



**AGENDA FOR THE REGULAR MEETING OF COUNCIL TO
COMMENCE AT 6:00 PM, IN THE COUNCIL CHAMBER, CITY
HALL, 141 WEST 14TH STREET, NORTH VANCOUVER, BC, ON
MONDAY, JUNE 24, 2019**

**MONDAY, JUNE 24, 2019
COUNCIL MEETING – 6:00 PM**

“Live” Broadcast via City Website www.cnv.org/LiveStreaming
Complete Agenda Package available at www.cnv.org/CouncilMeetings

CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, June 24, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, June 17, 2019

PUBLIC INPUT PERIOD

CONSENT AGENDA

Items *3, *4, *5, *6 and *7 are listed in the Consent Agenda and may be considered separately or in one motion.

RECOMMENDATION:

THAT the recommendations listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAWS – ADOPTION

- *3. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation)
- *4. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation)
- *5. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation)



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CONSENT AGENDA – Continued

CORRESPONDENCE

- *6. Metro Vancouver Regional District – Board in Brief, May 24, 2019

REPORT

- *7. 2018 Statement of Financial Information (SOFI)

PRESENTATION

Anne Rodgers, Communications Coordinator, North Vancouver Recreation and Culture Commission – Our Community Story 2019

Information Report of the Communications Coordinator, June 13, 2019 – “North Vancouver Recreation and Culture’s 2019 Community Story Campaign”

PUBLIC MEETING – 2018 Annual Municipal Report – 6:00 PM

REPORTS

8. 2018 Annual Municipal Report
9. 2019 Round One Community Grant Recommendations
10. Proposed Amendments to Mobile Food Cart Policy 2017-002
11. BC Tall Wood Mass Timber Construction Early Adoption Initiative
12. Alternative Approval Process – Sunrise Parkland Adjustment – Petition Results

BYLAW – ADOPTION

13. “Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment)

REPORT

14. Rezoning Application: 410 West 15th Street (Angelo Cusano / Bill Curtis & Associates Design Ltd.)

Item 15 refers.

BYLAW – FIRST AND SECOND READINGS

15. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725” (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street)



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REPORT

16. Rezoning Application: 132 West Esplanade (132 Esplanade Holdings Ltd., CD-179 Text Amendment)

Item 17 refers.

BYLAW – FIRST AND SECOND READINGS

17. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726”
(132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment)

REPORT

18. Rezoning Application: 725 West 14th Street (City Cannabis / Krystian Wetulani)

Item 19 refers.

BYLAW – FIRST AND SECOND READINGS

19. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713”
(City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720)

REPORT

20. Rezoning Application: 1717 Lonsdale Avenue (The Herb Co. / Scott Hamilton)

Item 21 refers.

BYLAW – FIRST AND SECOND READINGS

21. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714”
(The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721)

REPORT

22. Rezoning Application: 221 West 1st Street (1st Cannabis / 1174707 BC Ltd.)

Item 23 refers.

BYLAW – FIRST AND SECOND READINGS

23. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715”
(1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)



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REPORT

24. Rezoning Application: 315 Lonsdale Avenue (Lonsdale Cannabis Co. / 1120364 BC Ltd.)

Item 25 refers.

BYLAW – FIRST AND SECOND READINGS

25. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716”
(Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue,
CD-341 Text Amendment)

REPORT

26. Rezoning Application: 1200 Lonsdale Avenue (Mark Long / BC Liquor Distribution Branch)

Item 27 refers.

BYLAW – FIRST AND SECOND READINGS

27. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717”
(Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722)

REPORT

28. Rezoning Application: 333 Brooksbank Avenue (Mark Long / BC Liquor Distribution Branch)

Item 29 refers.

BYLAW – FIRST AND SECOND READINGS

29. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718”
(Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue,
CD-131 Text Amendment)



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PUBLIC CLARIFICATION PERIOD

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

CITY CLERK'S RECOMMENDATION

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Sections 90(1)(e) [land matter], 90(1)(i) [legal advice], and 90(1)(k) [proposed service].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

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CALL TO ORDER

APPROVAL OF AGENDA

1. Regular Council Meeting Agenda, June 24, 2019

ADOPTION OF MINUTES

2. Regular Council Meeting Minutes, June 17, 2019

PUBLIC INPUT PERIOD

The Public Input Period is addressed in sections 12.20 to 12.28 of “Council Procedure Bylaw, 2015, No. 8500.”

The time allotted for each speaker appearing before Council during the Public Input Period is two minutes, with the number of speakers set at five persons. Speakers’ presentations will be audio and video recorded, as well as live-streamed on the Internet, and will form part of the public record.

To make a submission to Council during the Public Input Period, a person must complete the Public Input Period sign-up sheet at City Hall prior to the Regular Council Meeting. A person who fails to complete, or only partially completes, the Public Input Period sign-up sheet will not be permitted to make a submission to Council during the Public Input Period. The sign-up sheet will be available on the table in the lobby outside the Council Chamber from 5:30 pm until 5:55 pm before a Council meeting.

When appearing before Council, speakers are requested to state their name and address for the record. Speakers may display materials on the document camera at the podium in the Council Chamber and provide written materials to the City Clerk for distribution to Council, only if these materials have been provided to the City Clerk by 4:00 pm on the date of the meeting.

The Public Input Period provides an opportunity for input only, without the expectation of a response from Council, and places the speaker’s concern on record.

Speakers must comply with the General Rules of Conduct set out in section 5.1 of “Council Procedure Bylaw, 2015, No. 8500” and may not speak with respect to items as listed in section 12.25(2).

Speakers are requested not to address matters that refer to items from a concluded Public Hearing/Public Meeting and to Public Hearings, Public Meetings and Committee meetings when those matters are scheduled on the same evening’s agenda and an opportunity for public input is provided when the particular item comes forward for discussion.

Please address the Mayor as “Mayor, followed by his/her surname” or “Your Worship”. Councillors should be addressed as “Councillor, followed by their surname”.



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CONSENT AGENDA

Items *3, *4, *5, *6 and *7 are listed in the Consent Agenda and may be considered separately or in one motion.

RECOMMENDATION:

THAT the recommendations listed within the “Consent Agenda” be approved.

START OF CONSENT AGENDA

BYLAWS – ADOPTION

- *3. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation)

RECOMMENDATION:

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

- *4. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation)

RECOMMENDATION:

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

- *5. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation)

RECOMMENDATION:

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.



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CONSENT AGENDA – Continued

CORRESPONDENCE

- *6. Board in Brief, Metro Vancouver Regional District, May 24, 2019
– File: 01-0400-60-0006/2019

Re: Metro Vancouver – Board in Brief

RECOMMENDATION:

THAT the correspondence of Metro Vancouver, dated May 24, 2019, regarding the “Metro Vancouver – Board in Brief”, be received and filed.

REPORT

- *7. 2018 Statement of Financial Information (SOFI) – File: 05-1880-20-0008/2018

Report: Manager, Accounting and Reporting, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Manager, Accounting and Reporting, dated June 12, 2019, entitled “2018 Statement of Financial Information (SOFI)”:

THAT the Statement of Financial Information be approved and forwarded to the Ministry of Municipal Affairs and Housing.

END OF CONSENT AGENDA



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PRESENTATION

Anne Rodgers, Communications Coordinator, North Vancouver Recreation and Culture Commission

Re: Our Community Story 2019

Information Report of the Communications Coordinator, June 13, 2019 – “North Vancouver Recreation and Culture’s 2019 Community Story Campaign”

PUBLIC MEETING – 2018 Annual Municipal Report

Re: 2018 Annual Municipal Report – File 01-0640-20-0001/2018

Purpose: To provide an opportunity for Council and the public to make comments on the 2018 Annual Municipal Report.

AGENDA

Chair: Mayor Linda Buchanan

Verbal presentation by staff
Public comments – 5 minutes per speaker
Questions and comments from Council
Motion to conclude the Public Meeting

REPORTS

8. 2018 Annual Municipal Report – File: 01-0640-20-0001/2018

Report: Manager, Internal Control and Performance, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Manager, Internal Control and Performance, dated June 12, 2019, entitled “2018 Annual Municipal Report”:

THAT Council approve the 2018 Annual Municipal Report.



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REPORTS – Continued

9. 2019 Round One Community Grant Recommendations
– File: 05-1850-20-0005/2019

Report: Chair, Social Planning Advisory Committee, and Community Planner,
June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Chair, Social Planning Advisory Committee, and the Community Planner, dated June 12, 2019, entitled “2019 Round One Community Grant Recommendations”:

THAT grants be allocated to the following organizations from the 2019 Community Grants budget:

| | |
|---------------------------------------------------------------------------------------------|---------|
| Athletics for Kids Financial Assistance (B.C.) Society (Operating) | \$1,500 |
| Athletics for Kids Financial Assistance (B.C.) Society (Program – A4K Youth Sports Funding) | \$2,000 |
| Avalon Recovery Society (Operating) | \$7,000 |
| Avalon Recovery Society (Program – Child-Minding) | \$3,000 |
| Avalon Recovery Society (Program – Health and Education) | \$1,000 |
| Avalon Recovery Society (Program – Peer Support) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – Adult In-School Mentoring) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – (The) Community Mentoring Program) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – Teen Mentoring) | \$1,000 |
| Big Sisters of BC Lower Mainland (Program – North Shore Mentoring Programs) | \$2,000 |
| Camp Kerry Society (Program – Beyond One Voice Workshop Series) | \$1,500 |
| Camp Kerry Society (Program – Camp Kerry BC Family Retreat) | \$1,000 |
| Camp Kerry Society (Program – Circles of Strength: Family Grief Support System) | \$500 |

Continued...



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REPORTS – Continued

9. 2019 Round One Community Grant Recommendations
– File: 05-1850-20-0005/2019 – Continued

| | |
|-----------------------------------------------------------------------------------------------------------|---------|
| Canadian Mental Health Assn. – North and West Vancouver Branch (Operating) | \$1,400 |
| Canadian Mental Health Assn. – North and West Vancouver Branch (Program – Isolation Reduction Initiative) | \$1,500 |
| Canadian Mental Health Assn. – North and West Vancouver Branch (Program – Steps Youth Program) | \$2,000 |
| Canadian Red Cross (Program – Health Equipment Loan Program (HELP)) | \$2,000 |
| Community First Foundation (Program – Backpack Buddies) | \$2,500 |
| Crisis Intervention & Suicide Prevention Centre of BC (Program – SAFE Talk) | \$1,500 |
| Crisis Intervention & Suicide Prevention Centre of BC (Program – YouthInBC.com) | \$1,500 |
| Family Services of the North Shore (Program – Companionship Community Care) | \$1,750 |
| Family Services of the North Shore (Program – I hope family centre) | \$3,000 |
| Friend 2 Friend Learning Society (Program – Autism Demystification and Integrated Play Group Programs) | \$1,000 |
| Friend 2 Friend Learning Society (Program – Play Centre for Children with Autism Program) | \$2,000 |
| Greater Vancouver Law Students' Legal Advice Society (Program – Law Students' Legal Advice Program) | \$1,000 |
| Highlands United Church (Program – Saturday Lunch Program) | \$2,000 |
| Highlands United Church (Program – Shelter to Home) | \$2,000 |
| Hollyburn Family Services Society (Operating) | \$5,000 |
| Hollyburn Family Services Society (Program – Aboriginal Mental Health Court Outreach Worker) | \$1,800 |
| Hollyburn Family Services Society (Program – Supporting Seniors at Housing Risk) | \$1,200 |
| Hollyburn Family Services Society (Program – Supporting Seniors to Remain Housed) | \$1,200 |

Continued...



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REPORTS – Continued

9. 2019 Round One Community Grant Recommendations
– File: 05-1850-20-0005/2019 – Continued

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------|---------|
| Lionsview Seniors' Planning Society (Operating) | \$2,600 |
| Living Systems: Family Systems Counselling, Education, Training & Research Society (Program – Play Therapy and Parent Counselling Program) | \$2,000 |
| Lookout Housing and Health Society (Operating) | \$5,000 |
| North Shore ConneXions Society (Program – Education and Community Awareness) | \$1,500 |
| North Shore ConneXions Society (Program – Friendship Circles) | \$500 |
| North Shore Disability Resource Centre (Program – Adapted & Accessible Yoga) | \$390 |
| North Shore Disability Resource Centre (Program – Information & Advocacy Program) | \$5,000 |
| North Shore Disability Resource Centre (Program – Parent Information Events: Transition & Employment) | \$700 |
| North Shore Disability Resource Centre (Program – Summery Bursary Program) | \$1,500 |
| North Shore Keep Well Society (Operating) | \$1,500 |
| North Shore Meals on Wheels Society (Operating) | \$6,000 |
| North Shore Multicultural Society (Operating) | \$6,000 |
| North Shore Multicultural Society (Program – NEONology) | \$1,000 |
| North Shore Polish Association Belweder (Operating) | \$1,500 |
| North Shore Stroke Recovery Centre (Operating) | \$2,000 |
| North Shore Stroke Recovery Centre (Program – Art Therapy) | \$500 |
| North Shore Stroke Recovery Centre (Program – Speech Language Therapy Assistant) | \$1,100 |
| North Shore Stroke Recovery Centre (Program – Stroke Survivor Peer Support) | \$2,000 |
| North Shore Volunteers for Seniors (Operating) | \$900 |
| North Shore Women's Centre (Program – North Shore Coordinating Committee to End Violence Against Women in Relationships) | \$2,000 |

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REPORTS – Continued

9. 2019 Round One Community Grant Recommendations
– File: 05-1850-20-0005/2019 – Continued

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|--------------------------------------------------------------------------------------------------------|------------------|
| Pacific Post Partum Support Society (Childcare at Postpartum Support Groups) | \$2,000 |
| Pathways Serious Mental Illness Society (Operating) | \$1,750 |
| Quest Outreach Society (Program – Food Recovery and Redistribution Program) | \$2,500 |
| Sharing Abundance Association (Program – Sharing Abundance Community and Senior Meal Programs) | \$3,500 |
| Special Olympics British Columbia Society – North Shore (Operating) | \$750 |
| Special Olympics British Columbia Society – North Shore (Program – SOBC – North Shore Sports Programs) | \$1,000 |
| St. John the Evangelist Anglican Church (Program – Queen Mary Family Learning Program) | \$9,000 |
| Vancouver Adaptive Snow Sports (Program – Adaptive Learn to Ski) | \$2,000 |
| Volunteer Cancer Drivers Society (Program – Cancer Patient Transportation for CNV and DNV Residents) | \$1,500 |
| Washington Kids Foundation (Operating) | \$5,000 |
| TOTAL | \$130,540 |

AND THAT the following organizations be notified that their application for 2019 Community Grants will not be funded:

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|---------------------------------------------------------------------------------------|
| Alano Club of the North Shore (Operating) |
| Avalon Recovery Society (Program – Volunteer Training & Staff Development Program) |
| BC Pets and Friends (Operating) |
| Big Brothers of Greater Vancouver (Operating) |
| Capilano Community Services (Program – Norgate Summer Program) |
| (The) Cinderella Project (Program – Cinderella Project Boutique Day) |
| Community First Foundation (Operating) |
| Crisis Intervention & Suicide Prevention Centre of BC (Operating) |
| District of North Vancouver Fire Fighters Charitable Society (Program – Time to Talk) |

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REPORTS – Continued

9. 2019 Round One Community Grant Recommendations
– File: 05-1850-20-0005/2019 – Continued

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| FamilySmart – The Institute of Families for Child & Youth Mental Health (Program – FamilySmart Parent in Residence, North Shore) |
| Greater Vancouver Youth Unlimited (North Shore) (Program – Creative Life) |
| Lionsview Seniors' Planning Society (Program – Age Friendly Seniors Action Tables) |
| Lionsview Seniors' Planning Society (Program – Older & Wiser Column – Media Support for Seniors on the North Shore) |
| Lionsview Seniors' Planning Society (Program – Services to Seniors Coalition / Planning Table) |
| Lower Lonsdale Community Gardens (Program – Replacement of Deteriorating Infrastructure) |
| North Shore Disability Resource Centre (Program – North Shore Community Response Network) |
| North Shore Multicultural Society (Program – Community Bridging) |
| Pacific Post Partum Support Society (Operating) |
| Pathways Serious Mental Illness Society (Program – Family-to-Family Education) |
| St. Catherine's Anglican Church, Capilano (Program – Community Thanksgiving Dinner) |
| Upper Lonsdale Preschool (ULP) Society (Program – ULP Outdoor Education Program) |
| Vancouver Adaptive Snow Sports (Operating) |
| Vancouver Adaptive Snow Sports (Program – Bluestreaks Adaptive Race Program) |

10. Proposed Amendments to Mobile Food Cart Policy 2017-002
– File: 01-0340-50-0027/1

Report: Manager, Business and Community Partnerships, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Manager, Business and Community Partnerships, dated June 12, 2019, entitled "Proposed Amendments to Mobile Food Cart Policy 2017-002":

THAT the proposed amendments to the Mobile Food Cart Policy 2017-002 be approved.



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REPORTS – Continued

11. BC Tall Wood Mass Timber Construction Early Adoption Initiative
– File: 09-3760-01-0001/2019

Report: Assistant Manager, Inspections, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Assistant Manager, Inspections, dated June 12, 2019, entitled “BC Tall Wood Mass Timber Construction Early Adoption Initiative”:

THAT Council support participation in the Province of British Columbia’s Tall Wood Early Adoption Initiative;

AND THAT Council request the Province of British Columbia to include the City of North Vancouver as a participating local authority in the regulation for the Tall Wood Early Adoption Initiative.

12. Alternative Approval Process – Sunrise Parkland Adjustment – Petition Results
– File: 09-4250-01-20-0004/1

Report: Corporate Officer, June 18, 2019

RECOMMENDATION:

PURSUANT to the report of the Corporate Officer, dated June 18, 2019, entitled “Alternative Approval Process – Sunrise Park – Petition Results”:

THAT the Corporate Officer’s Certification for the Alternative Approval Process Opportunity regarding “Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment) be received and filed;

AND THAT “Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

Item 13 refers.

BYLAW – ADOPTION

13. “Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment)

RECOMMENDATION:

THAT “Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.



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REPORT

14. Rezoning Application: 410 West 15th Street (Angelo Cusano / Bill Curtis & Associates Design Ltd.) – File: 08-3360-20-0455/1

Report: Planner 1, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated June 12, 2019, entitled “Rezoning Application: 410 West 15th Street (Angelo Cusano / Bill Curtis & Associates Design Ltd.):”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725” (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street) be considered and the Public Hearing be waived;

AND THAT notification be circulated in accordance with the *Local Government Act*.

Item 15 refers.

BYLAW – FIRST AND SECOND READINGS

15. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725” (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725” (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street) be given first and second readings.



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Regular Council Meeting Agenda – June 24, 2019

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REPORT

16. Rezoning Application: 132 West Esplanade (132 Esplanade Holdings Ltd., CD-179 Text Amendment) – File: 08-3360-20-0499/1

Report: Planner 1, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated June 12, 2019, entitled “Rezoning Application: 132 West Esplanade (132 Esplanade Holdings Ltd., CD-179 Text Amendment)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726” (132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment) be considered and the Public Hearing be waived;

AND THAT notification be circulated in accordance with the *Local Government Act*.

Item 17 refers.

BYLAW – FIRST AND SECOND READINGS

17. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726” (132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726” (132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment) be given first and second readings.



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Regular Council Meeting Agenda – June 24, 2019

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REPORT

18. Rezoning Application: 725 West 14th Street (City Cannabis / Krystian Wetulani)
– File: 08-3360-20-0492/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 725 West 14th Street (City Cannabis / Krystian Wetulani)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713” (City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 19 refers.

BYLAW – FIRST AND SECOND READINGS

19. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713”
(City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713” (City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720) be given first and second readings.



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
Regular Council Meeting Agenda – June 24, 2019

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REPORT

20. Rezoning Application: 1717 Lonsdale Avenue (The Herb Co. / Scott Hamilton)
– File: 08-3360-20-0494/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 1717 Lonsdale Avenue (The Herb Co. / Scott Hamilton)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 21 refers.

BYLAW – FIRST AND SECOND READINGS

21. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721) be given first and second readings.



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REPORT

22. Rezoning Application: 221 West 1st Street (1st Cannabis / 1174707 BC Ltd.)
– File: 08-3360-20-0493/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 221 West 1st Street (1st Cannabis / 1174707 BC Ltd.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715” (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 23 refers.

BYLAW – FIRST AND SECOND READINGS

23. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715” (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715” (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment) be given first and second readings.



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REPORT

24. Rezoning Application: 315 Lonsdale Avenue (Lonsdale Cannabis Co. / 1120364 BC Ltd.) – File: 08-3360-20-0495/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 315 Lonsdale Avenue (Lonsdale Cannabis Co. / 1120364 BC Ltd.)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 25 refers.

BYLAW – FIRST AND SECOND READINGS

25. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) be given first and second readings.



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REPORT

26. Rezoning Application: 1200 Lonsdale Avenue (Mark Long / BC Liquor Distribution Branch) – File: 08-3360-20-0497/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 1200 Lonsdale Avenue (Mark Long / BC Liquor Distribution Branch)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 27 refers.

BYLAW – FIRST AND SECOND READINGS

27. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722) be given first and second readings.



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REPORT

28. Rezoning Application: 333 Brooksbank Avenue (Mark Long / BC Liquor Distribution Branch) – File: 08-3360-20-0496/1

Report: Development Planner, June 12, 2019

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled “Rezoning Application: 333 Brooksbank Avenue (Mark Long / BC Liquor Distribution Branch)”:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

Item 29 refers.

BYLAW – FIRST AND SECOND READINGS

29. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment)

RECOMMENDATION:

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment) be given first and second readings.



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PUBLIC CLARIFICATION PERIOD

The Public Clarification Period is limited to 10 minutes in total and is an opportunity for the public to ask a question regarding process or clarification on an item on the Regular Council Agenda. The Public Clarification Period concludes after 10 minutes and the Regular Council Meeting reconvenes.

COUNCIL INQUIRIES

NEW ITEMS OF BUSINESS

NOTICES OF MOTION

CITY CLERK'S RECOMMENDATION

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Sections 90(1)(e) [land matter], 90(1)(i) [legal advice], and 90(1)(k) [proposed service].

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

ADJOURN



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING GUIDELINES

Public Hearings are generally held on the third Monday of the month and are included as part of a Regular Council agenda. Public Hearings are governed by the provisions of the *Local Government Act*.

A Public Hearing is held for the purpose of allowing the public an opportunity to make representations to Council – in person at the Public Hearing or by written submission – on a proposed amendment to the City's Official Community Plan and/or Zoning Bylaw. All persons who believe their interest in property is affected by a proposed bylaw(s) are afforded a reasonable opportunity to be heard, voice concerns or present written submissions regarding matters contained within the bylaw(s).

All written submissions and representations made at the Public Hearing form part of the official public record. Minutes of the Public Hearing and a video recording of the proceedings are posted on the City's website at cnv.org.

A sign-up sheet is located outside of the Council Chamber 1.5 hours prior to the start time of the Public Hearing and members of the public may sign the sheet if they wish to speak at the Public Hearing. The sign-up sheet remains available until the commencement of the Public Hearing and is restricted to "In Person" sign-up only. Other persons are not permitted to sign the sheet on another speaker's behalf. Speakers cannot pre-register.

Please restrict comments to the issues related specifically to the proposed application; do not divert to other matters and avoid repetitive comments.

Speakers are requested to provide their name and address for the public record and are provided up to 5 minutes to present their comments. After all people listed on the sign-up sheet and anyone else in the gallery have spoken a first time, speakers may come forward to speak a second time if they have any new information to provide. The Chair (Mayor) may restrict the speaking time to a defined number of minutes and may also impose other regulations. Procedural rules for the conduct of the Public Hearing are set at the call of the Chair.

Everyone shall be given a reasonable opportunity to be heard and no one should feel discouraged or prevented from making their views known. All persons in the gallery are requested to refrain from applause or other expressions, either showing support or opposition to an application.

If a large turnout for the Public Hearing is anticipated, separate sign-up sheets may be provided for speakers – in support and in opposition/with concerns. The sign-up sheets are monitored by City staff. The Chair will call each speaker to come forward by name, alternating between the sign-up sheets.

Continued...



THE CORPORATION OF THE CITY OF NORTH VANCOUVER

PUBLIC HEARING GUIDELINES (continued)

A document camera is available should a member of the public wish to display hardcopy material/information on the monitors in the Council Chamber. The document camera can also display information from an iPad or tablet. If a member of the public wishes to provide written material to the Mayor and Council, it must be handed to the City Clerk for distribution to Council.

Members of Council may ask questions of a speaker in order to clarify or expand on a speaker's submission. However, the main function of Council members is to listen to the views of the public regarding the change of land use in the proposed bylaw(s). It is not the function of Council to debate the merits of an application with speakers at the Public Hearing. Questions from members of the public and Council must be addressed through the Chair.

When the Public Hearing concludes, Council moves a motion to adjourn. No further information or submissions can be considered by Council once the Public Hearing is closed.

Following adjournment of the Public Hearing, the Regular meeting reconvenes and the Zoning and/or Official Community Plan bylaw amendment(s) are discussed and debated by Council. Consideration of third reading and discussion of the bylaw(s) usually takes place at the same meeting as the Public Hearing, but may occur at a subsequent meeting.

If there is insufficient time for the Public Hearing to be conducted in one evening (i.e. to accommodate a large number of speakers), Council may recess the Public Hearing to a specified date, time and place.

Council will consider final adoption of the bylaw(s) after third reading and once all covenants and legal agreements are in place. Adoption usually occurs at a subsequent meeting of Council; however, a Zoning Bylaw amendment or Official Community Plan Bylaw amendment may be adopted at the same meeting as the Public Hearing if all legal requirements have been satisfied.



**MINUTES OF THE REGULAR MEETING OF COUNCIL HELD IN THE
COUNCIL CHAMBER, CITY HALL, 141 WEST 14TH STREET, NORTH
VANCOUVER, BC, ON **MONDAY, JUNE 17, 2019****

PRESENT

COUNCIL MEMBERS

Mayor L. Buchanan
Councillor H. Back
Councillor D. Bell
Councillor A. Girard
Councillor T. Hu
Councillor J. McIlroy
Councillor T. Valente

STAFF MEMBERS

L. McCarthy, CAO
K. Graham, City Clerk
C. Baird, Deputy City Clerk
J. Peters, Assistant City Clerk
B. Pearce, Director, Strategic and Corporate Services
R. Skene, Manager, Facilities and Real Estate
K. Magnusson, Deputy Director, Engineering, Parks and Environment
L. Orr, Manager, Business and Community Partnerships
L. Siracusa, Manager, Shipyards and Waterfront
B. Willock, Manager, Engineering Planning and Design
B. Themens, Director, Finance
M. Epp, Director, Planning and Development
J. Draper, Deputy Director, Planning and Development
S. Galloway, Manager, Planning
D. Johnson, Development Planner
C. French, Planning Assistant
L. Shyry, Environmental Technician
E. Barker, Committee Clerk / Secretary

The meeting was called to order at 6:00 pm.

APPROVAL OF AGENDA

Moved by Councillor Valente, seconded by Councillor Bell

1. Regular Council Meeting Agenda, June 17, 2019

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Moved by Councillor Valente, seconded by Councillor Bell

2. Regular Council Meeting Minutes, June 10, 2019

CARRIED UNANIMOUSLY

Moved by Councillor Valente, seconded by Councillor Bell

3. Special Regular Council Meeting Minutes, June 11, 2019

CARRIED UNANIMOUSLY

PUBLIC INPUT PERIOD

- Ron Sostad, 231 East 15th Street, North Vancouver, spoke regarding social housing.
- Paul Berlinguette, 206-312 East 1st Street, North Vancouver, spoke regarding Moodyville Park.
- Nathan Davidowicz, 5347 Oak Street, Vancouver, spoke regarding the anniversary of the SeaBus.

PRESENTATIONS

2019 Cool It! Challenge Winners

Mayor Buchanan and Manon Gartside, Environmental Educator, British Columbia Sustainable Energy Association, presented the 2019 Cool It! Challenge Award to Cynthia Whyte's Grade 3/4 class at Larson Elementary.

The Cool It! Challenge recognizes the efforts of the community members who play a key role in achieving climate action targets in the City.

2019 Living City Award Recipients

Mayor Buchanan and Steve Tornes, Vice Chair, Advisory Planning Commission, presented the 2019 Living City Awards to North Shore Community Garden Society; David Roberts, Kathy Fung and Matt Dowds; Christine Miller and Luci Cadman; and Sustainable Produce Urban Delivery.

The Living City Awards recognize the efforts of community members committed to environmental sustainability in the City.

CONSENT AGENDA

Moved by Councillor Girard, seconded by Councillor Bell

THAT the recommendation listed within the "Consent Agenda", be approved.

CARRIED UNANIMOUSLY

START OF CONSENT AGENDA

BYLAW – ADOPTION

- *4. "Local Area Service Parcel Tax Bylaw, 2019, No. 8711" (Paved Lane Construction East of the 1700 Block of Fell Avenue)

THAT "Local Area Service Parcel Tax Bylaw, 2019, No. 8711" (Paved Lane Construction East of the 1700 Block of Fell Avenue) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

(CARRIED UNANIMOUSLY)

END OF CONSENT AGENDA

DELEGATION

U11 North Vancouver Football Club Euro Travel Team 2019 – Ephraim Claro, Finn Montgomery, Szilard Puddiford, and Righ Walker

Re: Euro Travel Team 2019 – Report on Italy Travels

David Walker, Parent Volunteer, and Ephraim Claro, Finn Montgomery, Szilard Puddiford, and Righ Walker, members, Euro Travel Team 2019, provided a PowerPoint presentation regarding Euro Travel Team 2019 – Report on Italy Travels.

CORRESPONDENCE

5. Darla Johnston, Parent Volunteer, North Vancouver Football Club Euro 2019 Parent Committee, February 9, 2019 – File: 01-0220-07-0001/2019

Re: Euro Travel Team 2019 – Report on Italy Travels

Moved by Councillor Girard, seconded by Mayor Buchanan

THAT the correspondence from Darla Johnston, Parent Volunteer, North Vancouver Football Club Euro 2019 Parent Committee, dated February 9, 2019, regarding the “Euro Travel Team 2019 – Report on Italy Travels”, be received with thanks.

CARRIED UNANIMOUSLY

DELEGATION

Ian Rose-Innes, Director, Cycling Without Age North Shore, and Annwen Loverin, Executive Director, Silver Harbour Centre

Re: Trishaw as a Mobility Aid

Ian Rose-Innes, Director, Cycling Without Age North Shore, and Annwen Loverin, Executive Director, Silver Harbour Centre, provided a PowerPoint presentation regarding potential use of trishaws as mobility aids on the North Shore.

CORRESPONDENCE

6. Ian Rose-Innes, Director, Cycling Without Age North Shore, April 11, 2019 – File: 01-0230-0054/2019

Re: Trishaw as a Mobility Aid

Moved by Councillor Valente, seconded by Councillor Back

THAT the correspondence from Ian Rose-Innes, Director, Cycling Without Age North Shore, dated April 11, 2019, regarding “Trishaw as a Mobility Aid”, be received with thanks;

Continued...

CORRESPONDENCE – CONTINUED

6. Ian Rose-Innes, Director, Cycling Without Age North Shore, April 11, 2019
– File: 01-0230-0054/2019 – Continued

THAT staff identify sites suitable as operating bases for Cycling Without Age North Shore in Upper and Lower Lonsdale;

THAT staff investigate the classification of Cycling Without Age trishaws as mobility aids to allow them to traverse sidewalks;

AND THAT staff investigate a route to allow trishaws to navigate around steep sections of the Green Necklace.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Back

THAT the meeting recess to the Public Hearing regarding “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8618” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702) and “Housing Agreement Bylaw, 2018, No. 8622” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702, Rental Housing Commitments).

CARRIED UNANIMOUSLY

The meeting recessed to the Public Hearing at 7:03 pm and reconvened immediately after.

7. Rail-Volution – Building Livable Communities with Transit, September 8-11, 2019
– File: 01-0390-01-0001/2019

Re: Rail-Volution – Building Livable Communities with Transit,
September 8-11, 2019, Vancouver, BC

Moved by Mayor Buchanan, seconded by Councillor McIlroy

PURSUANT to the correspondence regarding “Rail-Volution – Building Livable Communities with Transit”:

THAT Council members be authorized to attend the Rail-Volution – Building Livable Communities with Transit Conference, to be held September 8-11, 2019, in Vancouver, BC;

THAT the expenses be paid in accordance with City Policy;

AND THAT the funds be provided from the Conference Education Travel Account.

CARRIED UNANIMOUSLY

REPORT

8. Mosquito Creek Bridge Replacement – Funding Reallocation
– File: 11-5400-02-0001/1

Report: Manager, Engineering Planning and Design, June 5, 2019

Moved by Councillor Bell, seconded by Councillor Girard

PURSUANT to the report of the Manager, Engineering Planning and Design, dated June 5, 2019, entitled “Mosquito Creek Bridge Replacement – Funding Reallocation”:

THAT \$1,480,000 of existing funding from Project 51162 B-Line: Queensbury to Heywood be reallocated to fund the Mosquito Creek Bridge Replacement;

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation) be considered;

THAT \$1,000,000 of existing funding from Project 53226: Moodyville Neighbourhood Transportation Improvements be reallocated to fund the Mosquito Creek Bridge Replacement;

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation) be considered;

THAT \$200,000 of existing funding from Project 51168: 2019 Pavement Management be reallocated to fund the Mosquito Creek Bridge Replacement;

THAT \$190,000 of existing funding from Project 53240: East 3rd: Queensbury to Kennard be reallocated to fund the Mosquito Creek Bridge Replacement;

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation) be considered;

THAT \$350,000 of existing funding from Project 56084: Watermain Replacement East 21st: Lonsdale to St. Georges be reallocated to fund watermain replacement associated with the Mosquito Creek Bridge Replacement;

THAT \$180,000 of existing funding from Project 56085: Watermain Replacement St. Georges: East 21st to East 22nd be reallocated to fund watermain replacement associated with the Mosquito Creek Bridge Replacement;

AND THAT \$200,000 of existing funding from Project 51089: Bridge Rehabilitation be reallocated to fund the Mosquito Creek Bridge Replacement.

CARRIED UNANIMOUSLY

BYLAWS – FIRST, SECOND AND THIRD READINGS

9. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation)

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation) be given third reading.

CARRIED UNANIMOUSLY

10. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation)

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation) be given third reading.

CARRIED UNANIMOUSLY

11. “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation)

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation) be given first and second readings.

CARRIED UNANIMOUSLY

Moved by Councillor Bell, seconded by Councillor Valente

THAT “Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation) be given third reading.

CARRIED UNANIMOUSLY

The CAO declared a potential conflict of interest and left the meeting at 7:19 pm and the Director, Finance, assumed the role of Acting CAO.

Moved by Councillor Bell, seconded by Councillor Girard

THAT the meeting recess to the Public Hearing regarding “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8618” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702) and “Housing Agreement Bylaw, 2018, No. 8622” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702, Rental Housing Commitments).

CARRIED UNANIMOUSLY

The meeting recessed to the Public Hearing at 7:19 pm and reconvened at 9:09 pm.

BYLAWS – THIRD READING

13. “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8618” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702)

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT “Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2018, No. 8618” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702) be given third reading.

CARRIED

Councilor Back and Councillor Bell are recorded as voting contrary to the motion.

14. “Housing Agreement Bylaw, 2018, No. 8622” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702, Rental Housing Commitments)

Moved by Councillor McIlroy, seconded by Councillor Valente

THAT the Housing Agreement attached to “Housing Agreement Bylaw, 2018, No. 8622” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702, Rental Housing Commitments) be amended to reflect that 4 units will be rented at 30% below CMHC rates in perpetuity;

AND THAT “Housing Agreement Bylaw, 2018, No. 8622” (Urban Systems / IMH 151 E Keith Apartments Ltd., 151 East Keith Road, CD-702, Rental Housing Commitments) be given third reading.

CARRIED UNANIMOUSLY

The CAO returned to the meeting at 9:35 pm.

REPORT

12. Bike Valet at Community Events – Policy Updates – File: 16-8330-05-0001/1

Report: Deputy Director, Planning and Development, and Planning Assistant,
Transportation, June 5, 2019

Moved by Councillor Valente, seconded by Mayor Buchanan

PURSUANT to the report of the Deputy Director, Planning and Development, and Planning Assistant, Transportation, dated June 5, 2019, entitled “Bike Valet at Community Events – Policy Updates”:

THAT the updated Shipyards and Foot of Lonsdale Events Policy (C59B) and Policy for Events in Parks and Public Open Spaces (C57C) be approved.

CARRIED UNANIMOUSLY

NOTICE OF MOTION

15. Strategies to Steward Land and Housing Resources – File: 10-4710-01-0001/2019

Submitted by: Mayor Buchanan

Moved by Mayor Buchanan, seconded by Councillor Girard

WHEREAS the City of North Vancouver has the goal to be the healthiest small city in the world;

WHEREAS the City is examining ways to build affordable and mid-market housing to help create a livable community for all our residents;

WHEREAS the City values its limited land resources and remains committed to protecting these resources for generations to come;

WHEREAS the City requires fiscal responsibility with respect to the management of its resources;

AND WHEREAS there exists, in practice, numerous vehicles, approaches and scenarios for achieving Council’s healthy community, affordable housing and responsible fiscal management goals and objectives;

NOW THEREFORE BE IT RESOLVED THAT Council direct staff to initiate an examination of the appropriate vehicles and strategies to steward land and housing resources, including but not limited to, a community land trust, non-profit, and community foundation with clearly stated goals, objectives and outcomes.

CARRIED UNANIMOUSLY

COUNCIL REPORT

Nil.

PUBLIC CLARIFICATION PERIOD

Mayor Buchanan declared a recess at 9:47 pm for the Public Clarification Period and reconvened the meeting immediately after.

COUNCIL INQUIRIES

Councillor Valente inquired of Mayor Buchanan with respect to the closure of Burrard Dry Dock / Pier at the Shipyards for several days at a time.

Mayor Buchanan advised that staff will report back on the matter.

NEW ITEMS OF BUSINESS

Nil.

NOTICES OF MOTION

Nil.

CITY CLERK'S RECOMMENDATION:

Moved by Councillor Girard, seconded by Councillor Valente

THAT Council recess to the Committee of the Whole, Closed session, pursuant to the *Community Charter*, Section 90(1)(e) [land matter].

CARRIED UNANIMOUSLY

The meeting recessed to the Committee of the Whole, Closed session, at 9:47 pm and reconvened at 10:06 pm.

REPORT OF THE COMMITTEE OF THE WHOLE (CLOSED SESSION)

16. Land Matter – File: 08-3360-20-0454/1

Report: Director, Planning and Development, dated June 12, 2019

Moved by Councillor Bell, seconded by Mayor Buchanan

PURSUANT to the report of the Director, Planning and Development, dated June 12, 2019;

THAT the action taken by the Committee of the Whole, Closed session, be ratified;

AND THAT the wording of the recommendation and the report of the Director, Planning and Development, dated June 12, 2019, remain in the Closed session.

CARRIED UNANIMOUSLY

ADJOURN

Moved by Councillor McIlroy, seconded by Councillor Back

THAT the meeting adjourn.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:07 pm.

“Certified Correct by the City Clerk”

CITY CLERK

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8722

**A Bylaw to Amend “Development Cost Charge (Transportation)
Reserve Fund Bylaw, 2018, No. 8623”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8623, Amendment Bylaw, 2019, No. 8722” (Funding Reallocation)**.
2. An amount of \$94,050 is hereby reallocated from the “3rd Street Transit and Active Transportation Improvements” project for the purpose of funding the “Mosquito Creek Bridge Replacement” project.

READ a first time on the 17th day of June, 2019.

READ a second time on the 17th day of June, 2019.

READ a third time on the 17th day of June, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8723

**A Bylaw to Amend “Development Cost Charge (Transportation)
Reserve Fund Bylaw, 2018, No. 8625”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8625, Amendment Bylaw, 2019, No. 8723” (Funding Reallocation)**.
2. An amount of \$495,000 is hereby reallocated from the “Moodyville Neighbourhood Transportation Improvements” project for the purpose of funding the “Mosquito Creek Bridge Replacement” project.

READ a first time on the 17th day of June, 2019.

READ a second time on the 17th day of June, 2019.

READ a third time on the 17th day of June, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8724

**A Bylaw to Amend “Development Cost Charge (Transportation)
Reserve Fund Bylaw, 2018, No. 8690”**

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Development Cost Charge (Transportation) Reserve Fund Bylaw, 2018, No. 8690, Amendment Bylaw, 2019, No. 8724” (Funding Reallocation)**.
2. An amount of \$732,600 is hereby reallocated from the “Marine-Main Corridor: Queensbury to Heywood” project for the purpose of funding the “Mosquito Creek Bridge Replacement” project.

READ a first time on the 17th day of June, 2019.

READ a second time on the 17th day of June, 2019.

READ a third time on the 17th day of June, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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For Metro Vancouver meetings on Friday, May 24, 2019

Please note these are not the official minutes. Board in Brief is an informal summary. Material relating to any of the following items is available on request from Metro Vancouver. For more information, please contact Greg.Valou@metrovanancouver.org or Kelly.Sinowski@metrovanancouver.org

Metro Vancouver Regional District**E 1.1 Regional Long-Range Growth and Transportation Scenarios – Final Summary Report****RECEIVED
APPROVED**

The Board received for information the final Summary Report for the Regional Long-Range Growth and Transportation Scenarios project. It also endorsed the use of the Long Range Growth and Transportation Scenarios to review and update Metro 2040 and directed staff to distribute the Final Summary Report to organizations with an interest in long-range regional planning, including member jurisdictions, health authorities, and the Vancouver Fraser Port Authority.

The Long-Range Growth and Transportation Scenarios have been developed to help consider multiple possible futures and to better incorporate uncertainty into the regional planning framework.


E 2.1 MVRD Park Land Acquisition Agreement with the City of Abbotsford**APPROVED**

The Board approved the Abbotsford Disposition of the Eastern Portion of Aldergrove Park Land Agreement between the Metro Vancouver Regional District and the City of Abbotsford for the sale and transfer of certain lands to the Metro Vancouver Regional District. It also authorized the Director of Properties, on behalf of the Metro Vancouver Regional District, to enter into, execute and deliver the MVRD Land Acquisition Agreement.

In May 2018, the MVRD sold and transferred all of its park land interests within the municipal boundary of Abbotsford to the City of Abbotsford, including the eastern portion of the Aldergrove Regional Park in order to facilitate the City of Abbotsford's withdrawal from the MVRD Regional Parks function. Metro Vancouver continues to own and operate the western portion of the Aldergrove Regional Park.

The Provincial Government has indicated that as a result of the unique circumstances that originally led to Aldergrove Regional Park stretching over two different regional districts, a targeted exception to section 334(4) of the Local Government Act may be feasible to enable the MVRD to own and operate that portion of Aldergrove Park located within the municipal boundary of Abbotsford and without the City of Abbotsford having to be a participant in MVRD's Regional Parks service.

Approval of the Lieutenant Governor in Council is required to enable MVRD to own and operate the east portion of Aldergrove Park located within the municipal boundary of Abbotsford without the City of Abbotsford having to be a participant in MVRD's Regional Parks service.

| |
|---------------------------------------------------------------------------------------------------------------------------|
| Reviewed by:  CAO |
|---------------------------------------------------------------------------------------------------------------------------|

E 4.1 Expanded Consultation on a Potential Cannabis Production Emission Regulation for Metro Vancouver**APPROVED**

The Board endorsed the engagement plan attached to a report titled *Expanded Consultation on a Potential Cannabis Production Emission Regulation for Metro Vancouver*, and directed staff to proceed with engagement and consultation on the proposed approach to regulating air emissions from cannabis production and processing.

The initial phase of engagement will be conducted between June and September 2019, followed by the second phase between January and March 2020. It will involve the public, the agricultural sector, cannabis producers and associations, businesses providing services to the cannabis industry, and municipal agricultural advisory committees, as well as staff from government agencies with responsibility for agriculture, the Agricultural Land Reserve, health and the environment at the federal, provincial and local levels.

The production of cannabis has increased substantially in the Metro Vancouver region since the legalization of recreational cannabis in October 2018. At the March 29 Board meeting, Board members expressed concerns about regulating odours from agricultural sources.

E 4.2 Consultation on Proposed Changes to Metro Vancouver's Ambient Air Quality Objectives**APPROVED**

The Board directed staff to proceed with consultation on the proposed changes to Metro Vancouver's ambient air quality objectives.

To align with federal standards and provincial objectives, Metro Vancouver is proposing changes to its ambient air quality objectives for nitrogen dioxide, ground-level ozone and carbon monoxide, to better protect human health and the environment. Engagement with the public, member jurisdictions, local First Nations, businesses, health authorities and other stakeholders is intended to provide interested parties who may be affected with sufficient opportunity to learn about the proposed changes and provide feedback.

E 4.3 Sensitive Ecosystem Inventory – Sub-Regional Profiles and Assessment of Ecosystem Loss**RECEIVED
APPROVED**

The Board received for information a report titled *Sensitive Ecosystem Inventory – Sub-Regional Profiles and Assessment of Ecosystem Loss*, and resolved to distribute the report to member jurisdiction councils for information.

The Metro Vancouver Sensitive Ecosystem Inventory update provides key insights into the state of the region's most important ecological areas and changes over a five-year period. Causes of loss observed in the Sensitive Ecosystem Inventory update, including logging, clearing, mowing, agriculture, and residential development, were assessed and quantified.

E 5.1 Metro Vancouver External Agency Activities Status Report – May 2019**RECEIVED**

The Board received for information the reports from Metro Vancouver representatives to external organizations:

- Board of Trustees of the Sasamat Volunteer Fire Department
- Delta Heritage Airpark Management Committee
- Fraser Basin Council – Lower Mainland Flood Management Strategy Leadership Committee
- Municipal Finance Authority
- Pacific Parklands Foundation
- Union of BC Municipalities
- Western Transportation Advisory Council

G 1.1 Amending Metro Vancouver 2040: Shaping our Future to Reflect Accepted Regional Context Statements**INITIATED**

The Board initiated the Metro Vancouver 2040: Shaping our Future amendment process for a Type 3 Minor Amendment to the regional growth strategy to incorporate regional land use designation changes, the expansion of the Urban Containment Boundary, and the addition of Frequent Transit Development Areas stemming from accepted regional context statements.

The Board then gave first, second, and third readings of the Amendment Bylaw, and directed staff to notify affected local governments and appropriate agencies as per Section 6.4.2 of Metro Vancouver 2040: Shaping our Future.

Type 3 minor amendments have been used in the past as a means to amend the regional growth strategy to reflect mapping changes made through accepted regional context statements. Since the adoption in July 2011 of Metro 2040, 21 Regional Context Statements have been accepted by the MVRD Board. Since the last such amendment in July 2017, four updated RCSs have been accepted by the MVRD Board and three RCSs have been submitted for reacceptance without amendment and subsequently accepted by the MVRD Board.

G 1.2 Metro 2040 Land Use Designation Amendment Request from the City of Delta – MK Delta Lands**INITIATED**

The Board initiated the regional growth strategy amendment process for the City of Delta to change the regional land use designation of a property located at 7969 Highway 91 Connector from agricultural to Industrial, and to include the lands within the Urban Containment Boundary.

The Board also gave first and second readings to the Amending Bylaw; directed staff to notify affected governments as per Metro Vancouver 2040: Shaping Our Future Section 6.4.2; and, directed staff to request additional information from City of Delta staff as laid out in the report.

Staff concluded that the proposed amendment will result in a net benefit by increasing the supply of industrial lands in the region; increasing land in the ALR and providing funds to improve the productivity of other agricultural lands; and increasing the protection of ecologically important lands contiguous with Burns Bog by eliminating the potential for permitted industrial extraction activities on three additional parcels by

transferring them to public ownership. The property owner also committed to transfer three lots totalling 132 ha (328 ac), that are located adjacent to the Burns Bog Ecological Conservancy Area, to the City of Delta for protection from future development.

I 1 Committee Information Items and Delegation Summaries

RECEIVED

The Board received delegation summaries and information items from Standing Committee meetings.

Housing Committee – May 1, 2019

Information Items:

- **5.2 Regional Affordable Housing Strategy – Progress Report Work Plan**

The Regional Affordable Housing Strategy was adopted by the Metro Vancouver Regional District in 2016. Developed with input from member municipalities and housing stakeholders, it provides a shared vision, goals and strategies for tackling the housing affordability challenge of Metro Vancouver. This report provides the Housing Committee with the work plan for preparing a progress report on the Regional Affordable Housing Strategy (2016).

Industrial Lands Strategy Task Force – May 2, 2019

Delegation Summaries:

- **3.1 Marcy Sangret, City of Delta**

Aboriginal Relations Committee – May 2, 2019

Information Items:

- **5.1 2019 Community to Community Forum Draft Proposal**

This report presented the proposed 2019 Community to Community Forum with Musqueam Indian Band for information. A Community to Community Forum provides an opportunity for bringing together First Nations and local governments to foster positive relationships between communities.

Given that one of the priorities for the Aboriginal Relations Committee is engagement in initiatives and activities that strengthen relationships between Metro Vancouver and First Nations within the region, the proposed Community to Community Forum is intended to meet the Committee's objectives.

- **5.2 Quarterly Report on Reconciliation Activities**

The report provided a quarterly update on reconciliation activities involving Metro Vancouver and local governments as per the Committee's recommendation and for members' information.

Regional Planning Committee – May 3, 2019

Delegation Summaries:

- **3.1 Sarah Ross, TransLink**

Information Items:

- **5.3 Transit-Oriented Affordable Housing Study Phase 3 – Scoping**

With the completion of Phase 1 and Phase 2 of the Transit-Oriented Affordable Housing Study (TOAH), it is important to distribute the key findings and learnings to practitioners and policymakers in the Metro Vancouver region. In February 2019, the MVRD Board allocated funding from the Sustainability Innovation Fund for TOAH Phase 3, which is intended to assemble the research findings and communicate them in a new format that encourages learning by doing.

With an expanded knowledge base, practitioners and decision-makers can advance more effective policies and actions to encourage new affordable rental housing development in locations close to rapid transit and along frequent bus corridors. The general scope of Phase 3 comprises three elements: an Integrated TOAH Implementation Calculator; practitioners workshops; and an equitable transit-oriented communities summit. The exact scoping and timing of the practitioner workshops and regional summit will depend on the level of interest of the targeted participants, as well as related events that may be occurring in 2019 and 2020. Depending on the scoping outcomes, financial contributions from partner agencies may be sought.

- **5.4 Equity in Regional Growth Management – Project Initiation**

This report provided information on the scope for the Equity in Regional Growth Management project being initiated to inform the update to Metro 2040. The research project will advance Regional Planning's understanding of equity considerations as they relate to land use and transportation planning and policy, with a focus on growth management. The research findings will help identify gaps and opportunities for Metro Vancouver to better incorporate equity (including Indigenous perspectives and interests) into its regional growth management practices, and form an important foundational piece to the update to Metro 2040.

- **5.6 Expanded Consultation on a Potential Cannabis Production Emission Regulation for Metro Vancouver**

The attachment to this report is a staff report to the Climate Action Committee that responds to the Board's March 29, 2019 referral motion, including a proposed bylaw development discussion paper outlining a possible approach for regulating air emissions from cannabis production as well as an engagement plan to obtain input from potentially affected parties. The engagement plan has been expanded based on discussion at the March 29, 2019 Board meeting.

Regional Parks Committee – May 15, 2019

Delegation Summaries:

- **3.1 Marcy Sangret, City of Delta**

Information Items:

- **5.3 Regional Parks 2018 Annual Report**

This report presented the Regional Parks 2018 Annual Report for information. It provided an overview of Regional Parks' visitor and facility use, programming, volunteering, and activities in 2018. The annual report will be used to support ongoing park planning by MVRD and local municipalities for capital planning, future facility development, program delivery, and resource management activities.

Zero Waste Committee – May 17, 2019

Information Items:

- **5.3 Update on Metro Vancouver's Engagement with the Love Food Hate Waste Canada Campaign**

Metro Vancouver launched a regional Love Food Hate Waste campaign in May 2015. The objective was to prevent avoidable household food waste. Over three years, Metro Vancouver took the campaign to such a level that it became the basis for a national campaign – Love Food Hate Waste Canada – launched in 2018 by the National Zero Waste Council, an initiative of Metro Vancouver. Love Food Hate Waste Canada brings together nine partners: the cities of Toronto, Vancouver, and Victoria, Capital Regional District, Metro Vancouver, RECYC-QUÉBEC, Province of British Columbia,

Sobeys, and Walmart. Love Food Hate Waste Canada is a bilingual campaign that uses digital media (including social media), conventional media, and activations in grocery stores and public events in communities across Canada. As a partner to a national campaign, Metro Vancouver's efforts to reduce household food waste will be greatly enhanced by multiple partners. These partners communicate the same messages about the value of reducing food waste and the steps households can take in buying and storing food and in preparing meals that will make a positive difference. As the campaign grows, it will continue to engage more partners across Canada.

Climate Action Committee – May 17, 2019

Delegation Summaries:

- **3.1 Pat Bell, Community Energy Association**

Information Items:

- **5.1 2019 Update on Liquid Waste Sustainability Innovation Fund Projects**

This report presented an update on seven projects funded under the Liquid Waste Sustainability Innovation Fund. The Sustainability Innovation Funds were created by the Board in 2004 to provide financial support to utility or Regional District projects that contribute to the region's sustainability.

- **5.2 2019 Update on Regional District Sustainability Innovation Fund Projects**

This report presented an update on six projects funded under the Regional District Sustainability Innovation Fund. The Sustainability Innovation Funds were created by the Board in 2004 to provide financial support to utility or Regional District projects that contribute to the region's sustainability.

- **5.3 2019 Update on Water Sustainability Innovation Fund Projects**

This report presented an update on four projects funded under the Water Sustainability Innovation Fund. The Sustainability Innovation Funds were created by the Board in 2004 to provide financial support to utility or Regional District projects that contribute to the region's sustainability.

- **5.6 Air Quality and Climate Action Initiatives in the Caring for the Air 2019 Report**

This report presented the 2019 edition of the annual Caring for the Air report and provided information about outreach conducted for the previous edition of the report with the intention of raising awareness about climate change and air quality initiatives in the Lower Fraser Valley air shed.

Greater Vancouver Water District

E 1.1 Asset Management for Water Services Policy

APPROVED

The Board approved the Asset Management for Water Services Policy as presented.

This Policy outlines GVWD's commitment and methodology to manage water assets in a manner that minimizes asset failure risks and impacts to both residents and member jurisdictions while optimizing the life cycle of assets. It will guide Water Services to meet asset performance targets within a specified budget and enable evidence based decision making with respect to infrastructure rehabilitation and replacement.

E 1.2 2019 Budget - Status of Reserves**APPROVED**

The Board approved the application and transfer of reserves related to the expenditures and provisions as set out in Schedule 1 of the report.

With the year-end process complete, operating, discretionary and statutory reserves projected for 2019 have been updated after including 2018 operating surpluses. Reserve applications have also been updated and are presented in Schedule 1. These applications are consistent with Board direction on the use of reserves through the adopted reserve policy.

E 2.1 Agency Requests to Transport Adult Fish Upstream of Seymour Falls Dam**APPROVED**

The Board approved a request by the Fisheries and Oceans Canada to transport an annual maximum of 400 returning coho salmon adults upstream of Seymour Falls Dam; and a request by the Ministry of Forests, Lands, Natural Resource Operations and Rural Development to transport a maximum of 20 returning steelhead trout adults upstream of Seymour Falls Dam in 2019 and 2020.

These requests do not negatively impact Metro Vancouver operations and are an opportunity for collaboration with the agencies, First Nations and community groups.

I 1 Committee Information Items and Delegation Summaries**RECEIVED**

The Board received information items from the Water Committee.

Water Committee – May 16, 2019

Information Items:

- **5.1 BC Hydro Pole Replacement in Capilano Watershed – Project Update**

BC Hydro will be completing a multi-year project focused on replacing 75 wooden pole structures along two transmission lines that run within the Capilano water supply area. Metro Vancouver staff have worked collaboratively with the BC Hydro project team to review project plans, minimize environmental disturbance and achieve project efficiencies. The project is expected to commence in the summer of 2019 and be completed by the fall of 2021.

- **5.2 Watershed Education Program Update**

Watershed Education Programs reach over 5,400 residents of Metro Vancouver annually with the aim of providing all citizens with the opportunity to see where their water comes from, understanding the value of this resource, recognizing their connection to it, developing a sense of pride and confidence in the water supply and becoming champions for sustainability.

- **5.4 Fisheries and Oceans Canada Request for Metro Vancouver Water Supply to the Coquitlam Dam Fish Trap**

Metro Vancouver received a request from Fisheries and Oceans Canada (DFO) to provide water from an adjacent water main to the Coquitlam Dam fish trap. This request requires an adjustment to Metro Vancouver operations but does not negatively impact the water supply. The provision of

water to the Coquitlam Dam fish trap provides an opportunity for collaboration with the agencies, Kwikwetlem First Nation and ongoing support of the Kwikwetlem Sockeye Restoration Project.

- **5.5 2019 Watering Regulations Communications and Regional Water Conservation Campaign**
This report contained an update on regional communications to support the 2019 watering regulations and the regional water conservation campaign. Metro Vancouver undertakes communication and engagement initiatives to ensure water resources are conserved and efficiently used throughout the region.
- **5.6 2019 Water Wagon Schedule**
This report presented the preliminary 2019 event schedule for Metro Vancouver's Water Wagon.

Greater Vancouver Sewage and Drainage District

E 1.1 Asset Management for Solid Waste Services Policy

APPROVED

The Board approved the Asset Management for Solid Waste Services Policy as presented.

The new Asset Management for Solid Waste Services Policy will improve the ability to manage a broad range of asset data, prioritize maintenance activities and make informed decisions regarding long-term maintenance and capital replacements. The goal of the Asset Management for Solid Waste Services Policy is to balance asset performance, risk and cost.

E 1.2 2019 Budget - Status of Reserves

APPROVED

The Board approved the application and transfer of reserves related to the expenditures and provisions as set out in Schedule 1 of the report.

With the year-end process complete, operating, discretionary and statutory reserves projected for 2019 have been updated after including 2018 operating surpluses. Reserve applications have also been updated and presented. These applications are consistent with Board direction on the use of reserves through the adopted reserve policy.

E 2.1 Award of Contract Resulting from Request for Proposal No. 18-001: Construction Services for the Annacis Island Wastewater Treatment Plant Outfall Project

RECEIVED

The Board approved the award of a contract for an amount of up to \$184,124,380.27 (exclusive of taxes) to Pomerleau Bessac General Partnership, resulting from Request for Proposal No. 18-001: Construction Services for the Annacis Island Wastewater Treatment Plant Outfall Project. Pomerleau Bessac General Partnership was identified as the highest ranked compliant proposal.

E 2.2 Award of Phase C, Construction Engineering Services Resulting from RFP No. 14-097: Annacis Island Wastewater Treatment Plant Transient Mitigation and Outfall Expansion Project **APPROVED**

The Board approved the award of Phase C, Construction Engineering Services for an amount of up to \$16,989,113.00 (exclusive of taxes) to the Phase A and B consultant, CDM Smith Canada ULC for the Annacis Wastewater Treatment Plant Transient Mitigation and Outfall Project. CDM Smith Canada ULC has completed Phase A (Pre-Design Services) and Phase B (Detailed Design Services).

E 2.3 Award of Contract Resulting from Tender No. 18-296: Supply and Installation of North Road Trunk Sewer No. 2 – Phase 1A Brunette River to Lougheed Highway **APPROVED**

The Board approved the award of a contract in the amount of \$5,584,406.51 (exclusive of taxes) to Clearway Construction Inc., resulting from Tender No. 18-296: Supply and Installation of North Road Trunk Sewer No. 2 – Phase 1A Brunette River to Lougheed Highway. Clearway Construction Inc. submitted the lowest compliant bid.

E 3.1 Solid Waste Energy Policy **APPROVED**

The Board directed staff to prepare a business case, including a recommended ownership model, for a district energy system using heat from the Waste-to-Energy Facility.

At its May 17, 2019 meeting, the Zero Waste Committee considered a Solid Waste Energy Policy and asked for more clarification on the types of projects that would be subject to it. The Solid Waste Energy Policy would apply to Metro Vancouver Solid Waste Services projects that generate energy or recyclables, particularly projects that generate greenhouse gas emission reductions. District heating from the Waste-to-Energy Facility would increase energy recovery and reduce greenhouse gas emissions.

I 1 Committee Information Items and Delegation Summaries **RECEIVED**

The Board received a delegation summary and information items from Standing Committee meetings.

Liquid Waste Committee – May 16, 2019

Information Items:

- **5.1 Iona Island Wastewater Treatment Plant – Project Definition Update**

The Iona Island Wastewater Treatment Plant Project Definition technical workshop 3 was held on April 10th and 11th, 2019. This workshop focused on integrating wastewater treatment technology concepts with community integration and resource recovery themes to produce three overall wastewater treatment plant concepts. Stakeholder and First Nations engagement is underway and activities will continue throughout 2019 and 2020.

Zero Waste Committee – May 17, 2019

Delegation Summaries:

- **3.1 Sam Scoten, CheckSammy**

Information Items:

- **5.2 2018 Disposal Ban Program Update**

The Disposal Ban Program is a key waste reduction strategy identified in the Integrated Solid Waste and Resource Management Plan. In 2018, 188,135 loads were inspected, 16,707 loads were found to contain banned materials and 3,554 surcharge notices were issued. The Disposal Ban Program remains an effective tool to encourage waste reduction and diversion.

Metro Vancouver Housing Corporation

E 1.1 2019 Budget - Status of Reserves**APPROVED**

With the year-end process complete, operating, discretionary and statutory reserves projected for 2019 have been updated after including 2018 operating surpluses. Reserve applications have also been updated and are presented in Schedule 1. These applications are consistent with Board direction on the use of reserves through the adopted reserve policy.

The Board approved the application and transfer of reserves related to the expenditures and provisions as set out in Schedule 1 of the report.

I 1 Committee Information Items and Delegation Summaries**APPROVED**

The Board received an information item from the Housing Committee meeting.

Housing Committee – May 1, 2019**Information Items:**

- **5.3 Spring Flower and Community Garden Programs**

Metro Vancouver Housing is committed to tenant engagement. The Spring Flower and Community Garden Programs are two of a number of initiatives designed to inspire a sense of pride and ownership among tenants living in Metro Vancouver Housing sites. Both the Spring Flower and Community Garden Programs are equally beneficial to both Metro Vancouver Housing and tenants.

Metro Vancouver Housing provides 321 garden plots for housing tenants for their enjoyment and wellbeing. Spring flowers are provided to Tenants Associations to beautify housing sites and create healthy engaged communities.



The Corporation of **THE CITY OF NORTH VANCOUVER**
FINANCE DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Carlos Fernandes, Manager, Accounting and Reporting

SUBJECT: 2018 STATEMENT OF FINANCIAL INFORMATION ("SOFI")

Date: June 12, 2019 File No: 05-1880-20-0008/2018

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Manager, Accounting and Reporting, dated June 12, 2019, entitled, "2018 Statement of Financial Information ("SOFI")":

THAT the Statement of Financial Information be approved and forwarded to the Ministry of Municipal Affairs and Housing.

ATTACHMENTS:

1. The Corporation of the City of North Vancouver 2018 Statement of Financial Information, Financial Information Regulation, Schedule 1 ([Doc# 1790193](#))
2. Copy of Section 107, *Community Charter* ([Doc# 1789276](#))
3. Copy of Section 168, *Community Charter* ([Doc# 1789270](#))

BACKGROUND:

Each year, as required under the Financial Information Act, municipalities file a Statement of Financial Information ("SOFI") with the Ministry of Municipal Affairs and Housing no later than June 30th. The SOFI includes, for the year being reported, the City's audited financial statements, information regarding remuneration of Mayor and Council, a list of employees with remuneration exceeding \$75,000, amounts paid to suppliers of goods and / or services to which the City paid more than \$25,000, and all grants and contributions paid by the City.

The SOFI must be approved by the Director of Finance and by Council. The Council remuneration and expenses portion of this report will also fulfill the requirement under section 168 (1) of the *Community Charter* which requires preparation of a report listing total remuneration, expenses and benefits paid for each Council member including contracts to be reported under section 107.

Remuneration includes payments received during the year being reported. In some cases remuneration exceeds base salary due to, among other things, vacation payouts and labour contract settlements that included a retroactive adjustment. The number of employees with remuneration greater than \$100,000 increased from 92 in 2017 to 103 in 2018. This is mainly due to regular increases. As in prior years, to enhance transparency, one time payments such as prior year vacation and retroactive adjustments have been reported separately.

The Financial Information Regulation, Schedule 1, subsection 6(1), defines remuneration as:

- "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the *Income Tax Act* (Canada), but
- does not include anything payable under a severance agreement."

Expenses are defined as:

- "includes travel expenses, memberships, tuition, relocation, vehicle leases, extraordinary hiring expenses, registration fees and similar amounts paid directly to an employee, or to a third party on behalf of the employee, and which has not been included in 'remuneration',
- is not limited to expenses that are generally perceived as perquisites, or bestowing personal benefit, and may include expenditures required for employees to perform their job functions, and
- excludes benefits of a general nature applicable to all employees pursuant to an agreement such as medical, dental, counselling, insurance and similar plans."

The definition of expenses does not include the assignment of overhead costs to employees.

