



**AGENDA FOR THE SPECIAL REGULAR MEETING OF COUNCIL  
TO COMMENCE AT 6:00 PM, IN THE COUNCIL CHAMBER, CITY  
HALL, 141 WEST 14<sup>TH</sup> STREET, NORTH VANCOUVER, BC, ON  
WEDNESDAY, JULY 17, 2019**

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**WEDNESDAY, JULY 17, 2019  
SPECIAL REGULAR COUNCIL MEETING – 6:00 PM**

“Live” Broadcast via City Website [www.cnv.org/LiveStreaming](http://www.cnv.org/LiveStreaming)  
Complete Agenda Package available at [www.cnv.org/CouncilMeetings](http://www.cnv.org/CouncilMeetings)

**CALL TO ORDER**

**APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, July 17, 2019

**PUBLIC HEARINGS – 6:00 PM**

**PRESENTATION**

Overview of Rezoning Applications for Cannabis Retail Stores – Development Planner

**PUBLIC HEARING – 1200 Lonsdale Avenue**

**BYLAW – THIRD READING**

2. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”  
(Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722)

**PUBLIC HEARING – 725 West 14<sup>th</sup> Street**

**BYLAW – THIRD READING**

3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713”  
(City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720)

**PUBLIC HEARING – 315 Lonsdale Avenue**

**BYLAW – THIRD READING**

4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716”  
(Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue,  
CD-341 Text Amendment)

**ADJOURN**



**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**  
**Special Regular Council Meeting Agenda – July 17, 2019**

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**CALL TO ORDER**

**APPROVAL OF AGENDA**

1. Regular Council Meeting Agenda, July 17, 2019

**PUBLIC HEARINGS – 6:00 PM**

**PRESENTATION**

Overview of Rezoning Applications for Cannabis Retail Stores – Development Planner

*Items 2, 3, and 4 refer.*

**PUBLIC HEARING – 1200 Lonsdale Avenue**

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722) would rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 722 (CD-722) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.

*Bylaw No. 8717 to be considered under Item 2.*

**AGENDA**

Staff presentation  
Applicant presentation  
Representations from the public  
Questions from Council  
Motion to conclude the Public Hearing

**BYLAW – THIRD READING**

2. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”  
(Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722)

**RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”  
(Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722)  
be given third reading.



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**PUBLIC HEARING – 725 West 14<sup>th</sup> Street**

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713” (City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720) would rezone the property from a Service Commercial (CS-1) Zone to a Comprehensive Development 720 (CD-720) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.

*Bylaw No. 8713 to be considered under Item 3.*

**AGENDA**

Staff presentation  
Applicant presentation  
Representations from the public  
Questions from Council  
Motion to conclude the Public Hearing

**BYLAW – THIRD READING**

3. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713”  
(City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720)

**RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713”  
(City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720) be given third reading.



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**PUBLIC HEARING – 315 Lonsdale Avenue**

“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) would amend the text of Comprehensive Development 341 (CD-341) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.

*Bylaw No. 8716 to be considered under Item 4.*

**AGENDA**

Staff presentation  
Applicant presentation  
Representations from the public  
Questions from Council  
Motion to conclude the Public Hearing

**BYLAW – THIRD READING**

4. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment)

**RECOMMENDATION:**

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) be given third reading.

**ADJOURN**





## THE CORPORATION OF THE CITY OF NORTH VANCOUVER

### PUBLIC HEARING GUIDELINES

#### Permitted Use of Cannabis Sales to Allow for Cannabis Retail Stores

Public Hearings are governed by the provisions of the *Local Government Act* and held for the purpose of allowing members of the public an opportunity to make representations to Council – in person at the Public Hearing(s) or by written submission – on a proposed amendment to the City's Official Community Plan and/or Zoning Bylaw. All persons who believe their interest in property is affected by the proposed bylaw(s) will be given a reasonable opportunity to be heard, voice concerns or present written submissions regarding the matters contained within the bylaw(s).

All written submissions and representations made at the Public Hearing(s) will form part of the official record. Minutes of the Public Hearing(s) and a video recording of the proceedings will be posted on the City's website at [cnv.org](http://cnv.org).

The Mayor has determined the following procedural rules for the conduct of the Public Hearing(s):

- A sign-up sheet will be posted outside of the Council Chamber at 4:30 pm on the day of the Public Hearing(s). Members of the public may sign the sheet, including their name and address, if they wish to speak at the Public Hearing(s). The sign-up sheet is restricted to "in person" sign-up only. Other persons are not permitted to sign the sheet on another speaker's behalf. Speakers cannot pre-register.
- Separate sign-up sheets will be provided for speakers – those persons in support and those in opposition or with concerns. The Mayor will call up speakers by name, one at a time, and will alternate speakers between the two sign-up sheets.
- Speakers will be asked to state their name and address for the record and will be provided one opportunity, up to a maximum of 5 minutes, to present their comments and express their views. After all people listed on the sign-up sheet have spoken, the Mayor will ask if anyone else in the Council Chamber wishes to come forward to speak, if they have not already spoken. Comments must be limited to the matters contained within the bylaw(s) regarding land use and no one is to obstruct the Public Hearing process.
- At the Public Hearing, everyone will be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views heard. All people in the Council Chamber are requested to refrain from applause, outbursts or other forms of expression, showing either support or opposition regarding any of the applications.
- A document camera is available should a member of the public wish to display hardcopy material/ information on the monitors in the Council Chamber. The document camera can also display information from an iPad or tablet. If a person wishes to provide written material to the Mayor and Council, it must be handed to the City Clerk for distribution to Council.
- Members of Council may ask questions of a speaker in order to clarify or expand on their submission. However, the main function of Council members is to listen to the views of the public regarding the change of land use in the proposed bylaw(s). It is not the function of Council to debate the merits of an application with speakers at the Public Hearing(s). Questions from members of the public and Council must be addressed through the Chair.

Council is not permitted to receive any further information or submissions after the close of the Public Hearing(s).

Following adjournment of the Public Hearing(s), the bylaw(s) will be discussed and debated by Council and then considered for third reading.

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# Rezoning Applications for Cannabis Retail Stores

**Presented July 17, 2019**  
Planning and Development Department

# Background

- October 17, 2018
  - Recreational Cannabis was legalized
- Federal Government
  - Cannabis Act
- Government of British Columbia
  - Cannabis Control and Licensing Act
- City of North Vancouver
  - Recreational Cannabis Retail Policy

# Recreational Cannabis Retail Policy



- September 17, 2018
  - Council approved the way recreational cannabis could be distributed in the City.
  - Six retail stores maximum.
  - Recreational grade only.
  - Medicinal cannabis through Federal licensed producers only.

# Recreational Cannabis Retail Policy



- Location Criteria (OCP)
  - Mixed Use Level 2, 3, 4A, 4B, Mixed Use Harbourside Waterfront, and Commercial.
    - 2 in Central Lonsdale
    - 2 in Lower Lonsdale
    - 1 in the West part of the City
    - 1 in the East part of the City

# Recreational Cannabis Retail Policy



- Separation from Sensitive Uses (100 metres)
  - Community Recreation Centers
  - North Shore Neighbourhood House
  - North Shore Shelter
  - North Vancouver School District Office
  - Public elementary and secondary schools

# Recreational Cannabis Retail Policy



- Recreational Cannabis Sales is currently not allowed anywhere in the City.
  - Requires a rezoning application.
  - Would permit the Cannabis Sales use on that particular property.
  - Approval or refusal of the rezoning would form the Municipal response to the applicant's request for a cannabis retail license.



# Recreational Cannabis Retail Policy



- On November 19, 2018 six applications were selected by an open submission on a first-come-first-served basis.
- The successful candidates were invited to make a full application and go through the rezoning process.
  - 725 West 14<sup>th</sup> Street
  - 1717 Lonsdale Avenue
  - 221 West 1<sup>st</sup> Street
  - 315 Lonsdale Avenue
  - 1200 Lonsdale Avenue
  - 333 Brooksbank Avenue (Park and Tilford)

# Urban Design - Streetfront



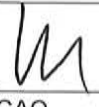
- Provincial regulations.
- Will be working with both the applicant and Provincial regulators during the Building Permit process.



Thank you.

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 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING AND DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 1200 LONSDALE AVENUE (MARK LONG / BC LIQUOR DISTRIBUTION BRANCH)

Date: June 12, 2019 File No: 08-3360-20-0493/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION:**

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 1200 Lonsdale Avenue (Mark Long / BC Liquor Distribution Branch)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717" (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

**ATTACHMENTS:**

1. Context Map (doc#[1772983](#))
2. Submitted Drawings (doc#[1775410](#))
3. Community Impact Statement (doc#[1775408](#))
4. Proposed Security Plan (doc#[1775409](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 1200 Lonsdale Avenue (doc#[1791539](#))
7. Sign-in sheet and General Public Comments (doc#[1775340](#))
8. Zoning Text Amendment Bylaw No. 8717 (doc#[1774374](#))



## PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 1200 Lonsdale Avenue.

## BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

## **DISCUSSION**

### **Project Description**

The subject site is a ground floor unit in the Lonsdale Place building at 1200 Lonsdale Avenue, located at the north east corner of Lonsdale Avenue and East 12<sup>th</sup> Street (Attachment #1). The unit entrance is slightly sunken from the sidewalk at the corner of the property. The proposed store would occupy approximately 276.5 square metres (2,977.0 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3), which describes the applicant's contribution towards the regulation of safer cannabis products and distribution, and their proposed Security Plan, which outlines how their operation will comply with Provincial regulations (Attachment #4).

### **Site Context and Surrounding Use**

The building on the subject site is a commercial building providing a number of professional health related services such as medical offices and massage clinics.

The immediate area has a mixture of ground floor commercial along the Lonsdale Avenue corridor with mid-rise residential apartment buildings to the east. The location is along a major public transit corridor, with many other commercial businesses and residential buildings within easy walking distance.

## **PLANNING ANALYSIS**

### **Policy Context**

#### *2014 Official Community Plan*

The subject site has a designated land use of Mixed Use Level 3 which supports higher-density multi-family and commercial uses to strengthen the City's major arterial roads and corridors.

The proposed store entrance is directly at the corner of Lonsdale Avenue and East 12<sup>th</sup> Street. The upward slope of Lonsdale Avenue and East 12<sup>th</sup> Street from the proposed store entrance causes some of the store front to be blocked by the sidewalk, having the store



appear to be in a lower level. The extent of this is considered minor, as most of the store front is visible along both Lonsdale Avenue and East 12<sup>th</sup> Street.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, store front is set back from the corner and the windows along both street fronts that would be covered are minimized given the slope of the sidewalk.

The building itself is a commercial building that was built in the late 1990s. The only change that is being proposed would be a Tenant Improvement to the unit space that would require a Building Permit.

Overall, no amendment to the OCP is required with this application.

#### *Recreational Cannabis Retail Policy*

The application does conform to the criteria provided within the policy, as it is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of Queen Mary Elementary School, and it was one of two applications in the Central Lonsdale area.

#### *Zoning Bylaw 1995, No. 6700*

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

*means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist in a British Columbia regulated Pharmacy.*

Zoning Amendment Bylaw 8717 (Attachment #8) would allow the use to exist in this location. The current Zone of General Commercial (C-2) does permit retail stores.

The size of the store would require the applicant to supply at least six parking stalls within the property. Given the number of required parking for this use is the same for all uses under the C-2 Zone, parking requirements are satisfied.

## **COMMUNITY CONSULTATION**

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications. From the 91 people who signed in for the event (Attachment #6), staff received five written comments relating to this application.



The comments were in general opposition to the proposal and relate to the personal safety of people who work in the building as well as the area. Increased traffic generation and parking challenges on the site and along the street were also raised as concerns.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #7.

## CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the Lonsdale Avenue corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:

  
\_\_\_\_\_  
David Johnson  
Development Planner

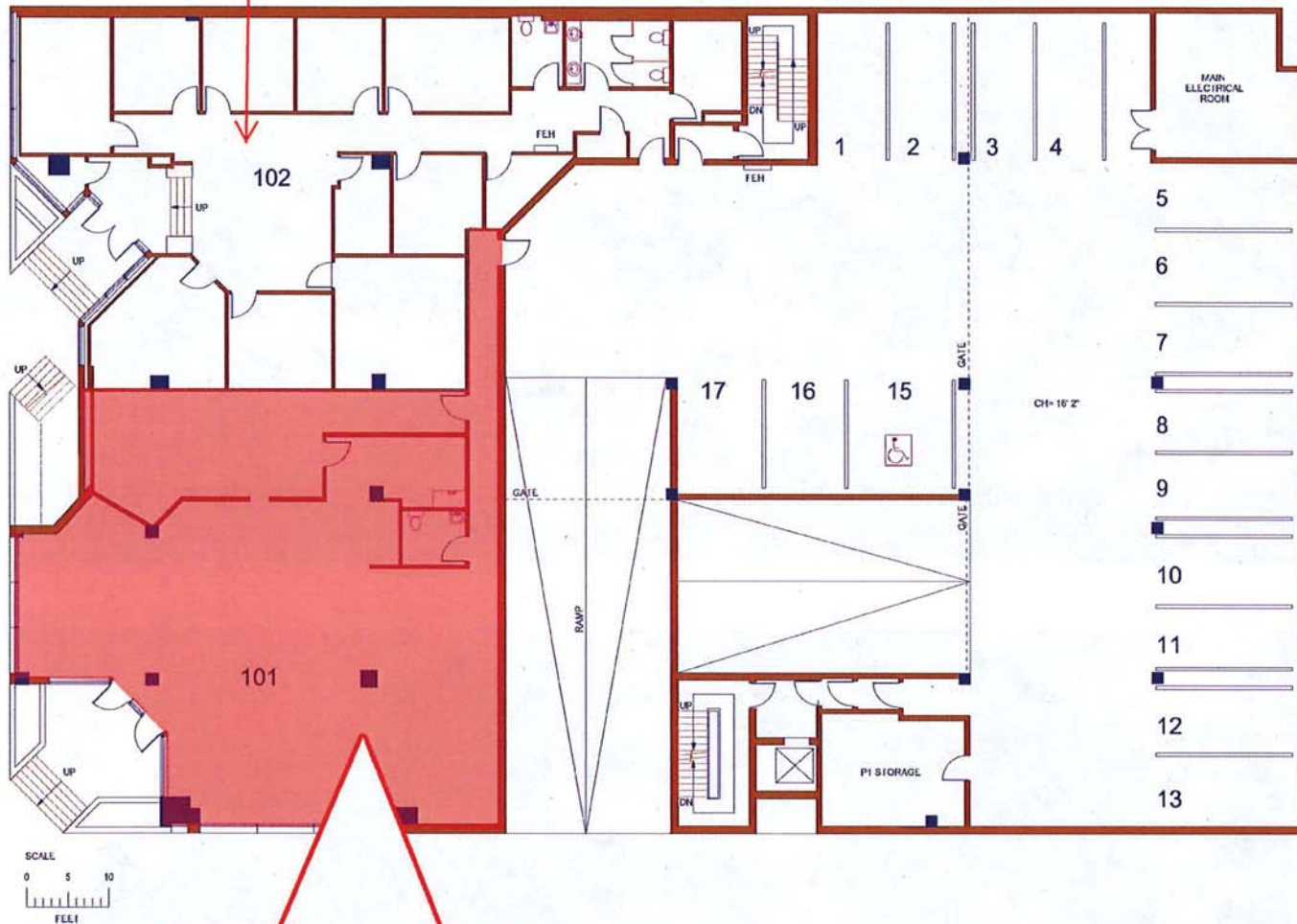








Peoples Pharamcy



**SITE**

Date: JANUARY 16, 2011

Scale: AS NOTED

Drawn: D.O.

PROJECT No.:

DRAWING No.:

**PROJECT:  
LONSDALE PLACE**

ADDRESS: 1200 LONSDALE AVENUE,  
NORTH VANCOUVER, BC

CLIENT:  
Turner Meakin Management Co. Ltd.

DRAWING TITLE:  
DETAILED PLAN 1st FLOOR & PARKING 1

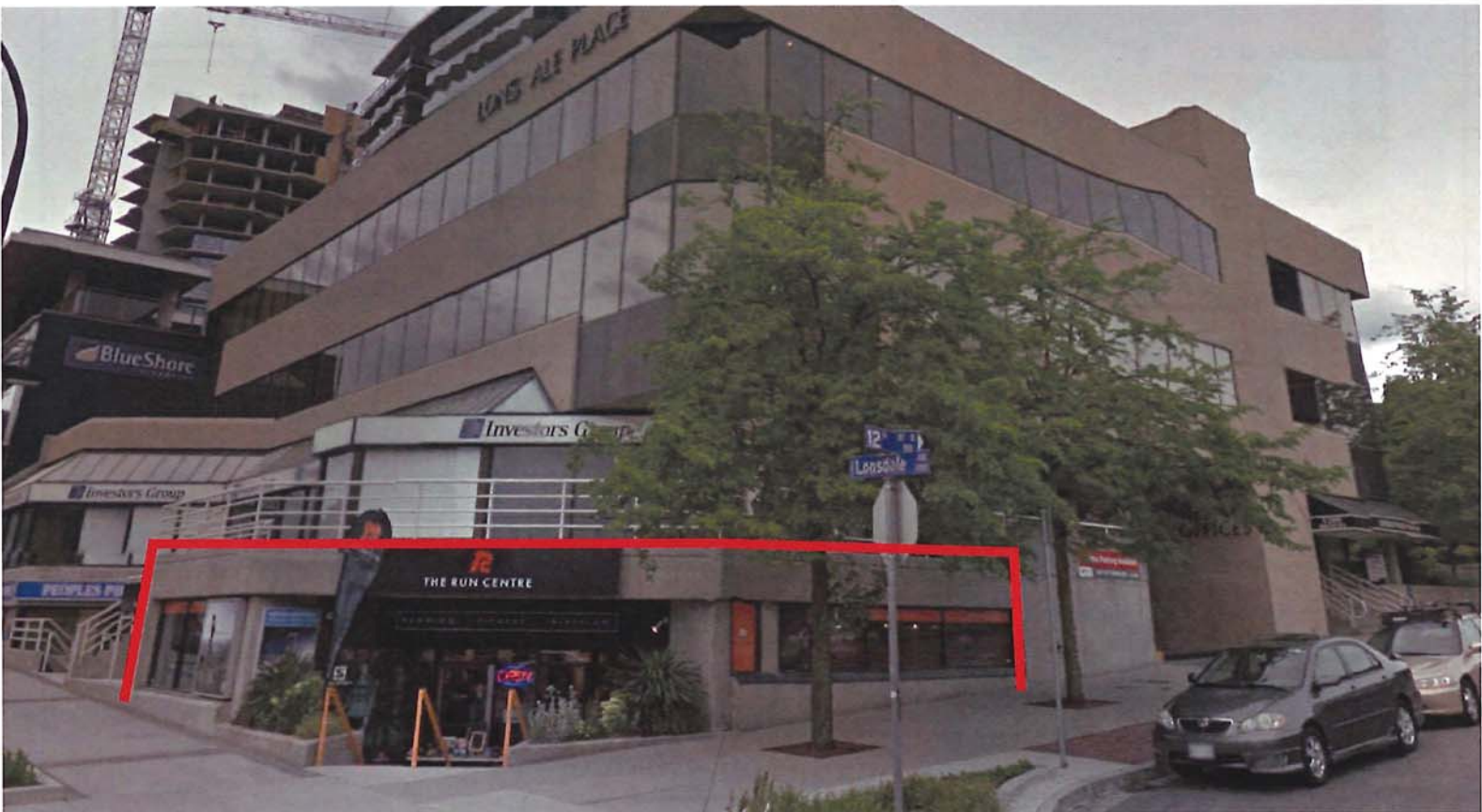


AS BUILD PLANS-AREA CHARTS-SPACE PLANNING

CALGARY: (403)-365-0215  
VANCOUVER: (778)-786-2000  
Fax: (403)-668-1382  
E-mail: [jon@accuspacemeasuring.com](mailto:jon@accuspacemeasuring.com)  
Website: [www.accuspacemeasuring.com](http://www.accuspacemeasuring.com)

REVISION - JANUARY 16, 2011

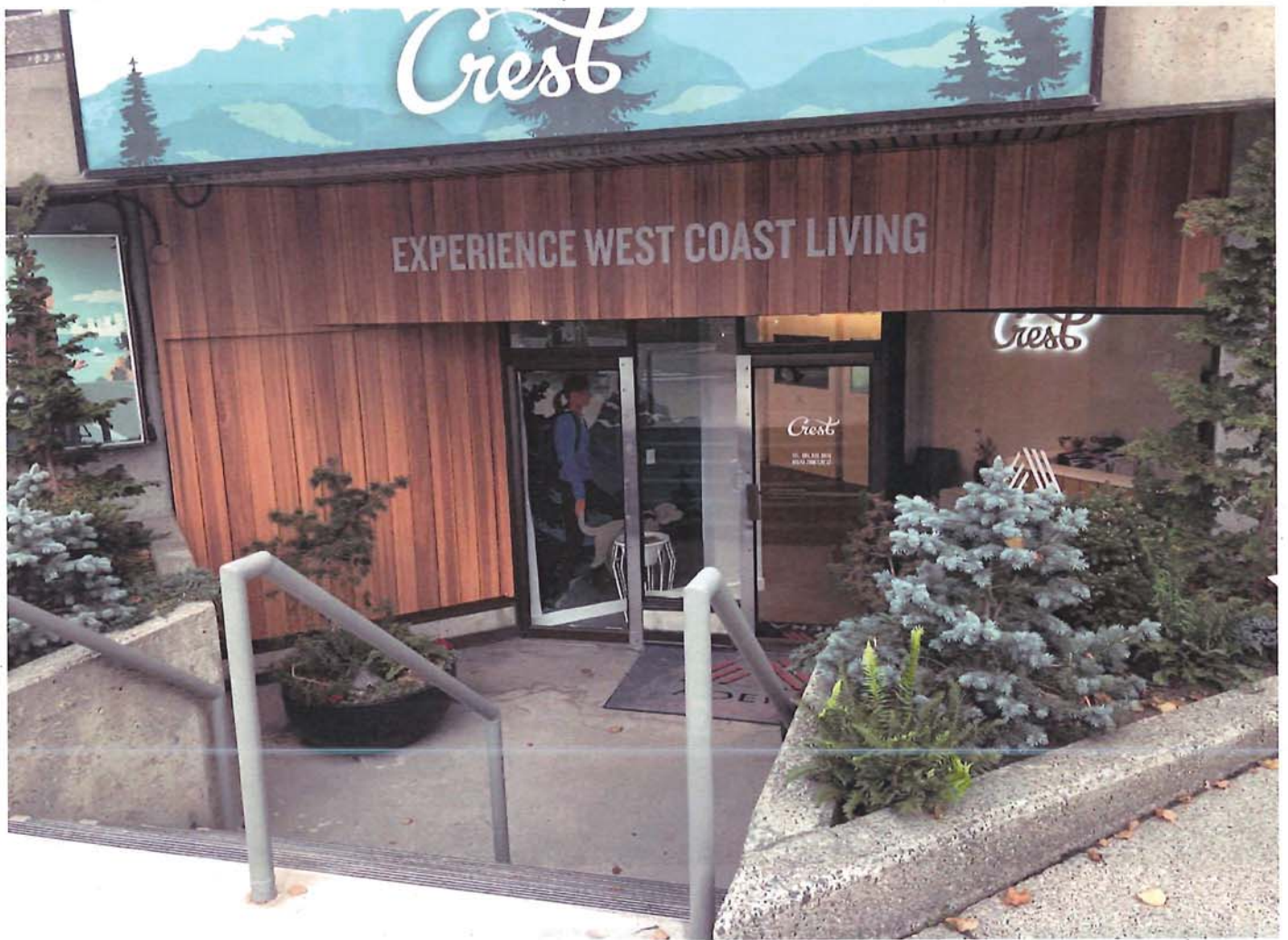




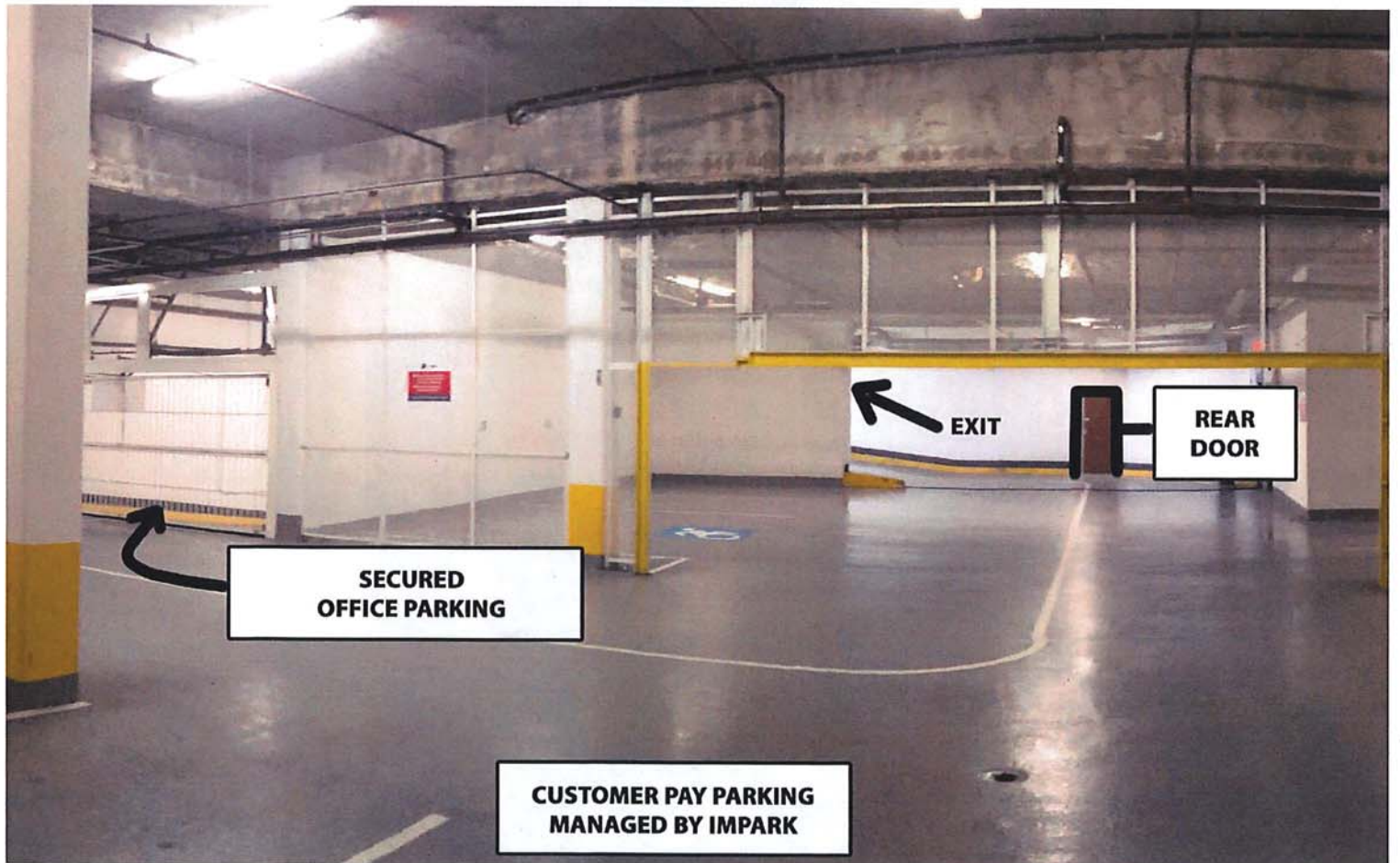
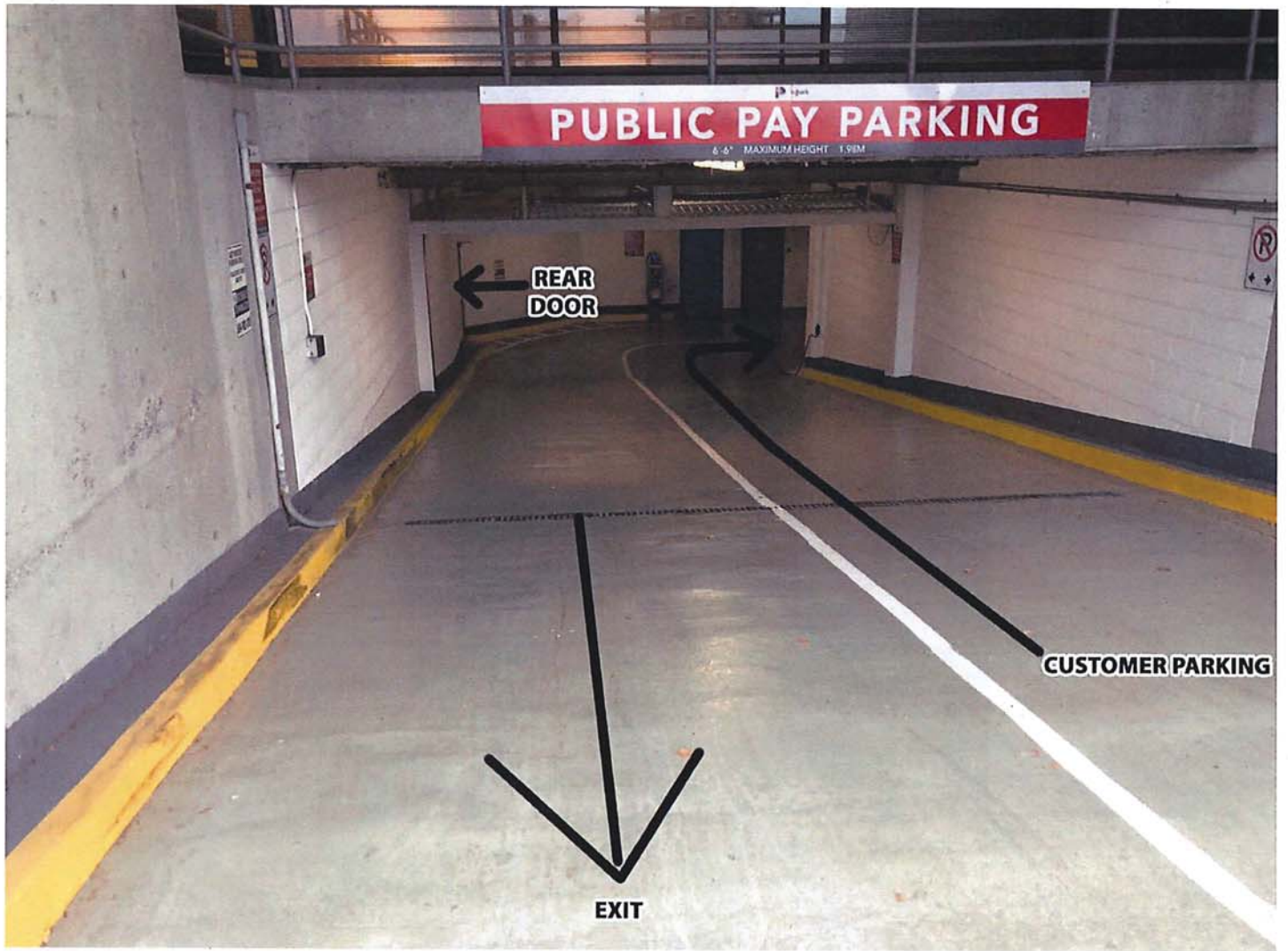










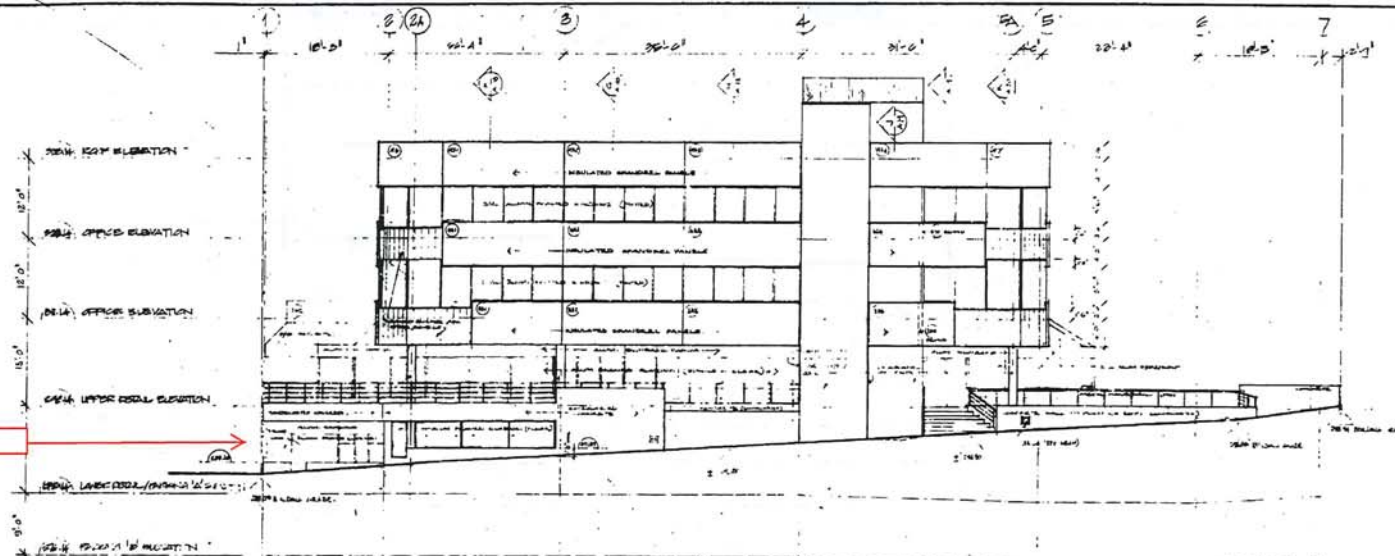




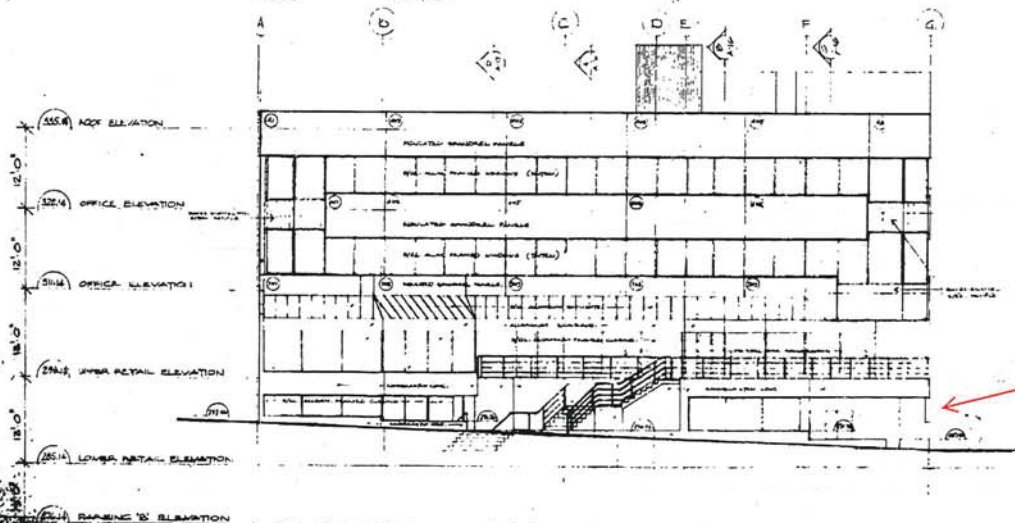


REAR SURFACE  
PAY PARKING

SITE



**North Elevation** (TO 12TH STREET)



**West Elevation** (TO LONSDALE)

NOTES	
REV. A	1. 12TH ST. ELEVATION, UPPER FLOOR, ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004.
REV. B	1. 12TH ST. ELEVATION, UPPER FLOOR, ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004.
REV. C	1. 12TH ST. ELEVATION, UPPER FLOOR, ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004.
REV. D	1. 12TH ST. ELEVATION, UPPER FLOOR, ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004.
REV. E	1. 12TH ST. ELEVATION, UPPER FLOOR, ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004, 12TH ST. ELEVATION, REVISED TO 2004.

1208 LONSDALE AVE.  
NORTH VANCOUVER BC  
OFFICE RETAIL BUILDING

ANNAND  
BURTON-BROWN  
ARCHITECTS  
305 - NO. 1 ALEXANDER STREET  
VANCOUVER, B.C. V6A 1B2

ELEVATIONS  
SOUTH & WEST  
(12th St & Lonsdale Ave)

DATE: 12-12-01

1208 LONSDALE 1200

A-09







# **BC CANNABIS STORES**

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**LIQUOR  
DISTRIBUTION  
BRANCH**





**Professional.  
Experienced.  
Responsible.**

**With nearly 100 years of  
experience retailing liquor  
products, we know what it  
means to be a good neighbour.**



# Purpose

To make high-quality cannabis products and education available to all customers – from the discerning to the new – through a responsible retail channel that provides expert and friendly service.

## SOCIAL RESPONSIBILITY

Every decision is made with a lens that prioritizes public health and safety.

## SERVICE

We know our customers intimately and we are highly knowledgeable about the products we sell.

## PEOPLE

We are intensely curious, deeply passionate about this space, and nimble, digital thinkers.

## INTEGRITY

We always do the right thing and live our values every day, in every role, in every situation.

## RESPECT

We work together as a cohesive team and recognize the unique talents of each individual.

## CONTINUOUS IMPROVEMENT

We are agile and quick; we take initiative to fill gaps and propose solutions.

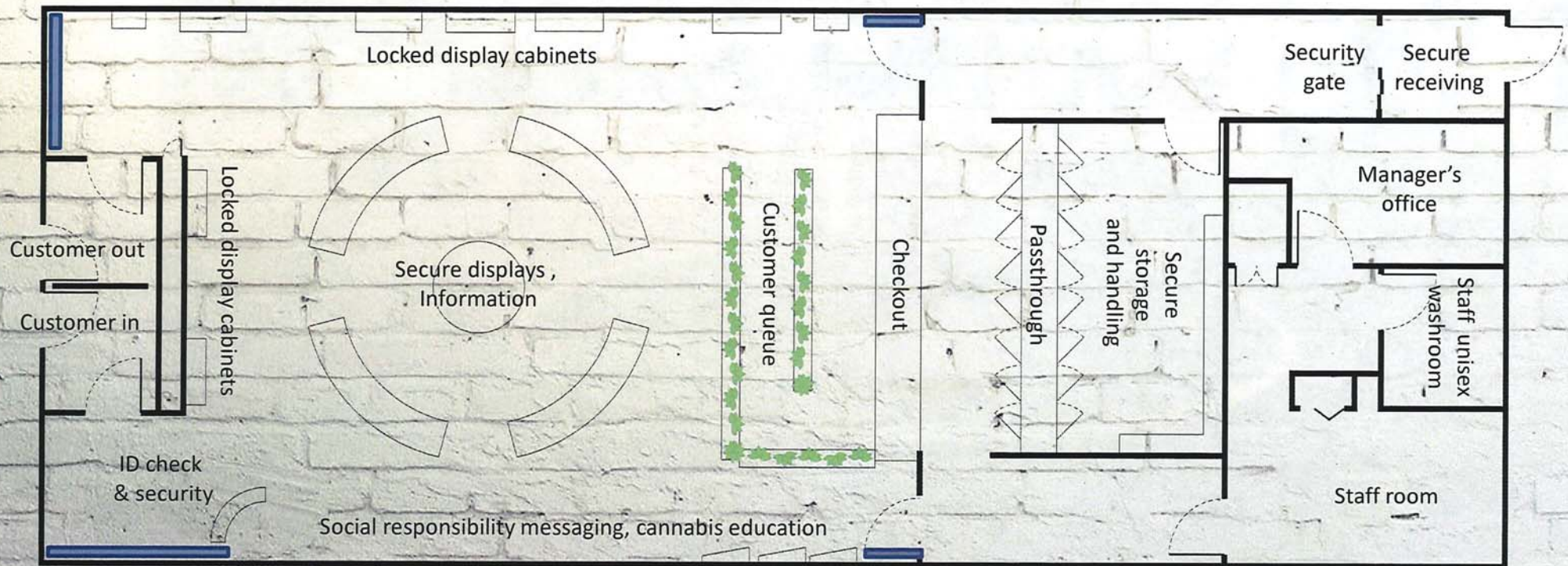


# Storefront





# Concept Floorplan:



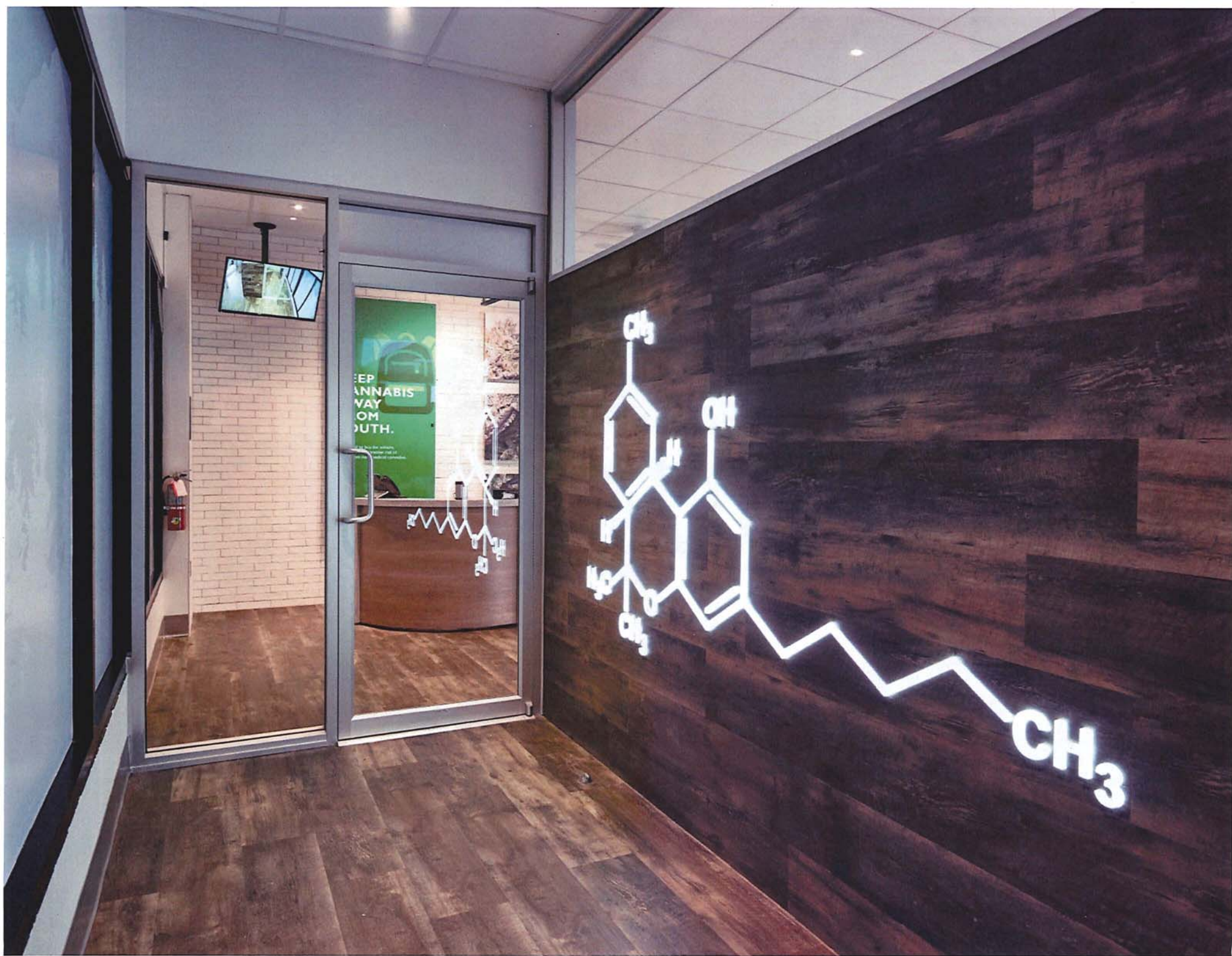
 = Social responsibility signage



# Store interior













# KEEP CANNABIS AWAY FROM YOUTH.

It's illegal to buy for minors. Youth are at a greater risk of harm from non-medical cannabis.

BC CANNABIS  
bccannabis



## Before You Buy

Check the label

Check the label

Check the label

Check the label

Check the label

Check the label

Check the label

Check the label

Check the label

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## Plant Anatomy

## Plant Types

## THC & CBD

## Terpenes

## YOUR KEY

## THE BASICS

## HEALTHY USE

## LEGALITY





# Store operations

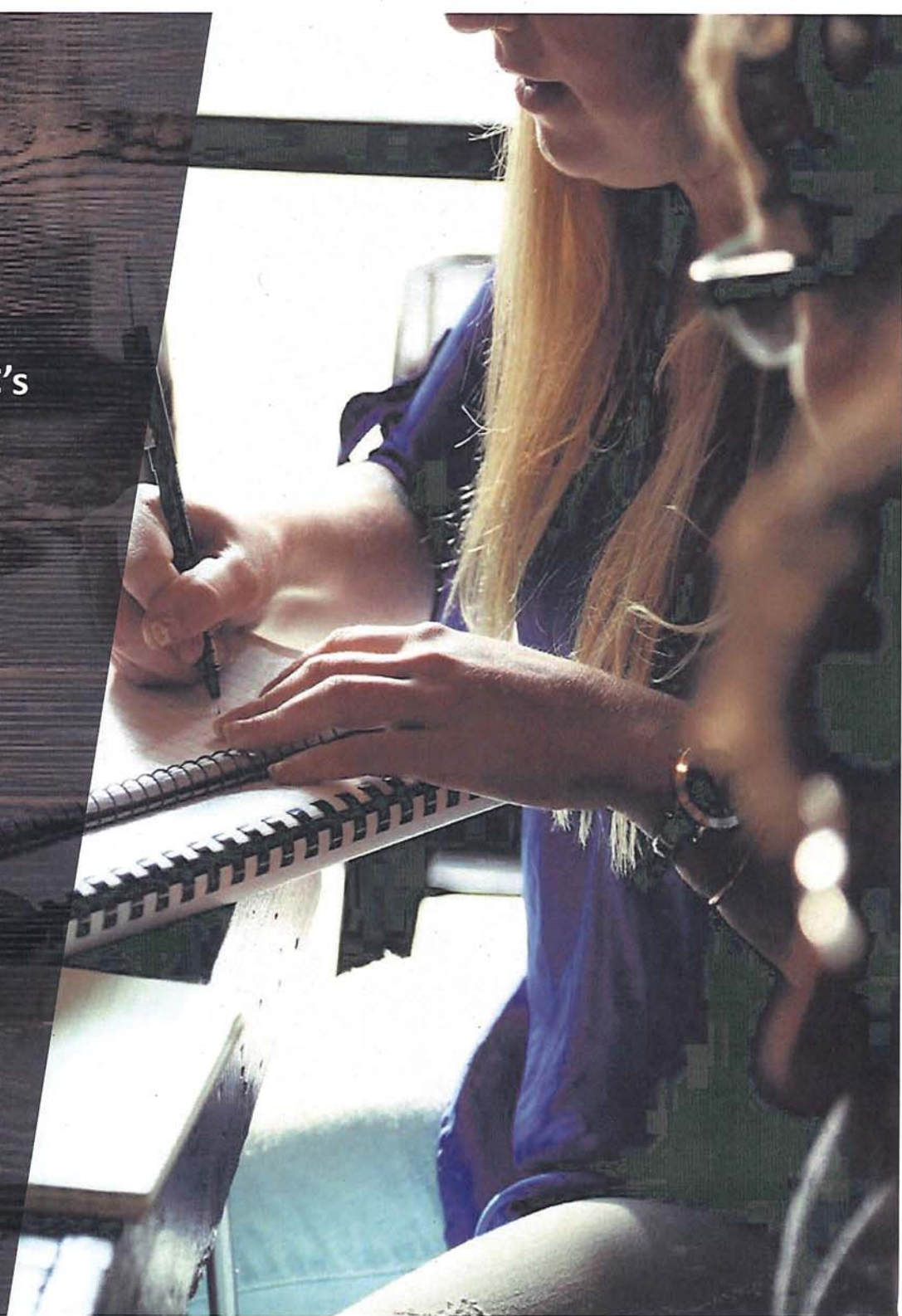
- Store entranceways will have a counter for a two ID-check policy to prevent minors from entering the store.
- Store staff and in-store material will create a safe and informed customer experience.
- Digital signage and take-away brochures help educate customers of potential risks associated with cannabis use, supporting our mission of social responsibility (SR).
- Products are kept behind the checkout in an employee-only area of the store, out of sight from minors passing by the front of the store.



# A reputable place to work.

We take pride in being named one of BC's Top Employers time and time again.

- Mandatory criminal background checks are performed on all employees.
- Comprehensive product knowledge and customer service training are integral to the cannabis consultant onboarding experience.
- As with liquor, we will mandate a Serving It Right equivalent certification for all cannabis consultants.
- Each store will have a Store Manager, Assistant Store Manager, and Cannabis Consultants.





## Proven track record of public service and accountability that will carry over to cannabis

- Our strict “ID Under 30” policy in BC Liquor Stores is a strong contributing factor to our successful compliance record. For cannabis, for proof of age, all customers will be required to show two pieces of ID.
- Responsible consumption awareness programs in stores and in our communities like **Dry Grad** and **Get Home Safe** protect young people and their community.
- Our at-the-till charitable collections and employee contributions raise nearly \$1 million for local communities annually.
- We thrive as an environmental leader through responsible waste management.



**START  
LOW,  
GO  
SLOW.**

For the safest experience,  
start with products that are  
low in THC.

**BC CANNABIS STORES**

[bccannabisstores.com](http://bccannabisstores.com)



# Safety and security

Customer, employee and community safety is paramount.

- Intruder and fire monitoring systems
- Interior and exterior camera surveillance
- Accessories will be locked in tempered glass display cases.
- A secure storage room that will require access cards to enter.
- Durable and reliable commercial-grade doors and locks.
- Smash-resistant windows.
- Product will not incinerated or disposed on-premise.



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**We are committed to working with local governments and local law enforcement agencies**

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# Accountable. Partners.



