercising any other right or remedy. No right or remedy will be exclusive or dependent upon any other right or remedy, but any party, from time to time, may exercise any one or more of such rights or remedies independently, successively, or in combination. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy of a default by the Owner under this Agreement.

## **7. LIABILITY**

- 7.1 Except for the negligence of the City or its employees, agents or contractors, the Owner will indemnify and save harmless each of the City and its elected officials, board members, officers, directors, employees, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:
- (a) any act or omission by the Owner, or its officers, directors, employees, agents, contractors, or other persons for whom at law the Owner is responsible; and
  - (b) the Owner's ownership, operation, management or financing of the Lands for the provision of housing for Rental Purposes.
- 7.2 Except to the extent such advice or direction is given negligently, the Owner hereby releases and forever discharges the City, its elected officials, board members, officers, directors, employees and agents, and its and their heirs, executors, administrators, personal representatives, successors and assigns from and against all claims, demands, damages, actions or causes of action by reason of or arising out of advice or direction respecting the ownership, operation or management of the Lands for the provision of housing for Rental Purposes which has been or hereafter may be given to the Owner by all or any of them.
- 7.3 The covenants of the Owner set out in sections 7.1 and 7.2 of this Agreement will survive the expiration or the earlier termination of this Agreement and will continue to apply to any breach of the Agreement and to any claims arising under this Agreement during the ownership by the Owner of the Lands.

## **8. GENERAL PROVISIONS**

- 8.1 The Owner agrees to reimburse the City for all legal costs reasonably incurred by the City for the preparation, execution and registration of this Agreement. The Owner will bear their own

costs, legal or otherwise, connected with the preparation, execution or registration of this Agreement.

8.2 Nothing in this Agreement:

- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the use or subdivision of land;
- (b) affects or limits any enactment relating to the use of the Lands or any condition contained in any approval including any development permit concerning the development of the Lands; or
- (c) relieves the Owner from complying with any enactment, including the City's bylaws in relation to the use of the Lands.

8.3 The Owner and the City agree that:

- (a) this Agreement is entered into only for the benefit of the City;
- (b) this Agreement is not intended to protect the interests of the Owner, occupier or user of the Lands or any portion of it including the Rental Units and the Limited Common Property; and
- (c) without limiting part 2 of this Agreement, the City may at any time execute a release and discharge of this Agreement in respect of the Lands, without liability to anyone for doing so.

8.4 This Agreement burdens and runs with the Lands and any part into which any of them may be subdivided or consolidated, by strata plan or otherwise. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its successors and assigns, and all persons who acquire an interest in the Lands after the date of this Agreement. Without limiting the generality of the foregoing, the Owner will not be liable for any breach of any covenant, promise or agreement herein in respect of any portion of the Lands sold, assigned, considered or otherwise disposed of, occurring after the Owner has ceased to be the owner of the Lands.

8.5 The covenants and agreements on the part of the Owner in this Agreement have been made by the Owner as contractual obligations as well as being made pursuant to section 905 of the Act and as such will be binding on the Owner.

8.6 The Owner will, at its expense, do or cause to be done all acts reasonably necessary to ensure this Agreement is registered against the title to the Lands, including any amendments to this Agreement as may be required by the Land Title Office or the City to effect such registration.

8.7 The City and the Owner each intend by execution and delivery of this Agreement to create both a contract and a deed under seal.

8.8 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver



of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.

- 8.9 If a Court of competent jurisdiction finds that any part of this Agreement is invalid, illegal, or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.10 Every obligation of a party which is set out in this Agreement will extend throughout the Term and, to the extent that any obligation ought to have been observed or performed prior to or upon the expiry or earlier termination of the Term, such obligation will survive the expiry or earlier termination of the Term until it has been observed or performed.
- 8.11 All notices, demands, or requests of any kind, which a party may be required or permitted to serve on another in connection with this Agreement, must be in writing and may be served on the other parties by registered mail, by facsimile or e-mail transmission, or by personal service, to the following address for each party:

City: The Corporation of the City of North Vancouver  
141 West 14<sup>th</sup> Street  
North Vancouver, British Columbia  
V7M 1H9  
**Attention: Director, Planning**  
Facsimile: 604.985.0576

The Owner: Kenwood Apartments Ltd, Inc.No. 759503  
3939 West 14<sup>th</sup> Avenue  
Vancouver, British Columbia,  
V6K 2X2

Service of any such notice, demand, or request will be deemed complete, if made by registered mail, 72 hours after the date and hour of mailing, except where there is a postal service disruption during such period, in which case service will be deemed to be complete only upon actual delivery of the notice, demand or request; if made by facsimile or e-mail transmission, on the first business day after the date when the facsimile or e-mail transmission was transmitted; and if made by personal service, upon personal service being effected. Any party, from time to time, by notice in writing served upon the other parties, may designate a different address or different or additional persons to which all notices, demands, or requests are to be addressed.

- 8.12 Upon request by the City, the Owner will promptly do such acts and execute such documents as may be reasonably necessary, in the opinion of the City, to give effect to this Agreement.
- 8.13 This Agreement will enure to the benefit of and be binding upon each of the parties and their successors and permitted assigns.




## **9. INTERPRETATION**

- 9.1 Gender specific terms include both genders and include corporations. Words in the singular include the plural, and words in the plural include the singular.
- 9.2 The division of this Agreement into sections and the use of headings are for convenience of reference only and are not intended to govern, limit or aid in the construction of any provision. In all cases, the language in this Agreement is to be construed simply according to its fair meaning, and not strictly for or against either party.
- 9.3 The word "including" when following any general statement or term is not to be construed to limit the general statement or term to the specific items which immediately follow the general statement or term to similar items whether or not words such as "without limitation" or "but not limited to" are used, but rather the general statement or term is to be construed to refer to all other items that could reasonably fall within the broadest possible scope of the general statement or term.
- 9.4 The words "must" and "will" are to be construed as imperative.
- 9.5 Any reference in this Agreement to any statute or bylaw includes any subsequent amendment, re-enactment, or replacement of that statute or bylaw.
- 9.6 This is the entire agreement between the City and the Owner concerning its subject, and there are no warranties, representations, conditions or collateral agreements relating to the subject matter of this Agreement, except as included in this Agreement. This Agreement may be amended only by a document executed by the parties to this Agreement and by bylaw, such amendment to be effective only upon adoption by City Council of an amending bylaw to "Housing Agreement Bylaw, 2022, No. 8893".
- 9.7 This Agreement is to be governed by and construed and enforced in accordance with the laws of British Columbia.
- 9.8 This Agreement can be signed in counterpart.

IN WITNESS OF THIS AGREEMENT the City and the Owner have executed this Agreement by signing the "Form C – General Instrument – Part 1" or "Form D – Executions Continued" attached hereto.

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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**FINANCE DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: Larry Sawrenko, Chief Financial Officer

Subject: 2022-2026 FINANCIAL PLANNING UPDATE

Date: March 16, 2022 File No: 05-1700-01-0001/2022

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION**

PURSUANT to the report of the Chief Financial Officer, dated March 16, 2022, entitled "2022-2026 FINANCIAL PLANNING UPDATE":

THAT the 2022 Operating Budget, dated March 16, 2022, be endorsed:

THAT the 2022-2031 Capital Plan, dated March 16, 2022, be endorsed;

That the 2022 Cemetery Operating Budget, dated March 16, 2022, be endorsed;

AND THAT staff bring forward a Financial Plan Bylaw (2022 to 2026) that reflects an overall tax rate increase of 3.75%.

**ATTACHMENTS**

1. Draft 2022 Operating Budget - dated March 16, 2022 (CityDocs [#2158212](#))
2. Draft 2022-2031 Capital Plan – updated March 16, 2022 (CityDocs [#2154055](#))
3. Draft 2022 Cemetery Operating Budget – dated March 16, 2022 (CityDocs [#2158503](#))



## BACKGROUND

The Community Charter requires that Council adopt a five year Financial Plan that includes both operating and capital items before May 15 in each year. The purpose of this report is to provide an update on the development of the 2022-2026 Financial Plan that includes the proposed 3.75% tax rate increase for 2022 that was previously included in the Harry Jerome Community Recreation Centre ("HJCRC") Financial Strategy endorsed by Council January 31, 2022.

## DISCUSSION

### Operating Budget

The Draft 2022 Operating budget includes operational expenditures, such as salaries, maintenance, on-going programs, and energy costs, which are relatively continuous. The Operating Budget is funded mainly by property taxation revenue (81%) and partially by other non-tax revenue sources.

The Draft 2022 Operating Budget dated March 16, 2022 (**Attachment 1**), reflects a tax rate increase of 3.75%, which included 1.24% for Operating expenses, 2.00% for the Capital Plan, and 0.51% for requested new items.

	000's	Tax Impact
<b>2022 General Operating Plan Increase</b>		
Salary and other wage provisions	\$1,022	1.70%
Major and Core Funded Agencies	604	1.00%
RCMP cost sharing	386	0.64%
Insurance	160	0.27%
New capital infrastructure maintenance	79	0.13%
Other items	57	0.10%
Expense reductions	(55)	(0.09%)
Non-tax revenues	(710)	(1.18%)
Tax Roll growth	(800)	(1.33%)
<b>2022 Net Operating Plan Increase</b>	<b>\$743</b>	<b>1.24%</b>
Increase of annual tax levy to capital	1,200	2.00%
<b>2022 Proposed Baseline</b>	<b>\$1,943</b>	<b>3.24%</b>
New Items	308	0.51%
<b>2022 Proposed Tax Rate Increase</b>	<b>\$2,251</b>	<b>3.75%</b>

*(A 1% tax rate increase generates approximately \$600,000 in tax revenue for the City)*

No changes to this Operating Budget have been made since it was last reviewed with Council on February 28, 2022, other than the New Items proposed have now been fully incorporated into the version attached, dated March 16, 2022.

## Capital Plan

The Capital Plan is made up of projects having a specific deliverable, and definite beginning and endpoint. The Draft 2022-2031 Capital Plan (**Attachment 2**) includes proposed projects totaling \$483 million. The 2022 proposed projects total \$215 million and are funded by a combination of City funding (92%) and external contributions (8%).

The proposed projects are summarized as follows:

	<b>2022 (Only)</b>	<b>Total 2022-2030</b>
Land/Major Investments	\$28.4	\$30.2
Buildings	174.1	253.6
Structures	6.2	141.8
Equipment/Block Funding	6.3	57.0
<b>Total Project Plan</b>	<b>\$ 215.0M</b>	<b>\$ 482.6M</b>

Note that 2022 figures are higher on an annual basis as they include \$168 million for the HJCRC capital program, the largest capital program the City has ever undertaken.

Council endorsed the Draft 2022-2031 Capital Plan at its February 28, 2022 meeting. That version of the Capital Plan assumed that the HJCRC capital program would be financed in part with a short term loan from the Municipal Finance Authority in the amount of \$117 million. The Ministry of Municipal Affairs has indicated that they are not able to recommend approval of the \$117 million in borrowing, but that \$109 million is supportable. With the reduction in supportable borrowing, \$8 million in alternate funding has been identified in order for the HJCRC project to proceed as planned. The Draft 2022-2031 Capital Plan (dated March 16, 2022) therefore includes the following update versus the plan endorsed by Council at its February 28<sup>th</sup> meeting.

<b>Source</b>	<b>2022-2025</b>
Additional Internal Borrowing – TSLP*	\$5.5
General Capital Reserve**	2.0
Parking Reserve***	0.5
	<b>\$8.0M</b>

\* Tax Sale Land Principal reserve - With an additional \$5.5M of internal borrowing, reserve balances remain above \$20M maintaining a financial "safety net"

\*\* Available funding identified during 2021 financial year end closing not currently allocated to projects

\*\*\*Funding restricted to the off-street parking component of the project (Further analysis of these costs underway)

The above changes are reflected in the "Reserves and Other Funding" section of the Draft 2022-2031 Capital Plan dated March 16, 2022 (**Attachment 2**) and are the same as presented to Council when considering and approving the revised Financial Plan Bylaw for \$109 million.

Support for the current plan is part of an ongoing process. Authority to spend these funds will only be provided through funding appropriations (and bylaws in the case of DCC funding), and both require further Council motions.

### Cemetery Operating Budget

The City's Cemetery operation is a self-funding program primarily funded from sale of plots and cremation niches. Operational costs relate to burials, maintenance, and caretaking, carried out by City staff. The City's Draft 2022 Cemetery Operating Budget (**Attachment 3**) is approximately \$0.4 million, which has been updated since 2021 with only inflationary adjustments.

### **FINANCIAL IMPLICATIONS**

Financial implications are discussed throughout the report and in additional materials provided.

### **INTER-DEPARTMENTAL IMPLICATIONS**

The 2022-2031 Financial Plan is a reflection of the policies of the City, and the work plans of all City departments. In developing the Financial Plan, Finance staff rely on their close working relationship with staff in other departments and the City's shared-cost agencies.

### **STRATEGIC PLAN, OCP OR POLICY IMPLICATIONS**

The preparation and approval of a Financial Plan is consistent with the requirements of the Community Charter, with several of the objectives of the City's 2014 Official Community Plan and was prepared with consideration of the 2018-2022 Council Strategic Plan.

RESPECTFULLY SUBMITTED:



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Larry Sawrenko  
Chief Financial Officer





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## 2022 OPERATING BUDGET

MARCH 16, 2022 | FINANCE DEPARTMENT





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This Report outlines the year over year changes to the Operating budget on a departmental level. The Operating Budget is balanced, relying on a modest 3.75% tax rate increase, competitive within the lower mainland, and lower than that of The City in 2021.

Operating Expenses in this budget have increased \$4.3M vs 2021. This increase is driven by factors including increased RCMP costs driven by the new RCMP collective agreement, increases to salary and other wage provisions driven by collective bargaining, insurance cost increase driven by a hard insurance market, and includes \$308k for 6 new items (5 new positions and an increased investment in facilities security). Detailed information on the changes impacting each departments' budgets are outlined in the following pages.

Additional property taxes of only \$2.25M are needed to fund the above expense increases, given growth to the tax roll. The property tax increase has been kept to a minimum as directed by Council as part of the development of the Harry Jerome Community Recreation Centre Financial Strategy endorsed by council in January 2022.

Overall, the 2022 Operating Budget is balanced.

## ALL DEPARTMENTS FINANCIAL SUMMARY

Programs	2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>EXPENSES</b>			
CAO, City Clerk's and Mayor's (Legislative)	3,690,500	3,691,800	1,300
Strategic and Corporate Services	8,698,700	8,834,400	135,700
Community and Partner Engagement	2,830,200	2,910,800	80,600
Planning and Development	6,383,700	6,358,200	-25,500
Finance	14,481,000	16,571,400	2,090,400
Public Safety - Bylaws	1,232,200	1,236,700	4,500
Public Safety - Fire	11,855,200	12,148,300	293,100
Public Safety - Police (RCMP)	15,587,600	16,544,600	957,000
Engineering, Parks & Environment	9,185,500	9,367,900	182,400
Shared Corporate Training Programs	295,500	295,500	0
Major External Boards & Commissions	10,842,400	11,422,600	580,200
<b>Total Operating Expenses</b>	<b>85,082,500</b>	<b>89,382,200</b>	<b>4,299,700</b>
<b>REVENUES</b>			
CAO, City Clerk's and Mayor's (Legislative)	5,000	5,000	0
Strategic and Corporate Services	1,813,900	1,833,000	19,100
Community and Partner Engagement	1,469,800	1,469,800	0
Planning and Development	2,625,200	2,609,200	-16,000
Finance	6,765,200	7,279,600	514,400
Public Safety - Bylaws	798,000	798,000	0
Public Safety - Fire	205,000	205,000	0
Public Safety - Police (RCMP)	949,000	1,520,300	571,300
Engineering, Parks & Environment	1,368,000	1,528,000	160,000
Major External Boards & Commissions	94,300	94,300	0
Property Taxes	68,989,100	72,040,000	3,050,900
<b>Total Operating Revenues</b>	<b>85,082,500</b>	<b>89,382,200</b>	<b>4,299,700</b>
<b>Budget Balance</b>	<b>0</b>	<b>0</b>	<b>0</b>

City of North Vancouver  
Staff Count by Department

2022 Approved Complement

Chief Administrative Officer	6
City Clerk's	10
Strategic and Corporate Services	54
Community & Partner Engagement	18
Planning & Development	40
Finance	30
Public Safety - Bylaws	10
Public Safety - Fire	75
Public Safety - Police - Civilian	84
RCMP Members - City	73
Engineering Parks & Environment <i>(including Utilities Staff)</i>	129
<b>Total Staff by Department</b>	<b>529</b>

Approved Complement consists of Council approved regular full-time and regular part-time positions.

## Offices of the Chief Administrative Officer, City Clerk's and Mayor

The Chief Administrative Officer provides leadership to all City staff. The various departments within the City provide critical support services for the organization.

The City solicitor provides legal advice to City Council and City staff; drafts and negotiates legal agreements on behalf of the organization.

The City Clerk's office is responsible for the preparation of Council and Committee meeting agendas and minutes, administration and certification of City bylaws, interpreting legislation, administration of local elections and managing corporate records, coordinating Committees of Council, protection of privacy and access to information requests.



The Mayor's office provides administrative, communications and research support for the Mayor.

### KEY RESPONSIBILITIES

- Liaison between Mayor, Council and City staff
- Work with Council to develop and implement its strategic priorities
- Oversee the affairs and operations of the City and its departments
- Advise City Council and City staff on obligations, legislative interpretation and the extent of municipal authority
- Provide strategic advice to the City of North Vancouver
- Deliver information to Council and Council Committees
- Administer and preserve corporate records management services
- Provide information and records to the public regarding Council business
- Respond to requests for information under the *Freedom of Information and Protection of Privacy Act*
- Administer general local elections
- Coordinate the Mayor's schedule, commitments and speaking engagements
- Conduct research and draft media communications
- Provide administrative support to the Office of the Mayor

### Staffing

Approved Complement:

Chief Administrative Office	6.0
City Clerk's	<u>10.0</u>
	16.0



## 2022 Budget Analysis Administrative & Legislative

CAO, City Clerk's, Mayor & Council

<b>2021 Expenditure Budget</b>	<b>3,690,500</b>	
2022 Salaries Obligation	6,300	
Election Program	5,000	
Sister Cities	(10,000)	
<b>2022 Expenditure Budget</b>	<b>3,691,800</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>1,300</b>	<b>0.04%</b>
<b>2021 Revenue Budget</b>	<b>5,000</b>	
<b>2022 Revenue Budget</b>	<b>5,000</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>-</b>	<b>0.00%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>1,300</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.00%</b>	

# CHIEF ADMINISTRATIVE OFFICER, CLERK'S, MAYOR'S (LEGISLATIVE) EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>CAO MANAGEMENT AND SUPPORT</b>				
Management and Support	1110	937,250	937,250	0
Special Administration	1111	40,000	40,000	0
Total Management and Support		977,250	977,250	0
<b>CAO CORPORATE PROGRAMS</b>				
Admin CAO Corporate	1120	515,500	515,500	0
Civic Engagement	1125	10,000	10,000	0
Total Other Programs		525,500	525,500	0
Total CAO Expenses		1,502,750	1,502,750	0
<b>CLERK'S MANAGEMENT AND SUPPORT</b>				
Management and Support	1310	1,135,216	1,135,316	100
Total Management and Support Expenses		1,135,216	1,135,316	100
<b>CLERK'S GENERAL PROGRAMS</b>				
Volunteer Appreciation	1341	10,000	10,000	0
Election Administration	1350	40,000	45,000	5,000
Records Management	1380	18,600	18,600	0
Legal Advertising	1162	44,000	44,000	0
Total General Programs Expenses		112,600	117,600	5,000
<b>CLERK'S OTHER PROGRAMS</b>				
Board of Variance	2750	2,087	2,087	0
Total Other Programs Expenses		2,087	2,087	0
Total City Clerk's Expenses		1,249,903	1,255,003	5,100
<b>LEGISLATIVE MANAGEMENT AND SUPPORT</b>				
Management and Support	2610	294,497	300,697	6,200
Total Management and Support Expenses		294,497	300,697	6,200
<b>LEGISLATIVE SUPPORT PROGRAMS</b>				
Legislative	2620	622,671	622,671	0
Sister Cities	2631	20,000	10,000	(10,000)
Regional Legislative Meetings	3340	643	643	0
Total Support Programs		643,314	633,314	(10,000)
Total Legislative Expenses		937,811	934,011	-3,800
Total CAO, Clerk's & Legislative Expenses		3,690,464	3,691,764	1,300

# CHIEF ADMINISTRATIVE OFFICER, CLERK'S, MAYOR'S (LEGISLATIVE) REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>CLERK'S GENERAL PROGRAMS</b>				
Legal Advertising	1162	5,000	5,000	0
Total General Programs		5,000	5,000	0
Total City Clerk's Revenues		5,000	5,000	0
Total Admin, Clerk's & Legislative Revenues		5,000	5,000	0

# Strategic and Corporate Services

The Strategic and Corporate Services Department is dedicated to creating and maintaining critical support services for the organization, and delivering vibrant public facilities for betterment of the entire community. The Department works closely with all other groups to deliver effective and efficient service.