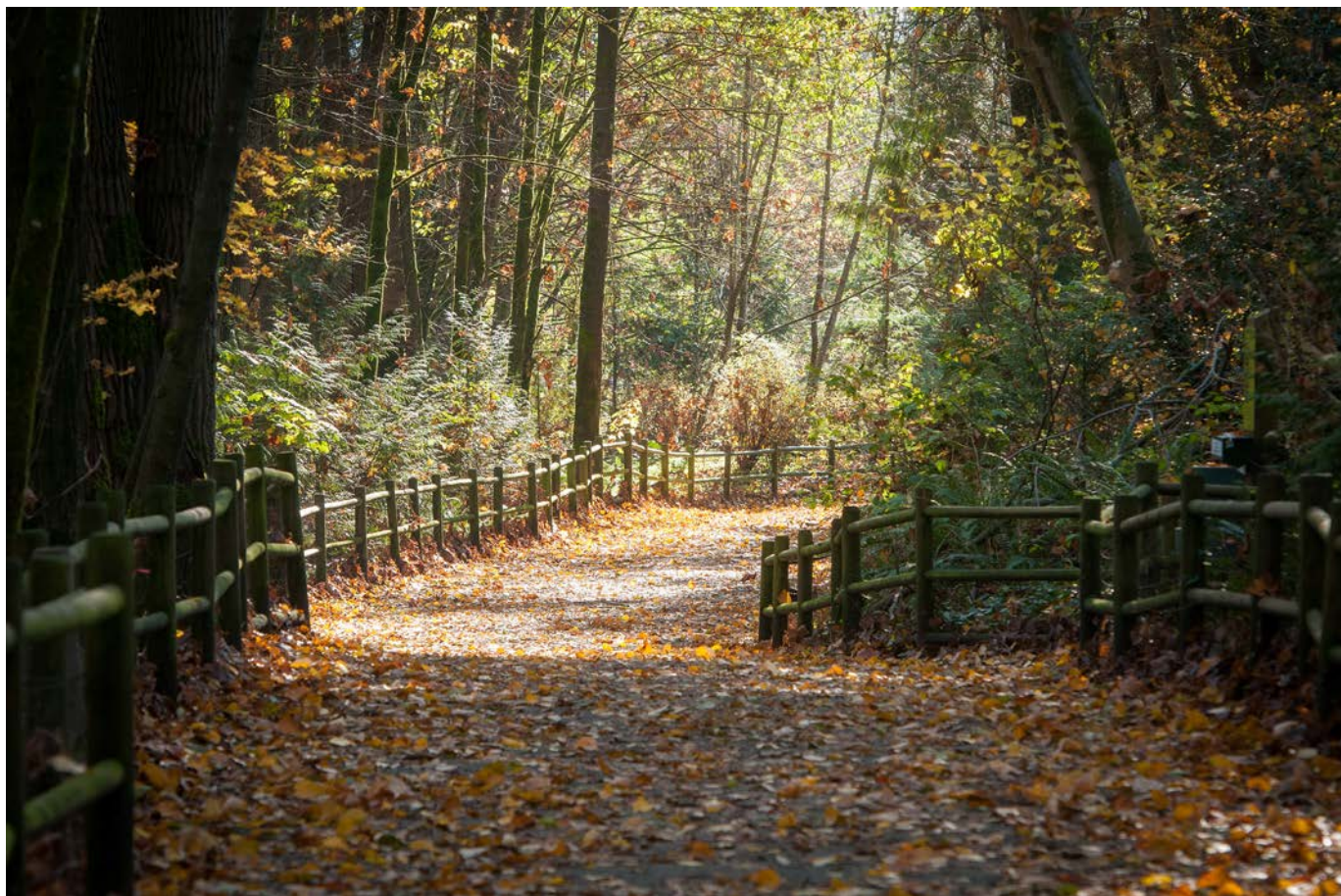
RESPECTFULLY SUBMITTED:



Carlos Fernandes
Manager, Accounting and Reporting

2018 Statement of Financial Information

JUNE 2019 | FINANCIAL INFORMATION REGULATION, SCHEDULE 1



City of North Vancouver
2018 Statement of Financial Information

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Financial Information Act
Financial Information Regulation (FIR), Schedule 1

Statement of Financial Information (SOFI)
Index to FIR Schedule 1 and the Checklist

Page 1: Corporation Information

Ministry Information

General: Section One

- 1(1)(a) Statement of assets and liabilities
- 1(1)(b) Operational statement
- 1(1)(c) Schedule of debts
- 1(1)(d) Schedule of guarantee and indemnity agreements
- 1(1)(e) Schedule of employee remuneration and expenses
- 1(1)(f) Schedule of suppliers of goods and services
- 1(2) [Explanatory information for reference]
- 1(3) Statements prepared on a consolidated basis or for each fund
- 1(4) & (5) Notes to the statements and schedules in section 1(1)

Page 2: Statement of Assets & Liabilities: Section Two

- 2 Balance sheet
- Changes in equity and surplus or deficit

Operational Statement: Section Three

- 3(1) Statement of Income / Statement of Revenue and Expenditures
- Statement of Changes in Financial Position
- 3(2) & (3) Omission of Statement of Changes in Financial Position, with explanation
- 3(4) Requirement for community colleges, school districts and municipalities

Statement of Debts: Section Four

- 4(1)(a) & 4(2) List and detail the schedule of long-term debts
- 4(1)(b) Identify debts covered by sinking funds / reserves
- 4(3) & (4) Omission of schedule, with explanation

Page 3: Schedule of Guarantee and Indemnity Agreements: Section Five

- 5(1) List agreements under the Guarantees and Indemnities Regulation
- 5(2) State the entities and amounts involved
- 5(3) & (4) Omission of schedule, with explanation

Page 3 & 4: Schedule of Remuneration and Expenses: Section Six

- 6(1) [Definitions for reference]
- 6(2)(a) List remuneration / expenses for each elected official, member of board, Cabinet appointees
- 6(2)(b) List each employee with remuneration exceeding \$75,000, plus expenses
- 6(2)(c) Consolidated total for all employees with remuneration of \$75,000 or less
- 6(2)(d) Reconcile difference in total remuneration above with operational statement
- 6(3) Exclude personal information other than as required

Page 3 & 4: Schedule of Remuneration and Expenses: Section Six (continued)

- 6(4) & (5) [Explanatory information for reference]
- 6(6) Report employer portion of EI and CPP as a supplier payment
- 6(7)(a) & (b) Statement of severance agreements
- 6(8) Explain an omission of statement of severance agreements
- 6(9) [Statement of severance agreements to minister – not required unless requested]

Page 4: Schedule of Suppliers of Goods or Services: Section Seven

- 7(1)(a) List suppliers receiving payments exceeding \$25,000
- 7(1)(b) Consolidated total of all payments of \$25,000 or less
- 7(1)(c) Reconcile difference in total above with operational statement
- 7(2)(a) [Explanatory information for reference]
- 7(2)(b) Statement of payments of grants or contributions
- 7(2)(c) [Explanatory information for reference]

Page 5: Inactive Corporations: Section Eight

- 8(1) Ministry to report for inactive corporations
- 8(2)(a) Contents of report – statements and schedules under section 1(1) to extent possible
- 8(2)(b) Contents of report – operational status of corporation

Approval of Financial Information: Section Nine

- 9(1) Approval of SOFI for corporations (other than municipalities)
- 9(2) Approval of SOFI for municipalities
- 9(3) Management report
- 9(4) Management report must explain roles and responsibilities
- 9(5) Signature approval is for all contents of the SOFI

Access to the Financial Information: Section Ten

- 10(1) to (3) [Explanatory information for reference]

Financial Information Regulation, Schedule 1

Checklist – Statement of Financial Information (SOFI)

For the Corporation:

| | | | |
|------------------|------------------------------------------------|---------------|--------------------|
| Corporate Name: | The Corporation of the City of North Vancouver | Contact Name: | Carlos Fernandes |
| Fiscal Year End: | December 31, 2018 | Phone Number: | (604) 990-4208 |
| Date Submitted: | June 12, 2019 | E-mail: | cfernandes@cnv.org |

For the Ministry:

| | | | | | |
|-----------------|--|-------------------------|-----|--|----|
| Ministry Name: | | Reviewer: | | | |
| Date Received: | | Deficiencies: | Yes | | No |
| Date Reviewed: | | Deficiencies Addressed: | Yes | | No |
| Approved (SFO): | | Further Action Taken: | | | |

Distribution: Legislative Library ☐ Ministry Retention ☐

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|------------------------------|---------------------------------------------------------------------------------|-----|----|-----|-------------------------------------|
| General | | | | | |
| 1 (1) (a) | Statement of assets and liabilities | ✓ | | | See Schedule 1, Section 2 |
| 1 (1) (b) | Operational statement | ✓ | | | See Schedule 1, Section 3(1) |
| 1 (1) (c) | Schedule of debts | ✓ | | | See Schedule 1, Section 4(4) |
| 1 (1) (d) | Schedule of guarantee and indemnity agreements | ✓ | | | See Schedule 1, Section 5(4) |
| 1 (1) (e) | Schedule of employee remuneration and expenses | ✓ | | | See Schedule 1, Section 6(2) |
| 1 (1) (f) | Schedule of suppliers of goods and services | ✓ | | | See Schedule 1, Section 7(1) & 7(2) |
| 1 (3) | Statements prepared on a consolidated basis or for each fund, as appropriate | ✓ | | | |
| 1 (4) 1 (5) | Notes to the financial statements for the statements and schedules listed above | ✓ | | | |

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----|------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Statement of Assets & Liabilities | | | | | |
| 2 | <ul style="list-style-type: none"> A balance sheet prepared in accordance with GAAP or stated accounting principles / policies, and Show changes in equity and surplus or deficit due to operations | ✓ ✓ | | | See Consolidated Statement of Financial Position See Consolidated Statement of Operations and notes to the financial statements for changes in equity |
| Operational Statement | | | | | |
| 3 (1) | Prepared in accordance with GAAP or stated accounting principles / policies and consists of: <ul style="list-style-type: none"> a Statement of Income or Statement of Revenue and Expenditures, and a Statement of Changes in Financial Position | ✓ ✓ | | | See Consolidated Statement of Operations See Consolidated Statement of Cash Flows |
| 3 (2) 3 (3) | <ul style="list-style-type: none"> The Statement of Changes in Financial Position may be omitted if it provides no additional information The omission must be explained in the notes | | | ✓ ✓ | |
| 3 (4) | Community colleges, school districts, and municipalities must prepare a Statement of Changes in Financial Position for the Capital Fund | | ✓ | | |
| Schedule of Debts | | | | | |
| 4 (1) (a) 4 (2) | List each long-term debt (secured by debentures, mortgages, bonds, etc.), stating the amount outstanding, the interest rate, and the maturity date | | | ✓ | |
| 4 (1) (b) | Identify debts covered by sinking funds or reserves and amounts in these accounts | | | ✓ | |

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|------------|------------------------|
| 4 (3) 4 (4) | <ul style="list-style-type: none"> The schedule may be omitted if addressed under section 2 or 5 and it provides no additional information The omission must be explained in a note to the schedule | ✓ | | ✓ | See attached schedule. |
| Schedule of Guarantee and Indemnity Agreements | | | | | |
| 5 (1) | List financial agreements that required government approval prior to being given (see Guarantees and Indemnities Regulation in FIA Guidance Package) | | | ✓ | |
| 5 (2) | State the entities involved, and the specific amount involved if known | | | ✓ | |
| 5 (3) 5 (4) | <ul style="list-style-type: none"> The schedule may be omitted if addressed under section 2 or 4 and it provides no additional information The omission must be explained in a note to the schedule | ✓ | | ✓ | See attached schedule |
| Schedule of Remuneration and Expenses (See Guidance Package for suggested format) | | | | | |
| 6 (2) (a) | List separately, by name and position, the total remuneration and the total expenses for each elected official, member of the board of directors, and employee appointed by Cabinet | ✓ | | | |
| 6 (2) (b) | List alphabetically each employee whose total remuneration exceeds \$75,000 and the total expenses for each [excluding the persons listed under 6 (2) (a)] | ✓ | | | |
| 6 (2) (c) | Include a consolidated total for employees whose remuneration is \$75,000 or less [excluding the persons listed under 6 (2) (a)] | ✓ | | | |
| 6 (2) (d) | Reconcile or explain any difference between total remuneration in this | ✓ | | | |

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|--------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----|-----|-----------------------------------------------------------------------------------------------------------------------|
| | schedule and related information in the operational statement | | | | |
| 6 (3) | Exclude personal information other than name, position, function or remuneration and expenses of employees | ✓ | | | |
| Schedule of Remuneration and Expenses (See Guidance Package for suggested format) | | | | | |
| 6 (6) | Report the employer portion of EI and CPP as a supplier payment to the Receiver General for Canada rather than as employee remuneration | ✓ | | | Employer share of CPP for elected officials was shown under the heading "Benefits" on FIR Schedule 1, Section 6(2)(a) |
| 6 (7) (a) 6 (7) (b) | Include a statement of severance agreements providing: <ul style="list-style-type: none"> the number of severance agreements under which payment commenced in the fiscal year being reported on for non-union employees, and the range of equivalent months' compensation for them (see Guidance Package for suggested format) | ✓ ✓ | | | |
| 6 (8) | Provide the reason for omitting a statement of severance agreements in a note to the schedule of remuneration and expenses | | | ✓ | |
| Schedule of Suppliers of Goods or Services (See Guidance Package for suggested format) | | | | | |
| 7 (1) (a) | List in alphabetical order all suppliers of goods and services who received aggregate payments exceeding \$25,000 | ✓ | | | |
| 7 (1) (b) | Include a consolidated total of all payments to suppliers who received \$25,000 or less | ✓ | | | |
| 7 (1) (c) | Reconcile or explain any difference between the consolidated total and related figures in the operational statement | ✓ | | | |

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|---------------------------------------|-----------------------------------------------------------------------------|------------|-----------|------------|-----------------|
| 7 (2) (b) | Include a statement of payments for the purposes of grants or contributions | ✓ | | | |

Inactive Corporations

| | | | | | |
|-----------|------------------------------------------------------------------------------------------------------------------------------------------|--|--|---|--|
| 8 (1) | The ministry reports for the corporation if the corporation is not operating to the extent required to produce a SOFI | | | ✓ | |
| 8 (2) (a) | The ministry's report contains the statements and schedules required under section 1 (1), to the extent possible | | | ✓ | |
| 8 (2) (b) | The ministry's report contains a statement of the operational status of the corporation (see Guidance Package regarding what to include) | | | ✓ | |

Approval of Financial Information

| | | | | | |
|-------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|--|---|--------------------------------------------------------------------------------|
| 9 (1) | Corporations other than municipalities – the SOFI is signed as approved by the board of directors or the governing body (see Guidance Package for example) | | | ✓ | |
| 9 (2) | Municipalities – the SOFI is approved by its council and by the officer assigned responsibility for financial administration (see Guidance Package for example) | ✓ | | | |
| 9 (3) | A management report is included, signed by the head and chief financial officer, or by the municipal officer assigned responsibility for financial administration (see examples in annual report at http://www.gov.bc.ca/cas/popt/) | ✓ | | | See Consolidated Financial Statements – Statement of Management Responsibility |
| 9 (4) | The management report explains the roles and responsibilities of the board of directors or governing body, audit committee, management, and the auditors | ✓ | | | See Consolidated Financial Statements – Statement of Management Responsibility |

| FIR Schedule 1 Section | Item | Yes | No | N/A | Comments |
|------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|-----|----|-----|----------|
| 9 (5) | Signature approvals required in section 9 are for each of the statements and schedules of financial information, not just the financial statements | ✓ | | | |

The Corporation of the City of North Vancouver

2018 Statement of Financial Information

Financial Information Regulation, Schedule 1

Section 1 (1) (a), 1 (1) (b), 1 (4) & 1 (5)

Section 2

Section 3 (1)

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**The Corporation of the City of
North Vancouver**
Consolidated Financial Statements
For the year ended December 31, 2018

Statement of Management Responsibility

The Council of the Corporation of the City of North Vancouver ("City") has delegated the responsibility for the integrity and objectivity of the financial information contained in the consolidated financial statements to the management of the City. The consolidated financial statements which, in part, are based on informed judgments and estimates, have been prepared by management in accordance with Canadian public sector accounting standards, which have been applied on a basis consistent with that of the preceding year.

To assist in carrying out their responsibility, management maintains an accounting system and internal controls to provide reasonable assurance that transactions are executed and recorded in accordance with authorization, and that financial records are reliable for preparation of financial statements.

The Mayor and Council oversee management's responsibilities for the financial reporting and internal control systems. Council annually reviews and approves the consolidated financial statements.

The City's independent auditors, BDO Canada LLP, are engaged to express an opinion as to whether the City's consolidated financial statements present fairly in all material respects the financial position of the City as at December 31, 2018, and the results of operations, changes in net financial assets and cash flows for the year then ended in accordance with Canadian generally accepted auditing standards.

The consolidated financial statements have, in management's opinion, been properly prepared within reasonable limits of materiality and in accordance with Canadian public sector accounting standards.



Director of Finance

May 6, 2019

Independent Auditor's Report

To the Mayor and Council of the Corporation of the City of North Vancouver

Opinion

We have audited the consolidated financial statements of Corporation of the City of North Vancouver and its controlled entities (the "City"), which comprise the consolidated statement of financial position as at December 31, 2018 and the consolidated statement of operations, the consolidated statement of changes in net financial assets and the consolidated statement of cash flows for the year then ended, and notes to the consolidated financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying consolidated financial statements present fairly, in all material respects, the consolidated financial position of the City as at December 31, 2018, and its consolidated operations and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Consolidated Financial Statements section of our report. We are independent of the City in accordance with the ethical requirements that are relevant to our audit of the consolidated financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management and Those Charged with Governance for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of the consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the consolidated financial statements, management is responsible for assessing the City's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the City or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the City's financial reporting process.

Auditor's Responsibilities for the Audit of the Consolidated Financial Statements

Our objectives are to obtain reasonable assurance about whether the consolidated financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these consolidated financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the consolidated financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the City's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the consolidated financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the City to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the consolidated financial statements, including the disclosures, and whether the consolidated financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Obtain sufficient appropriate audit evidence regarding the financial information of the entities or business activities within the City to express an opinion on the consolidated financial statements. We are responsible for the direction, supervision and performance of the City audit. We remain solely responsible for our audit opinion.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

BDO Canada LLP

Chartered Professional Accountants

Vancouver, British Columbia

May 6, 2019

The Corporation of the City of North Vancouver
Consolidated Statement of Financial Position
As at December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 | 2017 |
|----------------------------------------------|-------------------|-------------------|
| FINANCIAL ASSETS | | |
| Cash | \$ 6,796 | \$ 7,747 |
| Temporary investments (note 3(a)) | 43,918 | 44,888 |
| Portfolio investments (note 3(b)) | 139,902 | 118,413 |
| Investment in Lonsdale Energy Corp. (note 4) | 2,114 | 1,534 |
| Due from other governments | 3,542 | 3,853 |
| Accounts receivable | 10,727 | 8,954 |
| Loan to Lonsdale Energy Corp. (note 5) | 23,294 | 19,242 |
| Interest receivable | 14,210 | 12,741 |
| | <u>244,503</u> | <u>217,372</u> |
| LIABILITIES | | |
| Accounts payable and accrued liabilities | 17,066 | 19,098 |
| Deferred revenue | 27,735 | 27,724 |
| Deferred development cost charges | 22,282 | 19,266 |
| Long-term debt (note 6) | 895 | 1,098 |
| Employee future benefits (note 7) | 8,121 | 8,258 |
| Advances and other liabilities | 10,493 | 10,772 |
| | <u>86,592</u> | <u>86,216</u> |
| NET FINANCIAL ASSETS | <u>157,911</u> | <u>131,156</u> |
| NON-FINANCIAL ASSETS | | |
| Tangible capital assets (note 8) | 402,540 | 381,939 |
| Inventories | 656 | 693 |
| Prepaid expenses | 1,619 | 1,480 |
| | <u>404,815</u> | <u>384,112</u> |
| ACCUMULATED SURPLUS (note 9) | <u>\$ 562,726</u> | <u>\$ 515,268</u> |

Contractual obligations (note 10)

See accompanying notes to the consolidated financial statements


 Director of Finance

The Corporation of the City of North Vancouver
Consolidated Statement of Operations
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 Budget | 2018 | 2017 |
|---------------------------------------------|------------------------|-------------------|-------------------|
| | (notes 2(h) and 14) | | |
| REVENUE | | | |
| Property value tax | \$ 58,930 | \$ 58,775 | \$ 56,218 |
| Parcel taxes | 2,910 | 2,940 | 2,811 |
| Licences and permits | 3,900 | 6,493 | 5,797 |
| Fines and fees | 4,651 | 6,418 | 5,102 |
| Rent | 1,640 | 2,213 | 2,100 |
| Interest and penalties | 2,114 | 5,924 | 5,315 |
| Sale of services | 26,455 | 27,767 | 26,996 |
| Rebate and recoveries | 85 | 62 | 118 |
| Grants and other | 6,900 | 10,850 | 9,261 |
| Developer contributions and other transfers | 263 | 34,856 | 28,692 |
| Gains on disposition of assets | - | 1,626 | 3,304 |
| Lonsdale Energy Corp. income (note 4) | - | 580 | 800 |
| | <u>107,848</u> | <u>158,504</u> | <u>146,514</u> |
| EXPENSES | | | |
| General government | 16,688 | 19,293 | 16,821 |
| Transportation and transit | 5,767 | 7,173 | 7,161 |
| Health, social services and housing | 2,614 | 2,637 | 2,718 |
| Development services | 5,588 | 5,926 | 5,216 |
| Protective services | 26,897 | 25,319 | 24,617 |
| Parks, recreation and culture | 27,094 | 27,790 | 26,489 |
| Water utilities | 9,975 | 9,618 | 10,009 |
| Sewer utilities | 8,809 | 9,139 | 8,404 |
| Solid waste | <u>4,361</u> | <u>4,151</u> | <u>3,945</u> |
| Total expenses (note 12) | <u>107,793</u> | <u>111,046</u> | <u>105,380</u> |
| Annual surplus | 55 | 47,458 | 41,134 |
| Accumulated surplus beginning of year | <u>515,268</u> | <u>515,268</u> | <u>474,134</u> |
| Accumulated surplus end of year | <u>\$ 515,323</u> | <u>\$ 562,726</u> | <u>\$ 515,268</u> |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Consolidated Statement of Change in Net Financial Assets
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 Budget | 2018 | 2017 |
|--------------------------------------------------------|------------------------|-------------------|-------------------|
| | (notes 2(h) and 14) | | |
| Annual surplus | \$ 55 | \$ 47,458 | \$ 41,134 |
| Acquisition of tangible capital assets | (82,690) | (32,071) | (27,488) |
| Non-cash developer contributed assets and found assets | - | (3,918) | (15,176) |
| Proceeds on sale of tangible capital assets | - | 2,187 | 9,128 |
| Depreciation of tangible capital assets | 13,900 | 14,827 | 13,967 |
| Loss (gain) on disposition of tangible capital assets | - | (1,626) | (3,304) |
| | <u>(68,790)</u> | <u>(20,601)</u> | <u>(22,873)</u> |
| Acquisition of inventories | - | (1,243) | (1,123) |
| Acquisition of prepaid expenses | - | (1,693) | (1,983) |
| Use of inventories | - | 1,280 | 1,072 |
| Use of prepaid expenses | - | 1,554 | 2,837 |
| | <u>-</u> | <u>(102)</u> | <u>803</u> |
| Increase (decrease) in net financial assets | (68,735) | 26,755 | 19,064 |
| Net financial assets, beginning of year | <u>131,156</u> | <u>131,156</u> | <u>112,092</u> |
| Net financial assets, end of year | <u>\$ 62,421</u> | <u>\$ 157,911</u> | <u>\$ 131,156</u> |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Consolidated Statement of Cash Flows
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 | 2017 |
|--------------------------------------------------------|-----------|-----------|
| Cash provided by (used for): | | |
| Operating Transactions | | |
| Annual surplus | \$ 47,458 | \$ 41,134 |
| Items not involving cash: | | |
| Depreciation expense | 14,827 | 13,967 |
| Gain on disposal of tangible capital assets | (1,626) | (3,304) |
| Non-cash developer contributed assets and found assets | (3,918) | (15,176) |
| Lonsdale Energy Corp. income | (580) | (800) |
| Changes in non-cash operating items: | | |
| Decrease (increase) in due from other governments | 311 | (432) |
| (Increase) decrease in accounts receivable | (1,773) | 403 |
| Increase in loan to Lonsdale Energy Corp. | (4,052) | (4,197) |
| Increase in interest receivable | (1,469) | (1,315) |
| Decrease in accounts payable and accrued liabilities | (2,032) | (4,349) |
| Increase increase in deferred revenue | 11 | 3,984 |
| Increase in deferred development cost charges | 3,016 | 909 |
| Decrease in accrued employee future benefits | (137) | (93) |
| (Increase) decrease in advances and other liabilities | (279) | 871 |
| (Decrease) increase in inventories | 37 | (51) |
| (Increase) decrease in prepaid expenses | (139) | 854 |
| | 49,655 | 32,405 |
| Capital Transactions | | |
| Cash used to acquire tangible capital assets | (32,071) | (27,488) |
| Proceeds from sale of tangible capital assets | 2,187 | 9,128 |
| | (29,884) | (18,360) |
| Investing Transactions | | |
| Decrease (increase) in temporary investments | 970 | (1,340) |
| (Decrease) increase in portfolio investments | (21,489) | (11,479) |
| | (20,519) | (12,819) |
| Financing Transactions | | |
| Repayment of long-term debt | (203) | (195) |
| (Decrease) increase in cash | (951) | 1,031 |
| Cash, beginning of year | 7,747 | 6,716 |
| Cash, end of year | \$ 6,796 | \$ 7,747 |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

1. OPERATIONS

The City of North Vancouver (the "City") was incorporated in 1907 and operates under the provisions of the Community Charter and the Local Government Act of British Columbia. The City's principal activity is the provision of local government services to residents of the incorporated area. These include administrative, protective, transportation, environmental, recreational, water and sanitary services.

2. SIGNIFICANT ACCOUNTING POLICIES

The consolidated financial statements of the City have been prepared in accordance with Canadian public sector accounting standards, as prescribed by the Public Sector Accounting Board ("PSAB") of CPA Canada. The significant accounting policies are summarized below:

(a) Basis of Presentation

The consolidated financial statements include the accounts of all the funds of the City, the accounts of the North Vancouver City Library, which is controlled by the City, the City's 33% proportionate share of the operations of the North Vancouver Recreation Commission, and the City's 50% proportionate share of the operations of the North Vancouver Museum and Archives Commission. The City's investment in Lonsdale Energy Corporation ("LEC"), a wholly owned government business enterprise, is accounted for using the modified equity method.

The City participates with the District of North Vancouver in the operation and management of the North Vancouver Recreation Commission, and the City includes its proportionate share in the City's consolidated financial statements. The current agreement specifies that the operating costs shall be paid 33% (2017 – 33%) by the City and 67% (2017 – 67%) by the District of North Vancouver. Each municipality is responsible for its own facilities and pays 100% of all capital costs relating to improvement, expansion and replacement of buildings or facility equipment.

The City also participates with the District of North Vancouver in the operation and management of the North Vancouver Museum and Archives Commission, and the City includes its proportionate share in the City's consolidated financial statements. The current agreement specifies that the operating costs shall be paid 50% (2017 – 50%) by the City and 50% (2017 – 50%) by the District of North Vancouver. Each municipality is responsible for its own facilities and pays 100% of all capital costs relating to improvement, expansion and replacement of buildings or facility equipment.

(b) Basis of Accounting

Revenue is recorded on an accrual basis and recognized when earned. Expenses are recognized as they are incurred and measurable as a result of the receipt of goods and services.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(c) Revenue Recognition

Taxes are recorded at estimated amounts when they meet the definition of an asset, have been authorized and the taxable event occurs. For property taxes, the taxable event is the period for which the tax is levied. As taxes recorded are initially based on management's best estimate of the taxes that will be received, it is possible that changes in future conditions, such as reassessments due to audits, appeals and court decisions, could result in a change in the amount of tax revenue recognized.

Charges for sewer, water and solid waste usage are recorded as user fees. Connection fees revenues are recognized when the connection has been established.

Sale of service and other revenue are recognized on an accrual basis.

(d) Deferred Revenue

Deferred revenue consists of prepaid property taxes, prepaid business licenses, and fees paid in advance for services yet to be provided.

(e) Development Cost Charges

Development cost charges collected to pay for future capital projects are deferred upon receipt and recognized as revenue when the capital costs for which they were collected are incurred.

(f) Temporary Investments

Temporary investments include bank issued notes and bonds and provincial bonds and debentures maturing in the subsequent year and are valued at the lower of cost or market value.

(g) Portfolio Investments

Portfolio investments include bank issued notes and bonds and provincial bonds and debentures maturing after the subsequent year end. Securities are recorded at their cost and written down to reflect losses in value that are other than temporary.

(h) Budget Figures

The budget figures are based on the ten year financial plan adopted on May 7, 2018.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(i) Government Transfers

Unrestricted government transfers are recognized as revenue in the year that the transfer is authorized by the issuing government and any eligibility criteria have been met. Restricted government transfers, in the way of grants or other transfers, are recognized as revenue in the year in which any stipulations that create liabilities are met.

(j) Employee Future Benefits

The City and its employees make contributions to the Municipal Pension Plan. As this plan is a multi-employer plan, contributions are expensed as incurred.

Sick leave and post-employment benefits also accrue to the City's employees. The liabilities related to these benefits are actuarially determined based on services and best estimates of retirement ages and expected future salary and wage increases. The liabilities under these benefits plans are accrued based on projected benefits as the employees render services necessary to earn the future benefits.

(k) Long-term Debt

Long-term debt is recorded in the consolidated financial statements net of repayments and sinking fund adjustments.

(l) Non-Financial Assets

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They may have useful lives extending beyond the current year and are not intended for sale in the ordinary course of business.

(i) Tangible Capital Assets

Tangible capital assets are recorded at cost, which includes amounts that are directly attributable to acquisition, construction, development or betterment of the asset. The cost less residual value of the tangible capital assets, excluding land, is amortized on a straight line basis over their estimated useful lives as follows:

| | | |
|-----------------------|---------------------------------------------------|----------------|
| Land improvements | Straight line over useful life of each asset unit | 10 – 100 years |
| Parks | Straight line over useful life of each asset unit | 10 – 75 years |
| Buildings | Straight line over useful life of each asset unit | 10 – 100 years |
| Machinery & equipment | Straight line over useful life of each asset unit | 3 – 25 years |
| Vehicles | Straight line over useful life of each asset unit | 6 – 25 years |
| Infrastructure | Straight line over useful life of each asset unit | 7 – 100 years |
| Library materials | Straight line over useful life of each asset unit | 2 – 5 years |
| Work in progress | Not depreciated until put into use | |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

(l) Non-Financial Assets (cont'd)

(ii) Contributions of Tangible Capital Assets

Tangible capital assets received as contributions or transfers from developers are recorded at their estimated fair value at the date of receipt and also are recorded as revenue.

(iii) Works of Art and Historic Assets

Works of art and historic assets are not recorded as assets in these consolidated financial statements.

(iv) Natural Resources

Horticultural assets such as treed areas, grassy areas and gardens are not recognized as assets in the consolidated financial statements.

(v) Interest Capitalization

The City does not capitalize interest costs associated with the acquisition or construction of a tangible capital asset.

(vi) Leased Tangible Capital Assets

Leases that transfer substantially all of the benefits and risks incidental to ownership of property are accounted for as leased tangible capital assets. All other leases are accounted for as operating leases and the payments are charged to expenses as incurred.

(vii) Inventories

Inventories held for consumption are recorded at the lower of weighted average cost and replacement cost.

(m) Estimates

The preparation of the consolidated financial statements requires management to make estimates and assumptions that affect the reported amounts in the consolidated financial statements and the disclosure of contingent liabilities. Areas requiring significant estimation are post-employment benefits, compensated absences and termination benefits and estimated useful life of tangible capital assets. Actual results could differ from these estimates.

(n) Segment Disclosure

A segment is defined as a distinguishable activity or group of activities of a government for which it is appropriate to separately report financial information related to expenses. See note 12.

**The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)**

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(o) Contaminated Sites

A liability for contaminated sites is recognized when a site is not in productive use or an unexpected event has occurred and the following criteria are met:

- i) An environmental standard exists;
- ii) Contamination exceeds the environmental standard;
- iii) The City is directly responsible or accepts responsibility;
- iv) It is expected that future economic benefits will be given up; and
- v) A reasonable estimate of the amount can be made

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

3. INVESTMENTS

(a) Temporary Investments

The fair value of temporary investments at December 31, 2018 was \$46,769,729 (2017 - \$45,656,327). These investments range in maturity date from January 4, 2019 to December 18, 2019, and range in yield from 1.82% to 5.13%.

(b) Portfolio Investments

The fair value of portfolio investments at December 31, 2018 was \$149,587,369 (2017 - \$130,643,198). These investments range in maturity from January 23, 2020 to May 15, 2031, and range in yield from 2.2% to 7.52%.

4. INVESTMENT IN LONSDALE ENERGY CORPORATION ("LEC")

The City owns all the issued and outstanding shares of LEC, which was incorporated under the British Columbia Company Act on July 7, 2003. LEC operates a district energy system providing hydronic energy to residential, institutional and commercial buildings in the Lower and Central Lonsdale, Moodyville and Marine Drive – Harbourside areas of the City of North Vancouver.

Summarized financial information relating to LEC is as follows:

| | 2018 | 2017 |
|------------------------------------------|------------------|------------------|
| Cash and accounts receivable | \$ 1,874 | \$ 2,701 |
| Tangible capital assets | 31,777 | 26,517 |
| Other assets | 612 | 520 |
| Total assets | <u>\$ 34,263</u> | <u>\$ 29,738</u> |
| Accounts payable and accrued liabilities | \$ 1,449 | \$ 1,496 |
| Deferred contributions | 6,511 | 6,368 |
| Debt | 24,189 | 20,340 |
| Total Liabilities | <u>\$ 32,149</u> | <u>\$ 28,204</u> |
| Shareholder's equity | <u>\$ 2,114</u> | <u>\$ 1,534</u> |
| Total revenue | \$ 4,770 | \$ 4,300 |
| Total expenses | 4,190 | 3,500 |
| Net income | <u>\$ 580</u> | <u>\$ 800</u> |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

4. INVESTMENT IN LONSDALE ENERGY CORPORATION ("LEC") (con't)

Included in the City's consolidated statement of financial position is "Investment in Lonsdale Energy Corp." in the amount of \$2,114,000 (2017 - \$1,534,000) and a loan receivable, see note 5. Also, included in accounts receivable in the City's consolidated statement of financial position are receivables from LEC in the amount of \$559,000 (2017 - \$416,000).

5. LOAN TO LONSDALE ENERGY CORPORATION ("LEC")

The loan receivable balance of \$23,293,926 (2017 - \$19,241,926) consists of the following interest bearing promissory notes:

On August 1, 2018, the City converted amounts due from LEC whereby LEC issued a 5 year promissory note to the City in the amount of \$33,661,966 bearing interest at 2.65%. The promissory note to the City has been partially drawn upon with a balance owing at December 31, 2018 of \$23,293,926 (2017 demand term loan and promissory notes \$19,241,926).

All loans are due on demand and bear interest at 2.65% (2017 - 2.1%). Interest revenue of \$492,448 (2017 - \$351,790) has been included in the consolidated statement of operations.

At the maturity date of the loan to LEC, the City may, at its discretion, extend the terms of the loan in whole or in part or LEC may repay the loan in whole or in part using either internal or external financing.

6. LONG-TERM DEBT

The City has financed the expansion of LEC by assuming debt on behalf of LEC through the Municipal Finance Authority in accordance with the Community Charter. Debt principal is reported net of repayments and actuarial adjustments. The City carries no other long-term debt. The total debt issued and outstanding as at December 31, 2018 was \$895,067 (2017 - \$1,097,739).

Future principal re-payments and actuarial adjustments on net outstanding debt over the next five years are as follows:

| | 2018 |
|------|-------------------|
| 2019 | \$ 210,779 |
| 2020 | 219,210 |
| 2021 | 227,979 |
| 2022 | 237,099 |
| | <u>\$ 895,067</u> |

Interest expense of \$6,000 (2017 - \$6,000) has been included in the Consolidated Statement of Operations. The interest rate on long-term debt is 0.3% per annum.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

7. EMPLOYEE FUTURE BENEFITS

(a) Sick and Severance

Employees of the City are entitled to payments related to unused sick leave and severance upon retirement or resignation after ten years of service. The amount recorded for these benefits is based on an actuarial valuation done by an independent firm of actuaries using a projected benefit actuarial valuation method pro-rated on services. The most recent actuarial valuation of the City's future benefits was completed as at December 31, 2018.

Information regarding the City's obligations for these benefits, including its proportionate share of the North Vancouver City Library, North Vancouver Recreation Commission, and North Vancouver Museum and Archives Commission, is as follows:

| | 2018 | 2017 |
|---------------------------------------------|-----------------|-----------------|
| Benefit obligation - beginning of the year | \$ 7,862 | \$ 7,380 |
| Add: Current service costs | 655 | 607 |
| Interest on accrued benefit obligation | 239 | 254 |
| Less: Actuarial (gain) loss | (154) | 495 |
| Benefits paid | (998) | (874) |
| Benefit obligation - end of the year | \$ 7,604 | \$ 7,862 |
| Add: Unamortized actuarial gain | 517 | 396 |
| Accrued benefit liability - end of the year | <u>\$ 8,121</u> | <u>\$ 8,258</u> |

The significant actuarial assumptions adopted in measuring the City's accrued benefit liability are as follows:

| | 2018 | 2017 |
|------------------------------------|----------------|----------------|
| Discount rates | 3.30% | 2.90% |
| Expected future inflation rates | 2.50% | 2.50% |
| Expected wage and salary increases | 2.58% to 4.63% | 2.58% to 4.63% |

The unamortized actuarial gain is amortized over a period equal to the employees' average remaining service lifetime of ten years for the City.

(b) Council Retirement Stipend

Starting 2005, Council Members are entitled to a retirement stipend based on 10.08% of the individual's total indemnity received subsequent to 2002. These amounts are accrued as earned and recorded in accounts payable and accrued liabilities.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

8. TANGIBLE CAPITAL ASSETS

| 2018 | Land | Land Improvements | Parks | Buildings | Machinery & Equipment | Vehicles | Infrastructure | Library Materials | Work in Progress | Total |
|---------------------------------|-----------|-------------------|-----------|------------|-----------------------|-----------|----------------|-------------------|------------------|------------|
| Cost | | | | | | | | | | |
| Balance as at December 31, 2017 | \$ 35,365 | \$ 55,813 | \$ 42,766 | \$ 123,057 | \$ 19,225 | \$ 11,082 | \$ 227,567 | \$ 936 | \$ 39,874 | \$ 555,685 |
| Additions | 4,467 | 7,535 | 6,934 | 2,657 | 1,005 | 410 | 6,671 | 219 | 46,888 | 76,786 |
| Disposals | 923 | - | - | 5 | 522 | 591 | 1,507 | 225 | 39,874 | 43,647 |
| Balance as at December 31, 2018 | \$ 38,909 | \$ 63,348 | \$ 49,700 | \$ 125,709 | \$ 19,708 | \$ 10,901 | \$ 232,731 | \$ 930 | \$ 46,888 | \$ 588,824 |
| Accumulated Depreciation | | | | | | | | | | |
| Balance as at December 31, 2017 | \$ - | \$ 10,458 | \$ 12,513 | \$ 52,352 | \$ 12,427 | \$ 5,859 | \$ 79,666 | \$ 471 | \$ - | \$ 173,746 |
| Depreciation expense | - | 1,761 | 1,613 | 4,823 | 1,739 | 587 | 4,090 | 214 | - | 14,827 |
| Disposals | - | - | - | 5 | 522 | 502 | 1,035 | 225 | - | 2,289 |
| Balance as at December 31, 2018 | \$ - | \$ 12,219 | \$ 14,126 | \$ 57,170 | \$ 13,644 | \$ 5,944 | \$ 82,721 | \$ 460 | \$ - | \$ 186,284 |
| Net Book Value | | | | | | | | | | |
| December 31, 2018 | \$ 38,909 | \$ 51,129 | \$ 35,574 | \$ 68,539 | \$ 6,064 | \$ 4,957 | \$ 150,010 | \$ 470 | \$ 46,888 | \$ 402,540 |

| 2017 | Land | Land Improvements | Parks | Buildings | Machinery & Equipment | Vehicles | Infrastructure | Library Materials | Work in Progress | Total |
|---------------------------------|-----------|-------------------|-----------|------------|-----------------------|-----------|----------------|-------------------|------------------|------------|
| Cost | | | | | | | | | | |
| Balance as at December 31, 2016 | \$ 30,251 | \$ 50,259 | \$ 38,822 | \$ 116,849 | \$ 17,476 | \$ 9,241 | \$ 223,757 | \$ 943 | \$ 34,443 | \$ 522,041 |
| Additions | 5,685 | 5,554 | 4,515 | 11,352 | 2,317 | 2,044 | 6,123 | 211 | 36,402 | 74,203 |
| Disposals | 571 | - | 571 | 5,144 | 568 | 203 | 2,313 | 218 | 30,971 | 40,559 |
| Balance as at December 31, 2017 | \$ 35,365 | \$ 55,813 | \$ 42,766 | \$ 123,057 | \$ 19,225 | \$ 11,082 | \$ 227,567 | \$ 936 | \$ 39,874 | \$ 555,685 |
| Accumulated Depreciation | | | | | | | | | | |
| Balance as at December 31, 2016 | \$ - | \$ 8,934 | \$ 11,438 | \$ 47,719 | \$ 11,441 | \$ 5,476 | \$ 77,496 | \$ 471 | \$ - | \$ 162,975 |
| Depreciation expense | - | 1,524 | 1,447 | 4,657 | 1,554 | 542 | 4,025 | 218 | - | 13,967 |
| Disposals | - | - | 372 | 24 | 568 | 159 | 1,855 | 218 | - | 3,196 |
| Balance as at December 31, 2017 | \$ - | \$ 10,458 | \$ 12,513 | \$ 52,352 | \$ 12,427 | \$ 5,859 | \$ 79,666 | \$ 471 | \$ - | \$ 173,746 |
| Net Book Value | | | | | | | | | | |
| December 31, 2017 | \$ 35,365 | \$ 45,355 | \$ 30,253 | \$ 70,705 | \$ 6,798 | \$ 5,223 | \$ 147,901 | \$ 465 | \$ 39,874 | \$ 381,939 |

(a) Work in Progress

Work in progress having a value of \$ 46,888,000 (2017 - \$39,874,000) has not been amortized. Amortization of these assets will commence when the asset is in service.

(b) Developer Contributed Tangible Capital Assets and Other Transfers

Developer contributed tangible capital assets and other transfers have been recognized at their estimated fair value at the date of contribution. Developer contributed tangible capital assets and other transfers of \$3,918,000 (2017 - \$15,176,000) have been recognized during the year.

(c) Works of Art and Historic Assets

The City manages and controls various works of art and non-operational historic assets including buildings, artifacts, paintings and sculptures located at City sites and public display areas. These assets are not recorded in the consolidated financial statements of the City.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

8. TANGIBLE CAPITAL ASSETS (con't)

(d) Write-Down of Tangible Capital Assets

There were no write-downs of tangible capital assets during the current or prior year.

9. ACCUMULATED SURPLUS

| | 2018 | 2017 |
|------------------------------------------|------------|------------|
| Current Funds – general, water and sewer | \$ 35,877 | \$ 30,826 |
| Reserve fund | 112,153 | 91,918 |
| Capital fund | 414,696 | 392,524 |
| Accumulated surplus, end of year | \$ 562,726 | \$ 515,268 |

(a) Current Funds – general, water and sewer

| | 2018 | 2017 |
|-----------------|-----------|-----------|
| Appropriated: | | |
| General funds | \$ 14,162 | \$ 11,781 |
| Water fund | 1,096 | 761 |
| Sewer fund | 10,722 | 9,197 |
| Unappropriated: | | |
| General funds | 9,128 | 8,273 |
| Sewer funds | 745 | 814 |
| Water fund | 24 | - |
| | \$ 35,877 | \$ 30,826 |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

9. ACCUMULATED SURPLUS (con't)

(b) Reserve Funds

| | Balance December 31, 2017 | Contributions & Transfers | Earnings | Less Expenditures | Balance December 31, 2018 |
|--------------------------------------|------------------------------|------------------------------|----------|----------------------|------------------------------|
| Machinery and Equipment | | | | | |
| Engineering | \$ 3,577 | \$ 439 | \$ 146 | \$ 248 | \$ 3,914 |
| Fire | 175 | 716 | 37 | 224 | 704 |
| General | 103 | - | 18 | 22 | 99 |
| Computer | 1,079 | 38 | 30 | 586 | 561 |
| Building | 820 | - | 20 | 301 | 539 |
| Local Improvements | 782 | 5 | 23 | 5 | 805 |
| Affordable Housing | 4,299 | 467 | 132 | 30 | 4,868 |
| Tax Sale Lands | 33,668 | - | 1,921 | 661 | 34,928 |
| Waterworks | 6,229 | - | 181 | 366 | 6,044 |
| Parking | 405 | 70 | 13 | 298 | 190 |
| Civic Amenity | 35,961 | 29,753 | 2,662 | 13,605 | 54,771 |
| Justice Administration Accommodation | 151 | - | 4 | 13 | 142 |
| Streets DCC | - | 328 | - | 328 | - |
| Parks DCC | - | 3,695 | - | 3,695 | - |
| Lower Lonsdale Amenity | 546 | - | 9 | 485 | 70 |
| Lower Lonsdale Legacy | 2,661 | - | 76 | 77 | 2,660 |
| Infrastructure | 73 | - | 508 | 249 | 332 |
| Public Art | 437 | 95 | 14 | 44 | 502 |
| Marine Drive Community Amenity | 336 | - | 10 | - | 346 |
| Sustainable Transportation | 284 | 88 | 8 | 31 | 349 |
| Carbon Fund | 332 | 85 | 10 | 98 | 329 |
| Water DCC | - | - | - | - | - |
| Sanitary DCC | - | - | - | - | - |
| Drainage DCC | - | - | - | - | - |
| Total | \$ 91,918 | \$ 35,779 | \$ 5,822 | \$ 21,366 | \$ 112,153 |

(c) Capital Fund

| | 2018 | 2017 |
|-------------------------------------|-------------------|-------------------|
| Capital fund | | |
| Invested in tangible capital assets | \$ 402,540 | \$ 381,939 |
| Appropriated Capital funds | 12,156 | 10,585 |
| | <u>\$ 414,696</u> | <u>\$ 392,524</u> |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

10. CONTRACTUAL OBLIGATIONS

(a) Property Taxes

The City is obliged to levy, collect and remit property taxes on behalf of, and to finance the arrears of property taxes of, other bodies as follows:

| Collections for and remittances to other bodies | 2018 | 2017 |
|-------------------------------------------------|------------------|------------------|
| Provincial Government - Schools | \$ 36,026 | \$ 34,368 |
| Greater Vancouver Regional District | 1,340 | 1,152 |
| Greater Vancouver Transportation Authority | 7,992 | 7,572 |
| British Columbia Assessment Authority | 1,367 | 1,300 |
| Municipal Finance Authority | 6 | 5 |
| BIA Lower Lonsdale Society | 498 | 507 |
| | <u>\$ 47,229</u> | <u>\$ 44,904</u> |

(b) Pension Liability

The City and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2017, the plan has about 197,000 active members and approximately 95,000 retired members. Active members include approximately 39,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent valuation for the Municipal Pension Plan as at December 31, 2015, indicated a \$2,224 million funding surplus for basic pension benefits on a going concern basis. As a result of the 2015 basic account actuarial valuation surplus and pursuant to the joint trustee agreement, \$1,927 million was transferred to the rate stabilization account and \$297 million of the surplus ensured the required contribution rates remained unchanged.

The City paid \$4,112,000 (2017 - \$3,895,000) for employer contributions to the plan in fiscal 2018.

The next valuation will be as at December 31, 2018, with results available in 2019.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

(b) Pension Liability (con't)

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

(c) Contingent Liabilities

The City is currently engaged in or party to certain legal actions, assessment appeals and other existing conditions involving uncertainty which may result in material loss. A reasonable estimate of these future liabilities has been made where possible and is recorded in the financial statements as a liability. Where the outcomes of amounts or losses are uncertain, no amounts have been recorded.

(d) E-Comm

The City is a member of Emergency Communications for British Columbia, Incorporated ("E-Comm"), an organization comprised predominately of member municipalities, for the purpose of providing emergency dispatch services. The City is represented on the board and as a class "A" shareholder has voting rights should the organization want to incur additional debt.

The E-Comm facility was constructed using debt as a financing mechanism and members are liable for a proportionate share of that debt. This debt is repaid by members through annual fees charged by E-Comm. Should E-Comm dissolve, the members would be liable for a proportionate share of any residual debt. Alternatively, should members choose to opt out of E-Comm they would be liable for a proportionate share of debt at the time of withdrawal.

The City holds 2 class "A" shares and one class "B" share.

(e) Other contractual Obligations

During 2014 the City, in conjunction with the District of North Vancouver and the District of West Vancouver, entered into a new contract for recyclables collection for a period of five years commencing July 1, 2015. The City's portion of the annual contract costs is expected to be approximately \$1,100,000 for the years 2015 to 2020. The City is also eligible to receive an incentive from Multi-Materials BC (MMBC) of approximately \$65,000 per month (\$780,000 annually).

As at December 31, 2018 the City had entered into various construction contracts for a total outstanding value of \$13.5M

11. TRUST FUNDS

Certain assets have been conveyed or assigned to the City to be administered as directed by an agreement or statute. The City holds the assets for the benefit of, and stands in a fiduciary relationship to, the beneficiary. The Cemetery Trust Fund, totaling \$2,918,000 (2017 - \$2,750,000), which is administered by the City, has not been included with the City's accounts.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

12. SEGMENTED INFORMATION

The City is a diversified municipal government entity in the Province of British Columbia that provides a wide range of services to its citizens. Certain functional areas have been combined and separately disclosed in the segmented information. The segments and the services they provide are as follows:

General Government

General Government provides the administrative and legislative services that support the various sectors of the City. Functions include financial planning and reporting, economic development and legislative services.

Transportation and Transit

The Transportation department aims to provide enhanced access to public transit, safe pedestrian and cyclist routes, enable accessible transportation for people with limited mobility and maintain existing infrastructure. These goals are achieved through street design, traffic signals and signs, street lighting and road maintenance activities.

Health, Social Services and Housing

Health, Social Services and Housing encompasses a wide variety of City funded initiatives aimed at supporting the social structure and sustainability of the community. Included are cemetery operations, youth and family support services, seniors programs and homeless prevention initiatives.

Development Services

Development Services' focus is community planning, which includes land use guidelines, the management of City owned lands, heritage planning and development of the City's official community plan.

Protective Services

Protective Services is comprised of the North Vancouver RCMP detachment, the North Vancouver City Fire Department and bylaw enforcement. The North Vancouver RCMP detachment plays an integral role in the protection of North Vancouver residents and their property through crime prevention and detection, emergency response and victim services. The North Vancouver City Fire Department is responsible to provide fire suppression service, fire prevention services and fire safety education.

Parks, Recreation and Culture

Parks, Recreation and Culture provides access to recreation facilities, the operation and maintenance of the City's many parks and trails, the North Vancouver City Library and the City's participation in the North Vancouver Museum and Archives and the North Vancouver Office of Cultural Affairs.

Water Utilities

The Water Utility, in conjunction with Metro Vancouver, provides safe, clean, reliable water to the residents and businesses of the City of North Vancouver.

Sewer Utilities

The Sewer Utility collects waste water and transports it to trunk water mains and wastewater treatment plants operated by Metro Vancouver. In addition to the collection of wastewater, the Sewer Utility also manages the City's 150km storm sewerage system which diverts rainfall runoff from private property with an emphasis on flood prevention.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

12. SEGMENTED INFORMATION (con't)

Solid Waste

The Solid Waste department provides curbside garbage, recycling and yard trimmings collection to the residents of the City of North Vancouver.

| | Revenues | Expenses | | | | | | Annual Surplus(Deficit) |
|-------------------------------------|------------|---------------------|---------------------|-----------|--------------|-------------|------------|----------------------------|
| | | Wages & Benefits | Goods & Supplies | Services | Depreciation | Capitalized | Total | |
| General Government | \$ 107,070 | \$ 13,150 | \$ 3,113 | \$ 6,634 | \$ 4,580 | \$ (8,184) | \$ 19,293 | \$ 87,777 |
| Transportation and transit | 2,293 | 2,432 | 636 | 6,097 | 2,763 | (4,755) | 7,173 | (4,880) |
| Health, social services and housing | 441 | 453 | 84 | 2,100 | - | - | 2,637 | (2,196) |
| Development services | 8,622 | 5,601 | 47 | 278 | - | - | 5,926 | 2,696 |
| Protective Services | 1,683 | 17,493 | 850 | 6,600 | 637 | (261) | 25,319 | (23,636) |
| Parks, recreation and culture | 10,465 | 14,194 | 1,142 | 20,878 | 5,290 | (13,714) | 27,790 | (17,325) |
| Water utilities | 11,706 | 2,037 | 7,550 | 2,090 | 829 | (2,888) | 9,618 | 2,088 |
| Sewer utilities | 12,054 | 1,466 | 302 | 8,739 | 682 | (2,050) | 9,139 | 2,915 |
| Solid waste | 4,170 | 1,307 | 47 | 2,751 | 46 | - | 4,151 | 19 |
| 2018 | \$ 158,504 | \$ 58,133 | \$ 13,771 | \$ 56,167 | \$ 14,827 | \$ (31,852) | \$ 111,046 | \$ 47,458 |
| 2017 | \$ 146,514 | \$ 54,048 | \$ 15,615 | \$ 52,500 | \$ 13,967 | \$ (30,750) | \$ 105,380 | \$ 41,134 |

13. CONTRACTUAL RIGHTS

Contractual rights are rights to economic resources arising from contracts or agreements that will result in revenues and assets in the future. As at December 31, 2018 the significant contractual rights of the City consisted of developer contributions. These rights exist as the City has entered into a number of public works development agreements which require the developers to contribute various infrastructure assets to the City, including roads and underground utilities. The timing and extent of these future contributions vary depending on development activity and fair value of the assets received at time of contribution. The contributions will be recorded as revenue based on the fair value of the assets received at the time that the City assumes the risks and responsibilities related to the assets.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

14. BUDGET FIGURES

The budget figures presented in these consolidated financial statements are based upon the financial plan approved by Council as the Financial Plan for the Years 2018 to 2027 Bylaw, 2017, No. 8637 May 7, 2018. The table below reconciles the approved budget to the budget figures reported.

| | | Financial Plan Bylaw |
|--------------------------------------------------|----------------|-------------------------|
| Revenue per Statement of Operations | \$ | 107,848 |
| Less: | | |
| Budget Adjustments for Consolidation | (547) | |
| Transfers from Reserve | (1,843) | |
| Interagency Funds | <u>(4,752)</u> | (7,142) |
| Revenue per financial plan bylaw 8637 | | <u>100,706</u> |
| Expenses per Statement of Operations | | 107,793 |
| Add: | | |
| Transfer to other funds | | (2,203) |
| Less: | | |
| Budget Adjustments for Consolidation | 1,821 | |
| Interagency payments | <u>(4,752)</u> | (2,931) |
| Expenses per financial plan bylaw 8637 | | <u>102,659</u> |
| Deficit for the year | | (1,953) |
| Reserves and capital: | | |
| Capital expenditures | | (82,690) |
| Depreciation | | 13,900 |
| Equity | | (8,074) |
| Transfers from reserves | | 57,442 |
| External contributions | | <u>21,375</u> |
| Annual budgeted Surplus per financial plan bylaw | \$ | <u>-</u> |

The Corporation of the City of North Vancouver

2018 Statement of Financial Information

Financial Information Regulation, Schedule 1

Section 4 (4)

Section 5 (4)

Section 6 (2) (a)

Sections 6 (2) (b) & 6 (2) (c)

Section 6 (2) (d)

Sections 6 (7) (a) & 6 (7) (b)

Section 7 (1) (a)

Section 7 (1) (b)

Section 7 (1) (c)

Section 7 (2) (b)

Section 9 (2)

Sections 9 (3) & 9 (4)

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The Corporation of the City of North Vancouver
Schedule of debts
FIR Schedule 1, Section 4 (4)
2018

Information on the City of North Vancouver's debt is included in note 6 to the audited consolidated financial statements.

The Corporation of the City of North Vancouver
Schedule of guarantee and indemnity agreements
FIR Schedule 1, Section 5 (4)
2018

The City of North Vancouver's Bylaw 7714 authorizes the borrowing of Two Million Dollars (\$2,000,000) for the purpose of lending funds to the Lonsdale Energy Corporation, a municipal environment project providing heat energy and domestic hot water.

There is a loan agreement with the City of North Vancouver, Federation of Canadian Municipalities (FCM) and Municipal Finance Authority (MFA).

The British Columbia Photography and Media Arts Society entered into an agreement with a Canadian chartered bank for a demand construction bridge loan to a maximum of \$5 million for five years secured by a guarantee, expiring in February 2022, from the City of North Vancouver

The Corporation of the City of North Vancouver
Schedule of Remuneration and Expenses paid to Elected Officials
FIR Schedule 1, Section 6 (2) (a)
2018

| Elected Official | Remuneration | Benefits¹ | Car Allowance | Retirement Stipend | Subtotal | Expenses | Total |
|--------------------------------|---------------------|-----------------------------|----------------------|-------------------------------|------------------|------------------|------------------|
| Back, Holly | \$ 39,745 | \$ 2,267 | \$ - | \$ - | \$ 42,012 | \$ 11,775 | \$ 53,787 |
| Bell, Don | 39,745 | 431 | - | - | 40,176 | 10,872 | 51,048 |
| Bookham, Pamela | 35,309 | 1,201 | - | 45,880 | 82,390 | - | 82,390 |
| Buchanan, Linda | 47,523 | 1,919 | 1,102 | - | 50,544 | 5,708 | 56,252 |
| Clark, Rod | 35,309 | 1,595 | - | 36,461 | 73,365 | 8,159 | 81,524 |
| Girard, Angela | 4,590 | 161 | - | - | 4,751 | 431 | 5,182 |
| Hu, Tina | 4,590 | 279 | - | - | 4,869 | 643 | 5,512 |
| Keating, Craig | 35,309 | 1,989 | - | 59,424 | 96,722 | 6,270 | 102,992 |
| McIlroy, Jessica | 4,590 | 161 | - | - | 4,751 | 350 | 5,101 |
| Mussatto, Darrell ² | 95,142 | 3,467 | 8,486 | 122,138 | 229,233 | 9,282 | 238,515 |
| Valente, Antonio | 4,590 | 161 | - | - | 4,751 | 697 | 5,448 |
| Total | \$ 346,442 | \$ 13,631 | \$ 9,588 | \$ 263,903 | \$633,564 | \$ 54,187 | \$687,751 |

1. Includes taxable and the employer's portion of CPP.

2. The retirement stipend for Former Mayor Mussatto does not include \$27,258 deferred to 2019

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|------------------|----------------|---------------------|--------------------------|-----------------|-----------------|--------------|
| Adin | E | 90,930 | 370 | 91,300 | 403 | 91,703 |
| Anderson | T | 69,869 | 7,759 | 77,628 | 1,144 | 78,772 |
| Antoniali | S | 121,739 | 325 | 122,064 | - | 122,064 |
| Apperley | M | 100,394 | 7,215 | 107,609 | 1,575 | 109,184 |
| Arnold | D | 88,975 | 19,835 | 108,810 | 75 | 108,885 |
| Ashley | J | 101,785 | 10,307 | 112,092 | - | 112,092 |
| Askraba | G | 81,750 | 1,946 | 83,696 | 221 | 83,917 |
| Bartleman | A | 105,562 | - | 105,562 | 441 | 106,003 |
| Beaupre | L | 79,989 | 1,301 | 81,290 | 347 | 81,637 |
| Beckett | D | 119,588 | 6,476 | 126,064 | 654 | 126,718 |
| Bench | C | 86,590 | 173 | 86,763 | 985 | 87,748 |
| Berg | D | 74,152 | 7,961 | 82,113 | 150 | 82,263 |
| Biggin | D | 110,788 | 170 | 110,958 | 1,993 | 112,951 |
| Bjarnason | E | 70,884 | 21,241 | 92,125 | - | 92,125 |
| Boivin | L | 96,760 | 87 | 96,847 | 954 | 97,801 |
| Boone | W | 86,352 | 84 | 86,436 | 1,421 | 87,857 |
| Borland | J | 95,363 | 954 | 96,317 | 759 | 97,076 |
| Bosa | S | 97,903 | 5,154 | 103,057 | 1,152 | 104,209 |
| Bovill | J | 109,274 | 40 | 109,314 | 1,236 | 110,550 |
| Bradley | T | 127,163 | 2,590 | 129,753 | 1,524 | 131,277 |
| Braithwaite | J | 88,476 | 2,633 | 91,109 | 82 | 91,191 |
| Brini | A | 67,330 | 17,988 | 85,318 | - | 85,318 |
| Brodtrick | J | 100,147 | 515 | 100,662 | - | 100,662 |
| Brown | S | 110,025 | - | 110,025 | 1,385 | 111,410 |
| Browne | R | 92,399 | 2,156 | 94,555 | 3,685 | 98,240 |
| Brownie | R | 93,193 | - | 93,193 | 75 | 93,268 |
| Budgell | J | 77,890 | 5,158 | 83,048 | 1,448 | 84,496 |
| Buitenhuis | J | 88,711 | 768 | 89,479 | 147 | 89,626 |
| Burak | R | 102,349 | 6,389 | 108,738 | 499 | 109,237 |
| Burgess | B | 85,442 | - | 85,442 | 356 | 85,798 |
| Caldwell | A | 77,731 | 16 | 77,747 | 3,712 | 81,459 |
| Cameron | D | 81,825 | - | 81,825 | 315 | 82,140 |
| Chan | K | 116,140 | - | 116,140 | 4,429 | 120,569 |
| Chand | N | 146,907 | 19,523 | 166,430 | 2,687 | 169,117 |
| Charlton | R | 52,073 | 34,681 | 86,754 | 382 | 87,136 |
| Chong | L | 96,328 | - | 96,328 | 941 | 97,269 |
| Chu | D | 84,139 | - | 84,139 | - | 84,139 |
| Chu | K | 84,235 | 1,604 | 85,839 | 37 | 85,876 |
| Clarke | R | 64,033 | 11,847 | 75,880 | 260 | 76,140 |
| Cohan | J | 89,779 | 1,303 | 91,082 | - | 91,082 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|----------------------|----------------|---------------------|------------------------------|-----------------|-----------------|--------------|
| Cook | T | 79,675 | - | 79,675 | 360 | 80,035 |
| Cooper | D | 91,647 | 5,969 | 97,616 | 0 | 97,616 |
| Craig | R | 81,833 | 34,417 | 116,250 | - | 116,250 |
| Crookes | R | 75,558 | 11 | 75,569 | 195 | 75,764 |
| Cullen | R | 101,870 | 3,189 | 105,059 | 499 | 105,558 |
| Curtin | M | 95,186 | - | 95,186 | - | 95,186 |
| Dale | A | 87,708 | - | 87,708 | 212 | 87,920 |
| Danks | M | 114,810 | 671 | 115,481 | - | 115,481 |
| Danks | G | 121,286 | 17 | 121,303 | 1,600 | 122,903 |
| Day | K | 109,594 | 3,389 | 112,983 | 475 | 113,458 |
| De La Cruz Polanco | J | 78,581 | 771 | 79,352 | - | 79,352 |
| de Roy Van Zuydewijn | J | 139,617 | 7,377 | 146,994 | 6,032 | 153,026 |
| De Ruiter | J | 142,518 | 952 | 143,470 | 1,046 | 144,516 |
| Dempster | A | 81,871 | 1,571 | 83,442 | 387 | 83,829 |
| Dexel | K | 76,092 | - | 76,092 | - | 76,092 |
| Di Spirito | D | 121,138 | 7,591 | 128,729 | - | 128,729 |
| Dickson | S | 108,162 | 2,493 | 110,655 | 626 | 111,281 |
| Dickson | D | 122,616 | 4,986 | 127,602 | 801 | 128,403 |
| Dorey | D | 126,528 | - | 126,528 | 645 | 127,173 |
| Drobny | M | 106,746 | 2,716 | 109,462 | - | 109,462 |
| Dyer | S | 75,903 | 3 | 75,906 | 366 | 76,272 |
| Easton | S | 113,263 | 318 | 113,581 | - | 113,581 |
| Easton | A | 124,322 | 108 | 124,430 | 600 | 125,030 |
| Elliott | G | 94,584 | 1,614 | 96,198 | 4,216 | 100,414 |
| Epp | M | 170,121 | 5,191 | 175,312 | 613 | 175,925 |
| Evans | H | 99,389 | - | 99,389 | 503 | 99,892 |
| Fabert | U | 119,819 | - | 119,819 | 2,822 | 122,641 |
| Fernandes | C | 113,140 | 82 | 113,222 | 1,576 | 114,798 |
| Ficocelli | J | 124,202 | - | 124,202 | - | 124,202 |
| Foldi | D | 120,965 | - | 120,965 | 2,291 | 123,256 |
| Fraser | S | 130,025 | - | 130,025 | 4,854 | 134,879 |
| Friesen | M | 80,558 | 319 | 80,877 | 2,592 | 83,469 |
| Fudge | N | 82,367 | 2,808 | 85,175 | 1,050 | 86,225 |
| Galloway | S | 135,336 | - | 135,336 | 8,928 | 144,264 |
| Garber | L | 128,331 | - | 128,331 | 2,370 | 130,701 |
| Garden | S | 104,024 | 166 | 104,190 | 476 | 104,666 |
| Garma | K | 74,354 | - | 74,354 | 1,445 | 75,799 |
| Gilfoil | R | 81,735 | 3 | 81,738 | 250 | 81,988 |
| Gill | R | 72,359 | 6,565 | 78,924 | 38 | 78,962 |
| Gillespie | T | 97,739 | 5,154 | 102,893 | - | 102,893 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|------------------|----------------|---------------------|------------------------------|-----------------|-----------------|--------------|
| Graham | K | 158,411 | 876 | 159,287 | 5,620 | 164,907 |
| Green | B | 82,061 | 813 | 82,874 | 1,045 | 83,919 |
| Green | K | 99,370 | 486 | 99,856 | 150 | 100,006 |
| Greenlees | R | 119,612 | - | 119,612 | 827 | 120,439 |
| Gusdal | G | 118,476 | 8,957 | 127,433 | 1,226 | 128,659 |
| Hall | J | 84,234 | 115 | 84,349 | 650 | 84,999 |
| Hallaway | M | 99,034 | - | 99,034 | - | 99,034 |
| Harrison | M | 79,869 | 2,522 | 82,391 | - | 82,391 |
| Harrison | A | 84,523 | - | 84,523 | 649 | 85,172 |
| Hart | F | 84,819 | 1,373 | 86,192 | 312 | 86,504 |
| Hathaway | R | 99,976 | - | 99,976 | 3,461 | 103,437 |
| Hawkshaw | D | 115,556 | 7,520 | 123,076 | 520 | 123,596 |
| Head | J | 75,103 | - | 75,103 | - | 75,103 |
| Hennigar | K | 102,066 | - | 102,066 | 464 | 102,530 |
| Hickey | P | 79,975 | 840 | 80,815 | - | 80,815 |
| Hofilena | G | 101,249 | - | 101,249 | 2,172 | 103,421 |
| Holm | M | 99,651 | - | 99,651 | 1,628 | 101,279 |
| Howard | R | 93,163 | 158 | 93,321 | 424 | 93,745 |
| Huang | J | 77,208 | - | 77,208 | 729 | 77,937 |
| Hudson | J | 108,916 | 774 | 109,690 | 556 | 110,246 |
| Hunter | M | 145,336 | 156 | 145,492 | 2,019 | 147,511 |
| Hurley | B | 80,839 | 2,439 | 83,278 | 50 | 83,328 |
| Jackson | C | 92,134 | 553 | 92,687 | 514 | 93,201 |
| Jefferson | M | 166,400 | 30,701 | 197,101 | 2,986 | 200,087 |
| Johal | B | 75,342 | 2 | 75,344 | 195 | 75,539 |
| Johnson | D | 99,554 | 203 | 99,757 | - | 99,757 |
| Johnson | M | 76,742 | 23,970 | 100,712 | 102 | 100,814 |
| Johnson | B | 103,749 | - | 103,749 | 2,018 | 105,767 |
| Kelso | M | 114,347 | 1,468 | 115,815 | - | 115,815 |
| Kilmartin | T | 100,146 | - | 100,146 | - | 100,146 |
| Kirkpatrick | N | 114,045 | - | 114,045 | 4,551 | 118,596 |
| Klochnyk | J | 134,538 | - | 134,538 | - | 134,538 |
| Ko | N | 85,359 | - | 85,359 | 971 | 86,330 |
| Kral | L | 105,431 | 3,012 | 108,443 | 1,277 | 109,720 |
| Kuzmanovski | K | 105,605 | - | 105,605 | - | 105,605 |
| Lamb | S | 80,532 | 661 | 81,193 | 2,236 | 83,429 |
| Lemanski | C | 113,223 | 207 | 113,430 | 801 | 114,231 |
| Lentsch | T | 102,698 | 56 | 102,754 | 900 | 103,654 |
| Leung | R | 76,221 | - | 76,221 | 953 | 77,174 |
| Lindsay | S | 85,920 | 7,453 | 93,373 | 450 | 93,823 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|------------------|----------------|---------------------|------------------------------|-----------------|-----------------|--------------|
| Lovely | A | 79,874 | - | 79,874 | 763 | 80,637 |
| Low | W | 82,066 | 2,736 | 84,802 | 227 | 85,029 |
| Macdonald | E | 76,198 | 205 | 76,403 | 635 | 77,038 |
| Macdonald | C | 77,051 | - | 77,051 | 15 | 77,066 |
| Mackay | J | 66,092 | 9,219 | 75,311 | 330 | 75,641 |
| Mackay | M | 107,421 | 5,625 | 113,046 | 600 | 113,646 |
| Magnusson | K | 161,642 | - | 161,642 | 56 | 161,698 |
| Maillie | D | 118,947 | 528 | 119,475 | - | 119,475 |
| Majano | A | 122,792 | 65 | 122,857 | 1,388 | 124,245 |
| Malagoli | F | 75,409 | - | 75,409 | - | 75,409 |
| Mara | R | 120,065 | - | 120,065 | 2,361 | 122,426 |
| Mason | W | 81,143 | 4,096 | 85,239 | - | 85,239 |
| Matsubara | D | 124,299 | 130 | 124,429 | 1,000 | 125,429 |
| McCann | D | 81,976 | 2,061 | 84,037 | 339 | 84,376 |
| McCarthy | L | 89,277 | - | 89,277 | 13,147 | 102,424 |
| McCutcheon | J | 106,761 | - | 106,761 | 350 | 107,111 |
| McEachern | K | 88,819 | - | 88,819 | 54 | 88,873 |
| McNaughton | G | 66,267 | 8,672 | 74,939 | 150 | 75,089 |
| Mitic | D | 59,677 | 21,558 | 81,235 | 2,466 | 83,701 |
| Moberg | B | 93,785 | 10,219 | 104,004 | 1,184 | 105,188 |
| Moon | J | 118,227 | - | 118,227 | 613 | 118,840 |
| Munro | G | 140,839 | - | 140,839 | 3,445 | 144,284 |
| Murphy | K | 94,628 | 68 | 94,696 | 5,769 | 100,465 |
| Naab | K | 89,834 | 15,229 | 105,063 | 12 | 105,075 |
| Negenman | A | 78,558 | 1,920 | 80,478 | 1,267 | 81,745 |
| Nelson | L | 99,749 | 11,338 | 111,087 | 1,964 | 113,051 |
| Nichols | C | 129,865 | 19,017 | 148,882 | 3,330 | 152,212 |
| Oliver | J | 84,204 | 128 | 84,332 | 481 | 84,813 |
| Orr | L | 142,179 | - | 142,179 | 2,006 | 144,185 |
| Owens | D | 145,787 | 476 | 146,263 | 2,433 | 148,696 |
| Pacheco | J | 100,484 | 4 | 100,488 | 2,203 | 102,691 |
| Parker | L | 118,137 | 8,284 | 126,421 | 1,711 | 128,132 |
| Payne | A | 107,582 | 115 | 107,697 | - | 107,697 |
| Pearce | B | 181,272 | - | 181,272 | 487 | 181,759 |
| Peel | M | 91,266 | 312 | 91,578 | 3,570 | 95,148 |
| Perry | C | 39,705 | 48,874 | 88,579 | 332 | 88,911 |
| Peters | J | 78,613 | 7,666 | 86,279 | 788 | 87,067 |
| Pichler | E | 91,123 | - | 91,123 | 740 | 91,863 |
| Piechota | K | 100,187 | 825 | 101,012 | 860 | 101,872 |
| Pistilli | D | 198,171 | 31,777 | 229,948 | 5,573 | 235,521 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|------------------|----------------|---------------------|------------------------------|-----------------|-----------------|--------------|
| Pollock | B | 99,159 | - | 99,159 | 843 | 100,002 |
| Polman | J | 121,474 | 7,596 | 129,070 | - | 129,070 |
| Pope | D | 199,145 | - | 199,145 | 517 | 199,662 |
| Price | D | 76,583 | 138 | 76,721 | 319 | 77,040 |
| Priestley | D | 97,605 | 22,510 | 120,115 | 1,382 | 121,497 |
| Rabold | C | 130,932 | 1,938 | 132,870 | 407 | 133,277 |
| Rasmussen | D | 93,790 | - | 93,790 | 191 | 93,981 |
| Rawlings | F | 86,016 | 555 | 86,571 | 3 | 86,574 |
| Reinhold | H | 149,657 | - | 149,657 | 59 | 149,716 |
| Reiss | S | 79,271 | 309 | 79,580 | 2,904 | 82,484 |
| Richards | P | 91,264 | - | 91,264 | 1,199 | 92,463 |
| Ring | D | 82,148 | 66 | 82,214 | 175 | 82,389 |
| Roberts | A | 100,363 | 2,061 | 102,424 | 77 | 102,501 |
| Rohan | C | 87,625 | 6,346 | 93,971 | 279 | 94,250 |
| Rozairo | G | 95,485 | - | 95,485 | 14,215 | 109,700 |
| Ryce | T | 127,982 | 102 | 128,084 | 1,979 | 130,063 |
| Savage | R | 80,811 | - | 80,811 | 407 | 81,218 |
| Schalk | G | 142,405 | 5,464 | 147,869 | 4,731 | 152,600 |
| Schmidt | T | 93,137 | - | 93,137 | 624 | 93,761 |
| Sedun | S | 78,644 | 3,607 | 82,251 | 350 | 82,601 |
| Sellars | J | 104,797 | 651 | 105,448 | 4,256 | 109,704 |
| Shaughnessy | M | 107,788 | 2,532 | 110,320 | - | 110,320 |
| Sheel | J | 110,999 | 88 | 111,087 | 687 | 111,774 |
| Sherwood | D | 73,811 | 12,425 | 86,236 | 117 | 86,353 |
| Siegmann | R | 128,339 | 14 | 128,353 | 2,056 | 130,409 |
| Siemens | J | 93,467 | - | 93,467 | 986 | 94,453 |
| Skene | R | 136,171 | - | 136,171 | - | 136,171 |
| So | E | 109,125 | 409 | 109,534 | 1,116 | 110,650 |
| Sommers | J | 101,549 | 9 | 101,558 | 854 | 102,412 |
| Staebling | A | 84,705 | 940 | 85,645 | 6,074 | 91,719 |
| Stevenson | M | 120,623 | 13,008 | 133,631 | 515 | 134,146 |
| Steward | I | 88,465 | 84 | 88,549 | 1,601 | 90,150 |
| Stirling | L | 94,237 | - | 94,237 | 198 | 94,435 |
| Strubin | C | 104,487 | 22 | 104,509 | 499 | 105,008 |
| Sutherland | S | 87,739 | - | 87,739 | 1,109 | 88,848 |
| Sutherland | M | 103,621 | - | 103,621 | - | 103,621 |
| Svancara | J | 82,021 | - | 82,021 | 1,425 | 83,446 |
| Sweeney | E | 119,203 | 130 | 119,333 | 7,603 | 126,936 |
| Tang | B | 100,076 | - | 100,076 | - | 100,076 |
| Tang | I | 136,102 | 3,749 | 139,851 | 1,180 | 141,031 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Schedule of Employee Remuneration and Expenses
FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c)
2018

| Last Name | Initial | Remuneration | One-Time Payments | Subtotal | Expenses | Total |
|----------------------------------------------------------|----------------|---------------------|--------------------------|-------------------|-----------------|-------------------|
| Themens | B | 196,808 | 17,613 | 214,421 | 1,778 | 216,199 |
| Tollstam | K | 199,287 | 241,220 | 440,507 | 4,882 | 445,389 |
| Townsend | T | 102,817 | 10,822 | 113,639 | 43 | 113,682 |
| Trinkl | G | 84,670 | - | 84,670 | 806 | 85,476 |
| Trinkl | M | 89,193 | 20,757 | 109,950 | 413 | 110,363 |
| Tse | W | 95,168 | 18 | 95,186 | 1,827 | 97,013 |
| Turner | D | 127,313 | - | 127,313 | 1,938 | 129,251 |
| Urbani | J | 97,642 | 404 | 98,046 | 428 | 98,474 |
| Vafi | K | 81,488 | - | 81,488 | - | 81,488 |
| Van Born | S | 124,083 | 2,959 | 127,042 | 600 | 127,642 |
| Vanderhoek | M | 86,061 | - | 86,061 | 990 | 87,051 |
| Vanderhoek | S | 96,314 | - | 96,314 | 495 | 96,809 |
| Vargas | L | 120,853 | - | 120,853 | 1,328 | 122,181 |
| Vasilevich | A | 100,198 | - | 100,198 | 2,873 | 103,071 |
| Walsoff | L | 78,499 | - | 78,499 | 50 | 78,549 |
| Ward | A | 99,208 | 2,061 | 101,269 | 341 | 101,610 |
| Watson | D | 84,171 | 6,048 | 90,219 | 3,378 | 93,597 |
| Waugh | M | 100,844 | 2,061 | 102,905 | 150 | 103,055 |
| Wen | V | 113,604 | 1,141 | 114,745 | 2,821 | 117,566 |
| White | D | 100,644 | 16,326 | 116,970 | - | 116,970 |
| Wilkinson | B | 91,194 | 756 | 91,950 | - | 91,950 |
| Williams | M | 85,501 | 3,607 | 89,108 | 1,239 | 90,347 |
| Willock | B | 136,597 | 476 | 137,073 | 6,045 | 143,118 |
| Wilson | S | 80,761 | - | 80,761 | - | 80,761 |
| Wilson | C | 80,439 | 2,277 | 82,716 | - | 82,716 |
| Wood | S | 79,951 | - | 79,951 | 765 | 80,716 |
| Yu | A | 73,647 | 4,018 | 77,665 | 314 | 77,979 |
| Zander | S | 112,393 | 59 | 112,452 | 1,305 | 113,757 |
| Zhang | E | 77,241 | - | 77,241 | 1,727 | 78,968 |
| Subtotal | | 23,249,348 | 1,020,858 | 24,270,206 | 283,920 | 24,554,126 |
| Consolidated total of employees earning \$75,000 or less | | 16,256,645 | 462,491 | 16,719,136 | 91,846 | 16,810,982 |
| Total | | 39,505,993 | 1,483,349 | 40,989,342 | 375,766 | 41,365,108 |

Notes:

1. Per FIR, Schedule 1, subsection 6(1), remuneration is defined as "any form of salary, wages, bonuses, gratuities, taxable benefits, payment into trust or any form of income deferral paid by the corporation to the employee or on behalf of the employee during the fiscal year being reported upon, whether or not such remuneration is reported under the Income Tax Act (Canada), but does not include anything payable under a severance agreement. Excludes one-time payments referenced in Note 2.