**LIQUOR  
DISTRIBUTION  
BRANCH**

CONTACT  
Kerri Lore  
Director of Policy  
[kerri.lore@bcldb.com](mailto:kerri.lore@bcldb.com)  
604-252-3196

CONTACT  
Mark Long  
A/Director, Real Estate  
[mark.long@bcldb.com](mailto:mark.long@bcldb.com)  
604-252-3113





## LIQUOR DISTRIBUTION BRANCH

February 15th, 2018

Planning Department  
City of North Vancouver  
141 West 14<sup>th</sup> St.  
North Vancouver, BC V7M 1H9

Dear Mayor and Councillors:

### **Re: Cannabis Retail Store Application**

Please accept our application to locate a **government operated cannabis retail store at 1200 Lonsdale Avenue**. The Liquor Distribution Branch ("LDB") has received support from the landlord of this property to proceed with this application ("Authorization" form/letter attached). If approved, the LDB intends to commence business activities within the City of North Vancouver by the fourth quarter of 2019.

### **About the LDB**

The LDB is one of two branches of government responsible for the beverage alcohol and non-medical cannabis (cannabis) industries in B.C. Through the *Liquor Distribution and Cannabis Distribution Acts*, the LDB is mandated with the purchase and distribution of beverage alcohol and cannabis for the Province. As well, the LDB operates a number of public liquor stores (197 in total), and, in February 2018, the Province announced that LDB will also operate public cannabis retail stores, as well as an e-commerce platform to offer public on-line sales of cannabis.

Revenue generated through the LDB's wholesale and retail operations is directed to the Provincial Government and contributes to supporting vital public services such as health care and education. For the 2017/2018 fiscal year, the LDB contributed \$1.12 billion to fund government services. Revenue generated through LDB's newly implemented cannabis operations (both wholesale and retail) will also be directed back to the Province to support important public services.

### **Location of Proposed Cannabis Retail Store**

The 1200 Lonsdale Ave. location was selected by the LDB for a proposed cannabis retail store for a number of reasons, including that the site is:

- Located in one of North Vancouver's commercial centres and accessible from Lonsdale Ave. and 12<sup>th</sup> St E;
- Located in area 1 that permits cannabis retail use;
- Located at least a 100-metre radius from the following sensitive uses: all public schools, North Vancouver School District Office, North Shore Neighbourhood House, Community and recreation centres, and North Shore Shelter;
- Easily accessible to customers; and
- Not expected to adversely impact traffic in the surrounding area, given its location near a premier intersection and in an already established retail complex.

### Building and Site

The following considerations were taken into account when evaluating the appropriateness of the site and building for a cannabis retail store:

- The intended use of the site is consistent with the “retail” nature of the immediate area.
- The size of the proposed cannabis retail store is 2, 977 square feet, which is in the midrange of other retail stores existing on the subject site and in the surrounding area.
- The site provides for ample parking and efficient traffic flow.

The storefront will be bright, clean, welcoming and professional, with the intent of creating a safe and favourable alternative to purchasing cannabis from the illicit market. Storefronts will have frosted windows to align with Health Canada’s requirements that cannabis not be visible to minors. Store hours may vary by each store location, but most stores will be open from Monday to Sunday 10 am to 10 pm.

### Community Impact

The LDB works closely with the Liquor and Cannabis Regulation Branch (LCRB) and the Ministry of Public Safety and Solicitor General to encourage the safe and responsible use of alcohol and cannabis in BC. The LDB is also committed to working in partnership with local governments to follow all municipal zoning processes and meet all bylaw requirements, as well as local law enforcement agencies to maintain public safety and to mitigate, and respond to, any negative impact on the community.

Social Responsibility is part of the LDB’s Mission Statement and one of the four pillars we have identified that supports our success. Our efforts are focused on three themes: encouraging and promoting responsible use of alcohol and cannabis, reducing the impact our business has on the environment, and giving back to the communities we serve. We meet these objectives by:

- Delivering products that meet strict product safety and quality requirements - all cannabis products will be purchased through the LDB wholesale channel; product will be lab tested and will only be purchased from producers that have been licensed by Health Canada.
- Ensuring accountability of our key business partners (e.g. Licensed Cannabis Producers).
- Promoting the safe and responsible use of beverage alcohol and cannabis through social responsibility campaigns aimed at keeping alcohol and cannabis out of the hands of youth\*, preventing driving under the influence, and informing the public about associated health risks.
- Actively discouraging customers from engaging in high-risk behaviour like drinking or consuming cannabis and driving, consuming alcohol or cannabis during pregnancy and participating in sporting activities while under the influence of alcohol or cannabis;
- Increasing awareness of the dangers associated with over-consumption or risky behaviour through various in-store campaigns with strategically placed messaging;
- Raising money through in-store fundraising campaigns for dry grad celebrations, red cross disaster relief, kids in need, and local community charities (through the Provincial Governments Employee Workplace charitable giving campaign); and
- Incorporating environmental sustainability into all facets of our business with a goal of reducing our environmental footprint and being a leader in sustainable retailing.

***\*Keeping cannabis out of the hands of minors will be a top priority for the LDB. Unlike liquor stores, minors will not be permitted to enter cannabis retail stores, even if they are accompanied by a***



*parent or guardian. When entering the store, there will be an ID check at the entrance. Individuals without ID or minors (even those accompanying someone of legal age) will not be permitted in the store. As well, all staff will be required to complete a provincial training program.*

Additionally, customer, employee and community safety is paramount. All BC Cannabis Stores will have:

- Intruder and fire monitoring systems;
- Interior and exterior camera surveillance;
- Locked and tempered glass display cases for cannabis accessories;
- A secure storage room where product will be kept that will require access cards to enter;
- Durable and reliable commercial-grade doors and locks;
- Security shutters; and
- Smash-resistant windows.

And lastly, defective product will be transported to an off-premise location to be destroyed. Stores will not incinerate or dispose of cannabis products on premise.

All stores will employ unionized staff – stores in large municipalities will have approximately 12-20 employees and stores in smaller municipalities will have approximately 6-12 employees.

Further details regarding BC Cannabis Stores and the LDB's social responsibility efforts are included in the attached slide deck. If you require additional materials or have any questions we would be very happy to provide it. We thank you in advance for your consideration of our application.

Sincerely,

Michael Tan  
Executive Director, Cannabis Operations  
BC Liquor Distribution Branch

Attachments:

1. BC Cannabis Stores – Slide Deck
2. Completed Cannabis Retail Store Re-Zoning Application



## **British Columbia Cannabis Store - Security Plan**

The British Columbia Liquor Distribution Branch (BCLDB) has its own in-house Corporate Loss Prevention (CLP) which consists of a Monitoring Station, maintained 24/7, 365 days a year, our own Technical Security Officers and Investigators for all our locations.

With respect to our Cannabis locations once an application is granted we perform a risk assessment tied to the geographical area we will be operating in and then apply Crime Prevention Through Environment Design (CPTED) to all our locations. The municipal authority having jurisdiction is also incorporated into our physical security plans to ensure community safety.

At minimum, to satisfy federal and provincial legislative requirements, the physical security at all BC Government cannabis stores will be:

1. Bollards at the front and back of stores
2. Security grills over all exterior glazing
3. High security locks and keys
4. Lockable cabinet/showcase displays
5. Monitored burglar alarm system
6. Hold up buttons
7. CCTV coverage of all areas of stores with one year video retention
8. Secure vault room, where the majority of cannabis will be stored
9. Access control for restricted areas of store
10. Cash safe and cash deposit boxes for POS
11. Armoured car pickup and delivery



Where ideas work.



The BCLDB also has its own Corporate Loss Prevention Manual which consists of what to do in the event of criminal activity at our locations, how to deal with Store Emergencies, Currency, Physical Security, Employee Conduct, Documentation of Incidents and Injuries, and a number of appendices. This is a 63 page document that is made available internally to our Cannabis employees. We also employ training in regards to staff safety titled "Keep It Safe" to all employees.

Questions can be directed to:

Brendan Alexander  
Director, Corporate Loss Prevention  
British Columbia Liquor Distribution Branch  
(604) 252-3051  
[brendan.alexander@bclddb.com](mailto:brendan.alexander@bclddb.com)



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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## POLICY

Recreational Cannabis Retail Policy

## REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

## Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

## Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

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Administration of this policy is delegated to the Planning Department.

## **PROVISIONS AND PROCEDURES**

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

### **Locational Criteria**

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
  - Mixed-Use Level 2 (Medium Density);
  - Mixed-Use Level 3 (Medium Density);
  - Mixed-Use Level 4A (High Density);
  - Mixed-Use Level 4B (High Density);
  - Harbourside Waterfront (Mixed-Use); and,
  - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
  - Community and Recreational Centres;
  - North Shore Neighbourhood House;
  - North Shore Shelter;
  - North Vancouver School District Office; and,
  - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

### **Application Procedure**

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at [www.cnv.org/cannabis](http://www.cnv.org/cannabis) on October 1, 2018.



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2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at [www.cnv.org/cannabis](http://www.cnv.org/cannabis).

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
  - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
  - A submission containing more than one application will not be considered and will be disqualified; and,
  - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
  4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
  5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

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6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
  - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
  - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
  - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

Approval date:	September 24, 2018	Approved by:	Council
Effective date:		Revision date:	

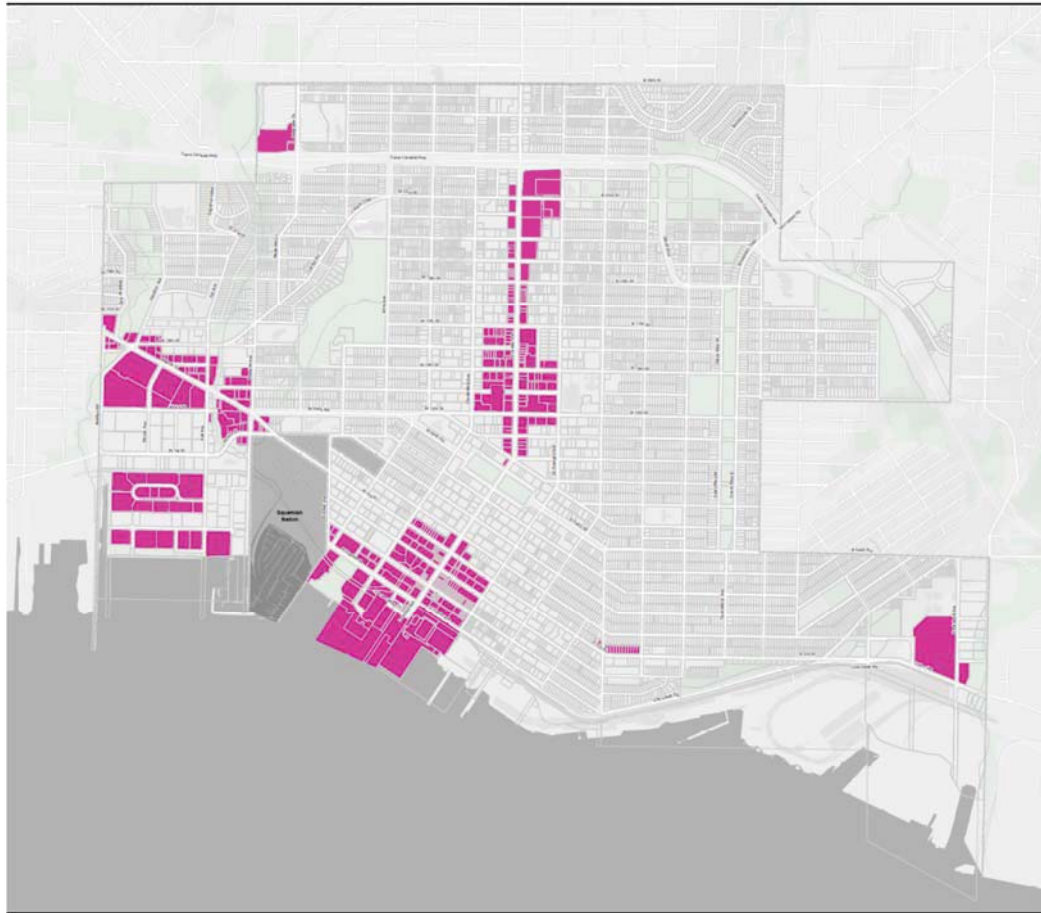
Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7




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### **Schedule 1**

#### **Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations**



#### **Legend**

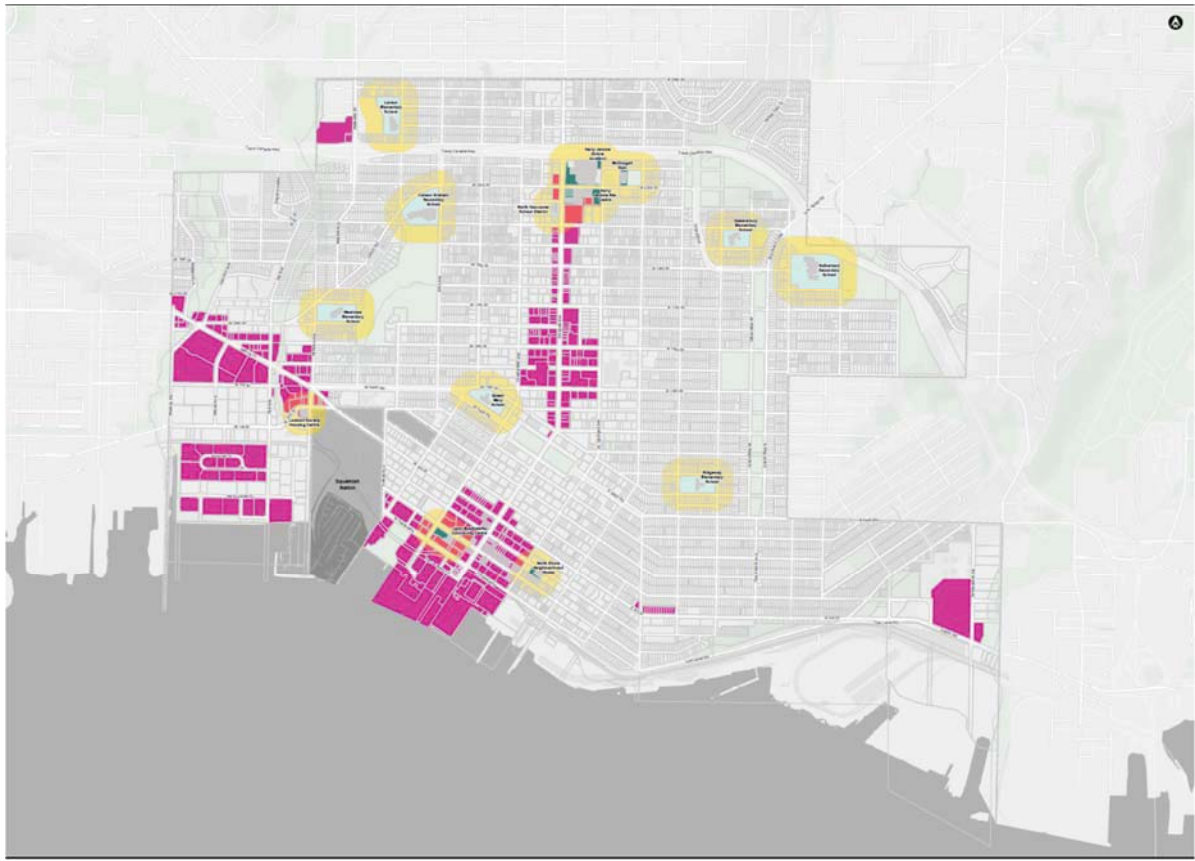
-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary



Policy Name: Recreational Cannabis Retail Policy

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**Schedule 2**  
**Recreational Cannabis Retail Businesses**  
**100-metre Radius Separation Requirement from Sensitive Uses**



**Legend**

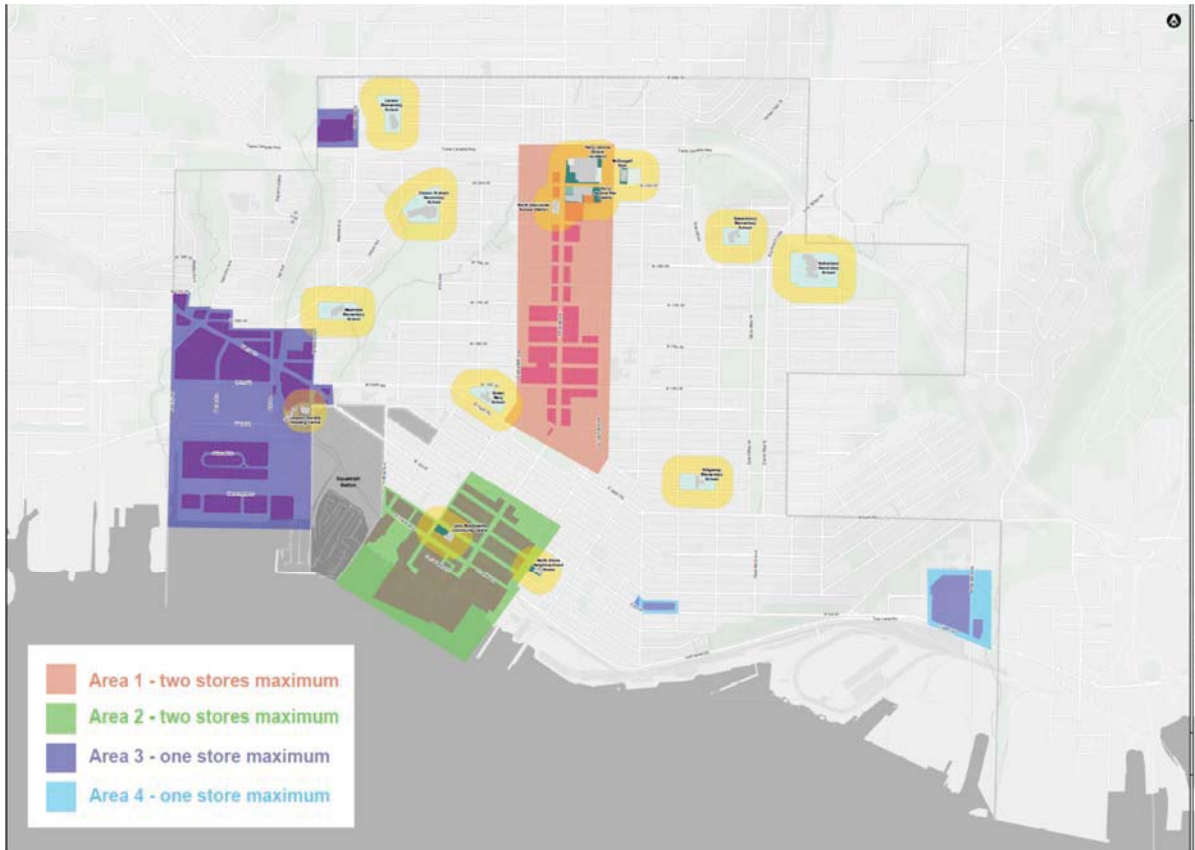
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer \*
- OCP Land Use Designation
- Legal Parcels
- City Boundary

\* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

**Schedule 3**  
**Recreational Cannabis Retail Businesses**  
**Areas of Consideration**



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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**Schedule 4**  
**Recreational Cannabis Retail Businesses - Submission Requirements**

<b>REQUIRED INFORMATION / DOCUMENTATION</b>	<b>YES</b>	<b>NO</b>
Name and contact information of applicant(s)		
Civic address and legal description of property where the proposed business is to be located		
Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property		
Confirmation that the proposed location complies with all locational requirements as per this policy		
Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none"><li>• past business experience</li><li>• corporate structure</li><li>• number of staff, products sold, target market, and hours of operation</li><li>• other general business information</li></ul>		
Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver		
Description of the expected time frame for commencing business activities within the City, if approved		
A Community Impact Statement outlining the following: <ul style="list-style-type: none"><li>• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community</li><li>• Strategies for mitigating potential negative impacts</li></ul>		
A Security Plan demonstrating security features that comply or exceed Provincial requirements		
Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province)		



# 1200 Lonsdale Avenue

## Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

[DATE] [TIME]

Name: DR LESLIE GALLON	
Address: 961 WILDWOOD LANE WEST VANCOUVER (work @ 1200 Lonsdale)	
1. Do you support the proposed project?	NO, I do not support this at 1200 Lonsdale.
2. What do you like most about the proposed project?	With the recent shooting witnessed by my staff, I do not want any encouragement of undesirable, possible drug trade connected people.
3. Do you have any concerns about the proposed project?	I have a concern about attracting people that are not focused on health care and who will detract from the neighbourhood.
4. What would you suggest to improve or enhance the proposed project?	I have concerns about parking for older people, very young and everyone coming to the building for health care.
5. Please provide any additional comments. (use back of page if necessary)	I have a concern about parking and the frequency on coming & going in a busy neighbourhood at an intersection without light.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: Mark Long  
City of North Vancouver: David Johnson

Telephone: 604 252-3133  
Telephone: 604 990 4219

E-Mail: bccs\_lgapps@bcladb.com  
E-Mail: djohnson@cnv.org

# Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	No - I don't agree with the proposed location
2. What do you like most about the proposed project?	
3. Do you have any concerns about the proposed project?	Yes, traffic generation that will be parking in an already very busy commercial
4. What would you suggest to improve or enhance the proposed project?	sector Allow this type of business to locate in a less busy area.
5. Please provide any additional comments. (use back of page if necessary)	Traffic generation is considerable (I look to the illegal shop on E 2nd St.) I suggest this type of business

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

## CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Also, with future development @ 13th & Wonsdale // very busy

locate in a strip mall, shopping center or less busy area to

allow easier access for customers or less impact on parking for existing parkers.



## 1200 Lonsdale Avenue Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

Apr. 13/19 [DATE] 1630 [TIME]

Name: Dr. Christopher Booth MD FRCP C	
Address: 300-1200 Lonsdale Ave. North Vancouver, BC,	
1. Do you support the proposed project?	Neutral. It depends on how this store actually functions.
2. What do you like most about the proposed project?	I am encouraged by the fact that this is a government run store. I would expect a high degree of adherence to the law, professionalism & community responsibility.
3. Do you have any concerns about the proposed project?	I am a child & adolescent psychiatrist. I am one of several health care providers in the building. I see some youth who struggle with substance use, & worry this could be a trigger. I also worry about how parents may respond, seeing this store on their way to my office.
4. What would you suggest to improve or enhance the proposed project?	I want clear, enforced rules regarding behaviour of patrons. I do not want my patients having to walk past people smoking cannabis on their way to the entrance to the building.
5. Please provide any additional comments. (use back of page if necessary)	I am a health care professional and I work with teens. I would have worries if this was a proposal for a private or government run liquor store, as well. I am trying to promote healthy choices and to avoid these types of activities.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: Mark Long

City of North Vancouver: David Johnson

Telephone: 604 252-3133

Telephone: 604 990 4219

E-Mail: bccs\_lgapps@bcldb.com

E-Mail: djohnson@cnv.org



## 315 Lonsdale Avenue Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	<i>Not in the 1200 Lonsdale Medical Building.</i>
2. What do you like most about the proposed project?	<i>I am not supportive of it.</i>
3. Do you have any concerns about the proposed project?	<i>Yes. 1. We have a large team, with young female staff who leave at 8pm (when it is dark in the winter). If we have people loitering out back smoking cannabis, I am concerned that they will not feel safe. 2. We currently have people regularly smoking by the parking lot door.</i>
4. What would you suggest to improve or enhance the proposed project?	<i><del>It is</del> Smoking by-laws are not being enforced. If we have cannabis being smoked, it will be a highly offensive smell and certainly not appropriate for a building with MD's, Dentists, Naturopaths, Physios, etc.</i>
5. Please provide any additional comments. (use back of page if necessary)	<i>Not move into a medical building or at least widen the no-smoking buffer around the building and enforce it!</i>

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: Jun-Bin Koh  
City of North Vancouver: David Johnson

Telephone: 778 988-2128  
Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com  
E-Mail: djohnson@cnv.org

April 5, 2019

Above Average Lingerie & Fashions  
103 East 12<sup>th</sup> Street  
North Vancouver, BC  
V7L 2J3

To Whom it May Concern:

Attn: The City of North Vancouver  
BC Liquor Distribution Branch

We are writing in response to the letter we received from the Liquor Distribution Branch regarding the Cannabis Retail Application. While we do not oppose Cannabis legalization or the retail distribution of Cannabis, we do oppose the application for this location at 1200 Lonsdale Ave.

The LDB has issued a plan for community impact which highlights issues of health, safety and security. While these are all important, and would be expected of a professional, government business, they have not addressed the most immediate and pressing issues for the neighbouring businesses. Our own business was previously located next door to a Cannabis shop for three years so we have experienced the impact these businesses can have on their neighbours including parking and traffic, smoking Cannabis outside of businesses, and reselling to minors.

Traffic and parking were major issues we experienced with the added traffic the Cannabis store generated. Many Cannabis patrons, expecting to be in and out quickly, would double park, park illegally, or park in private or pay parking spaces (without paying) rather than competing for street parking like everyone else.

The other issue we faced was Cannabis patrons using the product outside of our businesses. We understand that this is not a problem with the majority of patrons, but never the less it was an issue for some of the adjacent businesses.

In addition to the above concerns there were many times we witnessed young (minor) people receiving Cannabis products outside on the street that were purchased by an adult and passed on to them.

None of these topics have been addressed in the LDB's community impact comments.

The area around 1200 Lonsdale Ave is already a very busy traffic area with both cars and pedestrians. Within one block there are many high traffic businesses including numerous medical, dental and professional offices, a large fitness facility, several restaurants and retail shops. These businesses all rely heavily on street parking which will become more limited. In our own experience we feel that Cannabis stores don't need to be in such prime, high traffic locations as, like liquor stores, they are destinations that patrons will seek out. A location in an area like the entertainment district, or a shopping complex could be more suitable, with less impact on the surrounding businesses.

Above Average Lingerie & Fashions  
Debbie Dickie, Dawn Blaschuk



# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

**Please Note:** This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Robin Baxter		6:00P
2	Sim NEILL	C-12	
3	Heather Habib	712-333 Brooksbank Ave. N. Van.	6pm
4	Jim Strand	507-345 Lonsdale Ave	6pm
5	Jeff Moscos	209-305 Lonsdale Ave	6pm
6	Carlos Flores	315-733 West 14 St.	6:00pm
7	Andrea Theargeld	517-345 Lonsdale Ave	
8	Robynne Edwards	H1-1576 Tatlow Ave. N. Van.	6:00pm
9	Mackenzie Grantham	"	6:00pm
10	Lorenzo Edwards	"	6:00pm
11	Sylvia Collins	609-345 Lonsdale Ave	6:00pm
12	Heather Dens	734 Lonsdale Ave	6:00pm
13	Gandy HARVEY	733 W. 14th St. NV	6:00pm
14	Brendan Storestreet	733 West 14 street	6pm
15	Yalda Ahmadvand	180-700 Marine Drive NV	6:00pm
16	Don Rowlett	508-345 Lonsdale NV	6:00pm
17	Gray Jennica	1890 Cardinal Ave	6:00pm
18	Jim Kennedy	#503-305 Lonsdale	6:00pm
19	Jim Kennedy	1516 Kenford Dr White Rock	6:00
20	Shelly O'Meara	224-255 W 1st St N.V.	6:00
21	Yvonne Cote	#502-305 Lonsdale	6:00
22	Meghan Koop	502-277 1st St. West	6:00
23	Meghan Koop + Nathan	406-305 Lonsdale Ave	6:00
24	Caitlin Mann	56-718 15th St W	6:05
25	Christina Hall		6:10

No.	Name	Address	Time
26	BOB Burtin	655 5 <sup>th</sup> ST	6pm
27	WAYNE CATTONI	8084 17 <sup>th</sup> AVE 1517	
28	Kamal Nanavaty	111 E 13 <sup>th</sup> ST	
29	Feroze Nanavaty	111 E 13 <sup>th</sup> ST	
30	Trace Kennedy	503-305 Lonsdale Ave NV.	
31	Ericc Maxime	#223 255 West 5 <sup>th</sup> Street	
32	Joe Lappan	#224 - 255 West 1st St	6 pm
33	Sarmaz Brent	302-305 Lonsdale Ave.	6 pm
34	Andy Hellmuth	+203 - 17 <sup>th</sup> W - 125 Lonsdale	6 PM
35	MARLENE TAMBEAU	305-305 LONSDALE AVE	6pm
36	Peter Bachmann	407-1200 Lonsdale Ave. North Vancouver	6:05
37	MICHAEL ROSSI	#56-728 West 14 <sup>th</sup> St.	
37	Morgan Mink, V	#5 728 West 14 <sup>th</sup>	6:00
38	VERONICA B		6:00
39	ANDREW HAWTHOR	3264 W. 31 <sup>st</sup> AVE VAN B.C	
40	MAEV GATO/ KENO GATO	306-305 LONSDALE AVE. N. VAN BC	6PM
41	B. Moge	111 East 13 <sup>th</sup> Street	6:00
42	A. MOYE	111 E 13 <sup>th</sup> ST N. VAN	6:10
43	Brad Helgason	#421-255 West 1st Street.	6:11
44	Kyle LeMay	1655 Edwards Rd	6:11
45	BRAIN LARSEN	1720 GRAND BLVD E.	6:12
46	Debbie Dickie	1119 Runaway Rd (103 East 12 <sup>th</sup> )	
47	Kathy Chan	P.O. 76 Lions Bay BC	6:15
48	Julie VanBreegen	#204, 131-3rd ST WEST NORTH VAN	
49	Myra	#101 461 WEST 16 N VAN	6:15
50	Leona Gallon	961 WILLOW LANE W VAN	6:15



# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

**Please Note:** This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Ezekiel UHOA	1250 Lonsdale Ave	6:00 pm
2	Nathalie Poirier	255 West 1st Street	6:00 PM
3	Brad Helgason	255 West 1st Street	6:15 PM
4	Jess Wagstaffe	507-719 West 3rd St	
5	<del>GEORGE BEWICK</del>	3819 CAMBRIDGE W. VAN	6:15 PM
6	PICK JEFFERY	#204 131 W 3rd St N. VAN	6:15
7	ISCIAN MEAKIN	1151 EDGEMOOR RD N. VAN	6:15 pm
8	LEIGHTON HARRISON	408-305 Lonsdale Ave N. VAN	6:15 pm
9	Don HOLT	601-12th W	6:15
10	Garry Johnston	319 EAST 6TH	6:15
11	Athenne A. Ambrose	137-East 1st St. #406, N. Van	6:25
12	BRUCE BASSEL	351 BEWICK AVE. NORTH VANCOUVER	6:27
13	Dorene RUSSELL	2-240 E 4th St N. Vancouver	6:27
14	KKE ROBERTSON	702-124 W 1st St N. VAN	6:30
15	ANDREW KLAYDE	213 EAST 22ND ST N. VAN	6:25
16	JOE MARTON	303-317 BEWICK N. VAN	6:35
17	Stord Scalford	312 East 1st St Apt. #103	6:40
18	Courtney Anson	252 2nd St W	6:40
19	Janet Kotalovic	255 W. 1st St N Van	6:55
20	HECTOR HERNANDEZ	310-124 3rd St W N Van	19:43
21	Jennifer Erin Vaughan	201-733 West 14th St N. Van BC V7M 0C6	7:00 PM
22	Sarah Baldwin	730 Marine Dr. Opposed to 725 Marine Loc.	7:00
23			
24			
25			

No.	Name	Address	Time
51	DINA WEEKS	305 Lonsdale Ave. North	6:15 pm
52	RAQUEL JOHNSTON	319 E 6th N. Van	6:15 pm
53	Havona Hibbard	137-406 E 1st Street	6:25 pm
54	Howard Hao	201-332 Lonsdale Ave.	18:25 pm
55	Brady Fought	317 Bewicke Avenue	18:25 pm
56	Amya Hirji	305 Lonsdale Ave #202	18:25 pm
57	BRIAN RABBIT	1661 PHILIP AVE	6:28
58	DONNA TONEY	317 Bewicke Ave.	6:30
59	Alic Batemi	209-211 700 Marine Dr N. VAN	6:30
60	Mark Johnson	<del>306</del> 306-161- West 4th St. N Van.	6:45
61	ALEX RAKS	1212 23rd ST W.	6:45
62	Steven Rakis	780 W ST Georges	6:45
63	Chester Wolff	822 BSTEM.	
64	Rita Hernandez	310-124 W 3rd Street North Van	6:55
65	Bernette Howard	277 W 1st Street	7:05
66	Dominic Howard	277 W. 1st street.	7:05 pm
67	MICHAEL GALLAGHER		7:15
68	Julia Dickson	255 1st St W.	7:15
69	Colm Flavin	111 East 3rd.	
70			
71			
72			
73			
74			
75			
76			



## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b> Brady Fought	
<b>Address:</b> 317 Bewicke Avenue	
1. Do you support the proposed project?	Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed.
2. What do you like most about the proposed project?	The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community.
3. Do you have any concerns about the proposed project?	No. Please have bike racks!
4. What would you suggest to improve or enhance the proposed project?	↓
5. Please provide any additional comments. (use back of page if necessary)	I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project? <i>YES</i>	
2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i>	
3. Do you have any concerns about the proposed project? <i>NO</i>	
4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i>	
5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN &amp; FRIENDLY</i>	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)



## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	NO
2. What do you like most about the proposed project?	NOTHING
3. Do you have any concerns about the proposed project?	YES ,
4. What would you suggest to improve or enhance the proposed project?	DON'T PROCEED
5. Please provide any additional comments. (use back of page if necessary)	THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED!

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)

## David Johnson

---

**From:** [REDACTED]  
**Sent:** March-27-19 9:24 PM  
**To:** David Johnson  
**Attachments:** text\_1553747028630.txt

---

Umm I rent I the area, but this weed licences wrong spelling wont  
bo through and I'll make sure of it

---

This message was sent from a Bell mobile phone.

**Bell**



-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web\_Feedback <[info@cnv.org](mailto:info@cnv.org)>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well  
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?  
why not in Lynn Valley ,Marine drive ,Edgmond village ,  
cb there those place re for rich people,

-poor and middle class live on Lonsdale,  
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,  
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,  
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>  
if the NDP does not stand to protect our children ,family  
we are not going to support you for the next city election and we are going to push the NDP to ban those  
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our  
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!  
we can live without them.

king regards

Benny

Begin forwarded message:

**From:** Hibilly Blu <[REDACTED]>  
**Date:** April 2, 2019 at 3:47:23 PM PDT  
**To:** [lbuchanan@cnv.org](mailto:lbuchanan@cnv.org)  
**Subject:** Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.  
Stephen Nilsson



# 1200 Lonsdale Avenue (Bylaw 8717)

- OCP designation of Mixed-Use Level 3.
- Along a commercial corridor of Lonsdale Avenue.
- Outside of the sensitive use areas.
  - Queen Mary Elementary School (364 meters)
  - Ridgeway Elementary School (722 metres)





# **BC CANNABIS STORES**



**LIQUOR  
DISTRIBUTION  
BRANCH**



A close-up photograph of a wooden puzzle piece fitting into a larger assembly of white puzzle pieces. The wooden piece is a light brown color with a visible grain and is positioned in the center-right of the frame. It is surrounded by several white puzzle pieces, some of which are slightly out of focus. The word "Purpose" is overlaid in a large, bold, black sans-serif font on the left side of the image.

# Purpose

**To make high-quality cannabis products and education available to all customers – from the discerning to the new – through responsible channels that provide expert and friendly service.**

# Social responsibility messages instore



**KEEP  
CANNABIS  
AWAY  
FROM  
YOUTH.**

It's illegal to buy for minors.  
Youth are at a greater risk of  
harm from non-medical cannabis.

**BC CANNABIS STORES**  
[bccannabisstores.com](http://bccannabisstores.com)



**KNOW  
THE  
LIMIT.**

Adults may possess up to 30 grams of  
dried cannabis (or equivalent) in public.  
In-store and online purchases cannot  
exceed this amount.

**BC CANNABIS STORES**  
[bccannabisstores.com](http://bccannabisstores.com)



**START  
LOW,  
GO  
SLOW.**

For the safest experience, start with  
products that are low in THC.

**BC CANNABIS STORES**  
[bccannabisstores.com](http://bccannabisstores.com)



**DON'T  
DRIVE  
HIGH**

Using cannabis before you drive  
may impact your ability to operate  
a vehicle safely.

**BC CANNABIS STORES**  
[bccannabisstores.com](http://bccannabisstores.com)







# Safety and security is our top priority.

Customer, employee and community safety is paramount.

- Superior intruder and fire monitoring systems maximize response time and minimize losses.
- Interior and exterior camera surveillance used to deter theft.
- Locking valuable accessories in tempered glass display cases prevents shoplifting and creates an added barrier for burglars.
- A secure storage room keeps regulated product out of sight from minors and out of reach from shoplifters.
- Durable and reliable commercial-grade doors and locks secure our store premises.
- Smash-resistant windows obstruct vandalism and break-ins.
- Attractive and visible on-premise signage of security measures deter would-be thieves and criminals.



# A reputable place to work.

**We take pride in being named one of BC's Top Employers time and time again.**

- Mandatory Enhanced Security Screening is completed for all employees.
- Comprehensive product knowledge and customer service training are integral to the product consultant onboarding experience.
- As with liquor, we mandate a Serving It Right equivalent certification for all product consultants.





# Welcome to BC Cannabis Stores



# Restricted Access: 2 ID Check





# Open & bright interior



# Bud display pods





# All product secured safely





# Parking: 1200 Lonsdale Ave





**From:** mike Jenkins <>  
**Sent:** July-08-19 1:26 PM  
**To:** Submissions  
**Subject:** Pot Shops

Cannabis retail stores must not be allowed to operate in these designated areas of North Vancouver. At the moment we have a number of vagrants sitting and begging on Lonsdale ave. and nothing is being done about that.

We believe the pot shops will increase the numbers. We also believe that crime will increase in our neighborhood because of these shops, example being break ins to these shops, and dubious people coming around our streets.

Traffic will increase for those coming from afar to these shops. For many years we have enjoyed the quality of life in this area, and we hope that all Council members have too.

Please do not allow these pot shops to operate here, because it will harm our quality of life that we are use to and enjoy.

Thank you  
Mike and B. Jenkins  
1403 - 112 East 13th St  
North Vancouver

**Subject:** FW: submission re: Zoning Amendment Bylaw, 2019, No. 8717 (CD-722)

**From:** Susan Matthews < >

**Sent:** July-10-19 9:21 AM

**To:** Submissions <input@cnv.org>

**Subject:** submission re: Zoning Amendment Bylaw, 2019, No. 8717 (CD-722)

To City Clerk and City Council of North Vancouver:

I am one of many health care professionals with an office located at 1200 Lonsdale Avenue. I am very concerned with the proposal to have a cannabis retail store on the ground floor of my building. I work with teens and young children who struggle with mental health, and try to promote healthy lifestyle choices and avoid substance use. Some of my clients struggle with substance use, and by having a cannabis retail store closely located to my office, it could be a trigger for some. I worry that this could send a mixed message to vulnerable youth.

Sincerely,

Susan J. Matthews, M.A.  
Registered Psychologist #1727  
300-1200 Lonsdale Avenue,  
North Vancouver, BC



# NOTICE OF PUBLIC HEARINGS

Notice is hereby given that Council will consider the following 6 bylaws on 2 separate evenings:

## Public Hearing for Bylaws 8714, 8715 and 8718

**Monday, July 15, 2019 at 6:30 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8714

**Address: 1717 Lonsdale Avenue**

**Applicant: The Herb Co.**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 721 (CD-721) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and to reduce the number of required off-street parking stalls from 9 to 6.



### Zoning Amendment Bylaw No. 8715

**Address: 221 West 1<sup>st</sup> Street**

**Applicant: 1<sup>st</sup> Cannabis**

To amend the text of Comprehensive Development 454 (CD-454) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8718

**Address: 333 Brooksbank Avenue**

**Applicant: BC Liquor Dist. Branch**

To amend the text of Comprehensive Development 131 (CD-131) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and adjust the site schedule to permit the placement of a new 365.1 sq. m. (3,930 sq. ft.) building at the northeast corner of the property.



## Public Hearing for Bylaws 8713, 8716 and 8717

**Wednesday, July 17, 2019 at 6:00 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8713

**Address: 725 West 14<sup>th</sup> Street**

**Applicant: City Cannabis**

To rezone the property from a Service Commercial (CS-1) Zone to a Comprehensive Development 720 (CD-720) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8716

**Address: 315 Lonsdale Avenue**

**Applicant: Lonsdale Cannabis Co.**

To amend the text of Comprehensive Development 341 (CD-341) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8717

**Address: 1200 Lonsdale Avenue**

**Applicant: BC Liquor Dist. Branch**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 722 (CD-722) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



All persons who believe they may be affected by the proposals will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk at [input@cnv.org](mailto:input@cnv.org) or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, July 15, 2019 to ensure their availability to Council at the Public Hearings. Once the Public Hearings have concluded no further information or submissions can be considered by Council.

The proposed Zoning Amendment Bylaws and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from July 5, 2019, and online at [cnv.org/PublicHearings](http://cnv.org/PublicHearings).

Please direct any inquiries to **David Johnson**, Development Planner, at [djohnson@cnv.org](mailto:djohnson@cnv.org) or 604-990-4219.

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**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

**BYLAW NO. 8717**

**A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-722 (Comprehensive Development 722 Zone):

<b>Lots</b>	<b>Block</b>	<b>D.L.</b>	<b>Plan</b>	
C	74	549	18159	from C-2

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. Adding the following section to Section 1100, thereof, after the designation “CD-721 Comprehensive Development 721 Zone”:  
  
“CD-722 Comprehensive Development 722 Zone”
  - B. Adding the following to Section 1101, thereof, after the “CD-721 Comprehensive Development 721 Zone”:  
  
“CD-722 Comprehensive Development 722 Zone”

In the CD-722 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-2 Zone, except that:

- (1) In addition to the Principal Uses permitted in the C-2 Zone, one Cannabis Sales Retail Store may be permitted.

READ a first time on the 24<sup>th</sup> day of June, 2019.

READ a second time on the 24<sup>th</sup> day of June, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

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MAYOR

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CITY CLERK





 Division Manager	 Director	 CAO
--	---	--

The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING AND DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 725 WEST 14<sup>TH</sup> STREET (CITY CANNABIS / KRYSTIAN WETULANI)

Date: June 12, 2019 File No: 08-3360-20-0492/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION:**

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 725 West 14<sup>th</sup> Street (City Cannabis / Krystian Wetulani)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713" (City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

**ATTACHMENTS:**

1. Context Map (doc#[1772971](#))
2. Submitted Drawings (doc#[1750231](#))
3. Community Impact Statement (doc#[1750236](#))
4. Proposed Security Plan (doc#[1750227](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 725 West 14<sup>th</sup> Street (doc#[1791615](#))
7. Public Consultation Sign-In Sheet and General Comments (doc#[1775340](#))
8. Zoning Text Amendment Bylaw No. 8713 (doc#[1771735](#))

## PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 725 West 14<sup>th</sup> Street.

## BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.



On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

## **DISCUSSION**

### **Project Description**

The building on the subject site currently has an automotive repair shop, a dry cleaning service and a rental car agency. The proposed store would occupy approximately 159.3 square metres (1,715 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3), which describes the applicant's contribution towards the regulation of safer cannabis products and distribution, and their proposed Security Plan (Attachment #4) that outlines how their operation will be complying with Provincial regulations.

### **Site Context and Surrounding Use**

The subject site at 725 West 14<sup>th</sup> Street is along the south side of the street, between Bewicke Avenue to the east and Marine Drive to the south and west (Attachment #1). The unit itself faces the lane to the south of the property and has good exposure from Marine Drive.

The immediate area has a mixture of ground floor commercial, mixed in with some residential developments to the north as well as some mixed use commercial with apartment residential units on the upper floors. The location is close to public transit with many other commercial businesses within easy walking distance.

## **PLANNING ANALYSIS**

### **Policy Context**

#### *2014 Official Community Plan*

The subject site has a designated land use of Mixed-Use Level 2 which supports mid-rise multi-family and commercial uses and activities contributing to a pedestrian-scale village feel.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government



to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the face of the store front is off of the rear lane as with other businesses in this building, but is easily viewed from Marine Drive. The extent of the store front is not excessive compared to the rest of the building.

The building placed on the subject site is an 'L-Shaped' commercial building that was built in the late 1970s, and is not being redeveloped at this time. The only modification to the building would be a Tenant Improvement that would require a Building Permit.

No amendment to the OCP is required with this application.

#### *Recreational Cannabis Retail Policy*

The application conform to the criteria provided within the policy (Attachment #5). The subject site is in an allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of the North Shore Shelter and Westview Elementary School, and was the first application to be received in the west part of the City, which allows only one store.

#### *Zoning Bylaw 1995, No. 6700*

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw as follows:

*means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist in a British Columbia regulated Pharmacy.*

Zoning Amendment Bylaw 8713 (Attachment #8) would allow Cannabis Sales in this location. The current Zone of Service Commercial (CS-1) does permit retail stores.

The size of the store would require the applicant to supply at least three parking spaces within the property. The minimum requirement for the whole building is nine parking spaces and the site currently has 13 parking spaces.

## **COMMUNITY CONSULTATION**

An Open House for all retail cannabis applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications. From the 91 people who signed in for the event, staff received 23 comments mostly opposing the proposed use at this location as well as a 141 signature petition was received opposing the proposed use. Some of the main concerns listed are as follows:

- Distance limits between sensitive uses and the proposed Cannabis Sales store locations are too small;
- Types of sensitive uses need to include all education types (i.e. public and private);
- Impact on local crime in the area;
- Increase in traffic to the area; and
- The relationship between Cannabis Stores and children.

A few of the submitted comment forms were in support of the proposed Cannabis Sales retail store stated the use would be appropriate at the location, and the operation of the stores would need to meet Provincial regulations in regards to who they can sell product to as well as setting security of securing product (Attachment #6).

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #7.

## CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the area. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:

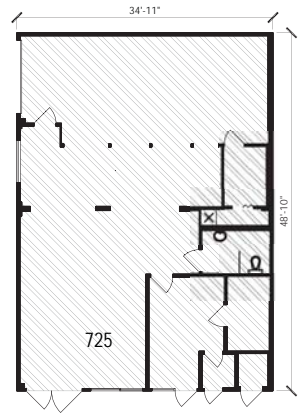
  
David Johnson  
Development Planner



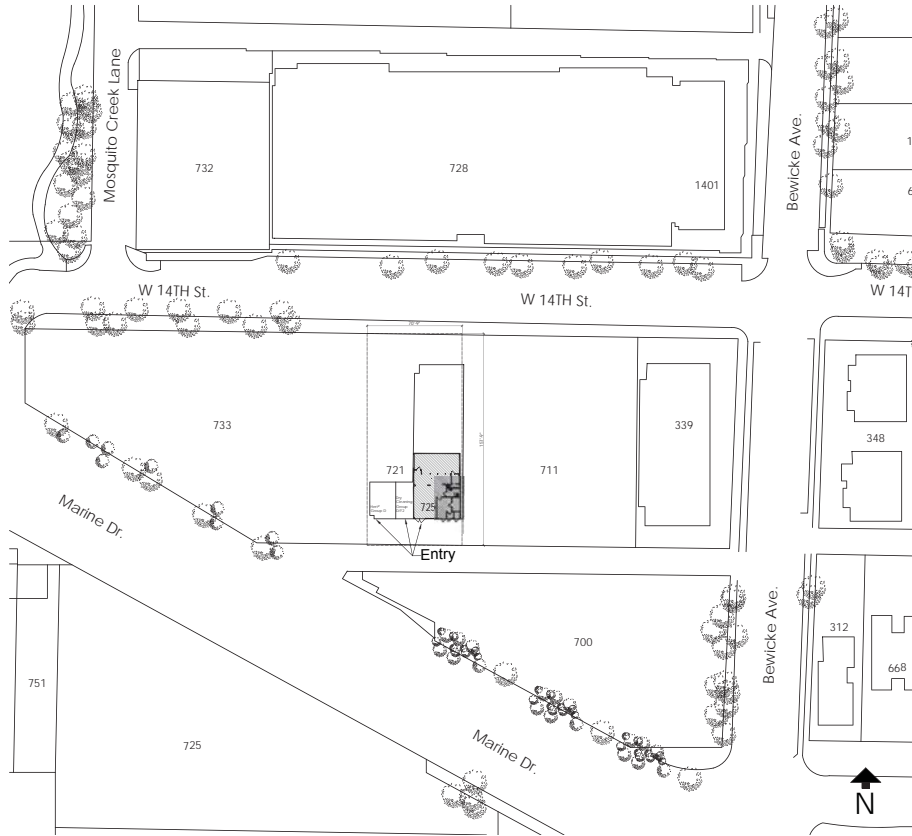




725 West 14th  
North Vancouver, B.C.



**0.0 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**0.1 SITE PLAN**  
SCALE: 1/16" = 1'-0"

## GENERAL NOTES

- ALL INTERIOR PARTITION & CEILING FINISHES TO HAVE MAXIMUM 150 FLAME SPREAD TO RATING.
- RENOVATIONS TO MEET MOST CURRENT EDITION OF B.C. BUILDING CODE AND ALL MUNICIPAL CODES, BYLAWS OR REGULATIONS.
- GENERAL CONTRACTOR TO CONFIRM SITE CONDITIONS & DIMENSIONS AND ADVISE DESIGNER OF ANY DISCREPANCIES BEFORE ANY DEMOLITION OR CONSTRUCTION PROCEEDS.
- CONTRACTOR WILL APPLY FOR BUILDING PERMIT. CONTRACTOR RESPONSIBLE FOR ALL OTHER REQUIRED DRAWINGS, PERMITS & INSPECTIONS & ASSOCIATED FEES.
- ALL NEW & EXISTING PENETRATIONS THROUGH SLAB ARE TO BE MINIMUM 2HR FIRE RATED.
- GENERAL CONTRACTOR TO PROVIDE SEISMIC RESTRAINTS ON ALL PARTITIONS AND FIXTURES AS REQUIRED TO CONFORM TO CODE & MUNICIPAL REGULATIONS GENERAL CONTRACTOR TO PROVIDE BLOCKING IF/AS REQUIRED TO SECURE NEW OR RELOCATED ITEMS.
- ALL WORK MUST BE COORDINATED WITH BUILDING MANAGEMENT. ANY WORK THAT WILL CAUSE NOISE, VIBRATION, DEBRIS, FUMES OR DISRUPT ADJACENT TENANTS IS TO BE PERFORMED AFTER HOURS.
- CONTRACTOR & SUBTRADES ARE TO RESPECT SECURE AREAS. ANY EXPENSES INCURRED FROM ALARMS BEING SET OFF IN THE SUITE OR IN BUILDING WILL BE THE RESPONSIBILITY OF CONTRACTOR.
- THE GENERAL CONTRACTOR IS TO ARRANGE FOR PERMISSION & ACCESS TO THE BUILDING OR ANY SHUTDOWNS OF WATER, POWER OR OTHER.
- GENERAL CONTRACTOR TO PROVIDE PROTECTION TO THE EXISTING SUITE FROM DEMOLITION OR CONSTRUCTION DUST, DEBRIS, FUMES, ETC. PROTECT BASE BUILDING BLINDS AND REVISE IF/AS REQUIRED BY RENOVATION.
- AT NO TIME ARE ITEMS TO BE LEFT IN PUBLIC CORRIDORS OR COMMON AREAS. ANY DAMAGE OR ALTERATION TO COMMON AREAS OR TENANT AREAS WILL BE REPAIRED BY THE GENERAL CONTRACTOR AT HIS COST.
- REVISE EMERGENCY EXIT SIGNS & LIGHTING AS REQUIRED TO MEET CODE & MUNICIPAL BYLAWS. NIGHT LIGHTS TO BE COORDINATED WITH BUILDING SYSTEM.
- ALL CONSTRUCTION TO BE CLEANED UPON COMPLETION
- GENERAL CONTRACTOR IS NOT RESPONSIBLE FOR ANY SUB TRADES SUPPLIES & MATERIALS ON SITE.

