



**AGENDA FOR THE REGULAR MEETING OF COUNCIL TO
COMMENCE AT 6:00 PM, IN THE COUNCIL CHAMBER, CITY
HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, OCTOBER 7, 2019**

**MONDAY, OCTOBER 7, 2019
COUNCIL MEETING – 6:00 PM**

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, October 7, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, September 16, 2019

PROCLAMATIONS

World Mental Health Day – October 10, 2019

Homelessness Action Week – October 13 to 19, 2019

Feral Cat Day – October 16, 2019

Canadian Library Month – October 2019

PUBLIC INPUT PERIOD

CONSENT AGENDA

Items *3, *4 and *5 are listed in the Consent Agenda and may be considered separately or in one motion.

BYLAWS – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715”
(1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)
- *4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728”
(Morez Design Inc., 2205 St. Andrews Avenue, RT-1)

REPORT

- *5. Community Resiliency Investment Program Grant Opportunity



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BYLAWS – ADOPTION

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718”
(Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131
Text Amendment)
7. “City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575,
Amendment Bylaw, 2019, No. 8730”

DELEGATION

Jerry Silva, President, 6 Field Engineer Squadron Museum Association
(6 FESMA) – Information Sharing

Item 8 refers.

CORRESPONDENCE

8. Jerry Silva, President, 6 Field Engineer Squadron Museum Association
(6 FESMA) – Information Sharing, August 19, 2019

DELEGATION

Heather Drugge, Municipal Liaison, HUB Cycling, North Shore Committee
– North Vancouver Bicycle Master Plan

Item 9 refers.

CORRESPONDENCE

9. Heather Drugge, Municipal Liaison, HUB Cycling, North Shore Committee
– North Vancouver Bicycle Master Plan, September 30, 2019
10. 2019 Climate Leaders Institute, November 7 and 8, 2019
11. CivX 2019: Civil Ideas for Less Civil Times, November 28, 2019

REPORT

12. 2020 Permissive Tax Exemptions

Item 13 refers.

BYLAW – FIRST, SECOND AND THIRD READINGS

13. “Taxation Exemption Bylaw, 2019, No. 8713”



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REPORTS

14. Union of BC Municipalities (UBCM) Funding Application – Housing Needs Reports Program
15. Public Elementary School Playground Enhancements – Revised Policy
16. Options for Child Minding During Council Meetings
17. Rezoning Application: 730 Westmoreland Crescent (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.)

Item 18 refers.

BYLAW – FIRST AND SECOND READINGS

18. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent)

REPORTS

19. Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre
20. Preliminary Direction: Official Community Plan and Zoning Bylaw Amendments for 402-438 East 3rd Street and 341-343 St. David’s Avenue
21. Rezoning Application: 339 East 13th Street (Hearth Architectural Inc., CD-720)

Item 22 refers.

BYLAW – FIRST AND SECOND READINGS

22. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Hearth Architectural Inc., 339 East 13th Street, CD-720)

REPORT

23. Lane Beautification: Esplanade to Carrie Cates Court Project – Funding Reallocation



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COUNCIL REPORT

Each Council member is permitted 5 minutes to report on their activities.

PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

ADJOURN



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CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, October 7, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, September 16, 2019

PROCLAMATIONS

World Mental Health Day – October 10, 2019

Homelessness Action Week – October 13 to 19, 2019

Feral Cat Day – October 16, 2019

Canadian Library Month – October 2019

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.”

The time allotted for each speaker appearing before Council during the Public Input Period is two minutes, with the number of speakers set at five persons. Speakers’ presentations will be audio and video recorded, as well as live-streamed on the Internet, and will form part of the public record.

To make a submission to Council during the Public Input Period, a person must complete the Public Input Period sign-up sheet at City Hall prior to the Regular Council Meeting. A person who fails to complete, or only partially completes, the Public Input Period sign-up sheet will not be permitted to make a submission to Council during the Public Input Period. The sign-up sheet will be available on the table in the lobby outside the Council Chamber from 5:30 pm until 5:55 pm before a Council meeting.

When appearing before Council, speakers are requested to state their name and address for the record. Speakers may display materials on the document camera at the podium in the Council Chamber and provide written materials to the City Clerk for distribution to Council, only if these materials have been provided to the City Clerk by 4:00 pm on the date of the meeting.

The Public Input Period provides an opportunity for input only, without the expectation of a response from Council, and places the speaker’s concern on record.

Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items as listed in section 12.25(2).

Speakers are requested not to address matters that refer to items from a concluded Public Hearing/Public Meeting and to Public Hearings, Public Meetings and Committee meetings when those matters are scheduled on the same evening’s agenda and an opportunity for public input is provided when the particular item comes forward for discussion.

Please address the Mayor as “Mayor, followed by his/her surname” or “Your Worship”. Councillors should be addressed as “Councillor, followed by their surname”.



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CONSENT AGENDA

Items *3, *4 and *5 are listed in the Consent Agenda and may be considered separately or in one motion.

RECOMMENDATION:

THAT the recommendations listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAWS – ADOPTION

- *3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715”
(1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715”
(1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)
be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

- *4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728”
(Morez Design Inc., 2205 St. Andrews Avenue, RT-1)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728”
(Morez Design Inc., 2205 St. Andrews Avenue, RT-1) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.



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CONSENT AGENDA – Continued

REPORT

- *5. Community Resiliency Investment Program Grant Opportunity
– File: 12-6300-01-0001/2019

Report: Manager, Parks and Environment, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Manager, Parks and Environment, dated September 25, 2019, entitled “Community Resiliency Investment Program Grant Opportunity”:

THAT staff be directed to submit a grant application for \$25,000 to the 2020 Community Resiliency Investment Program to fund the preparation of a Community Wildfire Protection Plan.

END OF CONSENT AGENDA

BYLAWS – ADOPTION

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718”
(Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

7. “City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575, Amendment Bylaw, 2019, No. 8730”

RECOMMENDATION:

THAT “City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575, Amendment Bylaw, 2019, No. 8730” be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.



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DELEGATION

Jerry Silva, President, 6 Field Engineer Squadron Museum Association
(6 FESMA)

Re: Information Sharing

Item 8 refers.

CORRESPONDENCE

8. Jerry Silva, President, 6 Field Engineer Squadron Museum Association
(6 FESMA), August 19, 2019 – File: 01-0230-20-0001/2019

Re: Information Sharing

RECOMMENDATION:

THAT the correspondence from Jerry Silva, President, 6 Field Engineer Squadron Museum Association (6 FESMA), dated August 19, 2019, regarding “Information Sharing”, be received with thanks.

DELEGATION

Heather Drugge, Municipal Liaison, HUB Cycling, North Shore Committee

Re: North Vancouver Bicycle Master Plan

Item 9 refers.

CORRESPONDENCE

9. Heather Drugge, Municipal Liaison, HUB Cycling, North Shore Committee,
September 30, 2019 – File: 01-0230-20-0021/2019

Re: North Vancouver Bicycle Master Plan

RECOMMENDATION:

THAT the correspondence from Heather Drugge, Municipal Liaison, HUB Cycling, North Shore Committee, dated September 30, 2019, regarding the “North Vancouver Bicycle Master Plan”, be received with thanks.



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CORRESPONDENCE – Continued

10. 2019 Climate Leaders Institute, November 7 and 8, 2019
– File: 01-0390-01-0001/2019

Re: 2019 Climate Leaders Institute, November 7 and 8, 2019, Richmond,
British Columbia

RECOMMENDATION:

PURSUANT to the correspondence received September 30, 2019, from the BC
Municipal Climate Leadership Council, regarding the “2019 Climate Leaders
Institute”:

THAT Council members be authorized to attend the 2019 Climate Leaders
Institute, to be held November 7 and 8, 2019, in Richmond, British Columbia;

THAT expenses be paid in accordance with City Policy;

AND THAT funds be provided from the Conference Education Travel Account.

11. CivX 2019: Civil Ideas for Less Civil Times, November 28, 2019
– File: 01-0390-01-0001/2019

Re: CivX 2019: Civil Ideas for Less Civil Times, November 28, 2019,
Vancouver, British Columbia

RECOMMENDATION:

PURSUANT to the correspondence received September 30, 2019, from the
Lower Mainland Local Government Association and CivicInfo BC, regarding
“CivX 2019: Civil Ideas for Less Civil Times”:

THAT Council members be authorized to attend CivX 2019: Civil Ideas for Less
Civil Times, to be held November 28, 2019, in Vancouver, British Columbia;

THAT expenses be paid in accordance with City Policy;

AND THAT funds be provided from the Conference Education Travel Account.



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REPORT

12. 2020 Permissive Tax Exemptions – File: 05-1970-07-0001/2019

Report: Revenue Accountant, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Revenue Accountant, dated September 25, 2019, entitled “2020 Permissive Tax Exemptions”:

THAT Permissive Tax Exemption Bylaw, Option 1, be endorsed;

AND THAT “Taxation Exemption Bylaw, 2019, No. 8713” be considered.

Item 13 refers.

BYLAW – FIRST, SECOND AND THIRD READINGS

13. “Taxation Exemption Bylaw, 2019, No. 8713”

RECOMMENDATION:

THAT “Taxation Exemption Bylaw, 2019, No. 8713” be given first, second and third readings.

REPORTS

14. Union of BC Municipalities (UBCM) Funding Application – Housing Needs Reports Program – File: 10-5040-03-0003/2019

Report: Planner 2, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled “Union of BC Municipalities (UBCM) Funding Application – Housing Needs Reports Program”:

THAT staff be directed to apply for the provincial funding available for the Housing Needs Reports Program, administered by UBCM, prior to the November 29, 2019 deadline.



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REPORTS – Continued

15. Public Elementary School Playground Enhancements – Revised Policy
– File: 05-1610-01-0001/2019

Report: Community Planner, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Community Planner, dated September 25, 2019, entitled “Public Elementary School Playground Enhancements – Revised Policy”:

THAT the revised Council Policy “Appropriation of Civic Amenity Reserve Fund for Public Elementary School Playground Enhancement Projects” be approved.

16. Options for Child Minding During Council Meetings – File: 10-4750-20-0033/1

Report: Community Planner, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Community Planner, dated September 25, 2019, entitled “Options for Child Minding During Council Meetings”:

THAT staff implement a 6-month trial program during 2020, comprised of:

1. Child minding at City Hall during Regular Council meetings; and
2. A subsidy to parents/guardians attending Regular Council meetings for child care costs,

and report back to Council on the program after the 6-month trial;

AND THAT staff submit this project within the early appropriation package for the 2020 budget.



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REPORTS – Continued

17. Rezoning Application: 730 Westmoreland Crescent (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.) – File: 08-3360-20-0459/1

Report: Planner 1, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated September 25, 2019, entitled “Rezoning Application: 730 Westmoreland Crescent (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent) be considered and referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government Act*.

Item 18 refers.

BYLAW – FIRST AND SECOND READINGS

18. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent) be given first and second readings.



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REPORTS

19. Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre
– File: 09-4520-20-0005/2019

Report: Development Planner, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated September 25, 2019, entitled “Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre”:

THAT Temporary Use Permit No. TUP2019-00001 to permit a sales centre at 658 East 3rd Street for a three-year term be considered and referred to a Public Meeting;

AND THAT notification be circulated in accordance with the *Local Government Act*.

20. Preliminary Direction: Official Community Plan and Zoning Bylaw Amendments for 402-438 East 3rd Street and 341-343 St. David’s Avenue – File: 08-3400-20-0005/1

Report: Planner 2, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled “Preliminary Direction: Official Community Plan and Zoning Bylaw Amendments for 402-438 East 3rd Street and 341-343 St. David’s Avenue”:

THAT staff be directed to review and process the application.

21. Rezoning Application: 339 East 13th Street (Hearth Architectural Inc., CD-720)
– File: 08-3360-20-0453/1

Report: Planner 2, September 25, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled “Rezoning Application: 339 East 13th Street (Hearth Architectural Inc., CD-720)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Hearth Architectural Inc., 339 East 13th Street, CD-720) be considered and referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government Act*.

Item 22 refers.



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BYLAW – FIRST AND SECOND READINGS

22. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Hearth Architectural Inc., 339 East 13th Street, CD-720)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Hearth Architectural Inc., 339 East 13th Street, CD-720) be given first and
second readings.

REPORT

23. Lane Beautification: Esplanade to Carrie Cates Court Project – Funding
Reallocation – File: 11-5400-06-0001/1

Report: Deputy Director, Engineering, Parks and Environment, October 3, 2019

RECOMMENDATION:

PURSUANT to the report of the Deputy Director, Engineering, Parks and
Environment, dated October 3, 2019, entitled “Lane Beautification: Esplanade to
Carrie Cates Court Project – Funding Reallocation”:

THAT \$100,000 of existing funding from Project 53228 – Keith Road
Improvements, East Grand Boulevard to Brooksbank, be reallocated to fund the
Lane Beautification, Esplanade to Carrie Cates Court Project.

COUNCIL REPORT

Each Council member is permitted 5 minutes to report on their activities.

PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for
the public to ask a question regarding process or clarification on an item on the Regular
Council Agenda. The Public Clarification Period concludes after 10 minutes and the
Regular Council Meeting reconvenes.

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

ADJOURN



MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE COUNCIL CHAMBER, CITY HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON **MONDAY, SEPTEMBER 16, 2019**

PRESENT

COUNCIL MEMBERS

Mayor L. Buchanan
Councillor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor T. Hu
Councillor J. McIlroy
Councillor T. Valente

STAFF MEMBERS

L. McCarthy, CAO
C. Baird, Deputy City Clerk
J. Peters, Assistant City Clerk
B. Pearce, Director, Strategic and Corporate Services
B. Themens, Director, Finance and Lonsdale Energy Corp.
S. Wood, Accountant, Lonsdale Energy Corp.
M. Epp, Director, Planning and Development
J. Draper, Deputy Director, Planning and Development
S. Galloway, Manager, Planning
W. Tse, Planner
M. Friesen, Planner
C. Jackson, Manager, Environment
L. Lensink, Environmental Sustainability Specialist
R. Skene, Director, Community and Partner Engagement
K. Magnusson, Deputy Director, Engineering, Parks & Environment
G. Bhayani, RCMP Superintendent
S. Fraser, Manager, Police Support Services
D. Pistilli, Fire Chief
T. Huckell, Committee Clerk

The meeting was called to order at 6:03 pm.

Mayor Buchanan introduced Superintendent Ghalib Bhayani, the new Officer in Charge for the North Vancouver RCMP detachment.

APPROVAL OF AGENDA

Moved by Councillor Girard, seconded by Councillor Hu

1. THAT the Regular Agenda of September 16, 2019 be amended by adding Items 9 and 10 – “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8665” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715) and “Housing Agreement Bylaw, 2018, No. 8666” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715, Rental Housing Commitments);

AND THAT the Agenda, as amended, be approved.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Girard, seconded by Councillor McIlroy

2. Regular Council Meeting Minutes, September 9, 2019

CARRIED UNANIMOUSLY

PROCLAMATIONS

Mayor Buchanan declared the following proclamations:

Cops for Cancer Day – September 18, 2019
Rail Safety Week – September 23 to 29, 2019
North Shore Culture Days – September 27 to 29, 2019
International Day of Older Persons – October 1, 2019
World Breastfeeding Week – October 1 to 7, 2019

PUBLIC INPUT PERIOD

- Ron Sostad, 231 East 15th Street, North Vancouver, spoke regarding social housing.
- Tony Caldwell, 2400 Chesterfield Avenue, North Vancouver, spoke regarding Harry Jerome Recreation Centre.

CONSENT AGENDA

Moved by Councillor Bell, seconded by Councillor McIlroy

THAT the recommendation listed within the “Consent Agenda” be approved.

CARRIED UNANIMOUSLY

START OF CONSENT AGENDA

*3. Recommended Museum Deaccessions #14 – File: 15-7930-01-0001/2019

Report: Director, North Vancouver Museum and Archives, August 26, 2019

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Director, North Vancouver Museum and Archives, dated August 26, 2019, entitled “Recommended Museum Deaccessions #14”:

THAT Council authorize the North Vancouver Museum and Archives (NVMA) Commission to deaccession 116 artifacts owned solely by the City of North Vancouver and one artifact jointly owned by the City and District of North Vancouver;

AND THAT all proceeds from the sale of deaccessioned materials be deposited in a Special Purpose Fund for the Commission’s use in maintaining the Museum and Archives collections and acquiring new items to augment the collections.

(CARRIED UNANIMOUSLY)

END OF CONSENT AGENDA

REPORTS

4. Provincial Engagement on CleanBC Plastics Action Plan – File: 11-5380-01-0001/2019

Report: Environmental Sustainability Specialist, September 3, 2019

Moved by Councillor Bell, seconded by Councillor McIlroy

PURSUANT to the report of the Environmental Sustainability Specialist, dated September 3, 2019, entitled “Provincial Engagement on CleanBC Plastics Action Plan”:

THAT, having considered the provincial government’s September 30, 2019 deadline to provide input into the Province’s engagement process on plastic waste reduction and the information in the report, a letter be provided from the Mayor, on behalf of Council, substantially in the form presented as Attachment #2 of the report.

CARRIED UNANIMOUSLY

5. Rezoning Application: 1420 Forbes Avenue (M. & R. Ventura / Farzin Yadegari Architect Inc.) – File: 08-3360-20-0470/1

Report: Planner 2, September 4, 2019

Moved by Councillor Girard, seconded by Councillor Hu

PURSUANT to the report of the Planner 2, dated September 4, 2019, entitled “Rezoning Application: 1420 Forbes Avenue (M. & R. Ventura / Farzin Yadegari Architect Inc.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (M. & R. Ventura / Farzin Yadegari Architect Inc., 1420 Forbes Avenue) be considered and the Public Hearing be waived;

THAT Development Variance Permit No. DVP2018-00004 be considered for issuance under Section 498 of the *Local Government Act* and the Public Meeting be waived;

AND THAT notification be circulated in accordance with the *Local Government Act*.

CARRIED UNANIMOUSLY

BYLAW – FIRST AND SECOND READINGS

6. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (M. & R. Ventura / Farzin Yadegari Architect Inc., 1420 Forbes Avenue)

Moved by Councillor Girard, seconded by Councillor Hu

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (M. & R. Ventura / Farzin Yadegari Architect Inc., 1420 Forbes Avenue) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor McIlroy, seconded by Councillor Back

THAT Items 9 and 10 be brought forward for consideration.

CARRIED UNANIMOUSLY

BYLAWS – ADOPTION

9. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8665” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715)

Moved by Councillor McIlroy, seconded by Mayor Buchanan

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8665” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

CARRIED UNANIMOUSLY

10. “Housing Agreement Bylaw, 2018, No. 8666” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715, Rental Housing Commitments)

Moved by Councillor McIlroy, seconded by Mayor Buchanan

THAT “Housing Agreement Bylaw, 2018, No. 8666” (GWL Realty Advisors / Rositch Hempill Architects, 210-230 East 2nd Street, CD-715, Rental Housing Commitments) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

CARRIED UNANIMOUSLY

PUBLIC MEETING – Lonsdale Energy Corp. Rate Review

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT the meeting recess to the Public Meeting regarding “Lonsdale Energy Corp. Rate Review”.

CARRIED UNANIMOUSLY

The meeting recessed to the Public Meeting at 6:50 pm and reconvened at 7:18 pm.

BYLAWS – THIRD READING

7. “City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575, Amendment Bylaw, 2019, No. 8730”

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT “City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575, Amendment Bylaw, 2019, No. 8730” be given third reading.

CARRIED

Councillor Back is recorded as voting contrary to the motion.

BYLAWS – THIRD READING – Continued

8. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728” (Morez Design Inc., 2205 St. Andrews Avenue, RT-1)

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728” (Morez Design Inc., 2205 St. Andrews Avenue, RT-1) be given third reading.

CARRIED UNANIMOUSLY

PUBLIC CLARIFICATION PERIOD

Mayor Buchanan declared a recess at 7:29 pm for the Public Clarification Period and reconvened the meeting immediately after.

COUNCIL INQUIRIES

Nil.

NEW ITEMS OF BUSINESS

Nil.

NOTICES OF MOTION

Nil.

ADJOURN

Moved by Councillor McIlroy, seconded by Councillor Back

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:30 pm.

“Certified Correct by the City Clerk”

CITY CLERK

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PROCLAMATION

WORLD MENTAL HEALTH DAY

- WHEREAS** World Mental Health Day is an education campaign designed to encourage people to talk about, reflect upon and engage with others on the importance of mental health and the reality of mental illness affecting nearly 1 in 5 Canadians in their lifetime; and
- WHEREAS** of the 10 leading causes of disability worldwide, 5 are mental disorders including depression, schizophrenia, bipolar disorder, substance abuse disorder and obsessive compulsive disorder; and
- WHEREAS** stigma is the number one reason people do not seek or receive treatment, experience workplace and social discrimination, and encounter barriers to recovery;
- NOW THEREFORE** I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **October 10, 2019** as **WORLD MENTAL HEALTH DAY** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, October 7, 2019

Mayor Linda Buchanan



PROCLAMATION

HOMELESSNESS ACTION WEEK

- WHEREAS** every day in our municipality there are men, women, seniors, youth, and children who do not have a place to call home; and
- WHEREAS** community action and participation are essential in addressing and eliminating issues and circumstances that contribute to homelessness; and
- WHEREAS** during Homelessness Action Week, activities and events will be offered and the community will be encouraged to learn about the many issues related to homelessness, about the community and government agencies that offer services and support for persons who are homeless, and about what each of us as citizens can do to creatively and collectively address homelessness in our communities;
- NOW THEREFORE** I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim the week of **October 13 to 19, 2019**, as **HOMELESSNESS ACTION WEEK** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, October 7, 2019

Mayor Linda Buchanan



PROCLAMATION

FERAL CAT DAY

WHEREAS

October 16th is Feral Cat Day, a day of recognition to draw attention to the millions of feral cats, born wild and living in every country and every community, including ours. These cats live in colonies outside of human contact and can become good pets only if rescued very young; and

WHEREAS

October 16th is a day to promote the most humane and effective method of reducing feral cat populations by raising public awareness of an important program called Trap / Neuter / Return or "TNR"; and

WHEREAS

the City of North Vancouver recognizes the Pacific Animal Foundation in their efforts to embrace TNR as an ethical, effective and compassionate approach to the feral cat population in the City;

NOW THEREFORE

I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **October 16, 2019** as **FERAL CAT DAY** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, October 7, 2019

Mayor Linda Buchanan



PROCLAMATION

CANADIAN LIBRARY MONTH

- WHEREAS** the City of North Vancouver is a city for people – deeply invested in the health and well-being of its residents and committed to equitable access and inclusion; and
- WHEREAS** the North Vancouver City Library and North Vancouver’s public libraries, academic libraries and school libraries add immensely to the culture, creativity and growth of North Vancouver’s citizens by promoting and supporting lifelong learning – helping people to access the information and tools they need to live, learn and work; inspiring wonder, curiosity and creativity; and promoting dialogue and understanding; and
- WHEREAS** this October, communities across Canada are celebrating the important role libraries play in enhancing the quality of life for all Canadians;
- NOW THEREFORE** I, Linda Buchanan, Mayor of the City of North Vancouver, do hereby proclaim **October 2019** as **CANADIAN LIBRARY MONTH** in the City of North Vancouver, the traditional territories of the Squamish and Tsleil-Waututh Nations.

So proclaimed on Monday, October 7, 2019

Mayor Linda Buchanan

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8715

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715” (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In the CD-454 Zone:
 - (1) Delete Section (1) and replace with:
 - (1) In addition to the Principal Uses permitted in the LL-3 Zone, the following uses shall be permitted:
 - a. Licensee Retail Store;
 - b. Maximum of one Cannabis Sales Retail Store.

READ a first time on the 24th day of June, 2019.

READ a second time on the 24th day of June, 2019.

READ a third time on the 15th day of July, 2019.

RECEIVED APPROVAL FROM THE LIQUOR
AND CANNABIS REGULATION BRANCH on
the 10th day of September, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8728

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8728**” (Morez Design Inc., 2205 St. Andrews Avenue, RT-1).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of RT-1 (Two-Unit Residential 1) Zone:

Lots	Block	D.L.	Plan	
14	208	546	5481	from RS-1

READ a first time on the 22nd day of July, 2019.

READ a second time on the 22nd day of July, 2019.

RECEIVED APPROVAL FROM THE
MINISTRY OF TRANSPORTATION ON THE
21st DAY OF August, 2019.

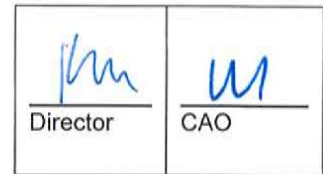
READ a third time on the 16th day of
September, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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The Corporation of **THE CITY OF NORTH VANCOUVER**
ENGINEERING, PARKS AND ENVIRONMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Mike Hunter, Manager, Parks and Environment

Subject: COMMUNITY RESILIENCY INVESTMENT PROGRAM GRANT
OPPORTUNITY

Date: September 25, 2019 File No: 12-6300-01-0001/2019

The following is a suggested recommendation only. Please refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Manager, Parks and Environment, dated September 25, 2019, entitled "Community Resiliency Investment Program Grant Opportunity":

THAT staff be directed to submit a grant application for \$25,000 to the 2020 Community Resiliency Investment Program to fund the preparation of a Community Wildfire Protection Plan.

PURPOSE:

This report seeks Council's support for the submission of a grant application to the Union of BC Municipalities' 2020 Community Resiliency Investment Program (CRIP) to fund the preparation of a Community Wildfire Protection Plan (CWPP).

BACKGROUND:

The CRIP is a relatively new provincial program intended to reduce the risk and impact of wildfire to communities in British Columbia. The CRIP is administered through the Union of BC Municipalities (UBCM) and structured to promote the implementation of FireSmart activities in BC communities. The grant program can contribute up to 100% of the cost of eligible activities, including completion of a Community Wildfire Protection Plan, to a maximum of \$25,000 per year.

The City of North Vancouver manages approximately 80 hectares of forested natural areas as part of its inventory of parks and public open space. While these areas are typically pockets of urban forest in a primarily residential setting, there are sections that connect to the contiguous forest lands on the North Shore Mountains through ravines and along utility corridors. These corridors provide important ecological linkages for fish and wildlife but also create the potential for the spread of wildfire.

The Fire Department and Parks staff work together to mitigate the fire risk in the City's forests through joint training, community education, forest management and by participating in the North Shore Wildfire Working Group, coordinated through North Shore Emergency Management. Wildland urban interface fires are a significant concern in the Districts of North and West Vancouver, and both municipalities have undertaken CWPPs and implemented actions to reduce the impacts of wildfire in their communities.

As part of the City's 2007 Urban Forest Management Plan, a preliminary wildfire fire risk assessment was completed for the City's forested parkland. The assessment at that time determined that the forest composition and topography generally presented a low to moderate risk, and that good access and proximity of fire hydrants made traditional fire suppression feasible. Some isolated areas with primarily coniferous forest directly adjacent to homes with narrow trail access would be considered a higher risk.

DISCUSSION:

Despite this past summer's more moderate temperatures, the trend in recent years has been extended periods of summer drought with the wildfire hazard index at "extreme". These conditions are impacting the health of local forests with an increasing number of native species, such as Western Red Cedar and Western Hemlock showing evidence of decline. Long-term climate projections suggest that this trend will continue, presenting an increasing risk to the sustainability of the urban forest and negative impacts from fire.

A CWPP will provide an updated assessment of the City's forest lands, associated hazard and consequences, and provide recommendation to lessen wildfire risk. In some cases, this may include recommendations to reduce forest fuels through the removal of excessive woody debris or reducing stand density in the typically dense second growth forests. While this activity reduces the risk of wildfire, it can also provide an opportunity to accelerate the natural process of forest succession, increasing biodiversity and ecosystem function.

Wildfires are ignited by both natural causes such as lightning, or by humans such as careless smoking habits, campfires, BBQ fires or house fires that spread to the nearby forest. Other anticipated recommendations in the CWPP may include the designation of a Wildfire Development Permit Area, aimed at ensuring properties adjacent to the City's forested areas are resilient to wildfire by advising the use of fire-resistant building and landscaping materials.

Having a current CWPP is a prerequisite for the City to be eligible to access other wildfire grants to implement recommended actions. Depending on the outcome of the assessment process, there may be opportunities for the City to apply for additional grant funding in future years to support forest management.

With Council's support, staff will submit a grant application in advance of the October 18, 2019 deadline. If the application is successful, a qualified consultant will be retained to complete the work in 2020.

FINANCIAL IMPLICATIONS:

Under the CRIP, local governments are eligible for up to \$25,000 to fund the development of a CWPP. Based on preliminary cost estimates no additional City funding should be required to complete the plan.

INTER-DEPARTMENTAL IMPLICATIONS:

The development of a CWPP will be coordinated with staff from the City Fire Department and North Shore Emergency Management.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS:


The development of a CWPP supports a number of goals and objectives in the 2014 Official Community Plan, such as:

- 3.2 Safeguard the community and protect life, property and the environment.
- 3.3 Support community resiliency and increase the capacity to recover from emergencies and disasters.
- 4.1 Develop, promote and implement strategies to mitigate and adapt to climate change.
- 4.2 Measure, maintain and improve long-term ecosystem health.

STRATEGIC PLAN IMPLICATIONS:

This report and recommendation helps support the Council Strategic Plan priority for creating a Liveable City, by enhancing the urban forest and the associated ecosystem functions.

RESPECTFULLY SUBMITTED:



Mike Hunter, RPBio
Manager, Parks and Environment

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8718

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718**” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment).
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In the CD-131 Zone:
 - (1) Adding to Section (1):
 - (i) Maximum of one Cannabis Sales Retail Store;
 - (2) Replacing Schedule 26 with the Schedule 26 attached to this bylaw.

READ a first time on the 24th day of June, 2019.

READ a second time on the 24th day of June, 2019.

READ a third time on the 15th day of July, 2019.

RECEIVED APPROVAL FROM THE
MINISTRY OF TRANSPORTATION ON THE
17th DAY OF July, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

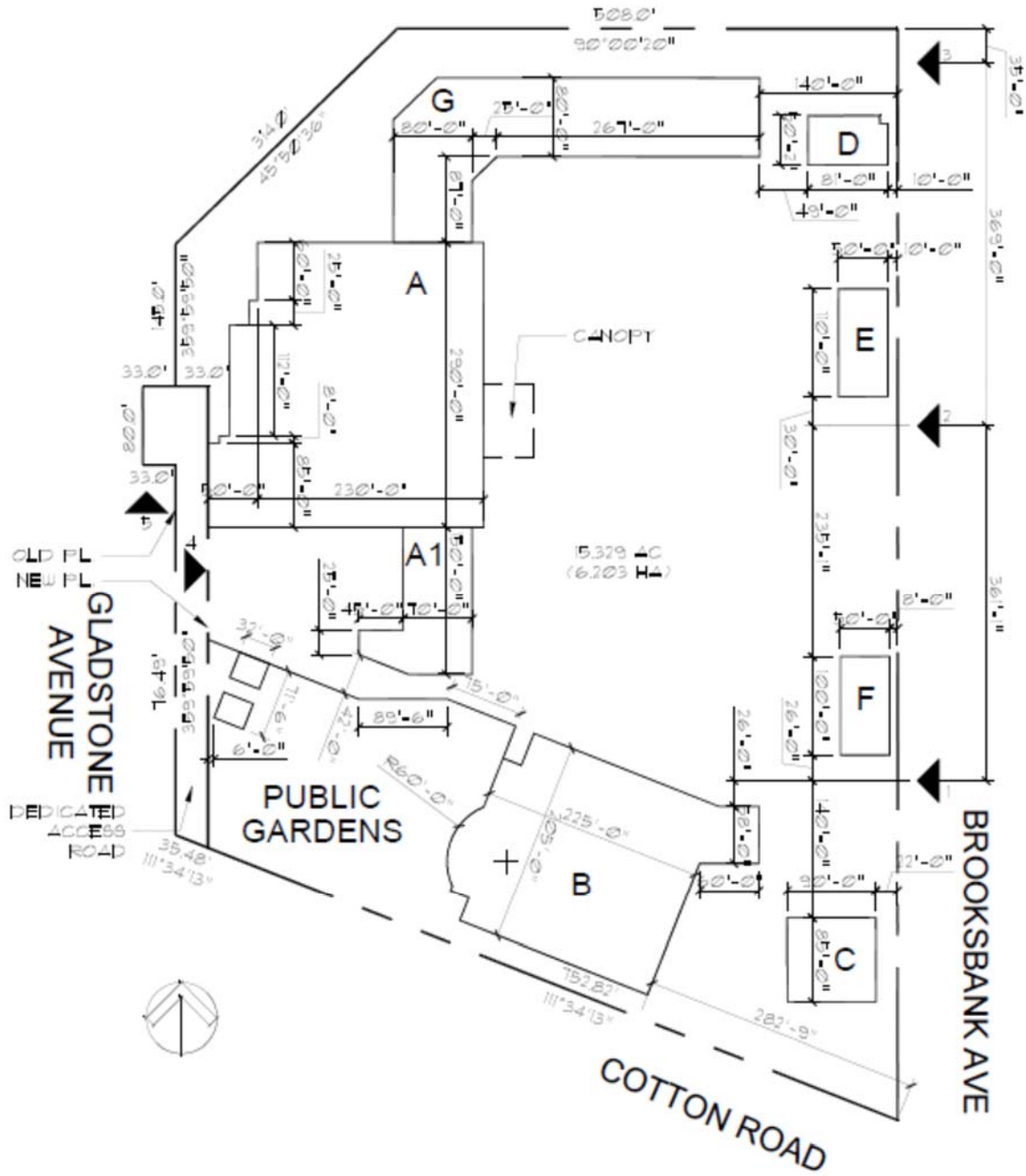
CD-131

Amending Bylaw No. 8718

SCHEDULE 26

Page 1 of 1

TITLE: SITING PLAN



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8730

**A Bylaw to amend the City of North Vancouver
“Hydronic Energy Service Bylaw, 2004, No. 7575”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“City of North Vancouver Hydronic Energy Service Bylaw, 2004, No. 7575, Amendment Bylaw, 2019, No. 8730”**.
2. The “Service Connection Fee” in the “Standard Fees and Charges Schedule” attached to “Hydronic Energy Service Bylaw, 2004, No. 7575” is amended by deleting “\$81.05 per kilowatt” and replacing it with the following: “\$82.83 per kilowatt”.
3. The “Meter Reading and Invoicing Fee” in the “Standard Fees and Charges Schedule” attached to “Hydronic Energy Service Bylaw, 2004, No. 7575” is amended by deleting “\$30.88 per month” and replacing it with “\$31.56 per month”.
4. Deleting Schedule “C” attached to “Hydronic Energy Service Bylaw, 2004, No. 7575” and replacing it with the Schedule “C” attached to this bylaw.
5. This Bylaw shall be effective as of the 1st day of November, 2019.

READ a first time on the 15th day of July, 2019.

READ a second time on the 15th day of July,
2019.

READ a third time on the 16th day of
September, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

SCHEDULE “C”
FEES, RATES AND CHARGES
BYLAW 8730

The rates, fees and charges payable in respect of the Service defined in “Hydronic Energy Service Bylaw, 2004, No. 7575” are as set out below.

Except as otherwise stated, capitalized terms in this Schedule “C” shall have the meaning defined in the General Terms and Conditions of “Hydronic Energy Service Bylaw, 2004, No. 7575” attached as Schedule “B”.

Provision of Heating to Premises:

The rates payable for the provision of Hydronic Energy Heating Service to Premises are a combination of the meter charge, capacity charge and commodity charge.

RESIDENTIAL SERVICE

RATE SCHEDULE 1

- (a) **Meter Charge** – A monthly charge of \$31.56 for each Service Connection serving the Premises.
- (b) **Capacity Charge** – A monthly charge of \$4.3277 per kilowatt multiplied by the energy capacity of the Premises, as determined by a professional engineer qualified for such purposes and described in kilowatts.
- (c) **Commodity Charge** – A charge per kilowatt hour of Hydronic Energy provided to the Premises calculated by multiplying \$0.03398 by the percentage increase or decrease in the price of 1,000 GJ/month under FortisBC rate schedule 3 from the price established as of July 1, 2016.

RATE SCHEDULE 2

- (a) **Meter Charge** – A monthly charge of \$169.93 for each Service Connection serving the Premises.
- (b) **Capacity Charge** – A monthly charge of \$4.3277 per kilowatt multiplied by the energy capacity of the Premises, as determined by a professional engineer qualified for such purposes and described in kilowatts.
- (c) **Commodity Charge** – A charge per kilowatt hour of Hydronic Energy provided to the Premises calculated by multiplying \$0.02871 by the percentage increase or decrease in the price of 1,000 GJ/month under FortisBC rate schedule 3 from the price established as of July 1, 2016.

COMMERCIAL SERVICE

RATE SCHEDULE 1

- (a) **Meter Charge** – A monthly charge of \$31.56 for each Service Connection serving the Premises.
- (b) **Capacity Charge** – A monthly charge of \$4.3277 per kilowatt multiplied by the energy capacity of the Premises, as determined by a professional engineer qualified for such purposes and described in kilowatts.
- (c) **Commodity Charge** – A charge per kilowatt hour of Hydronic Energy provided to the Premises calculated by multiplying \$0.03398 by the percentage increase or decrease in the price of 1,000 GJ/month under FortisBC rate schedule 3 from the price established as of July 1, 2016.

RATE SCHEDULE 2

- (a) **Meter Charge** – A monthly charge of \$169.93 for each Service Connection serving the Premises.
- (b) **Capacity Charge** – A monthly charge of \$4.3277 per kilowatt multiplied by the energy capacity of the Premises, as determined by a professional engineer qualified for such purposes and described in kilowatts.
- (c) **Commodity Charge** – A charge per kilowatt hour of Hydronic Energy provided to the Premises calculated by multiplying \$0.02871 by the percentage increase or decrease in the price of 1,000 GJ/month under FortisBC rate schedule 3 from the price established as of July 1, 2016.

Provision of Cooling to Premises:

The rates payable for the provision of Hydronic Energy Cooling Service to Premises shall be determined by Council for each Premises which connects to and uses the Hydronic Energy Cooling Service.

In addition to the foregoing rates the fees and charges set out in the Standard Fees and Charges attached as a schedule to the General Terms and Conditions will apply to the provision of the Service.

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August 19, 2019

Mayor and Council:

City of North Vancouver City Clerk's Department
AUG 19 2019
File # 01-0230-20-001 / 2019
CC:
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Request for Delegation Before Council

**By
6 Field Engineer Squadron Museum Association (6 FESMA)**

Outline

6 Engineer Squadron is a reserve unit of the Canadian Armed Forces that was formed in North Vancouver in 1912. In fact the unit's first soldiers were sworn-in at North Vancouver City Hall.

Since 1912 our soldiers have served in two World Wars and on UN and NATO missions in Germany, Cyprus, Golan Heights, Egypt, Syria, Israel, former Yugoslavia and Afghanistan.

Locally, in time of need, our soldiers have bridged the Capilano River and Lynn Creek, have rescued stranded motorists in the Fraser Valley and have fought forest fires.

In the past individual unit members served at every major WW 1 battle. In WW 2 our unit landed on the Normandy beaches on D Day.

Many notable individuals have served with our unit and have made significant contributions. A few of them are:

Built NV's Cenotaph and Armoury	Lt Blackadder
City Engineer	Maj Cosgrove
City Engineer, Mayor, MLA	Lt Hanes
Ripple Rock	Lt North
Burrard & Granville Bridges	Maj Grant
Lions Gate & Patullo Bridges	LCol Swan
Canada's first Scout Master	Capt Airey

Our Museum was officially incorporated in 2007 after several years as an informal organization. It is a modest collection located in the Lt Col J.P. Fell Armoury and includes artifacts, books, photographs, maps drawings, documents and regalia.

Reviewed by: 
CAO

We are maintained by volunteers and funded mainly through donations and fundraising activities. Although space is provided in the armoury, no public funding (DND) is provided for operation and maintenance of the museum.

Our Mission is to preserve the heritage of 6 Engineer Squadron through:

- exhibits
- education,
- publications,
- research, and
- cooperation with other public and private organizations

In addition the museum stands ready to host visitor groups such as families, students and cadets so they may learn more of the unit's and the country's heritage of service in war and peace;

May, 2019. Presentation to 3 soldiers and 9 young North Vancouver students and cadets who attended the D Day commemoration ceremonies in France this past June.

We also have provided families of veterans with information regarding their loved-one's past service;

January, 2019. Presentation to a WW2 veteran's family explaining what their father, grandfather and great grandfather experienced in WW2.

We have cooperated with North Vancouver Museum and Archive.

Presently we have an Application for a Community Grant before city council and would be grateful for a positive response but above all, we wish to make our presence as a community asset known to Council.

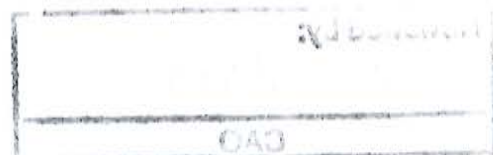
In order to answer any questions Council may have, I am accompanied by the following museum members:

Historian and archivist	Vince Larocque
Vice President	Bob Irvine
Treasurer	Carla Krens
Secretary	Connie White

There is so much more I could say but I will stop and give Council the opportunity to ask questions.

I also invite you to view our website at 6fieldmuseum.net for more information and biographies.

T.H.M. (Jerry) Silva, BGen (Retd)
President
6 FESMA



HUB Cycling

Mission: to get more people cycling, more often



Your **Cycling** Connection



The North Shore and Cycling: the vision



Climate Crisis

Active Transportation

Climate Crisis

Active Transportation

Bicycle Master Plan

Climate Crisis

Active Transportation

Bicycle Master Plan

AAA Bike Network

Vision Zero



Your **Cycling** Connection

Trip Counts Across North Shore

- **Vancouver**
7% of all trips
- **North Vancouver**
2% of commuting trips



How do we get more people to use bikes for transportation?



1. Make bike routes safe
2. Build them where people want to go

- *Statistics from TransLink's Regional Cycling Strategy, 2011*





Vancouver

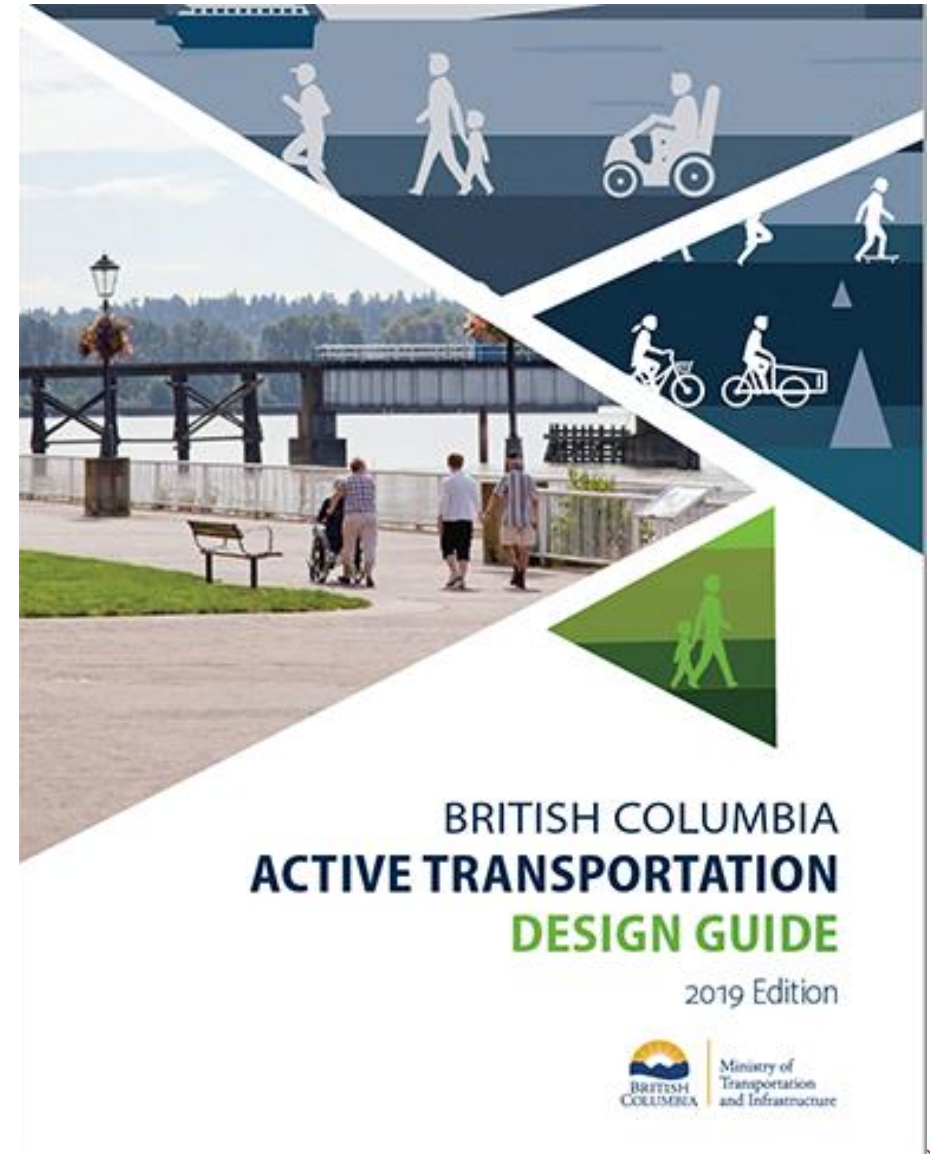
54%

increase in cycling
trips from 2013 to
2017

Safe, convenient bike infrastructure
attracts more people

We have a lot on the North Shore

- We have the vision
- We have a master plan
- We have the know-how
- We have examples from neighbouring municipalities and around the world
- We have provincial support



But...

Majority of bike facilities
are still painted lanes on
busy streets



Where's the disconnect?

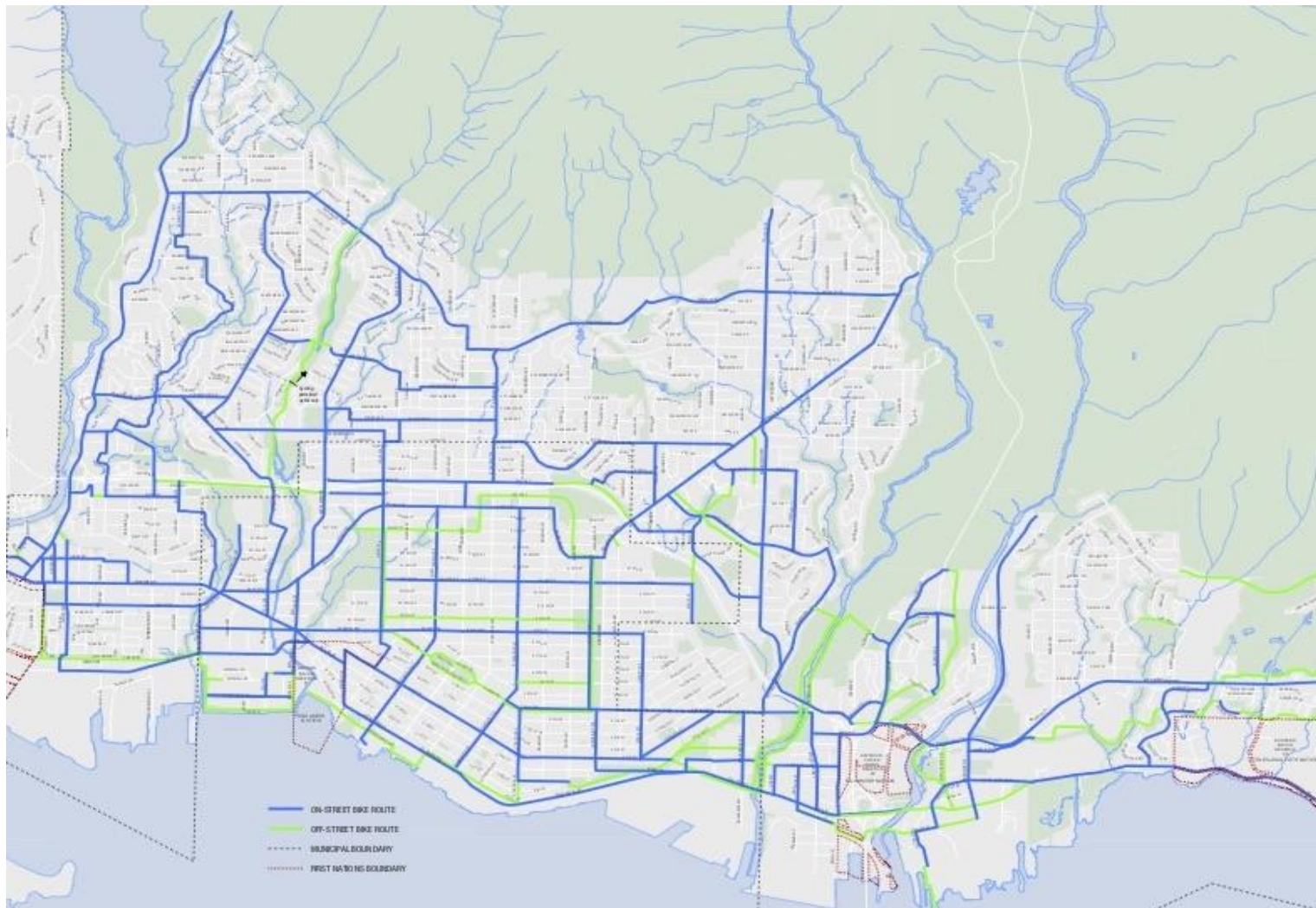
Route Prioritization

\$ Funding



Route Prioritization

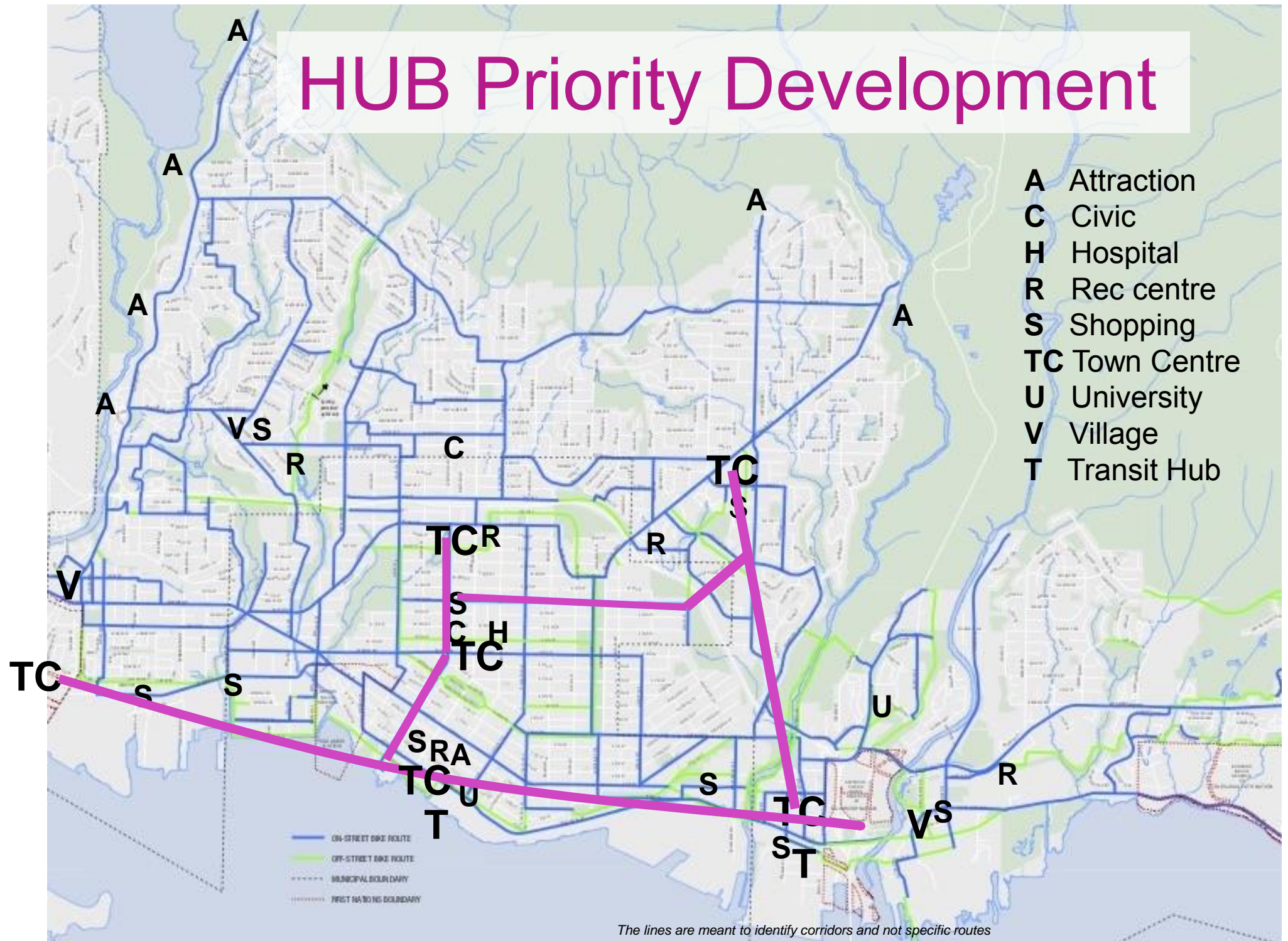
Current North Shore Bicycle Master Plan does not prioritize routes



Your **Cycling** Connection

HUB Priority Development

- A** Attraction
- C** Civic
- H** Hospital
- R** Rec centre
- S** Shopping
- TC** Town Centre
- U** University
- V** Village
- T** Transit Hub



Funding



BIKE INFRASTRUCTURE FUNDING (2019-2020)

FEDERAL PROGRAMS



MUNICIPAL GREEN FUND (Aug 2019)



GREEN INFRASTRUCTURE FUND

PROVINCIAL PROGRAMS



BIKE BC PROGRAM (Feb 2020)



ROAD IMPROVEMENT PROGRAM



COMMUNITY WORKS FUND

REGIONAL PROGRAMS



Co-funds, operates, maintains, and administers various greenways and trails



Vision Zero Seed Grants



MRNB Program [Fall 2019]

Class 1 (AAA): 75% cost-sharing + in Urban Centres/ FTDA's or MBN
Class 2 (Comfortable for most): 50% cost sharing + located in areas of high cycling potential.

BICCS Program [Fall 2019]

Class 1 (AAA): 75% cost-sharing + along FTN or MBN
Class 2 (Comfortable for most): 50% cost-sharing

WITT Program [Fall 2019]

Pedestrian facility upgrades that promote integration of walking and cycling with transit.

Acronyms

FTN= Frequent Transit Network, MBN= Major Bike Network, BICCS= Bicycle Infrastructure Capital Cost Sharing
WITT= Walking Infrastructure To Transit, MRNB= Major Road Network and Bike, FTDA= Frequent Transit Development Area

Priority Routes + Funding



HUB priorities: Where people want to go + overlaps with the funding



Your **Cycling** Connection

Current City projects that will contribute to these routes

Casano-Loutet bridge – Harbour to Headwaters route

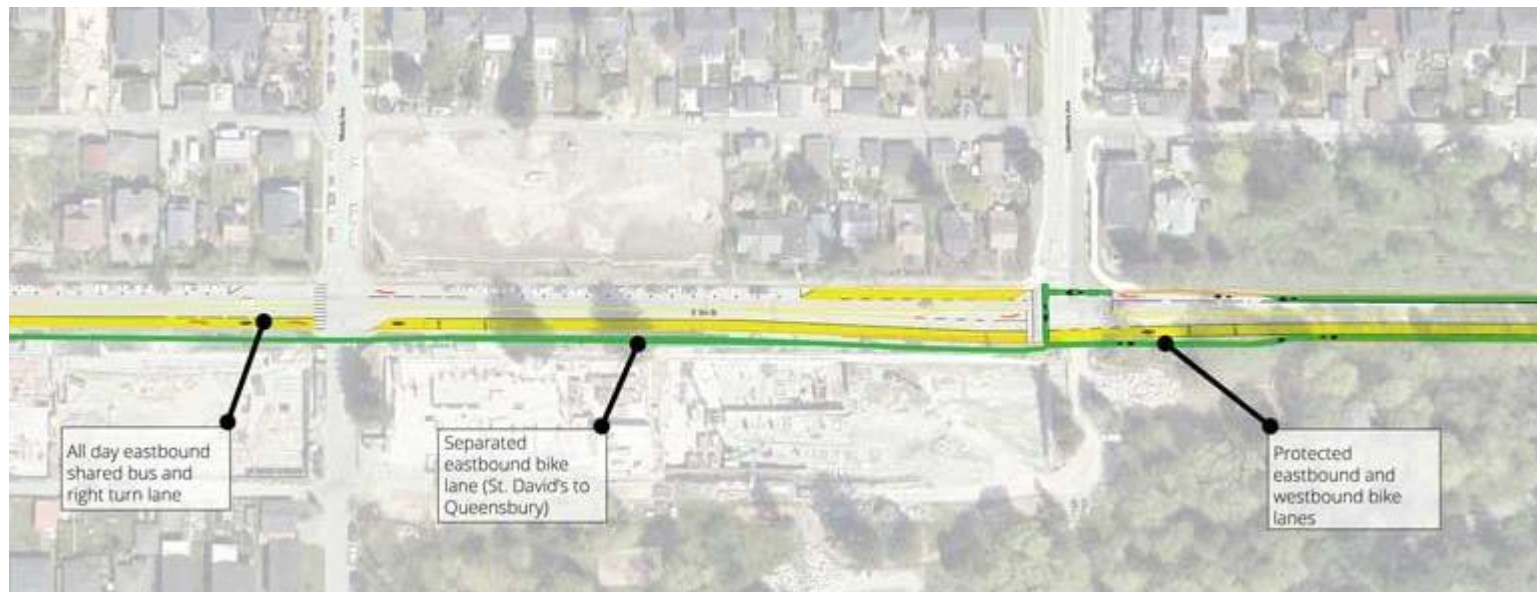


Your **Cycling** Connection

TransLink Rapid Bus project

Main to Marine Route

- AAA off Marine bike route funding
- 3rd Street separated bike lanes eastbound from St Davids to Queensbury
- 3rd Street hill protected bike lanes both sides
- Eastbound off-street bike lane Gladstone to Brooksbank



Your **Cycling** Connection

We recommend all North Shore municipalities:

- Direct staff / consultants to prioritize the 3 routes in the North Shore Bicycle Master Plan
 - “Main to Marine”
 - “Harbour to Headwaters”
 - “Peak to Creek”
- Leverage grants to build segments of the three routes inside municipal boundaries
- Use these names to “brand” the routes
- Think cooperatively and regionally

Thank you for helping to
make cycling for
transportation possible on
the North Shore



Your **Cycling** Connection



604.558.2002
bikehub.ca



City of North Vancouver

Dear Mayor and Council,

HUB Cycling is a charitable not-for-profit organization that works to get more people cycling for transportation more often, through education, action, and events.


I am requesting a delegation to discuss the North Vancouver Bicycle Master Plan in general and HUB North Shore's priority routes specifically. The points we will cover in the delegation include:

- The current North Vancouver Bicycle Master Plan and the lack of route prioritization.
- The need for a commitment across all three North Shore municipalities to contribute to three routes HUB has identified and named.
- The availability of funding for cycling infrastructure from provincial sources.

Sincerely,

Heather Drugge, Municipal Liaison
HUB Cycling, North Shore Committee
E: northshore@bikehub.ca
C: 604-868-1309
www.bikehub.ca/NorthShore

City of North Vancouver City Clerk's Department
SEP 30 2019
File # 01-0230-20-0021/2019
CC:
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Reviewed by:

CAO

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2019 Climate Leaders Institute Details

Ready to take bold climate action or help your community renew its commitment? Then you're ready for the Climate Leaders Institute.

[REGISTER FOR CLI 2019](#)

The Climate Leaders Institute is a two-day workshop expressly designed to help British Columbia mayors, councillors, and regional district directors confidently lead or support bold climate action in their communities. If that sounds like you, please join us in Richmond in early November. You'll deepen your knowledge, build your skill set, and meet or reconnect with local-government peers. It's the single most effective use of your time to address the single biggest issue of our age.

Date

November 7-8, 2019

Location

The Radisson Hotel, Vancouver Airport, Richmond

Cost

The early bird registration fee is \$245 (until October 7). The regular fee is \$275 (after October 7).

**Arrive a day early for one day at the Asset Management BC Conference. Participants have the option of purchasing a one-day reduced rate registration for the Asset Management BC Conference on Nov 6, one day before CLI.*

**Accommodation is not included in the registration fee. To book a room at the Radisson Hotel Vancouver Airport, please contact the hotel's in house reservations department at 604-279-8384 or email reservations@radissonvancouver.com and quote Climate Leaders Institute. A block of rooms is being held until October 7 at a reduced rate. Afterwards, rooms are subject to availability.*

Please email mchorobik@communityenergy.bc.ca if you wish to attend and are not a BC locally elected official or local government staff person.

Take a look at our summary from the 2017 CLI!

[Register Now](#)

[Program Coming Soon](#)

[Speakers Coming Soon](#)

City of New Vancouver
City Clerk's Department

SEP 30 2019

File # 01-0390-01-0001/2019
CC:
Scanned ☐

Reviewed by:

M. Kelly

CAO

THEMES EXPLORED AT CLI

COMMUNICATING

Learn the latest techniques in communicating the importance of climate change action and building support with stakeholders.

ORGANIZATIONAL PLANNING

Discover approaches for embedding climate action across all aspects of municipal decision making to ensure lasting impact.

KNOWLEDGE SHARING

Hear about high impact climate action from across BC and design bold solutions that fit the context of your community

About Climate Leaders Institute

The Climate Leaders Institute (CLI) is an innovative opportunity for elected officials (Mayors, Councillors and Area Directors) in BC to gain knowledge and learn skills on how to lead their communities to take bold climate action.

CLI moves beyond a traditional conference setting so participants gain the tools they need to translate their inspiration and political capital into real world, community-specific climate solutions. This is achieved through a combination of small break out groups along with presentations designed and delivered by colleagues, leading professionals and inspirational speakers.





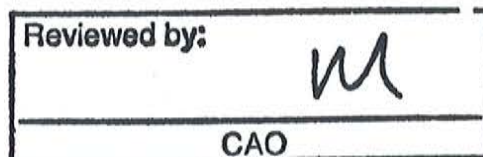
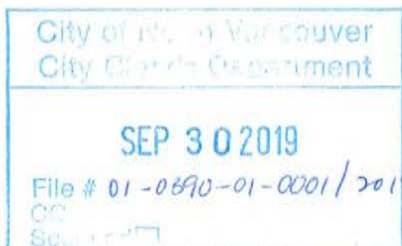
November 28, 2019
Morris J. Wosk Centre for Dialogue, Asia Pacific Hall
3300-515 West Hastings Street
Vancouver, BC
8:30 am to 4:30 pm

The Lower Mainland Local Government Association and CivicInfo BC proudly present **CivX 2019: Civil Ideas for Less Civil Times** taking place on Thursday November 28, 2019 at the Morris J. Wosk Centre for Dialogue in Vancouver.

At this one-day seminar (8:30am – 4:30pm) delegates will hear practical ideas for making our towns and cities more inclusive for our citizens, regardless of age, gender, culture, or socio-economic background. Our exciting line-up of guest speakers includes:

- o Diane Kalen-Sukra, Author, "Save Your City: How Toxic Culture Kills Community & What to Do about It"
- o Tasha Henderson, Director, Women Transforming Communities speaking on "Encouraging Women to Get Involved in Local Government"
- o Chris Friesen, Director of Settlement Services, Immigrant Services Society of BC discussing "Tips for Local Governments on Welcoming New Canadians"
- o Dr. Atiya Mahmood, Associate Professor, Department of Gerontology, Simon Fraser University and Dr. Ben Mortenson, Associate Professor, Department of Occupational Science and Occupational Therapy, UBC speaking on "Community Mobility and Participation Among People with Mobility Disabilities"
- o Dr. Eamonn O'Laocha, Instructor, Douglas College & Douglas Applied Research, Teaching and Consultancy speaking on "Using Technology to Connect Marginalized Populations"
- o Representatives from the Fraser Basin Youth Council (Co-Creating a Sustainable BC) discussing "Engaging Young People/Youth & Sustainability"

The day will wrap up with a facilitated session, where local government delegates can share ideas and practices with one another, with a written summary being provided to all in attendance. A full agenda, with detailed session descriptions, will be published in late September.





November 28, 2019
Morris J. Wosk Centre for Dialogue. Asia Pacific Hall
3300-515 West Hastings Street
Vancouver, BC
8:30 am to 4:30 pm

Who should attend? Like past CivX events, this event will be of particular interest to local government elected officials, local government staff, staff from local government agencies, academics, and post-secondary students.

For those requiring overnight accommodation, a block rate is available at the Delta Hotel by Marriott Vancouver Downtown Suites, which is attached to the event centre. Click on link to book: <https://www.marriott.com/events/start.mi?id=1553903484786&key=GRP>

The cost of the event is only \$199, including a seated lunch. Online registration is open at

<https://www.civicinfo.bc.ca/event/2019/CivX>





Innovation in Local Government

CivX 2019: Civil Ideas for Less Civil Times

NOVEMBER 28, 2019
8:30 AM TO 4:30 PM

Morris J. Wosk Centre for
Dialogue. Asia Pacific Hall

3300-515 West Hastings
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 Department Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
FINANCE DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Barbara Johnson, Revenue Accountant

SUBJECT: 2020 PERMISSIVE TAX EXEMPTIONS

Date: September 25, 2019 File No: 05-1970-07-0001/2019

RECOMMENDATION:

PURSUANT to the report of the Revenue Accountant, dated September 25, 2019, entitled "2020 Permissive Tax Exemptions,"

THAT Permissive Tax Exemption Bylaw Option 1 be endorsed;

AND THAT Taxation Exemption Bylaw 2019, No. 8713 be considered.

ATTACHMENTS:

1. Excerpt from the Community Charter – Division 7, General Authority for Permissive Exemptions (Doc#1321033)
2. Permissive Tax Exemptions requested for 2020 Tax Year (Doc#1780422)
3. Estimated 2020 Municipal Permissive Tax Exemptions by Category (Doc#1818554)
4. Permissive Tax Exemption (PTE) Policy (Doc#1323187)
5. Taxation Exemption Bylaw, 2019, No. 8713 – Option 1, (Doc#1826726)
6. Taxation Exemption Bylaw, 2019, No. 8713 – Option 2, (Doc#1829327)

PURPOSE:

The purpose of this report is to request that Council consider the applicants for a permissive tax exemption for 2020 and consider the Taxation Exemption Bylaw, 2019, No. 8713 for a one year term.

BACKGROUND:

Section 224 of the Community Charter (**Attachment 1**) gives Council the authority to exempt certain lands or improvements or both, of property located in the City of North Vancouver from municipal taxation. If this exemption is granted, related legislation also exempts the properties from some regional, school, and transit taxes.