## KEY RESPONSIBILITIES

- Lead large scale public development projects from inception to completion
- Provide a complete range of real estate, facilities management services for City-owned and City-leased properties and building assets
- Provide progressive, client-focused Human Resources services
- Support Council and Corporation with strategic and business planning services
- Deliver customer-focused technology services for solutions that contribute to the City's business objectives



## DIVISIONS

- Strategic Initiatives
- Civic Facilities
- Real Estate
- Human Resources
- Information Technology

## Staffing

Approved Complement:

Strategic Initiatives	2.0
Human Resources	11.0
Facilities Management/Real Estate	21.0
Information Technology	<u>20.0</u>
	54.0



## 2022 Budget Analysis Strategic & Corporate Services

<b>2021 Expenditure Budget</b>	<b>8,698,700</b>	
Salaries Obligation	17,600	
Parking Program expenses	(10,000)	
Facilities and Property expenses	9,200	
Information Technology expenses	17,100	
New Item: RFT Security Manager, IT	80,100	
New Item: Facilities Security	21,700	
<b>2022 Expenditure Budget Operating</b>	<b>8,834,400</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>135,700</b>	<b>1.56%</b>
<b>2021 Revenue Budget</b>	<b>1,813,900</b>	
Facilities and Property revenue	19,100	
<b>2022 Revenue Budget Operating</b>	<b>1,833,000</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>19,100</b>	<b>1.05%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>116,600</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.19%</b>	

## STRATEGIC & CORPORATE SERVICES EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>STRATEGIC INITIATIVES</b>				
Strategic Initiatives	1140	253,100	261,500	8,400
Management & Support	1210	4,000	4,000	0
Budget Savings	1217	-15,000	-15,000	0
Total Strategic Initiatives		242,100	250,500	8,400
<b>HUMAN RESOURCES</b>				
HR Management & Support	1510	620,100	653,200	33,100
Special Administration	1511	20,450	20,450	0
Recruitment	1520	455,700	455,700	0
Benefits Administration	1540	83,000	83,000	0
Employee Fitness	1541	4,500	4,500	0
Employee Assistance	1542	23,000	23,000	0
Disability Management	1545	50,800	50,800	0
Employee Recognition	1570	25,563	25,563	0
Labour Relations	1580	144,400	144,400	0
Health & Safety	1590	188,440	195,340	6,900
Total HUMAN RESOURCES		1,615,953	1,655,953	40,000
<b>FACILITIES MANAGEMENT</b>				
Facilities Management	2140 2135	883,621	939,301	55,680
FM-Janitorial	2148	386,500	351,100	-35,400
FM-Security	2149	162,000	183,700	21,700
FM-Capital OH Recovery	2151	-60,000	-60,000	0
Total FACILITIES MANAGEMENT		1,372,121	1,414,101	41,980
<b>REAL ESTATE &amp; PROPERTY MANAGEMENT</b>				
City Lands	1960	285,300	295,300	10,000
Parking	1973	143,500	133,500	-10,000
Property Management	1971	1,263,300	1,236,178	-27,122
Total Property Management		1,692,100	1,664,978	-27,122
<b>INFORMATION TECHNOLOGY</b>				
IT Administration	2510	-342,869	-187,312	155,557
IT Application Services	2530	1,544,400	1,490,200	-54,200
IT GIS	2540	574,800	594,500	19,700
IT Client Services	2550	2,000,101	1,951,501	-48,600
Total Information Technology		3,776,432	3,848,889	72,457
<b>Total Strategic &amp; Corporate Services Expenses</b>				
		8,698,706	8,834,421	135,715

## STRATEGIC & CORPORATE SERVICES REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>REAL ESTATE &amp; PROPERTY MANAGEMENT</b>				
Parking	1973	526,500	526,500	0
Property Management	1971	1,287,400	1,306,500	19,100
Total Real Estate Management		1,813,900	1,833,000	19,100
<b>Total Strategic &amp; Corporate Services Revenues</b>		1,813,900	1,833,000	19,100

# Community and Partner Engagement

Community and Partner Engagement takes direction from Mayor and Council, the Official Community Plan, the Economic Development Strategy, and other civic policies in order to provide excellent customer service.

## KEY RESPONSIBILITIES

- Media relations and issues management
- Communications & City website
- Public engagement
- Economic development and tourism
- Film and special events
- Business licensing and compliance
- Shipyards skate plaza and splash park
- Shipyards / Waterfront programming
- Community partnerships
- Youth and family community development
- Place-making & public realm activation



## DIVISIONS

- Communications & Engagement
- Economic Development & Business Services
- Shipyards and Waterfront
- Administration

## Staffing

Approved Complement:

Community & Partner Engagement 18.0



## 2022 Budget Analysis Community & Partner Engagement

<b>2021 Expenditure Budget Community &amp; Partner Engagement</b>	<b>2,830,200</b>	
2022 Salaries Obligation	95,600	
Contract Chamber of Commerce	(15,000)	
<b>2022 Expenditure Budget</b>	<b><u>2,910,800</u></b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b><u>80,600</u></b>	<b>2.85%</b>
<b>2021 Revenue Budget Community &amp; Partner Engagement</b>	<b>1,469,800</b>	
Moorage fees and community venue rentals revenue to Shipyards	(22,000)	
Filming revenues increase	22,000	
<b>2022 Revenue Budget</b>	<b><u>1,469,800</u></b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b><u>-</u></b>	<b>0.00%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>80,600</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.13%</b>	

## COMMUNITY & PARTNER ENGAGEMENT (CPE) EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>SHIPYARDS WATERFRONT</b>				
Shipyards Expenses				
Shipyards Admin	1131	126,200	292,726	166,526
Events & Programming	1132	268,200	448,842	180,642
Marketing & Promotion	1133	35,000	51,900	16,900
Ops & Maintenance	1134	1,075,100	1,174,372	99,272
Site Hosts	1135	46,500	70,000	23,500
Total Shipyards Expenses		1,551,000	2,037,840	486,840
Shipyards Operations Revenue	1131	(646,000)	(1,132,840)	(486,840)
Total CNV Contribution to Shipyards Waterfront		905,000	905,000	0
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	1710	650,155	650,055	-100
CD Budget Savings	1717	-15,000	-15,000	0
Total Management and Support Expenses		635,155	635,055	-100
<b>COMMUNICATIONS &amp; PUBLIC RELATIONS</b>				
Comm & Public Relations	1160	570,000	573,800	3,800
Publications	1161	26,500	26,500	0
Community Advertising	1163	36,100	36,100	0
Community Report	1164	8,800	8,800	0
Total Communications & Public Relations		641,400	645,200	3,800
<b>BUSINESS LICENSE &amp; ECONOMIC DEVELOPMENT</b>				
Business Services	1155	112,800	200,900	88,100
Intermunicipal Program	1800	20,700	20,700	0
Business License	1900	104,400	104,400	0
Economic Development	1150	88,000	88,000	0
Tourism	1151	20,000	20,000	0
Filming Administration	1360	123,100	126,900	3,800
Chamber of Commerce	8500	30,000	15,000	-15,000
Total Business License & Economic Dev Expenses		499,000	575,900	76,900
Total CPE Programs Expenses		2,680,555	2,761,155	80,600
<b>SOCIAL PROGRAMS</b>				
School Anti-Violence	8231	20,000	20,000	0
Child Youth & Family Friendly	8300	17,000	17,000	0
Studio in the City	8301	50,000	50,000	0
Youth Services	8305	29,650	29,650	0
Youth Initiatives	8360	20,500	20,500	0
Family Events in Civic Plaza	8370	12,500	12,500	0
Total Social Programs		149,650	149,650	0
Total Other Programs Expenses		149,650	149,650	0
Total CPE Expenses		2,830,205	2,910,805	80,600

## COMMUNITY & PARTNER ENGAGEMENT (CPE) REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	1710	6,000	6,000	0
<b>BUSINESS LICENSE &amp; ECONOMIC DEVELOPMENT</b>				
Business Services	1155	12,000	0	-12,000
Intermunicipal Program	1800	40,000	40,000	0
Business License	1900	1,276,800	1,276,800	0
Pier	1153	10,000	0	-10,000
Filming Administration	1360	125,000	147,000	22,000
Total Business License & Economic Dev Revenues		1,463,800	1,463,800	0
<b>Total CPE Revenues</b>		<b>1,469,800</b>	<b>1,469,800</b>	<b>0</b>

# Planning and Development

Planning and Development assists Mayor and Council in setting community goals and objectives, creating plans, and implementing these plans through policies, regulations and development.

## KEY RESPONSIBILITIES

- Long range and land use planning
- Community and social planning
- Transportation planning
- Environmental planning and sustainability
- Development planning
- Building permits
- Zoning administration
- Code interpretation and regulation
- Construction approvals

## DIVISIONS

- Building
- Development Planning
- Long Range and Community Planning
- Transportation
- Environmental Sustainability
- Administration

## Staffing

Approved Complement:

Planning & Development	40.0
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## 2022 Budget Analysis Planning & Development

<b>2021 Expenditure Budget</b>	<b>6,383,700</b>	
2022 Salaries Obligation	(18,700)	
Core Funded Agencies, 2% Cost of Living increase	24,200	
Community Service Grants use of interest revenue from LL Legacy reserve decr	(31,000)	
<b>2022 Expenditure Budget</b>	<b><u>6,358,200</u></b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b><u>(25,500)</u></b>	<b>-0.40%</b>
<b>2021 Revenue Budget</b>	<b>2,625,200</b>	
Sale of Plans	(4,000)	
Fees - Rezoning	19,000	
Community Service Grants interest revenue from LL Legacy reserve decr	(31,000)	
<b>2022 Revenue Budget</b>	<b><u>2,609,200</u></b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b><u>(16,000)</u></b>	<b>-0.61%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>(9,500)</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>-0.02%</b>	

## PLANNING & DEVELOPMENT (PD) EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	1910	909,110	914,910	5,800
Total Management and Support Expenses		909,110	914,910	5,800
<b>PERMITS &amp; INSPECTIONS</b>				
Inspections	1760	1,853,421	1,831,021	-22,400
Total Development Planning Expenses		1,853,421	1,831,021	-22,400
<b>DEVELOPMENT PLANNING</b>				
Development Planning	1720	928,900	938,700	9,800
Heritage Planning	1950	5,250	5,250	0
Total Development Planning Expenses		934,150	943,950	9,800
<b>COMMUNITY PLANNING</b>				
Community Planning	1920	408,450	408,450	0
Total Community Planning Expenses		408,450	408,450	0
<b>TRANSPORTATION</b>				
Transportation	1930	342,100	347,900	5,800
Public Transp Alternatives	1543	7,500	7,500	0
Integrated Transp Cmte	2805	8,800	8,800	0
Commercial Bike Racks	3260	3,500	3,500	0
Bicycle Promotions	3261	1,970	1,970	0
Traffic & Transp Ops	5180	48,031	48,031	0
School Crossing Guards	8232	93,800	93,800	0
Total Transportation Expenses		505,701	511,501	5,800
<b>ENVIRONMENT</b>				
Environmental Sustainability	1940	229,000	211,300	-17,700
Environment Stewardship	5040	53,780	53,780	0
Total Environment Expenses		282,780	265,080	-17,700
Total PD Programs Expenses		4,893,612	4,874,912	-18,700

**PLANNING & DEVELOPMENT (PD) EXPENSES (continued)**

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>ADVISORY COMMITTEES</b>				
Advisory Design Panel	2720	6,649	6,649	0
Social Planning Advisory	2730	3,266	3,266	0
Community Services Grant	2731	177,692	146,663	-31,029
Advisory Planning	2740	5,582	5,582	0
Heritage Advisory	2760	3,637	3,637	0
<b>Total Advisory Committees Expenses</b>		<b>196,826</b>	<b>165,797</b>	<b>-31,029</b>
<b>SOCIAL PROGRAMS</b>				
Homeless Prevention Program	8150	76,400	76,400	0
Substance Abuse Committee	3310	5,000	5,000	0
<b>Total Social Programs</b>		<b>81,400</b>	<b>81,400</b>	<b>0</b>
<b>CORE FUNDED AGENCIES</b>				
NSNH Operating & Ed Garden	8140	71,013	72,434	1,421
NSNH Youth Worker (YW)	8314	119,605	121,997	2,392
NSNH P & P Teens	8311	11,979	12,219	240
NSNH YW at Youth Lounge	8317	59,807	61,003	1,196
NSNH Queen Mary School	8312	81,003	82,623	1,620
NSNH QM Comm Project	8320	17,694	18,048	354
NSNH Comm Schools Prog	8321	22,398	22,846	448
NSNH Youth Lounge Op	8313	9,773	9,968	195
NSNH Golden Circle	8318	3,943	4,022	79
NSNH Learning Together	8319	5,933	6,052	119
NSNH John Braithwaite CC	8604	373,987	381,467	7,480
Silver Harbour Centre	8130	168,201	171,565	3,364
Family Services of the NS	8112	53,013	54,073	1,060
Capilano Community Services	8120	12,735	12,990	255
Capilano Cmty Serv - Youth Worker	8121	72,586	74,037	1,451
NS Community Resources	8125	56,519	57,649	1,130
NS Crisis Services Society	8351	10,612	10,824	212
NS Women's Centre	8352	13,265	13,530	265
Harvest Project	8353	10,612	10,824	212
Restorative Justice	3360	37,142	37,885	743
<b>Total Core Funded Agencies</b>		<b>1,211,820</b>	<b>1,236,056</b>	<b>24,236</b>
<b>Total Other Programs Expenses</b>		<b>1,490,046</b>	<b>1,483,253</b>	<b>-6,793</b>
<b>Total Planning &amp; Development Expenses</b>		<b>6,383,658</b>	<b>6,358,165</b>	<b>-25,493</b>

## PLANNING & DEVELOPMENT REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>PLANNING REVENUES</b>				
Management and Support	1910	4,000	0	-4,000
Permits & Fees	1770	2,400,000	2,400,000	0
Community Service Grants	2731	77,692	46,663	-31,029
Development Approvals	1730	140,000	159,000	19,000
Total Planning Revenues		2,621,692	2,605,663	-16,029
<b>TRANSPORTATION</b>				
Commercial Bike Racks	3260	3,500	3,500	0
Total Transportation Revenues		3,500	3,500	0
Total Planning & Development Revenues		2,625,192	2,609,163	-16,029



# Finance

Finance provides financial services to citizens, City departments and City Council.

## KEY RESPONSIBILITIES

- Accounting and reporting
- Financial planning
- Internal control and performance
- Payroll
- Purchasing
- Revenue
- Administration



## Staffing

Approved Complement:

Finance	30.0
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## 2022 Budget Analysis Finance Department

<b>2021 Expenditure Budget</b>	<b>14,481,000</b>	
2022 Salaries Obligation	(104,000)	
Insurance	53,700	
Council Grants	(20,000)	
Transfer to Capital	1,200,000	
Salaries Corporate Provisions	775,600	
Other adjustment	300	
<i>Change in Local Area Services, equally offset in Revenue</i>	<i>(1,700)</i>	
New Item: RFT Finance Manager	43,200	
New Item: RFT Budget Analysts	143,300	
<b>2022 Expenditure Budget Operating</b>	<b>16,571,400</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>2,090,400</b>	<b>14.44%</b>
<b>2021 Revenue Budget</b>	<b>6,765,200</b>	
Eliminate further Corporate Covid Reductions		
Parking Revenue increase against Covid reduction	64,200	
Interest Investments and LEC Interest and Dividends increase	272,500	
Tax Penalties increase	50,000	
1% Levy (Terasen, BC Hydro)	9,400	
Grant in Lieu, Federal	(10,000)	
Grant in Lieu, Provincial	100,000	
Provincial Grant for Port Properties	13,000	
Commission for School Tax	10,000	
Tax Certificates	5,000	
Squamish Band Service Agreements	2,000	
<i>Change in Local Area Services, equally offset in Expenses</i>	<i>(1,700)</i>	
<b>2022 Revenue Budget</b>	<b>7,279,600</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>514,400</b>	<b>7.60%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>1,576,000</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600,000)</b>	<b>2.63%</b>	

## FINANCE EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	2110	489,829	488,629	-1,200
Fin Budget Savings	2117	-15,000	-15,000	0
Total Management and Support Expenses		474,829	473,629	-1,200
<b>PURCHASING &amp; RISK MANAGEMENT</b>				
Purchasing	2130	288,400	286,400	-2,000
Vehicle Fleet Admin	2160	34,900	40,946	6,046
Risk Liability and Insurance	2150	306,000	357,900	51,900
Total Purchasing & Risk Management Expenses		629,300	685,246	55,946
<b>ACCOUNTING &amp; TAXATION</b>				
Financial Accounting	2170	291,744	286,344	-5,400
Accounts Payable	2180	138,376	137,476	-900
Treasury	2192	81,000	81,000	0
Taxation	2302	638,900	688,850	49,950
Total Accounting & Taxation Expenses		1,150,020	1,193,670	43,650
<b>FINANCIAL PLANNING &amp; PAYROLL</b>				
Financial Planning	2400	601,400	659,900	58,500
Payroll	2200	347,975	346,275	-1,700
Total Financial Planning & Payroll Expenses		949,375	1,006,175	56,800
Total Finance Programs Expenses		3,203,524	3,358,720	155,196
<b>FINANCE CORPORATE PROGRAMS</b>				
Finance Corporate	2120	-96,600	-117,300	-20,700
Internal Controls	2195	160,100	160,100	0
Financial Plan Contingency	2401	1,000,000	1,000,000	0
Planning	2420	10,120,490	12,096,347	1,975,857
Council Grants	8401	50,000	30,000	-20,000
Travel Grants	8410	2,500	2,500	0
Public Art Admin	8031	6,000	6,000	0
Public Art Maintenance	8032	20,000	20,000	0
Community Art Program	8040	15,000	15,000	0
Total Finance Corporate Programs Expenses		11,277,490	13,212,647	1,935,157
Total Finance Expenses		14,481,014	16,571,367	2,090,353

## FINANCE REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>PURCHASING &amp; RISK MANAGEMENT</b>				
Purchasing	2130	16,000	16,000	0
Risk Liability and Insurance	2150	48,800	48,800	0
Total Purchasing & Risk Management Revenues		64,800	64,800	0
<b>ACCOUNTING &amp; TAXATION</b>				
Treasury	2192	1,808,000	2,080,500	272,500
Other Taxes	2302	4,074,200	4,251,850	177,650
Other Revenue	2303	75,900	75,900	0
Total Accounting & Taxation Revenues		5,958,100	6,408,250	450,150
Total Finance Programs Revenues		6,022,900	6,473,050	450,150
<b>FINANCE CORPORATE PROGRAMS</b>				
Financial Planning Contingency	2401	1,000,000	1,000,000	0
Planning	2420	-257,740	-193,500	64,240
Total Finance Corporate Programs Revenues		742,260	806,500	64,240
Total Finance Programs Revenues		6,765,160	7,279,550	514,390



## Public Safety – Bylaw Services

Bylaw Services is responsible for the enforcement of the City's Bylaws. Bylaw Officers work to educate the community about bylaws, enforce fairly and consistently, and resolve any bylaw conflicts in a collaborative way.

### Key Responsibilities

- Parking Enforcement
- Bylaw Enforcement
- Animal Control

### Staffing

Approved Complement:

Bylaw	10.0
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**2022 Budget Analysis Public Safety - Bylaws**

<b>2021 Expenditure Budget</b>	<b>1,232,200</b>	
Insurance	4,500	
<b>2022 Expenditure Budget</b>	<b>1,236,700</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>4,500</b>	<b>0.37%</b>
<b>2021 Revenue Budget</b>	<b>798,000</b>	
<b>2022 Revenue Budget</b>	<b>798,000</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>-</b>	<b>0.00%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>4,500</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.01%</b>	

## PUBLIC SAFETY - BYLAWS EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>BYLAW MANAGEMENT</b>				
ByLaw Enforcement	1392	1,044,795	1,049,227	4,432
ByLaw Dispute Registry	1396	6,000	6,000	0
Animal Control	8210	155,888	155,888	0
VCH-Municipal Services	3350	25,544	25,544	0
Total Bylaw Management Expenses		1,232,227	1,236,659	4,432
<b>Total Public Safety Bylaws Expenses</b>		<b>1,232,227</b>	<b>1,236,659</b>	<b>4,432</b>

## PUBLIC SAFETY - BYLAWS REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>BYLAW MANAGEMENT</b>				
ByLaw Enforcement	1392	750,000	750,000	0
Animal Control	8210	48,000	48,000	0
Total Bylaw Management Revenues		798,000	798,000	0
<b>Total Public Safety Bylaws Revenues</b>		<b>798,000</b>	<b>798,000</b>	<b>0</b>

## Public Safety - Fire Department

To safeguard and serve our community through the promotion and provision of education, emergency medical and fire services in order to protect life, property and the environment.