## LIST OF DRAWINGS

- ID0.0 TITLE PAGE
- ID1.0 NOTES
- ID2.0 SPACE PLAN
- ID3.0 DEMO PLAN
- ID4.0 CONSTRUCTION PLAN
- ID5.0 ELEVATIONS

## SCOPE OF WORK

- New Interior Partitions.
- New Millwork.
- New Paint, Carpet, Interior Finishes where noted.
- New Electrical & Communication where noted.
- New Lighting where noted.
- New Plumbing

## AREA OF CONSTRUCTION

- ±1665 SQ. FT.
- PROPERTY LINE

## LEGAL DESCRIPTION

PID : 007-386-036  
LEGAL DESCRIPTION:  
LOT M BLOCK 10  
DISTRICT LOT 265  
PLAN: 16839  
ROLL NO.: 510010.002

## BUILDING CODE SUMMARY

**ARCHITECTURAL**  
ARCHITELIER ARCHITECTURE & REAL ESTATE CONSULTING INC.  
DANNY WONG  
680 - 838 WEST HASTINGS STREET, VANCOUVER, BC V6C 0A6  
OFFICE (604) 773-2068  
EMAIL DWONG@ARCHITELIER.COM

<b>BUILDING CODE ANALYSIS</b>	BCBC 2018 - PART 3
GOVERNING CODE	WOOD/STEEL/CONCRETE CONSTRUCTION
TYPE OF CONSTRUCTION	COMBUSTIBLE
CONSTRUCTION TYPE CLASSIFICATION	NON-SPRINKLERED
FIRE FIGHTING	NO
FIRE ALARM	NO
FACING NO OF STREETS	2
NO OF STOREY	1

<b>PROPOSED USE - OFFICE</b>	GROUP E - MERCHANTILE
MAJOR OCCUPANCY	3.2.2.66. GROUP E, UP TO 2 STOREYS
BUILDING CLASSIFICATION	
FIRE RATING REQUIREMENTS	
FLOOR	45 MINS.
MEZZANINE	45 MINS.
ROOF	NIL
LOADBEARING STRUCTURE	45 MINS.
PUBLIC CORRIDOR	NONE PROVIDED

<b>SPATIAL SEPARATION</b>	ADJACENT OCCUPANCY	HOURS
NORTH	D/F2	NIL
SOUTH	N/A	N/A
EAST	N/A	N/A
WEST	D	NIL

<b>OCCUPANT LOAD CALCULATION</b>	m <sup>2</sup> /PP	OL	ft <sup>2</sup>	m <sup>2</sup>
BACK OFFICE	9.30	5.8	579	53.8
CASHIER/SHOWROOM	3.70	24.5	977	91.0
WASHROOM & CIRCULATION			109	10.0
TOTAL (BASED ON AREA)		30.3	1,665	154.7

OCCUPANT LOAD PER SEX - 30.3 / 2 = 15.2	16 PERSONS PER SEX:
PROPOSED STAFF [3.2.2.16]:	10 PERSONS

NUMBER OF WATER CLOSET REQUIRED - TENANT [3.2.2.13]:	MALE: 1 FEMALE: 1
NUMBER OF WATER CLOSET REQUIRED - TENANT [3.2.2.4]:	1 UNISEX ACCESSIBLE
NUMBER OF WATER CLOSET PROVIDED:	1 UNISEX ACCESSIBLE

EXIT WIDTH [3.4.3.2.1.A]:	6.1 x 32.8 - 200.1 mm (8")
EXIT CORRIDOR [3.4.3.2.A]:	1,100 mm (3'-8")
STAIRS - NOT MORE THAN 2 STORES ABOVE 1 STOREY BELOW [3.4.3.2.A]:	900 mm (3'-0")
STAIRS [3.4.3.2.A]:	1,100 mm (3'-8")
DEAD END CORRIDOR [3.2.5.5]:	6 m (19'-9")
EXIT DOOR [3.3.1.13]:	800 mm (2'-6")
HEADROOM [3.4.3.1.1]:	2,050 mm (6'-9")

CRITERIA FOR ONE EXIT - GROUP E [3.4.2.1.A]:	150 m <sup>2</sup> (1,614 sf) / 15 m (49'-2")
MAXIMUM TRAVEL DISTANCE - MORE THAN ONE EXITS - GROUP E [3.4.2.5.F]:	30 m (98'-5")



**BOLD CONSTRUCTION LTD.**  
600-688 W HASTINGS ST  
V6B1P1  
604-944-8924



**Architelier**  
architecture + real estate

Danny Wong  
680 - 838 West Hastings Street  
Vancouver, BC V6C 0A6  
Office: 6047332068  
Email: Dwong@architelier.com

## NOTES:

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## CLIENT

DATE: / / 2017  
Contractors will build as per these working drawings.

## CLIENT'S APPROVAL FOR CONSTRUCTION

REVISIONS:	No.	DATE	DESCRIPTION
	01	FEB 04, 2019	ISSUED FOR DR
	02		
	03		
	04		
	05		
	06		
	07		
	08		
	09		

## SITE PLAN

**SPACE PLAN CONCEPT Cannabis**

725 West 14th Street  
North Vancouver, BC

Project No.	00.1
Revision No.	
DA	
JAN 22, 2019	ID0.0
AS NOTED	

STRUCTURAL, MECH, ELEC, DATA & SECURITY NOTES	CARPET NOTES
<div>1. THIS IS A DESIGN BUILD JOB. IT IS RESPONSIBILITY OF ELECTRICAL &amp; MECHANICAL SUB-TRADE TO ALLOW FOR ALL LIFE SAFETY EQUIPMENT TO MEET CODE REQUIREMENTS.</div> <div>2. THE CONSTRUCTION MANAGER SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL, DATA, SECURITY AND ELECTRICAL ITEMS, SLEEVES, EQUIPMENT AND OPENINGS BEFORE START OF CONSTRUCTION AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.</div> <div>3. REFER TO THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWING FOR ASSOCIATED WORK. CONSTRUCTION MANAGER TO ALLOW TO PATCH, REPAIR AND MAKE GOOD ALL AREAS TO MATCH EXISTING OR NEW FINISHES AS NECESSARY TO IMPLEMENT STRUCTURAL, MECHANICAL, ELECTRICAL, DATA, SECURITY WORK.</div> <div>4. THE CONSTRUCTION MANAGER IS TO COORDINATE ALL ELECTRICAL AND DATA LOCATIONS WITH FURNITURE. CONFIRM EXACT LOCATIONS ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.</div> <div>5. THERMOSTAT AND GRIFF LOCATIONS ARE TO BE CONFIRMED ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.</div> <div>6. ELECTRICAL / MECHANICAL AS BUILTS ARE TO BE PROVIDED BEFORE &amp; AFTER JOB.</div>	<div>1. INSTALL CARPET AND ACCESSORY MATERIAL IN ACCORDANCE WITH CONSULTANT APPROVED SEAMING LAYOUT. NO WORK TO START PRIOR TO REVIEW OF SEAMING LAYOUT.</div> <div>2. INSTALL ROLL CARPET IN LARGEST WIDTHS POSSIBLE. THERE SHALL BE NO PECING OR PATCHING OF INDIVIDUAL CARPET STRIPS.</div> <div>3. ALL CARPET SHALL BE ROLLED WITH A 200 LB. ROLLER TO ENSURE ALL AIR POCKETS AND BUBBLES ARE ELIMINATED PRIOR TO FINAL ADHESIVE SET-UP.</div> <div>4. CLEAN UP AS THE WORK PROGRESSES, AND REMOVE FROM THE SITE ALL RUBBISH RESULTING FROM THIS OPERATION.</div> <div>5. PROTECT THE WORK OF OTHER SECTIONS FROM DAMAGE RESULTING FROM THE WORK OF THIS SECTION.</div> <div>6. PROTECT TRAFFIC AREAS OF CARPETED FLOORS WITH APPROVED DROP SHEETS. TAPE JOINTS TO PREVENT SHRINKING.</div> <div>7. CARPET INSTALLERS TO PROVIDE PATCHING TO ANY DAMAGED FLOOR.</div>
FINISH HARDWARE NOTES	RUBBER BASE NOTES
<div>1. FURNISH DOOR AND FRAME MANUFACTURERS WITH COMPLETE INSTRUCTIONS WITH TEMPLATES FOR PREPARATION OF THEIR WORK TO RECEIVE HARDWARE.</div>	<div>1. INSTALLATION (RUBBER BASE)</div> <div>A. RUBBER BASE TO BE SUPPLIED IN ROLLS. NO LENGTHS LESS THAN 3 FEET. NO JOINTS IN RUNS LESS THAN 10' - 0".</div> <div>B. FIT JOINTS TIGHT AND VERTICAL. SCRIBE AND FIT TO DOOR FRAMES AND OTHER OBSTRUCTIONS. MATCH INTERNAL CORNERS.</div> <div>C. INSTALL BASE ON SMOOTH SUBSTRATE FINISHED EVENLY TO FLOOR.</div> <div>D. INSTALL TOP OF BASE STRAIGHT AND LEVEL TO VARIATION OF PLUS OR MINOR 1/8" OVER 10' 0" AND SCRIBE BOTTOM TO FLOOR.</div>
PAINTING NOTES	WOOD DOORS & FRAMES NOTES
<div>1. PRODUCT DELIVERY, ENVIRONMENTAL REQUIREMENTS, PREPARATION OF SURFACES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CHAPTERS OF CANADIAN PAINTING CONTRACTORS ASSOCIATION (CPCA) ARCHITECTURAL PAINTING SPECIFICATION MANUAL, 1999.</div> <div>2. ALL PAINTING SHALL BE TO CPCA PREMIUM GRADE.</div> <div>3. PROTECT SURROUNDING OR ADJOINING WORK BY ADEQUATELY COVERING WITH TARPULAINS OR OTHER NECESSARY PROTECTIVE COVERING.</div> <div>4. BEFORE COMMENCING WORK REMOVE ALL ELECTRICAL PLATES, SURFACE HARDWARE, ETC. AND REPLACE IN ORIGINAL CONDITION AT COMPLETION OF PAINTING IN EACH SPACE.</div> <div>5. METHOD OF PAINT APPLICATION SHALL BE GENERALLY BY THE USE OF BRUSH AND ROLLER. THE USE OF SPRAY EQUIPMENT REQUIRES APPROVAL BY THE CONSULTANT.</div> <div>6. PAINT SHALL COMPLETELY AND UNIFORMLY COVER SURFACE. OPACITY OF COVERAGE SHALL BE UNIFORM.</div> <div>7. TINT ALL UNDERCOATS TO THE APPROXIMATE SHADE OF THE FINAL COAT AND VARY THE TINTS OF EACH UNDERCOAT TO FACILITATE DEFINITE IDENTIFICATION OF ALL COATS.</div> <div>8. TRANSARE WITH TYPE OF PAINT AND APPLICATIONS SPECIFIED. SAMPLES AT THE JOB AS REQUIRED. UNTIL COLORS, TEXTURES AND SHEEN ARE SATISFACTORY AND APPROVED BY THE DESIGNER.</div> <div>9. PAINTING SCHEDULE.</div> <div>THE FOLLOWING TILES AND CODE NUMBERS REFER TO CHAPTER 4.8 OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION ARCHITECTURAL PAINTING SPECIFICATION MANUAL. THE SCHEDULE IS SUPPLIED FOR CONVENIENCE ONLY AND DOES NOT RELIEVE THE PAINTING CONTRACTOR OF RESPONSIBILITY FOR COMPLETING ALL PAINTING WORK SHOWN ON THE DRAWINGS OR SPECIFIED BELOW.</div> <div>A. NEW DRYWALL (PREMIUM GRADE) TO PARTITIONS SCHEDULED FOR PAINT FINISH NEW DRYWALL CEILING AND BULHEADS INT. 4-8 LATEX FINISH, EGGSHELL ON WALLS, CEILINGS.</div> <div>B. MISCELLANEOUS METAL (PREMIUM GRADE) TO ELECTRICAL PANEL CABINETS ALL OTHER AS NOTED INT. 12-8 (ELECTROSTATIC) WATERBORNE ALKYLID FINISH SEMI-GLOSS.</div>	<div>1. WOOD DOORS SHALL CONFORM TO THE MILLWORK SPECIFICATIONS AS SET FORTH IN THE QUALITY STANDARDS MANUAL FOR ARCHITECTURAL WOODWORK OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, PART 4 WOOD DOORS.</div> <div>2. GRADES AND TOLERANCES SHALL BE AS OUTLINED IN THE AWMAC MANUAL.</div> <div>3. FACE VENEERS TO DOORS SCHEDULED TO MATCH EXISTING SHALL BE ARCHITECTURAL GRADE VENEER FACES TO AWMAC QUALITY STANDARDS. WHERE MORE THAN ONE PIECE OF VENEER IS PRESENT, PIECES SHALL BE EQUAL IN WIDTH AND BALANCED ON THE FRAME. EACH FACE SHALL BE DEFECT FREE.</div> <div>4. ALL WOOD DOORS AND FRAMES SHALL BE FACTORY FINISHED. REFER TO ARCHITECTURAL WOODWORK AND CASEWORK SPECIFICATIONS FOR FINISHING PROCESSES.</div> <div>5. DOOR AND GLAZING FRAMES SCHEDULED FOR VENEER FINISH TO MATCH EXISTING SHALL HAVE EDGES FINISHED IN A SINGLE PIECE OF VENEER A MINIMUM OF 1.60mm THICK.</div> <div>6. PRODUCT DELIVERY, STORAGE AND HANDLING SHALL BE AS SPECIFIED UNDER PART 7, SECTION 704 OF THE AWMAC QUALITY STANDARDS.</div> <div>7. INSTALL WOOD DOORS IN ACCORDANCE WITH PART 7, SECTIONS 709 &amp; 710 OF THE AWMAC QUALITY STANDARDS.</div> <div>8. INSTALL FINISH HARDWARE TO WOOD DOORS IN ACCORDANCE WITH PART 7, SECTION 711 OF THE AWMAC QUALITY STANDARDS.</div> <div>9. PROVIDE SECURE PROTECTIVE COVERINGS FOR ALL EXPOSED CORNERS OF WOOD DOOR FRAMES AND GLAZING FRAMES.</div> <div>10. PROVIDE CLEAR PLASTIC DOOR MUTES TO ALL NEW WOOD DOOR FRAMES.</div>
WALL PARTITION NOTES	GLAZING NOTES
<div>1. STUD &amp; DRYWALL WORK SHALL CONFORM TO THE ASSOCIATION OF WALL AND CEILING CONTRACTORS OF B.C. (AWCC) SPECIFICATION STANDARDS SECTION 9.5, GYPSUM WALLBOARD AND SECTION 9.7, INTERIOR STEEL STUDS AND FURRING.</div> <div>2. COORDINATE STUD &amp; DRYWALL WORK WITH OTHER TRADES. CHECK ALL DRAWINGS FOR FRAMING IN OF ALL DOOR AND GLAZING FRAMES, OPENINGS REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT WHERE SHOWN.</div> <div>3. VERIFY MEASUREMENTS ON THE JOB SITE AS REQUIRED SO THAT ANY PRE-ASSEMBLED WORK FITS THE JOB CONDITIONS.</div> <div>4. INSTALL TWO LAYERS ACOUSTIC TAPE TO CENTER UNDERSIDE OF FLOOR TRACK AND ONE STRIP ACOUSTIC TAPE AT CEILING OVER REVEAL STRIP OR TOP TRACK.</div> <div>5. WHERE RUBBER BASE IS TO BE SURFACE APPLIED, WALLBOARD SHALL BE SMOOTHLY AND EVENLY FINISHED TO SUBFLOOR.</div> <div>6. INSTALL SOUND INSULATION BLANKETS IN DRYWALL PARTITIONS AS SCHEDULED. INSULATION SHALL FIT TIGHTLY BETWEEN STUDS AND BE INSTALLED FULL HEIGHT OF PARTITIONS. FILL JOINTS AROUND PIPES, DUCTS, ELECTRICAL BOXES AND OTHER PENETRATIONS TO PREVENT AIRBORNE SOUND TRANSMISSION.</div> <div>7. ISOLATE GYPSUM WALLBOARD FROM EXTERIOR METAL WINDOW FRAMES AND BUILDING FINISHES USING 1 1/2" x 1" METAL TIE TO ALL FOUR EDGES.</div> <div>8. USE REINCE T-BAR CLIPS TO FASTEN REVEAL STRIP AND TOP TRACK, PROVIDING NON-MARRING SECUREMENT TO THE BUILDING SUSPENDED T-BARS.</div> <div>9. CONFIRM PARTITION LAYOUT WITH CONSULTANT PRIOR TO ERECTION OF STEEL STUDS, AT WHICH TIME IF SHALL BE POSSIBLE TO MAKE MINOR ADJUSTMENTS IN PARTITION LOCATION AT NO EXTRA CHARGE TO THE CONTRACT. NO PARTITIONS SHALL BE ERECTED UNTIL LAYOUT HAS BEEN APPROVED BY ALL SPACES.</div> <div>10. FURR OUT CORE WALLS AS REQUIRED FOR POWER, TEL, DATA, AND PLUMBING. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF FURNITURE AND MILLWORK.</div> <div>11. MAINTAIN INTEGRITY OF 2 HR. SLAB RATING WITH RATED DRYWALL ENCLOSURE IN CEILING PENUM REMAIN FLUSH TO FLOOR ELECTRICAL MONUMENTS.</div>	<div>1. INSTALL GLASS PANELS INTO METAL CHANNELS (AS SHOWN) IN WITH COMBINED RECOMMENDATIONS OF GLASS MANUFACTURER AND FLAT GLASS MARKING ASSOCIATION (FGMA) WHICHEVER IS MORE STRINGENT.</div> <div>2. SEAL ALL GLASS-TO-GLASS JOINTS WITH CLEAR TRANSLUCENT SILICONE BUTT JOINT SEALANT, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.</div> <div>3. EXPOSED GLASS EDGES SHALL BE GROUND SMOOTH AND POLISHED, SUITABLE FOR BUTT JOINT GLASS-TO-GLASS SEALANT. CONCEALED GLASS EDGES SHALL BE GROUND SMOOTH AND ARRISSED.</div>
ARCHITECTURAL WOODWORK & CASEWORK NOTES	CEILING NOTES
<div>1. THE "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, TOGETHER WITH AUTHORIZED ADDITIONS AND MODIFICATIONS SHALL BE USED AS A REFERENCE STANDARD AND SHALL FORM PART OF THIS SPECIFICATION.</div> <div>2. SUBMIT SHOP DRAWINGS FOR ARCHITECTURAL WOODWORK, SHOWING CONSTRUCTION DETAILS, FINISH MATERIALS, GENERAL ARRANGEMENTS, LOCATIONS OF ALL SERVICE OUTLETS, ALL CONNECTIONS, ATTACHMENTS, HARDWARE, ETC. NO WORK SHALL BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT.</div> <div>3. CASEWORK FOR HIGH PRESSURE LAMINATE FINISH SHALL BE AWMAC PREMIUM GRADE FLUSH OVERLAY CONSTRUCTION.</div> <div>4. EXPOSED PARTS FINISH ON H.P.L. CASEWORK SHALL BE HIGH PRESSURE LAMINATE AS INDICATED ON THE DRAWINGS. SEMI-EXPOSED PARTS FINISH SHALL BE WHITE MELAMINE WITH SEMI-EXPOSED EDGES OF CASE AND SHELVES FINISHED IN H.P.L.</div> <div>5. CASEWORK HINGES SHALL BE BLUM NO. 75M-555 125 DEG. OPENING, ALL METAL, 4 WAY ADJUSTABLE, SPRING LOADED FOR CLOSURE.</div> <div>6. DRAWER RUNNERS SHALL BE ACCURIDE NO. 3832, FULL EXTENSION, ALL METAL, HEAVY DUTY, BALL BEARING.</div> <div>7. RECESSED SHELF STANDARDS: ALL PREMIUM GRADE AND CUSTOM GRADE CASEWORK SHALL HAVE DOWELED HOLES WITH 5 MM DIA. NICKEL PLATED METAL INS. FULL HEIGHT AT 2" O.C.</div> <div>8. CABINET LOCKS SHALL BE NICKEL PLATED AT MANUFACTURERS OPTION.</div> <div>9. GROMMETS SHALL BE 2-1/2" DIA. POLISHED CHROME AT MANUFACTURER'S OPTION.</div> <div>10. TYPICAL COUNTERTOP SHALL HAVE SELF EDGE DETAIL AS PER AWMAC DETAIL 312 &amp; 1 W/ BACK SPLASH HEIGHTS AS SHOWN ON DWGS.</div> <div>11. JOB CONDITIONS FOR INSTALLATION OF ARCHITECTURAL WOODWORK SHALL BE AS SPECIFIED UNDER PART 7, SECTION 703 OF THE AWMAC QUALITY STANDARDS.</div> <div>12. CABINETS AND CASEWORK SHALL BE INSTALLED IN ACCORDANCE WITH PART 7, SECTION 705 OF THE AWMAC QUALITY STANDARDS.</div> <div>13. PROVIDE SECURED PROTECTIVE COVERINGS FOR ALL HORIZONTAL SURFACES AND EXPOSED CORNERS OF WOODWORK AND CASEWORK.</div>	<div>1. INSTALL ACOUSTIC PANELS ONLY AFTER THE COMPLETION OF ALL WORK OF OTHER TRADES IN THE CEILING SPACE. MAKE ALL CUTOUTS AS REQUIRED FOR FIXTURES, SPRINKLER HEADS, DIFFUSERS, ETC. WITH NO CUT EDGES SHOWN ON THE DRAWINGS.</div> <div>2. FOR SUSPENDED GWB CEILINGS, SECURELY ANCHOR ALL METAL SUPPORT HANGERS TO STRUCTURAL FRAME OR STRUCTURAL DECK OVER.</div> <div>3. FIX MAIN CARRYING CHANNELS TO WIRE OR ROD HANGERS BY SADDLE TYING OR WRAPPING AROUND MAIN CHANNELS SO AS TO PREVENT TURN/TWIST OF THE CHANNELS AND TO DEVELOP THE FULL STRENGTH OF THE HANGERS.</div> <div>4. SPACE FURRING MEMBERS TRANS VERGE TO MAIN CARRYING CHANNELS @ 400mm (16") O.C. SECURE @ EACH SUPPORT WITH APPROVED CLIP OR SADDLE TYPE.</div> <div>5. LEVEL AND SKIM FURRING CHANNELS TO A MAXIMUM TOLERANCE OF 3mm (1/8") OVER 3600mm (11'4").</div> <div>6. INSTALL 5/8"TH MDF ACCESS PANELS IN GWB CEILINGS AS REQUIRED FOR ACCESS TO MECHANICAL &amp; ELECTRICAL SERVICE POINTS.</div> <div>7. CLIPS MUST BE USED TO ATTACH PARTITIONS TO THE CEILING GRID.</div> <div>8. REMOVE AND REINSTALL T-BAR FOR MECHANICAL PURPOSES BY DRYWALL CONTRACTOR.</div> <div>9. DRYWALL CONTRACTOR TO ALLOW (4) 1" x 4" SLOT DIFFUSERS IN DRYWALL CEILING + (2) RETURN AIR GRILLS.</div>



BOLD CONSTRUCTION LTD.  
600-688 W HASTINGS ST  
V6B1P1  
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Danny Wong  
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Vancouver, BC V6C 0A6  
Office: 6047332068  
Email: Dwong@architelier.com

NOTES:

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CLIENT

DATE:       /       /2017

Contractors will build as per these working drawings.

CLIENT'S APPROVAL  
FOR CONSTRUCTION

REVISIONS:

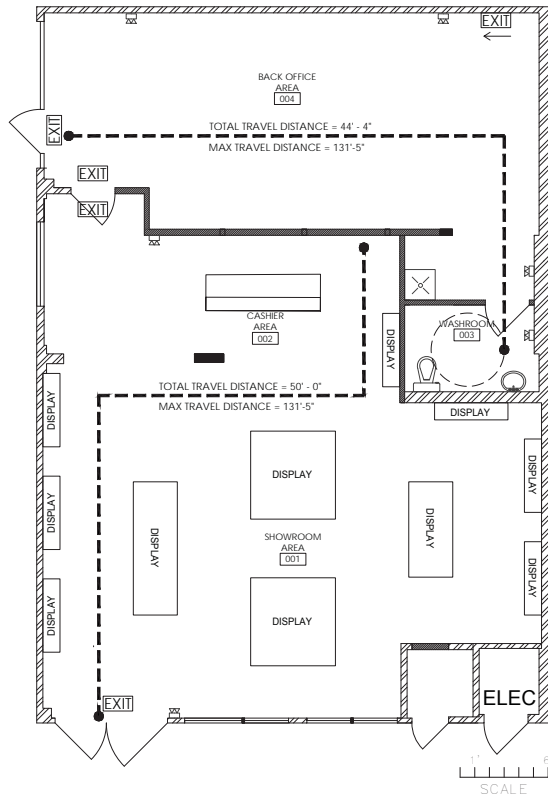
No.	DATE	DESCRIPTION
01	FEB 04, 2019	ISSUED FOR DB
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GENERAL NOTES  
SPACE PLAN CONCEPT  
Cannabis

725 West 14th Street  
North Vancouver, BC

Prepared R.M	Project No. 001
Reviewed D.A	Drawing No.
Date JAN 22, 2019	ID1.0
AS NOTED	1 of 5





**2 SPACE PLAN**  
SCALE: 1/4" = 1'-0"



**BOLD CONSTRUCTION LTD.**  
600-688 W HASTINGS ST  
V6B1P1  
604-944-8924



**Danny Wong**  
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**CLIENT**

DATE: / / 2017

Contractors will build as per these working drawings.

**CLIENT'S APPROVAL FOR CONSTRUCTION**

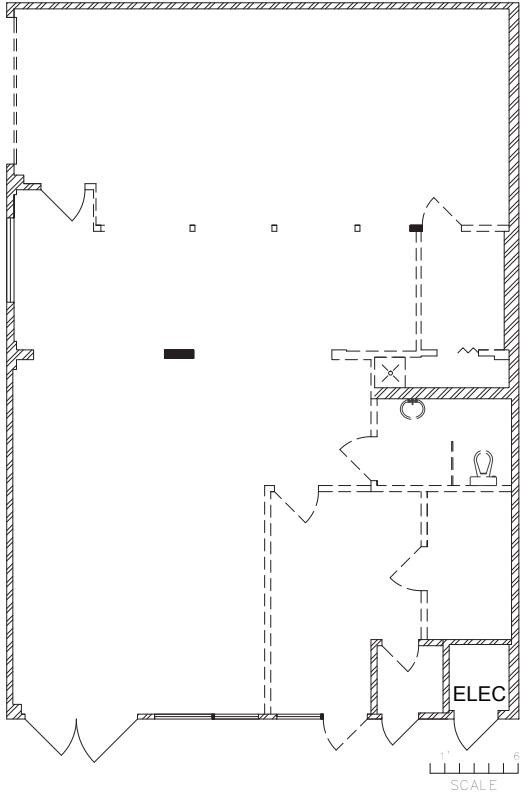
**REVISIONS:**

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**SPACE PLAN**  
**SPACE PLAN CONCEPT Cannabis**

725 West 14th Street  
North Vancouver, BC

R/M	00.1
DA	
JAN 22, 2019	<b>ID2.0</b>
AS NOTED	2 of 5



**3 DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

#### DEMOLITION GENERAL NOTES

1. PATCH AND REPAIR REMAINING SURFACES INCLUDING BASE OF WALL, WHERE DEMOLITION HAS OCCURRED. MAKE READY FOR PAINT.
2. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLLY TO BE USED WHERE REQUIRED. ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
3. JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES "BUMBER WRAP" TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
4. REMOVE ALL DESIGNATED DOORS, FRAMES, GLASS AND HARDWARE AS SHOWN. SET ASIDE FOR LANDFILL APPROVAL TO RETAIN OR THROW AWAY.

#### DEMOLITION KEY NOTES

SYMBOL:	DESCRIPTION:
-- -- --	Denotes to be demolished

CLIENT  
DATE: / / 2017  
Contractors will build as per these working drawings.  
CLIENT'S APPROVAL  
FOR CONSTRUCTION

REVISIONS:	DATE	DESCRIPTION
01	FEB 04, 2019	ISSUED FOR DB
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#### DEMOLITION PLAN SPACE PLAN CONCEPT Cannabis

725 West 14th Street  
North Vancouver, BC

R/M	00.1
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JAN 22, 2019	ID3.0
AS NOTED	3 of 5



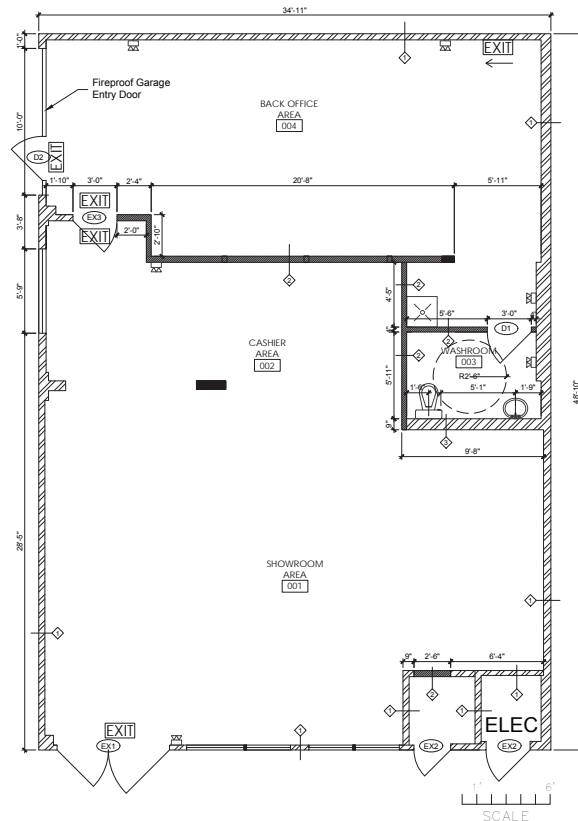
BOLD CONSTRUCTION LTD.  
600-688 W HASTINGS ST  
V6B1P1  
604-944-8924



Danny Wong  
680 - 838 West Hastings Street  
Vancouver, BC V6C 0A6  
Office: 6047332068  
Email: Dwong@architelier.com

NOTES:  
All dimensions should be verified on site by each trade prior construction.  
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## CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

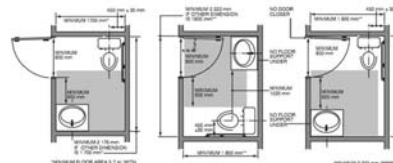
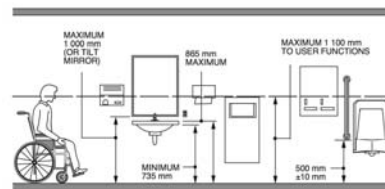


FIGURE 9.8.52 - Suggested Toilet Room Layouts

### CONSTRUCTION NOTES

1. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLY TO BE USED WHERE REQUIRED.
2. JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES. LUMBER WRAP TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
3. PROVIDE SEISMIC AND BRACING SUPPORT AS REQUIRED TO ACCOMMODATE BUILDING CODE REQUIREMENT.
4. PROVIDE BACKING AND SUPPORT FOR BULKHEAD AS NEEDED TO ACCOMMODATE BUILDING CODE REQUIREMENT.
5. ALL APPLIANCES TO BE SUPPLIED BY CLIENT UNLESS OTHERWISE NOTED.
6. BULKHEAD TO BE BUILT ABOVE ALL THE GLASS DOORS AND GLAZING BY DRYWALL CONTRACTOR.
7. Drywall contractor to provide drywall ceiling for the new bathroom, to match existing.
8. Refer to Building Code Analysis for ASHREA upgrades.

### PARTITION LEGEND

Type:	Symbol:	Description:
Existing Base Building wall		Existing base building structural 2hr fire rated wall to remain. Make good as required ready for new finish. (Where Applicable)
New Drywall Partition to match existing drywall height		New interior drywall partition to match existing drywall height. 3/4" x 5/8" Steel studs @ 16" O.C. - 5/8" GWB on both sides, R13 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish.
Existing Base Building Plumbing wall		Existing interior plumbing drywall partition. 5/8" type X GWB on both sides. 3/4" x 5/8" Make good as required ready for new finish.

### DOOR SCHEDULE

Sym.:	Elevation:	Description:	Symbol:	Description:
		Existing Entry Door to Remain.		Exit Sign to be changed to meet building code requirements.
		Existing Door to Remain.		Emergency Light with Battery Pack
		Existing Door to Remain. *Door swing direction to be reversed		
		New Interior Architectural Solid Core Door & Frame 7'0" H. x 2'0" W. x 1 3/4" THK. Hardware: Matte Black Bathroom/Toilet Door Privacy Lock Door Finish: TBD Frame Finish: TBD		
		New Fireproof Garage Entry Door w/Exit Door 45 min Fire rated. 7'0" H. x 2'0" W. Hardware: Panic Bar Door Finish: TBD Frame Finish: TBD		



**BOLD CONSTRUCTION LTD.**  
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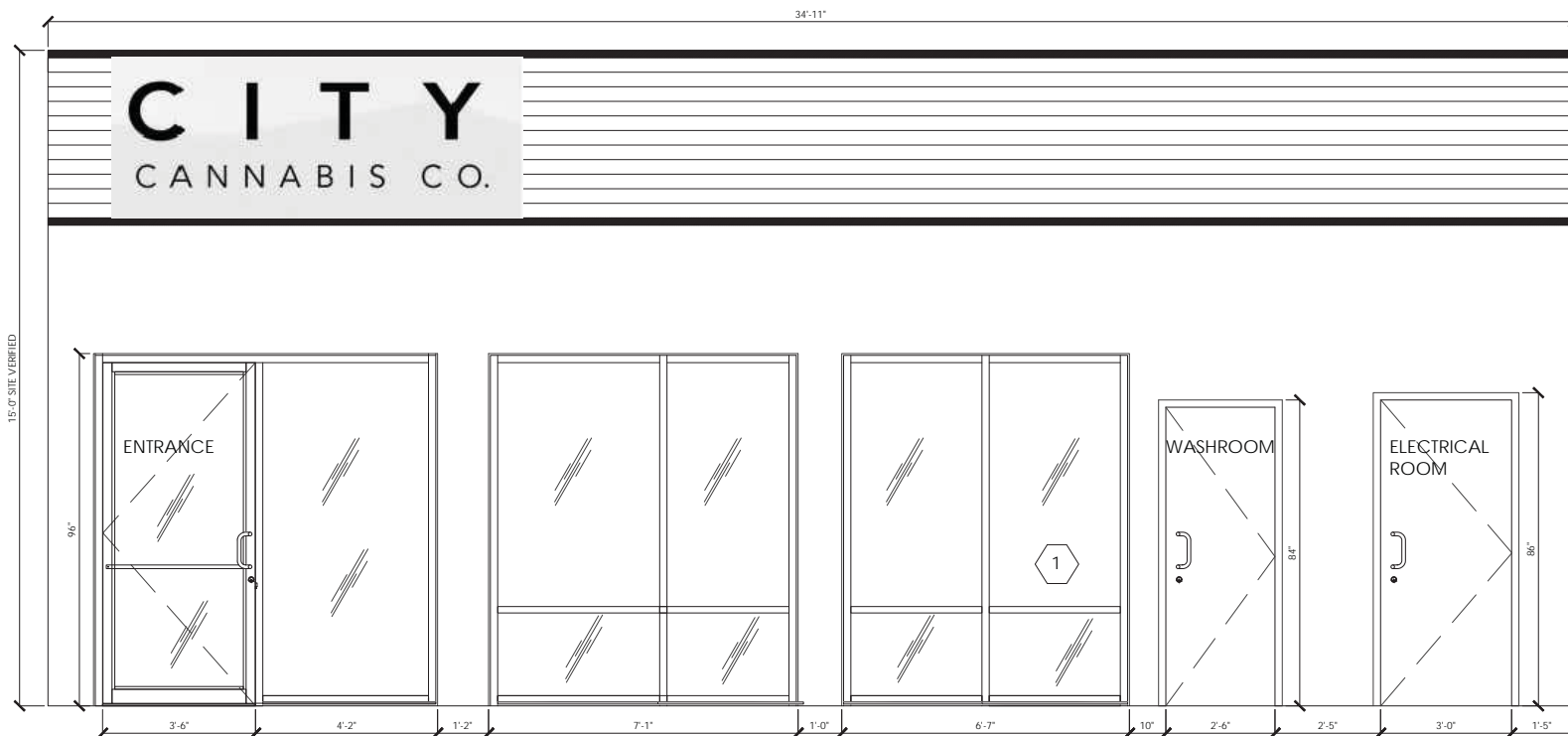
**CLIENT**  
DATE: / / 2017  
Contractors will build as per these working drawings.  
**CLIENT'S APPROVAL FOR CONSTRUCTION**

**REVISIONS:**

No	DATE	DESCRIPTION
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**CONSTRUCTION PLAN**  
**SPACE PLAN CONCEPT Cannabis**  
725 West 14th Street  
North Vancouver, BC

R/M	001
DA	001
JAN 22, 2019	ID4.0
AS NOTED	4 of 5



**E1** FRONT STORE - NORTH ELEVATION  
SCALE: 3/4" = 1'-0"

**GLAZING NOTES**

- Fire rating glazing 1 hour
- Not seen through glazing throughout
- ① Existing door to be changed to glazing



BOLD CONSTRUCTION LTD.  
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architecture • real estate

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**CLIENT**

DATE: / /2017

Contractors will build as per these working drawings.

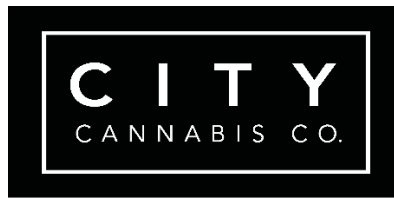
**CLIENT'S APPROVAL FOR CONSTRUCTION**

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**ELEVATIONS**  
**SPACE PLAN CONCEPT Cannabis**

725 West 14th Street  
North Vancouver, BC

R/M	DATE	DESCRIPTION
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JAN 22, 2019		ID5.0
AS NOTED		5 of 5



1505 West 2<sup>nd</sup> Ave, Suite 506, Vancouver, BC. V6H 3Y4 - Ph: 604.559.0420

## COMMUNITY IMPACT STATEMENT

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### COMMUNITY IMPACT STATEMENT

The illegal market for marijuana is a major risk to the well-being of Canadian children. Removing this illegal access point through the legalization would be beneficial in terms of reducing youth illegal activity rates, and diminishing the drug dealers' power over Canadian youth. While legalization will reduce the size of the black-market activity, it will not eliminate the issue altogether.

Although there is some evidence indicating therapeutic benefits of marijuana use in neuropathic pain, inflammatory bowel diseases, managing symptoms of chemotherapy and treatment-resistant epilepsy in children, marijuana use is associated with some adverse health effects. Health Canada will provide additional information as it become available.

Regulating marijuana reduces risks and improves quality control and consumer protection. The organization Doctors for Cannabis Regulation states that regulation benefits public health by enabling government oversight of the production, testing, labeling, distribution, and sale of marijuana. Potency can vary widely based on the strain of marijuana, the way the plant is grown, the part of the plant that is used, how it is stored, and how it is consumed. In an unregulated market where there is no standardization or quality control, there are many opportunities for unsafe contaminants to be introduced, such as fungi spores, mold, bacteria, heavy metals, pesticides, and growth enhancers. As such, regulated marijuana introduces an opportunity to reduce harm for consumers through the requirement of laboratory testing and product labeling. Similar protections are in place for the alcohol and tobacco industries. In a regulated environment, individuals know what they are consuming and can choose a product accordingly. Trained employees will provide additional guidance and education at point of sale.

The result of the legalization of marijuana is the increased tax revenue that it would bring to the Canadian economy. Legalized marijuana provides an important advantage over prohibition because it allows for the Government to collect taxes from the legalized drug. Specifically, high demand for recreational marijuana in Canada indicates that legalization of the drug will yield significant tax revenue.

The high demand for marijuana in Canada has resulted in the expansion of the black market and puts the power in the hands of illegal drug dealers to be the sole providers of the product with no accountability. By taking control of the distribution of marijuana, legalization will reduce the flourishing black market for the drug, which is the cause for a large amount of illegal activity in Canada.

Based on our experience operating on Robson street for the past 2 years, we have seen no negative impact on the surrounding community, cannabis operations will have no more impact on the surrounding neighborhood than a coffee shop or drugstore. Residents won't see dispensaries as undesirable storefronts in their neighborhood, these centers will not appear to have any impact on the urban landscape and therefore on the health of the communities in which they are located.



The City Cannabis businesses will generate community benefit that will positively impact the surrounding community by generating economic benefits like jobs, revenue, and real estate demand. City Cannabis Co will participate in giving back to the community by assisting vulnerable populations, by developing a community benefits plan that provides assistance to causes that require support and assistance.

**WE ARE HERE TO HELP**

**C I T Y   C A N N A B I S   C O .**

## **SECURITY PLAN**

**As Per the LCRB security requirements and as shown in the attached floorpan, we will meet all Provincial security requirements.**

- 1. Intruder and fire monitoring alarm systems**
- 2. Locked retail product display cases**
- 3. Locked cannabis storage room**
- 4. Secure perimeter door locks**
- 5. Security cameras with full unobstructed view of:**
  - a. the retail sales area**
  - b. any product storage area**
  - c. both the interior and exterior of all store entrances/exits.**

**Our cameras will be active and recording at all times, including when our store is not open for business. We will store security camera footage for at least 30 days after recording.**

**We will post a written notice in the retail sales area informing their patrons that video surveillance is being used on the premises. This notice will be visible at all times.**

**We will provide a copy of security camera footage to LCRB at any time for use in investigating possible contraventions of the Cannabis Control and Licensing Act, its regulations, and/or these terms and conditions.**



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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## POLICY

Recreational Cannabis Retail Policy

## REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

## Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

## Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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Administration of this policy is delegated to the Planning Department.

## **PROVISIONS AND PROCEDURES**

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

### **Locational Criteria**

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
  - Mixed-Use Level 2 (Medium Density);
  - Mixed-Use Level 3 (Medium Density);
  - Mixed-Use Level 4A (High Density);
  - Mixed-Use Level 4B (High Density);
  - Harbourside Waterfront (Mixed-Use); and,
  - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
  - Community and Recreational Centres;
  - North Shore Neighbourhood House;
  - North Shore Shelter;
  - North Vancouver School District Office; and,
  - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

### **Application Procedure**

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at [www.cnv.org/cannabis](http://www.cnv.org/cannabis) on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at [www.cnv.org/cannabis](http://www.cnv.org/cannabis).

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
  - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
  - A submission containing more than one application will not be considered and will be disqualified; and,
  - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
  4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
  5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
  - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
  - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
  - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

Approval date:	September 24, 2018	Approved by:	Council
Effective date:		Revision date:	



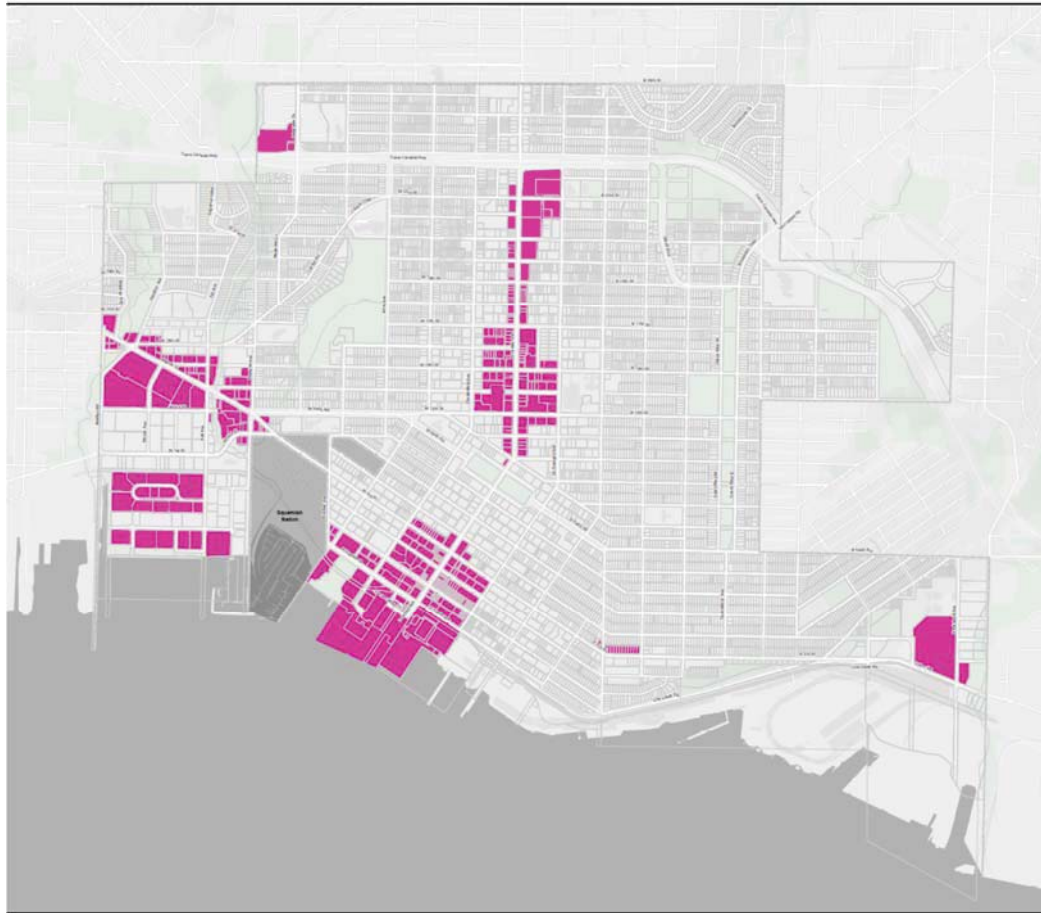
Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7




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### **Schedule 1**

#### **Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations**



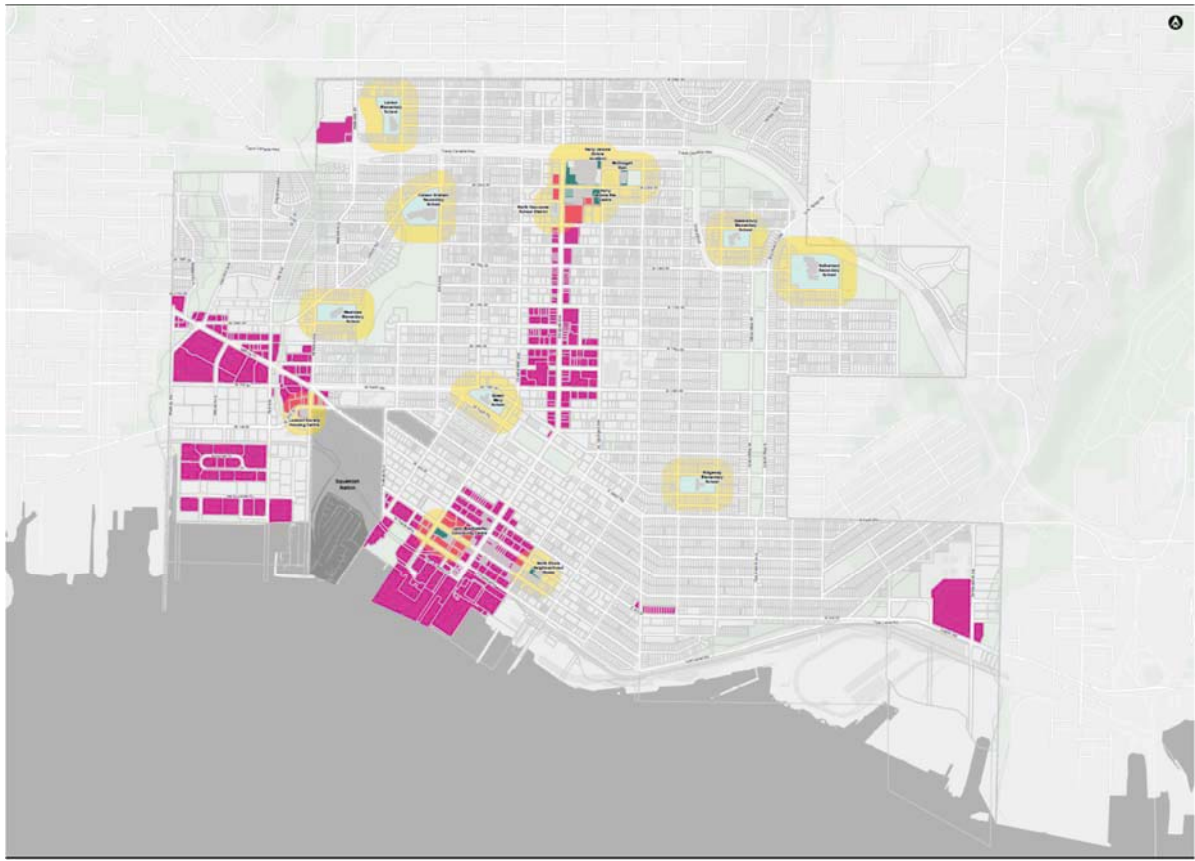
#### **Legend**

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

**Schedule 2**  
**Recreational Cannabis Retail Businesses**  
**100-metre Radius Separation Requirement from Sensitive Uses**



**Legend**

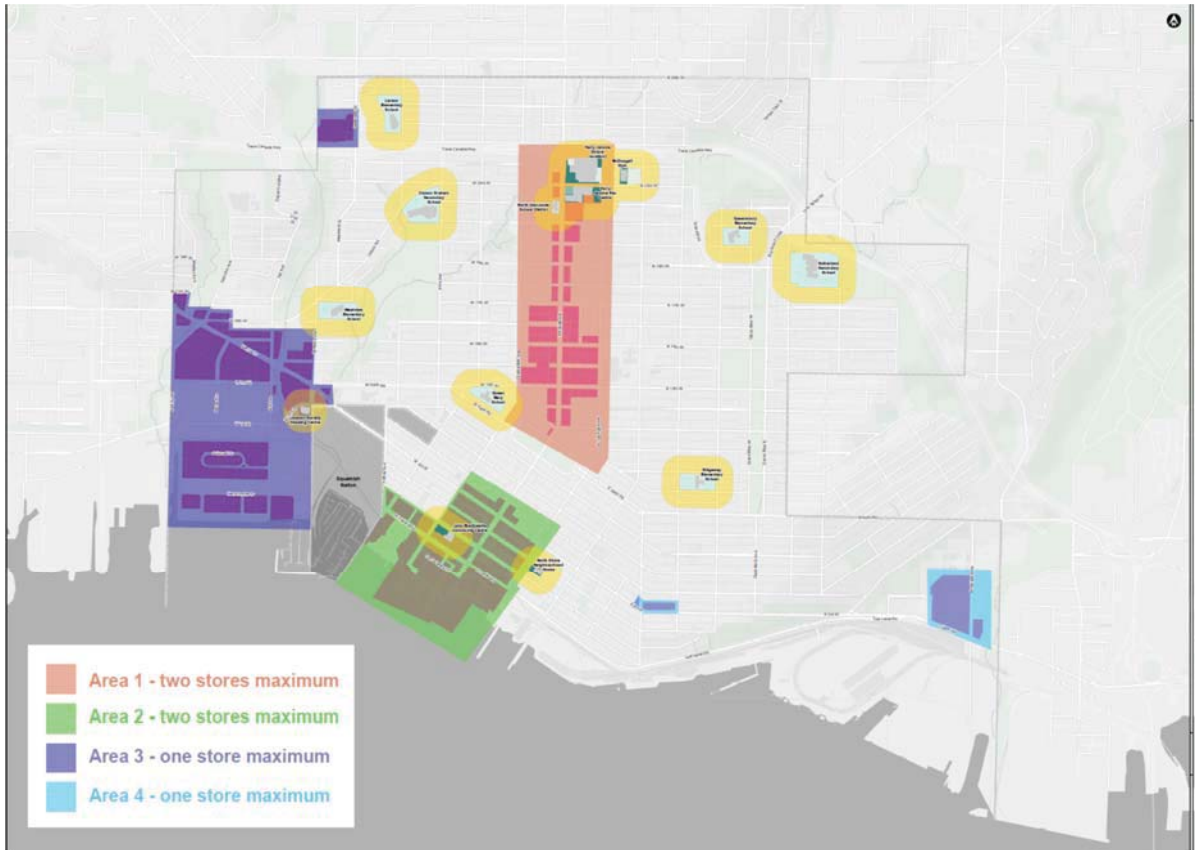
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer \*
- OCP Land Use Designation
- Legal Parcels
- City Boundary

\* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

**Schedule 3**  
**Recreational Cannabis Retail Businesses**  
**Areas of Consideration**





Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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**Schedule 4**  
**Recreational Cannabis Retail Businesses - Submission Requirements**

<b>REQUIRED INFORMATION / DOCUMENTATION</b>	<b>YES</b>	<b>NO</b>
Name and contact information of applicant(s)		
Civic address and legal description of property where the proposed business is to be located		
Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property		
Confirmation that the proposed location complies with all locational requirements as per this policy		
Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none"><li>• past business experience</li><li>• corporate structure</li><li>• number of staff, products sold, target market, and hours of operation</li><li>• other general business information</li></ul>		
Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver		
Description of the expected time frame for commencing business activities within the City, if approved		
A Community Impact Statement outlining the following: <ul style="list-style-type: none"><li>• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community</li><li>• Strategies for mitigating potential negative impacts</li></ul>		
A Security Plan demonstrating security features that comply or exceed Provincial requirements		
Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province)		

## 725 West 14<sup>th</sup> Street Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

Name: <u>Kyle McMurtry</u>	
Address:	
1. Do you support the proposed project?	<u>Yes</u>
2. What do you like most about the proposed project?	<u>great design + location - proven track record</u>
3. Do you have any concerns about the proposed project?	<u>no</u>
4. What would you suggest to improve or enhance the proposed project?	<u>n/a</u>
5. Please provide any additional comments. (use back of page if necessary)	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>MICHAEL ROSSI</u>	
Address: <u>#56-728 West 14<sup>th</sup> Street North Vancouver</u>	
1. Do you support the proposed project?	<u>No</u>
2. What do you like most about the proposed project?	<p>(#2) <u>The owner is very knowledgeable but it is <u>not</u> in the ideal space for a cannabis business or for neighbourhood families.</u></p> <p><u>*Keep prices of cannabis high</u></p>
3. Do you have any concerns about the proposed project?	<p>(#3) <u>Residential area that has lots of <del>new</del> young families. This store will bring an increased number of cannabis smoking people to the area. The catchment elementary school already has a high population of at risk youth and families. Each of the townhouse complexes directly neighbouring the proposed location have playgrounds that are safe for children to play. This proposed cannabis store will jeopardize the safety and the mindset of parents.</u></p>
4. What would you suggest to improve or enhance the proposed project?	<p>(#4) <u>The proposed location is at the end of an alley which would encourage the wrong <del>per</del> clientele to visit the area. The area already has a homeless population and this would bring higher numbers. I propose that City Cannabis finds a location further West in more commercialized area <del>near</del></u></p>
5. Please provide any additional comments. (use back of page if necessary)	<p>(#5) <u>The address for City Cannabis is on 14<sup>th</sup> street west but the actual entrance is <del>on</del> and parking is on the alley. This will bring increased traffic and stress to already limited street parking available to neighbouring residences.</u></p>

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

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## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>Carlin Mann</u>	
Address: <u>#56-728 14<sup>th</sup> St W, North Van</u>	
1. Do you support the proposed project?	<u>No</u>
2. What do you like most about the proposed project?	<u>The owner is knowledgeable about his business and surrounding area. <del>translates</del> High prices.</u>
3. Do you have any concerns about the proposed project?	<u>Residential neighbourhood with many playgrounds. Very close to an elementary school with a high population of at risk students and families.</u>
4. What would you suggest to improve or enhance the proposed project?	<u>There is a lot of commercial space (outside of the residential) very close. Alternative locations would have been a more reasonable option.</u>
5. Please provide any additional comments. (use back of page if necessary)	<u>Consider looking into the area and the school that is close by. They neighbourhood has a high rate of at risk student and families that struggle financially because of current or past addiction. Having a cannabis store in this area is not in the best interest of the children and families in this area.</u>

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

see back

\* Although the address is on 14<sup>th</sup> St. The entrance<sup>3rd</sup> is actually on an alley that is not accessible by car through 14<sup>th</sup> St. This will likely ~~not~~ result in unwanted traffic, lost clientele, and stress on already limited street parking on 14<sup>th</sup> St.