In 2015, Council adopted Bylaw No. 8443 which approved the list of permissive tax exemptions (PTE's) for a four year period (2016 to 2019). During this term, Council approved the following additions:

1. Pipe Shop located at 115 Victory Shipway
2. Polygon Gallery located at 105 Carrie Cates Court
3. Young Women's Christian Association (YWCA) located at 125 East 14th Street
4. Centreview Childcare Centre located 143 14th Street
5. Marineview Housing Society – The Boulevard located at 1053 Grand Blvd.
6. Girl Guides of Canada located at 252 Esplanade Ave

Current PTE holders were required to complete a full application this year, as a new Tax Exemption Bylaw for 2020 is being considered.

An updated PTE Policy was presented to Council at the meeting of July 22nd, 2019. Council endorsed the Policy for a period of one year and requested that staff return to Council with options to limit the long-term financing impacts to the City. Reflecting this direction, Taxation Exemption Bylaw, 2019, No. 8713 presented for consideration is for a one-year term.

DISCUSSION:

New Applicants

The City has received three new applications for PTE'S for the 2020 tax year.

1. North Shore Neighbourhood House – (Strata Unit) (Licence to occupy property from City of North Vancouver)

North Shore Neighbourhood House is requesting a PTE for additional space for operating their programs and services. This is a Strata Unit owned by the City previously occupied by the Metro Philippine Arts and Culture Exposition Society.

Property Address: 113 3rd St E

Property Use: Community programming and meeting space.

Funding Sources: Ministry of Children and Family Development, The City and District of North Vancouver and West Vancouver Municipalities, fees for services, donations, fundraising

North Shore Neighbourhood house could qualify for a PTE under section 224(2) (d) of the Community Charter,

d) the interest of a public, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if

(i) the land or improvements are owned by a public authority or local authority, and

(ii) the land or improvements are used by the corporation or organization for a purpose in relation to which an exception under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation organization

The estimate of municipal taxes forgone for the 2020 PTE is \$476.

2. North Shore Crisis Services Society – Clothing Program/Thrift Store (Lower level leased from property owner)

The North Shore Crisis Services Society have requested a PTE for their Thrift Store operation in 2020. It has been operating at that location since 2002.

Property Address: 150 – 154 3rd St W (lower level, Units 152 and 154)

Property Use: Good Stuff Connection Clothing Program and Thrift Store. The Good Stuff Connection Clothing Program provides free clothing shoes and accessories to clients in need who are referred by community service agencies. The sales revenue from the thrift store supports Society operating costs.

Funding Sources: Sale of merchandise, Municipal Grants, Provincial Grants

North Shore Crisis Services Society could qualify under section 224(2) (a) of the Community Charter,

(a) land or improvements that

(i) are owned or held by a charitable, philanthropic or other not for profit corporation, and

(ii) the council considers are used for a purpose that is directly related to the purposes of the corporation;

The estimate of municipal taxes forgone for the 2020 PTE is \$12,462.

3. The City of North Vancouver – The Shipyards Commons (Public use right of way – Ice Rink/Spray Park, Office and Public Support Space (leased back from The Shipyards Development Ltd.)

Property Address: 125 Victory Ship Way

Property Use: Site includes skate rink/spray park and support space of Shipyards Commons and office space for City staff; mechanical room; storage space; public washrooms; skate shop and green room.

Funding Sources: City of North Vancouver, skate rental, events and sale of merchandise.

The City of North Vancouver could qualify under section 224(2) (b) of the Community Charter,

(a) land or improvements that

(i) are owned or held by a municipality, regional district or other local authority, and

(ii) the council considers are used for a purpose of the local authority;

The estimate of municipal taxes forgone for the 2020 PTE is \$28,955.

Options for Council Consideration

Option 1 (Recommended)

Staff is recommending Option 1, which would include the addition of only The City North Vancouver (Shipyards Commons). As the space is City occupied and is used for municipal purposes the site would be statutorily exempt if owned by the City. If a PTE for the site is not granted, the value of the PTE (\$28,955 municipal & \$34,231 other jurisdictions) would be an added cost for the City.

A PTE reduction strategy suggested by staff at the July 22nd, 2019, Council meeting was to not grant further PTE's. Option 1 supports this strategy. While new applications for NS Neighbourhood House (113 3rd St E) and NS Crisis Services (152 and 154 3rd St W) are eligible under the existing PTE policy it is recommended to defer consideration of PTE's pending further policy review. Taxation Exemption Bylaw 2019, No. 8713 included as **Attachment 5** is prepared under this option.

Option 2

This option would include the 3 new applications, North Shore Neighbourhood House, (Strata Unit), North Shore Crisis Services Society, (Clothing Program/Thrift Store), and The City North Vancouver (The Shipyards Commons).

Should Council wish to endorse Option 2, Taxation Exemption Bylaw 2019, No. 8713 included as **Attachment 6** is prepared under this option.

FINANCIAL IMPLICATIONS:

The following table shows the estimated financial impact of for 2020 under **Option 1**

(Includes 1 new application):

Column 1	Municipal Taxes	Other Tax Levies	Gross Taxes
Actual Value of Permissive Tax Exemptions for 2019	\$ 1,336,443	\$ 1,246,973	\$ 2,583,416
Add: New PTE's			
City of North Vancouver - The Shipyard Commons	\$ 28,955	\$ 34,231	\$ 63,186
Total New PTE's	\$ 28,955	\$ 34,231	\$ 63,186
Total Estimated Value of Permissive Tax Exemptions for 2020*	\$ 1,365,398	\$ 1,281,204	\$ 2,646,602
Total \$ Increase	\$ 28,955	\$ 34,231	\$ 63,186
Total % Increase	2.17%	2.75%	2.45%
*The 2020 estimate does not include any potential tax rate increases and is based on 2019 assessments.			

Note that the 2019 actual balance in the chart above reflects the changes due to zoning or use of the properties during the 2019 tax year.

The municipal portion of the PTE's is estimated to increase by \$28,955 or 2.17% from \$1,336,443 in 2019 to a total estimated value of \$1,365,398 in 2020.

The following table shows the estimated financial impact of for 2020 under **Option 2**
(Includes 3 new applications):

Column 1	Municipal Taxes	Other Tax Levies	Gross Taxes
Actual Value of Permissive Tax Exemptions for 2019	\$ 1,336,443	\$ 1,246,973	\$ 2,583,416
Add: New PTE's			
North Shore Neighbourhood House (Strata Lot)	\$ 476	\$ 484	\$ 960
North Shore Crisis Services Society (Clothing Program/Thrift Store)	\$ 12,462	\$ 12,691	\$ 25,153
City of North Vancouver - The Shipyard Commons	\$ 28,955	\$ 34,231	\$ 63,186
Total New PTE's	\$ 41,893	\$ 47,406	\$ 89,299
Total Estimated Value of Permissive Tax Exemptions for 2020*	\$ 1,378,336	\$ 1,294,379	\$ 2,672,715
Total \$ Increase	\$ 41,893	\$ 47,406	\$ 89,299
Total % Increase	3.13%	3.80%	3.46%
*The 2020 estimate does not include any potential tax rate increases and is based on 2019 assessments.			

The municipal portion of the PTE's is estimated to increase by \$41,893 or 3.13% from \$1,336,443 in 2019 to a total estimated value of \$1,378,336 in 2020.

The complete list of PTE's is shown in **Attachment 2**.

The following table shows the estimated municipal property exemptions by category for 2020 including the new PTE applications.

Category	2020 Estimated Municipal PTE's	% of Total 2020 PTE's
Community Care & Assisted Living	\$ 55,416	4.0%
Daycare - Not for Profit	\$ 9,309	0.7%
General Social Services	\$ 114,039	8.3%
Non-Market Housing	\$ 105,658	7.7%
Public Worship (areas surrounding)	\$ 71,255	5.2%
Recreation and Culture	\$ 772,132	56.0%
Service Clubs	\$ 137,247	9.9%
Social Housing	\$ 20,223	1.5%
Tourism and Business	\$ 93,057	6.7%
Total	\$ 1,378,336	100.0%

Attachment 3 includes a detailed list of organizations by category. Under Option 1, the total proposed 2020 municipal property PTE's as a percentage of the 2019 municipal tax levy is approximately 2.18%. The City's PTE's had been consistently at 1.5% of the total municipal tax levy from 2013 to 2018. The City's total PTE's under Option 2 are estimated to be 2.20% of the municipal tax levy. These percentages are high compared to other municipalities in the region.

In 2019, the assessed values for the North Vancouver Lawn Bowling and Silver Harbour Centre sites increased by 534.31% and 443.80% respectively as a result of the rezoning approved through the Harry Jerome Community Recreation Centre renewal process. This increase in assessed value also increased the value of the sites' PTE's – combined the two sites represent over 45% of the value of all PTE's. It is expected that this increase is temporary and that the assessed values and corresponding PTE values for the organizations will decrease once they are relocated.

The table below illustrates that the City's top 5 PTE recipients represent 59% of the total PTE value.

Organization	Use	Estimated 2020 PTE\$	% of PTE Value
North Vancouver Lawn Bowling Club	Recreational	\$ 539,655	39%
Silver Harbour Centre	Recreational	\$ 85,922	6%
Presentation House Cultural Society	Cultural	\$ 76,176	6%
BC Photography & Media Arts Society	Cultural	\$ 61,136	4%
North Shore Multicultural Society	General Social Services	\$ 54,439	4%
		\$ 817,328	59%

It is important to note that granting of PTE's does not change the City's total tax requirement and the value of these exemptions is therefore shifted onto all the other properties in the City.

Next Steps

A workshop is to be planned for the winter to provide Council with further discussion and detailed information of our current PTE'S and options for Policy changes.

INTER-DEPARTMENTAL IMPLICATIONS:

This report has been reviewed by the City's Leadership Team.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS:

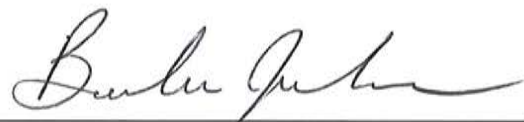
This report is in accordance with the City's PTE Policy (**Attachment 4**) adopted by Council, which considers the services provided by organizations for the betterment of the local community. The recommended PTE bylaw also supports many goals and objectives of the Official Community Plan including Objectives 3.1.3, 3.1.6 and 3.1.7.

STRATEGIC PLAN IMPLICATIONS:

The granting of PTE's is a tool available to Council to support organizations operating within the municipality whose work will progress the priorities of the Council Strategic Plan.

- A City for People
- A Connected City
- A Liveable City
- A Vibrant City
- A Prosperous City

RESPECTFULLY SUBMITTED:



Barbara Johnson,
Revenue Accountant

Division 7 - Permissive Exemptions

General authority for permissive exemptions

224. (1) A council may, by bylaw in accordance with this section, exempt land or improvements, or both, referred to in subsection (2) from taxation under section 197(1)(a) [*municipal property taxes*], to the extent, for the period and subject to the conditions provided in the bylaw.

- (2) Tax exemptions may be provided under this section for the following:
 - (a) land or improvements that
 - (i) are owned or held by a charitable, philanthropic or other not for profit corporation, and
 - (ii) the council considers are used for a purpose that is directly related to the purposes of the corporation;
 - (b) land or improvements that
 - (i) are owned or held by a municipality, regional district or other local authority, and
 - (ii) the council considers are used for a purpose of the local authority;
 - (c) land or improvements that the council considers would otherwise qualify for exemption under section 220 [*general statutory exemptions*] were it not for a secondary use;
 - (d) the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if
 - (i) the land or improvements are owned by a public authority or local authority, and
 - (ii) the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization;
 - (e) the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if
 - (i) the land or improvements are owned by a person who is providing a municipal service under a partnering agreement,
 - (ii) an exemption under section 225 [*partnering and other special tax exemption authority*] would be available for the land or improvements in relation to the partnering agreement if they were used in relation to the service,
 - (iii) the partnering agreement expressly contemplates that the council may provide an exemption under this provision, and
 - (iv) the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization;
 - (f) in relation to property that is exempt under section 220 (1)(h) [*buildings for public worship*],
 - (i) an area of land surrounding the exempt building,
 - (ii) a hall that the council considers is necessary to the exempt building and the land on which the hall stands, and
 - (iii) an area of land surrounding a hall that is exempt under subparagraph (ii);
 - (g) land or improvements used or occupied by a religious organization, as tenant or licensee, for the purpose of public worship or for the purposes of a hall that the council considers is necessary to land or improvements so used or occupied;
 - (h) in relation to property that is exempt under section 220 (1) (i) [*seniors' homes*], (j) [*hospital*], or (1) [*private schools*], any area of land surrounding the exempt building;
 - (h.1) in relation to land or improvements, or both, exempt under section (220) (1) (l) [*independent schools*], any area of surrounding the exempt land or improvements;
 - (i) land or improvements owned or held by an athletic or service club or association and used as a public park or recreation ground or for public athletic or recreational purposes;
 - (j) land or improvements owned or held by a person or organization and operated as a private hospital licensed under the *Hospital Act* or as a licensed community care facility, or registered assisted living residence, under the *Community Care Facility Act*;
 - (k) land or improvements for which a grant has been made, after March 31, 1974, under the *Housing Construction (Elderly Citizens) Act* before its repeal;
- (3) The authority under subsection (2)(e) and (g) to (j) is not subject to section 25 (1) [*prohibition against assistance to business*].
- (4) Subject to subsection (5), a bylaw under this section
 - (a) must establish the term of the exemption, which may not be longer than 10 years,
 - (b) may only be adopted after notice of the proposed bylaw has been given in accordance with section 227 [*notice of permissive tax exemptions*], and
 - (c) does not apply to taxation in a calendar year unless it comes into force on or before October 31 in the preceding year.
- (5) Subsection (4)(a) and (b) does not apply in relation to exemptions under subsection (2)(f) and (h).
- (6) If only a portion of a parcel of land is exempt under this section, the bylaw under this section must include a description of the land that is satisfactory to the British Columbia Assessment Authority.
- (7) A bylaw under this section ceases to apply to property, the use or ownership of which no longer conforms to the conditions necessary to qualify for exemption and, after this, the property is liable to taxation.

**PERMISSIVE TAX EXEMPTIONS -COMMUNITY CHARTER, SECTION 224
EXEMPTIONS REQUESTED FOR 2020 TAX YEAR
ESTIMATED IMPUTED TAXES ON EXEMPT PROPERTIES**

ORGANIZATION	CLASS	PROPERTY ADDRESS	ROLL #	LEGAL DESCRIPTION	ASSESSMENT VALUES			PTE MUNICIPAL	VALUE OTHER	TOTAL
					LAND	IMPROVEMENTS	TOTAL			
1 Anavets Senior Citizens Housing	1	245 3rd St. East	142001.100	D/L 274 BL 142 LOT 1 PL BCP48496	\$ 9,923,000	\$ 16,143,000	26,066,000	\$44,123	\$33,012	\$77,136
2 Army, Navy Air Force Veterans in Canada	6/8	119 East 3rd Street	141011.000	D/L 274 BL 141 LOT 11 PL 878	\$4,677,000	\$6,300	\$4,683,300	\$20,809	\$21,884	\$42,693
3 The Auxillary to the Lions Gate Hospital	6	128 15th Street West	038029.000	D/L 548 BL 38 LOT E PL 18002	\$2,268,000	\$3,300	\$2,271,300	\$11,999	\$10,798	\$22,796
4 BC Photography and Media Arts Society	6	105 Carrie Cates Court	177035.301	D/L 271 LOT A PLAN EPP30713	\$3,149,000	\$8,424,000	\$11,573,000	\$61,136	\$62,258	\$123,394
5 Canadian Mental Health Association	6	300-1835 Lonsdale Ave	019033.100	D/L 548/549 LOT A PL EPP22742	\$452,000	\$554,000	\$1,006,000	\$5,314	\$4,783	\$10,097
6 The Cascadia Society for Social Working	1	325 West 19th Street	021010.001	D/L 547 BL 21 LOT H PL 20988	\$2,200,000	\$10,000	\$2,210,000	\$3,741	\$2,799	\$6,540
7 The Cascadia Society for Social Working	1	351 West 19th Street	021004.001	D/L 547 BL 21 LOT F PL 20141	\$1,394,000	\$530,000	\$1,924,000	\$3,257	\$2,437	\$5,694
8 The Cascadia Society for Social Working	1	348 West 19th Street	004081.000	D/L 547 BL 4 LOT G 3846	\$2,005,000	\$10,000	\$2,015,000	\$3,411	\$2,552	\$5,963
9 Community Living Society	1	317 & 319 East Keith Road	116003.000	D/L 274 BL 116 LOT 4 PL 878	\$2,169,000	\$114,000	\$2,283,000	\$3,865	\$2,891	\$6,756
10 Community Living Society	1	1003-555 West 28th Street	990531.021	D/L 544 SL21 PL LMS531	\$673,000	\$44,600	\$717,600	\$1,215	\$909	\$2,124
11 CNV (Pipe Shop)	6	115 Victory Ship Way	175100.400	D/L 274 BL 176 LOT 4 PL BCP39824	\$2,058,000	\$4,144,000	\$6,202,000	\$32,763	\$33,364	\$66,127
12 Family Services North Shore	6	1109-1117 Lonsdale Avenue	086015.100	D/L 548/549 BL 86 LOT G PL LMP293	\$2,401,000	\$963,000	\$3,364,000	\$17,771	\$15,992	\$33,763
13 Fraternal Order of Eagles, North West Aerie 2638	6	170 West 3rd Street	992790.001	D/L 274 LOT 1 PL BCS2970	\$365,000	\$85,900	\$450,900	\$2,382	\$2,144	\$4,526
14 Fraternal Order of Eagles, North West Aerie 2638	6	168 West 3rd Street	992790.002	D/L 274 LOT 2 PL BCS2970	\$447,000	\$107,000	\$554,000	\$2,927	\$2,634	\$5,560
15 Fraternal Order of Eagles, North West Aerie 2638	6	166 West 3rd Street	992790.003	D/L 274 LOT 3 PL BCS2970	\$441,000	\$106,000	\$547,000	\$2,890	\$2,600	\$5,490
16 Fraternal Order of Eagles, North West Aerie 2638	6	164 West 3rd Street	992790.004	D/L 274 LOT 4 PL BCS2970	\$447,000	\$107,000	\$554,000	\$2,927	\$2,634	\$5,560
17 Fraternal Order of Eagles, North West Aerie 2638	6	162 West 3rd Street	992790.005	D/L 274 LOT 5 PL BCS2970	\$480,000	\$116,000	\$596,000	\$3,148	\$2,833	\$5,982
18 Girl Guides of Canada	6	Unit 107- 252 Esplanade W	994482.220	D/L 271 LOT 220 PL EPS4482	\$1,228,000	\$275,000	\$1,503,000	\$7,940	\$8,086	\$16,025
19 Girl Guides of Canada	6	Unit 108- 252 Esplanade W	994482.221	D/L 271 LOT 221 PL EPS4482	\$1,216,000	\$272,000	\$1,488,000	\$7,861	\$8,005	\$15,865
20 Girl Guides of Canada	6	Unit 109- 252 Esplanade W	994482.222	D/L 271 LOT 222 PL EPS4482	\$2,317,000	\$497,000	\$2,814,000	\$14,865	\$15,138	\$30,004
21 Girl Guides of Canada	6	Unit 207- 252 Esplanade W	994482.229	D/L 271 LOT 229 PL EPS4482	\$1,144,000	\$256,000	\$1,400,000	\$7,396	\$7,531	\$14,927
22 Girl Guides of Canada	6	Unit 208- 252 Esplanade W	994482.230	D/L 271 LOT 230 PL EPS4482	\$1,218,000	\$273,000	\$1,491,000	\$7,876	\$8,021	\$15,897
23 Girl Guides of Canada	6	Unit 209- 252 Esplanade W	994482.231	D/L 271 LOT 231 PL EPS4482	\$2,149,000	\$460,000	\$2,609,000	\$13,782	\$14,035	\$27,818
24 Hollyburn Family Services Society	1	104-210 West 13th Street	994407.004	D/L 548 LOT 4 PL BCS4407	\$415,000	\$101,000	\$516,000	\$873	\$654	\$1,527
25 Hollyburn Family Services Society	1	106-210 West 13th Street	994407.006	D/L 548 LOT 6 PL BCS4407	\$469,000	\$121,000	\$590,000	\$999	\$747	\$1,746
26 Hollyburn Family Services Society	1	107-210 West 13th Street	994407.007	D/L 548 LOT 7 PL BCS4407	\$469,000	\$121,000	\$590,000	\$999	\$747	\$1,746
27 Hollyburn Family Services Society	1	205-210 West 13th Street	994407.013	D/L 548 LOT 13 PL BCS4407	\$514,000	\$124,000	\$638,000	\$1,080	\$808	\$1,888
28 Hollyburn Family Services Society	1	206-210 West 13th Street	994407.014	D/L 548 LOT 14 PL BCS4407	\$505,000	\$122,000	\$627,000	\$1,061	\$794	\$1,855
29 Hollyburn Family Services Society	1	207-210 West 13th Street	994407.015	D/L 548 LOT 15 PL BCS4407	\$517,000	\$123,000	\$640,000	\$1,083	\$811	\$1,894
30 Hyad Housing for Young Adults with Disiabilities	1	2130 Chesterfield Avenue	206011.400	D/L 545 BL206 Lot545 DISTRICT LOT 5	\$557,000	\$1,034,000	\$1,591,000	\$2,693	\$2,015	\$4,708
31 Kiwanis North Shore Housing Society	1	170 West 2nd Street	139026.000	D/L 271 BL 139 LOT D PL 13604	\$19,656,000	\$7,927,000	\$27,583,000	\$46,691	\$34,934	\$81,625
32 Kiwanis North Shore Housing Society	1	1480 St. Andrews	052100.100	D/L 550 BL 52 Lot 1 PI BCP23494	\$578,000	\$1,338,000	\$1,916,000	\$3,243	\$2,427	\$5,670
33 Lighthouse Harbour Ministries	6	1 - 260 East Esplanade	980786.001	D/L 274 SL1 PL VR786	\$846,000	\$80,000	\$926,000	\$4,892	\$4,402	\$9,294
34 The Lonsdale Creek Daycare Society operating in Lonsdale Annex Elementary schoo	1	230 West 21st Street	205008.000	D/L 545 BL 205 LOT 8/14 PL 3181	\$3,667,000	\$158,000	\$3,825,000 *	\$6,475	\$4,844	\$11,319
35 Lookout Emergency Aid Society, NS Shelter	1	705 West 2nd Street	510061.300	D/L 265 LOT 2 PL BCP8797	\$6,379,000	\$4,162,000	\$10,541,000	\$17,843	\$13,350	\$31,193
36 Chesterfield Housing Society	1	1415 Chesterfield Avenue	048019.000	D/L 548 BL E.48 LOT A PL 12729	\$1,186,000	\$844,000	\$2,030,000	\$3,436	\$2,571	\$6,007
37 Marineview Housing Society	1	1053 Grand Blvd	091008.000	D/L 550 BL 91 LOT 8 PL 1647	\$1,521,000	\$1,026,000	\$2,547,000	\$4,311	\$3,226	\$7,537
38 Marineview Housing Society	1	1057 Cloverley Street	605012.000	D/L 272 BL 5 LOT 12 PL 3875	\$1,308,000	\$132,000	\$1,440,000	\$2,438	\$1,824	\$4,261
39 Navy League of Canada	6	1555 Forbes Ave	003004.000	D/L 547 LOT 27 BL 27 PL 12205	\$2,806,000	\$205,000	\$3,011,000	\$15,906	\$14,314	\$30,220
40 North Shore Connexions Society	1	1924 Jones Avenue	004045.000	D/L 547 BL 4 LOT 2 PL 14515	\$1,395,000	\$90,200	\$1,485,200	\$2,514	\$1,881	\$4,395

**PERMISSIVE TAX EXEMPTIONS -COMMUNITY CHARTER, SECTION 224
EXEMPTIONS REQUESTED FOR 2020 TAX YEAR
ESTIMATED IMPUTED TAXES ON EXEMPT PROPERTIES**

ORGANIZATION	CLASS	PROPERTY ADDRESS	ROLL #	LEGAL DESCRIPTION	ASSESSMENT VALUES			PTE MUNICIPAL	VALUE OTHER	TOTAL
					LAND	IMPROVEMENTS	TOTAL			
41 The North Shore Disability Resource Centre	1	2412 Wilding Way	950001.218	D/L 616 BL B LOT 218 PL 20292	\$1,353,000	\$241,300	\$1,594,300	\$2,699	\$2,019	\$4,718
42 North Shore Multicultural Society	6	123 East 15th Street, Units 100,20	050010.000	D/L 549 BL 50 LOT B PL 15169	\$10,213,000	\$92,300	\$10,305,300	\$54,439	\$48,991	\$103,431
43 North Shore Neighbourhood House	1/6	225 East 2nd Street	154001.002	D/L 274 BL 154 LOT M PL 22039	\$4,733,000	\$2,001,000	\$6,734,000	\$31,147	\$27,713	\$58,860
44 North Shore Neighbourhood (Centre view childcare)	1	143 14th Street East	061011.500	D/L 549 BL 61 LOT ASP4 PL EPP68	\$548,000	\$1,126,000	\$1,674,000	\$2,834	\$2,120	\$4,954
45 N Shore Neighbourhood House (Community Garden	8	207 East 2nd Street	154001.001	D/L 274 BL 154 Lot L PL 22039	\$1,893,000	\$0	\$1,893,000	\$3,651	\$4,838	\$8,489
46 North Vancouver Chamber of Commerce	6	102-124 West 1st Street	994443.002	D/L 274 BL274 SL2 PL LMS4443	\$1,149,000	\$153,000	\$1,302,000	\$6,878	\$7,004	\$13,882
47 North Vancouver Lawn Bowling Clut	6	2160 Lonsdale Avenue	207020.000	D/L 545 BL 207 LOT B of LOT 1 PL 1	\$102,060,000	\$96,000	\$102,156,000	\$539,655	\$485,650	\$1,025,305
48 North Vancouver Masonic Temple	8	1140 - 1144 Lonsdale Avenue	085007.000	D/L 549 BL 85 LOT 4 PL 750	\$4,769,000	\$6,200	\$4,775,200	\$9,209	\$12,205	\$21,414
49 Presentation House Cultural Society	6	333 Chesterfield Avenue	134013.000	D/L 271 BL 134 LOT 13 PL 735	\$13,948,000	\$472,000	\$14,420,000	\$76,176	\$77,574	\$153,750
50 North Vancouver Royal Canadian Legion	6	123 West 15th Street	994102.001	D/L 548 SL1 PL LMS4102	\$2,132,000	\$811,000	\$2,943,000	\$15,547	\$13,991	\$29,538
51 North Vancouver Royal Canadian Legion	8	121 West 15th Street	994102.002	D/L 548 SL2 PL LMS4102	\$734,000	\$190,000	\$924,000	\$1,782	\$2,362	\$4,144
52 Silver Harbour Centre	6	144 East 22nd Street	207050.000	D/L 545 BL207 Lot C PL 15014	\$15,776,000	\$489,000	\$16,265,000	\$85,922	\$77,324	\$163,246
53 St. Edmund's Parish	6/8	613 Mahon Avenue	071009.000	D/L 271 LOT B PL 8415	\$2,891,000	\$3,200	\$2,894,200	\$5,592	\$7,404	\$12,997
54 St Leonard's Society of North Vancouver	1	312 Bewicke Avenue	067027.000	D/L 547 BL 67 LOT 26 PL 750	\$1,106,000	\$300,000	\$1,406,000	\$2,380	\$1,781	\$4,161
55 Vancouver Coastal Health Authority - Magnolia House	1	720 East 17th Street	906073.000	D/L 616 BL 6 LOT 73 PL 1763	\$1,308,000	\$311,000	\$1,619,000	\$2,741	\$2,050	\$4,791
56 Vancouver Coastal Health Authority- Margaret Fulton Cent	6	1601 Forbes Avenue	003002.100	D/L 547 LOT A PL LMP42825	\$2,898,000	\$1,367,000	\$4,265,000	\$22,531	\$20,276	\$42,806
57 Young Women's Christian Association	1	125 14th Street East	061011.600	D/L 549 LOT ASP5 PL EPP68325	\$116,000	\$1,107,000	\$1,223,000	\$2,070	\$1,549	\$3,619
SUBTOTAL								\$ 1,265,189.17	\$ 1,152,541.01	\$ 2,417,730.18
Permissive Areas Surrounding Buildings for Public Worship										
58 Assembly of Christians (Gospel Hall)	8	133 East 4th Street	132010.000	D/L 274 BL 132 LOT 10 PL 878	\$1,987,000	\$0	\$1,987,000 *	\$3,832	\$5,079	\$8,911
59 North Shore Bethel Christian Mennonite Brethren Church	8	185 East Keith Road	114025.000	D/L 274 BL 114 LOT 19 PL 878	\$1,449,000	\$0	\$1,449,000 *	\$2,794	\$3,703	\$6,498
60 Holy Trinity Catholic Church	8	2705 Lonsdale Avenue	239066.100	D/L 545 BL 239 LOT 3 PL BCP45481	\$1,805,900	\$0	\$1,805,900 *	\$3,483	\$4,616	\$8,098
61 North Shore Alliance Church	8	201 East 23rd Street	208001.001	D/L 545/546 BL 208 LOT 1 PL 20958	\$3,331,000	\$0	\$3,331,000 *	\$6,424	\$8,514	\$14,938
62 North Shore Alliance Church	8	201 East 23rd Street	208001.002	D/L 545/546 BL 208 LOT 2 PL 20958	\$6,590,000	\$0	\$6,590,000 *	\$12,709	\$16,843	\$29,552
63 King's Temple Missionary Society (N S Christian Centre	8	1400 Sutherland Avenue	912009.001	D/L 616 BL 12 LOT C PL 21170	\$980,000	\$0	\$980,000 *	\$1,890	\$2,505	\$4,395
64 Parish of St. Agnes Anglican Church	8	530 East 12th Street	078014.100	D/L 5550 BL 78 LOT A PL LMP40523	\$371,000	\$0	\$371,000 *	\$716	\$948	\$1,664
65 Parish of St. John The Evangelist Anglican Church	8	209 West 13th Street	072001.001	D/L 548 BL 72 PL 20861	\$8,330,000	\$0	\$8,330,000 *	\$16,065	\$21,291	\$37,355
66 Salvation Army North Vancouver Community Church	8	105 West 12th Street	086009.001	D/L 548/549 BL 86 LOT C PL 1464	\$6,059,000	\$0	\$6,059,000 *	\$11,685	\$15,486	\$27,171
67 St. Andrew's & St. Stephen's Presbyterian Church	8	2641 Chesterfield Avenue	227100.000	D/L 545 BL 227A LOT A PL 2836	\$2,385,000	\$0	\$2,385,000 *	\$4,600	\$6,096	\$10,695
68 St. Andrew's United Church	8	1046 St. Georges Avenue	088003.000	D/L 549 BL 88 LOT B PL 4328	\$510,000	\$0	\$510,000 *	\$984	\$1,304	\$2,287
69 St. Andrew's United Church	8	1044 St. Georges Avenue	088038.000	D/L 549 BL 88 LOT 28/29 PL 4328	\$988,000	\$0	\$988,000 *	\$1,905	\$2,525	\$4,431
70 Sutherland (Bethel) Christian Church	8	630 East 19th Street	012028.000	D/L 550 BL 12 LOT C PL 9445	\$2,161,000	\$0	\$2,161,000 *	\$4,168	\$5,523	\$9,691
SUBTOTAL								\$71,254	\$94,432	\$165,686
GRAND TOTAL								\$1,336,443	\$1,246,973	\$2,583,416
NEW APPLICATIONS										

**PERMISSIVE TAX EXEMPTIONS -COMMUNITY CHARTER, SECTION 224
EXEMPTIONS REQUESTED FOR 2020 TAX YEAR
ESTIMATED IMPUTED TAXES ON EXEMPT PROPERTIES**

ORGANIZATION	CLASS	PROPERTY ADDRESS	ROLL #	LEGAL DESCRIPTION	ASSESSMENT VALUES			PTE	VALUE	TOTAL
					LAND	IMPROVEMENTS	TOTAL	MUNICIPAL	OTHER	
71 North Shore Neighbourhood House	6	113 3rd St E	991235.063	D/L 274 LOT 63 PL EPS1235	\$30,000	\$60,000	\$90,000	\$476	\$484	\$961
72 North Shore Crisis Services Society - Thrift Store	6	150-154 3rd St W	133028.000	D/L 274 BL 133 LOT 274 PL 879	\$2,359,000	\$0	\$2,359,000	\$12,462	\$12,691	\$25,152
73 City of North Vancouver - The Shipyard Commons	6/8	125 Victory Ship Way	175100.500	D/L 274 BL 176 LOT 5 PL BCP39824	\$5,131,000	\$5,438,000	\$10,569,000	\$28,955	\$34,231	\$63,186
SUBTOTAL								\$41,893	\$47,406	\$89,299
GRAND TOTAL INCLUDING NEW APPLICANTS								\$1,378,336	\$1,294,379	\$2,672,715

*Assessments represents portion of total assessments relating to the particular roll numbe

Estimated 2020 Municipal Permissive Tax Exemptions by Category

Organization	2020 Municipal PTE's
<u>Community Care and Assisted Living</u>	
Community Living Society	5,080
The Cascadia Society for Social Working	10,409
HYAD Housing for Young Adults with Disabilities	2,693
Marineview Housing Society Cloverley House	2,438
Marineview Housing Society- The Boulevard	4,311
North Shore Connexions Society	2,514
The North Shore Disability Resource Centre Association	2,699
Vancouver Coastal Health Authority - Magnolia House	2,741
Vancouver Coastal Health Authority - Margaret Fulton Adult Day Centre	22,531
Subtotal - Community Care and Assisted Living	55,416
<u>Daycare - Not for Profit</u>	
The Lonsdale Creek Daycare Society operating in Lonsdale Annex	6,475
North Shore Neighbourhood - Centreview Childcare Centre	2,834
Subtotal - Daycare Not for Profit	9,309
<u>General Social Services</u>	
Canadian Mental Health Association	5,314
Family Services North Shore	17,771
Lighthouse Harbour Ministries	4,892
North Shore Neighbourhood House (2 nd St)	31,147
North Shore Neighbourhood House (Strata Unit 3 rd St) *NEW*	476
North Shore Multicultural Society	54,439
Subtotal - General Social Services	114,039
<u>Non-Market Housing</u>	
Anavets Senior Citizens' Housing	44,123
Hollyburn Family Services Society	6,095
Kiwanis North Shore Housing Society	49,934
Marineview Housing Society - Chesterfield House	3,436
Young Women's Christian Association (YWCA)	2,070
Subtotal - Non-Market Housing	105,658
<u>Public Worship (areas surrounding)</u>	
Assembly of Christians (Gospel Hall)	3,832
North Shore Bethel Christian Mennonite Brethren Church	2,794
Holy Trinity Catholic Church	3,483
North Shore Alliance Church	19,133
King's Temple Missionary Society (N S Christian Centre)	1,890
Parish of St. Agnes Anglican Church	716
Parish of St. John The Evangelist Anglican Church	16,065
Salvation Army North Vancouver Community Church	11,685
St. Andrew's & St. Stephen's Presbyterian Church	4,600
St. Andrew's United Church	2,889
Sutherland Church	4,168
Subtotal - Public Worship (areas surrounding)	71,255

Estimated 2020 Municipal Permissive Tax Exemptions by Category (Cont'd)

Organization	2020 Municipal PTE's
<u>Recreation and Culture</u>	
North Vancouver Lawn Bowling Club	539,655
Presentation House Cultural Society	76,176
Silver Harbour Centre	85,922
St. Edmund's Parish	5,592
BC Photography and Media Arts Society	61,136
North Shore Neighbourhood House Community Garden	3,651
Subtotal - Recreation and Culture	772,132
<u>Service Clubs</u>	
Army, Navy, Air Force Veterans in Canada	20,809
Fraternal Order of Eagles, North West Aerie 2638	14,274
Girl Guides of Canada	59,720
Navy League of Canada	15,906
North Vancouver Masonic Temple	9,209
North Vancouver Royal Canadian Legion	17,329
Subtotal - Service Clubs	137,247
<u>Social Housing</u>	
Lookout Emergency Aid Society, North Shore Shelter	17,843
St Leonard's Society of North Vancouver	2,380
Subtotal - Social Housing	20,223
<u>Tourism and Business</u>	
Auxiliary to the Lions Gate Hospital - Thrift Shop	11,999
North Shore Crisis Services Society - Clothing Program/Thrift Shop *NEW*	12,462
North Vancouver Chamber of Commerce	6,878
City of North Vancouver - Pipe Shop	32,763
City of North Vancouver - The Shipyard Commons *NEW*	28,955
Subtotal - Tourism and Business	93,057
Total 2020 Municipal PTE's	\$1,378,336

Policy Name **Permissive Tax Exemptions**
Policy Number **P27**

POLICY

General Policy

The City recognizes permissive tax exemptions (“PTEs”) as a tool to support the City’s goals and guiding principles by supporting organizations in the community which provide services for the general public good. It is the City’s intention that organizations accessing PTEs are offering services for the general public good (as defined by the goals from the Social Plan and OCP Guiding Principles) and that the overall financial effect on the organization and the City are considered.

The policy establishes eligibility and criteria against for evaluating PTEs, and, if Council directs, provides that the total dollar value of exemptions may be limited to a fixed percentage of the total tax levies.

Relevant goals and guiding principles in the City’s Social Plan and Official Community Plan (“OCP”) will be supported through the provision of PTEs. In addition, all applications must be consistent with the City’s policies, plans, bylaws and regulations.

Eligibility and Assessment Criteria

PTE applicants will be asked to complete an application form. Applications will be assessed for eligibility and the City’s criteria: statutory and municipal compliance, community benefit, and the applicant’s financial organizational viability and financial position.

1. Statutory and Municipal Compliance

All applicants must meet the following eligibility criteria:

- Demonstrate and declare that the principal use of the property qualifies under the Section 224 of the Community Charter;
- Not in arrears with the City; and
- Using the property in a way that is consistent and in compliance with City policies, bylaws and legislation.

2. Community Benefit

Applications will be evaluated on their overall benefit to the community and the public good:

(a) Link between the services provided on the property with City goals and objectives.

- The principal use of property is in alignment with relevant City goals and objectives
- Justify community need for the services offered
- Demonstrate active and regular community oriented use of the property

(b) Provision of services for the general public good and accessibility of services to City residents.

- Services and activities should be available to a significant proportion of City residents, or a broad and attainable membership

3. Ownership and Financial Position

Applications will be evaluated on their financial position and viability:

- Ongoing involvement of community volunteers in the delivery of services
- Seeking funding from multiple sources
- Clear mandate and demonstration of competent management and administration

Recipients of PTEs must publicly acknowledge the exemption.

REASON FOR POLICY

The Official Community Plan (Policy 1.3.7) states that the City will “Assist organizations and individuals that provide community supports through the responsible allocation of City resources.” This policy establishes criteria and procedures for consistent and accountable consideration of PTE applications.

Legislation

Tax exemptions are either statutory or permissive and are both governed by the Community Charter, i.e. a property must qualify under the Community Charter to receive either of these exemptions.

Statutory tax exemptions are allowed under Section 220 of the Community Charter for properties such as provincially or municipally held buildings and land; public libraries; buildings set apart for public worship; public hospitals; and schools. Council does not have any authority over these statutory exemptions. Statutory exemptions are administered by the BC Assessment Authority and the exemption is applied automatically to the tax role without any intervention by Council. Generally, statutory exemptions are for building(s) and the land on which the building(s) stand(s), with some exceptions. For the surrounding lands and improvements to be exempt from taxation, a permissive exemption is required.

To receive consideration for a PTE, properties must qualify for an exemption under Sections 224 (general authority), 225 (special exemptions such as partnering and heritage) and 226 (revitalization exemptions) of the *Community Charter*. Should a property be eligible for an exemption under the *Charter*, the application for the PTE will be assessed according to this PTE Policy. The application form and associated submissions also form an integral part of this PTE Policy. PTEs are at the discretion of Council and are authorized by bylaw, for the period and subject to the conditions provided in the bylaw. PTEs apply to property taxes and other assessment based levies only and not user fees like water, sewer or solid waste. In addition to the exemption from City taxes and levies, related legislation also exempts the properties from some regional, school and transit taxes.

AUTHORITY TO ACT

Administration of this policy is delegated to the Finance Department.

PROCEDURE

The policy sets a four-year term for the exemption, with an intention to provide some multi-year certainty to PTE beneficiaries and ease administrative burden of the application process. Current legislation allows for up to 10 years; however four years was chosen to coincide with Council mandate. Permissive tax exemptions must be passed by bylaw prior to October 31 for the following taxation year.

The following procedure is used to implement this policy and may be amended at the discretion of the Finance Department.

Application Process

Bylaws are in effect for four year terms. At the beginning of a new bylaw term, all organizations applying for PTE's must:

1. Use the prescribed City application form;
2. Declare under what sub-section(s) of the legislation they qualify;
3. Provide a full description of the organization and the programs, services and benefits delivered from the exempted property, including use by City residents;
4. Describe how the services provided link with the goals and objectives of the City as stated in this Policy;
5. Describe any third party use including user group names, fees charged and conditions of use (e.g. rental of space to third party);
6. State the percentage of funding by the provincial and federal governments or agencies;
7. Provide all required and supporting documentation;
8. Provide financial statements;
9. Complete all sections of the application; and,
10. Complete and submit the application within deadlines as published by the City of North Vancouver.

In year two, three and four of the bylaw, new applicants must follow the process above. Existing recipients must provide a copy of their most recent financial statements and complete a statutory declaration annually stating that the property is still being used for the purposes outlined in the full application.

PTE Review and Approval Process

Subsequent to advertising the deadline for PTE application submissions:

1. City staff will notify existing PTE recipients of the application process and deadline.
2. City staff will receive and review all applications / declarations.
3. City staff will compile a list of qualified applicants.
4. City staff will provide notice of permissive tax exemptions as required by Section 227 of the Community Charter.
5. City staff will present a report and proposed tax exemption bylaw ("bylaw") to Council.
6. Council will approve the bylaw once every four years in the first year of their four year mandate. The bylaw will be in effect for four years and is supported by a thorough review of all applications over the four year term.
7. If there are no new applications in any of year two, three or four of a Council mandate, no Council action is required.
8. New applications received in year two, three or four of a Council mandate will be reviewed and considered as received, and a bylaw amendment presented to Council Public notice of the bylaw amendment will be provided as stated in point 3 above.
9. After the bylaw receives final adoption in Council, City staff will notify successful applicants by letter of the tax exemption received.

The City will present the approved list of PTE's in its Annual Municipal Report each year.

Approval date:	July 6, 2009	Approved by:	Council
Effective date:	July 6, 2009	Revision date:	September 14, 2015
			July 10, 2019

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8713

**A Bylaw to exempt certain lands and improvements in the
City of North Vancouver from taxation for the year 2020**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Taxation Exemption Bylaw, 2019, No. 8713**”.
2. Tax exemptions under section 224 of the *Community Charter*.

The following lands situated, lying and being in the Corporation of the City of North Vancouver, Province of British Columbia, and any and all improvements thereon are hereby exempt from taxation imposed by the Corporation of the City of North Vancouver under section 224 of the *Community Charter* for the year 2020:

A. land or improvements that:

- i. are owned or held by a charitable, philanthropic or other not for profit corporation; and
- ii. the council considers are used for a purpose that is directly related to the purposes of the corporation:
 1. Anavets Senior Citizens' Housing, District Lot 274 Block 142 Lot 1 Plan BCP48496, PID: 028-616-260, 245 East 3rd Street, registered in the name of Anavets Senior Citizens' Housing Society, Roll # 142001.100;
 2. Army, Navy Air Force Veterans in Canada, Unit 45, District Lot 274 Block 141 Lot 11 Plan 878, PID: 015-077-179, 119 East 3rd Street, registered in the name of Army, Navy Air Force Veterans in Canada, Roll # 141011.000;
 3. The Cascadia Society for Social Working, District Lot 547 Block 4 Lot G 3846, PID: 012-111-902, 348 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 004081.000;
 4. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot H Plan 20988, PID: 005-163-064, 325 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021010.001;
 5. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot F Plan 20141, PID: 003-683-702, 351 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021004.001;
 6. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 1 Plan BCS2790, PID: 027-428-613, 170 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.001;

7. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 2 Plan BCS2790, PID: 027-428-621, 168 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.002;
8. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 3 Plan BCS2790, PID: 027-428-630, 166 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.003;
9. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 4 Plan BCS2790 PID: 027-428-648, 164 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.004;
10. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 5 Plan BCS2790 PID: 027-428-656, 162 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.005;
11. HYAD Society (Housing for Young Adults with Disabilities), District Lot 545 Block 206 Lot C Plan BCP44933, PID: 028-231-619, 2130 Chesterfield Avenue, registered in the name Provincial Rental Housing Corporation leased to HYAD Society, Roll # 206011.400;
12. Kiwanis Senior Citizens Homes Ltd., District Lot 271 Block 139 Lot D Plan 13604, PID: 008-538-191, 170 West 2nd Street, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 139026.000;
13. Kiwanis Care Homes Ltd., District Lot 550 Block 52 Lot 1 PI BCP23494 PID: 026-683-211, 1480 St. Andrews, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 052100.100;
14. Lighthouse Harbour Ministries, District Lot 274 SL1 Plan VR786, PID: 005-892-244, 1 - 260 East Esplanade, registered in the name of Lighthouse Harbour Ministries, Roll # 980786.001;
15. North Shore Connexions Society, District Lot 547 Block 4 Lot 2 Plan 14515, PID: 007-780-591, 1924 Jones Avenue, registered in the name of North Shore Connexions Society, Roll # 004045.000;
16. North Shore Disability Resource Centre Association, District Lot 616 Block B Lot 218 Plan 20292, PID: 006-672-728, 2412 Wilding Way, registered in the name of North Shore Disability Resource Centre Association, Roll # 950001.218;
17. North Shore Multicultural Society, Portion of District Lot 549 Block 50 Lot B Plan 15169, PID: 007-671-032, 123 East 15th Street, Units 100, 202, 203, 204, 204A, 205, 207, 301, 302, 303, 304, 305 only, registered in the name of Horizon Square Properties Ltd. leased to North Shore Multicultural Society, Roll # 050010.000;
18. North Vancouver Chamber of Commerce, District Lot 274 Block 274 SL2 Plan LMS4443, PID: 025-073-591, 102-124 West 1st Street, registered in the name of North Vancouver Chamber of Commerce, Roll # 994443.002;

19. North Vancouver Masonic Temple Association Ltd, Portion of District Lot 549 Block 85 Lot 4 Plan 750, excluding the land and improvement assessment relating to business class (06), PID: CNV-000-120, 1140 - 1144 Lonsdale Avenue, registered in the name of North Vancouver Masonic Temple Association Ltd., Roll # 085007.000;
20. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 1 Plan LMS4102, PID: 024-750-638, 123 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.001;
21. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 2 Plan LMS4102, PID: 024-750-646, 121 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.002;
22. Silver Harbour Seniors' Activity Centre, District Lot 545 Block 207 Lot C Plan 15014, PID: 007-711-280, 144 East 22nd Street, registered in the name of Silver Harbour Seniors' Activity Centre, Roll # 207050.000;
23. St. Edmund's Parish, District Lot 271 Block 71 Lot B Plan 8415, PID: 010-087-460, 613 Mahon Avenue, registered in the name of the Roman Catholic Archbishop of Vancouver-St. Edmund's Parish, Roll # 071009.000;
24. St Leonard's Society of North Vancouver, District Lot 547 Block 67 Lot 26 Plan 750, PID: 015-141-926, 312 Bewicke Avenue, registered in the name of St Leonard's Society of North Vancouver, Roll # 067027.000;
25. Family Services of the North Shore, Portion of District Lot 548/549 Block 86 Lot G Plan LMP29334, PID: 023-499-486, Suite 203 and 206, 1111 Lonsdale Avenue, registered in the name of Djavad Mowafaghian Foundation leased to Family Services of the North Shore, Roll # 086015.100;
26. The Auxiliary to the Lions Gate Hospital, (Thrift Shop), Portion of District Lot 548 Block 38 Lot E Plan 18002, PID: 007-233-540, 128 15th Street West, registered in the name of The Kenneth L Ronalds and P.M.R. Holdings Corporation leased to The Auxiliary to the Lions Gate Hospital, Roll # 038029.000;
27. Canadian Mental Health Association North and West Vancouver Branch, Portion of District Lot 548/549 Lot A Plan EPP22742, excluding 2,223 sq. ft. of the subleased rental office space of the total 3,596 sq. ft. leased space, PID 028-911-237, 300-1835 Lonsdale Avenue, registered in the name of Solitude Investments Ltd. leased to Canadian Mental Health Association, North and West Vancouver Branch Roll #019033.100;
28. The British Columbia Photography and Media Arts Society, Portion of District Lot 271 Lot A Plan EPP30712, and excluding the commercial retail space, PID 029-093-554, 101 Carrie Cates Court, registered in the name of the Corporation of the City of North Vancouver and leased to The British Columbia Photography and Media Arts Society, Roll # 177035.301;

29. Young Women's Christian Association (YWCA), District Lot 549, Block 61, Lot Air Space Parcel 5, Plan EPP68325, PID 030-180-741, 125 East 14th Street, Units 203, 204, 401, 402, 403, 404, 405, 406, 407 and 408, registered in the name of Young Women's Christian Association, Roll # 061011.600;
 30. Girl Guides of Canada District Lot 271, Lot 220, Plan EPS4482, PID 030-250-218, Unit 107-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.220;
 31. Girl Guides of Canada District Lot 271, Lot 221, Plan EPS4482, PID 030-250-226, Unit 108-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.221;
 32. Girl Guides of Canada District Lot 271, Lot 222, Plan EPS4482, PID 030-250-234, Unit 109-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.222;
 33. Girl Guides of Canada District Lot 271, Lot 229, Plan EPS4482, PID 030-250-307, Unit 207-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.229;
 34. Girl Guides of Canada District Lot 271, Lot 230, Plan EPS4482, PID 030-250-315, Unit 208-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.230;
 35. Girl Guides of Canada District Lot 271, Lot 231, Plan EPS4482, PID 030-250-323, Unit 209-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.231;
- B. land or improvements that:
- i. are owned or held by a municipality, regional district or other local authority; and,
 - ii. the council considers are used for a purpose of the local authority:
 1. Presentation House Cultural Society, District Lot 274 Block 134 Lot 15 &16 Plan 735 and District Lot 247 Block 134 Lots 12 to 21 Plan 735, 333 Chesterfield Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Presentation House Cultural Society, Roll # 134013.000;
 2. The Pipe Shop, District Lot 274 Block 176 Lot 4 Plan BCP 39824, PID: 027-842-215, 115 Victory Ship Way, registered in the name of 366466 BC LTD, leased to the Corporation of the City of North Vancouver, operated by Quay Property Management Corp., Roll # 175100.400;
 3. The Shipyard Commons, District Lot 274, Block176, Portion of Lot 5, Plan BCP 39824, PID 027-842-223, 125 Victory Ship Way, registered in the name of the Corporation of the City of North Vancouver leased to Shipyards Development Ltd, includes 1,317 ft2 Office Space and 6,290 ft2 Public Support Space and 28,310 ft2 Public Plaza SRW leased back to the Corporation of the City of North Vancouver, Roll # 175100.500;

- C. land or improvements that the council considers would otherwise qualify for exemption under section 220 [general statutory exemptions] were it not for a secondary use:
1. The Lonsdale Creek Daycare Centre Society, operating in Lonsdale Annex Elementary School, Portion of District Lot 545 Block 205 Lot 8/14 Plan 3181, PID: 013-068-831, 230 West 21st Street, registered in the name of North Vancouver School District #44, leased to Lonsdale Creek Daycare Centre Society, Roll # 205008.000;
- D. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a public authority or local authority; and,
 - ii. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:
1. Hollyburn Family Services Society, District Lot 548 Lot 4 Plan BCS4407 PID: 028-810-317, 104-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver and leased to Hollyburn Family Services Society, Roll # 994407.004;
 2. Hollyburn Family Services Society, District Lot 548 Lot 6 Plan BCS4407, PID: 028-810-333, 106-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.006;
 3. Hollyburn Family Services Society, District Lot 548 Lot 7 Plan BCS4407, PID: 028-810-341, 107-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.007;
 4. Hollyburn Family Services Society, District Lot 548 Lot 13 Plan BCS4407, PID: 028-810-406, 205-210 West 13th Street, registered in the name the Corporation of the City of North Vancouver leased to of Hollyburn Family Services Society, Roll # 994407.013;
 5. Hollyburn Family Services Society, District Lot 548 Lot 14 Plan BCS4407, PID: 028-810-414, 206-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.014;
 6. Hollyburn Family Services Society, District Lot 548 Lot 15 Plan BCS4407, PID: 028-810-422, 207-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.015;

7. Lookout Emergency Aid Society, NS Shelter, District Lot 265 Lot 2 Plan BCP8797, PID: 025-819-828, 705 West 2nd Street, registered in the name of the Corporation of the City of North Vancouver, leased to Lookout Emergency Aid Society, Roll # 510061.300;
 8. North Shore Neighbourhood House, District Lot 274 Block 154 Lot M Plan 22039, PID: 012-590-975, 225 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.002;
 9. North Shore Neighbourhood House (Community Garden), District Lot 274 Block 154 Lot L Plan 22039, PID: 012-590-924, 207 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.001;
 10. North Shore Neighbourhood House (Centreview Childcare Centre), District Lot 549, Block 61, Lot Air Space Parcel 4, Plan EPP68325, PID 030-180-732, 143 East 14th Street, registered in the name of the City of North Vancouver, leased to North Shore Neighbourhood House, Roll # 061011.500;
 11. Margaret Fulton Adult Day Centre, District Lot 547 Lot A Plan LMP42825, PID: 024-562-874, 1601 Forbes Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Vancouver Coastal Health Authority, subleased to Margaret Fulton Adult Day Centre Roll, # 003002.100;
 12. Navy League of Canada, District Lot 547, Block 27, Lot 27, Plan 12205, PID 008-935-629, 1555 Forbes Avenue, registered in the name of the City of North Vancouver leased to the Navy League of Canada, Roll #003004.000;
- E. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a person who is providing a municipal service under a partnering agreement;
 - ii. an exemption under section 225 [partnering and other special tax exemption authority] would be available for the land or improvements in relation to the partnering agreement if they were used in relation to the service;
 - iii. the partnering agreement expressly contemplates that the council may provide an exemption under this provision; and,
 - iv. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:
- NIL
- F. in relation to property that is exempt under section 220 (1) (h) [buildings for public worship]:

- i. an area of land surrounding the exempt building;
- ii. a hall that the council considers is necessary to the exempt building and the land on which the hall stands; and,
- iii. an area of land surrounding a hall that is exempt under subparagraph (ii):
 - 1. Assembly of Christians (Gospel Hall), District Lot 274 Block 132 Lot 10 Plan 878, PID: 015-076-873, 133 East 4th Street, registered in the name of Trustees of the Assembly of Christians (Gospel Hall), Roll # 132010.000;
 - 2. North Shore Bethel Christian Mennonite Brethren Church, District Lot 274 Block 114 Lot 19 Plan 878, PID: 015-069-141, 185 East Keith Road, registered in the name of The B. C. Conference of the Mennonite Brethren Churches, Roll # 114025.000;
 - 3. Holy Trinity Catholic Church. District Lot 545 Block 239 Lot 3 Plan BCP45481, PID: 028-295-943, 2705 Lonsdale Avenue, registered in the name Roman Catholic Archbishop of Vancouver, Roll # 239066.100;
 - 4. North Shore Alliance Church, District Lot 545 Block 208 Lot 1 Plan 20958, PID: 005-061-563, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.001;
 - 5. North Shore Alliance Church, District Lot 545/546 Block 208 Lot 2 Plan 20958, PID: 005-061-571, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.002;
 - 6. King's Temple Missionary Society (N S Christian Centre), District Lot 616 Block 12 Lot C Plan 21170, PID: 006-853-838, 1400 Sutherland Avenue, registered in the name of King's Temple Missionary Society (N S Christian Centre), Roll # 912009.001;
 - 7. Parish of St. Agnes Anglican Church of Canada, District Lot 550 Block 78 Lot A Plan LMP40523, PID: 024-355-712, 530 East 12th Street, registered in the name of Synod of the Diocese of New Westminster, Roll # 078014.100;
 - 8. Parish of St. John The Evangelist Anglican Church, District Lot 548 Block 72 Plan 20861, PID: 004-364-970, 209 West 13th Street, registered in the name of Parish of St. John The Evangelist Anglican Church, Roll # 072001.001;
 - 9. Salvation Army North Vancouver Community Church, District Lot 548/549 Block 86 Lot C Plan 1464, PID: 014-606-950, 105 West 12th Street, registered in the name of The Governing Council of the Salvation Army of Canada, Roll # 086009.001;
 - 10. St. Andrew's & St. Stephen's Presbyterian Church, District Lot 545 Block 227A Lot A Plan 2836, PID: 013-252-409, 2641 Chesterfield Avenue, registered in the name of Congregation of St. Andrew's & St. Stephen's Presbyterian Church, Roll # 227100.000;

11. St. Andrew's United Church, District Lot 549 Block 88 Lot B Plan 750 PID: 015-136-931, 1046 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088003.000;
 12. St. Andrew's United Church, District Lot 549 Block 88 Lot 27/28/29 Plan 4328, PID: 011-642-483, PID:011-642-475, PID:011-642-491, 1044 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088038.000;
 13. Sutherland Church, District Lot 550 Block 12 Lot C Plan 9445, PID: 009-653-309, 630 East 19th Street, registered in the name of Sutherland Bible Chapel, Roll # 012028.000;
- G. land or improvements used or occupied by a religious organization, as tenant or licensee, for the purpose of public worship or for the purposes of a hall that the council considers is necessary to land or improvements so used or occupied:
- NIL
- H. in relation to property that is exempt under section 220 (1) (i) [seniors' homes], (j) [hospitals] or (l) [private schools], any area of land surrounding the exempt building:
- NIL
- I. land or improvements owned or held by an athletic or service club or association and used as a public park or recreation ground or for public athletic or recreational purposes:
1. North Vancouver Lawn Bowling Club, District Lot 545 Block 207 Lot B of Lot 1 Plan 11876, PID: 009-029-338, 2160 Lonsdale Avenue, registered in the name of the Corporation of the City of North Vancouver leased to the North Vancouver Lawn Bowling Club, Roll # 207020.000;
- J. land or improvements owned or held by a person or organization and operated as a licensed community care facility and registered assisted living residence under the Community Care and Assisted Living Act:
1. Marineview Housing Society, District Lot 548 Block E.48 Lot A Plan 12729 PID: 008-811-946, excluding land and improvement portions relating to market rental units #202 and #204, 1415 Chesterfield Avenue, registered in the name of Marineview Housing Society, Roll # 048019.000;
 2. Marineview Housing Society, District Lot 272 Block 5 Lot 12 Plan 3875 PID: 005-751-390, 1057 Cloverley Street, registered in the name of Marineview Housing Society, Roll # 605012.000;
 3. Magnolia House Residential Mental Health Facility, District Lot 616 Block 6 Lot 73 Plan 1763, PID: 004-276-914, 720 East 17th Street, registered of in the name of Provincial Rental Housing Corporation leased to Vancouver Coastal Health Authority, subleased to Magnolia House Residential Mental Health Facility, Roll # 906073.000;

4. Community Living Society, District Lot 274 Block 116 Lot 4 Plan 878, PID: 015-131-548, 317 & 319 East Keith Road, registered in the name of Community Living Society, Roll # 116003.000;
 5. Community Living Society, District Lot 544 SL21 Plan LMS531, PID: 017-957-826, 1003-555 West 28th Street, registered in the name of Community Living Society, Roll # 990531.021;
 6. Marineview Housing Society, District Lot 550, Block 91, Lot 8, Plan 1647, PID 005-751-454, 1053 Grand Boulevard, registered in the name of Marineview Housing Society, Roll #091008.000;
- K. land or improvements for which a grant has been made, after March 31, 1974, under the Housing Construction (Elderly Citizens) Act before its repeal:

NIL

3. Effective Date

The effective date of this bylaw is January 1, 2020 to December 31, 2020.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8713

**A Bylaw to exempt certain lands and improvements in the
City of North Vancouver from taxation for the year 2020**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Taxation Exemption Bylaw, 2019, No. 8713**”.
2. Tax exemptions under section 224 of the *Community Charter*.