### Key Responsibilities

- Administration
- Operations and Support
- Fire prevention and public education
- Emergency management and planning
- Public Safety and Community Service



### Staffing

Approved Complement:

Fire and Rescue	75.0
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## 2022 Budget Analysis Public Safety - Fire

<b>2021 Expenditure Budget</b>	<b>11,855,200</b>	
2022 Salaries Obligation	218,100	
Surrey Dispatch Agreement	7,300	
Utilities - Heat, Hydro, Gas, Water & Sewer	4,000	
Insurance	47,900	
North Shore Emergency Management (NSEM)	15,800	
<b>2022 Expenditure Budget</b>	<b>12,148,300</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>293,100</b>	<b>2.47%</b>
<b>2021 Revenue Budget</b>	<b>205,000</b>	
<b>2022 Revenue Budget</b>	<b>205,000</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>-</b>	<b>0.00%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>293,100</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.49%</b>	

## PUBLIC SAFETY - FIRE EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	4010	1,503,242	1,575,036	71,794
Fire Budget Savings	4017	-15,000	-15,000	0
Total Management and Support Expenses		1,488,242	1,560,036	71,794
<b>SUPPORT PROGRAMS</b>				
Fire Apparatus	4020	365,200	379,975	14,775
Fire Operations	4030	8,368,829	8,465,029	96,200
Fire Prevention	4040	889,563	976,763	87,200
Dispatch Services	4044	354,364	361,680	7,316
Total Support Programs Expenses		9,977,956	10,183,447	205,491
<b>CORPORATE EMERGENCY PROGRAMS</b>				
General Preparedness	3010	30,000	30,000	0
North Shore Emergency Management	8205	339,674	355,518	15,844
North Shore Rescue	8208	19,301	19,301	0
Total Corporate Emergency Programs		388,975	404,819	15,844
<b>Total Fire Department Expenses</b>		<b>11,855,173</b>	<b>12,148,302</b>	<b>293,129</b>

## PUBLIC SAFETY - FIRE REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>SUPPORT PROGRAMS</b>				
Fire Prevention	4040	205,000	205,000	0
Total Support Programs Revenues		205,000	205,000	0
<b>Total Fire Department Revenues</b>		<b>205,000</b>	<b>205,000</b>	<b>0</b>

## Public Safety - Police, RCMP

The RCMP serves and protects citizens of the City.

### KEY RESPONSIBILITIES

- Municipal traffic enforcement
- Investigative services
- Crime reduction and prevention
- Community policing
- Youth intervention
- Mental Health Integrated Outreach Team
- Integrated First Nations Unit

### Staffing

Approved Complement:

RCMP Approved Members	73.0
Civilian Staff	<u>84.0</u>
	157.0



## 2022 Budget Analysis, Police

	Current 45.10% CNV	
<b>2021 Expenditure Budget</b>	<b>15,587,600</b>	
Net Shared Civilian costs	24,700	
Community Police location, Hydro reduction	(200)	
<b>Total Civilian Programs</b>	<b>24,500</b>	
City RCMP Contract	836,300	
Return LL Crime Reduction Unit (reverse Covid savings)	96,200	
<b>Total Police (RCMP/IHIT) Programs</b>	<b>932,500</b>	
<b>2022 Expenditure Budget</b>	<b>16,544,600</b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b>957,000</b>	<b>6.1%</b>
<b>2021 Police Civilian Revenue</b>	574,000	
<b>2021 Operating Reserve</b>	375,000	
	<b>949,000</b>	
Provincial Traffic Fine Revenue Sharing	70,000	
Fees RCMP and Criminal Record Searches	35,000	
Total Police Civilian Revenue increases	105,000	
2022 Transfer From Police Contract Reserve	466,300	
<b>2022 Police Civilian Revenue Balance</b>	679,000	
<b>2022 Operating Reserve Revenue</b>	841,300	
<b>2022 Revenue Budget</b>	<b>1,520,300</b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b>571,300</b>	<b>99.5%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>385,700</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.64%</b>	



## PUBLIC SAFETY - POLICE (RCMP) EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MUNICIPAL SHARED PROGRAMS</b>				
<b>BUILDING</b>				
GBB Facility Operations	4600	637,570	646,770	9,200
Total Building Expenses		637,570	646,770	9,200
<b>ADMINISTRATION</b>				
Administration	4610	1,233,785	1,212,485	-21,300
Total Administration Expenses		1,233,785	1,212,485	-21,300
<b>RECORDS AND INFORMATION</b>				
Records & Information	4615	1,373,800	1,307,800	-66,000
Total Records and Information Expenses		1,373,800	1,307,800	-66,000
<b>TELECOM</b>				
Telecom	4620	2,859,800	2,888,300	28,500
North Shore Dispatch	4621	183,800	183,800	0
Total Telecom Expenses		3,043,600	3,072,100	28,500
<b>CLIENT SERVICES</b>				
Client Services Support	4640	1,332,500	1,454,200	121,700
Keep of Prisoners	4630	391,000	387,500	-3,500
Victim Services	4641	346,280	342,480	-3,800
Crime Prevention	4642	93,010	96,310	3,300
Block Watch	4643	86,850	86,850	0
Auxiliary Police	4644	89,400	34,700	-54,700
False Alarm Reduction	4646	8,000	8,000	0
NV Citizen Patrol	4647	0	0	0
Total Client Services Expenses		2,347,040	2,410,040	63,000
<b>POLICE PROGRAMS</b>				
Bicycle Patrol	4645	15,000	15,000	0
D.A.R.E.(Drug Resistance)	4653	7,250	7,250	0
Spurs Cadet Program	4655	10,000	10,000	0
Fleet Vehicles	4660	116,200	121,000	4,800
Total Police Programs Expenses		148,450	153,250	4,800
Total Shared Programs		8,784,245	8,802,445	18,200
Recovery for Shared Costs	4701	-4,836,605	-4,832,542	4,063
Administration Non-Shared	4710	-324,600	-322,200	2,400
Total Recoveries for Shared Programs Expenses		-5,161,205	-5,154,742	6,463
Net City Shared Programs Expenses		3,623,040	3,647,703	24,663

# **PUBLIC SAFETY - POLICE (RCMP) EXPENSES (continued)**

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>NON-SHARED (CITY ONLY) PROGRAMS</b>				
CNV Community Policing	4720	127,345	127,145	-200
Crimestoppers	8220	6,200	6,200	0
Total Non-Shared (City Only) Expenses		133,545	133,345	-200
<b>POLICE CONTRACT</b>				
Police Contract	4700	11,831,000	12,763,550	932,550
Total Contract (City Only) Expenses		11,831,000	12,763,550	932,550
Total City Only Programs Expenses		11,964,545	12,896,895	932,350
Total Police (RCMP) Expenses		15,587,585	16,544,598	957,013

# **PUBLIC SAFETY - POLICE (RCMP) REVENUES**

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>NON-SHARED (CITY ONLY) PROGRAMS</b>				
Admin Police Non-Shared	4710	574,000	679,000	105,000
Total Non-Shared (City Only) Programs Revenues		574,000	679,000	105,000
<b>POLICE CONTRACT</b>				
Transfer from Reserves	4700	375,000	841,275	466,275
Total Police Contract		375,000	841,275	466,275
Total City Only Programs Revenues		949,000	1,520,275	571,275
Total Police (RCMP) Revenues		949,000	1,520,275	571,275

# Engineering, Parks and Environment

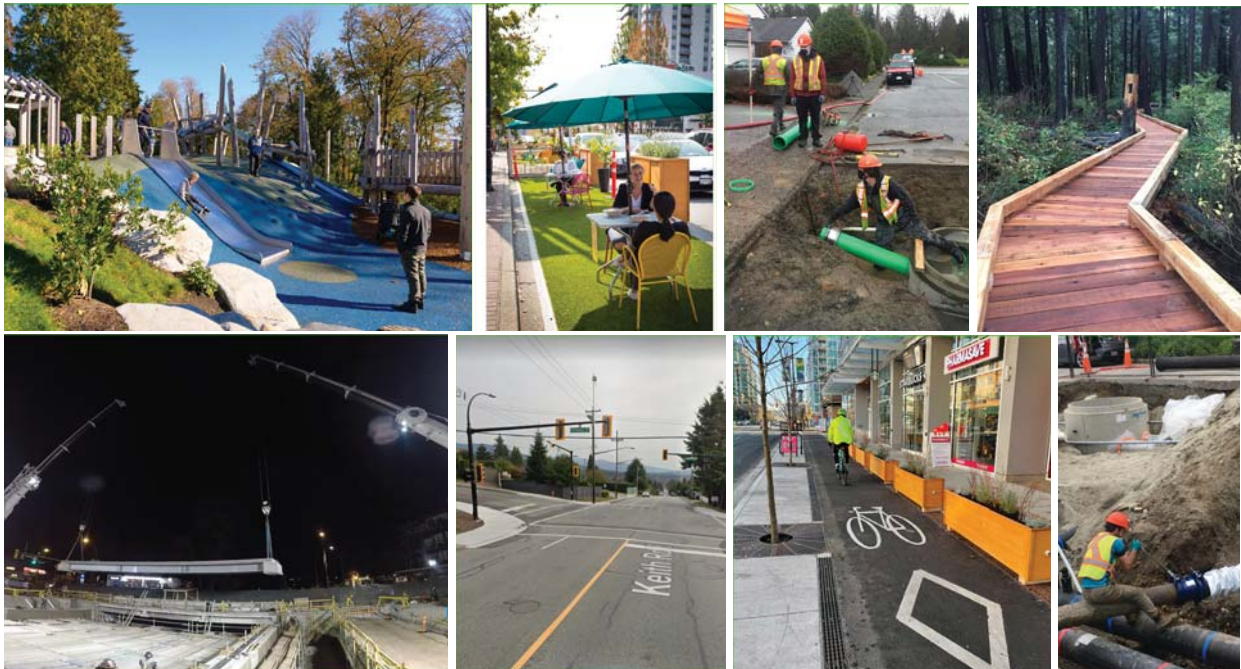
Engineering, Parks and Environment department provides and maintains essential municipal services, public spaces and infrastructure.

## KEY RESPONSIBILITIES

To create safe, resilient, inviting and cost effective public infrastructure that supports our community and enables it to thrive.

## DIVISIONS

- Engineering Planning, Design
- Public Realm Infrastructure and Project Delivery
- Operations
- Development Services
- Parks and Environment
- Administration



## Staffing

Approved Complement:

City Hall	39.0
Operations	<u>90.0</u>
	129.0

## 2022 Budget Analysis Engineering Parks and Environment

<b>2021 Expenditure Budget</b>	<b>9,185,500</b>	
2022 Salaries Obligation	31,200	
Insurance	41,500	
Allocations to Operating from Works Yard	11,100	
2022 Capital Cost Impacts (CCI)	79,100	
New Item: TFT Park Attendant	19,500	
<b>2022 Expenditure Budget Operating</b>	<b><u>9,367,900</u></b>	
<b>2022 Expenditure Budget Increase (Decrease)</b>	<b><u>182,400</u></b>	<b>1.99%</b>
<b>2021 Revenue Budget</b>	<b>1,368,000</b>	
2022 Parks Fields revenue increase	55,000	
Street Permits revenue increase	105,000	
<b>2022 Revenue Budget</b>	<b><u>1,528,000</u></b>	
<b>2022 Revenue Budget Increase (Decrease)</b>	<b><u>160,000</u></b>	<b>11.70%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>22,400</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>	<b>0.04%</b>	



## ENGINEERING, PARKS & ENVIRONMENT EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	5010	359,819	371,719	11,900
Engr Budget Savings	5017	-30,000	-30,000	0
Total Management and Support Expenses		329,819	341,719	11,900
<b>DEPUTY ENGINEER</b>				
Design				
Survey	5170	26,031	26,031	0
Total Design Expenses		26,031	26,031	0
Development				
Development Services	1725	0	0	0
Public Process	1315	4,854	4,854	0
Total Development Expenses		4,854	4,854	0
Total Deputy Engineer Expenses		30,885	30,885	0
<b>OPERATIONS DIVISION</b>				
Streets				
Streets Operations	5160	2,397,762	2,417,345	19,583
Streets Admin	5165	1,473,108	1,506,369	33,261
Total Streets Expenses		3,870,870	3,923,714	52,844
Parks & Environment				
Parks Operations	5070	2,597,946	2,653,701	55,755
Special Events Support	5071	81,251	81,251	0
Sport Field Users	5073	236,415	236,415	0
Streetscapes & Greenways	5074	837,051	862,169	25,118
Parks Admin	5075	1,269,506	1,306,295	36,789
Total Parks Expenses		5,022,169	5,139,831	117,662
Total Operations Division Expenses		8,893,039	9,063,545	170,506
<b>COMMITTEES</b>				
Advisory Cmte Disability Issues	3120	6,267	6,267	0
Joint Use	2910	500	500	0
Total Committees Expenses		6,767	6,767	0
<b>OVERHEAD CAPITAL</b>				
Parks Overhead Capital	5077	-15,000	-15,000	0
Streets Overhead Capital	5167	-60,000	-60,000	0
Total Overhead Capital		-75,000	-75,000	0
Total Engineering General Expenses		9,185,510	9,367,916	182,406

## ENGINEERING, PARKS & ENVIRONMENT REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MANAGEMENT AND SUPPORT</b>				
Management and Support	5010	4,000	4,000	0
Total Management and Support Revenues		4,000	4,000	0
<b>DEPUTY ENGINEER</b>				
Development Services	1725	351,000	351,000	0
Total Deputy Engineer		351,000	351,000	0
<b>OPERATIONS DIVISION</b>				
<b>Streets</b>				
Streets Operations	5160	422,000	422,000	0
Streets Admin	5165	400,000	505,000	105,000
Total Streets Revenues		822,000	927,000	105,000
<b>Parks</b>				
Parks Operations	5070	100,000	150,000	50,000
Sport Field Users	5073	56,000	61,000	5,000
Parks Admin	5075	35,000	35,000	0
Total Parks Revenues		191,000	246,000	55,000
Total Operations Division Revenues		1,013,000	1,173,000	160,000
Total Engineering General Revenues		1,368,000	1,528,000	160,000

## Major External Boards and Commissions

The City delivers programs and services to the community not only through internal departments, but also through external Agencies, Boards and Commissions. The most significant in terms of financial contribution are the three shown in the Major External Boards and Commissions summary. They are presented in greater detail on the following pages, and consist of the following:



- City Library (Board)
- North Vancouver Museum & Archives (Commission)
- North Vancouver Recreation and Culture (Commission)

## MAJOR EXTERNAL BOARDS AND COMMISSIONS EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MAJOR EXTERNAL BOARDS AND COMMISSIONS</b>				
City Library	8601	4,453,563	4,628,242	174,679
Museum & Archives	8602	608,353	622,665	14,312
NV Recreation and Culture	8603	5,780,466	6,171,656	391,190
Total Boards and Commissions		10,842,382	11,422,563	580,181
Total Major Ext Boards/Commissions Exp		10,842,382	11,422,563	580,181

## MAJOR EXTERNAL BOARDS AND COMMISSIONS REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MAJOR EXTERNAL BOARDS AND COMMISSIONS</b>				
Rent Cultural Facilities		94,252	94,252	0
Total Boards and Commissions		94,252	94,252	0
Total Major Ext Boards/Commissions Rev		94,252	94,252	0



# North Vancouver City Library

The North Vancouver City Library is an inclusive and welcoming space for everyone, supporting lifelong learning and community development with free and equitable access to information and ideas in all their forms.

## KEY RESPONSIBILITIES

- Programming and resources to support literacy development and lifelong learning
- Robust physical and digital collections
- Access to technology, public technology support and digital literacy
- Provision of spaces for study, collaboration, creation and discovery

## Staffing

Full Time & Part Time FTE total	37.6
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## 2022 Budget Analysis Library

### 2021 City Contributions for Operations

4,453,500

#### Expenditure Changes

2022 Salaries Obligation	49,200	
City IT Services	28,400	
Heat & Hydro	1,100	
Inflation on Library Materials	24,100	
Insurance	28,700	
Other Expenses	34,200	
Non Wage Expenses	116,500	
Total Expenditure Increase (Decrease)	165,700	3.7%

#### Revenue Changes

Revenue reductions	(9,000)	
Total Revenues Increase (Decrease)	(9,000)	0.2%

### 2022 City Contribution for Operations

4,628,200

### 2022 City Contribution Increase (Decrease)

174,700 3.92%

2022 Net Tax Draw \$ Increase (Decrease)	174,700
2022 Overall Tax Impact (assuming 1% tax increase = \$600K)	0.29%

## LIBRARY EXPENSES

Programs	2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>ADMINISTRATION</b>			
Total Administration Expenses	543,981	564,840	20,859
<b>OPERATIONS</b>			
Total Operations Expenses	627,643	663,363	35,720
<b>SUPPORT SERVICES</b>			
Total Support Services Expenses	774,250	726,550	(47,700)
<b>COLLECTIONS &amp; TECHNICAL SERVICES</b>			
Total Collections & Technical Services Expenses	849,100	874,000	24,900
<b>PUBLIC SERVICES</b>			
Total Public Services Expenses	1,830,200	1,962,100	131,900
<b>Total Library Expenses</b>	<b>4,625,174</b>	<b>4,790,853</b>	<b>165,679</b>

## LIBRARY REVENUES

Programs	2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MUNICIPAL CONTRIBUTION</b>			
City of North Vancouver 48101	4,453,563	4,628,242	174,679
<b>Total Municipal Contribution</b>	<b>4,453,563</b>	<b>4,628,242</b>	<b>174,679</b>
<b>LIBRARY GRANTS</b>			
Total Grants Revenues	115,811	115,811	0
<b>LIBRARY PROGRAMS</b>			
Total Library Programs Revenues	55,800	46,800	(9,000)
Library Revenues (excluding municipal contribution)	171,611	162,611	-9,000
<b>Total Library Revenues</b>	<b>4,625,174</b>	<b>4,790,853</b>	<b>165,679</b>

# North Vancouver Museum and Archives Commission

The Museum and Archives Commission is the sole municipal custodian of the City's cultural, archival and museum collections.

## KEY RESPONSIBILITIES

- MONOVA operates both the Museum of North Vancouver at The Shipyards and the Archives of North Vancouver located in Lynn Valley
- Manages and preserves artifacts and records of municipal, historical and cultural significance to the community
- Develops and delivers engaging and compelling interpretative, educational programs and exhibits
- Works with the local community to identify, document and preserve local history and bring it to life



## Staffing

Full Time Equivalents:

Full Time	6.0
Part Time	<u>3.1</u>
	9.1



## 2022 Budget Analysis Museum and Archives

	<i>Museum Budget</i>	<i>City Share</i>	
<b>2021 Municipal Contribution</b>	<b>1,216,700</b>	<b>608,400</b>	
<b>Expenditure Changes</b>			
2022 Salaries	8,400	4,200	
Services Contract & Misc	15,000	7,500	
Insurance and Audit	4,700	2,400	
IT - Service Fees	500	200	
<b>2022 Municipal Contribution</b>	<b>1,245,300</b>	<b>622,700</b>	
<b>2022 Municipal Contribution Increase (Decrease)</b>	<b>28,600</b>	<b>14,300</b>	<b>2.35%</b>
<b>2022 Net Tax Draw \$ Increase (Decrease)</b>	<b>28,600</b>	<b>14,300</b>	
<b>2022 Overall Tax Impact (assuming 1% tax increase = \$600K)</b>		<b>0.02%</b>	

## MUSEUM AND ARCHIVES EXPENSES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>ADMINISTRATION</b>				
Administration Operations	Various	455,217	497,043	41,826
Premises - Museum	7816	203,000	198,371	(4,629)
Premises - Lynn Valley	7817	79,297	79,298	1
Total Administration		737,514	774,712	37,198
<b>COLLECTIONS</b>				
Collections	7820	114,046	133,969	19,923
Total Collections		114,046	133,969	19,923
<b>ARCHIVES</b>				
Archives	7840	205,700	209,000	3,300
Total Archives		205,700	209,000	3,300
<b>EXHIBITS AND PROGRAMS</b>				
Museum Programs	7850	278,912	123,642	(155,270)
School Programs	7851	8,200	6,200	(2,000)
Public Programs	7852	11,800	11,800	0
Exhibititis	7853	29,703	29,703	0
Guest Services	7860	0	209,504	209,504
Total Administration		328,615	380,849	52,234
<b>Total Museum Expenses</b>		<b>1,385,875</b>	<b>1,498,530</b>	<b>112,655</b>

# MUSEUM AND ARCHIVES REVENUES

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>MUNICIPAL CONTRIBUTION</b>				
City of North Vancouver	48101	608,353	622,665	14,312
District of North Vancouver	48501	608,353	622,665	14,312
<b>Total Municipal Contribution</b>		<b>1,216,706</b>	<b>1,245,330</b>	<b>28,624</b>
<b>GRANTS</b>				
<b>Total Grants Revenues</b>		<b>46,000</b>	<b>46,000</b>	<b>0</b>
<b>EARNED INCOME</b>				
<b>Total Earned Income Revenues</b>		<b>73,169</b>	<b>107,200</b>	<b>34,031</b>
<b>DONATIONS</b>				
<b>Total Donations</b>		<b>50,000</b>	<b>100,000</b>	<b>50,000</b>
<b>Museum Revenues (excluding municipal contrib)</b>		<b>169,169</b>	<b>253,200</b>	<b>84,031</b>
<b>Total Museum Revenues</b>		<b>1,385,875</b>	<b>1,498,530</b>	<b>112,655</b>

# North Vancouver Recreation and Culture Commission

The Recreation and Culture Commission improves the health and well-being of all North Vancouver individuals, families and communities and inspires residents through quality recreation and culture opportunities.