2. Includes one-time payments such as prior year vacation for exempt (non union) employees as part of Council's policy.

The Corporation of the City of North Vancouver
Reconciliation between total remuneration & financial statements
FIR Schedule 1, Section 6 (2) (d)
2018

| | |
|--------------------------------------------------------------------------------------|---------------------|
| FIR Schedule 1, Section 6 (2) (a) - Remuneration paid to elected officials | \$ 633,564 |
| FIR Schedule 1, Section 6 (2) (b) and 6 (2) (c) - Employee Remuneration | 40,989,342 |
| Total City of North Vancouver Remuneration | <hr/> 41,622,906 |
| <u>Reconciling items</u> | |
| Add: | |
| Related Party Salaries and Benefits: | |
| City of North Vancouver Library | 3,043,312 |
| North Vancouver Recreation Commission | 7,009,987 |
| City of North Vancouver non-taxable benefits | 7,053,267 |
| Salary, retro wages accruals | (446,652) |
| Post employment benefits | 723,100 |
| Other net adjustments | 134,931 |
| Workers' Compensation Board net of recoveries | 449,068 |
| Subtract: | |
| Recoveries: | |
| District of North Vancouver share of Museum and Archives Commission | (392,736) |
| District of North Vancouver for share of Police Support Services Salaries & Benefits | (85,751) |
| Staff recoveries | (978,434) |
| Wages and Benefits per consolidated financial statements note 12 | <hr/> \$ 58,133,000 |

**The Corporation of the City of North Vancouver
Statement of Severance Agreements
FIR Schedule 1, Section 6 (7) (a) & (b)
2018**

There were four severance agreements under which payment commenced between The Corporation of the City of North Vancouver and its non-unionized employees during fiscal year 2018.

- One to seven months lump sum payment

The severance agreement payment was determined on salary only. The Statement of Severance Agreements reflects the full amount of payments for City employees who are cost shared with external parties.

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|----------------------------------------|----------------|
| AIRMAX AIR PURIFICATION SYSTEM | 45,870 |
| ANCAN MARKETING | 53,182 |
| ANDREW SHERET LTD | 384,684 |
| ANNEX PRO INC. | 53,457 |
| ANSAN INDUSTRIES LTD | 268,788 |
| AON REED STENHOUSE INC | 607,008 |
| ASSOCIATED FIRE SAFETY EQUIPMENT | 49,530 |
| ASTROGRAPHIC INDUSTRIES LTD | 73,687 |
| AVENUE MACHINERY CORP | 32,564 |
| AXIS TECHNICAL SERVICES CORP. | 78,422 |
| BA BLACKTOP LTD | 3,971,406 |
| BAILEY ENVIRONMENTAL CONSULTING | 44,117 |
| BC HYDRO | 831,615 |
| BDO CANADA LLP | 74,535 |
| BELL MOBILITY INC. | 65,643 |
| BILL PETERS CONSULTING | 25,712 |
| BIRDSEYE OFFICE | 108,619 |
| BOYDEN VANCOUVER | 85,568 |
| BROOKS CORNING COMPANY | 126,682 |
| BUNZL CANADA | 41,578 |
| CANADA POST CORPORATION | 37,499 |
| CANADA SPRING MFG. (1988) INC | 26,221 |
| CANADIAN LINEN AND UNIFORM SERVICE | 37,605 |
| CANADIAN TURNER CONSTRUCTION COMPANY | 729,537 |
| CANSEL SURVEY EQUIPMENT INC (CANSEL) | 62,150 |
| CARE PEST AND WILDLIFE CONTROL LTD | 31,185 |
| CARSCADDEN STROKES MCDONALD ARCHITECTS | 202,524 |
| CASCADE WEAR LTD | 41,784 |
| CDW CANADA | 43,804 |
| CITY OF NORTH VANCOUVER | 32,942 |
| CITY OF SURREY | 247,495 |
| CITY OF VANCOUVER | 40,004 |
| CITY SPACES | 48,027 |
| COBRA ELECTRIC | 879,272 |
| COMMISSIONAIRES BC | 110,823 |
| COMMUNITY FIRE PREVENTION | 110,348 |
| COQUITLAM CONCRETE (1993) LTD | 98,516 |
| CORE PROJECT MANAGEMENT | 67,364 |

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|------------------------------------------|----------------|
| COROLIS CONSULTING CORPORATION | 30,499 |
| CORIX WATER PRODUCTS LP | 123,412 |
| CORPORATE EXPRESS CANADA INC | 88,490 |
| COWI NORTH AMERICA LTD. | 845,454 |
| CREATIVE TRANSPORTATION SOLUTIONS LTD | 32,920 |
| DAN-EX CONTRACTING LTD. | 81,507 |
| DATAFIX COMPRINT SYTSEMS INC. | 27,285 |
| DELTA SIERRA CONSTRUCTION | 103,251 |
| DIAMOND PRE-CAST CONCRETE LTD | 30,148 |
| DIAMOND SCHMITT ARCHITECTS | 39,840 |
| DIRECT COMMUNICATIONS MARKETING LTD. | 26,208 |
| DISTRICT OF NORTH VANCOUVER | 381,879 |
| DISTRICT OF WEST VANCOUVER | 1,092,421 |
| DMD AND ASSOCIATES LTD | 79,702 |
| DOMINION SELF-PARK SYSTEMS LTD | 47,355 |
| DONNELLY & ASSOCIATES EVENT MARKETNG INC | 29,250 |
| DRC MECHANICAL | 32,519 |
| DUNSKY ENERGY CONSULTING | 26,130 |
| E-COMM | 283,145 |
| ECONOLITE CANADA INC. | 31,735 |
| ELECTION SYSTEMS & SOFTWARE CANADA, ULC | 39,564 |
| ENTIRE BUILDING SERVICES LTD. | 92,138 |
| ENVIROSAFETY INC. | 25,240 |
| ENVIRO-VAC | 29,060 |
| ESC AUTOMATION INC | 44,446 |
| ESRI CANADA LTD | 40,505 |
| EUROVIA BC INC | 91,731 |
| EVERGREEN | 28,000 |
| EXECUTIVE AIR CONDITIONING & | 36,904 |
| FINNING INTERNATIONAL INC. | 35,890 |
| FORTIS BC ENERGY INC. | 60,231 |
| FORTTRAN TRAFFIC SYSTEMS LTD | 30,293 |
| FRED SURRIDGE LTD | 262,376 |
| GARY PENWAY CONSULTING | 62,354 |
| GREAT NORTHERN ENGINEERING CONSULTANTS | 35,595 |
| GREATER VANCOUVER SEWERAGE AND DRAINAGE | 546,320 |
| GREATER VANCOUVER WATER DISTRICT | 6,605,847 |
| GUILLEVIN INTERNATIONAL CO | 38,463 |

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|--------------------------------------|----------------|
| HABITAT SYSTEMS INC | 128,756 |
| HAEBLER CONSTRUCTION PROJECTS INC. | 1,281,494 |
| HAPA COLLABORATIVE | 50,429 |
| HCMA ARCHITECTURE + DESIGN | 1,877,436 |
| HEADWATER MANAGEMENT LTD. | 69,143 |
| HERITAGE OFFICE FURNISHINGS LTD | 40,417 |
| HI-LITE TRUCK ACCESSORIES LTD | 44,727 |
| HOBBS, WINTER AND MACDONALD | 28,720 |
| HORSESHOE STAR HOLDINGS LTD | 26,853 |
| IMAGE GROUP INC. | 28,248 |
| INFOR (CANADA), LTD. | 292,443 |
| INTERPROVINCIAL TRAFFIC SERVICES LTD | 40,026 |
| ISL ENGINEERING & LAND SERVICES LTD. | 310,180 |
| JACK CEWE LTD. | 57,214 |
| JIFFY JOHN RENTALS LTD | 25,480 |
| JIM PATTISON HYUNDAI NORTHSHORE | 34,152 |
| JIM WILES AND SON LTD | 165,889 |
| KAL TIRE | 40,574 |
| KEI SPACE | 199,754 |
| KERR WOOD LEIDAL ASSOCIATES LTD | 95,128 |
| KGC FIRE RESCUE INC | 64,383 |
| LAFARGE CANADA INC | 2,860,177 |
| LASER VALLEY TECHNOLOGIES CORP. | 54,805 |
| LEHIGH HANSON | 53,388 |
| LIDSTONE & COMPANY | 211,582 |
| LMLTD HOLDINGS CORP | 67,454 |
| LONSDALE ENERGY CORP | 215,680 |
| MAINROAD MAINTENANCE PRODUCTS | 92,310 |
| MANCORP INDUSTRIAL SALES LTD | 29,980 |
| MANULIFE FINANCIAL | 34,794 |
| MAR-TECH UNDERGROUND SERVICES LTD | 48,563 |
| MCRAE'S ENVIRONMENTAL SERVICES LTD | 428,271 |
| METRO MOTORS LTD | 492,449 |
| METRO VANCOUVER | 5,783,049 |
| MICROSOFT LICENSING GP:WRC-CA | 199,560 |
| MOTT MACDONALD CANADA LTD. | 303,729 |
| MS BUSINESS DESK CAD | 40,082 |
| MUNICIPAL PENSION PLAN | 3,897,584 |

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|------------------------------------------|----------------|
| MURRIN CONSTRUCTION LTD | 106,361 |
| NAPA NORTH VANCOUVER | 38,973 |
| NGS CONTRACTING | 92,251 |
| NORTH SHORE NEWS | 66,464 |
| NORTH VANCOUVER CHAMBER OF COMMERCE | 33,113 |
| NORTH VANCOUVER COMMUNITY ARTS COUNCIL | 30,410 |
| NORTH VANCOUVER RECREATION COMMISSION | 68,253 |
| NORTHWEST KENNELS & DAYCARE | 32,493 |
| NORTON ROSE FULBRIGHT CANADA LLP | 335,498 |
| NOVACOM BUILDING PARTNERS LTD. | 25,110 |
| OFFICE TEAM | 39,902 |
| OPENTEXT | 53,823 |
| ORACLE CANADA ULC | 113,470 |
| ORKIN CANADA CORPATION | 26,273 |
| PACIFIC BLUE CROSS | 1,329,507 |
| PACIFIC FLOW CONTROL LTD. | 49,234 |
| PACIFICOAST LABELS INC. | 25,972 |
| PARKLAND REFINING (B.C.) LTD. | 358,829 |
| PETER BURNS WINDOWS | 56,159 |
| PFS STUDIO | 180,119 |
| PHOENIX RESTORATIONS LTD. | 61,128 |
| PIKA PUMP AND COMPRESSOR SERVICES LTD | 28,477 |
| PINNACLE INT'L REALTY GROUP II INC. | 84,262 |
| PITNEYWORKS | 43,896 |
| POLYGON PROMENADE AT THE QUAY HOMES | 77,922 |
| PRESENTATION HOUSE THEATRE | 34,940 |
| PROSCENIUM ARCHITECTURE & INTERIORS INC. | 30,433 |
| PW TRENCHLESS CONSTRUCTION INC. | 144,544 |
| RARE EARTH RECREATIONAL DEVELOPMENTS INC | 25,855 |
| RAY CONTRACTING LTD | 53,200 |
| RAYBERN ERECTORS LTD. | 48,832 |
| RESOURCE PLANNING GROUP INC. | 175,243 |
| RECEIVER GENERAL FOR CANADA | 11,735,701 |
| RF BINNIE AND ASSOCIATES LTD | 73,796 |
| RFS CANADA | 25,779 |
| RICOH CANADA INC | 62,348 |
| ROADWAY TRAFFIC PRODUCTS LTD. | 28,896 |
| ROBERTSON ELECTRIC WHOLESALE | 334,040 |

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|------------------------------------------|----------------|
| ROLLINS MACHINERY LTD | 40,998 |
| ROSE SECURITY SERVICES INC | 62,041 |
| ROSS MORRISON ELECTRICAL LTD | 56,289 |
| SCALAR DECISIONS INC. | 111,100 |
| SCOOPY'S DOG WASTE REMOVAL SERVICE | 46,763 |
| SCOTTISH LINE PAINTING LTD | 47,904 |
| SECURIWORLD CANADA SECURITY SERVICES INC | 30,706 |
| SHERINE INDUSTRIES LTD | 28,898 |
| SIRSIDYNIX (CANADA) INC. | 38,920 |
| SOFTCHOICE LP. | 38,292 |
| SOUTH COAST BC TRANSPORT AUTHORITY | 25,141 |
| SQUAMISH FIRST NATION | 3,695,888 |
| STANDARD BUILDING SUPPLY | 47,251 |
| STRYKER CANADA | 27,384 |
| SUPER SAVE DISPOSAL INC | 54,372 |
| SUPERIOR CITY SERVICES LTD | 96,553 |
| TELUS COMMUNICATIONS INC | 92,994 |
| TELUS MOBILITY | 106,450 |
| TETRA TECH EBA INC. | 66,700 |
| THE SHIPYARDS DEVELOPMENT LTD. | 4,393,591 |
| TREEN SAFETY (WORKSAFE) INC. | 35,302 |
| TRIPLE M TRANSPORT LTD. | 26,123 |
| TRIPLE THREE TRADING LTD | 31,249 |
| TRUEPOINT SOLUTIONS, LLC | 198,747 |
| TUPPER LANDSCAPING INC | 60,347 |
| TWILIGHT MARKETS LTD | 71,650 |
| URBAN ARTS ARCHITECTURE | 104,520 |
| URBAN FORUM ASSOCIATES | 41,108 |
| URBAN SAWING AND SCANNING CO LTD | 89,027 |
| URBAN SYSTEMS | 189,429 |
| VADIM COMPUTER MANAGEMENT GROUP LTD | 29,708 |
| VAN-KEL BURNABY #801 | 38,602 |
| VANPORT ENTERPRISES LTD | 81,706 |
| WATER STREET ENGINEERING LTD. | 35,058 |
| WESTERN WATERSHED DESIGNS INC. | 903,604 |
| WESTERN WEED CONTROL (1980) LTD | 29,100 |
| WESTERRA EQUIPMENT LP | 30,206 |
| WESTLAND INSURANCE GROUP LTD. | 204,227 |

**The Corporation of the City of North Vancouver
Schedule of Suppliers of Goods and Services
FIR Schedule 1, Section 7 (1) (a) and (b)
2018**

| Vendor | Payment |
|-----------------------------------------------------|-------------------|
| WESTVIEW SALES LTD | 25,909 |
| WHENTHEN EDUCATION SERVICES LTD. | 41,858 |
| WHITELAW TWINING LAW CORPORATION | 25,509 |
| WORKER'S COMPENSATION BOARD | 651,904 |
| YEOMEN PROPERTY MAINTENANCE & RENOVATION | 47,626 |
| YOUNG ANDERSON BARRISTERS & SOLICITORS | 130,010 |
| <hr/> | |
| Section 7 (1) (a) - Vendors over \$25,000 | 69,485,041 |
| Section 7 (1) (b) - Vendors \$25,000 or less | 5,521,862 |
| <hr/> | |
| Grand Total Sections 7 (1) (a) and 7 (1) (b) | 75,006,903 |
| <hr/> | |

The Corporation of the City of North Vancouver
Reconciliation between total payments to suppliers & financial statements
FIR Schedule 1, Section 7 (1) (c)
2018

| | |
|-------------------------------------------------------------------------------------|----------------------|
| FIR Schedule 1, Section 7(1)(a) & (b) - Payments to Suppliers of Goods and Services | \$ 75,006,903 |
| FIR Schedule 1, Section 7(2)(b) - Grants and Contributions | 12,701,474 |
| Subtotal - Payments to Suppliers | \$ 87,708,377 |

Reconciliation Items

| | |
|--------------------------------------------------------------------------|------------|
| FIR Schedule 1, Section 6(2)(a) - remuneration paid to elected officials | \$ 633,564 |
| FIR Schedule 1, Section 6(2)(b) and 6(2)(c) - employee remuneration | 40,989,342 |
| FIR Schedule 1, Section 6(2)(a) - elected officials expenses | 54,187 |
| FIR Schedule 1, Section 6(2)(b) and 6(2)(c) - employee expenses | 375,766 |
| Post Employment Benefits | 723,100 |
| Sick and severance | 69,457 |
| Workers' Compensation Board net of recoveries | 449,068 |

Related Parties

| | |
|--------------------------------------------------------------------------------------|-------------|
| City of North Vancouver Library | |
| City of North Vancouver Library remuneration | 3,043,312 |
| Remove City of North Vancouver grant to Library | (3,985,854) |
| FIR Schedule 1, Section 6(2) - Employee and Board Expenses | 20,035 |
| FIR Schedule 1, Section 7(1) (a) & (b) - Payments to Suppliers of Goods and Services | 1,192,135 |
| Other net adjustments (includes depreciation) | (6,719) |
| North Vancouver Recreation Commission | |
| Add City of North Vancouver share of NVRC expenses (includes salaries and benefits) | 9,375,939 |
| Remove City of North Vancouver share of City grant to NVRC | (1,599,378) |
| Other net adjustments | (448,929) |
| North Vancouver Museum and Archives | |
| DNV's share of expenses (includes salaries and benefits) | (653,506) |
| City's share of grant to Museum | (277,702) |

Recoveries

| | |
|-------------------------------------------------------------------------------------------|-------------|
| Recovery from District of North Vancouver for DNV share of Police operating/capital costs | (4,535,134) |
| Recovery from Lonsdale Energy Corp. | (1,197,912) |
| Net of other allocations and recoveries | 133,807 |
| Recovery from District of North Vancouver for DNV share of Police salaries and benefits | (85,751) |
| Staff recoveries | (978,434) |

Other Financial Statement Items

| | |
|------------------------------------------------------------------------------------------|--------------|
| Change in accrued payable and other expenses | (1,838,752) |
| Bank fees journalized | 169,533 |
| Interest on pre-authorized payments | 66,172 |
| Holdbacks and holdback deficiencies | (892,571) |
| Expenditures transferred to tangible capital assets | (31,852,433) |
| Depreciation expense (excluded Library) | 14,612,810 |
| Prior period capital adjustments | 61,123 |
| Change in Inventories from December 31, 2017 to 2018 | 37,359 |
| Change in prepaid expenses from December 31, 2017 to 2018 | (139,656) |
| City portion of prior years taxes refunded in 2018 due to changes in property assessment | 228,083 |
| Other net adjustments | (404,438) |

| | |
|--------------------------------------------------------------------------|-----------------------|
| Total expenses per Consolidated Statement of Financial Activities | \$ 111,046,000 |
|--------------------------------------------------------------------------|-----------------------|

The schedule of payments for the provision of goods and services is based on actual payments processed through the City's Accounts Payable system. This provides assurance on completeness as the reported amounts are reconciled to the payment register and electronic funds transfer records. The schedule of payments is a "cash basis" listing, and therefore may differ from the expenditures in the financial statements which are reported on an accrual basis. In addition, there are payments issued by the City which are not considered payments for the provision of goods and services, such as payments made to other taxing authorities, employee payroll deductions, debt repayments and deposit refunds.

The Corporation of the City of North Vancouver
Schedule of Grants & Contributions
FIR Schedule 1, Section 7 (2) (b)
2018

Listing of contributions exceeding \$25,000

| | |
|----------------------------------------------|-----------|
| NORTH SHORE EMERGENCY MANAGEMENT OFFICE | 291,264 |
| NORTH SHORE NEIGHBOURHOOD HOUSE | 732,312 |
| NORTH VANCOUVER CITY LIBRARY | 3,985,894 |
| NORTH VANCOUVER MUSEUM & ARCHIVES COMMISSION | 555,403 |
| NORTH VANCOUVER RECREATION COMMISSION | 5,736,756 |
| SCHOOL DISTRICT NO.44 (NORTH VANCOUVER) | 133,800 |

| | |
|-----------------------------------------------|-------------------|
| Total contributions exceeding \$25,000 | 11,435,429 |
|-----------------------------------------------|-------------------|

Listing of grants exceeding \$25,000

| | |
|-----------------------------------------|---------|
| CAPILANO COMMUNITY SERVICES SOCIETY | 83,400 |
| FAMILY SERVICES OF THE NORTH SHORE | 55,956 |
| FILIPINO COMMUNITY CENTRE | 32,190 |
| LOOKOUT HOUSING AND HEALTH SOCIETY | 35,700 |
| NAVY LEAGUE OF CANADA | 71,500 |
| NORTH SHORE COMMUNITY RESOURCES | 53,259 |
| NORTH SHORE NEIGHBOURHOOD HOUSE | 182,750 |
| NORTH SHORE RESTORATIVE JUSTICE SOCIETY | 35,000 |
| NORTH VANCOUVER CHAMBER OF COMMERCE | 40,000 |
| NORTH VANCOUVER RECREATION COMMISSION | 95,975 |
| NORTH VANCOUVER MUSEUM & ARCHIVES | 40,375 |
| SILVER HARBOUR CENTRE SOCIETY | 158,500 |
| THE SALVATION ARMY NORTH SHOR | 35,700 |

| | |
|-------------------------------------------|----------------|
| Total of grants exceeding \$25,000 | 920,305 |
|-------------------------------------------|----------------|

| | |
|-----------------------------------------------------------------|-------------------|
| Total of all grants and contributions exceeding \$25,000 | 12,355,734 |
|-----------------------------------------------------------------|-------------------|

| | |
|--------------------------------------------------------------------------|----------------|
| Consolidated total of grants and contributions less than \$25,000 | 345,740 |
|--------------------------------------------------------------------------|----------------|

| | |
|----------------------------------------------------|----------------------|
| Grand total of all grants and contributions | \$ 12,701,474 |
|----------------------------------------------------|----------------------|

**The Corporation of the City of North Vancouver
Statement of Financial Information Approval
FIR Schedule 1, Section 9(2)
2018**

The undersigned, as authorized by the Financial Information Regulation, Schedule 1, subsection 9(2), approves all the statements and schedules included in this Statement of Financial Information, produced under the *Financial Information Act*.

Ben Themens
Director of Finance
Date: June 25, 2019

Linda Buchanan
Mayor
Date: June 25, 2019

Karla D. Graham
City Clerk
Date: June 25, 2019

**The Corporation of the City of North Vancouver
Management Report
FIR Schedule 1, Sections 9 (3) & 9 (4)
2018**

Information on the City of North Vancouver's Management Report is included in the Statement of Management Responsibility with the audited consolidated financial statements.

Community Charter Section 107

Disclosure of contracts with council members and former council members

107 (1) If a municipality enters into a contract in which

(a) a council member, or

(b) a person who was a council member at any time during the previous 6 months,

has a direct or indirect pecuniary interest, this must be reported as soon as reasonably practicable at a council meeting that is open to the public.

(2) In addition to the obligation under section 100 [*disclosure of conflict*], a council member or former council member must advise the corporate officer, as soon as reasonably practicable, of any contracts that must be reported under subsection (1) in relation to that person.

(3) A person who contravenes subsection (2) is disqualified from holding office as described in section 108.1 [disqualification for contravening conflict rules] unless the contravention was done inadvertently or because of an error in judgment made in good faith.


Community Charter Section 168

Reporting of council remuneration, expenses and contracts

- 168** (1) At least once a year, a council must have prepared a report separately listing the following for each council member by name:
- (a) the total amount of remuneration paid to the council member for discharge of the duties of office, including any amount specified as an expense allowance;
 - (b) the total amount of expense payments for the council member made to the council member as reimbursement for expenses incurred by the council member or as an allowance that is not reported under paragraph (a);
 - (c) the total amount of any benefits, including insurance policies and policies for medical or dental services, provided to the council member or the member's dependants;
 - (d) any contracts reported under section 107 [*disclosure of contracts with council members and former council members*], including a general description of their nature.
- (2) If applicable, the report under this section must also list contracts referred to in subsection (1) (d) for each former council member.

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| | | |
|-------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Department Manager |  Director |  CAO |
|-------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
NORTH VANCOUVER RECREATION & CULTURE COMMISSION

INFORMATION REPORT

To: Mayor Linda Buchanan and Members of Council

From: Anne Rodgers, Communications Coordinator

Subject: NORTH VANCOUVER RECREATION & CULTURE'S 2019 COMMUNITY STORY CAMPAIGN

Date: June 13, 2019 File No:

SUMMARY:

North Vancouver Recreation & Culture (NVRC)'s *Community Story: Together we're changing lives* is a messaging campaign that tells the stories of NVRC customers, staff and volunteers and how their lives have been impacted through participating in NVRC services.

NVRC's Strategic Plan (in renewal and appended as Attachment 1) highlights the direction to "Enhance understanding of the scope and impacts of our services".

The project is part of a storytelling campaign focused on the NVRC's contribution to the physical, mental, social and emotional well-being of individual residents, families and the communities of North Vancouver.

The goals of the campaign are to:

- Enhance the community's understanding of NVRC's broad role and impact on community health;
- Illustrate the variety of programs and services and the diverse people who participate; and
- Inspire increased participation in recreation and culture.

The key messages of the campaign are:

- Together (NVRC & residents), we are changing lives and improving health and social outcomes;

- All residents are welcome to participate in NVRC services;
- Social connections are created through NVRC programs and services; and
- NVRC builds healthy individuals, families and communities.

A brief staff presentation (Attachments 2 and 3) will be made at the June 24, 2019 Regular Council Meeting.

The campaign will be promoted through NVRC's website at nvrc.ca, a downloadable PDF publication, social media and email marketing.

RESPECTFULLY SUBMITTED:



Anne Rodgers
Communications Coordinator

North Vancouver Recreation & Culture Commission

2014-2018 Strategic Plan

This plan does not list all that the North Vancouver Recreation & Culture Commission should continue to do, but focusses instead on what needs to change over the next five years to move us forward.

MANDATE

The North Vancouver Recreation & Culture Commission is an entity of the City and District of North Vancouver; created to fulfill the municipalities' responsibilities for recreation and culture. These responsibilities include the provision of quality recreation and culture experiences, operation of community recreation facilities, capacity building of relevant recreation and culture organizations, management of the public art programs and oversight of the community arts grants.

VISION

Recreation and Culture are vital to North Vancouver becoming the most vibrant, diverse, active, creative and connected community.

MISSION

The North Vancouver Recreation & Culture Commission improves the health and well-being of all North Vancouver individuals, families and communities and inspires residents through quality recreation and culture opportunities.

Recognizing that we are integral to the health and wellness solution, the North Vancouver Recreation & Culture Commission will work with other service providers to proactively and intentionally respond to indoor and outdoor recreation and culture needs, with a focus on those who would benefit most, including youth, those who are under-served, and those with barriers to accessing quality recreation and culture opportunities.

Public Recreation includes...

... all those activities in which an individual chooses to participate in their leisure time, and is not confined solely to sports or physical recreation programs, but includes artistic, creative, cultural, social and intellectual activities, and ... is a fundamental human need for individuals of all ages and interests and for both sexes and is essential to the psychological, social and physical wellbeing of each Canadian;

(Also,) ...recreation is an essential social service in the same way that health and education are considered as social services, and that recreation's purpose should be (a) to assist individual and community development, and (b) to improve the quality of life, and (c) to enhance social functioning.

Source: Adapted from the National Recreation Statement which was endorsed by all provincial, territorial and federal governments

VALUES

These values act as a moral compass; providing a lens through which all decisions are evaluated.

- We are **inclusive**
- We are **innovative, creative and bold**
- We strive for the **highest standards** of service and **stewardship of resources**
- We act with **integrity**, ensuring open, respectful relationships and supportive environments

STRATEGIC DIRECTIONS

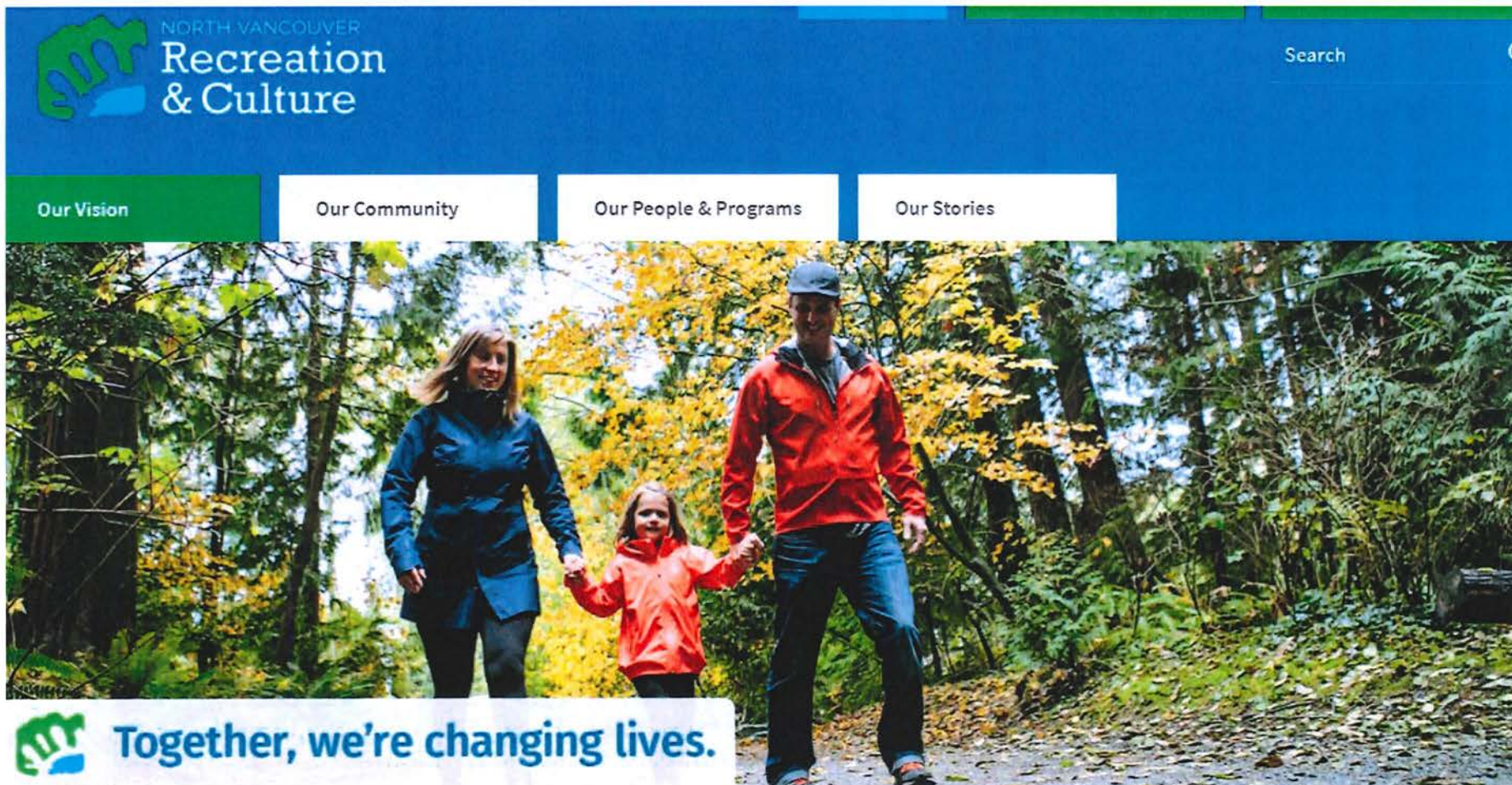
These strategic directions provide focus and direction for improvements to what we do.

- A. **Optimize human, fiscal and physical resources and systems:** We will commit public resources in an efficient, responsible and sustainable manner that maximizes benefits to the communities we serve.
- B. **Proactively respond to recreation and culture needs:** We will understand and respond to citizen needs for public recreation and cultural services by being proactive, flexible and intentional and also ensure that we target the under-served.
- C. **Extend our effectiveness through collaboration:** We will build and utilize our ability to collaborate in order to maximize the reach and benefit of the public recreation and cultural services.
- D. **Enhance understanding of the scope and impacts of our services:** We will communicate and promote the true value of our services as a social service.

GOALS

These goals represent the ways we will respond to the strategic directions and the strongest Strategic Direction linkage, recognizing that most goals relate to more than one Direction. Achieving them measures our success in implementing this plan and moving forward over the next five years.

| Strategic Direction | Goal |
|-----------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| Optimize Human, Fiscal and Physical Resources and Systems | Strategically align fiscal resources & administrative systems |
| | Revitalize facilities |
| | Enhance human resources & volunteerism |
| | Plan for staff succession |
| Proactively Respond to Recreation and Culture Needs | Integrate recreation and culture services and structures |
| | Target needs; especially the inactive and under-served |
| | Encourage and enable healthy living and sustainable choices |
| | Extend and enhance our service reach |
| | Connect people to nature |
| Extend our Effectiveness through Collaboration | Enhance and embrace our capacity to collaborate |
| | Build broader networks of collaboration |
| Enhance Understanding of the scope and Impacts of our Services | Create awareness of public good and breadth of services |
| | Affirm North Vancouver Recreation & Culture as integral in municipal planning & decision-making |



Recreation and culture are vital to North Vancouver becoming the most vibrant, diverse, active, creative and connected community.

Living Our Vision

This is our NVRC story... told through the voices of our participants, volunteers and staff.

It is the story of how we help residents reach their personal goals, pursue their passion and live a healthier, more inspired and connected life.

It is a story about our community and how together, we're changing lives.

Improving Health & Wellness



The Transformation of Stuart Cameron

Better health, better fitness, better life!

When Stuart Cameron retired at the age of 60 he was 300 pounds and dodging his doctor who wanted to put him on medication for high blood pressure and cholesterol. As he ran out of breath walking a block to the bus, Stuart knew he needed to take action. Sixteen months and almost 150 pounds lighter, he's training for a triathlon and feeling better than ever.

[Read the full story.](#)

Inspiring Creativity



Wiley Ho's Journey of Self-discovery

How learning pottery has opened up her world

"Right now I'm a little bit obsessed with clay. I've been playing with clay at the Delbrook pottery studio for a number of months, taking beginner classes and working on my pieces. The pottery studio manager welcomes everybody, beginners and experts alike, and we get to play with clay and make cool things. I think creativity is very natural for all of us. For me, art is about self discovery that happens when you do something new or difficult. At the end of it you you feel a sense of accomplishment and you've made something."

[Read the full story.](#)



Together, we're changing lives.

Our Community

North Vancouver is one of the healthiest communities in Canada. And yet, many residents struggle with health issues, social isolation and financial disparity.

At NVRC, we challenge ourselves every day to deliver affordable, quality recreation and culture programs to address these issues and improve our community's health and well-being.

We don't do it alone.

We work with our residents, partners and networks to provide inclusive spaces, programs, services and events that welcome everyone and result in positive social and health outcomes.

Working Together



Maintaining an active mind, body, and spirit

Dr. Mark Lysyshyn offers insight for a healthy community

As the Medical Health Officer for the North Shore, Dr. Mark Lysyshyn believes that many residents are spending too much time tuned into screens and not enough time connecting with each other and the nature that surrounds us.

There are many options for being active on the North Shore, trails for hiking and biking, urban pathways for walking and talking. Mark believes the NVRC also plays a big role in facilitating stronger community connections and improved population health by offering programs and services that are accessible to everyone.

[Read the full story.](#)

Raising Resilient Kids



Community Leader Alix Dunham

On a mission to empower kids and help them build their confidence

When Alix Dunham became aware of the growing rates of anxiety and depression among youth in our community, she knew something needed to be done. Motivated by other parents and concerns for her own children, Alix developed Girls with Grit, a program aimed at building brain health and soul resilience in young girls.

Since it began in 2016, Girls with Grit has helped almost 1,000 girls grow and build resilience through programs offered at NVRC, in schools and privately in the community

[Read the full story.](#)



NORTH VANCOUVER
Recreation
& Culture

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[Our Vision](#)

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Together, we're changing lives.

Our People

NVRC staff are passionate about their work and inspired to make a difference in our community. Many grew up with NVRC and have great memories of learning new skills, meeting new people and having fun.

Today, with over 900 staff and instructors and over 150 volunteers, NVRC's team works together to provide positive learning, playing and connecting experiences at our facilities and in all our recreation and culture programs.

Inspiring Creativity



For the Love of Art *Andrea's story*

Andrea Bruhns is passionate about the power of the arts to nurture self-awareness and personal healing. Whether it is drawing, painting, photography, pottery, quilting or woodworking, Andrea believes all art forms provide a "playground for creativity". Andrea teaches art exploration and mixed media to all age groups. She loves helping her students "let go" of their fear of judgement and discover their own voice and creative freedom.

[Read the full story.](#)

Making a Difference



Inspired to Help Others *Judy's Story*

Judy Bjornson means it when she says "I have a passion to help people have a better life." For over a decade she has been an aquatic instructor and rehab specialist at NVRC, pouring her passion into helping people with arthritis, multiple sclerosis, Parkinson's disease, and previous stroke and neuromuscular disorders live the best lives they can. She is inspired by how participants lives have been transformed.

[Read the full story.](#)

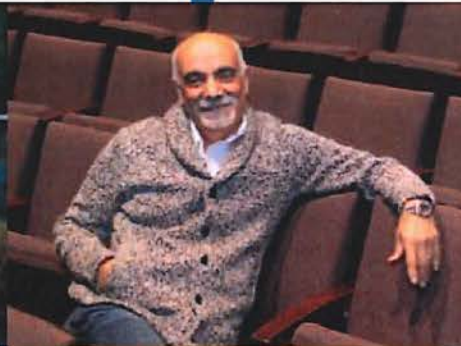


Our Vision

Our Community

Our People & Programs

Our Stories



Our Community Story 2019

DRAFT



Our Vision



Recreation and arts are vital to North Vancouver becoming the most vibrant, diverse, active, creative and connected community.

We are on a mission to help individuals, families and communities lead healthy, inspired and connected lives through recreation and culture.

We do this by ensuring our programs and services are focused on improving health and wellness, inspiring creativity, connecting our community and creating inclusion.

Living our Vision. This is our story ... told through the voices of our participants, staff and volunteers.

It is the story of how together we help community members discover new interests, pursue their passions and realize their personal health and creativity goals.

Read on to see how **Together, we're changing lives.**



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Stuart's Story



Building a healthier life

When Stuart Cameron retired at the age of 60 he was 300 pounds. When he ran out of breath walking a block to the bus, Stuart knew he needed to take action.

Stuart committed to doing something active every day and eat better, so he joined a weight loss group, started playing pickle ball and then added swimming and working out in the fitness centre.

Sixteen months and almost 150 pounds lighter, he's training for a triathlon and feeling better than ever.

"Delbrook Community Recreation Centre got me moving and I'll keep going. I feel so much better, stronger," Stuart said. "It's more than just being fit. It's about wellness. I feel content."

Stuart's advice for others is to find something you love and do it. "The key is to move," he said. "Just get started."

Together, we're changing lives.
Read the full story: nvrc.ca/stuart



A lifetime of participation

We are the community's partner for health, wellness and creativity through every stage of life. From prenatal fitness to painting for seniors, our aim is to ensure everyone in the community has access to quality recreation and culture opportunities.

For young children, we provide opportunities to grow, learn, move and create, first with their families and then on their own.

Once they enter school, we teach and encourage our kids to improve their physical literacy and arts appreciation through many learn-to and play programs.

Our teens are welcome in our youth centres and youth programs to connect with others and have support as they navigate their way to young adulthood.

For adults and families, we offer a wide range of programs, services and events to support their health and wellness and their creativity and connect them with their community.

And for older adults, we, together with our service partners North Shore Neighbourhood House and Parkgate Community Services Society deliver programs and activities to support their active aging, arts and culture interests and social connections.

Arta's Story

Encouraged to learn & lead

When Arta was younger, she was scared of the water and ice but with the help of NVRC instructors, she overcame her fears and learned to swim and skate.

Now at 12 years old she loves sports, “adores” swimming and can’t wait to train to become a lifeguard.

Drawing inspiration from her mother and NVRC staff, she understands it takes a positive mindset, hard work and perseverance to achieve her goals.

An excellent student, Arta also values community and giving back. Last summer she raised money for Lions Gate Hospital’s capital campaign.

Arta is an inspiration to all those around her, including NVRC staff who are proud to be part of her journey.

Together, we’re changing lives.
Read the full story: nvrc.ca/arta

COMMUNITY STORIES 2019



Our Community



North Vancouver is one of the healthiest communities in Canada.

And yet, many residents struggle with health issues, social isolation and financial disparity.

At NVRC, we challenge ourselves every day to deliver affordable, quality recreation and culture programs to address these issues and improve our community's health and well-being.

We don't do it alone. We work with our residents, partners and networks to provide inclusive spaces, programs, services and events that welcome everyone and result in positive social and health outcomes.

Mark's Story



Insights into a healthy community

As Vancouver Coastal Health's Medical Health Officer for the North Shore, Dr. Mark Lysyshyn believes that many residents are spending too much time tuned into screens and not enough time connecting with each other and the nature that surrounds us.

"Everyone would benefit by getting out there and being active with people they enjoy and connect with."

He knows that this supports good mental and physical health and contributes to healthier communities.

There are many options for being active on the North Shore, including trails for hiking and biking, urban pathways for walking and talking.

Dr. Lysyshyn believes North Vancouver Recreation & Culture also plays a big role in facilitating stronger community connections and improved population health by offering programs and services that are accessible to everyone.

Together, we're changing lives.
Read the full story: nvrc.ca/mark



Gail's Story

A passion for mind & body health

Meet Gail Roxburgh, a local leader and educator on brain health who is making a difference on the North Shore. At 77 years young, she is a busy fitness instructor with both North Vancouver Recreation & Culture and North Shore Neighbourhood House and a tireless advocate for active aging and brain fitness.

When her close friend developed dementia, Gail went out and learned everything she could about Alzheimer's and dementia and the role exercise and activities play in helping to preserve and sharpen mental function.

Her journey led to her becoming a certified Cognitive Fitness Facilitator and then go on to develop and lead special classes for brain health and exercise at a number of community centres across the North Shore including Mind & Body Fitness for North Shore Neighbourhood House at John Braithwaite Community Centre.

Together, we're changing lives.
Read the full story: nvrc.ca/gail

Our Partners

The NVRC is proud to work with North Shore Neighbourhood House (NSNH) and Parkgate Community Services Society (PCSS) to create a healthy, caring and connected community.

Together, we are stronger and better able to provide a wide range of social, recreation and culture programs and services at John Braithwaite Community Centre (NSNH) and Parkgate Community Centre (PCSS).

Serving the North Shore community since 1939, North Shore Neighbourhood House (NSNH) is celebrating its 80th anniversary in 2019.

NSNH believes that working together to meet the grassroots needs of our neighbours, especially our most vulnerable residents, is essential to building a safe, healthy and strong community.

The House values and promotes cooperation, respect and empowerment through the provision of programs and services designed to meet the needs of individuals and the community as a whole. Visit nsnh.bc.ca for more information.





Ali's Story

Growing up at Parkgate

With more than 15 years' experience as a participant and volunteer at Parkgate, 21 year-old Ali Vickers has unique insight into the important role a community centre plays in a young person's life. Ali was three years old when she first started in the daycare at Parkgate, from there she transitioned through childcare programs, enjoyed summer day camps and learned new skills through a variety of Parkgate programs and services.

"I remember what it meant to have older kids to play with and take an interest in you," Ali said. "Now I can be that volunteer. I feel like I've come full circle."

The skills she's acquired and volunteer experience she's gained during her time at Parkgate has helped Ali overcome shyness, and provided new experiences and opportunities.

Today, this dedicated and dynamic university student remains an active Parkgate volunteer and fitness enthusiast who credits her confidence and future career as a speech pathologist to her time spent "growing-up" at Parkgate Community Centre.

Together, we're changing lives.
Read the full story: nvrc.ca/ali-v

COMMUNITY STORIES 2019

Celebrating 20 Years

In 2019 we are celebrating the 20th anniversary of Parkgate Community Centre.

Parkgate Community Services Society (PCSS) is a registered charity that has been serving the community since 1983.

PCSS currently provides a broad range of child, youth, family and seniors programs and services out of Parkgate Community Centre, the Seymour Youth Centre, and other community locations.

Visit myparkgate.com for more information.






PARKGATE
COMMUNITY SERVICES SOCIETY



More to come



| | | |
|--------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Department Manager |  Director |  CAO |
|--------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
FINANCE DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Verna Wen, Manager, Internal Control and Performance

Subject: 2018 ANNUAL MUNICIPAL REPORT

Date: June 12, 2019 File No: 01-0640-20-0001/2018

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Manager, Internal Control and Performance, dated June 12, 2019, entitled "2018 Annual Municipal Report":

THAT Council endorse the 2018 Annual Municipal Report.

ATTACHMENTS:

1. 2018 Annual Municipal Report (CD#1785786)
2. Detailed Progress Report on 2018 Objectives (CD#1780527)
3. Public Notice for the 2018 Annual Municipal Report (CD#1780485)

DISCUSSION:

The Community Charter requires that municipalities prepare an annual municipal report (AMR) prior to June 30 of each year. It has specific reporting content that must be included in the AMR. These include the following:

- A report on municipal services and operations for the previous year;
- A progress report on municipal performance with respect to established objectives and measures for the previous year;
- A statement of objectives that will be used as the basis for determining municipal performance during 2019;
- The audited annual financial statements for the previous year;

- A listing of permissive tax exemptions provided by Council and for each exemption, the amount of property taxes that would have been imposed in the previous year if the property was not exempt; and
- Any declarations of Council disqualifications made in the previous year.

Once reporting is completed, the annual meeting on the AMR must occur at least two weeks after the AMR is made available for public inspection.

The City has made some changes to this year's AMR in order to provide the public a more focused document. To align with statutory reporting requirements, a Detailed Progress Report on 2018 Objectives is attached (**Attachment 2**). The City intends to continue making changes to the report while complying with statutory requirements. Next year, the report will align with the City Strategic Plan currently under preparation.

This year's AMR and Supplementary Information (**Attachments 1 to 3**) were made available online and at City Hall for review. A form was posted on the City's website for the public to provide feedback. Staff will provide all comments received by Tuesday, June 18, 2019, as well as staff feedback and responses, if applicable, in the Information Report package of June 21, 2019.

The Council meeting on the AMR is scheduled for June 24, 2019. A Public Notice for the 2018 AMR (**Attachment 3**) containing this information was published in the North Shore News.

FINANCIAL IMPLICATIONS:

The AMR preparation is funded within the current operating budget.

INTER-DEPARTMENTAL IMPLICATIONS:

The AMR is a collaborative document that collates all City departments and shared services information with the intent to provide insight into their respective areas.

STRATEGIC PLAN IMPLICATIONS:

The objectives and measures contained within the AMR are in accordance with the City's major policy documents and promote the City's objective of communicating information to the community.

RESPECTFULLY SUBMITTED:



Verna Wen
Manager, Internal Control and Performance

2018

ANNUAL MUNICIPAL REPORT

CITY OF NORTH VANCOUVER



CNV.ORG



CITY OF NORTH VANCOUVER

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city
of north
vancouver

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Mayor &
Council

Chief
Administrative
Officer

City Library
Lonsdale Energy Corporation (LEC)
North Shore Emergency Management
North Vancouver Recreation and
Culture
North Vancouver Museum and
Archives



Led by Mayor and Council, the City of North Vancouver works to balance the needs of the community, ensuring a livable and sustainable City for all.



City Council

Your dedicated Mayor and Councillors are responsible for providing community leadership and establishing administrative policies that ensure the social, economic and environmental health of our municipality.



Left to right: Councillor Tony Valente, Mayor Linda Buchanan, Councillor Tina Hu, Councillor Jessica McIlroy, Councillor Holly Back, Councillor Angela Girard, Councillor Don Bell.

Chief Administrative Officer

The Chief Administrative Officer provides organizational leadership to all City staff and its divisions provide critical support services for the organization.

KEY RESPONSIBILITIES

- Acts as liaison between Mayor, Council, and City staff
- Oversees the affairs and operations of the City and its departments
- Serves as liaison between the City and news media, and manages external communications and City website
- Delivers customer-focused technology services and solutions
- Provides a complete range of real estate and facilities management services
- Leads large scale public development projects
- Provides progressive, client-focused Human Resources services



DIVISIONS

- Communications
- Information Technology
- Facilities and Real Estate
- Strategic Initiatives and Services
- Human Resources

2018 KEY MEASURES

- Completed Foot of Lonsdale plaza
- Completed PeopleSoft HCM 9.2 software upgrade
- Established governance and staffing model for Central Waterfront

2019 OBJECTIVES

- Develop Corporate and Strategic Plans
- Complete Central Waterfront revitalization
- Deliver new telephony and resident and client focused technology services

City Clerk's and Mayor's Office

The City Clerk's office is responsible for the preparation of Council and Committee meeting agendas and minutes, the administration and certification of City bylaws, administration of local elections and managing corporate records, protection of privacy and access for information requests.

The Mayor's office provides administrative, communications and research support for the Mayor.

KEY RESPONSIBILITIES

- Deliver information to Council and Council Committees
- Administer corporate records management services
- Provide information to the public regarding Council business
- Respond to requests for information under the *Freedom of Information and Protection of Privacy Act*
- Administer the general local election
- Coordinate the Mayor's schedule, commitments and speaking engagements
- Draft media communications
- Provide administrative support to the Office of the Mayor



2018 KEY MEASURES

- Administered the 2018 General Local Election and completed session with new Council
- Completed Phase 2 of the digitization of Council reports and resolutions
- Implemented a City-wide Protection of Privacy Policy

2019 OBJECTIVES

- Complete review of City policies and establish a corporate policy framework
- Review and implement new Council agenda management software
- Complete Phase 3 of the digitization of Council reports and resolutions

Finance

Finance provides financial services to citizens, City departments and City Council.

KEY RESPONSIBILITIES

- Accounting and reporting
- Financial planning
- Internal control and performance
- Payroll
- Purchasing
- Revenue
- Administration



2018 KEY MEASURES

- Completed competitive bidding process to secure insurance brokerage services
- Reviewed signing limits and PeopleSoft approval framework
- Reviewed Utility Rate Model

2019 OBJECTIVES

- Complete the review of the City's Purchasing Policy
- Initiate review of Long Term Property Tax Strategy
- Four-year cycle review of Permissive Tax Exemptions

Engineering, Parks and Environment

Engineering, Parks and Environment provide and maintain essential municipal services and infrastructure.

KEY RESPONSIBILITIES

To create safe, resilient, inviting and cost effective public infrastructure that supports our community and enables it to thrive.

DIVISIONS

- Operations
- Engineering Planning and Design
- Public Realm Design and Delivery
- Parks and Environment
- Administration



2018 KEY MEASURES

- Completed construction of the Green Necklace and Spirit Trail
- Designed Marine-Main corridor improvements for B-Line including Mosquito Creek bridge
- Designed Moodyville Park Master Plan and completion of Heywood Park / Mackay Creek habitat enhancement

2019 OBJECTIVES

- Develop and implement an asset management strategy
- Complete Moodyville Park
- Complete key protected bike facilities and improve the sidewalk network with a focus on missing sections and improved accessibility

Community Services

Community Services takes direction from Mayor and Council, the Official Community Plan, the Economic Development Strategy, and other civic policies in order to provide excellent customer service.

KEY RESPONSIBILITIES

- Business licensing and compliance
- Economic and tourism development
- Construction approvals
- Public works related to development
- Code interpretation and regulation
- Place-making and events
- Parking and bylaw enforcement
- Department management and administration



DIVISIONS

- Building
- Bylaws
- Business
- Engineering Development Services
- Administration

2018 KEY MEASURES

- Advanced the implementation of the new permits system (CityPAL) in conjunction with IT and other departments
- Updated Business License Bylaw
- Closed illegal marijuana operations as per Council direction

2019 OBJECTIVES

- Create the Community and Partner Engagement department with a new vision and undertake team building efforts
- Launch the new Shipyard Commons to manage and program the Central Waterfront
- Work with the Leadership Team to create an engagement strategy for the Corporation, including a suite of engagement methods

Planning

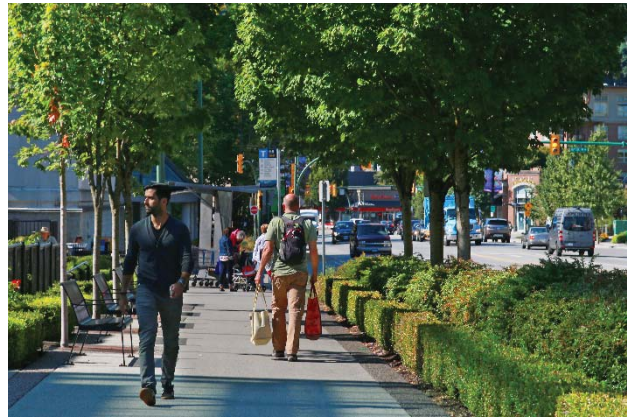
Planning assists Mayor and Council in setting community goals and objectives, creating plans, and implementing these plans through policies, regulations and development.

KEY RESPONSIBILITIES

- Long range and land use planning
- Community and social planning
- Transportation planning
- Environmental planning and sustainability
- Development planning
- Building permits
- Zoning administration

DIVISIONS

- Development and Community Planning
- Transportation Planning
- Environmental Sustainability



2018 KEY MEASURES – PLANNING DEPARTMENT

- Completed the Electric Vehicle Strategy
- Completed the Harry Jerome Neighbourhood Lands Rezoning and Development Guidelines
- Supported and completed the Integrated North Shore Transportation Planning Project and advanced key transportation planning priorities

2019 OBJECTIVES – PLANNING AND DEVELOPMENT

- Complete revised Social Plan with integrated childcare strategy
- Launch Balanced Housing Innovation Lab
- Begin Long Range Transportation Plan and great streets design work

RCMP

The RCMP serves and protects citizens of the City.

KEY RESPONSIBILITIES

- Municipal traffic enforcement
- Investigative services
- Crime reduction and prevention
- Community policing
- Youth intervention



2018 KEY MEASURES

- Established specific measures in the RCMP Service Plan that support the stated goals and objectives of the North Vancouver RCMP detachment
- Requested a Communications Strategist in the 2019 budget to improve visibility and enhance service
- Introduced front counter security upgrade and enhanced customer service features

2019 OBJECTIVES

- Increase road awareness and safety
- Reduce crime through proactive and intelligence-led policing
- Increase operational readiness, advocate for the renovation and upgrade of the General Duty interview room to current technological standards

Fire and Rescue

Fire and Rescue safeguard and serve our community through the promotion and provision of education, emergency medical and fire services in order to protect life, property and the environment.

KEY RESPONSIBILITIES

- Administration
- Operations
- Fire prevention and public education
- General emergency planning



2018 KEY MEASURES

- Completed Tri-Municipal Emergency Operations Plan and Exercises
- Finalized Blue Card Incident Command Certification for all Fire Officers
- Completed Metro Vancouver Mobile Food Vendor Inspection Program

2019 OBJECTIVES

- Complete CityPal Integration for Fire Inspections
- Complete North Shore Shipboard Firefighting Training
- Complete Emergency Planning Program Review and Development

North Vancouver Museum and Archives Commission

The Museum and Archives Commission is the sole custodian of the City's cultural, archival and museum collections.

KEY RESPONSIBILITIES

- Manages and preserves artifacts and records of municipal, historical and cultural significance to the community
- Develops and delivers interpretative and educational programs
- Identifies, documents and preserves local history



2018 KEY MEASURES

- Completed architectural plans for new museum tenant improvements and detailed research, text, graphics and design of exhibits
- Launched the 'quiet phase' of a \$2.5M fundraising campaign for the new museum and met the 2018 year-end goal to fund exhibit enhancements
- Completed a Transition Business Plan (2019-2023) for the entire NVMA organization including the Archives

2019 OBJECTIVES

- Complete new museum fundraising campaign and develop a marketing and communications plan (2019-2020)
- Move Streetcar #153 into the new museum, begin exhibit fabrication, start construction of museum tenant improvements, and create new educational and public programs
- Create new mobile exhibits for the Lions Gate Community Centre and two District libraries; and strengthen the vision for the Community History Centre in the areas of programming and exhibits

North Vancouver Recreation and Culture Commission

The Recreation and Culture Commission improves the health and well-being of all North Vancouver individuals, families and communities and inspires residents through quality recreation and culture opportunities.

KEY RESPONSIBILITIES

- Community recreation and culture service, program and event planning and delivery
- Community recreation and culture facility management, operations and maintenance and facility planning
- Management of the public art programs and oversight of community arts grants
- Capacity building of relevant recreation and culture organizations



2018 KEY MEASURES

- Program participation increased by 10% for a total of 85,000 registrations
- Fitness memberships increased by 6% for a total of 25,000 units
- Participation in public admissions and drop-ins increased by 13% for a total of 310,150 units

2019 OBJECTIVES

- Incorporate findings from Community Needs Assessment and Fitness, Health and Wellness review into service, program and facility planning
- Support and/or lead Community Recreation Centre renewal, replacement and future facility planning
- Implement new program registration management software

North Shore Emergency Management (NSEM)

NSEM is the lead municipal agency responsible for coordinating work to build resilience to disasters, capacity for emergency response, and strategies for community recovery.

KEY RESPONSIBILITIES

- Operationally-ready Emergency Operations Centre
- Emergency plans and strategies for disaster resilience
- Trained municipal staff and volunteers for emergency response and recovery
- Provision of public education programs
- Administrative support to North Shore Rescue



2018 KEY MEASURES

- Participated in Emergency Operations Centre, Rapid Damage Assessment and Shoreline Cleanup Assessment Technique training courses
- Delivered emergency preparedness information to 3,248 people over 36 free workshops and events
- Undertook critical infrastructure interdependency planning work in response to the Enbridge natural gas pipeline rupture

2019 OBJECTIVES

- Implement phase one of the Operational Readiness Strategy - install disaster supply caches, complete technology upgrade to the Emergency Operations Centre, conduct emergency exercises
- Complete phase one of the North Shore Resilience Strategy – baseline assessment of the North Shore's resilience activities in accordance with the international Sendai Framework for Disaster Risk Reduction
- Complete disaster debris management plan, convergent volunteer management plan, and Emergency Support Services reception center guidelines

**The Corporation of the City of
North Vancouver**
Consolidated Financial Statements
For the year ended December 31, 2018

Statement of Management Responsibility

The Council of the Corporation of the City of North Vancouver ("City") has delegated the responsibility for the integrity and objectivity of the financial information contained in the consolidated financial statements to the management of the City. The consolidated financial statements which, in part, are based on informed judgments and estimates, have been prepared by management in accordance with Canadian public sector accounting standards, which have been applied on a basis consistent with that of the preceding year.

To assist in carrying out their responsibility, management maintains an accounting system and internal controls to provide reasonable assurance that transactions are executed and recorded in accordance with authorization, and that financial records are reliable for preparation of financial statements.

The Mayor and Council oversee management's responsibilities for the financial reporting and internal control systems. Council annually reviews and approves the consolidated financial statements.

The City's independent auditors, BDO Canada LLP, are engaged to express an opinion as to whether the City's consolidated financial statements present fairly in all material respects the financial position of the City as at December 31, 2018, and the results of operations, changes in net financial assets and cash flows for the year then ended in accordance with Canadian generally accepted auditing standards.

The consolidated financial statements have, in management's opinion, been properly prepared within reasonable limits of materiality and in accordance with Canadian public sector accounting standards.



Director of Finance

May 6, 2019

Independent Auditor's Report

To the Mayor and Council of the Corporation of the City of North Vancouver

Opinion

We have audited the consolidated financial statements of Corporation of the City of North Vancouver and its controlled entities (the "City"), which comprise the consolidated statement of financial position as at December 31, 2018 and the consolidated statement of operations, the consolidated statement of changes in net financial assets and the consolidated statement of cash flows for the year then ended, and notes to the consolidated financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying consolidated financial statements present fairly, in all material respects, the consolidated financial position of the City as at December 31, 2018, and its consolidated operations and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Consolidated Financial Statements section of our report. We are independent of the City in accordance with the ethical requirements that are relevant to our audit of the consolidated financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management and Those Charged with Governance for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of the consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the consolidated financial statements, management is responsible for assessing the City's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the City or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the City's financial reporting process.

Auditor's Responsibilities for the Audit of the Consolidated Financial Statements

Our objectives are to obtain reasonable assurance about whether the consolidated financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these consolidated financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the consolidated financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the City's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the consolidated financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the City to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the consolidated financial statements, including the disclosures, and whether the consolidated financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Obtain sufficient appropriate audit evidence regarding the financial information of the entities or business activities within the City to express an opinion on the consolidated financial statements. We are responsible for the direction, supervision and performance of the City audit. We remain solely responsible for our audit opinion.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

BDO Canada LLP

Chartered Professional Accountants

Vancouver, British Columbia

May 6, 2019

The Corporation of the City of North Vancouver
Consolidated Statement of Financial Position
As at December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 | 2017 |
|----------------------------------------------|-------------------|-------------------|
| FINANCIAL ASSETS | | |
| Cash | \$ 6,796 | \$ 7,747 |
| Temporary investments (note 3(a)) | 43,918 | 44,888 |
| Portfolio investments (note 3(b)) | 139,902 | 118,413 |
| Investment in Lonsdale Energy Corp. (note 4) | 2,114 | 1,534 |
| Due from other governments | 3,542 | 3,853 |
| Accounts receivable | 10,727 | 8,954 |
| Loan to Lonsdale Energy Corp. (note 5) | 23,294 | 19,242 |
| Interest receivable | 14,210 | 12,741 |
| | <u>244,503</u> | <u>217,372</u> |
| LIABILITIES | | |
| Accounts payable and accrued liabilities | 17,066 | 19,098 |
| Deferred revenue | 27,735 | 27,724 |
| Deferred development cost charges | 22,282 | 19,266 |
| Long-term debt (note 6) | 895 | 1,098 |
| Employee future benefits (note 7) | 8,121 | 8,258 |
| Advances and other liabilities | 10,493 | 10,772 |
| | <u>86,592</u> | <u>86,216</u> |
| NET FINANCIAL ASSETS | <u>157,911</u> | <u>131,156</u> |
| NON-FINANCIAL ASSETS | | |
| Tangible capital assets (note 8) | 402,540 | 381,939 |
| Inventories | 656 | 693 |
| Prepaid expenses | 1,619 | 1,480 |
| | <u>404,815</u> | <u>384,112</u> |
| ACCUMULATED SURPLUS (note 9) | <u>\$ 562,726</u> | <u>\$ 515,268</u> |

Contractual obligations (note 10)
See accompanying notes to the consolidated financial statements


Director of Finance

The Corporation of the City of North Vancouver
Consolidated Statement of Operations
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 Budget | 2018 | 2017 |
|---------------------------------------------|------------------------|-------------------|-------------------|
| | (notes 2(h) and 14) | | |
| REVENUE | | | |
| Property value tax | \$ 58,930 | \$ 58,775 | \$ 56,218 |
| Parcel taxes | 2,910 | 2,940 | 2,811 |
| Licences and permits | 3,900 | 6,493 | 5,797 |
| Fines and fees | 4,651 | 6,418 | 5,102 |
| Rent | 1,640 | 2,213 | 2,100 |
| Interest and penalties | 2,114 | 5,924 | 5,315 |
| Sale of services | 26,455 | 27,767 | 26,996 |
| Rebate and recoveries | 85 | 62 | 118 |
| Grants and other | 6,900 | 10,850 | 9,261 |
| Developer contributions and other transfers | 263 | 34,856 | 28,692 |
| Gains on disposition of assets | - | 1,626 | 3,304 |
| Lonsdale Energy Corp. income (note 4) | - | 580 | 800 |
| | <u>107,848</u> | <u>158,504</u> | <u>146,514</u> |
| EXPENSES | | | |
| General government | 16,688 | 19,293 | 16,821 |
| Transportation and transit | 5,767 | 7,173 | 7,161 |
| Health, social services and housing | 2,614 | 2,637 | 2,718 |
| Development services | 5,588 | 5,926 | 5,216 |
| Protective services | 26,897 | 25,319 | 24,617 |
| Parks, recreation and culture | 27,094 | 27,790 | 26,489 |
| Water utilities | 9,975 | 9,618 | 10,009 |
| Sewer utilities | 8,809 | 9,139 | 8,404 |
| Solid waste | <u>4,361</u> | <u>4,151</u> | <u>3,945</u> |
| Total expenses (note 12) | <u>107,793</u> | <u>111,046</u> | <u>105,380</u> |
| Annual surplus | 55 | 47,458 | 41,134 |
| Accumulated surplus beginning of year | <u>515,268</u> | <u>515,268</u> | <u>474,134</u> |
| Accumulated surplus end of year | <u>\$ 515,323</u> | <u>\$ 562,726</u> | <u>\$ 515,268</u> |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Consolidated Statement of Change in Net Financial Assets
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 Budget | 2018 | 2017 |
|--------------------------------------------------------|------------------------|-------------------|-------------------|
| | (notes 2(h) and 14) | | |
| Annual surplus | \$ 55 | \$ 47,458 | \$ 41,134 |
| Acquisition of tangible capital assets | (82,690) | (32,071) | (27,488) |
| Non-cash developer contributed assets and found assets | - | (3,918) | (15,176) |
| Proceeds on sale of tangible capital assets | - | 2,187 | 9,128 |
| Depreciation of tangible capital assets | 13,900 | 14,827 | 13,967 |
| Loss (gain) on disposition of tangible capital assets | - | (1,626) | (3,304) |
| | <u>(68,790)</u> | <u>(20,601)</u> | <u>(22,873)</u> |
| Acquisition of inventories | - | (1,243) | (1,123) |
| Acquisition of prepaid expenses | - | (1,693) | (1,983) |
| Use of inventories | - | 1,280 | 1,072 |
| Use of prepaid expenses | - | 1,554 | 2,837 |
| | <u>-</u> | <u>(102)</u> | <u>803</u> |
| Increase (decrease) in net financial assets | (68,735) | 26,755 | 19,064 |
| Net financial assets, beginning of year | <u>131,156</u> | <u>131,156</u> | <u>112,092</u> |
| Net financial assets, end of year | <u>\$ 62,421</u> | <u>\$ 157,911</u> | <u>\$ 131,156</u> |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Consolidated Statement of Cash Flows
Year ended December 31, 2018 with comparative figures for 2017
(in thousands of dollars)

| | 2018 | 2017 |
|--------------------------------------------------------|-----------|-----------|
| Cash provided by (used for): | | |
| Operating Transactions | | |
| Annual surplus | \$ 47,458 | \$ 41,134 |
| Items not involving cash: | | |
| Depreciation expense | 14,827 | 13,967 |
| Gain on disposal of tangible capital assets | (1,626) | (3,304) |
| Non-cash developer contributed assets and found assets | (3,918) | (15,176) |
| Lonsdale Energy Corp. income | (580) | (800) |
| Changes in non-cash operating items: | | |
| Decrease (increase) in due from other governments | 311 | (432) |
| (Increase) decrease in accounts receivable | (1,773) | 403 |
| Increase in loan to Lonsdale Energy Corp. | (4,052) | (4,197) |
| Increase in interest receivable | (1,469) | (1,315) |
| Decrease in accounts payable and accrued liabilities | (2,032) | (4,349) |
| Increase increase in deferred revenue | 11 | 3,984 |
| Increase in deferred development cost charges | 3,016 | 909 |
| Decrease in accrued employee future benefits | (137) | (93) |
| (Increase) decrease in advances and other liabilities | (279) | 871 |
| (Decrease) increase in inventories | 37 | (51) |
| (Increase) decrease in prepaid expenses | (139) | 854 |
| | 49,655 | 32,405 |
| Capital Transactions | | |
| Cash used to acquire tangible capital assets | (32,071) | (27,488) |
| Proceeds from sale of tangible capital assets | 2,187 | 9,128 |
| | (29,884) | (18,360) |
| Investing Transactions | | |
| Decrease (increase) in temporary investments | 970 | (1,340) |
| (Decrease) increase in portfolio investments | (21,489) | (11,479) |
| | (20,519) | (12,819) |
| Financing Transactions | | |
| Repayment of long-term debt | (203) | (195) |
| (Decrease) increase in cash | (951) | 1,031 |
| Cash, beginning of year | 7,747 | 6,716 |
| Cash, end of year | \$ 6,796 | \$ 7,747 |

See accompanying notes to the consolidated financial statements

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

1. OPERATIONS

The City of North Vancouver (the "City") was incorporated in 1907 and operates under the provisions of the Community Charter and the Local Government Act of British Columbia. The City's principal activity is the provision of local government services to residents of the incorporated area. These include administrative, protective, transportation, environmental, recreational, water and sanitary services.