The following lands situated, lying and being in the Corporation of the City of North Vancouver, Province of British Columbia, and any and all improvements thereon are hereby exempt from taxation imposed by the Corporation of the City of North Vancouver under section 224 of the *Community Charter* for the year 2020:

A. land or improvements that:

- i. are owned or held by a charitable, philanthropic or other not for profit corporation; and
- ii. the council considers are used for a purpose that is directly related to the purposes of the corporation:
 1. Anavets Senior Citizens' Housing, District Lot 274 Block 142 Lot 1 Plan BCP48496, PID: 028-616-260, 245 East 3rd Street, registered in the name of Anavets Senior Citizens' Housing Society, Roll # 142001.100;
 2. Army, Navy Air Force Veterans in Canada, Unit 45, District Lot 274 Block 141 Lot 11 Plan 878, PID: 015-077-179, 119 East 3rd Street, registered in the name of Army, Navy Air Force Veterans in Canada, Roll # 141011.000;
 3. The Cascadia Society for Social Working, District Lot 547 Block 4 Lot G 3846, PID: 012-111-902, 348 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 004081.000;
 4. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot H Plan 20988, PID: 005-163-064, 325 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021010.001;
 5. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot F Plan 20141, PID: 003-683-702, 351 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021004.001;
 6. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 1 Plan BCS2790, PID: 027-428-613, 170 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.001;

7. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 2 Plan BCS2790, PID: 027-428-621, 168 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.002;
8. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 3 Plan BCS2790, PID: 027-428-630, 166 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.003;
9. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 4 Plan BCS2790 PID: 027-428-648, 164 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.004;
10. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 5 Plan BCS2790 PID: 027-428-656, 162 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.005;
11. HYAD Society (Housing for Young Adults with Disabilities), District Lot 545 Block 206 Lot C Plan BCP44933, PID: 028-231-619, 2130 Chesterfield Avenue, registered in the name Provincial Rental Housing Corporation leased to HYAD Society, Roll # 206011.400;
12. Kiwanis Senior Citizens Homes Ltd., District Lot 271 Block 139 Lot D Plan 13604, PID: 008-538-191, 170 West 2nd Street, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 139026.000;
13. Kiwanis Care Homes Ltd., District Lot 550 Block 52 Lot 1 PI BCP23494 PID: 026-683-211, 1480 St. Andrews, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 052100.100;
14. Lighthouse Harbour Ministries, District Lot 274 SL1 Plan VR786, PID: 005-892-244, 1 - 260 East Esplanade, registered in the name of Lighthouse Harbour Ministries, Roll # 980786.001;
15. North Shore Connexions Society, District Lot 547 Block 4 Lot 2 Plan 14515, PID: 007-780-591, 1924 Jones Avenue, registered in the name of North Shore Connexions Society, Roll # 004045.000;
16. North Shore Disability Resource Centre Association, District Lot 616 Block B Lot 218 Plan 20292, PID: 006-672-728, 2412 Wilding Way, registered in the name of North Shore Disability Resource Centre Association, Roll # 950001.218;
17. North Shore Multicultural Society, Portion of District Lot 549 Block 50 Lot B Plan 15169, PID: 007-671-032, 123 East 15th Street, Units 100, 202, 203, 204, 204A, 205, 207, 301, 302, 303, 304, 305 only, registered in the name of Horizon Square Properties Ltd. leased to North Shore Multicultural Society, Roll # 050010.000;
18. North Vancouver Chamber of Commerce, District Lot 274 Block 274 SL2 Plan LMS4443, PID: 025-073-591, 102-124 West 1st Street, registered in the name of North Vancouver Chamber of Commerce, Roll # 994443.002;

19. North Vancouver Masonic Temple Association Ltd, Portion of District Lot 549 Block 85 Lot 4 Plan 750, excluding the land and improvement assessment relating to business class (06), PID: CNV-000-120, 1140 - 1144 Lonsdale Avenue, registered in the name of North Vancouver Masonic Temple Association Ltd., Roll # 085007.000;
20. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 1 Plan LMS4102, PID: 024-750-638, 123 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.001;
21. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 2 Plan LMS4102, PID: 024-750-646, 121 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.002;
22. Silver Harbour Seniors' Activity Centre, District Lot 545 Block 207 Lot C Plan 15014, PID: 007-711-280, 144 East 22nd Street, registered in the name of Silver Harbour Seniors' Activity Centre, Roll # 207050.000;
23. St. Edmund's Parish, District Lot 271 Block 71 Lot B Plan 8415, PID: 010-087-460, 613 Mahon Avenue, registered in the name of the Roman Catholic Archbishop of Vancouver-St. Edmund's Parish, Roll # 071009.000;
24. St Leonard's Society of North Vancouver, District Lot 547 Block 67 Lot 26 Plan 750, PID: 015-141-926, 312 Bewicke Avenue, registered in the name of St Leonard's Society of North Vancouver, Roll # 067027.000;
25. Family Services of the North Shore, Portion of District Lot 548/549 Block 86 Lot G Plan LMP29334, PID: 023-499-486, Suite 203 and 206, 1111 Lonsdale Avenue, registered in the name of Djavad Mowafaghian Foundation leased to Family Services of the North Shore, Roll # 086015.100;
26. The Auxiliary to the Lions Gate Hospital, (Thrift Shop), Portion of District Lot 548 Block 38 Lot E Plan 18002, PID: 007-233-540, 128 15th Street West, registered in the name of The Kenneth L Ronalds and P.M.R. Holdings Corporation leased to The Auxiliary to the Lions Gate Hospital, Roll # 038029.000;
27. Canadian Mental Health Association North and West Vancouver Branch, Portion of District Lot 548/549 Lot A Plan EPP22742, excluding 2,223 sq. ft. of the subleased rental office space of the total 3,596 sq. ft. leased space, PID 028-911-237, 300-1835 Lonsdale Avenue, registered in the name of Solitude Investments Ltd. leased to Canadian Mental Health Association, North and West Vancouver Branch Roll #019033.100;
28. The British Columbia Photography and Media Arts Society, Portion of District Lot 271 Lot A Plan EPP30712, and excluding the commercial retail space, PID 029-093-554, 101 Carrie Cates Court, registered in the name of the Corporation of the City of North Vancouver and leased to The British Columbia Photography and Media Arts Society, Roll # 177035.301;

29. Young Women's Christian Association (YWCA), District Lot 549, Block 61, Lot Air Space Parcel 5, Plan EPP68325, PID 030-180-741, 125 East 14th Street, Units 203, 204, 401, 402, 403, 404, 405, 406, 407 and 408, registered in the name of Young Women's Christian Association, Roll # 061011.600;
 30. Girl Guides of Canada District Lot 271, Lot 220, Plan EPS4482, PID 030-250-218, Unit 107-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.220;
 31. Girl Guides of Canada District Lot 271, Lot 221, Plan EPS4482, PID 030-250-226, Unit 108-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.221;
 32. Girl Guides of Canada District Lot 271, Lot 222, Plan EPS4482, PID 030-250-234, Unit 109-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.222;
 33. Girl Guides of Canada District Lot 271, Lot 229, Plan EPS4482, PID 030-250-307, Unit 207-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.229;
 34. Girl Guides of Canada District Lot 271, Lot 230, Plan EPS4482, PID 030-250-315, Unit 208-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.230;
 35. Girl Guides of Canada District Lot 271, Lot 231, Plan EPS4482, PID 030-250-323, Unit 209-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.231;
 36. North Shore Crisis Services Society (Clothing Program/Thrift Store) District Lot 274, Block 133, Lot 274 Plan 879, PID 015-132-749, 150-154 West 3rd St, Units 152 & 154 only, registered in the name of Marion L Sugden and Wayne Sugden leased to North Shore Crisis Services Society, Roll #133028.000;
- B. land or improvements that:
- i. are owned or held by a municipality, regional district or other local authority; and,
 - ii. the council considers are used for a purpose of the local authority:
 1. Presentation House Cultural Society, District Lot 274 Block 134 Lot 15 & 16 Plan 735 and District Lot 247 Block 134 Lots 12 to 21 Plan 735, 333 Chesterfield Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Presentation House Cultural Society, Roll # 134013.000;
 2. The Pipe Shop, District Lot 274 Block 176 Lot 4 Plan BCP 39824, PID: 027-842-215, 115 Victory Ship Way, registered in the name of 366466 BC LTD, leased to the Corporation of the City of North Vancouver, operated by Quay Property Management Corp., Roll # 175100.400;

3. The Shipyard Commons, District Lot 274, Block 176, Portion of Lot 5, Plan BCP 39824, PID 027-842-223, 125 Victory Ship Way, registered in the name of the Corporation of the City of North Vancouver leased to Shipyards Development Ltd, includes 1,317 ft² Office Space and 6,290 ft² Public Support Space and 28,310 ft² Public Plaza SRW leased back to the Corporation of the City of North Vancouver, Roll # 175100.500;
- C. land or improvements that the council considers would otherwise qualify for exemption under section 220 [general statutory exemptions] were it not for a secondary use:
1. The Lonsdale Creek Daycare Centre Society, operating in Lonsdale Annex Elementary School, Portion of District Lot 545 Block 205 Lot 8/14 Plan 3181, PID: 013-068-831, 230 West 21st Street, registered in the name of North Vancouver School District #44, leased to Lonsdale Creek Daycare Centre Society, Roll # 205008.000;
- D. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a public authority or local authority; and,
 - ii. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:
1. Hollyburn Family Services Society, District Lot 548 Lot 4 Plan BCS4407 PID: 028-810-317, 104-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver and leased to Hollyburn Family Services Society, Roll # 994407.004;
 2. Hollyburn Family Services Society, District Lot 548 Lot 6 Plan BCS4407, PID: 028-810-333, 106-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.006;
 3. Hollyburn Family Services Society, District Lot 548 Lot 7 Plan BCS4407, PID: 028-810-341, 107-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.007;
 4. Hollyburn Family Services Society, District Lot 548 Lot 13 Plan BCS4407, PID: 028-810-406, 205-210 West 13th Street, registered in the name the Corporation of the City of North Vancouver leased to of Hollyburn Family Services Society, Roll # 994407.013;
 5. Hollyburn Family Services Society, District Lot 548 Lot 14 Plan BCS4407, PID: 028-810-414, 206-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.014;

6. Hollyburn Family Services Society, District Lot 548 Lot 15 Plan BCS4407, PID: 028-810-422, 207-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.015;
 7. Lookout Emergency Aid Society, NS Shelter, District Lot 265 Lot 2 Plan BCP8797, PID: 025-819-828, 705 West 2nd Street, registered in the name of the Corporation of the City of North Vancouver, leased to Lookout Emergency Aid Society, Roll # 510061.300;
 8. North Shore Neighbourhood House, District Lot 274 Block 154 Lot M Plan 22039, PID: 012-590-975, 225 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.002;
 9. North Shore Neighbourhood House (Community Garden), District Lot 274 Block 154 Lot L Plan 22039, PID: 012-590-924, 207 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.001;
 10. North Shore Neighbourhood House, District Lot 274, Lot 63, Plan EPS 1235, PID 029-140-676, 113 East 3rd Street, registered in the name of the Corporation of the City of North Vancouver licenced to use by North Shore Neighbourhood House, Roll # 991235.063;
 11. North Shore Neighbourhood House (Centreview Childcare Centre), District Lot 549, Block 61, Lot Air Space Parcel 4, Plan EPP68325, PID 030-180-732, 143 East 14th Street, registered in the name of the City of North Vancouver, leased to North Shore Neighbourhood House, Roll # 061011.500;
 12. Margaret Fulton Adult Day Centre, District Lot 547 Lot A Plan LMP42825, PID: 024-562-874, 1601 Forbes Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Vancouver Coastal Health Authority, subleased to Margaret Fulton Adult Day Centre Roll, # 003002.100;
 13. Navy League of Canada, District Lot 547, Block 27, Lot 27, Plan 12205, PID 008-935-629, 1555 Forbes Avenue, registered in the name of the City of North Vancouver leased to the Navy League of Canada, Roll #003004.000;
- E. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a person who is providing a municipal service under a partnering agreement;
 - ii. an exemption under section 225 [partnering and other special tax exemption authority] would be available for the land or improvements in relation to the partnering agreement if they were used in relation to the service;
 - iii. the partnering agreement expressly contemplates that the council may provide an exemption under this provision; and,

- iv. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:

NIL

F. in relation to property that is exempt under section 220 (1) (h) [buildings for public worship]:

- i. an area of land surrounding the exempt building;
- ii. a hall that the council considers is necessary to the exempt building and the land on which the hall stands; and,
- iii. an area of land surrounding a hall that is exempt under subparagraph (ii):
 - 1. Assembly of Christians (Gospel Hall), District Lot 274 Block 132 Lot 10 Plan 878, PID: 015-076-873, 133 East 4th Street, registered in the name of Trustees of the Assembly of Christians (Gospel Hall), Roll # 132010.000;
 - 2. North Shore Bethel Christian Mennonite Brethren Church, District Lot 274 Block 114 Lot 19 Plan 878, PID: 015-069-141, 185 East Keith Road, registered in the name of The B. C. Conference of the Mennonite Brethren Churches, Roll # 114025.000;
 - 3. Holy Trinity Catholic Church. District Lot 545 Block 239 Lot 3 Plan BCP45481, PID: 028-295-943, 2705 Lonsdale Avenue, registered in the name Roman Catholic Archbishop of Vancouver, Roll # 239066.100;
 - 4. North Shore Alliance Church, District Lot 545 Block 208 Lot 1 Plan 20958, PID: 005-061-563, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.001;
 - 5. North Shore Alliance Church, District Lot 545/546 Block 208 Lot 2 Plan 20958, PID: 005-061-571, 201 East 23rd Street, registered in the name of Christian and Missionary Alliance (Canadian Pacific District), Roll # 208001.002;
 - 6. King's Temple Missionary Society (N S Christian Centre), District Lot 616 Block 12 Lot C Plan 21170, PID: 006-853-838, 1400 Sutherland Avenue, registered in the name of King's Temple Missionary Society (N S Christian Centre), Roll # 912009.001;
 - 7. Parish of St. Agnes Anglican Church of Canada, District Lot 550 Block 78 Lot A Plan LMP40523, PID: 024-355-712, 530 East 12th Street, registered in the name of Synod of the Diocese of New Westminster, Roll # 078014.100;
 - 8. Parish of St. John The Evangelist Anglican Church, District Lot 548 Block 72 Plan 20861, PID: 004-364-970, 209 West 13th Street, registered in the name of Parish of St. John The Evangelist Anglican Church, Roll # 072001.001;

9. Salvation Army North Vancouver Community Church, District Lot 548/549 Block 86 Lot C Plan 1464, PID: 014-606-950, 105 West 12th Street, registered in the name of The Governing Council of the Salvation Army of Canada, Roll # 086009.001;
 10. St. Andrew's & St. Stephen's Presbyterian Church, District Lot 545 Block 227A Lot A Plan 2836, PID: 013-252-409, 2641 Chesterfield Avenue, registered in the name of Congregation of St. Andrew's & St. Stephen's Presbyterian Church, Roll # 227100.000;
 11. St. Andrew's United Church, District Lot 549 Block 88 Lot B Plan 750 PID: 015-136-931, 1046 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088003.000;
 12. St. Andrew's United Church, District Lot 549 Block 88 Lot 27/28/29 Plan 4328, PID: 011-642-483, PID:011-642-475, PID:011-642-491, 1044 St. Georges Avenue, registered in the name of The Trustees of the Congregation of St. Andrew's United Church, Roll # 088038.000;
 13. Sutherland Church, District Lot 550 Block 12 Lot C Plan 9445, PID: 009-653-309, 630 East 19th Street, registered in the name of Sutherland Bible Chapel, Roll # 012028.000;
- G. land or improvements used or occupied by a religious organization, as tenant or licensee, for the purpose of public worship or for the purposes of a hall that the council considers is necessary to land or improvements so used or occupied:
- NIL
- H. in relation to property that is exempt under section 220 (1) (i) [seniors' homes], (j) [hospitals] or (l) [private schools], any area of land surrounding the exempt building:
- NIL
- I. land or improvements owned or held by an athletic or service club or association and used as a public park or recreation ground or for public athletic or recreational purposes:
1. North Vancouver Lawn Bowling Club, District Lot 545 Block 207 Lot B of Lot 1 Plan 11876, PID: 009-029-338, 2160 Lonsdale Avenue, registered in the name of the Corporation of the City of North Vancouver leased to the North Vancouver Lawn Bowling Club, Roll # 207020.000;
- J. land or improvements owned or held by a person or organization and operated as a licensed community care facility and registered assisted living residence under the Community Care and Assisted Living Act:
1. Marineview Housing Society, District Lot 548 Block E.48 Lot A Plan 12729 PID: 008-811-946, excluding land and improvement portions relating to market rental units #202 and #204, 1415 Chesterfield Avenue, registered in the name of Marineview Housing Society, Roll # 048019.000;

OPTION 2

2. Marineview Housing Society, District Lot 272 Block 5 Lot 12 Plan 3875 PID: 005-751-390, 1057 Cloverley Street, registered in the name of Marineview Housing Society, Roll # 605012.000;
 3. Magnolia House Residential Mental Health Facility, District Lot 616 Block 6 Lot 73 Plan 1763, PID: 004-276-914, 720 East 17th Street, registered of in the name of Provincial Rental Housing Corporation leased to Vancouver Coastal Health Authority, subleased to Magnolia House Residential Mental Health Facility, Roll # 906073.000;
 4. Community Living Society, District Lot 274 Block 116 Lot 4 Plan 878, PID: 015-131-548, 317 & 319 East Keith Road, registered in the name of Community Living Society, Roll # 116003.000;
 5. Community Living Society, District Lot 544 SL21 Plan LMS531, PID: 017-957-826, 1003-555 West 28th Street, registered in the name of Community Living Society, Roll # 990531.021;
 6. Marineview Housing Society, District Lot 550, Block 91, Lot 8, Plan 1647, PID 005-751-454, 1053 Grand Boulevard, registered in the name of Marineview Housing Society, Roll #091008.000;
- K. land or improvements for which a grant has been made, after March 31, 1974, under the Housing Construction (Elderly Citizens) Act before its repeal:

NIL

3. Effective Date

The effective date of this bylaw is January 1, 2020 to December 31, 2020.

READ a first time on the <> day of <>, 2019.

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READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8713

A Bylaw to exempt certain lands and improvements in the City of North Vancouver from taxation for the year 2020

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Taxation Exemption Bylaw, 2019, No. 8713**”.
2. Tax exemptions under section 224 of the *Community Charter*.

The following lands situated, lying and being in the Corporation of the City of North Vancouver, Province of British Columbia, and any and all improvements thereon are hereby exempt from taxation imposed by the Corporation of the City of North Vancouver under section 224 of the *Community Charter* for the year 2020:

A. land or improvements that:

- i. are owned or held by a charitable, philanthropic or other not for profit corporation; and
- ii. the council considers are used for a purpose that is directly related to the purposes of the corporation:
 1. Anavets Senior Citizens' Housing, District Lot 274 Block 142 Lot 1 Plan BCP48496, PID: 028-616-260, 245 East 3rd Street, registered in the name of Anavets Senior Citizens' Housing Society, Roll # 142001.100;
 2. Army, Navy Air Force Veterans in Canada, Unit 45, District Lot 274 Block 141 Lot 11 Plan 878, PID: 015-077-179, 119 East 3rd Street, registered in the name of Army, Navy Air Force Veterans in Canada, Roll # 141011.000;
 3. The Cascadia Society for Social Working, District Lot 547 Block 4 Lot G 3846, PID: 012-111-902, 348 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 004081.000;
 4. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot H Plan 20988, PID: 005-163-064, 325 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021010.001;
 5. The Cascadia Society for Social Working, District Lot 547 Block 21 Lot F Plan 20141, PID: 003-683-702, 351 West 19th Street, registered in the name of The Cascadia Society for Social Working, Roll # 021004.001;
 6. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 1 Plan BCS2790, PID: 027-428-613, 170 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.001;

7. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 2 Plan BCS2790, PID: 027-428-621, 168 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.002;
8. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 3 Plan BCS2790, PID: 027-428-630, 166 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.003;
9. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 4 Plan BCS2790 PID: 027-428-648, 164 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.004;
10. Fraternal Order of Eagles, North-West Aerie 2638, District Lot 274 Lot 5 Plan BCS2790 PID: 027-428-656, 162 West 3rd Street, registered in the name of Fraternal Order of Eagles, North-West Aerie 2638, Roll # 992790.005;
11. HYAD Society (Housing for Young Adults with Disabilities), District Lot 545 Block 206 Lot C Plan BCP44933, PID: 028-231-619, 2130 Chesterfield Avenue, registered in the name Provincial Rental Housing Corporation leased to HYAD Society, Roll # 206011.400;
12. Kiwanis Senior Citizens Homes Ltd., District Lot 271 Block 139 Lot D Plan 13604, PID: 008-538-191, 170 West 2nd Street, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 139026.000;
13. Kiwanis Care Homes Ltd., District Lot 550 Block 52 Lot 1 PI BCP23494 PID: 026-683-211, 1480 St. Andrews, registered in the name of Kiwanis Senior Citizens Homes Ltd., Roll # 052100.100;
14. Lighthouse Harbour Ministries, District Lot 274 SL1 Plan VR786, PID: 005-892-244, 1 - 260 East Esplanade, registered in the name of Lighthouse Harbour Ministries, Roll # 980786.001;
15. North Shore Connexions Society, District Lot 547 Block 4 Lot 2 Plan 14515, PID: 007-780-591, 1924 Jones Avenue, registered in the name of North Shore Connexions Society, Roll # 004045.000;
16. North Shore Disability Resource Centre Association, District Lot 616 Block B Lot 218 Plan 20292, PID: 006-672-728, 2412 Wilding Way, registered in the name of North Shore Disability Resource Centre Association, Roll # 950001.218;
17. North Shore Multicultural Society, Portion of District Lot 549 Block 50 Lot B Plan 15169, PID: 007-671-032, 123 East 15th Street, Units 100, 202, 203, 204, 204A, 205, 207, 301, 302, 303, 304, 305 only, registered in the name of Horizon Square Properties Ltd. leased to North Shore Multicultural Society, Roll # 050010.000;
18. North Vancouver Chamber of Commerce, District Lot 274 Block 274 SL2 Plan LMS4443, PID: 025-073-591, 102-124 West 1st Street, registered in the name of North Vancouver Chamber of Commerce, Roll # 994443.002;

19. North Vancouver Masonic Temple Association Ltd, Portion of District Lot 549 Block 85 Lot 4 Plan 750, excluding the land and improvement assessment relating to business class (06), PID: CNV-000-120, 1140 - 1144 Lonsdale Avenue, registered in the name of North Vancouver Masonic Temple Association Ltd., Roll # 085007.000;
20. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 1 Plan LMS4102, PID: 024-750-638, 123 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.001;
21. Royal Canadian Legion Branch 118, District Lot 548 Strata Lot 2 Plan LMS4102, PID: 024-750-646, 121 West 15th Street, registered in the name of Royal Canadian Legion Branch 118, Roll # 994102.002;
22. Silver Harbour Seniors' Activity Centre, District Lot 545 Block 207 Lot C Plan 15014, PID: 007-711-280, 144 East 22nd Street, registered in the name of Silver Harbour Seniors' Activity Centre, Roll # 207050.000;
23. St. Edmund's Parish, District Lot 271 Block 71 Lot B Plan 8415, PID: 010-087-460, 613 Mahon Avenue, registered in the name of the Roman Catholic Archbishop of Vancouver-St. Edmund's Parish, Roll # 071009.000;
24. St Leonard's Society of North Vancouver, District Lot 547 Block 67 Lot 26 Plan 750, PID: 015-141-926, 312 Bewicke Avenue, registered in the name of St Leonard's Society of North Vancouver, Roll # 067027.000;
25. Family Services of the North Shore, Portion of District Lot 548/549 Block 86 Lot G Plan LMP29334, PID: 023-499-486, Suite 203 and 206, 1111 Lonsdale Avenue, registered in the name of Djavad Mowafaghian Foundation leased to Family Services of the North Shore, Roll # 086015.100;
26. The Auxiliary to the Lions Gate Hospital, (Thrift Shop), Portion of District Lot 548 Block 38 Lot E Plan 18002, PID: 007-233-540, 128 15th Street West, registered in the name of The Kenneth L Ronalds and P.M.R. Holdings Corporation leased to The Auxiliary to the Lions Gate Hospital, Roll # 038029.000;
27. Canadian Mental Health Association North and West Vancouver Branch, Portion of District Lot 548/549 Lot A Plan EPP22742, excluding 2,223 sq. ft. of the subleased rental office space of the total 3,596 sq. ft. leased space, PID 028-911-237, 300-1835 Lonsdale Avenue, registered in the name of Solitude Investments Ltd. leased to Canadian Mental Health Association, North and West Vancouver Branch Roll #019033.100;
28. The British Columbia Photography and Media Arts Society, Portion of District Lot 271 Lot A Plan EPP30712, and excluding the commercial retail space, PID 029-093-554, 101 Carrie Cates Court, registered in the name of the Corporation of the City of North Vancouver and leased to The British Columbia Photography and Media Arts Society, Roll # 177035.301;

29. Young Women's Christian Association (YWCA), District Lot 549, Block 61, Lot Air Space Parcel 5, Plan EPP68325, PID 030-180-741, 125 East 14th Street, Units 203, 204, 401, 402, 403, 404, 405, 406, 407 and 408, registered in the name of Young Women's Christian Association, Roll # 061011.600;
30. Girl Guides of Canada District Lot 271, Lot 220, Plan EPS4482, PID 030-250-218, Unit 107-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.220;
31. Girl Guides of Canada District Lot 271, Lot 221, Plan EPS4482, PID 030-250-226, Unit 108-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.221;
32. Girl Guides of Canada District Lot 271, Lot 222, Plan EPS4482, PID 030-250-234, Unit 109-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.222;
33. Girl Guides of Canada District Lot 271, Lot 229, Plan EPS4482, PID 030-250-307, Unit 207-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.229;
34. Girl Guides of Canada District Lot 271, Lot 230, Plan EPS4482, PID 030-250-315, Unit 208-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.230;
35. Girl Guides of Canada District Lot 271, Lot 231, Plan EPS4482, PID 030-250-323, Unit 209-252 Esplanade W, registered in the name of Girl Guides of Canada, Roll #994482.231;

B. land or improvements that:

- i. are owned or held by a municipality, regional district or other local authority; and,
- ii. the council considers are used for a purpose of the local authority:
 1. Presentation House Cultural Society, District Lot 274 Block 134 Lot 15 & 16 Plan 735 and District Lot 247 Block 134 Lots 12 to 21 Plan 735, 333 Chesterfield Avenue, registered in the name of the Corporation of the City of North Vancouver leased to Presentation House Cultural Society, Roll # 134013.000;
 2. The Pipe Shop, District Lot 274 Block 176 Lot 4 Plan BCP 39824, PID: 027-842-215, 115 Victory Ship Way, registered in the name of 366466 BC LTD, leased to the Corporation of the City of North Vancouver, operated by Quay Property Management Corp., Roll # 175100.400;
 3. The Shipyard Commons, District Lot 274, Block 176, Portion of Lot 5, Plan BCP 39824, PID 027-842-223, 125 Victory Ship Way, registered in the name of the Corporation of the City of North Vancouver leased to Shipyards Development Ltd, includes 1,317 ft² Office Space and 6,290 ft² Public Support Space and 28,310 ft² Public Plaza SRW leased back to the Corporation of the City of North Vancouver, Roll # 175100.500;

C. land or improvements that the council considers would otherwise qualify for exemption under section 220 [general statutory exemptions] were it not for a secondary use:

1. The Lonsdale Creek Daycare Centre Society, operating in Lonsdale Annex Elementary School, Portion of District Lot 545 Block 205 Lot 8/14 Plan 3181, PID: 013-068-831, 230 West 21st Street, registered in the name of North Vancouver School District #44, leased to Lonsdale Creek Daycare Centre Society, Roll # 205008.000;

D. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:

- i. the land or improvements are owned by a public authority or local authority; and,
- ii. the land or improvements are used by the corporation or organization for a purpose in relation to which an exemption under this Division or Division 6 of this Part would apply or could be provided if the land or improvements were owned by that corporation or organization:

1. Hollyburn Family Services Society, District Lot 548 Lot 4 Plan BCS4407 PID: 028-810-317, 104-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver and leased to Hollyburn Family Services Society, Roll # 994407.004;
2. Hollyburn Family Services Society, District Lot 548 Lot 6 Plan BCS4407, PID: 028-810-333, 106-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.006;
3. Hollyburn Family Services Society, District Lot 548 Lot 7 Plan BCS4407, PID: 028-810-341, 107-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.007;
4. Hollyburn Family Services Society, District Lot 548 Lot 13 Plan BCS4407, PID: 028-810-406, 205-210 West 13th Street, registered in the name the Corporation of the City of North Vancouver leased to of Hollyburn Family Services Society, Roll # 994407.013;
5. Hollyburn Family Services Society, District Lot 548 Lot 14 Plan BCS4407, PID: 028-810-414, 206-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.014;
6. Hollyburn Family Services Society, District Lot 548 Lot 15 Plan BCS4407, PID: 028-810-422, 207-210 West 13th Street, registered in the name of the Corporation of the City of North Vancouver leased to Hollyburn Family Services Society, Roll # 994407.015;

7. Lookout Emergency Aid Society, NS Shelter, District Lot 265 Lot 2 Plan BCP8797, PID: 025-819-828, 705 West 2nd Street, registered in the name of the Corporation of the City of North Vancouver, leased to Lookout Emergency Aid Society, Roll # 510061.300;
 8. North Shore Neighbourhood House, District Lot 274 Block 154 Lot M Plan 22039, PID: 012-590-975, 225 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.002;
 9. North Shore Neighbourhood House (Community Garden), District Lot 274 Block 154 Lot L Plan 22039, PID: 012-590-924, 207 East 2nd Street, registered in the name of the Corporation of the City of North Vancouver leased to North Shore Neighbourhood House, Roll # 154001.001;
 10. North Shore Neighbourhood House (Centreview Childcare Centre), District Lot 549, Block 61, Lot Air Space Parcel 4, Plan EPP68325, PID 030-180-732, 143 East 14th Street, registered in the name of the City of North Vancouver, leased to North Shore Neighbourhood House, Roll # 061011.500;
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- E. the interest of a public authority, local authority or any other corporation or organization in land or improvements that are used or occupied by the corporation or organization if:
- i. the land or improvements are owned by a person who is providing a municipal service under a partnering agreement;
 - ii. an exemption under section 225 [partnering and other special tax exemption authority] would be available for the land or improvements in relation to the partnering agreement if they were used in relation to the service;
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G. land or improvements used or occupied by a religious organization, as tenant or licensee, for the purpose of public worship or for the purposes of a hall that the council considers is necessary to land or improvements so used or occupied:

NIL

H. in relation to property that is exempt under section 220 (1) (i) [seniors' homes], (j) [hospitals] or (l) [private schools], any area of land surrounding the exempt building:

NIL

I. land or improvements owned or held by an athletic or service club or association and used as a public park or recreation ground or for public athletic or recreational purposes:

1. North Vancouver Lawn Bowling Club, District Lot 545 Block 207 Lot B of Lot 1 Plan 11876, PID: 009-029-338, 2160 Lonsdale Avenue, registered in the name of the Corporation of the City of North Vancouver leased to the North Vancouver Lawn Bowling Club, Roll # 207020.000;

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1. Marineview Housing Society, District Lot 548 Block E.48 Lot A Plan 12729 PID: 008-811-946, excluding land and improvement portions relating to market rental units #202 and #204, 1415 Chesterfield Avenue, registered in the name of Marineview Housing Society, Roll # 048019.000;
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MAYOR

CITY CLERK

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 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Wendy Tse, Planner 2

Subject: UBCM FUNDING APPLICATION - HOUSING NEEDS REPORTS PROGRAM

Date: September 25, 2019 File No: 10-5040-03-0003/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled "UBCM Funding Application – Housing Needs Reports Program":

THAT staff be directed to apply for the provincial funding available for the Housing Needs Reports Program, administered by Union of British Columbia Municipalities, prior to the November 29, 2019 deadline.

ATTACHMENTS:

1. BC Ministry of Municipal Affairs & Housing - Guide to Requirements for Housing Needs Reports (Doc#[1827648](#))
2. UBCM Housing Needs Report Program – 2019 Program and Application Guide (Doc#[1827645](#))
3. City of North Vancouver Housing Profile – September 15 (Doc#[1333487](#))

PURPOSE

The purpose of this report is to notify Council of the new legislative requirement for local governments to prepare a Housing Needs Report and to seek Council direction to apply for provincial funding in the November 2019 funding cycle.

BACKGROUND

On May 14, 2018, the Province of BC passed the *Local Government Statutes (Housing Needs Report) Amendment Act, 2018, S.B.C. 2018, c.20*, to require local governments to collect data, analyze trends, and present reports that describe current and anticipated housing needs. With the passing of enabling regulation on April 16, 2019, this legislative requirement is now in effect.

The aim of the Housing Needs Reports is to help local governments and the Province better understand and respond to housing needs in communities. The legislation and regulations specify requirements for:

Part 1: Information Collection

As a basis for determining current and projected housing needs, local governments are required to collect approximately 50 kinds of data about population, households, income, economic sectors, labour force, and a variety of housing-related information.

Part 2: Report Content

Based on analysis of the information collected, report content is required to address current and projected housing needs for a minimum of five years, key areas of local need, households in core housing need and extreme core housing need, and summary of housing policies.

A complete list of data collection and report content requirements is outlined in Attachment #1. The deadline to complete a Housing Needs Report is April 16, 2022, with updates required every five years thereafter. Council must, by resolution, receive the report and make the Housing Needs Report available to the public.

The Ministry of Municipal Affairs and Housing has allocated \$5 million over three years for the Housing Needs Reports Program, administered by Union of British Columbia Municipalities (UBCM), to help communities meet the new legislative requirement. Funding for communities is based on 2016 Census population figures. Based on the funding allocations, the City of North Vancouver may apply for a funding maximum of \$50,000 for communities with populations between 50,000 to 99,999 (Attachment #2).

DISCUSSION

The most recent research conducted of housing needs in the City of North Vancouver dates back to September 2015, when the City produced a Housing Profile in preparation for the Housing Action Plan (Attachment #3). Based on the age of this document and evolving housing needs in the community, a new Housing Needs Report would provide an updated analysis of current and anticipated housing needs and trends. In addition, the mandated data collection for Housing Needs Reports will allow comparisons between local governments with similar housing opportunities and challenges, providing a new metric to gauge effectiveness of City housing initiatives.

Metro Vancouver has committed to support member jurisdictions in completing Part 1 of the Housing Needs Reports by collecting and disseminating data required by the Province. Due to the need for nuanced understandings of local context to complete Part 2 of the Housing Needs Report, the report content will not be completed by Metro Vancouver. Instead, staff recommend that the funding available through the Housing Needs Reports Program be used to retain professional consulting services to assist staff in completing this new legislative requirement. Should Council direct staff to apply for provincial funding for the November 2019 intake period, successful applicants are anticipated to be notified in spring 2020. If funding is granted, the City would have to complete the Housing Needs Report by spring 2021.

Community Consultation

The Housing Needs Report is primarily a technical exercise in data gathering and trends analysis. Staff are anticipating working in close collaboration with Metro Vancouver and other municipalities to achieve regional consistency. In addition, consultation with North Shore community agencies and service providers focused on housing will be undertaken, where appropriate. To meet provincial requirements, the Housing Needs Report must be received by Council resolution at a meeting that is open to the public, with the report published online for public access, if endorsed.

FINANCIAL IMPLICATIONS

The \$50,000 funding, if received by the City, would reduce staff time in completing this new legislative requirement as professional consulting services will be retained.

INTER-DEPARTMENTAL IMPLICATIONS

Nil.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS

A Housing Needs Report will help inform and substantiate City housing initiatives and to ensure new housing projects and policies are based on sound technical research and address current and emerging community needs. Housing is a priority in the City, as reflected in the Official Community Plan, Housing Action Plan, and more recently, Council's 2019 Strategic Plan, which prioritizes a "City for People" and "strives to ensure the City's housing meets the diverse needs of the community".

RESPECTFULLY SUBMITTED:



Wendy Tse
Planner 2

Guide to Requirements for Housing Needs Reports

Effective April 16, 2019 provincial requirements require all local governments to complete housing needs reports for their communities by April 2022 and every five years thereafter.

Together, the housing needs reports legislation and regulations specify requirements for:

- **Information Collection** - As a basis for determining current and projected housing needs, local governments are required to collect approximately 50 distinct kinds of data.
- **Report Content** - All housing needs reports are required to contain certain content, based on analysis of the information collected, and a standardized summary form.

This guide is an overview of the requirements in each of these areas.¹

The requirements related to housing needs reports are detailed in legislation and associated regulations:

- The *Local Government Act* (mainly Part 14) and Housing Needs Reports Regulation.
- *Vancouver Charter*, Section 27 and Vancouver Housing Needs Reports Regulation.

Links to the legislation and regulations, as well as implementation supports for local governments to meet the requirements, are available at:

<https://www2.gov.bc.ca/gov/content/housing-tenancy/local-governments-and-housing/policy-and-planning-tools-for-housing/housing-needs-reports>

Local governments who are already working on, or who have recently completed a housing needs report (before April 2019), may be considered to have met the legislated requirement for their first report. Please contact ministry staff about whether these transitional provisions could apply to your local government.

Ministry of Municipal Affairs and Housing
Planning and Land Use Management Branch
Telephone: 250-387-3394
Email: PLUM@gov.bc.ca

¹ Note: In the event of discrepancy with this document, the meaning of the legislation and regulations prevails.

Required Information (Data Collection)

As a basis for determining current and projected housing needs, local governments are required to collect approximately 50 kinds of data about:

- current and projected population;
- household income;
- significant economic sectors; and
- currently available and anticipated housing units.

In the case of a regional district, this information is required for each electoral area to which the report applies (except for electoral areas with a population of less than 100). In the case of the Islands Trust, the information is required for each local trust area.

Most of the data that local governments are required to collect is provided at: <https://catalogue.data.gov.bc.ca/group/housing-needs-reports>

The tables below detail each of the required kinds of data, its source and the time frame for which it is required.

Understanding trends is an important part of data analysis. Consequently, local governments are required to collect information on previous as well as current years.

- For data that is available from Statistics Canada, the period for which data will be required will be the previous three Census reports. For other information, the required period will be comparable. Local governments may choose to look further back if information is available.
- Information projections will be required to look at least five years forward.

Population <i>Time Frame: previous 3 Census reports, except marked *</i>	Source of Data	Housing Needs Report Regulation
Total population	Statistics Canada Census	Section 3 (1) (a) (i)
Population growth [# and %]	Statistics Canada Census	Section 3 (1) (b)
Age - Average and median age	Statistics Canada Census	Section 3 (1) (a) (ii), (iii)
Age - Age group distribution (0-14, 15-19, 20-24, 25-64, 65-84, 85+) [# and %]	Statistics Canada Census	Section 3 (1) (a) (iv)
Mobility – number of non-movers, non-migrants, migrants	Statistics Canada Census	Section 3 (1) (a) (x)
Number of individuals experiencing homelessness* (if available)	Homeless Counts	Section 3 (1) (d)
Number of students enrolled in post-secondary institutions* (if applicable)	AEST	Section 3 (1) (c)

Households <i>Time Frame: previous 3 Census reports</i>	Source of Data	Housing Needs Report Regulation
Total number of households	Statistics Canada Census	Section 3 (1) (v)
Average household size	Statistics Canada Census	Section 3 (1) (vi)
Breakdown of households by size (1, 2, 3, 4, 5+ people) [# and %]	Statistics Canada Census	Section 3 (1) (vii)
Renter and owner households [# and %]	Statistics Canada Census	Section 3 (1) (viii)
Renter households in subsidized housing [# and %]	Statistics Canada Census	Section 3 (1) (ix)

Anticipated Population <i>Time Frame: next 5 years</i>	Source of Data	Housing Needs Report Regulation
Anticipated population	BC Stats	Section 3 (2) (a)
Anticipated population growth [# and %]	BC Stats	Section 3 (2) (b)
Anticipated age - Average and median age	BC Stats	Section 3 (2) (c), (d)
Anticipated age - Age group distribution (0-14, 15-19, 20-24, 25-64, 65-84, 85+) [# and %]	BC Stats	Section 3 (2) (e)

Anticipated Households <i>Time Frame: for next 5 years</i>	Source of Data	Housing Needs Report Regulation
Anticipated number of households	BC Stats	Section 3 (2) (f)
Anticipated average household size (# of people)	BC Stats	Section 3 (2) (g)

Household Income <i>Time Frame: previous 3 Census reports</i>	Source of Data	Housing Needs Report Regulation
Average and median household income (if available)	Statistics Canada Census	Section 4 (a), (b)
Households in specified income brackets (# and %) (if available)	Statistics Canada Census	Section 4 (c)
Renter household income – Average and median (if available)	Statistics Canada Census	Section 4 (f)
Renter households in specified income brackets (# and %) (if available)	Statistics Canada Census	Section 4 (d)
Owner household Income – Average and median (if available)	Statistics Canada Census	Section 4 (g)
Owner households in specified income brackets (# and %) (if available)	Statistics Canada Census	Section 4 (e)

Economic Sectors & Labour Force	Source of Data	Housing Needs Report Regulation
<i>Time Frame: previous 3 Census reports. Except for *</i>		
Total number of workers	Statistics Canada Census	Section 5 (a)
Number of workers by industry (North American Industry Classification System – NAICS)	Statistics Canada Census	Section 5 (b)
Unemployment rate and participation rate	Statistics Canada Census	Section 7 (b), (c)
Commuting destination* (within census subdivision; to different census subdivision; to different census division; to another Province/Territory)	Statistics Canada Census	Section 7 (d), (e), (f), (g)

Housing Units – Currently occupied/available	Source of Data	Housing Needs Report Regulation
Total number of housing units	Statistics Canada Census	Section 6 (1) (a)
Breakdown by structural type of units [# and %]	Statistics Canada Census	Section 6 (1) (b)
Breakdown by size – # of units with 0 bedrooms (bachelor); 1 bedroom; 2 bedrooms; 3+ bedrooms	Statistics Canada Census	Section 6 (1) (c)
Breakdown by date built (pre-1960; 1961-80; 1981-90; 1991-00; 2001-10; 2011-16; 2017) [# and %]	Statistics Canada Census	Section 6 (1) (d)
Number of housing units that are subsidized housing	BC Housing/ BCNPHA ²	Section 6 (1) (e)
Rental vacancy rate – overall and for each type of unit (if available)	CMHC	Section 6 (1) (i), (j)
Number of primary and secondary rental units (if available)	CMHC, Various	Section 6 (1) (k) (i), (ii)
Number of short-term rental units (if available)	Various	Section 6 (1) (k) (iii)
Number of units in cooperative housing (if applicable)	Coop Housing Federation of BC	Section 6 (1) (l)
Number of Post-secondary housing (number of beds) (if applicable)	AEST	Section 6 (1) (o)
Shelter beds and housing units for people experiencing or at risk of homelessness (if applicable)	BC Housing	Section 6 (1) (p)

² BCNPHA: BC Non-profit Housing Association

Housing Units – Change in housing stocks (past 10 years)	Source of Data	Housing Needs Report Regulation
Demolished - overall and breakdown for each structural type and by tenure (if available)	Local government	Section 6 (1) (m) (i), (ii), (iii), (iv)
Substantially completed - overall and breakdown for each structural type and by tenure (if available)	Local government	Section 6 (1) (n) (i), (ii), (iii), (iv)
Registered new homes - overall and breakdown for each structural type and for purpose-built rental	BC Housing	Section 6 (3) (a), (b), (c)

Housing Values <i>Time Frame: 2005 onward for first report; past 10 years for subsequent reports</i>	Source of Data	Housing Needs Report Regulation
Assessed values - Average and median for all units	BC Assessment	Section 6 (1) (f) (i)
Assessed values - Average and median by structural type (e.g. single detached, apartment, etc.)	BC Assessment	Section 6 (1) (f) (ii)
Assessed values - Average and median by unit size (0, 1, 2, 3+ bedrooms)	BC Assessment	Section 6 (1) (f) (iii)
Sale Prices – Average and median for all units and for each structural type	BC Assessment	Section 6 (1) (g) (i)
Sale Prices – Average and median by structural type (e.g. single detached, apartment, etc.)	BC Assessment	Section 6 (1) (g) (ii)
Sale Prices - Average and median by unit size (0, 1, 2, 3+ bedrooms)	BC Assessment	Section 6 (1) (g) (iii)
Rental Prices – Average and median for all units and for unit size (# of bedrooms) (if available)	CMHC	Section 6 (1) (h) (i)
Rental Prices - Average and median by unit size (0, 1, 2, 3+ bedrooms)	CMHC	Section 6 (1) (h) (ii)

Households in Core Housing Needs <i>Time Frame: previous 3 Census reports</i>	Source of Data	Housing Needs Report Regulation
Affordability – households spending 30%+ of income on shelter costs (overall # and % of households)	Statistics Canada Census	Section 7 (a) (i)
Affordability – households spending 30%+ of income on shelter costs (# and % of renter and owner households)	Statistics Canada Census	Section 7 (a) (ii)
Adequacy – households in dwellings requiring major repairs (overall # and % of households)	Statistics Canada Census	Section 7 (a) (iii)
Adequacy – households in dwellings requiring major repairs (# and % of renter and owner households)	Statistics Canada Census	Section 7 (a) (iv)
Suitability – households in overcrowded dwellings (overall # and % of households)	Statistics Canada Census	Section 7 (a) (v)
Suitability – households in overcrowded dwellings (# and % of renter and owner households)	Statistics Canada Census	Section 7 (a) (vi)

Required Content for Housing Needs Reports

All housing needs reports are required to contain the following content, based on analysis of the information collected. In the case of a regional district, this content is required for every electoral area to which the report applies. In the case of the Islands Trust, the content is required for each local trust area to which the report applies.

- The number of housing units required to meet current housing and anticipated housing needs for at least the next five years, by housing type.
- Statements about key areas of local need.
- The number and percentage of households in core housing need and extreme core housing need.
- A standardized summary form.

Note that a regional district *does not need* to include the following content for electoral areas with a population of less than 100.

Housing units required – Current and Anticipated (in 5 years)	Legislation
Number of units needed by “type” (unit size): 0 bedrooms (bachelor); 1 bedrooms; 2 bedrooms; and 3+ bedrooms	LGA: 585.3 (c) (i), (ii); VC: 574.3 (c) (i), (ii)

Households in core housing need <i>Time frame: previous 3 Census reports</i>	Housing Needs Reports Regulation
Core housing need, overall and breakdown by tenure [# and %]	Section 8 (1) (a) (i), (ii)
Extreme core housing need, overall and breakdown by tenure [# and %]	Section 8 (1) (a) (iii), (iv)

Statements about key areas of local need	Housing Needs Reports Regulation
<ul style="list-style-type: none"> • Affordable housing • Rental housing • Special needs housing • Housing for seniors • Housing for families • Shelters for individuals experiencing homelessness and housing for individuals at risk of homelessness 	Section 8 (1) (b) (i), (ii), (iii), (iv), (v), (vi)

Summary Form	Housing Needs Reports Regulation
<ul style="list-style-type: none"> • Key contextual information (e.g. location, population, median age, unemployment rate, etc.) • Summary of all the required content (tables above) • Summary of housing policies in OCPs and RGSs (if available) • Summary of community consultation, and consultation with First Nations, other local governments and agencies. • Other key housing issues or needs not identified in the required content. 	Section 8 (1) (c)

For more information, please contact ministry staff:

Ministry of Municipal Affairs and Housing
Planning and Land Use Management Branch
Telephone: 250-387-3394
Email: PLUM@gov.bc.ca

Housing Needs Reports Program

2019 Program & Application Guide

REVISED AUGUST 2019

1. Introduction

Starting in April 2019, local governments are required to develop housing needs reports on a regular basis. The reports will strengthen the ability of local governments to understand what kinds of housing are most needed in their communities, and help inform local plans, policies, and development decisions.

Housing Needs Reports Program

The Housing Needs Reports program supports local governments in undertaking housing needs reports in order to meet the provincial requirements. The Ministry of Municipal Affairs & Housing (MMAH) has confirmed \$5 million over three years for this program.

The program is structured to reflect the planning areas for which local governments are required to complete housing needs reports: municipalities, electoral areas, and local trust areas (within the Islands Trust). Funding is scaled based on the net population of each planning area.

Refer to Section 6 and Appendix 1 for eligible funding amounts.

2. Eligible Applicants

All local governments in BC (municipalities, regional districts, and the Islands Trust) are eligible to apply. Local Trust Committees must apply through the Islands Trust.

Each planning area (municipality, electoral area, and local trust area) can only be funded once over the full span of the program.

Updated August 2019 - Funding permitting, the Islands Trust and regional districts can submit one application per intake to undertake separate housing needs reports for different trust areas/electoral areas, including regional applications and participation as a partnering applicant in a regional application.

Planning areas that were funded in the May 2019 intake are not eligible for subsequent intakes. Refer to Appendix 1 for eligible planning areas.

3. Eligible Projects

To qualify for funding, a project must:

- Be a new project or an update to an existing, eligible housing needs report. Retroactive funding is not available.

- Result in a housing needs report for at least one entire planning area: municipality, electoral area, or local trust area.
- Be capable of completion by the applicant within one year from the date of funding approval.

Regional Projects

Funding requests for a combination of planning areas (municipalities, electoral areas, and/or local trust areas) may be submitted as a single application for eligible, collaborative projects. In this case, the maximum funding available would be based on the number of eligible planning areas included in the application and the funding maximums for each as identified in Appendix 1. It is expected that regional projects will demonstrate cost-efficiencies in the total grant request.

The primary applicant submitting the application for a regional project is required to submit a Council, Board, or Local Trust Committee resolution as outlined in Section 7 of this guide. If the additional planning areas are outside of the primary applicant's jurisdiction, each partnering local government is required to submit a Council, Board, or Local Trust Committee resolution that clearly states their approval for the primary applicant to apply for, receive, and manage the funding on their behalf.

The total funding request for regional projects cannot exceed \$150,000.

4. Requirements for Funding

To qualify for funding, housing needs reports must:

- Meet the requirements of the *Local Government Act* (or *Vancouver Charter*) in relation to the development of a new or updated housing needs report;
- Result in a housing needs report for at least one entire planning area: municipality, electoral area, or local trust area;
- Be received by the local government Council, Board, or Local Trust Committee in a meeting open to the public. In the case of regional projects, the report must be received by the Council, Board, or Local Trust Committee responsible for each planning area that is included in the project; and
- Be published online for free public access.

5. Eligible & Ineligible Costs & Activities

Eligible Costs & Activities

Eligible costs are direct costs that are approved by the Evaluation Committee, properly and reasonably incurred, and paid by the applicant to carry out eligible activities. Eligible costs can only be incurred from the date of application submission until the final report is submitted (unless specified below).

Under the Housing Needs Reports program, eligible costs and activities must be cost-effective and include:

- Development of new or updated housing needs reports (as required by the *Local Government Act* and *Vancouver Charter*), including:

- Project management and coordination;
 - **Updated August 2019** - Data collection (from public agencies and/or other data sources), compilation and analysis, not including the collection and compilation of [data made available at no cost via the Ministry of Municipal Affairs & Housing](#) for the purpose of developing housing needs reports;
 - Research specific to the development of housing needs reports;
 - Community engagement, such as collaboration with neighbouring local governments and partner organizations, community surveys, and engagement activities.
- Publication of housing needs reports including editing, proofing, graphic design, etc.
 - Presentation of housing needs reports to Council, Board, or Local Trust Committee.

The following expenditures are also eligible, provided they relate directly to the eligible activities identified above:

- Consultant costs;
- Incremental staff and administration costs;
- Public information costs;
- Training and capacity building for local government staff specific to developing housing needs reports.

Ineligible Costs & Activities

Any activity that is not outlined above or is not directly connected to activities approved in the application by the Evaluation Committee is not eligible for funding. This includes:

- Collection of data similar to that made available at no cost [via the Ministry of Municipal Affairs & Housing](#) for the purpose of housing needs reports;
- Routine or ongoing operating and/or planning costs or activities (e.g. tracking and reporting of development and building permits);
- Capital costs;
- Purchase of software, software licences, or service subscriptions;
- Preparation of maps and spatial data.

6. Grant Maximum

Funding maximums are based on the population of the planning area (using the 2016 Census data).

The Program can contribute a maximum of 100% of the cost of eligible activities – to a maximum of the amounts identified in Table 1. For certainty, Appendix 1 outlines the net population and eligible funding for each planning area (municipality, electoral area, and local trust area) in BC.

Table 1: Funding Maximums

Population	Funding Maximum
Under 5,000	\$15,000
5,000 to 14,999	\$20,000
15,000 to 49,999	\$30,000
50,000 to 99,999	\$50,000
100,000 or greater	\$70,000

As noted in Section 3, the funding maximum for all regional projects is \$150,000.

In order to ensure transparency and accountability in the expenditure of public funds, all other contributions for eligible portions of the project must be declared and, depending on the total value, may decrease the value of the funding.

7. Application Requirements & Process

Application Deadline

Applicants will be advised of the status of their application within 60 days of the following application deadline: November 29, 2019.

Funding permitting, program information for 2020 intakes will be available following this deadline.

Required Application Contents

- Completed Application Form;
- Detailed project budget;
- Council, Board, or Local Trust Committee resolution, indicating support for the current proposed activities and willingness to provide overall grant management;
- For regional projects only. Each partnering local government must submit a Council, Board, or Local Trust Committee resolution indicating support for the primary applicant to apply for, receive, and manage the grant funding on their behalf;

<p>Resolutions from partnering applicants must include the language above.</p>

- Optional: Up to five letters of support as evidence of partnership or collaboration with community organizations and/or other local stakeholders.

Submission of Applications

Applications should be submitted as Word or PDF files. If you choose to submit your application by e-mail, hard copies do not need to follow.

All applications should be submitted to:

Local Government Program Services, Union of BC Municipalities

E-mail: lgps@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

Review of Applications

UBCM will perform a preliminary review of applications to ensure the required application contents have been submitted and to ensure that eligibility criteria have been met. Only complete application packages will be reviewed.

Following this, all eligible applications will be reviewed and scored by the Evaluation Committee. Higher application review scores will be given to projects that:

- Are for planning areas that are required under the *Local Government Statutes (Housing Needs Reports) Amendment Act* to complete a housing needs report;
- Are from communities that do not currently have a housing needs report, or have a report that is more than five (5) years old;
- Demonstrate community consultation and public engagement, including:
 - Neighbouring local governments
 - First Nations and local Indigenous organizations
 - Non-profit service providers, health authorities, and/or post-secondary institutions
 - Non-profit and for-profit development sector
 - Vulnerable populations (e.g. individuals experiencing homelessness, those at risk of experiencing homelessness, youth, seniors, new immigrants or refugees, etc.)
- Include strategies for training and capacity building for local government staff to undertake housing needs reports and subsequent updates;
- Are cost-effective;
- Include in-kind or cash contributions to the project from the eligible applicant, regional partners, or other grant funding.

Point values and weighting have been established within each of these scoring criteria. Only those applications that meet a minimum threshold point value will be considered for funding.

The Evaluation Committee will consider the population and provincial, regional, and urban/rural distribution of proposed projects. Funding decisions will be made on a provincial priority basis.

8. Grant Management & Applicant Responsibilities

The applicant is responsible for completion of the project as approved and for meeting reporting requirements.

Applicants are also responsible for proper fiscal management, including maintaining acceptable accounting records for the project. UBCM reserves the right to audit these records.

Notice of Funding Decision

All applicants will receive written notice of funding decisions. Approved applicants will receive an Approval Agreement, which will include the terms and conditions of any grant that is awarded, and that is required to be signed and returned to UBCM.

Grants under the Housing Needs Report program will be awarded in two payments: 50% at the approval of the project and when the signed Approval Agreement has been returned to UBCM and 50% when the project is complete and the final reporting requirements have been met.

Please note that in cases where revisions are required to an application, or an application has been approved in principle only, the applicant has 30 days from the date of the written notice of the status of the application to complete the application requirements. Applications that are not completed within 30 days may be closed.

Progress Payments

In exceptional circumstances, to request a progress payment, approved applicants are required to submit:

- Written rationale for receiving a progress payment;
- Description of activities completed to date; and
- Description of funds expended to date.

Changes to Approved Projects

Approved funds are specific to the project as identified in the application, and not transferable to other projects. Approval from the Evaluation Committee will be required for any significant variation from the approved project.

To propose changes to an approved project, approved applicants are required to submit:

- Revised application package, including updated, signed application form, revised budget, and updated Council, Board, or Local Trust Committee resolution(s); and
- Written rationale for proposed changes to activities and/or expenditures.

The revised application package will then be reviewed by the Evaluation Committee.

Applicants are responsible for any costs above the approved funds unless a revised application is submitted and approved prior to work being undertaken.

Extensions to Project End Date

All approved activities are required to be completed within one year of approval and all extensions beyond this date must be requested in writing and be approved by UBCM. Extensions will not exceed one year.

9. Final Report Requirements & Process

Applicants are required to submit an electronic copy of the complete final report, including the following:

- Completed Final Report Form;
- Financial summary;
- Completed Housing Needs Report(s).

Submission of Final Reports

All final reports should be submitted to:

Local Government Program Services, Union of BC Municipalities

E-mail: lqps@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

All final reports will be shared with the Province of BC

10. Additional Information

For enquiries about the application process or program, please contact:

Union of BC Municipalities
525 Government Street
Victoria, BC, V8V 0A8

Email: lgps@ubcm.ca
Phone: (250) 952-9177

For more on the Housing Needs Reports requirements, supporting data, and guidance, please visit the Ministry of Municipal Affairs & Housing [website](#).

Appendix 1: Funding Maximums by Planning Areas

As outlined in Section 6, funding maximums are based on net population of the planning area (using the 2016 Census data).

The following tables outline the net population and eligible funding for each municipality, electoral area, and Local Trust Area in BC, and is organized by Regional District and Islands Trust.

Please note that, where applicable, the populations of Local Trust Areas have been removed from the electoral area in which the island(s) are located. In these cases, funding maximums for the electoral areas are based on net populations.

Alberni-Clayoquot Regional District

Planning Area	Net Population	Funding Maximum
Alberni-Clayoquot A	243	\$15,000
Alberni-Clayoquot B	443	\$15,000
Alberni-Clayoquot C	677	\$15,000
Alberni-Clayoquot D	1,616	\$15,000
Alberni-Clayoquot E	2,754	\$15,000
Alberni-Clayoquot F	1,935	\$15,000
Port Alberni, City of	17,678	Funded
Tofino, District of	1,932	\$15,000
Ucluelet, District of	1,717	\$15,000

Regional District of Bulkley-Nechako

Planning Area	Net Population	Funding Maximum
Bulkley-Nechako A	5,256	\$20,000
Bulkley-Nechako B	1,938	\$15,000
Bulkley-Nechako C	1,415	\$15,000
Bulkley-Nechako D	1,472	\$15,000
Bulkley-Nechako E	1,593	\$15,000
Bulkley-Nechako F	3,665	\$15,000
Bulkley-Nechako G	903	\$15,000
Burns Lake, Village of	1,779	\$15,000
Fort St. James, District of	1,598	\$15,000
Fraser Lake, Village of	988	\$15,000
Granisle, Village of	303	\$15,000
Houston, District of	2,993	\$15,000
Smithers, Town of	5,401	Funded
Telkwa, Village of	1,327	Funded
Vanderhoof, District of	4,439	\$15,000

Capital Regional District

Planning Area	Net Population	Funding Maximum
Juan de Fuca EA	4,860	\$15,000

Salt Spring Island EA	0	\$0
Southern Gulf Islands EA	0	\$0
Central Saanich, District of	16,814	\$30,000
Colwood, City of	16,859	\$30,000
Esquimalt, Township of	17,655	\$30,000
Highlands, District of	2,225	\$15,000
Langford, City of	35,342	\$30,000
Metchosin, District of	4,708	\$15,000
North Saanich, District of	11,249	\$20,000
Oak Bay, District of	18,094	Funded
Saanich, District of	114,148	\$70,000
Sidney, Town of	11,672	Funded
Sooke, District of	13,001	Funded
Victoria, City of	85,792	\$50,000
View Royal, Town of	10,408	Funded

Cariboo Regional District

Planning Area	Net Population	Funding Maximum
Cariboo A	6,265	\$20,000
Cariboo B	3,842	\$15,000
Cariboo C	1,225	\$15,000
Cariboo D	2,929	\$15,000
Cariboo E	4,064	\$15,000
Cariboo F	4,554	\$15,000
Cariboo G	5,156	\$20,000
Cariboo H	1,784	\$15,000
Cariboo I	1,440	\$15,000
Cariboo J	642	\$15,000
Cariboo K	398	\$15,000
Cariboo L	4,204	\$15,000
100 Mile House, District of	1,980	\$15,000
Quesnel, City of	9,879	\$20,000
Wells, District of	217	\$15,000
Williams Lake, City of	10,753	\$20,000

Central Coast Regional District

Planning Area	Net Population	Funding Maximum
Central Coast A	203	Funded
Central Coast C	653	Funded
Central Coast D	399	Funded
Central Coast E	148	Funded

Regional District of Central Kootenay

Planning Area	Net Population	Funding Maximum
Central Kootenay A	1,930	Funded
Central Kootenay B	4,657	Funded
Central Kootenay C	1,482	Funded
Central Kootenay D	1,343	Funded
Central Kootenay E	3,772	Funded
Central Kootenay F	3,963	Funded
Central Kootenay G	1,623	Funded
Central Kootenay H	4,667	Funded
Central Kootenay I	2,534	Funded
Central Kootenay J	3,137	Funded
Central Kootenay K	1,681	Funded
Castlegar, City of	8,039	\$20,000
Creston, Town of	5,351	Funded
Kaslo, Village of	968	Funded
Nakusp, Village of	1,605	Funded
Nelson, City of	10,572	\$20,000
New Denver, Village of	473	\$15,000
Salmo, Village of	1,141	Funded
Silverton, Village	195	\$15,000
Slocan, Village of	272	\$15,000

Regional District of Central Okanagan

Planning Area	Net Population	Funding Maximum
Central Okanagan	3,824	\$15,000
Central Okanagan J	1,981	\$15,000
Kelowna, City of	127,380	\$70,000
Lake Country, District of	12,922	\$20,000
Peachland, District of	5,428	\$20,000
West Kelowna, City of	32,655	\$30,000

Columbia Shuswap Regional District

Planning Area	Net Population	Funding Maximum
Columbia-Shuswap A	3,148	\$15,000
Columbia-Shuswap B	598	\$15,000
Columbia-Shuswap C	7,921	Funded
Columbia-Shuswap D	4,044	\$15,000
Columbia-Shuswap E	1,185	Funded
Columbia-Shuswap F	2,454	\$15,000
Golden, Town of	3,708	Funded
Revelstoke, City of	7,547	\$20,000
Salmon Arm, City of	17,706	\$30,000

Sicamous, District of	2,429	\$15,000
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Comox Valley Regional District

Planning Area	Net Population	Funding Maximum
Comox Valley A	5,032	Funded
Comox Valley B	7,095	Funded
Comox Valley C	8,617	Funded
Comox, Town of	14,028	Funded
Courtenay, City of	25,599	Funded
Cumberland, Village of	3,753	Funded

Cowichan Valley Regional District

Planning Area	Net Population	Funding Maximum
Cowichan Valley A	4,733	\$15,000
Cowichan Valley B	8,558	\$20,000
Cowichan Valley C	5,019	\$20,000
Cowichan Valley D	3,243	\$15,000
Cowichan Valley E	4,121	\$15,000
Cowichan Valley F	1,629	\$15,000
Cowichan Valley G	1,936	\$15,000
Cowichan Valley H	2,446	\$15,000
Cowichan Valley I	1,206	\$15,000
Duncan, City of	4,944	\$15,000
Ladysmith, Town of	8,537	\$20,000
Lake Cowichan, Town of	3,226	\$15,000
North Cowichan, District of	29,676	\$30,000

Regional District of East Kootenay

Planning Area	Net Population	Funding Maximum
East Kootenay A	1,943	\$15,000
East Kootenay B	1,976	\$15,000
East Kootenay C	6,036	\$20,000
East Kootenay E	1,753	\$15,000
East Kootenay F	2,726	\$15,000
East Kootenay G	1,462	\$15,000
Canal Flats, Village of	668	\$15,000
Cranbrook, City of	20,047	Funded
Elkford, District	2,499	\$15,000
Fernie, City of	5,249	\$20,000
Invermere, District	3,391	\$15,000
Jumbo Glacier Mtn Resort Municipality	0	\$0
Kimberley, City of	7,425	\$20,000
Radium Hot Springs, Village of	776	\$15,000
Sparwood, District of	3,784	\$15,000

Fraser Valley Regional District

Planning Area	Net Population	Funding Maximum
Fraser Valley A	405	\$15,000
Fraser Valley B	915	\$15,000
Fraser Valley C	1,023	\$15,000
Fraser Valley D	1,529	\$15,000
Fraser Valley E	1,540	\$15,000
Fraser Valley F	1,293	\$15,000
Fraser Valley G	1,776	\$15,000
Fraser Valley H	1,847	\$15,000
Abbotsford, City of	141,397	\$70,000
Chilliwack, City of	83,788	Funded
Harrison Hot Springs, Village of	1,468	Funded
Hope, District of	6,181	\$20,000
Kent, District of	6,067	\$20,000
Mission, District of	38,883	Funded

Regional District of Fraser-Fort George

Planning Area	Net Population	Funding Maximum
Fraser-Fort George A	3,463	\$15,000
Fraser-Fort George C	3,527	\$15,000
Fraser-Fort George D	4,278	\$15,000
Fraser-Fort George E	526	\$15,000
Fraser-Fort George F	1,246	\$15,000
Fraser-Fort George G	334	\$15,000
Fraser-Fort George H	1,586	\$15,000
Mackenzie, District of	3,714	\$15,000
McBride, Village of	616	\$15,000
Prince George, City of	74,003	\$50,000
Valemount, Village of	1,021	\$15,000

Greater Vancouver Regional District (Metro)

Planning Area	Net Population	Funding Maximum
Greater Vancouver A	16,133	\$30,000
Anmore, Village of	2,210	\$15,000
Belcarra, Village of	643	\$15,000
Bowen Island Municipality	3,680	Funded
Burnaby, City of	232,755	\$70,000
Coquitlam, City of	139,284	\$70,000
Delta, City of	102,238	Funded
Langley, City of	25,888	\$30,000
Langley, Township of	117,285	Funded
Lions Bay, Village of	1,334	\$15,000

Maple Ridge, City of	82,256	\$50,000
New Westminster, City of	70,996	\$50,000
North Vancouver, City of	52,898	\$50,000
North Vancouver, District of	85,935	\$50,000
Pitt Meadows, City of	18,573	\$30,000
Port Coquitlam, City of	58,612	\$50,000
Port Moody, City of	33,551	\$30,000
Richmond, City of	198,309	\$70,000
Surrey, City of	517,887	\$70,000
Vancouver, City of	631,486	\$70,000
West Vancouver, District of	42,473	\$30,000
White Rock, City of	19,952	\$30,000

Regional District of Kitimat-Stikine

Planning Area	Net Population	Funding Maximum
Kitimat-Stikine A	20	\$0
Kitimat-Stikine B	1,473	Funded
Kitimat-Stikine C	2,839	\$15,000
Kitimat-Stikine D	99	\$0
Kitimat-Stikine E	3,993	\$15,000
Kitimat-Stikine F	360	\$15,000
Hazelton, Village of	313	Funded
Kitimat, District of	8,131	\$20,000
New Hazelton, District of	580	Funded
Stewart, District of	401	\$15,000
Terrace, City of	11,643	\$20,000

Regional District of Kootenay Boundary

Planning Area	Net Population	Funding Maximum
Kootenay Boundary A	1,891	Funded
Kootenay Boundary B	1,442	Funded
Kootenay Boundary C	1,337	Funded
Kootenay Boundary D	3,225	Funded
Kootenay Boundary E	2,155	Funded
Fruitvale, Village of	1,920	Funded
Grand Forks, City of	4,049	Funded
Greenwood, City of	665	Funded
Midway, Village of	649	Funded
Montrose, Village of	996	Funded
Rossland, City of	3,729	Funded
Trail, City of	7,709	Funded
Warfield, Village of	1,680	Funded

Regional District of Mount Waddington

Planning Area	Net Population	Funding Maximum
Mount Waddington A	885	Funded
Mount Waddington B	60	Funded
Mount Waddington C	750	Funded
Mount Waddington D	228	Funded
Alert Bay, Village of	489	Funded
Port Alice, Village of	664	Funded
Port Hardy, District of	4,132	Funded
Port McNeill, Town of	2,337	Funded

Regional District of Nanaimo

Planning Area	Net Population	Funding Maximum
Nanaimo A	7,058	\$20,000
Nanaimo B	0	\$0
Nanaimo C	2,808	\$15,000
Nanaimo E	6,125	\$20,000
Nanaimo F	7,724	\$20,000
Nanaimo G	7,465	\$20,000
Nanaimo H	3,884	\$15,000
Nanaimo, City of	90,504	\$50,000
Lantzville, District of	3,605	\$15,000
Parksville, City of	12,514	\$20,000
Qualicum Beach, Town of	8,943	\$20,000

North Coast Regional District

Planning Area	Net Population	Funding Maximum
North Coast A	41	\$0
North Coast C	68	\$0
North Coast D	539	\$15,000
North Coast E	340	\$15,000
Masset, Village of	793	Funded
Port Clements, Village of	282	Funded
Port Edward, District of	467	\$15,000
Prince Rupert, City of	12,220	\$20,000
Queen Charlotte, Village of	852	\$15,000

Regional District of North Okanagan

Planning Area	Net Population	Funding Maximum
North Okanagan B	3,203	Funded
North Okanagan C	3,870	Funded
North Okanagan D	2,672	Funded
North Okanagan E	1,010	Funded

North Okanagan F	4,000	Funded
Armstrong, City of	5,114	Funded
Coldstream, District of	10,648	Funded
Enderby, City of	2,964	Funded
Lumby, Village of	1,833	Funded
Spallumcheen, Township of	5,106	Funded
Vernon, City of	40,116	Funded

Northern Rockies Regional Municipality

Northern Rockies Regional Municipality	4,831	\$15,000
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Regional District of Okanagan-Similkameen

Planning Area	Net Population	Funding Maximum
Okanagan-Similkameen A	1,858	\$15,000
Okanagan-Similkameen B	1,047	\$15,000
Okanagan-Similkameen C	3,557	\$15,000
Okanagan-Similkameen D	5,874	\$20,000
Okanagan-Similkameen E	1,903	\$15,000
Okanagan-Similkameen F	2,014	\$15,000
Okanagan-Similkameen G	2,236	\$15,000
Okanagan-Similkameen H	1,953	\$15,000
Keremeos, Village of	1,502	\$15,000
Oliver, Town of	4,928	\$15,000
Osoyoos, Town of	5,085	\$20,000
Penticton, City of	33,761	\$30,000
Princeton, Town of	2,828	Funded
Summerland, District of	11,615	\$20,000

Peace River Regional District

Planning Area	Net Population	Funding Maximum
Peace River B	5,628	\$20,000
Peace River C	6,772	\$20,000
Peace River D	5,920	\$20,000
Peace River E	2,949	\$15,000
Chetwynd, District of	2,503	\$15,000
Dawson Creek, City of	12,178	\$20,000
Fort St. John, City of	20,155	\$30,000
Hudson's Hope, District of	1,015	\$15,000
Pouce Coupe, Village of	792	\$15,000
Taylor, District of	1,469	\$15,000
Tumbler Ridge, District of	1,987	\$15,000

qathet Regional District

Planning Area	Net Population	Funding Maximum
qathet A	1,105	\$15,000
qathet B	1,541	\$15,000
qathet C	2,064	\$15,000
qathet D	1,076	\$15,000
qathet E	0	\$0
Powell River, City of	13,157	\$20,000

Squamish-Lillooet Regional District

Planning Area	Net Population	Funding Maximum
Squamish-Lillooet A	187	\$15,000
Squamish-Lillooet B	363	\$15,000
Squamish-Lillooet C	1,663	\$15,000
Squamish-Lillooet D	1,057	\$15,000
Lillooet, District of	2,275	\$15,000
Pemberton, Village of	2,574	\$15,000
Squamish, District of	19,512	\$30,000
Whistler, Resort Municipality of	11,854	\$20,000

Strathcona Regional District

Planning Area	Net Population	Funding Maximum
Strathcona A	764	\$15,000
Strathcona B	1,035	\$15,000
Strathcona C	2,431	\$15,000
Strathcona D	4,396	\$15,000
Campbell River, City of	32,588	Funded
Gold River, Village of	1,212	\$15,000
Sayward, Village of	311	\$15,000
Tahsis, Village of	248	\$15,000
Zeballos, Village of	107	\$15,000

Sunshine Coast Regional District

Planning Area	Net Population	Funding Maximum
Sunshine Coast A	2,624	Funded
Sunshine Coast B	2,726	Funded
Sunshine Coast D	3,421	Funded
Sunshine Coast E	3,664	Funded
Sunshine Coast F	1,796	Funded
Gibsons, Town of	4,605	Funded
Sechelt, District of	10,216	Funded
Sechelt Indian Government District	692	\$15,000

Thompson Nicola Regional District

Planning Area	Net Population	Funding Maximum
Thompson-Nicola A	1,493	\$15,000
Thompson-Nicola B	233	\$15,000
Thompson-Nicola E	1,094	\$15,000
Thompson-Nicola I	1,262	\$15,000
Thompson-Nicola J	1,580	\$15,000
Thompson-Nicola L	2,955	\$15,000
Thompson-Nicola M	1,598	\$15,000
Thompson-Nicola N	762	\$15,000
Thompson-Nicola O	1,323	Funded
Thompson-Nicola P	3,672	\$15,000
Ashcroft, Village of	1,558	Funded
Barriere, District of	1,713	Funded
Cache Creek, Village of	963	\$15,000
Chase, Village of	2,286	\$15,000
Clearwater, District of	2,324	\$15,000
Clinton, Village of	641	\$15,000
Kamloops, City of	90,280	Funded
Logan Lake, District of	1,993	\$15,000
Lytton, Village of	249	\$15,000
Merritt, City of	7,139	\$20,000
Sun Peaks Mountain Resort Municipality	616	\$15,000

Islands Trust

Denman Island Local Trust Area	1,165	\$15,000
Gabriola Island Local Trust Area	4,033	\$15,000
Galiano Island Local Trust Area	1,044	\$15,000
Gambier Island Local Trust Area	247	\$15,000
Hornby Island Local Trust Area	1,016	\$15,000
Lasqueti Island Local Trust Area	399	\$15,000
Mayne Island Local Trust Area	949	\$15,000
North Pender Island Local Trust Area	2,067	\$15,000
Salt Spring Island Local Trust Area	10,640	\$20,000
Saturna Island Local Trust Area	354	\$15,000
South Pender Island Local Trust Area	235	\$15,000
Thetis Island Local Trust Area	389	\$15,000

Housing Profile

City of North Vancouver Housing Action Plan

SEPTEMBER 2015 | COMMUNITY DEVELOPMENT



SUMMARY OF HOUSING NEEDS AND ISSUES

The indicators presented in this Housing Profile provide insight into the issues, needs and challenges to ensuring affordable and suitable housing is available to City of North Vancouver residents. The indicators help to demonstrate the gaps in the City's housing supply, as well as the groups experiencing the greatest housing challenges in the local housing market. Below is a summary of the primary housing issues and needs in the City, followed by data indicators and analysis in support of the identified issues and housing gaps. The issues and housing gaps are presented at a high-level in the Housing Profile and will serve as a starting point to explore options and strategies that will be researched and tested throughout the creation of the Housing Action Plan.