## ***KEY RESPONSIBILITIES***

- Community recreation and culture service, program and event planning and delivery
- Community recreation and culture facility management, operations and maintenance and facility planning
- Management of the public art programs and oversight of community arts grants
- Capacity building of relevant recreation and culture organizations



## **Staffing**

Approximately 260 Full Time Equivalents (FTEs) including full-time, auxiliary, and contract employees.



## 2022 Budget Analysis North Vancouver Recreation and Culture Commission

	NVRC Budget	City Share <sup>(2)</sup>	
2021 Municipal Contribution	17,968,400	6,123,300	
Includes: CNV funded from Reserves			
One-Time Covid-19 Provision of \$1,010,	(1,010,000)	(342,800)	
CNV Contribution for Lions Gate <sup>(1)</sup>		68,500	
	16,958,400	5,849,000	
Changes from 2021 Budget			
New: Lionsgate Community Recreation Centre <sup>(1)</sup>	546,600	167,300	
	546,600	167,300	
Expense Changes - Increase (Decrease)			
Pinnacle Pool	200	200	
Arts & Culture Grants	17,300	8,600	
Building Utilities	16,500	9,400	
Salaries & Benefits (excluding LGCRC and Pinnacle)	(2,733,200)	(927,600)	
Other adjustments	(1,129,900)	(383,500)	
	(3,829,100)	(1,292,900)	
Revenue Changes - Decrease (Covid-19 Impact)			
Membership, Programs, Rentals, Other	4,267,100	1,448,300	
(excluding LGCRC and Pinnacle)			
2022 NVRC Budget Increase	984,600	322,700	
2022 Requested Municipal Contribution	17,943,000	6,171,700	
2022 Total Increase in Municipal Contribution	984,600	322,700	5.3%
CNV include 2021 Lions Gate (move from Reserve to Budget)		68,500	
2022 CNV Funded Budget		6,240,200	
2022 City of North Vancouver Budget Increase		391,200	6.4%
2022 Overall Tax Impact (assuming 1% tax increase = \$600K)		0.65%	

### Notes

(1) LGCRC - Core funded as of 2021, opening 2022, CNV share excludes owner paid Utilities.

(2) CNV Share

- CNV contribution for Recreation Services is 33.94%
- CNV contribution for Pinnacle Pool is 100%
- CNV contribution for Arts and Culture Grants is 50%
- CNV contribution for Building Utilities is by building ownership

#### Key:

HJ - Harry Jerome  
MM - Mickey McDougal  
Mem - Memorial  
LGCRC - Lions Gate  
PP - Pinnacle Pool

## NORTH VANCOUVER RECREATION AND CULTURE COMMISSION

Programs	2021 Annual Budget <sup>1</sup> (000)	2022 Annual Budget (000)	Variance 2022 Annual to 2021 Annual (000)
<b>OPERATING</b>			
<b>Expenditures</b>			
Administration and Service Costs	2,953	2,712	(241)
Building and Grounds	2,321	2,277	(44)
Equipment, Goods, Materials	1,912	1,476	(436)
Other Contract Services	1,468	1,197	(271)
Salaries and Benefits	23,396	21,392	(2,004)
<b>Total Expenditures</b>	<b>32,050</b>	<b>29,054</b>	<b>(2,996)</b>
<b>Revenues</b>			
Memberships	(3,241)	(1,514)	1,727
Other	(756)	(372)	384
Programs and Lessons	(8,878)	(7,359)	1,519
Rentals	(2,217)	(1,866)	351
<b>Total Revenues</b>	<b>(15,092)</b>	<b>(11,111)</b>	<b>3,981</b>
<b>Net Total</b>	<b>16,958</b>	<b>17,943</b>	<b>985</b>
<b>MUNICIPAL CONTRIBUTIONS</b>			
City of North Vancouver <sup>2</sup>	5,849	6,172	323
District of North Vancouver	11,109	11,771	662
<b>Total Municipal Contributions</b>	<b>16,958</b>	<b>17,943</b>	<b>985</b>

Notes:

1 Excludes One Time Covid-19 Provision of \$1,010

2 Includes 2021 Budget for Lions Gate

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## 2022 – 2031 Capital Plan

MARCH 16, 2022 | FINANCE DEPARTMENT



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**Basic assumptions underlying the Plan include:**

1. When provided, costs are based upon the best currently available information, and this means that some of the costs are more accurate than others. Factors affecting accuracy include the level of detailed planning which has been completed for the individual projects and plans, and the timing of the projects. In general, 2022 costs are more accurate than costs for future years. This plan is sensitive to the cost of constructing the new Harry Jerome Community Recreation Centre ("HJCRC"), as it is the largest capital project that the City has ever undertaken. Currently, the cost estimates included in this plan are based on a Class B estimate from November 2021. A revised Class A estimate is currently under development.

**Forecast Assumptions**

2. The Plan reflects the current budget for 2022, and provides a forecast estimate of subsequent year-to-year funding. Only the current year budgets will be used to appropriate funds. It's also possible that these 2022 budgets are revised in mid 2022 if a Revised Financial Plan is considered and approved by Council. Subsequent years' forecasts will likely also be revised in the following years' Plans.

3. The Plan reflects the City's longstanding practice of using internal reserves as the basis for financing. The Plan is sensitive to reserve contribution fluctuations from Community Amenity Contributions, Density Sales, and land dispositions, and from interest rate fluctuations.

4. The City currently has no material amounts of debt. There is forecasted short term, low cost debt of \$117,000,000 in 2022 from the Municipal Finance Authority of BC ("MFA"). This debt is for the replacement of the Harry Jerome Community Recreation Centre ("HJCRC") and is planned to be repaid from the disposition of the Harry Jerome Neighborhood Lands ("HJNL"). Then, in 2026, addition debt to fund the North Shore Neighbourhood House is planned and expected to be repaid through transfers from the Civic Amenity Reserve Fund.

**Contribution Assumptions**

5. Contributions include amounts anticipated through fundraising and other private contributions, including those provided by developers, as well as contributions from senior levels of government, where these may be available.

6. Anticipated contributions from outside sources are shown as a source of funds for projects in the Plan where it is reasonable to anticipate receipt of the funds. However, it should be noted that, for projects funded by contributions, the project scope as envisioned cannot be guaranteed if the contributions are not forthcoming.

## **Structure of the Plan**

The materials included provide summary information, followed by complete detailed listings of all projects included in the Plan.

Projects are grouped into ten categories as follows:

1. Land and Major Investments;
2. Buildings;
3. Structures – Streets and Transportation;
4. Structures – Parks and Environment;
5. Structures – Public Art;
6. Equipment – General;
7. Equipment – Information Technology;
8. Equipment – Engineering;
9. Equipment – Fire; and
10. Block Funding, On-Going Programs and Other Projects.

It should also be noted that the 10 sections are further summarized into four additional categories. The Plan information is summarized into those four categories on page 5 of the Plan:

1. Land/Major Investments - Section 1
2. Buildings - Section 2
3. Structures - Sections 3 to 5
4. Equipment - Sections 6 to 10

## Capital Project Types

It is the City's long-standing policy to place the maintenance of existing infrastructure as a first priority, and to only take on new facilities and programs when both an operating and capital source of funds sufficient to ensure successful completion and maintenance of facilities and ongoing program delivery can be identified. Based on this premise, and given the fact that there is generally little discretion about funding basic maintenance projects, the projects identified as "Maintenance & Replacement" are considered as being part of the Base Program. Also included in the Base Program are ongoing programs such as the annual allocation of \$85,000 to public art. Base programs are colour coded green in the left-hand column of the detailed project listings.

Projects in the Dedicated Funds and New Initiatives category would provide new facilities and/or new levels of service to the community. These projects have been color coded in Blue and Red respectively. Blue projects are those that have a dedicated source of funding in conformity with the terms of reference of the reserve bylaws. Red projects are projects that do not have a dedicated source of funding. Funding of Blue projects is from reserves that provide little flexibility to fund other projects. On the other hand, Red projects funding usually is more flexible to swap between projects in case of plan shortfall. That is, the deletion of Blue projects to reduce a shortfall will likely not have an impact as the funding will remain frozen in the reserve and unavailable for other projects. On the other hand, the deletion of Red projects would free funds to fund other projects.

Provisions are included in the plan to provide Council with some flexibility to fund projects from various designated sources, as such they are color coded in Blue. Such provisions can only be appropriated after a project has been identified and approved by Council. The deletion of this type of project will usually not provide funding for other projects or reduce a shortfall.

A summary of the total value, including external funding, of Base Program, Dedicated Funds, and New Initiative projects is as follows:

### 10 Year Summary (Excluding Utilities)

Section	Base Program	Dedicated Funds	New Initiatives	Total
1 - Land & Major Investments	-	\$ 15,160,000	\$ 15,000,000	\$ 30,160,000
2 - Buildings	10,638,996	192,999,778	50,070,160	253,708,935
3 - Streets & Transportation	24,652,500	29,520,900	54,706,600	108,880,000
4 - Parks & Environment	6,747,500	12,217,250	13,102,750	32,067,500
5 - Public Art	-	850,000	-	850,000
6 - General Equipment	4,892,522	901,078	940,200	6,733,800
7 - IT Equipment	12,757,300	528,400	77,000	13,362,700
8 - Engineering Equipment	35,000	7,933,000	-	7,968,000
9 - Fire Equipment	-	5,405,000	-	5,405,000
10 - Block Funding, Ongoing Progr, Other Projects	7,748,629	1,584,681	14,162,000	23,495,310
<b>TOTAL</b>	<b>\$ 67,472,447</b>	<b>\$ 267,100,088</b>	<b>\$ 148,058,710</b>	<b>\$ 482,631,245</b>

## Capital Project Types

### Year 2022 Summary (Excluding Utilities)

Section	Base Program	Dedicated Funds	New Initiatives	Total
1 - Land & Major Investments	-	\$ 28,360,000	\$ -	\$ 28,360,000
2 - Buildings	1,279,508	172,335,591	508,160	174,123,259
3 - Streets & Transportation	1,170,000	1,591,900	2,833,100	5,595,000
4 - Parks & Environment	505,000	-	50,000	555,000
5 - Public Art	-	85,000	-	85,000
6 - General Equipment	621,451	340,349	40,000	1,001,800
7 - IT Equipment	923,600	217,200	70,000	1,210,800
8 - Engineering Equipment	35,000	845,000	-	880,000
9 - Fire Equipment	-	270,000	-	270,000
10 - Block Funding, Ongoing Progr, Other Projects	835,963	501,577	1,618,000	2,955,540
<b>TOTAL</b>	<b>\$ 5,370,522</b>	<b>\$ 204,546,617</b>	<b>\$ 5,119,260</b>	<b>\$ 215,036,399</b>



## 2022 - 2031 CAPITAL PLAN SUMMARY

	2022	2023	2024	2025	2026	2027-2031	Total
<b><u>GENERAL CAPITAL TOTALS</u></b>							
FUNDING REQUESTED	\$ 215,036,399	\$ 34,834,992	\$ 42,543,695	\$ 32,647,157	\$ 24,921,577	\$ 132,647,425	482,631,245
CITY FUNDING	197,022,604	30,504,121	37,441,025	31,633,848	18,016,526	119,378,321	433,996,444
CONTRIBUTIONS	18,013,795	4,330,871	5,102,670	1,013,309	6,905,051	13,269,104	48,634,800
FUNDING EXCESS (SHORTFALL)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

# **2022 - 2031 CAPITAL PLAN LAND AND MAJOR IMPROVEMENTS**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>Various Land Acquisitions</b>									
1 - 2	TSL Princ	Strategic Land Acquisition	3,500,000	-	-	-	-	-	3,500,000
			\$ 3,500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,500,000
<b>Parks Acquisition - DCC Bylaw Commitment</b>									
1 - 3	Parks DCC / General Capital Res	Provision for Park Acquisition	9,000,000	-	-	-	-	-	9,000,000
			\$ 9,000,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9,000,000
<b>Major Investments</b>									
1 - 4	Aff Hsing	Affordable Housing Reserve	560,000	200,000	200,000	200,000	200,000	1,000,000	2,360,000
1 - 4	External	Provision for External Funding and Contributions	15,000,000	-	-	-	-	-	15,000,000
			\$ 15,560,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,000,000	\$ 17,360,000
<b>Cemetery</b>									
1 - 5	Cemetery	City Cemetery Program	300,000	-	-	-	-	-	300,000
			\$ 300,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300,000
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			\$ 28,360,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,000,000	\$ 30,160,000
<b>TOTAL CONTRIBUTIONS</b>			\$ 15,000,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,000,000
<b>NET FUNDING REQUESTED</b>			\$ 13,360,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,000,000	\$ 15,160,000

## 2022-2031 CAPITAL PLAN BUILDINGS

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Summary of Building Projects</b>							
<b>FUNDING REQUESTED IN PROJECT SHEETS</b>							
Capital Maintenance	1,803,500	2,703,000	3,090,500	1,728,840	1,626,960	3,150,240	14,103,040
Harry Jerome CRC	167,871,040	11,438,934	4,986,585	377,000	377,000	377,000	185,427,559
Proposed New Projects	4,448,719	167,617	652,000	1,920,400	173,400	46,816,200	54,178,336
<b>TOTAL FUNDING REQUESTED</b>	<b>\$ 174,123,259</b>	<b>\$ 14,309,551</b>	<b>\$ 8,729,085</b>	<b>\$ 4,026,240</b>	<b>\$ 2,177,360</b>	<b>\$ 50,343,440</b>	<b>\$ 253,708,935</b>
<b>CONTRIBUTIONS</b>							
Capital Maintenance	223,992	465,003	678,015	259,567	498,053	339,414	2,464,044
Harry Jerome CRC	-	-	2,341,737	-	-	-	2,341,737
Proposed New Projects	1,030,000	-	-	-	-	-	1,030,000
<b>TOTAL CONTRIBUTIONS</b>	<b>\$ 1,253,992</b>	<b>\$ 465,003</b>	<b>\$ 3,019,752</b>	<b>\$ 259,567</b>	<b>\$ 498,053</b>	<b>\$ 339,414</b>	<b>\$ 5,835,781</b>
<b>NET FUNDING REQUESTED</b>							
Capital Maintenance	1,579,508	2,237,997	2,412,485	1,469,273	1,128,907	2,810,826	11,638,996
Harry Jerome CRC	167,871,040	11,438,934	2,644,847	377,000	377,000	377,000	183,085,821
Proposed New Projects	3,418,719	167,617	652,000	1,920,400	173,400	46,816,200	53,148,336
<b>TOTAL CITY FUNDING REQUESTED</b>	<b>\$ 172,869,267</b>	<b>\$ 13,844,548</b>	<b>\$ 5,709,332</b>	<b>\$ 3,766,673</b>	<b>\$ 1,679,307</b>	<b>\$ 50,004,026</b>	<b>\$ 247,873,154</b>

## 2022-2031 CAPITAL PLAN BUILDINGS

			2022	2023	2024	2025	2026	2027-2031	Total
Page	Funding Source	Capital Maintenance							
2 - 4	General Capital Res	Maintenance, Repair & Replacement - City Hall	150,000	582,000	110,000	60,480	105,280	370,720	1,378,480
2 - 5	General Capital Res	Maintenance, Repair & Replacement - Gerry Brewer Building	184,008	381,997	556,985	213,233	409,147	278,826	2,024,196
2 - 5	External	Maintenance, Repair & Replacement - Gerry Brewer Building - ROF	223,992	465,003	678,015	259,567	498,053	339,414	2,464,044
2 - 6	General Capital Res	Maintenance, Repair & Replacement - Fire Hall	173,000	124,000	111,000	33,600	234,080	221,760	897,440
2 - 7	General Capital Res	Maintenance, Repair & Replacement - City Owned / Non-City Used Buildings	228,500	115,000	762,500	89,600	104,720	478,240	1,778,560
2 - 8	General Capital Res	Maintenance, Repair & Replacement - Parks Buildings	92,000	178,000	63,000	62,720	62,720	313,600	772,040
2 - 9	General Capital Res	Maintenance, Repair & Replacement - Operations Centre	75,000	97,000	103,000	61,040	24,640	257,600	618,280
2 - 10	General Capital Res	Maintenance, Repair & Replacement - Civic Library	107,000	75,000	16,000	593,600	68,320	290,080	1,150,000
<b>North Vancouver Recreation &amp; Culture Commission</b>			-	-	-	-	-		
2 - 11	General Capital Res	Centennial Theatre	200,000	170,000	360,000	135,000	70,000	350,000	1,285,000
2 - 13	General Capital Res	John Braithwaite Community Centre	55,000	185,000	50,000	50,000	50,000	250,000	640,000
2 - 15	General Capital Res	Harry Jerome - Major Repairs	300,000	300,000	250,000	150,000	-	-	1,000,000
2 - 16	General Capital Res	Memorial Community Recreation Centre	15,000	15,000	15,000	15,000	-	-	60,000
2 - 17	General Capital Res	Mickey McDougall Community Recreation Centre	-	15,000	15,000	5,000	-	-	35,000
<b>TOTAL REQUESTED IN PROJECT SHEETS</b>			<b>\$ 1,803,500</b>	<b>\$ 2,703,000</b>	<b>\$ 3,090,500</b>	<b>\$ 1,728,840</b>	<b>\$ 1,626,960</b>	<b>\$ 3,150,240</b>	<b>\$ 14,103,040</b>
<b>CONTRIBUTIONS</b>			<b>\$ 223,992</b>	<b>\$ 465,003</b>	<b>\$ 678,015</b>	<b>\$ 259,567</b>	<b>\$ 498,053</b>	<b>\$ 339,414</b>	<b>\$ 2,464,044</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 1,579,508</b>	<b>\$ 2,237,997</b>	<b>\$ 2,412,485</b>	<b>\$ 1,469,273</b>	<b>\$ 1,128,907</b>	<b>\$ 2,810,826</b>	<b>\$ 11,638,996</b>
<b>Major Projects</b>									
<b>Harry Jerome CRC</b>									
2 - 18	Civic Amenity - HJ/ Parking R	Harry Jerome Community Recreation Centre	148,947,149	10,059,881	1,489,022	-	-	-	160,496,052
2 - 19	General Capital Res	Provision - HJCRC Outside Consulting	200,000	-	-	-	-	-	200,000
2 - 20	Civic Amenity - HJ	Mickey McDougall Feasibility Study & Building Upgrades	-	-	901,410	377,000	377,000	377,000	2,032,410
2 - 20	External	Mickey McDougall Feasibility Study & Building Upgrades - ROF	-	-	2,341,737	-	-	-	2,341,737
2 - 21	Civic Amenity - HJ	Silver Harbour Seniors Activity Centre	18,723,891	1,379,053	254,415	-	-	-	20,357,359
<b>TOTAL REQUESTED IN PROJECT SHEETS</b>			<b>\$ 167,871,040</b>	<b>\$ 11,438,934</b>	<b>\$ 4,986,585</b>	<b>\$ 377,000</b>	<b>\$ 377,000</b>	<b>\$ 377,000</b>	<b>\$ 185,427,559</b>
<b>CONTRIBUTIONS</b>			<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,341,737</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 2,341,737</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 167,871,040</b>	<b>\$ 11,438,934</b>	<b>\$ 2,644,847</b>	<b>\$ 377,000</b>	<b>\$ 377,000</b>	<b>\$ 377,000</b>	<b>\$ 183,085,821</b>