2. SIGNIFICANT ACCOUNTING POLICIES

The consolidated financial statements of the City have been prepared in accordance with Canadian public sector accounting standards, as prescribed by the Public Sector Accounting Board ("PSAB") of CPA Canada. The significant accounting policies are summarized below:

(a) Basis of Presentation

The consolidated financial statements include the accounts of all the funds of the City, the accounts of the North Vancouver City Library, which is controlled by the City, the City's 33% proportionate share of the operations of the North Vancouver Recreation Commission, and the City's 50% proportionate share of the operations of the North Vancouver Museum and Archives Commission. The City's investment in Lonsdale Energy Corporation ("LEC"), a wholly owned government business enterprise, is accounted for using the modified equity method.

The City participates with the District of North Vancouver in the operation and management of the North Vancouver Recreation Commission, and the City includes its proportionate share in the City's consolidated financial statements. The current agreement specifies that the operating costs shall be paid 33% (2017 – 33%) by the City and 67% (2017 – 67%) by the District of North Vancouver. Each municipality is responsible for its own facilities and pays 100% of all capital costs relating to improvement, expansion and replacement of buildings or facility equipment.

The City also participates with the District of North Vancouver in the operation and management of the North Vancouver Museum and Archives Commission, and the City includes its proportionate share in the City's consolidated financial statements. The current agreement specifies that the operating costs shall be paid 50% (2017 – 50%) by the City and 50% (2017 – 50%) by the District of North Vancouver. Each municipality is responsible for its own facilities and pays 100% of all capital costs relating to improvement, expansion and replacement of buildings or facility equipment.

(b) Basis of Accounting

Revenue is recorded on an accrual basis and recognized when earned. Expenses are recognized as they are incurred and measurable as a result of the receipt of goods and services.

**The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)**

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(c) Revenue Recognition

Taxes are recorded at estimated amounts when they meet the definition of an asset, have been authorized and the taxable event occurs. For property taxes, the taxable event is the period for which the tax is levied. As taxes recorded are initially based on management's best estimate of the taxes that will be received, it is possible that changes in future conditions, such as reassessments due to audits, appeals and court decisions, could result in a change in the amount of tax revenue recognized.

Charges for sewer, water and solid waste usage are recorded as user fees. Connection fees revenues are recognized when the connection has been established.

Sale of service and other revenue are recognized on an accrual basis.

(d) Deferred Revenue

Deferred revenue consists of prepaid property taxes, prepaid business licenses, and fees paid in advance for services yet to be provided.

(e) Development Cost Charges

Development cost charges collected to pay for future capital projects are deferred upon receipt and recognized as revenue when the capital costs for which they were collected are incurred.

(f) Temporary Investments

Temporary investments include bank issued notes and bonds and provincial bonds and debentures maturing in the subsequent year and are valued at the lower of cost or market value.

(g) Portfolio Investments

Portfolio investments include bank issued notes and bonds and provincial bonds and debentures maturing after the subsequent year end. Securities are recorded at their cost and written down to reflect losses in value that are other than temporary.

(h) Budget Figures

The budget figures are based on the ten year financial plan adopted on May 7, 2018.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(i) Government Transfers

Unrestricted government transfers are recognized as revenue in the year that the transfer is authorized by the issuing government and any eligibility criteria have been met. Restricted government transfers, in the way of grants or other transfers, are recognized as revenue in the year in which any stipulations that create liabilities are met.

(j) Employee Future Benefits

The City and its employees make contributions to the Municipal Pension Plan. As this plan is a multi-employer plan, contributions are expensed as incurred.

Sick leave and post-employment benefits also accrue to the City's employees. The liabilities related to these benefits are actuarially determined based on services and best estimates of retirement ages and expected future salary and wage increases. The liabilities under these benefits plans are accrued based on projected benefits as the employees render services necessary to earn the future benefits.

(k) Long-term Debt

Long-term debt is recorded in the consolidated financial statements net of repayments and sinking fund adjustments.

(l) Non-Financial Assets

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They may have useful lives extending beyond the current year and are not intended for sale in the ordinary course of business.

(i) Tangible Capital Assets

Tangible capital assets are recorded at cost, which includes amounts that are directly attributable to acquisition, construction, development or betterment of the asset. The cost less residual value of the tangible capital assets, excluding land, is amortized on a straight line basis over their estimated useful lives as follows:

| | | |
|-----------------------|---------------------------------------------------|----------------|
| Land improvements | Straight line over useful life of each asset unit | 10 – 100 years |
| Parks | Straight line over useful life of each asset unit | 10 – 75 years |
| Buildings | Straight line over useful life of each asset unit | 10 – 100 years |
| Machinery & equipment | Straight line over useful life of each asset unit | 3 – 25 years |
| Vehicles | Straight line over useful life of each asset unit | 6 – 25 years |
| Infrastructure | Straight line over useful life of each asset unit | 7 – 100 years |
| Library materials | Straight line over useful life of each asset unit | 2 – 5 years |
| Work in progress | Not depreciated until put into use | |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

(l) Non-Financial Assets (cont'd)

(ii) Contributions of Tangible Capital Assets

Tangible capital assets received as contributions or transfers from developers are recorded at their estimated fair value at the date of receipt and also are recorded as revenue.

(iii) Works of Art and Historic Assets

Works of art and historic assets are not recorded as assets in these consolidated financial statements.

(iv) Natural Resources

Horticultural assets such as treed areas, grassy areas and gardens are not recognized as assets in the consolidated financial statements.

(v) Interest Capitalization

The City does not capitalize interest costs associated with the acquisition or construction of a tangible capital asset.

(vi) Leased Tangible Capital Assets

Leases that transfer substantially all of the benefits and risks incidental to ownership of property are accounted for as leased tangible capital assets. All other leases are accounted for as operating leases and the payments are charged to expenses as incurred.

(vii) Inventories

Inventories held for consumption are recorded at the lower of weighted average cost and replacement cost.

(m) Estimates

The preparation of the consolidated financial statements requires management to make estimates and assumptions that affect the reported amounts in the consolidated financial statements and the disclosure of contingent liabilities. Areas requiring significant estimation are post-employment benefits, compensated absences and termination benefits and estimated useful life of tangible capital assets. Actual results could differ from these estimates.

(n) Segment Disclosure

A segment is defined as a distinguishable activity or group of activities of a government for which it is appropriate to separately report financial information related to expenses. See note 12.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

2. SIGNIFICANT ACCOUNTING POLICIES (con't)

(o) Contaminated Sites

A liability for contaminated sites is recognized when a site is not in productive use or an unexpected event has occurred and the following criteria are met:

- i) An environmental standard exists;
- ii) Contamination exceeds the environmental standard;
- iii) The City is directly responsible or accepts responsibility;
- iv) It is expected that future economic benefits will be given up; and
- v) A reasonable estimate of the amount can be made

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

3. INVESTMENTS

(a) Temporary Investments

The fair value of temporary investments at December 31, 2018 was \$46,769,729 (2017 - \$45,656,327). These investments range in maturity date from January 4, 2019 to December 18, 2019, and range in yield from 1.82% to 5.13%.

(b) Portfolio Investments

The fair value of portfolio investments at December 31, 2018 was \$149,587,369 (2017 - \$130,643,198). These investments range in maturity from January 23, 2020 to May 15, 2031, and range in yield from 2.2% to 7.52%.

4. INVESTMENT IN LONSDALE ENERGY CORPORATION ("LEC")

The City owns all the issued and outstanding shares of LEC, which was incorporated under the British Columbia Company Act on July 7, 2003. LEC operates a district energy system providing hydronic energy to residential, institutional and commercial buildings in the Lower and Central Lonsdale, Moodyville and Marine Drive – Harbourside areas of the City of North Vancouver.

Summarized financial information relating to LEC is as follows:

| | 2018 | 2017 |
|------------------------------------------|------------------|------------------|
| Cash and accounts receivable | \$ 1,874 | \$ 2,701 |
| Tangible capital assets | 31,777 | 26,517 |
| Other assets | 612 | 520 |
| Total assets | <u>\$ 34,263</u> | <u>\$ 29,738</u> |
| Accounts payable and accrued liabilities | \$ 1,449 | \$ 1,496 |
| Deferred contributions | 6,511 | 6,368 |
| Debt | 24,189 | 20,340 |
| Total Liabilities | <u>\$ 32,149</u> | <u>\$ 28,204</u> |
| Shareholder's equity | <u>\$ 2,114</u> | <u>\$ 1,534</u> |
| Total revenue | \$ 4,770 | \$ 4,300 |
| Total expenses | 4,190 | 3,500 |
| Net income | <u>\$ 580</u> | <u>\$ 800</u> |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

4. INVESTMENT IN LONSDALE ENERGY CORPORATION ("LEC") (con't)

Included in the City's consolidated statement of financial position is "Investment in Lonsdale Energy Corp." in the amount of \$2,114,000 (2017 - \$1,534,000) and a loan receivable, see note 5. Also, included in accounts receivable in the City's consolidated statement of financial position are receivables from LEC in the amount of \$559,000 (2017 - \$416,000).

5. LOAN TO LONSDALE ENERGY CORPORATION ("LEC")

The loan receivable balance of \$23,293,926 (2017 - \$19,241,926) consists of the following interest bearing promissory notes:

On August 1, 2018, the City converted amounts due from LEC whereby LEC issued a 5 year promissory note to the City in the amount of \$33,661,966 bearing interest at 2.65%. The promissory note to the City has been partially drawn upon with a balance owing at December 31, 2018 of \$23,293,926 (2017 demand term loan and promissory notes \$19,241,926).

All loans are due on demand and bear interest at 2.65% (2017 - 2.1%). Interest revenue of \$492,448 (2017 - \$351,790) has been included in the consolidated statement of operations.

At the maturity date of the loan to LEC, the City may, at its discretion, extend the terms of the loan in whole or in part or LEC may repay the loan in whole or in part using either internal or external financing.

6. LONG-TERM DEBT

The City has financed the expansion of LEC by assuming debt on behalf of LEC through the Municipal Finance Authority in accordance with the Community Charter. Debt principal is reported net of repayments and actuarial adjustments. The City carries no other long-term debt. The total debt issued and outstanding as at December 31, 2018 was \$895,067 (2017 - \$1,097,739).

Future principal re-payments and actuarial adjustments on net outstanding debt over the next five years are as follows:

| | 2018 |
|------|-------------------|
| 2019 | \$ 210,779 |
| 2020 | 219,210 |
| 2021 | 227,979 |
| 2022 | 237,099 |
| | <u>\$ 895,067</u> |

Interest expense of \$6,000 (2017 - \$6,000) has been included in the Consolidated Statement of Operations. The interest rate on long-term debt is 0.3% per annum.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

7. EMPLOYEE FUTURE BENEFITS

(a) Sick and Severance

Employees of the City are entitled to payments related to unused sick leave and severance upon retirement or resignation after ten years of service. The amount recorded for these benefits is based on an actuarial valuation done by an independent firm of actuaries using a projected benefit actuarial valuation method pro-rated on services. The most recent actuarial valuation of the City's future benefits was completed as at December 31, 2018.

Information regarding the City's obligations for these benefits, including its proportionate share of the North Vancouver City Library, North Vancouver Recreation Commission, and North Vancouver Museum and Archives Commission, is as follows:

| | 2018 | 2017 |
|---------------------------------------------|-----------------|-----------------|
| Benefit obligation - beginning of the year | \$ 7,862 | \$ 7,380 |
| Add: Current service costs | 655 | 607 |
| Interest on accrued benefit obligation | 239 | 254 |
| Less: Actuarial (gain) loss | (154) | 495 |
| Benefits paid | (998) | (874) |
| Benefit obligation - end of the year | \$ 7,604 | \$ 7,862 |
| Add: Unamortized actuarial gain | 517 | 396 |
| Accrued benefit liability - end of the year | <u>\$ 8,121</u> | <u>\$ 8,258</u> |

The significant actuarial assumptions adopted in measuring the City's accrued benefit liability are as follows:

| | 2018 | 2017 |
|------------------------------------|----------------|----------------|
| Discount rates | 3.30% | 2.90% |
| Expected future inflation rates | 2.50% | 2.50% |
| Expected wage and salary increases | 2.58% to 4.63% | 2.58% to 4.63% |

The unamortized actuarial gain is amortized over a period equal to the employees' average remaining service lifetime of ten years for the City.

(b) Council Retirement Stipend

Starting 2005, Council Members are entitled to a retirement stipend based on 10.08% of the individual's total indemnity received subsequent to 2002. These amounts are accrued as earned and recorded in accounts payable and accrued liabilities.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

8. TANGIBLE CAPITAL ASSETS

| 2018 | Land | Land Improvements | Parks | Buildings | Machinery & Equipment | Vehicles | Infrastructure | Library Materials | Work in Progress | Total |
|---------------------------------|-----------|-------------------|-----------|------------|-----------------------|-----------|----------------|-------------------|------------------|------------|
| Cost | | | | | | | | | | |
| Balance as at December 31, 2017 | \$ 35,365 | \$ 55,813 | \$ 42,766 | \$ 123,057 | \$ 19,225 | \$ 11,082 | \$ 227,567 | \$ 936 | \$ 39,874 | \$ 555,685 |
| Additions | 4,467 | 7,535 | 6,934 | 2,657 | 1,005 | 410 | 6,671 | 219 | 46,888 | 76,786 |
| Disposals | 923 | - | - | 5 | 522 | 591 | 1,507 | 225 | 39,874 | 43,647 |
| Balance as at December 31, 2018 | \$ 38,909 | \$ 63,348 | \$ 49,700 | \$ 125,709 | \$ 19,708 | \$ 10,901 | \$ 232,731 | \$ 930 | \$ 46,888 | \$ 588,824 |
| Accumulated Depreciation | | | | | | | | | | |
| Balance as at December 31, 2017 | \$ - | \$ 10,458 | \$ 12,513 | \$ 52,352 | \$ 12,427 | \$ 5,859 | \$ 79,666 | \$ 471 | \$ - | \$ 173,746 |
| Depreciation expense | - | 1,761 | 1,613 | 4,823 | 1,739 | 587 | 4,090 | 214 | - | 14,827 |
| Disposals | - | - | - | 5 | 522 | 502 | 1,035 | 225 | - | 2,289 |
| Balance as at December 31, 2018 | \$ - | \$ 12,219 | \$ 14,126 | \$ 57,170 | \$ 13,644 | \$ 5,944 | \$ 82,721 | \$ 460 | \$ - | \$ 186,284 |
| Net Book Value | | | | | | | | | | |
| December 31, 2018 | \$ 38,909 | \$ 51,129 | \$ 35,574 | \$ 68,539 | \$ 6,064 | \$ 4,957 | \$ 150,010 | \$ 470 | \$ 46,888 | \$ 402,540 |

| 2017 | Land | Land Improvements | Parks | Buildings | Machinery & Equipment | Vehicles | Infrastructure | Library Materials | Work in Progress | Total |
|---------------------------------|-----------|-------------------|-----------|------------|-----------------------|-----------|----------------|-------------------|------------------|------------|
| Cost | | | | | | | | | | |
| Balance as at December 31, 2016 | \$ 30,251 | \$ 50,259 | \$ 38,822 | \$ 116,849 | \$ 17,476 | \$ 9,241 | \$ 223,757 | \$ 943 | \$ 34,443 | \$ 522,041 |
| Additions | 5,685 | 5,554 | 4,515 | 11,352 | 2,317 | 2,044 | 6,123 | 211 | 36,402 | 74,203 |
| Disposals | 571 | - | 571 | 5,144 | 568 | 203 | 2,313 | 218 | 30,971 | 40,559 |
| Balance as at December 31, 2017 | \$ 35,365 | \$ 55,813 | \$ 42,766 | \$ 123,057 | \$ 19,225 | \$ 11,082 | \$ 227,567 | \$ 936 | \$ 39,874 | \$ 555,685 |
| Accumulated Depreciation | | | | | | | | | | |
| Balance as at December 31, 2016 | \$ - | \$ 8,934 | \$ 11,438 | \$ 47,719 | \$ 11,441 | \$ 5,476 | \$ 77,496 | \$ 471 | \$ - | \$ 162,975 |
| Depreciation expense | - | 1,524 | 1,447 | 4,657 | 1,554 | 542 | 4,025 | 218 | - | 13,967 |
| Disposals | - | - | 372 | 24 | 568 | 159 | 1,855 | 218 | - | 3,196 |
| Balance as at December 31, 2017 | \$ - | \$ 10,458 | \$ 12,513 | \$ 52,352 | \$ 12,427 | \$ 5,859 | \$ 79,666 | \$ 471 | \$ - | \$ 173,746 |
| Net Book Value | | | | | | | | | | |
| December 31, 2017 | \$ 35,365 | \$ 45,355 | \$ 30,253 | \$ 70,705 | \$ 6,798 | \$ 5,223 | \$ 147,901 | \$ 465 | \$ 39,874 | \$ 381,939 |

(a) Work in Progress

Work in progress having a value of \$ 46,888,000 (2017 - \$39,874,000) has not been amortized. Amortization of these assets will commence when the asset is in service.

(b) Developer Contributed Tangible Capital Assets and Other Transfers

Developer contributed tangible capital assets and other transfers have been recognized at their estimated fair value at the date of contribution. Developer contributed tangible capital assets and other transfers of \$3,918,000 (2017 - \$15,176,000) have been recognized during the year.

(c) Works of Art and Historic Assets

The City manages and controls various works of art and non-operational historic assets including buildings, artifacts, paintings and sculptures located at City sites and public display areas. These assets are not recorded in the consolidated financial statements of the City.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

8. TANGIBLE CAPITAL ASSETS (con't)

(d) Write-Down of Tangible Capital Assets

There were no write-downs of tangible capital assets during the current or prior year.

9. ACCUMULATED SURPLUS

| | 2018 | 2017 |
|------------------------------------------|------------|------------|
| Current Funds – general, water and sewer | \$ 35,877 | \$ 30,826 |
| Reserve fund | 112,153 | 91,918 |
| Capital fund | 414,696 | 392,524 |
| Accumulated surplus, end of year | \$ 562,726 | \$ 515,268 |

(a) Current Funds – general, water and sewer

| | 2018 | 2017 |
|-----------------|-----------|-----------|
| Appropriated: | | |
| General funds | \$ 14,162 | \$ 11,781 |
| Water fund | 1,096 | 761 |
| Sewer fund | 10,722 | 9,197 |
| Unappropriated: | | |
| General funds | 9,128 | 8,273 |
| Sewer funds | 745 | 814 |
| Water fund | 24 | - |
| | \$ 35,877 | \$ 30,826 |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

9. ACCUMULATED SURPLUS (con't)

(b) Reserve Funds

| | Balance | Contributions | Earnings | Less | Balance |
|--------------------------------------|-------------------|---------------|----------|--------------|-------------------|
| | December 31, 2017 | & Transfers | | Expenditures | December 31, 2018 |
| Machinery and Equipment | | | | | |
| Engineering | \$ 3,577 | \$ 439 | \$ 146 | \$ 248 | \$ 3,914 |
| Fire | 175 | 716 | 37 | 224 | 704 |
| General | 103 | - | 18 | 22 | 99 |
| Computer | 1,079 | 38 | 30 | 586 | 561 |
| Building | 820 | - | 20 | 301 | 539 |
| Local Improvements | 782 | 5 | 23 | 5 | 805 |
| Affordable Housing | 4,299 | 467 | 132 | 30 | 4,868 |
| Tax Sale Lands | 33,668 | - | 1,921 | 661 | 34,928 |
| Waterworks | 6,229 | - | 181 | 366 | 6,044 |
| Parking | 405 | 70 | 13 | 298 | 190 |
| Civic Amenity | 35,961 | 29,753 | 2,662 | 13,605 | 54,771 |
| Justice Administration Accommodation | 151 | - | 4 | 13 | 142 |
| Streets DCC | - | 328 | - | 328 | - |
| Parks DCC | - | 3,695 | - | 3,695 | - |
| Lower Lonsdale Amenity | 546 | - | 9 | 485 | 70 |
| Lower Lonsdale Legacy | 2,661 | - | 76 | 77 | 2,660 |
| Infrastructure | 73 | - | 508 | 249 | 332 |
| Public Art | 437 | 95 | 14 | 44 | 502 |
| Marine Drive Community Amenity | 336 | - | 10 | - | 346 |
| Sustainable Transportation | 284 | 88 | 8 | 31 | 349 |
| Carbon Fund | 332 | 85 | 10 | 98 | 329 |
| Water DCC | - | - | - | - | - |
| Sanitary DCC | - | - | - | - | - |
| Drainage DCC | - | - | - | - | - |
| Total | \$ 91,918 | \$ 35,779 | \$ 5,822 | \$ 21,366 | \$ 112,153 |

(c) Capital Fund

| | 2018 | 2017 |
|-------------------------------------|-------------------|-------------------|
| Capital fund | | |
| Invested in tangible capital assets | \$ 402,540 | \$ 381,939 |
| Appropriated Capital funds | 12,156 | 10,585 |
| | <u>\$ 414,696</u> | <u>\$ 392,524</u> |

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

10. CONTRACTUAL OBLIGATIONS

(a) Property Taxes

The City is obliged to levy, collect and remit property taxes on behalf of, and to finance the arrears of property taxes of, other bodies as follows:

| Collections for and remittances to other bodies | 2018 | 2017 |
|-------------------------------------------------|------------------|------------------|
| Provincial Government - Schools | \$ 36,026 | \$ 34,368 |
| Greater Vancouver Regional District | 1,340 | 1,152 |
| Greater Vancouver Transportation Authority | 7,992 | 7,572 |
| British Columbia Assessment Authority | 1,367 | 1,300 |
| Municipal Finance Authority | 6 | 5 |
| BIA Lower Lonsdale Society | 498 | 507 |
| | <u>\$ 47,229</u> | <u>\$ 44,904</u> |

(b) Pension Liability

The City and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2017, the plan has about 197,000 active members and approximately 95,000 retired members. Active members include approximately 39,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent valuation for the Municipal Pension Plan as at December 31, 2015, indicated a \$2,224 million funding surplus for basic pension benefits on a going concern basis. As a result of the 2015 basic account actuarial valuation surplus and pursuant to the joint trustee agreement, \$1,927 million was transferred to the rate stabilization account and \$297 million of the surplus ensured the required contribution rates remained unchanged.

The City paid \$4,112,000 (2017 - \$3,895,000) for employer contributions to the plan in fiscal 2018.

The next valuation will be as at December 31, 2018, with results available in 2019.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

(b) Pension Liability (con't)

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

(c) Contingent Liabilities

The City is currently engaged in or party to certain legal actions, assessment appeals and other existing conditions involving uncertainty which may result in material loss. A reasonable estimate of these future liabilities has been made where possible and is recorded in the financial statements as a liability. Where the outcomes of amounts or losses are uncertain, no amounts have been recorded.

(d) E-Comm

The City is a member of Emergency Communications for British Columbia, Incorporated ("E-Comm"), an organization comprised predominately of member municipalities, for the purpose of providing emergency dispatch services. The City is represented on the board and as a class "A" shareholder has voting rights should the organization want to incur additional debt.

The E-Comm facility was constructed using debt as a financing mechanism and members are liable for a proportionate share of that debt. This debt is repaid by members through annual fees charged by E-Comm. Should E-Comm dissolve, the members would be liable for a proportionate share of any residual debt. Alternatively, should members choose to opt out of E-Comm they would be liable for a proportionate share of debt at the time of withdrawal.

The City holds 2 class "A" shares and one class "B" share.

(e) Other contractual Obligations

During 2014 the City, in conjunction with the District of North Vancouver and the District of West Vancouver, entered into a new contract for recyclables collection for a period of five years commencing July 1, 2015. The City's portion of the annual contract costs is expected to be approximately \$1,100,000 for the years 2015 to 2020. The City is also eligible to receive an incentive from Multi-Materials BC (MMBC) of approximately \$65,000 per month (\$780,000 annually).

As at December 31, 2018 the City had entered into various construction contracts for a total outstanding value of \$13.5M

11. TRUST FUNDS

Certain assets have been conveyed or assigned to the City to be administered as directed by an agreement or statute. The City holds the assets for the benefit of, and stands in a fiduciary relationship to, the beneficiary. The Cemetery Trust Fund, totaling \$2,918,000 (2017 - \$2,750,000), which is administered by the City, has not been included with the City's accounts.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

12. SEGMENTED INFORMATION

The City is a diversified municipal government entity in the Province of British Columbia that provides a wide range of services to its citizens. Certain functional areas have been combined and separately disclosed in the segmented information. The segments and the services they provide are as follows:

General Government

General Government provides the administrative and legislative services that support the various sectors of the City. Functions include financial planning and reporting, economic development and legislative services.

Transportation and Transit

The Transportation department aims to provide enhanced access to public transit, safe pedestrian and cyclist routes, enable accessible transportation for people with limited mobility and maintain existing infrastructure. These goals are achieved through street design, traffic signals and signs, street lighting and road maintenance activities.

Health, Social Services and Housing

Health, Social Services and Housing encompasses a wide variety of City funded initiatives aimed at supporting the social structure and sustainability of the community. Included are cemetery operations, youth and family support services, seniors programs and homeless prevention initiatives.

Development Services

Development Services' focus is community planning, which includes land use guidelines, the management of City owned lands, heritage planning and development of the City's official community plan.

Protective Services

Protective Services is comprised of the North Vancouver RCMP detachment, the North Vancouver City Fire Department and bylaw enforcement. The North Vancouver RCMP detachment plays an integral role in the protection of North Vancouver residents and their property through crime prevention and detection, emergency response and victim services. The North Vancouver City Fire Department is responsible to provide fire suppression service, fire prevention services and fire safety education.

Parks, Recreation and Culture

Parks, Recreation and Culture provides access to recreation facilities, the operation and maintenance of the City's many parks and trails, the North Vancouver City Library and the City's participation in the North Vancouver Museum and Archives and the North Vancouver Office of Cultural Affairs.

Water Utilities

The Water Utility, in conjunction with Metro Vancouver, provides safe, clean, reliable water to the residents and businesses of the City of North Vancouver.

Sewer Utilities

The Sewer Utility collects waste water and transports it to trunk water mains and wastewater treatment plants operated by Metro Vancouver. In addition to the collection of wastewater, the Sewer Utility also manages the City's 150km storm sewerage system which diverts rainfall runoff from private property with an emphasis on flood prevention.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

12. SEGMENTED INFORMATION (con't)

Solid Waste

The Solid Waste department provides curbside garbage, recycling and yard trimmings collection to the residents of the City of North Vancouver.

| | Revenues | Expenses | | | | | | Annual Surplus(Deficit) |
|-------------------------------------|------------|---------------------|---------------------|-----------|--------------|-------------|------------|----------------------------|
| | | Wages & Benefits | Goods & Supplies | Services | Depreciation | Capitalized | Total | |
| General Government | \$ 107,070 | \$ 13,150 | \$ 3,113 | \$ 6,634 | \$ 4,580 | \$ (8,184) | \$ 19,293 | \$ 87,777 |
| Transportation and transit | 2,293 | 2,432 | 636 | 6,097 | 2,763 | (4,755) | 7,173 | (4,880) |
| Health, social services and housing | 441 | 453 | 84 | 2,100 | - | - | 2,637 | (2,196) |
| Development services | 8,622 | 5,601 | 47 | 278 | - | - | 5,926 | 2,696 |
| Protective Services | 1,683 | 17,493 | 850 | 6,600 | 637 | (261) | 25,319 | (23,636) |
| Parks, recreation and culture | 10,465 | 14,194 | 1,142 | 20,878 | 5,290 | (13,714) | 27,790 | (17,325) |
| Water utilities | 11,706 | 2,037 | 7,550 | 2,090 | 829 | (2,888) | 9,618 | 2,088 |
| Sewer utilities | 12,054 | 1,466 | 302 | 8,739 | 682 | (2,050) | 9,139 | 2,915 |
| Solid waste | 4,170 | 1,307 | 47 | 2,751 | 46 | - | 4,151 | 19 |
| 2018 | \$ 158,504 | \$ 58,133 | \$ 13,771 | \$ 56,167 | \$ 14,827 | \$ (31,852) | \$ 111,046 | \$ 47,458 |
| 2017 | \$ 146,514 | \$ 54,048 | \$ 15,615 | \$ 52,500 | \$ 13,967 | \$ (30,750) | \$ 105,380 | \$ 41,134 |

13. CONTRACTUAL RIGHTS

Contractual rights are rights to economic resources arising from contracts or agreements that will result in revenues and assets in the future. As at December 31, 2018 the significant contractual rights of the City consisted of developer contributions. These rights exist as the City has entered into a number of public works development agreements which require the developers to contribute various infrastructure assets to the City, including roads and underground utilities. The timing and extent of these future contributions vary depending on development activity and fair value of the assets received at time of contribution. The contributions will be recorded as revenue based on the fair value of the assets received at the time that the City assumes the risks and responsibilities related to the assets.

The Corporation of the City of North Vancouver
Notes to Consolidated Financial Statements
Year ended December 31, 2018
(tabular amounts in thousands of dollars)

14. BUDGET FIGURES

The budget figures presented in these consolidated financial statements are based upon the financial plan approved by Council as the Financial Plan for the Years 2018 to 2027 Bylaw, 2017, No. 8637 May 7, 2018. The table below reconciles the approved budget to the budget figures reported.

| | | Financial Plan Bylaw |
|--------------------------------------------------|----------------|-------------------------|
| Revenue per Statement of Operations | \$ | 107,848 |
| Less: | | |
| Budget Adjustments for Consolidation | (547) | |
| Transfers from Reserve | (1,843) | |
| Interagency Funds | <u>(4,752)</u> | (7,142) |
| Revenue per financial plan bylaw 8637 | | <u>100,706</u> |
| Expenses per Statement of Operations | | 107,793 |
| Add: | | |
| Transfer to other funds | | (2,203) |
| Less: | | |
| Budget Adjustments for Consolidation | 1,821 | |
| Interagency payments | <u>(4,752)</u> | (2,931) |
| Expenses per financial plan bylaw 8637 | | <u>102,659</u> |
| Deficit for the year | | (1,953) |
| Reserves and capital: | | |
| Capital expenditures | | (82,690) |
| Depreciation | | 13,900 |
| Equity | | (8,074) |
| Transfers from reserves | | 57,442 |
| External contributions | | <u>21,375</u> |
| Annual budgeted Surplus per financial plan bylaw | \$ | <u>-</u> |

2018 Permissive Tax Exemptions

| ORGANIZATION | PROPERTY ADDRESS | MUNICIPAL TAXES EXEMPT PORTION |
|--------------------------------------------------------------------|--------------------------------------|--------------------------------|
| Anavets Senior Citizens' Housing | 245 3rd St. East | \$40,236 |
| Army, Navy Air Force Veterans in Canada | 119 East 3rd Street | \$15,888 |
| The Auxilary to the Lions Gate Hospital | 128 15th Street West | \$10,213 |
| BC Photography and Media Arts Society | 105 Carrie Cates Court | \$76,680 |
| Canadian Mental Health Association | 300-1835 Lonsdale Ave | \$14,188 |
| The Cascadia Society for Social Working | 325 West 19th Street | \$3,601 |
| The Cascadia Society for Social Working | 351 West 19th Street | \$3,367 |
| The Cascadia Society for Social Working | 348 West 19th Street | \$3,217 |
| Community Living Society | 317 & 319 East Keith Road | \$3,852 |
| Community Living Society | 1003-555 West 28th Street | \$1,077 |
| City of North Vancouver (Pipe Shop) | 115 Victory Ship Way | \$30,319 |
| Family Services North Shore | 1109-1117 Lonsdale Avenue | \$20,867 |
| Fraternal Order of Eagles, North West Aerie 2638 | 170 West 3rd Street | \$13,604 |
| Hollyburn Family Services Society | 210 West 13th Street | \$5,633 |
| HYAD Housing for Young Adults with Disiabilities | 2130 Chesterfield Avenue | \$2,436 |
| Kiwanis North Shore Housing Society | 170 West 2nd Street | \$42,575 |
| Kiwanis North Shore Housing Society | 1480 St. Andrews | \$2,818 |
| Lighthouse Harbour Ministries | 1 - 260 East Esplanade | \$3,725 |
| The Lonsdale Creek Daycare Society | 230 West 21st Street | \$6,434 |
| Lookout Emergency Aid Society, NS Shelter | 705 West 2nd Street | \$12,198 |
| Marineview Housing Society | 1415 Chesterfield Ave | \$3,224 |
| Marineview Housing Society | 1057 Cloverley Street | \$2,597 |
| Metro Vancouver Philippine Arts & Culture Exposition Society | 111 East 3rd Street | \$5,021 |
| North Shore Connexions Society | 1924 Jones Avenue | \$2,606 |
| The North Shore Disability Resource Centre Association | 2412 Wilding Way | \$2,788 |
| North Shore Multicultural Society | 123 East 15th Street (Various Units) | \$53,253 |
| North Shore Neighbourhood House | 225 East 2nd Street | \$39,121 |
| North Shore Neighbourhood House (Centre View Childcare) | 143 East 14th Street | \$2,816 |
| North Shore Neighbourhood House (Community Garden) | 207 East 2nd Street | \$3,782 |
| North Vancouver Chamber of Commerce | 102-124 West 1st Street | \$6,608 |
| North Vancouver Lawn Bowling Club | 2160 Lonsdale Avenue | \$104,337 |
| North Vancouver Masonic Temple | 1140 - 1144 Lonsdale Avenue | \$6,618 |
| Presentation House Cultural Society | 333 Chesterfield Avenue | \$60,445 |
| North Vancouver Royal Canadian Legion | 121/123 West 15th Street | \$16,324 |
| Silver Harbour Centre | 144 East 22nd Street | \$19,377 |
| St. Edmund's Parish | 613 Mahon Avenue | \$5,776 |
| St Leonard's Society of North Vancouver | 312 Bewicke Avenue | \$2,380 |
| Vancouver Coastal Health Authority- Magnolia House | 720 East 17th Street | \$2,907 |
| Vancouver Coastal Health Authority- Margaret Fulton Adult Day Care | 1601 Forbes Avenue | \$28,363 |
| Young Women's Christian Association | 125 East 14th Street | \$5,109 |
| Assembly of Christians (Gospel Hall) | 133 East 4th Street | \$3,308 |
| North Shore Bethel Christian Mennonite Brethern Church | 185 East Keith Road | \$1,832 |
| Holy Trinity Catholic Church | 2705 Lonsdale Avenue | \$3,608 |
| North Shore Alliance Church | 201 East 23rd Street | \$20,514 |
| King's Temple Missionary Society (NS Christian Centre) | 1400 Sutherland Avenue | \$1,958 |
| Parish of St. Agnes Anglican Church | 530 East 12th Street | \$741 |
| Parish of St. John The Evangelist Anglican Church | 209 West 13th Street | \$13,869 |
| Salvation Army North Vancouver Community Church | 105 West 12th Street | \$8,393 |
| St. Andrew's & St. Stephen's Presbyterian Church | 2641 Chesterfield Avenue | \$4,765 |
| St. Andrew's United Church | 1044 St. Georges Avenue | \$2,992 |
| Sutherland Church | 630 East 19th Street | \$4,317 |
| Total | | \$752,677 |

Declaration of Council Disqualifications

No Councillors were disqualified from holding office in 2018 under the provisions set out in the Community Charter.





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of north
vancouver

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City of North Vancouver

Detailed Progress Report on 2018 Objectives

| 2018 OBJECTIVES | 2018 MEASURES |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CHIEF ADMINISTRATIVE OFFICER | |
| Communications | |
| Create and execute a promotions strategy, as well as create a logo and brand identity for the City's newest signature event, 'SHIPPED'. Conduct a large scale awareness campaign for the event. | Completed. Designed creative logo and created themed brand identity package for this new 2018 event. Produced all promotional and marketing materials and onsite signage. Created and executed multi-tiered communications and outreach strategy. Successfully promoted the 'SHIPPED' event locally and regionally. |
| Conduct a social media audit review of the City's social media channels (Twitter, Facebook, Instagram, Flickr, YouTube, and LinkedIn), implement resulting recommendations and tactics. | The social media audit is an annual project; however, due to online and digital workload, we were not able to complete this item in 2018. However, staff did incorporate several new successful tactics, practices, creative approaches, and features in our social media methods to further encourage engagement and follower interest. Social media audit for 2019 is presently underway. |
| Create Election 2018 materials – logo, graphics, brochure, web section, candidate web section, signage, and videos. Execute election awareness campaign. Build election night results webpage to display live real time voting numbers. Build new web section for newly elected Council members; organize new head shots, all new Council photography, and produce new City Council information card. | Completed. Designed logo and brand to represent the City's 2018 election. Created information materials, web section, videos, signage, etc. Created and executed communications and outreach strategy. Built interactive election web section with new features and easy to navigate online candidate section. Designed web display of live election results on election night and day after. Produced post-election information materials promoting new Mayor and Council. |
| Create tailored large scale awareness campaigns and celebration events/opening ceremonies for the City's major projects reaching completion in 2018 - Spirit Trail, Green Necklace, Foot of Lonsdale, and Waterfront. | Completed. Designed tailored communications campaigns and engagement strategies to promote the City's key amenity deliverables being completed and delivered to the community. We conducted promotions and community based photo op events for the completion of the Spirit Trail, Green Necklace and Foot of Lonsdale. As well, promotional teasers were heightened for the 2019 Waterfront opening. |
| Design a plan and strategy for creating greater efficiencies and enhanced social media outreach by engaging specific designated staff to serve as engaging contributors to the City's social media channels. | First phase completed. An introductory outline for first round of designated staff to serve as social media champions, voices and suppliers on the City's social media channels enacted - Fire Department, Shipyards Liaison, and streets crew. |

| 2018 OBJECTIVES | 2018 MEASURES |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| Refresh and redesign City website homepage and secondary webpages with a reconfigured layout to enhance functionality, navigation and user experience. | Completed. Refresh done on homepage and secondary webpages. Next round of refresh and enhancement work due in 2019. |
| Strategic Initiatives and Services | |
| Ongoing construction on Lot 5 development. | Ongoing. Project completion estimated July 2019. |
| Completion of Foot of Lonsdale public realm. | Completed. |
| Establishment of Central Waterfront governance, including staffing model and annual budget. | Completed. |
| Complete HJCRC schematic design (including Class C cost estimate) and present design, financial plan and timeline for project completion to Council in July 2018. | Completed schematic design and obtained approval from Council July 2018. |
| Facilities and Real Estate | |
| Complete the Facility Management and Operations Procedure and Policies manual. | 80% complete. |
| Complete Service Level Agreements with Community Services and Planning departments. | Underway. |
| Complete the Gerry Brewer Reception Security Upgrades. | Completed. |
| Complete a 10 year strategic plan for the North Vancouver Municipal Cemetery. | Cemetery Services relocated to Park and Engineering Department. |
| Complete a Workspace Accommodation Plan to address the potential of increases to existing staffing levels at the City and Gerry Brewer. | Underway. City Hall complete. Gerry Brewer underway. |
| Information Technology | |
| Conduct business requirement review and prepare business case to replace end of life telephone system in 2019. | This business case was successfully completed and funding was received. The RFP process and implementation will commence 2019. |
| Continue with the multi-year CityPal project which is replacing our aging applications such as business licenses, development, building applications and providing a new digital interface for residents. | The successful launch of the CityPal project was July 2019 which also included the online public portal CityServ. |
| Complete the replacement of the existing end-of-life parking and ticketing application. | The RFP for a new solution was completed and awarded in November 2018 and implementation is scheduled to be completed in October 2019. |
| Complete the implementation of an environmentally and cost effective solution for printing and scanning. | The RFP for a new printing and scanning solution was awarded in December 2018 and implementation was completed in April 2019. |
| Implement additional enhancements for cyber-security systems, monitoring, education, and policies to prevent unauthorized access to City data by external or internal sources. | Increased security enhancements, monitoring and testing was implemented in 2018. Further enhancements will continue to be implemented on a regular basis. |
| Human Resources | |
| Conclude negotiations with CUPE #389 for Library employees. | Negotiations completed. 2016 – 2019 Collective Agreement implemented. |

| 2018 OBJECTIVES | 2018 MEASURES |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| Complete PeopleSoft HCM 9.2 software upgrade. | Peoplesoft HCM 9.2 software update completed. |
| Implement identified top priorities regarding procedures and processes that will enhance business operations and efficiencies from PeopleSoft 2017 Audit. | Vendor for Peoplesoft HCM2020 has been selected and project planning is in progress. |
| Provide professional development and on-the-job opportunities for Managers to enhance and further develop their employee management skills. | Professional development opportunities for Managers are made available on an ongoing basis. |
| Continue to expand and provide meaningful Training and Wellness opportunities for Staff and Employee Development. | Training and wellness opportunities continue to be expanded. |
| Provide a smooth transition for new Mayor and Council in Fall 2018. | Transition of new Mayor and Council was completed in November 2018. |
| CITY CLERKS | |
| Administer and carry-out the 2018 General Local Election. | Completed. |
| Proceed to Phase 2 of the digitization of Council Reports and Resolutions. | Completed. |
| Adopt the City-wide Protection of Privacy Policy. | Adopted. |
| FINANCE | |
| Review the external service requirements of the Insurance division within Finance and engage in competitive bidding processes, where required, for securing these services. | Completed. |
| Complete the review of the City's Purchasing Policy. | Deferred to 2019. |
| Complete the review of Community Amenity Contribution's revenue / allocation for inclusion in the Long Term Financial Plan. | Completed and ongoing. |
| Complete the debt management policy for the City. | Deferred to 2019. |
| Complete the review of signing limits and PeopleSoft approval framework. | Reviewed and ongoing. |
| Complete the consolidation of user fees and bylaws. | Deferred. |
| Complete the review of the Utility Rate Model. | Reviewed and ongoing. |
| Continued assessment of the City's Long Term Property Tax Strategy to reduce business taxation. | Deferred to 2019. |
| Compliance with all statutory reporting requirements under the Community Charter. | Completed and ongoing. |
| ENGINEERING , PARKS AND ENVIRONMENT | |
| Operations | |
| Complete list of asset condition. | 70% complete. |
| Complete the Fleet right sizing strategy. | Underway. |
| Engineering Planning and Design | |
| Create pavement maintenance and renewal strategy. | Completed. |

| 2018 OBJECTIVES | 2018 MEASURES |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| Implement Flood Protection Works along Mackay Creek. | 90% complete. |
| Public Space Design and Delivery | |
| Complete construction of Green Necklace from Lonsdale 21st to Grand Boulevard 19th. | Completed. |
| Complete construction of Spirit Trail Mosquito Creek Marina in conjunction with Squamish Nation. | Completed. |
| Initiate the ongoing landscape encroachment management strategy. | Completed. |
| Design of bridge replacement on Marine Drive at Mosquito Creek. | Completed. |
| Parks and Environment | |
| Complete construction of Phase One of the Moodyville Park Master Plan. | Underway. |
| Complete construction of Semisch Park Improvements. | Delayed to 2020. |
| Complete construction of the Heywood Park/Mackey Creek Habitat Enhancement Project. | Underway. |
| Administration | |
| Advance use of Infor for improved asset condition data and decision making. | Underway. |
| Update Emergency Response Plan. | Delayed to 2020. |
| Refresh Departmental Strategic Plan. | Underway. |
| COMMUNITY SERVICES | |
| Business and Economic Development | |
| Amend Wharf Bylaw to accommodate layover moorage in off-peak season. | Completed. |
| Update The Shipyards Event Policy. | Completed. |
| Update Business License Bylaw. | Completed. |
| Launch new City Pal process for Business Licensing. | Ongoing. |
| Contribute to the interagency transportation initiative. | Completed. |
| Further evolve the Placemaking initiative with overall program development. | Ongoing. |
| Explore Lower Lonsdale Business Association involvement in City hosted events. | Ongoing. |
| Report back on recommendations to follow-up on the Central Lonsdale Business Pulse Survey. | Completed. |
| Continue to work with Queensbury merchants to identify issues and opportunities. | Ongoing. |
| Review the City's Youth Outreach Strategy. | Currently underway. |
| Enforcement | |
| Complete the creation of the GPS rules and procedures for the Bylaw Services Fleet vehicle to improve Work Alone Safety and driving habits for the Bylaw Enforcement Officers. | Ongoing. |

| 2018 OBJECTIVES | 2018 MEASURES |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|
| Complete the review/evaluation of the Ticket Management System RFP and select a vendor. Implement the selected Ticketing Management System and related hardware. | Vendor selected / implementation ongoing. |
| Close the Medical Marijuana dispensaries operating in the city via Civil Injunction if necessary. | Completed. |
| Complete update of the Bylaw Services Division's Procedure Manual, including Parking Bylaw Notice Screening and Cancellation Policy, to recognize the shift of the role of the Bylaw Enforcement Officer from an Enforcer to an Ambassador of the City. | Ongoing. |
| Permits and Inspections | |
| Work with Communications office to enhance publications (hardcopy and electronic) relating to the City's construction permitting and inspections process. | Ongoing. |
| Maintain high levels of customer service and compliance with construction bylaws. | Ongoing. |
| Work with other departments to develop efficiencies to reduce building permit backlog due to the high level of construction activity. | Ongoing. |
| Work with Communications office to re-structure website information with tailored content regarding instructions on construction and renovating buildings in the City. | Ongoing. |
| PLANNING | |
| Development | |
| Streamline development process to reduce average processing times and backlog. | Implemented inter-departmental Development Application Review Team and completed review of key processes. |
| Complete CityPAL implementation. | Core Building and Planning functionality completed with 2019 launch anticipated. |
| Complete Harry Jerome Neighbourhood Lands Rezoning and Development Guidelines. | Completed and pending further Council direction. |
| Processing major Development Applications including Eastern Avenue development, Northmount Medical, 250 E 15th and Harbourside. | Processed and brought forward a substantial number of significant applications in 2018. Others are ongoing with 2019 completion anticipated. |

| 2018 OBJECTIVES | 2018 MEASURES |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Land Use and Community Planning | |
| Complete Child Care Strategy. | Research and background work complete with policy anticipated in 2019. |
| Complete Community Well Being Strategy (Social Plan Update). | Research and background work complete with policy anticipated in 2019. |
| Continue implementation of Housing Action Plan including: <ul style="list-style-type: none"> a. Zoning Bylaw Review (lot sizes, height envelopes) b. Family Friendly Design Guidelines c. Non-profit Housing Regeneration Policy d. Provincial grant work. e. Inclusionary Zoning Review | Zoning Bylaw lot size review complete. Advanced several key projects including shovel ready project and grant applications. |
| Implementation of Duplex Special Study Area. | Deferred, anticipated in 2019. |
| Environmental Sustainability | |
| Complete Electric Vehicles Strategy. | Completed and currently in implementation phase. |
| Deliver cigarette butt litter reduction campaign. | Deferred. |
| Work with Metro Vancouver to deliver the Strata Energy Advisor program. | Underway. |
| Implement Step Code Energy Advisor Rebate Program. | Underway. |
| Transportation | |
| In conjunction with federal, provincial, regional and municipal partners develop an Integrated North Shore Transportation Plan. | Completed and currently in implementation phase. |
| In conjunction with regional and municipal partners develop conceptual design for Marine-Main 2019 B-Line. | Completed. |
| Complete Pedestrian Plan. | Framework anticipated in June 2019 with content to be incorporated in Long Range Transportation Plan. |
| Complete St David's to Queensbury Neighborhood Traffic Calming Plan. | Initial scope completed, program under review. |
| Building | |
| Work with Communications office to enhance publications (hardcopy and electronic) relating to the City's construction permitting and inspections process. | Underway. Expected to be completed in 2019. |
| Maintain high levels of customer service and compliance with construction bylaws. | Ongoing. Implementation of new permitting software in July 2019 will improve customer service. |
| Work with other departments to develop efficiencies to reduce building permit backlog due to the high level of construction activity. | Ongoing. Development of new interdepartmental business processes in 2018 and reflected in new permitting software will streamline City processes moving forward. |
| Work with Communications office to re-structure website information with tailored content regarding instructions on construction and renovating buildings in the City. | Underway. The first (culling the existing content) of three phases of this project is complete. The 2nd phase will be the drafting of City website permitting instructions / requirements. |

| 2018 OBJECTIVES | 2018 MEASURES |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|
| RCMP | |
| Increase visibility and enhance service. | Ongoing. |
| Demonstrate accountability through effective management. | Ongoing. |
| Advocate for a Communications Strategist. | Completed. |
| Construct a new Front Counter reception area with the latest in security and customer service features. | Completed. |
| FIRE AND RESCUE | |
| Blue Card Certification for remaining Officer Pool members. | Completed. |
| Continuation of Swiftwater training. | Completed. |
| Confined Space training. | Completed. |
| Tower Crane training. | Completed. |
| Officer Development. | Completed. |
| Enhanced Auto Extrication training. | Deferred. |
| Firefighter recruitment. | Completed. |
| Complete CityPal Integration. | Deferred. |
| Training and updates for the Tri-Municipal Emergency Operations Plan. | Completed. |
| Upgrade Auto Extrication equipment and auto external defibrillators. | Completed. |
| NORTH VANCOUVER MUSEUM AND ARCHIVES COMMISSION | |
| Complete architectural plans for tenant improvements in the new museum, engage a construction manager, tender contracts for tenant improvements, and plan for start of construction in 2019. | Architectural plans completed; other items ongoing. |
| Complete design development for new museum exhibits, engage exhibit fabricator, confirm exhibit fabrication budget and scope, and develop interpretive plan for Streetcar 153. | Exhibit development completed; exhibit fabrication underway; streetcar interpretive plan deferred. |
| Launch an organizational transition planning process, including a Revised Business Plan, staffing plan for the new museum, archives operations plan, program plans and operational plan for the new museum projected opening early 2020). | Business Transition Plan completed. |
| Launch a fundraising campaign for the new museum through the Friends of the North Vancouver Museum and Archives Society. | Fundraising campaign underway. |
| Complete the museum collections project by reaching the target to deaccession 2,500 more artifacts, and start moving the retained collections to the new storage warehouse. | Collections project completed; collection move underway. |

| 2018 OBJECTIVES | 2018 MEASURES |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| NORTH VANCOUVER RECREATION AND CULTURE COMMISSION | |
| Complete final phase of implementation of electronic records management system. | Currently underway. |
| Implement new Program Registration Management Software (December 2018 or early 2019). | Currently underway. |
| Support municipal recreation and culture facility planning projects (i.e. Harry Jerome, Lions Gate and Lynn Creek) and prepare for opening of Lions Gate Community Centre in Q2 2019. | HJCRC process underway; Lions Gate Community Recreation Centre opening targeted for early 2020. |
| Engage North Vancouver residents in Recreation and Culture Community Needs Assessment Research (survey and focus groups) in Q2 and based on insights and findings, adjust service delivery. | Needs Assessment completed; service planning underway. |
| Update facility condition and functionality assessments to support capital planning. | Completed. |
| Implement recommended changes to Fitness, Health and Wellness services. | Completed. |
| Implement NVRCC Customer Experience Program. | Program launched and imbedded in operations. |
| Support review to identify options for cost sharing of recreation and culture services between City and District. | Completed. |
| Collaborate with community organizations and agencies to support strategic goals. | Ongoing. |
| NORTH SHORE EMERGENCY MANAGEMENT | |
| Support the municipalities in their emergency response and recovery activities when an emergency or disaster occurs. | Ongoing. |
| Effectively prepared, trained and exercised municipal staff and public safety lifeline volunteers to support planning, response and recovery activities on the North Shore. | Ongoing. |
| Development and maintenance of relevant emergency plans to help prepare for, respond to and recover from emergencies and disasters. | Ongoing. |
| An informed North Shore community with knowledge of their emergency management responsibilities. | Ongoing. |



PUBLIC NOTICE

WHO: City of North Vancouver

WHAT: 2018 Annual Municipal Report

**WHEN: Monday, June 24, 2019 at 6:00 pm
Council Chamber, City Hall
141 West 14th Street, North Vancouver**

Notice is hereby given under the provisions of the *Community Charter* that Council will consider the 2018 Annual Municipal Report at its Regular meeting of June 24, 2019.

The meeting will allow for public comment. Public input may also be provided to Council in writing at **cnv.org/annualmunicipalreport** until 4:00 pm, Monday, June 24, 2019.

The 2018 Annual Municipal Report will be available for viewing at City Hall and at **cnv.org/annualmunicipalreport** as of 4:00 pm, Friday, June 7, 2019.




Please direct any inquiries to **Verna Wen**, Manager, Internal Control and Performance, at **vwen@cnv.org** or **604-982-3949**.

141 WEST 14TH STREET / NORTH VANCOUVER / BC / V7M 1H9
T 604 985 7761 / F 604 985 9417 / CNV.ORG



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|  Division Manager |  Director |  CAO |
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Etienne Normandin, Chair, Social Planning Advisory Committee
Heather Evans, Community Planner

Subject: 2019 ROUND ONE COMMUNITY GRANT RECOMMENDATIONS

Date: June 12, 2019 File No: 5-1850-20-0005/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Chair of the Social Planning Advisory Committee and the Community Planner, dated June 12, 2019, and entitled "2019 Round One Community Grant Recommendations":

THAT grants be allocated to the following organizations from the 2019 Community Grants budget:

| | |
|---------------------------------------------------------------------------------------------|---------|
| Athletics for Kids Financial Assistance (B.C.) Society (Operating) | \$1,500 |
| Athletics for Kids Financial Assistance (B.C.) Society (Program – A4K Youth Sports Funding) | \$2,000 |
| Avalon Recovery Society (Operating) | \$7,000 |
| Avalon Recovery Society (Program – Child-Minding) | \$3,000 |
| Avalon Recovery Society (Program – Health and Education) | \$1,000 |
| Avalon Recovery Society (Program – Peer Support) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – Adult In-School Mentoring) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – (The) Community Mentoring Program) | \$1,000 |
| Big Brothers of Greater Vancouver (Program – Teen Mentoring) | \$1,000 |
| Big Sisters of BC Lower Mainland (Program – North Shore Mentoring Programs) | \$2,000 |

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------|---------|
| Camp Kerry Society (Program – Beyond One Voice Workshop Series) | \$1,500 |
| Camp Kerry Society (Program – Camp Kerry BC Family Retreat) | \$1,000 |
| Camp Kerry Society (Program – Circles of Strength: Family Grief Support System) | \$500 |
| Canadian Mental Health Assn. – North and West Vancouver Branch (Operating) | \$1,400 |
| Canadian Mental Health Assn. – North and West Vancouver Branch (Program – Isolation Reduction Initiative) | \$1,500 |
| Canadian Mental Health Assn. – North and West Vancouver Branch (Program – Steps Youth Program) | \$2,000 |
| Canadian Red Cross (Program – Health Equipment Loan Program (HELP)) | \$2,000 |
| Community First Foundation (Program – Backpack Buddies) | \$2,500 |
| Crisis Intervention & Suicide Prevention Centre of BC (Program – SAFE Talk) | \$1,500 |
| Crisis Intervention & Suicide Prevention Centre of BC (Program – YouthInBC.com) | \$1,500 |
| Family Services of the North Shore (Program – Companionship Community Care) | \$1,750 |
| Family Services of the North Shore (Program – I hope family centre) | \$3,000 |
| Friend 2 Friend Learning Society (Program – Autism Demystification and Integrated Play Group Programs) | \$1,000 |
| Friend 2 Friend Learning Society (Program – Play Centre for Children with Autism Program) | \$2,000 |
| Greater Vancouver Law Students' Legal Advice Society (Program – Law Students' Legal Advice Program) | \$1,000 |
| Highlands United Church (Program – Saturday Lunch Program) | \$2,000 |
| Highlands United Church (Program – Shelter to Home) | \$2,000 |
| Hollyburn Family Services Society (Operating) | \$5,000 |
| Hollyburn Family Services Society (Program – Aboriginal Mental Health Court Outreach Worker) | \$1,800 |
| Hollyburn Family Services Society (Program – Supporting Seniors at Housing Risk) | \$1,200 |
| Hollyburn Family Services Society (Program – Supporting Seniors to Remain Housed) | \$1,200 |
| Lionsview Seniors' Planning Society (Operating) | \$2,600 |
| Living Systems: Family Systems Counselling, Education, Training & Research Society (Program – Play Therapy and Parent Counselling Program) | \$2,000 |
| Lookout Housing and Health Society (Operating) | \$5,000 |
| North Shore ConneXions Society (Program – Education and Community Awareness) | \$1,500 |
| North Shore ConneXions Society (Program – Friendship Circles) | \$500 |

| | |
|--------------------------------------------------------------------------------------------------------------------------|-----------|
| North Shore Disability Resource Centre (Program – Adapted & Accessible Yoga) | \$390 |
| North Shore Disability Resource Centre (Program – Information & Advocacy Program) | \$5,000 |
| North Shore Disability Resource Centre (Program – Parent Information Events: Transition & Employment) | \$700 |
| North Shore Disability Resource Centre (Program – Summery Bursary Program) | \$1,500 |
| North Shore Keep Well Society (Operating) | \$1,500 |
| North Shore Meals on Wheels Society (Operating) | \$6,000 |
| North Shore Multicultural Society (Operating) | \$6,000 |
| North Shore Multicultural Society (Program – NEONology) | \$1,000 |
| North Shore Polish Association Belweder (Operating) | \$1,500 |
| North Shore Stroke Recovery Centre (Operating) | \$2,000 |
| North Shore Stroke Recovery Centre (Program – Art Therapy) | \$500 |
| North Shore Stroke Recovery Centre (Program – Speech Language Therapy Assistant) | \$1,100 |
| North Shore Stroke Recovery Centre (Program – Stroke Survivor Peer Support) | \$2,000 |
| North Shore Volunteers for Seniors (Operating) | \$900 |
| North Shore Women's Centre (Program – North Shore Coordinating Committee to End Violence Against Women in Relationships) | \$2,000 |
| Pacific Post Partum Support Society (Childcare at Postpartum Support Groups) | \$2,000 |
| Pathways Serious Mental Illness Society (Operating) | \$1,750 |
| Quest Outreach Society (Program – Food Recovery and Redistribution Program) | \$2,500 |
| Sharing Abundance Association (Program – Sharing Abundance Community and Senior Meal Programs) | \$3,500 |
| Special Olympics British Columbia Society – North Shore (Operating) | \$750 |
| Special Olympics British Columbia Society – North Shore (Program – SOBC – North Shore Sports Programs) | \$1,000 |
| St. John the Evangelist Anglican Church (Program – Queen Mary Family Learning Program) | \$9,000 |
| Vancouver Adaptive Snow Sports (Program – Adaptive Learn to Ski) | \$2,000 |
| Volunteer Cancer Drivers Society (Program – Cancer Patient Transportation for CNV and DNV Residents) | \$1,500 |
| Washington Kids Foundation (Operating) | \$5,000 |
| TOTAL | \$130,540 |

AND THAT the following organizations be notified that the City will not fund their application for a 2019 Community Grant:

| |
|----------------------------------------------------------------------------------------------------------------------------------|
| Alano Club of the North Shore (Operating) |
| Avalon Recovery Society (Program – Volunteer Training & Staff Development Program) |
| BC Pets and Friends (Operating) |
| Big Brothers of Greater Vancouver (Operating) |
| Capilano Community Services (Program – Norgate Summer Program) |
| (The) Cinderella Project (Program – Cinderella Project Boutique Day) |
| Community First Foundation (Operating) |
| Crisis Intervention & Suicide Prevention Centre of BC (Operating) |
| District of North Vancouver Fire Fighters Charitable Society (Program – Time to Talk) |
| FamilySmart – The Institute of Families for Child & Youth Mental Health (Program – FamilySmart Parent in Residence, North Shore) |
| Greater Vancouver Youth Unlimited (North Shore) (Program – Creative Life) |
| Lionsview Seniors' Planning Society (Program – Age Friendly Seniors Action Tables) |
| Lionsview Seniors' Planning Society (Program – Older & Wiser Column – Media Support for Seniors on the North Shore) |
| Lionsview Seniors' Planning Society (Program – Services to Seniors Coalition / Planning Table) |
| Lower Lonsdale Community Gardens (Program – Replacement of Deteriorating Infrastructure) |
| North Shore Disability Resource Centre (Program – North Shore Community Response Network) |
| North Shore Multicultural Society (Program – Community Bridging) |
| Pacific Post Partum Support Society (Operating) |
| Pathways Serious Mental Illness Society (Program – Family-to-Family Education) |
| St. Catherine's Anglican Church, Capilano (Program – Community Thanksgiving Dinner) |
| Upper Lonsdale Preschool (ULP) Society (Program – ULP Outdoor Education Program) |
| Vancouver Adaptive Snow Sports (Operating) |
| Vancouver Adaptive Snow Sports (Program – Bluestreaks Adaptive Race Program) |

ATTACHMENTS:

1. North Shore Municipal Community Grant Applications Guidelines (Doc [#1732931](#))
2. List of 2019 Round One Community Grant Applications (Doc [#1786852](#))

PURPOSE

The Social Planning Advisory Committee (SPAC) is pleased to submit to Council its recommendations for the allocation of the 2019 Round One Community Grants. SPAC appreciates Council's continued support of the Community Grant Program.

BACKGROUND

Community Grants are among several grant funding opportunities that the City of North Vancouver offers to non-profit groups to assist with the delivery of services that work to reduce social, economic or physical disadvantage, and/or which improve the quality of life for City residents.

Community grants have been available in some form for decades, and provide an opportunity for non-profit agencies to gain municipal financial support for projects or general operations that address provisions of the City's Social Plan and Official Community Plan. The City's annual budget for Community Grants is the sum of two components: the City's operating budget: \$100,000 per year plus the interest accrued on a reserve fund called the Lower Lonsdale Legacy Fund ("LLLF"). The LLLF amount varies annually based on the previous year's interest and is approximately \$75,000 to \$80,000 per year.

DISCUSSION

Total Amount of Community Grants

In 2019 the operating budget funding of \$100,000 is combined with interest in the amount of \$76,423 from the Lower Lonsdale Legacy Fund, for a total 2019 Community Grants budget of \$176,423. This amount is being distributed into two rounds of application submission intakes in January 2019 (first round) and September 2019 (second round). This report addresses the first round of grants for 2019.

Application Review Process

SPAC reviews applications thoroughly and evaluates them systematically according to criteria set out in the Community Grant Guidelines (Attachment #1) and in relation to the City of North Vancouver's Social Plan.

To be eligible for funding, an organization must be not-for-profit, be providing services to residents of the City of North Vancouver, seeking additional other sources of funding, and provide proof of financial responsibility (financial statements).

Eligible not-for-profits are required to offer services in the City of North Vancouver and they must provide a service that directly benefits local residents. The number of residents benefiting from the services must be measured and reported by the receiving agency.

Grant applications that meet basic criteria are reviewed by SPAC and prioritized according to the "Procedural Guidelines for the Review of Grant Applications by Sub-Committees" as follows:

- | | |
|------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 'A' or top priority | <ul style="list-style-type: none">- evidence of need for the service or project- evidence of clear goals and expected outcomes- evidence of financial need for a Community Grant- relevance to Social Plan |
| 'B' or medium priority | <ul style="list-style-type: none">- quality of management- uniqueness of service- involvement with community partners- addressing barriers to services for people with disabilities and for ethno-cultural residents. |

- 'C' or lower priority
- number of local residents served
 - number of local volunteers and their role
 - amount of funding requested from each municipality related to the numbers of residents served.

Grant Recommendations

Eighty-nine grant applications were received and reviewed in the first round of 2019 grants in January, requesting a total amount of \$362,470. Of those, eighty-seven were repeat applications for new or existing programs and 3 were applications from first-time applicants. A list of grant applications with recommended allocations is in Attachment #2.

Of the eighty-nine applications received in round one, sixty-one are recommended to receive funding. The committee's recommendations are to allocate \$130,540 and hold back \$45,883 for the September (round two) intake of applications.

Twenty-three applications are not recommended to receive funding. Some of these agencies applied for more than one grant and are recommended to receive some but not all of the grants they applied for. For other applications that are not recommended to be funded, the need was not as evident (compared to other applications) or as prioritized as other applications that were received.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS

The allocation of grant funding is in keeping with the guiding principles of the 2014 Official Community Plan, specifically:

Community Supporting Community:

The City will continue to be a compassionate community recognizing that all individuals and/or their families will require support at some point in their lives. The City will assist organizations and individuals that provide community support through the responsible allocation of its resources.

All community grant applications are reviewed relative to the goals and objectives of the City's Social Plan and the Community Grant Guidelines. These will be reviewed within the scope of the Community Well Being Strategy project.

RESPECTFULLY SUBMITTED:



Etienne Normandin,
Chair, Social Planning Advisory
Committee



Heather Evans,
Community Planner

Submission Deadline: January 31st each year**

**** Please note: The City of North Vancouver has an additional intake of applications with a deadline of September 15th.**

PLEASE NOTE: These guidelines are for the City of North Vancouver and the District of North Vancouver. The District of West Vancouver now has a separate Community Grants Program, which can be found at: <https://westvancouver.ca/be-involved/grants-awards/community-grants>.

Guidelines

Using these Guidelines

These guidelines are to be used to correctly and effectively complete the North Vancouver Municipal Grant Application Forms.

Read this document before completing the forms to ensure your application is completed correctly.

Contents

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| Filling in the Application Forms - Overview..... | 4 |
| Filling in the Organization Summary Form | 5 |
| Filling in the Operating Grant Application Form | 6 |
| Filling in the Program Grant Application Form | 7 |
| Final Steps to Completing the Application Package | 8 |
| Frequently Asked Questions | 8 |

North Vancouver Municipal Community Grants - Overview

Purpose of the North Vancouver Municipal Community Grants

North Vancouver Municipal Community Grants are intended to support not-for-profit organizations serving North Vancouver (both City and District) residents. The City and District of North Vancouver provide these grants in order to:

- To provide local government endorsement to better attract funding from more senior levels of government, donors, and foundations;
- To assist groups with the delivery of services which work to reduce *social, economic or physical* disadvantage; and/or which *improve the quality of life* for residents;
- To serve vulnerable and hard to reach populations in areas where the municipalities do not provide services;
- To effect positive social change;
- To provide seed money to enable quick responses to changing and / or unmet community needs.

Who Can Apply?

Eligible Organizations

The organization applying for a grant must be:

- a) A not-for-profit with a BC Society No. and/or Charitable Registration No.
- b) Providing services to residents of the municipality(ies) from which funding is requested.
- c) Seeking sources of funding other than North Vancouver Municipal Community Grants.
- d) Able to provide proof of financial responsibility (latest financial statement).

Eligible Expenses

- a) Special projects and events: e.g. hosting a workshop or producing resource material.
- b) Operating costs: e.g. ongoing operating costs such as rent, utilities, fixed costs.
- c) New projects: e.g. a new program to serve a particular group. A program typically has distinct resources committed to the operation of that specific program such as staff costs and other expenses related to that program.
- d) Capital costs: e.g. the purchase of office equipment. NOTE: Only the City of North Vancouver, the District of North Vancouver does not fund capital costs.

Program Grants: Applying for More than One

You may apply for more than one program grant, but must complete a SEPARATE Program Grant Application Form for EACH additional grant.

Funding Characteristics of the North Vancouver Municipal Community Grants

Each municipality is working with a set grant budget during each funding cycle and strives to be equitable in funding both new and established needs. Funding is not guaranteed: each cycle, the applications are considered and grants are allocated in response to current needs and resources.

Funding Limits

The District of North Vancouver has no limit to the amount of money an organization may request. The maximum grant available from the City of North Vancouver is \$15,000.

Funding Term

The term of a North Vancouver Municipal Community Grant is one year.

Funding Cycles

In the District of North Vancouver, two year operating and program grants are provided. An Annual Accountability Form must be completed by agencies currently on the District's 2-year funding cycle.

Grants are allocated bi-annually in the City of North Vancouver. An annual Accountability Form must be completed.

Notification of Application Decisions

Allocations by municipal Councils are made in June/July. Organizations are notified at this time by letter.

Disbursement of Funds

Cheques are typically issued by each municipality's finance department in June or July.

Acknowledgement of North Vancouver Municipal Community Grants

All recipients of North Vancouver Municipal Community Grants are required to publicly acknowledge such donations on their print and digital promotional materials, website, and social media relating to the program and/or service funded by the grant.

Applying for North Vancouver Municipal Community Grants

Two Municipalities.... One Set of Application Forms

Each Municipality Allocates Grants Separately

The North Vancouver Municipal Community Grant Application forms are to be used when applying for funds from the North Vancouver Municipalities: the City of North Vancouver and the District of North Vancouver. **PLEASE NOTE:** the District of West Vancouver has a separate Community Grants Program, which can be found at: <https://westvancouver.ca/be-involved/grants-awards/community-grants>.

Each municipality allocates grants separately.

Applying to One or More Municipality(ies)

Organizations may apply to one or more of the North Shore municipalities depending on which municipality(ies) the organization serves. You must submit a copy of your completed application package to each municipality to which you are applying for funding.

Application Submission

Application Deadline

The deadline for applications is 5:00 p.m. January 31 of each year, or, where January 31 lands on a weekend, the last Friday of January.

The City of North Vancouver has an additional intake of applications with a deadline of September 15. **PLEASE NOTE:** If your organization applied for a grant in the first round of the year, you may apply to the second round but for a **different** program only.

Submitting Forms to Each Municipality

City of North Vancouver

Submit two copies of your completed application package:

- Email: communitygrants@cnv.org
or
- Mail:
Planning Department, Attn: Edytha Barker
City of North Vancouver
141 West 14th Street
North Vancouver, V7M 1H9.