Housing Gaps and Market Challenges

The primary housing gaps identified for the City of North Vancouver are:

- Family-friendly rental housing (3+ bedrooms);
- Affordable rental housing and non-market housing located within close proximity to transit corridors / Frequent Transit Network;
- Seniors-oriented and age-friendly housing, including adaptable/accessible units; and,
- Supportive housing for persons experiencing homelessness, at-risk of homelessness, and persons transitioning from a shelter to permanent affordable housing;

The region's rapidly rising housing costs have put pressures on all City residents, but the following groups are noted as experiencing these challenges in particular:

Low to Moderate Income Families

In the City of North Vancouver, families earning less than the median income are challenged to find rental housing with enough bedrooms for children while remaining within an affordable rent range (less than 30 percent of gross median income). This is supported by the consistently high applicant wait list for family-oriented non-market housing units. The rental assistance program offered by BC Housing, which provides eligible low-income families with a subsidy to offset the cost of market rental housing, has also seen increased usage in the City. However, the low vacancy rate and low availability of large rental units (3+ bedrooms) makes it difficult for low-income families to apply their subsidy to a suitable unit. Generally, low-income families in North Vancouver are challenged to find available rental units with enough space to accommodate all members of their family. The high number of lone-parent households in the City presents further housing challenges due to their limited income, as opposed to dual income households.

The housing affordability analysis presented in this report further indicates that there are moderate income earner families that are narrowly out of reach of homeownership. One of the

largest hurdles for these families is saving enough money for a down payment. Moderate income households could potentially alleviate some of the pressure on the rental market if they could move towards the homeownership side of the housing continuum; however, the initial financial requirements for entering homeownership often prove to be a barrier.

Equally challenging in the City is the number of owner households who are paying more than 50 percent of their gross income towards housing. These households, considered to be in core housing need, are vulnerable to potential changes to fixed costs related to the housing market, including interest rates and property taxes, and as well as other household costs, such as transportation and childcare. Many moderate income homeowner families in the City are over-stretched, living outside of the standard measures of affordability.

Seniors

In the coming decades, seniors are expected to experience the largest proportional growth amongst all age groups in the City. The aging of the population is already evident in the number of non-market housing units dedicated to independent and frail seniors and the growing wait list for seniors-oriented housing. In the City, nearly half (47 percent) of all BC Housing non-market housing units are dedicated to seniors. That said, there remains another 150 applicants on the wait list. There are 409 seniors in the City who are receiving rent supplements through BC Housing's SAFER program, allowing seniors to subsidize the cost of market housing to a more affordable rent price.

As the population ages, housing needs change. For seniors, some may be homeowners/empty nesters looking to downsize or find ways to stay in their existing homes. Others may be long-time renters living in older rental buildings. Whichever their circumstance, many require age-friendly and accessible housing options to help them remain healthy and independent. Housing forms that work for seniors may also work for persons with disabilities, of which there are 65 applicants on BC Housing's wait list. However, there are a limited number of accessible units within the existing housing stock, especially in older rental buildings which tend to have rent ranges affordable to the fixed incomes of seniors.

Other seniors housing issues relate to crisis, social connectedness and independence. The 2014 homeless count found 31 homeless seniors on the North Shore, 23 of which were unsheltered. There are a notable number of single senior women living on their own, who may have unique housing needs related to independence, privacy, safety, and social connections. Challenges related to seniors housing is complex, and there is a large need for homelessness prevention, at-home support, and alternative housing forms to allow seniors to age-in-place.

At-Risk Youth and Young Adults

Supporting youth is integral to the viability of the community. While the proportion of children and youth in the City is not expected to increase dramatically in the coming decades, youth are the City's next generation of post-secondary students, workers, volunteers, and occupants of

housing and it is important that young people enter the housing market on stable ground. There are often housing challenges for youth and young adults, including affording the average rental prices in the City when earning minimum wage in entry-level jobs.

Youth growing up in low-income families, especially lone-parent family households, may be more vulnerable to the increasing rental prices in the City once they leave home. They often have little to no financial support from family to afford rents or when unexpected financial hurdles are presented. This is especially true for youth aging out of foster care as government assistance ends once they turn 19 years of age. According to government care statistics in BC, nearly half of these at-risk youth will go on income assistance within the first few months of their 19th birthday. With over 2,800 lone-parent family households in the City with an average median income of \$37,420, there are many at-risk youth in the community who are susceptible to the increasing housing affordability challenges once they venture into the rental market.

Youth are often vulnerable even before they become independent. Youth fleeing domestic violence, or experiencing family breakdown, may find themselves homeless - on the streets, in shelters, or precariously housed (i.e. couch-surfing). On the North Shore, 24 homeless youth were counted as part of the 2014 homeless count, 10 of whom were unsheltered. In BC, 40 percent of homeless youth have been in foster care at some point in their lives. The North Shore Youth Safe House provides a housing resource for at-risk youth.

The challenges experienced by youth and young adults requires them to seek affordable/low end of market rental housing, which is competitive in the City, particularly in light of the increasing number of older rental buildings being redeveloped and the higher rent ranges charged for the new units.

Moderate Income Earners

Households, both family and non-family, with occupations that yield moderate incomes are challenged to afford the average rental prices in the City and largely priced out of the homeownership market. These occupations include early childhood educators, licensed practical nurses, office clerks, and financial clerks. According to wage reports, and compared to average rental prices, many of these workers are paying greater than 30 percent of their gross income towards housing costs. The City depends on these occupations to support the local economy; however, there is limited low end of market rentals to support the workforce. This issue is of increasing concern given the investment in industries such as ship building, which is expected to generate more moderate income earning employment opportunities. Housing is an important factor in the local economy – without attainable opportunities to live locally, investment in the local economy and the recruitment and retention of workers could be impacted. Affordable workforce rental housing is needed to achieve the City's goal of maintaining a "complete community," where residents can live close to their place of work.

Persons Experiencing Homelessness and At-Risk of Homelessness

The number of persons experiencing homelessness on the North Shore increased from 47 in 2002 to 119 in 2014. Persons experiencing homelessness can find refuge in the North Shore Housing Centre and Shelter, which offers 25 transitional housing units, 45 shelter beds and additional sleeping mats during extreme weather events. BC Housing offers additional support through their homeless rent supplements, which have doubled in North Vancouver since 2012 from 20 to 41. Despite a shelter and housing program, the total number of persons experiencing homelessness has not significantly decreased in the City or on the North Shore. Challenges along the housing continuum can increase vulnerability and push at-risk households into a crisis situation, as well as challenge persons experiencing homelessness to access and maintain affordable housing.

Other Considerations

Transportation and Housing

Typically, transportation is the second largest expense for households. In the City, the average homeowner spends 38 percent of their gross income towards housing and transportation costs. This figure is higher for renters, who spend 46 percent of their gross income towards housing and transportation. With such a large proportion of household income dedicated to two expenditures, planning for housing and transportation as inter-related systems is an important consideration for policy development and the Housing Action Plan.

Livability and Housing

Underscoring the housing affordability challenges in the City is the livability of the housing stock. Livability is an extension of adequacy (not requiring major repairs) and suitability (enough bedrooms for the size and makeup of resident households), integrating quality of life. From a housing lens, livability can be applied to the unit/building/structure, as well as the surrounding environment and public realm. While limited analysis on livability has been undertaken in the City, it is an important consideration for policy development and the Housing Action Plan.

Multigenerational and Flexible Housing Forms

The City of North Vancouver is a diverse municipality. Diversity can influence housing needs and create challenges with respect to matching households with suitable and appropriate housing. In the City, there has been an increase in multiple-family households. While data and analysis is limited on this subject, it could be a demand indicator for multi-generational housing, extended family living arrangements, or other communal household formations. This can lend to sharing housing costs to make housing more affordable. Traditional housing forms in the City may not meet the needs of all multiple-family households and the changing needs of City

residents, presenting an opportunity to explore more flexible housing forms that can offer options for a variety of household arrangements.

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1.0 INTRODUCTION

1.1 Overview

The City of North Vancouver, as well as the entire Metro Vancouver region, is an area with exceptionally high housing prices. While the rapid increase in housing prices has benefited some existing homeowners, it has greatly impacted the affordability of housing for a larger segment of the population. Consequently, many individuals struggle to find affordable housing options in the community and often have to make difficult decisions to balance housing costs with other costs of living.

The 2014 City of North Vancouver Official Community Plan establishes a direction for the City through a Community Vision:

In 2031, the City of North Vancouver will be a vibrant, diverse and highly livable community that is resilient to climate or other changes, and is sustainable in its ability to prosper without sacrifice to future generations.

A key component to meeting this vision is the provision of suitable and affordable housing to create a community that is inclusive and attainable for all City residents. This includes a variety of housing types and tenures to meet the current and future needs of families and individuals from all walks of life and through different stages of life.

The City has an important role in encouraging housing diversity to provide residents with housing choices. This role includes determining land uses and housing capacity, creating policies and strategies to shape local housing conditions, and working in partnership with senior levels of government, non-profits and private developers to increase the supply of affordable housing units. However, many of the factors that have contributed to the current housing situation, including interest rates, market demand, and the absence of a national housing strategy, are outside the control of local municipalities.

This Housing Profile was created for consideration in the preparation of the City's Housing Action Plan. The Housing Profile identifies and analyzes key housing data in the City and provides insight into current and emerging housing trends. The Housing Action Plan will respond to the City's housing challenges and opportunities by providing policy directions and specific actions to facilitate quality housing choices for the diversity of people who call the City home.

1.2 Why a Housing Action Plan?

The City has a long history of facilitating housing diversity and affordability through innovative policies and partnerships. Current housing initiatives and policies can be found in a variety of City documents, including the following:

- Official Community Plan;
- Social Plan;
- Rental Housing Strategies;
- Housing Affordability Strategies;
- Strategies to Support Seniors' Housing;
- Density Bonus and Community Amenity Policy;
- Adaptable Design Guidelines; and
- North Shore Homelessness Task Force Work Plan.

The creation of a Housing Action Plan will entail a comprehensive review and update of existing City housing initiatives and policies, in addition to new policy directions, centralized in one document. The Housing Action Plan will further fulfill the Metro Vancouver Regional Growth Strategy requirement that each municipality prepare a Housing Action Plan that does the following:

- Assesses local housing market conditions, including housing supply, demand and affordability;
- Identifies housing priorities, based on the assessment of local housing market conditions, and consideration of changing household demographics, characteristics and needs;
- Identifies implementation measures;
- Encourages the supply of new rental housing and where appropriate mitigate or limit the loss of existing rental housing stock;
- Identifies opportunities to participate in programs with other levels of government to secure additional affordable housing units to meet housing needs across the continuum; and,
- Cooperates with, and facilitate the activities of the Metro Vancouver Housing Corporation.

1.3 Sustainable City Framework

The 2014 Official Community Plan adopted a new Sustainable City Framework to support the development of a complete community through the building of different capacities (Figure 1.1). Housing is specifically mentioned under the Human Potential capacity, but safe and secure housing is important to the realization of other capacities, both individually and as a community as a whole.

Figure 1.1: Sustainable City Framework
(Source: City of North Vancouver, 2014)



To ensure a diversity of housing types and tenures, the City approaches the provision of housing through the concept of a housing continuum (Figure 1.2). On the non-market end of the continuum are emergency shelters, transitional and supportive housing, and non-market (social) housing, which typically involve government funding and potential support services. At the other end of the continuum are rental and ownership options that are provided through the private market. A full range of housing choices across the continuum is important to ensure City residents can find accommodations that are best suited to their housing needs.

Figure 1.2: Housing Continuum
(Source: City of North Vancouver, 2015)



1.4 Data Limitations

The Housing Profile utilizes data from Statistics Canada, Canada Mortgage and Housing Corporation (CMHC), Metro Vancouver, BC Stats, BC Assessment, the Real Estate Board of Greater Vancouver and the City of North Vancouver.

While the best available data sources were selected and analyzed, data limitations do exist. Changes to category definitions and reporting methods in the Canadian Census over time mean that exact comparisons cannot always be made. The elimination of the mandatory long-form Census survey in 2011 also means that data collected from the voluntary 2011 National Household Survey cannot be compared to prior years without caution due to potential non-response and self-selection biases. In addition, City data records are often collected for reasons other than for housing statistics resulting in inexact information.

For trend analysis, neighbourhood-level census data was used for all nine City neighbourhoods when possible (Figure 1.3). When neighbourhood-level data was unavailable, city-wide information was used. There are instances when data is provided for both the City and District of North Vancouver as City-specific data could not be ascertained.

Figure 1.3: Census Neighbourhood Boundaries
(Source: City of North Vancouver, 2015)



2.0 COMMUNITY PROFILE

Household characteristics in the City are changing, and as a result, are shifting housing trends and needs in the community. This section provides key information on population, household size and composition, and income to provide an understanding of the emerging housing trends in the City.

2.1 Population

According to the Canadian Census, the City of North Vancouver had a population of 48,195 in 2011, an increase of 3,030 residents, or approximately seven percent, since 2006. The number of dwelling units in the City increased at the same rate during this period.

The City's population growth was well below the regional growth rate of 18 percent between 2006 and 2011. Population growth in the City has been consistent over the years, with the exception being the period between 2001 and 2006, which experienced a lower rate of population growth than in previous Census periods (Table 2.1). Since 2011, BC Stats estimates that the City's population has continued to grow to an estimated population of 52,346 in 2014.

Table 2.1: Population and Growth Rate, 1961-2011
(Source: Statistics Canada, 1961-2011 Census)

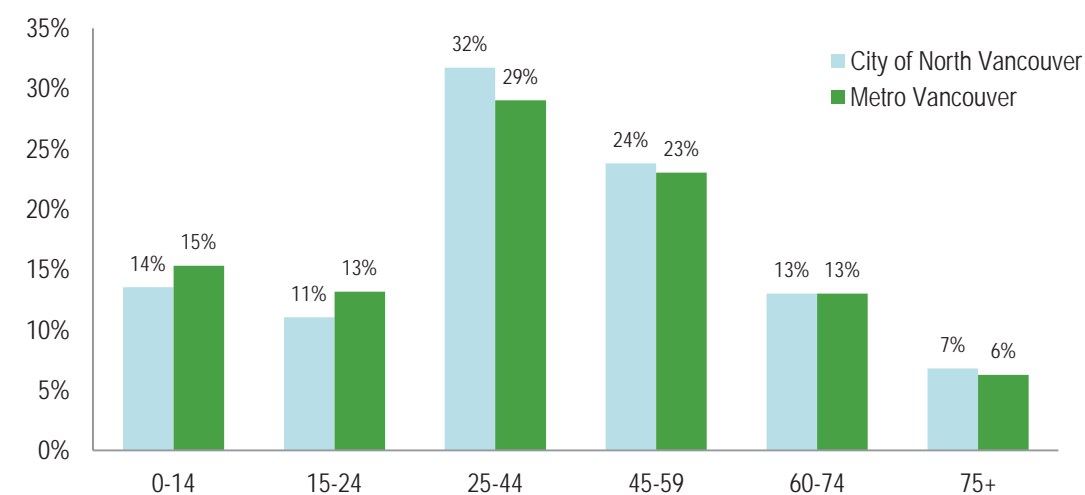
		GROWTH RATE	
YEAR	POPULATION	5-YEAR	AVERAGE ANNUAL
1961	23,656	--	--
1966	26,851	13.5%	2.6%
1971	31,847	18.6%	3.5%
1976	31,394	0.3%	0.1%
1981	33,952	6.3%	1.2%
1986	35,698	5.1%	1.0%
1991	38,436	7.7%	1.5%
1996	41,475	7.9%	1.5%
2001	44,303	6.8%	1.3%
2006	45,165	1.9%	0.4%
2011	48,195	6.7%	1.3%

The Metro Vancouver Regional Growth Strategy estimates the City's population will grow to 56,000 people in 2021, 62,000 people by 2031, and 68,000 by 2041. The number of new housing units needed to accommodate this population increase is dependent on the composition of the City's housing stock and has been considered through the residential land use designations in the City's 2014 Official Community Plan.

The overall distribution of City residents based on age is quite similar to the region (Figure 2.1). In 2011, the City had a higher percentage of working age individuals (25 to 59 year olds) and seniors (75 years and older) compared to Metro Vancouver, but a lower percentage of children and youth (0 to 24 year olds).

Figure 2.1 – Percent Population by Age, 2011

(Source: Statistics Canada, 2011 Census)

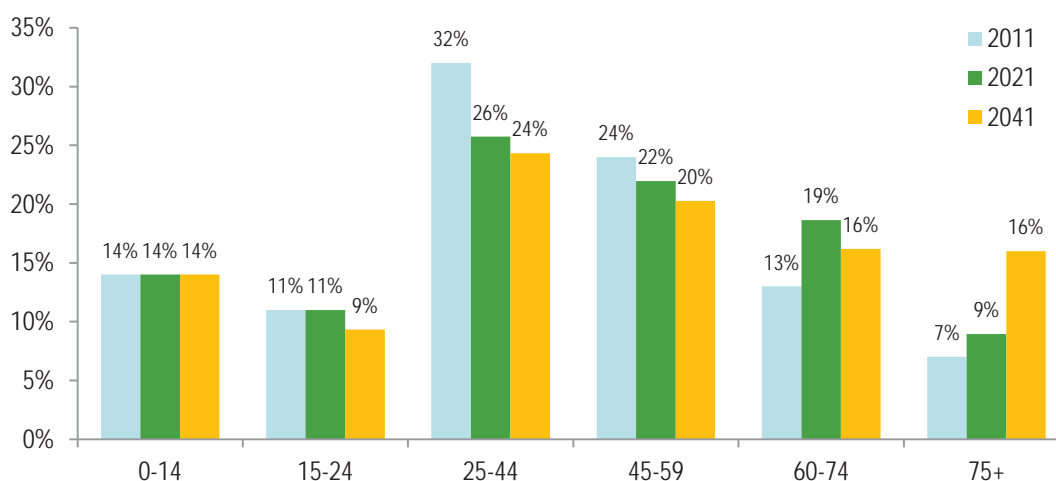


The overall population in the City was older in 2011 compared to previous Census periods, with the median age increasing 1.1 years from 40.1 years in 2006 to 41.2 years in 2011. The greatest increase was in individuals aged 45 to 59 years, which accounted for 24 percent of the City's population in 2011. Comparatively, this age cohort only constituted 15 percent of the City's population in 1991. The number of individuals over 60 years of age in the City has also seen steady growth. Accommodating the housing needs of an aging population will require consideration of housing that is smaller in size, accessible or adaptable for aging in place, and located in close proximity to local services.

According to BC Stats, the North Vancouver Local Health Area, which includes both the City and District of North Vancouver, will age significantly in the future (Figure 2.2). By 2021, individuals aged 25 to 44 are projected to decrease by six percent, while individuals aged 60 to 74 will increase by 6 percent. Individuals aged 75 and over are anticipated to increase nine percent between 2001 and 2041. Population projections can provide important insight into the possible housing trends in the future; however, the City and District of North Vancouver are very

different in terms of population composition. The City will continue to monitor population growth and trends to further the understanding of the unique housing needs of City residents.

Figure 2.2 – Population Projections by Age, 2011-2041
(Source: BC Stats, 2015)



2.2 Household Size & Composition

Statistics Canada defines a household as a person or a group of persons who occupy the same dwelling. The Canadian Census recorded 22,790 households in the City in 2011, an increase of 1,440 households since 2006.

The average household size in the City remained constant between 2006 and 2011 at 2.1 persons per household, less than Metro Vancouver and the Province at 2.6 and 2.5 persons, respectively. Average household size in the City has decreased over time with one-person households being the most predominant household size in 2011 at 39 percent, followed by two-person households at 32 percent (Figure 2.3). In comparison, three percent of City households had five-persons and only one percent had six or more persons.

Average household size in the City varies significantly between different neighbourhoods (Figure 2.4). Central Lonsdale and Lower Lonsdale, which have the majority of the City's smaller multi-family dwelling units, had a lower average household size of 1.9 and 1.7 persons, respectively, compared to neighbourhoods with primarily single family dwellings, such as Tempe, which had an average of three persons in 2011. The neighbourhood of Cedar Village is particularly interesting as it had the highest average household size of all City neighbourhoods at 3.2 persons in 2011, but consists primarily of ground-oriented housing forms, such as townhouses. Ground-oriented housing may be a particularly suitable type of housing for young

families in the City, especially as the price of single family dwellings become more out of reach for families.

Figure 2.3 – Household Composition, 2011

(Source: Statistics Canada, 2011 Census)

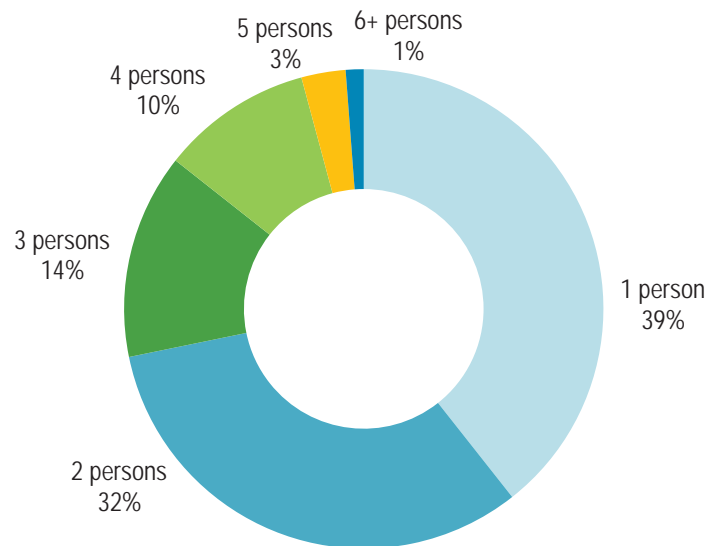
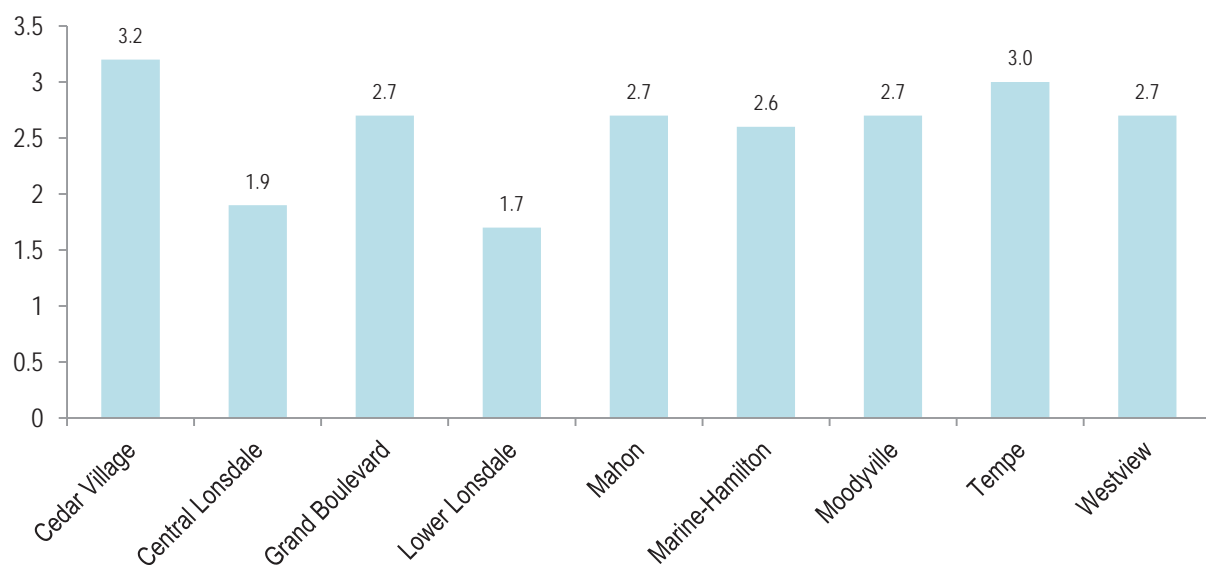


Figure 2.4 – Average Household Size by Neighbourhood, 2011

(Source: Statistics Canada, 2011 Census)

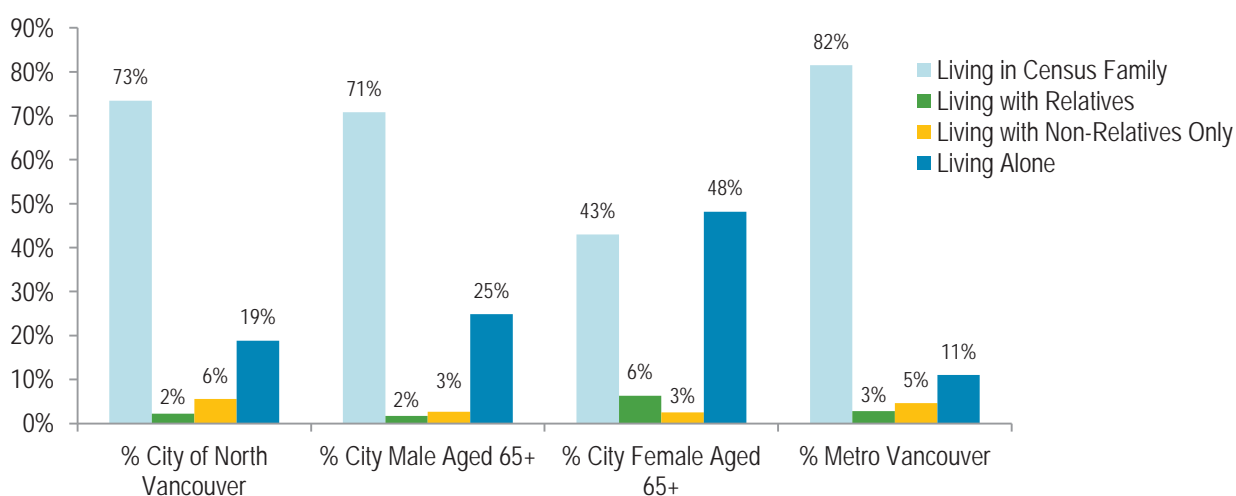


By household type, the majority of City residents live in census families (Figure 2.5). Statistics Canada defines a census family as a married or common-law couple with or without children or a lone parent of any marital status with at least one child. In 2011, the City had a higher number of lone parent families at 19 percent, compared to 16 and 15 percent at the regional and provincial scale, respectively.

The second most prevalent household type in 2011 was non-family households, which increased by 905 households, or one percent, since the previous Census period. Non-family households include individuals living alone or a group of two or more unrelated people who share a private dwelling, such as roommates. Overall, 19 percent of City residents live alone, compared to 11 percent for Metro Vancouver. Of the individuals who live alone in the City, many are seniors aged 65 and over, particularly female seniors. As the City's population continues to age, the number of seniors living alone is expected to increase, in addition to support services required to assist seniors to age in place and mitigate isolation. The increase in the number of people living alone may also increase the demand for smaller, more affordable rental units in the City.

The percentage of multiple-family households in the City remained constant between 2006 and 2011. However, as the City's population continues to age and as housing prices continue to increase, the City may see more multiple-family households as families become more creative in their living arrangements to maintain housing affordability.

Figure 2.5 – Census Family and Non-Census Family Households, 2011
(Source: Statistics Canada, 2011 Census)

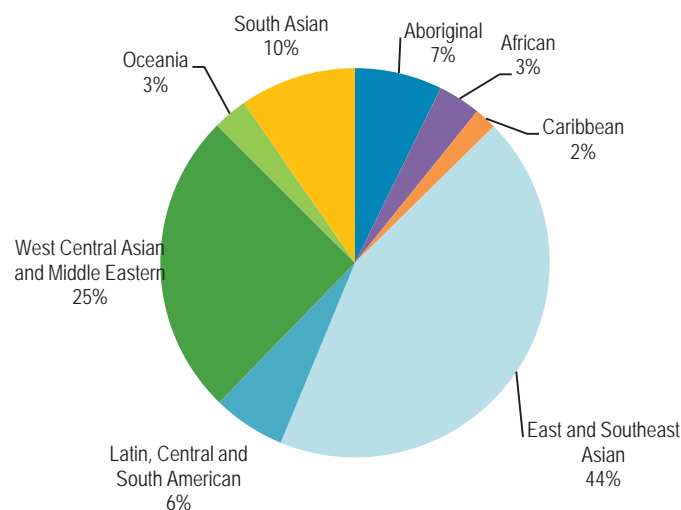


The City is home to an ethnically diverse population and has residents from all parts of the world. European ancestry is the dominant ethnicity in the City. When not factoring individuals of European or North American ancestry, the most common ethnic origins in the City are East and Southeast Asian, West Central Asian and Middle Eastern and South Asian (Figure 2.6). As for

the Aboriginal population, the City saw an increase from 930 residents in 2006 to 1,280 residents in 2011.

In 2011, 37 percent of City residents were immigrants, a growth of one percent since 2006. By period of immigration, the period between 2001 and 2011 saw the highest number of new immigrants settle in the City at 6,895. Iran remains the most common place of birth for immigrants in the City, although newcomers from the Philippines increased substantially this past Census period. Therefore, housing that meets different cultural needs, including housing that better accommodates extended families and allows for flexibility in living arrangements, are important considerations to ensure a diversity of housing forms is available in the City.

Figure 2.6 – Ethnic Origins in the City, 2011
(Source: Statistics Canada, 2011 NHS)

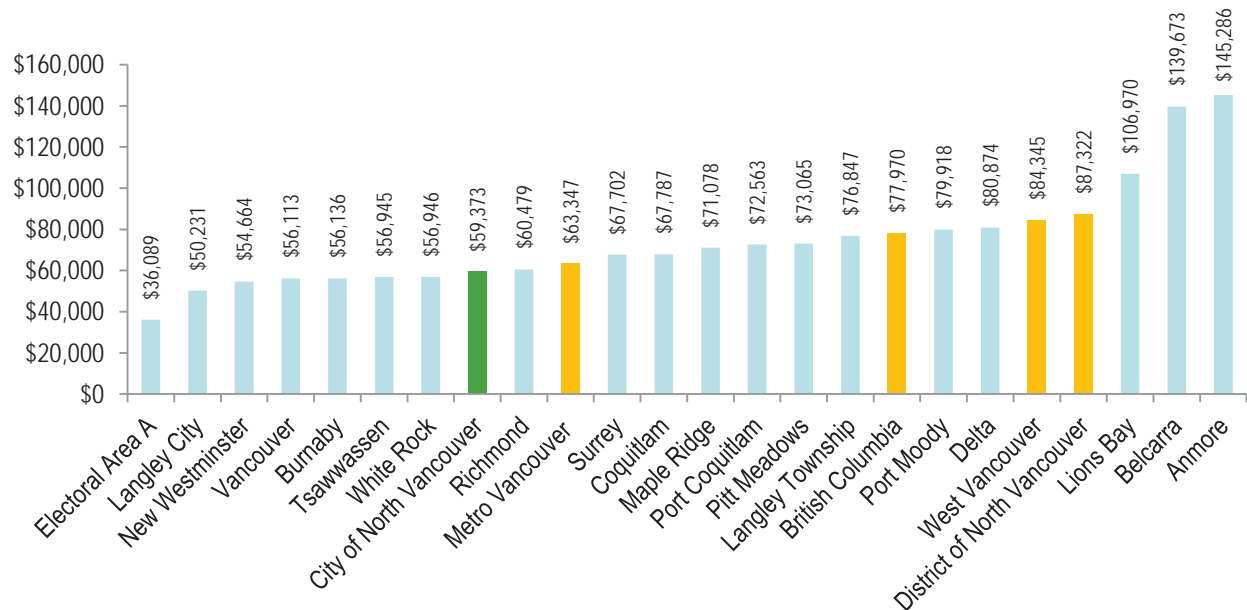


2.3 Income

Household income, when compared to house prices and rent ranges, is often used to determine what households can afford to purchase or rent in a community. In 2011, the median household income in the City was \$59,373, an increase of \$9,887 from the 2006 median household income of \$49,486. Median income represents the midpoint of all household incomes, meaning that half of all households have an income less than the median and the other half have an income that are above the median.

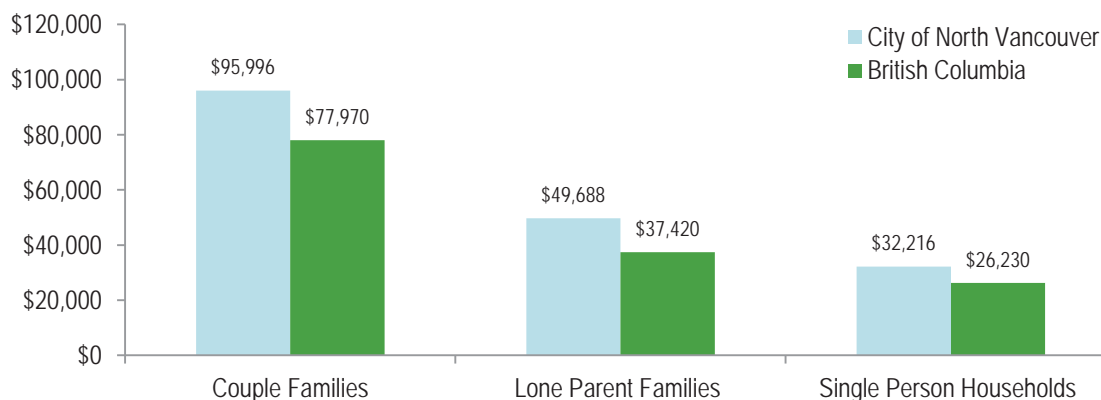
Despite the increase between the 2006 and 2011 Census periods, the median household income in the City in 2011 remained less than the regional median household income and significantly less than the other North Shore municipalities, although higher than the provincial average (Figure 2.7). With lower earning power, City's households are vulnerable to rises in the cost of living, including housing costs.

Figure 2.7 – Median Household Income of Municipalities in Metro Vancouver, 2011
(Source: Statistics Canada, 2011 NHS)



Incomes in the City vary immensely depending on the type of household. In 2012, the median income for couple families was approximately \$95,996 (Figure 2.8). This is nearly double the median income for lone-parent families at \$49,688, and three times the median income of one-person households at \$32,216. These differences in income will have an impact on what households are able to purchase or rent in their respective neighbourhoods and in the wider community. The lower incomes of lone-parent families and one-person households may mean these particular groups are at greater risk of housing insecurity if housing prices or other living costs increase.

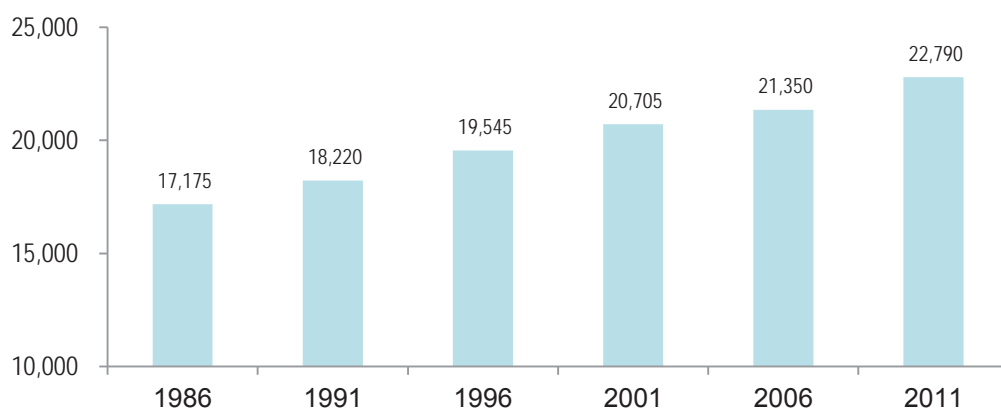
Figure 2.8 – Median Income by Household Type, 2012
(Source: Statistics Canada, Taxfiler Reported Custom Tabulation Family Tables, 2012)



3.0 MARKET HOUSING

The City has seen a steady increase in new dwelling units over the past two decades, growing in tandem with population growth. Since 1986, the City's housing supply has grown by 5,615 units for a total of 22,790 dwelling units in 2011 (Figure 3.1).

Figure 3.1: Total Number of Dwelling Units, 1986-2011
(Source: Statistics Canada, 1986-2011 Census)



Each of the City's nine neighbourhoods experienced growth in 2011, with Central Lonsdale and Lower Lonsdale accommodating the majority of City residents with 71 percent of all dwelling units in the City (Figure 3.2). The neighbourhood of Marine-Hamilton saw the greatest percentage increase in dwelling units between 2006 and 2011 at 14 percent, compared to Grand Boulevard which saw a two percent increase during the same period.

In 2011, the City experienced a six percent increase in renter households (Figure 3.3). The number of renters in the City has declined over time, but has remained relatively constant over the past 20 years, ranging between 9,800 and 10,800 households in a given Census year. The majority of renter households live in Central Lonsdale and Lower Lonsdale, although both neighbourhoods have experienced loss in renter households since 1991 (Figure 3.4). In 2011, all neighbourhoods saw an increase in renter households, including the primarily single family neighbourhoods, highlighting the fact that renters live in every neighbourhood in the City (Figure 3.5). Approximately 46 percent of City households were renter households in 2011, significantly higher than the other North Shore municipalities (19 percent for District of North Vancouver and 21 percent for West Vancouver), as well as the entire Metro Vancouver region at 35 percent.

The number of owner households in the City has increased steadily since 1986 and continued to increase this past Census period. Since 1986, owner households have increased almost 250 percent in the City.

Figure 3.2: Dwelling Units by Neighbourhood, 1986-2011
(Source: Statistics Canada, 1986-2011 Census)

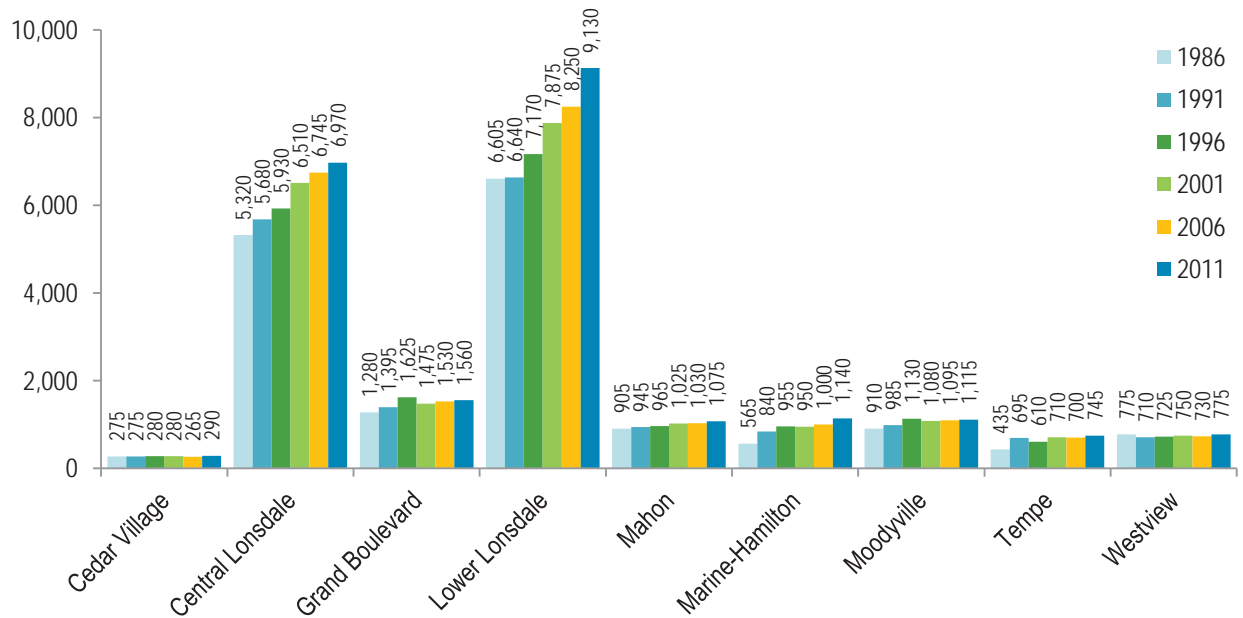


Figure 3.3: Owner and Renter Households, 1986-2011
(Source: Statistics Canada, 1986-2006 Census & 2011 NHS)

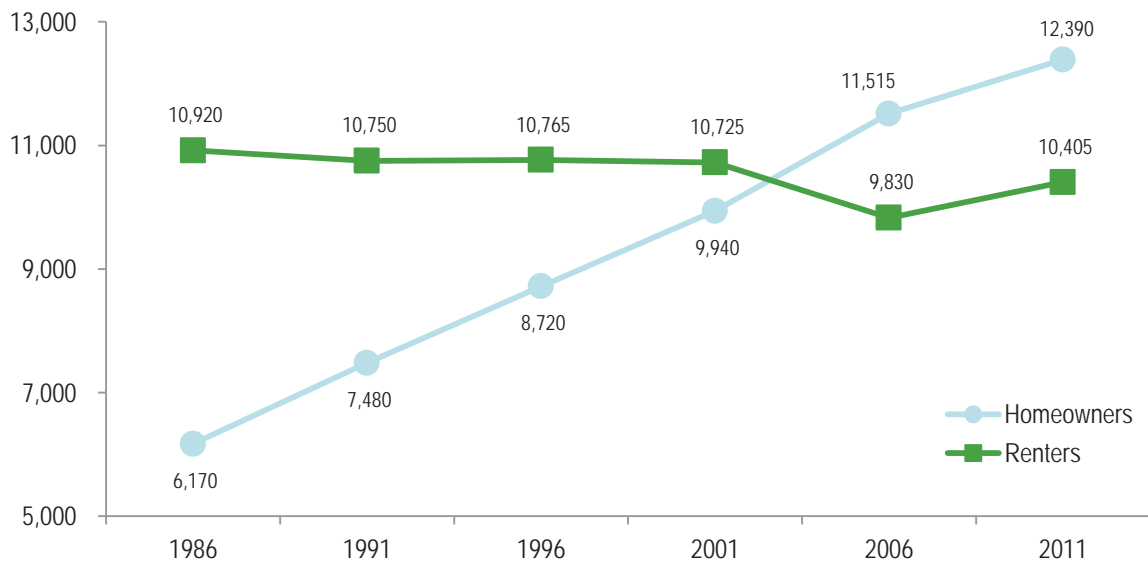


Figure 3.4: Renter Households by Neighbourhood, 2011
 (Source: Statistics Canada, 1991-2006 Census and 2011 NHS)

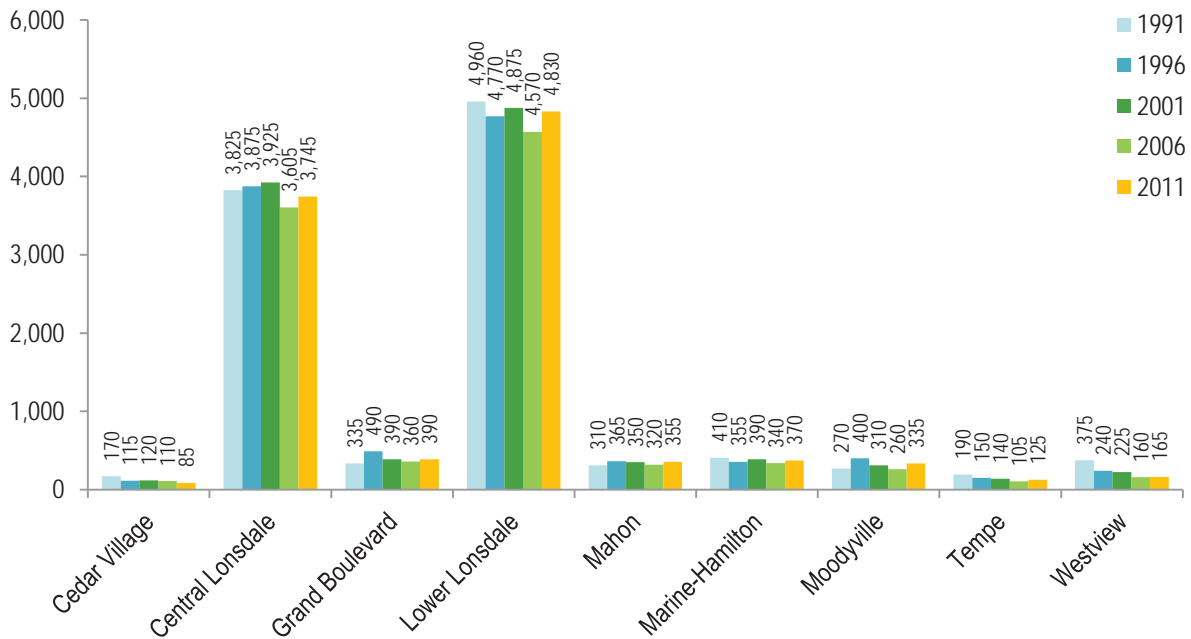
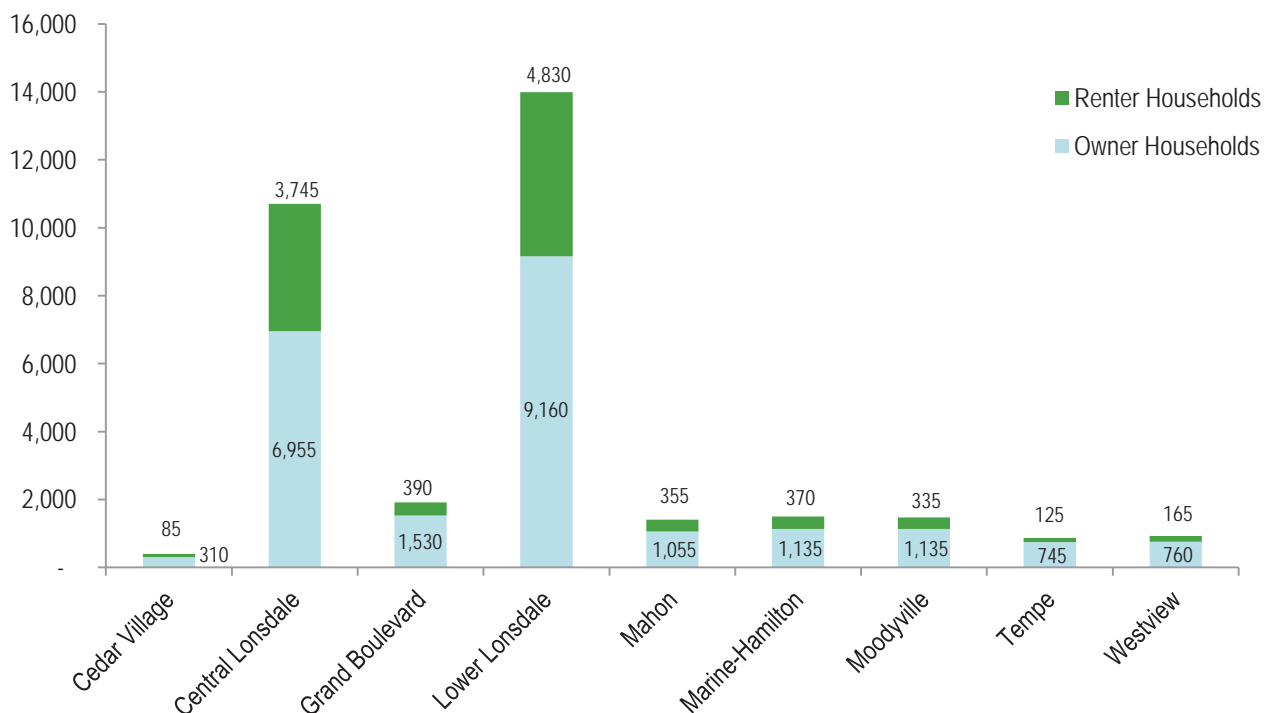


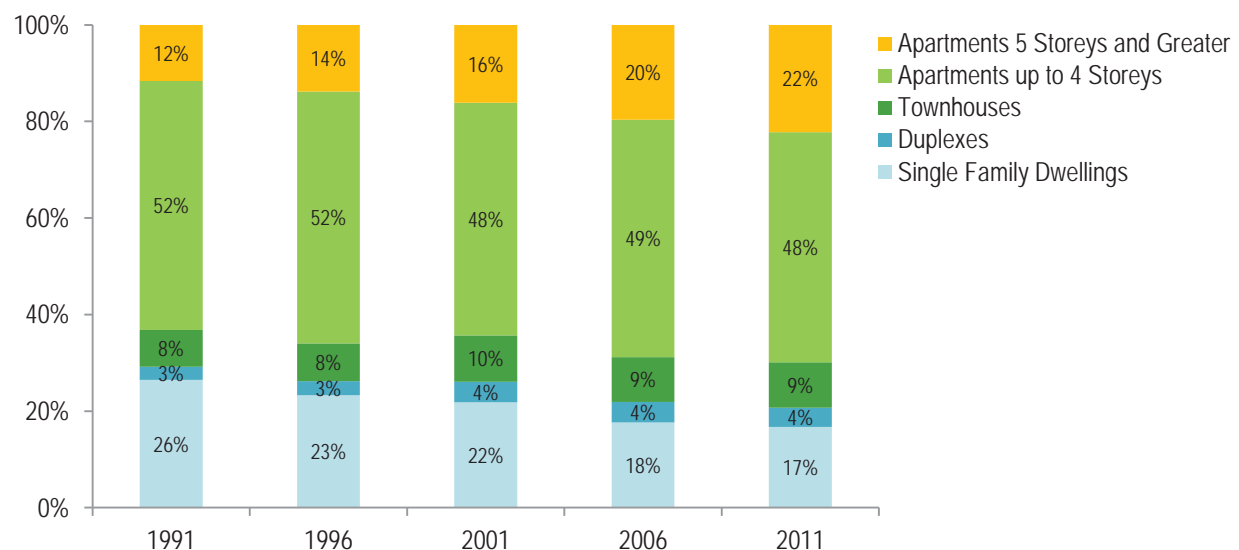
Figure 3.5: Owner and Renter Households by Neighbourhood, 2011
 (Source: Statistics Canada, 2011 NHS)



3.1 Structural Types in the City

The City has a range of structural types, ranging from single detached dwellings to high rise buildings. The proportion of each structural type has been changing over time, reflecting the changing housing needs of City residents. Over the past 20 years, the City has seen a decreasing trend in single family dwellings (Figure 3.6). The proportion of duplexes and townhouses in the City has stayed relatively constant over time, while the greatest increase has been in apartments five storeys and greater.

Figure 3.6: Structural Types in the City, 1991-2011
(Source: Statistics Canada, 1991-2011 Census)



Single Detached Dwellings

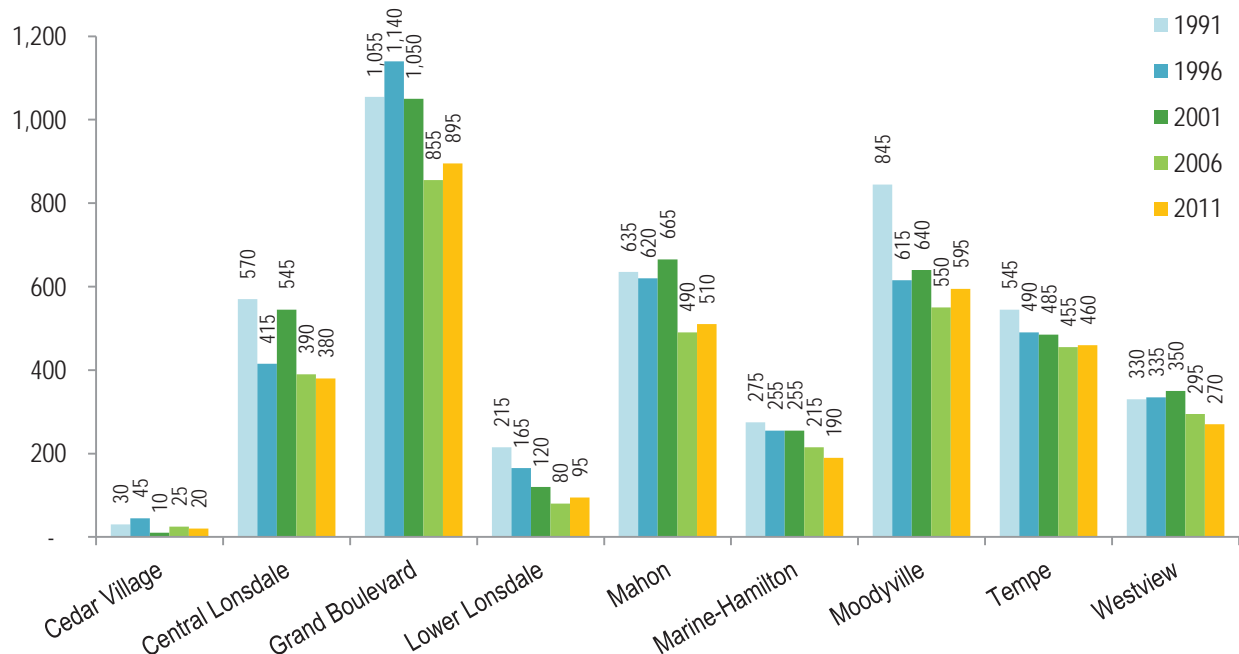
The number of single detached dwellings in the City has decreased in all neighbourhoods since 1991 (Figure 3.7). While greater densification in certain areas may have contributed towards fewer single family dwellings in the City, the dramatic decrease recorded between the 2001 and 2006 Census periods was likely due to misclassification based on a definition change in the 2006 Census.

The 2006 Census changed the category 'apartment or flat in a detached duplex' to 'apartment or flat in a duplex,' which in effect, broadened the definition of 'duplex' to include single detached houses with secondary suites. As a result, the number of single detached dwellings declined significantly in the 2006 Census, with a corresponding increase in the 'apartment or flat in a duplex' category. The 2011 Census utilized the same structural type definitions as the 2006 Census and found an increase in single detached dwellings in the Grand Boulevard, Lower

Lonsdale, Mahon, Moodyville and Tempe neighbourhoods, which is likely due to the subdivision of larger lots into smaller single family lots.

Figure 3.7: Number of Single Detached Dwellings by Neighbourhood, 1991-2011

(Source: Statistics Canada, 1991-2011 Census)



Duplexes

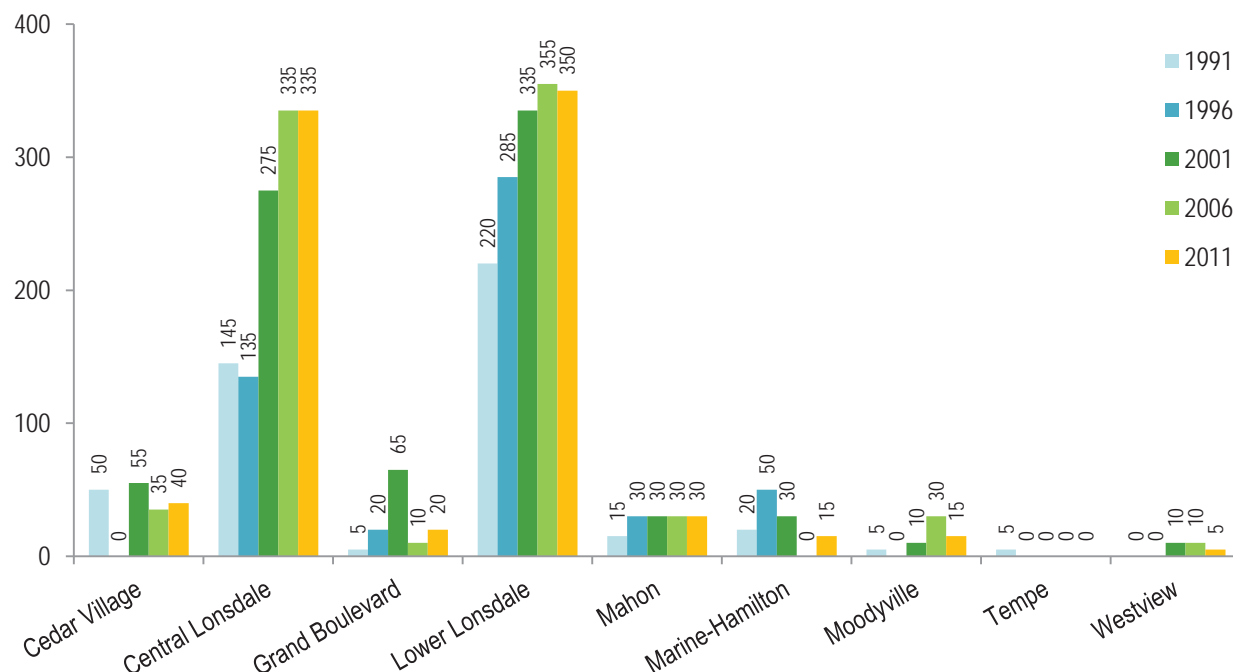
A duplex, or semi-detached house, is defined by Statistics Canada as a structure where one of two dwellings are attached side by side (or back to back) to each other, has no dwelling either above it or below it, and the two units together have open space on all sides.

The City saw a slight increase in duplexes in 2011, increasing from 805 in 2006 to 810 in 2011 (Figure 3.8). The majority of new duplexes constructed in the City were in the Marine-Hamilton neighbourhood, although Central Lonsdale and Lower Lonsdale continued to have the greatest share of this structural type.

The City anticipates an increase in duplexes, as well as other multi-family ground-oriented housing forms in the future as the 2014 Official Community Plan provides greater capacity for these structural types. High land costs and smaller household sizes in the City may encourage the construction of additional duplexes as a more affordable option to single detached properties.

In 2013, the City of North Vancouver became the first municipality in British Columbia to permit Accessory Dwelling Units in duplexes to provide a source of rental income for homeowners, in addition to expanding rental options in City neighbourhoods. As of June 2015, the City has approximately 10 Accessory Dwelling units in duplexes.

Figure 3.8: Number of Duplexes by Neighbourhood, 1991-2011
(Source: Statistics Canada, 1991-2011 Census)



Townhouses

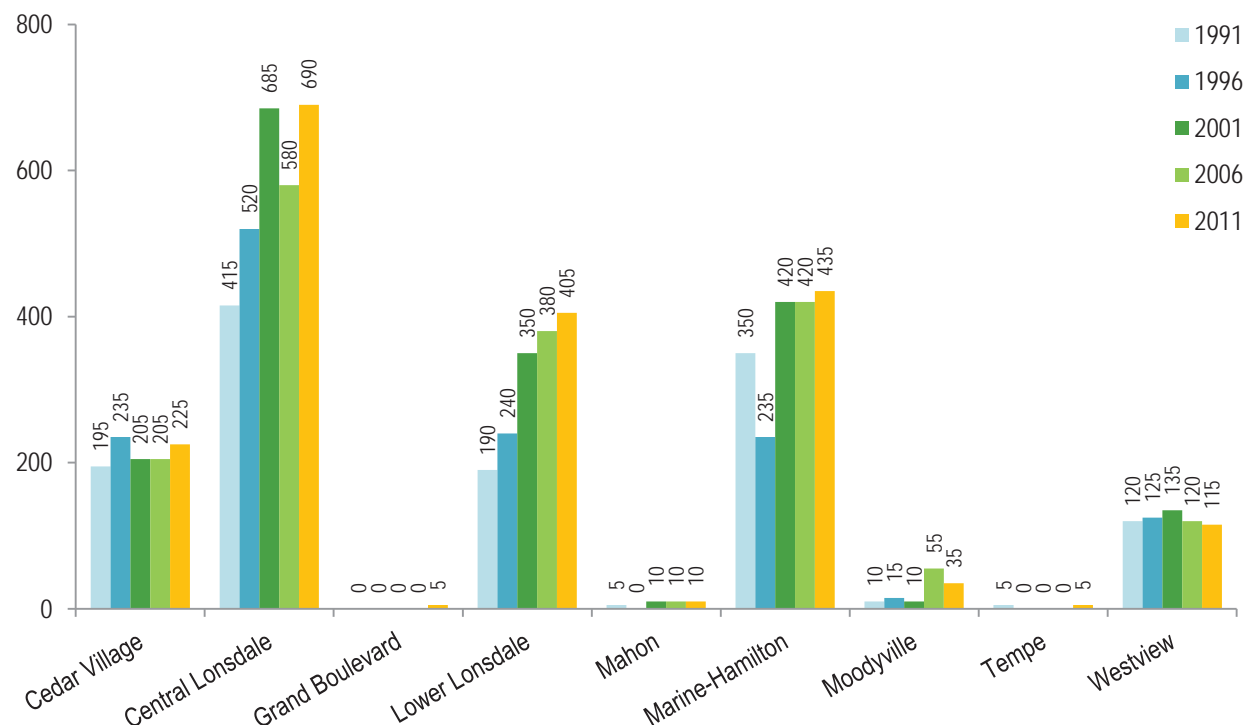
Townhouses, or row houses as classified by Statistics Canada, are defined as one of three or more dwellings joined side by side (or occasionally side to back), but does not have any other dwelling either above or below it. This category includes townhouses attached to high-rise buildings, but does not include stacked townhouses.

Townhouses can be found in most City neighbourhoods (Figure 3.9). In 2011, most neighbourhoods saw an increase in townhouses, except Mahon, which remained the same as the prior Census period, and Moodyville and Westview, which both saw a modest decrease. While the data shows a significant increase in townhouses in Central Lonsdale since the 2006 Census, the decrease of 105 townhouses noted in the 2006 Census for this neighbourhood was likely incorrect.

Like duplexes, the City anticipates an increase in townhouses in the future as the 2014 Official Community Plan provides greater capacity for this housing type, particularly in the Moodyville neighbourhood. Townhouses are envisioned to serve as a more affordable type of ground-oriented housing for families in the City.

Figure 3.9: Number of Townhouses by Neighbourhood, 1991-2011

(Source: Statistics Canada, 1991-2011 Census)



Apartments Up to Four Storeys

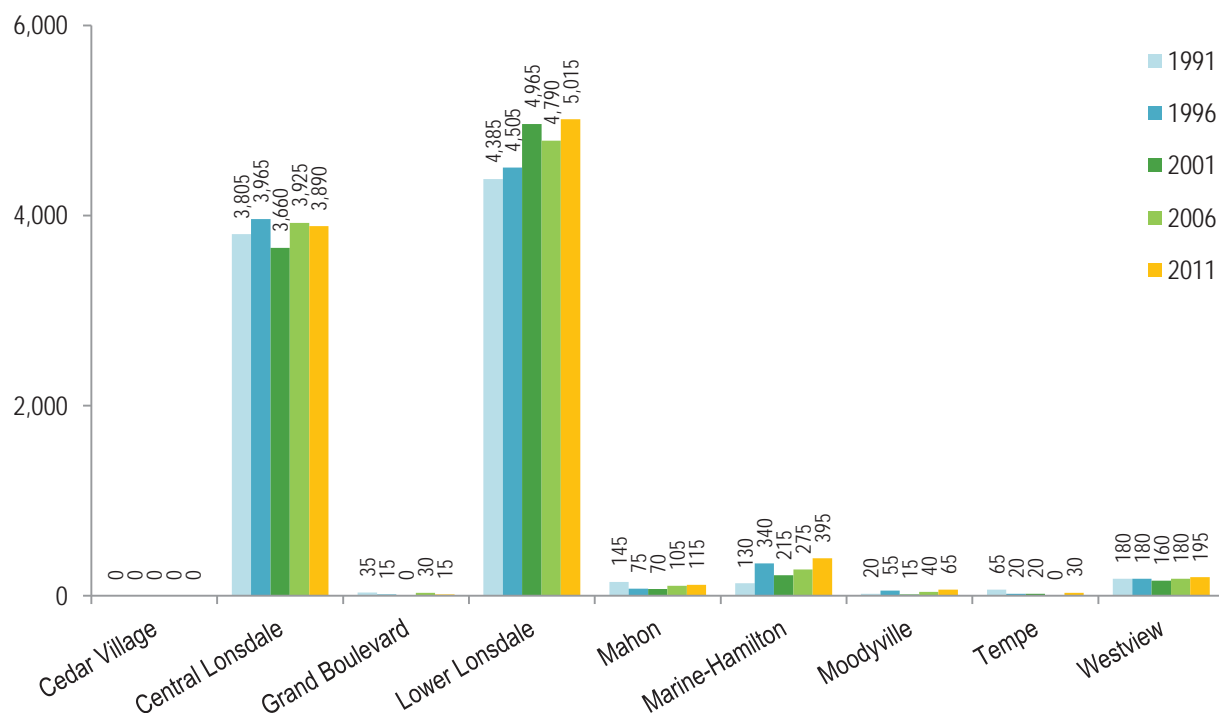
The neighbourhoods of Central Lonsdale and Lower Lonsdale continued to accommodate the majority of low rise apartments (up to 4 storeys) in 2011, accounting for 92 percent of all low rise apartment units in the City (Figure 3.10). Most neighbourhoods saw an increase in this structural type in 2011, with the greatest absolute growth in Lower Lonsdale, Marine-Hamilton and Tempe at 225, 120 and 30 units, respectively. In 2011, Central Lonsdale saw a loss of 35 units, likely due to the redevelopment of existing low rise apartments to higher density developments.