**2022-2031 CAPITAL PLAN  
BUILDINGS**

			2022	2023	2024	2025	2026	2027-2031	Total
Page	Funding Source	Proposed New Projects							
<i>Library</i>									
2 - 22	General Capital Res	City Library Middle Years Space	108,160	-	-	-	-	-	108,160
2 - 22	External	City Library Middle Years Space - ROF	30,000	-	-	-	-	-	30,000
<i>Shipyards Commons Site</i>									
2 - 23	General Capital Res	The Shipyards Pier and Wharf Upgrades	-	-	40,000	-	-	-	40,000
2 - 24	General Capital Res	The Shipyards Electrical & Water Site Improvements	-	-	80,000	-	-	-	80,000
2 - 25	General Capital Res	Optimization of the Shipyards Pedestrian Realm and Access Network	-	-	50,000	-	-	-	50,000
2 - 26	General Capital Res	Shipyards Destination Infrastructure Upgrades Project	200,000	-	-	-	-	-	200,000
2 - 26	External	Shipyards Destination Infrastructure Upgrades Project - ROF	1,000,000	-	-	-	-	-	1,000,000
<i>City</i>			-	-	-	-	-	-	-
2 - 27	General Capital Res	City Hall Facility Projects	-	-	79,000	50,400	22,400	168,000	319,800
2 - 29	General Capital Res	City Hall Envelope & Glazing Upgrades	-	-	-	1,870,000	-	-	1,870,000
2 - 30	General Capital Res	PGE Station Provision	-	-	403,000	-	-	-	403,000
<i>General</i>			-	-	-	-	-	-	-
2 - 31	Civic Amenity	North Shore Neighborhood House & Derek Inman Park	-	-	-	-	151,000	46,648,200	46,799,200
2 - 32	Affordable Housing	North Shore Neighbourhood House Site Development Preparation	3,021,000	167,617	-	-	-	-	3,188,617
2 - 33	Heritage	Heritage Reserve Fund	89,559	-	-	-	-	-	89,559
<b>TOTAL REQUESTED IN PROJECT SHEETS</b>			<b>\$ 4,448,719</b>	<b>\$ 167,617</b>	<b>\$ 652,000</b>	<b>\$ 1,920,400</b>	<b>\$ 173,400</b>	<b>\$ 46,816,200</b>	<b>\$ 54,178,336</b>
<b>CONTRIBUTIONS</b>			<b>\$ 1,030,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,030,000</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 3,418,719</b>	<b>\$ 167,617</b>	<b>\$ 652,000</b>	<b>\$ 1,920,400</b>	<b>\$ 173,400</b>	<b>\$ 46,816,200</b>	<b>\$ 53,148,336</b>

## 2022-2031 CAPITAL PLAN STRUCTURES SUMMARY

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Summary of Structure Projects</b>							
<b>FUNDING REQUESTED IN PROJECT SHEETS</b>							
Streets and Transportation	5,595,000	12,530,000	13,820,000	8,705,000	16,720,000	51,510,000	108,880,000
Parks	555,000	1,392,500	13,240,000	13,190,000	645,000	3,045,000	32,067,500
Public Art	85,000	85,000	85,000	85,000	85,000	425,000	850,000
<b>TOTAL FUNDING REQUESTED</b>	<b>\$ 6,235,000</b>	<b>\$ 14,007,500</b>	<b>\$ 27,145,000</b>	<b>\$ 21,980,000</b>	<b>\$ 17,450,000</b>	<b>\$ 54,980,000</b>	<b>\$ 141,797,500</b>
<b>CONTRIBUTIONS</b>							
Streets and Transportation	785,000	3,595,000	1,710,000	610,000	6,225,000	12,225,000	25,150,000
Parks	-	-	-	-	-	-	-
Public Art	-	-	-	-	-	-	-
<b>TOTAL CONTRIBUTIONS</b>	<b>\$ 785,000</b>	<b>\$ 3,595,000</b>	<b>\$ 1,710,000</b>	<b>\$ 610,000</b>	<b>\$ 6,225,000</b>	<b>\$ 12,225,000</b>	<b>\$ 25,150,000</b>
<b>DCC FUNDING</b>							
Streets and Transportation	306,900	965,250	1,361,250	-	1,237,500	-	3,870,900
Parks	-	148,500	3,440,250	5,346,000	-	-	8,934,750
Public Art	-	-	-	-	-	425,000	850,000
<b>TOTAL DCC FUNDING</b>	<b>\$ 306,900</b>	<b>\$ 1,113,750</b>	<b>\$ 4,801,500</b>	<b>\$ 5,346,000</b>	<b>\$ 1,237,500</b>	<b>\$ 425,000</b>	<b>\$ 13,655,650</b>
<b>NET FUNDING REQUESTED</b>							
Streets and Transportation	4,503,100	7,969,750	10,748,750	8,095,000	9,257,500	39,285,000	79,859,100
Parks	555,000	1,244,000	9,799,750	7,844,000	645,000	3,045,000	23,132,750
Public Art	85,000	85,000	85,000	85,000	85,000	425,000	850,000
<b>TOTAL CITY FUNDING REQUESTED</b>	<b>\$ 5,143,100</b>	<b>\$ 9,298,750</b>	<b>\$ 20,633,500</b>	<b>\$ 16,024,000</b>	<b>\$ 9,987,500</b>	<b>\$ 42,755,000</b>	<b>\$ 103,841,850</b>

## 2022-2031 CAPITAL PLAN TRANSPORTATION AND STREETS

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>Active Transportation &amp; Safe Mobility</b>									
3 - 3	Civic Amenity	New Traffic Signals	865,000	950,000	1,010,000	1,000,000	1,000,000	5,000,000	9,825,000
3 - 5	General Capital Res	Traffic Signal System Upgrades	370,000	320,000	300,000	500,000	500,000	2,500,000	4,490,000
3 - 7	General Capital Res	City-Wide LED Streetlight Upgrade	250,000	-	-	-	-	-	250,000
3 - 8	General Capital Res	Traffic Signal LED Replacement	-	300,000	-	-	-	-	300,000
3 - 9	General Capital Res	Street Light and Traffic Signal Aging Pole Replacement	50,000	50,000	50,000	50,000	50,000	250,000	500,000
3 - 11	General Capital Res	Traffic Signal Pre-Emption for Fire Emergency Vehicles	80,000	80,000	80,000	80,000	80,000	400,000	800,000
3 - 13	Civic Amenity	Neighbourhood Traffic Safety and Infrastructure Improvements Program	350,000	615,000	865,000	515,000	515,000	1,950,000	4,810,000
3 - 13	External	Neighbourhood Traffic Safety and Infrastructure Improvements Program - ROF	50,000	50,000	50,000	50,000	50,000	250,000	500,000
3 - 15	Civic Amenity	Installation of Accessible Pedestrian Units	35,000	35,000	35,000	35,000	35,000	175,000	350,000
3 - 17	Civic Amenity	Pedestrian and Roadway Lighting Implementation	300,000	300,000	450,000	450,000	450,000	2,250,000	4,200,000
3 - 19	General Capital Res	Street Lighting Central Management System	-	-	-	100,000	-	-	100,000
3 - 20	Civic Amenity	Upper Levels Greenway	126,250	984,750	1,388,750	-	-	-	2,499,750
3 - 20	External	Upper Levels Greenways - ROF	-	970,000	745,000	-	-	-	1,715,000
3 - 20	DCC	Upper Levels Greenways - DCC	123,750	965,250	1,361,250	-	-	-	2,450,250
3 - 21	General Capital Res	Carson Graham School Area Active Transportation Improvements	-	500,000	1,725,000	900,000	-	-	3,125,000
3 - 21	External	Carson Graham School Area Active Transportation Improvements - ROF	-	500,000	-	-	-	-	500,000
3 - 22	General Capital Res	Active and Safe Routes to School	-	150,000	150,000	150,000	150,000	250,000	850,000
3 - 23	General Capital Res	Public Realm Improvements	50,000	135,000	50,000	50,000	50,000	335,000	670,000
3 - 25	General Capital Res	Living City Tree Program	120,000	280,000	200,000	120,000	120,000	600,000	1,440,000
3 - 25	External	Living City Tree Program - ROF	55,000	5,000	5,000	5,000	5,000	25,000	100,000
3 - 27	Civic Amenity	New Sidewalk To Complete the Pedestrian Network	151,500	500,000	500,000	500,000	500,000	2,500,000	4,651,500
3 - 27	External	New Sidewalk To Complete the Pedestrian Network - ROF	-	90,000	10,000	10,000	-	-	110,000
3 - 27	DCC	New Sidewalk To Complete the Pedestrian Network - DCC	148,500	-	-	-	-	-	148,500
3 - 28	General Capital Res	Public Realm Accessibility Improvements	20,000	20,000	20,000	20,000	20,000	100,000	200,000
3 - 28	External	Public Realm Accessibility Improvements - ROF	10,000	10,000	-	-	-	-	20,000
3 - 29	General Capital Res/ Sust	Transit Improvement Program	200,000	155,000	155,000	155,000	155,000	775,000	1,595,000
3 - 29	External	Transit Improvement Program - ROF	70,000	70,000	70,000	70,000	70,000	350,000	700,000

# **2022-2031 CAPITAL PLAN TRANSPORTATION AND STREETS**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
3 - 30	Civic Amenity	Priority Mobility Network Improvements	35,350	1,845,000	1,570,000	1,270,000	2,120,000	9,450,000	16,290,350
3 - 30	External	Priority Mobility Network Improvements - ROF	600,000	1,900,000	830,000	475,000	1,100,000	4,100,000	9,005,000
3 - 30	DCC	Priority Mobility Network Improvements - DCC	34,650	-	-	-	-	-	34,650
3 - 32	TSL Int /Infra / Gen Cap Res	Pavement Management: Streets & Lanes	1,000,000	500,000	2,000,000	2,000,000	2,000,000	10,000,000	17,500,000
3 - 34	LAS	Provision for Local Area Services - City Share	500,000	-	-	-	-	-	500,000
3 - 35	General Capital Res	Marine Drive Bridge Replacement over Mackay Creek	-	-	-	-	1,262,500	-	1,262,500
3 - 35	External	Marine Drive Bridge Replacement over Mackay Creek - ROF	-	-	-	-	5,000,000	-	5,000,000
3 - 35	DCC	Marine Drive Bridge Replacement over Mackay Creek - DCC	-	-	-	-	1,237,500	-	1,237,500
3 - 36	General Capital Res	Lynn Creek Bridge at Cotton Road - Widening and Replacement	-	-	-	-	-	1,500,000	1,500,000
3 - 36	External	Lynn Creek Bridge at Cotton Road - Widening and Replacement - ROF	-	-	-	-	-	7,500,000	7,500,000
3 - 37	General Capital Res	Sidewalks - Infill and Reconstruction	-	250,000	200,000	200,000	250,000	1,250,000	2,150,000
<b>TOTAL FUNDING REQUESTED</b>			<b>\$ 5,595,000</b>	<b>\$ 12,530,000</b>	<b>\$ 13,820,000</b>	<b>\$ 8,705,000</b>	<b>\$ 16,720,000</b>	<b>\$ 51,510,000</b>	<b>\$ 108,880,000</b>
<b>TOTAL CONTRIBUTIONS</b>			<b>\$ 785,000</b>	<b>\$ 3,595,000</b>	<b>\$ 1,710,000</b>	<b>\$ 610,000</b>	<b>\$ 6,225,000</b>	<b>\$ 12,225,000</b>	<b>\$ 25,150,000</b>
<b>TOTAL DCC STREETS AND TRANSPORTATION</b>			<b>\$ 306,900</b>	<b>\$ 965,250</b>	<b>\$ 1,361,250</b>	<b>\$ -</b>	<b>\$ 1,237,500</b>	<b>\$ -</b>	<b>\$ 3,870,900</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 4,503,100</b>	<b>\$ 7,969,750</b>	<b>\$ 10,748,750</b>	<b>\$ 8,095,000</b>	<b>\$ 9,257,500</b>	<b>\$ 39,285,000</b>	<b>\$ 79,859,100</b>



**2022-2031 CAPITAL PLAN  
PARKS AND ENVIRONMENT**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>Park Specific</b>									
4 - 3	Civic Amenity	1600 Eastern Avenue Park	-	-	656,500	-	-	-	656,500
4 - 3	DCC	1600 Eastern Avenue Park - DCC	-	-	643,500	-	-	-	643,500
4 - 4	Civic Amenity	Beach and Grass Volleyball	-	-	70,000	-	-	-	70,000
4 - 5	Civic Amenity	Construction of New Community Gardens	50,000	50,000	250,000	-	-	-	350,000
4 - 6	Civic Amenity	Waterfront Park Master Plan & Implementation	-	-	2,525,000	2,525,000	-	-	5,050,000
4 - 6	DCC	Waterfront Park Master Plan & Implementation - DCC	-	-	2,475,000	2,475,000	-	-	4,950,000
4 - 7	Civic Amenity	Sunrise Park Trail System Expansion	-	-	126,250	-	-	-	126,250
4 - 7	DCC	Sunrise Park Trail System Expansion - DCC	-	-	123,750	-	-	-	123,750
4 - 8	Civic Amenity	Casano - Loutet Trail & Habitat Improvements	-	-	400,000	-	-	-	400,000
4 - 9	Civic Amenity	Spirit Trail - Lynnmouth Park	-	150,000	700,000	-	-	-	850,000
4 - 10	General Capital Res	Public School Playground Funding	150,000	37,500	-	-	-	-	187,500
4 - 11	Civic Amenity	Green Necklace Outdoor Fitness Equipment Stations	-	-	400,000	-	-	-	400,000
4 - 12	Civic Amenity	Cloverley Park Design + Construction	-	250,000	3,650,000	-	-	-	3,900,000
4 - 13	General Capital Res	Mahon Park Playground and Spray Park Replacement	-	-	-	1,200,000	-	-	1,200,000
4 - 14	General Capital Res	Semisch Park / 1st Street Accessibility Improvements	-	250,000	-	-	-	-	250,000
4 - 15	General Capital Res	Confederation Field Turf Replacement	-	-	-	1,000,000	-	-	1,000,000
4 - 16	General Capital Res	Tempe Heights Park Playground Replacement	-	-	-	70,000	600,000	-	670,000
4 - 17	General Capital Res	Wagg Park Playground Replacement	-	-	-	-	-	650,000	650,000
4 - 18	General Capital Res	Loutet Park Playground Replacement	-	-	-	-	-	670,000	670,000
4 - 19	General Capital Res	Fen Burdett Turf Replacement	-	-	-	-	-	1,000,000	1,000,000
4 - 20	Civic Amenity	High Place Park Development	-	-	-	-	-	250,000	250,000
4 - 21	General Capital Res	Victoria Park Master Plan	-	-	-	-	-	250,000	250,000
4 - 22	Civic Amenity HJ	New Community Park - Harry Jerome Neighbourhood Lands	-	151,500	202,000	2,929,000	-	-	3,282,500
4 - 22	DCC	New Community Park - Harry Jerome Neighbourhood Lands - DCC	-	148,500	198,000	2,871,000	-	-	3,217,500
4 - 23	General Capital Res	Hemlock Looper Moth Tree Removal and Restoration	150,000	150,000	150,000	-	-	-	450,000
4 - 31	General Capital Res	Victoria Park Washroom	-	-	350,000	-	-	-	350,000
<b>Total - Park Specific</b>			<b>\$ 350,000</b>	<b>\$ 1,187,500</b>	<b>\$ 12,920,000</b>	<b>\$ 13,070,000</b>	<b>\$ 600,000</b>	<b>\$ 2,820,000</b>	<b>\$ 30,947,500</b>

**2022-2031 CAPITAL PLAN  
PARKS AND ENVIRONMENT**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>City Wide Programs</b>									
4 - 24	General Capital Res	Parks Master Plan Update	-	-	200,000	-	-	-	200,000
4 - 25	General Capital Res	Play Equipment Replacement	35,000	35,000	-	-	-	-	70,000
4 - 26	General Capital Res	Streetscape Renovations	25,000	25,000	-	-	-	-	50,000
4 - 27	General Capital Res	Wooden Bridge and Stair Replacement	25,000	25,000	-	-	-	-	50,000
4 - 28	General Capital Res	Grass Sports Field Renovations	75,000	75,000	75,000	75,000	-	-	300,000
4 - 29	General Capital Res	Park & Greenways Trail Resurfacing	10,000	10,000	10,000	10,000	10,000	50,000	100,000
4 - 30	General Capital Res	Parks Furnishings and Signage	35,000	35,000	35,000	35,000	35,000	175,000	350,000
<b>Total - City Wide Programs</b>			<b>\$ 205,000</b>	<b>\$ 205,000</b>	<b>\$ 320,000</b>	<b>\$ 120,000</b>	<b>\$ 45,000</b>	<b>\$ 225,000</b>	<b>\$ 1,120,000</b>
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 555,000</b>	<b>\$ 1,392,500</b>	<b>\$ 13,240,000</b>	<b>\$ 13,190,000</b>	<b>\$ 645,000</b>	<b>\$ 3,045,000</b>	<b>\$ 32,067,500</b>
<b>TOTAL CONTRIBUTIONS - DCC FUNDING</b>			<b>\$ -</b>	<b>\$ 148,500</b>	<b>\$ 3,440,250</b>	<b>\$ 5,346,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 8,934,750</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 555,000</b>	<b>\$ 1,244,000</b>	<b>\$ 9,799,750</b>	<b>\$ 7,844,000</b>	<b>\$ 645,000</b>	<b>\$ 3,045,000</b>	<b>\$ 23,132,750</b>

2022-2031 CAPITAL PLAN  
PUBLIC ART

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
5 - 2	Public Art	Public Art Civic Program	85,000	85,000	85,000	85,000	85,000	425,000	850,000
TOTAL FUNDING REQUESTED IN PROJECT SHEETS			\$ 85,000	\$ 85,000	\$ 85,000	\$ 85,000	\$ 85,000	\$ 425,000	\$ 850,000
NET FUNDING REQUESTED			\$ 85,000	\$ 85,000	\$ 85,000	\$ 85,000	\$ 85,000	\$ 425,000	\$ 850,000

## 2022-2031 CAPITAL PLAN EQUIPMENT SUMMARY

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Summary of Equipment Projects</b>							
<b>FUNDING REQUESTED IN PROJECT SHEETS</b>							
General Equipment	1,001,800	1,046,200	687,000	1,166,000	445,000	2,387,800	6,733,800
Information Technology Equipment	1,210,800	1,356,500	2,007,600	1,188,700	1,689,000	5,910,100	13,362,700
Engineering Equipment	880,000	910,000	560,000	705,000	205,000	4,708,000	7,968,000
Fire Equipment	270,000	615,000	90,000	805,000	155,000	3,470,000	5,405,000
Block Funding & Other Projects	2,955,540	2,390,241	3,125,010	2,576,217	2,600,217	9,848,085	23,495,310
<b>TOTAL FUNDING REQUESTED</b>	<b>\$ 6,318,140</b>	<b>\$ 6,317,941</b>	<b>\$ 6,469,610</b>	<b>\$ 6,440,917</b>	<b>\$ 5,094,217</b>	<b>\$ 26,323,985</b>	<b>\$ 56,964,810</b>
<b>CONTRIBUTIONS</b>							
General Equipment	340,349	112,114	102,663	61,488	30,744	253,720	901,078
Information Technology Equipment	217,200	42,500	147,000	9,000	28,000	84,700	528,400
Engineering Equipment	-	-	-	-	-	-	-
Fire Equipment	-	-	-	-	-	-	-
Block Funding & Other Projects	417,254	116,254	123,254	73,254	123,254	366,271	1,219,541
<b>TOTAL CONTRIBUTIONS</b>	<b>\$ 974,803</b>	<b>\$ 270,868</b>	<b>\$ 372,917</b>	<b>\$ 143,742</b>	<b>\$ 181,998</b>	<b>\$ 704,691</b>	<b>\$ 2,649,019</b>
<b>NET FUNDING REQUESTED</b>							
General Equipment	661,451	934,086	584,337	1,104,512	414,256	2,134,080	5,832,722
Information Technology Equipment	993,600	1,314,000	1,860,600	1,179,700	1,661,000	5,825,400	12,834,300
Engineering Equipment	880,000	910,000	560,000	705,000	205,000	4,708,000	7,968,000
Fire Equipment	270,000	615,000	90,000	805,000	155,000	3,470,000	5,405,000
Block Funding & Other Projects	2,538,286	2,273,987	3,001,756	2,502,963	2,476,963	9,481,814	22,275,769
<b>TOTAL CITY FUNDING REQUESTED</b>	<b>\$ 5,343,337</b>	<b>\$ 6,047,073</b>	<b>\$ 6,096,693</b>	<b>\$ 6,297,175</b>	<b>\$ 4,912,219</b>	<b>\$ 25,619,294</b>	<b>\$ 54,315,791</b>