## 725 West 14<sup>th</sup> Street Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

Name: Judi Paquette	
Address: 4-1755 Fell Ave	
1. Do you support the proposed project?  Yes	
2. What do you like most about the proposed project?	
3. Do you have any concerns about the proposed project?	
4. What would you suggest to improve or enhance the proposed project?	
5. Please provide any additional comments. (use back of page if necessary)	You have allowed a 1/2 way house & homeless shelter in the vicinity without consult of the community.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Document: 1193016-v1



## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <b>BRUCE RUSSELL</b>	
Address:	
1. Do you support the proposed project? <b>NO</b>	<b>TOO CLOSE TO 3 EDUCATIONAL BUSINESSES, A HALFWAY HOUSE AT 312 BENWICK AVENUE, VERY POOR PARKING (7 SPACES TO 3 BUSINESSES!!)</b>
2. What do you like most about the proposed project? <b>NOTHING</b>	<b>AT THE WEST END OF A SHORT LANE WHICH THE CITY PROPOSES TO CLOSE OFF FOR THE B LANE. THE LANE IS A TRAFFIC 200/</b>
3. Do you have any concerns about the proposed project? <b>YES</b>	<b>NIGHTMARE AT PRESENT WHICH WILL BECOME IMPOSSIBLE WITH A RETAIL CANNABIS USE!</b>
4. What would you suggest to improve or enhance the proposed project? <b>DROP THE APPLICATION - POOL LOCATION.</b>	
5. Please provide any additional comments. (use back of page if necessary)	<b>REFER TO MY APRIL 8, 2019 LETTER TO DAVID JOHNSON, CNV PLANNER.</b>

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	Yes
2. What do you like most about the proposed project?	location
3. Do you have any concerns about the proposed project?	No
4. What would you suggest to improve or enhance the proposed project?	nothing
5. Please provide any additional comments. (use back of page if necessary)	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b> DONNA MONEY	
<b>Address:</b> 317 Bewicke Ave	
1. Do you support the proposed project?	Somewhat neutral but have concerns.
2. What do you like most about the proposed project?	Photos of the existing store have a nice professional and clean aesthetic.
3. Do you have any concerns about the proposed project?	My concern relates to the traffic and parking in an already congested and narrow alley, particularly if the City closes off the alley at Marine.
4. What would you suggest to improve or enhance the proposed project?	The Owner should negotiate some parking spaces from the Hertz car rental to ensure their clients don't use <del>other</del> parking belonging to other CRU.
5. Please provide any additional comments. (use back of page if necessary)	If the proposal goes ahead it would give me some comfort to know they will help keep the area clean and let their clients know they cannot loiter/smoke on the nearby benches adjacent to the bus stop.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org



I would prefer to see the location in an area with better parking and access. Either that or the City should consider some improvements to the alley as the City has approved density and parking access points that are a burden to the alley.

I also don't support closing the lane at Marine as this is likely to exacerbate the congestion in the alley.

## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	No
2. What do you like most about the proposed project?	I do not like the business model
3. Do you have any concerns about the proposed project?	Yes
4. What would you suggest to improve or enhance the proposed project?	No suggestions
5. Please provide any additional comments. (use back of page if necessary)	We strongly oppose this project in our neighbourhood and would ask the city to not permit the licensing

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	No
2. What do you like most about the proposed project?	N/A
3. Do you have any concerns about the proposed project?	<ul style="list-style-type: none"> <li>• closeness to Vet Hospital</li> <li>• Proximity to schools</li> <li>• Proximity to Shelter</li> <li>• location in laneway - parking issues</li> </ul>
4. What would you suggest to improve or enhance the proposed project?	New location
5. Please provide any additional comments. (use back of page if necessary)	Proximity to Elementary & Private schools

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1



## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: Andrea Agnoloni	
Address: 219-700 Marine Drive, North Vancouver, BC V7M 1H3	
1. Do you support the proposed project?	NO
2. What do you like most about the proposed project?	Do not like it
3. Do you have any concerns about the proposed project?	It is too close to schools, to a half house and it is proposed in a back ally which will generate more traffic
4. What would you suggest to improve or enhance the proposed project?	N/A
5. Please provide any additional comments. (use back of page if necessary)	N/A

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

## 725 West 14<sup>th</sup> Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>Mark Orr</u>	
Address: <u>#413, 317 Bewicke Ave, W. VAN BC.</u>	
1. Do you support the proposed project?	<u>no</u>
2. What do you like most about the proposed project?	
3. Do you have any concerns about the proposed project?	<u>yes, store proximity to business that has frequent children visited</u> <u>- lack of parking to accommodate traffic</u>
4. What would you suggest to improve or enhance the proposed project?	<u>- choose location not so close proximity to business frequented by children available to provide adequate parking.</u>
5. Please provide any additional comments. (use back of page if necessary)	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

Begin forwarded message:

**From:** <no\_reply@cnv.org>

**Date:** January 16, 2019 at 8:19:06 PM PST

**To:** <crabold@cnv.org>

**Subject:** Have Your Say | Community Feedback Form

<b>Subject:</b> No cannabis store pls West 14 st beside Hertz Car rental
<b>Comments:</b> I would like voice out my input re:plan of cannabis store beside Hertz rental west 14th st near Marine Drive. It will not be beneficial in our neighbourhood due to lots of young kids in the vicinity. There is Ava music, reading school for very young kids not to mention the children who lives in the vicinity. Plus no parking there as well. The parents are already struggling dropping the kids at Ava music and the tutorial reading school. The children will be inhaling all the second hand smoke there! There use to be one in the corner near the bus stop and the Salvation Army near marine drive , used to be pets store. That is a very good location for this business ! Please think of the children who lives in our area. Thank you Lailani T.
<b>Contact Name:</b> Lailani
<b>Phone Number:</b> [REDACTED]
<b>Your Email Address:</b> [REDACTED]





Jet Lee

Unassigned ▼

WED 9:47 PM

I would Like to ask if its true That a cannabiss store is going to be located near the hertz Rental car That is beside the Ava music and ESL or reading School .  
My 2 daughters who has asthma and we live above Ava music.  
Plus Young kids in the same neighborhood and the Young students of Ava music and the reading/science Center .  
Please check the neighborhood. That is not a good location for this kind of business.  
There is a pet store near the bus stop by Marine Drive .  
That use to be cannabis store, its empty right now.  
Thank you



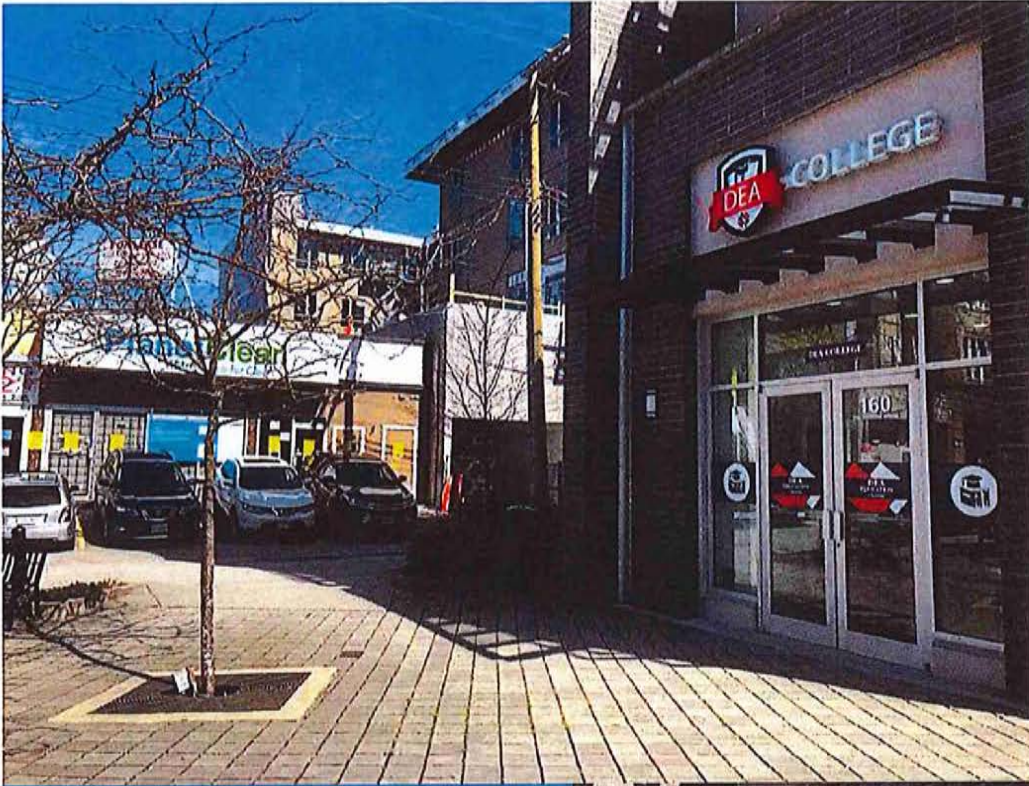
## David Johnson

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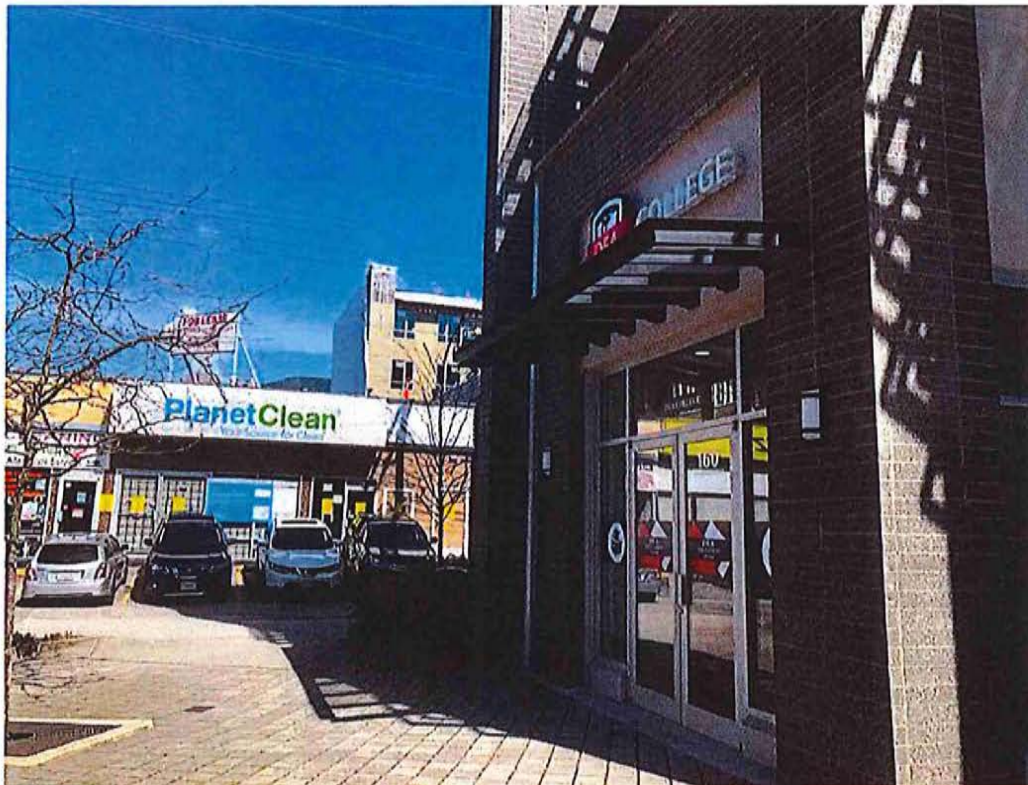
**From:** Sarah Baldwin [REDACTED]  
**Sent:** March-29-19 12:46 PM  
**To:** David Johnson  
**Cc:** Heather Deris; info@discoverenglish.ca; Oscar Bustos  
**Subject:** 725 Marine Dr.: City Cannabis rezoning application.



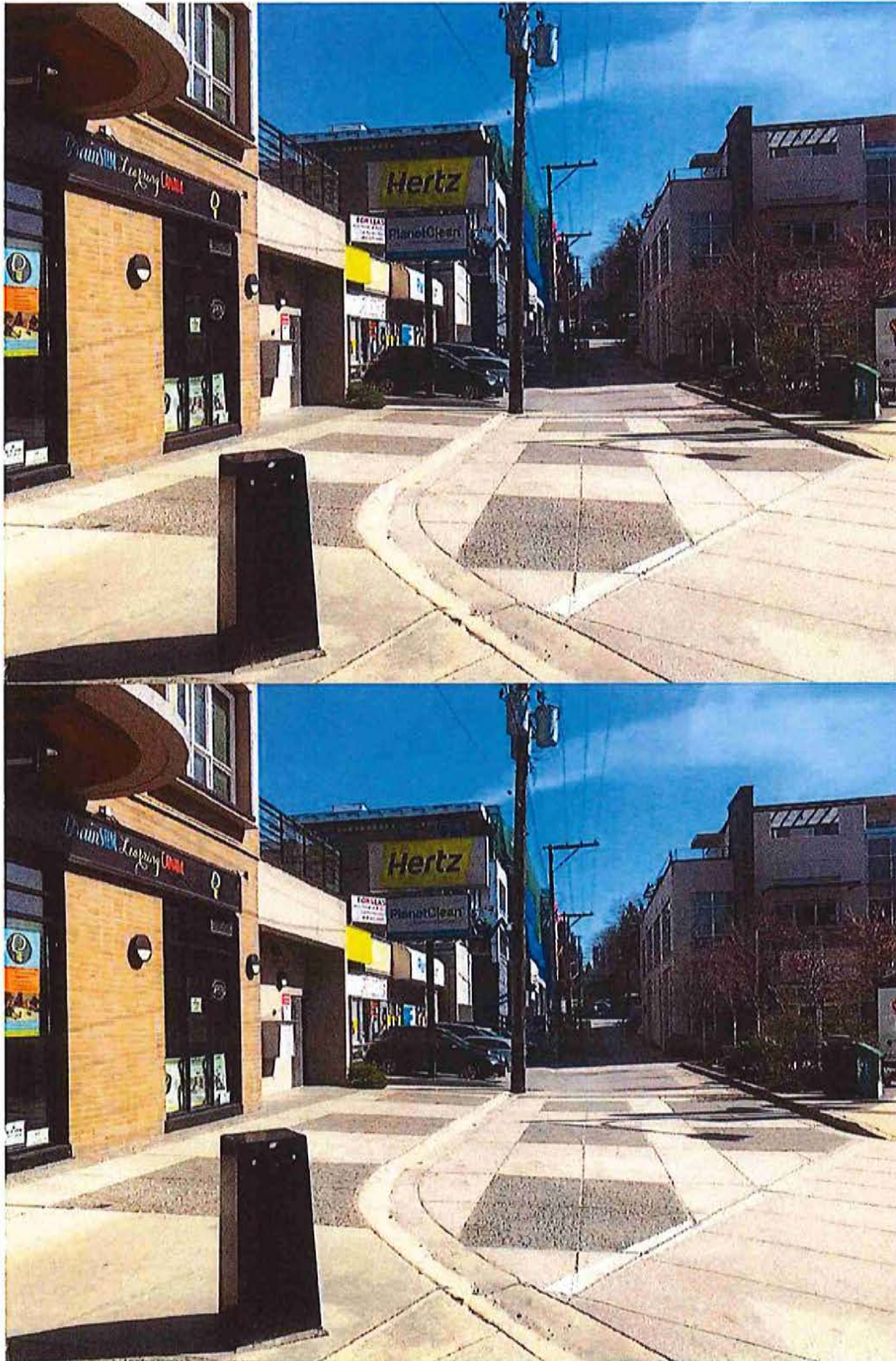












Hello, David. As part owner in the business: BrainSTEM Learning Canada Corp. licensed and operating at 730 marine Dr. BrainSTEM Learning is licensed at Educational Services for Children. Our clients are aged 4-14 years of age. I recommend that this block **should not** be rezoned to have a Cannabis organization as there are three educational companies catering to children in this block less than 300M away from 725 Marine dr.

As well, in this block is Ava Music at 734 Marine dr. giving music lessons to children as young as 3 years of age. DEA college, Language School at 160-700 Marine Dr.

Please see the attached photos showing how close these business would be in proximity if this zoning application were to be approved.

**I am strongly against this zoning applications approval and believe that another block should be chosen for City Cannabis to be located where there are more businesses that cater to adults and not children.**

In the attached photos, the Planet Clean awning would be the future location of City Cannabis.

Thank you for your consideration in this matter.

Sarah Baldwin

VP of Marketing, Communications and Sales

BrainSTEM Learning Canada Corp.

730 Marine Dr.

North Vancouver, BC

V7M 1H3



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April 8, 2019

City of North Vancouver  
141 W. 14<sup>th</sup> Street  
North Vancouver, BC V7M 1H9

Email: [djohnson@cnv.org](mailto:djohnson@cnv.org)

Attention: Mr. D. Johnson

Dear Mr. Johnson:

Re: Retail Cannabis, 425 West 14<sup>th</sup> Street, North Vancouver

Further to my telephone call of April 4<sup>th</sup> our company is opposed to proposed retail cannabis outlet at 425 West 14<sup>th</sup> Street.

The Gulf Pacific Group, via 351 Property Inc. are the owners of the property at 351 Bewicke Avenue as hatched in red on the enclosed "*cannabis use*" application site plan. The proposed cannabis location is outlined in red while the City of North Vancouver's proposed lane closure (B-line) is noted by way of the red "X".

A retail cannabis use is inappropriate for the subject location for a number of reasons, including the following:

1. History has already demonstrated a retail cannabis store generates a lot of customer traffic, not all of which is foot or bus traffic. The subject site has very little on-site parking and no on-street parking. There are only seven (7) storefront parking stalls, four or five of which are dedicated to the other two businesses in the adjacent space (Hertz car rental BibbanTuckers dry cleaners).

The short lane is already congested, and dangerous; a situation which will be exacerbated with a retail cannabis use site, with or without the City of North Vancouver's proposed closure of the west end of the lane (B-line).

2. SCHOOL/EDUCATION PROXIMITY ~ While the application may well meet the distance requirement/separation from a "school", it is next door to two (2) businesses that teach/educates young students with the third such business, DEA Education Centre (#3 on site plan); Brain Stem Learning Canada (#1 on site plan) is effectively "next door", which advertises "*Where Your Kids Get Creative*" as is Ava Music & Art Centre (#2 on site plan) which advertises, "*Music Lessons for All Ages & Levels*". We suggest educating youth is not restricted to public or private schools.

DEA Education Centre (see photo enclosed) is due south of the cannabis store entrance with an unobstructed sightline a mere 60' to 80' feet away.

3. HALFWAY HOUSE (ST. LEONARD'S OF NORTH VANCOUVER) ~ At the east end of the lane on the east side at 312 Bewicke Avenue there is a halfway house; the focus of their work is to assist former federal inmates reintegrate into the community and assist them with substance use recovery.
4. THE LOOKOUT SHELTER ~ The lookout shelter is a few blocks away at 705 2nd Street West, two blocks south of Bewicke and 14<sup>th</sup> Street - *hardly* an appropriate neighbor.
5. DRUG DEALS ~ Students from the nearby St. Aquinas, a private school (541 W. Keith Road), already occasionally use our Gulf Pacific parking lot to exchange drugs/cannabis ("drug deals"). We do not need any further "sourcing" in our immediate neighborhood.

We are not opposed to the retail sale of cannabis, however, we are opposed to a retailer being allowed to locate in an inappropriate location, therefore, we respectfully request the application be denied.

Your truly,  
GULF PACIFIC PROPERTY MANAGEMENT LTD.



R.B. (Bruce) Russell  
President

RBR/as

Encl.

cc. Interested Parties

## DEVELOPER'S INFORMATION SESSION

City Cannabis is holding an information session where interested members of the public are invited to learn about our application for a Recreational Cannabis Retail Store at 725 West 14th Street.

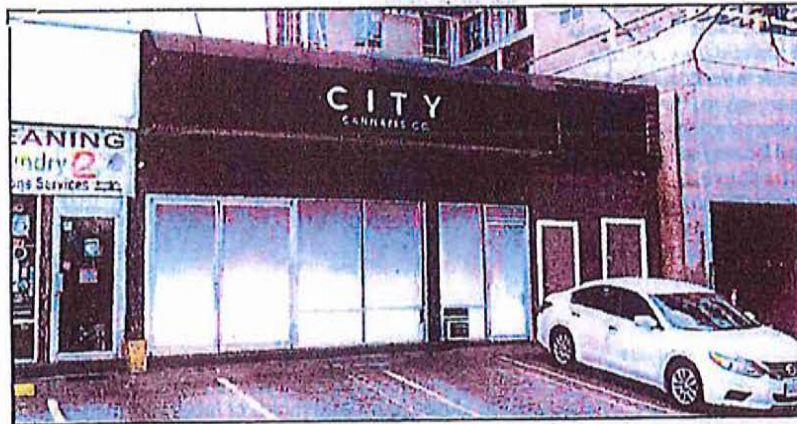


**Meeting Location:**  
John Braithwaite Community Centre  
Harbourview Room  
145 West 1st Street

**Date:**  
April 9, 2019

**Time:**  
6:00 pm to 8:00 pm

Krystian Wetulani  
City Cannabis  
604 282-3097  
krystian@citycannabis.co

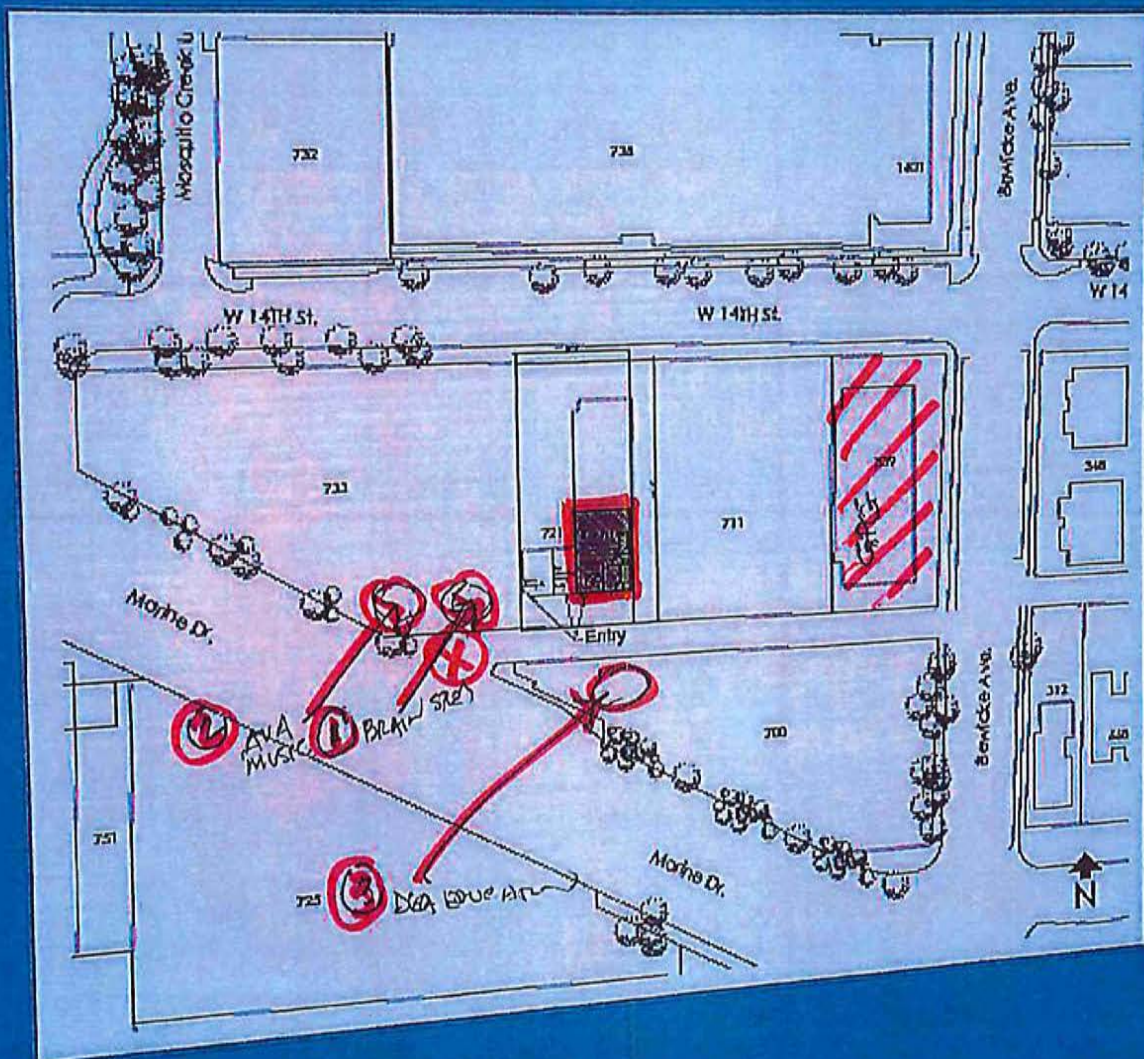


Planning Department Contact: David Johnson, 604 990-4219, [djohnson@cnv.org](mailto:djohnson@cnv.org)

This meeting has been required by the City of North Vancouver as part of the rezoning process.

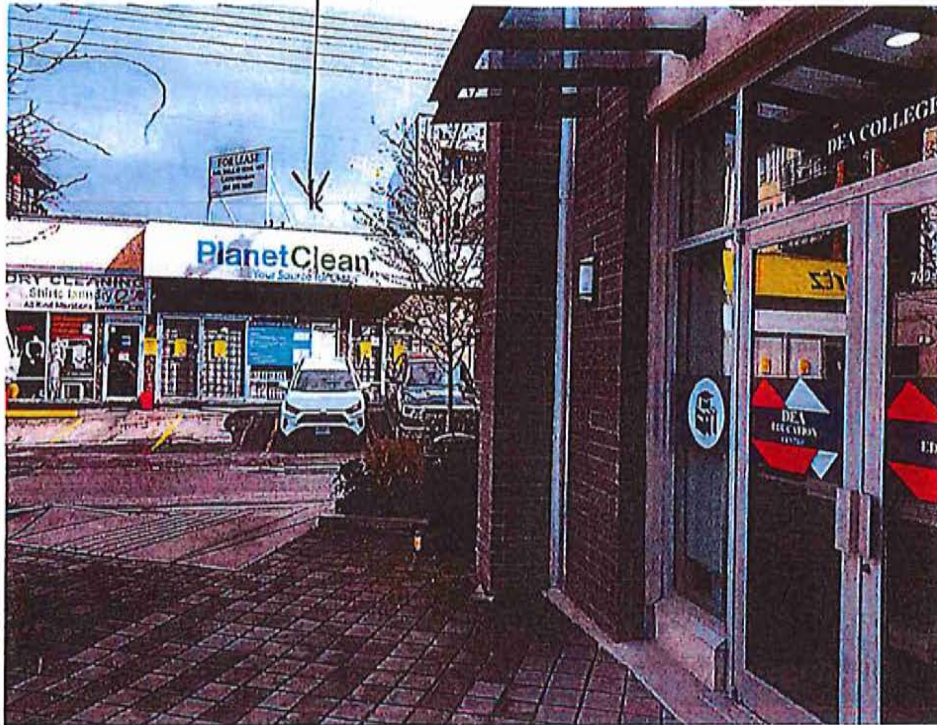


# SITE PLAN





PROPOSED CITY CANNIBALIS  
LOCATION



DEA EDUCATION CENTRE  
1160-700 MARINE DRIVE  
NORTH VANCOUVER, B

## David Johnson

---

**From:** DEA Eduction Centre [REDACTED]  
**Sent:** March-30-19 1:24 PM  
**To:** David Johnson  
**Subject:** Fw: 725 Marine Dr.: City Cannabis rezoning application.

Dear David,

As part owner in the business: Discover English Academy (Language School) licensed and operating at 700 marine Dr. Discover English Academy is licensed at Language school for Kids and youths. Our clients are aged 5-17 years of age. I recommend that this block **should not** be rezoned to have a Cannabis organization as there are three educational companies catering to children in this block less than 300M away from 725 Marine Dr.

As well, in this block is Ava Music at 734 Marine Dr. giving music lessons to children as young as 3 years of age. Brainstem giving Educational Services to kids.

**I am strongly against this zoning applications approval and believe that another block should be chosen for City Cannabis to be located where there are more businesses that cater to adults and not children.**

Regards,

Yalda Ahmadvand  
M.A. Linguistics & TESL  
Director  
DEA Professional Language & Training College  
[REDACTED]



## David Johnson

---

**From:** .. [REDACTED]  
**Sent:** April-03-19 2:02 PM  
**To:** David Johnson  
**Subject:** RE: Proposed Dispensary

I want to send you an email to let you know I am a resident of North Vancouver and I oppose the opening of a dispensary in the lane-way between 14th and Marine Drive. I do not feel this dispensary will be good for the neighborhood. I base my opinion on a number of case studies that have shown the negative impact on communities with dispensaries. With a homeless shelter within a few blocks of this proposed dispensary, there's a high likelihood there will be an increase in crime that is already attributed to this shelter.

The children of NV should be put first when making this decision. Will it benefit the lives of NV's children?

Colorado is a good place to look for this answer:

Opponents say the marijuana industry is clearly going after young people, getting them comfortable with the drug and getting them hooked. Edible marijuana products like candies are aimed directly at youth. And with more than 300 retail outlets selling them in Denver alone, they are more prevalent than any other types.

A top concern for many people who are now part of the resistance is the fact that kids under the age of 21—the minimum age for purchasing marijuana that was written into the law—are nonetheless consuming it at stunning levels, according to the Rocky Mountain High Intensity Drug Trafficking Area (RMHIDTA), an offshoot of the Office of National Drug Control Policy, which coordinates efforts between federal, state and local drug-enforcement agencies.

"I feel like we're losing a generation. I talk to these kids, mainstream kids, and they are doing the concentrate every day. Every day," says Diane Carlson, co-founder of Smart Colorado, a youth advocacy group that works with many schools. "The potential for harm and the implications for their future is unfathomable."

As a result, marijuana usage is affecting all aspects of life in Colorado—education, business, health care and law enforcement alike. "You have a lot of negative impacts," says RMHIDTA Director Tom Gorman. "ER (visits), hospitalization, (citations for driving under the influence of drugs), are all increasing."

It is important to point out the levels of its main psychoactive ingredient, tetrahydrocannabinol (THC), are 400 percent higher than they were three decades ago, according to a plethora of sources, including the *New England Journal of Medicine*.

## David Johnson

---

**From:** Raein Jamshidi [REDACTED]  
**Sent:** April-04-19 11:27 PM  
**To:** David Johnson  
**Subject:** City Cannabis Co permit application

Hello Mr. Johnson,

I am writing to you because I will not be able to attend the April 9th open house. I live in 733 West 14th Street and I wanted to voice my opinion and concern about the proposed location of this Cannabis retail location at 725 West 14th Street. There is housing located on all 4 sides of the proposed location. In those homes there are a lot of toddlers and young children. I know the city has bylaws saying no retailers within 100 meters of schools, playgrounds, shelters, etc. But considering how many children live so close to that location and walk past it on their way to Westview Elementary or STA. Both are very close. There is also a shelter that is extremely close to this location as well. This is also where the proposed B-Line bus stop will be and there may be a lot of younger individuals who use the service that I believe the bylaw is trying to protect.

The other location on Marine Drive is still too close but there was a Cannabis retailer operation illegally out of that location and although I still think it is too close to all locations mentioned above, it is more desirable than this location.

If you consider the demographics in the immediate vicinity and the location of 2 schools and a shelter I strongly believe this location is not ideal and implore you to consider these facts before making your decision.

Thank you for your time.

Raein Jamshidi  
[REDACTED]

City of North Vancouver  
141 W. 14<sup>th</sup> Street  
North Vancouver, BC V7M 1H9

Dear Mr. Johnson,

**Re: Retail Cannabis, 725 W 14<sup>th</sup> Street, North Vancouver**

My name is Brady Faught, I'm a Professional Engineer at the City of Vancouver and an owner resident at #406 - 317 Bewicke Avenue.

I attended the rezoning meeting last night and provided my feedback via comment form. However, a letter from Gulf Pacific Group was distributed to our strata members objecting the proposal for City Cannabis adjacent to our building. I am concerned as I don't want this letter to be perceived as representative of all opinions in our building.

I am a strong supporter of this proposal for a number of reasons:

1. Local business growth is much needed in our area: I welcome the opportunity to grow local businesses around our building, as it currently feels like a thorough-way for vehicles, with little space or reason to spend time in the area. The B-line plaza combined with great local businesses will add to the City and economic vibrancy on Marine Drive.

2. The product in question is 100% legal and regulated: Concerns about our neighbor halfway house are unsupported – cannabis is legal and may be purchased online if you are over 18. The residents have always been friendly mature adults and can raise any concerns themselves. As someone frequently around our building (walking my dog), the 'student drug deal' comment is also unsupported – these are students waiting for pick-up from their continuing education in the building. In 2 years I have not once seen any 'shady' scenario.

3. Proven successful and courteous businesses: With respect to second hand smoke and loitering, the former Weeds store one block west never had anyone loitering outside. I never smelled smoke, and the staff were always professional and courteous.

4. Proximity to schools (counter opinion): In a dense community like the City of North Vancouver, there will almost always be a church, school, rehab facility or otherwise somewhere in the area. Under this logic there would be no feasible place. The concerns I believe can be easily mitigated, and just like a liquor store, regulation is in place to prevent any interaction with minors.

5. Traffic: With regards to car traffic in the lane, as a resident for 2 years there has never once been an issue of too much traffic or congestion in the lane with existing businesses. With the future B-line providing excellent access to the stores, I see no reason to believe any additional traffic and marine drive closure will have detrimental impact on traffic.

Thanks for your time,



Brady Faught, P.Eng  
Unit #406 – 317 Bewicke Avenue



April 10, 2019

City of North Vancouver  
Development & Planning Services  
141 W. 14<sup>th</sup> Street  
North Vancouver, BC V7M 1H9  
Attn: Mr. David Johnson

**RE: Retail Cannabis, 425 West 14<sup>th</sup> Street, North Vancouver**

Dear Mr. Johnson,

Please accept this letter to represent our firm's **STRONG OPPOSITION** to the proposed application for City Cannabis to locate their retail cannabis outlet at 425 West 14<sup>th</sup> Street, North Vancouver.

By way of introduction, I am the owner of the adjacent property located at 711 W.14<sup>th</sup> Street, North Vancouver that was rezoned and is now subsequently being developed as The Five Points – 44 Residential Units and 6 CRUs. In addition to this project, The Regency Group invests in other projects in North Vancouver as a minority partner and has invested in a number of businesses and development projects in North Vancouver (District and City) since 1983, including most notably, the Regency Auto Group, which started at 1160 Marine Drive. On a personal note, I am also a resident of North Vancouver.

When I recently saw signage for the proposed retail cannabis outlet, I was, quite frankly, shocked and appalled. During our discussions with the City of North Vancouver (the "City") when we were rezoning our neighboring property, there seemed to be a keen focus on affordability and making the area more family friendly – we actually tailored our development to first-time homebuyers and young families seeking to enter the market in hopes that this demographic would stand a chance at finding long term residency in the community where they were born/raised – otherwise not possible given the upward price trajectory of the market that priced-out so many and forced them to leave the area. This pocket of North Vancouver is surrounded by stratified condominiums where CRU owners are generally disallowed from leasing to cannabis stores – 700 Marine Dr., Remix, The Five Points, Creston, Noma, etc. For all intents and purposes, 425 W. 14<sup>th</sup> is in the middle of a dense, newly-built residential neighborhood, albeit a modern one that comprises condominiums instead of single-family homes. In my view, not exactly a good location for this type of retail use given the demographic that resides here.

Furthermore, this community (or at least that envisioned by the OCP), is also home to three (3) schools / educational facilities in extremely close proximity as well as Westview Elementary and St Thomas Aquinas School. Having direct neighbors to cannabis retail frontage that are educational facilities just doesn't seem right; as a concerned parent, I can't imagine this will be either (a) good for business for those educational facilities or (b) good exposure for the children who attend those facilities, from both a health and influence perspective. Along with this line of thought, The Five Points recently had interest from a tenant looking to lease space for a daycare within our development. As we have not commenced marketing of the commercial space just yet, I believe the opportunity for a new daycare in the area would not exist should the City proceed with approving this development permit application. I also understand that there are some restrictions on cannabis retail placement in the context of proximity to educational facilities.

The area's increased density called for in the OCP has mostly been achieved, with the exception of 425 W. 14<sup>th</sup> Street. One of the many advantages to this increased density is the creation of community and a neighborhood that hopefully experiences a reduction in crime. We have historically seen drug deals in this area with very little response from the police (there is little they can do in these situations – by the time it is reported, perpetrators have left the area, so it's no fault of the police department who does great work!) – and it was our hope in adding to the already thriving community, with our

development, was that the increased density would help in this reduction of crime. We went so far as to agree to provide access to our underground parking lot by way of *uncompensated* right of way granted to our neighbor, with the goal of ensuring 425 W. 14<sup>th</sup> would not become an abandoned lot as it otherwise would have been too narrow to accommodate the OCP. It's unfortunate, albeit within the City's and property owner's full rights, to now see this retail usage moving forward when there was so much positive momentum in the neighborhood, which already works to assimilate the residents of the halfway house located on Bewicke Ave, across the street from the subject laneway.

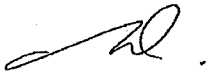
Lastly, the proposed laneway closure – which was contemplated at the time of our rezoning, and we made parking accommodations for this eventuality – will undoubtedly negatively impact the local businesses already operating in the laneway. The other businesses housed at 425 W. 14<sup>th</sup> Street – a rental car company (high traffic volume and parking requirements, short- and long-term) and a dry cleaner (high traffic volume, short-term) – already create congestion in the lane. A further high-volume outlet will only worsen things, particularly when the lane closure is factored in. There are just 7 parking stalls along the store frontage – can we be sure there will be no further congestion? Will there be spillover effects to the surrounding retail businesses and their parking requirements? To be clear, we are not opposed to the lane closure as we were informed during rezoning, however, the vision of the OCP was to eliminate retail in this laneway, NOT to expand it, as is the current case.

I'm not opposed to having now-legal cannabis retail outlets in North Vancouver, but context matters. This usage in areas of high exposure to children doesn't make sense. This usage in an area of a halfway house doesn't make sense (the North Shore Shelter and Housing Centre is also close by, a few blocks away at 2<sup>nd</sup> St W & Bewicke). I would ask that the City carefully reconsiders this application and whether it fits within the context of the neighborhood, its residents, the OCP and the kids who will be exposed to a drug whose effects and influence are not yet proven in the context of the community. Surely the City can find a more suitable location.

If you have any questions or require further explanation on the above, please don't hesitate to contact me at [AleemA@regencygroupcda.com](mailto:AleemA@regencygroupcda.com).

Yours truly,

**TRG CAPITAL CORP.**  
**TRG (THE FIVE POINTS) PROJECT LTD.**



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Per: Aleem Ahamed  
Its: Managing Director

RE: CITY OF NORTH VANCOUVER

I OBJECT ~~REASON~~ THE PROPOSED BUILDING  
ABOUT THE REZONING APPLICATION  
ON 725 WEST 14TH STREET. I DON'T  
LIKE PEOPLE ALL GATHER IN MY NEIGHBOURHOOD  
FOR BUYING THEIR MARIJUANA PRODUCTS.

OWNER OF REMIX  
MAY CHAN 309  
mm



- I believe that if people are to have access to marijuana, alcohol or any other genre of drug, it should be done in a safe manor and so I am not against opening marijuana shops throughout the province.
  - It would be best if these shops are placed in commercial areas and community plazas, where people over the age of 19 are going already (i.e. near the BC Liquor Store).
- In B.C.'s law, it is noted that marijuana shops must not be placed within 100 metres of schools and education centres.
- In placing the marijuana shop near Ava Music, you are placing a shop within less than 40 metres from a school with over 400 young students.
- Why should children that go to private schools and extracurricular youth activities be subjected to different rules than they would if they were to attend a public school?
- You are also choosing to place your shops in a residential area, which could be detrimental to recovering addicts, students and families who are choosing to veer away from marijuana, alcohol and drugs entirely.
- There is an alleyway between the proposed cannabis store and the 730 Marine Drive building. There is already plenty of unsafe activity occurring during the night in this area, and the contribution of a marijuana shop would only increase this upon its arrival.

Homayra Denis owner of  
Ava Music & Art Centre Ltd.

734 Marine Drive, North Vancouver, BC

[REDACTED]

[REDACTED]

City of North Vancouver  
City Clerk's Department

MAY 27 2019

File #  
CC:  
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## David Johnson

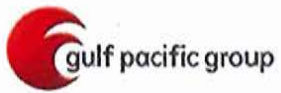
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**From:** Bruce Russell [REDACTED]  
**Sent:** May-27-19 3:56 PM  
**To:** David Johnson; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmilroy@cnv.org; Tony Valente (Councillor)  
**Subject:** Retail Cannabis Rezoning, 725 West 14th Street, North Vancouver, BC.

Dave, Mayor and Council, further to my letter of April 8, 2019 in opposition to the above rezoning/use in our immediate neighbourhood a review of CNV's Recreational Cannabis Retail Policy raises further concerns, if not inconsistencies in the City's stated planning intentions and actions. As a nearby commercial property owner in which our businesses are located, who will be negatively affected by a retail store in such a questionable location, fronting onto a laneway that is proposed by the City to become one-way for a B-Line bus stop or in the alternative a partial 2-way lane with restricted entry at the west end with no west bound Marine traffic permitted, I have justified reasons for my opposition. I am deeply perplexed by the following;

1. The City has expressed concerns for a small number of "sensitive uses" yet has ONLY established a "sensitive use" distance setback of 100m from the proposed cannabis store. This distance is well below the 200 – 300m set by most municipalities. Further, I think the City is being very "insensitive" to the fact there are three (3) licensed educational businesses virtually adjacent to the cannabis store or within 60m. All 3 businesses cater to young students. While the City may argue that neither is a "public or private elementary or secondary school", they are still an academic business, teaching young, impressionable students. As per the expression, "a rose by any other name is still a rose"!
2. I note with interest the North Shore Shelter is one of the few listed "sensitive uses" (page 2, Locational Criteria #2 in your Recreational Cannabis Retail Policy) which at 150m from the subject 725 West 14<sup>th</sup> Street location is comfortably/conveniently beyond the 100m sensitive use distance. I question the City's concern for the North Shore Shelter yet total lack of concern for the St. Leonard's Halfway House (312 Bewicke Avenue) which is ONLY 92m metres from the subject 725 W. 14<sup>th</sup> site. Surely if the type of clientele at the NSS is a concern why not the Halfway House? Why the inconsistency? I suggest the residents of SLHW, who are recovering from a drug and alcohol addiction problems every much deserve the same "sensitive distance protection" as the NSS occupants.
3. I refer you to you to the CNV Recreational Cannabis Retail Policy (2<sup>nd</sup> section) where on page 16, subsection 3 in the Minutes from the APC September 12, 2018 meeting (bullet #15) is states: ***"The City is not considering locating stores in residential or industrial areas"***! The subject site is heavily surrounded by multi-family residential with a 44 unit development nearing completion (The Five Points) immediate to the east of the proposed store. All of these developments have easy to access underground parking which makes for a very convenient, nearby place to smoke the legal cannabis. We already have students from the nearby Saint Thomas Aquinas School who use our lane parking for drug deals, we certainly do not need any more.

I urge Council NOT TO GIVE THE PROPOSED REZONING FIRST READING. There are better located retail properties to the west of Fell Avenue, with better access/egress, better parking and not close to either educational facilities or the St. Leonard's Halfway House. We do not have a problem with the type of use, just the location and not for NIMBY but very practical reasons. Should any council member wish a tour of our already congested, unsafe, no-parking lane, I would be happy to accommodate you at any time. The proposed site virtually has NO PARKING which further makes it a very poor location. Please respect the needs of the existing businesses who have been paying taxes for many years who; those which cater educationally to youth and the hundreds of residents in the immediate area. Better planning can surely find a better location. Thank you for your consideration.