As was the case in the single detached dwellings category, a definition change in the 2006 Census affected the accurate classification of low rise apartments. Prior to the reclassification of 'apartment or flat in a detached duplex' to 'apartment or flat in a duplex,' a duplex that was attached to other dwellings or buildings would be considered an 'apartment in a building that

has fewer than five storeys' according to Statistics Canada. Consequently, the growth in the number of low rise apartment units in primarily single detached dwellings neighbourhoods, such as Grand Boulevard, is likely a misclassification.

Figure 3.10: Number of Low Rise Apartments (Up to 4 Storeys) by Neighbourhood, 1991-2011

(Source: Statistics Canada, 1991-2011 Census)

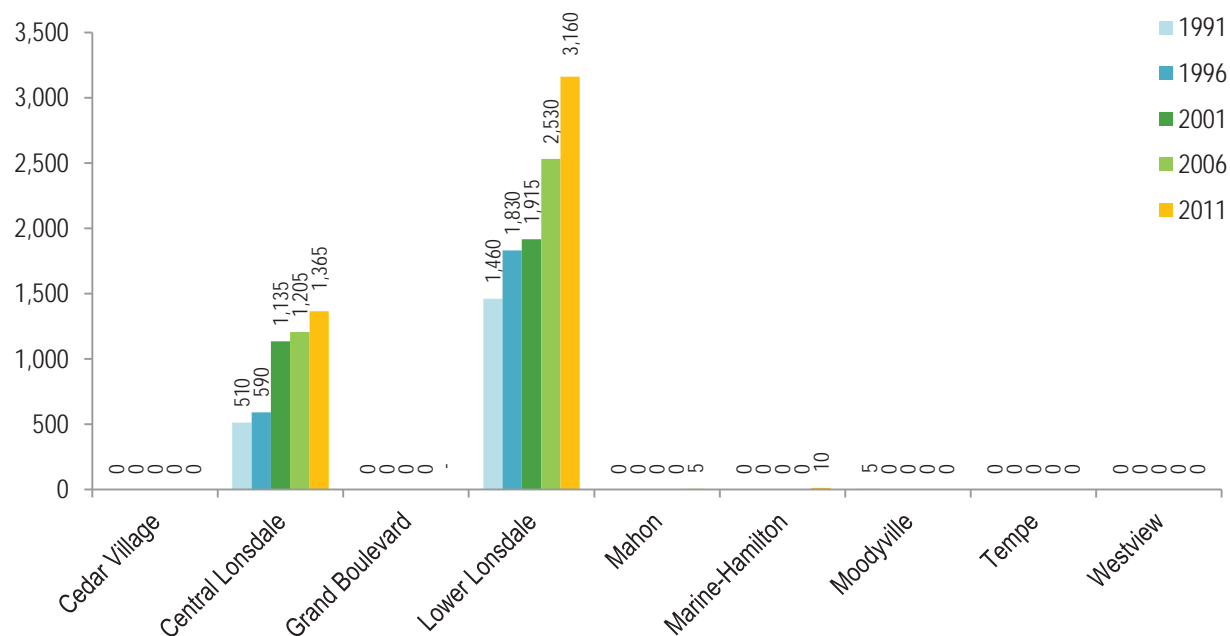


Apartments Five Storeys and Greater

Facilitated by the Regional Centre designation by Metro Vancouver, the growth in apartments five storeys and greater has been concentrated in the core neighbourhoods of Central Lonsdale and Lower Lonsdale (Figure 3.11). The growth has been quite significant for both neighbourhoods, with the addition of 855 and 1,700 dwelling units, respectively, over a 20 year period. The growth in high rise apartment units was particularly strong in Lower Lonsdale this past Census period, which saw an additional 630 units. Part of the City's overall vision is to create high-density, mixed-use areas in the Central Lonsdale and Lower Lonsdale neighbourhoods, served by a vibrant retail and commercial high street of Lonsdale Avenue. Another retail core of the City is Marine Drive, which runs through the Marine-Hamilton neighbourhood. Marine-Hamilton saw an increase in units in high rise apartments between 2006 and 2011.

Figure 3.11: Number of High Rise Apartments (5 Storeys and Greater) by Neighbourhood, 1991-2011

(Source: Statistics Canada, 1991-2011 Census)



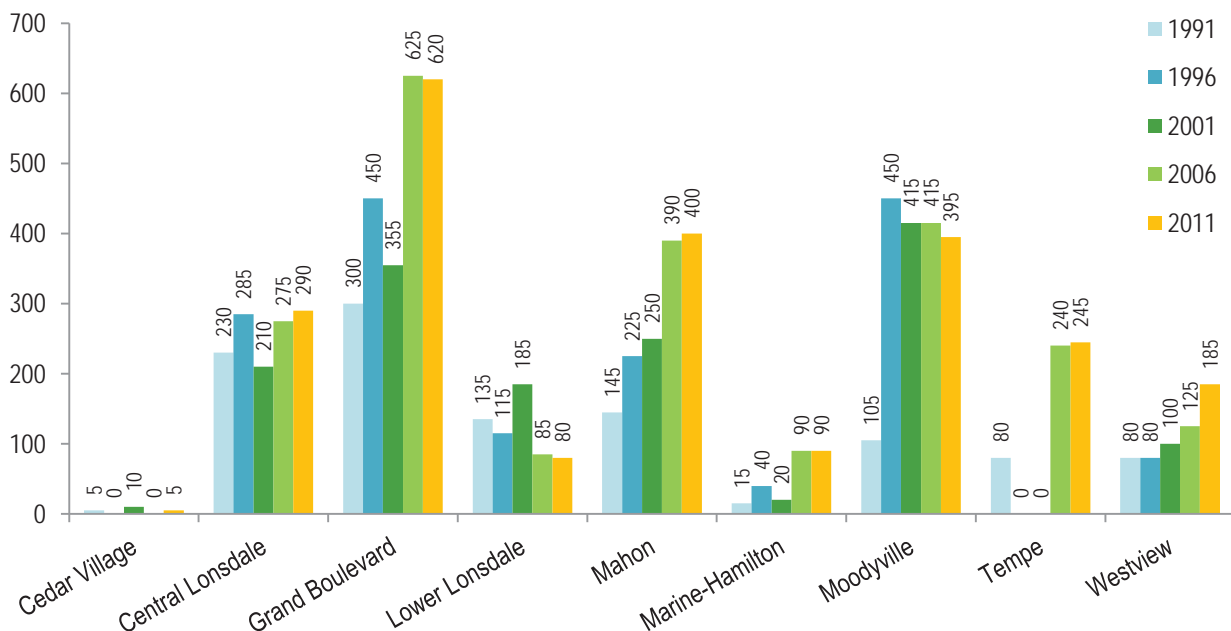
Secondary Suites

Determining the exact number of secondary suites in the City is a challenging task. Secondary suites are not a category in the Census. The structural type, 'apartment in a duplex,' which is defined by Statistics Canada as one of two dwellings, located one above the other that may or may not be attached to other dwellings or buildings, provides the best indication of the number of secondary suites in the City.

Based on Statistics Canada data, the City had 2,310 secondary suites in 2011 (Figure 3.12). The majority of secondary suites were located in the neighbourhoods of Grand Boulevard, Mahon and Moodyville, where most of the City's single detached dwellings are located. There has been significant growth in secondary suites in most neighbourhoods since 1991 as a result of legalization of secondary suites in the City in 1993, as well as better reporting methods utilized by Census enumerators. Between 2006 and 2011, there were limited increases in new secondary suites, likely due to the fact that most single family homes already have a suite.

The City can further ascertain the number of legal secondary suites through permit applications. As of June 2015, the City had approximately 480 registered secondary suites, in addition to 120 secondary suite applications in process. The City expects there are significantly more unregistered secondary suites.

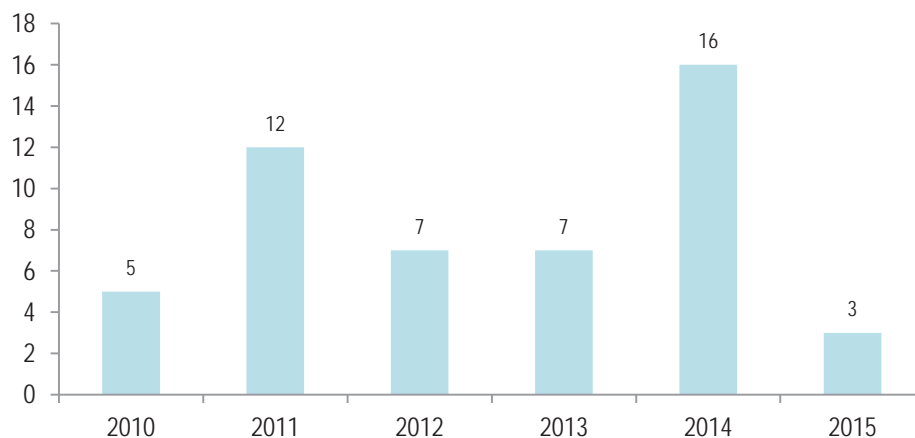
Figure 3.12: Number of Secondary Suites by Neighbourhood, 1991-2011
(Source: Statistics Canada, 1991-2011 Census)



Coach Houses

While coach houses have been present in the City since the 1900s, this form of housing was formally recognized in the Zoning Bylaw in 2010, which allowed coach houses to be built in the One-Unit Residential (RS) zone. As of June 2015, there were 50 coach houses either approved or in process in the City (Figure 3.13).

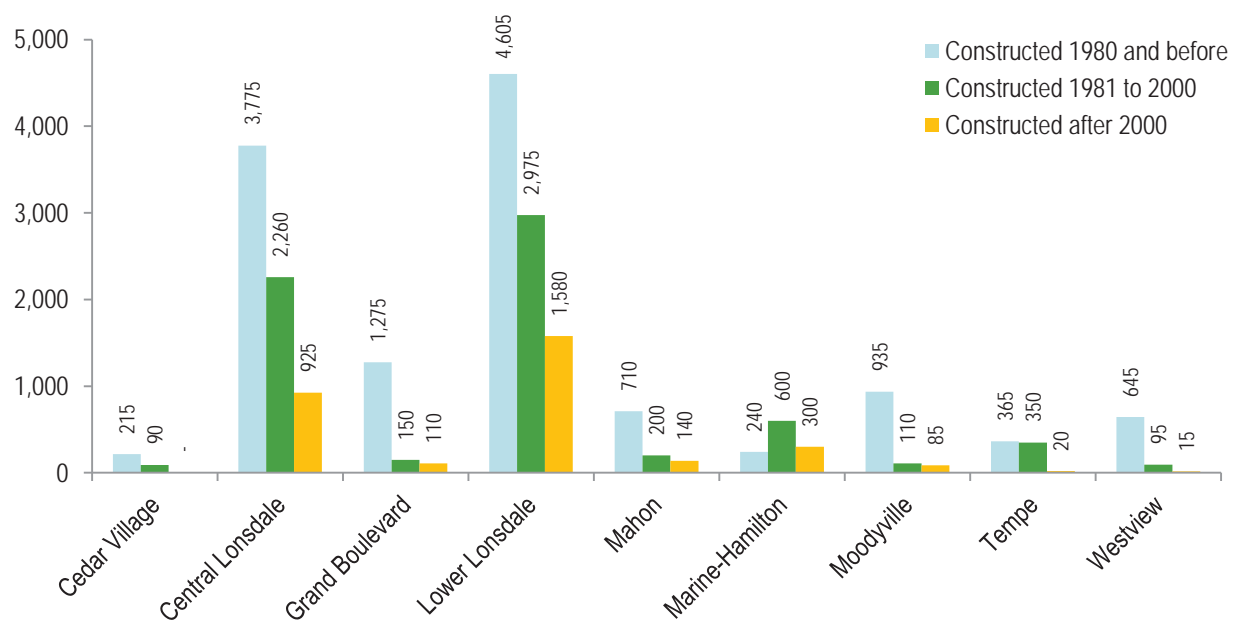
Figure 3.13: Number of Coach Houses Approved or in Process, 2010-2015
(Source: Statistics Canada, 1991-2011 Census)



3.2 Age of City Housing Stock

Approximately 56 percent of all dwelling units in the City were built prior to 1980 (Figure 3.14). Residential growth after 1980 has been relatively slow, with the exception of Central Lonsdale and Lower Lonsdale, which accommodated 3,185 and 4,555 units, respectively, or 77 percent of total dwelling units built after 1980. The growth in Central Lonsdale and Lower Lonsdale has been part of the City's efforts to develop the Lonsdale Regional Centre. The other neighbourhoods to experience moderate growth since 1980 include Marine-Hamilton, Mahon and Tempe.

Figure 3.14: Period of Construction
(Source: Statistics Canada, 2011 NHS)



3.3 Rental Housing

Rental housing is an important part of the City's housing stock with almost half of City households being renter households. However, with the expiry of federal incentive programs in the 1970s, no new purpose-built rental units were constructed in the City until 2000. As a result, the City has an aging rental stock that is in need of reinvestment, rehabilitation, and in some cases, redevelopment. In response, the City has worked to explore policies to improve rental housing conditions and options for residents.

Purpose-Built Rental

Purpose-built rental housing is an important component of the City's rental housing stock. Referring only to housing that is secured for rental in perpetuity, the majority of the City's purpose-built rental stock can be found in the older low-rise and high-rise apartments in Lower Lonsdale and Central Lonsdale.

According to the *Metro Vancouver Purpose-Built Rental Housing Inventory and Risk Analysis Report*, the City had 6,930 purpose-built rental units or six percent of the region's rental stock in 2012. The City was only behind Vancouver, Burnaby and New Westminster in terms of number of purpose-built rental units, and had significantly more rental units than both the District of North Vancouver and West Vancouver (Figure 3.15).

Figure 3.15: Number of Purpose-Built Rental Units in Region, 2012
(Source: Metro Vancouver, 2012)



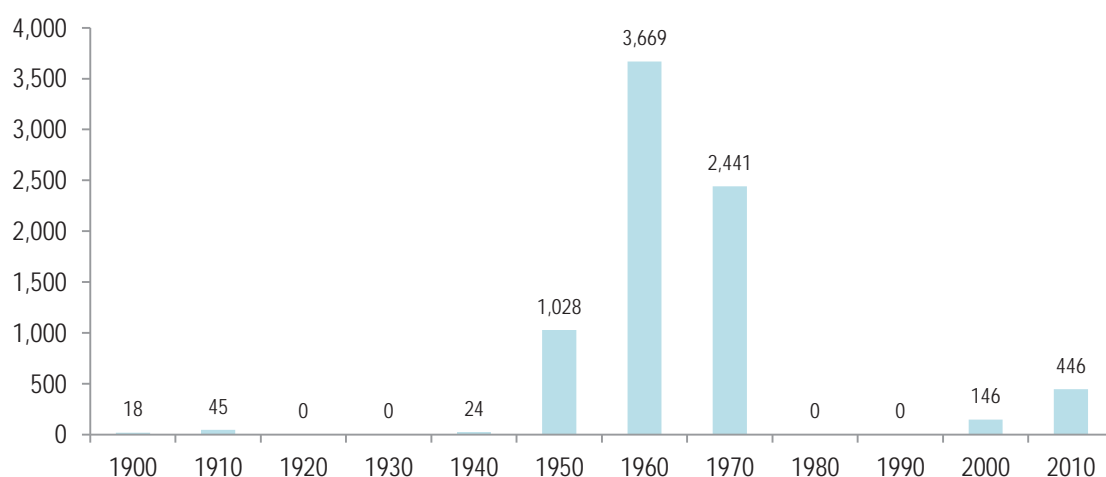
While the City has a significant number of purpose-built rental units, most of these units are older. Almost all of the City's purpose-built rental stock was constructed prior to 1980 (Figure 3.16). The greatest number of purpose-built rental units were built between the 1950s and 1960s, when senior government capital and rent subsidies were available to facilitate rental housing development. The elimination of federal programs and changes to the federal tax structure in the 1970s initiated a long period of disinvestment in purpose-built rental building. The revised federal tax structure made it difficult for rental building owners and investors to recapture their rental housing investment, in addition to improvements to units and building structures being heavily taxed, thereby limiting upgrades to the existing rental housing stock. Many rental building owners and investors struggled financially to manage their properties, with the unfavourable tax structure deterring new investment in rental development.

The federal government has since made changes to help alleviate the tax burden on rental housing investments. As of 2001, developers of rental housing were able to claim a GST rebate on construction costs. In addition, on the sale of the property, rental housing owners now only pay 50 percent capital gains tax, as opposed to 75 percent. These tax relief measures, in addition to low interest rates, strong rental market conditions and other supporting factors, are making rental housing projects more viable currently. Since 2000, the City has seen a net increase of 446 new purpose-built rental units.

While new purpose-built rental units are now being constructed in the City, it is often at the expense of existing rental buildings, which offer more affordable rents due to their age and limited on-site and in-suite amenities. Since 1996, the City has seen the demolition of 216 older rental units. While the City has been able to secure a greater number of new rental units in most of these redevelopments, the affordability of the older rental stock is being lost. Securing new rental housing remains a challenge as rental housing is less profitable than developing strata condominiums.

To support the development of new secured rental for City residents, the City permits additional density to be granted to rental housing projects, as well as other incentives such as reduced development cost charges, understanding that any loss of purpose-built rental units will impact the affordability and availability of rental options for City residents. The City has strata conversion controls to limit the conversion of rental apartments to ownership units, as well as provisions in the Zoning Bylaw to allow additional rental units to be added to existing rental apartments.

Figure 3.16: Period of Construction for Purpose-Built Rental Units, 1900-2015
(Source: BC Assessment, 2011 and City of North Vancouver, 2015)



Secondary Rental

The secondary rental market, which includes secondary suites, coach houses, accessory dwelling units in duplexes, and privately rented condominiums, is an important part of the City's rental stock. The growth in the secondary rental market has helped to diversify the City's rental housing stock, although these types of units are not secure rental units and may be lost at any time.

The Canada Mortgage and Housing Corporation (CMHC) collects information on the secondary rental market at the regional level. Using this information, Metro Vancouver estimates that approximately 1,474 condominiums are renter-occupied in the City in 2014. Using City data from 2014, the number of condominium owners who did not claim a homeowner grant, indicating that the unit was not occupied by the owner, was 2,645. This is an increase of 600 non-owner occupied units from 2011, when 2,045 condominium units, or approximately 30 percent of all strata condominiums in the City, were rented by owners or investors. While strata condominiums are becoming an important source of rental housing in the City, these types of units tend to charge higher rents due to the units being newer, in addition to having on-site and in-suite amenities that older purpose-built rental apartments do not provide.

Using owners who did not claim the homeowner grant (which requires owner occupancy), Table 3.1 presents an estimate of the number of rental units in the secondary market. The growth in the secondary rental market, including strata condominiums and duplexes, triplexes, fourplexes and townhouses, has helped to diversify the City's rental stock and contribute to growth of new rental housing units in the City.

Table 3.1: Secondary Rental Housing Stock Estimates, 2000-2014

(Source: City of North Vancouver, 2014)

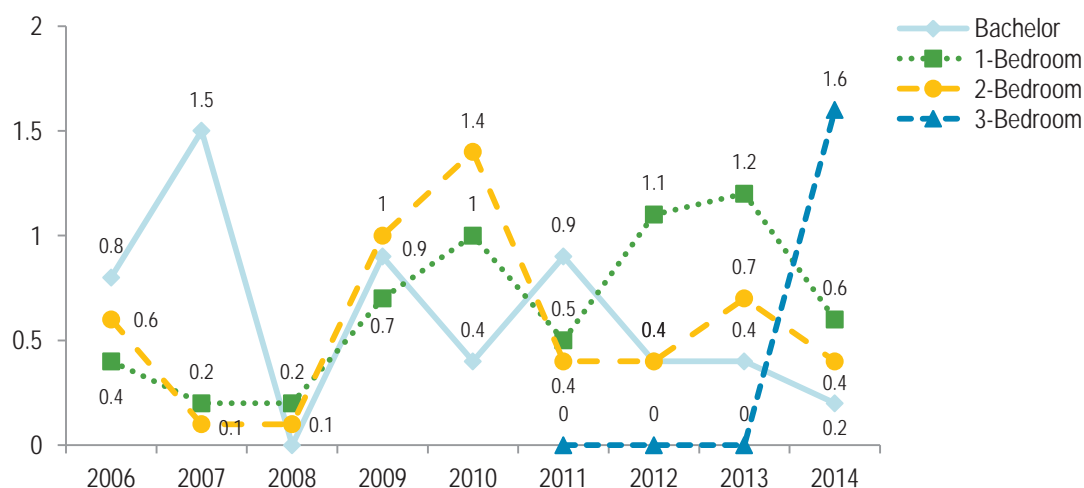
RENTAL TYPE	2000	2010	2014	DIFFERENCE 2000-2014
Single Family Dwelling	1,109	834	630	-479
Strata Condos	1,295	2,045	2,645	+1,350
Duplexes, Triplexes, Fourplexes and Townhouses	534	637	540	+6
Secondary Suites / Coach Houses	443	506	500	+57
Accessory Dwelling Units in Duplexes	-	-	10	+10
Total	3,381	4,022	4,325	+944

Vacancy Rates and Rents

Vacancy rates in the City have been consistently low for the past two decades. Since 2000, the overall vacancy rate in the City for the private rental market has fluctuated moderately and has not risen above two percent. Vacancy rates for bachelor, one-bedroom and two-bedroom units all decreased between 2013 and 2014, with the most significant decrease occurring for two-bedroom units, which went from 1.2 percent in 2013 to 0.6 percent in 2014 (Figure 3.17). Vacancy rate for three-bedroom units has historically been suppressed by CMHC due to the limited number of these units available in the City. Between 2011 and 2013, the City had zero percent vacancy for three-bedroom units, although the vacancy rate increased to 1.6 percent in 2014. While the City has been encouraging a greater number of three-bedroom units in new purpose-built rental projects, the higher vacancy rate reported in 2014 is likely due to current vacancies during the survey period as opposed to a trend. The overall vacancy rate in the City was 0.5 in 2014.

A healthy and balanced vacancy rate is commonly defined as three percent. The City has been well below this mark for numerous years and persistently low vacancy rates suggest that demand continues to outpace supply in the City's rental market.

Figure 3.17: Vacancy Rate in the City, 1999-2014
(Source: CMHC, 1999-2014)



With such low vacancy rates in the City, rents have increased considerably over the same time period. Between 1999 and 2014, the average rent for a purpose-built rental unit in the City grew from \$732 to \$1,093, an increase of \$361 or 49 percent (Figure 3.18). In comparison, the Consumer Price Index increased approximately 30 percent between 1999 and 2013 (Statistics Canada, 2014).

Figure 3.19 compares average rents for each bedroom type. Between 2006 and 2014, average rents increased by 25 percent for bachelor units, 28 percent for one-bedroom units, 27 percent

for two-bedroom units, and 48 percent for three-bedroom or more units. The significant increase in rent for three-bedroom units over time is likely due to the limited supply of three-bedroom units available in the City. Between 2006 and 2014, CMHC recorded an increase of 10 three-bedroom units.

Figure 3.18: Average Purpose-Built Apartment Rents, 1999-2014

(Source: CMHC, 1999-2014 and Statistics Canada, 2014)

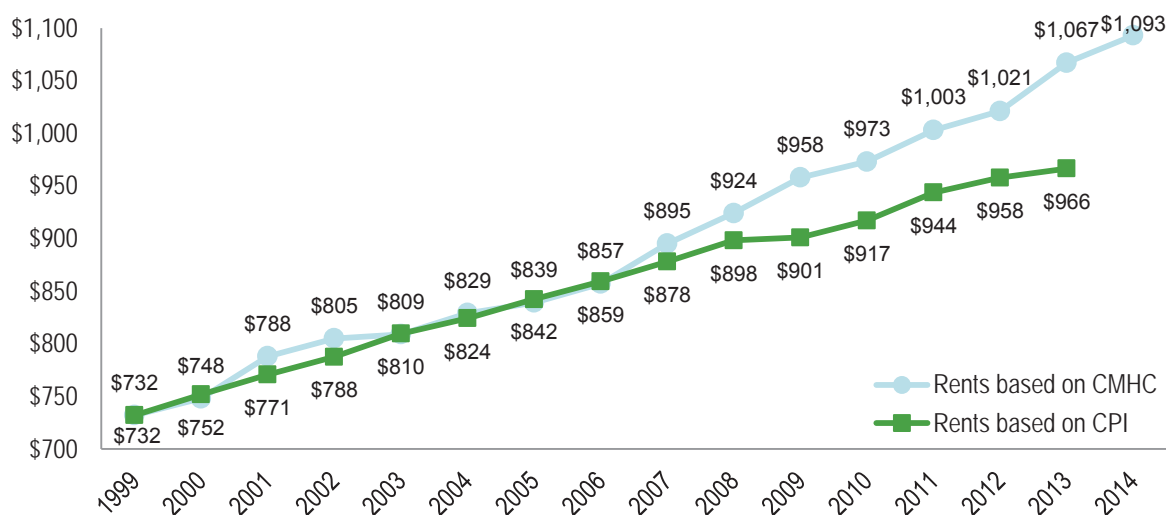
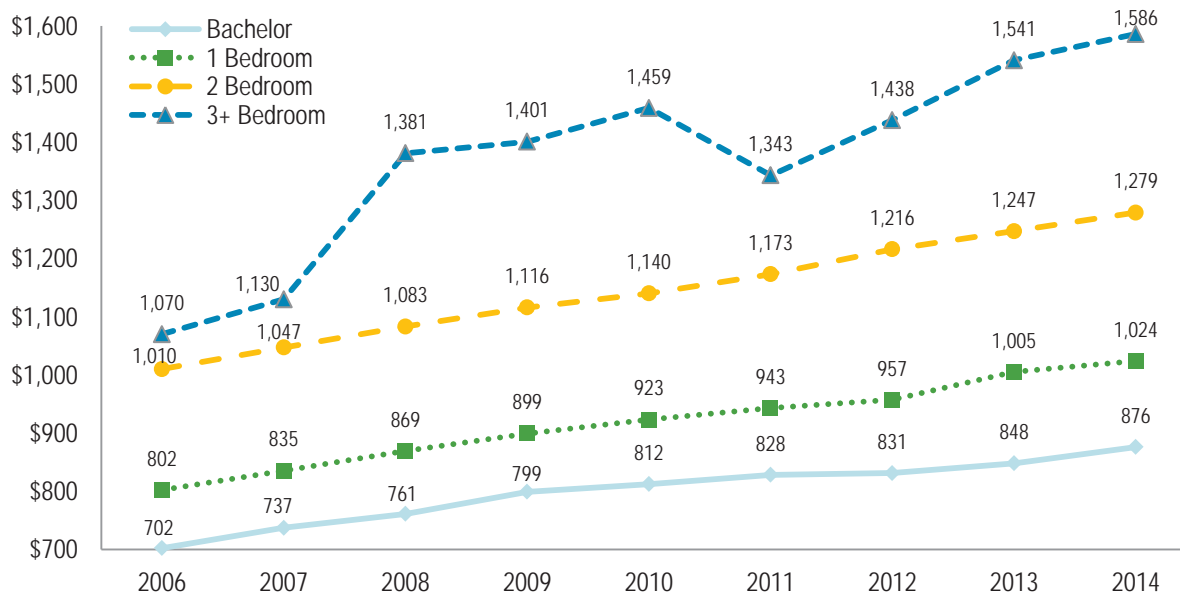


Figure 3.19: Average Purpose-Built Apartment Rents by Unit Size, 2006-2014

(Source: CMHC, 2006-2014)



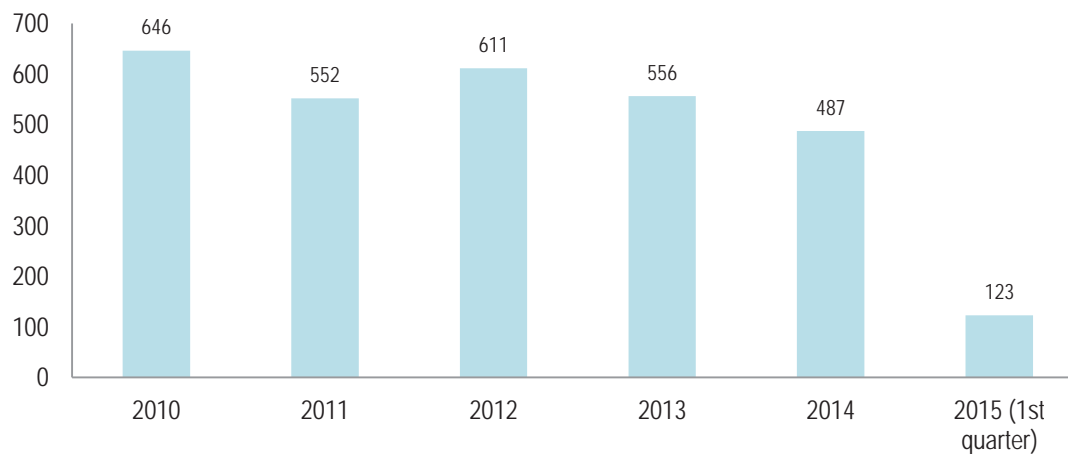
Rental Disputes

Considering the high number of renters in the City, the City has relatively low numbers of recorded rental disputes between landlords and tenants, which are handled by the British Columbia Residential Tenancy Branch (RTB) (Figure 3.20). The number of disputes in the City has seen a downward trend, with 646 dispute applications in 2010 and 487 dispute applications in 2014. If the first quarter numbers for 2015 are annualized, 2015 may have the lowest number of dispute applications in the City since 2010.

It is common to see an increase in dispute applications when the rental market experiences increasing rental prices, low vacancy rates, and other challenges related to housing and affordability. Therefore, the decreasing number of rental disputes may be an indication that the relationships between landlords and tenants are improving, with less conflicts resulting in arbitration. It is, however, imperative that both tenants and landlords understand their rights and responsibilities to tenancy and utilize the RTB service when conflicts cannot be resolved. In addition, there are RTB rules that must be adhered to by law, such as permitted increases to rent and compensation to tenants if violations of the Residential Tenancy Act occur, such as unlawful eviction.

Figure 3.20: Rental Dispute Applications for the City, 2010-2015

(Source: RTB, Office of Housing and Construction Standards, Province of BC, 2015)



4.0 HOUSING AFFORDABILITY

Housing affordability is the relationship between median household income and the estimated income available for either renting or purchasing a home. Using the Canada Mortgage and Housing Corporation standard, housing is considered affordable if a household spends 30 percent or less of its gross income on shelter costs. Households spending more than 50 percent of their gross income on shelter fall below the standard of affordability and are considered to be in core housing need.

For renters, shelter costs include rent and payments for electricity, water and other municipal services. For owners, shelter costs includes mortgage payments (principal and interest), property taxes, condominium/strata fees, home insurance, and payments for electricity, water and other municipal services.

4.1 Housing Prices in the City

Housing prices have increased significantly over the past 10 years in Metro Vancouver, including in the City of North Vancouver. Using data from the Real Estate Board of Greater Vancouver (REBGV) Multiple Listing Services Home Price Index (MLS HPI) for the City and District of North Vancouver, the MLS HPI presents the benchmark price of a typical property based on the housing type, taking into consideration factors that average and median prices do not, including lot size, age and number of rooms. The MLS HPI is modeled on the Consumer Price Index to measure the change in the price of housing features. The typical prices for the City and District of North Vancouver are listed in Table 4.1.

Based on Table 4.1, residential housing prices in North Vancouver have increased \$254,400 or 57 percent between 2005 and 2015. The most significant increase has been for detached homes, which increased 67 percent from \$628,200 in 2005 to \$1,047,800 in 2015. Townhouses and apartments have seen similar increase at 45 percent and 48 percent, respectively. Over the same period, the change in inflation in Canada was 19 percent (Bank of Canada, 2015).

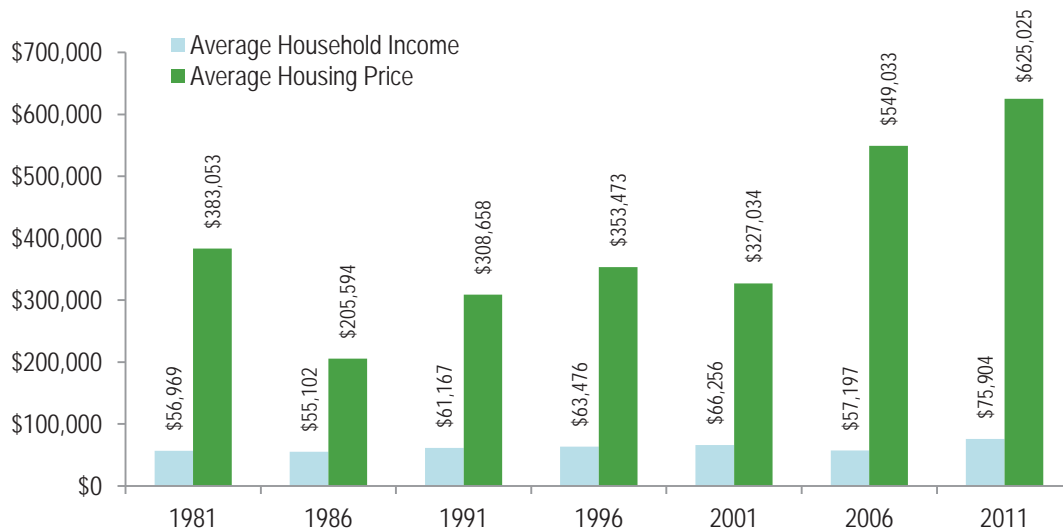
Current low interest rates in Canada have been supporting the demand for real estate as households are able to borrow more money to purchase a property. A low interest rate also means more households are being approved for mortgages, thereby increasing the number of households competing in the housing market and increasing demand and housing prices. However, with many households borrowing greater sums of money to buy properties, buyers are subjected to greater financial risk. Higher debt loads means households often have less money for other living costs, such as groceries and childcare, which puts them at risk should interest rates climb or in the event of an unexpected change in circumstance, such as loss of work.

Table 4.1: Typical Prices in North Vancouver by Residential Housing Types
(Source: Real Estate Board of Greater Vancouver, 2015)

YEAR	ALL RESIDENTIAL FORMS	DETACHED	TOWNHOUSE	APARTMENT
2005	\$443,200	\$628,200	\$417,800	\$245,700
2006	\$495,500	\$697,300	\$464,200	\$277,400
2007	\$550,000	\$764,500	\$515,200	\$311,600
2008	\$623,200	\$874,400	\$569,900	\$352,600
2009	\$544,700	\$762,000	\$517,500	\$305,400
2010	\$614,300	\$864,400	\$571,100	\$344,300
2011	\$601,900	\$846,800	\$551,100	\$339,800
2012	\$640,000	\$942,900	\$589,100	\$339,100
2013	\$629,400	\$919,000	\$562,400	\$339,800
2014	\$652,000	\$950,400	\$584,100	\$352,100
2015	\$697,600	\$1,047,800	\$606,700	\$363,200
Total Change 2005-2015	+\$254,400	+\$419,600	+\$188,900	+\$117,500
Percent Change 2005 -2015	57.4%	66.8%	45.2%	47.8%

While the cost of housing has historically been relatively expensive in the City, the past 10 years has been especially severe as incomes have failed to keep pace with increases in housing prices. For example, in 1981, the cost of housing was approximately seven times the average household income in the City (Figure 4.1). This gap decreased in 1986 due to an economic recession, but has steadily increased since. In 2011, the cost of housing was approximately eight times greater than the average household income in the City, an improvement in affordability from the 2006 according to 2011 National Household Survey. However, due to biases inherent in this voluntary NHS survey, this data likely does not capture certain populations, including lower income households. With housing prices increasing at a much faster rate than income, finding housing options that are affordable is a challenge in the City.

Figure 4.1: Average Household Income and Average Housing Price, 1981-2011
 (Source: Statistics Canada, 1981-2006 Census and 2011 NHS)



4.2 Rental Affordability

To understand rental affordability for City residents, calculations have been performed to determine the amount of rent various household types and age groups can afford at 30 percent of their median income levels (Table 4.2). Based on these calculations, the age cohort of 35 to 64 had a higher median income level compared to youth and young adults (0 to 24) and seniors (65+). The substantial difference in median income is most noticeable between household types. Across all age groups, single parent households and single person households earned far less than couple family households.

When compared against the average rental rates in the City, a gap in housing affordability was evident (Figure 4.2). For the youngest age cohort (0 to 24), all households earning the median income or less could not afford the average price of a bachelor unit in North Vancouver within 30 percent of their income.

Across the age spectrum, couple households had the highest median incomes and greatest ability to afford rental housing. This is likely a result of having dual income earners. Comparatively, lone parent households incomes increased over time, but their overall growth was substantially lower compared to families with two parents. Both households, couples and lone parents, have children, and lone parents earned less than half of couple households income.

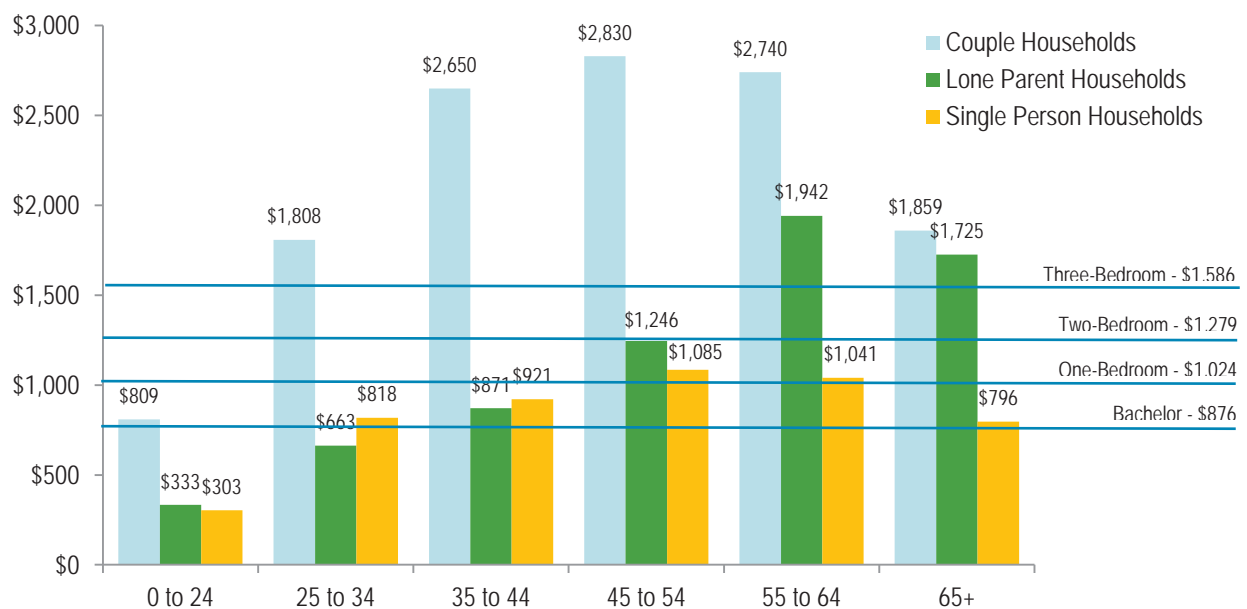
Table 4.2: Rental Affordability per Month, 2012

(Source: Statistics Canada, Taxfiler Reported Custom Tabulation Family Tables, 2012 and CitySpaces Consulting Ltd. Calculations)

	ABILITY TO RENT @ 30 PERCENT OF INCOME (PER MONTH)		
AGE	COUPLE HOUSEHOLDS	LONE PARENT HOUSEHOLDS	SINGLE PERSON HOUSEHOLDS
0 to 24	\$809	\$333	\$303
25 to 34	\$1,808	\$663	\$818
35 to 44	\$2,650	\$871	\$912
45 to 54	\$2,830	\$1,246	\$1,085
55 to 64	\$2,740	\$1,942	\$1,041
65+	\$1,859	\$1,725	\$796

Figure 4.2: Rental Affordability per Month, 2012

(Source: Statistics Canada, Taxfiler Reported Custom Tabulation Family Tables, 2012 and CitySpaces Consulting Ltd. Calculations)



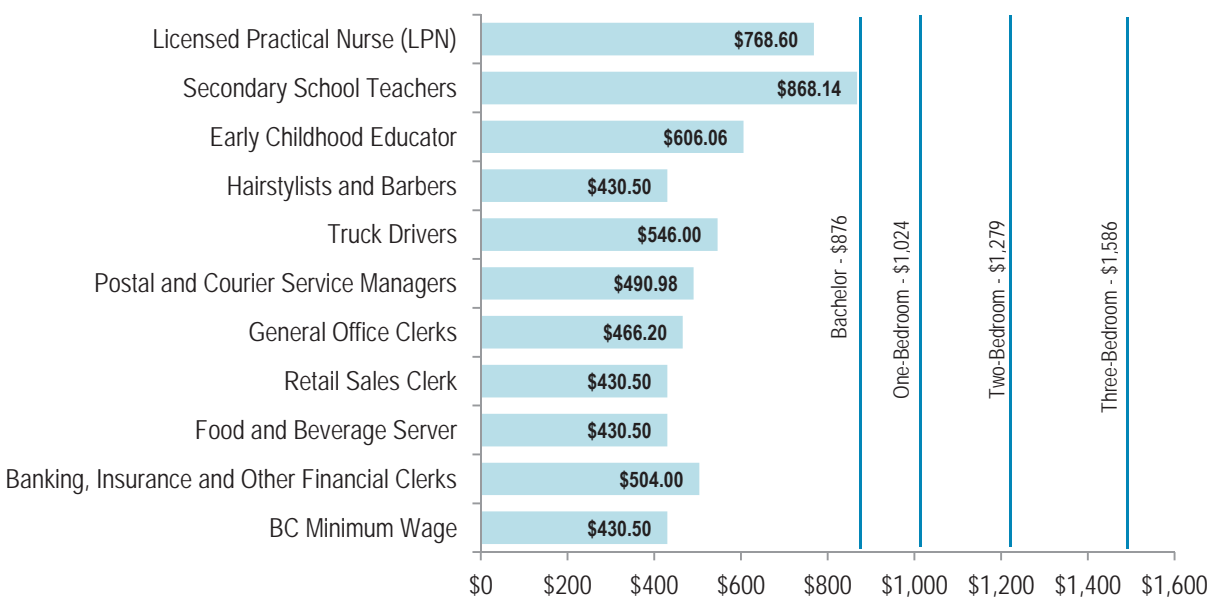
Housing affordability can also be evaluated by median incomes by occupation (Figure 4.3). Using 30 percent of income as the affordability threshold, employees working full-time and earning minimum wage can afford approximately \$430 per month towards rent and utilities. However, the average one-bedroom unit costs \$1,024 per month in the City, which is out of reach for full-time minimum wage workers.

Other occupations provide a comparison. Food and beverage servers, retail sales clerks and hairstylists all earn minimum wage in the City of North Vancouver according to the Labour Market Information database. General office clerks and postal/courier service managers earn minimally more and would be equally challenged to afford the average rental unit within 30 percent of their gross median income. Early childhood educators and licensed practical nurses also have earnings that fall short of affordability compared to the average rental prices in the City.

Households may find means to offset the full cost of rent, such as finding a roommate, or acquiring a rental unit that may be older and/or in need of minor repair in order to have rent in an affordable range. This is dependent on rental availability, suitability and individual household circumstances.

Figure 4.3: Rental Affordability per Month for Select Occupations (Full-Time Equivalent), 2012

(Source: Government of Canada Labour Market Information, Employment and Social Development, Wage Report North Vancouver, 2015 and CitySpaces Consulting Ltd. Calculations)



4.3 Homeownership Affordability

Households pursuing homeownership, rather than rental, will require a mortgage, and must be qualified by a banking institution to obtain one. Basic home purchasing assumptions are made in order to determine the maximum purchase price and the maximum amount that households can borrow. For this report, assumptions were based on 2015 rates, including:

- Gross Debt Service (GDS) Ratio at 32 percent (entire monthly debt, such as car loans and credit card payments, including the potential monthly mortgage payment, should be no more than 32 percent of gross monthly income);
- Five-year fixed rate at 2.85 percent;
- Amortization period of 25 years; and,
- Monthly maintenance fees at \$200, property taxes at \$250, home insurance at \$150, and utilities/heating at \$100.

Homeownership affordability can be estimated based on the assumptions made about a household's ability to obtain a mortgage, and using the median household income from taxfiler income data obtained from Statistics Canada. These inputs assume households have zero debt. Households with debt, be it student loans, car loans, or credit cards, may be approved for a lesser mortgage amount based on their GDS ratio. Debt reduces the price range available to households for purchasing.

Using median income levels and based on the above assumptions, the average couple household earning the median income can purchase a home worth \$352,623 (with five percent down) in the City (Table 4.3). This price ranges depending on household age, with the average 45 to 54 age cohort being able to afford to purchase a home worth \$524,262. Again, half of households earning more than the median income can afford more, and the other half can afford less.

Given their combined higher incomes, couple households have the greatest purchasing power in the City. However, with the average sale price of townhouse at \$606,700 and single detached homes at \$1,047,600 in 2015, both housing types are out of reach for couples earning the median income or less.

Even for couple households earning above the median income level, a challenge may be ensuring an adequate down payment in order to be eligible to purchase a home (Table 4.4). This is the result of changes to CMHC rules and regulations in 2012, whereby mortgage default insurance is not available on homes worth more than \$1 million. As a result, homebuyers looking to purchase a home worth \$1 million or more require a minimum down payment of 20 percent.

Table 4.3: Home Ownership Affordability by Age, 2012

(Source: Statistics Canada, Taxfiler Reported Custom Tabulation Family Tables, 2012 and CitySpaces Consulting Ltd. Calculations)

	ABILITY TO PURCHASE WITH 5 PERCENT DOWN		
AGE	COUPLE HOUSEHOLDS	LONE PARENT HOUSEHOLDS	SINGLE PERSON HOUSEHOLDS
0 to 24	\$36,825	-	-
25 to 34	\$277,698	\$1,507	\$39,044
35 to 44	\$480,828	\$51,681	\$63,763
45 to 54	\$524,262	\$142,225	\$103,398
55 to 64	\$502,605	\$310,038	\$92,678
65+	\$290,166	\$257,826	\$33,775

Table 4.4: Down Payment Scenarios by Housing Type, 2015

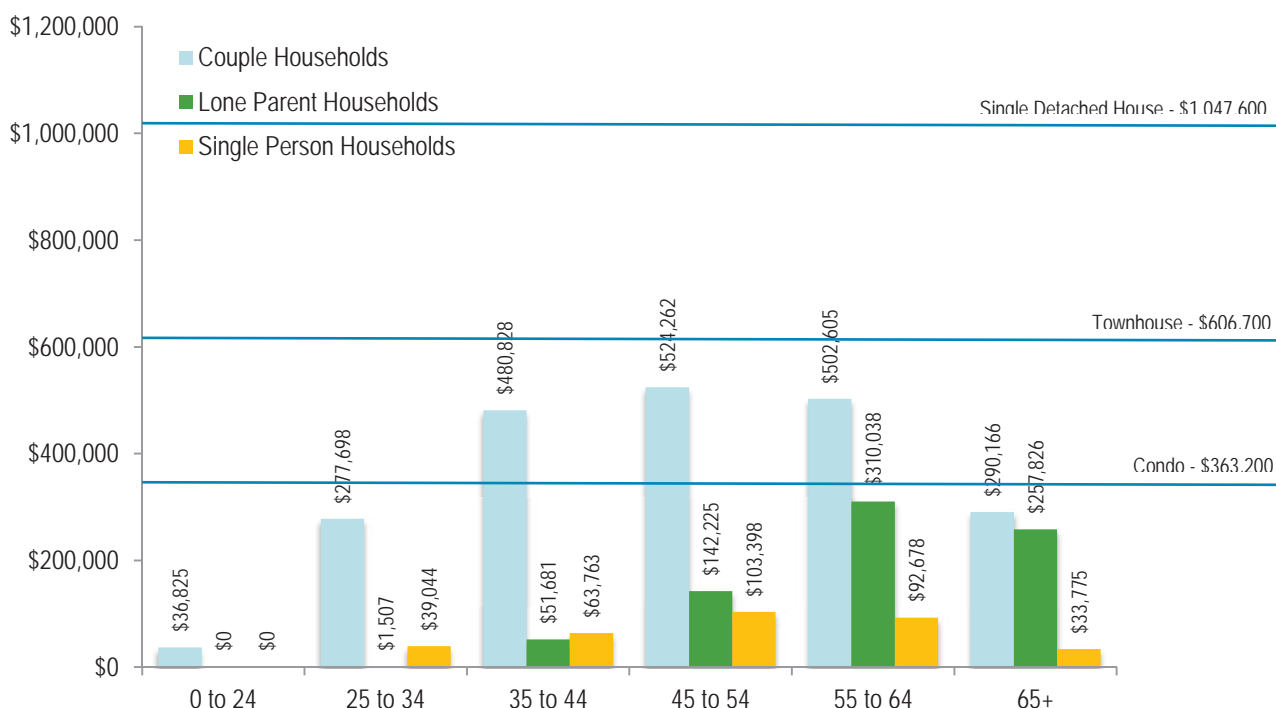
(Source: Real Estate Board of Greater Vancouver, 2015 and CitySpaces Consulting Ltd. Calculations)

	DOWN PAYMENT SCENARIOS			
HOUSING TYPE	BENCHMARK PRICE	5 PERCENT	10 PERCENT	20 PERCENT
Condominium	\$363,200	\$18,160	\$36,320	\$72,640
Townhouse	\$606,700	\$30,335	\$60,670	\$121,340
Single Detached House	\$1,047,600	-	-	\$209,520

The income and price index indicates that lone parent households earning the median income or more may be able to enter into the homeownership market in middle adulthood (45 to 54) or pre-retirement (55 to 64) (Figure 4.4). Based on average sales prices, single person households of all ages earning the median income or less are priced out of the market. Homeownership is

also out of reach for most households earning BC's minimum wage and other common occupations in the City if the 30 percent affordability threshold is adhered to.

Figure 4.4: Home Ownership Affordability by Age and Household Type, 2012
 (Source: Statistics Canada, Taxfiler Reported Custom Tabulation Family Tables, 2012, and Real Estate Board of Greater Vancouver. 2015 and CitySpaces Consulting Ltd. Calculations)



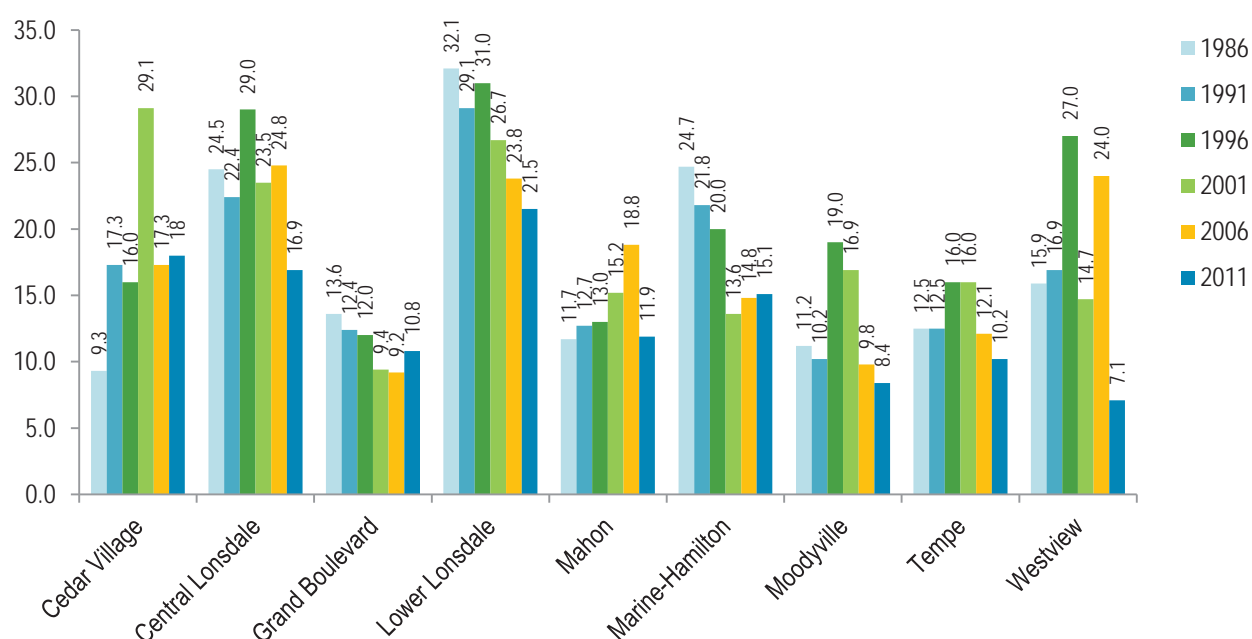
4.4 Incidence of Low Income

Statistics Canada defines low income as the income level at which families or persons not in economic families spend 20 percentage points more than average of their after-tax income on food, shelter and clothing. The City has traditionally had a higher incidence of low income households compared to the other North Shore municipalities. However, the City has seen a continual decline in households with low income since 1986 (Figure 4.5). The significant decrease between 2006 and 2011 may be due to non-response bias in the NHS.

While the incidence of low income has declined in the City overall, the prevalence for each City neighbourhood is notably different. The neighbourhoods of Central Lonsdale, Lower Lonsdale and Marine-Hamilton historically had the highest prevalence of low income in the City. These neighbourhoods have the highest percentage of renters and the decrease in recent years may be due to new strata condominium developments, which have brought greater number of

homeowners with higher incomes into these neighbourhoods. The prevalence of low income in these particular neighbourhoods is of concern due to the high number of older purpose-built apartment buildings and the potential impact that redevelopment, and the subsequent displacement, may have on economically vulnerable residents. The reasons for the significant decrease in the Westview neighbourhood are unknown, although it may be due to NHS non-response bias.

Figure 4.5: Incidence of Low Income by Neighbourhood, 1986-2011
(Source: Statistics Canada, 1986-2006 Census and 2011 NHS)



4.5 Core Need Households

Households in core need and spending at least half of household income are considered to have extremely dire housing circumstances. In 2011, the City had 1,795 core need households, or the equivalent of nine percent of the City's population. The number of core need households decreased between 2006 and 2011, although the City had more core need households compared to the District of North Vancouver (five percent), West Vancouver (six percent) and the region overall (eight percent) in 2011.

Overall, there are more renter households in core need and spending at least half on housing, compared to owner households (Figure 4.6). That said, the number of renters households in core need decreased in 2011, while the number of owner households spending at least half on housing increased. This indicates that many households are over-stretching themselves

financially, thereby having less money to spend on other household expenses, such as groceries, childcare and transportation. These households are in financially precarious situations should their incomes change, should their fixed expenses increase like property taxes, insurance and interest rates. These households may further have a lesser ability to participate in recreational activities and engage in other social ways due to financial constraints.

Figure 4.6: Owner and Renter Households in Core Need, 1991-2011
(Source: Statistics Canada, 1991-2006 Census and 2011 NHS)

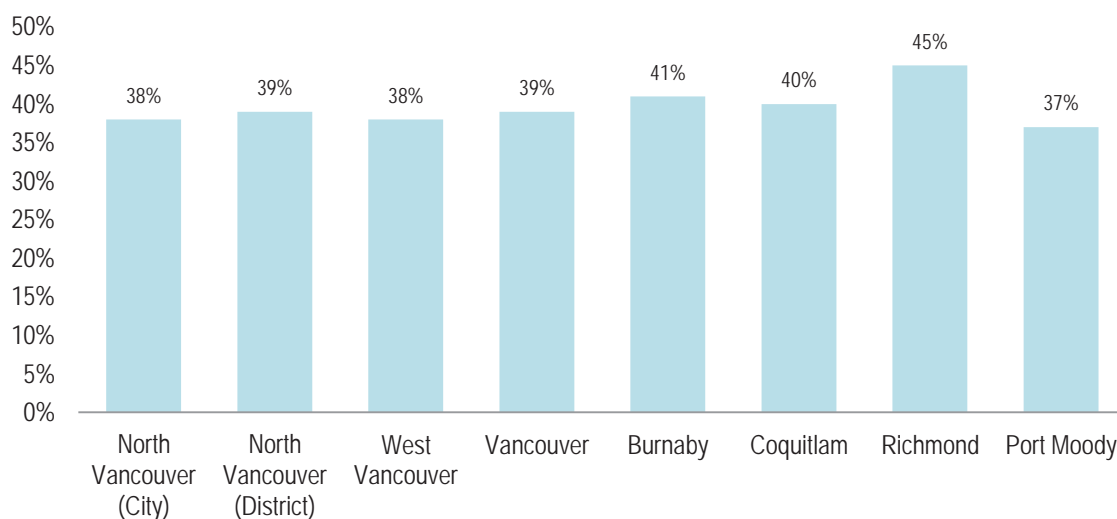


4.6 Transportation and Housing Affordability

Transportation is inherently linked to housing in several ways. Typically, transportation is the second largest expense for households. These expenses may include transit passes or personal vehicle payments, including insurance, license and registration fees, gas, and maintenance. In Metro Vancouver, transportation costs increase as your commute increases. For transit passes, moving from one zone to another will increase your monthly costs. For personal vehicles, bridge tolls and parking fees can be additional expenses.

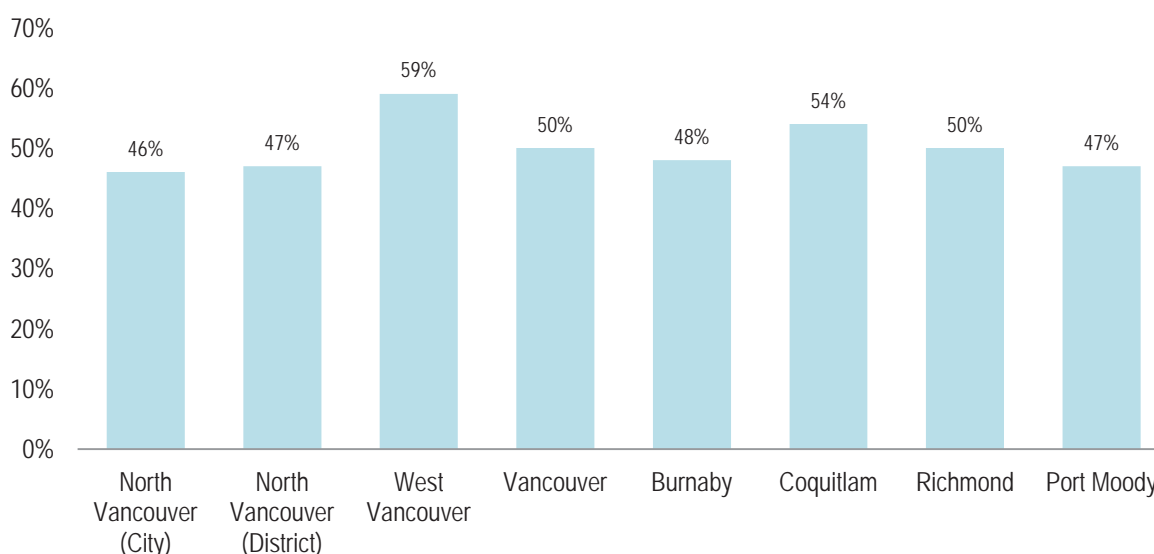
Metro Vancouver recently issued a Cost Burden Study on housing and transportation in the region. This study combines household expenditures on housing and transportation with household income by municipality. For the City of North Vancouver, the average homeowner earning the median income had a “housing and transportation cost burden” of 38 percent - meaning that 38 percent of their income goes towards the cost of housing and transportation (Figure 4.7). There is minimal variation in this percentage compared to other municipalities in the region. The most expensive cities in the region (using the combined housing and transportation index) are Richmond and the City of Langley at 45 percent.

Figure 4.7: Housing and Transportation Cost Burden Index for Homeowners, 2015
(Source: Metro Vancouver Housing + Transportation Cost Burden Report, 2015)



Renters earning the median income and living in the City had a housing and transportation cost burden of 46 percent (Figure 4.8). This figure is the second best in the region (tied with New Westminster), and only 1 percentage point behind Vancouver (45 percent). The University of British Columbia (UBC) and the University Endowment Lands (UEL) have the highest housing and transportation cost burden for renters in the region at 65 percent.

Figure 4.8: Housing and Transportation Cost Burden Index for Renters, 2015
(Source: Metro Vancouver Housing + Transportation Cost Burden Report, 2015)



The housing and transportation cost burden index does not identify the affordability ranges for rental and ownership to meet the median income levels of residents. It does, however, demonstrate that proximity to transit-oriented areas and the frequent transit network can improve households overall cost of living. This is especially true for renter households who are earning low to moderate income levels who, according to this study, have a cost burden upwards of 67 percent, which is considerably disproportionate to their financial means.

5.0 NON-MARKET HOUSING

5.1 Non-Market Housing Supply

Non-market housing refers to housing that has ongoing government subsidy, or generates sufficient revenue through rents and donations that it is able to operate on a not-for-profit basis.

BC Housing maintains statistics on non-market housing units and subsidies provided through its programs across the province. The most recent statistics, dated March 2015, identify rent supplements, emergency and temporary beds, supportive housing, and independent housing in the City North Vancouver.

As of June 2015, BC Housing notes a total of 1,017 non-market housing units are located in the City, excluding rent supplements. Nearly half (47 percent) are dedicated affordable housing for independent seniors (Table 5.1). The other proportionally highest category of non-market housing in the City is for low-income families at 26 percent, and special needs/persons with disabilities at 10 percent. According to City records, the City has a total of 1,066 non-market units, not including 14 non-market units currently under construction. Of the units currently under construction, nine are earmarked for lone-parent mothers and their children and five are for persons with disabilities.

Since 2012, there was an overall net gain in the non-market housing stock registered with BC Housing by 114 units. The largest gain was seen for independent seniors with 76 units. New to the community is non-market housing for women and children fleeing domestic violence, from zero units in 2012 to 20 units in 2015.

Table 5.1: Summary of Non-Market Housing in the City, 2012-2015
(Source: BC Housing, 2015)

NON-MARKET HOUSING TYPE	2012		2015	
	# OF UNITS	PROPORTION	# OF UNITS	PROPORTION
Homeless Sheltered	45	5%	45	4%
Homeless Housed	25	3%	25	2%
Women and Children Fleeing Violence	0	0%	20	2%
Special Needs	87	10%	105	10%
Frail Seniors	89	10%	89	9%
Low Income Families	260	29%	260	26%
Independent Seniors	397	44%	473	47%
Total Units	903	100%	1,017	100%

5.2 Rent Supplements

BC Housing provides cash assistance to individuals and families who require assistance for rent payments. The current supplements offered include the Rental Assistance Program for working families with children (RAP) and Shelter Aid for Elderly Renters (SAFER). The RAP program is a housing subsidy provided to eligible low-income, working families with cash assistance to help with monthly rent payments in the private market. The SAFER program is a housing subsidy for seniors with low-to-moderate incomes to help make private market rents affordable.

There are a total of 675 households receiving rent supplements in the City in 2015, an increase of 169 households from 2012 (Table 5.2). The majority are SAFER subsidies for seniors living in private rental accommodations at 61 percent. There has been an increase in rent supplements provided to low-income households since 2012. Overall, homeless rent supplements increased from 20 to 41, RAP supplements increased from 172 to 225, and SAFER increased from 314 to 409 in the City between 2012 and 2015.

Table 5.2: Summary of Rent Supplements in the City, 2012-2015
(Source: BC Housing, 2015)

RENT SUPPLEMENT	2012		2015	
	# OF UNITS	PROPORTION	# OF UNITS	PROPORTION
Homeless Rent Supplement	20	4%	41	6%
Rental Assistance Program (RAP)	172	34%	225	33%
Shelter Aid for Elderly Residents (SAFER)	314	62%	409	61%
Total Supplements	506	100%	675	100%

5.3 Wait Lists

The applicant wait list maintained by BC Housing's Housing Registry has grown by 29 percent in the City of North Vancouver since 2012. The Housing Registry is a centralized database of applicant information that allows housing providers to select tenants as units become available. It is not a mandatory requirement in BC to be part of the housing registry. As such, many housing providers maintain their own wait lists separate from the Housing Registry and are not captured in the data below.

The wait list for non-market housing dedicated for seniors has the highest number of applicants compared to other categories (150 applicants, 42 percent of all applicants) and has experienced

the largest increase in the number of applicants since 2012 (Table 5.3). The number of applicants waiting for non-market housing for low-income families has grown from 94 applicants in 2012 to 110 applicants in 2015. Applicants waiting for non-market housing suitable to singles have doubled from 14 to 25, comprising two percent of all wait list applicants. Non-market housing for persons with disabilities and wheelchair modified units have remained relatively constant over the past few years, likely due to the City's successful use of density bonusing to secure new non-market units for this population group.

Table 5.3: Summary of Housing Registry Wait List for the City, 2012-2015

(Source: BC Housing, 2015)

	2012		2015	
HOUSING REGISTRY WAIT LIST	# OF APPLICANTS	PROPORTION	# OF APPLICANTS	PROPORTION
Family	94	34%	110	31%
People with Disabilities	66	24%	65	18%
Seniors	99	36%	150	42%
Wheelchair Modified	6	2%	9	3%
Singles	14	5%	25	7%
Total Applicant Households	279	100%	359	100%

5.4 Homelessness

The 2014 Metro Vancouver Homelessness Count found 119 homeless individuals on the North Shore, which consists of the City of North Vancouver, District of North Vancouver and West Vancouver, out of a regional total of 2,777 homeless individuals. This equates to four percent of the region's homeless population.

The homeless population on the North Shore decreased two percent, or three individuals, between the 2011 and 2014 count (Figure 5.1). Of the 119 homeless individuals, 59 were sheltered and 60 were unsheltered. The only homeless shelter on the North Shore, the North Shore Housing Centre and Shelter, is located in the City of North Vancouver and was facilitated with funding from the City's Affordable Housing Reserve Fund.

The majority of homeless individuals on the North Shore have been homeless for 10 years or more (Figure 5.2), indicating there may be other barriers to housing other than availability and cost alone. For the North Shore individuals who have been homeless for less than one year,

approximately half are from other parts of Canada, 30 percent are from other parts of British Columbia, and only 20 percent are from the Metro Vancouver region. The milder weather in the Metro Vancouver region may be part of the draw for homeless individuals from other parts of Canada and the province, although climate change may exacerbate weather events in the region, impacting the vulnerability of these individuals.

The 2014 Homelessness Count found 24 homeless youth and children on the North Shore, with 14 sheltered and 10 unsheltered. Homelessness among seniors (aged 55 and older) was also notable, with 31 homeless seniors counted in 2014, of which 23 were unsheltered.