District of North Vancouver:

Send one copy of your completed application package:

- Email: csac@dnv.org
or
- Mail:
Community Services Advisory Committee
District of North Vancouver
355 West Queens Road
North Vancouver, V7N 4N5

Evaluation Criteria

In evaluating each application for funding, the following will be the basis for assessment of your application. Please address these in your application:

- a) Evidence of need for the service or project.
- b) Number of local residents served.
- c) Quality of management (established track record, proposal well thought out and clear, etc.).
- d) Evidence of clear goals and expected outcomes.
- e) Uniqueness of service (does not duplicate but may complement an existing service).
- f) Number of local volunteers.
- g) Evidence of financial need for a North Vancouver Municipal Community Grant.
- h) Amount of funding requested from each municipality is proportional to the numbers of residents served.
- i) Addressing barriers to services for people with disabilities, from varying social and economic backgrounds, and for ethno-cultural residents.
- j) Indicated involvement from other community partners whether financial or in kind.

Further, the social goals and objectives for each municipality will also be considered while reviewing grant applications, these can be found in the following documents:

- City of North Vancouver:
 - The City's Social Plan
<http://www.cnv.org/CityServices/PlanningandPolicies/SocialPlan>
- District of North Vancouver:
 - Section 6.3 Community Services, Programs, and Facilities of the DNV Official Community Plan identity.dnv.org/
 - Municipal Community Grant Goals and Guiding Principles found at www.dnv.org/communitygrants

Filling in the Application Forms - Overview

Please ensure the following information is read carefully prior to filling in your application forms to ensure the forms are filled out adequately, accurately, and effectively.

Acceptable Applications

Applications will only be accepted if they are:

- Completed *in full* including all attachments listed on the North Vancouver Municipal Community Grant Application Checklist.

- Completed legibly
- Submitted on time to each municipality from which funds are being requested

*****Please note:** unless all information is supplied or an acceptable explanation offered as to why this information cannot be supplied, incomplete applications will not be considered.

Three Application Forms

There are three application forms to be used as follows:

- Organization Summary Form: to be filled out by *all* applicants;
- Operating Grant Application Form: for organizations applying for financial assistance for ongoing operating costs such as rent, utilities, fixed costs;
- Program Grant Application Form: for individual projects/services/programs. You may apply for more than one program grant, but must complete a SEPARATE Program Grant Application Form for EACH additional grant.

Quality of Information

The application forms provide the opportunity to explain information on the history, mandate, experience, and objectives of your organization; and to demonstrate to Committee members what makes your organization and its programs valuable to the North Vancouver communities and how your organization responds to community need.

Maximum Words for Answer

Always stick to the stated word count and be concise with your answer.

Questions Regarding Both North Vancouver Municipalities

The grant application includes some questions where information concerning both North Vancouver municipalities is required. These questions must be completed even if an organization is applying for a grant from one municipality only.

Filling in the Organization Summary Form

The Organization Summary Form is to be filled out by *all* applicants.

The questions on the Organization Summary Form should make it clear what information is required. Keep in mind the information above in Evaluation Criteria and Quality of Information. However, some specifics and examples are provided here to assist.

Section: Accessibility

Examples of topics to consider are provided below for each item in this question:

Question: How does your organization ensure your services are accessible and inclusive to:

- a) People with disabilities
 - Is your building wheelchair accessible?
 - Are you on a bus route?
 - Are there designated parking spots for persons with disabilities adjacent to the building in which your programs/services take place?
 - How do you market/communicate your programs/services to people with disabilities?
- b) Culturally diverse communities: (maximum 50 words)
 - Do you list languages other than English that are spoken by your staff/volunteers?

- Are your program/service materials available in languages other than English? Which languages?
- Are your website and/or social media in languages other than English? Which languages?
- How do you market/communicate your programs/services to speakers of languages other than English?
- c) People of various social and economic backgrounds: (maximum 50 words)
 - Which organizations have you approached that serve this demographic in order to promote your programs/services?
 - How do you market/communicate your programs/services to people of various social and economic backgrounds?

Section: Trends

Question: What current trends affect your organization? E.g. is the demographic changing, is the waitlist changing, etc. (maximum 50 words)

Municipalities rely on the non-profit social service organizations to identify current trends. For example, whether more of their clients are feeling isolated, more families are seeking food or on the verge of homelessness. Other trends could include growing waitlists for particular programs or a decrease in volunteer hours.

As a social service organization working closely with our more vulnerable populations, the organization's ability to adapt or create new programs and services to meet these changing needs is significant.

This question asks organizations to identify and share these trends.

Section: Sustainability

Question: Please describe what steps your organization has taken to reduce Green House Gas Emissions and increase energy efficiency (e.g. implementing Power Smart measures, carpooling to meetings, etc.).

The North Vancouver municipalities all place strong value on environmental sustainability. Explain how the organization shares this value. Please be sure to provide examples.

Filling in the Operating Grant Application Form

The Operating Grant Application Form is for organizations applying for financial assistance for ongoing operating costs such as rent, utilities, fixed costs.

The questions on the Operating Grant Application Form should make it clear what information is required. Keep in mind the information above in Evaluation Criteria and Quality of Information. However, some specifics are provided here to assist.

Section: Operating Budget

The Operating Budget refers to the costs and revenue associated with the general operation of the organization. Examples of expenses include ongoing operating costs such as rent, utilities, fixed costs.

Question: In-kind Sources

In-kind sources are sources of non-cash support in the form of goods and services.

Filling in the Program Grant Application Form

The Program Grant Application Form is for individual projects/services/programs. You may apply for more than one program grant, but must complete a SEPARATE Program Grant Application Form for EACH additional grant.

The questions on the Program Grant Application Form should make it clear what information is required. Keep in mind the information above in Evaluation Criteria and Quality of Information. However, some specifics and examples are provided here to assist.

Section: Program Proposal

Question 4. If you applied for and received funding for this program last year, what were the specific outcomes of that program? Please provide quantitative and qualitative information.

This question asks for “quantitative and qualitative information”. Qualitative information is anecdotal, quantitative is numbers, statistics.

Stories and anecdotal responses are interesting and valuable; however, the response should be backed with numbers to validate the statements made. Examples of numbers could be: count of volunteers, volunteer hours, clients served, meals provided, referrals made.

Question 5. Please identify the specific criteria you will use to evaluate your program’s results and how you will measure success.

The tools used to evaluate should provide quantitative information, be backed by numbers, whenever possible as this helps demonstrate the results. Examples of criteria you could use could be: count of volunteers, volunteer hours, clients served, meals provided, referrals made.

Question 7. If you did not receive the amount of money requested last year, what was the impact to the program?

Qualitative or anecdotal information is expected along with quantitative information, the numbers, in order to demonstrate the impact. Examples of quantitative information could be the number of clients turned away, resources that had to be cut which impacted the quality of the program.

Section: Program Budget

Question: Please indicate program start and end dates or fiscal start date as appropriate

Note that programs can have a specific start and end date or be continuous. Please indicate as appropriate.

Question: In-kind Sources

In-kind Sources are sources of non-cash support in the form of goods and services.

Final Steps to Completing the Application Package

The Checklist

Organizations must include attachments with the application forms to create their completed *application package*. Please be sure to use the Checklist provided as a cover sheet for your submission. This Checklist details the attachments and forms that must be completed to ensure your application will be considered.

Attachments

All attachments required with your application should be marked on your Checklist

All applications will be required to include:

- Organization Summary Application Form
- Most recent Year End Financial Statement (examples include balance sheet, income/expenditure)
- Most recent Annual Report (just one per organization to municipality regardless of number of applications submitted)
- Organization's Proposed Budget for your fiscal year

Depending on grant applications being made, an application may be required to include any of the following:

- Signed Operating Grant Application form
- Signed Program Grant Application form(s)
- Annual Accountability Form for grant funds spent in the previous year

Frequently Asked Questions

1. *What is the difference between a program grant and an operating grant?*

Generally, an operating grant refers to the general on-going operation of your organization (e.g. rent, utilities, fixed costs), whereas a program has distinct resources committed to the operation of that specific program (staff costs and other expenses related to that program).

Note: Programs can be continuous or have a specific start and end date.

2. *The service that my organization offers on the North Vancouver is part of a larger umbrella organization located elsewhere. Our published financial statements reflect the larger organization. Is this an issue?*

There is an expectation that the budgets and financial information that you include in your grant application reflect the North Vancouver service that is being offered by your organization. The financial information for the larger umbrella organization is informative, but does not provide Committee members the information they need to assess your application.

3. *When we apply for grants, our organization typically requests more than we require in anticipation that we may receive less. Is this advisable?*

It is best to request the actual amount that your organization requires. Applications where the funding request appears to be inflated can be viewed unfavourably.

4. Can we rely on the municipal community grant funding as the sole source of funding?

Municipal funding is considered one source of funding. Organizations should not prepare and submit budgets where the municipal request is the only source of revenue.

5. In order to save time, our organization sometimes will 'cut and paste' from previous application forms. Is this acceptable?

Although we do not expect agencies to re-write their applications from scratch every year, we do expect the information included in the application form to reflect current information, both qualitative/anecdotal and quantitative/statistical.

6. When filling out the application, I sometimes reduce the font size in order to get all of my answer to fit into the box, is this acceptable?

Always stick to the stated word count and be concise with your answer.

7. Can I just include qualitative/anecdotal information in my application form, or do you require statistics or other quantitative analysis?

The answer is both. Stories and anecdotal responses are interesting and valuable; however, your response should be backed with numbers and photos whenever possible as this helps Committee members clearly see the funding need for your program or organization.

Examples of numbers could be: count of volunteers, volunteer hours, clients served, meals provided, referrals made.

8. As some of the services that we offer are done discreetly without recording names or addresses, it is challenging to provide precise numbers of individuals accessing services or what municipality they come from.

While we respect your clients' need for anonymity, there is data that can be collected that will not infringe on confidentiality. For further information or assistance, please contact one of the municipal staff liaisons.

9. On the Operating Grant Application, the question asks for how many individuals were served in each municipality. Are percentages okay or do we need to go through postal codes and get exact numbers?

The actual numbers are required. For further information or assistance, please contact one of the municipal staff liaisons.

10. To make it easier for applicants, could the municipalities not evaluate the applications in line with the fiscal years and funding cycles of the applicant organisations?

The application timeline is based on the timing of the municipal budgets and includes the time required for the Committees to evaluate the applications and make recommendations to Council. Further, the current model allows the funds to be allocated taking into consideration all applications received which is only possible with a single review per grant period.

11. If we are making applications to each municipality, do we ask for the full amount we require from each municipality?

You should split the full amount you require and ask for a portion, usually a third, from each municipality.

12. I am not sure whether certain expenses would be considered operating costs, how do I know?

Operating costs are your ongoing costs such as rent, utilities, fixed costs. If you are unsure, please contact one of the municipal staff liaisons.

13. We receive a great deal of funding in-kind, are these considered in relation to financial funding in terms of evaluating whether the municipal grant would be a sole source of funding?

Indeed, yes: in-kind sources of funding are requested in the budget sections of the application forms to allow them to be evaluated in monetary terms along with financial sources.

Updated: December 2018

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| Athletics for Kids Financial Assistance (B.C.) Society #214 - 901 West 3rd Street North Vancouver, BC V7P 3P9 Sandra Hancock, Executive Director 604-221-7529 shancock@uniserve.com | Operating - A4K exists to eliminate the financial barriers to entry to amateur sport for children and youth between the ages of 5 and 18. A4K strongly believes in the importance of sport participation for youth and for building stronger communities. The sport granting program values & promotes the development through sport of life skills in youth, equality, inclusion and access for low-income populations. Important issues such as obesity, promotion of mental health and building of community is also addressed. Operating funds would be used for an increase in rental costs, new office support hires, print materials as well graphic design and website imagery. | \$1,500 |
| Athletics for Kids Financial Assistance (B.C.) Society #214 - 901 West 3rd Street North Vancouver, BC V7P 3P9 Sandra Hancock, Executive Director 604-221-7529 shancock@uniserve.com | Program - A4K Youth Sports Funding - Successful applicants aged 5 - 18 have 80% of their base sport registration fees paid for by A4K up to an annual maximum of \$600 per child. Families can apply multiple times per year for each child to a range of over 40 different sports. Eligible applicants must meet a criteria; A4K makes payments directly to the intended organization. Funding would be spent on youth sports grants to cover registration fees for CNV applicants. | \$2,000 |
| Avalon Recovery Society #300 - 132 East 14th Street North Vancouver, BC V7L 2N3 Heide Mayne, Centre Manager 604-913-0477 heidem@avaloncentres.org | Operating - The Avalon Recovery Society supports three drop-in centres in the Metro Vancouver for women seeking recovery from addiction. The North Shore Avalon Women's Centre operates on a very tight budget with basic necessities and provides a valuable service to a vulnerable, hard to reach population. All services provided to clients are free. The effect of improving the quality of life for these women and their families provides immeasurable benefit to the community. | \$7,000 |
| Avalon Recovery Society #300 - 132 East 14th Street North Vancouver, BC V7L 2N3 Heide Mayne, Centre Manager 604-913-0477 heidem@avaloncentres.org | Program - Child-Minding - This is an integral part of assisting women in their recovery process. Many women who attend the programs at Avalon are single mothers facing significant financial challenges. Avalon provides child-minding so that women can attend meetings, workshops and special events. Funding would be spent on portions of rent, insurance and supplies as well as the part-time child-minding employee's salary. | \$3,000 |
| Avalon Recovery Society #300 - 132 East 14th Street North Vancouver, BC V7L 2N3 Heide Mayne, Centre Manager 604-913-0477 heidem@avaloncentres.org | Program - Health and Education - This program involves interactive courses facilitated by professionals; the four programs are targeted for women in addiction treatment or aftercare seeking to reduce or eliminate addiction relapse by improving self-awareness, developing coping skills and increasing self-efficacy. Funds would be used for program promotions & materials, rental of a large meeting room, workshop refreshments and facilitators' fees. | \$1,000 |

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|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Avalon Recovery Society #300 - 132 East 14th Street North Vancouver, BC V7L 2N3 Heide Mayne, Centre Manager 604-913-0477 heidem@avaloncentres.org | Program - Peer Support - All services at Avalon are targeted to provide peer support to women seeking recovery from addiction. Peer support takes many forms and the aim is to provide a supportive environment offering resources to assist women in reclaiming their lives. Funding would be spent on a portion of the salary for the Centre Manager, who is the hub of the Peer Support Program. | \$1,000 |
| Avalon Recovery Society #300 - 132 East 14th Street North Vancouver, BC V7L 2N3 Heide Mayne, Centre Manager 604-913-0477 heidem@avaloncentres.org | Program - Volunteer Training & Staff Development Program - Addresses the training & development of the volunteer contingent and the support and professional development of the Centre Manager. The nature of Avalon's work demands unique tools and skills, an understanding of boundaries and limits and on-going support. Supporting volunteers and staff and their psychological needs is an important part of the program. | \$0 |
| BC Pets and Friends 60 Semisch Avenue North Vancouver, BC V7M 3H8 Lauren Salmon, Program Manager 778-822-6145 lauren@petsandfriends.org | Operating - Last year, 240 volunteer pet therapy teams served over 5,500 residents and participants in care facilities and day programs for persons with disabilities and chronic illnesses in the Lower Mainland. These pet visits help to reduce stress and agitation as well as bring comfort and happiness to patients, their families and the staff members. Operating funds are needed to sustain the quality and quantity of pet therapy visits they are able to provide. | \$0 |
| Big Brothers of Greater Vancouver 102 - 1193 Kingsway Burnaby, BC V5V 3C9 Ethan Clow, Development Officer 604-876-2447, ex. 249 eclow@bbgvf.com | Operating - Operating funds would support BBGV's North Shore mentoring programs by providing funds towards the rent of the North Vancouver office. Funding would also support the salaries of the Mentoring Coordinators who work out of the North Shore office which allows them to interact with the community on a regular basis. | \$0 |
| Big Brothers of Greater Vancouver 102 - 1193 Kingsway Burnaby, BC V5V 3C9 Ethan Clow, Development Officer 604-876-2447, ex. 249 eclow@bbgvf.com | Program - Adult In-School Mentoring - This program matches elementary school-aged boys and girls with local male and female adult volunteers. The ISM program is friendship-based and mentors spend 1 hour per week at a child's elementary school. Activities range from playing games and sports to doing crafts, enjoying hobbies, reading or just hanging out. Funding would be used to assist in recruiting and training local volunteers as well as to maintain these friendships throughout the year. | \$1,000 |
| Big Brothers of Greater Vancouver 102 - 1193 Kingsway Burnaby, BC V5V 3C9 Ethan Clow, Development Officer 604-876-2447, ex. 249 eclow@bbgvf.com | Program - (The) Community Mentoring Program - This program matches adult male volunteers with boys aged 7-14 who have limited or no contact with a positive male role model in their lives. Big and little brothers spend 2-4 hours each week doing a wide range of low-cost fun activities together. The boys in the program experience higher levels of self-esteem and confidence, improved relationship skills, more positive attitudes towards school and decreased likelihood to develop negative conducts. Funds will go towards screening, assessing and training newly recruited volunteer mentors as well as matching them with appropriate Little Brothers. | \$1,000 |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| Big Brothers of Greater Vancouver 102 - 1193 Kingsway Burnaby, BC V5V 3C9 Ethan Clow, Development Officer 604-876-2447, ex. 249 eclow@bbgvf.com | Program - Teen Mentoring - This is a friendship-based program which matches male & female high school buddies with elementary school-aged children. The buddies spend time on school grounds 1 hour each week during the school year doing a variety of non-academic, fun activities together. Both big and little buddies report positive impacts on their lives as a result of the mentoring relationships. BBGV runs two programs per week at Westview Elementary School. | \$1,000 |
| Big Sisters of BC Lower Mainland 34 East 12th Avenue Vancouver, BC V5T 2G5 Molly Loudon, Director, Fundraising Partnerships 604-873-4525, ex. 317 mloudon@bigsisters.bc.ca | Program - North Shore Mentoring Programs - Big Sisters of the Lower Mainland facilitates life-changing relationships that inspire youth to reach their full potential, both as individuals and as citizens. Two mentoring programs are provided to vulnerable youth in the CNV: Big Sisters Mentoring Program: matches girls (7-17) with a volunteer Big Sister in a one-to-one mentoring relationship, and Study Buddy Program: matches girls with adult, female volunteers who offer them educational guidance outside of school. | \$2,000 |
| Camp Kerry Society 145 Columbia Street New Westminster, BC V3L 3W2 Heather Mohan, Executive Director 604-808-1199 heather@campkerry.org | Program - Beyond One Voice Workshop Series - A series of community-based workshops that seek to break cultural silence around the topics of grief and loss. Using creative expression through music making, this program helps participants learn from one another and stand together. The workshops will be delivered in North Vancouver by members of the Camp Kerry music therapy team. Funding would be spent on honorariums for workshop facilitators, event venue and rental costs, equipment rentals and program supplies. | \$1,500 |
| Camp Kerry Society 145 Columbia Street New Westminster, BC V3L 3W2 Heather Mohan, Executive Director 604-808-1199 heather@campkerry.org | Program - Camp Kerry BC Family Retreat - These retreats are intensive, 4-day experiences that have repeatedly been shown to bring long-lasting positive change to participants. A compassionate community of care is created that helps families learn new coping strategies, create new positive memories, renew self-confidence and find hope & renewal. Children & families participate in adventure-based activities, art therapy, music therapy, group counselling, and more. Funding is needed to assist with wages for therapists, site rental and program supplies. | \$1,000 |
| Camp Kerry Society 145 Columbia Street New Westminster, BC V3L 3W2 Heather Mohan, Executive Director 604-808-1199 heather@campkerry.org | Program - Circles of Strength: Family Grief Support System - A family-centred group counselling program that has been providing support to North Shore bereaved families since 1998. Families and individuals are referred, an initial assessment is made, then participants are assigned to an appropriate support group. Funding is required to assist with wages for therapist and program supplies. | \$500 |

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Canadian Mental Health Assn. - North and West Vancouver Branch 300 - 1835 Lonsdale Avenue North Vancouver, BC V7M 2J8 Sydney Mattu, Program Manager 604-987-6959 sydney.mattu@cmha.bc.ca | Operating - CMHA facilitates access to the resources people require to maintain and improve mental health and community integration, build resilience and support recovery from mental illness. Operating dollars from grants enable them to do the work that is essential to organizational function such as strategic planning, developing appropriate HR policy, supporting board development, engaging volunteers, marketing & communications, website development, grant writing and more. | \$1,400 |
| Canadian Mental Health Assn. - North and West Vancouver Branch 300 - 1835 Lonsdale Avenue North Vancouver, BC V7M 2J8 Sydney Mattu, Program Manager 604-987-6959 sydney.mattu@cmha.bc.ca | Program - Isolation Reduction Initiative - CMHA is proposing an expanded offering of their free adult wellness groups to address the isolation and associated mental health concerns being experienced by adults & seniors in the community. Through art therapy groups and others, adults & seniors can be supported to proactively care for their own mental health and make meaningful connections with others. Funding is requested to create an online course guide to help people navigate free offerings and launch other programs and coordinate volunteer peers to run them. | \$1,500 |
| Canadian Mental Health Assn. - North and West Vancouver Branch 300 - 1835 Lonsdale Avenue North Vancouver, BC V7M 2J8 Sydney Mattu, Program Manager 604-987-6959 sydney.mattu@cmha.bc.ca | Program - Steps Youth Program - Steps is a recreation based group for North Shore youth experiencing challenges with their mental health. Most participants are living with anxiety &/or depression. Program goals include reducing participants' experiences of anxiety and depression, reducing isolation and creating a safe space for new connections with peers, supporting recovery from mental illness through physical activity and combating negative stigma associated with mental illness. Group & individual counselling is also offered. Funds would be used for weekly program activities and a year end retreat. | \$2,000 |
| Canadian Red Cross 3400 Lake City Way Burnaby, BC V5A 4Y2 Christian Bates, Grants & Awards Mgmt. 604-709-6683 christian.bates@redcross.ca | Program - Health Equipment Loan Program (HELP) - The 100% volunteer-run North Vancouver HELP office provides free, by-donation loans of specialized medical equipment that allow community members to safely recover at home, to participate in community life, and to get back to their lives. The majority (71%) of loans are to seniors. Funds would be used to cover costs of fuel incurred in thrice-weekly transportation of equipment to and from the NVan HELP office to a centralized cleaning & repair facility in Richmond. | \$2,000 |
| Capilano Community Services 600 West Queens Road North Vancouver, BC V7N 2L3 Joanne Cooper, Executive Director 604-988-7115 joanne@capservices.ca | Program - Norgate Summer Program - Nor gate's summer program was cancelled last year due to administrative changes. Having identified this service gap and with support from Norgate's administration, CCSS is proposed to restart the summer program for grade 6 and 7 students. The goal is to provide a variety of fun activities, skill development and social connectedness while providing a safe environment for youth during the summer. The plan is to run three two-week programs with 10 - 15 participants per program. Funds would be used for snacks, two youth outreach workers and a speciality instructor and program supplies. | \$0 |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

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|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Community First Foundation 409 - 1661 Ontario Street Vancouver, BC V5Y 0C3 Joanne Griffiths, CEO & Co-founder 604-807-0347 joanne@communityfirstfoundation.ca | Operating - The Community First Foundation is dedicated to ensuring that the most vulnerable children in the community have access to food. Food is provided to children in need while simultaneously engaging students in food security issues. Operating funds are needed to cover staff salaries for the staff that manage the organization. The program is completely funded by donations, grants and fundraising activities. 20% of the program takes place on the North Shore. | \$0 |
| Community First Foundation 409 - 1661 Ontario Street Vancouver, BC V5Y 0C3 Joanne Griffiths, CEO & Co-founder 604-807-0347 joanne@communityfirstfoundation.ca | Program - Backpack Buddies - This program bridges the weekend hunger gap for vulnerable, low income students. On Friday afternoons, backpacks are filled with food for children to take home for the weekend. This includes two breakfasts, two lunches, two dinners plus snacks & fresh fruit. Backpacks are provided once a week to 34 schools in North Vancouver through the school year. Funds would be used for food, delivery costs and supplies for the program. Each backpack costs \$10 to fill (not including donated food). | \$2,500 |
| Crisis Intervention & Suicide Prevention Centre of BC 763 East Broadway Vancouver, BC V5T 1X8 Jeffrey Preiss, Manager, Development 604-872-1811 jpreiss@crisiscentre.bc.ca | Operating - The Crisis Centre provides a continuum of support to youth, adults and seniors in distress through 24/7 Distress Phone Service and Online Distress Service. They also provide resiliency and coping workshops to youth and interactive crisis intervention and suicide prevention workshops for adults including important community service providers. Operational funding is needed to continue to support the delivery of life-saving Crisis Centre programs and services to individuals on the North Shore. | \$0 |
| Crisis Intervention & Suicide Prevention Centre of BC 763 East Broadway Vancouver, BC V5T 1X8 Jeffrey Preiss, Manager, Development 604-872-1811 jpreiss@crisiscentre.bc.ca | Program - SafeTALK - SafeTALK is a highly credited half day training session developed by Livingworks Education in California. SafeTALK increases suicide alertness, trains participants to identify individuals at risk of suicide, and offers an effective model to help ensure safety. Funding would be spent to organize and facilitate the delivery of this program. | \$1,500 |
| Crisis Intervention & Suicide Prevention Centre of BC 763 East Broadway Vancouver, BC V5T 1X8 Jeffrey Preiss, Manager, Development 604-872-1811 jpreiss@crisiscentre.bc.ca | Program - YouthInBC.com - YouthInBC.com is part of the Crisis Centre's Youth Suicide Prevention Program - a continuum of youth focused programs and services created to empower young people with the capacity to help themselves and others in times of crisis. YouthInBC.com provides distressed youth and those concerned about them with an opportunity to receive private, online chat support and obtain information and resources from highly trained volunteers. Funds would be used for service delivery and technology upgrades and maintenance. | \$1,500 |
| District of North Vancouver Fire Fighters Charitable Society Parkgate RPO, PO Box 30001 North Vancouver, BC V7L 2Y8 Aaron Hoverd, President nvcharitablesociety@gmail.com | Program - Time To Talk - This event as well as one held in the DNV raise funds in support of youth mental health on the North shore; funds go directly to Jack.org. | \$0 |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Family Services of the North Shore Suite 203 - 1111 Lonsdale Avenue North Vancouver, BC V7M 2H4 Julia Staub-French, Executive Director 604-988-5281 jsfrench@familyservices.bc.ca | Program - Companioning Community Care - Experienced volunteers provide in home support and on-site programs for those who are marginalized due to disability, life-limiting illness or grief. Many clients are isolated due to the loss of a loved one or debilitating physical or cognitive disability and may also suffer secondary symptoms of depression and anxiety. Volunteers provide companionship and support through in-home 1:1 visits, walking, grief support groups, relaxation circles & restorative yoga. Funding would support the overall operation of the program as well as a part-time program manager, volunteer training materials, guest speakers, etc. | \$1,750 |
| Family Services of the North Shore Suite 203 - 1111 Lonsdale Avenue North Vancouver, BC V7M 2H4 Julia Staub-French, Executive Director 604-988-5281 jsfrench@familyservices.bc.ca | Program - I hope family centre - Offers free family drop-in programs for parents/caregivers with children 0 - 6 years; they can play, learn and connect with their children in a safe welcoming environment. All programs are designed to nurture positive parent-child attachment. Funding would support the overall operating budget of I hope family centres and support family drop-in programming at Maplewood and Lonsdale Quay Market. | \$3,000 |
| FamilySmart - The Institute of Families for Child & Youth Mental Health PO Box 91697 West Vancouver, BC V7V 3P3 Andi Simpson, Director, Fundraising 604-600-7011 andrea.simpson@familysmart.ca | Program - FamilySmart Parent in Residence, Northshore - This program employs the largest network of parents who have lived experience of caring for a child or youth with mental health challenges. The North Shore FamilySmart PiR will be available to connect with families, youth and professionals to provide peer support, mentorship, navigation, information and resources to help improve mental health outcomes. Funding would be used for development, direct costs, monthly sessions and management and support costs. | \$0 |
| Friend 2 Friend Learning Society 596 Blueridge Avenue North Vancouver, BC V7R 2J2 Heather McCracken, Executive Director 604-671-5028 f2fheather@gmail.com | Program - Autism Demystification and Integrated Play Group Programs - Delivers unique & innovative Puppet & Simulation Game sessions for children aged 3 to 18 in schools and other community settings. Age-appropriate tools are used to foster understanding, acceptance and empathy & to enhance social interactions between individuals with autism and their typically developing peers. 150 to 200 programs are delivered annually. There are 12 weekly play sessions for one child with autism and 2-4 peers. | \$1,000 |
| Friend 2 Friend Learning Society 596 Blueridge Avenue North Vancouver, BC V7R 2J2 Heather McCracken, Executive Director 604-671-5028 f2fheather@gmail.com | Program - Play Centre for Children with Autism Program - The Play Centre for children provides highly innovative and effective Integrated Play Group programs at the Greater Vancouver Play Centre for children ages 3-12 with autism (and related needs) and their typically developing peers, as well as parent support and training. These programs are offered year round on an ongoing basis. Each play group program runs for 32 weeks and includes 16 to 64 scheduled sessions, full assessment of the child's needs and abilities, weekly session notes for families, full report with goals and strategies, parents training, observation and support groups. | \$2,000 |

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|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Greater Vancouver Law Students' Legal Advice Society (GVLSLAS) 129 - 1822 East Mall, UBC Vancouver, BC V6T 1Z1 Melody Cheung, Executive Director 604-822-1661 execdirector@lslap.bc.ca | Program - Law Students' Legal Advice Program - Funding would be used to hire summer students to staff legal advice clinics within the North Shore municipality over the summer and to help pay for general operating costs and the salary of permanent staff. | \$1,000 |
| Greater Vancouver Youth Unlimited (North Shore) 115 - 12975 84th Avenue Surrey, BC V3W 1B3 Andrew Chong, North Shore Area Director 604-307-8693 andrew@youthunlimited.ca | Program - Creative Life - Once a week, two hours are spent opening up a quiet space for vulnerable youth. Many youth are highly artistic and need an outlet in which to express themselves. A studio is provided where the youth can choose their medium of choice while having trained youth workers present. The goal of the program is to develop confidence, skills and community connection. Funding would be used on the cost of a rental space as well as supplies, a portion of the salaries for the Creative Life outreach workers. | \$0 |
| Highlands United Church 3255 Edgemont Blvd. North Vancouver, BC V7R 2P1 Sandi Parker, Minister of Community Development 604-980-6071, ext. 23 sandi.parker@highlandsunited.org | Program - Saturday Lunch Program - This is an outreach program that began in 2009. A lunch of soup, sandwich and fruit is provided every Saturday (52 weeks/year) to people living in poverty or who are unsheltered/homeless. An average of 60 people per week are served. Funding would be spent on consumables for the program: food for the weekly lunch and take away containers. A small amount may be used to offset the cost of workshops &/or training (Foodsafe, First Aid) for volunteers in the program. | \$2,000 |
| Highlands United Church 3255 Edgemont Blvd. North Vancouver, BC V7R 2P1 Sandi Parker, Minister of Community Development 604-980-6071, ext. 23 sandi.parker@highlandsunited.org | Program - Shelter to Home - This is an outreach program which collects and stores donation of gently used furniture, linens and household items and distributes them to referred clients moving from homelessness to independent living or those unable to afford to furnish a home with basic necessities. Clients are referred by several North Shore agencies. Funds are needed for rental of storage facility, moving of donated items, assisting with salary of part time storage facility manager, cost of new cell phone for dedicated use and purchase of small household items to supplement donations. | \$2,000 |
| Hollyburn Family Services Society 104 - 267 West Esplanade North Vancouver, BC V7M 1A5 Joy Hayden, Innovation & Engagement 604-987-8211 jhayden@hollyburn.ca | Operating - Hollyburn Family Services Society's mission is to provide unique services in response to existing and emerging community social needs across the North Shore. The most prevalent social issues involve youth, senior and family homelessness. Operating funds are challenging to fundraise for. Through municipal grants, more money goes directly to client services. Community grant funding would be used for rent and rent related costs. | \$5,000 |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| <p>Hollyburn Family Services Society 104 - 267 West Esplanade North Vancouver, BC V7M 1A5 Joy Hayden, Innovation & Engagement 604-987-8211 jhayden@hollyburn.ca</p> | <p>Program - Aboriginal Mental Health Court Outreach Worker - A unique, small program that works with Indigenous men who are involved in the justice system and have mental health/concurrent disorders. Staff work with the Court and First Nations Court staff, police & the communities to assist the offender to access community-based services. The intent is, by providing access to services, the offender is inclined to show up for court and follow through with the court requirements while receiving the mental health and concurrent disorder support they require.</p> | <p>\$1,800</p> |
| <p>Hollyburn Family Services Society 104 - 267 West Esplanade North Vancouver, BC V7M 1A5 Joy Hayden, Innovation & Engagement 604-987-8211 jhayden@hollyburn.ca</p> | <p>Program - Supporting Seniors at Housing Risk - This is an outreach program service that connects with seniors experiencing homelessness or living in dire conditions. Often the most urgent needs is affordable housing but up to 10 additional other services are offered. Funding would be used for staffing and program costs.</p> | <p>\$1,200</p> |
| <p>Hollyburn Family Services Society 104 - 267 West Esplanade North Vancouver, BC V7M 1A5 Joy Hayden, Innovation & Engagement 604-987-8211 jhayden@hollyburn.ca</p> | <p>Program - Supporting Seniors to Remain Housed - A homeless prevention program that addresses tenant evictions and displacements. The program works closely with housing providers to ensure win-win solutions for both the senior and the housing provider. Services may include emergency rent, providing insurance, mitigation between landlord and senior, trustee support for rent payment access to mental health supports and addressing hoarding issues. Funding would be used for salaries and client expenses.</p> | <p>\$1,200</p> |
| <p>Lionsview Seniors' Planning Society 600 West Queens Road, North Building North Vancouver, BC V7N 2L3 Margaret Coates, Coordinator 604-985-3852 lions_view@telus.net</p> | <p>Operating - LSPS is the only North Shore organization whose mandate it is to be a seniors' led and driven organization serving older adults on the North Shore through education, planning, research, collaboration and information sharing. Operating funds would be used to cover part of the operating expenses and overhead. These funds would also be used to leverage other funding sources as most grantees require some matching funding.</p> | <p>\$2,600</p> |
| <p>Lionsview Seniors' Planning Society 600 West Queens Road, North Building North Vancouver, BC V7N 2L3 Margaret Coates, Coordinator 604-985-3852 lions_view@telus.net</p> | <p>Program - Age Friendly Seniors Action Tables - The 4 Seniors Action Tables which are based across the North Shore work on and plan initiatives to improve the quality of life and well-being of seniors on the North Shore. The SATs are made up of volunteer seniors, people who work with seniors and partner organizations. The SATs work with senior residents, local municipalities, community organizations and businesses to raise awareness of senior issues and the need for age and dementia-friendly communities. Funds would be used to support the administrative and operational costs of the CNV SAT in terms of staffing and mentoring and program supports.</p> | <p>\$0</p> |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**

| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| Lionsview Seniors' Planning Society 600 West Queens Road, North Building North Vancouver, BC V7N 2L3 Margaret Coates, Coordinator 604-985-3852 lions_view@telus.net | Program - Older & Wiser Column - Media Support for Seniors on the North Shore - The Older & Wiser Column reflects the goals of Lionsview Seniors' Planning Society. Sponsored by LSPS, it is a popular and effective medium for discussing and addressing seniors issues. The column, now written in house, is published bi-weekly on Sundays in the NS News. It lends media support to many of the issues that seniors face. The funds would be used to support staff producing the column through research and writing 26 columns for the North Shore News and will assist in promoting the column to a wider audience. | \$0 |
| Lionsview Seniors' Planning Society 600 West Queens Road, North Building North Vancouver, BC V7N 2L3 Margaret Coates, Coordinator 604-985-3852 lions_view@telus.net | Program - Services to Seniors Coalition/Planning Table - This Coalition/Planning Table's main purpose is to provide its' members a voice, forum and vehicle for information sharing, collaboration, networking and providing education sessions. 55 participants from the North Shore come together 9 times per year to network, set priorities and plan services strategically. Funds would be spent on staff and program supports; coordinating the 9 meetings per year, organizing the presentations, creating agendas, etc. | \$0 |
| Living Systems: Family Systems Counselling, Education, Training & Research Society 209 - 1500 Marine Drive North Vancouver, BC V7P 1T7 Leila Howard, Business & Finance Director 778-232-0479 leila.howard@livingsystems.ca | Program - Play Therapy and Parent Counselling Program - This program involves subsidized play therapy and family counselling sessions for children and families who could not otherwise afford professional services. Play therapy engages young children ages 3 to 11 immediately and naturally by helping them problem solve through their own creative process. Parent sessions also take place regularly to examine their own part in the problems their children are having. | \$2,000 |
| Lookout Housing and Health Society 705 West 2nd Street North Vancouver, BC V7M 1E6 Hannah Han, Community Liaison Coordinator 604-982-9126, ex. 105 nscommunity@lookoutsociety.ca | Operating - The shelter is funded primarily by BC Housing to provide shelter and basic needs, however, this funding is insufficient to cover total costs, particularly with respect to providing additional program supports. The transitional housing program receives no operational funding. | \$5,000 |
| Lower Lonsdale Community Gardens c/o NSNH, 225 East 2nd Street North Vancouver, BC V7L 1C4 Michael Charrois, President & Director 778-866-5160 llcgcoord@hotmail.com | Program - Replacement of Deteriorating Infrastructure - LLCG maintains a community garden on City property. The garden is open to the public 24/7, year round. In order to keep the gardens safe & attractive, the 2" x 8" boards that frame individual garden plots need to be replaced when rotten. Grant funds would be used for the purchase of gravel, lumber and necessary hardware and payment for the services of a carpenter. | \$0 |

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| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
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| <p>North Shore ConneXions Society 1070 Roosevelt Crescent North Vancouver, BC V7P 1M3 Nathalie Callender, Director of Innovation & Marketing 604-649-5561 nathaliec@nsconneXions.org</p> | <p>Program - Education and Community Awareness - This program has been offered as a public service to the North Shore community since 1993. Through interactive and educational presentations, self advocates' personal successes and challenges are shared. Although particular focus is on disabilities, the message of inclusion applies to all types of diversity and reduces prejudice, bullying and isolation. Funds would be spent on facilitating the program.</p> | <p>\$1,500</p> |
| <p>North Shore ConneXions Society 1070 Roosevelt Crescent North Vancouver, BC V7P 1M3 Nathalie Callender, Director of Innovation & Marketing 604-649-5561 nathaliec@nsconneXions.org</p> | <p>Program - Friendship Circles - Friendship Circles are supported play groups for students with developmental disabilities who are struggling to interact socially with their classroom peers. Through a facilitator, the child with a disability can form inclusive lunch or recess play groups that include the child, yet remain focused on an enjoyable, fair activity instead of any social or cognitive differences. The child with a disability develops social skills and confidence to assume a place amongst her or her peers. Funding would cover the cost of a staff member to facilitate the program.</p> | <p>\$500</p> |
| <p>North Shore Disability Resource Centre 3158 Mountain Highway North Vancouver, BC V7K 2H5 Kathleen Jessop, Acting ED 604-904-4090 k.jessop@nsdrc.org</p> | <p>Program - Adapted & Accessible Yoga - NSDRC has partnered with Lynn Valley Services Society & the Mollie Nye House to offer this program; 24 yoga classes will be offered once a week for 1 hour in the Mollie Nye activity room. The classes will be taught by a qualified yoga instructor that specializes in classes that are not typically offered at local studios. These include restorative yoga therapeutics, yoga for chronic pain and trauma informed yoga. Funding would be used to pay for room rental and to provide an honorarium to the instructor.</p> | <p>\$390</p> |
| <p>North Shore Disability Resource Centre 3158 Mountain Highway North Vancouver, BC V7K 2H5 Kathleen Jessop, Acting ED 604-904-4090 k.jessop@nsdrc.org</p> | <p>Program - Information & Advocacy Program - This program provides information about and access to government, social and community services to people with disabilities, their families and caregivers, as well as to professionals and members of the public. This is the only agency on the North Shore that provides this assistance to people of any age with any sort of disability and to their families and caregivers. This program has run since 1998. Funding will be spend on fixed costs as well as developing, partnering and hosting more community engagement events.</p> | <p>\$5,000</p> |

**2019 ROUND ONE
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|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| North Shore Disability Resource Centre 3158 Mountain Highway North Vancouver, BC V7K 2H5 Kathleen Jessop, Acting ED 604-904-4090 k.jessop@nsdrc.org | Program - North Shore Community Response Network - The North Shore CRN meets every other month and is comprised of 8-10 members of the community who share a common interest in the health and safety of vulnerable adults. The network works to: (1) Raise awareness about older adult abuse, neglect and self-neglect, (2) Develop community, agency and inter-agency protocols to provide coordinated responses to situations involving abuse & neglect, (3) Build relationships with member agencies and (4) Provide education. Funding would be spent on continued support of Network Meetings, engagement with the North Shore Caregivers Support Program on an educational project and to provide workshops around abuse & neglect as well as to continue outreach work with the North Shore First Nations. | \$0 |
| North Shore Disability Resource Centre 3158 Mountain Highway North Vancouver, BC V7K 2H5 Kathleen Jessop, Acting ED 604-904-4090 k.jessop@nsdrc.org | Program - Parent Information Events: Transition & Employment - This program provides a supportive service for families and youth who have disabilities to create plans for the future beyond high school based on relevant, meaningful, accessible resources. The goal is to link families directly to service providers, funders, government and community resources. Through the events, families have an opportunity to build networks with other families and the youth begin to practice self-determination. | \$700 |
| North Shore Disability Resource Centre 3158 Mountain Highway North Vancouver, BC V7K 2H5 Kathleen Jessop, Acting ED 604-904-4090 k.jessop@nsdrc.org | Program - Summer Bursary Program - This program offers financial bursaries to families who have children with disabilities to ensure that they can send their child to a summer day camp of their choice or hire a worker to assist the child at camp. The NSDRC has been providing this assistance since 1978. | \$1,500 |
| North Shore Keep Well Society 600 West Queens Road North Vancouver, BC V7N 2L3 Lise Pitt, Coordinator 604-988-7115, ext. 27 keepwellsociety@telus.net | Operating - Keep Well offers an exercise and wellness programme to seniors on the North Shore, free or by donation. While membership is \$5 per year, it is not a requirement for participation. The goal is to help seniors stay active, healthy and socially connected. Funding is needed for a part-time coordinator, part-time & contract fitness instructors and rent for office space. | \$1,500 |
| North Shore Meals on Wheels Society 1525 Taylor Way West Vancouver, BC V7S 1N5 Deborah S. Couling, Vice-Chair 604-980-1931 northshoremow@telus.net | Operating - Meals on Wheels delivers hot and nutritious meals to those who are unable to prepare meals for themselves. Clients are North Shore residents who are vulnerable because of health issues related to age, illness or life circumstances. Meals are delivered 3 times per week. The food provider has raised prices and the West Vancouver Community Foundation, a previous funder, will not be providing grants this year, therefore the ask has been raised. This is necessary in order to continue providing quality meals at an affordable price. | \$6,000 |

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| North Shore Multicultural Society 207 - 123 East 15th Street North Vancouver, BC V7L 2P7 Wendy McCulloch, Executive Director 604-988-2931 wendym@nsms.ca | Operating - NSMS addresses the successful settlement of immigrants into the NS Communities. Programs include newcomer information, orientation and referral services and educations programs on Canadian systems. The focus is on families, seniors, adults, youth and children. They engage in initiatives that provide the established community with information about immigrants and how the community can assist in welcoming newcomers. Funds would be used for paying for staff time needed to support the community coordinating objectives and time for staff to consult with other NS organizations/planning table. | \$6,000 |
| North Shore Multicultural Society 207 - 123 East 15th Street North Vancouver, BC V7L 2P7 Wendy McCulloch, Executive Director 604-988-2931 wendym@nsms.ca | Program - Community Bridging - This program focuses on volunteer opportunities and orientation to Canadian systems and places. The CBP will support immigrants to connect with volunteer opportunities in the community as individuals and in a supportive group volunteering environment. Funds would be spent on staffing and program expenses. | \$0 |
| North Shore Multicultural Society 207 - 123 East 15th Street North Vancouver, BC V7L 2P7 Wendy McCulloch, Executive Director 604-988-2931 wendym@nsms.ca | Program - NEONology - NEONology is an award winning educational youth program that engages grades 10 & 6/7 youth in North & West Vancouver to explore topics of diversity, build awareness through workshops that address oppression, racism, power & privilege, discuss the impact on all as well as building leaders to create a welcoming & inclusive school & community. Program staff use social media as an additional way to connect with youth. Has now been expanded to deliver workshops to adult volunteers, service providers and residents. | \$1,000 |
| North Shore Polish Association Belweder 5484 Keith Road West Vancouver, BC V7W 3C9 Urszula Sulinska, President 604-786-1709 belweder.org@hotmail.com | Operating - The main purpose of this organization is to promote education, music and arts among young people and families, to foster community spirit through organizing art and music events promoting Poland and keeping Polish culture alive within the community. Currently, they operate only on volunteers. Operating funds are requested in order to maintain operations and continue with programs. | \$1,500 |
| North Shore Stroke Recovery Centre 225 East 2nd Street North Vancouver, BC V7L 1C4 Gail Snelling, Principal Coordinator 778-340-5803 gail@nssrc.org | Operating - Stroke is the 3rd leading cause of death and the leading cause of acquired adult disability in Canada and leads to depression and cognitive changes in up to 60% of stroke survivors. The goal of NSSRC is to diminish the effects of depression, isolation and physical limitations in order to regain self-confidence and independence. Grant funding would support the cost of facility rental, utilities, a portion of staff wage and other operating costs necessary to guarantee the Centre's success. | \$2,000 |
| North Shore Stroke Recovery Centre 225 East 2nd Street North Vancouver, BC V7L 1C4 Gail Snelling, Principal Coordinator 778-340-5803 gail@nssrc.org | Program - Art Therapy - This program is important for the social & emotional recovery of stroke survivors as it allows them to reflect on emotions, feel pride in their artistic accomplishment and develop a sense of worth by contributing positively to the community. It also provides an opportunity for art therapist interns to complete practicum hours towards their final certification. Funding would support this therapy by assisting in contractor and supply costs. | \$500 |

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| North Shore Stroke Recovery Centre 225 East 2nd Street North Vancouver, BC V7L 1C4 Gail Snelling, Principal Coordinator 778-340-5803 gail@nssrc.org | Program - Speech Language Therapy Assistant - This is a highly sought after core service offered by NSSRC to survivors of stroke. Two registered Speech Language Pathologists (SLP) provide therapy to up to 34 members over the year. Appointments are 30 - 60 minutes in length and groups are 1 hour. The SLP assistant bridges the gap between appointments with the SLP which could be up to 1 week apart by working closely to support & implement the prescribed therapeutic plans ensuring that the clients put into practice techniques learning during the session. Funding would be directed towards wages for 7 hours/week plus a small amount of supplies. | \$1,100 |
| North Shore Stroke Recovery Centre 225 East 2nd Street North Vancouver, BC V7L 1C4 Gail Snelling, Principal Coordinator 778-340-5803 gail@nssrc.org | Program - Stroke Survivor Peer Support - This is an evidence based program which is based on the 7 Steps to Stroke Recovery recommended by the Stroke Recovery Association of BC. All activities & therapies provided are aimed at helping stroke survivors reach their optimal level of functioning. They are implemented by 3 part-time coordinators. Funding would support the cost of developing & providing activities and networking opportunities as well as a portion of the Coordinator and Speech Therapy wages; some volunteer training and program development costs as well. | \$2,000 |
| North Shore Volunteers for Seniors 275 21st Street West Vancouver, BC V7V 4A5 Susan Philcox, Coordinator 604-922-1575 susanph@nsvs.ca | Operating - NSVS promotes the independence and well being of seniors (average age: 80-90+) through diverse programs and services at a wheelchair accessible centre. Community service drop-in programs such as book club and computer instruction are also provided. The key issue targeted is isolation. Funds are needed to allow the for the continued delivery of these programs and volunteer services. Funding would be used for a portion of administrative and facility costs. | \$900 |
| North Shore Women's Centre 131 East 2nd Street North Vancouver, BC V7L 1C2 Michelle Dodds, Executive Director 604-984-6009 michelle@northshorewomen.ca | Program - North Shore Coordinating Committee to End Violence Against Women in Relationships - The NS VAWIR is a cross-sectoral network of 20+ NS service agencies working toward an integrated and effective response to ending violence against women in the community. The goal of the committee is to keep women safe by meeting its objectives in Service Delivery, Education and Systemic Responses. Funding would be spent on staffing, host agency management, coordination & administration, implement of 3 training workshops, marketing & printing of promotional materials, website maintenance, equipment and host agency facility costs. | \$2,000 |
| Pacific Post Partum Support Society 200 - 7342 Winston Street Burnaby, BC V5A 2H1 Stace Dayment, Manager, Administration 604-255-7955 admin@postpartum.org | Operating - One in 6 mothers will experience postpartum depression and/or anxiety. In 2017/18, PPPSS managed 224 calls in North Vancouver. A support group has been offered in North Van for 17 years and it continues to be full and wait-listed as many mothers prefer the peer-based self help support model to the clinical therapeutic model. PPPSS is a dependable and known resource for Vancouver Coastal Health and North Shore Health. | \$0 |

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| Pacific Post Partum Support Society 200 - 7342 Winston Street Burnaby, BC V5A 2H1 Stace Dayment, Manager, Administration 604-255-7955 admin@postpartum.org | Program - Childcare at Postpartum Support Groups - Provides onsite childcare for mothers attending the weekly North Vancouver facilitated support group for women experiencing postpartum depression and/or anxiety. Offering childcare increases attendance and group impact dramatically. The childcare is provided by trained & experienced childminders and is an important component in mothers' recoveries. Funds would cover the cost of childcare for group participants. | \$2,000 |
| Pathways Serious Mental Illness Society (formerly North Shore Schizophrenia Society) 205 - 1865 Marine Drive West Vancouver, BC V7V 1J7 Amanda Steele, Executive Director 604-926-0856 amanda@pathwayssmi.org | Operating - Pathways is a volunteer-driven, unique front-line organization dedicated to helped families with a loved-one suffering from a serious mental illness. The Society works primarily with family members by providing peer support, education, advocacy, programs and services at no cost. Municipal funding is a crucial part of their budget and would be directed towards operating costs, special projects and events, peer support and promotional material. | \$1,750 |
| Pathways Serious Mental Illness Society (formerly North Shore Schizophrenia Society) 205 - 1865 Marine Drive West Vancouver, BC V7V 1J7 Amanda Steele, Executive Director 604-926-0856 amanda@pathwayssmi.org | Program - Family-to-Family Education - This course is a comprehensive, 12 module course offered on the North Shore twice per year, at no cost to participants. The course is taught by a dedicated volunteer base and over seen by Pathway's Program Coordinator. It fosters connection, empowerment, knowledge, strength and confidence which creates ripple effects into the community at large. Peer support is offered throughout the year in person and by telephone. | \$0 |
| Sharing Abundance Association 3843 Hoskins Road North Vancouver, BC V7K 2P1 Lizz Lindsay, Director 604-984-0709 lizzlindsay@hotmail.com | Program - Sharing Abundance Community and Senior Meal Programs - Sharing Abundance has been offering welcoming places where food and community meet on the North Shore for a decade. They currently offer a weekly community dinner at North Lonsdale United Church on Tuesdays and at the West Vancouver Legion on Thursdays. Weekly Wednesday community lunches are at the Lonsdale Legion. Bi-monthly seniors lunches and speaker are at St. Agnes Church. Programs address food insecurity and social isolation on the North Shore. Guests include folks on the margins, seniors, veterans, families, new Canadian and those on disability pensions. Almost 7,000 quality meals were served last year. | \$3,500 |
| Special Olympics British Columbia Society - North Shore 2620 Hoskins Road North Vancouver, BC V7J 3A3 Peter Noble, Grants Coordinator 778-229-5951 grants@sobcnorthshore.ca | Operating - There are approximately 5,200 intellectually disabled individuals on the North Shore; many are isolated and without accessible sports programs. Research has shown that active participation in Special Olympics increases self-esteem and improves the health of participants. Most of the athletes are on limited incomes or social assistance. Operating funding is needed to successfully introduce programs to the entire intellectually disabled community and make people aware of the Society and what they do. | \$750 |

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| <p>Special Olympics British Columbia Society - North Shore 2620 Hoskins Road North Vancouver, BC V7J 3A3 Peter Noble, Grants Coordinator 778-229-5951 grants@sobcnorthshore.ca+D74:D75</p> | <p>Program - SOBC - North Shore Sports Programs - These sports opportunities provide individuals with intellectual disabilities the opportunity to enhance their lives through positive sports experiences. The programs provide these athletes with far more than the physical benefits of improved health and athletic ability. Their participation in sports provides opportunities to develop social skills, cultivate friendships, strive for and achieve goals, build community and increase self-esteem.</p> | <p>\$1,000</p> |
| <p>St. Catherine's Anglican Church, Capilano 1058 Ridgewood Drive North Vancouver, BC V7R 1H8 Susanne Stockdill, Vicar's Warden 604-985-0666 scadmin@gmail.com</p> | <p>Program - Community Thanksgiving Dinner - This program provides a homemade Thanksgiving dinner to people who might not otherwise enjoy a hot home-cooked traditional turkey dinner. Parishioners cook and serve the meals. The evening draws many facets of the community together. Guests include individuals from across economic, racial, religious and other diverse groups.</p> | <p>\$0</p> |
| <p>St. John the Evangelist Anglican Church 220 West 8th Street North Vancouver, BC V7M 1N1 L. Harrison, Church Program Coordinator 604-985-9848 lindaharrison2010@gmail.com Rev. Patrick Blaney, Priest 604-986-1151 priest.sjnv@telus.net</p> | <p>Program - Queen Mary Family Learning Program - This award winning program has been serving the needs of vulnerable families continuously for the last 8 years. Led by an advisory committee with representatives from 6 community organizations, the program provides an inclusive and welcoming space for pre-school children, parents and caregivers to improve their literacy skills and interact with local schools and social services in the community. Newcomers, vulnerable & hard to reach individuals learn how to become involved in the community, reducing social isolation & improving the quality of life of the residents.</p> | <p>\$9,000</p> |
| <p>Upper Lonsdale Preschool (ULP) Society 3380 Lonsdale Avenue North Vancouver, BC V7M 3K2 Slade Loutet, Grant Coordinator 604-984-8881 sloutet@hotmail.com</p> | <p>Program - ULP Outdoor Education Program - ULP's program strives to balance indoor and outdoor play on a daily basis. However, their attached outdoor space is limited and does not meet the legislated physical space requirements for number of licensed children. Their goal is to enhance and expand their current outdoor program through capital improvement and investments. The goal is to raise funds to immediately purchase additional items for the outdoor space and in the longer term, expand the size of the current outdoor space to meet requirements.</p> | <p>\$0</p> |
| <p>Vancouver Adaptive Snow Sports #322 - 125A Denman Street Vancouver, BC V6G 2M6 James Peters, Executive Director 604-646-8277 info@vass.ca</p> | <p>Operating - Vancouver Adaptive Snow Sports (VASS) provides ski and snowboard programs for children and adults with cognitive or physical disabilities at Grouse, Seymour and Cypress Mountains. These programs remove the barriers that prevent individuals with disabilities from participating in sports. Operating funds are needed to cover part of the salary of the Executive Director who coordinates all the programs, volunteers and administration.</p> | <p>\$0</p> |

**2019 ROUND ONE
COMMUNITY GRANTS APPLICATIONS MATRIX**



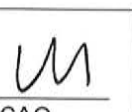
| APPLICANT | DESCRIPTION OF SERVICE/PROJECT | ROUND ONE 2019 RECOMMENDATION |
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| Vancouver Adaptive Snow Sports #322 - 125A Denman Street Vancouver, BC V6G 2M6 James Peters, Executive Director 604-646-8277 info@vass.ca | Program - Adaptive Learn to Ski - Learn to Ski is VASS's flagship program. Children and adults of all ages with cognitive or physical disabilities are taught to ski or snowboard at Grouse, Seymour and Cypress. Lessons are delivered solely by trained volunteer ski instructors. Every volunteer completes the Canadian Assoc. of Disabled Skiing (CADS) instructor certification to use the adaptive equipment and special teaching techniques for students with disabilities. Funds would be used for the costs of training instructors; although they are volunteers the certification training is essential. | \$2,000 |
| Vancouver Adaptive Snow Sports #322 - 125A Denman Street Vancouver, BC V6G 2M6 James Peters, Executive Director 604-646-8277 info@vass.ca | Program - Bluestreaks Adaptive Race Program - VASS's adaptive racing development program bridges their "Learn to Ski" programs with the high performance race programs of the Provincial Alpine Race Team and Special Olympics. Funding would be spent on coaching for the program and to hire professional coaching in order to tailor the program to the athlete level. Athletes train two to three times a week in season and once a week out of season. | \$0 |
| Volunteer Cancer Drivers Society 1520 Mahon Avenue North Vancouver, BC V7M 2S5 George McAffer, Executive Vice President 604-535-8856 george.m@volunteercancerdrivers.ca | Program - Cancer Patient Transportation for CNV and DNV Residents - The VCDS addresses a critical need by providing free, reliable transportation for cancer patients attending their treatments throughout most communities of the Lower Mainland, including the City and District of North Vancouver. Volunteer drivers, using their own vehicles, pick up patients at their residences, transport them to the treatment facility, wait for them and return them to their homes. Transportation requests have increased over 30% annually since inception of the service in 2016. | \$1,500 |
| Washington Kids Foundation #108B - 245 Fell Avenue North Vancouver, BC V7P 2K1 Joe Yankanna, Manager 604-961-1176 jyankanna@washingtonkidsfoundation.com | Operating - Washington Kids Foundation has been informally fundraising since its inception in 2013. Over 15,000 youth have been supported since that time. Programs are growing and the number of youth impacted is increasing. Funds are being requested to continue to offer essential programming and to provide a new level of assistance to North Vancouver schools for students that require extra support. | \$5,000 |
| NEW APPLICANTS | | |
| Alano Club of the North Shore 176 East 2nd Street North Vancouver, BC V7L 1C3 Tom Taylor, President 604-987-4141 nsalano@shaw.ca | Operating - The Alano Club seeks to educate the public regarding problems related to chemically dependent persons, their families & friends and to offer support & assistance to individuals, families and groups who are members of the Society or newcomers. Grant funding would be used toward capital costs to re-upholster 100 chairs that have been used at the Alano club since the 1970's. With over 850 people attending weekly meetings, the need for clean and comfortable seating is of utmost importance. | \$0 |

**2019 ROUND ONE
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| (The) Cinderella Project #172 - 219 Mackay Road North Vancouver, BC V7P 3N6 Cindy Given, Co-Chairperson 604-328-4252 cindy.given@gmail.com | Program - Cinderella Project Boutique Day - The organization's mission is to break the cycle of poverty in Metro Vancouver. The Cinderella Project works toward this goal by encouraging & celebrating at-risk youth in their pursuit of high school graduation amidst abuse, neglect, poverty and marginalization. Boutique Day was created to a day of recognition and self-esteem boosting in order to give our at-risk youth an opportunity to see that their dreams can come true and that they can make it to the milestone of graduation and beyond. Funds would be used for clothing and accessories for the grads as well as healthy food and goodie bags. | \$0 |
| Quest Outreach Society 2030 Dundas Street North Vancouver, BC V5L 1J4 Sarah Abbott, Grant Acquisition & Renewal 604-602-0185 sabbott@questoutreach.org | Program - Food Recovery and Redistribution Program - The mission of this program is to reducer hunger, build community and foster sustainability. Access to healthy, affordable food and necessities is provided through not-for-profit markets. Also, partnerships are encouraged between individuals and community resource program. Quality goods destined for the landfill are redistributed. Funding would be spent on costs directly related to the North Vancouver facility such as staff costs, food management and truck and facility maintenance. | \$2,500 |

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The Corporation of **THE CITY OF NORTH VANCOUVER**
COMMUNITY & PARTNER ENGAGEMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: L. R. Orr, Manager, Business and Community Partnerships

Subject: PROPOSED AMENDMENTS TO MOBILE FOOD CART POLICY 2017-002

Date: June 12, 2019 File No: 01-0340-50-0027/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Manager, Business and Community Partnerships, dated June 12, 2019, entitled "Proposed Amendments to Mobile Food Cart Policy 2017-002":

THAT the proposed amendments to the Mobile Food Cart Policy 2017-002 be adopted.

ATTACHMENTS:

1. Mobile Food Cart Policy 2017-002 with track changes (doc# 1790269)

PURPOSE:

The purpose of this report is to propose, for Council's consideration, minor amendments to the Mobile Food Cart Policy 2017-002.

BACKGROUND:

The Mobile Food Cart Policy was initially adopted by Council in April 2017. The Policy provides regulation for the licensing and location of food carts in the City. This policy is distinct from the Food Truck Policy. The Mobile Food Cart Policy sets out a standard for regulation and identifies a number of specific locations in the City where Food Carts are permitted. The primary objective of the policy is to contribute to Placemaking through animation of public spaces. Food Carts are licensed through the Business Licence process and are provided for in the Street and Traffic Bylaw so no additional fees are charged such as Street Use Permits or application fees. As a component of the City's Placemaking initiative an effort has been made to keep the licensing process simple and the costs to the vendor reasonable.

DISCUSSION:

As Council is aware, the Shipyards Waterfront Team is currently being formed. Once operational the Team will be developing protocol, policies and programs for a number of activities in The Shipyards including small scale commercial vendors. The current Mobile Food Cart Policy identifies 3 potential locations for food carts in The Shipyards and at the foot of Lonsdale. These were put in place as a placeholder pending the completion of the Shipyards with dedicated staffing. In discussion with the Manager, Shipyards and Waterfront it was agreed that administration of food vendors in The Shipyards and foot of Lonsdale would be better under the purview of The Shipyards Waterfront Team as opposed to a City wide policy. This would allow the food cart activity to be administered in light of the overall site vision and operational considerations. Food carts in The Shipyards will still be required to obtain a Business Licence. Since the current policy leads applicants to believe that Shipyard locations can and will be approved, it is considered prudent to remove these locations at this time.

Attachment #1 provides highlights of the proposed changes to the Mobile Food Cart Policy including removal of the 3 Shipyard locations and some housekeeping amendments. Mobile Food Carts operating in The Shipyards and at the foot of Lonsdale would still be required to meet Fire Department, Vancouver Coastal Health Mobile Food Premises and the City's insurance requirements.

Staff will report back in the future with a broader assessment of potential additional locations for Mobile Food Carts throughout the City.

FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

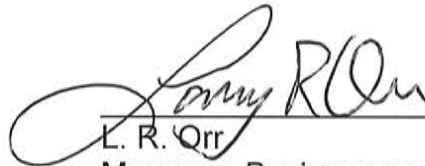
INTER-DEPARTMENTAL IMPLICATIONS:

This report has been prepared with input from the Manager, Shipyards and Waterfront.

CORPORATE PLAN AND/OR POLICY IMPLICATIONS:

The City's Mobile Food Cart Policy is an important part of the City's Placemaking initiative contributing to the active use of City spaces. The proposed amendments updates the Policy to better fit with the future management of The Shipyards Waterfront.

RESPECTFULLY SUBMITTED:



L. R. Orr
Manager, Business and Community
Partnerships

Attachments

LO/jb



Policy Name: MOBILE FOOD CART POLICY

Policy Number: Council Policy 2017-002

REASON FOR POLICY

To provide a standard for approving and regulating Mobile Food Carts in the City of North Vancouver with the goal to contribute to the animation of public spaces.

A Mobile Food Cart is defined as any wagon, cart or kiosk from which food, confectionary or beverage is offered for sale on approved City streets, plazas, parks or other public locations.

AUTHORITY TO ACT

Administration of this Policy is delegated by Council to the [Director of Community Development-Community and Partner Engagement](#) Department. [The Director, Community and Partner Engagement has the authority to deny any application received under this Policy.](#)

PROCEDURE

A. Application Requirements

1. Submit an Expression of Interest letter for preferred location(s) by Friday, of the first week in October (decision may be awarded by random draw process - see section A5 below). Letters to be addressed to the Business Licence Inspector.
2. Applicants must be the owner of the business.
3. The following information must be included with the Expression of Interest for a Mobile Food Cart location(s):
 - A colour photo or detailed plan of the proposed Mobile Food Cart;
 - Dimensions of the Food Cart;
 - Proposed signage;
 - A description of the proposed products to be sold and methods of preparation/storage;
 - Identification of preferred location(s) (see Schedule A for approved locations);
4. Once locations have been allocated a separate business licence application for each location must be submitted. The following are conditions of the Business Licence:

- Valid BC Health Authority [Mobile Food](#) Permit to Operate ~~or approval letter~~ (Section B32);
 - Inspection and confirmation that the “General Fire Safety Requirements” from the City of North Vancouver Fire Department have been met (Section B43);
 - ~~Confirmation of compliance with the “Mobile Outdoor Food Service Equipment Gas Appliance Requirements” of the BC Safety Authority (B4);~~
 - Appropriate design dimensions (Section C2); and
 - Valid insurance policy as determined by the City of North Vancouver (Section E1).
5. Available locations that have more than one applicant who meet all the Mobile Food Cart Policy requirements will be awarded by random draw. Applicants may be present to witness the draw and all applicants will be notified of the resulting status of their application.
6. No more than two (2) locations will be issued per owner. Additional locations may be considered and approved if no other application(s) is/are received for the desired location.
- 6.7. [Mobile Food Carts operating in The Shipyards and Foot of Lonsdale will be required to meet Sections B2, B3, B4 and E of this Policy.](#)

B. Operational Requirements

1. Vendors must commit to operate at approved locations. Vendors must initiate operations from the location no later than 10 days after suitable weather begins in the spring/summer months and operate a minimum of 5 hours a day, 5 out of 7 days per week weather permitting. As the goal is to animate public spaces regular operating hours and days is essential.
2. Vendors must comply with the “Mobile Food Premises” Guidelines issued by Vancouver Coastal Health (VCH). For more information contact VCH Environmental Health at 604-983-6700 or www.vch.ca.
3. Vendors must have a valid [Mobile](#) Food ~~Service~~ Permit ~~approval letter~~ issued by a B.C. Health Authority.
4. Vendors must comply with the “General Fire Safety Requirements” for Mobile Food Vendors issued by the North Vancouver City Fire Department. For more information contact the North Vancouver City Fire Department at 604-980-5021 or www.cnv.org.
- ~~5. Equipment must have an approval decal from the BC Safety Authority for “Mobile Outdoor Food Service Equipment” or alternatively must be certified and labeled by a Certification Organization accredited by the Standards Council of Canada. For more information contact the BC Safety Authority at 1-866-566-7233 or www.safetyauthority.ca.~~

- ~~6.5.~~ Garbage and waste will be recycled or disposed of properly off-site by the operator. Use of City garbage/recycling receptacles is prohibited. Disposal of any liquid waste into adjacent bodies of water or City drains is prohibited.
- ~~7.6.~~ Mobile Food Carts must provide their own independent sources of potable water and power.
- ~~8.7.~~ Vendors must conduct daily cleanup of the location within a 10 metre radius of the vending cart.
- ~~9.8.~~ The Mobile Food Cart is restricted to the specific location that has been designated and approved by the City.
- ~~10.9.~~ The Mobile Food Cart is prohibited from remaining overnight.
- ~~11.10.~~ Storage is limited to the Mobile Food Cart. Free-standing storage units are prohibited.
- ~~12.11.~~ The sale of popcorn, bird seed and any other loose confectionery seed product (e.g. sunflower seeds) is prohibited.
- ~~13.12.~~ Mobile Food Carts licensed to operate at Waterfront locations must receive approval from the event organizer if the area is booked for an event.
- ~~14.13.~~ Mobile Food Cart pick-up and drop-off must occur from the adjacent street or approved parking lots. Vehicles are prohibited from driving on sidewalks or pathways to access the designated locations.
- ~~15.14.~~ Relocation of a Mobile Food Cart may be required on a temporary basis to accommodate City approved events or construction/repairs of City infrastructure in or close to the designated locations. Advance notice of such relocations will be given when possible.
- ~~16.15.~~ Mobile Food Carts must be maintained in good operating condition as well as with a high standard of appearance.
- ~~17.16.~~ Business Licence Inspector approval is required before making any changes to the Mobile Food Cart. Display boards are considered to be part of the food cart and must be approved.
- ~~18.17.~~ Mobile Food Carts shall not be left unattended.
- ~~19.18.~~ Each Mobile Food Cart is allowed two folding chairs and a tent/canopy for weather protection; no additional furniture or objects are permitted.
- ~~20.19.~~ Deep frying is prohibited.

Failure to comply with one or more of the above conditions may result in enforcement action against the Business Licence.

C. Cart Design

1. Food carts must be constructed with the consultation and approval of the City of North Vancouver, Business Licence Inspector (604-983-7356) and a B.C. Health Authority. For more information contact Vancouver Coastal Health at (604-983-6700).
2. Food carts will be designed to meet the following dimensions:
 - Maximum 1.5 metres (5') in overall length.
 - Maximum 1.2 metres (4') in overall width.
 - Maximum 1 metre (3' 3") solid bottom of kiosk with additional 1 metre (3' 3") of clear open structure above.

D. Business Licence

1. The Mobile Food Cart Business Licence is **not** transferable to another owner/operator.
2. The Business Licence must be displayed on the food cart while in operation.
3. Operators must submit an Expression of Interest letter annually by the deadline noted in A1 above. For operators that have held a business licence in the previous year, automatic renewals will be allowed for three additional consecutive years subject to compliance with this Policy. At the end of the three years locations will be available to all interested parties and decided as per Section A5 above.

Applications will be received at any time during the year for locations that have not been allocated as per Section A5.

E. Insurance

1. Mobile Food Cart owners are required to provide and maintain liability insurance coverage that meets the following minimum requirements:
 - Inclusive limit of \$5,000,000;
 - Cross Liability Clause;
 - City of North Vancouver named as an Additional Insured; and
 - 30 day written notice of any material change or cancellation of Policy.
2. A Business Licence will not be issued until proof of insurance has been received and approved by the Business Licence Inspector. Should you have any questions regarding insurance requirements, please contact the Insurance and Risk Advisor at 604-983-7302.