**Bruce Russell | President**  
[BruceR@gulfpacific.ca](mailto:BruceR@gulfpacific.ca) | C: 604.209.8487

**Gulf Pacific Property Management Ltd.**  
T: 604-990.1500 ext. 308  
F: 604.990.1766  
351 Bewicke, North Vancouver, BC V7M 3E9  
[www.gulfpacific.ca](http://www.gulfpacific.ca)



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## David Johnson

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**From:** Alex Van Samang <[REDACTED]>  
**Sent:** May-03-19 2:02 PM  
**To:** David Johnson  
**Subject:** City Cannabis Proposal 725 West 14th Street

Dear Mr. Johnson

I have many concerns about the City Cannabis proposal at 725 West 14th Street. This location is not suitable period. Half a block away is a rehabilitation facility and a block away is the North Shore Emergency Shelter. West 14th Street is now mostly residential and two blocks up the road is Westview Elementary School. We are mostly family oriented complexes and condominiums with three small stores in-between...one store of which was the former Four Gardens store that was plagued with problems.

A more suitable location would be in the commercial business area by Save On Foods or Pemberton Street or the store that recently closed next to Blitz autobody across from the Ginger Jar Furniture Store. The Automall area is not a bad location either. All of these locations would have ample parking with no residential communities already in place.

I am supportive of these shops but not at this location. I hope you can understand my point of view and not allow this City Cannabis proposal to move forward.

Regards

Alex Van Samang  
402-733 West 14th Street  
[REDACTED]

## David Johnson

---

**From:** Bruce Russell <[REDACTED]>  
**Sent:** April-15-19 3:31 PM  
**To:** krystian@citycannabis.co  
**Cc:** David Johnson; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmilroy@cnv.org; Tony Valente (Councillor)  
**Subject:** Rezoning at 725 West 14th Street, North Vancouver ~ retail cannabis store

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

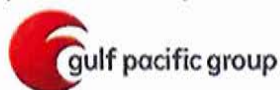
Krystian, I believe you may have been the 1<sup>st</sup> City Cannabis representative I chatted with at last Tuesday's (April 9<sup>th</sup>) Developer's Information Session. I spoke to 3 or 4 City Cannabis representatives to whom I explained the many reasons I/our company believed the rezoning and proposed retail cannabis use at the subject site was inappropriate and ill-conceived. As the owners of the nearby building and occupants of 351 Bewicke (for about 10 years) I have extensive knowledge and a very good understanding as to the "challenges" of the very short lane onto which your proposed cannabis store would front. In my letter of April 8, 2019 to the City of North Vancouver (CNV) I listed a number of reasons why 725 is not a good location for a retail cannabis store, reasons for which I don't hesitate to advise a good number of our nearby property owners, businesses and residents are in agreement, such as: the VERY CLOSE proximity of not one but three (3) educational businesses that cater to young students; the nearby St. Leonard's halfway house opposite the east end of "our lane" at 312 Bewicke Avenue; exceptionally limited parking with ONLY 7 storefront parking stalls that are already "overtaxed" by Hertz and the Drycleaner businesses immediately adjacent to your proposed unit; the CNV proposed B-Line CLOSURE of the west end of the "subject lane" at which time the already crowded and challenging lane activity (cars, delivery vehicles, garbage trucks, pedestrians, etc.) will become a nightmare made even worse by a high traffic generator business like yours. As part of our commitment to the community our company provides space to the Highlands United Church which operates a Shelter To Home community service which stores donated furniture which is donated to individuals/families moving into their 1<sup>st</sup> apartment/townhouse, some of which have had some challenging life struggles. I say no more. Clients access the Church storage area through our secure parking entrance which is off of the subject lane.

On the basis of the general discussions I observed around your display, as well as meetings I have had with many neighbours there appears to be considerable opposition to your rezoning, all for very good reason. I was very surprised that a few of your representatives were not aware of the poor parking; the proposed lane closure nor the presence of 3 educational business so close to what would be the entrance to your store. If I was a retail cannabis store owner I would reject the location on the basis of the poor locational characteristics. I was somewhat astounded when one of your representatives suggested "the suitability of the site may be questionable and/or marginal as to acceptability because the CNV are very limited as to their number of good/better sites". I responded by suggesting: *"that was hardly a valid reason for the city allowing a marginal site to be considered"*. All I received in reply was a shrug of the shoulders which gesture unto itself said a great deal. I went on to suggest: *"I thought it very unfair and shortsighted the city would give so much, if not more, consideration to a new business in a bad location rather than to the property owners, businesses and residents in this immediate area who have been here for many years and paying taxes. I think the City's site count is overstated while their parameters for site qualifications are inadequate and badly flawed"*.

As a former small "D" developer, property owner and commercial property manager (50+ years) our company is well aware of the commonly held developer's, landlord's and retail tenant's belief: "the 3 most important characteristics of a good/successful site/business are: (1) location; (2) location and (3) location"! For the proposed retail cannabis use the subject site fails on all three counts. A great/successful location is a function of good access/egress (consider the lane closure which is a decision driven by the City). Further it is also a function of good view lines to the business, which are

virtually non-existent to this site, a fact confirmed to me by a former tenant in the subject space shortly after the completion of 700 Marine. And leave us not forget the importance of GOOD PARKING, which one of your representatives surprisingly suggested was strong feature of the site!! Nothing could be further from the truth with 3 side-by-side businesses fighting for just 7 parking stalls. As it is at present even with your potential unit vacant, Hertz and the Drycleaners (existing businesses) have a constant problem trying to restrict the storefront parking for their customers only. I can only imagine what it would be like with a high traffic generator like a retail cannabis store. IMPOSSIBLE is a word that comes to mind. The very limited parking situation is made worse as there is no LEGAL lane parking; no street parking on Marine Drive and no public parking nearby. Just imagine the chaos when the city closes the lane virtually in front of your subject premises! I can't imagine you will like it, neither will your neighbours and nor should the latter be subjected to it.

For the record, I am not a prude and I am certainly not against legalized cannabis sales. Our company in fact manages a retail centre where a legal cannabis store is about to open. The 725 rezoning is simply a case of a bad site and the wrong location for such a "use", a site that should not have been made available in the first place. We would encourage both you and the city to find a site elsewhere that is not affected by the unique circumstances of this unfortunate location.



**Bruce Russell | President**

[BruceR@gulfpacific.ca](mailto:BruceR@gulfpacific.ca) | C: 604.209.8487

**Gulf Pacific Property Management Ltd.**

T: 604-990.1500 ext. 308

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351 Bewicke, North Vancouver, BC V7M 3E9

[www.gulfpacific.ca](http://www.gulfpacific.ca)



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Petition to stop a Cannabis Store from opening in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

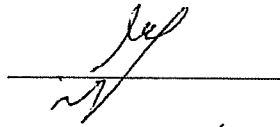
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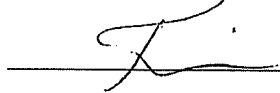
Faezeh Fahimi



Fireoza Khoshnood



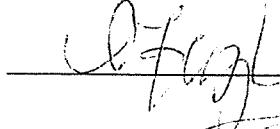
Tina Naderian



Martezza

Martezza Mabudi

Azra Moradian



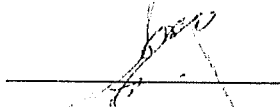
Hamid Tashkorian



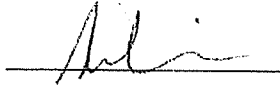
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Karbeh Nikhan

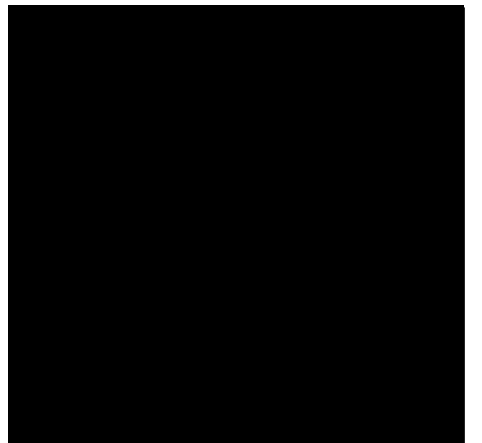


Sohela Alahverdian



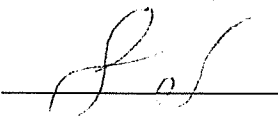
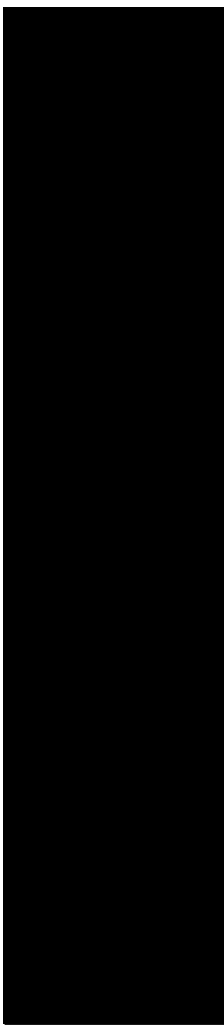
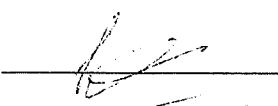
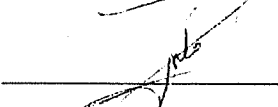
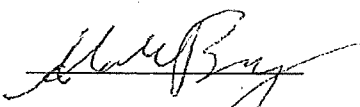


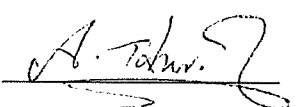
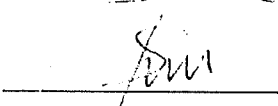
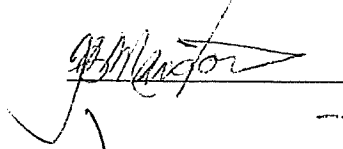
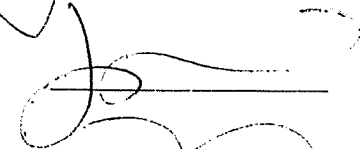
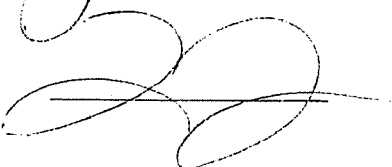
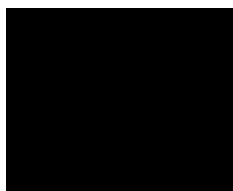
ELAHEH SHAVLIAN Eshavlian

BIJU ARABAL 



Petition to stop a Cannabis Store from opening in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name	Signature	Telephone
Masoud Tahmaseb		
Sheila Nikoo		
Faeraz Ramestki		
Ali Basig		
W. SAU TIP		
Charmen Ramestki		
Amash Taheri		
IONELA SCARE		
JOE MARSTON		
Jan Veiel		
T. Duncan		

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Print Name

Signature

Telephone

C. SOBREN

[Signature]

H. Keyvanara

[Signature]

H. Dehghan

[Signature]

Xuan Zhang

[Signature]

Jan Riddell

[Signature]

Christina Guay

Christina Guay

MARSHINE HAMBLETON

[Signature]

SANDA TRESNICK

[Signature]

Teresa Smith

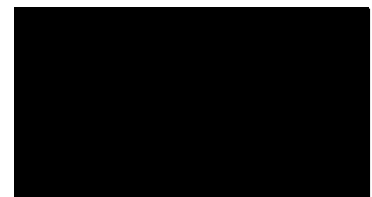
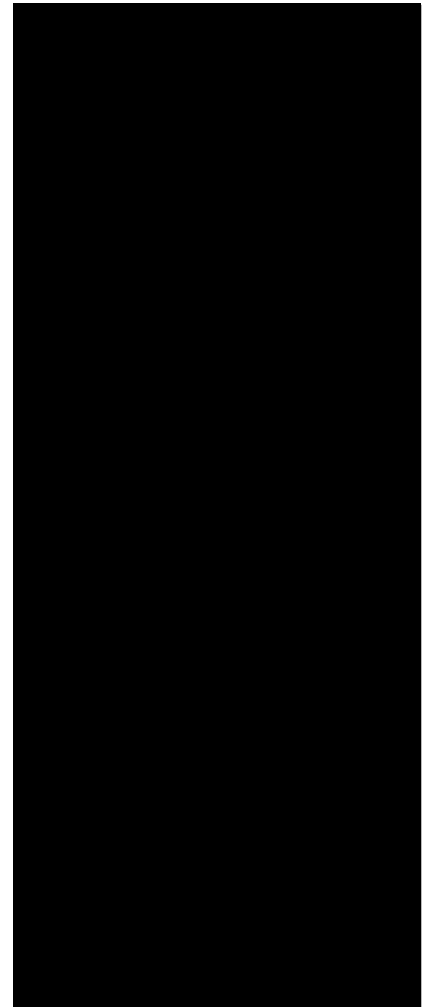
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Gynthia Arri

[Signature]

Kathy Kishat

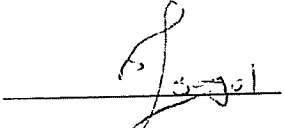
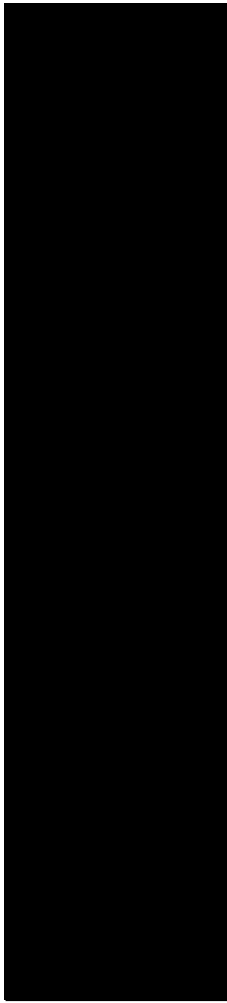

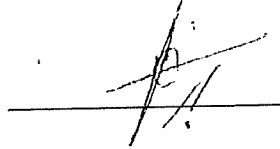
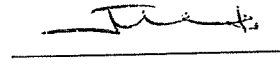
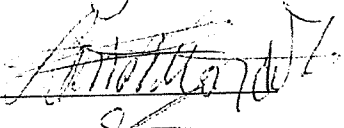
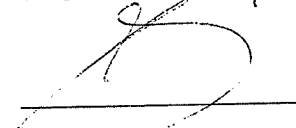
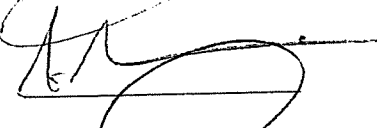


[Signature]





Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name	Signature	Telephone
<u>Sogol Tehrani.</u>	<u></u>	
<u>Merve Tasdelen</u>	<u></u>	
<u>Calvin Le</u>	<u>Calvin Le</u>	
<u>Sanaz Sorourbakhsh</u>	<u></u>	
<u>Taras Shevchenko</u>	<u></u>	
<u>Emily G</u>	<u>Emily G</u>	
<u>Silvia Velarde</u>	<u></u>	
<u>Omid Badali</u>	<u></u>	
<u>Ali Abedini</u>	<u></u>	
<u>Hossein Keyhan</u>	<u></u>	
<u>AURELIA TORANOL</u>	<u></u>	

Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

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Print Name

Signature

Telephone

Jason Rose

[Signature]

Yi Zhou

[Signature]

Kenya Cruz.

[Signature]

Maryam Shcaibi

[Signature]

Pezhman Mekhtari

[Signature]

Mohsen Movahed

[Signature]

Marjan Khesravi

[Signature]

Babak Rezania

[Signature]

Maryam Golriz

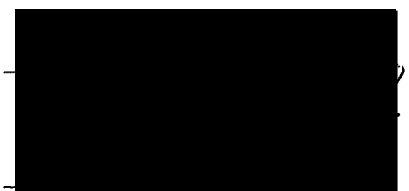
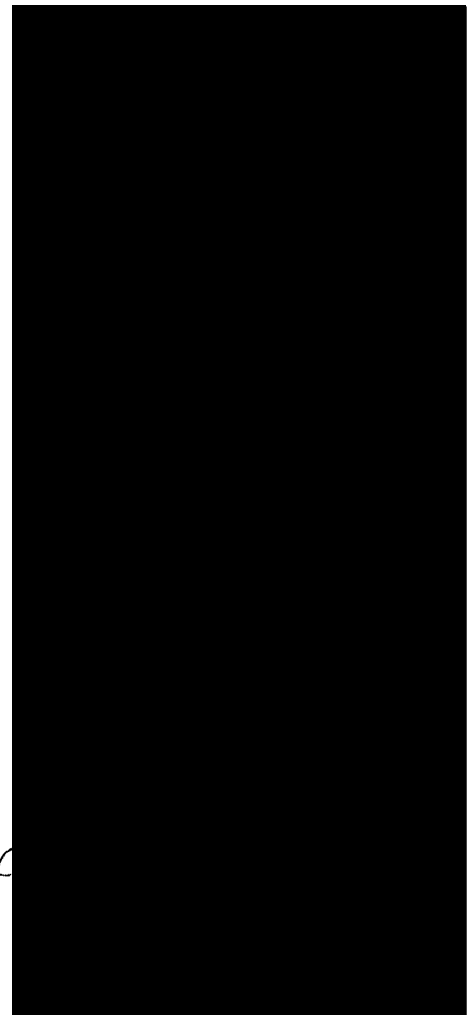
[Signature]

Mahshid Taheri

[Signature]

Samaneh Faezi

[Signature]



Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

Shirin Zarebshan

[Signature]

Yaser Abdoalazimi

[Signature]

Hadi Soleimani

[Signature]

Shiraz D'Mello

[Signature]

Nazgol Rahmani

[Signature]

Shahla Hatami

[Signature]

Rowena Simpa

[Signature]

Rojina Farahmand

[Signature]

Khosrow Dehghanfar

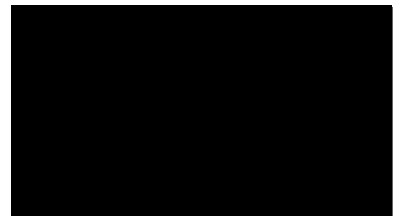
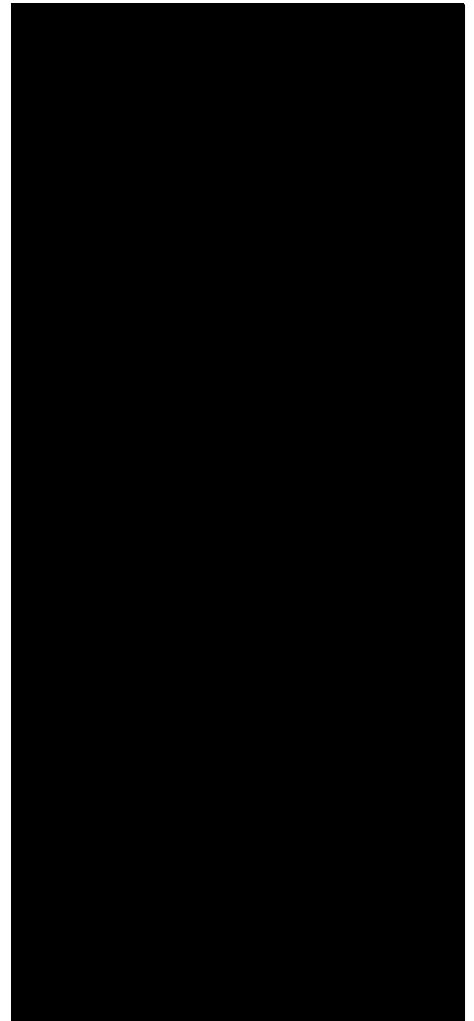
[Signature]

FERI KIRGIMI FARD

[Signature]

Jamal Zadeh

[Signature]





Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Area Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

DAVID CASTLE

[Signature]

DAVID BAKKE

[Signature]

RUXANDRA VASILJEVIZ

[Signature]

Xi Ya

[Signature]

Heather McNeil

[Signature]

Julia Lee

[Signature]

Ghazaleh KESHAVARZ

[Signature]

MEHRAN HAMIDI

[Signature]

Matthew Tsui

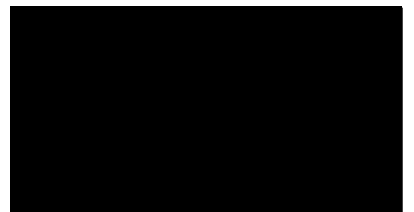
[Signature]

Mano Silva

[Signature]

Ganbuji n

[Signature]



Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

Karen Bratie

Karen Bratie

Kandice Leaf

Kandice Leaf

MARIETA BALAHADIA

Marieta Balahadia

JANINE GILLMAN

Janine Gillman

Sanaz Kashani

Sanaz Kashani

Martha Teuber

Martha Teuber ABSO

Ali Matinlar

Ali Matinlar

Jade Tang

Jade Tang

JULIANA PINTO

Juliana Pinto

Mohab Kibani

Mohab Kibani

Ali Keshavarz

Ali Keshavarz

Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

Trina Wang

[Signature]

Ji Yeon Hong

Hong  $\frac{2}{5}$  2/10/22

Anita Lee

[Signature]

Penney Dhaneswar

Dhaneswar

Dana Kim

Dan Kim

Nazim Mozafari

[Signature]

Afsoon Shahzary

A. SHAHZAHA

Janice Leung

[Signature]

Farid Rezaei

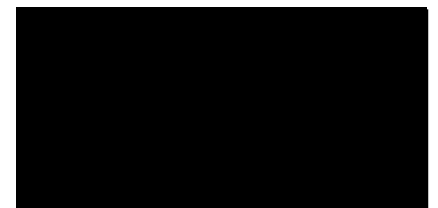
[Signature]

Mahsa Rakhshanifar

[Signature]

Tania Braun

T Braun





Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC.

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

LILYA JANGIROV

Lilya Jangirov

Dawn Kehler

DK

Rong Zeng

Rong Zeng

PARISA ERFANI

Parisa Erfani

Puya Firoozbakhsh

Puya Firoozbakhsh

LAURA ANARDI

Laura Anardi

John Akbari

John Akbari

Raymond Hooke

Raymond Hooke

Ali Dahesh

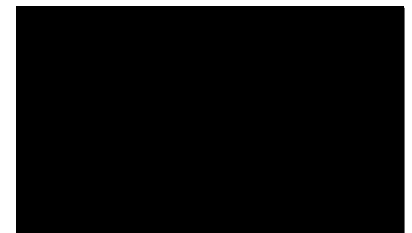
Ali Dahesh

Kourosh Shahverdiani

Kourosh Shahverdiani


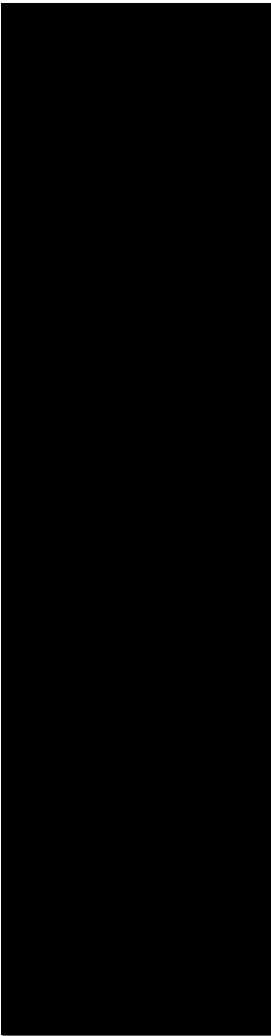


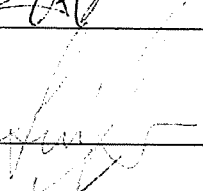



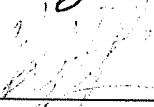
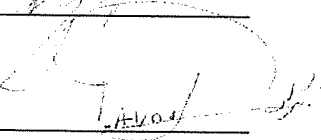
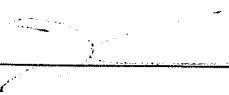
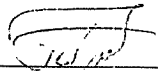
Sonali Li

Sonali Li





Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name	Signature	Telephone
Inge Ozdemir		
Reyhaneh Naminani		
DAN YAS		
Shi Khodan		
Ghazal Azizi Kashi		
Ghazaleh Azizi Kashi		
Marzich Ghanaatian		
Hemayat Ghanaatian		
ROUSHAN DAVOUDI		
Sasan Kelly		
Avezoo Mabrakian		

Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name	Signature	Telephone
<u>DONNA SEVA</u>	<u>[Signature]</u>	
<u>Mohsen Taghoubi</u>	<u>[Signature]</u>	
<u>Ipek Orug</u>	<u>[Signature]</u>	
<u>Majid Mohajerani</u>	<u>[Signature]</u>	
<u>Carla Anne Storey</u>	<u>[Signature]</u>	
<u>Ye Hong</u>	<u>[Signature]</u>	
<u>Ali Bagheri</u>	<u>[Signature]</u>	
<u>KEN SEWANE</u>	<u>[Signature]</u>	
<u>Slavka Kuthava</u>	<u>[Signature]</u>	
<u>Saber Ebatabaei</u>	<u>[Signature]</u>	
<u>Behrang Alijani</u>	<u>[Signature]</u>	



Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

Print Name

Signature

Telephone

Natasha Ala

Natasha Ala

Tetyana Goodkowsky

Tetyana Goodkowsky

Yi Zhou

Yi Zhou

Cara Anne Storey

Cara Anne Storey

Oscar Bustos

Oscar Bustos

Sarah Baldwin

730 Marine Dr

Sarah Baldwin

BRUCE RUSSELL

BRUCE RUSSELL

Chelsea Wolff

Chelsea Wolff

Linda Thompson

Linda Thompson

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Submission to the City of North Vancouver**

**RE: Statement of Concern Pertaining to a Recent Application  
by City Cannabis of Vancouver, BC Requesting the Re-Zoning of  
the Property at 725 West 14<sup>th</sup> Street, North Vancouver, BC to  
Accommodate a Commercial Recreational Cannabis Storefront**

Prepared by: J.C. Marston

Email: [REDACTED]

Date: 9 April 2019

**Topic:** Statement of Concern Pertaining to a Recent Application by City Cannabis of Vancouver, BC Requesting the Re-Zoning of the Property at 725 West 14<sup>th</sup> Street, North Vancouver, BC to Accommodate a Commercial Recreational Cannabis Storefront

**Location:** John Braithwaite Community Centre, Harbourview Room  
145 West 1<sup>st</sup> Street, North Vancouver, BC

**Date:** 9 April 2019

**Background:**

An application was recently submitted to the City of North Vancouver (CNV) by City Cannabis of Vancouver, BC, requesting that the property at 725 West 14<sup>th</sup> Street be re-zoned to accommodate a Recreational Cannabis Sales Storefront. The property in question houses a single-story building and appears to have space for up to 4 dedicated parking stalls.

The site is currently zoned for Mixed Use Level 2 – Medium Density (incl. residential, commercial retail and office uses). Although the postal address is listed as 725 West 14<sup>th</sup> St., the property is actually situated on a laneway (referred to on vehicle GPS as Mosquito Creek Lane) which runs between and parallel to the 700 blocks of Marine Drive and West 14<sup>th</sup> St.

Immediately surrounding land use activities (within 15 metres of the subject building) include:

- A dry-cleaning establishment and a Hertz Rental Car agency, which share the same commercial structure on Mosquito Creek Lane as the proposed retail cannabis outlet
- A new, presently under construction, 4-story residential building (est +/- 50 units), which abuts the eastern perimeter wall of the proposed cannabis outlet
- A 5-year old, 4-story mixed residential ), commercial retail and office building at 700 Marine Drive.

The next closest land uses (estimated to be within 15-45 metres of the proposed cannabis shop) include:

- North side of 700 block, Marine Drive (to the immediate west of the building at 700 Marine Drive), a four-story mixed residential and commercial building (built circa 2008)



- South side of 700 block, Marine Drive – a 2018 mixed residential and commercial building, plus various older commercial establishments

Elsewhere, the immediate neighbourhood is comprised primarily of a mix of low to medium density residential buildings, as well as some clustered commercial operations. The nearest public greenspace is the Mosquito Creek Park and Walking Trail, which commences about 50m to the west of the proposed cannabis shop.

Several other critical stand-alone properties in the neighbourhood include:

- Westview Elementary School @ 1660 Bewicke Ave (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Thomas Aquinas School @ 541 W Keith Rd (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Leonard's Society of Canada Halfway House and drug and alcohol treatment centre @312 Bewicke Avenue (direct line from proposed cannabis shop to nearest property line at St Leonard's facility approx. 50m)
- North Shore Emergency Shelter @705 West 2<sup>nd</sup> Street (direct line from proposed cannabis shop to nearest property line at NSES approx. 150m)

### List of Major Local Concerns:

1. "Sensitive Use Properties" – The CNV Recreational Cannabis Retail Policy (d/2018) identifies the guidelines which govern the siting of retail cannabis shops in the city. Upon examination, the document appears to be lacking in terms of identifying and approving reasonable "sensitive use properties" - that is, nearby existing land uses which, for a variety of reasons, could be reasonably seen to be in direct conflict with a nearby retail cannabis operation.
2. Separation Distances - The second area where the CNV policy appears to be noticeably deficient concerns the separation distances which have (or, in most cases, have not) been established between the proposed cannabis outlet and "sensitive use properties."

NOTE: Please refer to Tables 1 and 2 (attached) for further elaboration on Concerns 1 and 2.

Table 1 identifies the key regulatory provisions (in the form of both "sensitive use property designations" and approved separation distances) currently in place for several North American cities, including the CNV. In virtually every instance, the separation requirements in each category are significantly higher for communities other than the CNV. Similarly, most of the cities examined incorporate a broader

range of significant “sensitive use properties” than does the CNV. This is particularly important to bear in mind, as many of the American cities examined (such as Seattle, Denver, Tacoma, and Anchorage) were among the first to address local recreational cannabis retail distribution issues, based upon early legalization initiatives in their respective states between 2012 and 2015. Accordingly, they have had a generally longer history (and, by extension, more experience) in dealing with recreational cannabis sales matters than most other North American cities.

Table 2 identifies all “sensitive use properties” which the CNV has chosen to incorporate into its basic mandatory 100m separation zone. Significantly, the CNV Policy has included some rather puzzling “sensitive use sites” (such as the city library and the NV School District office??), but has chosen to remain silent on a number of seemingly more significant categories, including parks/playgrounds, drug/alcohol treatment centres, daycare centres, etc.)

3. Impact on Local Crime – In North America, cannabis for recreational (or medicinal) purposes has generally been viewed as an illegal substance by legislators and law enforcement agencies since at least the 1950’s. Cannabis production, distribution and use has invariably been associated with all levels of crime, from lesser property offences to organized criminal activities.

While the public perception towards recreational cannabis use has softened considerably in recent years, as evidenced by the increasing number of jurisdictions where it has become legalized, the stigma of a link between cannabis and various levels of criminal activity remains firmly ingrained in the collective psyche of a large proportion of the population. In fact, recreational cannabis has only been legalized in 10 of the 50 states. Many civic governments in those 10 states continue to ban the sale of recreational cannabis outright. Significantly, the federal government of the United States continues to refuse to recognize the legalization of recreational marijuana at any level, and in Canada, where the federal government recently legalized recreational cannabis, a large number of local jurisdictions continue to either ban the substance, or have chosen to take a more measured “wait and see” approach.

In the Hamilton community of North Vancouver where the subject retail cannabis re-zoning application is centred, the traditional concern that such an operation will attract more transient or occasional “bad elements” to the neighbourhood is at the forefront of the discussion. It is going to take time and familiarity to determine whether this concern will be based on perception or reality. Right now, however, perception IS the reality, and this is a significant “hot button” issue for many local residents and business owners.

In addition to the long-standing maxim that “approving new pot shops will generate increased crime rates in our communities,” the Hamilton area is faced with another, likely more legitimate, public safety concern relating to potential criminal impacts associated with opening up a recreational cannabis distribution outlet in the neighbourhood. Within two blocks of the proposed cannabis shop, there are two separate community facilities which must be considered as being wholly incompatible with a nearby cannabis distribution facility – firstly, the St Leonard’s Society drug and alcohol rehab facility for parolees at 312 Bewicke Avenue (approx. 50m from the subject property); and secondly, the North Shore Emergency Shelter for homeless individuals (perhaps 150m distant) . While both of these operations provide valuable services to the Lower Mainland community at large, they are nevertheless a constant source of concern for area residents. Police, fire and ambulance service visits are literally daily occurrences – especially to the NS Emergency Shelter, where the primary reason for emergency service call-outs is purported to be for serious drug overdoses. Many of the residents of these facilities have criminal records, are afflicted with serious drug or alcohol addictions, or suffer from severe mental disorders. Arguably, many of them will be vulnerable to the temptations presented by a legalized cannabis shop situated within close proximity to their shelters/treatment centres.

The likelihood that a cannabis shop at the proposed site could attract a larger criminal element to the neighbourhood, and with it an increase in the incidence of property crimes, cannot be discounted.

4. Increased Traffic along Mosquito Creek Lane – The laneway is a narrow route which currently accommodates considerable through traffic, as well as destination traffic for the Hertz and dry cleaning operations and the commercial and retail facilities situated in the lower floors of the building at 700 Marine Drive. On-street parking in the laneway is already at a premium, especially during the 9 a.m. to 7 p.m. period. In addition, the laneway must currently absorb traffic movements from the underground commercial and residential parking lot for the building at 700 Marine Drive. By next year, the new condominium which is currently under construction on the north side of the laneway will come online, with another 50 or so vehicles owned by residents being factored into the mix.

To further complicate matters, when the new North Shore B-Line route comes into effect the laneway exit onto Marine Drive is scheduled to be permanently closed, turning the end of the lane into a dead end. Vehicles travelling to the Hertz car rental, the dry cleaning establishment, and possibly the cannabis shop will be required to turn around and head back to Bewicke Avenue to exit the area.

Net overall result – added congestion in the laneway.



5. Kids and Pot Shops Don't Mix - EVER – I can't believe I even have to mention this as a primary concern; it seems so self-evident. But the CNV Policy calls for a 100m buffer for schools, and no buffer whatsoever for parks, playgrounds, or daycare centres. Combined with the other concerns identified above, this is a recipe for disaster...

### Concluding Remarks:

To the planners and council, I respectfully ask you to go back to Table 1 and re-consider what other jurisdictions deem to be legitimate "sensitive use properties" and reasonable buffer distances.

I would also encourage you to develop a more rigorous methodology for determining the optimum list of critical "sensitive use properties" and separation distances, ultimately leading to a re-defined set of potential locations better suited to accommodate retail cannabis shops.

In simplest terms, the concept of zoning refers to "the segregation of land uses that are thought to be incompatible." Unfortunately, it would appear that, in this instance, the target has thus far been badly missed. Hopefully, you will see fit to go back to the drawing board and re-work the CNV Policy such that it will ultimately serve all parties affected by this locational dilemma in an optimum manner.

I recognize that the CNV is in a difficult position here. Like Brexit, there is no "perfect" solution; however, there is undoubtedly a far better outcome than one which appears to force highly incompatible interests together in the worst possible way. As it presently stands, I don't see the current 100m buffer zone or the very limited definition of "sensitive use properties" gaining any traction at the local level in the Hamilton neighbourhood. While a 300m perimeter might be very difficult to introduce due to suffocating space limitations throughout the CNV, a compromise of 200m for critical "sensitive uses" might be better received by the populace. From there, it would be possible to walk the process back in order to determine possible locations in the general area which might be able to accommodate the cannabis shop requirements. If not, perhaps a pot shop in the Hamilton neighbourhood wasn't meant to be. Plenty of municipalities throughout BC in general, and the Lower Mainland in particular, have already elected to opt out of the "marijuana bonanza," and often no decision is better than a bad one.

In any event, thanks very much for the opportunity to express my concerns. Hope this will be of some help (he said euphemistically...).

Best Regards,

Joe Marston (Email: [REDACTED])

**TABLE 1: Comparative Separation Requirements for Retail Cannabis Outlets\***

City	Dist from Schools	Dist from Public Parks or Playgrounds	Dist fm Drug/Alcohol Treatment Centres	Dist from Homeless Shelters	Dist from Other Cannabis Businesses
N Van City (2018): Policy Guideline	100m (328 ft)	Not specified	Not specified	100m (328 ft)	Not specified
N Van Dist (2019): Reqts under review	200m (656 ft)	Not specified	Not specified	Not specified	Not specified
Vancouver (2018): (Bylaw approved)	300m (984 ft)	Not specified	300m (984 ft)	Not specified	300m (984 ft)
Seattle (2014): Ordinance adopted	305m (1000 ft)	152m (500 ft)	107m (350 ft)	Not specified	No more than retail facils within 305m
Pierce Co, WA (2016) Approved regulations	305m (1000 ft)	305m (1000 ft)	Not specified	Not specified	305m (1000 ft)
Tacoma, WA (2016): Amended regulations	305m (1000 ft)	152m (d'town dists) 305m (suburbs)	152m (d'town dists) 305m (suburbs)	Not specified	Not specified
Bellingham (2016): Interim Zoning Ord.	305m (1000 ft)	305m (1000 ft)	Not specified	Not specified	Not specified
Spokane, WA (2013): Ordinance adopted	305m (1000 ft)	300m (1000 ft)	Not specified	Not specified	Not specified
Fairbanks, AK (2018): Zoning regulations	152m (500 ft) 61m(post-secondary)	152m (500 ft)	31m (100 ft)	Not specified	Not specified
Anchorage, AK (2016) Ordinance adopted	152m-305m, based upon zoning district	152m-305m, based upon zoning district	Not specified	152m-305m, based upon zoning district	Not specified
Denver, CO (2014): Rec sales legalized	305m (1000 ft)	Not specified	305m (1000 ft)	Not specified	305m (1000 ft)
Los Angeles (2017): Ordinance adopted	213m (700 ft)	213m (700 ft)	213m (700 ft)	213m (700 ft)	Not specified

\*Note: Generally speaking, it appears that separation requirements governing both the recreational and medical commercial distribution of cannabis products in all communities examined is the same, although it is acknowledged that there may, in some instances be minor differences.

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

**TABLE 2: Detailed Separation Criteria for Retail Cannabis Outlets in North Van City\***

<u>Separation Criteria</u>	<u>Minimum Distance from Retail Cannabis Outlet</u>
• Community & Regional Centres	• 100m (328 ft)
• Foundry (Youth Services Centre)	• 100m (328 ft)
• North Shore Neighbourhood House	• 100m (328 ft)
• North Shore Shelter	• 100m (328 ft)
• North Vancouver City Library	• 100m (328 ft)
• North Vancouver School District Office	• 100m (328 ft)
• Public or Private Elementary and Secondary Schools	• 100m (328 ft)
• <b>Public Parks/Playgrounds</b>	• <b>Not specified</b>
• <b>Post-secondary Institutions (universities, colleges, etc)</b>	• <b>Not specified</b>
• <b>Drug/Alcohol Treatment Centres</b>	• <b>Not specified</b>
• <b>Daycare Centres</b>	• <b>Not specified</b>
• <b>Residences</b>	• <b>Not specified</b>
• <b>Other Cannabis Sales, Cultivation, Distribution Facilities</b>	• <b>Not specified</b>

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

Prepared by: Joe Marston ([jmarston@telus.net](mailto:jmarston@telus.net)), 6 April 2019



**TABLE 3: Key North American Legalization Dates for Recreational Use of Cannabis**

<u>Jurisdiction</u>	<u>Legalization Date</u>	<u>Comments</u>
<b>US States:</b>		
• Washington	2012	Well established legal infrastructure
• Colorado	2012	Well established legal infrastructure
• Oregon	2014	Well established legal infrastructure
• Alaska	2015	Well established legal infrastructure
• Nevada	2016	Evolving legal infrastructure - inconsistent
• California	2016	Evolving legal infrastructure - inconsistent
• Massachusetts	2016	Evolving legal infrastructure – inconsistent
• Maine	2016	Evolving legal infrastructure – inconsistent
• Michigan	2018	Rudimentary legal infrastructure
• Vermont	2019	Possession of 1 oz; No retail sales
<b>Canada :</b>		
• All provinces and territories	17 October 2018	Due to recent legalization, most provinces and communities in initial stages of defining how to proceed with implementation

Source: Wikipedia

# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

**Please Note:** This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Robin Baxter		6:00P
2	Sim NEILL	C-12	
3	Heather Habib	712-333 Brooksbank Ave. N. Van.	6pm
4	Jim Strand	507-345 Lonsdale Ave	6pm
5	Jeff Moscaros	209-305 Lonsdale Ave	6pm
6	Carlos Flores	315-733 West 14 St.	6:00pm
7	Andrea Theargeld	517-345 Lonsdale Ave	
8	Robynne Edwards	H1-1576 Tatlow Ave. N. Van.	6:00pm
9	Mackenzie Grantham	"	6:00pm
10	Lorenzo Edwards	"	6:00pm
11	Sylvia Collins	609-345 Lonsdale Ave	6:00pm
12	Heather Dens	734 Lonsdale Ave	6:00pm
13	Gandy HARVEY	733 W. 14th St. NV	6:00pm
14	Brendan Storestreet	733 West 14 street	6pm
15	Yalda Ahmadvand	180-700 Marine Drive NV	6:00pm
16	Don Rowlett	508-345 Lonsdale NV	6:00pm
17	Gray Jennica	1890 Cardinal Ave	6:00pm
18	Jim Kennedy	#503-305 Lonsdale	6:00pm
19	Jim Kennedy	1516 Kenford Dr White Rock	6:00
20	Shelly O'Meara	224-255 W 1st St N.V	6:00
21	Yvonne Cote	#502-305 Lonsdale	6:00
22	Meghan Koup	502-277 1st St. West	6:00
23	Meghan Koup + Nathan	406-305 Lonsdale Ave	6:00
24	Caitlin Mann	56-718 15th St W	6:05
25	Christina Hall		6:10

No.	Name	Address	Time
26	BOB Burtin	655 5 <sup>th</sup> ST	6pm
27	WAYNE CATTONI	8084 17 <sup>th</sup> AVE 1517	
28	Kamal Nanavaty	111 E 13 <sup>th</sup> ST	
29	Feroze Nanavaty	111 E 13 <sup>th</sup> ST	
30	Trace Kennedy	503-305 Lonsdale Ave NV.	
31	Ericc Maxime	#223 255 West 5 <sup>th</sup> Street	
32	Joe Lappan	#224 - 255 West 1st St	6 pm
33	Sarmaz Brent	302-305 Lonsdale Ave.	6 pm
34	Andy Hellmuth	+203 - 17 <sup>th</sup> W - 125 Lonsdale	6 PM
35	MARLENE TAMBEAU	305-305 LONSDALE AVE	6pm
36	Peter Bachmann	407-1200 Lonsdale Ave. North Vancouver	6:05
37	MICHAEL ROSSI	#56-728 West 14 <sup>th</sup> St.	
37	Morgan Mink, V	#5 728 West 14 <sup>th</sup>	6:00
38	VERONICA B		6:00
39	ANDREW HAWTHOR	3264 W. 31 <sup>st</sup> AVE VAN B.C	
40	MAEV GATO/ KENO GATO	306-305 LONSDALE AVE. N. VAN BC	6PM
41	B. Moge	111 East 13 <sup>th</sup> Street	6:00
42	A. MOYE	111 E 13 <sup>th</sup> ST N. VAN	6:10
43	Brad Helgason	#421-255 West 1st Street.	6:11
44	Kyle LeMort	1655 Edwards Rd	6:11
45	BRAIN LARSEN	1720 GRAND BLVD E.	6:12
46	Debbie Dickie	1119 Pinning Rd (103 East 12 <sup>th</sup> )	
47	Kathy Chan	P.O. #6 Lions Bay BC	6:15
48	Julie VanBreegen	#204, 131-3rd ST WEST NORTH VAN	
49	Myra	#101 461 WEST 16 N VAN	6:15
50	Leona Gallon	961 WILLOW LANE W VAN	6:15



# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

**Please Note:** This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Ezekiel UHOA	1250 LONSDALE AVE	6:00 PM
2	Nathalie Poirier	255 West 1st Street	6:00 PM
3	Brad Helgason	255 West 1st Street	6:15 PM
4	Jess Wagstaffe	507-719 West 3rd St	
5	<del>GEORGE BEWICK</del>	3819 CAMBRIDGE W. VAN	6:15 PM
6	PICK JEFFERY	#204 131 W 3rd St N. VAN	6:15 PM
7	ISCIAN MEAKIN	1151 EDGEMOOR RD N. VAN	6:15 PM
8	LEIGHTON HARRISON	408-305 Lonsdale Ave N. VAN	6:15 PM
9	Don Holt	601-12th W	6:15 PM
10	Garry Johnston	319 EAST 6TH	6:15 PM
11	Athenne A. Ambrose	137-East 1st St. #406, N. Van	6:25 PM
12	BRUCE BASSEL	351 BEWICK AVE. NORTH VANCOUVER	6:27 PM
13	Dorene Russell	2-240 E 4th St N. Vancouver	6:27 PM
14	KKE ROBERTSON	702-124 W 1st St N. VAN	6:30 PM
15	ANDREW KLAYDE	213 EAST 22ND ST N. VAN	6:25 PM
16	JOE MARTON	303-317 BEWICK N. VAN	6:35 PM
17	Stord Scalford	312 East 1st St Apt. #103	6:40 PM
18	Courtney Anson	252 2nd St W	6:40 PM
19	Janet Kotalovic	255 W. 1st St N Van	6:55 PM
20	HECTOR HERNANDEZ	310-124 3rd St W N Van	7:43 PM
21	Jennifer Erin Vaughan	201-733 West 14th St N. Van BC V7M 0C6	7:00 PM
22	Sarah Baldwin	730 Marine Dr. Opposed to 725 Marine Loc.	7:00 PM
23			
24			
25			



No.	Name	Address	Time
51	DINA WEEKS	305 Lonsdale Ave. North	6:15 pm
52	RAGNE JOHNSTON	317 E 6th N. Van	6:15 pm
53	Havona Hibbard	137-406 E 1st Street	6:25 pm
54	Howard Hao	201-332 Lonsdale Ave.	18:25 pm
55	Brady Fought	317 Bewicke Avenue	18:25 pm
56	Amya Hirji	305 Lonsdale Ave #202	18:25 pm
57	BRAID RABBIT	1661 PHILIP AVE	6:28
58	DONNA TONEY	317 Bewicke Ave.	6:30
59	Alic Batoni	209-211 700 Marine Dr N. VAN	6:30
60	Mark Johnson	<del>306</del> 306-161- West 4th St. N Van.	6:45
61	ALEX RAKS	1212 23rd ST W.	6:45
62	Steven Rakis	780 W ST Georges	6:45
63	Chester Wolff	822 BSTEM.	
64	Rita Hernandez	310-124 W 3rd Street North Van	6:55
65	Bernette Havel	277 W 1st Street	7:05
66	Dominic Havel	277 W. 1st street.	7:05 pm
67	MICHAEL GALLAGHER		7:15
68	Julia Dickson	255 1st St W.	7:15
69	Colm Flavin	111 East 3rd.	
70			
71			
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76			

## Recreational Cannabis Retail Store

### Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b> Brady Fought	
<b>Address:</b> 317 Bewicke Avenue	
1. Do you support the proposed project?	Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed.
2. What do you like most about the proposed project?	The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community.
3. Do you have any concerns about the proposed project?	No. Please have bike racks!
4. What would you suggest to improve or enhance the proposed project?	↓
5. Please provide any additional comments. (use back of page if necessary)	I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

#### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project? <i>YES</i>	
2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i>	
3. Do you have any concerns about the proposed project? <i>NO</i>	
4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i>	
5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN &amp; FRIENDLY</i>	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)



## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	NO
2. What do you like most about the proposed project?	NOTHING
3. Do you have any concerns about the proposed project?	YES ,
4. What would you suggest to improve or enhance the proposed project?	DON'T PROCEED
5. Please provide any additional comments. (use back of page if necessary)	THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED!

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)



## David Johnson

---

**From:** [REDACTED]  
**Sent:** March-27-19 9:24 PM  
**To:** David Johnson  
**Attachments:** text\_1553747028630.txt

---

Umm I rent I the area, but this weed licences wrong spelling wont  
bo through and I'll make sure of it

---

This message was sent from a Bell mobile phone.

**Bell**

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web\_Feedback <[info@cnv.org](mailto:info@cnv.org)>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well  
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?  
why not in Lynn Valley ,Marine drive ,Edgmond village ,  
cb there those place re for rich people,

-poor and middle class live on Lonsdale,  
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,  
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,  
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>  
if the NDP does not stand to protect our children ,family  
we are not going to support you for the next city election and we are going to push the NDP to ban those  
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our  
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!  
we can live without them.

king regards

Benny

Begin forwarded message:

**From:** Hibilly Blu <[REDACTED]>  
**Date:** April 2, 2019 at 3:47:23 PM PDT  
**To:** [lbuchanan@cnv.org](mailto:lbuchanan@cnv.org)  
**Subject:** Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.  
Stephen Nilsson

# 725 West 14<sup>th</sup> Street (Bylaw 8713)

- OCP designation of Mixed-Use Level 2.
- The storefront will have good exposure from Marine Drive.
- Outside of the sensitive use areas.
  - North Shore Shelter (197 metres)
  - Westview Elementary School (270 metres)





The background of the image shows a modern interior space with a wooden shelf holding several potted plants, including a large green fern and a smaller plant in a black pot. A black metal frame supports the shelf. In the foreground, a wooden shelf holds several small, clear glass containers on black stands. A large, semi-transparent grey circle is overlaid on the image, containing the company logo and text.

**CITY**  
CANNABIS CO.

Your Urban Oasis for  
Fine Cannabis Goods

---

NORTH VANCOUVER



# Our Story

- Robson & Granville Flagship Store.
- Focus on health & wellness.
- Awarded first license in Vancouver.
- Great track record with the Province.
- Currently holding 4 licenses in BC.
- Attended every North Vancouver pre-licensing meeting to help with regulations within the city.





# Who We Are

- We are passionate about sharing our knowledge and expertise.
- Our stores are filled with natural greenery and custom reclaimed wood furniture.
- Team of friendly and highly-trained staff to help guests find the right product for every occasion.
- First retail chain in BC.



# Wellness Brand

Wildflower Brands is a publicly traded company based in Vancouver manufacturing wellness products in the US since 2012.



We have been listening to your concerns  
and we will address them.

Parking

Youth Safety

Security

# Parking Concerns

- Signed agreement with Landlord to relocate Hertz if business license awarded.
- Opens up 20+ parking spots on the property for *City Cannabis*.
- Hertz has over 400 vehicles, this will open up parking spots in a 5-6 block radius in the surrounding neighbourhood.





# Youth Safety

- Consumption amongst youth way down after legalization.
- Security guards. 2 piece of ID required.
- Black market leads to other substances and contributes to organized crime.
- Legal stores contribute to the economy and are regulated for safe usage.