Figure 5.1: Homeless Individuals on the North Shore, 2002-2014
(Source: Metro Vancouver, 2014)

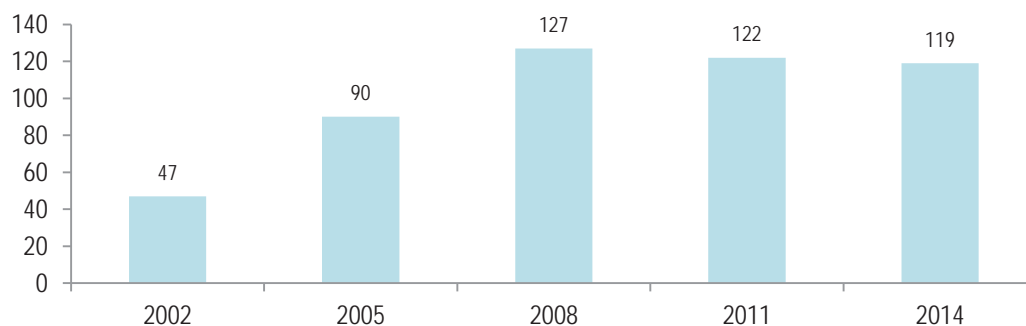
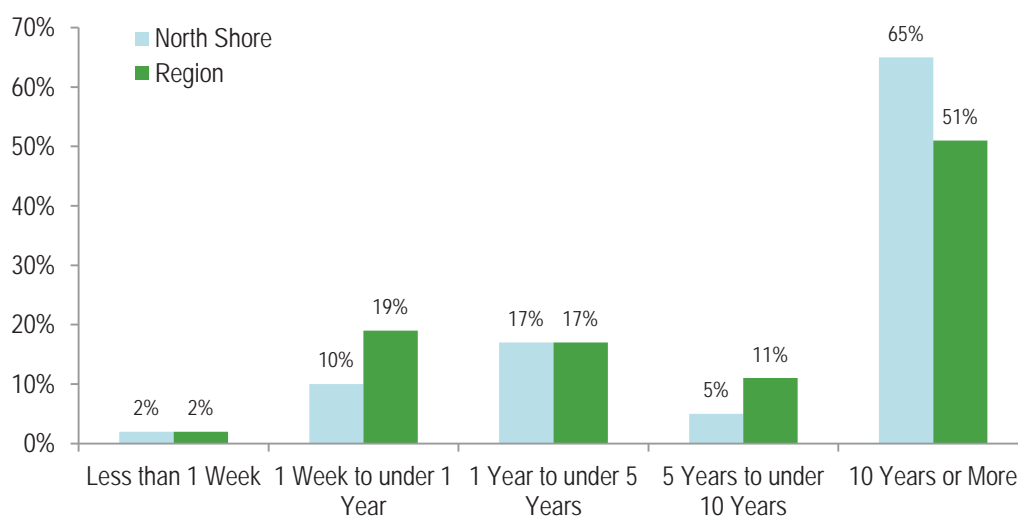


Figure 5.2: Homeless by Length of Time on North Shore and Region, 2014
(Source: Metro Vancouver, 2014)



5.5 Expiration of Operating Agreements

A potential concern in the near future is the supply of non-market housing units in the City as operating agreements for some non-profit housing operators begin to expire. Approximately 251 non-market units in the City will expire between 2016 and 2020, with an additional 424 units expiring between 2021 and 2025. After 2025, another 48 non-market units will be without operating agreements.

Depending on the financial state of the non-profit housing society, this may have significant implications for the City's non-market housing stock as these societies lose their subsidies to offset the cost of housing. If societies are not prepared for the change and transition, there could be the potential for a large volume of existing non-market housing supply that could be at risk of market conversion, redevelopment resulting in the net loss of units, or the dissolution of certain non-market organizations. There may also be greater number of mergers and acquisitions happening as a result of some societies not being viable post expiry of their operating agreement. That said, the expiration of non-market housing operating agreements was requested by many non-profit housing operators and could result in innovative responses as non-market housing societies leverage their resources to improve service to clients and increase the number of non-market housing units.

GLOSSARY

Adaptable Housing: Housing that meets the minimal accessibility requirements and incorporates features that make it easy for people to “remain at home” as their mobility declines with age, or if they experience limitations due to illness or injury.

Adequate Housing: Dwellings reported by residents as not requiring any major repairs.

Affordable Housing: Accommodation that allows people to live within their income level. According to Canada Mortgage and Housing Corporation (CMHC), for housing to be affordable, a household should not spend more than 30 percent of their gross income towards shelter costs. For renters, shelter costs include both rent and utilities. For homeowners, shelter costs include mortgage, property taxes and utilities.

Core Housing Need: A household living in housing that falls below at least one of the adequacy, affordability or suitability standards and having to spend 30 percent or more of its total before-tax income to pay the median rent of alternative local housing that is acceptable.

Housing Continuum: A visual concept used to describe and categorize different types of housing, from non-market to market housing. Housing continuums are developed to assist with planning and program development and are usually tailored to the community or region in question. On the non-market end of the continuum are emergency services and transitional housing, which often require the most public funding, moving towards supportive and social housing options in the middle of the continuum and then towards independent housing options on the right, where housing is typically provided by the private market.

Market Rental Housing: The private rental market provides the majority of rental housing affordable to households with low to moderate incomes. This can include purpose-built rental housing as well as housing supplied through the secondary rental market such as basement suites, rental condominium units, or other investor-owned houses/units.

Non-Market Housing: Affordable housing that is owned or subsidized by government, a non-profit society, or a housing cooperative; whereby it is not solely market driven.

Safe House: A secure location where persons are perceived as being in danger. A youth house, for example, provides immediate shelter and services to youth in-need such as youth fleeing domestic and sexual violence, homeless youth and runaway youth.




Suitable Housing: Housing that has enough bedrooms for the size and make-up of resident households, according to National Occupancy Standard (NOS) requirements.

Supportive Housing: Subsidized housing that provides ongoing supports and services to residents who cannot live independently and who are not expected to become fully self-

sufficient. This form of housing may be located in a purpose-designed building or scattered site apartments and does not have a limited length of stay.

Transitional Housing: Time-limited housing where people may remain for up to 2 to 3 years (depending on provider/operating agreement). Support services are generally provided to help move people towards independence, such as providing a range of training, practical help with daily living, and counseling. Transitional housing includes second stage housing for women fleeing violence, as well as housing for youth and people with addictions.



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Heather Evans, Community Planner

Subject: PUBLIC ELEMENTARY SCHOOL PLAYGROUND ENHANCEMENTS –
REVISED POLICY

Date: September 25, 2019 File No: 05-1610-01-0001/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Community Planner, dated September 25, 2019, entitled "Public Elementary School Playground Enhancements – Revised Policy":

THAT the revised Council Policy "Appropriation of Civic Amenity Reserve Fund for Public Elementary School Playground Enhancement Projects" be approved.

ATTACHMENTS

1. Appropriation Policy for Public Elementary School Playground Enhancements through the Civic Amenity Reserve Fund – Proposed Revised Policy ([#1772129](#))
2. Appropriation Policy or Public School Playground Enhancements Through The Community Enhancement Fund – Current Policy ([#1813835](#))
3. Vancouver Coastal Health Medical Health Office Input on Revised Policy ([#1813899](#))
4. Staff Procedures for Administering the Appropriation Policy for Public Elementary School Playground Enhancements through the Civic Amenity Reserve Fund – Proposed ([#1829090](#))

PURPOSE

This report is in response to Council direction on March 4, 2019 to review the Council Policy on Appropriation of Civic Amenity Reserve Fund for Public Elementary School Playground Enhancement Projects. The purpose is to bring forward a revised policy (Attachment 1) to guide the City's appropriation of funds from the Civic Amenity Reserve Fund for outdoor playground enhancements at public elementary schools.

DISCUSSION

Background and Policy Context

The City's support of playground enhancements contributes to the creation of a City for People and supports the health and well being of all, which is a priority in the Council Strategic Plan. This policy also supports the Council priority to create a Vibrant City – where dynamic public spaces provide opportunities for connection and enable residents to engage with their community.

It also supports the OCP goal to enhance well-being and quality of life for all community members (Goal 3.1), and the Parks Master Plan guiding principle #8, "Build and Support Partnerships", which specifically states; "Pursue opportunities for partnerships to maximize use of resources and harmonization with... School District."

The "Appropriation Policy for Public School Playground Enhancements Through The Community Enhancement Fund" (Attachment 2) has been in place since 1999. For additional policy background information please refer to the report from the Finance Department dated February 20, 2019 and titled "Public School Playground Enhancements".

Policy Review

The policy review is two-fold: (a) create an updated policy, and (b) renew the availability of City funds for future applications. Proposed policy revisions are included in Attachment 1 and are summarized as follows:

Current Policy	Proposed Revised Policy	Rationale for Revision
<i>Maximum grant amount per school located in CNV</i>		
<ul style="list-style-type: none">• \$50,000	<ul style="list-style-type: none">• \$75,000	<ul style="list-style-type: none">• Cost of playground equipment and construction has increased since the policy was created in 1999• The increase accounts for 2% inflation over a period of 20 years since policy adoption
<i>Maximum amount for schools located in DNV</i>		
<ul style="list-style-type: none">• \$25,000• Schools located in DNV must have 25%	<ul style="list-style-type: none">• \$37,500• Schools located in DNV must demonstrate 25% student enrollment of City residents	<ul style="list-style-type: none">• Cost of playground equipment and construction has increased since the policy was created in 1999

have 25% City residents enrolled to apply.	student enrollment of City residents	<ul style="list-style-type: none"> The increase accounts for 2% inflation over a period of 20 years since policy adoption. Maintains the policy of 50% allocation being available for school playgrounds located in DNV which are close to the CNV municipal boundary and have 25% enrollment of City residents.
Criteria to guide the City's evaluation of applications		
The policy contains playground enhancement criteria	Criteria for evaluating applications are included in a Staff Procedure document (Attachment 4): <ul style="list-style-type: none"> community accessibility and use of the playground; playground design to increase physical literacy; project sustainability, feasibility and inclusive process including availability of PAC contingency funds. 	<ul style="list-style-type: none"> Additional evaluation criteria will prompt applicants to consider and include playground attributes that the City wants to encourage in playground enhancements. The criteria emphasize physical literacy attributes of playgrounds, and the accessibility and use of the playground for ALL residents in the area.

Process

The City referred the draft policy to Vancouver Coastal Health for their review and comment, and the Medical Health Officer's input (Attachment 3) is supportive of the revisions; suggestions for improvement have been integrated into the policy.

The City has apprised School District No. 44 of this application and will continue to work with the School District once approved by Council and as applications are submitted for playground upgrades, including the development of specific joint use agreements on each site.

Should Council approve the revised policy, staff will create an application form that includes clear information about how to apply for the funds and the process for application. Should Council approve the policy update, staff will communicate with School District No. 44, elementary schools and Parent Advisory Councils to advise them about the updated policy, application process, and the availability of funds for the application. Council is the decision-making authority and will make decisions on appropriations from the Civic Amenity Reserve Fund for playground projects.

FINANCIAL IMPLICATIONS

Funding for this initiative can be provided from the City's Civic Amenity Reserve Fund.

Should Council wish to proceed, the amounts will be included in future Financial Plans.

The total financial impact of the program, for allocations to schools for playgrounds over a ten-year period, would be up to a maximum of \$487,500:

- Public elementary schools in the City of North Vancouver (five schools) could receive up to \$75,000 each; and
- Public elementary schools in the District of North Vancouver (three schools are close to City of North Vancouver boundary) could receive up to \$37,500.

Council will make the allocations at its discretion.

By comparison, under the current policy, the total amount available over a ten year period (1999 to 2009, extended to 2011) was \$350,000. During this period the total amount allocated was \$303,597.

INTER-DEPARTMENTAL IMPLICATIONS

Review and update of the policy was completed by an inter-departmental staff team including perspectives from Parks, Planning and Development, Community and Partner Engagement, and Finance departments. The draft policy was reviewed by the Policy and Projects Team.

RESPECTFULLY SUBMITTED:



Heather Evans
Community Planner

Policy Name **Appropriation Policy for
Public Elementary School Playground Enhancements
through the Civic Amenity Reserve Fund**

Policy Number **F16**

POLICY

A Public Elementary School Playground Enhancement Project is publicly accessible to community residents outside of school hours and includes outdoor play equipment, play areas, landscape improvements, community gardens, and other similar enhancements on elementary school property. The City will consider appropriating funding from the Civic Amenity Reserve Fund for such projects in accordance with this policy.

City Contribution to Public Elementary School Playground Enhancement Projects

- 1) The maximum contribution from the City's Civic Amenity Reserve Fund to a Public Elementary School Playground Enhancement Project is 50% of the capital cost of the project. In extraordinary circumstances, the City may consider increasing the contribution to greater than 50% based upon local park deficiency, community need, and a community's limited ability to raise additional funds.
- 2) In a ten-year period the maximum Civic Amenity Reserve Fund contribution to Playground Enhancement Projects is up to \$75,000 for each public elementary school in City of North Vancouver.
- 3) In a ten-year period the maximum Civic Amenity Reserve Fund contribution to Playground Enhancement Projects for each public elementary school located in the District of North Vancouver, which is near to the City of North Vancouver boundary and at least 25% of student enrollment is City residents, is up to \$37,500 per school.
- 4) Sports field upgrades are not contemplated in this policy.

Project and Application Eligibility

Applications for the Public Elementary School Playground Enhancement Projects from the Civic Amenity Reserve Fund must meet the following eligibility requirements.

- 1) Playground Enhancement Projects must be located on North Vancouver School District #44 (NVSD #44) lands and/or other public lands adjacent to a school site, with the consent of the owner (i.e. boulevards, City lands, Provincial lands).

- 2) Applications can be submitted by an Elementary School, Parent Advisory Council, or other entity.
- 3) Playground Enhancement Projects must be endorsed by (NVSD #44) and be supported by a Master Joint Use Agreement with the City of North Vancouver and a Specific Joint Use Agreement that outlines NVSD #44 responsibility for:
 - a) the installation and maintenance of all playground enhancements,
 - b) the provision of liability insurance, and
 - c) the installation of permanent signage that recognizes the funding partners.
- 4) Playgrounds at public elementary schools located in the City of North Vancouver are eligible for funding. These schools include Larson Elementary School, Westview Elementary School, Queen Mary Elementary School, Ridgeway Elementary School, and Queensbury Elementary School.

In addition, playgrounds at public elementary schools located in the District of North Vancouver, which are near to the City of North Vancouver boundary and at least 25% of student enrollment is City residents, are eligible for funding. These schools include Boundary Elementary School, Eastview Elementary School, and Brooksbank Elementary School.

REASON FOR POLICY

This policy establishes the criteria and process to guide the City's contributions from the Civic Amenity Reserve Fund for outdoor playground enhancements at public elementary schools.

AUTHORITY TO ACT

The Civic Amenity Reserve Fund Bylaw (Bylaw 6967) and the Density Bonus and Community Benefits Policy establish that funds from the Civic Amenity Reserve Fund can be used to provide City-serving amenities including park and open space improvements.

Public school playgrounds provide an amenity to the community when joint use agreements between the School District and City are in place to allow for general community use of the playgrounds.

Approval date:	March 8, 1999	Approved by:	Council
Amended date:	May 26, 2003		Council
Amended date:			



APPROPRIATION POLICY Attachment No. 1
For PUBLIC SCHOOL PLAYGROUND ENHANCEMENTS
THROUGH THE COMMUNITY ENHANCEMENT FUND

Purpose

The City's Community Enhancement Fund Bylaw No. 6967 has been created to enhance to public use and enjoyment of the City. General guidelines for the fund were endorsed by City Council on March 8, 1999, and amended May 26, 2003.

Public school playgrounds provide an amenity of general benefit to the community and therefore are eligible for funding under the Community Enhancement Fund. This policy statement establishes criteria for Community Enhancement Fund contributions to playground enhancements on North Vancouver School District Sites.

Playground Enhancement Criteria

Applications for school playground enhancements funded under the Community Enhancement Fund must comply with the following.

- A. Playground enhancements must be located on North Vancouver School District #44 lands or other public lands adjacent to a school site, with the consent of the owner, i.e. boulevards, City lands, Provincial lands).
- B. Playground enhancements may include play equipment, play areas, landscape improvements or other similar enhancements provided that they are outdoors and generally accessible to the community outside of school hours.
- C. Playground enhancements must be endorsed by North Vancouver School District #44 (NVSD #44) and be subject to a Joint Use Agreement with the City of North Vancouver. Under said agreement, the NVSD #44 shall be responsible for:
 - the installation and maintenance of all playground enhancements,
 - the provision of liability insurance, and
 - the installation of permanent signage that recognizes the funding partners.
- D. The City's maximum contribution to a Playground Enhancement Project shall be up to 50% of the capital cost, except that in extraordinary circumstances, the City may consider increasing its contribution to the capital cost based upon local park deficiency, community need and the community's limited ability to fund raise.
- E. More than one application may be made per school, however, the maximum Community Enhancement Fund contribution to playground enhancements at any
 - full elementary school shall be \$50,000 in any 10 year period,
 - partial school (annex) shall be \$25,000 in any 10 year period.
 - **full elementary school located in the DNV near to CNV boundary where 25% or more of students are City residents shall be \$25,000 in any 10 year period,**

These financial limitations exclude other City funds that may be provided for sports field upgrades.

Heather Evans

Subject: FW: Request for Input on City of North Vancouver Elementary School Playground Funding Policy

-----Original Message-----

From: Lysyshyn, Mark [NS] <Mark.Lysyshyn@vch.ca>

Sent: May-31-19 3:18 PM

To: Heather Evans <hevans@cnv.org>

Cc: Dolling, Roya [NS] <Roya.Dolling@vch.ca>; Black, Erin [NS] <Erin.Black@vch.ca>; Choi, Jonathan [VC] <Jonathan.Choi@vch.ca>

Subject: RE: Request for Input on City of North Vancouver Elementary School Playground Funding Policy - by June 3

Heather

Vancouver Coastal Health (VCH) has reviewed the Elementary School Playground Funding Policy and is supportive of the City's appropriation of community amenity funds for public elementary school playground enhancements. VCH is also supportive of increasing the funding available and adding project and evaluation criteria to try to encourage playgrounds that promote physical literacy and that also support community health and sustainability.

VCH supports the focus on promoting free play, building social connections and increasing access to natural environments. These are important considerations for healthy child development. Although injuries are possible within playground environments it is important to focus on making playgrounds as safe as necessary instead of as safe as possible. Imposing too many restrictions on children's outdoor play can impede healthy development.

The criteria include consideration of seating and quiet rest areas but could also consider shade for heat protection. They could also encourage inclusion of amenities such as drinking water fountains.

An additional evaluation criteria that could be included under community accessibility would be to ensure the playgrounds are linked to existing active transportation corridors and/or include amenities that encourage active transportation by including bike racks and walking paths etc.

VCH supports the use of natural materials for sustainability reasons but also because they are more gender neutral and can promote gender equity.

Finally, the criteria "How will the proposed project contribute to restoration or presentative of the natural environment" is currently under "Playground design to increase physical literacy". It should probably be included under "Project sustainability" instead.

Let me know if you need any further information.

Mark

Mark Lysyshyn MD MPH FRCPC
Medical Health Officer
Vancouver Coastal Health
5th Floor 132 West Esplanade
North Vancouver BC V7M 1A2
Tel: 604-983-6701 Fax: 604-983-6839

**Staff Procedures for Administering the
Appropriation Policy for Public Elementary School Playground
Enhancements through the Civic Amenity Reserve Fund
(Policy Number F16)**



PROCEDURE

The procedure and City involvement in Public Elementary School Playground Enhancement Project applications includes the following:

Pre-Application	Applicant develops the project concept and secures School District endorsement. Applicant reviews the project concept with City staff.
Application	Application for Public Elementary School Playground Enhancement Project funding is submitted to City for review.
Staff Review	Engineering, Parks and Environment Department coordinates the application process and review with evaluation support from Community and Partner Engagement Department; Planning and Development; and Finance Department.
Council consideration	Staff brings the application to Council to consider Civic Amenity Reserve Fund appropriation.
Project implementation	Project is constructed by the applicant and a project report is submitted to City staff.

CRITERIA

Project and Application Evaluation Criteria

In addition to confirmation of meeting the eligibility criteria in the Appropriation Policy for Public Elementary School Playground Enhancements through the Civic Amenity Reserve Fund, the City will evaluate applications for Playground Enhancement Project funding according to the following criteria:

1) Community accessibility and use of the playground

- How will the proposed playground enhancement serve the surrounding neighbourhood residents, improve livability, health, safety, and complement existing services in the neighbourhood? How will it meet the neighbourhood's needs?
- Will the project enhance services to a diversity of residents with varied needs?

- How will this enhancement remove barriers to meet accessibility and inclusive standards for all ages and abilities?
- Does the project plan consider various conditions and comforts such design for heat and weather protection, access to drinking water (if possible), etc.?
- Does the playground link with the existing active transportation network and infrastructure, and facilitate active transportation on site (e.g. bicycle parking, walking paths, etc.)?
- Will the playground design consider the needs of a multigenerational community?
- Will the project include appropriate spaces that provide opportunities for connection, community gatherings, outdoor classrooms and accommodate seating?

2) Playground design to increase physical literacy




- How will the proposed project improve the existing play area?
- How will the proposed playground engage free play and promote healthy gross-motor development, strength and competence, while also connecting to nature?
- Does the proposed playground plan for a variety of sensory experiences as well as quiet, calm spaces to retreat?
- Has the use of natural materials been considered and/or proposed?
- Will the proposed project create design elements for children to practice motor planning and body coordination skills?
- How will the proposed project encourage social, creative, adventurous play and learning?

3) Project sustainability, feasibility, and inclusive process

- How will the proposed project contribute to restoration or preservation of the natural environment?
- How have the School District, School, Parent Advisory Council, community/neighbourhood and other partners been involved in the project?
- How developed, realistic and sustainable is the project in terms of resources and funds to implement and fund it? (e.g. availability of PAC school contingency funds, etc.)

Date: October 7, 2019



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Heather Evans, Community Planner

Subject: OPTIONS FOR CHILD MINDING DURING COUNCIL MEETINGS

Date: September 25, 2019 File No: 10-4750-20-0033/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Community Planner, dated September 25, 2019, entitled "Options for Child Minding During Council Meetings":

THAT staff implement a 6-month trial program during 2020, comprised of:

1. Child minding at City Hall during Regular Council meetings; and
2. A subsidy to parents/guardians attending Regular Council meetings for child care costs,

and report back to Council on the program after the 6-month trial;

AND THAT staff submit this project within the early appropriation package for the 2020 budget.

ATTACHMENTS

1. High level cost estimate for City of North Vancouver – for 6-month trial program, prepared by City of North Vancouver staff ([#1812102](#))

PURPOSE

This report is in response to the motion passed by Council on June 10, 2019:

WHEREAS the City of North Vancouver is committed to continued improvement of citizen and civic engagement, transparency of City operations and Council decisions, and of the connection between members of Council and community:

THEREFORE BE IT RESOLVED THAT staff be directed to report back to Council on the feasibility and cost of child minding services being available at City Hall during Regular Council meetings.

This report discusses the feasibility and cost of options for child minding services at City Hall during Regular Council meetings, and presents recommended options.

STRATEGIC PLAN IMPLICATIONS

Council's Strategic Plan includes a commitment to listen to and involve all residents, and engage them in civic life. The provision of child minding and reimbursement of child care costs during Council meetings contributes to this commitment by helping to support parents and caregivers to attend Council meetings.

POLICY IMPLICATIONS

Childminding during Council meetings would further the following policies in the Official Community Plan:

3.1.1 – Promote an inclusive environment, reduce barriers and support the growth and development of young people to be active, self-reliant and empowered members of the community; and

1.3.4 – Support the pursuit of individual well-being and shared community needs, values and aspirations by community members from all ethno-cultural backgrounds, ages and abilities through equal access to City services and resources and by fostering inclusion.

DISCUSSION

Staff have explored feasible options for child minding during Council meetings. Information and advice has been collected from the North Shore Child Care Planning Table and Vancouver Coastal Health Child Care Licensing. Staff have also met with North Shore Neighbourhood House as a non-profit child care provider for this service. In addition, staff contacted municipal staff in the cities of Victoria and Vancouver. Victoria started implementing child minding at City meetings a few months ago. Vancouver are exploring the idea of child minding at Council meetings.

A trial program for child minding during Council meetings could begin during the first quarter of 2020, if Council approves early appropriation in the budget. The trial program would consist of free child minding at City Hall during Council, and subsidy of individual child care costs to parents and caregivers attending Council. The cost of the trial program would be \$15,300.

Options

The following are two viable options to facilitate or offer care of children, with the purpose of supporting parents and caregivers to participate in Council meetings:

Option	Program	Recommended/ Not Recommended	Estimated Cost
Option 1	Free child minding at City Hall	Recommended	\$10,500 for 6-month trial
Option 2	Subsidy of individual child care costs to parents and caregivers	Recommended	\$4,800 for 6-month trial

Each of the two options is discussed in more detail below. Staff are recommending that these two options be operated concurrently on a trial basis, and then monitored and evaluated after six months to determine whether the child minding options should be continued, revised, or discontinued. Each of these supports to parents and caregivers would need to be communicated to community members so that they are aware and access the services. The budget (Attachment 1) does not include the City's promotion/advertising costs to let community residents know that this trial program is available to them.

Option 1 - Child Minding at City Hall - Recommended

Summary:

Child minding services at City Hall during Council meeting times would enable children to be in the same building as their parent/caregiver attending a Council meeting. This type of child minding service is exempt from requirement for a VCH child care licence. However, provincial regulations impose some restrictions on the service that can be offered: maximum of two hours of care to children, and a parent must remain in the building and be available if needed.

Additional information about the Child Minding Service that would be provided:

Licensing:

- The Child Care Licensing Regulation provides an exemption from licensing requirement for the provision of Child Minding service by a municipality as long as it is for no more than 2 hours and the parent/guardian must be in the building at all times and available if needed.

Who would be served:

- The child minding service would be available for children 18 months to 12 years old.
- There would be no cost to residents. The child minding service would be accessed by parent/caregiver residents of the City of North Vancouver that are attending the Council meeting. The service is not intended for employees and members of Council.
- The capacity would be for 12 children (capacity could potentially be increased if need is evident). Registration in advance would be offered, and drop-in as space is available, for up to 12 children. Children that need additional support must be registered in advance to ensure proper staffing. If there is demonstrated additional demand for the service, it could be expanded with additional staffing.

Hours and conditions of service:

- The child minding service would be offered for three hours of Council meetings, between 5:45pm and 8:45pm. Each child may only stay in child minding for maximum two hours, in order to meet the provincial regulatory requirements. If a parent/guardian is speaking at a public hearing (usually beginning at 7pm) they may wish to drop off their child when the public hearing begins, to ensure that they maximize available time. The provincial regulation requires that parents must be available and in the building at all times (i.e. cell phone on vibrate mode) in case of need or an emergency arises.
- If more than two hours is required/desired at the Council meeting, parents could attend the meeting with their children (in the Council Chambers or lobby area) where a toy box for individual play and activities will be provided at each meeting.

Operation:

- Operation of the service would be contracted by the City to a non-profit organization that provides child minding staffing and sets up the processes, protocols, and programming for child minding service (including security, sign in and sign out, protocols, etc.) . Required equipment and suitable multi-age toys would be purchased, and then stored and cleaned for exclusive use for the childminding service.
- Various activities will be planned that are suitable for the various children's ages, but this would be a child minding program, and not an early childhood education program.
- The staffing would include one on-site staff lead/manager plus two child minding staff. The ratio of staff to children would be 1 to 4. (There is no Early Childhood Educator education and qualification requirement for child minding service, however the City would provide a similar staffing ratio as a licensed "occasional care" child care program for safety and quality purposes.)

Location:

- The location of the child minding service would be in the Atrium / Community Meeting Room on the upper level at City Hall.

Option 2 – Subsidy of Child Care Costs to Parents/Caregivers - Recommended

Summary:

A subsidy to parents/caregivers for child care costs would enable children to stay at their home while their parents / caregivers attend Council meetings. This could be convenient for some parents and caregivers, and could meet the needs of some parent/caregivers who want to attend Council but prefer not to bring their children to City Hall for a variety of reasons and circumstances. This option could be particularly helpful to parents of very young children (under 18 months) who would not be served by a child minding service at City Hall (the City Hall child minding would be for children aged 18 months to 12 years).

Additional information:

- There is a current practice and precedent for the City to reimburse the child care costs for members of Council Advisory Committees when they attend Advisory Committee meetings. There is mild uptake on this offer by committee members.
- If the City would like to pursue this option, a subsidy form (to be completed and submitted by parents attending Council) and process for payments will need to be created and implemented by City staff.
- The subsidy would be based on an honour system, both in terms of the resident's attendance at Council and that they have incurred child care costs. However, there would be a one time registration requirement for parents to provide a copy of the child's birth certificate, which would be kept on City files for subsequent disbursement requests.
- Staff are suggesting that a subsidy of up to \$40 per meeting be offered. The City's subsidy may, or may not, cover the resident's entire child care cost depending on their circumstance. (The cost of private child care varies by providers with varied experience, the number of children to be cared for, parent/caregiver needs and expectations, etc.)
- This option does place an onus on parents/guardians to arrange their own care for children, but it also allows them to select a preferred caregiver.
- The reimbursement would be intended for residents of the City of North Vancouver that are attending a Council meeting. The reimbursement would not be accessed by employees and members of Council.

FINANCIAL IMPLICATIONS

The cost of a six month trial (for both Option 1 and Option 2) is estimated at \$15,300. A high level cost estimate is attached.

Staff have included a project sheet for the 2020 Budget for \$25,000, which would cover the cost of an entire year of the program (should Council decide to extend the program beyond a six-month trial period).

Staff have recommended that this project be considered for early appropriation from the 2020 Budget if they want to begin the child minding pilot project in advance of 2020 Budget Approval.

INTER-DEPARTMENTAL IMPLICATIONS

Staff from Planning and Development, Strategic and Corporate Services, and Finance Departments would work together on implementing this trial project.

The trial period could begin in the first quarter of 2020, if Council approves early appropriation in the budget.

CONCLUSION

Staff are recommending that a six month trial program proceed, which includes the availability of both options discussed in this report: Option 1 Child Minding at City Hall, and Option 2 Subsidy of individual child care costs to parents and caregivers. The trial program would be evaluated and assessed at the end of the six-month period. The trial program could begin in the first quarter of 2020, if Council approves early appropriation in the budget.

RESPECTFULLY SUBMITTED:


Heather Evans
Community Planner

High-Level Cost Estimate: Options for Child Minding during Council Meetings

OPTION 1: CHILD MINDING AT CITY HALL 6-MONTH TRIAL PERIOD (15 Council Meetings)

Would be provided by contracted service provider and paid by the City:

Childminding Staff - Three staff at each meeting (\$60 per hour total) - - two staff and one ECE supervisor. - Four hours per meeting: 3 hours service + one hour set up and dismantle	\$ 3,600
Program Set Up and Administration (one-time cost) - Establish and implement policy and prodedures for child minding - Hire, schedule and manage staff - Assist City to evaluate the trial program	\$ 3,000
Childminding supplies	\$ 450

Would be provided directly by the City:


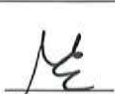

City facilities staff - Set up and take down of the room, cleaning room and equipment	\$ 450
Childminding Equipment (one-time cost) - Fabricate or purchase two rolling storage units for child minding equipment plus one toy box - Purchase child minding equipment and toys	\$ 3,000
Option 1 Total	\$ 10,500

OPTION 2: SUBSIDY FOR INDIVIDUAL RESIDENTS' CHILD CARE EXPENSES 6-MONTH TRIAL PERIOD (15 Council Meetings)

Reimburse up to \$40 per council to residents attending Council for their child care costs -Estimate an average of 8 residents will claim expenses per Council meeting	\$ 4,800
Total for 6 month pilot	\$ 4,800

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 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emily Macdonald, Planner 1

Subject: REZONING APPLICATION: 730 WESTMORELAND CRESCENT
(WESTMORELAND HOLDINGS LTD. / BILL CURTIS & ASSOCIATES
DESIGN LTD.)

Date: September 25, 2019 File No: 08-3360-20-0459/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated September 25, 2019, entitled "Rezoning Application: 730 Westmoreland Crescent (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd.)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent) be considered and referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS:

1. Context Map (Doc# [1823430](#))
2. Architectural and Landscape Plans (east lot), dated April 2019 (Doc# [1820242](#))
3. Architectural and Landscape Plans (west lot), dated April 2019 (Doc# [1820243](#))
4. Public Consultation Summary (Doc# [1823446](#))
5. Summary of revisions (Doc# [1748697](#))
6. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Doc# [1824317](#))

PROJECT DESCRIPTION

The proposal includes the subdivision of a 933 square metre (10,050 sq. ft.) lot located at 730 Westmoreland Crescent into two lots with a frontage of 9.97m (32.7 feet) each. One new single-family dwelling with suite is proposed on each of the proposed new lots. Two parking spaces are proposed for each lot in the form of surface parking, accessed from the rear lane for the west lot and from Alden Lane for the east lot.

The current Zone (RS-1) requires a minimum frontage of 10 metres (32.8 feet). The proposed Zone (RS-2) requires a minimum lot frontage of 7.5 metres (24.6 feet). The requested changes to the zoning by-law to permit this development are identified in Table 1 below. The proposed development would comply with all requirements of the RS-2 Zone. No variances are being requested.

Table 1. Requested Changes to the Zoning By-law

	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RS-1	RS-2

POLICY FRAMEWORK

The subject site is designated “Residential Level 1 (Low Density)” or ‘R1’ within the Official Community Plan. This designation permits ground-oriented housing with non-strata uses and includes secondary suites and coach houses.

Metro 2040	
Goal 1 Create a Compact Urban Area	The proposal presents a form of intensification that is appropriately scaled to the surrounding neighbourhood, and contributes to a compact urban area.
Goal 2 Support a Sustainable Economy	Proposed rental suites provide housing forms that can support a diversity of income levels and ensure people live close to where they work.
Goal 4 Develop Complete Communities	The proposed development provides a diversity of housing stock that will promote the ability to age-in-place allowing people to stay in their neighbourhood throughout all of their lifecycles.
Goal 5 Support Sustainable Transportation Choices	The site is located within a 15-minute walk of the Marine Drive commercial area and rapid transit routes.

Official Community Plan	
Policy 1.3.1 Ensure that new development is compatible with the established urban form of the City, reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods	The proposed development on the site is appropriately scaled to the neighbourhood.
Policy 1.3.5 Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings	The proposed design is appropriate in character and quality for a Residential Level 1 neighbourhood.
Policy 1.3.6 Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner	Design and materials are consistent with those found in the local context. Landscaping includes primarily native plant species.
Policy 1.5.1 Provide opportunities for a range of housing densities, diversified in type, size and location.	The proposed development includes two rental suites which provide a smaller and more affordable housing form.
Housing Action Plan	
Action #5 To increase rental options in lower density areas to support renters and provide homeowners with additional rental income, while retaining neighbourhood scale and character.	The proposed development creates two new principal units of modest size with rental suites. Rental income will help to make the houses more affordable for owners and the rental units will increase the supply of units available in an area that is walkable and well-served by transit and retail.
Sustainable Development Guidelines	
Natural Systems The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.	The proposed landscaping is primarily permeable and parking is provided in the form of permeable surface parking. The majority of plants included in the landscape plan are native species.

PLANNING ANALYSIS

Site Context and Surrounding Use

The neighbourhood is made up of single-detached houses on lots of varying sizes, ranging from approximately 375 square metres (4,000 square feet) to 1,200 square metres (13,000 square feet). The age of houses ranges from the 1930s through to the 1970s with more recent redevelopments occurring in 2011, 2012 and 2014 through subdivisions of properties on the south side of Westmoreland Crescent. The majority of lot frontages on the south side are 10 or 12 metres wide.

The site is located between the Lucas Centre and Mosquito Creek and is approximately a 15-minute walk from Marine Drive commercial area and transit routes.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	2212 Edgemont Boulevard	Single-family dwelling	RS-1
	2233 / 2235 Alden Lane	Single-family dwelling with detached secondary suite	CD-532
South	739 Westmoreland Cres.	Single-family dwelling with suite	RS-1
	735 Westmoreland Cres.	Single-family dwelling with suite	RS-1
	727 Westmoreland Cres.	Single-family dwelling	RS-1
	723 Westmoreland Cres.	Single-family dwelling	RS-1
	721 Westmoreland Cres.	Single-family dwelling	RS-1
East	720 Westmoreland Cres.	Single-family dwelling	RS-1
	714 Westmoreland Cres.	Single-family dwelling with coach house	RS-1
West	744 Westmoreland Cres.	Single-family dwelling	RS-1
	734 Westmoreland Cres.	Single-family dwelling	RS-1

Use

The policy framework applicable to the subject site supports the proposed development. The site is located within reasonable proximity to transit, recreation facilities, commercial areas and schools. Additionally, the units will support affordable homeownership through the inclusion of rental suites and will provide rental housing stock.

Intensity

The existing lot has a frontage that is slightly short of the minimum lot width that would allow for subdivision without a rezoning. The proposed rezoning would allow for the subdivision of the existing lot, creating two new lots of 9.97m (32.7 ft.) width. The design shows that the new lots can accommodate the proposed principal dwellings and suites with required parking. The proposed density is consistent with the Official Community Plan at 0.5 FSR and is similar to surrounding properties.

Form

The proposed form of the development complies with the RS-2 Zone requirements and is appropriate in character for the low-density residential context. The massing is consistent with the form of other properties along Westmoreland Crescent.

COMMUNITY CONSULTATION

A Developer's Information Session was held on May 23rd, 2018. There were 27 people in attendance. The majority of those who spoke at the session were opposed to the proposed development. Concerns raised by attendees included:

- Building design was modern and did not fit the character of the neighbourhood
- Proposed lots were narrow and out of character with the neighbourhood
- The buildings were too narrow and would not be very livable for the occupants
- The design presented a high blank wall along the Alden Lane elevation
- Increased demand for parking in the neighbourhood
- Concerns that other properties would also subdivide and redevelop as a result of approval of this application

Nineteen comment forms were submitted. Of those, four were in favour of the proposal and fifteen were opposed. The applicant has summarized the attendees concerns in the Public Consultation Summary (Attachment #4).

Since the initial application, the applicant has revised the proposed design to address some of the concerns heard at the Developer's Information Session, including:

- Original modern design was changed to incorporate more traditional features including a sloped roof and traditional-style windows.
- More windows were added to the east elevation along Alden Lane

Additional revisions were made to the proposed design to respond to changes in the RS-2 Zone requirements that were adopted in July 2018 as part of the Livability study. These changes meant that a variance to height was no longer required. The list of revisions is included in this report (Attachment #5).

Given that a number of neighbours have expressed concerns regarding the proposed development, staff are recommending that a Public Hearing be scheduled. Should Council wish to waive the Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716"
(Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730
Westmoreland Crescent) be considered and that the Public Hearing be waived;

CONCLUSION

This application represents good planning and is supported by Council's policy framework. The subject site's proximity to existing commercial areas and transit make it an appropriate site for moderate densification. The project would result in a net increase of three units (one principal and two accessory units) while maintaining the development form of the surrounding properties (single-family dwellings). The proposed parking is one space per unit, which is adequate for this site, given its location and proximity to the Marine Drive corridor.

RESPECTFULLY SUBMITTED:



Emily Macdonald
Planner 1

☒ Subject Site
☐ Legal_Parcels
Aerial 2019

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

SOURCE: S&P MAP

city
of north
vancouver

REM
47



Quality Residential Design

SITE PLAN

Drawing

Drawn By BC Date DEC. 2018

SCALE: 1/8" = 1'-0"

Project

**DAVENPORT RES. AT
730 WESTMORELAND CR.
NORTH VANCOUVER**

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.

1. All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
2. Written dimensions take precedence over verbal dimensions. Do not attempt to make drawings to find an unknown dimension contact the designer.
3. The designer shall not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

1. Concrete shall be 28 days (3000 psi) at 28 days.
2. Footings shall extend a minimum of 18" below grade and to solid bearing.
3. All foundations to rock as specified in structural drawings.
4. Provide a minimum of 6" of leanfill, compaction or an approved underdrain/bedding material above the exterior face of foundation walls.
5. Provide 1/2" anchor bolts 4 @ 6" or anchor strips 4 @ 6" min. maximum spacing.
6. Anchor bolts to footings with pinned anchor saddles embedded in footings.
7. Provide a deep proofing test or equal between plates and concrete foundations where there is potential for contact between plates and pressure treated plates.
8. Provide a nonbonding agent between the tops of foundations and concrete walls to prevent bonding.
9. Provide a minimum of 2" air layer of poly under concrete slabs and skin coats.

1. All framing is to be to * S12 BOBC.
2. All wall bearing lumber to be Douglas Fir #2 or better.
3. Lintels are to be 2x10 DPM or better.
4. All deck framing is to be pressure treated.
5. Gutter, downspout and other manufactured items are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
6. Roof and floor trusses are to be engineer designed and shop drawings showing true layout and detail is to be provided to the building inspector as required.
7. Cross bridge floor and roof joists * 2" O.C maximum.

1. Design air: Rise min. 4.50" max. 5.80"
Max RH: 8.07" min. 3.88"
"read min. 5.25" max. 3.98"
2. All trades to have 2" clearance
3. Minimum headroom is 6'-0" measured vertically from an imaginary line connecting the stair nosings.
4. Minimum railing is to be between 30" and 38" measured at clear height over stairs.
5. Kiosks to conform to 7'-0".
6. Minimum stair width is 7'-0".
7. Curved stairs and stairs greater than 43" in width require a handrail on both sides of the stairs.
8. A handrail is required for interior stairs more than 2 risers and for exterior stairs with more than 3 risers.
9. No railing is required for stairs above 4' to 36" from the deck or stair surface if protected in the handrail assembly.
10. The handrail opening size must be the ball-bearing width is 4".

1. Guardrail height is 54" where the vertical distance to grade is 5'-0" or less. Where the vertical distance is greater, the guard height is 5'-0" or as noted.
2. All guards to have a cap unless engineer approved.
3. A guard is required where there is a drop of 24" or more.
4. A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 3.

1. Glass within 36" of a door shall be safety glass.
2. Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
3. Windows in walls enclosing showers or bathtubs shall be safety glass and located above the waterproof finish height.
4. Mirrored doors are to be safety glass and blocked with solid material.
5. Glass within 8' of the floor is to be safety glass.

1. Gladding shall conform to #3.21 BCBG
2. All flashing shall conform to #3.21.3.1 BCBG and installed to conform with #3.21.3.8 BCBG
3. All siding shall conform to Section #3.21.6 BCBG

1. Fireplaces and chimneys shall conform to #5.2 and #5.22.
2. Provide 2" clearance between chimney and combustible framing.
3. Masonry hearths shall conform to #5.22.3.
4. Provide flueless to #5.23. Five sizes to #5.23.4 & 5.
5. Provide chimneys to #5.24.7.
6. Provide 4" firebrick lining to firebox.
7. Provide dampers.
8. Masonry built fireplaces and chimneys shall be installed to manufacturer specifications and to meet UL listing requirements.
9. Provide non-combustible protector under non-combustible hearth.
10. Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

1. Main entrance doors without sidelights are to be equipped with a color viewer.
2. Doorframes in exterior openings are to be solid bricked at the lock height so that the door frame will remain operating by itself to a 5-1/2" ASCE and 6-1/2" ASCE.
3. Exterior doors shall be provided with a 5-1/2" cylinder deadbolt lock with a 5" throw to a 5-1/2" ASCE.
4. Sliding window shall be equipped with a sliding pin lock and it is a matter that will prevent the removal of a sliding pin when the locked position.
5. Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the main lock of the door handle.

- Provide fans, tempered by air to habitable spaces with humidity control at a static pressure of 0.25" of water.
- Air is to be recirculated versus from all kitchens, bathrooms and laundry rooms.
- Air is to be ducted to a centrally located and continuously running 3 speed exhaust fan (sourced control from source).
- Duct system shall be sized according to exhaust manufacturer recommendations. Duct layout to be designed by trade.
- Air baffles shall form a continuous envelope on the inside surfaces of the building.
- Openings shall be sealed or lapped joints as leaks if wide as hanging members, turning or blocking.
- Provide proper barrier protection at the inside of bonnet joints.
- Provide proper vapor barrier and resistance and electrical services shall be sealed to retain the integrity of the envelope.

3. Infiltration ventilator roof apices at a 1:100 ratio of the insulated floor area.
4. Ventilation shall be to the ISO in locations where the roof slope is 2:12 or less.
5. The infiltration rate shall be a minimum of 0.5 of the required ventilation rate for each roof ridge.
6. All ducts intended for the storage of air to the mechanical room shall be equipped with a nonrotated, gravity or spring operated backflow damper.
7. All ducts and plenums serving conditioned air and located within the plane of insulation shall have at least 40% sealed against air infiltration and exfiltration with sealant or gaskets made of polyurethane, mastic or heat applied sealant.
8. Ventilation ducts at 1:100 ratio of insulated area shall be installed with a minimum of 1:100 ratio 4:100 ratio.
9. Roof vents are to be uniformly distributed with a minimum of 26% at the lowest and 26% at the roof ridge.
10. Submit mechanical ventilation conditioning design and layout for approval by a Professional Engineer capable SEIB or HVAC Technician in House and Final Inspection.
11. Meet Minimum Ventilation values are to be installed to manufacturers specifications.

1. Where an interior frame will need a ceiling required to have vapour protection, as an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
2. Provide vapour barrier protection to the inside of insulation at the inside of box joint, or at rigid foam insulation.

1. Provide 1" airspace between frame wall and masonry.
2. Provide metal strap ties, through wall flashing and weep holes to #5.20.

1. Heating system: Principle residence, and entire Gas fired hot water.
2. Provide for fiberglass windows frames still gleaming in heated water providing a minimum 12" airspace.
3. Glass in doors and windows to be double glazed unless otherwise specified.
4. Provide thermal break between all skylights.
5. Hard wire smoke alarm in bedroom areas and on all floors to conform to NFPA 720 BCCB.
6. Provide carbon monoxide detectors within 5.0' of a bedroom door in the bedroom and on all floors.
7. Provide 2000 BTU/hr. gas fireplace.
8. Linoleum will tolerate water and extreme conditions and apply over a moisture resistant barrier.
9. Provide reaction blocks to allow for adequate ventilation in insulated locations.
10. Finish grades are to offset water away from the building and to 45/3.14 BCCB.

1. All heating, ventilation and insulation components are to conform to regulations outlined in section 9.3.6.
2. All habitable spaces are to achieve Step Code 3 performance.
3. Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
4. Notify the designer in the event of conflicts between assembly descriptions between these drawings and those of the Energy Performance Advisor.

SOUTH ELEVATION

ROOF RIDGE 285.48'

TOP OF PLATE

UPPER FLOOR TILT
 0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 210 220 230 240 250 260 270 280 290 300 310 320 330 340 350 360 370 380 390 400 410 420 430 440 450 460 470 480 490 500 510 520 530 540 550 560 570 580 590 600 610 620 630 640 650 660 670 680 690 700 710 720 730 740 750 760 770 780 790 800 810 820 830 840 850 860 870 880 890 900 910 920 930 940 950 960 970 980 990 1000

PLAN FLOOR 283.08'

CELLAR FLOOR 25.8'

SPATIAL SERPERATION CALCULATIONS:
1443.75 SQUARE FEET AT 1' LIMITING DISTANCE
ALLOWS 259.5 SQUARE FEET OF UNPROTECTED
OPENING AT 17.95% OF WALL AREA
166.42 SQUARE FEET PROPOSED

EAST ELEVATION



**Bill Curtis
& Associates
Design Ltd.**

Phone 604-986-4550
Fax 604-986-4555
tisdesign@gmail.com
1551 Jones Avenue
Vancouver, BC V7M 3L9

Drawing

Drawn By B.C. Date DEC. 2018

Scale 1/4" = 1'-0"

Project
S.A. EXPORT DEC. 47

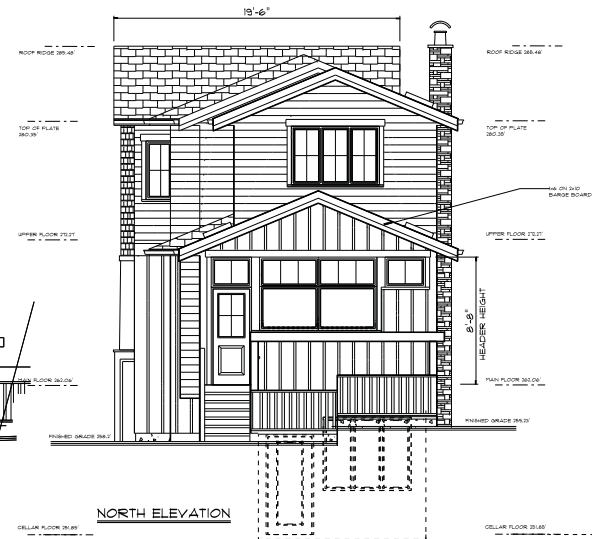
DAVENPORT RES. AT
730 WESTMORELAND CB

130 WESTMORELAND CR.
NORTH VANCOUVER

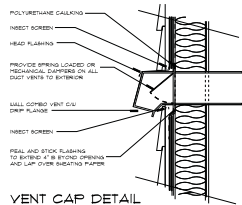
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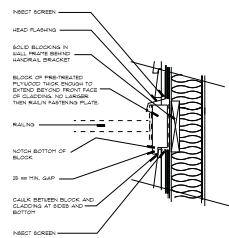
PARTIAL EAST ELEVATION



NORTH ELEVATION



VENT CAP DETAIL



HANDRAIL BLOCKING DETAIL



WEST ELEVATION

SPATIAL VENTILATION CALCULATIONS:
1078.8 SQUARE FEET AT 4' LIFTING DISTANCE
ALLOW 92.3 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
32.0 SQUARE FEET PROVIDED

NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
CONSTRUCTION PRIOR TO COMMENCING ANY WORK AND REPORT ANY
DISCREPANCIES TO THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED
TO THE OWNER OR CONTRACTOR THROUGH INADEQUATE OR
CHANGING OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
THESE PLANS AND SPECIFICATIONS ARE PROVIDED BY THE DESIGNER AND
THEY SHALL BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT
OF THE DESIGNER. THESE PLANS AND THE INQUIRY OF THE DESIGNER AND
BEFORE FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
DISCREPANCY WITH THESE CHANGES AND THE CONTRACTOR'S CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF THESE REVISIONS.

REVISIONS

Bill Curtis & Associates Design Ltd.
(2022)
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

ELEVATIONS
Drawn By B.C. Date DEC. 2018
Scale 1/4" = 1'-0"
Project
DAVENPORT RES. AT
130 WESTMORELAND CR.
NORTH VANCOUVER



STREETSCAPE

NOTE:
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR DUE TO ANY DISCREPANCIES OR OMISSIONS IN PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
 THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ORAL CONTACT WITH THESE CHANGES SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REVISIONS.

STREETSCAPE
 Drawing
 Drawn By B.C. Date DEC. 2018
 Scale 1/4" = 1'-0"
 Project
 DAVENPORT RES. AT
 132 WESTMORELAND CR.
 NORTH VANCOUVER

8 of 8

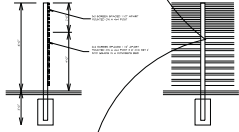
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 1551 Jones Avenue
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Quality Residential Design

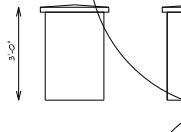
REVISIONS

LEGAL DESCRIPTION:

LOT 43, BLOCK 7
DISTRICT LOT 552
PLAN 4687
PID 011-399/104



6' FENCE DETAIL
SCALE: 1/2" = 1'-0"



ENTRY GATE DETAIL
SCALE: 1/2" = 1'-0"

PLANT LIST

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT	ORIGIN
V	1	VINE MAPLE	ACER CIRCINATUM	4 M (13')	NATIVE
Ca	0	CRAB APPLE	MALUS CORALICOLA	2 M (6.6')	NATIVE
R	4	RED ODER DOGWOOD	CORNUS SERICEA	4.5 M (15')	NATIVE
M	24	MOUNTAIN SPIRAEA	SPIRAEA BENSUIANA	4.5 M (15')	NATIVE
P	4	PLANTAIN LILY	PLANTAIN LILY	4.5 M (15')	NATIVE
Y	4	YAMFLOWER	YAMFLOWER	4.5 M (15')	NATIVE
SF	23	SHOVED PERS	POLYSTICHUM MUNITUM	6'	NATIVE
B	4	BLUEBERRY	CHAMOMILE	6'	NATIVE
C	15	COMMON CAMAS	CAMAS QUAMASH	2 M (6.6')	NATIVE

SYMBOL	DESCRIPTION
○	WALL MOUNTED
○	LANDSCAPE LIGHT

CONSULT AN ARBORIST AND HAND DIG AS DIRECTED IN CLOSE PROXIMITY TO EXISTING TREES ON ADJACENT PROPERTY

DWELLING HOUSE No. 734
MAIN FLOOR EL. 261.2 (DOOR SILL)

ELEVATIONS

ELEVATIONS ARE TO GEODETIC DATUM (VD289VRD).

BENCH MARK USED: CONTROL MONUMENT 874 3677 LOCATED NEAR THE INTERSECTION OF EDMONTON BOULEVARD AND WESTMORELAND CRESCENT (ELEVATION 246.66 FEET (GEODETIC DATUM))

BENCH MARK SET: TOP OF ARROWHEAD NUT ON FIRE HYDRANT LOCATED ON WESTMORELAND CRESCENT IN FRONT OF DWELLING HOUSE No. 730. ELEVATION 255.12 FEET

HOBBES, WINTER & MacDONALD,
B.C. LAND SURVEYORS,
113-428 HARBOURSIDE DRIVE,
NORTH VANCOUVER, B.C. V7P 3R6,
TEL: 604-966-1371 FAX: 604-966-6304
EMAIL: admin@hwmnsurveys.com

No. 730 WESTMORELAND CRESCENT
FB 2638 p.57-62 M 3302-27 NVC

WESTMORELAND CRESCENT

NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CORRECTNESS OF THE UTILITIES INFORMATION PROVIDED BY THE GENERAL CONTRACTOR OR ANY OTHER PARTY.
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1. CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND.
2. THE CONTRACTOR IS TO CONTACT ENGINEERING, PLANNING AND ENVIRONMENT AT 604-483-7333 PRIOR TO POURING ANY SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTOR'S SURVEYOR MUST PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE POURING STAGE.
3. ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

BLACKTOP TO PROPERTY LINE AT DEVELOPER'S COST AND TO CITY OF NORTH VANCOUVER ENGINEERING STANDARDS.

THE CONTRACTOR IS TO CONTACT ENGINEERING, PLANNING AND ENVIRONMENT AT 604-483-7333 PRIOR TO POURING ANY FLOOR SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN ACCESS TO THE BUILDING. THE CONTRACTOR'S SURVEYOR MUST PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING ENTRANCES AT THE POURING STAGE.

CONTRACTOR TO ENSURE THAT ALL ELECTRICAL AND COMMUNICATION SERVICES ARE INSTALLED UNDERGROUND.

CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER 24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS. THE CONTRACTOR MUST BE AWARE FOR INSPECTIONS. THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-980-4200.

ALL WARPING OF SIDEWALKS OR WALKWAYS MUST TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY AND INSTALL WATER GROUND WATER METER AT THE DEVELOPER'S COST FOR FUTURE WATER USE DRAINING PROGRAMS.

REV. 2010: SIDEWALK BLOW, CLARIFIED AND BUILDING GRADERS REVISED AT SIDEWALK AND LAINE
MAY, 2010: RESPONSE TO TEAM REVIEW
APRIL, 2010: BUILDING GRADERS ADDED
REVISED

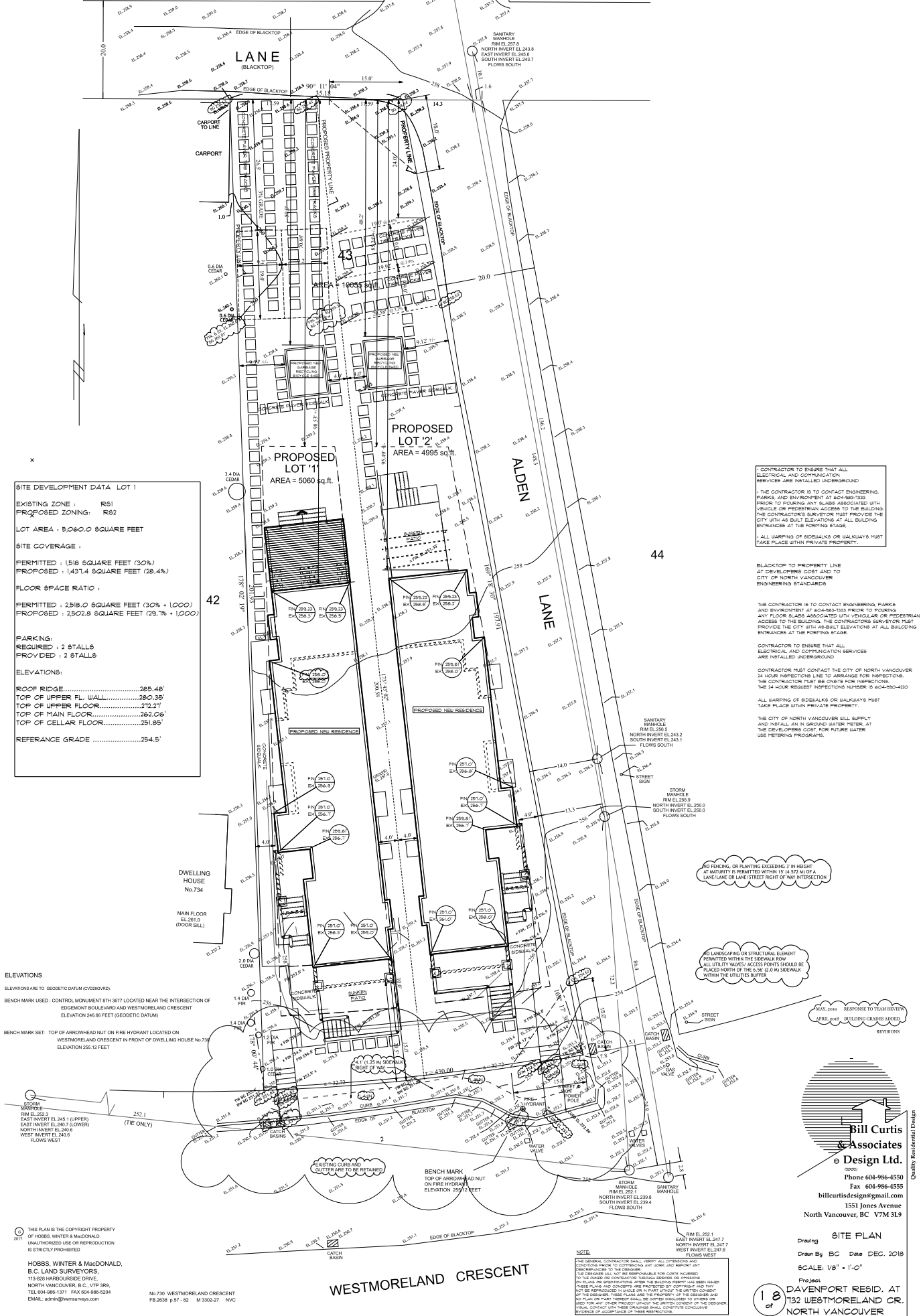
Bill Curtis & Associates
Design Ltd.
(2003)
Phone 604-966-4550
Fax 604-966-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

Drawing SITE PLAN
Drawn By BC Date DEC. 2018

SCALE: 1/8" = 1'-0"

Project DAVENPORT RESID. AT
132 WESTMORELAND CR.
NORTH VANCOUVER

REM
47



No.730 WESTMORELAND CRESCENT
FB.2638 p.57 - 82 M 3302-27 NYC

WESTMORELAND CRESCENT

NOTE: THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY MISC. AND NEGLECT ANY DISCREPANCIES TO THE DESIGNER.
THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS IN THESE PLANS OR SPECIFICATIONS. AFTER THE BUILDING PERMITS HAVE BEEN ISSUED, THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS AND THE COPYRIGHT ARE THE PROPERTY OF THE DESIGNER AND NO PART OF THEM MAY BE REPRODUCED OR BE COMPILED OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VIOLATION OF THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE

18 DAVENPORT RESID. AT
of 732 WESTMORELAND CR.
NORTH VANCOUVER

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1551 Jones Avenue
North Vancouver, BC V7M 3L9

Quality Residential Design

These plans and concepts are protected by copyright and may not be reproduced in whole or in part without the express written consent of the designer.

General Conditions:

1. The **general contractor** must check all dimensions and conditions before commencing with any work. Any discrepancies are to be reported to the designer before proceeding with any work.
2. All setbacks and building lineations will be confirmed by a registered British Columbia Land Surveyor.
3. Written dimensions take precedence over scaled dimensions. Do not attempt to scale drawings, to find an unknown dimension consult the designer.
4. The designer will not be responsible for any costs incurred to the owner or general contractor due to errors or omissions in these plans after a building permit has been issued for this project.

Construction shall comply with
The British Columbia Building Code 2012 (BCBC).

Foundations

1. Concrete shall be 30 mpa (3,000 psi) at 28 days.
2. Footings will extend a minimum of 18" below ground level and to solid bearing.
3. Fit foundations to rock as described in structural drawings.
4. Provide a minimum of 2 coats of asphalt waterproofing or an approved waterproofing membrane over the exterior face of foundation walls.
5. Provide 17" anchor bolts at 48" o.c. and anchor edges at 4" o.c. maximum spacing.
6. Anchor posts to footings with pinned anchor saddles embedded in footings.
7. Provide a damp proofing or equal barrier plates and concrete foundations.
8. Provide a non-slip surface on all concrete slabs and footings.
9. Provide a non-slipding agent between the tops of foundations and concrete slabs to prevent sliding.
10. Provide a minimum 6" air void, layer of poly under concrete slabs and slab coats.
11. Fill under concrete slabs and skirts to the air concrete.

Fraxina:

1. All framing is to be to * S33 BOBG.
2. All load bearing lumber to be Douglas Fir #2 or better.
3. Lintels are to be 2x10 DFG or better.
4. All clock framing is to be pressure treated.
5. Gullies, drains, gutters and other manufactured items are to be engineer designed and the general contractor will provide certificates of manufacture as required before installation.
6. Roof and floor joists are to be engineer designed and shop drawings showing true layout and details are to be provided to the building inspector as required.
7. Cross bridge floor and roofer joists 4" T.C.C. minimum.

State

1. Straight stay: Rise min. 4.52" max. 5.87"
Run min. 8.27" max. 9.56"
Lead min. 9.52" max. 9.56"
2. All welds to meet A 5.1 minimum
3. Minimum headroom is 6'-0" measured vertically from an imaginary line connecting the stay risings.
4. Horizontal height is to be between 32" and 36" measured at clear height over stairs.
5. Stairs to conform to AIA 4.3.
6. Minimum clear width 7'-0"
7. Curved stairs with radius greater than 45' is with require a handrail on both sides of the stair.
8. A handrail is required for interior stairs with more than 2 risers and for exterior stairs with more than 3 risers.
9. No rubber facelining sitting down 45° to 360° from the deck or stairs is permitted in the stairway.
10. The minimum opening size within the decorative vane is 4".

Guardrails:

1. Guardrail height is 36" where the vertical distance to grade is 5'4" or less. Where the vertical distance is greater, the guard height is 3'-6" or as noted.
2. All guards to have a slip unless engineer approved.
3. A guard is required where there is a drop of 34" or more.
4. A guard is required where the adjacent surface within 4' of the walking surface has a slope greater than 1 in 2.

Safety Glass

1. Glass with 36" of a door shall be safety glass.
2. Glass in exterior doors, showers, french, and sliding doors shall be safety glass.
3. Glass in walls enclosing showers or bathtubs shall be safety glass and located above the waterproof finish height.
4. Mirrored doors are to be safety glass and blocked with solid material.

Cladding:

1. Gladding shall conform to #3.2.1 BCBC
2. All flashing shall conform to #3.2.3.1 BCBC and treated to conform with #3.2.3.8 BCBC
3. All cladding shall conform to Section #3.2.4 BCBC

Fireplaces and Chimneys:

- 1. Fireplaces and chimneys shall conform to NFPA 2102.
- 2. Provide 2" clearance between chimney and combustible framing.
- 3. Masonry hearths shall conform to NFPA 2102.
- 4. Provide fuelline to NFPA 2102. Fuel sizes to NFPA 2102.
- 5. Provide discharge to NFPA 2102.
- 6. Provide 4" fireproof lining to fireplace.
- 7. Provide dampers.
- 8. Factory built fireplaces and chimneys shall be installed to manufacturer specifications and to meet LSC listing requirements.
- 9. The unit shall not be installed in proximity under or combustible hearth.
- 10. Fireplaces to have tight fitting doors and outside combustion air supplied directly to the firebox.

Dualing Security:

1. Main entrance doors without sidelights are to be equipped with a door viewer.
2. Doorframes (exterior openings) are to be solid blocked at the lock height so that the door frame will resist spreading by force to ≤ 3.6 kN DCBC and ≤ 3.14 kN DCBC.
3. Exterior doors are to be provided with a 6 pin cylinder deadlock lock with a 1" throw to ≤ 3.6 kN.
4. Exterior sliding windows shall be equipped and installed in a manner that will prevent the removal of a sliding panel when in the locked position.
5. Sliding glass doors shall be equipped with sliding pin locks into the door frame to supplement the seal lock of the door handle.

Moisture Protection

Ventilation:

[illegible]

Vapour Barriers:

1. Where an interior frame wall meets a ceiling required to have vapour protection or an exterior wall, the vapour barrier shall be continuous at the ceiling or wall intersection.
2. Provide vapour barrier protection to the inside of insulation in the inside of box joint or as rigid foam insulation.
3. Clearance between chimneys or vents to be sealed with non-combustible insulation.

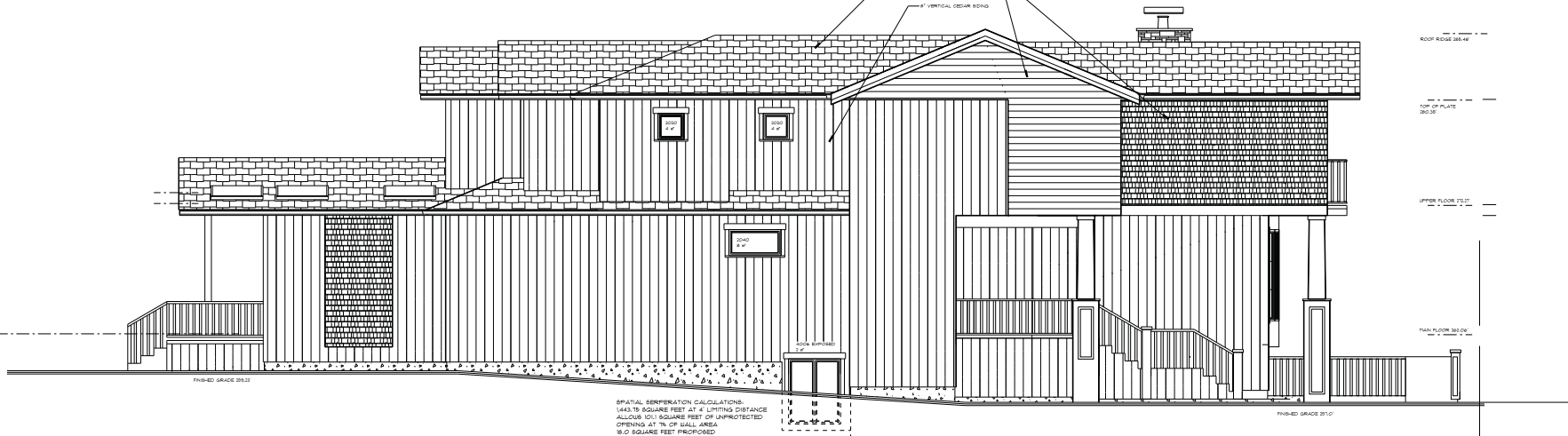
Masonry Veneer Walls

1. Provide 1" airspace between frame walls and masonry.

Miscellaneous:

4. Heating system: Principle residence and, where else, fixed hot water.
5. Provide for fireproofing window frames with thermal gelling in sealed units providing a minimum 17°C break.
6. Glass in doors and windows to be double glazed unless otherwise specified.
7. Provide thermal break frames in all glazing.
8. Hard wood window sills in bedrooms doors and on all frames to conform to BS10: B10C.
9. Provide cladding provide cladding within 100 mm of a bedroom door and in the bedroom and conform to BS12: B10C.
10. Windows and Frames in doors and submit elevations and apply over a moisture resistant backing.
11. Provide insulation blocks to allow for adequate ventilation in roofed locations.
12. Finish glazing and on finish out early from the building and to conform to BS11: B10C.
13. Provide hard wood cladding in bedrooms in each bedroom within 100 mm of frames of glazing and conform to BS10: B10C.