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|----------------|---------------|--------------|---------|
| Approval date: | April 3, 2017 | Approved by: | Council |
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Schedule A

Street Food Vending Locations

Lonsdale

1. Lonsdale Avenue at 14th Street, Civic Plaza (141 West 14th Street) **or** Lonsdale Sidewalk frontage
2. Lonsdale Avenue at 17th Street, Southeast corner (1650 Lonsdale)
3. Lonsdale Avenue at 19th Street, Northwest corner (1905 Lonsdale)
4. Lonsdale Avenue at 21st Street, Southeast corner (2032 Lonsdale)

Waterfront

- ~~5. North end of the Burrard Dry Dock Pier~~
- ~~6. Upper deck adjacent to the St. Roch Dock~~
- ~~7. On the waterfront walkway at the foot of Lonsdale Avenue~~ **Closed temporarily**
- ~~8.5 Goldsworthy Pier in Waterfront Park~~ near Goldsworthy Pier
- ~~9.6~~ Foot of Harbourside Place **or** Fell Avenue in Harbourside Business Park
- ~~10.7~~ Jack Loucks Court **or** ~~Roger's Plaza~~
8. Rogers Plaza

Each application must clearly identify their preferred location(s).






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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Tim Ryce, Assistant Manager, Inspections

Subject: BC TALL WOOD MASS TIMBER CONSTRUCTION EARLY ADOPTION
INITIATIVE

Date: June 12, 2019 File No: 09-3760-01-0001/2019

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Assistant Manager, Inspections, dated June 12, 2019, entitled "BC Tall Wood Mass Timber Construction Early Adoption Initiative":

THAT Council supports participation in the Province of B.C.'s Tall Wood Early Adoption Initiative;

AND THAT Council requests the Province of B.C. to include the City of North Vancouver as a participating local authority in the regulation for the Tall Wood Early Adoption Initiative.

ATTACHMENTS:

1. British Columbia News Release: Code changes create jobs, opportunities in B.C. forest communities (Document No. [#1793382](#))

PURPOSE:

The purpose of this report is to introduce Council to the provincial Tall Wood Mass Timber Construction Early Adoption Initiative. The City's experience with wood construction is outlined, and the fundamental concepts of mass timber construction are

introduced. Finally, this report recommends Council support participation in the Initiative.

DISCUSSION:

Wood provides a substantial portion of the materials used to construct buildings in British Columbia, for components such as primary structural elements, partition walls, and interior finishings. Its popularity is due to many reasons. For example, being a locally produced renewable resource, wood buildings support the BC forestry industry while providing for a reduction in construction-related greenhouse gas emissions. Further, the use of pre-manufactured wood assemblies can reduce both construction timelines and costs.

Given these benefits, the use of wood as a primary construction material is increasing. Through advancements in wood manufacturing techniques, further expansions are being explored such as 'tall timber' buildings. These explorations require the development of updated construction regulations.

Construction Codes Development in British Columbia

Outside of the City of Vancouver, newly constructed buildings in this province are required to comply with the British Columbia Building Code (BCBC). Based on the model National Construction Codes, the BCBC includes regulations in the following five areas: safety, health, accessibility, fire and structural protection of buildings, and energy and water efficiency. Administered by the Ministry of Municipal Affairs & Housing, the BCBC is updated approximately every five years following a typically similar national development cycle.

In an effort to limit risks to both personal and structural fire safety, the BCBC includes provisions to restrict the use of combustible construction materials in buildings, most commonly through specifying height limits for combustible buildings. Currently, the BCBC limits the use of wood as a primary construction component to buildings up to 6 storeys in height; prior to 2009, wood frame buildings were limited to a maximum of 4 storeys.

The proposed 2020 National Building Code (NBC) is anticipated to include new provisions to permit the construction of combustible buildings up to 12 storeys in height. Combustible buildings greater than 6 storeys will be required to use encapsulated mass timber (EMT) construction techniques (described in greater detail below).

Once formally adopted into the NBC, these new provisions would be available for consideration for inclusion in provincial and territorial building codes. As the next scheduled update to the BCBC is not expected until 2022, the Province of BC has instituted the BC Tall Wood Mass Timber Construction Early Adoption Initiative to shorten that timeline.

Encapsulated Mass Timber

Included in the proposed new provisions are a number of requirements that seek to equip a tall timber building with an equivalent level of life and building safety to that of a

traditional non-combustible structure. Specifically, the requirements introduce a construction classification that is new to Canadian construction codes, known as encapsulated mass timber (EMT).

EMT construction techniques include regulations that specify minimum thicknesses for wood construction components (which reduces the likelihood of sustained fire activity while maintaining post-fire structural capacity) as well as mandating that the majority of combustible components be encased in non-combustible cladding, such as gypsum board (drywall).

Cross Laminated Timber (CLT) is the most common type of manufactured mass timber. It is very similar to plywood in its construction in that it is comprised of varying layers of thicker wood planks (depending on the thickness desired), oriented parallel to each other and glued together under pressure. CLT is used for columns, beams, walls, and roofs.

The proposed EMT regulations include requirements for the enhancement of construction site fire safety, such as limitations on combustible material storage on-site and early fire standpipe installation. These proposed additional protection measures are intended to ensure that such buildings present the same fire and life safety risks during construction as other types of buildings addressed by the BCBC.

Buildings of EMT construction that adhere to the proposed 2020 NBC regulations achieve the same performance level with regard to fire and structural protection, health and safety, and accessibility as other types of buildings addressed in the BCBC.

BC Tall Timber Early Adoption Initiative

Province-wide adoption of the proposed tall timber provisions is anticipated with the next edition of the BC Building Code, currently proposed for 2022. In an effort to accelerate the availability of this new construction classification while also facilitating responsible implementation, the Provincial government is inviting municipalities to participate in an early adoption initiative.

The initiative will include the creation of a jurisdiction-specific regulation (JSR), a regulatory framework made possible by the BC Building Act. In this case, the JSR containing the tall timber regulations would be made available for use to a select set of BC municipalities that meet the following criteria:

1. The municipality must have land use bylaws currently in place that permit the construction of buildings greater than 6 storeys in height.
2. The municipality must have on staff a Building Official that is qualified to Level 3 (the highest level) of the Building Official certification process, administered by the Building Officials Associations of British Columbia.
3. The municipality must be able to demonstrate internal organizational alignment for involvement in the initiative, specifically that the Fire, Building, and Planning Departments are supportive of the initiative.
4. The municipality must submit a Council resolution requesting inclusion in the JSR; and

5. The municipality will be expected to provide feedback on the regulations to Provincial staff and share lessons learned through the administration of tall timber construction projects.

If selected for inclusion in the JSR, design teams of proposed development projects located in the City of North Vancouver would be able to utilize the anticipated 2020 NBC tall timber provisions in their Building Permit applications, which would be able to be administered via typical municipal permitting processes.

The current implementation timeline for the Initiative requires that interested municipalities provide participation requests to the Province by July. Regulatory drafting and consultations are anticipated for the summer months, with an effective date for the JSR being targeted for the fall or winter of 2019.

CNV Experience

The City of North Vancouver contains many wood frame buildings, including buildings constructed to the current maximum 6 storey height allowances. An early proponent of the increase from the 4 storey limit in 2009 the City's first 6 storey wood frame buildings were the Anderson Walk development (119 West 22nd St.), some of the first wood frame buildings completed in the Province under the new regulations. Other notable buildings of this type include the Shore development (West 3rd St. and Fell Ave.), the West Quay development (260 West Esplanade), and First Street West (123 West 1st St.)

Each of these projects demonstrated compliance with applicable building and construction site safety regulations at design, construction, and completion stages, and were able to be monitored by City staff throughout.

City Fire, Building, and Planning staff have been consulted and recommend participation in the BC Tall Wood Mass Timber Construction Early Adoption Initiative. As the desire to build using combustible construction grows, it would benefit both staff and the development community to be able to utilize a provincially-recognized regulatory framework to ensure minimum life and fire safety performance levels are met.

FINANCIAL IMPLICATIONS

None

INTER-DEPARTMENTAL IMPLICATIONS

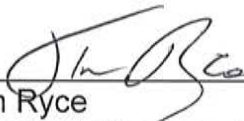
Continued collaboration between Fire, Building, and Planning staff will be required as consultations on proposed jurisdiction-specific regulation language progress.

SUSTAINABILITY COMMENTS

As wood is a natural renewable resource with the ability to sequester carbon, a tall timber building would have substantially lower greenhouse gas emissions related to its

construction than a concrete building of similar size. Being a natural insulator, mass timber buildings have better thermal performance than concrete or steel frame structures. Additionally, as mass timber elements are manufactured off-site, significant reductions in construction site waste will be possible. Finally, mass timber elements may be able to be remanufactured for secondary uses when a tall timber building reaches its end of useful life.

RESPECTFULLY SUBMITTED:



Tim Ryce
Assistant Manager, Inspections

TR:eb

British Columbia News

Code changes create jobs, opportunities in B.C. forest communities

<https://news.gov.bc.ca/19155>

Wednesday, March 13, 2019 11:30 AM

Okanagan Falls - Forest communities will see more jobs and opportunity from B.C.'s proactive adoption of building code changes that allow the safe construction of taller wood buildings.

"Companies like Structurlam are leading the way with innovative engineered wood products that create jobs in the forest sector and opportunity for people in communities throughout B.C.," said Premier John Horgan. "Changes to the national building code that allow for taller wood buildings take effect next year, but we're not waiting to get started. Our government is ready to work with communities to build safe, secure and green tall wood buildings that will create jobs, grow B.C.'s value-added sector and realize our low-carbon future."

Eligible local governments throughout B.C. are invited to become early adopters of mass-timber technology for construction of buildings up to 12 storeys, up from the current allowance of six storeys.

A mass timber building is one where the primary load-bearing structure is made of either solid or engineered wood. Encapsulated mass timber is where the mass timber components are surrounded by fire-resistant materials like drywall.

"Mass timber technology allows faster construction where large sections of a building can be manufactured in a plant and then assembled on site," said Selina Robinson, Minister of Municipal Affairs and Housing. "The faster we can deliver the homes that people need, the better for communities right across B.C."

Mass timber buildings can be one-fifth the weight of comparable concrete buildings, while still meeting performance standards for safety, structural resilience and fire protection. Studies have shown the environmental benefits of using mass timber. The estimated carbon benefit from the wood used in the Brock Commons building was equivalent to taking 511 cars off the road for a year. The development of innovative and cost-effective low-carbon building solutions — like construction using mass timber technology — supports government's CleanBC goal of making every building more efficient, while creating more jobs and economic opportunities for people, businesses and communities.

The federal 2020 National Building Code is expected to allow mass timber construction up to 12 storeys, and will be reflected in the next edition of the BC Building Code. The technology has been reviewed by the National Building Code committees, as well as by experts such as fire safety specialists, structural engineers, architects, scientists and builders.

The Ministry of Municipal Affairs and Housing staff will contact local governments with a request for expressions of interest and detailing the next steps for any local governments interested in this voluntary program.

Creating jobs, acting on climate change and building a sustainable economy are shared priorities with

the BC Green Party caucus and are part of the Confidence and Supply Agreement.

Quotes:

Doug Donaldson, Minister of Forests, Lands and Natural Resource Operations and Rural Development —

“Today’s announcement acts directly on my mandate letter commitment to expand B.C.’s innovative wood-products sector and will help create more jobs and new markets for B.C. wood products.”

Hardy Wentzel, chief executive officer, Structurlam —

“Structurlam is proud to be a leader in the North American mass timber industry. We’re thrilled to be providing a sustainable and innovative construction solution and setting the bar for quality in an industry that is reshaping skylines. The building code changes announced at our flagship Structurlam facility in Penticton today will further support our ability to fuel the economy and create jobs through mass timber.”

Lynn Embury-Williams, executive director, Canadian Wood Council/Wood *WORKS!* BC —

“Wood *WORKS!* BC is proud to support the Government of B.C. as it moves forward and provides early opportunities for municipalities to build taller and faster, using wood. We look forward to assisting those municipalities and project teams requiring information and support to move ahead with this exciting opportunity.”

Gord Ditchburn, president, B.C. Professional Fire Fighters Association (BCPFFA) —

“B.C. firefighters are pleased to welcome the great potential that mass engineered timber construction will bring to our province. We support a building code process that balances the efficiencies and progress of industry with the needs of public safety and first responders. Wise decision-making means having everyone at the table and the BCPFFA has appreciated being involved. Including firefighter safety as an objective of the 2020 National Building Code is imperative to maintaining this balance.”

Quick Facts:

- Any local government currently regulated under the BC Building Code is eligible, provided:
 - there is city council support for the initiative;
 - the planning, building and fire departments are supportive of participating in the process;
 - the lead building official holds a Level 3 Certification from the Building Officials’ Association of BC; and
 - the jurisdiction’s land-use bylaws support buildings greater than six storeys in height.
- B.C. has obtained permission from the National Research Council to use the encapsulated mass-timber construction provisions from the 2020 National Building Code through a jurisdiction-specific regulation.
- Mass timber buildings meet or exceed performance standards for safety, structural resilience and fire protection.
- Other benefits to using mass timber construction include reduced traffic to a site, reduced waste and reduced noise during construction.
- British Columbia is already home to Brock Commons at the University of British Columbia,

Innovation Design Centre in Prince George.

- Compared to other materials, wood is a more environmentally friendly option, potentially reducing the carbon footprint in construction when sourced from sustainably managed forests.
- The CleanBC plan was developed as a pathway to achieve the Province's legislated climate targets of reducing greenhouse gas emissions by 40% by the year 2030.
- The Province's Wood First Program encourages innovation through value-added wood products, helping to grow local and global markets, while promoting climate-friendly construction and supporting B.C.'s forest-dependent communities.

Media Contacts

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Deputy Communications Director
Office of the Premier
250 818-4881

Melanie Kilpatrick

Media Relations
Ministry of Municipal Affairs and Housing
778 698-9176



The Corporation of **THE CITY OF NORTH VANCOUVER**
CITY CLERK'S DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Karla Graham, Corporate Officer

SUBJECT: ALTERNATIVE APPROVAL PROCESS – SUNRISE PARKLAND
ADJUSTMENT – PETITION RESULTS

Date: June 18, 2019 File No: 09-4250-01-20-0004/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Corporate Officer, dated June 18, 2019, entitled "Alternative Approval Process – Sunrise Park – Petition Results":

THAT the Corporate Officer's Certification for the Alternative Approval Process Opportunity regarding "Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706" (Sunrise Parkland Adjustment) be received and filed;

AND THAT "Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706" (Sunrise Parkland Adjustment) be adopted, signed by the Mayor and City Clerk and affixed with the corporate seal.

ATTACHMENTS:

1. Corporate Officer's Certification (Document #1791349, page 3)
2. "Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706" (Sunrise Parkland Adjustment) (Document #1756946)

BACKGROUND:

At the Regular Council Meeting of May 6, 2019, staff were directed to undertake an Alternative Approval Process regarding "Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706" (Sunrise Parkland Adjustment).

The purpose of this report is to inform Council of the results of that process.

Date: June 18, 2019

DISCUSSION:

Eligible electors of the City of North Vancouver were provided an opportunity for an Alternative Approval Process, which was conducted in accordance with the provisions of the *Community Charter*, Sections 30 and 86. Notice of the Alternative Approval Process opportunity was posted on the public notice board at City Hall, to the City's website and advertised in the North Shore News on Friday, May 10, 2019 and Wednesday, May 15, 2019. Completed Alternative Approval Process Elector Response Forms were accepted by the City Clerk's office until June 17, 2019, at 4:30 pm.

A determination of the total number of electors for the City of North Vancouver to which this Alternative Approval Process opportunity applies is 38,163. No Elector Response Forms were received. The percentage of estimated electors who validly submitted Elector Response Forms is 0%. The Corporate Officer's Certification (Attachment 1) indicates that the approval of the electors was obtained. Accordingly, "Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706" (Sunrise Parkland Adjustment) may be considered by Council for final adoption.

RESPECTFULLY SUBMITTED:



Karla Graham, MMC
Corporate Officer



THE CORPORATION OF THE CITY OF NORTH VANCOUVER
CORPORATE OFFICER'S CERTIFICATION

I, THE UNDERSIGNED Corporate Officer, as the person assigned responsibility for corporate administration under section 148 of the *Community Charter* (or section 198 of the *Local Government Act*), certify the results of the Alternative Approval Process that was conducted to obtain the approval of the electors for the following bylaws:

"Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706"
(Sunrise Parkland Adjustment)

Dated June 18, 2019, as follows:

Estimated number of eligible electors is **38,163**

Number of elector response forms submitted by the deadline is **0**

Number of elector response forms rejected is **0**

Number of elector response forms accepted is **0**

Percentage of estimated electors who validly submitted elector response forms is **0%**

And in accordance with the *Community Charter*, Section 86, the approval of the electors was obtained.

DATED this 18th day of June, 2019

A handwritten signature in dark ink, appearing to read "K. Graham", written over a horizontal line.

Karla D. Graham, MMC
Corporate Officer

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

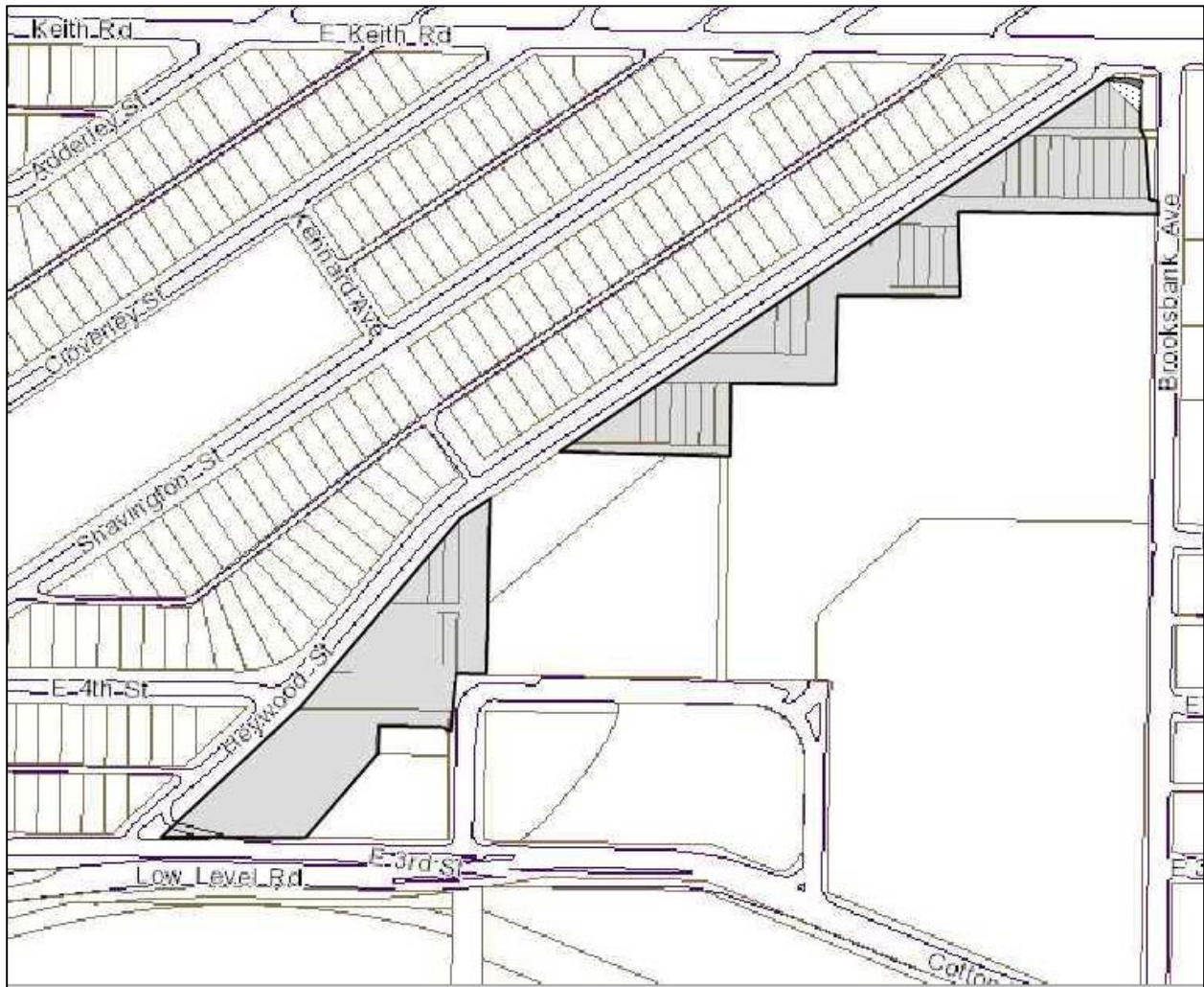
BYLAW NO. 8706

A Bylaw to amend “Parks Dedication Bylaw, 2004, No. 7628”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Parks Dedication Bylaw, 2004, No. 7628, Amendment Bylaw, 2019, No. 8706” (Sunrise Parkland Adjustment)**.
2. “Parks Dedication Bylaw, 2004, No 7628” is hereby amended by:
 - A. Registering a right of way in favor of the Metro Vancouver Water District over a portion of:
 - (1) Lot 3, Block 13, DL 272 Plan 4692, except part on Plan EPP68036, PID 011-393-874;
 - (2) Lot 4, Block 13, DL 272 Plan 4692, except part on Plan EPP68036, PID 011-393-891.

- B. Replacing the map contained within the bylaw with the following map, to reflect the right of way in favor of the Metro Vancouver Water District.



READ a first time on the 15th day of April, 2019.

READ a second time on the 15th day of April, 2019.




READ a third time on the 15th day of April, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



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|  Division Manager |  Director |  CAO |
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The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emily Macdonald, Planner 1

Subject: REZONING APPLICATION: 410 WEST 15TH STREET (ANGELO CUSANO / BILL CURTIS & ASSOCIATES DESIGN LTD.)

Date: June 12, 2019 File No: 08-3360-20-0455/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated June 12, 2019, entitled "Rezoning Application: 410 West 15th Street (Angelo Cusano / Bill Curtis & Associates Design Ltd.):

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725" (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street) be considered and the Public Hearing be waived;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS:

1. Context Map (Doc# [1791284](#))
2. Architectural and Landscape Plans (east lot), dated April 2019 (Doc# [1776422](#))
3. Architectural and Landscape Plans (west lot), dated April 2019 (Doc# [1776418](#))
4. Public Consultation Summary (Doc# [1744002](#))
5. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725" (Doc# [1791289](#))

PROJECT DESCRIPTION

The proposal includes the subdivision of a 780 square metre (8400 sq. ft.) lot located at 410 West 15th Street into two lots with a frontage of 9.2m (30 feet) each. One new single-family dwelling with suite is proposed on each of the proposed new lots. Two parking spaces are proposed for each lot in the form of a garage/carport, accessed from the lane.

The requested changes to the zoning by-law to permit this development are identified in Table 1 below. The proposed development would comply with all requirements of the RS-2 Zone. No variances are being requested.

Table 1. Requested Changes to the Zoning By-law

| | Current Designation/Regulation | Proposed Designation/Regulation |
|------|-----------------------------------|------------------------------------|
| Zone | RS-1 | RS-2 |

POLICY FRAMEWORK

The subject site is designated Residential Level 1 in the Official Community Plan.

| Metro 2040 | |
|------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Goal 1 Create a Compact Urban Area | The proposal presents a form of intensification that is appropriately scaled to the surrounding neighbourhood, and contributes to a compact urban area. |
| Goal 2 Support a Sustainable Economy | Proposed rental suites provide housing forms that can support a diversity of income levels and ensure people live close to where they work. |
| Goal 4 Develop Complete Communities | The proposed development provides a diversity of housing stock that will promote the ability to age-in-place allowing people to stay in their neighbourhood throughout all of their lifecycles. |
| Goal 5 Support Sustainable Transportation Choices | The site is serviced by several major transit routes, including the 240 to Vancouver City Centre. Intensification of the site will allow for more residents to live directly next to transit. |

| Official Community Plan | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Policy 1.1.2 Align growth with the development community amenities and infrastructure | Intensification of the site supports the use of existing amenities including the Green Necklace and Mahon Park. |
| Policy 1.3.1 Ensure that new development is compatible with the established urban form of the City, reflecting the primacy of the Lonsdale Regional City Centre and the transition through mid- and low-rise buildings to lower-density residential neighbourhoods | The proposed development on the site is appropriately scaled to the neighbourhood and supports the primacy of the Lonsdale Regional City Centre. |
| Policy 1.3.5 Encourage design excellence in developments through carefully considered, high quality architecture and landscaping, with varied designs which are interesting, sensitive and reflective of their surroundings | The surrounding neighbourhood does not have a consistent character. The proposed design is appropriate in character and quality for a Residential Level 1 neighbourhood. |
| Policy 1.3.6 Encourage architecture that responds to the unique context of the City in a sensitive, sustainable, and aesthetically compatible manner | Design and materials are consistent with those found in the local context. Landscaping includes primarily native plant species. |
| Policy 1.5.1 Provide opportunities for a range of housing densities, diversified in type, size and location. | The proposed development includes two rental suites which provide a smaller and more affordable housing form. |
| Housing Action Plan | |
| Action #5 To increase rental options in lower density areas to support renters and provide homeowners with additional rental income, while retaining neighbourhood scale and character. | The proposed development creates two new principal units of modest size with rental suites. Rental income will help to make the houses more affordable for owners and the rental units will increase the supply of units available in an area that is walkable and well-served by transit. |
| Sustainable Development Guidelines | |
| Natural Systems The ability of natural systems, both global and local, to support life. Parks and green spaces help regulate the climate, clean and filter water and air, and provide recreational and aesthetic benefits. Maintaining healthy natural systems will reduce strain on municipal infrastructure, support local wildlife and enhance quality of life for community members. | The proposed landscaping is primarily permeable with the exception of a concrete parking pad. Infiltration tanks will retain stormwater on site to help mitigate impact on local water courses and the Burrard Inlet. The majority of plants included in the landscape plan are native species. |

PLANNING ANALYSIS

Site Context and Surrounding Use

The site is located near Mahon Park and is within 3-5 blocks of mixed-use areas along Lonsdale Avenue and Marine Drive. The neighbourhood has a mix of single-family dwellings, duplexes, and multiple dwellings on one lot. The buildings and uses immediately surrounding the subject site are described in Table 1 below.

Table 1. Surrounding Uses

| Direction | Address | Description | Zoning |
|-----------|-------------------------------------------------|--------------------------------------|--------|
| North | 413/415/417 West 16 th St. | Three detached dwellings on one lot. | CD-600 |
| | 407 West 16 th St. | Single-family dwelling | RS-1 |
| | 1551 Jones Ave. / 401 West 16 th St. | Duplex | RT-1 |
| South | 423 West 15 th St. | Single-family dwelling with suite | RS-1 |
| | 417 West 15 th St. | Single-family dwelling with suite | RS-1 |
| | 407 West 15 th St. | Single-family dwelling with suite | RS-1 |
| East | 400 West 15 th St. | Single-family dwelling | RS-1 |
| West | 416 West 15 th St. | Single-family dwelling | RS-1 |
| | 414 West 15 th St. | Single-family dwelling | RS-1 |

Use

The policy framework applicable to the subject site supports the proposed development. The site is located in close proximity to transit, recreation facilities, commercial areas and schools. Additionally, the units will support affordable homeownership through the inclusion of rental suites, and will provide rental housing stock.

Intensity

The proposed rezoning would allow for the subdivision of the existing lot, creating two new lots of 9.1m (30 ft.) width. The design shows that the proposed lots can accommodate the proposed principal dwellings and suites with required parking. The

proposed density is consistent with the Official Community Plan at 0.5 FSR and is similar to surrounding properties.

Form

The proposed form of the development complies with the RS-2 Zone requirements and is appropriate in character for the low-density residential context.

COMMUNITY CONSULTATION

A Developer's Information Session was held on November 1, 2018. There was one attendee. The attendee expressed interest in the project and the rezoning process and completed an input form in support for the project.


Given there have been no concerns identified from the surrounding neighbourhood regarding the proposal, staff is recommending that the Public Hearing be waived. Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725"
(Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street) be considered and referred to a Public Hearing;.

CONCLUSION

The subject site's proximity to existing recreational infrastructure, commercial areas and transit make it an appropriate site for densification. The project would result in a net increase of three units (one principal and two accessory units) while maintaining the development form of the surrounding properties (single-family dwellings). The proposed parking is one space per unit, which is more than adequate for this site, given its location next to transit along Jones Avenue (routes 240, 241 and 255) and proximity to commercial and employment areas and schools. Policy and planning analysis supports the proposed rezoning.



RESPECTFULLY SUBMITTED:

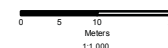


Emily Macdonald
Planner 1



Legend

-  Subject Site
 -  Legal_Parcels
- Aerial 2019



DISCLAIMER

This map was produced on the City of North Vancouver's Geographic Information System. Data provided herein is derived from sources with varying levels of accuracy and detail. The City of North Vancouver disclaims all responsibility for the accuracy or completeness of information contained herein.

GIS Division, Information Technology,
City of North Vancouver

PLOTTED: 8/28/2019
SOURCE: Various
COORDINATE SYSTEM: NAD 83 UTM Zone 10

TOPOGRAPHIC SITE PLAN OVER LOT 1 BLOCK 41 DISTRICT LOT 547
GROUP 1 NUD PLAN 1061

CIVIC ADDRESS:
410 West 18th Avenue, City of North Vancouver
PID: 014-852-845

SCALE: 1" = 8'

ALL DISTANCES ARE IN FEET
The intended plot size of this plan is 22" in width
and 34" in height (D size) when printed at a scale of 1" = 8'

| EXISTING | PLAN | AREA | AREA |
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BLACKTOP TO PROPERTY LINE
AT DEVELOPER'S COST AND TO
CITY OF NORTH VANCOUVER
ENGINEERING STANDARDS

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS
AND ENVIRONMENT AT 604-983-7335 PRIOR TO POURING
ANY FLOOR SLABS ASSOCIATED WITH VEHICULAR OR PEDESTRIAN
ACCESS TO THE BUILDING. THE CONTRACTORS SURVEYOR MUST
PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING
ENTRANCES AT THE POURING STAGE.

CONTRACTOR TO ENSURE THAT ALL
ELECTRICAL AND COMMUNICATION SERVICES
ARE INSTALLED UNDERGROUND

CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER
24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS.
THE CONTRACTOR MUST BE PRESENT FOR INSPECTIONS.
THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-983-4200

ALL CURBING OF SIDEWALKS OR WALKWAYS MUST
TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY
AND INSTALL AN IN-GROUND WATER TIE-OUT
AT THE DEVELOPER'S COST. FOR FUTURE WATER
USE TIE-OUT PROGRAMS.

SITE DEVELOPMENT DATA

EXISTING ZONING : R51
PROPOSED ZONING : R53
LOT AREA : 4205.1 SQUARE FEET
SITE COVERAGE :
PERMITTED : 1205.0 SQUARE FEET (28.6%)
PROPOSED : 1203.0 SQUARE FEET (28.6%)
FLOOR SPACE RATIO :
PERMITTED : 2,102.58 SQUARE FEET (50%)
PROPOSED : 2100.00 SQUARE FEET (50%)
GARAGE:
AREA ALLOWED : 420.5 SQUARE FEET
AREA PROPOSED : 420 SQUARE FEET
PARKING:
REQUIRED : 2 STALLS
PROVIDED : 2 STALLS
ELEVATIONS:
ROOF RIDGE.....237.25'
TOP OF UPPER FL. WALL.....229.04'
TOP OF UPPER FLOOR.....220.96'
TOP OF MAIN FLOOR.....210.88'
TOP OF LOWER FLOOR.....200.8'
GARAGE:
ROOF RIDGE.....223.75'
TOP OF MAIN FLOOR.....210.88'
TOP OF SLAB.....210.88'
AVERAGE FIN. GRADE:
206.11' + 201.0 + 415.11 / 2 + 207.6

REFER TO LANDSCAPE PLAN FOR
STREET TREES AND PROTECTIVE
TREE FENCING

APRIL 2019
FEB. 2019
JAN. 2019
JUNE 2018
MARCH 2018
GRADES AT LANE AND GARAGE SLAB
ELEVATION REVISION
GRADES AT SW CORNER OF WESTLY
LOT REVISION
NEW CORNER OF HOUSE FIN. GRADE
CORRECTED
ADJACENT LANE STRUCTURES AND
SIDEWALKS ADDED
BUILDING GRADES ADDED AND
PARKING GRADES ADJUSTED TO MATCH

Bill Curtis
& Associates
Design Ltd.
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

SITE PLAN
Drawn By: BC Date: AUG. 2017
SCALE: 1/8" = 1'-0"
Project:
CUSANO RESIDENCE AT
408 WEST 18th STREET
NORTH VANCOUVER

NOTES:
Lot dimensions are derived from Posting Plan BPP14850.
Measurements shown are to the foundation of buildings.
Elevations are Geoidless (CVD08 GVD - IN FEET)
Derived from Control Point: 134078
located at the intersection of 18th Street and
Jones Avenue. Elevation = 200.59.
Invert elevations and offsets of services from property lines
are derived from municipal records and field survey.
Contractor to verify all service locations and inverts prior to construction.

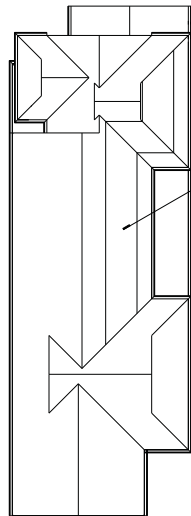
If this plan is used in digital form, Target Land Surveying (NLS) Ltd.
will only assume responsibility for information contained
therein on original, undistorted drawing.
Tree dimensions are taken at 4.6m, above grade and
are shown in feet.
Tree symbols are not shown to scale.

This Plan was prepared for architectural design and
site servicing purposes, and is for the exclusive use
of the client. The signatory accepts no responsibility
or liability for any changes that may be suffered by a
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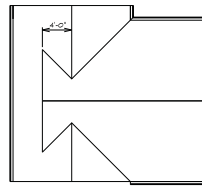
NOTE

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CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY
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ON PLANS OR INFORMATION PRIOR TO THE SIGNATURE OF THE ENGINEER.
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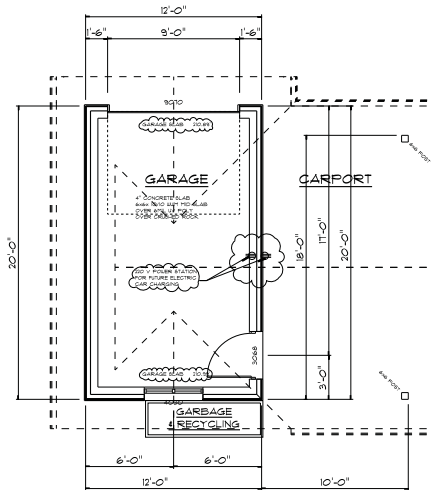
Quality Residential Design



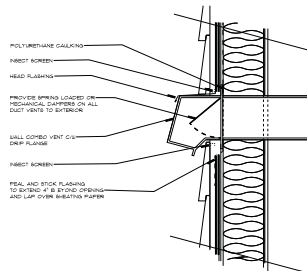
ROOF PLAN
SCALE: 1/8" = 1'-0"



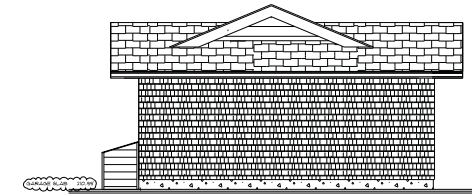
GARAGE ROOF PLAN
SCALE: 1/8" = 1'-0"



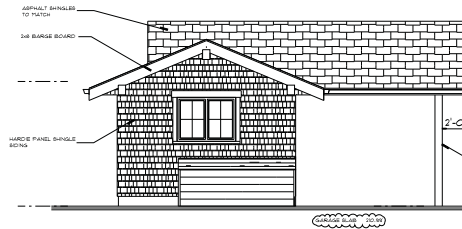
GARAGE PLAN



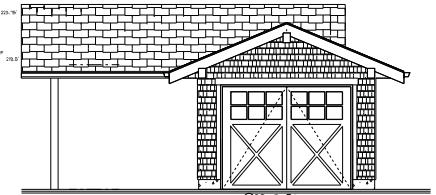
VENT CAP DETAIL



GARAGE WEST ELEVATION



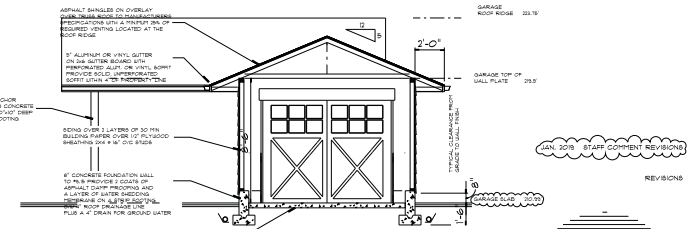
GARAGE SOUTH ELEVATION



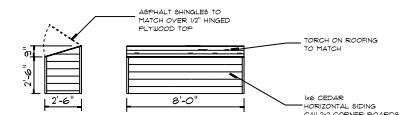
GARAGE NORTH ELEVATION



GARAGE EAST ELEVATION



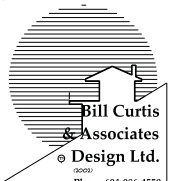
GARAGE SECTION



GARAGE 4 RECYCLING

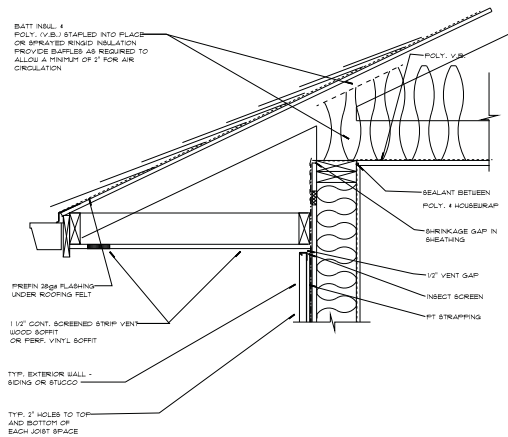
NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES TO THE OWNER OR CONTRACTOR THROUGH DESIGN OR OTHERWISE.
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
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HANDRAIL BLOCKING DETAIL

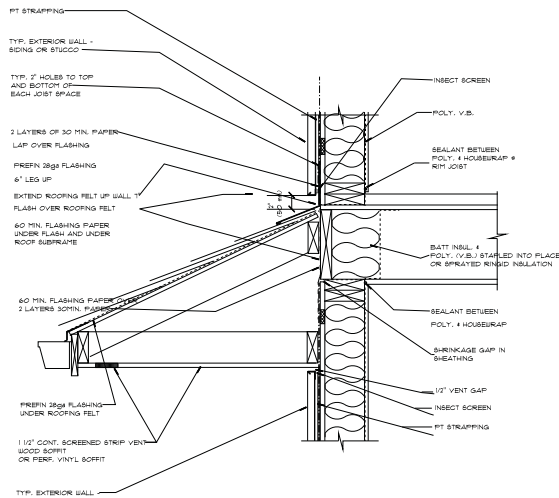


Bill Curtis & Associates Design Ltd.
19001
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9
GARAGE PLANS 4 DETAILS
Drawn By B.C. Date AUG. 2011
Scale 1/4" = 1'-0" OR AS NOTED
Project CUSANO RESIDENCE AT 408 WEST 15th STREET NORTH VANCOUVER

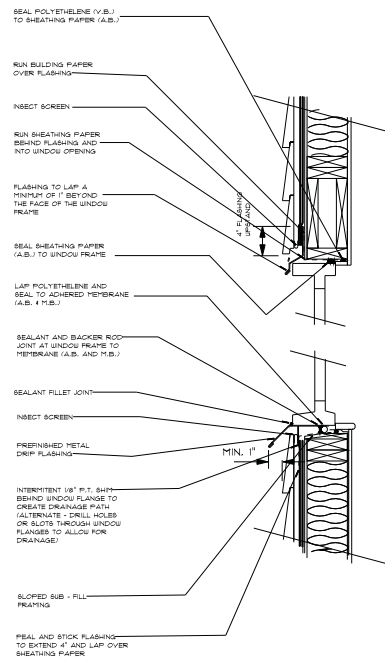
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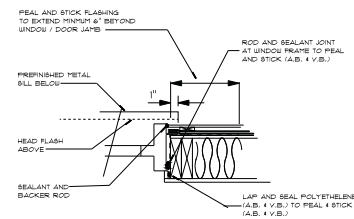
**RAINSCREEN DETAIL
ROOF TO WALL INTERSECTION**



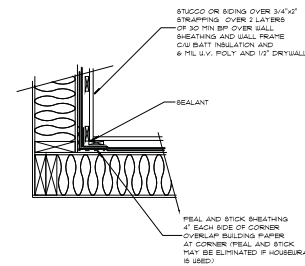
**RAINSCREEN DETAIL
ROOF TO WALL INTERSECTION**



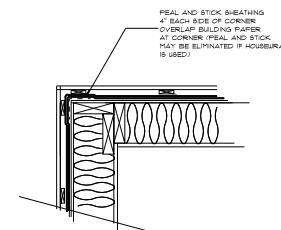
**WINDOW HEAD
& SILL DETAIL**



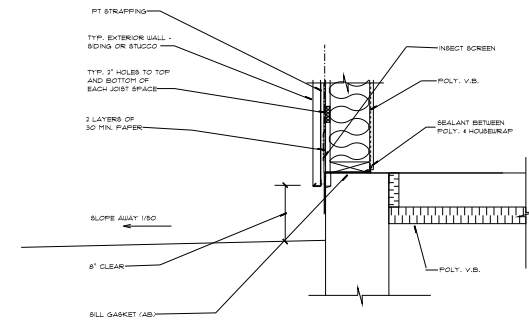
**WINDOW JAMB
DETAIL**



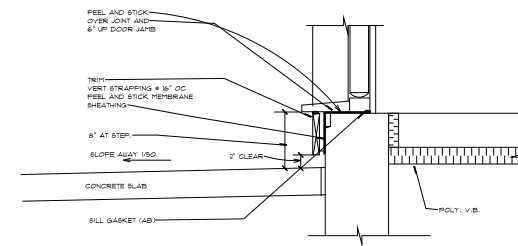
**INTERIOR CORNER
DETAIL**



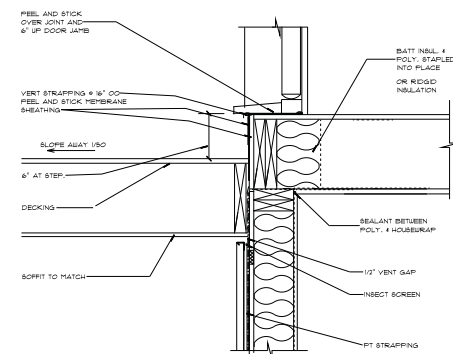
**EXTERIOR CORNER
DETAIL**



**RAINSCREEN DETAIL
FRAME WALL @ SLAB**



**RAINSCREEN DETAIL
DOOR ENTRY - SLAB**



**RAINSCREEN DETAIL
DOOR ENTRY - FRAME**

NOTE:
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THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.
CHANGES MADE TO THE PLANS SHALL BE INDICATED BY THE DESIGNER AND MUST BE MADE IN WRITING AND SIGNED BY THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK.
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REVISIONS

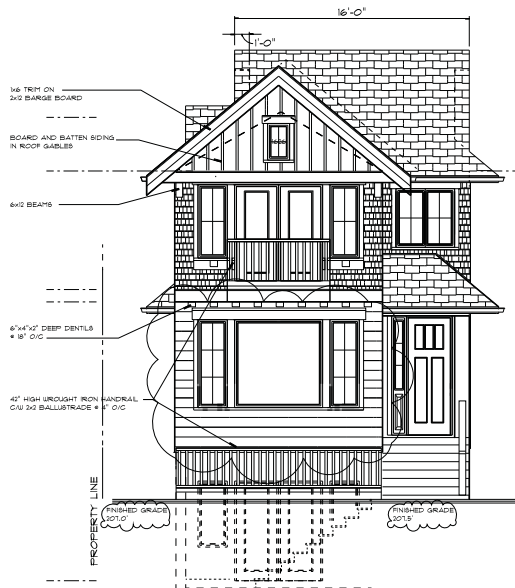
Bill Curtis & Associates
Design Ltd.
(2022)
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesigningmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

**RAINSCREEN
DETAILS**

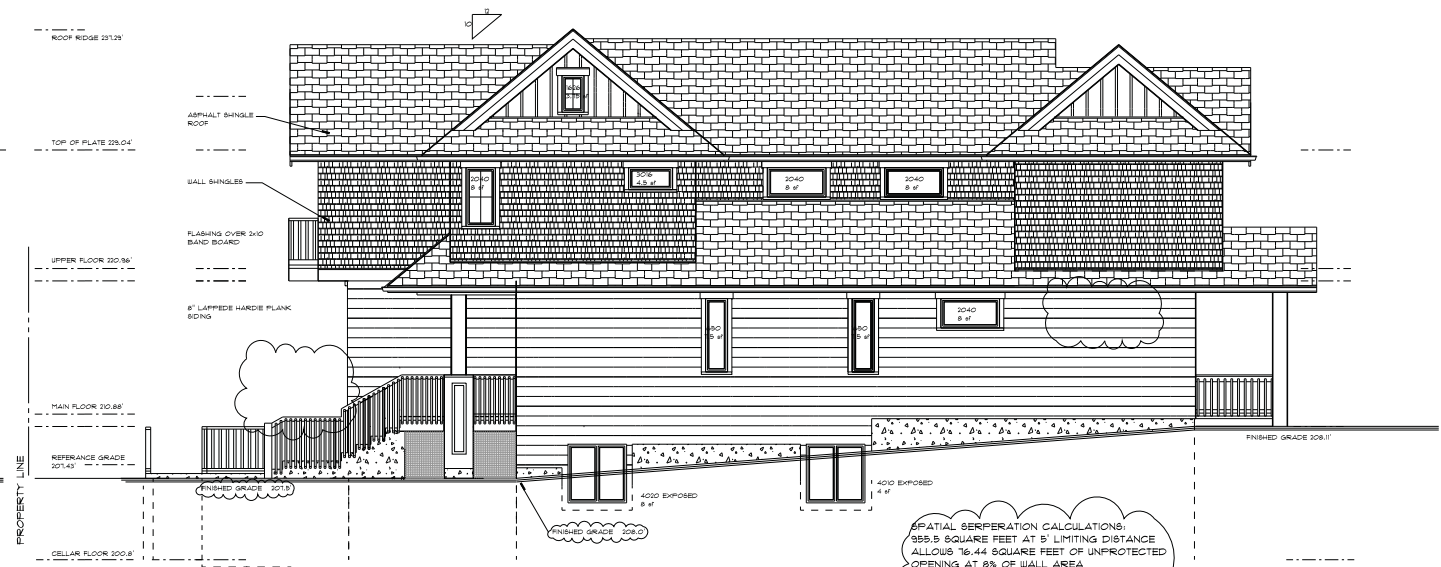
Drawing B.C. Date AUG. 2021
Scale 1/2" = 1'-0"

Project
CUSANO RESIDENCE AT
408 WEST 15th STREET
NORTH VANCOUVER

512 of

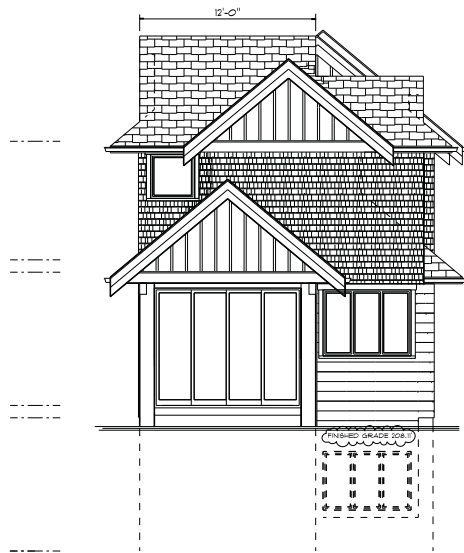


SOUTH ELEVATION

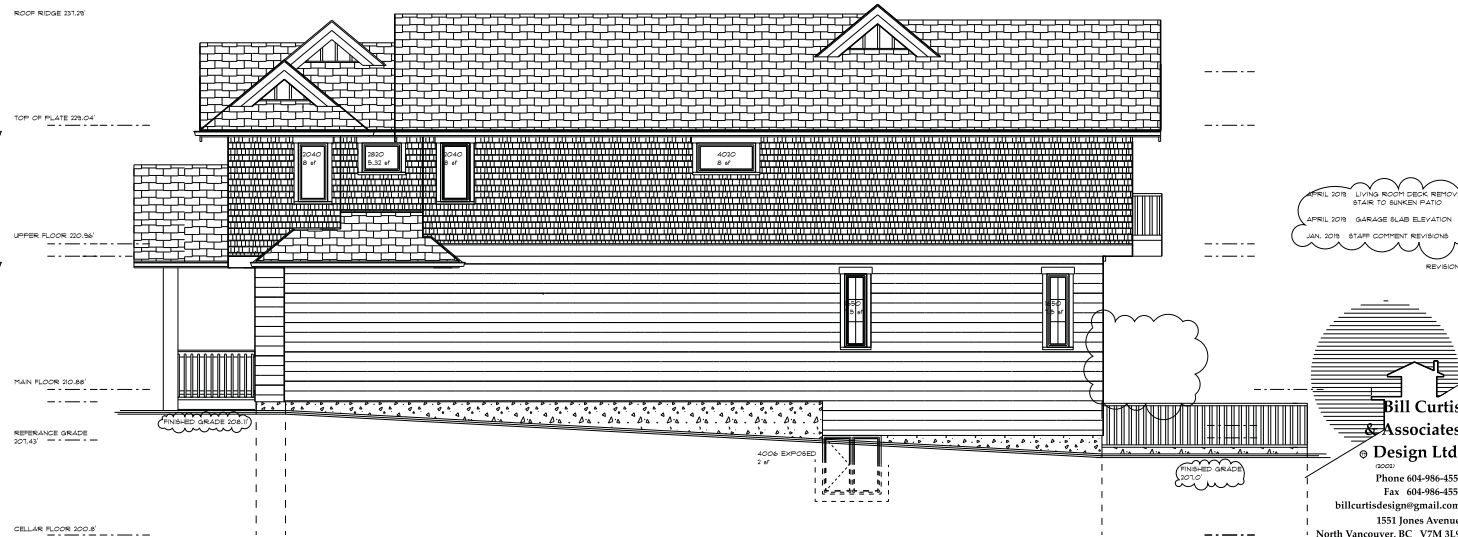


EAST ELEVATION

SPATIAL BERPERATION CALCULATIONS:
955.5 SQUARE FEET AT 5' LIMITING DISTANCE
ALLOW 16.44 SQUARE FEET OF UNPROTECTED
OPENING AT 8% OF WALL AREA
62.5 SQUARE FEET PROPOSED



NORTH ELEVATION



WEST ELEVATION

SPATIAL BERPERATION CALCULATIONS:
1,101.75 SQUARE FEET AT 5' LIMITING DISTANCE
ALLOW 11.0 SQUARE FEET OF UNPROTECTED
OPENING AT 1% OF WALL AREA
46.32 SQUARE FEET PROPOSED

APRIL 2018 LIVING ROOM DECK REMOVED
STAR TO BUNKER PATIO
APRIL 2018 GARAGE SLAB ELEVATION
JAN. 2018 STAFF CORRECT REVISIONS
REVISIONS



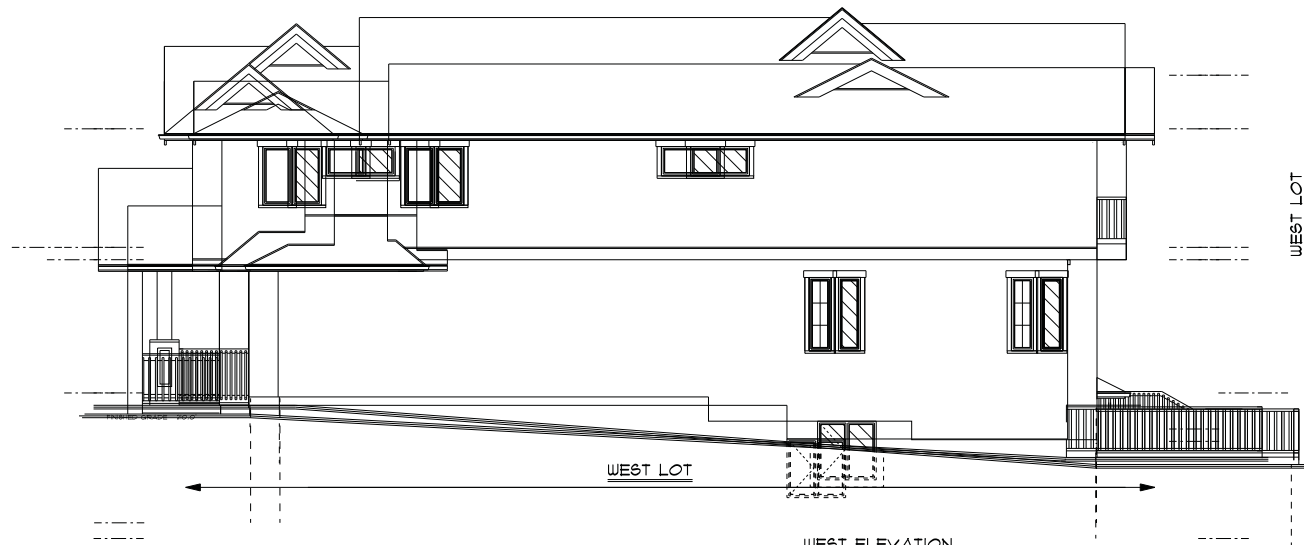
NOTE:
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THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED BY THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS IN THE PLANS OR SPECIFICATIONS AFTER THE DESIGNER HAS USED THESE PLANS AND SPECIFICATIONS IN THE FIELD.
ON THE DESIGNER, THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
PRIOR CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

ELEVATIONS
Drawn By B.C. Date AUG. 2011
Scale 1/4" = 1'-0"
Project CUSANO RESIDENCE AT 408 WEST 15th STREET NORTH VANCOUVER

612 of



EAST ELEVATION

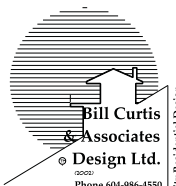


WEST ELEVATION

REFLECTED WINDOWS

NOTE
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS IN PLANS OR INFORMATION AFTER THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONCEPTS ARE PROVIDED BY CONTRACT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PART OR PART THEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VERBAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REPRESENTATIONS.

APRIL 2018 LIVING ROOM DECK REMOVED
 STAIR TO SUNKEN PATIO
 APRIL 2018 GARAGE SLAB ELEVATION
 JAN. 2018 STAMP COMMENT REVISIONS
 REVISIONS



Bill Curtis & Associates
 Design Ltd.
 1551 Jones Avenue
 North Vancouver, BC V7M 3L9

REFLECTED

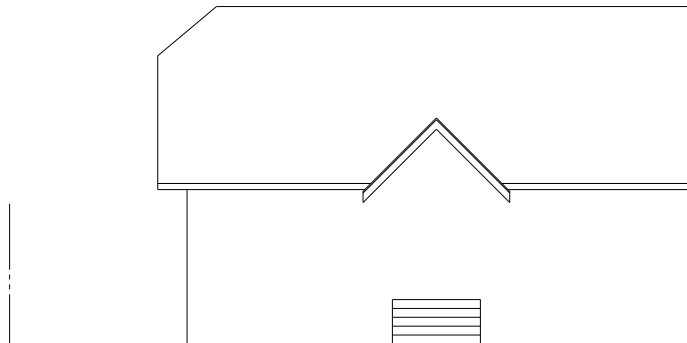
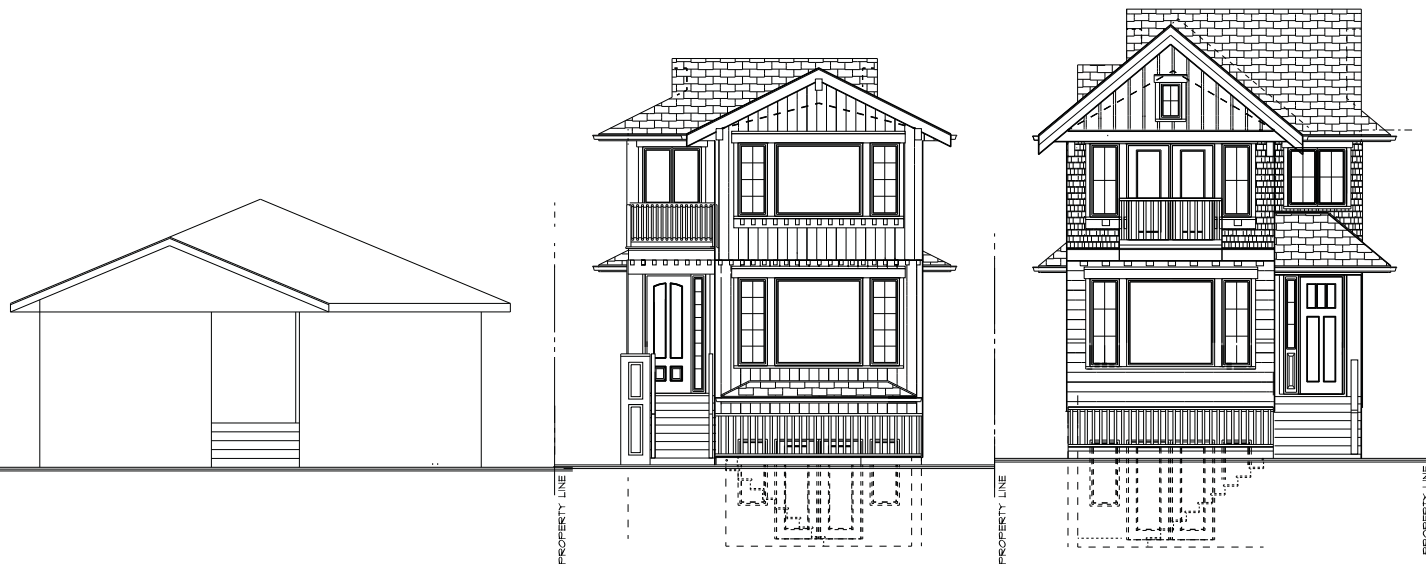
WINDOWS

Drawing By B.C. Date AUG. 2017

Scale

Project
 CUSANO RESIDENCE AT
 408 WEST 15th STREET
 NORTH VANCOUVER

7 12
 of



STREETSCAPE

APRIL 2018 LIVING ROOM DECK REMOVED
STAIR TO SUNKEN PATIO
APRIL 2018 GARAGE SLAB ELEVATION
JAN. 2018 STAFF COMMENT REVISIONS
REVISIONS



Drawing
Drawn By B.C. Date AUG. 2011
Scale

Project
**CUSANO RESIDENCE AT
408 WEST 15th STREET
NORTH VANCOUVER**

NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
CONSTRUCTION REQUIREMENTS TO CONFORM WITH ANY LOCAL AND REPORT ANY
DISCREPANCIES TO THE DESIGNER.
THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED
BY THE CONTRACTOR IN CONNECTION WITH ANY DISCREPANCIES.
ON PLANS OR SPECIFICATIONS DURING THE BUILDING PERIOD HAS BEEN ISSUED
UNLESS THE DESIGNER HAS BEEN ADVISED IN WRITING BY THE CONTRACTOR
OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND
SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
FURTHER CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF THESE REVISIONS.

8 12
of



410 West 15th Street

NORTH SIDE OF WEST 15th STREET



WEST 15th STREET LOOKING WEST



AREA MAP



WEST 15th STREET LOOKING EAST



REVISIONS



**Bill Curtis
& Associates
Design Ltd.**

(2005) Phone 604-986-4550

Fax 604-986-4555

billcurtisdesign@gmail.com

1551 Jones Avenue

North Vancouver, BC V7M 3L9

**CONTEXT
PICTURES**

Drawing B.C. Date AUG. 2011

Scale

Project

CUSANO RESIDENCE AT

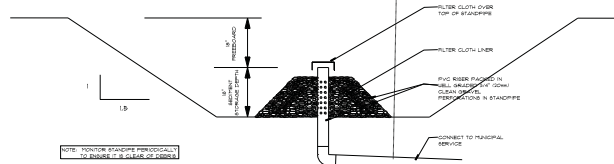
408 WEST 15th STREET

NORTH VANCOUVER

NOTE

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER ON CONSTRUCTION THROUGH ERRORS OR OMISSIONS ON PLANS OR INTERPRETATIONS OF THE DESIGNER'S INTENT. THE DESIGNER'S PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PART OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONVICTION OF VIOLATION OF ACCEPTANCE OF THESE RESTRICTIONS.

9 12
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


NOTE:

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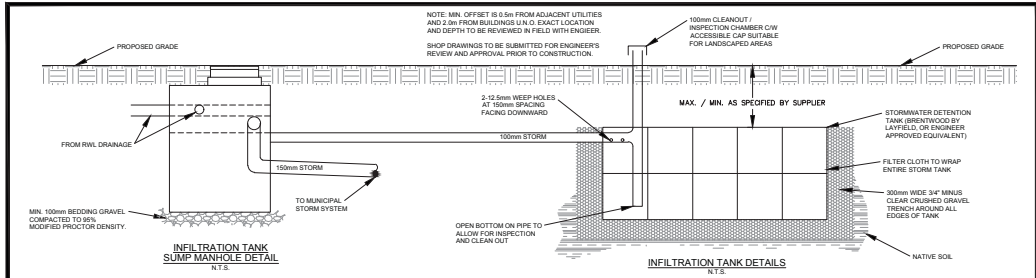
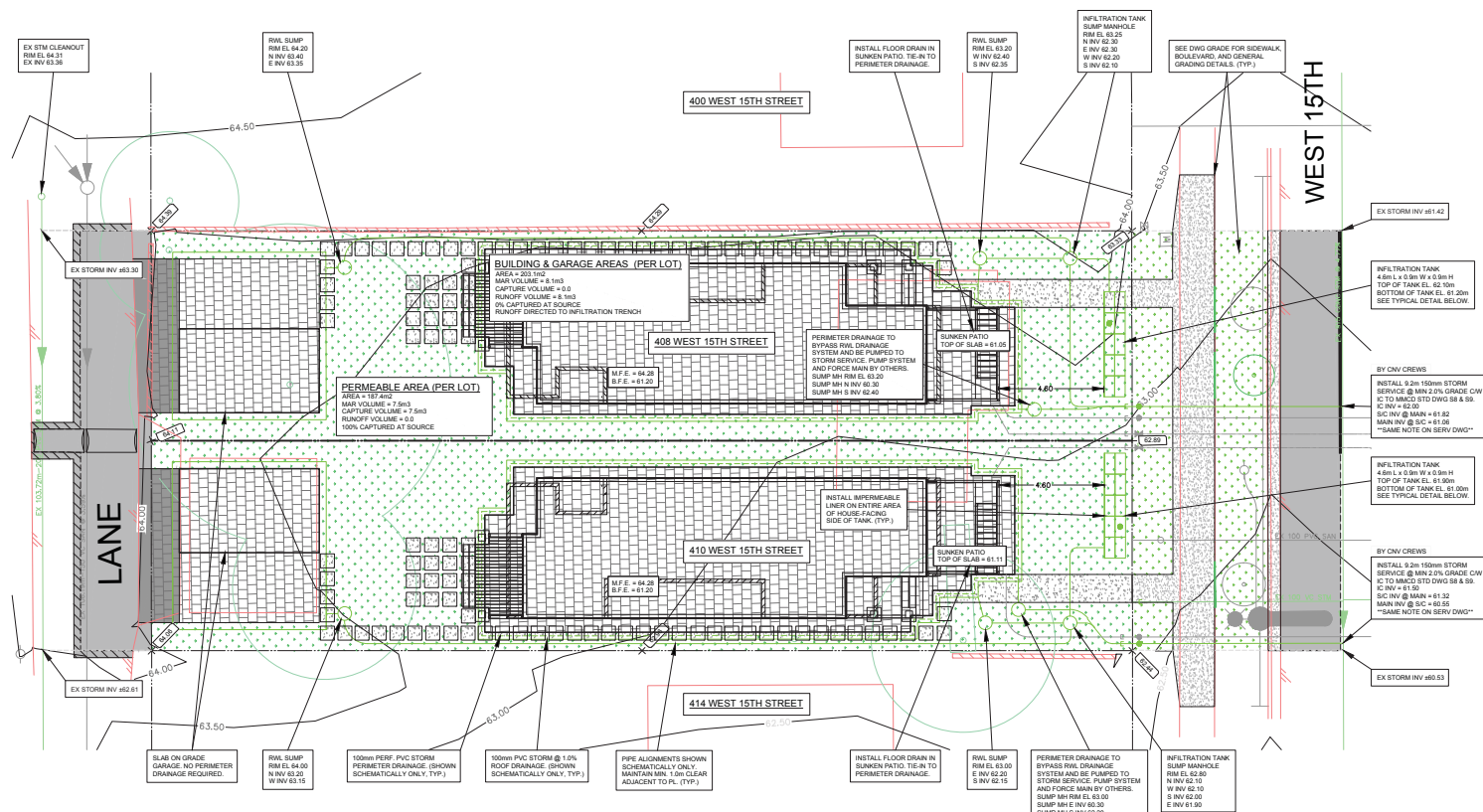
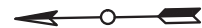
THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS IN THESE PLANS OR INVESTIGATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.

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**Bill Curtis
& Associates
© Design Ltd.**
(2002)

408 WEST 15th STREET
NORTH VANCOUVER



LANDSCAPE, DISCONNECTED HARD SURFACES (PERMEABLE)

BUILDINGS / HARDSCAPE (IMPERMEABLE)

STORMWATER NOTES

- SEE LANDSCAPE PLANS FOR LANDSCAPE DETAILS.
- SITE DRAINAGE RELATED TO STORMWATER MANAGEMENT ONLY. CONTRACTOR TO ENSURE ADEQUATE DRAINAGE IS PROVIDED.
- ALL WORKS TO CONFORM TO BC BUILDING CODE REQUIREMENTS.