## CBD

### The benefits of cannabis without the 'high'

You probably know THC - a well known compound in cannabis which causes a euphoria or a 'high' as a side effect when consumed. Cannabis contains over 60 of these compounds called "cannabinoids".

Cannabinoids connect to the receptors in our brain and nervous system called the "endo-cannabinoid system" that receive and process information passed on by cannabinoids.

CBD is another one of these 60+ cannabinoids. Many patients have reported CBD to have helped their appetite, pain-management, anxiety-relief and muscle tension relief amongst many other ailments.

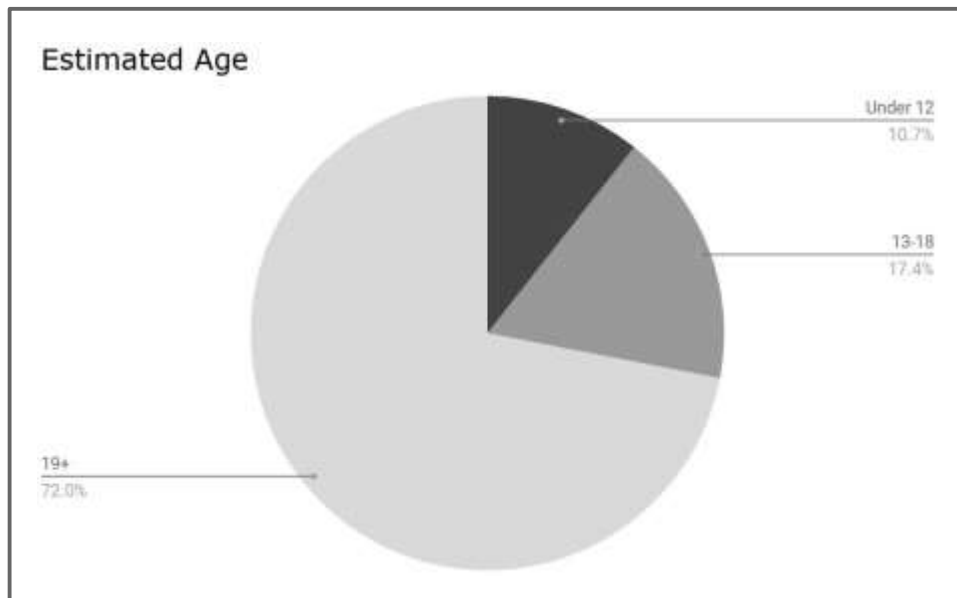
At VCW we carry a variety of products that contain little or no THC but have a high value of CBD. Feel free to ask our staff to find out more about CBD and the different types of products that will work best for you.



# Market Research

## By Mustel Group

- This report includes pedestrians passing by or entering AVA Music Centre and DEA Centre.
- Average of 120 youths age 13-18 pass by or enter centres daily 0.04% of the North Van 13-18 population.
- Smallest number we have witnessed compared to all our other locations.



# Security Measures

Legal retail cannabis store operating in BC must follow several security regulations.

- Covered windows.
- All doors securely locked.
- Security systems with alarm.
- Security cameras inside and out.
- Periodic Municipal & Provincial inspections.
- All cannabis products enclosed with locks or tethered.



# Local Support

## 1,500 Signatures

Including addresses from petition done in the area.

- Normally there is a bit of push back from people for new locations within BC because of the negative stigma cannabis still has, but the support we have received in the area has been fantastic.
- The majority of people living in the area openly support cannabis retail.







# Conclusion



**Thank you. Any questions?**

Find us at :

- [citycannabis.co](https://citycannabis.co)
- [info@citycannabis.co](mailto:info@citycannabis.co)
- [@citycannabiscompany](https://www.instagram.com/citycannabiscompany)

**Subject:** FW: 725 West 14th Rezoning ~ retail cannabis use

**From:** Bruce Russell < >

**Sent:** June-10-19 6:41 AM

**To:** David Johnson <[djohnson@cnv.org](mailto:djohnson@cnv.org)>

**Subject:** 725 West 14th Rezoning ~ retail cannabis use

Dave, having driven past the now closed former “Weeds” store on Marine Drive, just west of Fell Avenue I question why the CNV would not have encouraged (or did you) the City Cannabis applicant to pursue that site which by comparison has “good retail location” written all over it? I need not roll call the advantages over the highly questionable, unacceptable subject 725 West 14<sup>th</sup> lane location. While it may be argued it is not the City’s responsibility to locate ideal/better locations for retailers it can equally be argued it is the City’s responsibility to ensure they are not located in poor/detrimental to the neighbourhood locations. If perchance the owner of the former Weed’s location is now not willing to rent to a legal cannabis retailer, so be it, that is hardly reason for allowing the retailer to locate in a very marginal location which will very much negatively impact on businesses in general, “sensitive” businesses and residents. The “location, location, location” three most important developer/retailer criteria for a successful development/business applies equally as well to vacant space at Capilano Mall. Good planning, which is the responsibility of the City to whom all of who will be negatively affected have been paying property taxes for many years, should give the same high priority and concern for the safety and well-being of the impacted nearby businesses/residents. This is definitely NOT the cases with the subject 725 West 14<sup>th</sup> location. We again urge the planning department and council to reconsider this site and reject it. Thank you.

Bruce Russell/Gulf Pacific Group

351 Bewicke Avenue, a property owner (taxpayer) and business well within the 100m “sensitive zone” albeit we are not one of the few listed sensitive businesses/entities, however, when considering “good neighbourhood planning” and after factoring in the physical constraints/limitation of the subject location/business and practicalities one would home, and urge, the city to REJECT the subject site.

## NEWSLETTER #1

### UPDATE ON HAMILTON NEIGHBOURHOOD CANNABIS SHOP PROPOSAL

(28 April 2019)

#### 1.0 INTRODUCTION:

Hi, my name is Joe Marston, and I live at the 700 Marine Drive Building (corner of Marine Drive and Bewicke Ave). About a month ago, I learned that City Cannabis of Vancouver had submitted a proposal to the City of North Vancouver (CNV) to establish a recreational marijuana shop at 725 West 14<sup>th</sup> Street (situated in Mosquito Creek Laneway, which runs between, and parallel to, the 700-blocks of Marine Drive and West 14<sup>th</sup> St). The proposed cannabis shop will share the same building which currently accommodates the Hertz Car Rental agency and the Planet Clean drycleaner.

On 9 April 2019, the CNV, in conjunction with several prospective recreational cannabis shop proponents, held an open house at the John Braithwaite Community Centre in Lower Lonsdale. The open house was attended by representatives of the CNV Planning Department, several pot shop proponents, and perhaps 50-60 city residents. Numerous valid concerns were raised by local attendees. I also prepared a "Statement of Concern," which contains a list of pot shop siting issues contains, as well as a comparative review of siting regulations in the CNV vs several of the earliest cities in the US to legalize recreational cannabis back in 2012-2014 (including Seattle, Denver, Anchorage and Fairbanks), plus a few more recent Canadian and American locations such as Vancouver and Los Angeles. Copies of the "Statement of Concern" were distributed to open house attendees, as well as many residents and businesses in the immediate vicinity of the City Cannabis site. If you would like a copy of the "Statement of Concern," or any future electronic documents on the issue, please feel free to email me at:

The purpose of Newsletter #1 is to update and inform local residents as to the ongoing evolution of the City Cannabis proposal, and to encourage the public to:

- Raise their concerns to city hall, immediately and preferably in writing
- To check the CNV council schedule regularly in order to be aware as to when the City Cannabis proposal is on the agenda; and
- To attend the council meeting (hopefully in large numbers) when the issue is eventually addressed (NOTE: recent indications are that the issue will be presented to council either in May or the latter half of June, although this information is not yet confirmed)

#### 2.0 RECURRING SITING CONCERNS:

- Established exclusion zones around recreational marijuana shops in most North American cities with long-standing siting regulations generally range from 150m (including Fairbanks and Anchorage) to 300m (such as Seattle, Tacoma, Spokane, Denver and Vancouver). Los Angeles recently introduced a primary exclusion zone of 215m. By contrast, the CNV has adopted an exclusion zone of only 100m around retail pot shops.

- “Sensitive use properties” include activities which are considered incompatible with marijuana shops. The list of sensitive use properties tends to vary from one city to the next; however, as a general rule, they tend to include 1)...land uses which cater largely to children and young people (such as chartered schools, parks and playgrounds, daycare centres, community/youth centres, and non-chartered educational institutions like music schools and tutorial facilities); or 2)... functions which incorporate drug/alcohol addiction programs, criminal rehabilitation services, and homeless shelters.
- In the Hamilton Neighbourhood, the primary concern among many local residents and businesses relates to the significant number of known high conflict activities which fall within the 100m exclusion zone, but have not been designated by the CNV as “sensitive properties.” Key among these functions are the St Leonard’s Society drug and alcohol rehab facility at 312 Bewicke Avenue (approx. 90m from the proposed pot shop), and three non-chartered educational institutions which are located within 50m of the City Cannabis location – Ava’s Music and Art Centre (734 Marine Drive); BrainSTEM Learning Canada (730 Marine Drive); and DEA Education Center – Language and ESL School (160-700 Marine Drive).
- Ironically, the North Shore Emergency (Homeless) Shelter (NSES), which is situated about 150m from the proposed cannabis shop (and is therefore outside the 100m exclusion zone), has been designated as a “sensitive property.” By contrast, the drug and alcohol rehab facility at 312 Bewicke, which is within the 100m exclusion zone, has been left off the sensitive property list. Had it been included, the proposed pot shop location would have been rejected as being in violation of the regulations. Similarly, if a more a more reasonable exclusion zone of 200 to 300m had been introduced, the location of the NSES would have fallen within the zone, and would have invalidated the City Cannabis proposal. It would seem there was a considerable amount of “fuzzy logic” applied by the CNV in order to ensure that the City Cannabis application would be selected...
- Another confusing decision on the part of the CNV has been to allow pot shops to locate in the midst of medium density, mixed use (i.e. commercial, retail and RESIDENTIAL) zones. Several business owners and recent residential developers in the immediate vicinity of the City Cannabis site have confirmed that they were strongly encouraged by CNV staff to locate in the area because of the family-friendly nature of their proposals. A new, family-oriented condo which is currently under construction actually abuts on the eastern wall of the proposed pot shop, and there are three non-charter educational establishments within 50 metres of the City Cannabis proposal.
- In the CNV’s Recreational Cannabis Retail Policy - Fall 2018 (available online), on page 16 of the section titled “Recreational Cannabis Retail Policy: Summary of Materials and Feedback” there is a sub-section referred to as:

Minutes from Advisory Planning Commission  
 Date: Wednesday, September 12, 2018  
 Location: North Vancouver City Hall



- About 60% of the way down the page, there are three information bullets which highlight the following direct quotations:
  - “[Recreational retail cannabis shops] may only be located on properties with [the following] land use designations:
    - Mixed use level 2, 3, 4a, 4b, Harbourside, and commercial”
  - “The City is not considering locating stores in residential or industrial areas”
- The proposed City Cannabis operation is located in a Mixed Use Level 2 (Medium Density) zone, which includes office, commercial and, yes, residential uses. I’m pretty sure of this, because I live in a mixed use building (1<sup>st</sup> floor – commercial; 2<sup>nd</sup> floor – office; and 3<sup>rd</sup> & 4<sup>th</sup> floors - 26 residential units) within the same zone as the pot shop (according to the current edition of the official CNV Land Use Map). Furthermore, immediately adjacent to the proposed pot shop, again within the same Mixed Use Level 2 zone, a brand new 45-unit, residential development is currently under construction.
- So, what’s wrong with this picture? Can pot shops legally locate on a site designated for Mixed Use purposes (including residential)? Or, does the CNV stand by its stated claim that it “...is not locating stores in residential or industrial areas?” Can’t be both! At the very least, the discrepancy makes for a compelling legal debate...

### **3.0 OTHER NAGGING ISSUES:**

#### **3.1 Increased Criminal Activity in the Hamilton Neighbourhood:**

- The St Leonard’s Society Drug & Alcohol Rehab facility (312 Bewicke Ave)) and the North Shore Emergency Shelter (705 West 2<sup>nd</sup> Street), by virtue of their respective functions, are already viewed by many in the neighbourhood as credible criminal threat generators.
- At least one local business owner has indicated that his staff is regularly called upon to pick up used needles and syringes from the building grounds and parking areas.
- Since 2015, the 700 Marine Building has experienced at least one break-in where the front entry door was smashed, and mail was stolen from several residential letter boxes in the main foyer. A more audacious break-in attempt in the building was thwarted in 2016 when someone tried to gain access to the underground parking by sawing through the metal bars on the security gate. As recently as Easter Weekend 2019 (19-20 April), thieves broke into one vehicle in the underground parking, and damaged the driver’s side window on another.
- The prospect of a new retail cannabis store in the immediate neighbourhood is legitimately viewed by many local residents and business owners as a potential catalyst for increased local criminal activity.

- Rather than using the Official Community Plan as a positive vehicle designed to upgrade and improve the neighbourhood, there is considerable evidence to suggest that the City is doing the exact opposite by concentrating a number of functions which are commonly associated with criminal or drug addiction-related activities in a small, largely family-oriented section of the Hamilton Neighbourhood. This makes no sense, and will likely only serve to make a bad situation worse...

### 3.2 Traffic and Parking Problems:

- The proposed cannabis shop at 725 West 14<sup>th</sup> St fronts onto a limited access laneway (described on GPS as Mosquito Creek Lane).
- Traffic on the narrow laneway is already frequently congested. Surface parking is extremely limited. The building in which the proposed cannabis shop will be located contains three businesses – a Hertz Rental Car agency, a dry cleaner, and the City Cannabis storefront. It is anticipated that the cannabis sales operation will generate higher traffic levels; however, despite claims by the proponent at the recent open house to the effect that there is adequate on-site parking, it would appear that there is a total of only 9 parking spaces for the three existing/proposed businesses. Although unconfirmed, it is unlikely that more than 3 spaces will be allotted to the marijuana operation. This will undoubtedly lead to increased unauthorized (and unwanted) usage of the private above-ground parking spaces at 700 Marine Drive and 351 Bewicke Ave.
- TransLink has proposed a new B-Line route along Marine Drive, scheduled to open later in 2019. As part of the plan, TransLink is scheduled to close the Mosquito Creek Lane exit onto Marine drive, thereby rendering the laneway in front of the cannabis shop a dead-end. Under this scenario, vehicles accessing the cannabis shop will be forced to turn around and exit the way they came in, back onto Bewicke. Net result – more congestion and more traffic volume on the lane

### 3.3 Public Loitering:

- At the western end of the 700 Marine building, directly across the lane from the proposed cannabis shop, is an open public concourse. Some local residents are concerned that walk-in cannabis purchasers (and perhaps some drive-in customers) will choose to smoke in this area. It should be noted that three private non-chartered educational institutions are situated within 30 metres (and within plain sight) of this open space.

### 3.4 Pot Smell:

- As an extension to Item 3.3 (above), third party pot smoke in outside areas is considered by many to be a much more pungent, unpleasant substance than even regular cigarette smoke. Add to



this mix the intoxication effect associated with unwanted third-party inhalation of cannabis smoke, and the problem is exacerbated for many.

### **3.5 Potential Impact on Local Property Values:**

- As a rule, when house hunting, most prospective buyers don't go out of their way to look for a place that has a pot shop right next door. If you are planning to sell your Hamilton Neighbourhood "pied-a-terre" in the near future, don't expect the arrival of City Cannabis to contribute to your asking price! Enough said!!

### **4.0 OPTIONS:**

- It seems pretty self-evident that pot shops and young kids are not a good mix. Similarly, under no logical circumstances is it a good idea to locate pot shops in the midst of family-oriented residential communities.
- The CNV Planning Department has argued that there are few locations on the western side of the city capable of accommodating a cannabis shop. This presumably explains (albeit poorly) the small 100m exclusion zone requirement, and the omission of many properties which are widely included in the "sensitive use" category in other North American cities.
- In point of fact, it would appear that there are several potential sites on the south side of Marine Drive which would present a far better fit for a recreational cannabis dispensary than the City Cannabis proposal, and which could effectively accommodate at least a 200m exclusion zone. Moreover, the three controversial non-charter educational facilities and the St Leonard's Society drug and alcohol rehab centre (which fall within the 100m zone around the City Cannabis site, but which have been conveniently omitted from the "sensitive property" list) would be well outside most 100m exclusion zones around Cap Mall, (and many 200m exclusion zone applications, as well).
- On 27 April 2018, the author toured Capilano Mall, and determined that there are at least 4 vacant single commercial units (of comparable size to the City Cannabis site), plus two other much larger empty spaces which could be sub-divided into 2 or 3 separate commercial units, available on the first floor of the mall. In total, it would seem that there are at least 8 (and, with sub-division, perhaps as many as 10) single commercial units available for lease in Capilano Mall at this time. Among the obvious advantages of a Cap Mall site:
  - zoned for commercial use;
  - ample parking (covered and outside)
  - professional security in place
  - most, if not all, potential sites could sustain a 200m exclusion zone without being affected by existing (or expanded) sensitive properties.
  - no residential incursion within at least 200m
  - better visibility and substantially higher foot traffic potential than at proposed City Cannabis location
  - opportunity for combined cannabis sales and liquor sales operation(s) under BC Liquor Control and Licensing Branch

- Other promising areas south of Marine Drive which warrant further investigation include:
  - Capilano Square (900 block Marine Drive) – check site sub-division opportunities for the now-vacant, 5846 square foot former Swiss Chalet restaurant
  - North Shore Automall – commercial zone
  - Mixed Employment Zone south of Capilano Mall, between West 1<sup>st</sup> and 3<sup>rd</sup> Streets
  - Harbourside Waterfront (Mixed Use zone)

## 5.0 USEFUL CONTACTS:

### City Council:

Mayor Linda Buchanan	Phone: 604.998.3280	Email: <a href="mailto:lbuchanan@cnv.org">lbuchanan@cnv.org</a>
Councillor Holly Back	Phone: 778.688.3669	Email: <a href="mailto:hback@cnv.org">hback@cnv.org</a>
Councillor Don Bell	Phone: 778.998.2807	Email: <a href="mailto:dbell@cnv.org">dbell@cnv.org</a>
Councillor Angela Girard	Phone: 604.209.6927	Email: <a href="mailto:agirard@cnv.org">agirard@cnv.org</a>
Councillor Tina Hu	Phone: 604.971.0250	Email: <a href="mailto:thu@cnv.org">thu@cnv.org</a>
Councillor Jessica McIlroy	Phone: 604.209.8058	Email: <a href="mailto:jmcilroy@cnv.org">jmcilroy@cnv.org</a>
Councillor Tony Valente	Phone: 604.355.2959	Email: <a href="mailto:tvalente@cnv.org">tvalente@cnv.org</a>

<u>City Planning Department:</u>	Phone: 604.983.7357	Email: <a href="mailto:planning@cnv.org">planning@cnv.org</a>
Michael Epp, Director	Phone: 604.982.3936	Email: <a href="mailto:mepp@cnv.org">mepp@cnv.org</a>
Wendy Tse, Planner	Phone: 604.982.3942	Email: <a href="mailto:wtse@cnv.org">wtse@cnv.org</a>
David Johnson, Planner	Phone: 604.990.4220	Email: <a href="mailto:djohnson@cnv.org">djohnson@cnv.org</a>

If you are concerned about the City Cannabis proposal at 725 West 14<sup>th</sup> Street, make your voice heard by getting in touch with elected officials/or planning staff. This is not about anyone's right to smoke pot; however, it is very much about ensuring that the selection of a recreational cannabis site on the west side of the city is done in a logical and respectful manner, and is not the result of a lazy, heavy-handed decision which will serve no positive benefit to the residents of the immediate area. There are far better locations in the area for a pot shop. If, like the residents of the Hamilton Neighbourhood, the landlords or tenants of these other sites don't want the potential problems associated with this type of function either, then maybe it's time to re-assess the "need" for such an activity on the west side of the CNV.

Prepared by: Joe Marston, 700 Marine Drive, North Vancouver

Email:

Date: 28 April 2019



**Submission to the City of North Vancouver**

**RE: Statement of Concern Pertaining to a Recent Application  
by City Cannabis of Vancouver, BC Requesting the Re-Zoning of  
the Property at 725 West 14<sup>th</sup> Street, North Vancouver, BC to  
Accommodate a Commercial Recreational Cannabis Storefront**

Prepared by: J.C. Marston, 700 Marine Drive, North Vancouver

Email:

Date: 9 April 2019

**Topic:**        Statement of Concern Pertaining to a Recent Application by  
City Cannabis of Vancouver, BC Requesting the Re-Zoning of  
the Property at 725 West 14<sup>th</sup> Street, North Vancouver, BC to  
Accommodate a Commercial Recreational Cannabis Storefront

**Location:**    John Braithwaite Community Centre, Harbourview Room  
145 West 1<sup>st</sup> Street, North Vancouver, BC

**Date:**         9 April 2019

**Background:**

An application was recently submitted to the City of North Vancouver (CNV) by City Cannabis of Vancouver, BC, requesting that the property at 725 West 14<sup>th</sup> Street be re-zoned to accommodate a Recreational Cannabis Sales Storefront. The property in question houses a single-story building and appears to have space for up to 4 dedicated parking stalls.

The site is currently zoned for Mixed Use Level 2 – Medium Density (incl. residential, commercial retail and office uses). Although the postal address is listed as 725 West 14<sup>th</sup> St., the property is actually situated on a laneway (referred to on vehicle GPS as Mosquito Creek Lane) which runs between and parallel to the 700 blocks of Marine Drive and West 14<sup>th</sup> St.

Immediately surrounding land use activities (within 15 metres of the subject building) include:

- A dry-cleaning establishment and a Hertz Rental Car agency, which share the same commercial structure on Mosquito Creek Lane as the proposed retail cannabis outlet
- A new, presently under construction, 4-story residential building (est +/- 50 units), which abuts the eastern perimeter wall of the proposed cannabis outlet
- A 5-year old, 4-story mixed residential ), commercial retail and office building at 700 Marine Drive.

The next closest land uses (estimated to be within 15-45 metres of the proposed cannabis shop) include:

- North side of 700 block, Marine Drive (to the immediate west of the building at 700 Marine Drive), a four-story mixed residential and commercial building (built circa 2008)

- South side of 700 block, Marine Drive – a 2018 mixed residential and commercial building, plus various older commercial establishments

Elsewhere, the immediate neighbourhood is comprised primarily of a mix of low to medium density residential buildings, as well as some clustered commercial operations. The nearest public greenspace is the Mosquito Creek Park and Walking Trail, which commences about 50m to the west of the proposed cannabis shop.

Several other critical stand-alone properties in the neighbourhood include:

- Westview Elementary School @ 1660 Bewicke Ave (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Thomas Aquinas School @ 541 W Keith Rd (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Leonard's Society of Canada Halfway House and drug and alcohol treatment centre @312 Bewicke Avenue (direct line from proposed cannabis shop to nearest property line at St Leonard's facility approx. 50m)
- North Shore Emergency Shelter @705 West 2<sup>nd</sup> Street (direct line from proposed cannabis shop to nearest property line at NSES approx. 150m)

### List of Major Local Concerns:

1. "Sensitive Use Properties" – The CNV Recreational Cannabis Retail Policy (d/2018) identifies the guidelines which govern the siting of retail cannabis shops in the city. Upon examination, the document appears to be lacking in terms of identifying and approving reasonable "sensitive use properties" - that is, nearby existing land uses which, for a variety of reasons, could be reasonably seen to be in direct conflict with a nearby retail cannabis operation.
2. Separation Distances - The second area where the CNV policy appears to be noticeably deficient concerns the separation distances which have (or, in most cases, have not) been established between the proposed cannabis outlet and "sensitive use properties."

NOTE: Please refer to Tables 1 and 2 (attached) for further elaboration on Concerns 1 and 2.

Table 1 identifies the key regulatory provisions (in the form of both "sensitive use property designations" and approved separation distances) currently in place for several North American cities, including the CNV. In virtually every instance, the separation requirements in each category are significantly higher for communities other than the CNV. Similarly, most of the cities examined incorporate a broader

range of significant “sensitive use properties” than does the CNV. This is particularly important to bear in mind, as many of the American cities examined (such as Seattle, Denver, Tacoma, and Anchorage) were among the first to address local recreational cannabis retail distribution issues, based upon early legalization initiatives in their respective states between 2012 and 2015. Accordingly, they have had a generally longer history (and, by extension, more experience) in dealing with recreational cannabis sales matters than most other North American cities.

Table 2 identifies all “sensitive use properties” which the CNV has chosen to incorporate into its basic mandatory 100m separation zone. Significantly, the CNV Policy has included some rather puzzling “sensitive use sites” (such as the city library and the NV School District office??), but has chosen to remain silent on a number of seemingly more significant categories, including parks/playgrounds, drug/alcohol treatment centres, daycare centres, etc.)

3. Impact on Local Crime – In North America, cannabis for recreational (or medicinal) purposes has generally been viewed as an illegal substance by legislators and law enforcement agencies since at least the 1950’s. Cannabis production, distribution and use has invariably been associated with all levels of crime, from lesser property offences to organized criminal activities.

While the public perception towards recreational cannabis use has softened considerably in recent years, as evidenced by the increasing number of jurisdictions where it has become legalized, the stigma of a link between cannabis and various levels of criminal activity remains firmly ingrained in the collective psyche of a large proportion of the population. In fact, recreational cannabis has only been legalized in 10 of the 50 states. Many civic governments in those 10 states continue to ban the sale of recreational cannabis outright. Significantly, the federal government of the United States continues to refuse to recognize the legalization of recreational marijuana at any level, and in Canada, where the federal government recently legalized recreational cannabis, a large number of local jurisdictions continue to either ban the substance, or have chosen to take a more measured “wait and see” approach.

In the Hamilton community of North Vancouver where the subject retail cannabis re-zoning application is centred, the traditional concern that such an operation will attract more transient or occasional “bad elements” to the neighbourhood is at the forefront of the discussion. It is going to take time and familiarity to determine whether this concern will be based on perception or reality. Right now, however, perception IS the reality, and this is a significant “hot button” issue for many local residents and business owners.



In addition to the long-standing maxim that “approving new pot shops will generate increased crime rates in our communities,” the Hamilton area is faced with another, likely more legitimate, public safety concern relating to potential criminal impacts associated with opening up a recreational cannabis distribution outlet in the neighbourhood. Within two blocks of the proposed cannabis shop, there are two separate community facilities which must be considered as being wholly incompatible with a nearby cannabis distribution facility – firstly, the St Leonard’s Society drug and alcohol rehab facility for parolees at 312 Bewicke Avenue (approx. 50m from the subject property); and secondly, the North Shore Emergency Shelter for homeless individuals (perhaps 150m distant) . While both of these operations provide valuable services to the Lower Mainland community at large, they are nevertheless a constant source of concern for area residents. Police, fire and ambulance service visits are literally daily occurrences – especially to the NS Emergency Shelter, where the primary reason for emergency service call-outs is purported to be for serious drug overdoses. Many of the residents of these facilities have criminal records, are afflicted with serious drug or alcohol addictions, or suffer from severe mental disorders. Arguably, many of them will be vulnerable to the temptations presented by a legalized cannabis shop situated within close proximity to their shelters/treatment centres.

The likelihood that a cannabis shop at the proposed site could attract a larger criminal element to the neighbourhood, and with it an increase in the incidence of property crimes, cannot be discounted.

4. Increased Traffic along Mosquito Creek Lane – The laneway is a narrow route which currently accommodates considerable through traffic, as well as destination traffic for the Hertz and dry cleaning operations and the commercial and retail facilities situated in the lower floors of the building at 700 Marine Drive. On-street parking in the laneway is already at a premium, especially during the 9 a.m. to 7 p.m. period. In addition, the laneway must currently absorb traffic movements from the underground commercial and residential parking lot for the building at 700 Marine Drive. By next year, the new condominium which is currently under construction on the north side of the laneway will come online, with another 50 or so vehicles owned by residents being factored into the mix.

To further complicate matters, when the new North Shore B-Line route comes into effect the laneway exit onto Marine Drive is scheduled to be permanently closed, turning the end of the lane into a dead end. Vehicles travelling to the Hertz car rental, the dry cleaning establishment, and possibly the cannabis shop will be required to turn around and head back to Bewicke Avenue to exit the area.

Net overall result – added congestion in the laneway.

5. Kids and Pot Shops Don't Mix - EVER – I can't believe I even have to mention this as a primary concern; it seems so self-evident. But the CNV Policy calls for a 100m buffer for schools, and no buffer whatsoever for parks, playgrounds, or daycare centres. Combined with the other concerns identified above, this is a recipe for disaster...

### Concluding Remarks:

To the planners and council, I respectfully ask you to go back to Table 1 and re-consider what other jurisdictions deem to be legitimate "sensitive use properties" and reasonable buffer distances.

I would also encourage you to develop a more rigorous methodology for determining the optimum list of critical "sensitive use properties" and separation distances, ultimately leading to a re-defined set of potential locations better suited to accommodate retail cannabis shops.

In simplest terms, the concept of zoning refers to "the segregation of land uses that are thought to be incompatible." Unfortunately, it would appear that, in this instance, the target has thus far been badly missed. Hopefully, you will see fit to go back to the drawing board and re-work the CNV Policy such that it will ultimately serve all parties affected by this locational dilemma in an optimum manner.

I recognize that the CNV is in a difficult position here. Like Brexit, there is no "perfect" solution; however, there is undoubtedly a far better outcome than one which appears to force highly incompatible interests together in the worst possible way. As it presently stands, I don't see the current 100m buffer zone or the very limited definition of "sensitive use properties" gaining any traction at the local level in the Hamilton neighbourhood. While a 300m perimeter might be very difficult to introduce due to suffocating space limitations throughout the CNV, a compromise of 200m for critical "sensitive uses" might be better received by the populace. From there, it would be possible to walk the process back in order to determine possible locations in the general area which might be able to accommodate the cannabis shop requirements. If not, perhaps a pot shop in the Hamilton neighbourhood wasn't meant to be. Plenty of municipalities throughout BC in general, and the Lower Mainland in particular, have already elected to opt out of the "marijuana bonanza," and often no decision is better than a bad one.

In any event, thanks very much for the opportunity to express my concerns. Hope this will be of some help (he said euphemistically...).

Best Regards,

Joe Marston (Email:

**TABLE 1: Comparative Separation Requirements for Retail Cannabis Outlets\***

City	Dist from Schools	Dist from Public Parks or Playgrounds	Dist fm Drug/Alcohol Treatment Centres	Dist from Homeless Shelters	Dist from Other Cannabis Businesses
N Van City (2018): Policy Guideline	100m (328 ft)	Not specified	Not specified	100m (328 ft)	Not specified
N Van Dist (2019): Reqts under review	200m (656 ft)	Not specified	Not specified	Not specified	Not specified
Vancouver (2018): (Bylaw approved)	300m (984 ft)	Not specified	300m (984 ft)	Not specified	300m (984 ft)
Seattle (2014): Ordinance adopted	305m (1000 ft)	152m (500 ft)	107m (350 ft)	Not specified	No more than retail facils within 305m
Pierce Co, WA (2016) Approved regulations	305m (1000 ft)	305m (1000 ft)	Not specified	Not specified	305m (1000 ft)
Tacoma, WA (2016): Amended regulations	305m (1000 ft)	152m (d'town dists) 305m (suburbs)	152m (d'town dists) 305m (suburbs)	Not specified	Not specified
Bellingham (2016): Interim Zoning Ord.	305m (1000 ft)	305m (1000 ft)	Not specified	Not specified	Not specified
Spokane, WA (2013): Ordinance adopted	305m (1000 ft)	300m (1000 ft)	Not specified	Not specified	Not specified
Fairbanks, AK (2018): Zoning regulations	152m (500 ft) 61m(post-secondary)	152m (500 ft)	31m (100 ft)	Not specified	Not specified
Anchorage, AK (2016) Ordinance adopted	152m-305m, based upon zoning district	152m-305m, based upon zoning district	Not specified	152m-305m, based upon zoning district	Not specified
Denver, CO (2014): Rec sales legalized	305m (1000 ft)	Not specified	305m (1000 ft)	Not specified	305m (1000 ft)
Los Angeles (2017): Ordinance adopted	213m (700 ft)	213m (700 ft)	213m (700 ft)	213m (700 ft)	Not specified

\*Note: Generally speaking, it appears that separation requirements governing both the recreational and medical commercial distribution of cannabis products in all communities examined is the same, although it is acknowledged that there may, in some instances be minor differences.

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

**TABLE 2: Detailed Separation Criteria for Retail Cannabis Outlets in North Van City\***

<u>Separation Criteria</u>	<u>Minimum Distance from Retail Cannabis Outlet</u>
<ul style="list-style-type: none"> <li>Community &amp; Regional Centres</li> <li>Foundry (Youth Services Centre)</li> <li>North Shore Neighbourhood House</li> <li>North Shore Shelter</li> <li>North Vancouver City Library</li> <li>North Vancouver School District Office</li> <li>Public or Private Elementary and Secondary Schools</li> </ul>	<ul style="list-style-type: none"> <li>100m (328 ft)</li> <li>100m (328 ft)</li> <li>100m (328 ft)</li> <li>100m (328 ft)</li> <li>100m (328 ft)</li> <li>100m (328 ft)</li> <li>100m (328 ft)</li> </ul>
<ul style="list-style-type: none"> <li>Public Parks/Playgrounds</li> <li>Post-secondary Institutions (universities, colleges, etc)</li> <li>Drug/Alcohol Treatment Centres</li> <li>Daycare Centres</li> <li>Residences</li> <li>Other Cannabis Sales, Cultivation, Distribution Facilities</li> </ul>	<ul style="list-style-type: none"> <li>Not specified</li> <li>Not specified</li> <li>Not specified</li> <li>Not specified</li> <li>Not specified</li> <li>Not specified</li> </ul>

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

Prepared by: Joe Marston ( ), 6 April 2019



**TABLE 3: Key North American Legalization Dates for Recreational Use of Cannabis**

<u>Jurisdiction</u>	<u>Legalization Date</u>	<u>Comments</u>
<b>US States:</b>		
• Washington	2012	Well established legal infrastructure
• Colorado	2012	Well established legal infrastructure
• Oregon	2014	Well established legal infrastructure
• Alaska	2015	Well established legal infrastructure
• Nevada	2016	Evolving legal infrastructure - inconsistent
• California	2016	Evolving legal infrastructure - inconsistent
• Massachusetts	2016	Evolving legal infrastructure – inconsistent
• Maine	2016	Evolving legal infrastructure – inconsistent
• Michigan	2018	Rudimentary legal infrastructure
• Vermont	2019	Possession of 1 oz; No retail sales
<b>Canada :</b>		
• All provinces and territories	17 October 2018	Due to recent legalization, most provinces and communities in initial stages of defining how to proceed with implementation

Source: Wikipedia

**Subject:** FW: 725 W 14th

**From:** anna hardy <>

**Sent:** July-08-19 10:36 AM

**To:** Wendy Tse <[WTse@cnv.org](mailto:WTse@cnv.org)>; David Johnson <[djohnson@cnv.org](mailto:djohnson@cnv.org)>

**Subject:**

Hello Ms. Tse and Mr. Johnson,

I am writing to express my strong opposition to the potential retail cannabis store at 725 W 14<sup>th</sup> Street. While I respect the responsible and legal use of recreational and medicinal marijuana, I do not believe that 725 W 14<sup>th</sup> is an appropriate location for the following reasons:

1. Proximity to Mahon and Mosquito Creek Park Trailheads

As a former resident of 723 W 3<sup>rd</sup> Street (I have recently moved), I observed frequently the Mosquito Creek and Mahon Park trails being used by individuals as places to drink alcohol and smoke marijuana. As a parent of a young child, this meant that these two recreational areas were largely not being used by the intended populations. I only went for a trail run here a couple times before stopping – it simply didn't feel safe based on the number of times I would see impaired people I'd see on the trails. If this store is put so close to the trailheads, I believe this problem will be exacerbated.

2. Proximity to North Shore Shelter

I do not believe a 100 metre buffer area from North Shore Shelter is sufficient. These individuals are an extremely vulnerable population and the location being considered is less than a 5 minute walk from the shelter.

3. Proximity to daycares and Westview School

A daycare is planned for the current location of Gardenworks, which is less than two blocks from the proposed site. There is an existing daycare at Bewicke and Larson, and Westview school is less than a 10 minute walk away. Again, I believe a 100 m buffer is simply insufficient and needs to be expanded. Similar to liquor stores, it is reasonable to expect that it is more likely to see impaired people in the area of the store. With the amount of young families moving into the condos and townhouses in the area, I'm sure these parents would love to be able to let their kids walk to school on their own.

Thank you for hearing my concerns,

Anna Hardy  
1813 Mahon Ave

**From:** mike Jenkins <>  
**Sent:** July-08-19 1:26 PM  
**To:** Submissions  
**Subject:** Pot Shops

Cannabis retail stores must not be allowed to operate in these designated areas of North Vancouver. At the moment we have a number of vagrants sitting and begging on Lonsdale ave. and nothing is being done about that.

We believe the pot shops will increase the numbers. We also believe that crime will increase in our neighborhood because of these shops, example being break ins to these shops, and dubious people coming around our streets.

Traffic will increase for those coming from afar to these shops. For many years we have enjoyed the quality of life in this area, and we hope that all Council members have too.

Please do not allow these pot shops to operate here, because it will harm our quality of life that we are use to and enjoy.

Thank you  
Mike and B. Jenkins  
1403 - 112 East 13th St  
North Vancouver

**From:** serpil ucok <>  
**Sent:** July-09-19 11:45 AM  
**To:** Submissions  
**Subject:** City Cannabis, Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713 (CD-720) for 725 West 14th Street

Hello,

I'm writing to you about Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713 (CD-720) for 725 West 14<sup>th</sup> Street

I'm strongly opposed to this proposal.

We do NOT need a cannabis store in our neighborhood.

My daughter and I, we use this path frequently to go to bus stop. We don't want to walk past this shop that emits unpleasant odor of marijuana. There will be high people hanging around the store.

My other concern is that Cannabis stores in the neighborhood may drop property values.

Thank you for your consideration.

Sincerely,

Serpil Ucok  
104-735 West 15th Street  
North Vancouver, BC, V7M 0B8



**From:** Ali Heydary <>  
**Sent:** July-09-19 9:22 PM  
**To:** Submissions; David Johnson  
**Subject:** Zoning bylaw 2019, No. 8713

Hello,

This is in regards to the public hearing for zoning amendment bylaw 2019, No. 8713.

My name is Ali Heydary and I'm the owner of a condo at #28 - 728 West 14th Street, North Vancouver. I am against the proposed zoning bylaw amendment to allow the property located at 725 W 14th Street to grant permission to operate as a cannabis retail store.

Thank you for your time and please let me know if you have any questions.

Warm Regards,  
Ali Heydary  
28-728 West 14<sup>th</sup> Street

**From:** Steven Cole <>  
**Sent:** July-10-19 11:51 AM  
**To:** Submissions  
**Subject:** Oppose - Zoning Amendment Bylaw No. 8713 Address: 725 West 14th Street

I am a new resident of North Vancouver (*since mid January 2019*) and I am not a proponent of this proposal for the following reasons:

- It's too close to the St. Leonard's Society half-way house for parolees with substance abuse issues.
- It's too close to the North Shore Shelter & Housing Centre where many residents already have substance abuse issues.
- It's too close to three established businesses that cater to the education and learning of children (*Ava Music School; BrainStem Learning and DEA Education Centre*).
- The proposed location is surrounded on all sides by families living in multi-unit residential buildings.
- You can get cannabis delivered to your door through the post. You can get cannabis delivered to your door via any number of apps and delivery services from retailers operating throughout the Lower Mainland. You can get cannabis from Shoppers Drug Mart (*located 250m west of this location*). Why do we need another retail store front shop for cannabis and related products?
- I understand that the lane way in front of the proposed location is to be blocked with the eventual B-Line bus expansion; resulting in more vehicle congestion on Bewicke to get in and out of this facility.
- On the proposed Elevation View drawings, why is there a door marked "Washroom" that is opening to the lane way on the south side of the building? Is that to be publicly accessible at all hours? Will it be outfitted with UV lights so that IV drug users aren't able to shoot up inside of this Washroom? I don't understand the purpose of this door being designated as a washroom.
- 725 Marine Drive is a newly constructed mixed commercial/residential building on the opposite side of the road from the proposed City Cannabis location. There is an outdoor patio with an art installation at the east end of this building along with a bus stop and some benches. This area has already become a defacto sleeping & smoking area for street people who are charging their phones off of the exterior mounted A/C outlets (*in effect stealing from the owners of 725 Marine Drive*). Discarded needles are regularly found all over this area and in the planters. The commercial unit owner nearest this area is a Pizza Pizza outlet (*as of yet it has not been built out though*). The last thing we want is a bunch of cannabis smokers utilizing this end of our building as a hang out while they get their THC fix and their munchie cravings fulfilled by late night pizza offerings. It goes without saying that the smell of cannabis smoke is offensive; let alone having to inhale second hand smoke generated by cannabis users who think their right to enjoy it anywhere should trump all others.

**Suggested Option:**

If a cannabis retailer must open on the west side of the city, then there are ample opportunities in or around (south of) Capilano Mall. How many cellular phone outlets does Capilano Mall really need? I believe there is no shortage of available commercial space in the 800 to 900 Block of Marine Drive (north side or south on 1<sup>st</sup>, 3<sup>rd</sup>, McKay & Hanes) where foot traffic and vehicle traffic could be better accommodated resulting in higher overall sales volume for City Cannabis.

Sincerely,  
Steven Cole  
#305 - 725 Marine Drive  
North Vancouver, BC V7M 0G2

**From:** M B <>  
**Sent:** July-10-19 11:17 PM  
**To:** Submissions  
**Cc:** David Johnson  
**Subject:** Zoning amendment 725 w 14th street

Hi,

I am owner of 309 733 W 14th street. My name is May Chan.

I strongly against the zoning amendment because this will make our neighbourhood very busy and crowded. This store will attract a lot of drug additives people to ponder around this area and make this area unsaved.

Thank you for paying attention to this.

Good bye

May Chan  
309 - 733 West 14th Street  
North Vancouver

**Subject:** FW: North Vancouver Cannabis Location Concern - C-725 West 14th Street

**From:** Delcourt, Mike <>

**Sent:** July-11-19 2:22 PM

**To:** Wendy Tse <[WTse@cnv.org](mailto:WTse@cnv.org)>

**Cc:** David Johnson <[djohnson@cnv.org](mailto:djohnson@cnv.org)>

**Subject:** North Vancouver Cannabis Location Concern - C-725 West 14th Street

Hi Wendy,

I've recently noticed a notification regarding the July 17<sup>th</sup> public hearing for the Cannabis location in my neighborhood (725 W 14<sup>th</sup> St). My wife and I will be out of town, so I'm hoping you can pass this email to council when they are considering this location for a cannabis store.

Our concern with this location is that it is surrounded by a increasingly dense community of condos filled with families of young children, etc. Also, just a few steps away from that location is a thriving music and arts centre that caters to young children. And finally, another critical concern is not even half a block away at 312 Bewicke Ave is a halfway house for men recovering from substance abuse. Would you put a liquor store next to an addiction centre? Probably not, so why would a cannabis shop be allowed to open up near a substance abuse halfway house.

Another concern is that this location is tucked into a dark laneway. There used to be a "Weeds" location at 820 Marine, and I'd have no issues if that were to be the location because it's more away from our residential neighbourhood, and it's well away from the halfway house and the children's arts/music centre.

With all of that said, my wife and I strongly oppose this location at 725 West 14<sup>th</sup> St for a cannabis retail shop.

Thank you for taking the time to consider our comments, and I hope council decides not to accept this as a location for this particular use.

Regards,  
Mike & Sheri Delcourt  
81 – 728 14<sup>th</sup> St W  
North Vancouver



# NOTICE OF PUBLIC HEARINGS

Notice is hereby given that Council will consider the following 6 bylaws on 2 separate evenings:

## Public Hearing for Bylaws 8714, 8715 and 8718

**Monday, July 15, 2019 at 6:30 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8714

**Address: 1717 Lonsdale Avenue**

**Applicant: The Herb Co.**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 721 (CD-721) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and to reduce the number of required off-street parking stalls from 9 to 6.



### Zoning Amendment Bylaw No. 8715

**Address: 221 West 1<sup>st</sup> Street**

**Applicant: 1<sup>st</sup> Cannabis**

To amend the text of Comprehensive Development 454 (CD-454) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8718

**Address: 333 Brooksbank Avenue**

**Applicant: BC Liquor Dist. Branch**

To amend the text of Comprehensive Development 131 (CD-131) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and adjust the site schedule to permit the placement of a new 365.1 sq. m. (3,930 sq. ft.) building at the northeast corner of the property.



## Public Hearing for Bylaws 8713, 8716 and 8717

**Wednesday, July 17, 2019 at 6:00 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8713

**Address: 725 West 14<sup>th</sup> Street**

**Applicant: City Cannabis**

To rezone the property from a Service Commercial (CS-1) Zone to a Comprehensive Development 720 (CD-720) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8716

**Address: 315 Lonsdale Avenue**

**Applicant: Lonsdale Cannabis Co.**

To amend the text of Comprehensive Development 341 (CD-341) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8717

**Address: 1200 Lonsdale Avenue**

**Applicant: BC Liquor Dist. Branch**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 722 (CD-722) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



All persons who believe they may be affected by the proposals will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk at [input@cnv.org](mailto:input@cnv.org) or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, July 15, 2019 to ensure their availability to Council at the Public Hearings. Once the Public Hearings have concluded no further information or submissions can be considered by Council.

The proposed Zoning Amendment Bylaws and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from July 5, 2019, and online at [cnv.org/PublicHearings](http://cnv.org/PublicHearings).

Please direct any inquiries to **David Johnson**, Development Planner, at [djohnson@cnv.org](mailto:djohnson@cnv.org) or 604-990-4219.

# THE CORPORATION OF THE CITY OF NORTH VANCOUVER

## BYLAW NO. 8713

### A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713**” (City Cannabis / Krystian Wetulani, 725 West 14<sup>th</sup> Street, CD-720).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-720 (Comprehensive Development 720 Zone):

Lots	Block	D.L.	Plan	
M	10	265	16839	from CS-1

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. Adding the following section to Section 1100, thereof, after the designation “CD-719 Comprehensive Development 719 Zone”:  
  
“CD-720 Comprehensive Development 720 Zone”
  - B. Adding the following to Section 1101, thereof, after the “CD-719 Comprehensive Development 720 Zone”:  
  
“CD-720 Comprehensive Development 720 Zone”

In the CD-720 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the CS-1 Zone, except that:

- (1) In addition to the Principal Uses permitted in the CS-1 Zone, one Cannabis Sales Retail Store shall be permitted.

READ a first time on the 24<sup>th</sup> day of June, 2019.

READ a second time on the 24<sup>th</sup> day of June, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.




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MAYOR

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CITY CLERK



 Division Manager	 Director	 CAO
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The Corporation of **THE CITY OF NORTH VANCOUVER**  
**PLANNING AND DEVELOPMENT DEPARTMENT**

**REPORT**

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 315 LONSDALE AVENUE (LONSDALE CANNABIS CO. / 1120364 BC LTD.)

Date: June 12, 2019 File No: 08-3360-20-0493/1

*The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.*

**RECOMMENDATION:**

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 315 Lonsdale Avenue (Lonsdale Cannabis Co. / 1120364 BC Ltd.):

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

**ATTACHMENTS:**

1. Context Map (doc#[1772966](#))
2. Submitted Floor Plan (doc#[1761883](#))
3. Community Impact Statement (doc#[1761882](#))
4. Proposed Security Plan (doc#[1761887](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 315 Lonsdale Avenue (doc#[1791908](#))
7. Applicant response to general public feedback (doc#[1775432](#))
8. General Public Comments (doc#[1775340](#))
9. Zoning Text Amendment Bylaw No. 8716 (doc#[1774307](#))



## PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 315 Lonsdale Avenue.

## BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

## **DISCUSSION**

### **Project Description**

The building on the subject site is a mixed-use ground floor commercial with residential apartment units on the upper floors. The proposed store would occupy approximately 70.6 square metres (760 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3) to outline the community benefits of the store, and their proposed Security Plan (Attachment #4) to provide a description of providing store and building security.

### **Site Context and Surrounding Use**

The subject site at 315 Lonsdale Avenue is one of several ground floor retail units of a mixed-use commercial and apartment residential complex at the north west corner of Lonsdale Avenue and West 3<sup>rd</sup> Street (Attachment #1). The unit itself faces Lonsdale Avenue and West 3<sup>rd</sup> Street is the closest cross-street.

The area has a mixture of mid-rise ground floor commercial buildings, along with some other mixed-use buildings consisting of ground floor commercial with apartment residential units above, along the Lonsdale Avenue corridor. Other mid-rise residential apartment buildings are located to both the east and west of Lonsdale Avenue.

The location is along a busy public transit corridor with bus routes travelling along both Lonsdale Avenue and 3<sup>rd</sup> Street. There are many other commercial businesses within easy walking distance of the site.

## **PLANNING ANALYSIS**

### **Policy Context**

#### *2014 Official Community Plan*

The subject site has a designated land use of Mixed Use Level 4A which supports a mix of higher-density multi-family and commercial uses in Lower Lonsdale.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage



minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the width of the unit is relatively narrow and not excessive given the scale of all the commercial units along this street front that has transparency into the units.

The building placed on the subject site encompasses the entire site with boundaries from West 4<sup>th</sup> Street to the north, West 3<sup>rd</sup> Street to the south and Lonsdale Avenue to the east, and was completed in 2001. The only change that is being proposed to the building would be a Tenant Improvement to the commercial unit that would require a Building Permit.

No amendment to the OCP is required with this application.

#### *Recreational Cannabis Retail Policy*

The application does conform to the criteria provided within the policy (Attachment #5). The subject site is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of the North Shore Neighbourhood House and Queen Mary Elementary School, and it is one of two applications in the Lower Lonsdale area.

#### *Zoning Bylaw 1995, No. 6700*

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

*means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist In a British Columbia regulated Pharmacy.*

Zoning Amendment Bylaw 8716 (Attachment #9) would allow the use to exist in this location. The current Zone of Comprehensive Development 341 (CD-341) does permit retail stores.

The size of the store would require the applicant to supply at least two parking stalls within the property. The mixed-use property has an appropriate number of commercial off-street parking stalls for the intended use.

## **COMMUNITY CONSULTATION**

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all applications. From the 91 people who signed in for the event (Attachment #6), staff received 21 written comments relating to this application.