**2022-2031 CAPITAL PLAN  
GENERAL EQUIPMENT**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
6 - 2	General Capital Res	Civic Buildings - Furniture and Equipment	139,000	111,000	118,000	112,000	112,000	576,800	1,168,800
6 - 3	General Capital Res	Gerry Brewer Furniture & Equipment	54,571	50,061	50,512	50,512	25,256	126,280	357,192
6 - 3	External	Gerry Brewer Furniture & Equipment - ROF	66,429	60,939	61,488	61,488	30,744	153,720	434,808
6 - 4	General Capital Res	Bylaw Services Vehicle Replacement	45,000	45,000	-	45,000	-	-	135,000
6 - 6	General Capital Res	Police Pool Vehicle Replacement	36,080	33,825	33,825	-	-	-	103,730
6 - 6	External	Police Pool Vehicles Repl - Required outside Funding	43,920	41,175	41,175	-	-	-	126,270
6 - 8	General Capital Res	NVRC Maintenance Vehicles	115,000	5,000	-	-	-	50,000	170,000
6 - 8	External	NVRC Maintenance Vehicles - Required Outside Funding	230,000	10,000	-	-	-	100,000	340,000
6 - 10	General Capital Res	NVRC Recreation Program Equipment	130,000	235,000	130,000	720,000	130,000	575,000	1,920,000
6 - 12	General Capital Res	Mobility Data Collection and Monitoring	40,000	90,000	135,000	65,000	65,000	325,000	720,000
6 - 14	External	Pool Car Replacement	50,000	65,000	50,000	65,000	60,000	230,000	520,000
6 - 16	General Capital Res	Automated Materials Handling & RFID System Replacements	11,000	92,000	22,000	22,000	22,000	226,000	395,000
6 - 17	General Capital Res	Library shelving replacement	40,800	32,000	-	-	-	-	72,800
6 - 18	General Capital Res	City Library Self-Service Book Locker	-	145,200	-	-	-	-	145,200
6 - 19	General Capital Res	City Library Wayfinding	-	30,000	45,000	-	-	-	75,000
6 - 20	General Capital Res	Self-Service Payment Systems Replacement	-	-	-	25,000	-	25,000	50,000
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 1,001,800</b>	<b>\$ 1,046,200</b>	<b>\$ 687,000</b>	<b>\$ 1,166,000</b>	<b>\$ 445,000</b>	<b>\$ 2,387,800</b>	<b>\$ 6,733,800</b>
<b>TOTAL CONTRIBUTIONS</b>			<b>\$ 340,349</b>	<b>\$ 112,114</b>	<b>\$ 102,663</b>	<b>\$ 61,488</b>	<b>\$ 30,744</b>	<b>\$ 253,720</b>	<b>\$ 901,078</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 661,451</b>	<b>\$ 934,086</b>	<b>\$ 584,337</b>	<b>\$ 1,104,512</b>	<b>\$ 414,256</b>	<b>\$ 2,134,080</b>	<b>\$ 5,832,722</b>

**2022-2031 CAPITAL PLAN  
INFORMATION TECHNOLOGY**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>I.T. Department</b>									
7 - 3	General Capital Res / Comp Equip	User Device Replacements	150,000	150,000	150,000	150,000	150,000	750,000	1,500,000
7 - 4	General Capital Res	Data Centre Infrastructure	170,000	370,000	475,000	265,000	430,000	1,090,000	2,800,000
7 - 6	General Capital Res	Fibre Infrastructure Improvement	50,000	50,000	50,000	50,000	50,000	250,000	500,000
7 - 7	General Capital Res	Cyber Security Enhancements	240,000	-	-	-	-	-	240,000
7 - 8	General Capital Res	Enterprise Applications	225,000	575,000	1,025,000	650,000	950,000	3,250,000	6,675,000
<b>Total - I.T. Department</b>			<b>\$ 835,000</b>	<b>\$ 1,145,000</b>	<b>\$ 1,700,000</b>	<b>\$ 1,115,000</b>	<b>\$ 1,580,000</b>	<b>\$ 5,340,000</b>	<b>\$ 11,715,000</b>
<b>Library</b>									
7 - 10	General Capital Res	Website Renewal	5,000	5,000	25,000	5,000	5,000	72,500	117,500
7 - 11	General Capital Res	Integrated library Systems (ILS) Renewal	-	15,000	16,000	8,000	-	52,000	91,000
7 - 12	General Capital Res	A/V, Multimedia & Instructional Systems Renewal	19,400	32,500	21,600	21,700	37,000	111,200	243,400
<b>Total - Library</b>			<b>\$ 24,400</b>	<b>\$ 52,500</b>	<b>\$ 62,600</b>	<b>\$ 34,700</b>	<b>\$ 42,000</b>	<b>\$ 235,700</b>	<b>\$ 451,900</b>
<b>North Vancouver Museum &amp; Archives</b>									
7 - 14	General Capital Res	NVMA IT Refresh	9,200	8,500	7,000	9,000	8,000	44,700	86,400
7 - 14	External	NVMA IT Refresh - ROF	9,200	8,500	7,000	9,000	8,000	44,700	86,400
<b>Total - North Vancouver Museum &amp; Archives</b>			<b>\$ 18,400</b>	<b>\$ 17,000</b>	<b>\$ 14,000</b>	<b>\$ 18,000</b>	<b>\$ 16,000</b>	<b>\$ 89,400</b>	<b>\$ 172,800</b>
<b>North Vancouver Recreation &amp; Culture Commission</b>									
7 - 15	General Capital Res	Recreation Centre WIFI Replacement	-	35,000	-	-	-	45,000	80,000
7 - 16	General Capital Res	NVRC Digital Tools Development Plan	-	7,000	-	-	-	-	7,000
7 - 16	External	NVRC Digital Tools Development Plan - ROF	-	14,000	-	-	-	-	14,000
7 - 17	General Capital Res	NVRC Mobile Device Applications - Phase 2	50,000	-	-	-	-	-	50,000
7 - 17	External	NVRC Mobile Device Applications - Phase 2 - ROF	100,000	-	-	-	-	-	100,000
7 - 18	General Capital Res	NVRC Website Content Management System Upgrade	13,000	-	-	-	-	-	13,000
7 - 18	External	NVRC Website Content Management System Upgrade - ROF	26,000	-	-	-	-	-	26,000
7 - 19	General Capital Res	Network Hardware Replacement	-	35,000	-	-	-	35,000	70,000
7 - 20	General Capital Res	Facility desktop hardware refresh	21,000	21,000	21,000	21,000	21,000	105,000	210,000

**2022-2031 CAPITAL PLAN  
INFORMATION TECHNOLOGY**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
7 - 21	General Capital Res	Document Management System Replacement	20,000	-	-	-	-	-	20,000
7 - 21	External	Document Management System Replacement - ROF	40,000	-	-	-	-	-	40,000
7 - 22	General Capital Res	Perfect Mind Development and Integration	10,000	10,000	10,000	-	10,000	20,000	60,000
7 - 22	External	Perfect Mind Implementation: Integration - ROF	20,000	20,000	20,000	-	20,000	40,000	120,000
7 - 23	General Capital Res	Phone System Replacement	11,000	-	60,000	-	-	-	71,000
7 - 23	External	Phone System Replacement - ROF	22,000	-	120,000	-	-	-	142,000
<b>Total - North Vancouver Recreation Commission</b>			<b>\$ 333,000</b>	<b>\$ 142,000</b>	<b>\$ 231,000</b>	<b>\$ 21,000</b>	<b>\$ 51,000</b>	<b>\$ 245,000</b>	<b>\$ 1,023,000</b>
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 1,210,800</b>	<b>\$ 1,356,500</b>	<b>\$ 2,007,600</b>	<b>\$ 1,188,700</b>	<b>\$ 1,689,000</b>	<b>\$ 5,910,100</b>	<b>\$ 13,362,700</b>
<b>TOTAL CONTRIBUTIONS</b>			<b>\$ 217,200</b>	<b>\$ 42,500</b>	<b>\$ 147,000</b>	<b>\$ 9,000</b>	<b>\$ 28,000</b>	<b>\$ 84,700</b>	<b>\$ 528,400</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 993,600</b>	<b>\$ 1,314,000</b>	<b>\$ 1,860,600</b>	<b>\$ 1,179,700</b>	<b>\$ 1,661,000</b>	<b>\$ 5,825,400</b>	<b>\$ 12,834,300</b>

**2022-2031 CAPITAL PLAN  
ENGINEERING EQUIPMENT**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
8 - 2	Eng Equip	Engineering: Equipment	845,000	910,000	560,000	705,000	205,000	4,708,000	7,933,000
8 - 6	General Capital Res	Replacement Towing Trailers - Operations	35,000	-	-	-	-	-	35,000
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 880,000</b>	<b>\$ 910,000</b>	<b>\$ 560,000</b>	<b>\$ 705,000</b>	<b>\$ 205,000</b>	<b>\$ 4,708,000</b>	<b>\$ 7,968,000</b>
<b>TOTAL CONTRIBUTIONS</b>									
<b>NET FUNDING REQUESTED</b>			<b>\$ 880,000</b>	<b>\$ 910,000</b>	<b>\$ 560,000</b>	<b>\$ 705,000</b>	<b>\$ 205,000</b>	<b>\$ 4,708,000</b>	<b>\$ 7,968,000</b>



**2022-2031 CAPITAL PLAN  
FIRE EQUIPMENT**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
9 - 2	Fire Equip	Fire Equipment Replacement Program	235,000	615,000	90,000	770,000	155,000	3,400,000	5,265,000
9 - 3	Fire Equip	Health and Wellness Initiative	35,000	-	-	35,000	-	70,000	140,000
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 270,000</b>	<b>\$ 615,000</b>	<b>\$ 90,000</b>	<b>\$ 805,000</b>	<b>\$ 155,000</b>	<b>\$ 3,470,000</b>	<b>\$ 5,405,000</b>
<b>TOTAL CONTRIBUTIONS</b>									
<b>NET FUNDING REQUESTED</b>			<b>\$ 270,000</b>	<b>\$ 615,000</b>	<b>\$ 90,000</b>	<b>\$ 805,000</b>	<b>\$ 155,000</b>	<b>\$ 3,470,000</b>	<b>\$ 5,405,000</b>

**2022-2031 CAPITAL PLAN**  
**BLOCK FUNDS, ONGOING PROGRAMS AND OTHER PROJECTS**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
<b>Block Funds</b>									
10 - 3	General Capital Res	Block Funding - City Used Buildings	100,000	100,000	100,000	100,000	100,000	500,000	1,000,000
10 - 4	General Capital Res	Block Funding - Non-City Used Buildings	100,000	100,000	100,000	100,000	100,000	500,000	1,000,000
10 - 5	General Capital Res	Block Funding - Gerry Brewer Building	29,413	29,413	29,413	29,413	29,413	147,064	294,129
10 - 5	External	Gerry Brewer Building - ROF	35,804	35,804	35,804	35,804	35,804	179,021	358,041
10 - 6	General Capital Res	Block Funding - Parks Infrastructure	75,000	75,000	75,000	75,000	75,000	375,000	750,000
10 - 7	General Capital Res	Block Funding - Engineering Equipment	50,000	50,000	50,000	50,000	50,000	250,000	500,000
10 - 8	General Capital Res	Block Funding - Transportation	30,000	30,000	30,000	30,000	30,000	150,000	300,000
10 - 9	General Capital Res	Block Funding - Information Technology	100,000	100,000	100,000	100,000	100,000	500,000	1,000,000
10 - 10	General Capital Res	Block Funding Fire Equipment	50,000	50,000	50,000	50,000	50,000	250,000	500,000
10 - 11	General Capital Res	Block Funding Police Equipment	22,550	22,550	22,550	22,550	22,550	112,750	225,500
10 - 11	External	Block Funding - Police Equipment - ROF	27,450	27,450	27,450	27,450	27,450	137,250	274,500
10 - 12	General Capital Res	Block Funding - Library Equipment	20,000	20,000	20,000	20,000	20,000	100,000	200,000
10 - 13	General Capital Res	Block Funding - Museum & Archives	10,000	10,000	10,000	10,000	10,000	50,000	100,000
10 - 13	External	Museum & Archives - ROF	10,000	10,000	10,000	10,000	10,000	50,000	100,000
10 - 14	General Capital Res	Block Funding - Clerks	20,000	20,000	20,000	20,000	20,000	100,000	200,000
10 - 15	General Capital Res	Block Funding - Planning and Development	10,000	10,000	10,000	10,000	10,000	50,000	100,000
10 - 16	General Capital Res	Block Funding - NVRC	50,000	60,000	60,000	60,000	80,000	420,000	730,000
10 - 17	General Capital Res	NVRC Emergency Capital Replacement Fund	25,000	30,000	30,000	30,000	35,000	190,000	340,000
10 - 18	General Capital Res	Block Funding - Shipyards	35,000	35,000	35,000	35,000	35,000	175,000	350,000
<b>TOTAL - BLOCK FUNDS</b>			<b>\$ 800,217</b>	<b>\$ 815,217</b>	<b>\$ 815,217</b>	<b>\$ 815,217</b>	<b>\$ 840,217</b>	<b>\$ 4,236,085</b>	<b>\$ 8,322,170</b>
<b>On-Going Programs</b>									
10 - 19	CCCIF	Child Care Capital Improvement Fund	9,323	-	-	-	-	-	9,323
<b>TOTAL - ON-GOING PROGRAMS</b>			<b>\$ 9,323</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 9,323</b>
<b>Other Projects</b>									
10 - 20	General Capital Res	CNVL - Summer Book Bike Staffing	27,000	27,000	27,000	-	-	-	81,000
10 - 21	General Capital Res	NVRC - Recreation and sport facility/venue plan update	51,000	-	-	-	-	-	51,000
10 - 21	External	NVRC - Recreation and sport facility/venue plan update - ROF	99,000	-	-	-	-	-	99,000
10 - 22	General Capital Res	Open Streets, Parklets and Placemaking	275,000	396,000	306,000	321,000	245,000	387,000	1,930,000
10 - 22	External	Open Streets, Parklets and Placemaking - ROF	20,000	-	50,000	-	50,000	-	120,000
10 - 23	General Capital Res	City Studio CapU Parntership	48,000	50,000	-	-	-	-	98,000

# **2022-2031 CAPITAL PLAN** **BLOCK FUNDS, ONGOING PROGRAMS AND OTHER PROJECTS**

Page	Funding Source		2022	2023	2024	2025	2026	2027-2031	Total
10 - 24	General Capital Res	Community Engagement Strategy	60,000	-	-	-	-	-	60,000
10 - 25	General Capital Res	Community Recreation Strategy	61,000	-	-	-	-	-	61,000
10 - 26	General Capital Res	OCP 10-Year Review	-	100,000	400,000	400,000	400,000	100,000	1,400,000
10 - 27	General Capital Res	Amenity and Public Benefit Strategy Review	125,000	-	-	-	-	-	125,000
10 - 28	General Capital Res	Child Care and Social Amenity Design Guidelines	25,000	-	-	-	-	-	25,000
10 - 29	General Capital Res	Electronic Grants Process and Software	-	25,000	-	-	-	-	25,000
10 - 30	Affordable Housing	Supporting Affordable Housing Supply and Delivery	75,000	139,024	141,793	-	-	-	355,817
10 - 31	General Capital Res	Land Use and Long Range Studies	40,000	-	-	-	-	-	40,000
10 - 32	General Capital Res	Zoning Bylaw Update	375,000	-	-	-	-	-	375,000
10 - 32	External	Zoning Bylaw Update - ROF	65,000	-	-	-	-	-	65,000
10 - 33	General Capital Res	Climate and Environment Strategy Implementation	200,000	250,000	250,000	250,000	250,000	1,250,000	2,450,000
10 - 33	External	Climate and Environment Strategy Implementation - ROF	40,000	40,000	-	-	-	-	80,000
10 - 34	General Capital Res / Carbon Res	Greening the Community Building Sector	-	-	175,000	300,000	400,000	3,300,000	4,175,000
10 - 34	External	Greening the Building Sector - ROF	120,000	-	-	-	-	-	120,000
10 - 35	General Capital Res	Planning & Development Program, Education and Outreach	-	50,000	100,000	100,000	100,000	500,000	850,000
10 - 35	External	Planning & Development Program, Education and Outreach - ROF	-	3,000	-	-	-	-	3,000
10 - 36	General Capital Res	Urban Forest Management Plan	100,000	-	-	-	-	-	100,000
10 - 37	General Capital Res	INSTPP Implementation	100,000	75,000	75,000	75,000	75,000	75,000	475,000
10 - 38	General Capital Res	Parking and Curbside Management Planning and Implementation	40,000	140,000	290,000	315,000	240,000	-	1,025,000
10 - 40	General Capital Res	Neighbourhood Speed Limits Review and Implementation	-	175,000	300,000	-	-	-	475,000
10 - 42	General Capital Res	Micro-Mobility Services Planning and Coordination	25,000	45,000	45,000	-	-	-	115,000
10 - 44	General Capital Res	Transportation Requirements for New Development	175,000	-	-	-	-	-	175,000
10 - 46	General Capital Res	Feasibility and ROI Study of Land Bridge of Highway No.1 at Lonsdale	-	60,000	150,000	-	-	-	210,000
<b>TOTAL - OTHER PROJECTS</b>			<b>\$ 2,146,000</b>	<b>\$ 1,575,024</b>	<b>\$ 2,309,793</b>	<b>\$ 1,761,000</b>	<b>\$ 1,760,000</b>	<b>\$ 5,612,000</b>	<b>\$ 15,163,817</b>
<b>TOTAL FUNDING REQUESTED IN PROJECT SHEETS</b>			<b>\$ 2,955,540</b>	<b>\$ 2,390,241</b>	<b>\$ 3,125,010</b>	<b>\$ 2,576,217</b>	<b>\$ 2,600,217</b>	<b>\$ 9,848,085</b>	<b>\$ 23,495,310</b>
<b>TOTAL CONTRIBUTIONS</b>			<b>\$ 417,254</b>	<b>\$ 116,254</b>	<b>\$ 123,254</b>	<b>\$ 73,254</b>	<b>\$ 123,254</b>	<b>\$ 366,271</b>	<b>\$ 1,219,541</b>
<b>NET FUNDING REQUESTED</b>			<b>\$ 2,538,286</b>	<b>\$ 2,273,987</b>	<b>\$ 3,001,756</b>	<b>\$ 2,502,963</b>	<b>\$ 2,476,963</b>	<b>\$ 9,481,814</b>	<b>\$ 22,275,769</b>

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### TAX LEVY CONTRIBUTION TO CAPITAL

Each year an amount is transferred from the annual budget to fund various capital projects. These funds are unrestricted and can be used for any capital project. Approximately 15% of the City's annual tax levy is transferred to capital projects or to fund capital reserves. The \$600K increase seen in the Tax Levy each year results in an annual 1% tax rate increase.