SOUTH ELEVATION



WEST ELEVATION

Energy Efficiency:

1. All heating, ventilation and insulation components are to conform to regulations outlined in section 23.3d.
2. All habitable spaces are to achieve Step Code 3 performance.
3. Energy efficiency components are to be designed by a Certified Energy Performance Advisor.
4. Notify the designer in the event of conflict between assembly descriptions between these drawings and those of the Energy Performance Advisor.

SPATIAL SEPARATION CALCULATION:
1,443.75 SQUARE FEET AT 4' LIMITING DISTANCE
ALLOWS 101.1 SQUARE FEET OF UNPROTECTED
OPENING AT 7% OF WALL AREA
18.0 SQUARE FEET PROPOSED

NOTE:
THE GENERAL CONTRACTOR SHALL ~~NOT~~ BE RESPONSIBLE FOR OBTAINING AND
OBTAINING PERMITS TO CONDUCT ANY WORK AND SHALL BE RESPONSIBLE FOR ANY
DECREASES TO THE DESIGNER.
THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED
FOR THE OBTAINING OF PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS
ON PLANS OR INFORMATION AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
THE DESIGNER'S WORK SHALL BE LIMITED TO THE CORRECTED CHANGES
AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT
OF THE DESIGNER. THESE PLANS AND THE PROPRIETY OF THE DESIGNER AND
ANY PART THEREOF SHALL BE THE PROPERTY OF THE DESIGNER AND SHALL
NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE

ELEVATIONS

Drawing

Drawn By B.C. Date DEC. 2018

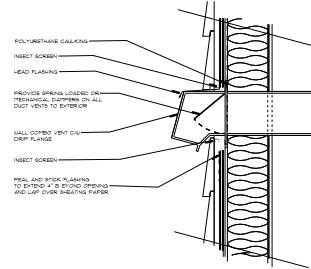
Scale 1/4" = 1'-0"

Project

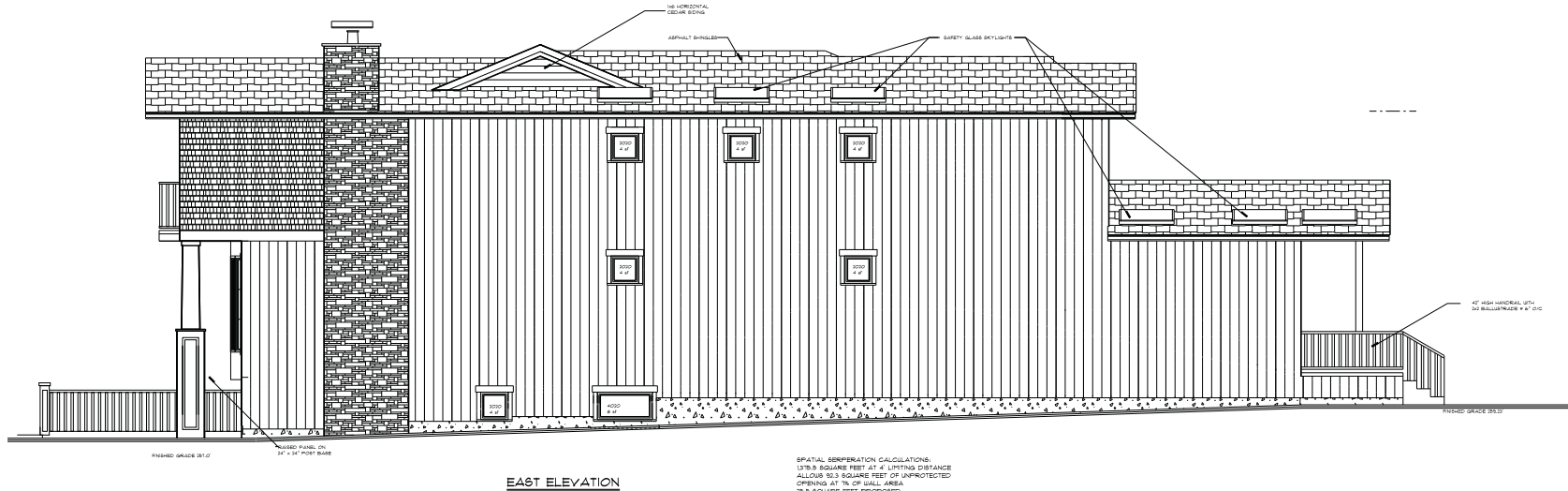
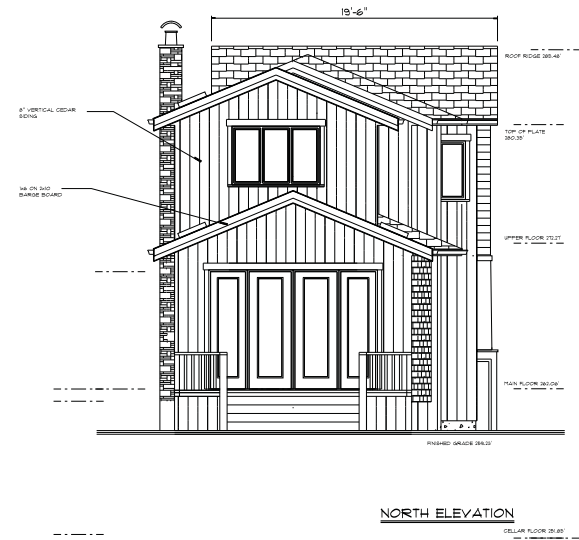
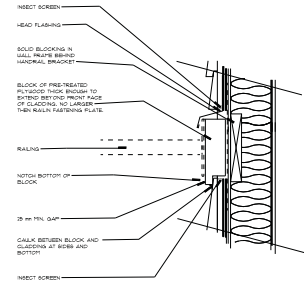
**DAYENPORT RES. AT
132 WESTMORELAND CR.
NORTH VANCOUVER**

Quality Residential Design

VENT CAP DETAIL



HANDRAIL BLOCKING
DETAIL



SPATIAL PERIMETER CALCULATIONS:
17'0" SQUARE FEET AT 4' LIVING DISTANCE
ALLOW 16.3 SQUARE FEET OF UNPROTECTED
OPENING AT 1% OF WALL AREA
28.9 SQUARE FEET PROPOSED

NOTE:
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CONSTRUCTION PRIOR TO COMMENCING ANY WORK AND REPORT ANY
DISCREPANCIES TO THE DESIGNER.
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FOR THE PLANS AND SPECIFICATIONS AND THE DESIGNER SHALL NOT BE
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AFTER THE BUILDING PERMIT HAS BEEN ISSUED FOR THE PLANS AND
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AND NO PART OF THEM SHALL BE REPRODUCED OR COPIED OR
USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
FURTHER CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF THESE INSTRUCTIONS.

REVISIONS
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1551 Jones Avenue
North Vancouver, BC V7M 3L9

ELEVATIONS
Drawing
Drawn By B.C. Date DEC. 2018
Scale 1/4" = 1'-0"
Project
DAVENPORT RES. AT
132 WESTMORELAND CR.
NORTH VANCOUVER

18
of



STREETSCAPE

NOTE:
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STREETSCAPE
 Drawing
 Drawn By B.C. Date DEC. 2018
 Scale 1/4" = 1'-0"
 Project
 DAVENPORT RES. AT
 132 WESTMORELAND CR.
 NORTH VANCOUVER

8 of 8

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 billcurtisdesign@gmail.com
 1551 Jones Avenue
 North Vancouver, BC V7M 3L9

STREETSCAPE
 Drawing
 Drawn By B.C. Date DEC. 2018
 Scale 1/4" = 1'-0"
 Project
 DAVENPORT RES. AT
 132 WESTMORELAND CR.
 NORTH VANCOUVER

Quality Residential Design

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e-mail billcurtisdesign@gmail.com

May 28, 2018

City of North Vancouver
141 West 14th Street
North Vancouver, BC V7M 1H9
Attention Ms. Emily MacDonald
Planning Department

Regarding 730 Westmoreland crescent DIS held May 23rd, 2018
at Westview Elementary School Library from 7:00 to 9:00 PM.

There was a very strong response to the proposal with 27 people attending plus the applicant, the designer, and Emily MacDonald representing the City. 15 felt strongly enough to fill out a comment sheet regarding their support or opposition to the proposal.

There was a common criticism that this proposal would result in more building area being allowed when there would not be any more allowed then if only one home were built. No extra building area would be permitted nor is being applied for. In fact the individual house sizes are smaller than the maximum allowed. The application included an appeal for a variance in height that was recommended by staff to allow more natural light into the suites proposed. The increased height exacerbated the narrow building frontage creating a bulkier looking building in appearance and further reducing the light to the neighboring house west of the lot.

Parking was another common complaint. Added to the extra cars envisioned by neighbors the neighborhood is located on a narrow street, a lane, and on the buffer of the Car2go and Evo car share parking areas. The result has been that many of these drivers leave their car in the neighborhood and walking the remaining distance to their homes resulting in the loss of even more parking.

No mention was made of the improvements made to the neighborhood as part of earlier development that included significant improvements to Westmoreland Crescent.

There was strong support for the project from other long time residents of the neighborhood. They saw the benefits being the creation of more affordable housing forms and a compliment to the neighborhood with more families and further enhancement to the public areas of Westmoreland.

Thank you for your consideration,

Bill Curtis

RECEIVED

JUN - 6 2018

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

Bill Curtis & Associates Design Ltd.

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5th Floor, 224 West Esplanade
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www.billcurtishomedesign.com
e-mail billcurtisdesign@gmail.com

February 5, 2019

City of North Vancouver
141 West 14th Street
North Vancouver, B.C.
Planning Department
Attention Ms. Emily MacDonald

Regarding 730 Westmoreland Crescent

Dear Emily,

Thank you for your guidance through this project.

The attached revisions were done to accommodate concerns expressed by neighbors and to comply with the most recent amendments to the City RS1 zoning bylaw.

Those revisions include:

- 1) Raising both homes 2' to facilitate more natural daylight into the suites of each house and to conform with the new zoning requirements.
- 2) Redesigning the architecture to reflect the traditional character of the original homes in the neighborhood.
- 3) Reorienting the suite of the westerly house to the front of the lower floor to accommodate more natural light reaching the suite. The easterly lot suite is maintained at the rear of the building to minimize the street side grade alteration, provide for a softer transition in streetscape and to take advantage of Alden Lane. The lane location allows for a greater opportunity to capitalize on "side" windows. In response to a loss of privacy along the lane a landscape screen has been added along the east property line of the eastern lot.
- 4) By providing alternate sunken patio locations and the unique lane elevation the two homes have a greater sense of individual identity adding to the fabric of the neighborhood.
- 5) There is an opportunity to raise both homes a few feet higher and still conform with zoning. We elected not to do that because of the potential domineering impact on the lower existing homes and to develop a more consistent streetscape.

Thank you again, and for your consideration,

Bill Curtis

REVISED

FEB - 6 2019

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8716

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716**” (**Westmoreland Holdings Ltd. / Bill Curtis & Associates Design Ltd., 730 Westmoreland Crescent**).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of RS-2 (One-Unit Residential 2 Zone):

Lots	Block	D.L.	Plan	
43	7	552	4687	from RS-1

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.




ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: TEMPORARY USE PERMIT – 658 EAST 3RD STREET – TEMPORARY
SALES CENTRE

Date: September 25, 2019 File No: 09-4520-20-0005/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated September 25, 2019, entitled "Temporary Use Permit – 658 East 3rd Street – Temporary Sales Centre":

THAT Temporary Use Permit No. TUP2019-00001 to permit a sales centre at 658 East 3rd Street for a three year term be considered;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a Public Meeting be scheduled.

ATTACHMENTS:

1. Context Map (doc#[1818420](#))
2. Architectural and Landscape Plans, dated April 2019 (doc#[1818425](#))
3. Temporary Use Permit No. 2019-00001 (doc#[1818405](#))

PROJECT DESCRIPTION

The application is a request to place a one storey modular building approximately 185 square meters (2,000 square feet) in size. Four off-street parking stalls are provided on site and accessed off the rear lane. When the use is completed, the modular building will be taken off the site and the site reclaimed. The building is to be used as a sales centre for the applicant's development projects directly across East 3rd Street to the south. The single detached house on the property has been removed and the lot currently sits vacant. Table 1 below illustrates this request.

Table 1. Request for 658 East 3rd Street

	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RG-3	RG-3/TUP

POLICY FRAMEWORK

The subject site has a land use designation in the Official Community Plan (OCP) of Residential Level 4A (R4A), which allows for a range of housing types such as townhouses, row houses and garden apartments that is close to transit. The Zoning Bylaw lists the subject site as Ground-Orientated Residential 3 (RG-3) that permits a range of ground-orientated housing types including townhouses.

The Temporary Use Permit (TUP) is required given the use of a sales centre is not a permitted use in the RG-3 Zone, and the commercial nature of a sales centre being within a residential area. The OCP does allow a TUP to be issued as outlined in the table below.

Table 2. Temporary Use Permits

Official Community Plan	
Policy 2.7 Temporary Use Permits	<p>The OCP grants the ability for Temporary Use Permits (TUP) to be issued for short-term uses to site-specific locations that are otherwise not permitted under current zoning.</p> <p>The OCP designates all areas of the City to be a TUP area where TUP's can be granted, should the temporary use be in the interest of the public in general.</p> <p>Temporary Use Permits are good for three years when approved by Council and can only be renewed by Council once for a another three year term. The permit can not exceed the combined six year term.</p>

PLANNING ANALYSIS

Site Context

The subject site is located one lot west of the property at the north west corner of East 3rd Street and Moody Avenue (Attachment #1), and is within the Moodyville Development Permit area. The area surrounding the subject site has seen active redevelopment in the past several months as the implementation of the Moodyville Design Guidelines is underway. The subject site and the immediate lots adjacent to it is one of the remaining single detached lots that have not been subject to redevelopment.

The buildings and uses immediately surrounding the subject site are described in Table 2 below.

Table 3. Surrounding Uses

Direction	Address	Description	Zoning
North (across lane)	553 – 563 East 4 th Street	Single Detached Dwellings	Two-Unit Residential 1 (RT-1)
South (across East 3 rd Street)	649 East 3 rd Street	40 unit townhouses	Medium Density Apartment Residential 2 (RM-2)
East	652 East 3 rd Street	Single Detached Dwelling	Ground-Orientated Residential 3 (RG-3)
West	311 Moody Avenue	Single Detached Dwelling	Ground-Orientated Residential 3 (RG-3)

Land Use

The proposed modular building would be placed within the site in accordance with the RG-3 Zoning of the Zoning Bylaw, and would be within the maximum allowable building height of the zone.

Four off-street parking stalls are proposed to be accessed off of the rear lane, along with bike racks for short term bike parking. The proposed number of off-street parking stalls and short term bike parking is in conformance with commercial parking requirements normally required for such a use.

Hours of operation of the proposed sales centre is included in the Permit to help mitigation of the use onto neighbouring residential properties.

The TUP is supported as the location is directly across the street from the development sites, and it gives the land short term flexibility to support the buildout of the Moodyville neighbourhood.

Should the proposed TUP be issued, a Building Permit is required before the modular building can be placed on the property.

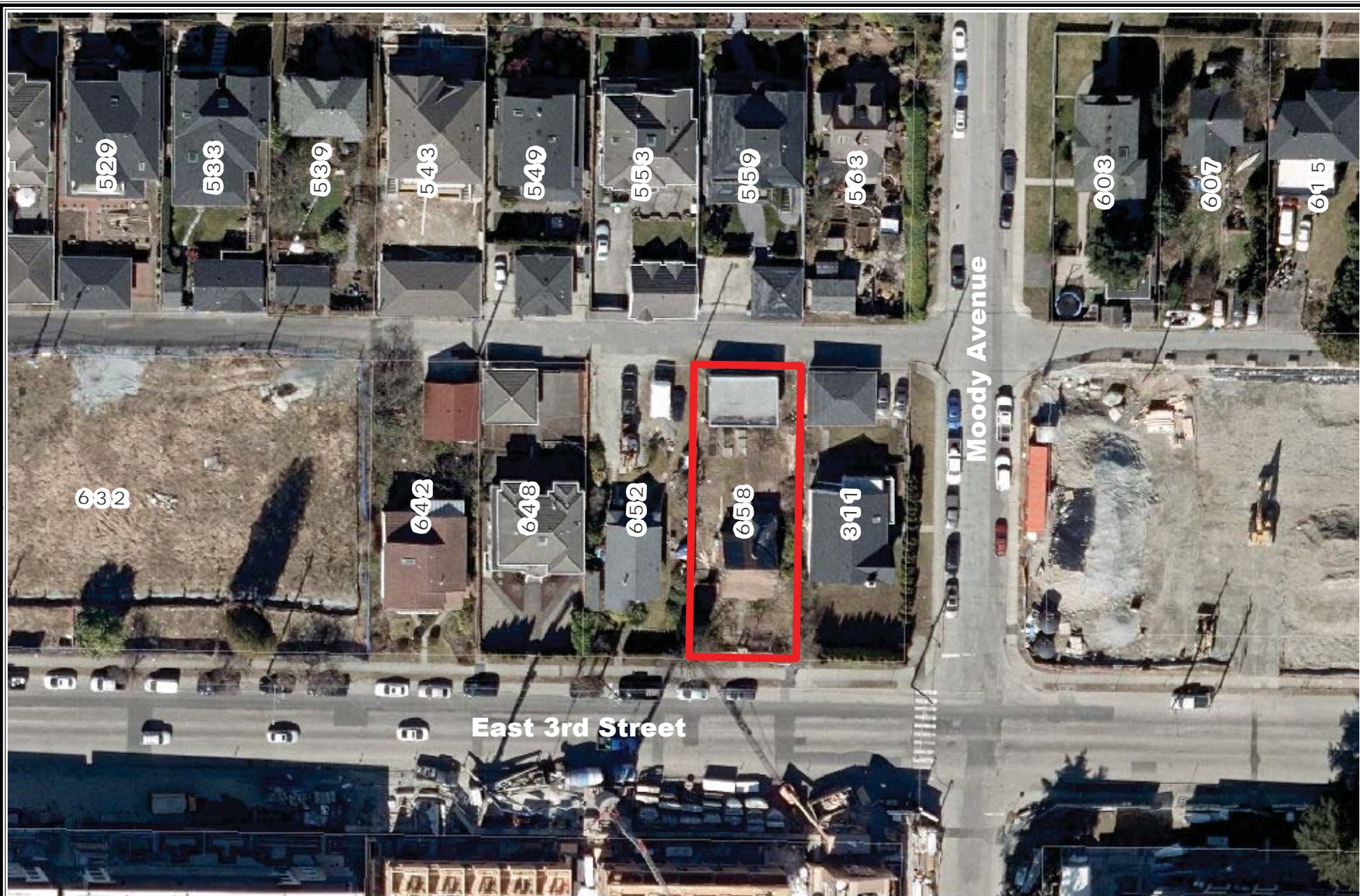
CONCLUSION

The proposed TUP represents good planning as it provides short-term flexibility to a site to support the build-out of the Moodyville area. It is anticipated that the location across from the applicant's development sites will have a minimal impact on neighbouring properties.

RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



CONTEXT PLAN



DRAWING LIST

A101 Site Plan
A401 Sections + Elevations

BUILDING CODE ANALYSIS

Relevant Code: BC BC 2012
 Tenant Occupancy & Type: Group D Personal & Business
 Subject Property Floor Area: 185.5 m² (1,997 sq. ft.)
 Occupant Load: 20 People
 Occupant Load / Person: 9.30 m² / Person
 Number of Exits: 2
 Max. allowable Travel Distance to single exit: 40 m
 Building Height: 1 Storey
 Fire Protection: Not required
 Fire Alarm Required: Not required
 Exit Sign Required: Yes
 Emergency Lighting Required: Yes
 Construction Type: Combustible

LEGAL ADDRESS

Lot 15, Block 22, District Lot 273, Plan 1063

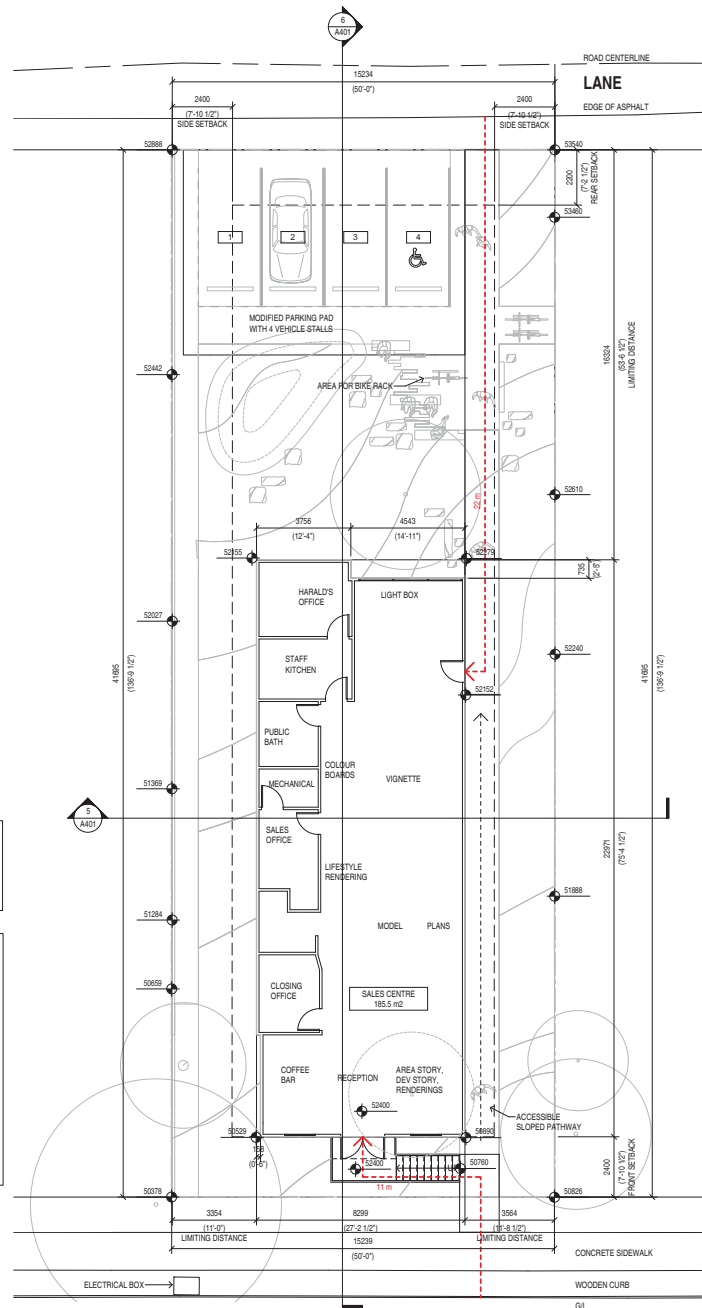
CIVIC ADDRESS

658 E 3rd Street, North Vancouver, BC, V7L 1G7

PROJECT DATA

SITE AREA: 635.3m² (3838ft²)
 ZONING: RG-3
 GROSS FLOOR AREA: 0.5
 BUILDING HEIGHT: 12m (39.4 ft.)
 LOT COVERAGE: 60%
 SETBACKS:
 FRONT: 2.4m (7.83 ft.)
 EAST SIDE: 2.4m (7.83 ft.)
 WEST SIDE: 2.4m (7.83 ft.)
 REAR: 2.2m (7.17 ft.)

PARKING: 4
 BICYCLE PARKING: 3



1 Site Plan
1:100

EAST 3RD STREET

SHAPE
Architecture Inc

534 WEST PENDER STREET
VANCOUVER, BC CANADA
V6B 1V9
604.687.4437
info@shapearchitecture.ca
www.shapearchitecture.ca

PLOT INFO.
PLOT STAMP LOCATION

NOTES

NO DESCRIPTION

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Temporary Use Permit	190507

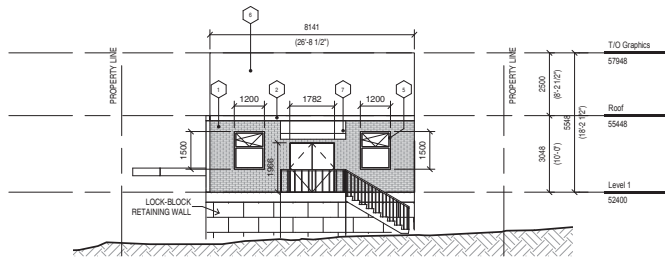
Morrison on the Park Sales Centre

658 E 3rd St, North Vancouver, BC

Site Plan

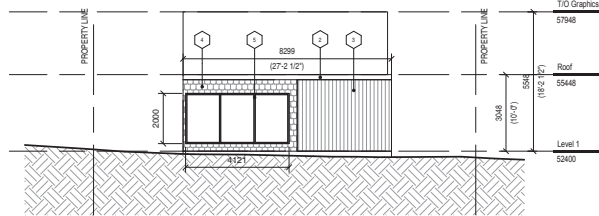
DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815

A101



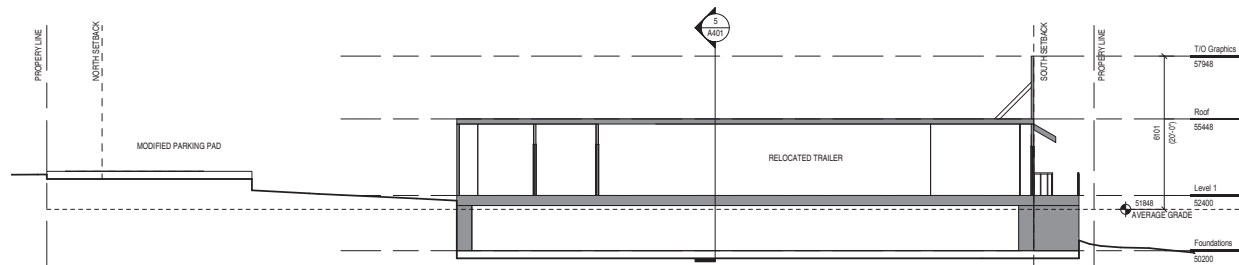
1 South
1:100

45.16 m² = AREA OF EXPOSED BUILDING FACE
7.32 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
18.2 % = PROPOSED OPENING
8.5 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING

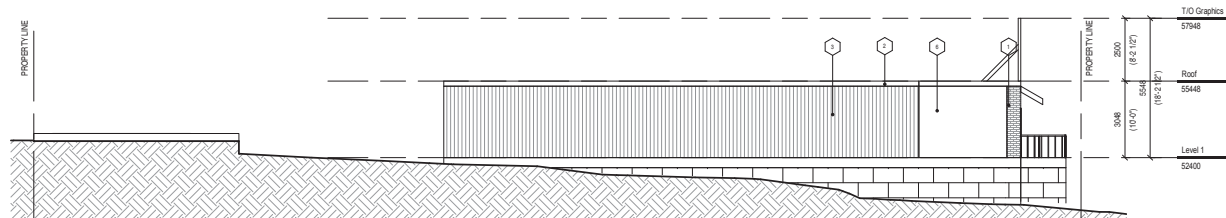


2 North
1:100

24.8 m² = AREA OF EXPOSED BUILDING FACE
8.24 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
33.2 % = PROPOSED OPENING
16.32 m = LIMITING DISTANCE
100 % = ALLOWED UNPROTECTED OPENING

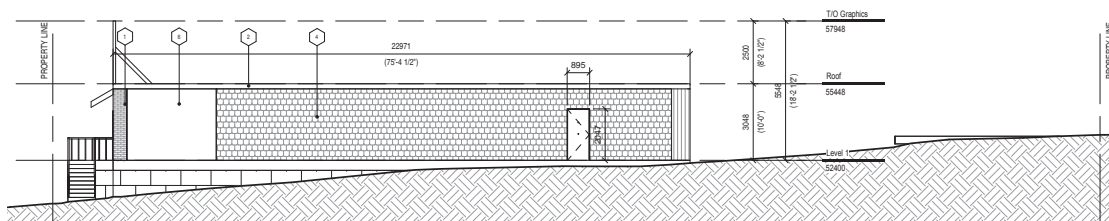


6 Section B
1:100



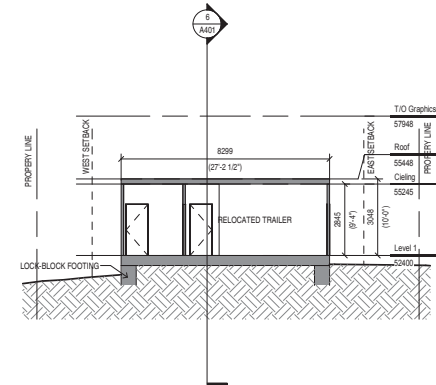
3 West
1:100

89.78 m² = AREA OF EXPOSED BUILDING FACE
0 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
0 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING



4 East
1:100

89.78 m² = AREA OF EXPOSED BUILDING FACE
1.96 m² = PROPOSED TOTAL UNPROTECTED OPENINGS
2.8 % = PROPOSED OPENING
3.35 m = LIMITING DISTANCE
9 % = ALLOWED UNPROTECTED OPENING



5 Section A
1:100

NO	DESCRIPTION
----	-------------

MATERIAL LEGEND
1. GREY BRICK - WESTPORT USED
2. WOOD TONED NON-COMBUSTIBLE TRIM
3. HARDIE SIDING - IRON GRAY
4. HARDIE SHINGLES - LIGHT WEST
5. BLACK MULLIONS AND DOOR
6. NON-COMBUSTIBLE GRAPHICS
7. CANOPY - BLACK

ISSUED / REVISIONS	DATE
NO DESCRIPTION	
1 Issued for Temporary Use Permit	190507

Morrison on the Park Sales Centre

658 E 3rd St, North Vancouver, BC

Sections + Elevations

DATE	APRIL 2019
DRAWN BY	AZ
CHECKED BY	AS
SCALE	1:100
JOB NUMBER	1815

MORRISON ON THE PARK SALES CENTRE

ISSUED FOR TEMPORARY USE PERMIT

**CLIENT:
CREO DEVELOPMENT LTD**

HARALD SINOW
harald@creodevelopments.ca
778.938.6227

**ARCHITECTURAL DRAWING CONSULTANTS:
SHAPE ARCHITECTURE**

ALEC SMITH
a.smyth@shapearchitecture.ca
604.687.4457

BEN FISHER
b.fisher@shapearchitecture.ca
604.687.4457 ext.111

**LANDSCAPE ARCHITECT:
ENNS GAUTHIER LANDSCAPE ARCHITECTS**

MIKE ENNS
mike@ennsgauthier.com
604.763.2886

JAZMIN CEDENO
jazmin@ennsgauthier.com
778.710.1819

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE MANAGEMENT PLAN
L1.0	LAYOUT PLAN
L2.0	MATERIALS PLAN
L3.0	GRADING PLAN
L4.0	LIGHTING PLAN
L5.0	PLANT LIST



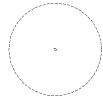
A Issue for Temporary Use Permit 19-05-01

Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

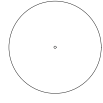
Creo Development
19101
19-05-01

L0.0
COVER SHEET

LEGEND



TREE TO REMOVE



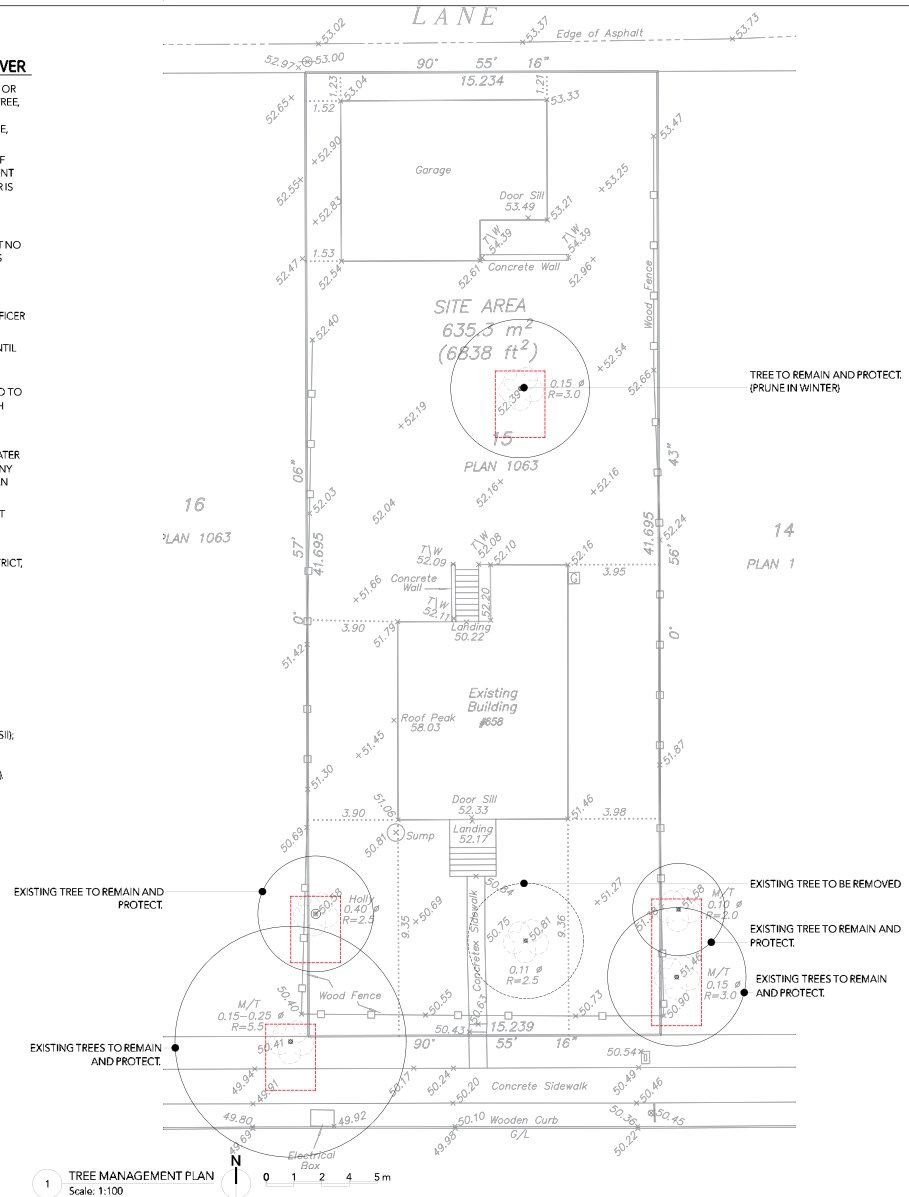
TREE TO REMAIN AND PROTECT AS PER CITY OF NORTH VANCOUVER STANDARDS.



TREE PROTECTION BARRIER AS PER CITY OF NORTH VANCOUVER TREE PROTECTION BYLAW.

TYPICAL TREE PROTECTION FOR NORTH VANCOUVER

1. INSTALL A TREE PROTECTION BARRIER AROUND ANY RETAINED TREE OR GROUP OF RETAINED TREES AT THE DRIP LINE OF THE OUTERMOST TREE, THE OUTSIDE BOUNDARY OF THE CRITICAL ROOT ZONE OF THE OUTERMOST TREE, OR 5M FROM THE STEM OF THE OUTERMOST TREE, WHICHEVER IS GREATEST.
2. ENSURE THAT SUCH TREE PROTECTION BARRIER IS CONSTRUCTED OF CHAIN LINK OR PLYWOOD FASTENED TO SOLID WOOD OR EQUIVALENT FRAMING WITH RAILINGS ALONG THE TOPS, SIDES AND BOTTOM, OR IS CONSTRUCTED OF MATERIALS OTHERWISE SATISFACTORY TO THE ENVIRONMENTAL PROTECTION OFFICER.
3. DISPLAY SIGNAGE INDICATING THAT THE AREA WITHIN THE TREE PROTECTION BARRIER IS A "PROTECTION ZONE," AND STATING THAT NO ENCROACHMENT, STORAGE OF MATERIALS OR DAMAGE TO TREES IS PERMITTED WITHIN THE "PROTECTION ZONE."
4. ARRANGE FOR INSPECTION BY THE ENVIRONMENTAL PROTECTION OFFICER BEFORE ANY WORK COMMENCES, AND REFRAIN FROM COMMENCING WORK UNTIL THE ENVIRONMENTAL PROTECTION OFFICER HAS APPROVED THE TREE PROTECTION BARRIER, AND
5. ENSURE THAT THE TREE PROTECTION BARRIER REMAINS IN PLACE UNTIL WRITTEN APPROVAL OF ITS REMOVAL IS RECEIVED FROM THE ENVIRONMENTAL PROTECTION OFFICER.
6. NO WORK IS PERMITTED WITHIN THE "PROTECTION ZONE" REFERRED TO IN SECTION 11(C) OF THE BYLAW 7671 EXCEPT IN ACCORDANCE WITH PLANS AND PROCEDURES AUTHORIZED BY A TREE PERMIT.
7. BYLAW APPLIES TO ALL PRIVATE PROPERTY AND CITY LANDS.
8. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE IF GREATER THAN 75CM (EXCEPT YEW GREATER THAN 25CM); HERITAGE TREES, ANY SIZE TREE ON STEEP SLOPES, WILDLIFE TREES, STUMPS GREATER THAN 1.5M, COVENANTED TREES, TREES ON CITY LAND
9. REPLACEMENT TREES ARE REQUIRED, UNLESS PROPERTY STILL HAS AT LEAST 20% TREE COVER
10. PROTECTED TREES INCLUDE:
 11. ANY TREE ON LAND OWNED BY OR IN THE POSSESSION OF THE DISTRICT, INCLUDING, WITHOUT LIMITATION, A TREE IN A PARK OR ON A BOULEVARD, ROAD OR LANE ALLOWANCE,
 12. ANY TREE WITHIN A PROTECTED AREA,
 13. ANY TREE ON SLOPING TERRAIN,
 14. ANY REPLACEMENT TREE;
 15. ANY RETAINED TREE;
 16. ANY HERITAGE TREE;
 17. ANY WILDLIFE TREE;
 18. ANY TREE LOCATED ON WETLAND OR WATERFRONT;
 19. ANY TREE OF THE FOLLOWING SPECIES: ARBUTUS (ARBUTUS MENZIESII); GARRY OAK (QUERCUS GARRYANA); OREGON ASH (FRAXINUS SP.); PACIFIC YEW (TAXUS BREVIFOLIA); WESTERN WHITE PINE (PINUS MONTICOLA); OR YELLOW CEDAR (CHAMAECYPARIS NOOTKATENSIS).



LANDSCAPE DESIGN RATIONALE

THE LANDSCAPE CONCEPT FOR THE SALES CENTRE FOCUSES ON A MAIN ENTRANCE/GATHERING SPACE ALONG AN EXISTING TREE USING MATERIALS AND PLANTING TO SHOWCASE THE EAST COAST LANDSCAPE.

RAINWATER MANAGEMENT IS TAKEN INTO CONSIDERATION THROUGHOUT THIS SITE AND BY CREATING A RIVER ROCK GARDEN FOR A PERMEABLE LANDSCAPE.

A WOODEN PATHWAY FLOATS ON TOP OF A SUCCESSION OF PERENNIALS AND GRASSES CREATING AN EXPERIENCE OF COLOR AND TEXTURE THROUGHOUT THE SITE.

THE MATERIALS AND PLANTING PALETTE REFLECT THE LANDSCAPE DESIGN FOR THE PROPOSED "MORRISON ON THE PARK" PROJECT.

KEY AREAS

- 1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH JAGGED EDGES, BIKE RACKS AND SIGNAGE.
- 2 "THE WEST COAST GARDEN": MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.
- 3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.
- 4 MAIN ENTRANCE: REFER TO ARCHITECTURAL DRAWINGS.
- 5 ACCESSIBLE SECONDARY ENTRANCE: WOOD PATHWAY TO ENTRANCE.
- 6 PRIVACY PLANTING AND SCREENS.



1 ENTRY CORRIDOR TO THE SALES CENTRE: SEATING, FEATURE PAVERS WITH JAGGED EDGES, BIKE RACKS AND SIGNAGE.



2 "THE WEST COAST GARDEN": PLANTED MOUND, RIVER ROCK, BOULDERS AND NATIVE PLANTING.



3 CURVILINEAR PLANTING: PERENNIALS AND GRASSES.



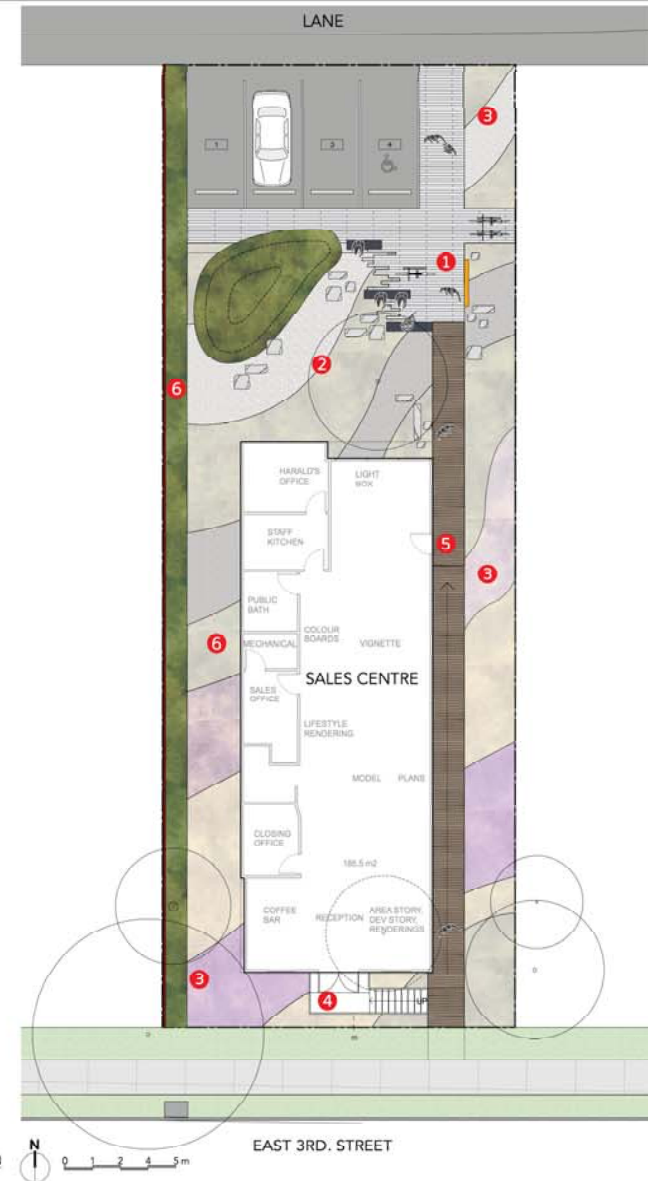
4 MAIN ENTRANCE: WOOD PATHWAY TO ENTRANCE. REFER TO ARCHITECTURAL DRAWINGS FOR ENTRANCE STAIRS.



5 ACCESSIBLE SECONDARY ENTRANCE: WOOD PATHWAY TO ENTRANCE.



6 PRIVACY PLANTING AND SCREENS.



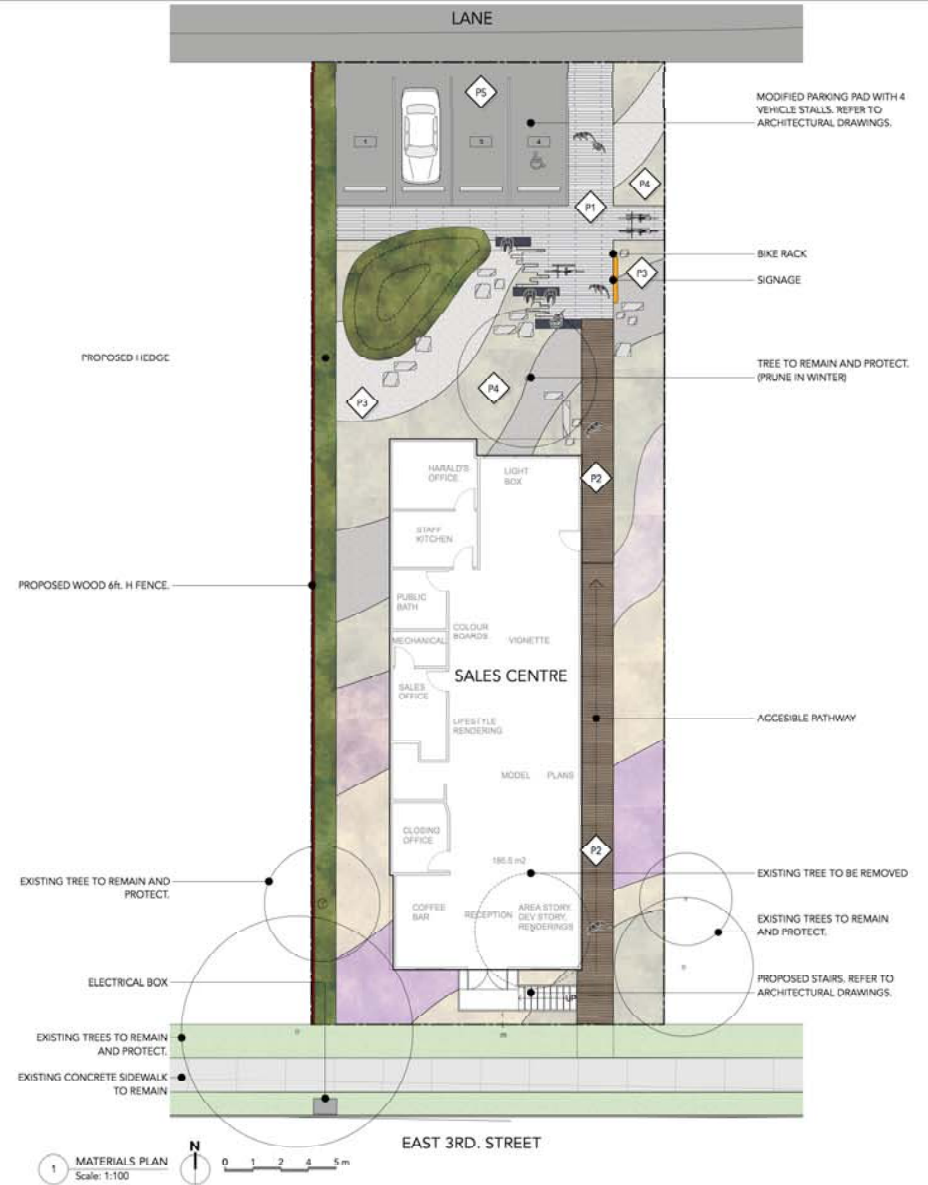
1 LAYOUT PLAN
Scale: 1:100

MATERIALS LEGEND

SYMBOL	QTY	DESCRIPTION
	P1	PAVING TYPE 1 3 15/16" x 23 5/8" x 3 15/16" Theo Bloc pavers. Smooth finish. Colour: Grey Nickel.
	P2	THERMALLY MODIFIED WOOD PATHWAY Dimension varies c/w steel frame, surface mounted to paving.
	P3	RIVER ROCK 1 2" - 6" dia. washed river rock.
	P4	RIVER ROCK 2 2" dia. washed mexican river rock.
	P5	ASPHALT-See civil.
		PERENNIAL BED 18" min. soil depth for shrubs 3" min. soil depth for trees
		FOUNDATION/ HEDGE PLANTING 18" min. soil depth for shrubs 3" min. soil depth for trees
		MULCH Bark mulch as specified.
		GRANITE BOULDERS Sizes varies. Refer to layout plan for location and sizes.
		BASALT BOULDER BENCH Sawn top with chamfer edges. Natural, weathered appearance on all exposed sides. Sizes varies. Refer to layout plan for location and sizes. Supplier: Northwest Landscape Supply
		SIGNAGE- 6' HT. By owner
		U-BIKE RACK Madrax U-bike rack. Capacity 2 bikes. Surface mounted. 1 7/8" dia. tube. Powdercoated colour platinum. Supplier: Madrax

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

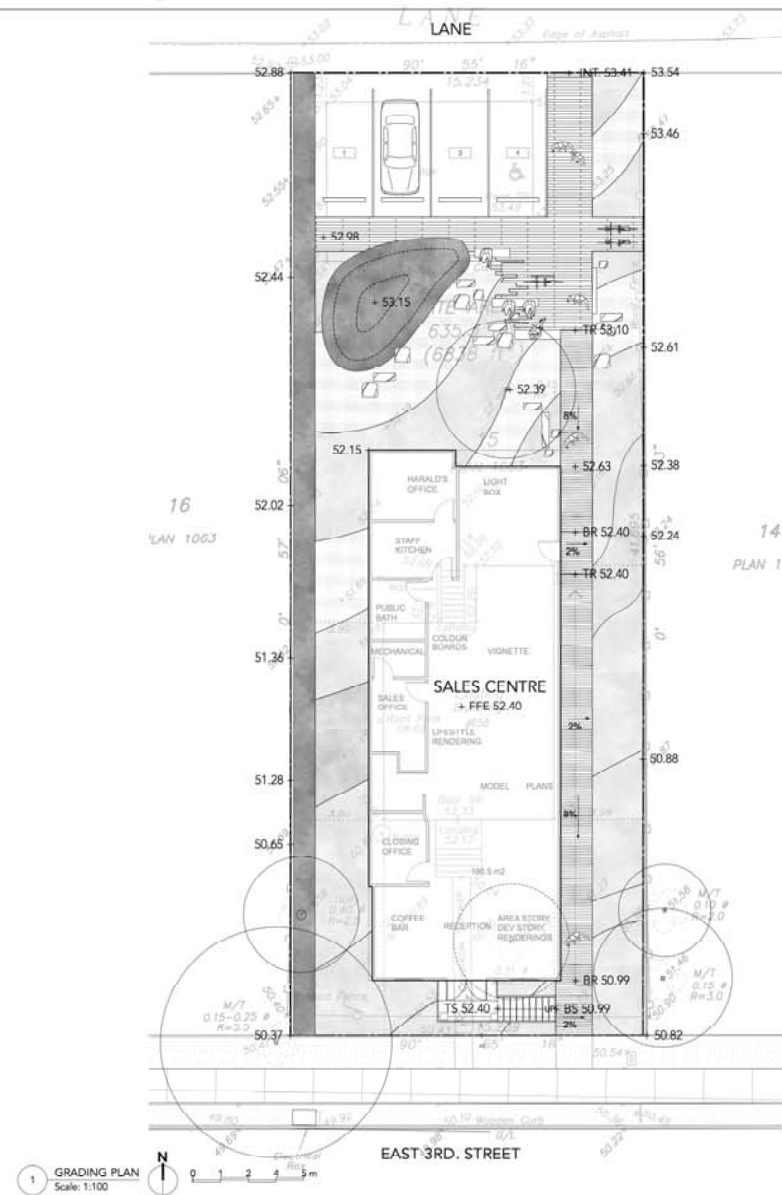


SYMBOL	DESCRIPTION
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EXISTING SPOT ELEVATION (AS PER SURVEY)	88.36
SLOPE DIRECTION (SEE ARCH.)	5%
PROPOSED SPOT ELEVATION	+83.27
FINISHED FLOOR ELEVATION (SEE ARCH.)	FFE 83.60
TOP OF RAMP (SEE ARCH.)	TR 82.75
BOTTOM OF RAMP (SEE ARCH.)	BR 82.75

ALL UTILITIES TO BE STAKED OUT BY A

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING OF PROJECT. LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK, PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING. SEE ARCHITECTURE DRAWINGS FOR FINAL RAMP/PATHWAY GRADES, AND FOR CODE COMPLIANCE.



Morrison in the Park Sales Centre
658 E 3rd St.
North Vancouver B.C.

Creo Development
19101
19-05-01

A Issue for Temporary Use Permit 19-05-01

L3.0

GRADING PLAN

LIGHTING LEGEND

QTY	TYPE	MANUFACTURER	DESCRIPTION
3	Path Light	BK Lighting	Glow Star Series Style K (BZW) stake mounted
27	Spot Flood	BK Lighting	Nite Star LED Floodlight with 12" power pipe stake. Model # NS-LED-E22-A9-BLP-9-11-B/PP-S-12-B (Requires remote magnetic transformer)
11' lin. ft.	LED Strip	Bruck	Orion Belt narrow beam spread LED's mounted underneath wood pathway.



A Type A-BK Lighting Path Light



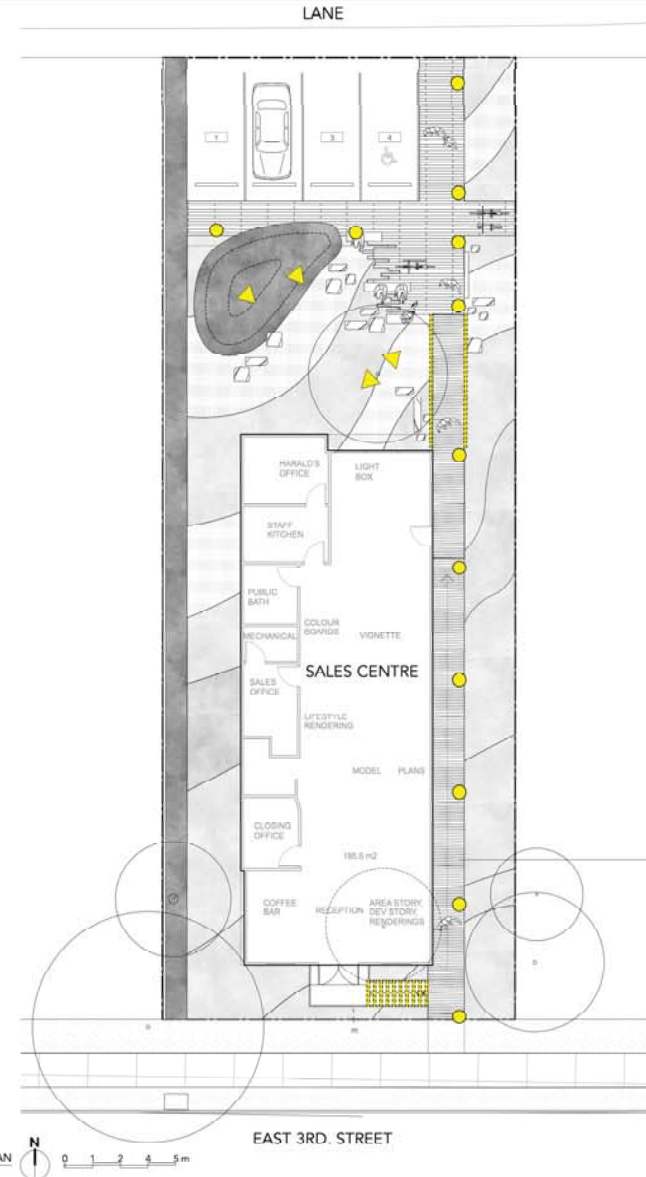
B Type B-BK Lighting Spot Flood



C Type C-Bruck LED Strip

GENERAL LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL ELECTRICAL WORK FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY LICENSED ELECTRICAL ENGINEER, OR MASTER ELECTRICIAN, PRIOR TO WORK COMMENCING/INSTALLATION.
2. ALL FIXTURE TYPES, SPACING, AND QUANTITIES TO BE CONFIRMED.
3. PRICE BASED ON LED LIGHT SOURCE FOR APPLICABLE LUMINAIRES
4. REFER TO ELECTRICAL ENGINEER FOR SERVICING REQUIREMENTS
5. THE LIGHTING CONTRACTOR IS OBLIGATED TO REFER TO THE LANDSCAPE PLANS AND DETAILS FOR LOCATIONS OF FIXTURES RELATIVE TO THE PROPOSED HARDSCAPE AND PLANTING PLANS. NOTED DIMENSIONS ARE APPROXIMATE. REFER TO NOTE OR ENLARGEMENT, FOR FINAL PLACEMENT. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION, IF NEEDED.
6. THE LANDSCAPE ARCHITECT OR CLIENT'S REPRESENTATIVE SHALL APPROVE THE FLAGGED LAYOUT OF THE FIXTURES AND ELECTRICAL SYSTEM PRIOR TO TRENCHING AND/OR FOUNDATION PREPARATION.
7. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PLACEMENT OF SIX FEET PRIOR TO RAVING. SIX FEET MATERIAL SHALL BE SCHEDULE 40 AND AT A MINIMUM DEPTH TO MEET ALL ELECTRICAL CODES.
8. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, LICENSES, AND ASSOCIATED FEES REQUIRED TO INSTALL THE SYSTEMS INCLUDING ALL ELECTRICAL CONDUIT, LIGHT FIXTURES, WIRE, PANELS, JUNCTION BOXES AND NECESSARY EQUIPMENT FOR THE COMPLETION OF THE WORK.
9. THE ELECTRICAL/LIGHTING CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES, COMMUNICATIONS PROVIDERS AND OTHERS TO IDENTIFY AND MARK LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN THE SCOPE OF WORK. KNOWN UTILITIES WHICH MAY BE ENCOUNTERED INCLUDE: ELECTRICAL, STORM SEWER, WATER, AND SANITARY SEWER.
10. VERIFY IN FIELD, ALL LOCATIONS OF FIXTURES, ELECTRICAL LINES OR OTHER LIGHTING SYSTEM ELEMENTS WITHIN THE DRIP LINE OF ANY EXISTING TREES. NOTIFY LANDSCAPE ARCHITECT OF SUCH OCCURRENCES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE WITHIN THE DRIP LINE OF ANY TREE, REFER TO SPECIFICATIONS.
11. ELECTRICAL CONDUIT LAYOUT IS DIAGRAMMATIC ON DOCUMENTS. ADJUST LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE MINIMAL IMPACT TO IN PLACE AND FUTURE ELEMENTS. AVOID INSTALLATIONS UNDER TREES.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING ELECTRIC POWER, AND PROPOSED CONNECTIONS AND METERS IN THE FIELD FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, AND PHOTO CELL CONTACTORS FOR ACTIVATION OF LIGHTING CIRCUITS.
14. THE CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS AND ASTRONOMIC TIME CLOCK FOR DE-ACTIVATION ON LIGHTING CIRCUITS.
15. THE LIGHTING SYSTEM SHALL BE PHOTOCELL ON, TIMER OFF.



1 LIGHTING PLAN
Scale: 1:100

PLANTING LIST

Botanical Name Common Name

SHRUBS

Arbutus unedo 'Compacta' Compact Strawberry Bush
Ribes sanguineum Red Flowering Currant
Rosa nutkana Nootka Rose

ORNAMENTAL GRASSES, PERENNIALS, AND FERNS

Calamagrostis x scutiflora 'Karl Foerster' Foerster's Feather Reed Grass
Carex testacea 'Prairie Fire' Orange New Zealand Sedge
Festuca 'Idahoensis' Idaho fescue
Stipa tenuissima Mexican Feather Grass
Blechnum spicant Deer Fern
Euphorbia characias subsp. wulfenii Spurge
Gaultheria shallon Salal
Hemerocallis x 'Stella d'Oro' Daylily
Lavandula angustifolia 'Hidcote' Hidcote Lavender
Polystichum munitum Western sword fern
Rubus hirta 'Goldsturm' Black-eyed Susan

SHRUBS



Arbutus unedo 'Compacta'
Compact Strawberry Bush



Ribes sanguineum
Flowering Currant



Rosa nutkana
Nootka Rose

ORNAMENTAL GRASSES, PERENNIALS AND FERNS



Calamagrostis scutiflora 'Karl Foerster'
Feather Reed Grass



Stipa tenuissima
Mexican Feather Grass



Gaultheria shallon
Salal



Hemerocallis 'Stella d'Oro'
Stella d'Oro Daylily



Lavandula angustifolia
English Lavender



Polystichum munitum
Western Sword Fern



Carex testacea 'Prairie Fire'
New Zealand Hair Sedge



Euphorbia characias subsp. wulfenii
Mediterranean Spurge



Rubus hirta 'Goldsturm'
Black-eyed Susans



Festuca 'Idahoensis'
Idaho Fescue



Blechnum spicant
Deer Fern

NOTE: Irrigation to be done manually. Location of hosebills by contractor.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
TEMPORARY USE PERMIT

Permit No. TUP2019-00001

File: 09-4520-20-0005/2019

Issued to owner(s): **1072555 B.C. Ltd., Inc. No. BC1072555**

Respecting the lands located at **658 East 3rd Street**, North Vancouver, BC, legally described as:

LOT 15 BLOCK 22 DL 273 PLAN 1063 PID: 015-013-073

(the “**Lands**”)

List of Attachments:

Schedule “A”: List of Plans

Authority to Issue:

1. This Temporary Use Permit is issued pursuant to Section 493 of the *Local Government Act*.
-

Bylaws Supplemented or Varied:

2. The provisions of the City of North Vancouver “Zoning Bylaw, 1995, No. 6700” Ground-Orientated Residential 3 (RG-3) Zone are hereby varied as follows:
 - A. This permit temporarily allows the Lands to be used for the purposes described below:
 - i. To permit Creo Developments Ltd. to install and occupy a trailer up to a maximum of 185.0 square metres (2,000 square feet) for the purpose of a temporary sales centre (business office).
-

Special Terms and Conditions of Use:

3. Hours of operation shall be limited to:
 - 11:00 am to 6:00 pm Sunday to Thursday;
 - Closed Friday; and
 - Any special event may exceed closing hours listed in this permit but not beyond two hours.

General Terms and Conditions:

4. This Temporary Use Permit is issued by the City of North Vancouver subject to compliance with all the applicable bylaws of the City except as specifically varied or supplemented by this Permit. No variances other than those specifically set out in this permit are implied or to be construed.
5. The Lands shall be used in accordance with the terms and conditions of this Permit. All terms and conditions are subject to any changes required by the Building Inspector or other officials of the City where such specifications do not comply with any bylaw or statute, and such non-compliance is not specifically permitted through the issuance of this Temporary Use Permit.
6. This Permit expires: three years from date of issuance.
7. The Permit holder acknowledges that a Building Permit or other City Permits and Licenses may be required. This is not a Building Permit.
8. Nothing in this Permit shall in any way relieve Land Owner/Business Owners obligation to ensure that the use complies in every way with the statutes, regulations, requirements, covenants and licences applicable to the undertaking.

9. Nothing in this Permit shall in any way relieve the Land Owner/Business Owners obligation to comply with regulations for construction of structures or provision of on-site services pursuant to the Health Act, the Fire Services Act, the Electrical Energy Inspection Act, and any other provincial statutes.
-

Authorized by Council: _____
Year / Month / Day

Expiry Date: _____
Year / Month / Day

Linda C. Buchanan, Mayor

Karla Graham, City Clerk

Date Signed: _____
Year / Month / Day

Note: As required by Section 503 of the *Local Government Act*, the City of North Vancouver shall file a notice of this permit in the Land Title Office stating that the land described in this Permit is subject to Temporary Use Permit No. TUP2019-00001.


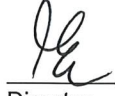

Notice filed the _____ day of _____, 20_____.

THIS IS NOT A BUILDING PERMIT

Schedule A
List of Plans – 658 East 3rd Street

Architect	Sheet Name	Sheet No.	Date	CityDocs File Number
Shape Architecture	Site Plan	A101	May 7, 2019	1818425
Shape Architecture	Sections + Elevations	A401	May 7, 2019	1818425
Enns Gauthier Landscape Architecture	Cover Sheet	L0.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Tree Management Plan	L0.1	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Layout Plan	L1.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Materials Plan	L2.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Grading Plan	L3.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Lighting Plan	L4.0	May 1, 2019	1818425
Enns Gauthier Landscape Architecture	Plant List	L5.0	May 1, 2019	1818425



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Mike Friesen, Planner 2

Subject: PRELIMINARY DIRECTION: OFFICIAL COMMUNITY PLAN AND
ZONING BYLAW AMENDMENTS FOR 402-438 EAST 3RD STREET AND
341-343 ST. DAVIDS AVENUE

Date: September 25, 2019 File No: 08-3400-20-0005/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled
“Preliminary Direction: Zoning Bylaw and Official Community Plan Amendments
for 402-438 East 3rd Street and 341-343 St. Davids Avenue”:

AND THAT staff be directed to review and process the application.

ATTACHMENTS:

1. Context Map and Official Community Plan Designations (doc# [1828791](#))
2. Condensed Architectural and Landscape Plans, dated Aug. 21, 2019 (doc# [1828808](#))

PURPOSE

The purpose of this report is to request preliminary direction from Council regarding the proposed Official Community Plan and Zoning Bylaw amendments, including the associated community benefit contribution, for 402-438 East 3rd Street and 341-343 St. Davids Avenue.

BACKGROUND

<i>Official Community Plan Designation:</i>	341-343 St. Davids Avenue: Residential Level 2 438 East 3 rd Street: Mixed Use 2 402-432 East 3 rd Street: Residential Level 5
<i>Existing Zoning:</i>	341-343 St. Davids Avenue: Two-Unit Residential 1 (RT-1) 438 East 3 rd Street: Local Commercial (C-3) 402-432 East 3 rd Street: Medium Density Apartment Residential 2 (RM-2)
<i>Applicable Guidelines:</i>	Moodyville – East 3 rd Street Area Development Permit Area Guidelines

Requested Amendments

In order to accommodate the proposed development, details of which are presented in the Project Description below, the applicant is requesting an amendment to the Official Community Plan and Zoning Bylaw. The Official Community Plan amendment would result in the expansion of the Mixed-Use Level 2 designation – to the north and west – replacing Residential Level 2 and Residential Level 5; the Zoning Bylaw amendment would create a comprehensive development zone that would increase density and permit the construction of a mixed-use structure.

In addition to the above noted amendments, the applicant is requesting to explore in-kind amenities for a portion of the community benefits value that would be associated with their development. Additional information can be found in the Density Bonus and Community Benefits section below.