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

STORMWATER MANAGEMENT PLAN
OBJECTIVE: CAPTURE THE RAINFALL DURING THE 50% MAR STORM EVENT.
RAINFALL DATA: DNV MUNICIPAL HALL
MAR STORM EVENT = 40mm
50% OF MAR STORM EVENT = 20mm

| TOTAL CATCHMENT AREA | | 390.5 m ² | see S&P dwg |
|--------------------------------------------------|--------------------|--------------------------------------|--------------------------------------|
| Landscape Area (Permeable) | | 160.5 m ² | see S&P dwg |
| Disconnected Hardscape (Counts as Permeable) | | 26.9 m ² | see S&P dwg |
| Building Area (Impermeable) | | 154.1 m ² | see S&P dwg |
| Garage Area (Impermeable) | | 49 m ² | see S&P dwg |
| Total Percent Impermeable | | 52% | |
| Objective: Capture the MAR Storm Event | | | |
| MAR Rainfall Event | | 80 mm | |
| 50% of MAR Rainfall Event | | 40 mm | |
| Total Area | | 390.5 m ² | from above |
| Rainfall on Area | | 15.6 m ³ | |
| Total Rainfall Volume to be Captured | | 15.6 m ³ | |
| PERMEABLE SURFACES | | | |
| Landscape Area (Permeable) | | 160.5 m ² | from above |
| Disconnected Hardscape (Counts as Permeable) | | 26.9 m ² | from above |
| Total Permeable Area | | 187.4 m ² | |
| Nominal Infiltration Rate | | 10 mm/hr | |
| Infiltration per Area | | 2.8E-06 m/s | see S&P dwg |
| Infiltration Provided | | 0.240 m ³ /m ² | see S&P dwg |
| Available Runoff for Capture | | 7.5 m ³ | rainfall on surface |
| Total Rainfall Captured | | 7.5 m ³ | lesser of (a) and (b) |
| Building and Garage Area Rainfall Capture | | | |
| Building Surface Area | | 154.1 m ² | from above |
| Garage Surface Area | | 49 m ² | from above |
| Total Impermeable Area | | 203.1 m ² | |
| Module Dimensions (m) | | | |
| Length | 0.914 | Width | 0.457 |
| Depth | 0.457 | | |
| Infiltration tank depth | 0.91 m | 2 modules | |
| Infiltration tank width | 0.91 m | 2 modules | |
| Infiltration tank length | 4.57 m | 5 modules | |
| Gross Tank Volume | 3.8 m ³ | 1 module | |
| Tank void space | 95% | | |
| Net Storage Volume | 3.6 m ³ | drain in max. 24hr | |
| Infiltration Materials | | | |
| Sandy with organics | | 0.00030 m/s | 26.3 m ³ /m ² |
| Clay | | 1.4E-07 m/s | 0.012 m ³ /m ² |
| Infiltration Tank Area | | | |
| Depth of clay (bottom of sand / top of clay) | | 1.12 m | from P&T |
| Depth of top of tank | | 0.80 m | |
| Tank Height Exposure | | 0.32 m | |
| Surface Area of tank | | 2.05 m ² | |
| Surface Area of tank | | 8.0 m ² | |
| Infiltration Provided | | | |
| Sandy with organics | | 53.8 m ³ | |
| Clay | | 0.1 m ³ | |
| Total | | 53.9 m ³ | infiltration volume |
| Total Tank Capture Provided | | 57.5 m ³ | (c) + (d) |
| Available Runoff for Capture | | 8.1 m ³ | rainfall on surface |
| Total Rainfall Captured | | 8.1 m ³ | lesser of (e) and (f) |
| Summary | | | |
| Total Rainfall Volume to be Captured | | 15.6 m ³ | from above |
| Permeable Area Capture | | 7.5 m ³ | from above |
| Building and Garage Area Capture | | 8.1 m ³ | from above |
| Excess Runoff | | 0 m ³ | Objective Achieved |

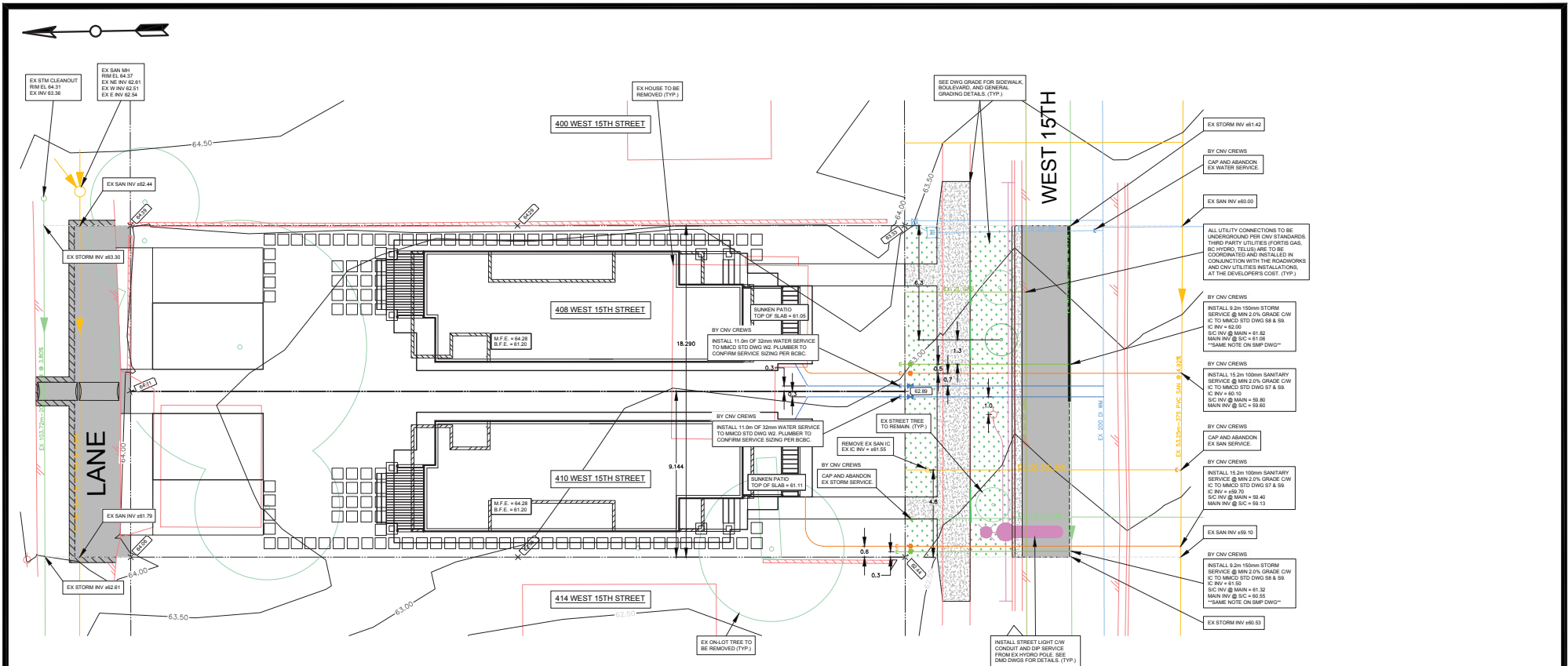
Fresco Engineering

408 & 410 West 15th Street
North Vancouver, BC

ANGELO CUSANO

STORMWATER MANAGEMENT PLAN

| | | | | | |
|-----|---------------|---------------------------------------------------------|-----|---------------|--------------------------------------------|
| 3 | FEB. 16. 2019 | REVISED HOUSE ELEVATIONS. REVISED S/C LOCATIONS FOR 410 | | | |
| 2 | MAR. 25. 2018 | GENERAL REVISIONS. ADDED GRADING PLAN TO DWG SET. | | | |
| 1 | NOV. 22. 2017 | SIDEWALK AND S/C REVISIONS PER CNV COMMENTS | 5 | FEB. 26. 2019 | REVISED LANE ELEVATIONS AND GRADING |
| 0 | OCT. 29. 2017 | PRELIMINARY | 4 | FEB. 20. 2019 | REVISED BASED ON SEPT. 5, 2018 CITY LETTER |
| No. | Date | Description | No. | Date | Description |



GENERAL NOTES

1. THE TERM "ENGINEER" REFERS TO FRESCO ENGINEERING. THEIR CONTACT, MARCO CUSANO, CAN BE REACHED AT 604.651.1861 OR ACUSANO@FRESCOENGINEERING.CA.
2. ALL CONSTRUCTION IN THE CITY OF NORTH VANCOUVER RIGHT OF WAY SHALL CONFORM TO THE LATEST VERSION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), SPECIFICATIONS, AND STANDARD DRAWINGS, AS MODIFIED BY THE CITY OF NORTH VANCOUVER CONSTRUCTION SPECIFICATIONS (SCHEDULE "C" OF BYLAW 6200) AND STANDARD DRAWINGS.
3. ALL PERMITS AND APPROVALS REQUIRED FOR THE PROPOSED WORKS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING.
4. LOCATIONS OF EXISTING UNDERGROUND UTILITIES HAVE BEEN BASED ON THE MUNICIPALITY'S RECORDS AND THIRD PARTY UTILITY RECORDS. THE LOCATION OF ALL EXISTING SERVICES IS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO PERMITTING. CONSTRUCTION AND THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS PRIOR TO CONSTRUCTION.
5. ALL CUTS IN EXISTING ASPHALT SHALL BE MADE VERTICALLY WITH A SAW BLADE, 100mm DEEP, AND SHALL BE REPAVED WITH A MINIMUM OF 100mm ASPHALT, FOLLOWING SUITABLE BACKFILL AND COMPACTION. ALL PAVEMENT, DRIVEWAYS, BOULEVARDS, FENCES, ETC. TO BE RESTORED TO THE SATISFACTION AND APPROVAL OF THE MUNICIPALITY WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT.
6. THE ENGINEER IS TO BE NOTIFIED BY THE CONTRACTOR 48HRS PRIOR TO STARTING OR RESTARTING CONSTRUCTION TO ESTABLISH AN INSPECTION SCHEDULE. THE CONTRACTOR MUST ALSO NOTIFY THE ENGINEER 48HRS PRIOR TO ANY REQUIRED INSPECTION.
7. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES. ANY DISTURBED SERVICES SHALL BE REPLACED TO THE SATISFACTION OF THE ENGINEER AND THE CITY.

8. THE ENGINEER WILL NOTIFY THE CITY AT LEAST 24HRS IN ADVANCE OF WORK OUTSIDE THE PROPERTY BEING STARTED, RESTARTED, OR WHEN INSPECTIONS ARE REQUIRED.
9. SURROUNDING ROADWAY TO BE SWEEPED DAILY. EXISTING ROADWAY NOT INCLUDED IN THE PROPOSED WORKS SHALL BE KEPT CLEAN AND CLEAR FOR THE DURATION OF CONSTRUCTION AND LEFT IN THE SAME CONDITION AS PRIOR TO CONSTRUCTION.
10. TRAFFIC CONTROL TO CONFORM TO THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE'S "TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" OR TO THE MUNICIPAL STANDARDS, AS APPLICABLE.
11. ANY SIDEWALK CLOSURE IS TO BE COORDINATED WITH THE MUNICIPALITY AND NEIGHBOURING PROPERTIES AT LEAST 48HRS IN ADVANCE. POSSESSIONS ARE TO BE PROTECTED AT ALL TIMES.
12. THE CONTRACTOR IS TO MAINTAIN A CURRENT, MARKED UP SET OF RECORD DRAWINGS AT ALL TIMES. THE FINAL MARKED UP SET OF DRAWINGS IS TO BE PROVIDED TO THE ENGINEER UPON PROJECT COMPLETION.
13. THE ENGINEER WILL PROVIDE RECORD INFORMATION TO THE MUNICIPALITY UPON COMPLETION.
14. EXISTING TREES THAT ARE TO REMAIN SHALL HAVE A SOLID PROTECTIVE FENCE ERECTED OUTSIDE OF THE DRILLPIE OF THE TREE.
15. THE CONTRACTOR IS TO TAKE ALL NECESSARY MEASURES TO PROTECT THE NATURAL ENVIRONMENT.
16. THE CONTRACTOR IS TO PREVENT ANY PARTICULATE MATTER FROM ENTERING THE STORM SYSTEM.
17. EXISTING PARKING CONTROL SIGNAGE ARE TO BE REPLACED AS DIRECTED BY THE CITY OF NORTH VANCOUVER. POLE SLEEVES ARE AVAILABLE FOR PICKUP AT THE CITY'S OPERATIONS YARD. TO ARRANGE PICKUP OF SLEEVES, CONTACT STEVE HARRISON AT 604.687.7185.

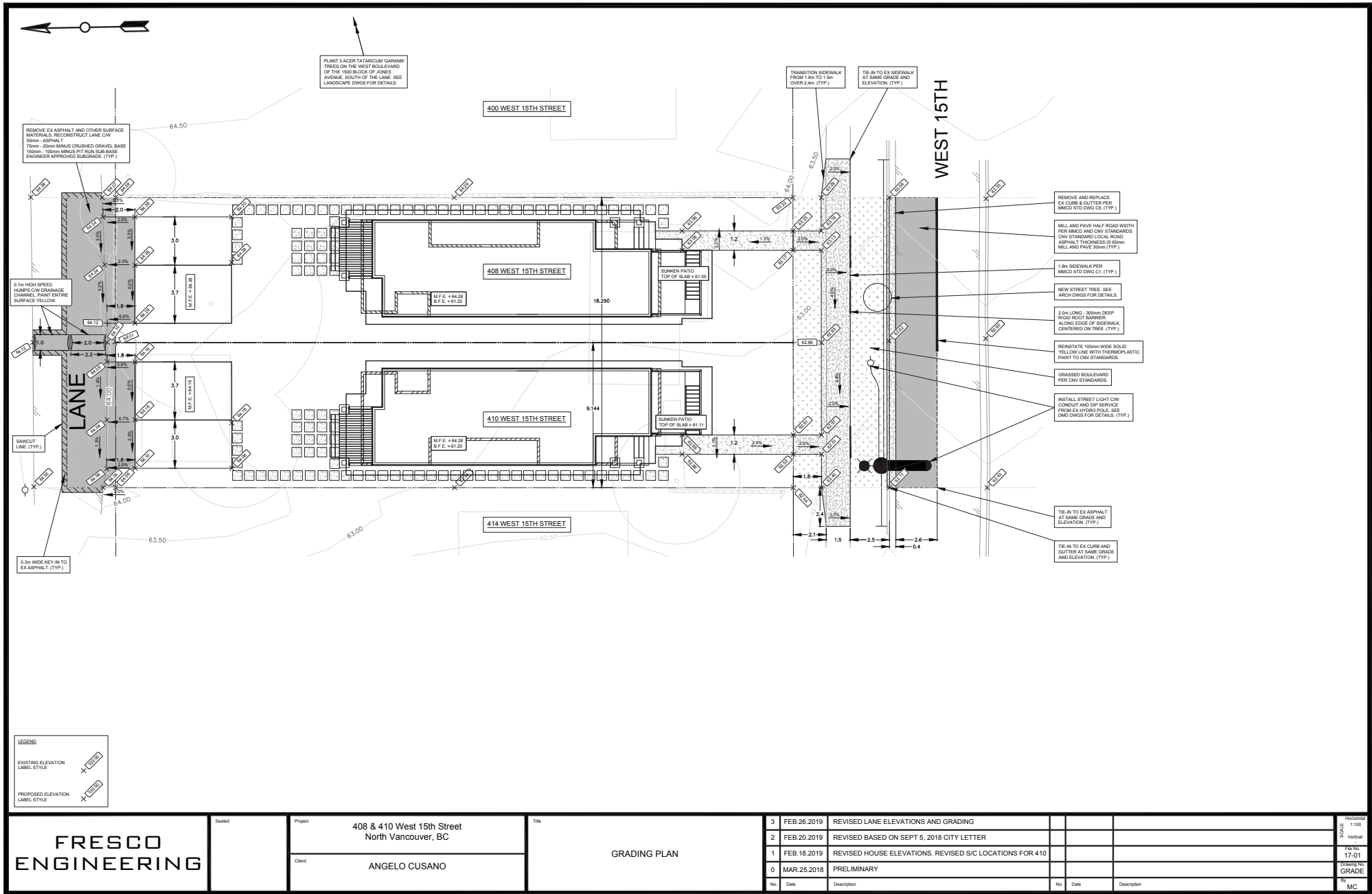
LEGAL DESCRIPTION

LOT 7 BLOCK 41 DISTRICT LOT 547 GROUP 1 NHD PLAN 1061
CNA ADDRESS 410 WEST 15TH STREET, CITY OF NORTH VANCOUVER
PID 014-862-845

BENCHMARK CONTROL
ELEVATIONS ARE GEODETIC (VD028 OVRD)
LOT DIMENSIONS ARE DERIVED FROM POSTING PLAN EPP74850
DERIVED FROM CONTROL MONUMENT 731019 LOCATED AT THE INTERSECTION OF 15TH STREET AND JONES AVENUE. ELEVATION = 64.163m (210.51ft)

| | | | | | | | | | | | | | | | | |
|-----------------------|---------|---------------|---------------------------------------------------|-------|----------------|-------------|-----|------|-------------|-------------|---------------------------------------------------------|-------------|-----|------|-------------|-----------|
| FRESCO ENGINEERING | Address | Project | 208 & 410 West 15th Street North Vancouver, BC | Title | SERVICING PLAN | | | | 7 | FEB 20 2019 | REVISED BASED ON SEPT 5, 2018 CITY LETTER | | | | | Revised |
| | Client | Angelo Cusano | | | | | | | 6 | FEB 18 2019 | REVISED HOUSE ELEVATIONS, REVISED S/C LOCATIONS FOR 410 | | | | | Scale |
| | | | | | | | | | 5 | DEC 12 2018 | WATER SERVICE SIZE REVISION AS DISCUSSED WITH CNV. | | | | | Vertical |
| | | | | | | | | | 4 | MAR 25 2018 | GENERAL REVISIONS, ADDED GRADING PLAN TO DWG SET. | | | | | Plan |
| | | | | | | | | | 8 | FEB 26 2019 | REVISED LANE ELEVATIONS AND GRADING | | | | | Sheet No. |
| | No. | Date | Description | No. | Date | Description | No. | Date | Description | No. | Date | Description | No. | Date | Description | MC |

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.



TOPOGRAPHIC SITE PLAN OVER LOT 1 BLOCK 41 DISTRICT LOT 547 GROUP 1 NWD PLAN 1061

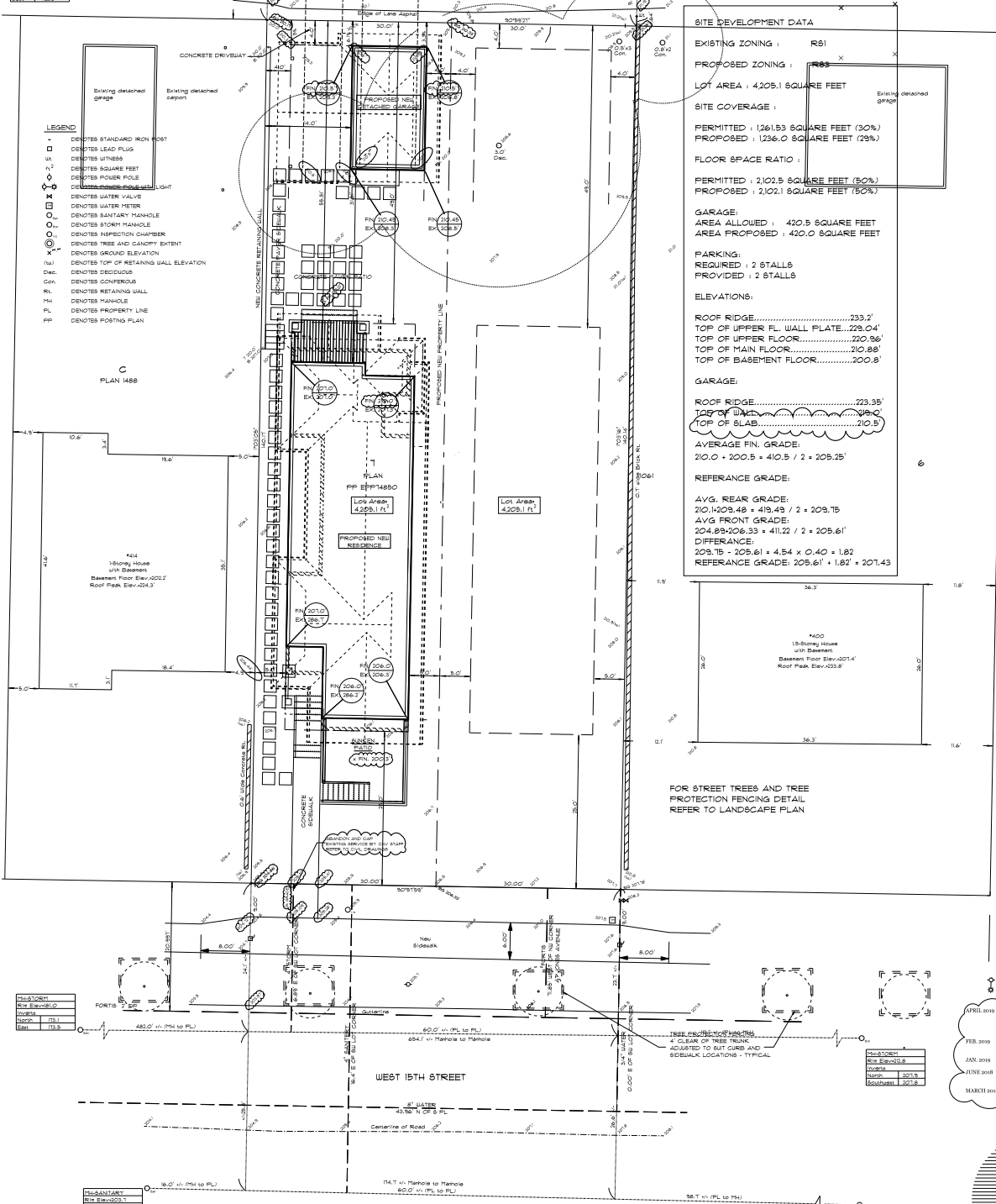
CIVIC ADDRESS:
410 West 18th Avenue, City of North Vancouver
PID: 014-853-848

SCALE 1" = 8'

ALL DISTANCES ARE IN FEET
The intended plot size of this plan is 22' in width
and 34' in height (2' shall when plotted at a scale of 1/8")

| | |
|------|------|
| PLAN | 1061 |
| DATE | 2017 |
| BY | 1061 |

| | |
|------|------|
| PLAN | 1061 |
| DATE | 2017 |
| BY | 1061 |



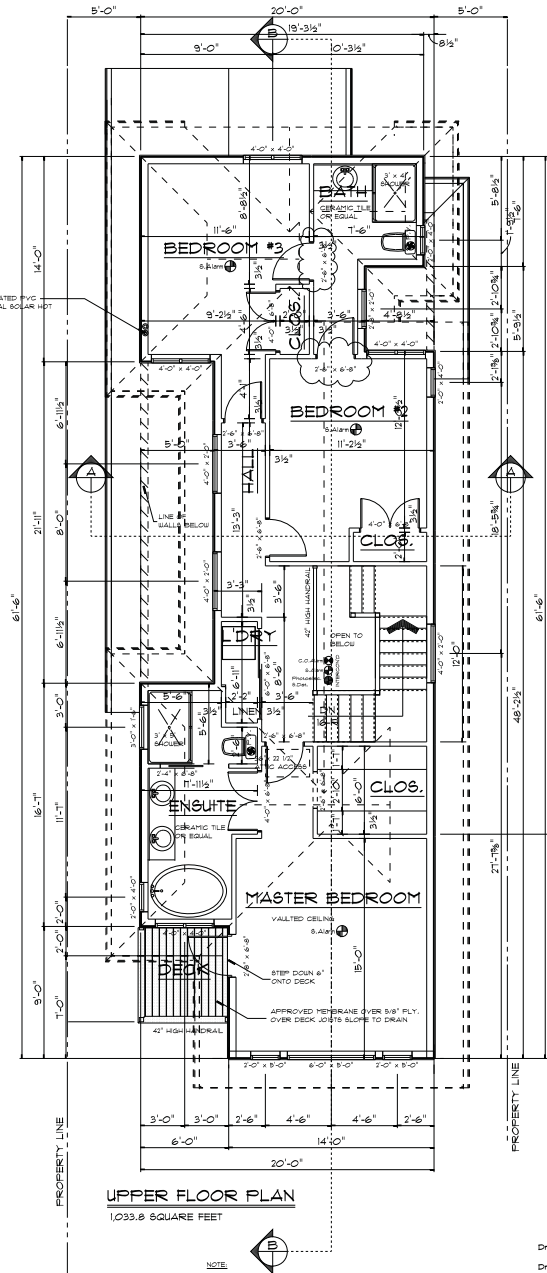
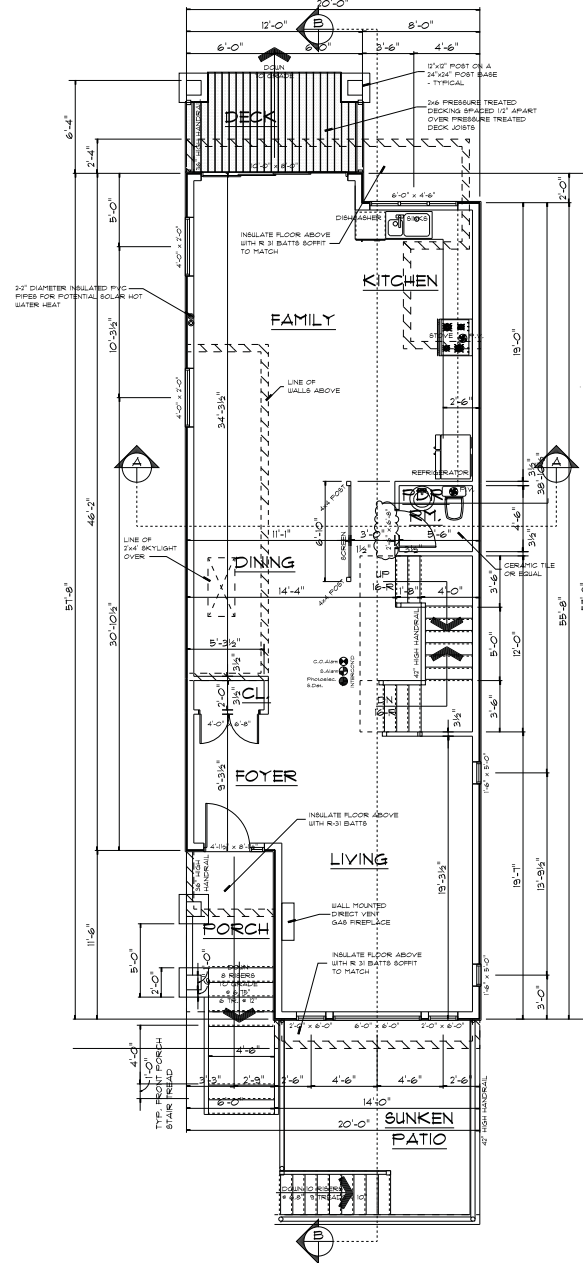
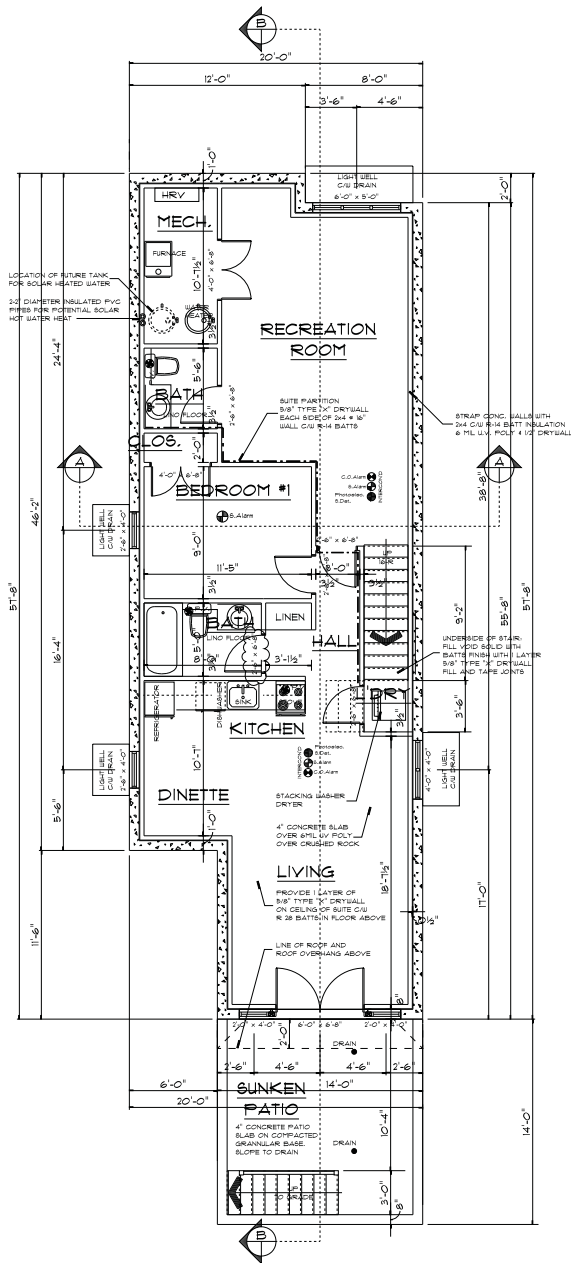
NOTES:
Lot dimensions are derived from Posting Plan EPF14850.
Measurements shown are to the foundation of buildings.
Elevations are Geodetic (CVD8 GRID - IN FEET)
Derived from Control Point 10000
located at the intersection of 18th Street and
Jones Avenue. Elevation = 120.80.
Insert elevations and offsets of services from property lines
are derived from municipal records and field survey.
Contractor to verify all service locations and inserts prior to construction.

If this plan is used in digital form, Target Land Surveying (NLS) Ltd.
will only assume responsibility for information content
shown on original unaltered drawing.

Tree diameters are taken at 4.0ft. above grade and
are shown in feet.
Tree symbols are not drawn to scale.

This Plan was prepared for architectural design and
site servicing purposes, and is for the exclusive use
of our client. The signatory accepts no responsibility
or liability for any damages that may be suffered by a
third party as a result of reproduction, transmission or
alteration to this document without consent of the signatory.

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THAT ARE CAUSED BY CHANGES OR OMISSIONS
BY THE CONTRACTOR. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND
SHALL BE KEPT IN THE DESIGNER'S OFFICE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR ANY OTHER PROJECTS THAT MAY BE UNDERTAKEN BY THE
DESIGNER. CONTACT WITH THESE CHANGES SHALL BE THE CONTRACTOR'S
RESPONSIBILITY.



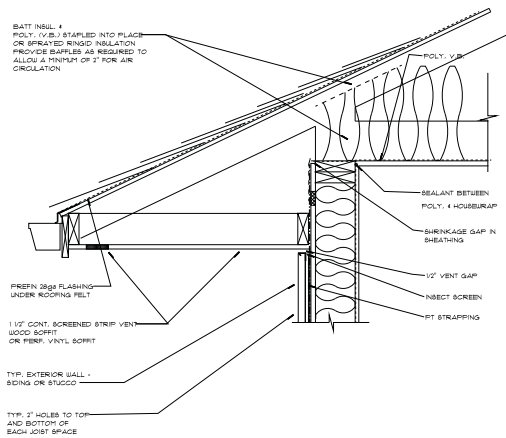
NOTE

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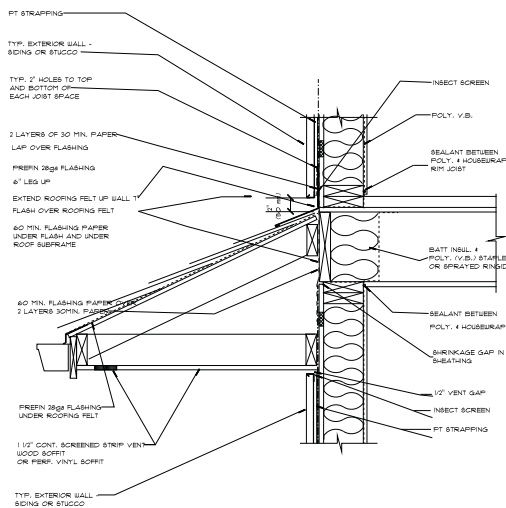
APRIL 2018 GRACES AT GARAGE REVEALED
JAN. 2018 STAFF COMMENT REVISIONS
MARCH 2018 GARAGE SLAB ELEVATION REVISIONS



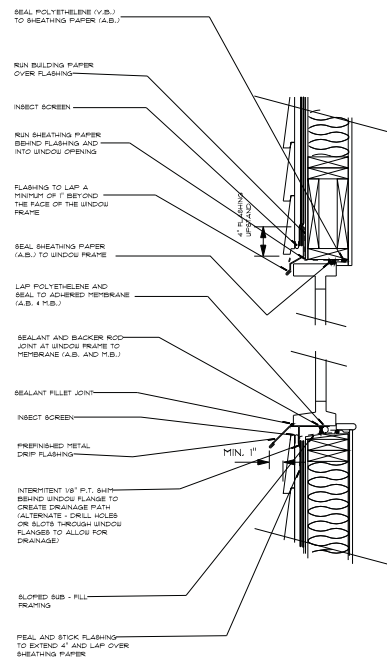
FLOOR PLANS
Drawn By B.C. Date AUG. 2017
Scale 1/4" = 1'-0"
Project CUSANO RESIDENCE AT 410 WEST 15th STREET NORTH VANCOUVER



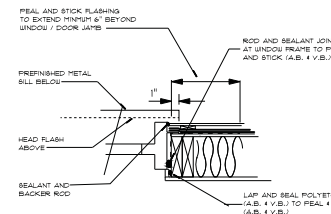
**RAINSCREEN DETAIL
ROOF TO WALL INTERSECTION**



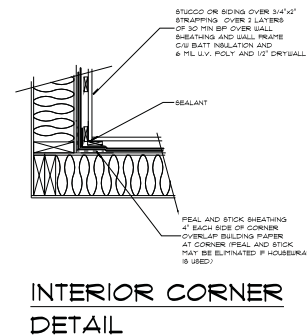
**RAINSCREEN DETAIL
ROOF TO WALL INTERSECTION**



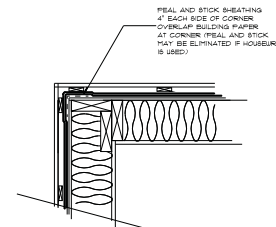
**WINDOW HEAD
& SILL DETAIL**



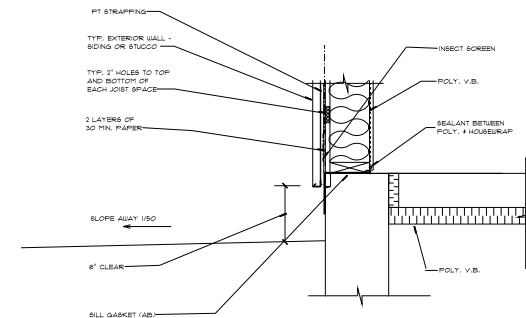
**WINDOW JAMB
DETAIL**



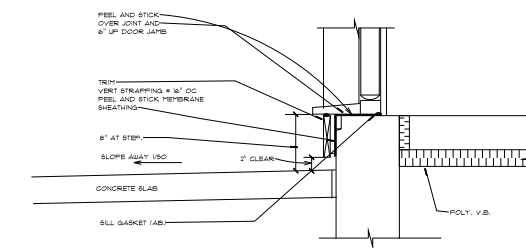
**INTERIOR CORNER
DETAIL**



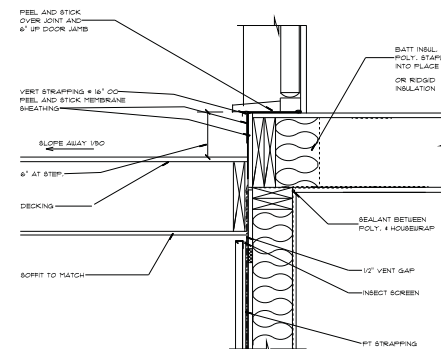
**EXTERIOR CORNER
DETAIL**



**RAINSCREEN DETAIL
FRAME WALL @ SLAB**



**RAINSCREEN DETAIL
DOOR ENTRY - SLAB**



**RAINSCREEN DETAIL
DOOR ENTRY - FRAME**

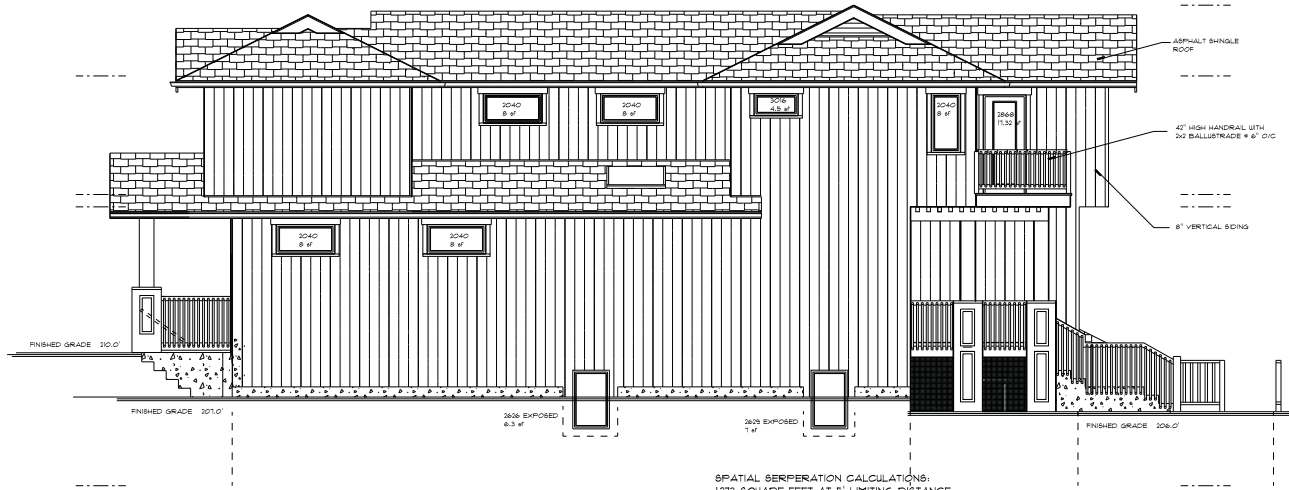
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THE DESIGNER IS NOT BE RESPONSIBLE FOR CONDITIONS INFERRED TO THE OWNER OR CONTRACTOR THROUGH NEGLIGENCE OR OMISSIONS OR FOR ANY INFORMATION UPON THE BASIS OF WHICH HAS BEEN MADE.
THESE PLANS AND CONDITIONS ARE PREPARED BY CONTRACTOR AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PART OF THEM SHALL BE COPIED OR DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
THIS CONTRACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

5/2
of

**Bill Curtis
& Associates
© Design Ltd.**
0000
Phone 604-986-4550
Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

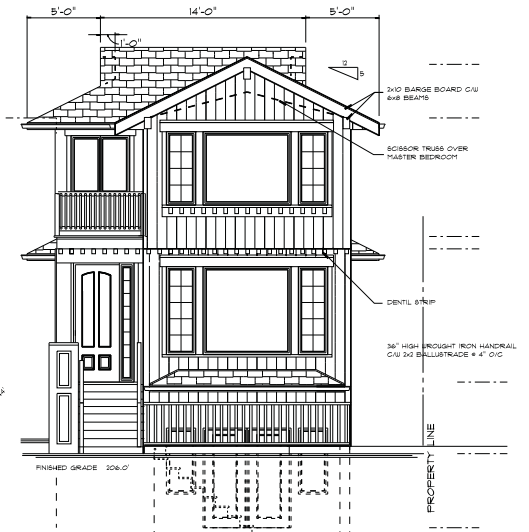
**RAIN SCREEN
DETAILS**
Drawing B.C. Date AUG. 2011
Scale 1/2" = 1'-0"
Project
CUBANO RESIDENCE AT
410 WEST 15th STREET
NORTH VANCOUVER

Quality Residential Design

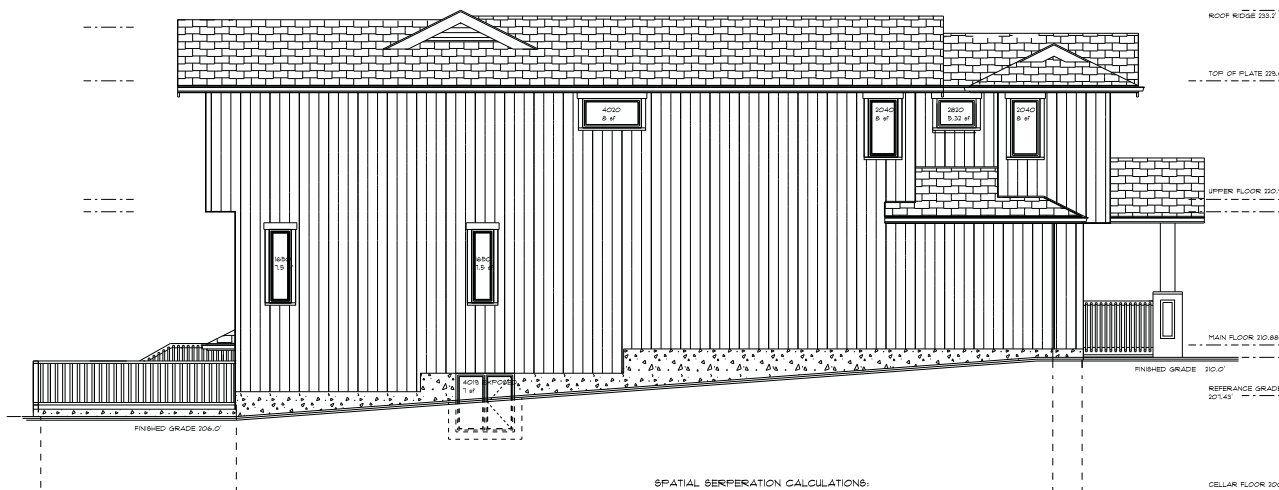


WEST ELEVATION

SPATIAL SEPERATION CALCULATIONS:
123 SQUARE FEET AT 5' LIMITING DISTANCE
ALLOWS 89.11 SQUARE FEET OF UNPROTECTED
OPENING AT 1% OF WALL AREA
75.12 SQUARE FEET PROPOSED

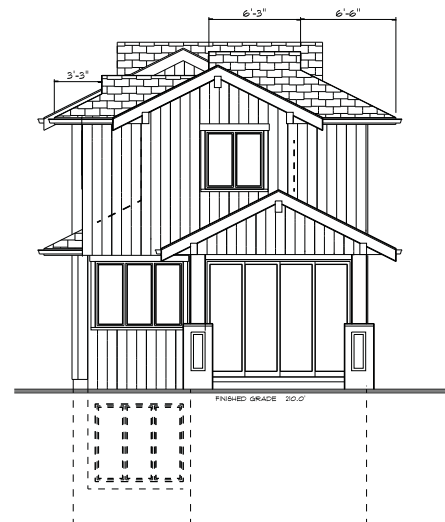
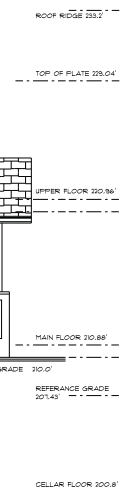


SOUTH ELEVATION



EAST ELEVATION

SPATIAL SEPERATION CALCULATIONS:
123 SQUARE FEET AT 5' LIMITING DISTANCE
ALLOWS 89.11 SQUARE FEET OF UNPROTECTED
OPENING AT 1% OF WALL AREA
51.32 SQUARE FEET PROPOSED



NORTH ELEVATION

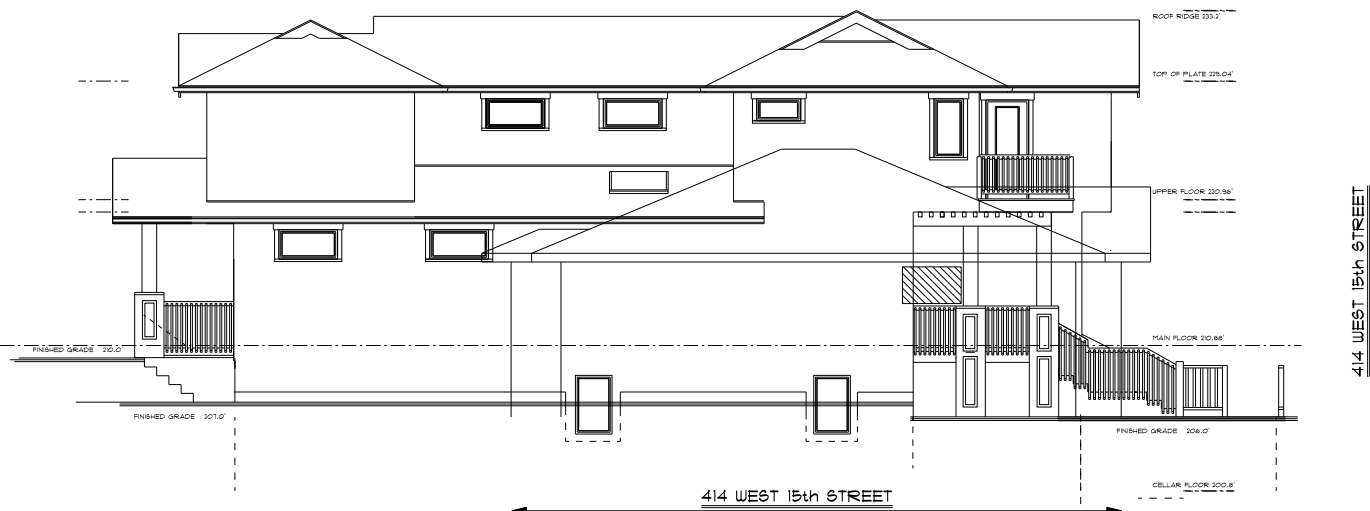
NOTE:
THE ORIGINAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONSTRUCTION THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONDITIONS ARE PROVIDED AS INFORMATION AND MAY BE MODIFIED OR CHANGED WITHOUT NOTICE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ALL CONTRACTS AND THESE DRAWINGS SHALL CONSTITUTE CONTRACTUAL EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

JAN. 2018 STAFF COMMENT REVISION
MARCH 2018 GARAGE SLAB ELEVATION
REVISIONS

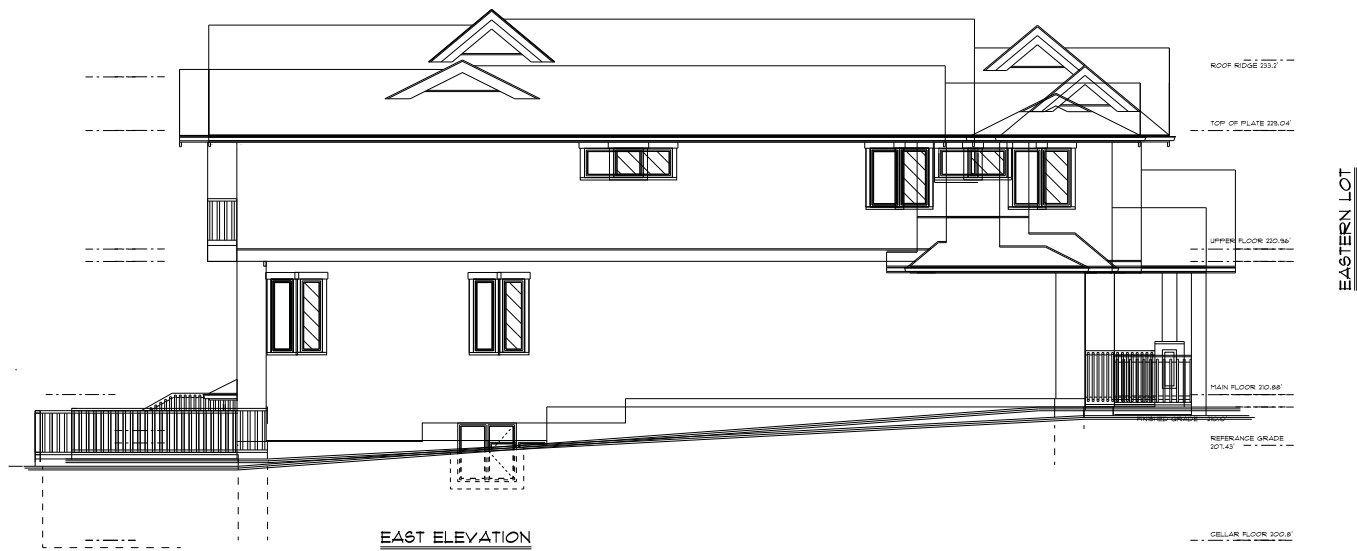
Bill Curtis & Associates
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10000
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Fax 604-986-4555
billcurtisdesign@gmail.com
1551 Jones Avenue
North Vancouver, BC V7M 3L9

ELEVATIONS

| | | | |
|----------|----------------------------------------------------------|------|-----------|
| Drawing | B.C. | Date | AUG. 2017 |
| Drawn By | | | |
| Scale | 1/4" = 1'-0" | | |
| Project | CUSANO RESIDENCE AT 410 WEST 15th STREET NORTH VANCOUVER | | |



WEST ELEVATION



EAST ELEVATION

EASTERN LOT

REFLECTED WINDOWS

NOTE

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS RELAYED OR MISQUOTED FROM THE BUILDING PERMIT HAS BEEN ISSUED. THESE PLANS AND CONCEPTS ARE PRELIMINARY FOR CONCEPT AND NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER AND NO PLAN OR PART THEREOF SHALL BE COPIED, REPRODUCED TO OTHERS OR USED FOR ANY FUTURE PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. DISCREPANCIES WITH THESE DRAWINGS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN THE WRITTEN CONSENT OF THE DESIGNER PRIOR TO ANY CHANGES TO THESE DRAWINGS.

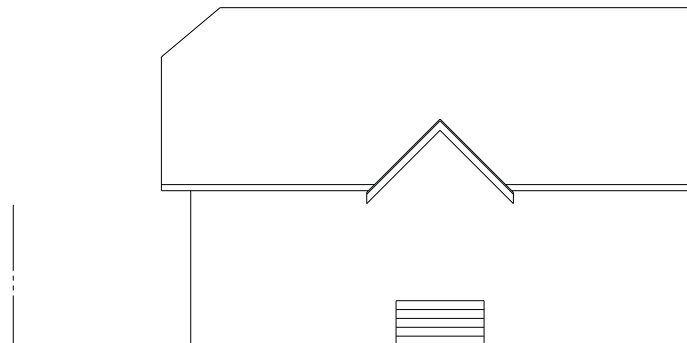
112
of

APRIL 2018 GRADERS AT GARAGE REVISED
JAN. 2018 STAFF COMMENT REVISIONS
MARCH 2018 GARAGE BLIND ELEVATION REVISIONS

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REFLECTED WINDOWS
Drawing
Drawn By B.C. Date AUG. 2017
Scale 1/4" = 1'-0"
Project
CUSANO RESIDENCE AT
410 WEST 15th STREET
NORTH VANCOUVER

Quality Residential Design



NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.

THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR THROUGH ERRORS OR OMISSIONS ON PLANS OR SPECIFICATIONS AFTER THE BUILDING PERMIT HAS BEEN ISSUED.

THESE PLANS AND CONCEPTS ARE PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THESE PLANS ARE THE PROPERTY OF THE DESIGNER, AND NO PLAN OR PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

VERBAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE AGREEMENT.



410 West 15th Street

NORTH SIDE OF WEST 15th STREET



WEST 15th STREET LOOKING WEST



AREA MAP



WEST 15th STREET LOOKING EAST



NOTE:
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9 of 12

REVISIONS

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 Fax 604-986-4555
 billcurtisdesign@gmail.com
 1551 Jones Avenue
 North Vancouver, BC V7M 3L9

CONTEXT PICTURES

Drawing
 Drawn By B.C. Date Aug. 2017
 Scale

Project:
 CUSANO RESIDENCE AT
 410 WEST 15th STREET
 NORTH VANCOUVER

Quality Residential Design

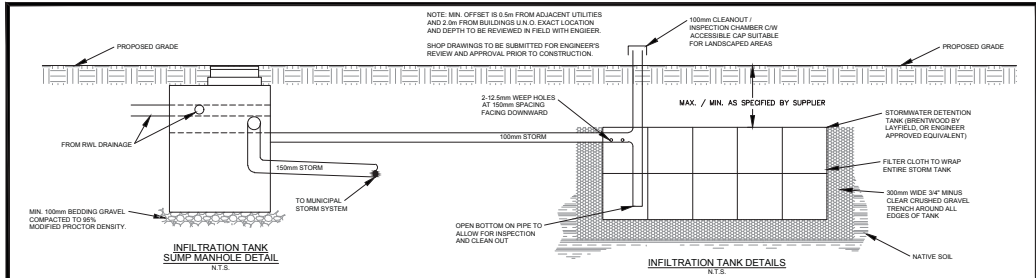
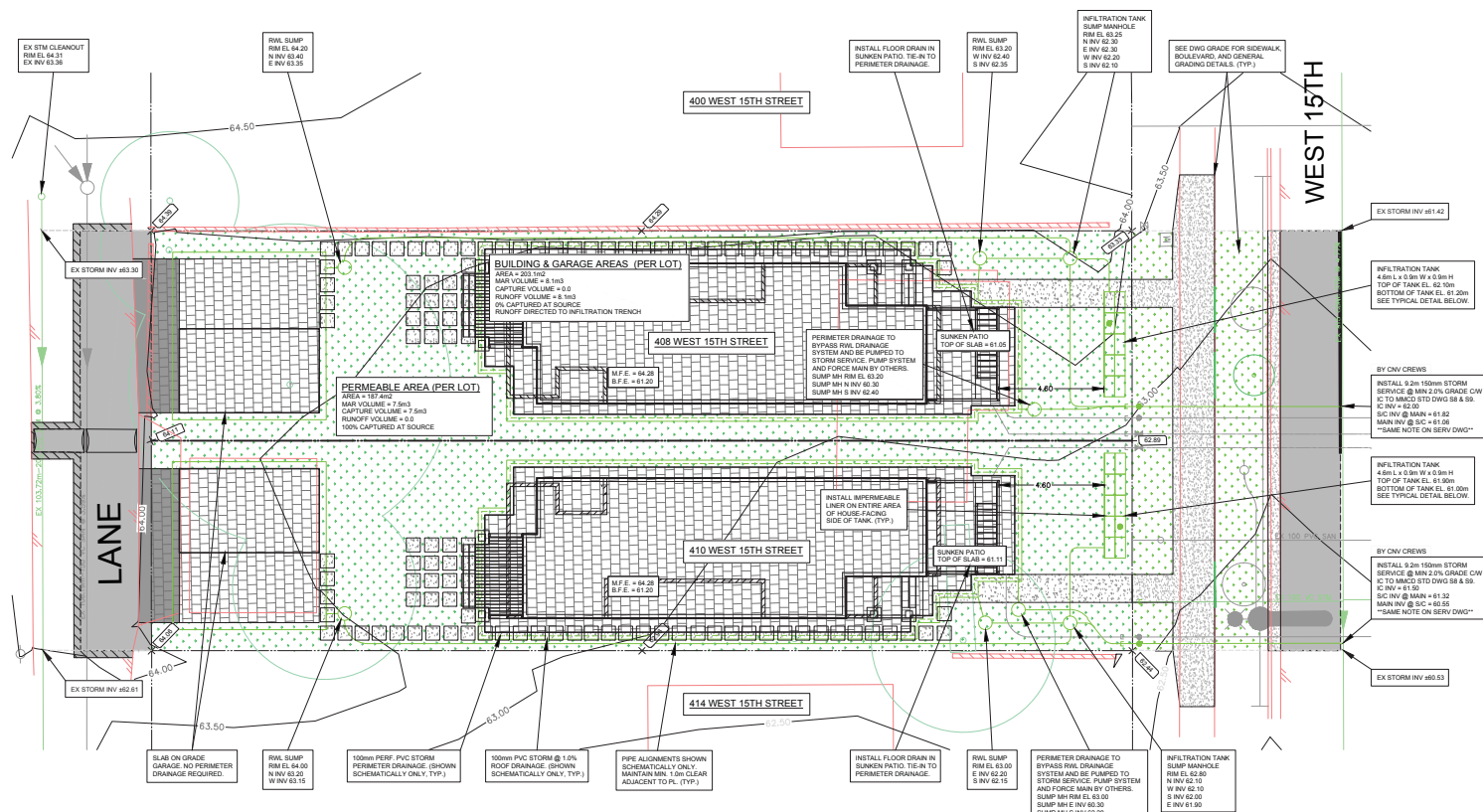
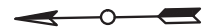


REVISIONS



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LANDSCAPE, DISCONNECTED HARD SURFACES (PERMEABLE)

BUILDINGS / HARDSCAPE (IMPERMEABLE)

STORMWATER NOTES

- SEE LANDSCAPE PLANS FOR LANDSCAPE DETAILS.
- SITE DRAINAGE RELATED TO STORMWATER MANAGEMENT ONLY. CONTRACTOR TO ENSURE ADEQUATE DRAINAGE IS PROVIDED.
- ALL WORKS TO CONFORM TO BC BUILDING CODE REQUIREMENTS.

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

STORMWATER MANAGEMENT PLAN
OBJECTIVE: CAPTURE THE RAINFALL DURING THE 50% MAR STORM EVENT.
RAINFALL DATA: DNV MUNICIPAL HALL
MAR STORM EVENT = 40mm
50% OF MAR STORM EVENT = 20mm

| TOTAL CATCHMENT AREA | | 390.5 m ² | see S&P dwg |
|--------------------------------------------------|---------------------|--------------------------------------|-----------------------|
| Landscape Area (Permeable) | | 160.5 m ² | see S&P dwg |
| Disconnected Hardscape (Counts as Permeable) | | 26.9 m ² | see S&P dwg |
| Building Area (Impermeable) | | 154.1 m ² | see S&P dwg |
| Garage Area (Impermeable) | | 49 m ² | see S&P dwg |
| Total Percent Impermeable | | 52% | |
| Objective: Capture the MAR Storm Event | | | |
| MAR Rainfall Event | | 80 mm | |
| 50% of MAR Rainfall Event | | 40 mm | |
| Total Area | | 390.5 m ² | from above |
| Rainfall on Area | | 15.6 m ³ | |
| Total Rainfall Volume to be Captured | | | |
| 15.6 m ³ | | | |
| PERMEABLE CAPTURE VOLUME | | | |
| Permeable Surfaces | | | |
| Landscape Area (Permeable) | | 160.5 m ² | from above |
| Disconnected Hardscape (Counts as Permeable) | | 26.9 m ² | from above |
| Total Permeable Area | | 187.4 m ² | |
| Nominal Infiltration Rate | | 10 mm/hr | |
| Infiltration per Area | | 2.8E-06 m/s | see S&P dwg |
| Infiltration Provided | | 0.240 m ³ /m ² | see S&P dwg |
| Available Runoff for Capture | | 7.5 m ³ | rainfall on surface |
| Total Rainfall Captured | | 7.5 m ³ | lesser of (a) and (b) |
| BUILDING AND GARAGE AREA RAINFALL CAPTURE | | | |
| Building Surface Area | | 154.1 m ² | from above |
| Garage Surface Area | | 49 m ² | from above |
| Total Impermeable Area | | 203.1 m ² | |
| Module Dimensions (m) | | | |
| Length | 0.914 | Width | 0.457 |
| Depth | 0.457 | | |
| Infiltration tank depth | 0.91 m | | 2 modules |
| Infiltration tank width | 0.91 m | | 2 modules |
| Infiltration tank length | 4.57 m | | 5 modules |
| Gross Tank Volume | 3.8 m ³ | | 100% lot |
| Tank void space | 95% | | |
| Net Storage Volume | 3.6 m ³ | | drain in max. 24hr |
| Infiltration Materials | | | |
| Sandy with organics | 0.00030 m/s | 26.3 m ³ /m ² | 86,400/day |
| Clay | 1.4E-07 m/s | 0.012 m ³ /m ² | 86,400/day |
| Infiltration Tank Area | | | |
| Depth of clay (bottom of sand / top of clay) | 1.12 m | | from PI Test |
| Depth of top of tank | 0.80 m | | |
| Tank Height Exposure | 0.32 m | | |
| Tank Height Exposure | 0.59 m | | |
| Surface Area of tank | 2.05 m ² | | |
| Surface Area of tank | 8.0 m ² | | |
| Infiltration Provided | | | |
| Sandy with organics | 53.8 m ³ | | |
| Clay | 0.1 m ³ | | |
| Total | 53.9 m ³ | | |
| Total Tank Capture Provided | | 57.5 m ³ | (c) + (d) |
| Available Runoff for Capture | | 8.1 m ³ | rainfall on surface |
| Total Rainfall Captured | | 8.1 m ³ | lesser of (e) and (f) |
| SUMMARY | | | |
| Total Rainfall Volume to be Captured | | 15.6 m ³ | from above |
| Permeable Area Capture | | 7.5 m ³ | from above |
| Building and Garage Area Capture | | 8.1 m ³ | from above |
| Excess Runoff | | 0 m ³ | Objective Achieved |

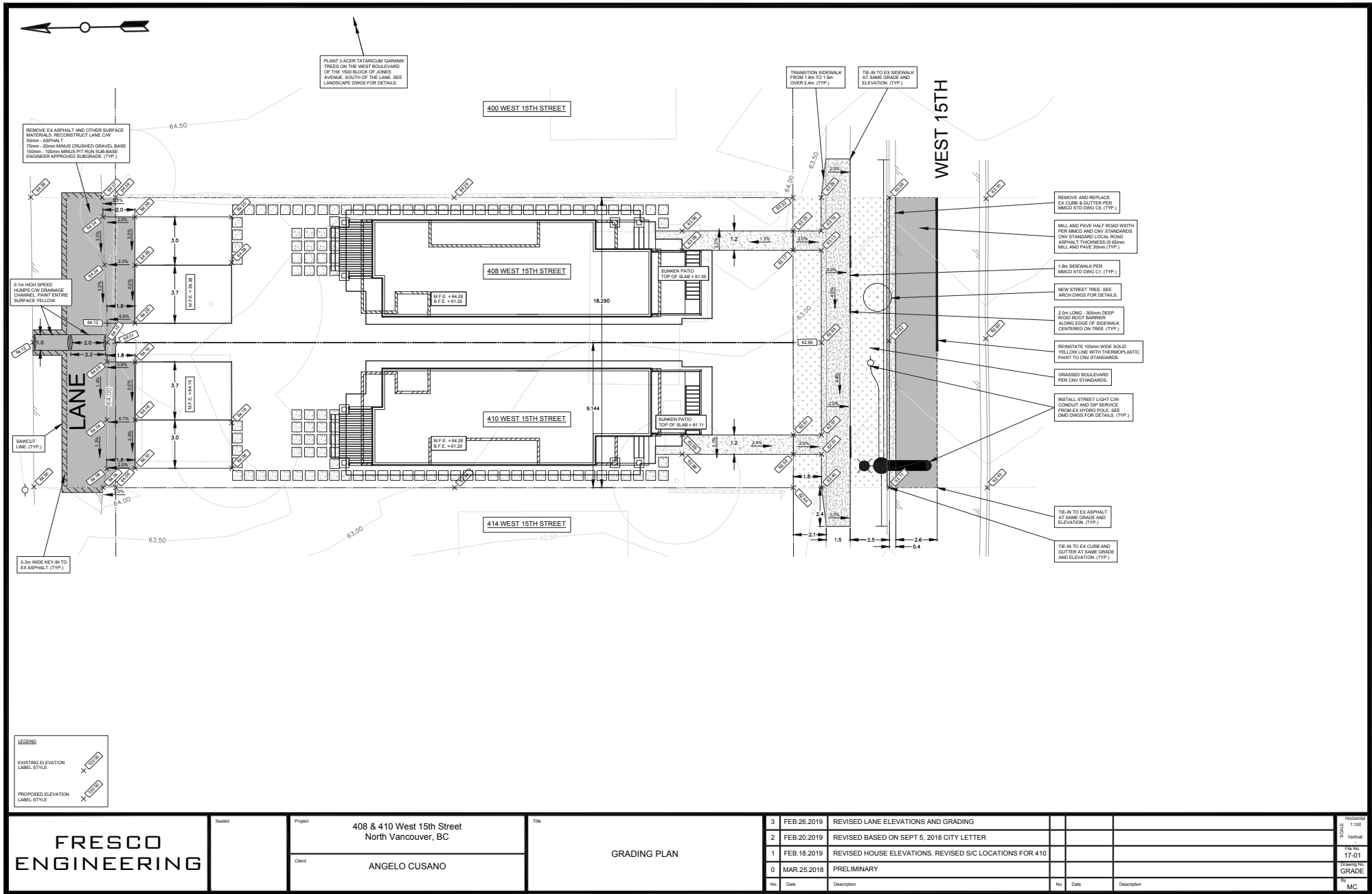
Fresco Engineering

408 & 410 West 15th Street
North Vancouver, BC

ANGELO CUSANO

STORMWATER MANAGEMENT PLAN

| | | | | | |
|-----|--------------|---------------------------------------------------------|-----|--------------|--------------------------------------------|
| 3 | FEB. 16 2019 | REVISED HOUSE ELEVATIONS. REVISED S/C LOCATIONS FOR 410 | | | |
| 2 | MAR. 25 2018 | GENERAL REVISIONS. ADDED GRADING PLAN TO DWG SET. | | | |
| 1 | NOV. 22 2017 | SIDEWALK AND S/C REVISIONS PER CNV COMMENTS | 5 | FEB. 26 2019 | REVISED LANE ELEVATIONS AND GRADING |
| 0 | OCT. 29 2017 | PRELIMINARY | 4 | FEB. 20 2019 | REVISED BASED ON SEPT. 5, 2018 CITY LETTER |
| No. | Date | Description | No. | Date | Description |
| | | | | | MC |



C:\Users\Marof\OneDrive\Desktop\Fresno\Fresno\Projects\17-01 - 4-30 West 19th Design\17-01 - 4-30 West 19th.dwg, ESC, 2019-02-26 12:34:27 PM, Marof, AROH D (36.00 x 24.00 inches), MAC, MAC

TOPOGRAPHIC SITE PLAN OVER LOT 1 BLOCK 41 DISTRICT LOT 547

GROUP 1 NUD PLAN 1061

CIVIC ADDRESS:
410 West 15th Avenue, City of North Vancouver
PID: 014-852-845

BLACKTOP TO PROPERTY LINE
AT DEVELOPERS COST AND TO
CITY OF NORTH VANCOUVER
ENGINEERING STANDARDS

THE CONTRACTOR IS TO CONTACT ENGINEERING, PARKS
AND ENVIRONMENT AT 604-483-1333 PRIOR TO FURNISHING
ANY FLOOR SLABS ASSOCIATED WITH VESICULAR OR PEDESTRIAN
ACCESS TO THE BUILDING. THE CONTRACTORS SURVEYOR MUST
PROVIDE THE CITY WITH AS-BUILT ELEVATIONS AT ALL BUILDING
ENTRANCES AT THE FORMING STAGE.

CONTRACTOR TO ENSURE THAT ALL
ELECTRICAL AND COMMUNICATION SERVICES
ARE INSTALLED UNDERGROUND

CONTRACTOR MUST CONTACT THE CITY OF NORTH VANCOUVER
24 HOUR INSPECTIONS LINE TO ARRANGE FOR INSPECTIONS.
THE CONTRACTOR MUST BE ON SITE FOR INSPECTIONS.
THE 24 HOUR REQUEST INSPECTIONS NUMBER IS 604-950-4230

ALL WARNING OF SIDEWALKS OR WALKWAYS MUST
TAKE PLACE WITHIN PRIVATE PROPERTY.

THE CITY OF NORTH VANCOUVER WILL SUPPLY
AND INSTALL AN IN GROUND WATER METER, AT
THE DEVELOPERS COST, FOR FUTURE WATER
USE METERING PROGRAMS.

| HISTORY: | REV | DATE | DESCRIPTION |
|----------|----------|----------|-------------|
| 1 | 01/18/19 | 01/18/19 | ISSUED |
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| THESANTARY |
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Bill Curtis & Associates Design Ltd.

Harbourfront Business Centre
5th Floor, 224 West Esplanade
North Vancouver, B.C. V7M 3M6
Tel. (604) 986-4550 Fax. (604) 986-4555
www.billcurtishomedesign.com
e-mail billcurtisdesign@gmail.com

City of North Vancouver
141 West 14th Street
North Vancouver V7M 1H9
Planning Department
Attn. Ms. Emily MacDonald

Regarding ~~140~~⁴¹⁰ West 15th Street, North Vancouver

November 2, 2018

A Development Information Session was held at the John Braithwaite Community Center, Meeting Room #2 on Thursday, November 1st from 7:00 to 9:00 PM. The event had been advertised in the North Shore News October 24th and 26th, was notified to neighbors within the area required by the City with a dropped off flyer and the event was advertised with a sign to City Standards posted on the lot Monday October 29th. Letter size signs were posted on the front door of the Braithwaite Center and through out the building leading to Meeting Room #2.

Attending the meeting was Ms. Emily MacDonald representing the City of North Vancouver, Mr. Angelo Cusano, the owner and myself and there was only one interested member of the public who attended. Mr. Christian Cianfrone was pleased to see the project move ahead and left a completed questionnaire defining his support.

Thank you for your consideration,

Bill Curtis

RECEIVED

NOV - 5 2018

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

Development Information Session

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

DEVELOPMENT: 410 West 15th Street

DATE: 11/1/2018

TIME: 7:00-9:00 PM

DIS LOCATION: Meeting Room #2, Braithwaite Community Center, 145 West 1st Street

RECEIVED

NOV - 5 2018

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

| No. | Name | Address | Time |
|-----|---------------------|----------------------------------------------|----------|
| 1 | Christian Cianfrone | 424 15th St. W., North Vancouver, BC V7M 1S6 | 7:10 pm. |
| 2 | | | |
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Regarding 410 West 15th Street Street

Development Information Session

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

November 1, 2018 7:00 – 9:00 PM



| | |
|-----------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | Yes |
| 2. What do you like most about the proposed project? | New, energy efficient homes compared to older, dilapidated dwelling |
| 3. Do you have any concerns about the proposed project? | ✓ |
| 4. What would you suggest to improve or enhance the proposed project? | Consider Step 4 or 5 for some planning / by-law relaxations on set-back/FSR to slow leadership. |
| 5. Please provide any additional comments. | ✓ |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the developer. All comments will be forwarded to the City.

CONTACTS:

Applicant: Bill Curtis & Associates Design Ltd.

City of North Vancouver: Emily Macdonald

Telephone: 604 986 4550

Telephone: 604 982 3904

E-Mail: billcurtisdesign@gmail.com

E-Mail: emacdonald@cnv.org

NDAR

Concert: A performance of works by Schubert and Strauss Friday, Oct. 26, 8-9:30 p.m. Complimentary beverages and treats before the concert at 7:30 p.m. Admission by donation. Info: amblesideorchestra.ca.

KAY MEEK CENTRE
1700 Mathers Ave., West Vancouver. 604-981-6335 kaymeekcentre.com
Amplify Series: Ruthie Foster performs country blues, sweet gospel and laid back soul Friday,

Oct. 26, 7:30-9:30 p.m. Tickets: \$48/\$45/\$19.
Fall for Love: Multi-cultural performances including folk and modern dance, Chinese and foreign songs, musical performances, poetry and drama as well as a fashion show Saturday, Oct. 27, 7-9 p.m. All proceeds will be donated to the Lions Gate Hospital Foundation to build the new medical and surgical centre. Tickets: \$20-\$40.
Resonate Series: Pianist Ian Parker performs Sunday, Oct. 28 at 3 p.m. Tickets: \$48/\$46/\$19.
The Howl 18 - A Musical

Masquerade: Norman Foote and a large local youth costumed choir provide music and laughter in the spirit of Halloween Tuesday, Oct. 30, 7-8 p.m. There will also be guest singers from Irwin Park Elementary School. Tickets: \$25/\$20/\$15.
Cabaret Series - An Ode to Toots & Stevie: Keith Bennett and Miles Black pay homage to the music of Toots Thielemans and Stevie Wonder Nov. 15 and 16 at 7:30 p.m. Joel Fountain on drums and André Lachance on bass join them. Tickets: \$38/\$36/\$25.
LYNN VALLEY UNITED CHURCH

3201 Mountain Hwy., North Vancouver.
Friday Night Live: A storytelling and musical experience for all ages Fridays at 8 p.m. Schedule: Oct. 26, Illiteratty (folk music with a twist); Nov. 2, Sweet Scarlet (a cappella); Nov. 9, Sammy Chien; Nov. 16, The Authentics (classic rock, \$25); and Nov. 23, Devon Hanley (singer/songwriter). Tickets: \$15/\$12. Info: fnlnorthvan.com.
PARKGATE COMMUNITY CENTRE
3625 Banff Court, North

See more page 39

oggrading tion in Murdo Frazer Park

y to 12,000 homes and businesses, we're upgrading
ated on Woods Drive at Pemberton Avenue.

is how we're keeping the park and golf course
tion.

nunity Recreation Centre, Fir Room M17.
Road
er, B.C.
e in William Griffin Park)

ovember 7, 2018

se contact us at projects@bchydro.com

n/capsub



Developer Information Session

Bill Curtis & Associates Design Ltd. has applied to subdivide the lot at 410 west 15th street to enable a new home with a suite and a detached garage to be built on each lot.

Interested members at the public are invited to this Development information session to better understand the proposal and have quotations answered.

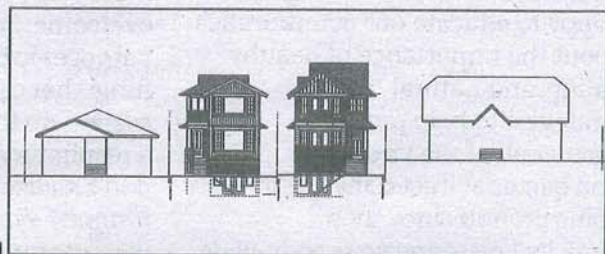
Meeting Information

Location: Meeting Room 2,
John Braithwaite Rec Centre
145 West 1st Street, NV
Date: November 1, 2018
Time: 7:00 to 9:00 P.M.

Developer Contact

Bill Curtis
604.986.4550 • 604.616.3561
billcurtisdesign@gmail.com

City of North Vancouver Contact: Ms. Emily MacDonald, emacdonald@cnv.org, 604.982.3904
This meeting is required by the City of North Vancouver as a part of the rezoning process.



ME TO CHANGE YOUR TIRES!

TO 25% ON SELECTED TIRES!

OUR LARGE ASSORTMENT OF TOP TIRES FROM
TOMASTER, CONTINENTAL & MICHELIN



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PH: 604 630-3540
EM: LMPAR@VAN.NET

INVOICE

Invoice No. : NSND00098789
Date : 10/30/2018
Page : 2

Billed to :

BILL CURTIS DESIGN
1551 JONES AVENUE
NORTH VANCOUVER, BC V7M 3L9

Advertiser : 637602
BILL CURTIS DESIGN

| Client No. | Tearsheets | Salesrep | Terms of Payment |
|------------|------------|--------------|------------------|
| 637602 | | Hollee Brown | PREPAYMENT ONLY |

| Description | Rate | Gross | Discount | Net |
|-------------|------|-------|----------|-----|
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Terms: O.A.C. Net 30 days. Interest may be charged at a rate of 2%
per month (26.8% per annum) on overdue accounts.