Most of the written comments were in opposition to the proposal. Many felt the use was not appropriate in a mixed-use building with residents and children. Concerns over an increase

in parking demand, building security, smell, and people safety were also raised. Comments in favor stated the location was fitting.

In response to the feedback given at the Open House, the applicant made some adjustments to their business plan (Attachment #7). Specifically in regards to lessening the hours the store is open, extended security procedures and store security.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #8.

## CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the Lonsdale Avenue corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:



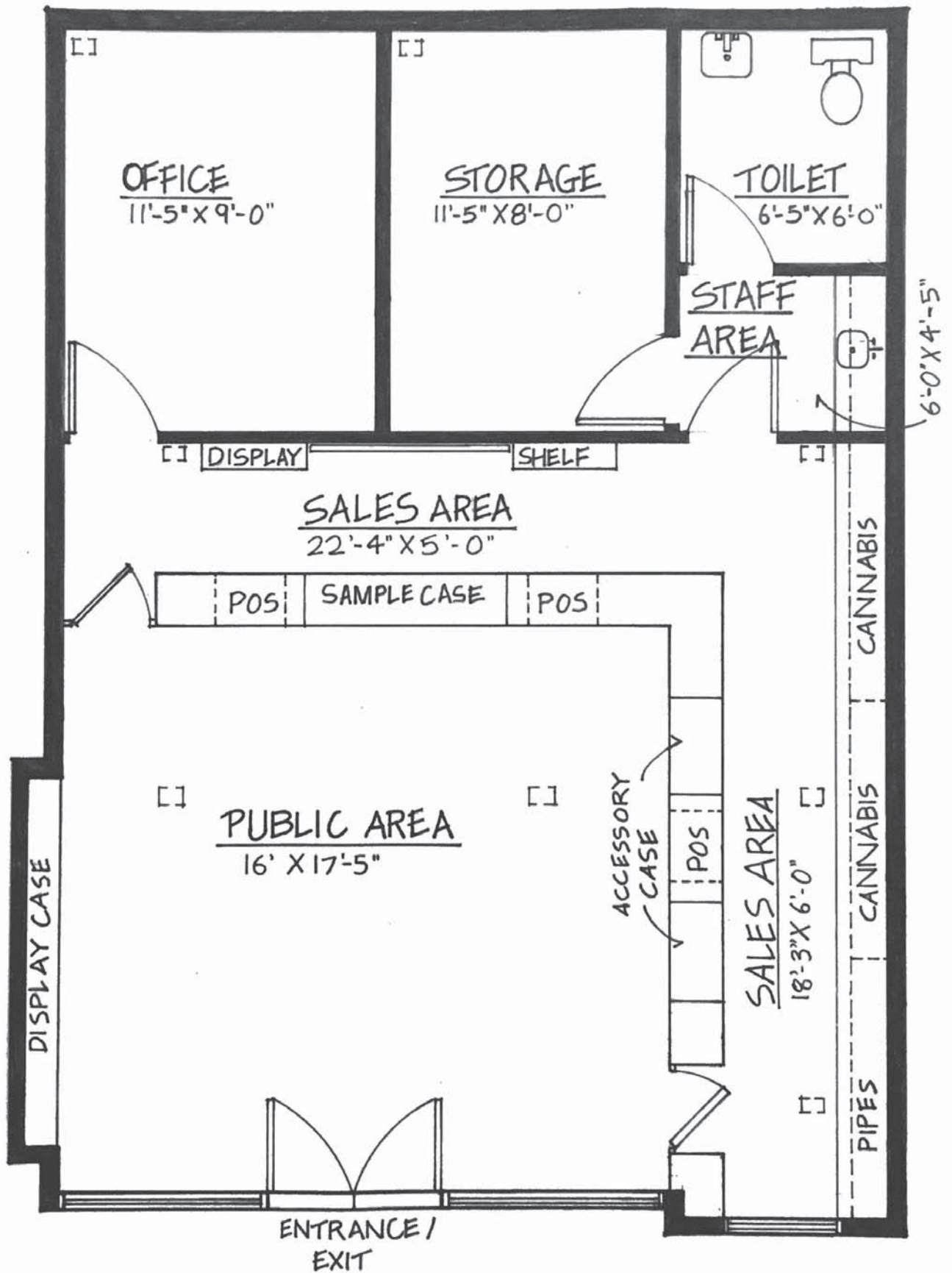
David Johnson  
Development Planner







SCALE: 1/4" = 1'-0"  
[ ] = SECURITY CAMERA



# Community Impact Statement

By

## Lonsdale Cannabis Co.

### **Positive impact:**

#### 1) Tax

The market of illegal and medicinal cannabis sales is enormous, expected to reach \$7.17 billion dollars in Canada in 2019 (Deloitte, 2018). As a provincially regulated business, the products sold will incur taxes. These taxes will go towards the local and provincial government, creating more funds for the governing bodies, which can go towards helping the community and their people. This was exemplified when Colorado legalized Cannabis in 2014 (Government of Colorado, 2015, as cited in Hajizadeh, 2016). Since their legalization, they saw significant monetary tax revenue, collecting more than \$135 million dollars in tax from a total of \$1 billion dollars of sales from recreational and medicinal cannabis in the first two years. The collected money was utilized to boost the state's public schools and public programs, such as substance abuse. Therefore, a major benefit is the extra funds created by taxing non-medicinal cannabis, which can have positive social and economic impact directly to the residents.

#### 2) Employment

With the expected sales volume of recreational cannabis, there will be a need to fill many roles on the business front, such as sales, and security. We are planning on hiring local residents. Currently, the unemployment rate in North Vancouver is 5.1%, compared to the provincial 4.1% rate (BC Statistics, 2018; Statistics Canada, 2016). It may not resolve unemployment altogether, but will likely help local residents gain employment. As this business grows, more staff will be needed. Thus, one economic/social benefit is job provision in North Vancouver.

#### 3) Displacement from Black Market

There is an illegal, underground market for cannabis, which has strong associations with organized gangs/violence (Hutchinson, 2018). It seems that it is difficult for the police to adequately manage the illegal market through the current legal channels. The proposed location of

Lonsdale Cannabis Co. is in the downtown Lonsdale area. It has high foot traffic and free street parking that allows costumers to gain convenient access to legal cannabis. Market indicates that consumers are willing to pay more for legal methods of access to cannabis, to a certain point (Deloitte, 2018). With access to legal cannabis, opening Lonsdale Cannabis Co. in the proposed location could sway consumers to switch from illegal to legal avenues for cannabis. Thus, a positive social impact is the mitigation of illegal cannabis sales.

#### 4) Criminal Justice System

Another social/economic benefit is the management of cannabis-related criminal charges. The Canadian Department of Justice found that more than 55% (55,000 of 95,400) of all police-reported *Controlled Drugs and Substances Act* were related to cannabis (Government of Canada, 2017). Coupled with cannabis policy and legal framework, these bear an enormous cost and time on local and federal governments (Hajizadeh, 2016). As mentioned in the last point, Lonsdale Cannabis Co. would be able to provide a safe, regulated, and convenient access for cannabis consumers. In turn, not only will the business help with the displacement of the black market for cannabis, it would likely also subsequently have a positive impact by decreasing the number of negative run-ins with the police. This would entail saving overall money on police enforcement and freeing their time to deal with other matters.

#### 5) Health Benefits

Although the license is for a non-medicinal cannabis retail store, there is a wide body of research that highlights the benefits of using cannabis, include glaucoma treatment, relief of seizures, multiple sclerosis, and even fighting against cancer (Railton, 2018). Over 50% of cannabis users report their reason is for improving mood, relaxing or anxiety (Deloitte, 2018). Even though the goal is not providing medicinal cannabis, there will likely be people who wanted to use cannabis for its health benefits.

#### 6) Stylish, Professional, and Clean Brand

As mentioned in the marketing strategy, our business's focus is to break down the negative portrayal of cannabis and create a positive, professional, stylish, regulated identity of cannabis distribution.



Many currently illegal cannabis operations have a negative, unappealing curb appeal. Lonsdale Cannabis Co. will be the beautifully interior designed, and was tailored to blend well in keeping with the current style of the neighborhood. Please refer to the mood board attached. When coupled with a friendly, knowledgeable staff, Lonsdale Cannabis Co. will have the positive aesthetic branding to boast the overall appeal of the neighbourhood.

#### 7) Added Security

One micro-level benefit to the neighbourhood is the added security. The business will have exterior cameras, as well as a security guard during evenings. The cameras will be running 24 hours, even if the store is closed. This means there will be an extra set of eyes on the neighborhood, promoting general crime deterrence and safety. The video cameras may also be helpful for crime/auto accident reports.

#### **Negative:**

##### 1) Stigma of a cannabis store

There is a negative conception of cannabis from many of the public and likely from neighboring businesses (Poshnjari, 2018). That is why our marketing strategy focuses heavily on a very professional branding. There is a mood board attached, which helps to illustrate the business' branding and how the store will look. The business and physical store will have a high-class, yet approachable, feel. So, as soon as prospective customers see the brand or come into the store, they can immediately feel a sense of regulation.

##### 2) Interrupting quiet enjoyment – Smell of Operation

Cannabis can have a strong odor, which may disrupt neighbouring businesses. This will be remediated by ensuring that all products are sealed and the sample “smelling” jars are kept shut, if not being used. Further, there will be no cannabis use in the store by staff and customers tolerated, with signs present in and outside the store.

##### 3) Interrupting quiet enjoyment - Smoke

There may be individuals who wish to smoke outside the business doors. This may affect neighbouring businesses. To rectify this issue, the staff (including security) will be trained to inform customers not to

smoke in front of the store, but rather in their private residence. Also, there will be exterior signs not to smoke in front of the store.

#### 4) Disposing Cannabis - Smell

There may be a concern that the cannabis will be disposed in the shared dumpster with other businesses, making the dumpster smelly.

Following the Liquor and Cannabis Board regulations (BC Government, 2018), we will ensure that any unused cannabis will be denatured by shredding into pieces, adding water, and adding cat litter for compost.

#### 5) Disposing Cannabis – illegally sold/personally used

There may be concern that any unused, or defective cannabis from the store may be sold illegally or personally used by the staff/owners. The staff will be carefully monitored with multiple cameras to manage theft in the store/storage room. The storage room will be locked, with the key with only the owners. It is noteworthy that neither partners of Lonsdale Cannabis Co. use cannabis in any form. Any disposal will be recorded by amount, time and type of cannabis, and location by the storeowners.

#### 6) Increased accidents/injuries

Providing access to cannabis user may increase cannabis-related accidents/injuries. We will ensure that there is a zero tolerance policy that cannabis use is allowed inside or near the store. This is primarily to deter customers from using cannabis and placing themselves at a higher risk for accidents, such as auto-accidents. We will also place signs to let customers know of this policy and supplemented with our staff, which will be trained to be vigilant and inform customers to use their products once they are in a safe, private residence.

#### 7) Increased uptake

Research indicates that cannabis legalization and providing easy access will increase cannabis use (Lopez, 2018). Our proposed location is in a very convenient location in Lower Lonsdale. While there may be an increase of cannabis use due to our business, we condone cannabis use, as long as it is conducted legally, safely and voluntarily. A big portion of ensuring this is by thoroughly training our staff to always check for ID and informing customers to use cannabis at the safety of a personal residence.

**Final notes:**

We understand that there are many economic, social and environmental impacts of opening a non-medicinal cannabis store in North Vancouver. With the ***right*** minds and attitudes, risks can be managed to ensure the growth and prosperity of the people, culture and businesses in North Vancouver. And opening Lonsdale Cannabis Co. can yield many ***positive*** benefits, beyond tax dollars and employment, directly to the residents of North Vancouver.

# Security plan

In accordance with the Provincial Liquor and Cannabis Regulation Board's rules (BC Government, 2018), the store will have the following:

- intruder and fire monitor alarm systems
- Locked retail product display cases
- Locked Cannabis storage room
- Secure Perimeter door locks
- Security cameras with unobstructed views of
  - a) retail sales area
  - b) any product storage area
  - c) both interior and exterior of all store entrances/exits

The cameras will be active and recording at all times, including when the store is not open for business. Security camera footage will be stored for at least 30 days after recording. There will be a written notice in the retail sales area informing the patrons that video surveillance is being used on the premises. This notice will be visible at all times.

A copy of security camera footage will be provided to Liquor and Cannabis Regulation Board at any time for use in investigating possible contraventions of the *Cannabis Control and Licensing Act*, its regulations, and/or these terms and conditions. Security camera footage may also be used by Liquor and Cannabis Regulation Board at enforcement hearings held under the *Cannabis Control and Licensing Act*.

There will be adequate lighting, both interior and exterior, for both safety and crime deterrence purposes. Further, there will be an incident log, which will record any incidents, such as intoxicated patrons, injury/accidents, and any illegal actions. These records will be kept for at least 6 years.

In regards to identification requirements, the employees will check for 2 pieces of ID, as outlined in the Liquor and Cannabis Regulation Board guideline book (BC Government, 2018). The requirements will be printed and posted at each cash register. Any minors (18 and younger) will not be served and asked to leave the store.



There will be a security guard, who must be licensed with the *Security Services Act*, present during the evening. They have a dual purpose, both in crime deterrence and peace of mind and safety among employees and patrons.

There will also be a sign present in the store that informs patrons not to disturb neighboring business and other patrons in the store. Cannabis and cannabis products will not allowed to be visible from outside the store.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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## POLICY

Recreational Cannabis Retail Policy

## REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

## Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

## Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

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Administration of this policy is delegated to the Planning Department.

## **PROVISIONS AND PROCEDURES**

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

### **Locational Criteria**

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
  - Mixed-Use Level 2 (Medium Density);
  - Mixed-Use Level 3 (Medium Density);
  - Mixed-Use Level 4A (High Density);
  - Mixed-Use Level 4B (High Density);
  - Harbourside Waterfront (Mixed-Use); and,
  - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
  - Community and Recreational Centres;
  - North Shore Neighbourhood House;
  - North Shore Shelter;
  - North Vancouver School District Office; and,
  - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

### **Application Procedure**

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at [www.cnv.org/cannabis](http://www.cnv.org/cannabis) on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

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2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at [www.cnv.org/cannabis](http://www.cnv.org/cannabis).

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
  - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
  - A submission containing more than one application will not be considered and will be disqualified; and,
  - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
  4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
  5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
  - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
  - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
  - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

Approval date:	September 24, 2018	Approved by:	Council
Effective date:		Revision date:	

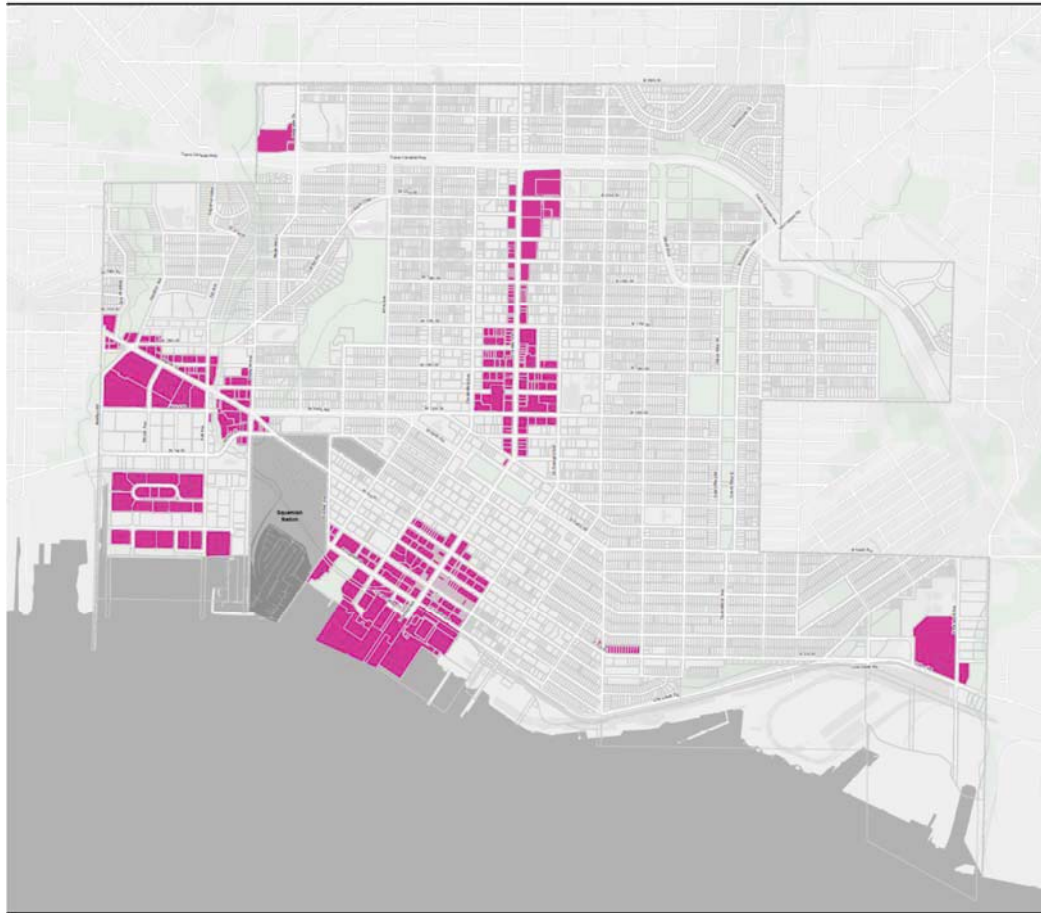
Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7




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### **Schedule 1**

#### **Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations**



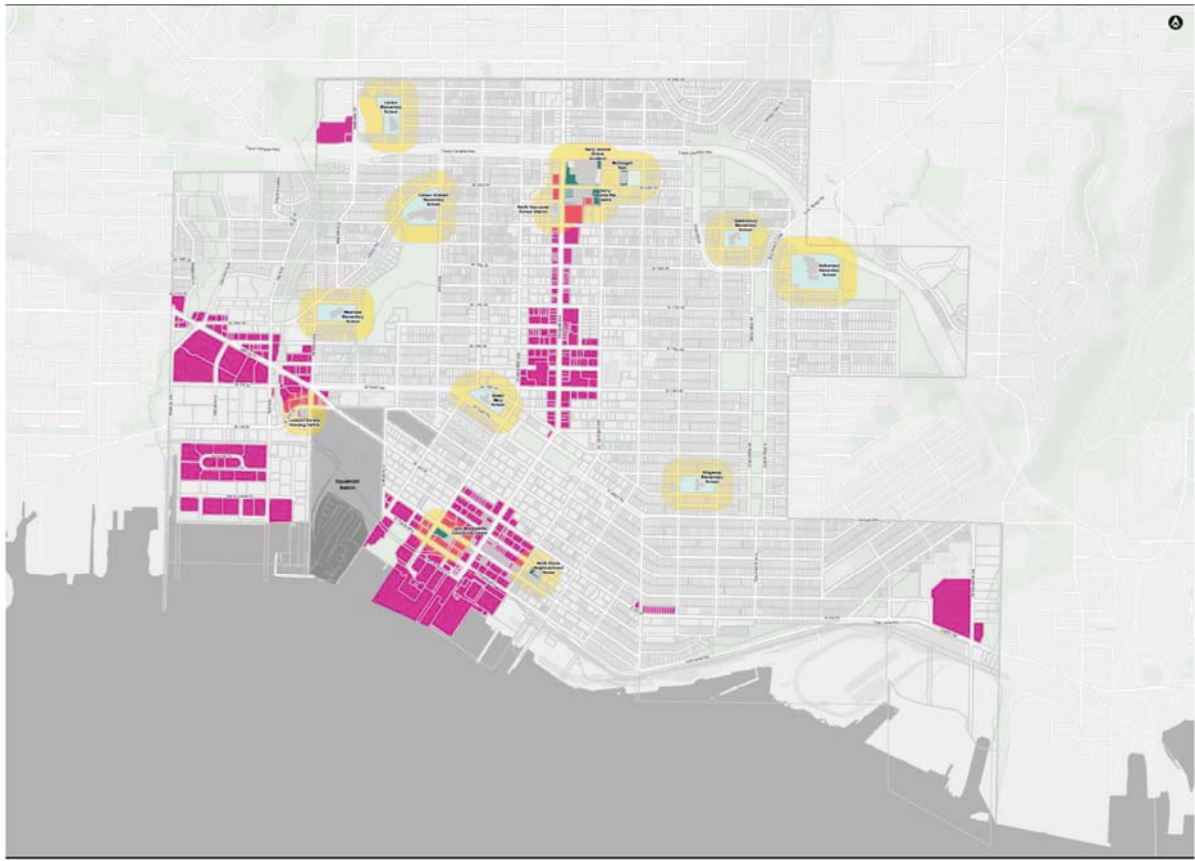
#### **Legend**

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

**Schedule 2**  
**Recreational Cannabis Retail Businesses**  
**100-metre Radius Separation Requirement from Sensitive Uses**



**Legend**

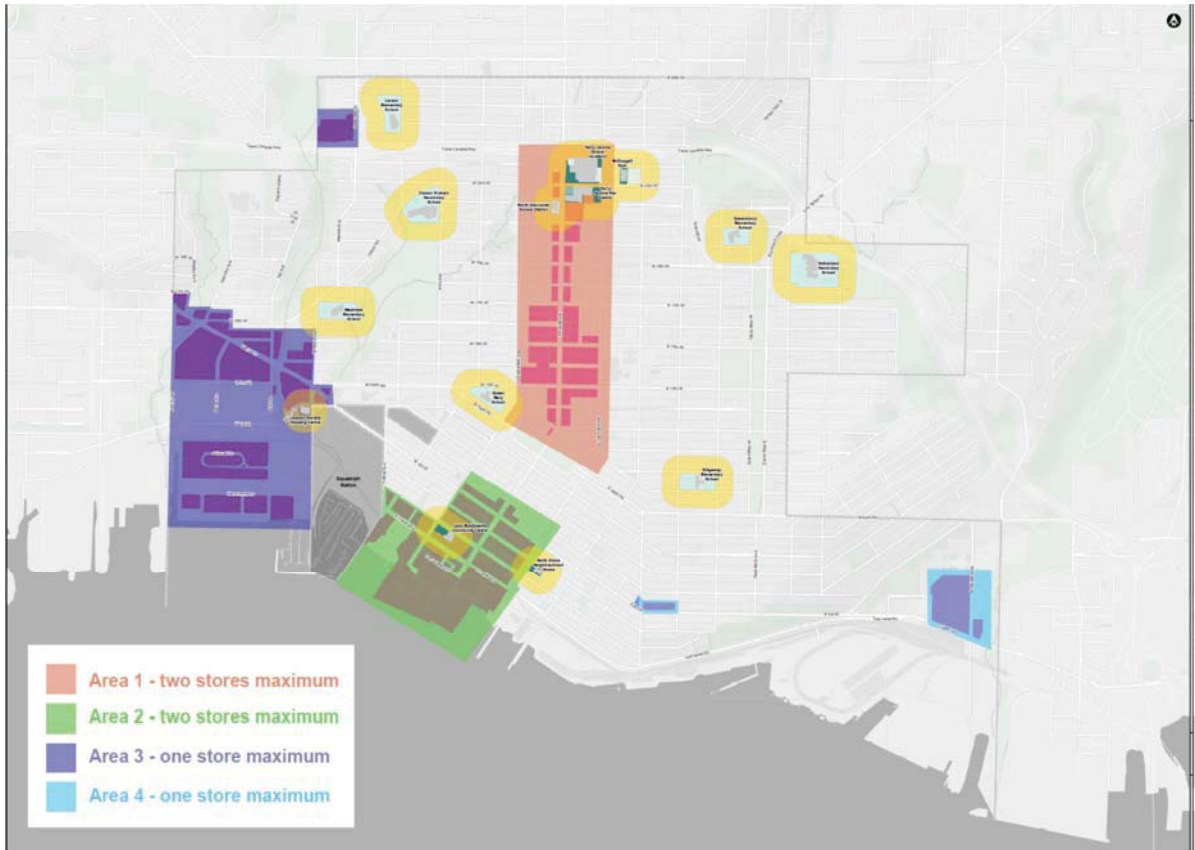
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer \*
- OCP Land Use Designation
- Legal Parcels
- City Boundary

\* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

**Schedule 3**  
**Recreational Cannabis Retail Businesses**  
**Areas of Consideration**





Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

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**Schedule 4**  
**Recreational Cannabis Retail Businesses - Submission Requirements**

<b>REQUIRED INFORMATION / DOCUMENTATION</b>	<b>YES</b>	<b>NO</b>
Name and contact information of applicant(s)		
Civic address and legal description of property where the proposed business is to be located		
Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property		
Confirmation that the proposed location complies with all locational requirements as per this policy		
Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none"><li>• past business experience</li><li>• corporate structure</li><li>• number of staff, products sold, target market, and hours of operation</li><li>• other general business information</li></ul>		
Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver		
Description of the expected time frame for commencing business activities within the City, if approved		
A Community Impact Statement outlining the following: <ul style="list-style-type: none"><li>• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community</li><li>• Strategies for mitigating potential negative impacts</li></ul>		
A Security Plan demonstrating security features that comply or exceed Provincial requirements		
Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province)		

## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	I support that there should be stores in the city.
2. What do you like most about the proposed project?	People should be able to buy legally and conveniently.
3. Do you have any concerns about the proposed project?	Yes, places like <del>Sailor</del> Sailor Haggie pub where people are allowed to smoke on their patio. You will also have weed. It's odd enough that
4. What would you suggest to improve or enhance the proposed project?	smoking still allowed. Weed is too much. Take a deep look at what surround the
5. Please provide any additional comments. (use back of page if necessary)	stores.  Smoking of weed needs to be regulated different than tobacco. Not the same.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

#### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>KYLE ROBERTSON</u>	
Address: <u>702 - 129 W 1st St. N. VAN</u>	
1. Do you support the proposed project? <u>Yes</u>	<u>Yes, the location is ideal</u>
2. What do you like most about the proposed project? <u>LOCATION</u>	<u>NA</u>
3. Do you have any concerns about the proposed project? <u>NO</u>	<u>NO, I BELIEVE it is the time for non-criminal CANNABIS purchases in N. VAN</u>
4. What would you suggest to improve or enhance the proposed project?	
5. Please provide any additional comments. (use back of page if necessary)	

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#### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	NO
2. What do you like most about the proposed project?	NOTHING
3. Do you have any concerns about the proposed project?	MILLIONS
4. What would you suggest to improve or enhance the proposed project?	GIVE IT UP - GO ELSEWHERE
5. Please provide any additional comments. (use back of page if necessary)	

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#### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org



## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	<b>No.</b>
2. What do you like most about the proposed project?	<b>DO <u>NOT</u> LIKE IT AT ALL.</b>
3. Do you have any concerns about the proposed project?	<b>VERY CONCERNED. FAMILY ORIENTED</b>
4. What would you suggest to improve or enhance the proposed project?	<b>RELOCATE THE PROJECT.</b>
5. Please provide any additional comments. (use back of page if necessary)	<b>—</b>

**BLDG.  
~~PLACE~~**

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#### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: TINA WEEKS	
Address: 305 Lonsdale Ave	
1. Do you support the proposed project?	NOT IN THIS LOCATION
2. What do you like most about the proposed project?	N/A.
3. Do you have any concerns about the proposed project?	Yes, Residential building lots of dogs, pot is harmful to pets parking, security. Racing up and down alley will continue
4. What would you suggest to improve or enhance the proposed project?	always been an issue before this.
5. Please provide any additional comments. (use back of page if necessary)	Other locations not here.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

#### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

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E-Mail: djohnson@cnv.org

## 315 Lonsdale Avenue

### Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>Sarvrez Brent</u>	
Address: <u>302-305 Lonsdale Ave -</u>	
1. Do you support the proposed project?	<u>No</u>
2. What do you like most about the proposed project?	<u>Nothing about it at this location.</u>
3. Do you have any concerns about the proposed project?	<u>Not a good business for mixed use residential building with lots of children - Not in keeping with policy behind exclusion zones.</u>
4. What would you suggest to improve or enhance the proposed project?	<u>Not at this location. Better suited for commercial only space.</u>
5. Please provide any additional comments. (use back of page if necessary)	<u>This is not in keeping with the go slow / keep Canada's away from youth policy approach. Families in the CNV now live in many mixed use residential / commercial sites and these sites should not be considered for this. High risk. Not necessary.</u>

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Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

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Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org



315 LONSDALE AVE

## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b> #202-305 LONSDALE AVE	
1. Do you support the proposed project?	ABSOLUTELY No !
2. What do you like most about the proposed project?	NOTHING !
3. Do you have any concerns about the proposed project?	- It is a residential strata building. - concerned with noise, parking, security, CRIME, & overall safety.
4. What would you suggest to improve or enhance the proposed project?	- Not the right location for it.
5. Please provide any additional comments. (use back of page if necessary)	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)



# Recreational Cannabis Retail Store

## Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

315 Lonsdale

April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	No! - it <u>will</u> increase crime. pot shops get robbed - it <u>will</u> cause a smell people will smoke it nearby - it <u>will</u> cause horrible traffic. There's nowhere to park.
2. What do you like most about the proposed project?	There is nothing good about this idea. Putting a pot shop in a residential building is a terrible idea.
3. Do you have any concerns about the proposed project?	Yes. I <u>use</u> Marijuana and I live in the building. I <u>know</u> what is going to happen. 1) smell 2) crime 3) noise/traffic
4. What would you suggest to improve or enhance the proposed project?	Do not approve this application. Open pot shops in areas with parking that are not near residential buildings.
5. Please provide any additional comments. (use back of page if necessary)	Questions call me or e-mail

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

see back of paper for more...

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

No one who lives in the building wants  
a cannabis store to go in at 315 Lensdale.

No One. It is a bad, bad idea. As  
a 1) pot user myself and 2) building resident

I can tell you with 100% certainty that  
it will lead to terrible traffic, pot smell &  
potential crime. The person who has applied does not  
use pot and does not live in the building so he  
does not know what kind of trouble this would be.



## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	No! It will cause terrible traffic!
2. What do you like most about the proposed project?	I <u>use weed</u> and I am against this!
3. Do you have any concerns about the proposed project?	See back of this sheet for a <u>map</u>
4. What would you suggest to improve or enhance the proposed project?	Open pot shops elsewhere - not in residential buildings
5. Please provide any additional comments. (use back of page if necessary)	The guy who has applied does not use weed and does not live in the building so he has <u>no idea</u> what he's doing.

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### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)

↑ people use this alley as a shortcut ↓

proposed pot drop

Where I live with my 2 children

pet shop where people drop off and pick up pets by parking in the Alley

- car dealership w/ cars on sidewalk

thrift shop where people drop off furniture by driving down alley

people park all along 4th so they can take the seahs it's packed M-F 9-5 + weekends.

building I live in

Starbucks where people park illegally to get coffee

pubs  
↓  
Lonsdale

⑦ location of traffic fatality a few years ago.  
OK

⑧ Another pedestrian hit (8 killed?)  
OK

3rd

⑥ Judo club with 100s of students + very little parking



## David Johnson

---

**From:** Jeff Meszaros [REDACTED]  
**Sent:** March-29-19 9:58 PM  
**To:** David Johnson  
**Subject:** Fwd: Pot Shop

Hello,

See below. I am not an anti-pot lunatic, but I'm not sure this location is the best idea. This corner is already mayhem with people buzzing up and down the alleyways, and parking illegally to get their coffee fix at Starbucks.

I live in the apartment right over the politician's shop and do you know how many car accidents I've seen? Offhand I can think of three ... and there have been a few pedestrians run down too ... one on third and Lonsdale, one on fourth and Lonsdale and one at 3rd and Chesterfield as I recall.

There was a perfectly decent pot shop over on 2nd, but it got shut down for some crazy reason. Now we're thinking of putting one on a much busier street? It's just crazy. I can hear cars whistling down the hill right now. And people shouting (thanks to the new pub on 2nd) ...

If you don't agree with anything I'm saying, just let me know.

Kind regards,  
Jeff  
[REDACTED]

Begin forwarded message:

**From:** Jeff Meszaros [REDACTED]  
**Subject:** Pot Shop  
**Date:** March 29, 2019 at 9:49:13 PM PDT  
**To:** [REDACTED]

Dude,

I live at 305 Lonsdale, right beside where you propose to put a pot shop.

Don't get me wrong, I'm a big fan ... especially of edibles. And CBD is great for my back.

That being said, I'm having visions of people smoking weed right under my window in the cozy corner in front of the politician's office.

Would you want a festival of farts right under your window? Answer that honestly.

I can't come to the thing at the community centre but I imagine it will be silly.

Kind regards,  
Jeff

## David Johnson

---

**From:** Jeff Meszaros <[REDACTED]>  
**Sent:** April-09-19 7:53 PM  
**To:** David Johnson  
**Subject:** 315 Lonsdale - DO NOT APPROVE THIS!

Hello,

We just met at the public hearing. I was the tall animated fellow.

Here are my reasons why the application for 315 Lonsdale Avenue SHOULD NOT BE APPROVED!

1) Traffic. Lonsdale & 3rd is already a very, very busy intersection. There is a Starbucks and people park illegally to get their coffee. There is a pet grooming business and people park illegally to pick up and drop off their pets. There is a thrift store and people use the alley to drop off their furniture etc. There is a jiu jitsu club with 100s of students. There's also a car dealership which parks cars on the sidewalk, not to mention people who work downtown park on 4th all day and then walk down to use the sea bus. The streets in this area are very busy and, since you aren't allowed to turn left onto Lonsdale, people use the alleyways as shortcuts and race up and down them. Did you know there was a traffic-related fatality not too long ago at 4th and Lonsdale? I've also seen people get hit at 3rd and Lonsdale (both corners) and along 3rd towards the 7-11. Having a pot store will add even more traffic with people parking illegally and putting on their 4-way flashers to run in "just for a second" ... which is already a massive problem all around the building.

2) Smell. There is no question that pot is a wonderful thing, but it smells awful. Generally, there is nothing that can be done about this. Even if the store has a security guy, and rules about not smoking the weed on the sidewalk, people will smoke the weed on the sidewalk. At the very least, they will go around the corner to smoke it ... which puts them directly under my window (I live above the dentist). This WILL happen. The marijuana store that was open on 2nd (until recently) had to put up a large sign telling people not to smoke their marijuana on the sidewalk. They smoked it on the sidewalk anyway. Also, the marijuana store that was open near MacGowan had a similar problem. Next to it was a chiropractor (who is still there) and the smell came right through the wall. Weed stinks!

3) Crime. I was reading a short while ago about a weed shop in Kelowna that was robbed. Do you know why robbers rob weed shops? Because they generally have a lot of cash, not too much security, and ... weed. The fellow who has applied says he will have a security guard but this does not comfort me at all as you generally need a security guard when you have a risk of something dangerous happening. What other businesses need security guards? Offhand, I can think of bars and courthouses. Would you put those in the same building as children? Would you? I would not as it seems like just a terrible idea. It's bad enough living next to an alley people use as a race-track and a park full of needles left on the ground by the freestyle recyclers. What are we trying to accomplish here?

That last point is the one to remember. Today, I saw there are several applications to open marijuana stores around North Vancouver. Mostly, they are not in residential buildings. Actually, the one at 315 Lonsdale is the only one I saw with a proposal to open a marijuana store in a residential building. I'll type this next part in capital letters just to be clear ...


**YOU SHOULD NOT OPEN A MARIJUANA STORE IN A RESIDENTIAL BUILDING**



Sorry if that seemed like yelling. Honestly, I'm amazed I have to even say it. It seems like common sense but, I suppose, that is only because I live in the building and I use weed myself so I am uniquely qualified to see what a bad idea this is ... and it is a bad idea.

Please reply to this e-mail so I know I'm not just shouting into the wind. Also, please forward it to anyone who has the ability to pull the plug on this plan. If you have any questions, please call me and/or reply to this e-mail. Also, if there is another hearing, let me know so I can show up in person

Thanks,  
Jeff





## David Johnson

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**From:** Lew Donald [REDACTED]  
**Sent:** April-09-19 10:41 PM  
**To:** David Johnson  
**Subject:** Re: cannabis retail store application

Re application of 315 Lonsdale.

I am not in support of this application, or future development in this regard.

I will not attend the meeting

Regards,

Lewis Donald  
222-332 Lonsdale  
[REDACTED]

Sent from my Samsung Galaxy smartphone.

## David Johnson

---

**From:** Colm Flavin <[REDACTED]>  
**Sent:** April-09-19 11:08 PM  
**To:** Wendy Tse; David Johnson  
**Subject:** information session

i was at the information session on the pot shops and i'd like to state that these stores are such a ridiculous idea for the area, in particular the 315 Lonsdale location in a residential building. The city is destroying the area with a move like this. it's contrary to redeveloping places like the shipyards and making them family friendly.

Placing one of these in a residential building is bizarre. People with young families live in these buildings and pay good money to do so. you'll place separation for the store from a school but once the kids go home it's fine to have it in the building where they live? Go figure. If you want to drive people out of the area you're going the right way about it. Serious rethink required.

## David Johnson

---

**From:** Stephen Wurz [REDACTED]  
**Sent:** April-09-19 10:33 AM  
**To:** David Johnson  
**Cc:** Metroplitan-Megan Kleisinger; Meghankoop; Sylvia Collins; Mike Clarke; Jim and Grace  
**Subject:** 315 Lonsdale Ave - Cannabis Retail Application

Dear Mr. Johnson:

I am a member of the Strata Council at the location of the applicant for a Retail Cannabis Licence at 315 Lonsdale Ave.

Our Strata Council met with the applicant, Justin Koh, last evening to gain an understanding of his application and the manner in which his proposed store will operate in our complex.

In our discussions with him, we asked some basic questions with respect to the manner in which the store would operate. These questions included:

- What hours would the store be open?
- What kind of security would you be providing?
- Are you aware of the strata's requirements to make alterations to the unit?

Based on our discussions with him, he did not have a clear idea or plan about the hours the store would be open. He eventually indicated it may be open 9am-9pm, but it he wasn't clear whether this would be seven days per week, or a different schedule. It was clear this part of his business plan has not been thought through.

With respect to the provision of security, he stated to council that he would be placing a security guard in the store we asked him who that person would be and what hours would they be present. Again, he appeared not to have a clear idea of who this person would be (i.e. an employee or a contracted service). He stated that the security guard would be present only in the evenings, but again, its not clear to us when the store is intended to be open.

With respect to making alterations to the unit in the strata, he was not aware of the strata's requirement to seek permission to make alterations to the unit and that building permits would be required.

I am writing to you to notify you that based on the information provided to our strata set out above, that I am opposed to this application.

I trust that you will take this information into consideration when assessing this application.

Yours truly,  
Stephen Wurz  
[REDACTED]

## David Johnson

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**From:** Yvonne Cote <[REDACTED]>  
**Sent:** April-09-19 7:16 PM  
**To:** David Johnson  
**Subject:** Rezoning Application 315 Lonsdale

Very disappointed with the format of the meeting this evening at JBC regarding this application.

Several owners from The Metropolitan (305-345 Lonsdale) attended but were unable to have any of our questions answered regarding this process. Mostly, we do not support this request and were hoping to voice our opinions.

What options do we have?

Y. Cote



## David Johnson

---

**From:** Jim Strand [REDACTED]  
**Sent:** April-12-19 11:15 AM  
**To:** David Johnson  
**Cc:** Lyn  
**Subject:** Feedback - 315 Lonsdale Ave. Re-Zone Application  
**Attachments:** CNV Pot Shop04122019.pdf

David Johnson,

Please see attached comments. I, like all local residential property owners and residents that I have spoken with about this, strongly oppose the proposed business. It will, without a doubt (and confirmed by local realtors), reduce our property values. New businesses like these should NOT be located in residential areas.

Jim Strand  
#507 – 345 Lonsdale Avenue  
North Vancouver, BC V7M 3M9  
E-Mail: [REDACTED]  
[REDACTED]

# 315 Lonsdale Avenue

## Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

Name: <u>JIM STRAND</u>	
Address: <u>#507 - 345 LONSDALE AVE., NORTH VANCOUVER V7H 3M9</u>	
1. Do you support the proposed project?	<u>NO!</u>
2. What do you like <del>most</del> about the proposed project? <u>GENERAL COMMENT</u>	<u>I WAS DISAPPOINTED THAT THE TUESDAY GATHERING AT BRAITHWAITE WAS A "CANNABIS PROMOTION" EVENT AND NOT A COMMUNITY INFORMATION GATHERING! WHY??</u>
3. Do you have any concerns about the proposed project?	<u>YES DEFINITELY. AS A RESIDENTIAL OWNER IN THE MET AT 315/345 LONSDALE AVE, APPROVAL WILL LOWER PROPERTY VALUES.</u>
4. What would you suggest to improve or enhance the proposed project?	<u>BUSINESSES LIKE THIS SHOULD NOT BE LOCATED IN RESIDENTIAL AREAS!</u>
5. Please provide any additional comments. (use back of page if necessary)	<u>I, LIKE MANY LOCAL RESIDENTIAL PROPERTY OWNERS, SHARE MY CONCERN ABOUT NEGATIVE EFFECT ON PROPERTY VALUE. I HAVE MET NO SUPPORTERS! REALTORS HAVE CONFIRMED OUR OPINIONS.</u>

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

## David Johnson

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**From:** Meghan Koop [REDACTED]  
**Sent:** April-25-19 4:53 PM  
**To:** David Johnson  
**Subject:** Cannabis Store 315 Lonsdale, North Vancouver

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. Johnson,

I am a Strata Council member for the building adjoined to the above noted Cannabis store application.

After meeting with the applicant I found he did not have any set out business plan and was not able to answer some very basic questions including hours of operation and security. He did not know he would need approval from strata to have a camera added to the outside of the store either.

I have spoken with many residents who do not want this application to go forward. I myself very much do not want this in our building. Many people have spent many years in this building and we all enjoy it very much. It would be a shame to lose the sense of community we have created here if this proposal should go ahead and be allowed.

I wanted to make sure my voice was known as being very opposed to this application as well as the rest of the residents here at the Metropolitan.

I do hope you will take this into consideration when deciding where to have this store. Thoughts generally being that it should not be forced onto a building with residential units and instead should be located in a commercial building in the area.

Thank you for your consideration. If there is any other avenue we can use to voice this please advise. I will certainly be attending the community hearing once there has been one arranged.

Best regards,  
Meghan



## David Johnson

---

**From:** Shannon Urquhart [REDACTED]  
**Sent:** April-27-19 11:27 AM  
**To:** David Johnson  
**Subject:** Feedback: rezoning application 315 Lonsdale Ave.

Hello,

I received a letter about the rezoning application for 315 Lonsdale Ave to become a Cannabis Retail Store. I was unable to attend the information session but would like to provide my feedback.

I am opposed to rezoning this lot to accommodate a Cannabis Retail Store for the following reasons:

- Increased Odours: Since marijuana legalization in 2018, the amount smoke from marijuana users has dramatically increased both in public spaces and in our home from neighbours who smoke. A cannabis store so close to our home could increase odours in the immediate area.
- Property Values: These stores may also negatively impact property values in the area. To this end, our strata has voted to ban cannabis stores in the commercial space under our building.
- Established Accessibility: While they need to get the proper licensing before re-opening, there are many cannabis stores within blocks already (Lotusland Cannabis Club on E 2nd, Weeds Glass and Gifts on E 2nd, Weemedical Dispensary on E 1st).

Thanks for the opportunity to provide feedback.

Shannon Urquhart  
332 Lonsdale Ave.  
North Vancouver, BC V7M 3M5



## Recreational Cannabis Retail Store Public Open House

**Please Note:** Should you provide your name and address, this form will become part of the staff report publicly available. If you do not wish to be identified, please do not include your name on the form, or consideration by City staff in its review of the application; however it will not be viewed by City Council.

April 9, 2019

Name:	
Address:	
1. Do you support the proposed project?	No. There is primarily a residential building with insufficient parking for existing residents + business
2. What do you like most about the proposed project?	
3. Do you have any concerns about the proposed project?	That Cannabis stores have extended business hours - 10 to 11 PM!
4. What would you suggest to improve or enhance the proposed project?	
5. Please provide any additional comments. (use back of page if necessary)	<del>Issue</del> Concerned with increased smoking next door to our entrance

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone:

E-Mail:



## David Johnson

---

**From:** Kyle Owens <[REDACTED]>  
**Sent:** May-01-19 6:35 PM  
**To:** David Johnson  
**Subject:** Feedback: rezoning application 315 Lonsdale Ave.

Hello,

I received a letter about the rezoning application for 315 Lonsdale Ave to become a Cannabis Retail Store. I was unable to attend the information session but would like to provide my feedback.

I am opposed to rezoning this lot to accommodate a Cannabis Retail Store for the following reasons:

- Increased Odours: Since marijuana legalization in 2018, the amount smoke from marijuana users has dramatically increased both in public spaces and in our home from neighbours who smoke. A cannabis store so close to our home could increase odours in the immediate area.
- Property Values: These stores may also negatively impact property values in the area. To this end, our strata has voted to ban cannabis stores in the commercial space under our building.
- Established Accessibility: While they need to get the proper licensing before re-opening, there are many cannabis stores within blocks already (Lotusland Cannabis Club on E 2nd, Weeds Glass and Gifts on E 2nd, Weemedical Dispensary on E 1st).

Thanks for the opportunity to provide feedback.

Kyle Owens  
332 Lonsdale Ave.  
North Vancouver, BC V7M 3M5

## David Johnson

---

**From:** Yvonne Cote - [REDACTED]  
**Sent:** May-08-19 10:32 AM  
**To:** David Johnson; Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)  
**Subject:** cannabis applic for 315 Lonsdale Ave

I strongly wish to voice my opinion AGAINST having this cannabis store right next door to our 305 Lonsdale residential entrance. This means a few **feet** from the entrance to our

homes! Due to extended business hours I feel it should be situated in a more commercial area such as West Esplanade near government Liquor Store, Shoppers Drug Mart etc.

Sincerely,  
Yvonne

Cote  
305 Lonsdale Ave

#502-

## David Johnson

---

**From:** Jeff Meszaros [REDACTED]  
**Sent:** May-01-19 9:21 PM  
**To:** David Johnson  
**Subject:** Opening a Cannabis Store at 315 Lonsdale is a terrible idea

Hello,

We spoke at the community centre. You might remember me.

Do we know when/where the next meeting will be about which cannabis stores will be approved for North Vancouver?

As you know, I am totally opposed to opening such a store in a residential building at 315 Lonsdale ... as are all the people I've spoken with in the building.

Please let me know when/where the next meeting will be so I can show up and share my many points which are

- 1) there is no parking to accommodate such a business. It will cause ridiculous traffic problems in an already busy intersection
- 2) the smell WILL be a problem. People WILL open the jars to smell the marijuana and they WILL smoke it immediately outside under residential windows
- 3) there WILL be a greater likelihood of crime occurring. Why else would they be putting in security guards and security cameras?

Again, please let me know when I can show up and voice these points

Thanks  
Jeff  
[REDACTED]



## David Johnson

---

**From:** eiko madsen [REDACTED]  
**Sent:** May-25-19 11:30 AM  
**To:** Linda Buchanan (Mayor); David Johnson; Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmcclroy@cnv.org; Tony Valente (Councillor)  
**Subject:** Retail Cannabis store

To: The mayor of the City of North Vancouver and council members

Re: Application for a retail cannabis store at 315 Lonsdale Ave, N.V.

I reside at 317-305 Lonsdale Ave, North Vancouver. I own a condominium of the floor directly above the proposed cannabis store located at 315 Lonsdale Ave, North Vancouver.

As a property owner, I have grave concerns regarding the location of the cannabis store in my condominium complex and respectfully request that no permit be granted.

My reasons for not agreeing to the store be permitted to do business in this location is as follows:

1. There is very limited parking in the area. There will be an increase pedestrian traffic in and out of the store. People may wish to smoke inside or outside of the store in spite of the regulation which will permeate into my suite. I fear I will be unable to open my windows due to the strong cannabis scent rising from the street.  
This is unacceptable.
2. There are lots of children in our building and they should not be subjected to any smoking.
3. I have been advised that there will be security guards patrolling the area.  
That is not appropriate to have a cannabis store in a residential area if there is a need for security guards.  
A commercial enterprise of this kind should be in a commercially zoned area.
4. The fact that the proposed cannabis store will be part of our condominium complex, requires security, possible break-ins to the complex will create significant lowering of my property's value.

I sincerely request that you decline the permit. A venture of this kind is not suitable at this location.

Yours truly,

Eiko Madsen  
317-305 Lonsdale Ave, North Vancouver  
V7M 2G3

## David Johnson

---

**From:** Deborah Harrison [REDACTED]  
**Sent:** May-23-19 7:08 PM  
**To:** David Johnson; Linda Buchanan (Mayor)  
**Cc:** Tina Hu (Councillor); Don Bell (Councillor); jmcilroy@cnv.org; Tony Valente (Councillor)  
**Subject:** Rezoning - 315 Lonsdale Avenue

Madam Mayor and Mr. Johnson:

Thank you for taking the time to read my email.

I am a 20+ year owner at The Metropolitan - 305 Lonsdale, which, as you will hopefully agree, was one of the first great developments in the Lower Lonsdale area.

Regarding the rezoning for #315, and just to be clear, I have no problem with cannabis and the folks that partake.

Having said that, I wanted to take the opportunity to voice my concern with the rezoning of 315 Lonsdale for a retail cannabis store that (I'm assuming), would attract patrons via a vehicle rather than on foot. I face Lonsdale, so am privy to the present parking problems with the very limited spots for the many, many quick visits people make in front of our building down to the intersection. It's also a very busy corner location, being a popular thoroughfare to the Bridge, West Van, etc. I do hope consideration could be given to a better location for the store, maybe a little more of a semi-commercial area with less families, children and constant traffic already.

Sincerely,

Deborah Harrison [REDACTED]

## David Johnson

---

**From:** Steve Hilts [REDACTED]  
**Sent:** May-11-19 7:22 PM  
**To:** David Johnson  
**Cc:** Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)  
**Subject:** Rezoning application for retail cannabis store @ 315 Lonsdale

Dear Mr. Johnson

We are owner/residents at 305 Lonsdale Ave and we would be opposed to a zoning change to allow a retail cannabis store in our building. Our understanding is that a specific set of retail uses are currently permitted, and that these were selected on the basis that they are compatible with the accessory residential use. We would no more want a cannabis store in our building than we would a cold beer and wine store, and we will be extremely disappointed if the CNV approves this application for rezoning.