	2022	2023	2024	2025	2026	2027-2031	Total
Transfer from Operating to Capital	\$10,874,800	11,474,800	12,074,800	12,674,800	13,274,800	\$ 75,374,000	\$ 135,748,000
<b>Available Balance</b>	<b>\$ 10,874,800</b>	<b>\$ 11,474,800</b>	<b>\$ 12,074,800</b>	<b>\$ 12,674,800</b>	<b>\$ 13,274,800</b>	<b>\$ 75,374,000</b>	<b>\$ 135,748,000</b>
<b>Allocated to :</b>							
Civic Amenity HJCRC	2,600,000	2,600,000	2,600,000	2,600,000	2,600,000	13,000,000	26,000,000
Fire Equipment	268,213	615,000	90,000	805,000	155,000	3,470,000	5,403,213
Public Art	85,000	85,000	85,000	85,000	85,000	425,000	850,000
Sustainable Transportation	87,500	87,500	87,500	87,500	87,500	437,500	875,000
Carbon Fund	65,000	65,000	65,000	65,000	65,000	325,001	650,001
<b>Total to Reserves</b>	<b>3,105,713</b>	<b>3,452,500</b>	<b>2,927,500</b>	<b>3,642,500</b>	<b>2,992,500</b>	<b>17,657,501</b>	<b>33,778,214</b>
<b>Transfer to General Capital Reserve</b>	<b>\$ 7,769,087</b>	<b>8,022,300</b>	<b>\$ 9,147,300</b>	<b>\$ 9,032,300</b>	<b>\$ 10,282,300</b>	<b>\$ 67,998,799</b>	<b>\$ 101,969,786</b>

#### LAND SALE REVENUE

The City owns numerous parcels of land, and the method by which the City acquired the land determines how the proceeds of sale may be set aside. By long-standing Council policy, proceeds of land acquired through a tax sale (non-payment of taxes) are set aside in Tax Sale Land principal. Proceeds from non-tax sale lands (acquired by other means than non-payment of taxes) are set aside in the Civic Amenity Reserve Fund.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ -</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$ -</b>	<b>-</b>
Proceeds of sales	\$ -	\$ -	\$ 27,680,000	\$ -	\$ 65,220,000	-	92,900,000
<b>Available Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 27,680,000</b>	<b>\$ -</b>	<b>\$ 65,220,000</b>	<b>\$ -</b>	<b>\$ 92,900,000</b>
<b>Allocated to :</b>							
TSL Principal	-	-	20,760,000	-	43,380,000	-	64,140,000
Civic Amenity Reserve	-	-	6,920,000	-	21,840,000	-	28,760,000
	\$ -	\$ -	\$ 27,680,000	\$ -	\$ 65,220,000	\$ -	\$ 92,900,000
<b>Closing Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>-</b>

#### MUNICIPAL FINANCE AUTHORITY BORROWING

The Municipal Finance Authority of British Columbia (MFA) was created in 1970 to contribute to the financial well-being of local governments throughout BC. The MFA pools the borrowing and investment needs of BC communities through a collective structure and is able to provide a range of low cost and flexible financial services. Borrowing from the MFA assumes terms of 30 years at 2.58% interest.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ -</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>\$ -</b>	<b>-</b>
MFA Debt	\$ 109,000,000	\$ -	\$ -	\$ (109,000,000)	\$ 46,799,200	(5,213,855)	41,585,345
Transfer to Civic Amenity Reserve - HJ	(109,000,000)					-	(109,000,000)
MFA Debt Servicing	\$ (625,000)	\$ (1,250,000)	\$ (1,250,000)	\$ (625,000)		(5,676,000)	(9,426,000)
Repayment from Land Sales	\$ -			\$ 109,000,000		-	109,000,000
Repayment from Civic Amenity - HJ Fund	\$ 625,000	\$ 1,250,000	\$ 1,250,000	\$ 625,000		-	3,750,000
Repayment from Civic Amenity Reserve				\$ -		10,889,855	10,889,855
<b>Available Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 46,799,200</b>	<b>\$ -</b>	<b>\$ 46,799,200</b>
<b>Allocated to :</b>							
North Shore Neighborhood House & Derek Inman Park			-	-	151,000	46,648,200	46,799,200
	\$ -	\$ -	\$ -	\$ -	\$ 151,000	\$ 46,648,200	\$ 46,799,200
<b>Closing Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 46,648,200</b>	<b>\$ (46,648,200)</b>	<b>-</b>



# 2022-2031 CAPITAL PLAN

## RESERVES AND OTHER FUNDING

### GENERAL CAPITAL RESERVE

The General Capital Reserve is a non-statutory reserve that provides unrestricted funding for Capital Plan projects; as such it can be used to fund any capital project. The reserve is funded from various sources including transfers from operating, portions of the annual tax levy or annual surpluses.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 9,631,732</b>	<b>\$ 8,471,245</b>	<b>\$ 7,142,499</b>	<b>\$ 4,322,914</b>	<b>\$ 2,228,776</b>	<b>\$ 2,562,701</b>	<b>\$ 9,631,732</b>
Annual transfer to General Capital Reserve	\$ 7,769,087	\$ 8,022,300	\$ 9,147,300	\$ 9,032,300	\$ 10,282,300	57,716,499	101,969,786
- Internal borrowing from GCR	\$ (2,000,000)	\$ -	\$ -	\$ 2,000,000	\$ -	-	-
Miscellaneous Revenue	746,000					-	746,000
<b>Available Balance</b>	<b>\$ 16,146,819</b>	<b>\$ 16,493,545</b>	<b>\$ 16,289,799</b>	<b>\$ 15,355,214</b>	<b>\$ 12,511,076</b>	<b>\$ 60,279,200</b>	<b>\$ 112,347,518</b>
<b>Withdrawals</b>							
Provision for Park Land Acquisition 1% Municip Assist	90,000	-	-	-	-	-	90,000
<b>Buildings</b>							
Capital Maintenance	1,538,908	2,237,997	2,412,485	1,469,273	1,128,907	2,810,826	11,598,396
City Library Middle Years Space	108,160	-	-	-	-	-	108,160
The Shipyards Pier and Wharf Upgrades	-	-	40,000	-	-	-	40,000
The Shipyards Electrical & Water Site Improvements	-	-	80,000	-	-	-	80,000
Optimization of the Shipyards Pedestrian Realm and Access Network	-	-	50,000	-	-	-	50,000
Shipyards Destination Infrastructure Upgrades Project	200,000	-	-	-	-	-	200,000
City Hall Facility Projects	-	-	79,000	50,400	22,400	168,000	319,800
City Hall Envelope & Glazing Upgrades	-	-	-	1,870,000	-	-	1,870,000
PGE Station Provision	-	-	403,000	-	-	-	403,000
Provision - HJCRC Outside Consulting	200,000	-	-	-	-	-	200,000
Victoria Park Washroom	-	-	350,000	-	-	-	350,000
<b>Parks</b>							
Public School Playground Funding	150,000	37,500	-	-	-	-	187,500
Mahon Park Playground and Spray Park Replacement	-	-	-	1,200,000	-	-	1,200,000
Semisch Park / 1st Street Accessibility Improvements	-	250,000	-	-	-	-	250,000
Confederation Field Turf Replacement	-	-	-	1,000,000	-	-	1,000,000
Tempe Heights Park Playground Replacement	-	-	-	70,000	600,000	-	670,000
Wagg Park Playground Replacement	-	-	-	-	-	650,000	650,000
Loutet Park Playground Replacement	-	-	-	-	-	670,000	670,000
Fen Burdett Turf Replacement	-	-	-	-	-	1,000,000	1,000,000
Victoria Park Master Plan	-	-	-	-	-	250,000	250,000
Hemlock Looper MothTree Removal and Restoration	150,000	150,000	150,000	-	-	-	450,000
Park specific program	205,000	205,000	320,000	120,000	45,000	225,000	1,120,000
<b>Equipment</b>							
General Equipment and Veh/Pool Replacement	661,451	934,086	584,337	1,104,512	414,256	2,134,080	5,832,722
Information Technology Projects	943,600	1,314,000	1,860,600	1,179,700	1,661,000	2,798,322	9,757,222
Replacement Towing Trailers - Operations	35,000	-	-	-	-	-	35,000
<b>Streets, Traffic and Transportation</b>							
Traffic Signal System Upgrades	370,000	320,000	300,000	500,000	500,000	2,500,000	4,490,000
City-Wide LED Streetlight Upgrade	250,000	-	-	-	-	-	250,000
Traffic Signal LED Replacement	-	300,000	-	-	-	-	300,000
Street Light and Traffic Signal Aging Pole Replacement	50,000	50,000	50,000	50,000	50,000	250,000	500,000
Traffic Signal Pre-Emption for Fire Emergency Vehicles	80,000	80,000	80,000	80,000	80,000	400,000	800,000
Street Lighting Central Management System	-	-	-	100,000	-	-	100,000
Carson Graham School Area Active Transportation Improvements	-	500,000	1,725,000	900,000	-	-	3,125,000
Active and Safe Routes to School	-	150,000	150,000	150,000	150,000	250,000	850,000
Public Realm Improvements	50,000	135,000	50,000	50,000	50,000	335,000	670,000
Living City Tree Program	120,000	280,000	200,000	120,000	120,000	600,000	1,440,000
Public Realm Accessibility Improvements	20,000	20,000	20,000	20,000	20,000	100,000	200,000
Transit Improvement Program	64,493	67,500	67,500	67,500	67,500	337,500	671,993
Marine Drive Bridge Replacement over Mackay Creek	-	-	-	-	1,262,500	-	1,262,500
Lynn Creek Bridge at Cotton Road - Widening and Replacement	-	-	-	-	-	1,500,000	1,500,000
Sidewalks - Infill and Reconstruction	-	250,000	200,000	200,000	250,000	1,250,000	2,150,000
Pavement Management: Streets & Lanes	-	-	-	387,091	427,349	-	814,440

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### Block and Other projects

Ongoing Programs	726,963	741,963	741,963	741,963	766,963	3,869,814	7,589,629
Other Projects	1,662,000	1,328,000	2,053,000	1,696,000	1,645,000	5,287,000	13,671,000

#### DCC Transportation project

Marine Drive Bridge Replacement over Mackay Creek - DCC					687,500	-	687,500
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<b>Total expended</b>	<b>\$</b>	<b>7,675,575</b>	<b>\$</b>	<b>9,351,046</b>	<b>\$</b>	<b>11,966,885</b>	<b>\$</b>	<b>13,126,438</b>	<b>\$</b>	<b>9,948,375</b>	<b>\$</b>	<b>27,385,543</b>	<b>\$</b>	<b>79,453,862</b>
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<b>Unallocated Annual Funding Excess(Shortfall)</b>	<b>\$</b>	<b>8,471,245</b>	<b>\$</b>	<b>(1,328,746)</b>	<b>\$</b>	<b>(2,819,585)</b>	<b>\$</b>	<b>(4,094,138)</b>	<b>\$</b>	<b>333,925</b>	<b>\$</b>	<b>30,330,956</b>	<b>\$</b>	<b>30,893,657</b>
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<b>Closing Balance</b>	<b>\$</b>	<b>8,471,245</b>	<b>\$</b>	<b>7,142,499</b>	<b>\$</b>	<b>4,322,914</b>	<b>\$</b>	<b>2,228,776</b>	<b>\$</b>	<b>2,562,701</b>	<b>\$</b>	<b>32,893,657</b>	<b>\$</b>	<b>32,893,657</b>
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## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### TAX SALE LAND PRINCIPAL

The Tax Sale Lands Fund is made up of the proceeds of sale of all lands sold by the City which originally became City property through non-payment of taxes. Most of this land came to the City in the 1930's, during the Great Depression. The balance in the Tax Sale Land reserve is used to invest in projects that have a prospective rate of return equal to or greater than the City's benchmark rate of return; to invest in infrastructure and land management, in order to enhance the marketability and increase the value of marketed lands, or to invest in the purchase of land assets to be held by the City. By long-standing Council policy, Tax Sale Land principal is not used to fund depreciable assets such as civic buildings, infrastructure or equipment.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 31,423,659</b>	<b>27,923,659</b>	<b>\$ 21,440,792</b>	<b>\$ 40,703,945</b>	<b>\$ 48,683,659</b>	<b>\$ 92,063,659</b>	<b>\$ 31,423,659</b>
<b>Proceeds of Sale:</b>							
-Land Sales	-	-	20,760,000	-	43,380,000	-	64,140,000
Internal Loan and Repayment CARHJ	-	(6,482,867)	(1,496,847)	7,979,714	-	-	-
<b>Available Balance</b>	<b>\$ 31,423,659</b>	<b>\$ 21,440,792</b>	<b>\$ 40,703,945</b>	<b>\$ 48,683,659</b>	<b>\$ 92,063,659</b>	<b>\$ 92,063,659</b>	<b>\$ 95,563,659</b>
<b>Purchases</b>							
Strategic Land Acquisition	3,500,000	-	-	-	-	-	3,500,000
	<b>\$ 3,500,000</b>	<b>-</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>3,500,000</b>
<b>Total Expenditures</b>	<b>\$ 3,500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>3,500,000</b>
<b>Closing Balance</b>	<b>\$ 27,923,659</b>	<b>\$ 21,440,792</b>	<b>\$ 40,703,945</b>	<b>\$ 48,683,659</b>	<b>\$ 92,063,659</b>	<b>\$ 92,063,659</b>	<b>\$ 92,063,659</b>

#### TAX SALE LANDS INTEREST

The previous year's earned interest of the Tax Sales Land reserve is unrestricted and is used to fund various projects. Along with the Annual Budget tax levy, this is the major unrestricted source that the City has for funding capital projects.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 362,631</b>	<b>562,631</b>	<b>1,274,799</b>	<b>367,173</b>	<b>-</b>	<b>\$ 1</b>	<b>\$ 2,567,236</b>
Interest from TSLP		712,168	592,373	745,737	1,072,651	10,527,079	13,650,008
Interest for the year	700,000					-	700,000
<b>Available Balance</b>	<b>1,062,631</b>	<b>1,274,799</b>	<b>1,867,173</b>	<b>1,112,909</b>	<b>1,072,651</b>	<b>10,527,081</b>	<b>16,917,244</b>
<b>Withdrawals</b>							
<b>Equipment</b>							
Information Technology Projects						3,027,078	3,027,078
	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>3,027,078</b>	<b>\$ 3,027,078</b>
<b>Streets and Transportation</b>							
Pavement Management: Streets & Lanes	500,000	-	1,500,000	1,112,909	1,072,651	7,500,000	11,685,560
	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ 1,500,000</b>	<b>\$ 1,112,909</b>	<b>\$ 1,072,651</b>	<b>\$ 7,500,000</b>	<b>\$ 11,685,560</b>
<b>Total Expended</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ 1,500,000</b>	<b>\$ 1,112,909</b>	<b>\$ 1,072,651</b>	<b>\$ 10,527,078</b>	<b>\$ 14,712,638</b>
<b>Closing Balance</b>	<b>\$ 562,631</b>	<b>\$ 1,274,799</b>	<b>\$ 367,173</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 3</b>	<b>\$ 2,204,606</b>

# 2022-2031 CAPITAL PLAN

## RESERVES AND OTHER FUNDING

### CIVIC AMENITY

The City also owns land that was acquired through purchase, i.e., not through tax defaults. Such property is considered as being a non-Tax Sale land property. The proceeds of sale are placed in the City Amenity fund. The CAF is specifically dedicated to fund capital projects which will enhance the use and enjoyment of the City by members of the public, such as parks, recreation centers, libraries, plazas, and other community amenities.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ 5,640,383	4,809,679	\$ 4,451,660	\$ 1,648,804	\$ 188,803	\$ 22,777,654	\$ 5,640,383
Contributions:							
- CAC estimate		4,800,000	4,800,000	4,800,000	4,800,000	24,000,000	43,200,000
- Land sales		-	6,920,000	-	21,840,000	-	28,760,000
- Centennial Seat Surcharge		35,000	35,000	35,000	35,000	175,000	315,000
- Shipyards Dev Ltd	382,396	382,396				-	764,791
Repayment of MFA Debt (NSNH & Derek Inman Park)						(10,889,855)	(10,889,855)
Interest for the year	700,000	104,336	38,644		533,851	2,163,690	3,540,521
Available Balance	\$ 6,722,779	\$ 10,131,410	\$ 16,245,304	\$ 6,483,804	\$ 27,397,654	\$ 38,226,490	\$ 71,330,840
Withdrawals							
Parks							
1600 Eastern Avenue Park	-	-	656,500	-	-	-	656,500
Beach and Grass Volleyball	-	-	70,000	-	-	-	70,000
Construction of New Community Gardens	50,000	50,000	250,000	-	-	-	350,000
Waterfront Park Master Plan & Implementation	-	-	2,525,000	2,525,000	-	-	5,050,000
Sunrise Park Trail System Expansion	-	-	126,250	-	-	-	126,250
Casano - Loutet Trail & Habitat Improvements	-	-	400,000	-	-	-	400,000
Spirit Trail - Lynnmouth Park	-	150,000	700,000	-	-	-	850,000
Green Necklace Outdoor Fitness Equipment Stations	-	-	400,000	-	-	-	400,000
Cloverley Park Design + Construction	-	250,000	3,650,000	-	-	-	3,900,000
High Place Park Development	-	-	-	-	-	250,000	250,000
Streets and Transportation							
New Traffic Signals	865,000	950,000	1,010,000	1,000,000	1,000,000	5,000,000	9,825,000
Neighbourhood Traffic Safety and Infrastructure Improvements Program	350,000	615,000	865,000	515,000	515,000	1,950,000	4,810,000
Installation of Accessible Pedestrian Units	35,000	35,000	35,000	35,000	35,000	175,000	350,000
Pedestrian and Roadway Lighting Implementation	300,000	300,000	450,000	450,000	450,000	2,250,000	4,200,000
Upper Levels Greenway	126,250	984,750	1,388,750	-	-	-	2,499,750
New Sidewalk To Complete the Pedestrian Network	151,500	500,000	500,000	500,000	500,000	2,500,000	4,651,500
Priority Mobility Network Improvements	35,350	1,845,000	1,570,000	1,270,000	2,120,000	9,450,000	16,290,350
Total Expended	1,913,100	5,679,750	14,596,500	6,295,000	4,620,000	21,575,000	54,679,350
Closing Balance	\$ 4,809,679	\$ 4,451,660	\$ 1,648,804	\$ 188,803	\$ 22,777,654	\$ 16,651,490	\$ 16,651,490



# 2022-2031 CAPITAL PLAN

## RESERVES AND OTHER FUNDING

### CIVIC AMENITY - HARRY JEROME FUND

The CAF HJF is specifically dedicated to fund Harry Jerome Recreation Centre and Lands capital projects . In 2013, Council approved a 1% tax rate increase to be set aside for the Harry Jerome Recreation Centre project. This provided \$400,000 in annual funding for this purpose. Council approved similar increases in following years bringing the annual amount set aside for the Harry Jerome Recreation Project to \$2.6million.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance - Cash Flow</b>	<b>\$ 51,224,692</b>	<b>3,757,567</b>	<b>\$ 0</b>	<b>\$ 0</b>	<b>\$ 38,689,286</b>	<b>\$ 40,912,286</b>	<b>\$ 51,224,692</b>
Contributions:	5,421,000						
- Amenity Levy	2,600,000	2,600,000	2,600,000	2,600,000	2,600,000	13,000,000	26,000,000
- HJNL Land Sale	-	-	-	50,000,000	-	-	50,000,000
- Internal borrowing from TSLR	-	6,482,867	1,496,847	(7,979,714)	-	-	-
- Internal borrowing from GCR	2,000,000	-	-	(2,000,000)	-	-	-
- Short-term Debt	109,000,000	-	-	-	-	-	109,000,000
- Cost of Borrowing - Short-term	(625,000)	(1,250,000)	(1,250,000)	(625,000)	-	-	(3,750,000)
- Parking Reserve	507,915						507,915
- Waiver of Building Permit Fees	1,300,000	-	-	-	-	-	1,300,000
<b>Available Balance</b>	<b>\$ 171,428,607</b>	<b>\$ 11,590,434</b>	<b>\$ 2,846,847</b>	<b>\$ 41,995,286</b>	<b>\$ 41,289,286</b>	<b>\$ 53,912,286</b>	<b>\$ 234,282,607</b>
<b>Withdrawals</b>							
Harry Jerome Community Recreation Centre	148,947,149	10,059,881	1,489,022	-	-	-	160,496,052
Mickey McDougall Feasibility Study & Building Upgrades	-	-	901,410	377,000	377,000	377,000	2,032,410
Silver Harbour Seniors Activity Centre	18,723,891	1,379,053	254,415	-	-	-	20,357,359
New Community Park - Harry Jerome Neighbourhood Lands	-	151,500	202,000	2,929,000	-	-	3,282,500
						-	-
<b>Total Expended</b>	<b>167,671,040</b>	<b>11,590,434</b>	<b>2,846,847</b>	<b>3,306,000</b>	<b>377,000</b>	<b>377,000</b>	<b>186,168,321</b>
<b>Closing Balance</b>	<b>\$ 3,757,567</b>	<b>\$ 0</b>	<b>\$ 0</b>	<b>\$ 38,689,286</b>	<b>\$ 40,912,286</b>	<b>\$ 53,535,286</b>	<b>\$ 48,114,286</b>

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### INFRASTRUCTURE

The Infrastructure Reserve funds engineering infrastructure replacement projects such as those included in the category "Structures". A long term goal for the fund would be to more closely match the amount transferred each year to this reserve from the annual budget with the City's infrastructure maintenance requirements. This would be achievable only over many years, because the value of the required infrastructure reinvestment is high.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	\$ -	-	\$ -	\$ -	\$ -	-	-
Gas Tax	200,000	200,000	200,000	200,000	200,000	1,000,000	2,000,000
MRN Capital	300,000	300,000	300,000	300,000	300,000	1,500,000	3,000,000
Interest for the year						-	-
<b>Available Balance</b>	\$ 500,000	500,000	\$ 500,000	\$ 500,000	\$ 500,000	\$ 2,500,000	\$ 5,000,000
<b>Withdrawals</b>							
Pavement Management: Streets & Lanes	500,000	500,000	500,000	500,000	500,000	2,500,000	5,000,000
<b>Total Expended</b>	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000	\$ 2,500,000	\$ 5,000,000
<b>Closing Balance</b>	\$ -	-	\$ -	\$ -	\$ -	-	-

#### SUSTAINABLE TRANSPORTATION

Created in 2008, The Sustainable Transportation Reserve Fund sets aside funding for the implementation of sustainable transportation initiatives included in the City's Transportation Plan.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	\$ 48,007	-	\$ -	\$ -	\$ -	-	48,007
<b>Contributions:</b>							
- Annual	87,500	87,500	87,500	87,500	87,500	437,500	875,000
Interest for the year						-	-
	\$ 135,507	\$ 87,500	\$ 87,500	\$ 87,500	\$ 87,500	\$ 437,500	\$ 923,007
<b>Withdrawals</b>							
Transit Improvement Program	135,507	87,500	87,500	87,500	87,500	437,500	923,007
<b>Total expended</b>	\$ 135,507	\$ 87,500	\$ 87,500	\$ 87,500	\$ 87,500	\$ 437,500	\$ 923,007
<b>Closing Balance</b>	\$ -	-	\$ -	\$ -	\$ -	-	-