Project Description

The proposed project is composed of two buildings separated by a plaza. A mixed use building is located on the eastern portion of the site, and a residential building on the western portion of the site. The western building is composed of 90 residential units (6,206 m² or 66,800 sq.ft.) with townhome style units fronting East 3rd Street and the lane, and is four storeys tall from its high side. The proposed mixed use building follows the L-shape of the property consolidation. Spanning over the lane the building is 4 storeys from East 4th Street, increasing to 6 storeys at East 3rd Street as the grade falls away. The mixed-use building includes 91 units of residential (6,237 m² or 67,130 sq.ft), as well as 19 commercial units (2,538 m² or 27,319 sq.ft.) and a daycare (143 m² 1,539 sq.ft.). Commercial use is proposed along East 3rd Street, the southern portion of St. Davids Avenue, and the lane (see Attachment 2: Condensed Architectural and Landscape Plans).

Should Council wish to proceed with processing the application, a fulsome review of the project will be conducted. After review of the proposed development – including engagement with the community, refinement of the design, and mitigation of potential negative impacts to adjacent properties – the project would then be presented to Council for consideration.

Site Context and Surrounding Use

The site is located in the relative middle of the Moodyville area, comprised of the “Neighbourhood Centre”, the “East 3rd Street Corridor”, and the “St. Patricks Transition” areas described in the Moodyville Development Permit Area Guidelines. The site is adjacent to the proposed St. Davids Greenway active transportation route and one block from a future RapidBus stop on East 3rd Street (see Attachment 1: Context Map and Existing Official Community Plan Designations).

In terms of the larger urban context, the nearest competing commercial areas are Queensbury and Lower Lonsdale, located approximately 800 metres and one kilometre away respectively.

The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

Direction	Address	Description	Zoning
North	400-Block of East 4 th Street	A mixture of detached and semi-detached dwellings consistent with the Residential Level 2 designation.	RT-1; CD-130
South	400-Block of East 3 rd Street	A mixture of detached, semi-detached, and multi-family homes.	RM-2
East	502 East 3 rd Street	BC Hydro Transfer Station; TransLink former bus depot	M-1
West	372 East 3 rd Street	3 storey multi-family rental residential apartment building	RM-1
West	423 East 4 th Street	Residential semi-detached dwelling	RT-1

Policy Framework

If the application proceeds to processing, staff would utilize existing policy, site context, and community feedback to review the application and provide a recommendation to Council based on the merits of the proposal.

Major policy documents that would form part of staff’s assessment of the proposal include:

- Metro Vancouver 2040: Shaping our Future (Regional Growth Strategy)
- City of North Vancouver Official Community Plan
- Council Strategic Plan
- Moodyville Development Permit Area Guidelines
- Active Design Guidelines
- Sustainability Checklist
- Housing Action Plan
- Density Bonusing and Community Benefits Policy

- Parks and Greenways Strategic Plan
- Bicycle Master Plan & AAA Bicycle Network
- Childcare Policy and Plan

PLANNING ANALYSIS

Although staff have not yet undertaken a fulsome review of the project, there are several areas of interest that have been identified. These include: neighbourhood character, the easement across the lane, and the proposed community amenity contribution. A preliminary assessment of project benefits and impacts is presented below.

Table 2. *Preliminary Assessment of Benefits and Impacts*

Benefits	Impacts
Neighbourhood Commercial	Increased Site Intensity
Local Community Amenities	Neighbourhood Character
Intensity proximate to RapidBus station	Construction Period

Neighbourhood Character

Changing the land use designation of the St. Davids Avenue parcel from Residential Level 2 to Mixed-Use Level 2 represents a change of character for the neighbourhood. The height and massing of a mixed-use building differs from that of a triplex. Extending the mixed-use area farther west along East 3rd Avenue also differs from the current designation found within the City's Official Community Plan. Ensuring the proposed design respects the character of the neighbourhood and considers the quality of life of adjacent parcels will be a key facet of staff's review.

The adjacent former bus depot site was envisioned as the primary commercial centre for the Moodyville neighbourhood during the preparation of the area's design guidelines. To date there has been no indication from the landowner that development will occur in the foreseeable future.

Easement

One design feature that is being explored through the application is a building span over the City's lane. The City will explore the issue in depth to ensure service levels are not impacted, and that all City interests are properly considered (ensuring adequate maintenance and insurance, complete review by all interested City departments).

Density Bonus and Community Benefits

The City's *Density Bonus and Community Benefits Policy*, in conjunction with the Official Community Plan, allows for density bonuses beyond: 1.6 FSR in the Residential Level 5 up to a maximum of 2.6 FSR; and 2.0 FSR in the Mixed-Use Level 2 up to a maximum of 2.5 FSR.

Preliminary analysis indicated that the proposed project would include community benefits valued at approximately \$8.5 million dollars, as outlined in Table 3 below.

Table 3. Estimated Value of Community Benefits through Density Bonusing

Density Value Calculation	Value
Density Bonus to Max Density OCP Density (37,895 square feet @ \$25 / sq. ft.)	\$947,370
Density Bonus to Max Bonus OCP Density (43,461 square feet @ \$175 / sq. ft.)	\$7,605,588
Total Value of Community Benefits	\$8,552,958

The policy provides a number of community benefits options for projects seeking additional density and ensures the community receives value for the additional density granted. The applicants have indicated the desire to explore options for the provision of in-kind benefits for a portion of their contribution. Currently, the applicant is considering a childcare facility to be run by a not-for-profit operator, and have expressed that they would be interested in negotiating off-site improvements in lieu of a portion of the cash contribution, such as improvements to parks or construction of the St. Davids Avenue greenway. At this time, staff are not asking for direction to explore in-kind benefits for off-site improvements; a cash contribution that could be aligned with projects identified in the City's work plan and budget would likely result in more efficient outcomes.

Regarding the on-site amenities, childcare is of particular interest due to the emerging need in the Moodyville area as a result of the increase in families living in the area as new developments are completed and residents take possession of their homes. The applicant has been in preliminary discussions with a non-profit childcare and institutional tenant who is considering operating the childcare facility. Should this outcome occur, there would be no cost to the City for the provision of a non-profit childcare facility as a part of this project, meaning the entirety of the \$8.5 M would be directed towards the City's Civic Amenity Reserve Fund and the Affordable Housing Reserve Fund.

COMMUNITY CONSULTATION

The applicant has been active in engaging the community leading to the submittal of their application, and they have indicated a generally positive reception from the neighbourhood. Staff expect the community to be interested in the proposed Official Community Plan and Zoning Bylaw amendments, which should provide significant opportunities for local input that could support refinement of the design.

Should Council provide direction to continue processing the application, there would be multiple opportunities for public input including a Developer Information Session (DIS), a facilitated town hall meeting, as well as the public hearing if the application is to move forward for Council consideration.

In addition to any public engagement, the project would be directed to the Advisory Planning Commission and the Advisory Design Panel for review.

CONCLUSION

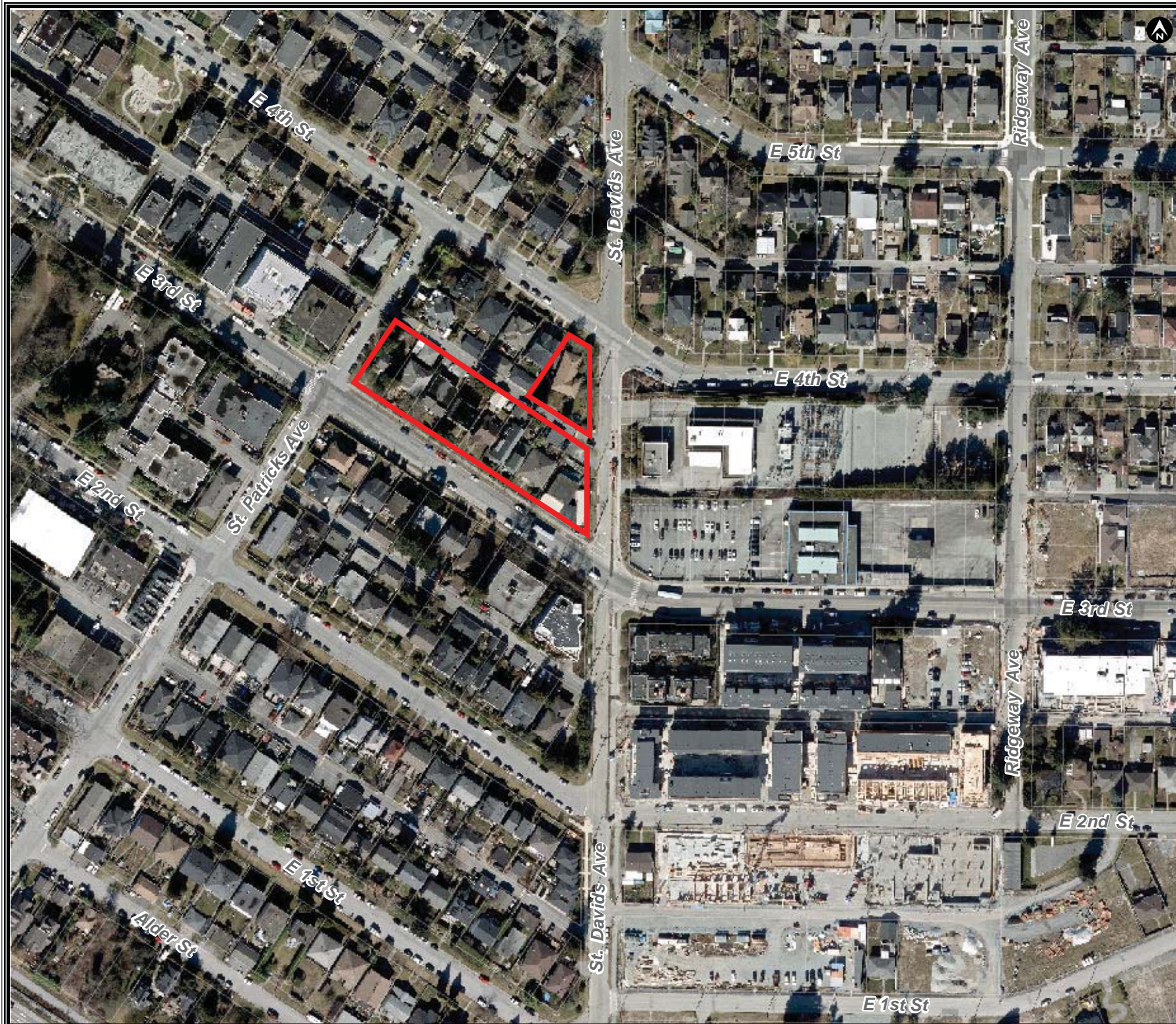
This report recommends that Council direct staff to proceed with processing the application and begin formal review; and to explore on-site in-kind community benefits. The application should be assessed on its merits, against Council's policy framework, and the public should be provided the opportunity to contribute their opinions for consideration.

RESPECTFULLY SUBMITTED:




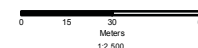
Mike Friesen
Planner 2

ME/eb



Legend

 Subject Site



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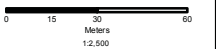
GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 8/18/2010
SOURCE: Various
COORDINATE SYSTEM: NAD 83 UTM Zone 10



City of North Vancouver Context Map

- Legend**
- 2014 OCP Maximum Height Limits (m)
 - 2014 OCP Special Study Areas
 - Residential Level 1
 - Residential Level 2
 - Residential Level 3
 - Residential Level 4A
 - Residential Level 4B
 - Residential Level 5
 - Residential Level 6
 - Mixed Use Level 1
 - Mixed Use Level 2
 - Mixed Use Level 3
 - Mixed Use Level 4A
 - Mixed Use Level 4B
 - Harbourside Waterfront (Mixed Use)
 - Parks, Recreation & Open Space
 - School & Institutional
 - Commercial
 - Mixed Employment
 - Industrial
 - Legal Parcels
 - Subject Site

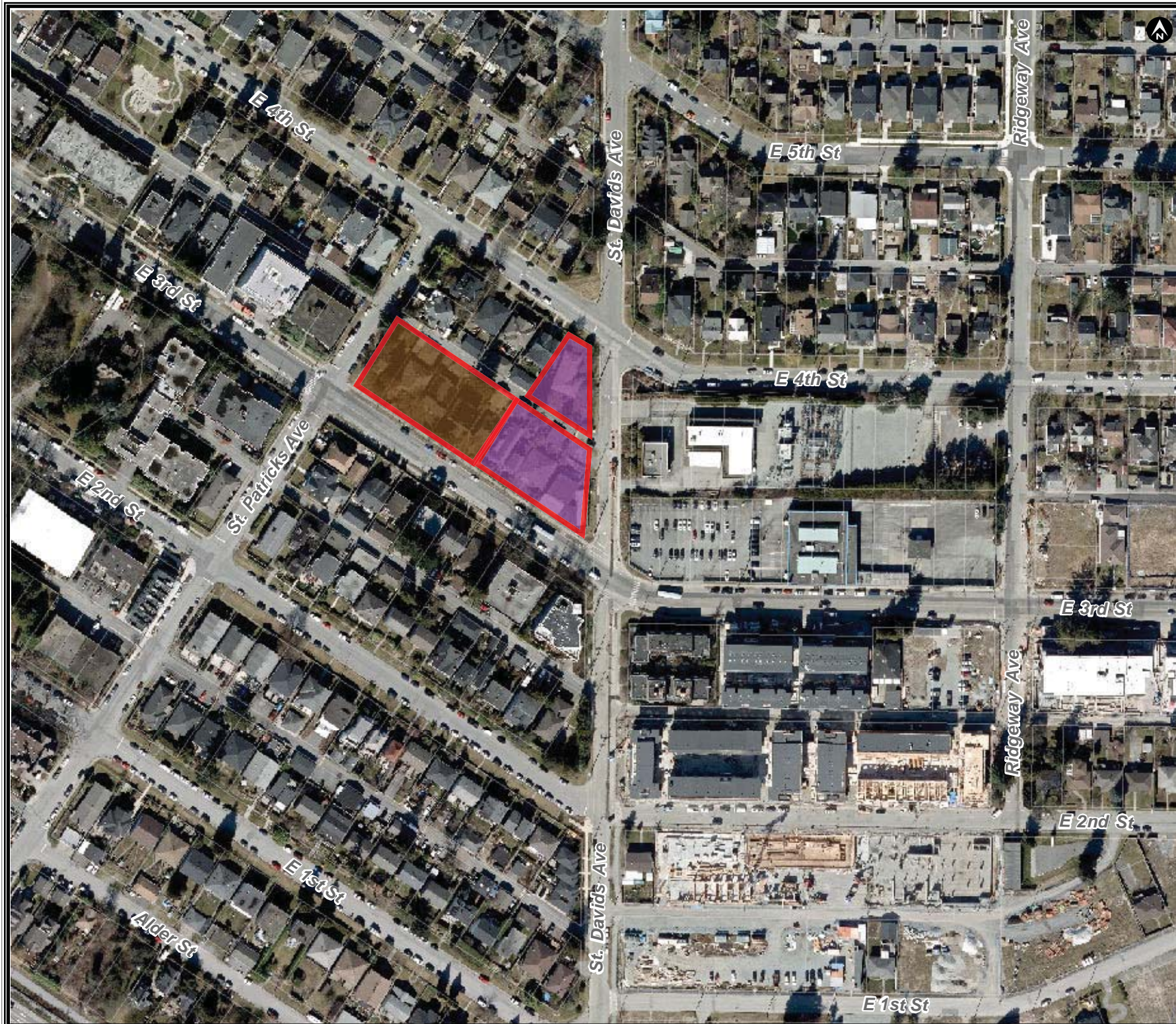


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City of North Vancouver

city
of north
vancouver



City of North Vancouver
Proposed Land
Use Designations

Legend

 Subject Site

Designations

 Mixed-Use Level 2

 Residential Level 5



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GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 8/18/2010
SOURCE: Various
COORDINATE SYSTEM: NAD 83 UTM Zone 10

city
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(PROJECT TEAM)

ST. PATRICKS. AVE

EAST 4TH STREET

ST. DAVIDS AVE.

AVE

EAST 3RD STREET

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

WEST BUILDING

NORTH BUILDING

EAST BUILDING

LANE

EAST 3RD STREET

(ARCHITECT SCALE)

(CLIENT)

Cascadia Green Development

(PROJECT)

402-438 E 3rd St & 341-343 St Davids Ave

North Vancouver, BC

(TITLE)

SITE PLAN

471 (PROJECT)

1/16" = 1'-0" (SCALE)

2019-08-20 (DATE)

Issue 02 - DP Submission (REVISION)

(DRAWING)

A-1.000



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(PROJECT TEAM)



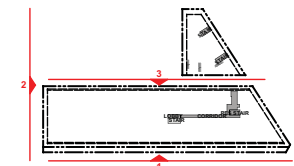
1 WEST & EAST BUILDING - SOUTH ELEVATION (EAST 3RD STREET)
SCALE: 1/16" = 1'-0"



2 WEST BUILDING - WEST ELEVATION (ST. PATRICKS AVE)
SCALE: 1/16" = 1'-0"



3 EAST & WEST BUILDING - NORTH ELEVATION (LANE)
SCALE: 1/16" = 1'-0"



(ARCHITECT NAME)

(CLIENT)

Cascadia Green
Development

(PROJECT)

402-438 E 3rd St &
341-343 St Davids Ave

North Vancouver, BC

(TITLE)

SITE ELEVATIONS

471 (PROJECT)

1/16" = 1'-0" (SCALE)

2019-08-20 (DATE)

Issue 02 - DP Submission (REVISION)

(DRAWING)

A-4.000



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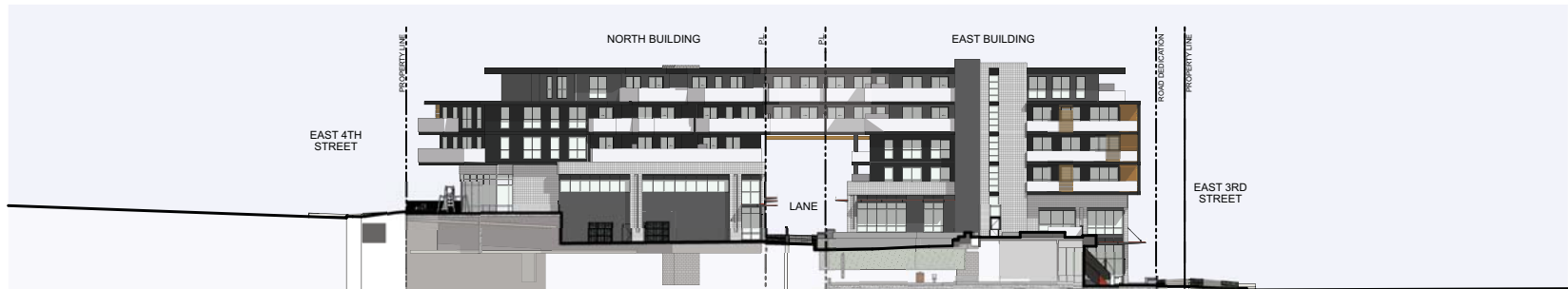
(PROJECT TEAM)



4 EAST & NORTH BUILDING - EAST ELEVATION (ST. DAVIDS AVE)
SCALE: 1/16" = 1'-0"



5 NORTH BUILDING - SOUTH ELEVATION (LANE)
SCALE: 1/16" = 1'-0"



6 NORTH & EAST BUILDING - WEST ELEVATION (COURTYARD)
SCALE: 1/16" = 1'-0"

(ARCHITECT NAME)

(CLIENT)

Cascadia Green
Development

(PROJECT)

402-438 E 3rd St &
341-343 St Davids Ave
North Vancouver, BC

(TITLE)

SITE ELEVATIONS

471 (PROJECT)

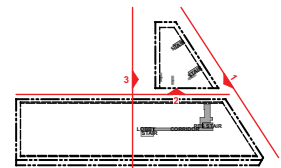
1/16" = 1'-0" (SCALE)

2019-08-20 (DATE)

Issue 02 - DP Submission (REVISION)

(DRAWING)

A-4.001



1 EAST BUILDING
SE CORNER



2 EAST BUILDING
RESIDENTIAL ENTRY



3 EAST BUILDING
COMMERCIAL FRONTAGE



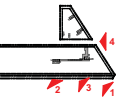
4 EAST & NORTH BUILDING
COMMERCIAL BASE & BUILDING LINK



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(PROJECT TEAM)



(ARCHITECT SCALE)

(CLIENT)

**Cascadia Green
Development**

(PROJECT)

**402-438 E 3rd St &
341-343 St Davids Ave**

North Vancouver, BC

(TITLE)

**PERSPECTIVES -
EAST BUILDING**

471 (PROJECT)

Not To Scale (SCALE)

2019-08-20 (DATE)

Issue 02 - DP Submission (WORK)

(DRAWING)

A-0.200

1 WEST BUILDING
SOUTH ELEVATION



2 WEST BUILDING
SE CORNER



3 WEST BUILDING
SOUTH ELEVATION



4 WEST BUILDING
LANE TOWNHOMES



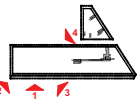
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(ARCHITECT SCALE)

(CLIENT)

**Cascadia Green
Development**

(PROJECT)

**402-438 E 3rd St &
341-343 St Davids Ave**
North Vancouver, BC

(TITLE)

**PERSPECTIVES -
WEST BUILDING**

(PROJECT)

471

Not To Scale

(SCALE)

2019-08-20

(DATE)

Issue 02 - DP Submission

(DRAWING)

A-0.210



1 NORTH BUILDING



2 NORTH BUILDING



3 NORTH BUILDING



4 NORTH BUILDING



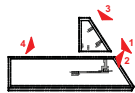
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Development

(PROJECT)

402-438 E 3rd St &
341-343 St Davids Ave

North Vancouver, BC

(TITLE)

**PERSPECTIVES -
NORTH BUILDING**

(PROJECT)

471

Not To Scale

2019-08-20

Issue 02 - DP Submission

(DRAWING)

A-0.220



2	Issued for Development Permit	2019/08/20
1	Issued for Rezoning	2019/08/20
	Revision No.	Date

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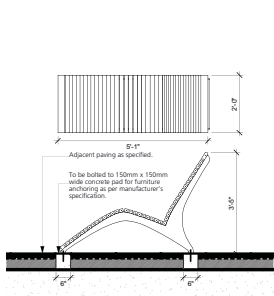
**Cascadia
Green Development**

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**402-438 E 3rd St &
341-343 St Davids Ave
North Vancouver, BC**

Drawing Title:
**Landscape Plan
Grade Level**

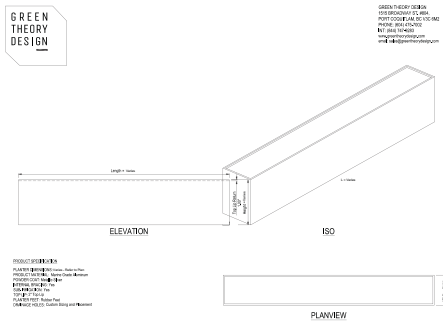
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Scale:	Job No.:	19-006
Sheet No.:		

L1.0



Model: MCL720-W
Manufacturer: Magin
Colour: PL + Silver Trimex
Contact: www.magin.com
Installation: Install as per manufacturer's specifications
Quantity: 15

1 LOUNGE SEATING
 1/2" = 1'0"



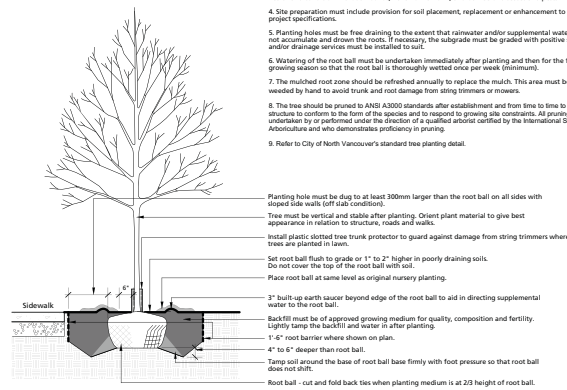
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Supplier: Planters Perfect or Approved Alternate
Contact: https://www.greentheorydist.com/
Colour: Metallic Silver
Installation: Install as per manufacturer's specifications

2 ALUMINUM PLANTERS
 NTS



Model: Ellis Planters
Manufacturer: Crescent Garden
Colour: Canvas Black
Contact: www.crescentgarden.com
Installation: Install as per manufacturer's specifications

3 PERIMETER ROOF PLANTER
 NTS



4 TREE PLANTING DETAIL - URBAN BOULEVARD
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URBAN AGRICULTURE



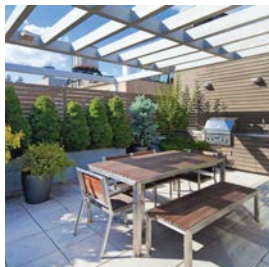
PATIO WITH CONCRETE PAVERS



CUSTOM BENCH



FEATURE CONCRETE STAIRS AND BENCHES



ROOFTOP PATIO WITH OUTDOOR FURNITURE AND CONCRETE PAVERS



ROOF LAWN AREA



ROOF PLAY AREA



PRECAST CONCRETE PAVING

5 PRECEDENT IMAGES
 1/4" = 1'0"

2 Issued for Development Permit	2019/08/20
1 Issued for Rezoning	2019/08/20
Revision No.	Date

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Client: **Cascadia Green Development**



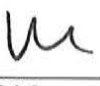
Project Title: **402-438 E 3rd St & 341-343 St Davids Ave North Vancouver, BC**

Drawing Title: **Landscape Details**

Project North:	Drawn By:	EML
	Checked By:	MP
Scale:	Job No.:	19-006
As Shown		
Sheet No.:		

L4.1



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Mike Friesen, Planner 2

Subject: REZONING APPLICATION: 339 EAST 13TH STREET (HEARTH
ARCHITECTURAL INC., CD-720)

Date: September 25, 2019 File No: 08-3360-20-0453/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION

PURSUANT to the report of the Planner 2, dated September 25, 2019, entitled
"Rezoning Application: 339 East 13th Street (Hearth Architectural Inc., CD-720)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717"
(Hearth Architectural Inc., 339 East 13th Street, CD-720) be considered and
referred to a Public Hearing;

AND THAT notification be circulated in accordance with the *Local Government
Act*.

ATTACHMENTS

1. Context Map (Doc# [1828508](#))
2. Condensed Architectural and Landscape Plans, dated May 2019 (Doc# [1828568](#))
3. Developer Information Session Summary (Doc# [1830780](#))
4. Zoning Amendment Bylaw No. 8717 (Doc# [1828584](#))

PROJECT DESCRIPTION

The project, located at 339 East 13th Street, consists of one two storey, duplex building and one infill building, with a three car garage and one additional unenclosed parking space; no accessory dwelling units are being proposed. The subject site currently hosts a single family dwelling, constructed in 1928, that will be demolished. The requested changes to the Zoning Bylaw to permit this development are identified in Table 1 below. Additionally, Attachment #4 has the amending bylaw with the proposed changes.

Table 1. Requested Changes to the Zoning By-law

Consideration	Current Designation/Regulation	Proposed Designation/Regulation
Zone	RT-1	CD-720
502: Uses in Two-Unit Residential Zones	Maximum of two principal dwelling units and two accessory dwelling units (total of four)	Permit three principal dwelling units only
509A 1: Principal Buildings	Limited to 1 per lot	Permit a 2nd principal building to accommodate the infill unit
509A 2: Gross Floor Area	Shall not exceed the lesser of 0.35 times the Lot Area plus 92.9 square metres (1000 square feet) or 0.5 times the Lot Area	Shall not exceed 0.5 times the Lot Area
509A 3: Lot Coverage	Shall not exceed a Lot Coverage of 35%	Shall not exceed a Lot Coverage of 40%
509A 5 B: Rear Lot Line Setback	15.7 metres (51.52 feet)	Reduced to 11 metres (36 feet) to accommodate the infill unit
509A 4 C: Building Height	Elevation principal buildings must be 0.76 metres (2.5 feet) above reference grade	Requirement eliminated for infill building in order to permit better response to natural topography.
514 5 C: Accessory Building siting	Accessory buildings must be sited a minimum of 6.1 metres (20') from a principal building	Reduced to 8' to accommodate the infill unit
Energy Performance	Building Code Minimum	Minimum of Step 3 of the BC Building Code Step Code

POLICY FRAMEWORK

The subject site is designated Residential Level 2 (R-2) within the Official Community Plan. This designation permits a range of ground-oriented housing in areas located between detached residential and more intensive residential or mixed-use areas. Duplexes with secondary suites, triplexes, and row homes are permitted in this designation.

Metro 2040	
Goal 1 Create a Compact Urban Area	Intensifying this site with infill that is consistent and scaled to the surrounding neighbourhood, will ensure the highest and best use of the land promoting a compact urban area.

<p><i>Goal 2</i> Support a Sustainable Economy</p>	<p>Infill on this site promotes housing forms that can support a diversity of income levels and ensure people live close to where they work.</p>
<p><i>Goal 4</i> Develop Complete Communities</p>	<p>The proposed development ensures the neighbourhood will have a diversity of housing stock that will promote the ability to age-in-place allowing people to stay in their neighbourhood throughout all of their lifecycles.</p>
<p><i>Goal 5</i> Support Sustainable Transportation Choices</p>	<p>Intensification of this site will support future transit investments along Lonsdale Avenue and is adjacent to a proposed AAA-Bike Facility along East 13th Street. The site is proximate to community and commercial amenities and is well situated to provide the occupants with a variety of transportation choices across the North Shore and the greater region.</p>

Official Community Plan	
<p><i>Policy 1.1.2</i> Align growth with the development community amenities and infrastructure</p>	<p>Intensification of the site supports the Central Lonsdale Area and future rapid transit infrastructure and community amenity investment.</p>
<p><i>Policy 1.3.1</i> Ensure that new development is compatible with the established urban form of the City, reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods</p>	<p>The proposed development on the site is appropriately scaled to the neighbourhood and supports the primacy of the Lonsdale Regional City Centre. The duplex form of the front units will be consistent with the neighbourhood that has recently seen several new duplexes constructed and the infill unit has been oriented to minimize impact on existing neighbours.</p>
<p><i>Policy 1.3.5</i> Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings</p>	<p>The proposed building is consistent with the neighbourhood character, while landscape elements have been revised in order to improve privacy for adjacent properties. The materiality and scale of the new dwelling is consistent with the surrounding neighbourhood.</p>
<p><i>Policy 1.3.6</i> Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner</p>	<p>The proposed architecture and building materials of the new dwelling are consistent with the surrounding urban form and the local context.</p>

<p><i>Policy 1.3.9</i> Explore ways to activate laneways in the City including opportunities for varied uses, pedestrian and cycling activity as well as storm water management and urban agriculture.</p>	<p>The development presents an attractive landscape element along the rear lane while accommodating required parking. Connection from the street to the lane is supported by a common rear yard that promotes natural surveillance and will support future activation of the laneway.</p>
<p><i>Policy 1.5.1</i> Provide opportunities for a range of housing densities, diversified in type, size and location.</p>	<p>The proposed infill development provides a smaller housing form that assists in units for a broader range of incomes. This form will help to provide more diverse housing in a neighbourhood that is accessible to the City's Lonsdale core area. Due to a lack of space to achieve Zoning Bylaw requirements for parking, the applicants cannot integrate accessory dwelling units into their proposed development.</p>
<p>Housing Action Plan</p>	
<p><i>Action #6</i> To increase the diversity of homeownership options in lower density neighbourhoods.</p>	<p>By splitting the density between three primary dwelling units (as opposed to a duplex that splits density between 2 units), the project reduces the size and the cost of the new, family friendly (3+ bedrooms) units.</p>
<p>Sustainable Development Guidelines</p>	
<p><i>Natural Systems</i> The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members.</p>	<p>The project is proposing a common garden plot as a central feature of the landscape plan.</p> <p>A rainwater garden will help to reduce impact on City infrastructure while supporting on-site vegetation.</p> <p>All trees that are being removed to support redevelopment are being replaced on-site.</p>
<p><i>Physical Structures/Infrastructure</i> The ability to effectively deliver basic services, shelter and physical amenities required to sustain the health and well-being of the community. This includes water supply, sanitary sewer, stormwater drainage, solid waste management, roads, telecommunications, and energy efficiency and conservation including district energy. As well, this category includes attractive streetscapes, durable</p>	<p>The project will achieve Step 3 of the BC Building Code Step Code, one step greater than the requirements required at the time of application.</p> <p>The project will provide a statutory right-of-way along the East 13th Street frontage of their property to support the ongoing development of the City's active transportation network.</p>

buildings, provision of a range of housing types and adequate community amenities.	
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PLANNING ANALYSIS

Site Context

The surrounding land uses are identified in Table 2 below.

Table 2. Surrounding Uses

Direction	Address	Description	Zoning
North (across East 13th Street)	336, 342 E 13th Street	Single family dwellings	RS-1
North (across East 13th Street)	318-332 E 13th Street	Lions Gate Hospital Hospice Care and Accessory Uses	CD-551
East	345 East 13th Street	Duplex Dwelling	RT-1
South	332, 336, 340 East 12th Street	Duplex dwelling	RT-1
West	333 East 13th Street	Single Family Dwelling	RT-1

Generally, the surrounding neighbourhood is made up of duplexes and single family homes. The area was a part of the City's Duplex Development Permit Area - when that policy was still in effect - and many of the surrounding homes have been redeveloped over the past decade.

The subject site is located approximately 350 metres away from Lonsdale Avenue and has direct access to two proposed AAA cycling routes (East 13th Street and St. Andrews Avenue).

Use

The policy framework applicable to the subject site supports the proposed three dwellings as residential use. The site is located in close proximity to transit as well as Central Lonsdale's commercial and social amenities. Additionally, the units will provide greater diversity of housing stock in the area, potentially providing an alternative to traditional duplex development.

Intensity

The proposed intensification on the site is appropriate for the neighbourhood given the surrounding density and the land use designation. The Residential Level 2 designation

permits the development of triplexes, and the proposal builds off of the City's coach house policy to develop a site plan for multiple buildings on a single site.

In response to community concerns regarding the potential for accessory dwelling units, the design was amended to create an open connection between storeys in order to reduce the likelihood of suites. Additionally, the original application proposed similar development for the two properties to the east (345 & 349 East 13th Street); in response to neighbourhood concerns regarding the proposed number of units, the applicant chose to proceed with duplex development on those properties and reduce the scope of the project only to 339 East 13th Street. The proposal provides four parking spaces on-site to serve the three principal units - three in a garage and one outdoor visitor space - which is greater than the required bylaw minimum but inadequate to support multiple accessory dwelling units on site.

With regard to environmental standards, the proposed development will achieve Step 3 of the BC Building Code Step Code. Level 2 electric vehicle charging capacity will be provided for each of the parking spaces. Storm water will be addressed through a rain garden, as well as retention tanks to mitigate more significant storm events.

Form

The urban form proposed for the site satisfies the policy intent of ensuring new development is consistent with the character of the surrounding neighbourhood. The form of the development will conform generally to the attached drawings (Attachment 2: Condensed Architectural and Landscape Plans, dated May 2019). From the street the project resembles a traditional duplex development, with massing that is sympathetic to neighbouring units, and exhibits architectural details and materials that are reminiscent of traditional North Vancouver houses. The infill unit conforms to the changing grade and utilizes landscape features - common garden plots, new tree plantings - to provide opportunities for future residents to interact, while ensuring privacy for the proposed units as well as neighbours. The orientation of units and landscape treatment approaching the lane will support passive surveillance of public areas as well as future activation of the lane. The front duplex building conforms to setbacks and heights stipulated by the Two-Unit Residential 1 (RT-1) zone, the variances identified above provided to support a livable and contextually sensitive infill unit. The site's four parking spaces are accessed via the lane.

COMMUNITY CONSULTATION

A Developer Information Session (DIS) was held June 12, 2018 at St. Andrew's United Church, located several blocks from the proposed development location. Eight members of the public attended the session and three comment forms were received. The applicant has provided a summary of the event (Attachment 3: Developer Information Session Summary)

The development information session uncovered two primary concerns:

1. General concerns regarding density (number of families, having appropriate parking, etc.) and development (concerns regarding the construction period); and
2. The removal of trees and the subsequent reduction in privacy and changes in character associated with that removal.

Significant amendments to the design were undertaken in response to the neighbourhood concerns. Foremost among them a reduction in scope of the project from three lots - each containing a duplex plus infill unit - to a single duplex plus infill lot with the remaining properties undertaking traditional duplex development consistent with existing zoning. In response to concerns regarding the conversion of basements to accessory dwelling units, the applicant integrated an "open to below" void with the central staircase that creates a direct connection between each of the floors and significantly reduces the feasibility of developing illegal suites.

With regard to the removal of trees, the applicant has revised their landscape plan in order to address the concerns. The removal of trees is often required in order to develop a property, whether due to the new placement of buildings or landscape features, the potential interference with the provision of services, or due to the impacts of construction. The applicant has provided an arborist report that outlines the health and possibility for retention of the various trees and bushes on the property. The report does not recommend the preservation of any of the trees, however, in order to address concerns regarding privacy and overlook, as well as to promote the retention of the City's sylvan character, the proposed project will replace all of the trees that are removed with new trees; special attention was paid to providing new trees along the western property line in order to respect the privacy of the adjacent residents.

ADVISORY BODY INPUT

The application was directed to the Advisory Design Panel on two separate occasions: June 20th and October 17th, 2018. On the second occasion, the Panel recommended the approval of the project subject to addressing the following issues to the satisfaction of the Development Planner assigned to the file:

- Further exploration of the usefulness of the space between the two infill units on the west side;
- Consider the potential for the duplex units' living room access to the front porch and front lawns;
- Utilize these changes to help define variation amongst the street frontage;
- Consider front verandas for more interface with the street and pedestrians;
- Reconsider the 13th streetscape interface in consideration of accommodating future street designs like a bike lane;
- Break down the overall massing of the roofscape for the duplexes by potentially adding ceiling height in the bedrooms and expressing that on the exterior;

- Ensure adequate lighting on address posts and paths for visibility and CPTED impacts;
- Investigate the potential for skylights or windows over the generous three storey stairwells in the duplexes to bring natural light into the units;
- Consider increasing the use of pavers for permeability and esthetics;
- Applicant to review response to Step Code 3 requirements overall with durability of the exterior cladding; and
- Consider the use of a more natural material palette.

Many of the comments are no longer applicable considering the reduction in scope of the project from three lots to one, however staff can confirm the items suggested by the Panel were investigated and addressed to staff satisfaction.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS

Although the application was submitted well in advance of the endorsement of Council's Strategic Plan, the plan is consistent with the priorities identified by Council.

Council Strategic Plan	
A City for People	Shared food production spaces in landscape plan; gentle density to support a range of housing options along the housing continuum.
A Liveable City	Rain garden to support on-site retention and use of rainwater; replacement of removed trees; step 3 of the BCBC Step Code; electric vehicle charging stations.
A Vibrant City	Common gardening and food production area to support neighbour interaction; architectural form that is responsive to existing neighbourhood character.
A Connected City	Proximity to major transit routes and planned investments; proximity to planned and existing AAA cycling network infrastructure; near to shops and services of the Lonsdale City Centre.
A Prosperous City	Location of additional density supports the viability of the Lonsdale commercial core and the ongoing development of Lonsdale Avenue as a high street.

CONCLUSION

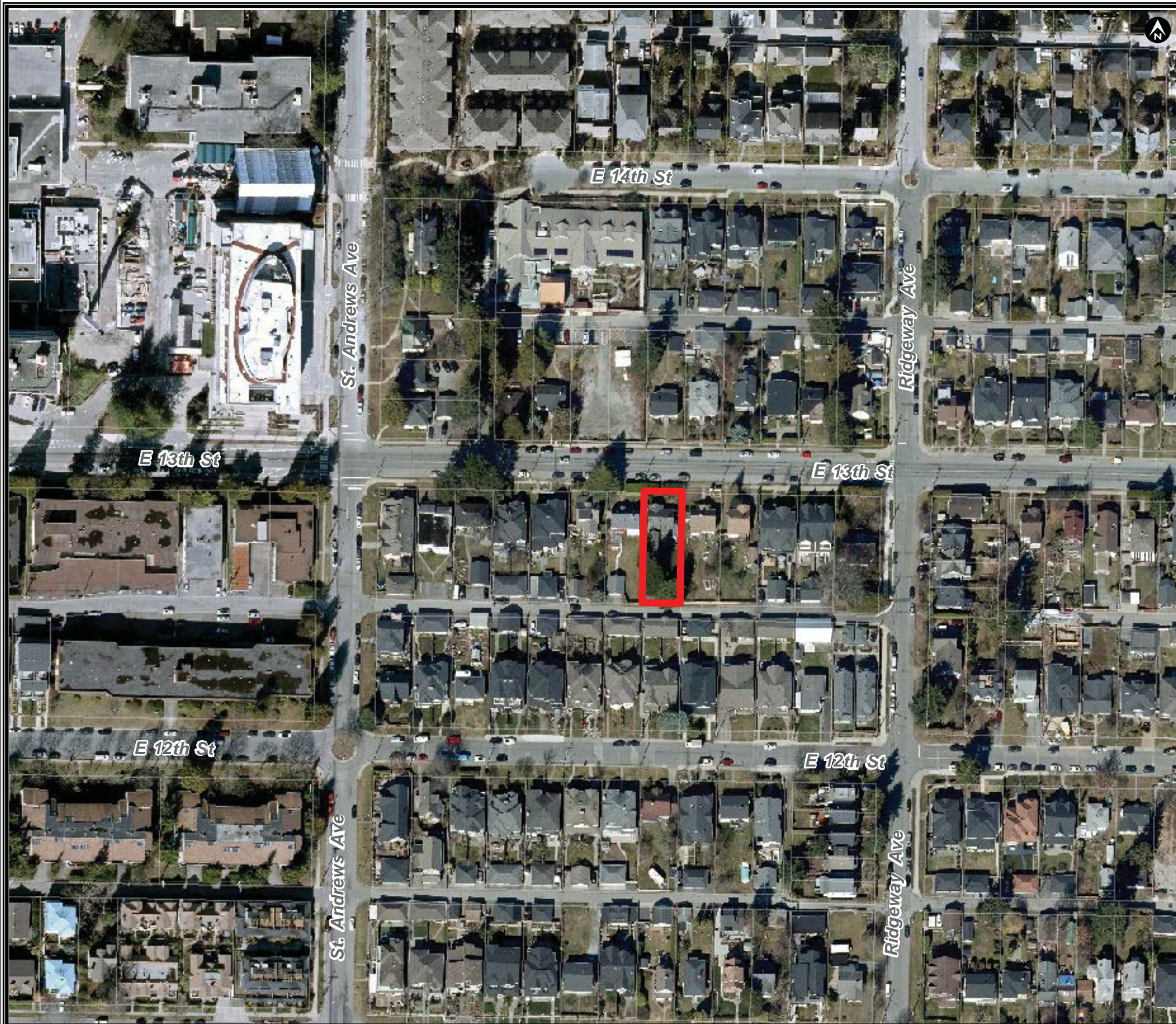
The proposed application represents an appropriate development for the land use designation and a design that is responsive to the site's context. Gentle intensification – including the development of infill units – adjacent to the Lonsdale Core will support transportation infrastructure improvements and enhanced amenities in the area. The requested zoning change and development proposal are consistent with the Region's and the City's planning policies. Overall, the application looks to implement a development that fits the surrounding neighbourhood character and provides increased density in an appropriate location.

RESPECTFULLY SUBMITTED:




Mike Friesen
Planner 2

MF/eb



Legend

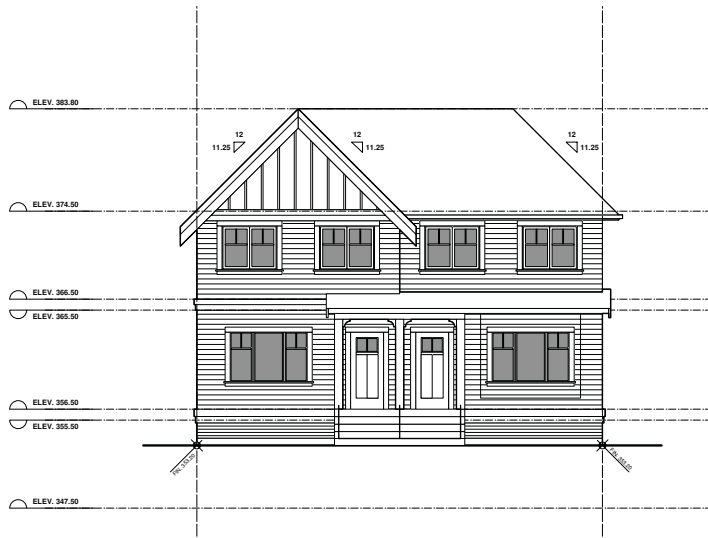
 Subject Site



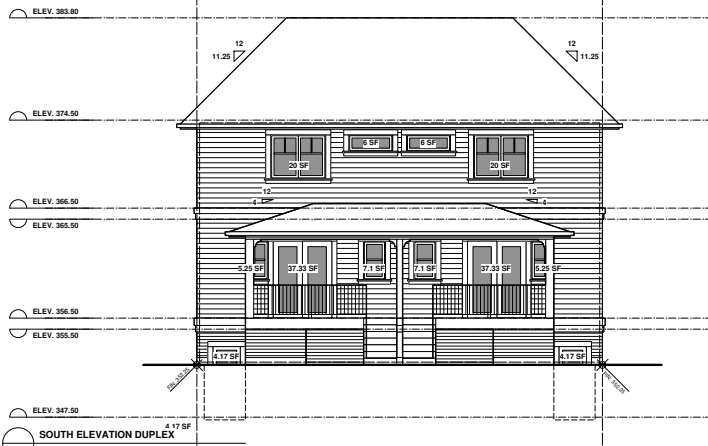
DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

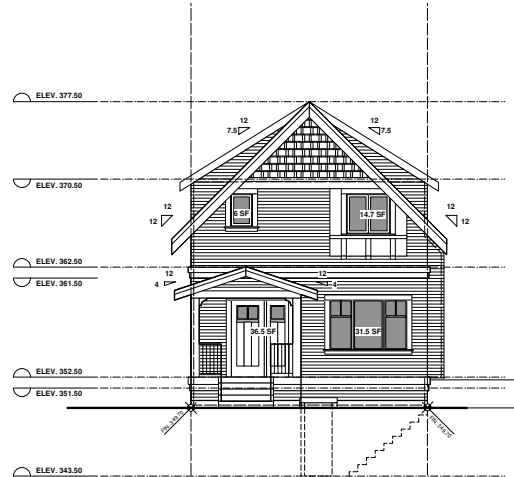


NORTH ELEVATION DUPLEX



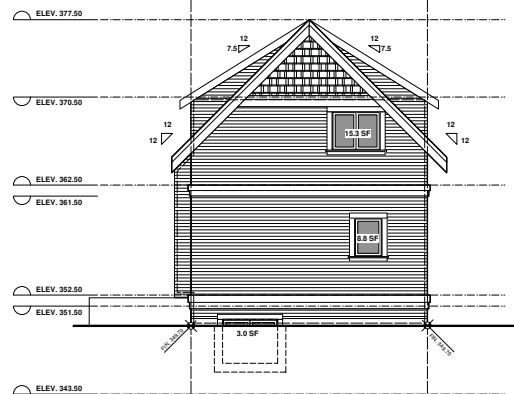
SOUTH ELEVATION DUPLEX

Limiting Distance			
	Lower from Top	Specific from Site	Upper from Top
	2	3.81	4
	40	11.00%	30.01%
	50	10.00%	28.00%
	100	8.00%	17.15%
Exposing Building Face			
	Specific from Site		
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	30.01%	28.79%	28.29%
	In AREA	16.38	
Proposed Unprotected Openings		7.42	
As a percentage		9.74%	



NORTH ELEVATION INFILL

Limiting Distance			
	Lower from Top	Specific from Site	Upper from Top
	2	3.81	4
	40	11.00%	30.01%
	50	10.00%	28.00%
Exposing Building Face			
	Specific from Site		
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	30.01%	28.79%	28.29%
	In AREA	12.48	
Proposed Unprotected Openings		8.34	
As a percentage		19.04%	



SOUTH ELEVATION INFILL

Limiting Distance			
	Lower from Top	Specific from Site	Upper from Top
	2	3.81	4
	40	7.00%	7.00%
	50	7.00%	7.00%
Exposing Building Face			
	Specific from Site		
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	7.00%	7.00%	7.00%
	In AREA	3.06	
Proposed Unprotected Openings		2.5	
As a percentage		8.82%	

MATERIALS LIST

ROOF: LAMINATED ASPHALT SHINGLES - BLACK

CLADDING 1: CEMENT BOARD SHINGLES - PAINT FINISH

CLADDING 2: CEMENT BOARD - BOARD AND BATTEN - PAINT FINISH

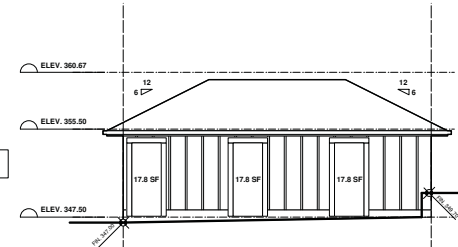
CLADDING 3: CEMENT BOARD - HORIZONTAL SIDING 3 1/2" EXPOSURE - PAINT FINISH

CLADDING 4: CEMENT BOARD - HORIZONTAL SIDING 6" EXPOSURE - PAINT FINISH

WINDOWS: VINYL WINDOWS - WHITE FRAME

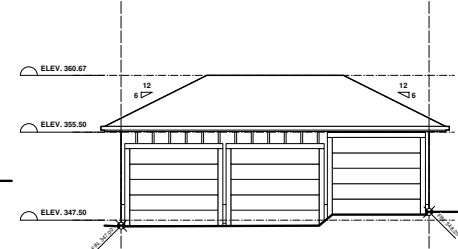
TRIM: S3S OR COMB FACED MATERIAL - PAINT FINISH

ENTRY DOORS: WOOD GRAIN DOORS - PAINT FINISH



NORTH ELEVATION GARAGE

Limiting Distance			
	Lower from Top	Specific from Site	Upper from Top
	2	3.81	4
	40	11.00%	30.01%
	50	10.00%	28.00%
Exposing Building Face			
	Specific from Site		
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	30.01%	28.79%	28.29%
	In AREA	12.48	
Proposed Unprotected Openings		8.34	
As a percentage		19.04%	



SOUTH ELEVATION GARAGE

Limiting Distance			
	Lower from Top	Specific from Site	Upper from Top
	2	3.81	4
	40	7.00%	7.00%
	50	7.00%	7.00%
Exposing Building Face			
	Specific from Site		
Max Exposing Building Face	40	43.27	50
Unprotected Openings Allowed	7.00%	7.00%	7.00%
	In AREA	3.06	
Proposed Unprotected Openings		2.5	
As a percentage		8.82%	



224 - 2323 Quebec Street
Vancouver BC V5T 4S7
Tel 604.206.4677 Fax 604.206.4679

www.HEARTHworks.ca

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the Builder to pay very close attention to actual site dimensions, general site conditions which may vary from those shown on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions	No.	Date	Details	By
1	NOV 19 2017	ISSUED FOR DISC.	VJM	
2	NOV 17 2017	ISSUED FOR PRELIMINARY COORD.	VJM	
3	NOV 20 2017	ISSUED FOR PRELIMINARY COORD.	VJM	
4	DEC 19 2017	ISSUED FOR RZ	VJM	
5	JAN 11 2018	re-ISSUED FOR RZ	VJM	
6	APR 04 2018	re-ISSUED FOR RZ	VJM	
7	JUN 13 2018	ISSUED FOR ADP	VJM	
8	JUL 5 2018	COORD	VJM	
9	AUG 24 2018	COORD	VJM	
10	OCT 3 2018	re-ISSUED FOR ADP	VJM	
11	DEC 6 2018	ISSUED FOR CLIENT	VJM	
12	DEC 11 2018	ISSUED FOR COORD	VJM	
13	JAN 07 2019	re-ISSUED FOR RZ	VJM	
14	JAN 25 2019	re-ISSUED FOR RZ	VJM	
15	MAY 7 2019	ISSUED FOR COORD	VJM	
16	MAY 23 2019	re-ISSUED FOR RZ	VJM	



Project
Cobblestone Fina Development Group
339 East 13th Street
City of North Vancouver BC

Drawing Title
NORTH AND SOUTH ELEVATIONS

Date
OCT 19 2017

Project No.
1803

Scale
SCALE 3/16"=1'-0"

Drawn By
HAI

Approved By
VJM

A3.2

Mike Friesen MCP, Planner
Planning and Development
City of North Vancouver
BC V7M 1H9

September 25, 2019

Re: 339 345 349 Eat 13th Street – Developer Information Session Report

Dear Mr. Friesen,

The purpose of this letter is to frame and summarize the developer information session (DIS) we hosted on June 12, 2018 for the above captioned project. This letter will also explain how we reacted to some of the concerns and criticism with our design and design approach.

The Session was held at St. Andrews Church at 1044 St. Georges Avenue in the City of North Vancouver. This location was chosen because of the proximity to the subject property to hopefully encourage those with an interest to be able to walk conveniently to our location. As per the City requirements this session was advertised and neighbours in the vicinity were notified. The event was held between 6-8 pm. Salient architectural panels of the plans, elevations, landscape material and contextual information were set up around the church hall facility.

In attendance were the developers (two persons who were not formally identified, but filtered through the exhibits and spoke to people generally). As you know, you attended on behalf of the Planning Department, while I attended as the architect of record. In general, the DIS was sparsely attended, which was not surprising given the scale of the proposal and the number of recent duplexes in the neighbourhood. We actively encouraged all those who attended to sign in and ideally to comment, so that their voices may be heard.

In the end, eight individuals signed in, representing only six households. All of the households represented were in the 300 block of either East 12th or East 13th Streets. All guests had arrived by 7:00 pm. Because we were limited to three response sheets, I can identify the concerns or accolades (if any) on each.

1. Against proposal. This individual encouraged us to only develop duplex density – with no infill units.
2. Partial support. Concerns about density and parking, conversions of basements to illegal suites.
3. “Maybe” support. Concerns about parking and conversions of basements to illegal suites.

After receiving this information, we attempted to integrate these comments into our further design development. These comments were instrumental in the reallocation of our unit density within the proposal. In fact, the proposal morphed into a 4-lot subdivision consisting of three duplexes to the east, with the only large, remaining lot (339) requesting a duplex plus infill.

At 339, while we have still allowed for basement access to the infill and the duplex building, in order to mitigate concerns about illegal conversions of basement suites, we purposefully designed all stairs as interconnected and with open to below features that would make conversion more impractical. We did opt to keep the full in ground basements as originally proposed given the smaller size of the units in order to increase liveability.

Please let me know if we can provide any more information.

Best regards,


2019-09-25
Joe Muego Architect AIBC
Principal Architect, Hearth Architectural Inc.

VHM/tbm

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8717

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717**” (Hearth Architectural Inc., 339 East 13th Street, CD-720).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-720 (Comprehensive Development 720 Zone):

Lots	Block	D.L.	Plan	
8	76	550	1450	from RT-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:

- A. Adding the following section to Section 1100, thereof, after the designation “CD-719 Comprehensive Development 719 Zone”:

“CD-720 Comprehensive Development 720 Zone”

- B. Adding the following to Section 1101, thereof, after the “CD-719 Comprehensive Development 719 Zone”:

“CD-720 Comprehensive Development 720 Zone”

In the CD-720 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the RT-1 Zone, except that:

- (1) Two Principal Buildings shall be permitted on one Lot;
- (2) Three primary dwelling units shall be permitted on the Lot;
- (3) The Principal Buildings shall not exceed a combined Gross Floor Area of 0.50 times the lot area;
- (4) The Principal Buildings shall not exceed a Lot Coverage of 40 percent;
- (5) Principal Buildings shall be sited as in the RT-1 zone, except that:
 - (a) the Principal Buildings shall be sited not less than 11 metres (36 feet) from the rear lot line;

- (6) Section 509A (4) (c) shall not apply to the southernmost Principal Building;
- (7) Accessory Buildings shall not be sited less than 2.4 metres (8 feet) from a Principal Building;
- (8) Principal Buildings shall achieve a minimum of Step 3 of the BC Building Code Step Code;
- (9) All exterior finishes, design and landscaping shall be approved by the Advisory Design Panel.

READ a first time on the <> day of <>, 2019.

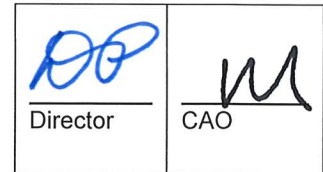
READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



The Corporation of **THE CITY OF NORTH VANCOUVER**
ENGINEERING, PARKS AND ENVIRONMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Karyn Magnusson, Deputy Director, Engineering Parks and Environment

Subject: LANE BEAUTIFICATION: ESPLANADE TO CARRIE CATES COURT
PROJECT– FUNDING REALLOCATION

Date: October 3, 2019 File No: 11-5400-06-0001/1

The following is a suggested recommendation only. Please refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Deputy Director, dated October 3, 2019, entitled “Lane Beautification: Esplanade to Carrie Cates Court Project – Funding Reallocation”:

THAT \$100,000 of existing funding from Project 53228 - Keith Road Improvements, East Grand Boulevard to Brooksbank be reallocated to fund the Lane Beautification, Esplanade to Carrie Cates Court Project.

BACKGROUND:

As part of the 2018 Capital Projects Budget, Council allocated \$160,000 City funding combined with \$40,000 of external funding provided by BC Hydro for the beautification and enhancement of the lane west of the Unit Block Lonsdale connecting Esplanade to Carrie Cates Court. Much of the lane improvement is being completed by the adjacent development site however the City has a component of the project involving improvements that include undergrounding the overhead utilities on four existing poles and refinishing the lane surface to create an open and welcoming space for people moving through the neighbourhood, accessing the nearby businesses and to provide an enhanced and fully accessible entrance to the new NV Museum from the Shipyards area.

This work is scheduled to be completed in conjunction with the adjacent Polygon Site 8 development at 120 Carrie Cates Court.

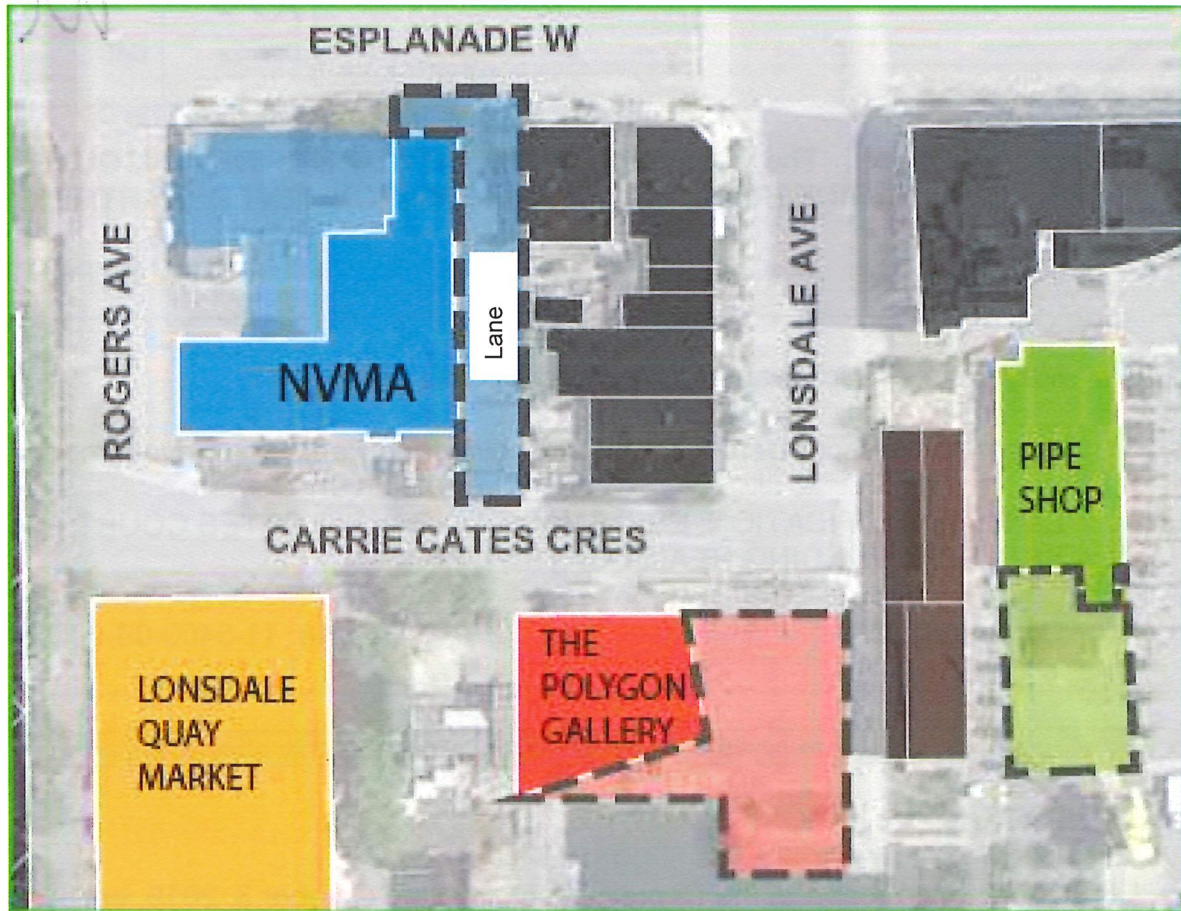


Figure 1: Lane improvement to create an enhanced public space as part of the Shipyards District

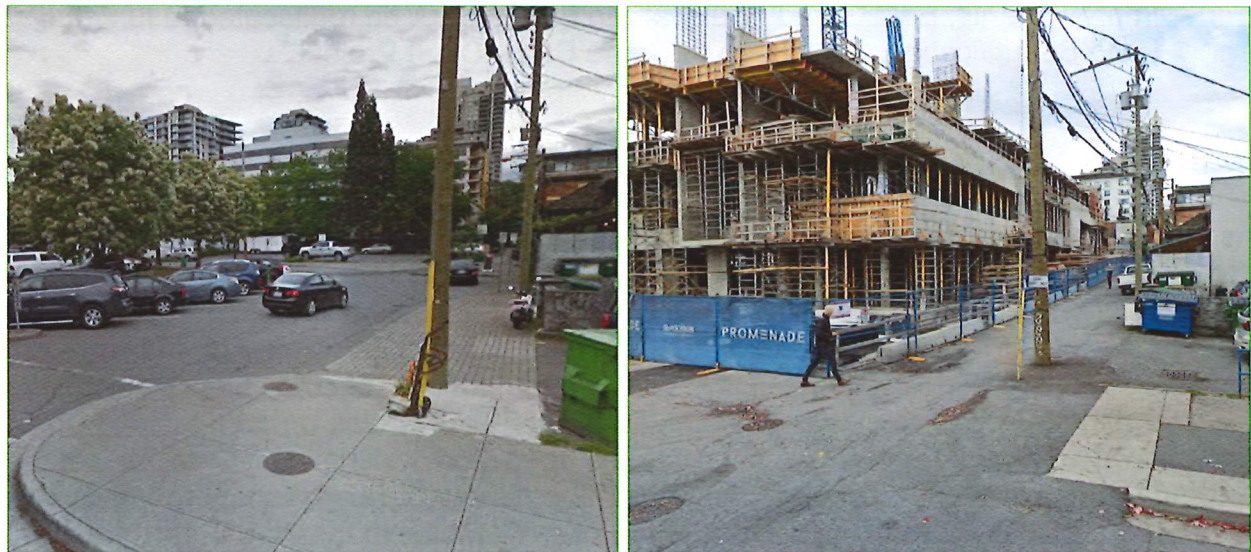


Figure 2: Google street view of the lane from Carrie Cates Court dated May 2016 and October 2018.



Figure 3: Google street view of the lane from Esplanade dated May 2015 and October 2018



Figure 4: Rendering of completed project

DISCUSSION:

Work on the lane beautification is well underway with the developer's component of the grand stair and public elevator nearing completion. Work to underground the utilities is also well underway but there are some critical components remaining that will exceed the current budget. Staff have sought and received several quotes for the remaining work. Early quotes were considerably beyond the resources for the project (up to \$200,000 over budget) and staff began to examine alternate improvement options to reduce the costs. Options that would result in only undergrounding two of the four poles, reducing the lane finishing and then completing the full build in a future phase when the development of the Lonsdale fronting properties occurred seemed like the best option. On October 2 staff received a significantly lower quote that provides an opportunity to retain the original design on the original schedule. This lower cost option takes advantage of synergies with the adjacent development site and enables us to complete the full design as intended however this still requires a reallocation of \$100,000 of existing funds to award the contract for the complete scope of work. Subject to Council approval for reallocation of funds, staff are excited to see this important space receive the high level of design improvement that will enable this lane to perform as a vibrant public space.

Costs to undertake this work have been higher than originally estimated due to three primary reasons:

- scope of work relating to non-Hydro utilities was poorly understood when the project was initiated,
- scope of work required to address the private property connection was underestimated, and
- general cost escalation of the electrical and civil components of the work.

To make funds available to complete this work, staff wish to reallocate funds from Project 53228 - Keith Road Improvements: East Grand Boulevard to Brooksbank. Improvements to Keith Road including provision of mobility lanes are still an important endeavor, however a best approach would be to study the traffic patterns and movement desire lines once both the MoTI interchange at Mountain Highway is and the Casano-Loutet Highway 1 crossing is complete. This reallocation of funds will not affect the pedestrian signal intended for Hendry Avenue and East Keith Road which is intended to be installed in 2020.

To further reduce the CNV component of the project costs staff approached Hydro to request an increase in grant funding, which was not supported. Shaw is contributing 50% of the cost for underground and their infrastructure which is considered in the new project budget. Telus is not making a contribution to the project.

FINANCIAL IMPLICATIONS:

Total available funding is \$200,000 (including funds spent to date) which is not sufficient to complete the project as envisioned. City policy requires that project funding be available and appropriated before a contract can be awarded.

To proceed with the project and award the contract to the bidder with the lowest quote, staff recommend reallocating \$100,000 from an existing project to provide total project funding of \$300,000. The revised budget is summarized in Table 1, below.

Table 1: Summary of Existing Funds and Additional Funding Required	
Existing Funding	
Hydro (External)	\$40,000
CNV 2018 Financial Plan	\$160,000
Subtotal	\$200,000
Requested Reallocated Funding	
Reallocation from existing projects 2019	\$100,000
Total	\$300,000

INTER-DEPARTMENTAL IMPLICATIONS:

This report was prepared in collaboration with the Finance Department.


The Planning and Development Department was consulted in reviewing alternative options for improvements to this lane.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS:

This proposed work supports the following goals and objectives of the City's 2014 Official Community Plan:

- 1.3.5: Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings;
- 2.2.2: Strategically manage on and off-street transportation facilities to prioritize more sustainable forms of transportation by providing measures such as pedestrian-level lighting;
- 3.1: Enhance well-being and quality of life for all community members;
- 5.2: Support, enhance and maintain recreation as a vital aspect of a healthy community.

RESPECTFULLY SUBMITTED:



Karyn Magnusson, P.Eng.,
Deputy Director, Engineering Parks and
Environment