Steven and Sharon Hilts



## David Johnson

---

**From:** Marlene Tambeau [REDACTED]  
**Sent:** May-09-19 3:04 PM  
**To:** David Johnson  
**Cc:** Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmcllroy@cnv.org; Tony Valente (Councillor)  
**Subject:** Rezoning Application for Retail Cannabis Store @ 315 Lonsdale Avenue

Dear Mr. Johnson,

As a resident and owner of a unit at The Metropolitan, I am writing to let you know that I am in opposition to the proposed cannabis store at this location. I am not against the use of cannabis, and although marijuana is legal in Canada, it is still:

1. Linked to higher levels of **property crime** in the areas in which retail stores exist (see article from 2017 on results from Denver, CO: <https://www.sciencedaily.com/releases/2017/04/170427130750.html>).
2. Linked to **lower property prices** in areas in which cannabis stores exists. See article from 2018 also from Denver: <https://business.financialpost.com/real-estate/will-pot-shops-affect-property-values-in-your-neighbourhood-they-did-in-colorado>.
3. Unknown in terms of its effects on adolescent brain development. Early research suggests it's effect is much more detrimental than previously identified and having it in such a high traffic area will have a trickle effects like alcohol in terms of its availability on those who are most marginalized and those most at-risk (i.e. teenagers).
4. Parking is already at a premium and adding another popular retailer to an already dense residential building will cause more traffic congestion.
5. And lastly, there are many families in the 305 Lonsdale resident, and the increased crime that research shows when a cannabis store is introduced to a neighbourhood, will have a detrimental effect on younger families.

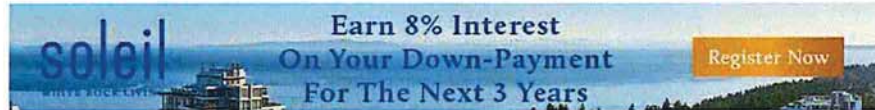
I would encourage the City of North Vancouver to continue with further feedback from the residents and surrounding community (i.e. other retailers and residents), before providing approval to the application. Also, Council should discuss in which areas it is willing to consider applications when they are made, to minimize time, effort and anxiety of all involved in this process. I would suggest that residential areas are NOT the right location for cannabis stores to be considered.

Yours sincerely,

Marlene Tambeau  
The Metropolitan  
[REDACTED]

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# Will pot shops affect property values in your neighbourhood? They did in Colorado

*The Haider-Moranis Bulletin: They could here too, once marijuana is legalized this year — but not the way you think*



An employee at a marijuana dispensary in Denver holds up a bud for a customer. Recreational sale of marijuana has been legal here since January 2014. AP Photo/David Zalubowski, file

SPECIAL TO  
FINANCIAL POST  
MURTAZA HAIDER  
AND STEPHEN  
MORANIS

March 7, 2018  
2:32 PM EST

Last Updated  
March 16, 2018  
9:31 AM EDT

As Canada moves closer to legalizing the recreational use of marijuana, many are speculating on how the decision will affect society and the economy. While some are concerned about health and safety effects, others are optimistic about potential new tax revenues and the prospect of bringing the sale and distribution of marijuana out of the criminal sphere.

One area that few are talking about, however, is how legal marijuana will affect residential property markets.

An advertisement for Mogo. At the top, the Mogo logo is displayed in red. Below it, the text reads "Your first 90 days are free. Then it's \$8.99/month." followed by "Promo code: freeprotect". In the center, there is a white smartphone showing the Mogo app interface, which includes a circular progress indicator and a "New User Notice" banner. At the bottom, a red button says "GET MOGOPROTECT" and the text "AVAILABLE ON:" is followed by the Android and Apple logos. A small note at the bottom right says "(1) See website".



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While retail rents are likely to benefit first, housing prices may also get a boost, if the experiences in other jurisdictions that have legalized marijuana are repeated.

Writing in the prestigious journal Real Estate Economics, James Conklin and his coauthors studied how the conversion of medical marijuana stores to

recreational marijuana stores affected housing prices in Denver, Colo., where the recreational sale of marijuana was legalized in January 2014.

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Their research provided strong evidence that homes located near such converted stores experienced a much higher increase in value than houses located farther away — as much as 8 per cent more.

## RELATED STORIES:

There's a full-fledged housing chill in Vancouver, but it hasn't reached Toronto, data shows

Conklin and his coauthors were meticulous in their research. They implemented several robustness checks and falsification tests to avoid undue influence of spurious correlation. Their results remained consistent and stable and withstood the scrutiny of all tests.

Their results showed that single-family residences situated within 0.1 mile (528 feet) of a medical marijuana store that became a recreational marijuana store experienced an increase of 8 per cent relative to homes sold farther away.

However, dwellings located between 0.1 mile and 0.25 mile from a converted store did not experience any proximity premium. The authors, therefore, concluded that the proximity premium was highly localized.

This finding raises several questions. For instance, why would housing prices report a proximity premium within such a small buffer zone around the converted stores? What possible benefits could a homeowner expect to derive from being that close to a marijuana dispensary, other than ease of access?

Alternatively, why would a homebuyer not buy a structurally similar house that is a little further away, that was not rising in price so quickly? Equally relevant is the question of whether homebuyers who purchased homes near a marijuana store were even aware of the store's presence.

While Conklin and his coauthors were mindful of these limitations and "agnostic as to the underlying cause of our results," it is possible to speculate about some potential explanations.

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One possibility not raised in the study is that homes around marijuana dispensaries had been subject to a discount prior to legalization, but that legalization lifted the stigma around such homes.

Another is that the stores had knock-on economic effects that were highly localized and boosted the economic profiles of their specific neighbourhoods.

While those are only guesses, there is not the only research demonstrating a strong linkage between the legalization of marijuana and higher housing prices.

In a recent paper in Economic Inquiry, Cheng Cheng and coauthors found almost similar results suggesting a 6 per cent premium in prices for homes sold in municipalities that legalized retail sales of marijuana, versus those that didn't.

Cheng and coauthors found that by August 2015, 46 out of the 271 incorporated municipalities in Colorado had passed laws enabling retail marijuana sales. Using even a more rigorous approach by restricting their analysis to dwellings that sold multiple times during the study period they found similar results as Conklin and his coauthors.

The Canadian government expects annual recreational marijuana sales to be around \$4 billion, which will be subject to a 10 per cent excise tax and additional provincial sales taxes. These taxes are expected to raise net new revenue mostly for provinces.

Whether homeowners also see a high remains to be seen.

*Murtaza Haider is an associate professor at Ryerson University. Stephen Moranis is a real estate industry veteran. They can be reached at [info@hmbulletin.com](mailto:info@hmbulletin.com).*

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## David Johnson

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**From:** ELAINE SHARPE [REDACTED]  
**Sent:** June-03-19 8:18 PM  
**To:** David Johnson  
**Subject:** Development Application to Rezone 315 Lonsdale Avenue - Important, Please Read

Dear Mr. Johnson,

My name is Elaine Sharpe and I live at 305 Lonsdale Avenue in the Metropolitan Building and it was recently brought to my attention that Justin Koh submitted a development application to rezone 315 Lonsdale Avenue to support a Recreational Cannabis Retail Store.

As I live in this building, I do not, under any circumstances, want this store opened in my building; therefore, the purpose of this letter is to formally and strongly oppose this application for the following reasons:

1. The purchase of our condominiums is one of, if not the largest and most important purchase the residents of my building have made and I feel this will lower our property value because if someone is looking to buy and they see one building has a security guard because of a cannabis store, of course, they are going to buy in another building;
2. I feel if this store is opened, it will lead to increased property crime in the building and surrounding areas;
3. I believe it won't just be elderly people using the store for medical needs and a lot of possibly dangerous people will be coming and going from this store;
4. We have a number of young families in our building and, it's my understanding that cannabis stores must be a restricted distance away from schools so if the stores have to be a restricted distance away from schools, then shouldn't they also have to be a restricted distance away from residential homes where there are young children;
5. Currently, in the rooms next to the above address, there is a Math4me Tutoring class and music lessons that take place so there are constantly children coming and going from that address.

I have nothing against cannabis stores, in general, but I adamantly believe they belong in industrial areas, not family dwelling areas.

If you have any questions, do not hesitate to contact me and thank you in advance for your attention to this matter.

Elaine Sharpe  
303-305 Lonsdale Avenue  
North Vancouver, BC V7M 2G3  
Phone: [REDACTED]

Sent from my iPad



## David Johnson

---

**From:** Linda Buecking [REDACTED]  
**Sent:** May-24-19 1:04 PM  
**To:** David Johnson  
**Cc:** Linda Buchanan (Mayor)  
**Subject:** Re: rezoning application for retail cannabis store at 315 Lonsdale Ave. North Vancouver

On May 24, 2019, at 12:55 PM, Linda Buecking <[lbuecking@hotmail.com](mailto:lbuecking@hotmail.com)> wrote:

On May 24, 2019, at 12:42 PM, Linda Buecking <[lbuecking@hotmail.com](mailto:lbuecking@hotmail.com)> wrote:

As a resident and owner at 345 Lonsdale Ave. North Van. strata # 3740 I strongly reject this application for a cannabis retail outlet.

We are an 89 unit family residential building with 8 retail units including a public art space, dental office, MP office, dog wash, print shop and hair salon. Our building is on the northwest corner of 3rd and Lonsdale. There are 10 parallel parking spaces on Lonsdale, none in front of the retail on 3rd, and 4 on 4th st. with a fire hydrant on the north corner.

We have a lane on the west side of the building running north from 3rd st. This lane has 3 parkade enter and exits. There is also a lane running west and east that t's with our lane. Vehicles trying to avoid the light at the intersection use the lane as well.

In the lower parkade off the lane there are 9 public parking spaces with 3 designated for the dental office and all the others designated reserved. I assume owners or staff of the retail must use these as finding parking on the street is very challenging. Most street parking is 1 hour limit.

The intersection of 3rd and Lonsdale is one of the busiest in lower Lonsdale. This is not the location for a presumed busy retail with very limited parking and cars trying to parallel park and tying up the flow of traffic. Traffic flow must be a major deciding factor as those of us who lived through the high density development already know and have experienced the new grid lock factor.

A location away from these 2 busy streets would be a better alternative.

I am asking you to reject the proposal put forth to the city for this location as a retail cannabis store.



With respect,  
Linda Buecking  
#611 345 Lonsdale Ave. North Van  
V7M 3M9

## David Johnson

---

**From:** Alec Leverton [REDACTED]  
**Sent:** May-15-19 12:51 PM  
**To:** David Johnson; Linda Buchanan (Mayor)  
**Cc:** Don Bell (Councillor); jmcclroy@cnv.org; Tony Valente (Councillor); Tina Hu (Councillor); Holly Back (Councillor); Angela Girard (Councillor)  
**Subject:** 315 Lonsdale - Cannabis Store Rezoning - Objections

Dear Mayor Linda, David and the rest of the CNV team,

I'm writing to you all today, to express our severe concern and objections against the potential rezoning of Lonsdale Avenue 315, for a retail cannabis store.

To firstly detail who I am and the demographic I fall under. I am a 29 year old, male, British citizen, and a proud Canadian Permanent Resident (citizenship will be next), and along with my with my Canadian citizen girlfriend (hopefully soon-to-be fiance), we bought our first ever property in unit 304, 305 Lonsdale Avenue back in 2017.

It has become a great concern to us about the idea of having a Cannabis Retail Store located in our building, and here are a few of the reasons why we strongly oppose said rezoning:

- This is a highly residential building, within a highly residential community. With this, there are many units that have children in The Met building, and having a Cannabis store that will inevitably cause the smell and smoke of cannabis to surround and penetrate the building, is simply unacceptable.

I am aware the plans are for the Cannabis to be stored in glass jars, no smoking in or around the area will be permitted, but in real-life this will simply not come to fruition. Children shouldn't be exposed, smell or inhale these fumes. Further to that, animals are allowed in The Met and also have the risk of exposure.

- Security Guard to be posted outside of the store. This will simply look extremely odd and suspicious. Looking at The Met, and seeing the need for a Security Guard to stand outside, when other residential buildings don't, will cause serious concern for if/when the current residents wish to sell their property, and in general will portray The Met and the area to be unsafe.

- Safety: Yes, Cannabis is legal and I support all medical benefits it can provide those in need. However this will also attract certain demographics that may affect what this area has built up to be, a safe, friendly and welcoming community. With certain demographics who use cannabis, this would dramatically alter the area for the worse.

- Just 2 to 3 blocks down is Esplanade, a more industrial and commercial area, where there are a number of commercial units that would make a lot more sense to have this type of business run. A Cannabis store, in The Met - does not make sense, and the other current commercial businesses currently in The Met, are also against this Cannabis rezoning.

- Parking: This store will cause severe foot traffic, and clients would park and use up the parking in front of The Met, and also affect the traffic around Lonsdale and 3rd (already a major, busy road).

Coincidentally, The Met held our annual Committee meeting this week, and every single attendee was against this - I believe others already have and will send a similar email to this.

I look forward to a timely response to this matter and the points I (and others) have made above, and to see the support from you all to prevent this rezoning from happening. I invite you to connect with me via a phone call - or to let me know if there's any other information or steps I can take to prevent this cannabis business from being approved at The Met.

Yours respectfully,  
Alec

Alec R. Leverton | Enterprise Sales Executive





## David Johnson

---

**From:** RENO GAJO [REDACTED]  
**Sent:** June-02-19 7:56 PM  
**To:** Linda Buchanan (Mayor)  
**Cc:** David Johnson; Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)  
**Subject:** Proposed Cannabis Store At 315 Lonsdale Avenue  
**Attachments:** 1 entrance nook store.jpg; 2 Current Retail Store.jpg; 3 Phibbs Exchange.jpg; 4 what could be.jpg

Hon. Linda Buchanan  
Mayor, City of North Vancouver

Dear Madame Mayor:

Subject: Opposition To Proposed Cannabis Store At 315 Lonsdale Avenue

My spouse and I are long time residents of the City of North Vancouver, and currently living at 305 Lonsdale Avenue (Metropolitan Building) for the past 15 years.

We are against the proposed cannabis store at our building. While cannabis has been legalized, it is still a controlled substance both in usage and in distribution, more so than cigarettes.

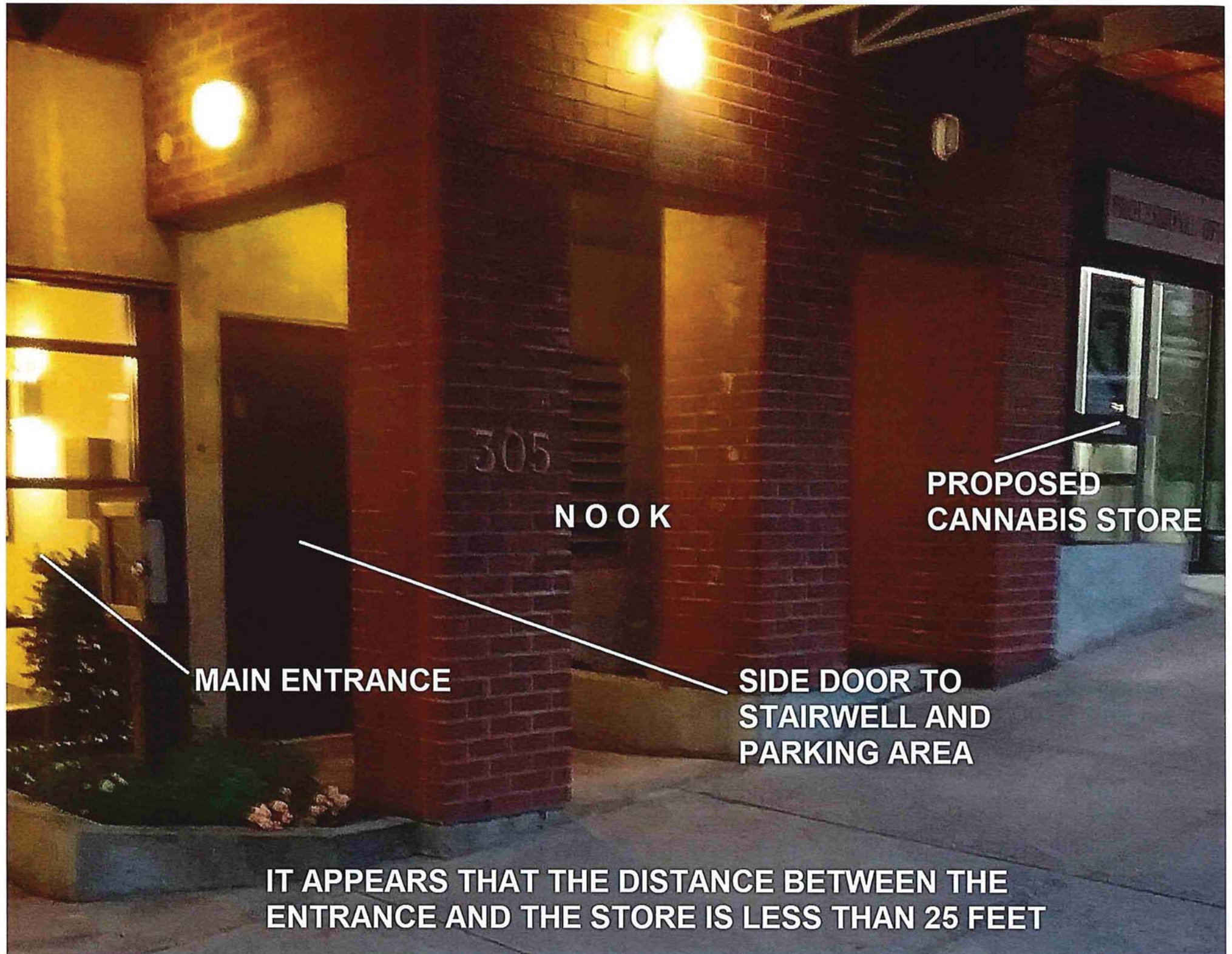
Our opposition is based on the following:

1. Cannabis-related rules and regulations are still in a flux. In Toronto, the issue is whether a cannabis store is allowable with 250 or 500 meters of schools. The proposed store at 315 Lonsdale is next to the main entrance to the building separated only by a nook to a side door. This nook is a convenient, out-of-site location for those eager to smoke marijuana right after purchase. It only takes one or two users to do this per day for the smell to linger especially at windless times. The odour is likely to waft into the stairwell (stairwell to the underground parking and to the residential units) as soon as a resident opens the side door or the main entrance door for that matter. Both the foyer and the stairwell have no ventilation so the odour will remain for hours. Resident children also use both the side door and the main entrance.
2. For homeowners at Metropolitan, it is bad enough that the Feds have increased interest rates, the property assessments have increased, the property tax rates have increased and the real estate market is down. The presence of a cannabis store that is to be protected by a security guard means that crime/security is an issue on the premises, and will adversely affect the value, perceived or otherwise, of condominium units. I am a risk-averse retiree and my spouse is about to retire. Our condo is our main retirement asset.
3. There is likely to be more vehicular traffic around the building, and quite possibly, there will be queues or loitering before the store opens in the morning. On the other hand, the legal cannabis stores could bring in a fraction of anticipated revenue only. I read internet reports that most illegal cannabis businesses in California are still underground; perhaps regular users prefer to deal with and trust their illicit sources which are not subject to taxes. Perhaps, cannabis will pan out to be a false gold; I pray that, in a rush to accommodate it, residents are still prudently protected.
4. It is ironic that the current retail location is offering math tutoring (most likely for kids). One wonders if, later on, stores that cater to children or other types of business would be precluded from being set up nearby because a potentially restrictive cannabis store has been grandfathered in.

We hope that the City Council hears our concerns and decides that placing a cannabis retail store next to the building entrance is not in the best interests of the Metropolitan residents.

Thank you so much for your time, and I also wish to that the distinguished City Councillors.





**NOOK**

**PROPOSED  
CANNABIS STORE**

**MAIN ENTRANCE**

**SIDE DOOR TO  
STAIRWELL AND  
PARKING AREA**

**IT APPEARS THAT THE DISTANCE BETWEEN THE  
ENTRANCE AND THE STORE IS LESS THAN 25 FEET**



CURRENT STORE  
OFFERING MATH  
TUTORING  
PRESUMABLY  
FOR KIDS



VANCITY PRO  
CHIROPRACTIC  
118 2ND FLOOR (MAIN)  
VANCOUVER, BC V6C 1A1

Math4me  
www.math4me.ca  
"Tutoring \$8-15/hour" All Subjects  
604-770-3124





**No Smoking**  
within 7.5m/25ft

Tobacco Control Act and/or municipal  
bylaws and fines may apply

TRANS LINK

10000-000

**<== PHIBBS  
EXCHANGE  
SIGN**





VANCITY PRO  
CHIROPRACTIC

170 BVS 1 (440-0141)

**No Minors**  
within 7.5m/25ft



# Recreational Cannabis Retail Store

## Public Open House

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315 Lonsdale

April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	No! - it <u>will</u> increase crime. pot shops get robbed - it <u>will</u> cause a smell people <u>will</u> smoke it nearby - it <u>will</u> cause horrible traffic. There's nowhere to park.
2. What do you like most about the proposed project?	There is nothing good about this idea. Putting a pot shop in a residential building is a terrible idea.
3. Do you have any concerns about the proposed project?	Yes. I <u>use</u> Marijuana and I live in the building. I <u>know</u> what is going to happen. 1) smell 2) crime 3) crosz/traffic
4. What would you suggest to improve or enhance the proposed project?	Do not approve this application. Open pot shops in areas with parking that are not near residential buildings.
5. Please provide any additional comments. (use back of page if necessary)	Questions call me at or e-mail

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

see back of paper for more...

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project?	No! It will cause terrible traffic!
2. What do you like most about the proposed project?	I <u>use weed</u> and I am against this!
3. Do you have any concerns about the proposed project?	See back of this sheet for a <u>map</u>
4. What would you suggest to improve or enhance the proposed project?	Open pot shops elsewhere - not in residential buildings
5. Please provide any additional comments. (use back of page if necessary)	The guy who has applied does not use weed and does not live in the building so he has <u>no idea</u> what he's doing.

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)

## David Johnson

---

**From:** Justin Koh [REDACTED]  
**Sent:** April-12-19 10:53 AM  
**To:** David Johnson  
**Cc:** Wendy Tse  
**Subject:** Lonsdale Cannabis Co

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hey David/Wendy,

From the public meeting, there were a few concerns that came up. So I just wanted to email you some alterations to our business plan.

1) hours

Some of the strata didn't like the hours being extended too late into the evening or early morning as they were worried maybe they might run into customers from the store. It was originally to be 9am to 9pm, but I changed it to 10am to 7pm.

2) Security

Some residents were worried that some customers may smoke directly outside the building. Originally our security was only to be inside. But we are interested if we can organize it with strata and strata bylaws, that we can have our security walk close to the building perimeter to deter any loitering and smoke going towards the residents.

3) valuable (potential robberies)

A resident noted that they may worried having valuable items inside the store and someone may try to break in. So another security amendment that we are thinking is adding an inside metal gate, as well adding a vault so it deters any potential robberies from taking place.

Justin



# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

**Please Note:** This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Robin Baxter		6:00P
2	Sim NEILL	C-12	
3	Heather Habib	712-333 Brooksbank Ave. N. Van.	6pm
4	Jim Strand	507-345 Lonsdale Ave	6pm
5	Jeff Moscos	209-305 Lonsdale Ave	6pm
6	Carlos Flores	315-733 West 14 St.	6:00pm
7	Andrea Theargeld	517-345 Lonsdale Ave	
8	Robynne Edwards	H1-1576 Tatlow Ave. N. Van.	6:00pm
9	Mackenzie Grantham	"	6:00pm
10	Lorenzo Edwards	"	6:00pm
11	Sylvia Collins	609-345 Lonsdale Ave	6:00pm
12	Heather Dens	734 Lonsdale Ave	6:00pm
13	Gandy HARVEY	733 W. 14th St. NV	6:00pm
14	Brendan Storestreet	733 West 14 street	6pm
15	Yalda Ahmadvand	180-700 Marine Drive NV	6:00pm
16	Don Rowlett	508-345 Lonsdale NV	6:00pm
17	Gray Jennica	1890 Cardinal Ave	6:00pm
18	Jim Kennedy	#503-305 Lonsdale	6:00pm
19	Jim Kennedy	1516 Kenford Dr White Rock	6:00
20	Shelly O'Meara	224-255 W 1st St N.V	6:00
21	Yvonne Cote	#502-305 Lonsdale	6:00
22	Meghan Koup	502-277 1st St. West	6:00
23	Meghan Koup + Nathan	406-305 Lonsdale Ave	6:00
24	Caitlin Mann	56-718 15th St W	6:05
25	Christina Hall		6:10

No.	Name	Address	Time
26	Bob Burtin	655 5 <sup>th</sup> St	6pm
27	WAYNE CATTONI	8084 17 <sup>th</sup> AVE 1517	
28	Kamal Nanavaty	111 E 13 <sup>th</sup> ST	
29	Feroze Nanavaty	111 E 13 <sup>th</sup> ST	
30	Trace Kennedy	503-305 Lonsdale Ave NV.	
31	Ericc Maxime	#223 255 West 5 <sup>th</sup> Street	
32	Joe Lappan	#224 - 255 West 1st St	6 pm
33	Sarmaz Brent	302-305 Lonsdale Ave.	6 pm
34	Andy Hellmuth	+203 - 17 <sup>th</sup> W - 125 Lonsdale	6 PM
35	MARLENE TAMBEAU	305-305 LONSDALE AVE	6 pm
36	Peter Bachmann	407-1200 Lonsdale Ave. North Vancouver	6:05
37	MICHAEL ROSSI	#56-728 West 14 <sup>th</sup> St.	
37	Morgan Mink, V	#5 728 West 14 <sup>th</sup>	6:00
38	VERONICA B		6:00
39	ANDREW HAWTHOR	3264 W. 31 <sup>st</sup> AVE VAN B.C	
40	MAEV GATO/ KENO GATO	306-305 LONSDALE AVE. N. VAN BC	6 PM
41	B. Moge	111 East 13 <sup>th</sup> St STREET	6:00
42	A. MOYE	111 E 13 <sup>th</sup> ST N. VAN	6:10
43	Brad Helgason	#421-255 West 1st Street.	6:11
44	Kyle LeMay	1655 Edwards Rd	6:11
45	BRAIN LARSEN	1720 GRAND BLVD E.	6:12
46	Debbie Dickie	1119 Pinawa Rd (103 East 12 <sup>th</sup> )	
47	Kathy Chan	P.O. 76 Lions Bay BC	6:15
48	Julie VanBreegen	#204, 131-3rd St West North Van	
49	Myra	#101 461 WEST 16 N VAN	6:15
50	Leona Gallon	961 WILLOW LANE W VAN	6:15



# Public Open House for Cannabis Retail Stores

## SIGN IN SHEET

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### CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

No.	Name	Address	Time
1	Ezekiel UHOA	1250 Lonsdale Ave	6:00 pm
2	Nathalie Poirier	255 West 1st Street	6:00 PM
3	Brad Helgason	255 West 1st Street	6:15 PM
4	Jess Wagstaffe	507-719 West 3rd St	
5	<del>GEORGE BEWICK</del>	3819 CAMBRIDGE W. VAN	6:15 PM
6	PICK JEFFERY	#204 131 W 3rd St N. VAN	6:15
7	ISCIAN MEAKIN	1151 EDGEMOOR RD N. VAN	6:15 pm
8	LEIGHTON HARRISON	408-305 Lonsdale Ave N. VAN	6:15 pm
9	Don HOLT	601-12th W	6:15
10	Garry Johnston	319 EAST 6TH	6:15
11	Athenne A. Ambrose	137-East 1st St. #406, N. Van	6:25
12	BRUCE BASSEL	351 BEWICK AVE. NORTH VANCOUVER	6:27
13	Dorene RUSSELL	2-240 E 4th St N. Vancouver	6:27
14	KKE ROBERTSON	702-124 W 1st St N. VAN	6:30
15	ANDREW KLAYDE	213 EAST 22ND ST N. VAN	6:25
16	JOE MARTON	303-317 BEWICK N. VAN	6:35
17	Stord Scalford	312 East 1st St Apt. #103	6:40
18	Courtney Anson	252 2nd St W	6:40
19	Janet Kotalovic	255 W. 1st St N Van	6:55
20	HECTOR HERNANDEZ	310-124 3rd St W N Van	19:43
21	Jennifer Erin Vaughan	201-733 West 14th St N. Van BC V7M 0C6	7:00 PM
22	Sarah Baldwin	730 Marine Dr. Opposed to 725 Marine Loc.	7:00
23			
24			
25			



No.	Name	Address	Time
51	DINA WEEKS	305 Lonsdale Ave. North	6:15 pm
52	RAQUEL JOHNSTON	317 E 6th N. Van	6:15 pm
53	Havona Hibbard	137-406 E 1st Street	6:25 pm
54	Howard Hao	201-332 Lonsdale Ave.	18:25 pm
55	Brady Fought	317 Bewicke Avenue	18:25 pm
56	Amya Hirji	305 Lonsdale Ave #202	18:25 pm
57	BRIAN RABBIT	1661 PHILIP AVE	6:28
58	DONNA TONEY	317 Bewicke Ave.	6:30
59	Alic Batoni	209-211 700 Marine Dr N. VAN	6:30
60	Mark Johnson	<del>306</del> 306-161- West 4th St. N Van.	6:45
61	ALEX RAKS	1212 23rd ST W.	6:45
62	Steven Rakis	780 W ST Georges	6:45
63	Chester Wolff	822 BSTEM.	
64	Rita Hernandez	310-124 W 3rd Street North Van	6:55
65	Bernette Howard	277 W 1st Street	7:05
66	Dominic Howard	277 W. 1st street.	7:05 pm
67	MICHAEL GALLAGHER		7:15
68	Julia Dickson	255 1st St W.	7:15
69	Colm Flavin	111 East 3rd.	
70			
71			
72			
73			
74			
75			
76			

## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b> Brady Fought	
<b>Address:</b> 317 Bewicke Avenue	
1. Do you support the proposed project?	Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed.
2. What do you like most about the proposed project?	The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community.
3. Do you have any concerns about the proposed project?	No. Please have bike racks!
4. What would you suggest to improve or enhance the proposed project?	↓
5. Please provide any additional comments. (use back of page if necessary)	I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

## Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

<b>Name:</b>	
<b>Address:</b>	
1. Do you support the proposed project? <i>YES</i>	
2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i>	
3. Do you have any concerns about the proposed project? <i>NO</i>	
4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i>	
5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN &amp; FRIENDLY</i>	

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)



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April 9, 2019

6:00 pm to 8:00 pm

Name:	
Address:	
1. Do you support the proposed project?	NO
2. What do you like most about the proposed project?	NOTHING
3. Do you have any concerns about the proposed project?	YES ,
4. What would you suggest to improve or enhance the proposed project?	DON'T PROCEED
5. Please provide any additional comments. (use back of page if necessary)	THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED!

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

### CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: [djohnson@cnv.org](mailto:djohnson@cnv.org)

## David Johnson

---

**From:** [REDACTED]  
**Sent:** March-27-19 9:24 PM  
**To:** David Johnson  
**Attachments:** text\_1553747028630.txt

---

Umm I rent I the area, but this weed licences wrong spelling wont  
bo through and I'll make sure of it

---

This message was sent from a Bell mobile phone.

**Bell**

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web\_Feedback <[info@cnv.org](mailto:info@cnv.org)>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well  
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?  
why not in Lynn Valley ,Marine drive ,Edgmond village ,  
cb there those place re for rich people,

-poor and middle class live on Lonsdale,  
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,  
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,  
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>  
if the NDP does not stand to protect our children ,family  
we are not going to support you for the next city election and we are going to push the NDP to ban those  
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our  
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!  
we can live without them.

king regards

Benny



Begin forwarded message:

**From:** Hibilly Blu <[REDACTED]>

**Date:** April 2, 2019 at 3:47:23 PM PDT

**To:** [lbuchanan@cnv.org](mailto:lbuchanan@cnv.org)

**Subject:** Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.  
Stephen Nilsson

# 315 Lonsdale Avenue

(Bylaw 8716)

- OCP designation of Mixed-Use Level 4A.
- Along an active commercial corridor of Lonsdale Avenue, just north of 3<sup>rd</sup> Street.
- Outside of the sensitive use areas.
  - North Shore Neighbourhood House (350 meters)
  - John Braithwaite C.C. (257 metres)
  - Queen Mary Elementary School (510 metres)





*Lensdale*  
Cannabis Co.✱

# Overview

- 1) Our Company's Business Model
- 2) Main concerns and Solutions

Our company

The logo is centered within a dark gray rectangular area. It is enclosed by a white double-line border. The text "Lonsdale" is written in a large, elegant, white script font. Below it, "Cannabis Co." is written in a smaller, white, serif font. A small white leaf icon is positioned at the end of the word "Co."

*Lonsdale*  
Cannabis Co. 



# Mission Statement



- Break down the past portrayal of cannabis and ***create a modern brand*** that showcases a new, *regulated* sense of distributing cannabis
- Be the *go to place* for cannabis products in the lower Lonsdale area

# Meet the Owners

- Molly and Justin



# Products





# Products – What are we selling?

- Dried Cannabis



- Oils



- Smoking products

- Bongs, Vaporizers, etc.



# Products – Who are we selling to?

## ● Target market (within N. Van)

- males/females aged 19-35
- High school/college educated
- use cannabis several times a week



## ● Sub-target market (within N. Van)

- males/females between ages 35-54
- college/university graduate
- smaller social network
- use cannabis less frequently (e.g., once a month)

# Service



# Service – Staff

- Both Molly and Justin acting managers
- 2 full-time & 2 part time staff
- Private Security guard
  - licensed with the *Security Services Act*

## Characteristics

- Friendly
- Knowledgeable
- Meet LCRB standards
- Uniform





# Service – Day to day

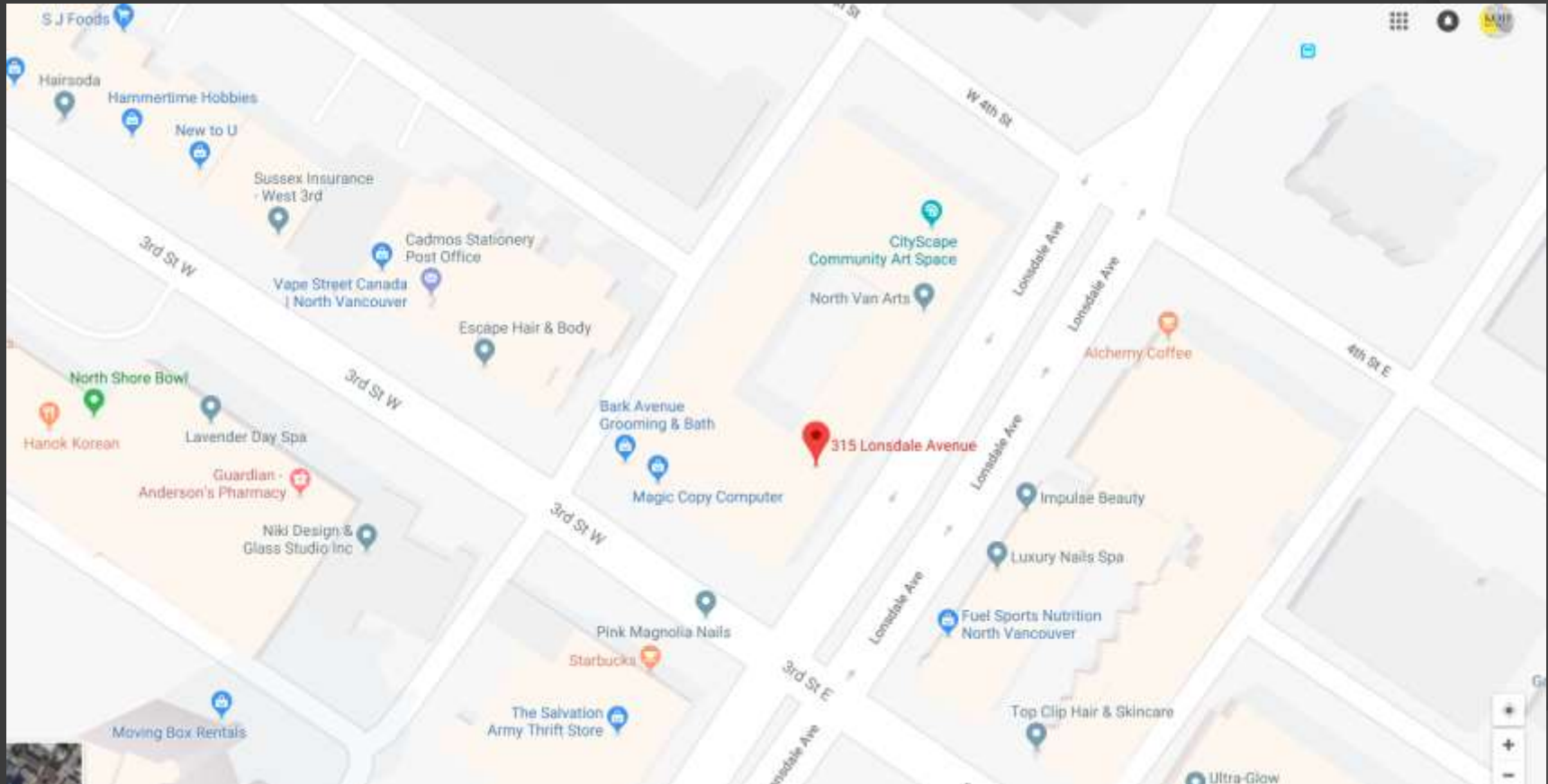


- Originally 9am to 10pm  
- 7 days a week
  
- Amended hours to 10am-7pm  
- 7 days a week

# Service – Value proposition

- ⦿ Combining customer service with
  - 1) Location
  - 2) High designed store

# Location

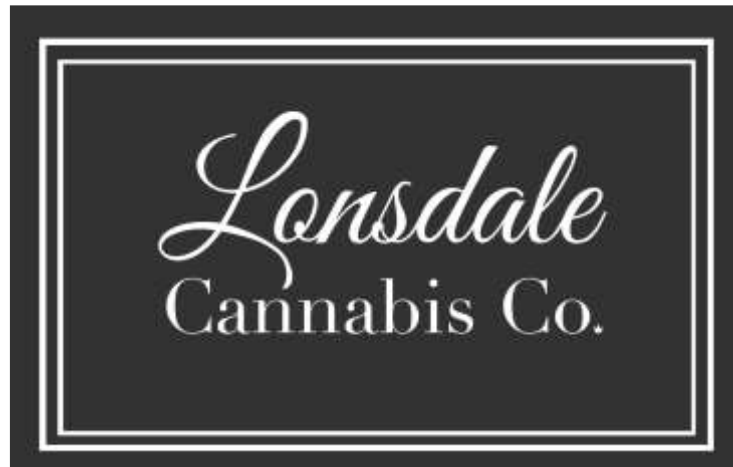


- Central location of Lower Lonsdale
- High foot traffic area
- Many surrounding businesses

# Past association with Cannabis







## High design Mood Board

# Envisioned Exterior



- Clean, inviting exterior
- Abiding the rules set by LCRB

# Envisioned Interior



- Clean, dynamic feel





# Envisioned Interior



◉ Welcoming, friendly vibe







# Service – Marketing Strategy

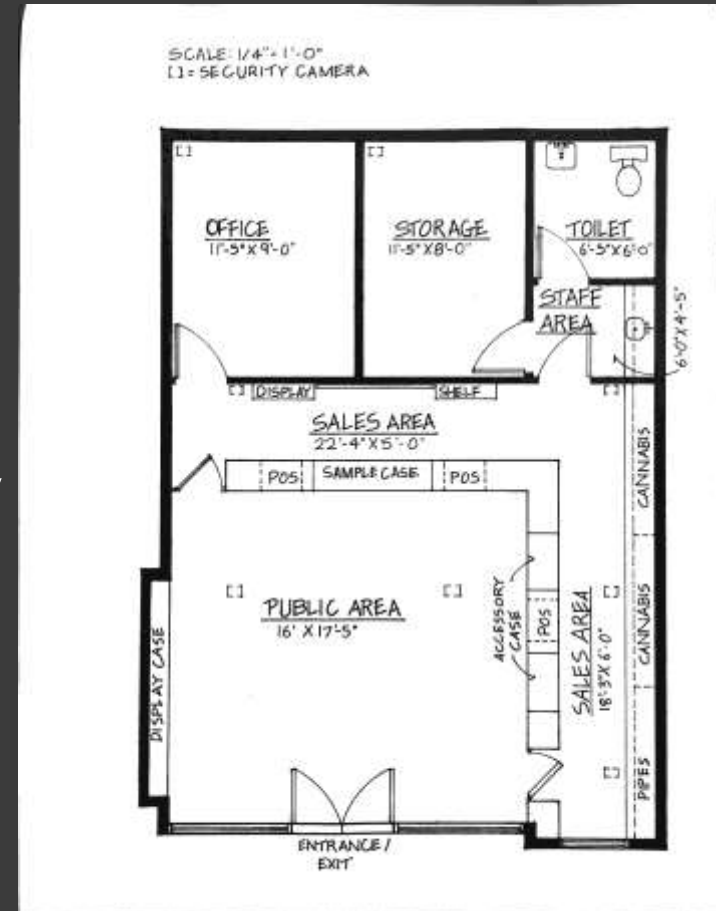
- ⦿ Foot traffic
- ⦿ Reviewable social platforms
  - E.g., Google
- ⦿ Social Media & Website
  - Abiding by all laws from LCRB
- ⦿ Word of Mouth

# Service – Security & Insurance

- Set out by LCRB
  - Security camera
  - Security guard
- Scissor gate for extra security

## Insurance

- General Liability, property, etc.
- Future Error and Omissions? (LCRB)



# Lonsdale Cannabis Co.

## ⦿ In sum:

- Provide recreational cannabis products in a high class, yet approachable, atmosphere
- Underlying sense of regulation

## ⦿ Friendly, knowledgeable staff

## ⦿ “Fitting in” with Lower Lonsdale



# Main concerns



# Smell from the shop

- Kept in air-tight containers
- Smelling jars



- Zero tolerance smoking policy

# Quiet enjoyment - Smoke



- By law, 6 meters (20 ft.) away from buildings (*Tobacco and Vapour Products Control Act*)
- Strictly trained to inform customers to smoke at their personal residence
- Security guard – Private
  - Deter crime
  - Avoid loitering

# Ending notes

- ⦿ First time for Canada
- ⦿ Right minds and flexibility to manage risks



Thank  
you



# Crime



- Studies show that the legalized dispensaries do **NOT** increase crime
- South Los Angeles Study (Subica et al., 2018)
  - No increase in property and violent crimes in localized area
- National Realtor Association (2018)
  - 74% said didn't know or no change in crime



# Property Value



- ◎ National Realtor Association Study (2018)
  - More than  $\frac{3}{4}$  realtors noted **no change**
  - Approximately 10% noted increase and decrease
- ◎ Case study in Colorado, Denver (Conklin, Diop, & Li, 2016)
  - Increase for single family residence of approximately 8.4% within 0.1 mile
- ◎ Cross city, national study Clever (2019)
  - Supported previous studies, finding home values increase by \$22,888 more than cities that forewent the legalization of recreational stores



**From:** Sylvia Collins <>  
**Sent:** June-23-19 12:59 PM  
**To:** David Johnson  
**Cc:** Linda Buchanan (Mayor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmcIlroy@cnv.org; Tony Valente (Councillor); Holly Back (Councillor)  
**Subject:** Proposed Retail Cannabis Store @ 315 Lonsdale

Dear Mr. Johnson

I am writing to offer my strong objection to the proposed retail cannabis store at 315 Lonsdale Avenue, which is a retail unit on the ground floor of our residential strata. Our residential address is 305 - 345 Lonsdale Avenue, and has 87 units. It is home to singles couples and families with children and dogs. It is not an appropriate location for the sale of cannabis. We have very limited parking on Lonsdale and there will very likely be an increase in pedestrian traffic outside our entrances. In addition in talking to the 'agent' Mr. Justin Koh, representing the owner of retail unit # 315 - he appeared to be vague about plans including hours of business and security, which are extremely important if this site were to be approved.

As a member of our strata council I have tried to remain impartial, as the owners of the retail units also contribute to our strata fees, but as an individual I am alarmed that this location as a family residential building would even be considered by North Vancouver City Council. Also at our AGM a few weeks ago, there was strong opposition from residents, concerning cannabis smoke and smells entering the building, security and parking. Hopefully these residents have followed our strata council's suggestion that they email or phone CNV to voice their concerns.

Currently included in our buildings retail units are the constituency office of Liberal MP - Hon. Jonathan Wilkinson, North Vancouver Arts Council, a Dentist surgery and Style and Company Hair Salon.

Please consider all this information when assessing the application.

Yours truly,

Sylvia Collins  
345 Lonsdale, Apt. 609.  
North Vancouver

**From:** mike Jenkins <>  
**Sent:** July-08-19 1:26 PM  
**To:** Submissions  
**Subject:** Pot Shops

Cannabis retail stores must not be allowed to operate in these designated areas of North Vancouver. At the moment we have a number of vagrants sitting and begging on Lonsdale ave. and nothing is being done about that.

We believe the pot shops will increase the numbers. We also believe that crime will increase in our neighborhood because of these shops, example being break ins to these shops, and dubious people coming around our streets.

Traffic will increase for those coming from afar to these shops. For many years we have enjoyed the quality of life in this area, and we hope that all Council members have too.

Please do not allow these pot shops to operate here, because it will harm our quality of life that we are use to and enjoy.

Thank you  
Mike and B. Jenkins  
1403 - 112 East 13th St  
North Vancouver

About Zoning Amendment Bylaw, 2019, No. 8716

To the City Clerk,

We are writing this letter to express our concerns and objection to the zoning amendment of the Comprehensive Development 341 (CD-341) to add the use of Cannabis Sales allowing a Cannabis Retail Store in our premises, 315 Lonsdale Ave.

We believe that this will have a strong and negative impact in our family-oriented building as well as it will affect the value of our property. Our residential building is completely inappropriate for an installation of a Cannabis shop and this will certainly bring lots of implications such as:

1. This is a family-oriented building and lots of residents have small children. A Cannabis shop in its premise will be harmful to their health. These shops should be placed far away from condo or family apartment buildings.
2. Impact on residents and tenants and on Common Areas: there will be more gatherings in hallways, stairways, parking lots or on the street immediately outside which will raise concerns about loitering and safety. The alley between 3<sup>rd</sup> and 4<sup>th</sup> street behind our building is not well lit and will certainly invite the shop customers to use the alley for smoking marijuana.
3. There is no guarantee that the building has an appropriate amount of light, air circulation and water to accommodate this kind of outlet. This could require costly installations such as security of walls and windows.
4. Cannabis has a strong odour even when it is not being smoked. Our present ventilation system is not specific for this kind of shop, and it is likely that special or additional air circulation equipment will be required to prevent odours from escaping into the common areas of our building.
5. Another issue it is related to insurance, property values and resale potential. According to the Zoocasa's previous Housing Trends Report in October 2018, [www.zoocasa.com](http://www.zoocasa.com), a great number of respondents stated the presence of a dispensary nearby would harm the value of nearby homes and reduce their desire to purchase a specific property.

We feel that the majority of our neighbours are vehemently opposing to the location of the shop. We hope that you will take these factors into consideration when making your decision.

Marcos Ishii and Alice Ishii  
601- 345 Lonsdale Avenue

**Subject:** FW: Lonsdale cannabis co

**From:** Spa music Raznavi < >  
**Sent:** July-10-19 2:58 PM  
**To:** Submissions <[input@cnv.org](mailto:input@cnv.org)>  
**Subject:** Lonsdale cannabis co

I Naomi Raznavi is against A Cannabis shop at 315 Lonsdale

Naomi Raznavi  
315 Lonsdale North Vancouver



# NOTICE OF PUBLIC HEARINGS

Notice is hereby given that Council will consider the following 6 bylaws on 2 separate evenings:

## Public Hearing for Bylaws 8714, 8715 and 8718

**Monday, July 15, 2019 at 6:30 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8714

**Address: 1717 Lonsdale Avenue**

**Applicant: The Herb Co.**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 721 (CD-721) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and to reduce the number of required off-street parking stalls from 9 to 6.



### Zoning Amendment Bylaw No. 8715

**Address: 221 West 1<sup>st</sup> Street**

**Applicant: 1<sup>st</sup> Cannabis**

To amend the text of Comprehensive Development 454 (CD-454) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8718

**Address: 333 Brooksbank Avenue**

**Applicant: BC Liquor Dist. Branch**

To amend the text of Comprehensive Development 131 (CD-131) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property and adjust the site schedule to permit the placement of a new 365.1 sq. m. (3,930 sq. ft.) building at the northeast corner of the property.



## Public Hearing for Bylaws 8713, 8716 and 8717

**Wednesday, July 17, 2019 at 6:00 pm**

**Council Chamber, City Hall  
141 West 14<sup>th</sup> Street, North Vancouver**

### Zoning Amendment Bylaw No. 8713

**Address: 725 West 14<sup>th</sup> Street**

**Applicant: City Cannabis**

To rezone the property from a Service Commercial (CS-1) Zone to a Comprehensive Development 720 (CD-720) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8716

**Address: 315 Lonsdale Avenue**

**Applicant: Lonsdale Cannabis Co.**

To amend the text of Comprehensive Development 341 (CD-341) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



### Zoning Amendment Bylaw No. 8717

**Address: 1200 Lonsdale Avenue**

**Applicant: BC Liquor Dist. Branch**

To rezone the property from a General Commercial (C-2) Zone to a Comprehensive Development 722 (CD-722) Zone to add the use of Cannabis Sales as a permitted use to allow a Cannabis Retail Store on the property.



All persons who believe they may be affected by the proposals will be afforded an opportunity to be heard in person and/or by written submission. Written or email submissions must include your name and address and should be sent to the City Clerk at [input@cnv.org](mailto:input@cnv.org) or by mail or delivered to City Hall. Submissions must be received no later than 4:00 pm, Monday, July 15, 2019 to ensure their availability to Council at the Public Hearings. Once the Public Hearings have concluded no further information or submissions can be considered by Council.

The proposed Zoning Amendment Bylaws and background material will be available for viewing at City Hall between 8:30 am and 5:00 pm, Monday to Friday, except Statutory Holidays, from July 5, 2019, and online at [cnv.org/PublicHearings](http://cnv.org/PublicHearings).

Please direct any inquiries to **David Johnson**, Development Planner, at [djohnson@cnv.org](mailto:djohnson@cnv.org) or 604-990-4219.

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**THE CORPORATION OF THE CITY OF NORTH VANCOUVER**

**BYLAW NO. 8716**

**A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
  - A. In the CD-341 Zone:
    - (1) Adding to Section (1):
      - (d) Maximum of one Cannabis Sales Retail Store.

READ a first time on the 24<sup>th</sup> day of June, 2019.

READ a second time on the 24<sup>th</sup> day of June, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

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MAYOR

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CITY CLERK