#### AFFORDABLE HOUSING

The Affordable Housing Reserve had been funded by a contribution from taxes collected set at \$260,000 per year - this was suspended once the reserve fund balance exceeded \$2.5M. As of the adoption of the revised Community Benefits Policy in 2015, the reserve is funded by a 20% allocation of the Community Benefit Cash Contributions received by the City. The fund is to be used for the provision of new non-market and special needs housing units.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	\$ 6,595,239	2,939,239	\$ 3,719,780	\$ 4,687,859	\$ 5,824,368	\$ 6,988,152	\$ 6,595,239
<b>Contributions:</b>							
- Levy		1,200,000	1,200,000	1,200,000	1,200,000	6,000,000	10,800,000
Interest for the year		87,182	109,872	136,509	163,785	1,251,537	1,748,885
<b>Available Balance</b>	\$ 6,595,239	4,226,421	\$ 5,029,652	\$ 6,024,368	\$ 7,188,152	\$ 14,239,689	\$ 19,144,123
<b>Withdrawals</b>							
Affordable Housing Reserve	560,000	200,000	200,000	200,000	200,000	1,000,000	2,360,000
North Shore Neighbourhood House Site Development Preparation	3,021,000	167,617	-	-	-	-	3,188,617
Supporting Affordable Housing Supply and Delivery	75,000	139,024	141,793	-	-	-	355,817
<b>Total expended</b>	\$ 3,656,000	506,641	\$ 341,793	\$ 200,000	\$ 200,000	\$ 1,000,000	\$ 5,904,434
<b>Closing Balance</b>	\$ 2,939,239	\$ 3,719,780	\$ 4,687,859	\$ 5,824,368	\$ 6,988,152	\$ 13,239,689	\$ 13,239,689

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### FIRE EQUIPMENT

Used for fire equipment, and replacement and upgrades.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 1,787</b>	<b>(0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ 1,787</b>
Contributions:							
- Budgeted	\$ 268,213	\$ 615,000	\$ 90,000	\$ 805,000	\$ 155,000	3,470,000	5,403,213
Interest for the year						-	-
<b>Available Balance</b>	<b>\$ 270,000</b>	<b>\$ 615,000</b>	<b>\$ 90,000</b>	<b>\$ 805,000</b>	<b>\$ 155,000</b>	<b>\$ 3,470,000</b>	<b>\$ 5,405,000</b>
<b>Withdrawals</b>							
Fire Equipment Replacement Program	\$ 235,000	615,000	90,000	770,000	155,000	3,400,000	5,265,000
Health and Wellness Initiative	\$ 35,000	-	-	35,000	-	70,000	140,000
<b>Closing Balance</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>

#### COMPUTER EQUIPMENT

Used for computer equipment replacement and upgrades.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 57,096</b>	<b>7,096</b>	<b>\$ 7,778</b>	<b>\$ 8,477</b>	<b>\$ 9,192</b>	<b>\$ 9,925</b>	<b>\$ 57,096</b>
Contributions:							
- Budgeted		500	500	500	500	2,500	4,500
Interest for the year		182	199	215	233	1,435	2,264
<b>Available Balance</b>	<b>\$ 57,096</b>	<b>7,778</b>	<b>\$ 8,477</b>	<b>\$ 9,192</b>	<b>\$ 9,925</b>	<b>\$ 13,860</b>	<b>\$ 63,860</b>
<b>Withdrawals</b>							
User Device Replacements	50,000					-	50,000
<b>Closing Balance</b>	<b>\$ 7,096</b>	<b>\$ 7,778</b>	<b>\$ 8,477</b>	<b>\$ 9,192</b>	<b>\$ 9,925</b>	<b>\$ 13,860</b>	<b>\$ 13,860</b>

#### ENGINEERING EQUIPMENT

Used for engineering equipment and vehicle replacement. Engineering has a fleet of several vehicles. Contributions to the Reserve are based on the hourly rates charged to the different projects and programs using the vehicles.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 2,348,231</b>	<b>1,903,231</b>	<b>\$ 1,426,669</b>	<b>\$ 1,327,789</b>	<b>\$ 1,078,055</b>	<b>\$ 1,365,049</b>	<b>\$ 2,348,231</b>
Contributions:							
- Budgeted	400,000	400,000	430,000	430,000	460,000	3,294,890	5,414,890
Interest for the year		33,438	31,120	25,267	31,993	48,061	169,879
<b>Available Balance</b>	<b>\$ 2,748,231</b>	<b>2,336,669</b>	<b>\$ 1,887,789</b>	<b>\$ 1,783,055</b>	<b>\$ 1,570,049</b>	<b>\$ 4,708,000</b>	<b>\$ 7,933,000</b>
<b>Withdrawals</b>							
Engineering, Parks and Environment Operations Vehicle/Equipment Replacement Program	845,000	910,000	560,000	705,000	205,000	4,708,000	7,933,000
<b>Closing Balance</b>	<b>\$ 1,903,231</b>	<b>\$ 1,426,669</b>	<b>\$ 1,327,789</b>	<b>\$ 1,078,055</b>	<b>\$ 1,365,049</b>	<b>\$ 0</b>	<b>\$ 0</b>

#### LOCAL AREA SERVICES

Local Area Services (LAS) Projects, formerly called Local Improvement Projects, are jointly funded by the City and the benefiting property owner. The Community Charter requires that LAS Reserve funds be used only to fund the city share of new local area services projects.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 500,000</b>	<b>(0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ 500,000</b>
Contributions:							
Interest for the year		(0)	(0)	(0)	(0)	(0)	(0)
<b>Available Balance</b>	<b>\$ 500,000</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ 500,000</b>
<b>Withdrawals</b>							
Provision for Local Area Services - City Share	500,000	-	-	-	-	-	500,000
<b>Closing Balance</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### PARKS DCC

The Parks DCC fund can only be used to fund the purchase of parkland and certain specific parks improvements. DCC's in general are to be used to create capital works required due to growth, therefore the City plans to use these funds to provide parks and improvements in areas impacted by growth.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 15,624,862</b>	<b>7,978,099</b>	<b>\$ 8,155,493</b>	<b>\$ 4,622,329</b>	<b>\$ 538,961</b>	<b>\$ 1,217,496</b>	<b>\$ 15,624,862</b>
Contributions:							
- Levy	600,000	600,000	600,000	650,000	650,000	3,700,000	6,800,000
Repayment from Transportation DCC	600,000	500,000	560,000	600,000	-	1,100,000	3,360,000
Interest for the year	186,987	191,144	108,336	12,632	28,535	545,985	1,073,619
<b>Available Balance</b>	<b>\$ 17,011,849</b>	<b>\$ 9,269,243</b>	<b>\$ 9,423,829</b>	<b>\$ 5,884,961</b>	<b>\$ 1,217,496</b>	<b>\$ 6,563,481</b>	<b>\$ 26,858,481</b>
<b>Withdrawals</b>							
Provision for Park Acquisition	8,910,000	-	-	-	-	-	8,910,000
1600 Eastern Avenue Park - DCC	-	-	643,500	-	-	-	643,500
Waterfront Park Master Plan & Implementation - DCC	-	-	2,475,000	2,475,000	-	-	4,950,000
New Community Park - Harry Jerome Neighbourhood Lands - DCC	-	148,500	198,000	2,871,000	-	-	3,217,500
Upper Levels Greenways - DCC	123,750	965,250	1,361,250	-	-	-	2,450,250
Sunrise Park Trail System Expansion - DCC	-	-	123,750	-	-	-	123,750
<b>Total Expended</b>	<b>\$ 9,033,750</b>	<b>1,113,750</b>	<b>\$ 4,801,500</b>	<b>\$ 5,346,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 20,295,000</b>
<b>Closing Balance</b>	<b>\$ 7,978,099</b>	<b>8,155,493</b>	<b>\$ 4,622,329</b>	<b>\$ 538,961</b>	<b>\$ 1,217,496</b>	<b>\$ 6,563,481</b>	<b>\$ 6,563,481</b>

#### TRANSPORTATION DCC

Transportation DCC's are to be used for transportation projects required due to growth.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 283,192</b>	<b>42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 283,192</b>
Levy	500,000	500,000	560,000	600,000	550,000	2,750,000	5,460,000
Repayment to Parks DCC	(600,000)	(500,000)	(560,000)	(600,000)	-	(1,100,000)	(3,360,000)
<b>Available Balance</b>	<b>\$ 183,192</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 550,042</b>	<b>\$ 1,650,042</b>	<b>\$ 2,383,192</b>
<b>Withdrawals</b>							
New Sidewalk To Complete the Pedestrian Network - DCC	148,500	-	-	-	-	-	148,500
Priority Mobility Network Improvements - DCC	34,650	-	-	-	-	-	34,650
Marine Drive Bridge Replacement over Mackay Creek - DCC	-	-	-	-	550,000	-	550,000
<b>Closing Balance</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 42</b>	<b>\$ 1,650,042</b>	<b>\$ 1,650,042</b>

#### PUBLIC ART

This reserve is funded by a contribution from taxes collected, currently set at \$85,000 annually. It is used to fund public art projects as recommended to Council by the Public Art program Steering Committee.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 309,424</b>	<b>309,424</b>	<b>\$ 316,850</b>	<b>\$ 324,455</b>	<b>\$ 332,242</b>	<b>\$ 340,216</b>	<b>\$ 309,424</b>
Contributions:							
- Budgeted	85,000	85,000	85,000	85,000	85,000	425,000	850,000
Interest for the year		7,426	7,604	7,787	7,974	42,833	73,624
<b>Available Balance</b>	<b>\$ 394,424</b>	<b>401,850</b>	<b>\$ 409,455</b>	<b>\$ 417,242</b>	<b>\$ 425,216</b>	<b>\$ 808,049</b>	<b>\$ 1,233,049</b>
<b>Withdrawals</b>							
Public Art Civic Program	85,000	85,000	85,000	85,000	85,000	425,000	850,000
<b>Total expended</b>	<b>\$ 85,000</b>	<b>\$ 85,000</b>	<b>\$ 85,000</b>	<b>\$ 85,000</b>	<b>\$ 85,000</b>	<b>\$ 425,000</b>	<b>\$ 850,000</b>
<b>Closing Balance</b>	<b>\$ 309,424</b>	<b>\$ 316,850</b>	<b>\$ 324,455</b>	<b>\$ 332,242</b>	<b>\$ 340,216</b>	<b>\$ 383,049</b>	<b>\$ 383,049</b>



## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### CEMETERY DEVELOPMENT

The Cemetery Development Fund is a non-statutory reserve which is used to fund capital improvement projects in the city's cemetery. It is generally funded by net cemetery revenues. In 2004, the Cemetery Fund also received a contribution of \$954,000 from the GVRD because of the impact of the Region's watermain project on the cemetery

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 1,189,560</b>	<b>889,560</b>	<b>\$ 910,910</b>	<b>\$ 932,771</b>	<b>\$ 955,158</b>	<b>\$ 978,082</b>	<b>\$ 1,189,560</b>
Contributions:							
Interest for the year		21,349	21,862	22,386.51	22,924	123,140	211,662
<b>Available Balance</b>	<b>\$ 1,189,560</b>	<b>910,910</b>	<b>\$ 932,771</b>	<b>\$ 955,158</b>	<b>\$ 978,082</b>	<b>\$ 1,101,222</b>	<b>\$ 1,401,222</b>
<b>Withdrawals</b>							
City Cemetery Program	300,000	-	-	-	-	-	300,000
<b>Closing Balance</b>	<b>\$ 889,560</b>	<b>\$ 910,910</b>	<b>\$ 932,771</b>	<b>\$ 955,158</b>	<b>\$ 978,082</b>	<b>\$ 1,101,222</b>	<b>\$ 1,101,222</b>

#### CARBON FUND

The Carbon Fund is to be used for greenhouse gas emissions reducing initiatives within the City of North Vancouver, such as sustainable transportation initiatives, building energy retrofits, solar hot water, geo-exchange, fleet conversion, urban forestry and other emissions-reducing improvements. Funding is provided by an annual budget contribution as well as the Climate Action Revenue Incentive Program (CARIP), discontinued in 2021.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ -</b>	<b>-</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>-</b>
Contributions:							
Annual Budget	65,000	65,000	65,000	65,000	65,000	325,001	650,001
<b>Available Balance</b>	<b>\$ 65,000</b>	<b>65,000</b>	<b>\$ 65,000</b>	<b>\$ 65,000</b>	<b>\$ 65,000</b>	<b>\$ 325,001</b>	<b>\$ 650,001</b>
<b>Withdrawals</b>							
Greening the Community Building Sector	65,000	65,000	65,000	65,000	65,000	325,000	650,000
<b>Closing Balance</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1</b>	<b>\$ 1</b>

#### LOWER LONSDALE AMENITY

The LLAf was originally created to set aside funds from non-Tax Sale land or density transfer in Lower Lonsdale. Funding from this source was to be used with respect to capital projects in the Lower Lonsdale area relating to the provision of affordable and adaptable rental housing, a community arts gallery, a photographic and media arts gallery, a museum, a 150-200 seat theatre, a multi-purpose activity centre, and other Lower Lonsdale amenities. In 2011, Council adopted a bylaw that requires all land sales to be consolidated into one reserve, the Civic Amenity Reserve Fund. While no new funding will be set aside in the LLAf, funds that are in place will be used toward the construction of Lower Lonsdale amenities as it was originally intended.

	2022	2023	2024	2025	2026	2027-2031	Total
<b>Opening Balance</b>	<b>\$ 8,877</b>	<b>8,877</b>	<b>\$ 9,090</b>	<b>\$ 9,308</b>	<b>\$ 9,531</b>	<b>\$ 9,759</b>	<b>\$ 8,877</b>
Contributions:							
Interest for the year		213	218	223	229	234	1,854
<b>Available Balance</b>	<b>\$ 8,877</b>	<b>9,090</b>	<b>\$ 9,308</b>	<b>\$ 9,531</b>	<b>\$ 9,760</b>	<b>\$ 9,993</b>	<b>\$ 10,732</b>
<b>Withdrawals</b>							
<b>Total Expended</b>	<b>\$ -</b>	<b>-</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>-</b>
<b>Closing Balance</b>	<b>8,877</b>	<b>9,090</b>	<b>9,308</b>	<b>9,531</b>	<b>9,759</b>	<b>9,993</b>	<b>10,731</b>

This reserve originally aimed to set aside proceeds from land sales of non-Tax Sale properties in the Marine Drive area for the purpose of funding projects in the area. In 2011, Council adopted a bylaw that requires all land sales to be consolidated into one reserve, the Civic Amenity Reserve Fund. While no new funding will be set aside in this reserve, funds that are in place will be used toward projects in the Marine Drive area.

	2022	2023	2024	2025	2026	2026-2030	Total
<b>Opening Balance</b>	<b>\$ (0)</b>	<b>(0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>(0)</b>
Contributions:							
Interest for the year							
<b>Available Balance</b>	<b>\$ (0)</b>	<b>(0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>\$ (0)</b>	<b>(0)</b>
<b>Withdrawals</b>							

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### GENERAL BUILDING

The General Building Reserve is used for capital building maintenance, renovation, and building replacement. The City owns in excess of \$100m in buildings. The GB reserve was established in 1995 to begin the process of setting aside sufficient funds to replace these buildings as required.

	2022	2023	2024	2025	2026	2026-2030	Total
Opening Balance	\$ 40,600	0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 40,600
Contributions:							
- Budgeted							-
Interest for the year		0	0	0	0	0	0
Available Balance	\$ 40,600	0	\$ 0	\$ 0	\$ 0	\$ 0	\$ 40,600
Withdrawals							
Capital Maintenance	40,600					-	40,600
Total Expended	\$ 40,600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,600
Closing Balance	\$ 0	0	\$ 0	\$ 0	\$ 0	\$ 0	0

#### JUSTICE ADMINISTRATION BUILDING

The Justice Administration Building Reserve is used for capital building maintenance, renovation, and replacement of the Gerry Brewer Building. Because the Justice Administration (Gerry Brewer) Building is co-owned with the District of North Vancouver, it has its own replacement reserve.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ 3,706	3,706	\$ 3,795	\$ 3,886	\$ 3,980	\$ 4,075	\$ 3,706
Contributions:							
Interest for the year		89	91	93	96	98	89
Available Balance	\$ 3,706	3,795	\$ 3,886	\$ 3,980	\$ 4,075	\$ 4,173	\$ 3,795
Withdrawals							
Total Expended	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Closing Balance	\$ 3,706	\$ 3,795	\$ 3,886	\$ 3,980	\$ 4,075	\$ 4,173	\$ 3,795

#### GENERAL EQUIPMENT

Used for general equipment and machinery replacement including office equipment, and pool and bylaw vehicles.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ -	-	\$ -	\$ -	\$ -	\$ -	-
Contributions:							
Interest for the year		-	-	-	-	-	-
Available Balance	\$ -	-	\$ -	\$ -	\$ -	\$ -	-
Withdrawals							
Total Expended	-	-	-	-	-	-	-
Closing Balance	\$ -	-	\$ -	\$ -	\$ -	\$ -	-

#### PARKING

This reserve has been funded from parking revenues from 1998-2002. Moneys in the fund and any interest thereon shall be expended for purchase, acquisition, construction, installation or improvement of new and existing off-street parking spaces.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ 507,915	-	\$ -	\$ -	\$ -	\$ -	\$ 507,915
Contributions:							
HJCRC	(507,915)						-
Interest for the year		-	-	-	-	-	-
Available Balance	\$ -	-	\$ -	\$ -	\$ -	\$ -	\$ 507,915
Withdrawals							
Total Expended	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-
Closing Balance	\$ -	-	\$ -	\$ -	\$ -	\$ -	\$ 507,915

## 2022-2031 CAPITAL PLAN

### RESERVES AND OTHER FUNDING

#### OTHER FUNDING SOURCES

##### CHILD CARE CAPITAL IMPROVEMENT

The Child Care Capital Improvement Fund is a non-statutory reserve used to provide grants to child care services in the City. It was created in 1997 with a \$150,000 sale of density transfer from the old library site to a developers. Over the years, it has provided grants to Heywood House, St. Andrew's Daycare, Mahon Park Child Care, North Shore Neighbourhood House and Lonsdale Creek Daycare.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ 9,323	-	\$ -	\$ -	\$ -	\$ -	9,323
Contributions:							
Available Balance	\$ 9,323	-	\$ -	\$ -	\$ -	\$ -	9,323
Child Care Capital Improvement Fund	9,323	-	-	-	-	-	9,323
Closing Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	-

##### HERITAGE RESERVE

The Heritage Reserve Fund was established in 1994 and received additional funding from the sale of Hammersley House in 1998. The purpose of the Reserve Fund is to fund projects on an as-needed basis that support the City's Heritage Program and goals in the Official Community Plan related to the conservation of heritage resources on the Heritage Register.

	2022	2023	2024	2025	2026	2027-2031	Total
Opening Balance	\$ 92,053	2,494	\$ 2,494	\$ 2,494	\$ 2,494	\$ 2,494	92,053
Contributions:							
Interest for the year							
Available Balance	\$ 92,053	2,494	\$ 2,494	\$ 2,494	\$ 2,494	\$ 2,494	92,053
Withdrawals							
Heritage Reserve Fund	89,559	-	-	-	-	-	89,559
Closing Balance	\$ 2,494	\$ 2,494	\$ 2,494	\$ 2,494	\$ 2,494	\$ 2,494	2,494



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**CEMETERY REVENUES**

Division of Engineering, Parks &amp; Environment

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>CEMETERY DIVISION</b>				
Cemetery Administration	1330	353,517	360,074	6,557
Filming Admin - Cemetery	1360	5,000	5,000	0
Total Cemetery Division Expenses		358,517	365,074	6,557
<b>Total Cemetery Expenses</b>		<b>358,517</b>	<b>365,074</b>	<b>6,557</b>

**CEMETERY EXPENSES**

Division of Engineering, Parks &amp; Environment

Programs		2021 Annual Budget	2022 Annual Budget	Variance 2022 Annual to 2021 Annual
<b>CEMETERY DIVISION</b>				
Cemetery Administration	1330	120,899	127,456	6,557
Cemetery Advisory Committee	2860	1,000	1,000	0
Cemetery Operations	5020	236,618	236,618	0
Total Cemetery Division Revenues		357,517	364,074	6,557
<b>Total Cemetery Revenues</b>		<b>357,517</b>	<b>364,074</b>	<b>6,557</b>