SUB TOTAL : 832.50
H.S.T./G.S.T. : 41.62
P.S.T. : 0.00
INVOICE TOTAL : 874.12
PAYMENT : 0.00
ADJUSTMENT : 0.00

AMOUNT DUE : 874.12

H.S.T./G.S.T. Registration No. : 84515 3105 RT0001

Client Id. : 637602
Telephone : (604) 986-4550

Invoice No. : NSND00098789
Date : 10/30/2018

BILL CURTIS DESIGN
1551 JONES AVENUE
NORTH VANCOUVER, BC V7M 3L9

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AMOUNT DUE : 874.12

- PLEASE DETACH AND RETURN THIS PORTION WITH YOUR PAYMENT -

Development Information Session

Bill Curtis & Associates Design Ltd. has applied to subdivide the lot at 410 West 15th Street to enable a new home with a suite and a detached garage to be built on each lot. Interested members of the public are invited to this Development Information Session to better understand the proposal and have questions answered.

Date: November 1, 2018

Place: Meeting Room #2
John Braithwaite Com. Centre
145 West 1st Street

Time: 7:00 to 9:00 PM

Developer contact:

Bill Curtis phone 604-986-4550
email billcurtisdesign@gmail.com

City contact:

Ms. Emily MacDonald phone 604-982-3904
email emacdonald@cnv.org

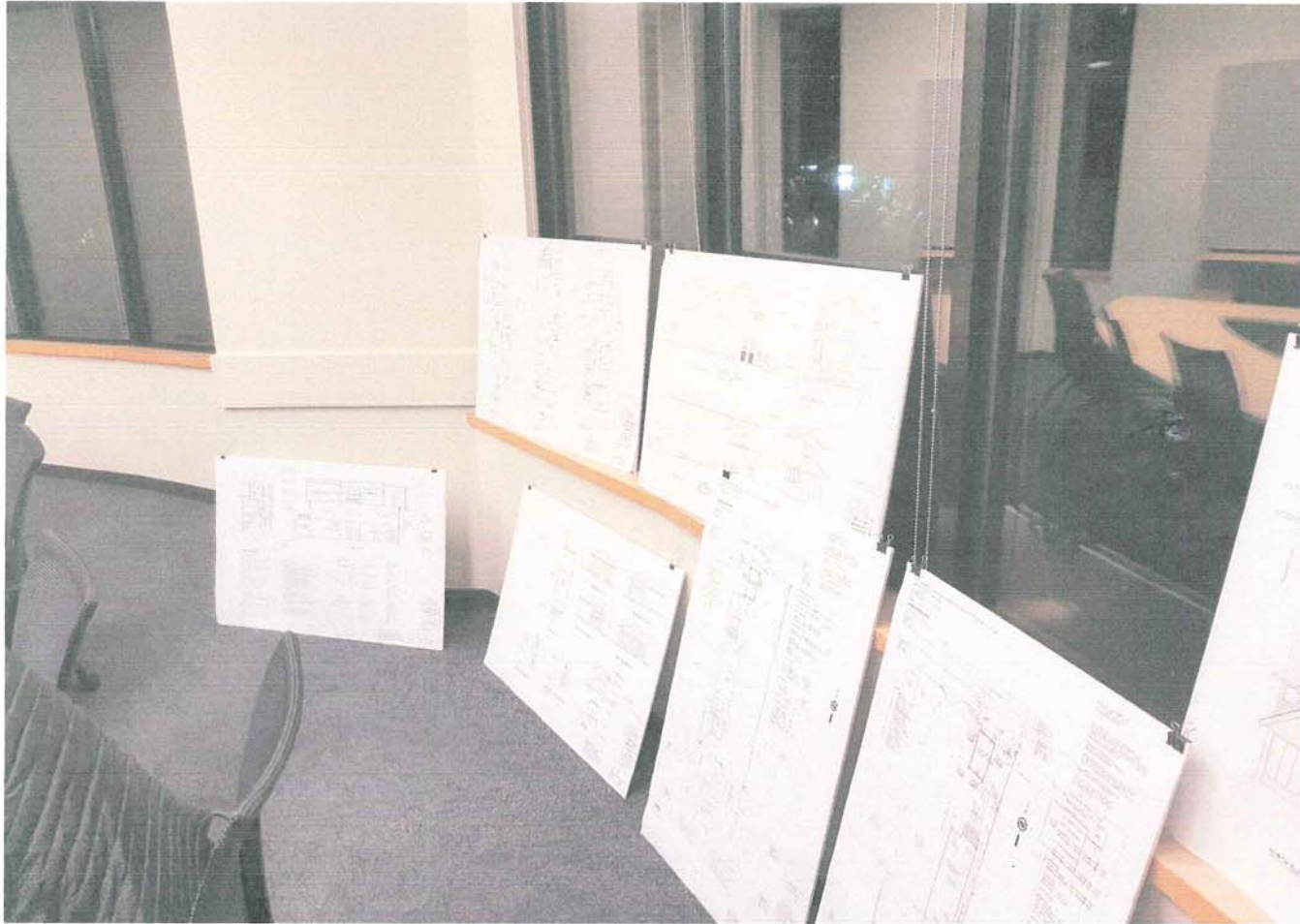


This is a procedure required by the City of North Vancouver











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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8725

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8725” (Angelo Cusano / Bill Curtis & Associates Design Ltd., 410 West 15th Street).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of RS-2 (One-Unit Residential 2 Zone):

| Lot | Block | D.L. | Plan | |
|------------|--------------|-------------|-------------|----------------|
| 7 | 41 | 547 | 1061 | from RS-1 Zone |

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.




ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING & DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: Emily Macdonald, Planner 1

Subject: REZONING APPLICATION: 132 WEST ESPLANADE (132 ESPLANADE HOLDINGS LTD., CD-179 TEXT AMENDMENT)

Date: June 12, 2019 File No: 08-3360-20-0499/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Planner 1, dated June 12, 2019, entitled "Rezoning Application: 132 West Esplanade (132 Esplanade Holdings Ltd., CD-179 Text Amendment)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726" (132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment) be considered and the Public Hearing be waived;

AND THAT notification be circulated in accordance with the *Local Government Act*.

ATTACHMENTS:

1. Context Map (Doc# [1791285](#))
2. Applicant's Letter (Doc# [1778771](#))
3. Birdseye View of Rogers Plaza (Doc# [1791346](#))
4. Notification Signage (Doc# [1791477](#))
5. "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726" (Doc# [1791291](#))

PROJECT DESCRIPTION

The rezoning would allow for a broader range of businesses to occupy the commercial unit, approximately 740 square metres (8000 square feet), located at the plaza level of 132 West Esplanade, adjacent to Rogers Plaza. The unit has been vacant since October 2017. The applicant is requesting that permitted uses at the plaza level are expanded to include uses that are typically permitted in most commercial Zones under the definition of "Retail Service Group 1 Use". The Retail-Service Group 1 Use, defined below, includes all of the currently permitted uses and would result in some additional uses being permitted, such as business offices, gyms/fitness studios, banks and child care.

Table 1. Requested Changes to the Zoning By-law

| Zone | Current Designation/Regulation CD-179 | Proposed Designation/Regulation CD-179 (amended) |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Permitted Uses (plaza level) | <ul style="list-style-type: none"> (i) retail stores including: bakery shops, meat and fish markets, delicatessens, clothing and shoe stores, personal furnishing shops, book shops, camera shops, stationery stores, art galleries and other similar establishments; (ii) restaurants and cafes provided that the principal use of such restaurants and cafes is the preparation, sale and consumption of food on the premises; (iii) personal service establishments, including: barber shops, beauty parlours, dry cleaners, florists, launderettes, optical or watch repair shops, tailoring and dressmaking establishments, shoe repair shops, printers, and other similar establishments; (iv) accessory outdoor dining use, in those areas indicated on Schedule 33, Page 3; | <p>"Retail-Service Group 1 Use" means a Use providing for the sale at retail or repair of household or personal goods or things, or for extending services to persons; includes Child Care Use, grocery stores, bakery shops, meat and fish markets, supermarkets, delicatessens, drug stores, clothing stores, personal furnishings shops, hardwares, variety stores, department stores, book shops, toy stores, home furnishing and appliance stores, camera shops, stationery stores, professional and semiprofessional offices, banks, business offices, finance offices, barbers, hairdressers, tailors, shoemakers, launderettes, dry cleaners, printers, trade and business schools, appliance repairs, restaurants and cafes, coffee houses, dance and music studios, art galleries, social clubs, health clubs, billiard halls, fraternal lodges, bowling alleys, theatres, veterinary clinics and internet cafes [Bylaw 7537, November 24, 2003]; but excludes an Accessory Drive-Through Use, Bingo or Casino Gaming, an Escort Service Use and all licensed Premises except Food Primary License [Bylaw 7508, June 23, 2003], unless expressly provided for in this Bylaw, as defined under the regulations pursuant to the Liquor Control and Licensing Act, and any single retail use occupying an area larger than 3,710 square metres (40,000 square feet) established in the City after March 15, 2000; [Bylaw 7223, June 26, 2000]</p> |

POLICY FRAMEWORK

The subject property is designated Mixed Use Level 4A in the Official Community Plan.

| Official Community Plan | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Policy 1.1.3 Balance the number of jobs to number of residents employed in the labour force in the City, reducing the need for longer commute distances for City residents; | The text amendment will help to support the occupancy of the currently-vacant space, providing an increase in jobs available in the area. |
| Policy 1.1.5 Provide space for commercial uses in mixed-use developments to support employment and economic development; | The building itself is not mixed-use but is directly next to several residential towers and mixed-use developments. |
| Policy 2.4.9 (Area Specific Policies for Lower Lonsdale) ...high-density mixed-use development supporting a variety of commercial uses and active public spaces, including significant waterfront lands, continues to be supported. As new development occurs in the Lower Lonsdale area, the presence of small-scale commercial spaces and established light-industrial/mixed employment uses are expected to be maintained. | Allowing for relaxation of restrictions on commercial uses within the Lower Lonsdale area helps to support economic activity, encouraging job production and provision of services to residents and visitors. |
| Policy 7.2.2 Increase the concentration of jobs in the Lonsdale Regional City Centre and Frequent Transit Development Areas, supporting the area as the North Shore's business and service core; | The location of the commercial space is an ideal location for employment-generating uses (offices, banks, etc.) that are not currently permitted in the CD-179 Zone. Access from nearby residential buildings and by transit would allow for short and convenient commutes by walking or by transit. |
| Policy 7.2.4 Review City regulations related to business and development to identify ways to make them more business-friendly; | Expanding permitted uses will allow for more opportunities for potential tenants to occupy the vacant unit. |

PLANNING ANALYSIS

Site Context and Surrounding Use

The commercial space is located at the plaza level and is adjacent to Rogers Plaza (see Attachment #3). Other uses adjacent to the Plaza include a restaurant (Tao Organics), John Braithwaite Community Centre, the CNV community wood shop and a fitness studio (Ride Cycle). The Plaza has been the site of a public space activation project since summer of 2017.

A pedestrian walkway over Esplanade provides a direct route from the commercial space to the waterfront and Seabus and bus connections.

Use

The proposed text amendment would expand the permitted uses in the CD-179 Zone, thereby supporting the occupancy of a currently vacant commercial unit. The amendment would permit several additional uses including child care, health clubs and offices. Given the location of the unit, with high-quality pedestrian connections to the Seabus and bus routes, the commercial space would be an ideal location for employment-generating commercial uses currently prohibited by the CD-179 Zone.

The intent of the initial limitations on use, which were designed to ensure that businesses would contribute to a vibrant public space, are no longer essential to the space as newer developments adjacent to the public space are now supporting activity and foot traffic in Rogers Plaza. While the space could still be considered underutilized, the addition of more people to the space, whether employees or customers of a future tenant, would provide an increase in activity in the public space.

The application was reviewed by CNV staff who have worked on the activation of Rogers Plaza. Primary concerns were regarding the vacant unit presenting an uninviting appearance. Staff expressed general support for occupancy of the space and increased foot traffic that would result from future businesses.

Intensity

No change.

Form

No change.

COMMUNITY CONSULTATION

Signage was posted on the property for a two-week period (see Attachment #4). No correspondence was submitted to the applicant or to the staff regarding the proposed text amendment. No emails or phone calls were received.


Because of the absence of public concern, staff is recommending that the Public Hearing be waived. Should Council wish to refer the application to a Public Hearing, the first active clause in the resolution should be amended to read:

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726"
(132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment)
be considered and referred to a Public Hearing;.

CONCLUSION

The proposed text amendment will allow for a broader range of businesses to operate in the plaza level commercial space. Expanding the permitted uses will help to support the tenancy of the space which will contribute to the vibrancy of Rogers Plaza. The location of the site near a key transit hub and at the heart of Lower Lonsdale makes it an excellent location for commercial activity and would be particularly ideal for an employment-generating use. Policy and planning analysis supports the proposed text amendment.

RESPECTFULLY SUBMITTED:



Emily Macdonald
Planner 1

WESGROUP

March 4th, 2019

Michael Epp
Director, Planning
City of North Vancouver
141 West 14th Street, North Vancouver
BC V7M 1H9

By Email: mepp@cnv.org

Dear Mr. Epp,

RE: 132 WEST ESPLANADE – COMPREHENSIVE DEVELOPMENT 179 ZONE – TEXT AMENDMENT

We submit this letter as a request to undertake a text amendment to Comprehensive Development 179 Zone of The Corporation of the City of North Vancouver Zoning Bylaw, 1995, No. 6700 related to the mixed-use commercial building located at 132 West Esplanade.

The property is conveniently located in Lower Lonsdale District, with direct access from the Lonsdale Quay via pedestrian overpass. The building currently comprises of ground floor retail, fronting West Esplanade, with tenants such as Freshslice, Tim Horton's, and BC Liquor Store. Floors 3-4 are occupied by ICBC, and floors 5-6 are with Vancouver Coastal Health Authority. The 2nd level (plaza level) has been vacant since October 2017 and was previously tenanted by ICBC. The proposed text amendment application will directly impact this 2nd floor plaza level.

Zoning

The plaza level permitted uses differ from the remaining building under CD-179. It is limited to retail stores, restaurants and cafes, various personal service establishments and accessory outdoor dining uses. Comparing this to the remaining building, it excludes uses that fall under Retail Service Group 1, such as child cares, professional and semiprofessional offices, banks, business offices, finance offices, health clubs, and a variety of other retail and service uses.

As stated above, the plaza level has been vacant since October 2017. We have had difficulties securing a tenant under the current use and believe the plaza level will be leased if it could access the uses that fall under Retail Service's Group 1.

We believe that a business operating out of the 2nd floor aligns with the City's objectives identified in the Economic Development Strategy (EDS), stating that Lower Lonsdale has the opportunity for a mix of small businesses that will collectively contribute to a more vibrant Lonsdale Quay. If approved, our search for a viable tenant will broaden and could potentially attract more employers to the area, playing a role in the economic development of North Vancouver in a location with exceptional access to public transportation.

WESGROUP

Signage

We believe that there is an opportunity to include business and directional signage incorporated strategically to invite more pedestrian traffic through the outdoor and indoor areas of the plaza. We would like to work with the City to review potential locations, including signage on the pedestrian overpass, business signage facing south, or the street level stairs on West Esplanade that direct pedestrians up to the plaza.

Parking

Under Zoning Bylaw CD-179 (8) – the building is required to provide 170 parking stalls, including 3 handicapped stalls. The building is currently providing 202 stalls, with a breakdown of allocated stalls below:

| Parking Level | Total |
|-------------------------|-------|
| ICBC | 70 |
| VCH | 58 |
| Tim Hortons | 4 |
| Fresh Slice | 3 |
| BC Liquor | 8 |
| Public Parking Stalls | 33 |
| City of North Vancouver | 26 |
| Total | 202 |

The 33 public parking stalls are not tied to any lease and could be allocated to the plaza level. Given that the area of the plaza level is ~8,000 sf, a conversion to Retail Service Group 1 would require the need for only 16 stalls.

Thank you for your consideration of the proposed application. Please address any questions to myself, Ryan Sekhon rsekhon@wesgoup.ca and Brad Jones bjones@wesgroup.ca.

Sincerely,

WESGROUP PROPERTIES LTD.

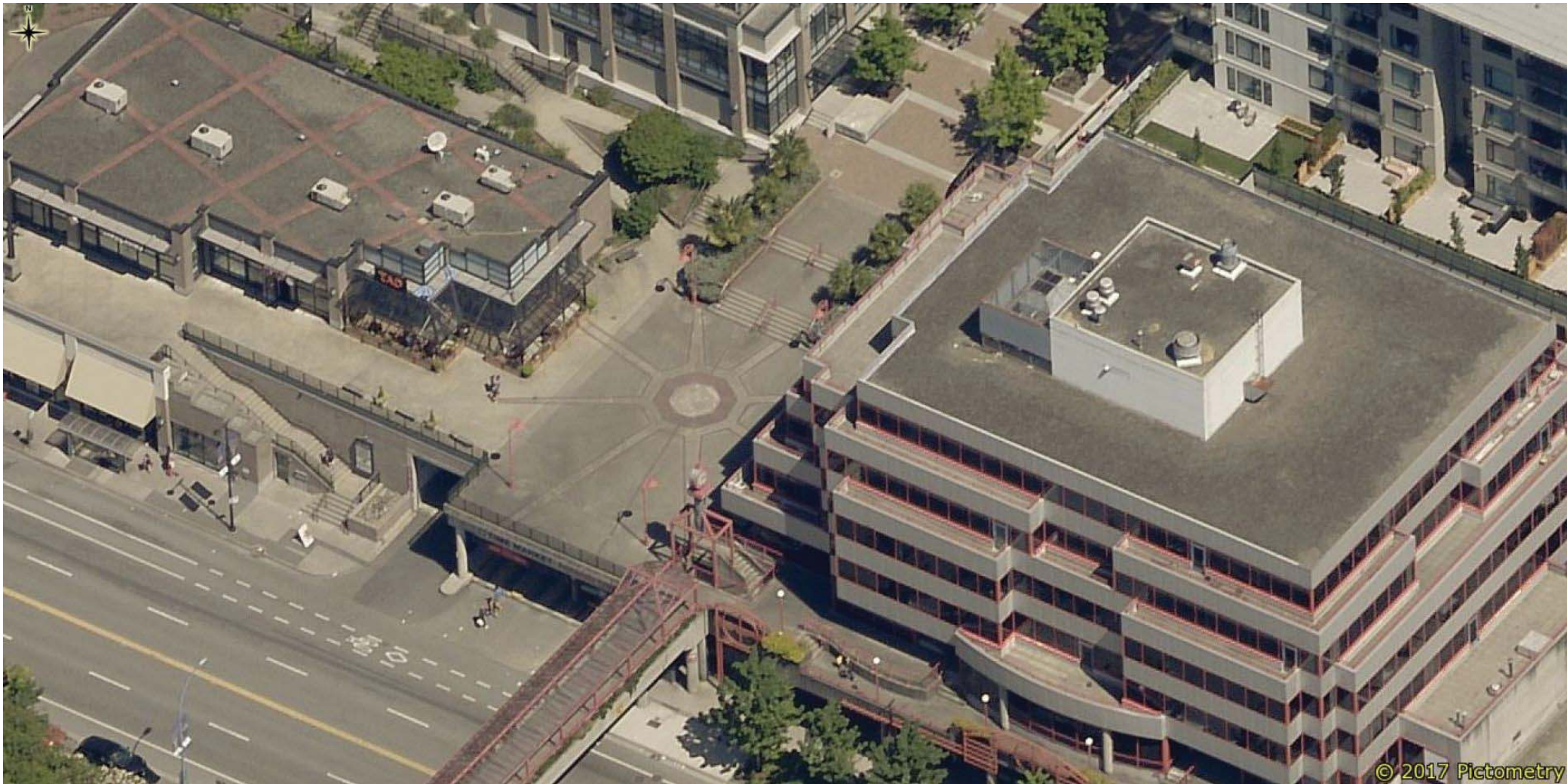


Ryan Sekhon, Development Coordinator



Brad Jones, Vice President Development

Birdseye View - Rogers Plaza



© 2017 Pictometry

05/27/2017

From: [Ryan Sekhon](#)
To: [Emily Macdonald](#)
Cc: [Brad Jones](#)
Subject: RE: 132 W Esplanade - REZ2019-00007
Date: May-24-19 11:18:34 AM
Attachments: [image004.png](#)
[image007.png](#)

Hi Emily,

The boards were installed on May 22nd. Images below of the posted signs. I understand these are to remain posted for two weeks, which would be June 5th.







WESGROUP
Ryan Sekhon
Development Coordinator

D 604 648 1867
C 604 217 5211

EARLY PUBLIC INPUT OPPORTUNITY

Zoning Amendment Application – 132 West Esplanade



The City of North Vancouver has received a Development Application to amend the Zoning Bylaw 6700, CD-179 (Comprehensive Development 179) Zone by adding Retail Service Group 1 Uses as a permitted Principal Use at the plaza level (shown right, in yellow).

Retail Service Group 1 Uses include restaurants and cafes, offices, retail stores, gyms, salons, galleries and studios, and similar uses. For the full definition, see the Zoning Bylaw No. 6700, available at www.cnv.org/zoning.

Interested members of the public may contact the applicant or Planner to learn about and comment on the proposal.

Applicant

Ryan Sekhon
Wesgroup Properties
910-1055 Dunsmuir St.
Vancouver, BC V7X 1L3
604.648.1867
rsekhon@wesgroup.ca

City of North Vancouver

Emily Macdonald, Planner 1
Planning & Development
141 West 14th Street
North Vancouver, BC V7M 1H9
604.982.3904
emacdonald@cnv.org

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8726

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8726**” (132 Esplanade Holdings Ltd., 132 West Esplanade, CD-179 Text Amendment).
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In Section 1100, within the designation “CD-179 Comprehensive Development 179 Zone”, removing the following:
 - (a) on the plaza level, approximate elevation 14.7 metres geodetic, the permitted principal uses shall be limited to:
 - (i) retail stores including: bakery shops, meat and fish markets, delicatessens, clothing and shoe stores, personal furnishing shops, book shops, camera shops, stationery stores, art galleries and other similar establishments;
 - (ii) restaurants and cafes provided that the principal use of such restaurants and cafes is the preparation, sale and consumption of food on the premises;
 - (iii) personal service establishments, including: barber shops, beauty parlours, dry cleaners, florists, launderettes, optical or watch repair shops, tailoring and dressmaking establishments, shoe repair shops, printers, and other similar establishments;
 - (iv) accessory outdoor dining use, in those areas indicated on Schedule 33, Page 3;

and replacing it with the following:

- (a) on the plaza level, approximate elevation 14.7 metres geodetic, the permitted principal uses shall be limited to:
 - (i) Retail Service Group 1 Use;
 - (ii) accessory outdoor dining use, in those areas indicated on Schedule 33, Page 3;

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.




READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



| | | |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 725 WEST 14TH STREET (CITY CANNABIS / KRYSTIAN WETULANI)

Date: June 12, 2019 File No: 08-3360-20-0492/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 725 West 14th Street (City Cannabis / Krystian Wetulani)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713" (City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1772971](#))
2. Submitted Drawings (doc#[1750231](#))
3. Community Impact Statement (doc#[1750236](#))
4. Proposed Security Plan (doc#[1750227](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 725 West 14th Street (doc#[1791615](#))
7. Public Consultation Sign-In Sheet and General Comments (doc#[1775340](#))
8. Zoning Text Amendment Bylaw No. 8713 (doc#[1771735](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 725 West 14th Street.

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The building on the subject site currently has an automotive repair shop, a dry cleaning service and a rental car agency. The proposed store would occupy approximately 159.3 square metres (1,715 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3), which describes the applicant's contribution towards the regulation of safer cannabis products and distribution, and their proposed Security Plan (Attachment #4) that outlines how their operation will be complying with Provincial regulations.

Site Context and Surrounding Use

The subject site at 725 West 14th Street is along the south side of the street, between Bewicke Avenue to the east and Marine Drive to the south and west (Attachment #1). The unit itself faces the lane to the south of the property and has good exposure from Marine Drive.

The immediate area has a mixture of ground floor commercial, mixed in with some residential developments to the north as well as some mixed use commercial with apartment residential units on the upper floors. The location is close to public transit with many other commercial businesses within easy walking distance.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Mixed-Use Level 2 which supports mid-rise multi-family and commercial uses and activities contributing to a pedestrian-scale village feel.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government

to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the face of the store front is off of the rear lane as with other businesses in this building, but is easily viewed from Marine Drive. The extent of the store front is not excessive compared to the rest of the building.

The building placed on the subject site is an 'L-Shaped' commercial building that was built in the late 1970s, and is not being redeveloped at this time. The only modification to the building would be a Tenant Improvement that would require a Building Permit.

No amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application conform to the criteria provided within the policy (Attachment #5). The subject site is in an allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of the North Shore Shelter and Westview Elementary School, and was the first application to be received in the west part of the City, which allows only one store.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw as follows:

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist in a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8713 (Attachment #8) would allow Cannabis Sales in this location. The current Zone of Service Commercial (CS-1) does permit retail stores.

The size of the store would require the applicant to supply at least three parking spaces within the property. The minimum requirement for the whole building is nine parking spaces and the site currently has 13 parking spaces.

COMMUNITY CONSULTATION

An Open House for all retail cannabis applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications. From the 91 people who signed in for the event, staff received 23 comments mostly opposing the proposed use at this location as well as a 141 signature petition was received opposing the proposed use. Some of the main concerns listed are as follows:

- Distance limits between sensitive uses and the proposed Cannabis Sales store locations are too small;
- Types of sensitive uses need to include all education types (i.e. public and private);
- Impact on local crime in the area;
- Increase in traffic to the area; and
- The relationship between Cannabis Stores and children.

A few of the submitted comment forms were in support of the proposed Cannabis Sales retail store stated the use would be appropriate at the location, and the operation of the stores would need to meet Provincial regulations in regards to who they can sell product to as well as setting security of securing product (Attachment #6).

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #7.

CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

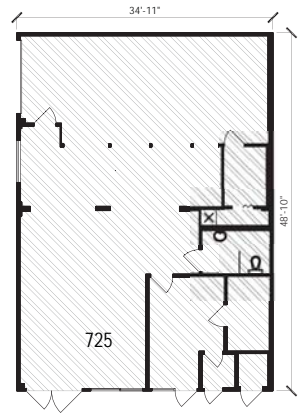
The proposed location of the store supports the retail orientation of the area. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:

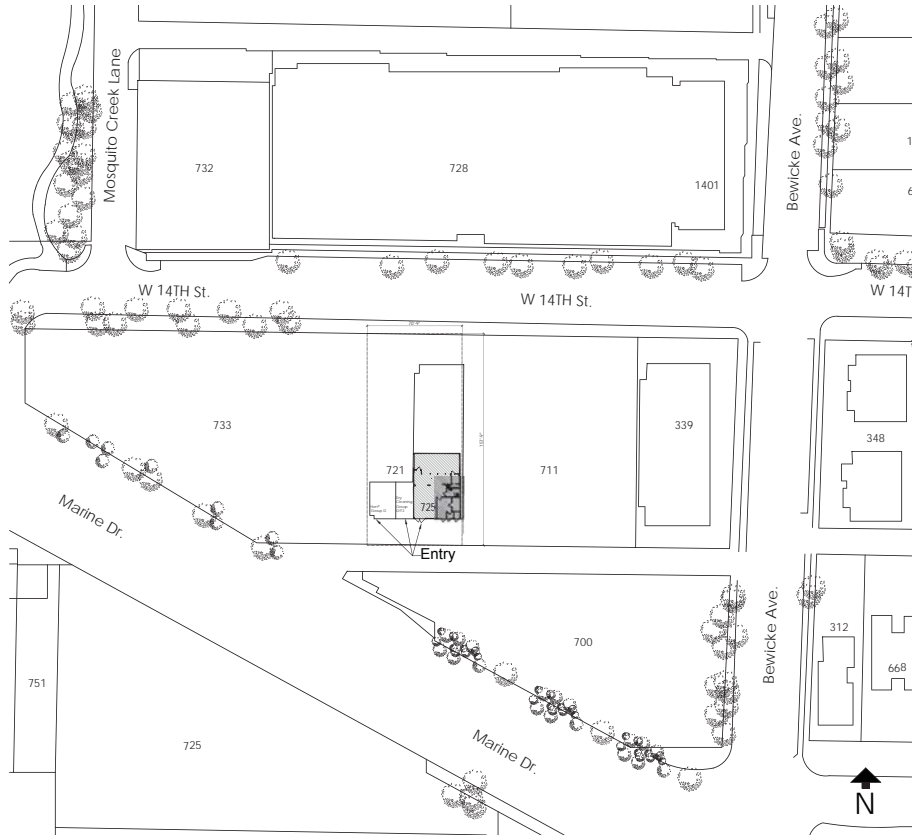

David Johnson
Development Planner



725 West 14th
North Vancouver, B.C.



0.0 FLOOR PLAN
SCALE: 1/8" = 1'-0"



0.1 SITE PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTES

- ALL INTERIOR PARTITION & CEILING FINISHES TO HAVE MAXIMUM 150 FLAME SPREAD TO RATING.
- RENOVATIONS TO MEET MOST CURRENT EDITION OF B.C. BUILDING CODE AND ALL MUNICIPAL CODES, BYLAWS OR REGULATIONS.
- GENERAL CONTRACTOR TO CONFIRM SITE CONDITIONS & DIMENSIONS AND ADVISE DESIGNER OF ANY DISCREPANCIES BEFORE ANY DEMOLITION OR CONSTRUCTION PROCEEDS.
- CONTRACTOR WILL APPLY FOR BUILDING PERMIT. CONTRACTOR RESPONSIBLE FOR ALL OTHER REQUIRED DRAWINGS, PERMITS & INSPECTIONS & ASSOCIATED FEES.
- ALL NEW & EXISTING PENETRATIONS THROUGH SLAB ARE TO BE MINIMUM 2HR FIRE RATED.
- GENERAL CONTRACTOR TO PROVIDE SEISMIC RESTRAINTS ON ALL PARTITIONS AND FIXTURES AS REQUIRED TO CONFORM TO CODE & MUNICIPAL REGULATIONS GENERAL CONTRACTOR TO PROVIDE BLOCKING IF/AS REQUIRED TO SECURE NEW OR RELOCATED ITEMS.
- ALL WORK MUST BE COORDINATED WITH BUILDING MANAGEMENT. ANY WORK THAT WILL CAUSE NOISE, VIBRATION, DEBRIS, FUMES OR DISRUPT ADJACENT TENANTS IS TO BE PERFORMED AFTER HOURS.
- CONTRACTOR & SUBTRADES ARE TO RESPECT SECURE AREAS. ANY EXPENSES INCURRED FROM ALARMS BEING SET OFF IN THE SUITE OR IN BUILDING WILL BE THE RESPONSIBILITY OF CONTRACTOR.
- THE GENERAL CONTRACTOR IS TO ARRANGE FOR PERMISSION & ACCESS TO THE BUILDING OR ANY SHUTDOWNS OF WATER, POWER OR OTHER.
- GENERAL CONTRACTOR TO PROVIDE PROTECTION TO THE EXISTING SUITE FROM DEMOLITION OR CONSTRUCTION DUST, DEBRIS, FUMES, ETC. PROTECT BASE BUILDING BLINDS AND REVISE IF/AS REQUIRED BY RENOVATION.
- AT NO TIME ARE ITEMS TO BE LEFT IN PUBLIC CORRIDORS OR COMMON AREAS. ANY DAMAGE OR ALTERATION TO COMMON AREAS OR TENANT AREAS WILL BE REPAIRED BY THE GENERAL CONTRACTOR AT HIS COST.
- REVISE EMERGENCY EXIT SIGNS & LIGHTING AS REQUIRED TO MEET CODE & MUNICIPAL BYLAWS. NIGHT LIGHTS TO BE COORDINATED WITH BUILDING SYSTEM.
- ALL CONSTRUCTION TO BE CLEANED UPON COMPLETION
- GENERAL CONTRACTOR IS NOT RESPONSIBLE FOR ANY SUB TRADES SUPPLIES & MATERIALS ON SITE.

LIST OF DRAWINGS

- ID0.0 TITLE PAGE
- ID1.0 NOTES
- ID2.0 SPACE PLAN
- ID3.0 DEMO PLAN
- ID4.0 CONSTRUCTION PLAN
- ID5.0 ELEVATIONS

SCOPE OF WORK

- New Interior Partitions.
- New Millwork.
- New Paint, Carpet, Interior Finishes where noted.
- New Electrical & Communication where noted.
- New Lighting where noted.
- New Plumbing

AREA OF CONSTRUCTION

- ±1665 SQ. FT.
- PROPERTY LINE

LEGAL DESCRIPTION

PID : 007-386-036
LEGAL DESCRIPTION:
LOT 10 BLOCK 10
DISTRICT LOT 265
PLAN: 16839
ROLL NO.: 510010.002

BUILDING CODE SUMMARY

ARCHITECTURAL
ARCHITELIER ARCHITECTURE & REAL ESTATE CONSULTING INC.
DANNY WONG
680 - 838 WEST HASTINGS STREET, VANCOUVER, BC V6C 0A6
OFFICE (604) 773-2068
EMAIL DWONG@ARCHITELIER.COM

| BUILDING CODE ANALYSIS | BCBC 2018 - PART 3 |
|----------------------------------|----------------------------------|
| GOVERNING CODE | WOOD/STEEL/CONCRETE CONSTRUCTION |
| TYPE OF CONSTRUCTION | COMBUSTIBLE |
| CONSTRUCTION TYPE CLASSIFICATION | NON-SPRINKLERED |
| FIRE FIGHTING | NO |
| FIRE ALARM | NO |
| FACING NO OF STREETS | 2 |
| NO OF STOREY | 1 |

| | | |
|--------------------------|------------------------------------|-------|
| PROPOSED USE - OFFICE | GROUP E - MERCHANTILE | |
| MAJOR OCCUPANCY | 3.2.2.66. GROUP E, UP TO 2 STOREYS | |
| BUILDING CLASSIFICATION | | |
| FIRE RATING REQUIREMENTS | | |
| FLOOR | 45 MINS. | |
| MEZZANINE | 45 MINS. | |
| ROOF | NIL | |
| LOADBEARING STRUCTURE | 45 MINS. | |
| PUBLIC CORRIDOR | NONE PROVIDED | |
| | | |
| SPATIAL SEPARATION | ADJACENT OCCUPANCY | HOURS |
| NORTH | D/F2 | NIL |
| SOUTH | N/A | N/A |
| EAST | N/A | N/A |
| WEST | D | NIL |

| OCCUPANT LOAD CALCULATION | m ² /PP | OL | ft ² | m ² |
|---------------------------|--------------------|------|-----------------|----------------|
| BACK OFFICE | 9.30 | 5.8 | 579 | 53.8 |
| CASHIER/SHOWROOM | 3.70 | 24.5 | 977 | 91.0 |
| WASHROOM & CIRCULATION | | | 109 | 10.0 |
| TOTAL (BASED ON AREA) | | 30.3 | 1,665 | 154.7 |

| | |
|-----------------------------------------|---------------------|
| OCCUPANT LOAD PER SEX - 30.3 / 2 = 15.2 | 16 PERSONS PER SEX: |
| PROPOSED STAFF [3.7.2.2.16]: | 10 PERSONS |

| | |
|--------------------------------------------------------|---------------------|
| NUMBER OF WATER CLOSET REQUIRED - TENANT [3.7.2.2.13]: | MALE: 1 FEMALE: 1 |
| NUMBER OF WATER CLOSET REQUIRED - TENANT [3.7.2.2.4]: | 1 UNISEX ACCESSIBLE |
| NUMBER OF WATER CLOSET PROVIDED: | 1 UNISEX ACCESSIBLE |

| | |
|-------------------------------------------------------------------|----------------------------|
| EXIT WIDTH [3.4.3.2.1.A]: | 6.1 x 32.8 - 200.1 mm (8") |
| EXIT CORRIDOR [3.4.3.2.A]: | 1,100 mm (3'-8") |
| STAIRS - NOT MORE THAN 2 STORES ABOVE 1 STOREY BELOW [3.4.3.2.A]: | 900 mm (3'-0") |
| STAIRS [3.4.3.2.A]: | 1,100 mm (3'-8") |
| DEAD END CORRIDOR [3.3.2.5.5]: | 6 m (19'-8") |
| EXIT DOOR [3.3.1.13]: | 800 mm (2'-8") |
| HEADROOM [3.4.3.1.1]: | 2,050 mm (6'-9") |

| | |
|----------------------------------------------------------------------|-------------------------------------------------------------|
| CRITERIA FOR ONE EXIT - GROUP E [3.4.2.1.A]: | 150 m ² (1,614 ft ²) / 15 m (49'-2") |
| MAXIMUM TRAVEL DISTANCE - MORE THAN ONE EXITS - GROUP E [3.4.2.5.F]: | 30 m (98'-5") |



BOLD CONSTRUCTION LTD.
600-688 W HASTINGS ST
V6B1P1
604-944-8924



Architelier
architecture + real estate

Danny Wong
680 - 838 West Hastings Street
Vancouver, BC V6C 0A6
Office: 6047332068
Email: Dwong@architelier.com

NOTES:

All dimensions should be verified on site by each trade prior construction. This drawing and proposal are the exclusive property of ARCHITELIER and cannot be used or reproduced without written permission. Other dimensions and notes provided are for general information only and are not responsible for all dimensions and conditions on the job and the office shall be informed of any variations from the dimensions and conditions shown on this drawing.

CLIENT

DATE: / / 2017
Contractors will build as per these working drawings.

CLIENT'S APPROVAL FOR CONSTRUCTION

| REVISIONS: | No. | DATE | DESCRIPTION |
|------------|-----|--------------|---------------|
| | 01 | FEB 04, 2019 | ISSUED FOR DR |
| | 02 | | |
| | 03 | | |
| | 04 | | |
| | 05 | | |
| | 06 | | |
| | 07 | | |
| | 08 | | |
| | 09 | | |

SITE PLAN

SPACE PLAN CONCEPT Cannabis

725 West 14th Street
North Vancouver, BC

| | |
|--------------|--------------|
| Project No. | 00.1 |
| Revision No. | DA |
| Date | JAN 22, 2019 |
| AS NOTED | ID0.0 |

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STRUCTURAL, MECH, ELEC, DATA & SECURITY NOTES | CARPET NOTES |
| <div>1. THIS IS A DESIGN BUILD JOB. IT IS RESPONSIBILITY OF ELECTRICAL & MECHANICAL SUB-TRADE TO ALLOW FOR ALL LIFE SAFETY EQUIPMENT TO MEET CODE REQUIREMENTS.</div> <div>2. THE CONSTRUCTION MANAGER SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL, DATA, SECURITY AND ELECTRICAL ITEMS, SLEEVES, EQUIPMENT AND OPENINGS BEFORE START OF CONSTRUCTION AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.</div> <div>3. REFER TO THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWING FOR ASSOCIATED WORK. CONSTRUCTION MANAGER TO ALLOW TO PATCH, REPAIR AND MAKE GOOD ALL AREAS TO MATCH EXISTING OR NEW FINISHES AS NECESSARY TO IMPLEMENT STRUCTURAL, MECHANICAL, ELECTRICAL, DATA SECURITY WORK.</div> <div>4. THE CONSTRUCTION MANAGER IS TO COORDINATE ALL ELECTRICAL AND DATA LOCATIONS WITH FURNITURE. CONFIRM EXACT LOCATIONS ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.</div> <div>5. THERMOSTAT AND GRILL LOCATIONS TO BE CONFIRMED ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.</div> <div>6. ELECTRICAL / MECHANICAL AS BUILTS ARE TO BE PROVIDED BEFORE & AFTER JOB.</div> | <div>1. INSTALL CARPET AND ACCESSORY MATERIAL IN ACCORDANCE WITH CONSULTANT APPROVED SEAMING LAYOUT. NO WORK TO START PRIOR TO REVIEW OF SEAMING LAYOUT.</div> <div>2. INSTALL ROLL CARPET IN LARGEST WIDTHS POSSIBLE. THERE SHALL BE NO PECING OR PATCHING OF INDIVIDUAL CARPET STRIPS.</div> <div>3. ALL CARPET SHALL BE ROLLED WITH A 200 LB. ROLLER TO ENSURE ALL AIR POCKETS AND BUBBLES ARE ELIMINATED PRIOR TO FINAL ADHESIVE SET-UP.</div> <div>4. CLEAN UP AS THE WORK PROGRESSES, AND REMOVE FROM THE SITE ALL RUBBISH RESULTING FROM THIS OPERATION.</div> <div>5. PROTECT THE WORK OF OTHER SECTIONS FROM DAMAGE RESULTING FROM THE WORK OF THIS SECTION.</div> <div>6. PROTECT TRAFFIC AREAS OF CARPETED FLOORS WITH APPROVED DROP SHEETS. TAPE JOINTS TO PREVENT SHRINKING.</div> <div>7. CARPET INSTALLERS TO PROVIDE PATCHING TO ANY DAMAGED FLOOR.</div> |
| FINISH HARDWARE NOTES | RUBBER BASE NOTES |
| <div>1. FURNISH DOOR AND FRAME MANUFACTURERS WITH COMPLETE INSTRUCTIONS WITH TEMPLATES FOR PREPARATION OF THEIR WORK TO RECEIVE HARDWARE.</div> | <div>1. INSTALLATION (RUBBER BASE)<div><div>A. RUBBER BASE TO BE SUPPLIED IN ROLLS. NO LENGTHS LESS THAN 3 FEET. NO JOINTS IN RUNS LESS THAN 10' - 0".</div><div>B. FIT JOINTS TIGHT AND VERTICAL. SCRIBE AND FIT TO DOOR FRAMES AND OTHER OBSTRUCTIONS. MATCH INTERNAL CORNERS.</div><div>C. INSTALL BASE ON SMOOTH SUBSTRATE FINISHED EVENLY TO FLOOR.</div><div>D. INSTALL TOP OF BASE STRAIGHT AND LEVEL TO VARIATION OF PLUS OR MINOR 1/8" OVER 10' 0" AND SCRIBE BOTTOM TO FLOOR.</div></div></div> |
| PAINTING NOTES | WOOD DOORS & FRAMES NOTES |
| <div>1. PRODUCT DELIVERY, ENVIRONMENTAL REQUIREMENTS, PREPARATION OF SURFACES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CHAPTERS OF CANADIAN PAINTING CONTRACTORS ASSOCIATION (CPCA) ARCHITECTURAL PAINTING SPECIFICATION MANUAL, 1999.</div> <div>2. ALL PAINTING SHALL BE TO CPCA PREMIUM GRADE.</div> <div>3. PROTECT SURROUNDING OR ADJOINING WORK BY ADEQUATELY COVERING WITH TARPULANS OR OTHER NECESSARY PROTECTIVE COVERING.</div> <div>4. BEFORE COMMENCING WORK REMOVE ALL ELECTRICAL PLATES, SURFACE HARDWARE, ETC. AND REPLACE IN ORIGINAL CONDITION AT COMPLETION OF PAINTING IN EACH SPACE.</div> <div>5. METHOD OF PAINT APPLICATION SHALL BE GENERALLY BY THE USE OF BRUSH AND ROLLER. THE USE OF SPRAY EQUIPMENT REQUIRES APPROVAL BY THE CONSULTANT.</div> <div>6. PAINT SHALL COMPLETELY AND UNIFORMLY COVER SURFACE. OPAACITY OF COVERAGE SHALL BE UNIFORM.</div> <div>7. TINT ALL UNDERCOATS TO THE APPROXIMATE SHADE OF THE FINAL COAT AND VARY THE TINTS OF EACH UNDERCOAT TO FACILITATE DEFINITE IDENTIFICATION OF ALL COATS.</div> <div>8. TRANSARE WITH TYPE OF PAINT AND APPLICATIONS SPECIFIED. SAMPLES AT THE JOB AS REQUIRED. UNTIL COLORS, TEXTURES AND SHEEN ARE SATISFACTORY AND APPROVED BY THE DESIGNER.</div> <div>9. PAINTING SCHEDULE:<div><div>THE FOLLOWING TILES AND CODE NUMBERS REFER TO CHAPTER 4.8 OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION ARCHITECTURAL PAINTING SPECIFICATION MANUAL. THIS SCHEDULE IS SUPPLIED FOR CONVENIENCE ONLY AND DOES NOT RELIEVE THE PAINTING CONTRACTOR OF RESPONSIBILITY FOR COMPLETING ALL PAINTING WORK SHOWN ON THE DRAWINGS OR SPECIFIED BELOW.</div><div>A. NEW DRYWALL (PREMIUM GRADE) TO PARTITIONS SCHEDULED FOR PAINT FINISH NEW DRYWALL CEILING AND BULHEADS INT. 4-8 LATEX FINISH, EGGSHELL ON WALLS, CEILINGS.</div><div>B. MISCELLANEOUS METAL (PREMIUM GRADE) TO ELECTRICAL PANEL CABINETS ALL OTHER AS NOTED INT. 12-8 (ELECTROSTATIC) WATERBORNE ALKYLID FINISH SEMI-GLOSS.</div></div></div> | <div>1. WOOD DOORS SHALL CONFORM TO THE MILLWORK SPECIFICATIONS AS SET FORTH IN THE QUALITY STANDARDS MANUAL FOR ARCHITECTURAL WOODWORK OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, PART 4 WOOD DOORS.</div> <div>2. GRADES AND TOLERANCES SHALL BE AS OUTLINED IN THE AWMAC MANUAL.</div> <div>3. FACE VENEERS TO DOORS SCHEDULED TO MATCH EXISTING SHALL BE ARCHITECTURAL GRADE VENEER FACES TO AWMAC QUALITY STANDARDS. WHERE MORE THAN ONE PIECE OF VENEER IS PRESENT, PIECES SHALL BE EQUAL IN WIDTH AND BALANCED ON THE FRAME. EACH FACE SHALL BE DETECT FREE.</div> <div>4. ALL WOOD DOORS AND FRAMES SHALL BE FACTORY FINISHED. REFER TO ARCHITECTURAL WOODWORK AND CASEWORK SPECIFICATIONS FOR FINISHING PROCESSES.</div> <div>5. DOOR AND GLAZING FRAMES SCHEDULED FOR VENEER FINISH TO MATCH EXISTING SHALL HAVE EDGES FINISHED IN A SINGLE PIECE OF VENEER A MINIMUM OF 1.60mm THICK.</div> <div>6. PRODUCT DELIVERY, STORAGE AND HANDLING SHALL BE AS SPECIFIED UNDER PART 7, SECTION 704 OF THE AWMAC QUALITY STANDARDS.</div> <div>7. INSTALL WOOD DOORS IN ACCORDANCE WITH PART 7, SECTIONS 709 & 710 OF THE AWMAC QUALITY STANDARDS.</div> <div>8. INSTALL FINISH HARDWARE TO WOOD DOORS IN ACCORDANCE WITH PART 7, SECTION 711 OF THE AWMAC QUALITY STANDARDS.</div> <div>9. PROVIDE SECURE PROTECTIVE COVERINGS FOR ALL EXPOSED CORNERS OF WOOD DOOR FRAMES AND GLAZING FRAMES.</div> <div>10. PROVIDE CLEAR PLASTIC DOOR MUTES TO ALL NEW WOOD DOOR FRAMES.</div> |
| WALL PARTITION NOTES | GLAZING NOTES |
| <div>1. STUD & DRYWALL WORK SHALL CONFORM TO THE ASSOCIATION OF WALL AND CEILING CONTRACTORS OF B.C. (AWCC) SPECIFICATION, SECTION 9.5, GYPSUM WALLBOARD AND SECTION 9.7, INTERIOR STEEL STUDS AND FURRING.</div> <div>2. COORDINATE STUD & DRYWALL WORK WITH OTHER TRADES. CHECK ALL DRAWINGS FOR FRAMING, IN OF ALL DOOR AND GLAZING FRAMES, OPENINGS REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT WHERE SHOWN.</div> <div>3. VERIFY MEASUREMENTS ON THE JOB SITE AS REQUIRED SO THAT ANY PRE-ASSEMBLED WORK FITS THE JOB CONDITIONS.</div> <div>4. INSTALL TWO LAYERS ACOUSTIC TAPE TO CENTER UNDERSIDE OF FLOOR TRACK AND ONE STRIP ACOUSTIC TAPE AT CEILING OVER REVEAL STRIP OR TOP TRACK.</div> <div>5. WHERE RUBBER BASE IS TO BE SURFACE APPLIED, WALLBOARD SHALL BE SMOOTHLY AND EVENLY FINISHED TO SUBFLOOR.</div> <div>6. INSTALL SOUND INSULATION BLANKETS IN DRYWALL PARTITIONS AS SCHEDULED. INSULATION SHALL FIT TIGHTLY BETWEEN STUDS AND BE INSTALLED FULL HEIGHT OF PARTITIONS. FILL JOINTS AROUND PIPES, DUCTS, ELECTRICAL BOXES AND OTHER PENETRATIONS TO PREVENT AIRBORNE SOUND TRANSMISSION.</div> <div>7. ISOLATE GYPSUM WALLBOARD FROM EXTERIOR METAL WINDOW FRAMES AND BUILDING FINISHES USING 1 1/2" x 1" METAL TIE TO ALL FOUR EDGES.</div> <div>8. USE REINCE T-BAR CLIPS TO FASTEN REVEAL STRIP AND TOP TRACK, PROVIDING NON-MARKING SECUREMENT TO THE BUILDING SUSPENDED T-BARS.</div> <div>9. CONFIRM PARTITION LAYOUT WITH CONSULTANT PRIOR TO ERECTION OF STEEL STUDS, AT WHICH TIME IF SHALL BE POSSIBLE TO MAKE MINOR ADJUSTMENTS IN PARTITION LOCATION AT NO EXTRA CHARGE TO THE CONTRACT. NO PARTITIONS SHALL BE ERECTED UNTIL LAYOUT HAS BEEN APPROVED BY ALL SPACES.</div> <div>10. FURR OUT CORE WALLS AS REQUIRED FOR POWER, TEL, DATA, AND PLUMBING. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF FURNITURE AND MILLWORK.</div> <div>11. MAINTAIN INTEGRITY OF 2 HR. SLAB RATING WITH RATED DRYWALL ENCLOSURE IN CEILING PLenum REMAIN FLUSH TO FLOOR ELECTRICAL MONUMENTS.</div> | <div>1. INSTALL GLASS PANELS INTO METAL CHANNELS (AS SHOWN) IN WITH COMBINED RECOMMENDATIONS OF GLASS MANUFACTURER AND FLAT GLASS MARKETING ASSOCIATION (FGMA) WHICHEVER IS MORE STRINGENT.</div> <div>2. SEAL ALL GLASS-TO-GLASS JOINTS WITH CLEAR TRANSLUCENT SILICONE BUTT JOINT SEALANT, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.</div> <div>3. EXPOSED GLASS EDGES SHALL BE GROUND SMOOTH AND POLISHED, SUITABLE FOR BUTT JOINT GLASS-TO-GLASS SEALANT. CONCEALED GLASS EDGES SHALL BE GROUND SMOOTH AND ABRESED.</div> |
| ARCHITECTURAL WOODWORK & CASEWORK NOTES | CEILING NOTES |
| <div>1. THE "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, TOGETHER WITH AUTHORIZED ADDITIONS AND MODIFICATIONS SHALL BE USED AS A REFERENCE STANDARD AND SHALL FORM PART OF THIS SPECIFICATION.</div> <div>2. SUBMIT SHOP DRAWINGS FOR ARCHITECTURAL WOODWORK, SHOWING CONSTRUCTION DETAILS, FINISH MATERIALS, GENERAL ARRANGEMENTS, LOCATIONS OF ALL SERVICE OUTLETS, ALL CONNECTIONS, ATTACHMENTS, HARDWARE, ETC. NO WORK SHALL BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT.</div> <div>3. CASEWORK FOR HIGH PRESSURE LAMINATE FINISH SHALL BE AWMAC PREMIUM GRADE FLUSH OVERLAY CONSTRUCTION.</div> <div>4. EXPOSED PARTS FINISH ON H.P.L. CASEWORK SHALL BE HIGH PRESSURE LAMINATE AS INDICATED ON THE DRAWINGS. SEMI-EXPOSED PARTS FINISH SHALL BE WHITE MELAMINE WITH SEMI-EXPOSED EDGES OF CASE AND SHELVES FINISHED IN H.P.L.</div> <div>5. CASEWORK HINGES SHALL BE BLUM NO. 75M-555 125 DEG. OPENING, ALL METAL, 4 WAY ADJUSTABLE, SPRING LOADED FOR CLOSURE.</div> <div>6. DRAWER RUNNERS SHALL BE ACCURIDE NO. 3832, FULL EXTENSION, ALL METAL, HEAVY DUTY, BALL BEARING.</div> <div>7. RECESSED SHELF STANDARDS: ALL PREMIUM GRADE AND CUSTOM GRADE CASEWORK SHALL HAVE DOWELED HOLES WITH 5 MM DIA. NICKEL PLATED METAL INS. FULL HEIGHT AT 2" O.C.</div> <div>8. CABINET LOCKS SHALL BE NICKEL PLATED AT MANUFACTURERS OPTION.</div> <div>9. GROMMETS SHALL BE 2-1/2" DIA. POLISHED CHROME AT MANUFACTURER'S OPTION.</div> <div>10. TYPICAL COUNTER TOPS SHALL HAVE SELF EDGE DETAIL AS PER AWMAC DETAIL 312 & 1 W/ BACK SPLASH HEIGHTS AS SHOWN ON DWGS.</div> <div>11. JOB CONDITIONS FOR INSTALLATION OF ARCHITECTURAL WOODWORK SHALL BE AS SPECIFIED UNDER PART 7, SECTION 703 OF THE AWMAC QUALITY STANDARDS.</div> <div>12. CABINETS AND CASEWORK SHALL BE INSTALLED IN ACCORDANCE WITH PART 7, SECTION 705 OF THE AWMAC QUALITY STANDARDS.</div> <div>13. PROVIDE SECURED PROTECTIVE COVERINGS FOR ALL HORIZONTAL SURFACES AND EXPOSED CORNERS OF WOODWORK AND CASEWORK.</div> | <div>1. INSTALL ACOUSTIC PANELS ONLY AFTER THE COMPLETION OF ALL WORK OF OTHER TRADES IN THE CEILING SPACE. MAKE ALL CUTOUTS AS REQUIRED FOR FIXTURES, SPRINKLER HEADS, DIFFUSERS, ETC. WITH NO CUT EDGES TO EXPOSED SURFACES.</div> <div>2. FOR SUSPENDED GWB CEILINGS, SECURELY ANCHOR ALL METAL SUPPORT HANGERS TO STRUCTURAL FRAME OR STRUCTURAL DECK OVER.</div> <div>3. FIX MAIN CARRYING CHANNELS TO WIRE OR ROD HANGERS BY SADDLE TYING OR WRAPPING AROUND MAIN CHANNELS SO AS TO PREVENT TURN/TWIST OF THE CHANNELS AND TO DEVELOP THE FULL STRENGTH OF THE HANGERS.</div> <div>4. SPACE FURRING MEMBERS TRANS VERGE TO MAIN CARRYING CHANNELS @400mm (16") O.C. SECURE IN EACH SUPPORT WITH APPROVED CLIP OR SADDLE TYPE.</div> <div>5. LEVEL AND SKIM FURRING CHANNELS TO A MAXIMUM TOLERANCE OF 3mm (1/8") OVER 3600mm (114").</div> <div>6. INSTALL 5/8"TH MDF ACCESS PANELS IN GWB CEILINGS AS REQUIRED FOR ACCESS TO MECHANICAL & ELECTRICAL SERVICE POINTS.</div> <div>7. CLIPS MUST BE USED TO ATTACH PARTITIONS TO THE CEILING GRID.</div> <div>8. REMOVE AND REINSTALL T-BAR FOR MECHANICAL PURPOSES BY DRYWALL CONTRACTOR.</div> <div>9. DRYWALL CONTRACTOR TO ALLOW (4) 1" x 4" SLOT DIFFUSERS IN DRYWALL CEILING + (2) RETURN AIR GRILLS.</div> |



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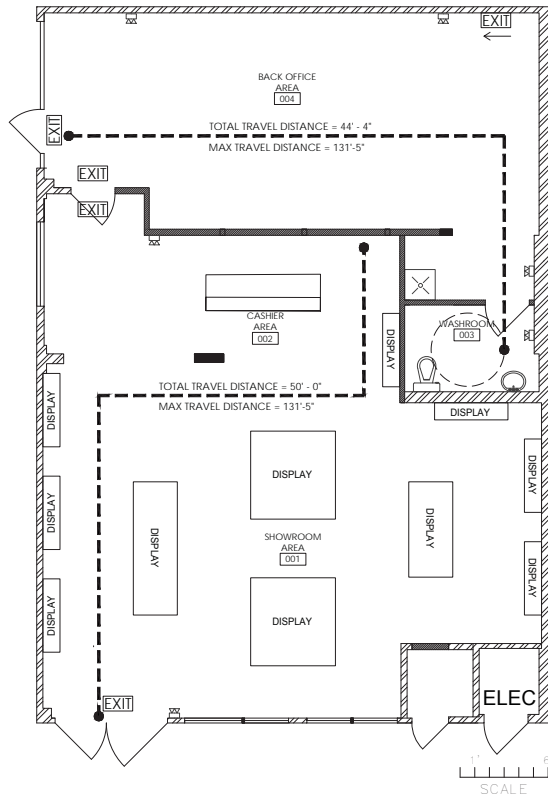
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GENERAL NOTES
SPACE PLAN CONCEPT
Cannabis
725 West 14th Street
North Vancouver, BC

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| Prepared R.M | Project No. 001 |
| Reviewed D.A | Drawing No. |
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2 SPACE PLAN
SCALE: 1/4" = 1'-0"



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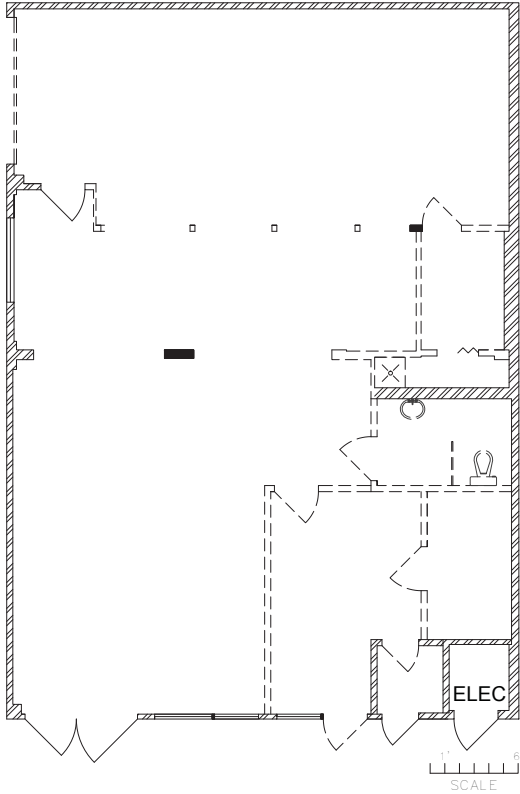
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SPACE PLAN
SPACE PLAN CONCEPT Cannabis

725 West 14th Street
North Vancouver, BC

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3 DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. PATCH AND REPAIR REMAINING SURFACES INCLUDING BASE OF WALL, WHERE DEMOLITION HAS OCCURRED. MAKE READY FOR PAINT.
2. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLLY TO BE USED WHERE REQUIRED. ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
3. JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES "BUMBER WRAP" TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
4. REMOVE ALL DESIGNATED DOORS, FRAMES, GLASS AND HARDWARE AS SHOWN. SET ASIDE FOR LANDFILL APPROVAL TO RETAIN OR THROW AWAY.

DEMOLITION KEY NOTES

SYMBOL: DESCRIPTION:
-- -- -- -- Denotes to be demolished



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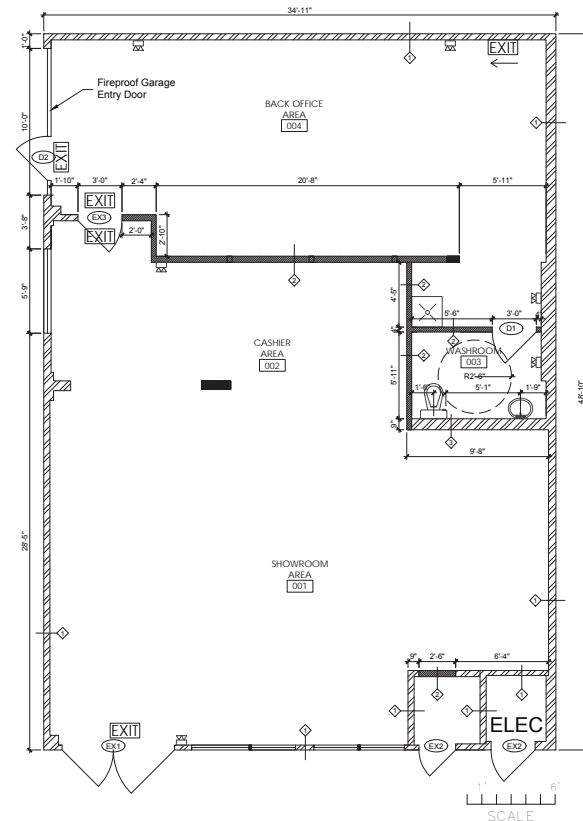
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DEMOLITION PLAN SPACE PLAN CONCEPT Cannabis

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4 CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

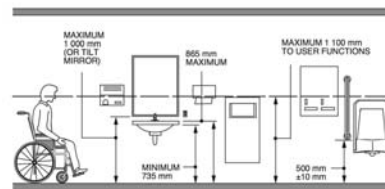


FIGURE 9.8.52 - Suggested Toilet Room Layouts

CONSTRUCTION NOTES

1. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLY TO BE USED WHERE REQUIRED.
2. JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES. LUMBER WRAP TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
3. PROVIDE SEISMIC AND BRACING SUPPORT AS REQUIRED TO ACCOMMODATE BUILDING CODE REQUIREMENT.
4. PROVIDE BACKING AND SUPPORT FOR BULKHEAD AS NEEDED TO ACCOMMODATE BUILDING CODE REQUIREMENT.
5. ALL APPLIANCES TO BE SUPPLIED BY CLIENT UNLESS OTHERWISE NOTED.
6. BULKHEAD TO BE BUILT ABOVE ALL THE GLASS DOORS AND GLAZING BY DRYWALL CONTRACTOR.
7. Drywall contractor to provide drywall ceiling for the new bathroom, to match existing.
8. Refer to Building Code Analysis for ASHREA upgrades.

PARTITION LEGEND

| Type: | Symbol: | Description: |
|--------------------------------------------------------|---------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Existing Base Building wall | | Existing base building structural 2hr fire rated wall to remain. Make good as required ready for new finish. (Where Applicable) |
| New Drywall Partition to match existing drywall height | | New interior drywall partition to match existing drywall height. 3/4" Steel studs @ 16" O.C. - 5/8" GWB on both sides, R13 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish. |
| Existing Base Building Plumbing wall | | Existing interior plumbing drywall partition. 5/8" Type X GWB on both sides. 3/4" Make good as required ready for new finish. |

DOOR SCHEDULE

| Sym.: | Elevation: | Description: | Symbol: | Description: |
|-------|------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------------------------------------------------------|
| | | Existing Entry Door to Remain. | | Exit Sign to be changed to meet building code requirements. |
| | | Existing Door to Remain. | | Emergency Light with Battery Pack |
| | | Existing Door to Remain. *Door swing direction to be reversed | | |
| | | New Interior Architectural Solid Core Door & Frame 7'0" H. x 2'0" W. x 1 3/4" THK. Hardware: Matte Black Bathroom/Toilet Door Privacy Lock Door Finish: TBD Frame Finish: TBD | | |
| | | New Fireproof Garage Entry Door w/Exit Door 45 min Fire rated. 7'0" H. x 2'0" W. Hardware: Panic Bar Door Finish: TBD Frame Finish: TBD | | |



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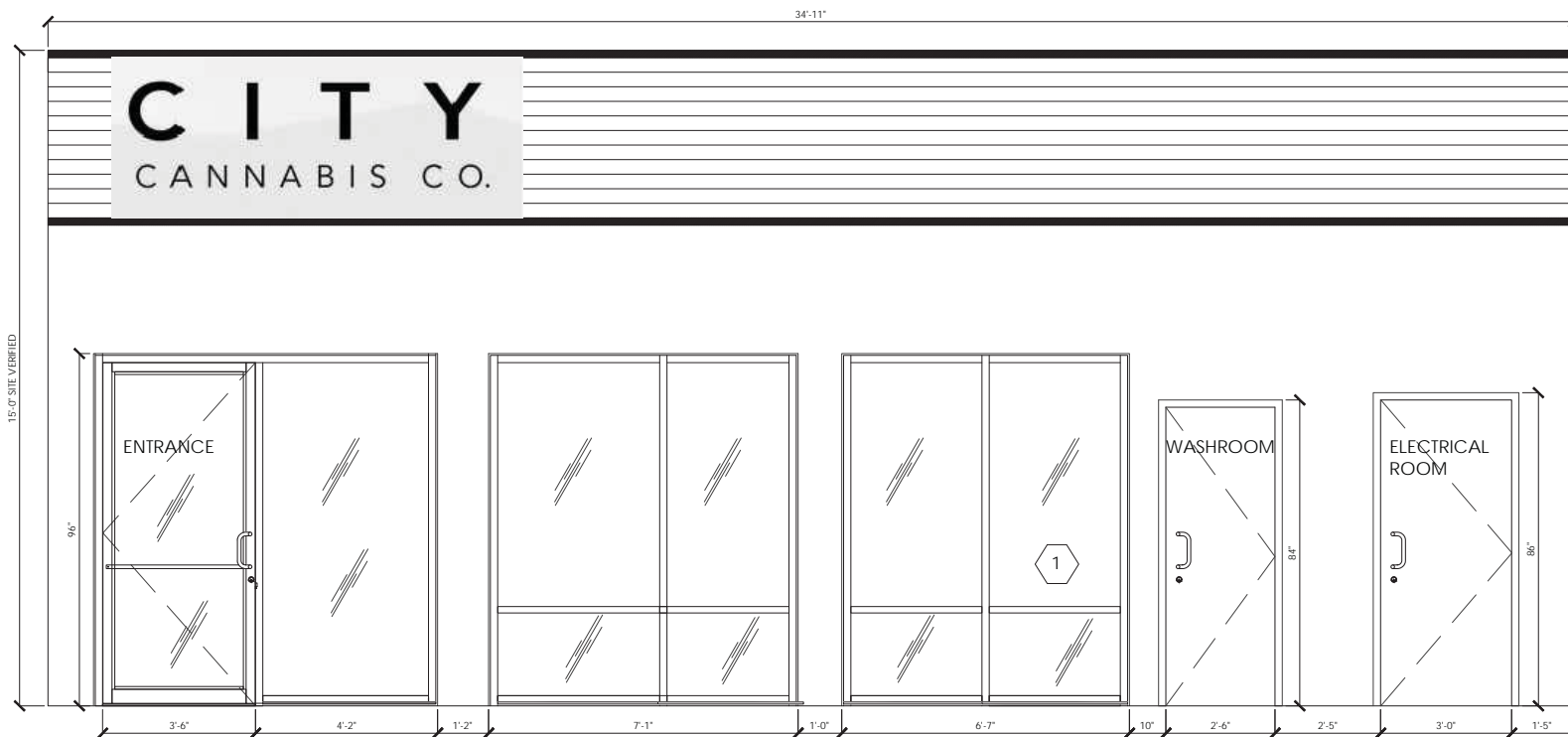
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CONSTRUCTION PLAN

SPACE PLAN CONCEPT Cannabis

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E1 FRONT STORE - NORTH ELEVATION
SCALE: 3/4" = 1'-0"

| GLAZING NOTES | |
|---------------|----------------------------------------|
| - | Fire rating glazing 1 hour |
| - | Not seen through glazing throughout |
| ① | Existing door to be changed to glazing |



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ELEVATIONS SPACE PLAN CONCEPT Cannabis

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1505 West 2nd Ave, Suite 506, Vancouver, BC. V6H 3Y4 - Ph: 604.559.0420

COMMUNITY IMPACT STATEMENT

COMMUNITY IMPACT STATEMENT

The illegal market for marijuana is a major risk to the well-being of Canadian children. Removing this illegal access point through the legalization would be beneficial in terms of reducing youth illegal activity rates, and diminishing the drug dealers' power over Canadian youth. While legalization will reduce the size of the black-market activity, it will not eliminate the issue altogether.

Although there is some evidence indicating therapeutic benefits of marijuana use in neuropathic pain, inflammatory bowel diseases, managing symptoms of chemotherapy and treatment-resistant epilepsy in children, marijuana use is associated with some adverse health effects. Health Canada will provide additional information as it become available.

Regulating marijuana reduces risks and improves quality control and consumer protection. The organization Doctors for Cannabis Regulation states that regulation benefits public health by enabling government oversight of the production, testing, labeling, distribution, and sale of marijuana. Potency can vary widely based on the strain of marijuana, the way the plant is grown, the part of the plant that is used, how it is stored, and how it is consumed. In an unregulated market where there is no standardization or quality control, there are many opportunities for unsafe contaminants to be introduced, such as fungi spores, mold, bacteria, heavy metals, pesticides, and growth enhancers. As such, regulated marijuana introduces an opportunity to reduce harm for consumers through the requirement of laboratory testing and product labeling. Similar protections are in place for the alcohol and tobacco industries. In a regulated environment, individuals know what they are consuming and can choose a product accordingly. Trained employees will provide additional guidance and education at point of sale.

The result of the legalization of marijuana is the increased tax revenue that it would bring to the Canadian economy. Legalized marijuana provides an important advantage over prohibition because it allows for the Government to collect taxes from the legalized drug. Specifically, high demand for recreational marijuana in Canada indicates that legalization of the drug will yield significant tax revenue.

The high demand for marijuana in Canada has resulted in the expansion of the black market and puts the power in the hands of illegal drug dealers to be the sole providers of the product with no accountability. By taking control of the distribution of marijuana, legalization will reduce the flourishing black market for the drug, which is the cause for a large amount of illegal activity in Canada.

Based on our experience operating on Robson street for the past 2 years, we have seen no negative impact on the surrounding community, cannabis operations will have no more impact on the surrounding neighborhood than a coffee shop or drugstore. Residents won't see dispensaries as undesirable storefronts in their neighborhood, these centers will not appear to have any impact on the urban landscape and therefore on the health of the communities in which they are located.

The City Cannabis businesses will generate community benefit that will positively impact the surrounding community by generating economic benefits like jobs, revenue, and real estate demand. City Cannabis Co will participate in giving back to the community by assisting vulnerable populations, by developing a community benefits plan that provides assistance to causes that require support and assistance.

WE ARE HERE TO HELP

C I T Y C A N N A B I S C O .

SECURITY PLAN

As Per the LCRB security requirements and as shown in the attached floorpan, we will meet all Provincial security requirements.

- 1. Intruder and fire monitoring alarm systems**
- 2. Locked retail product display cases**
- 3. Locked cannabis storage room**
- 4. Secure perimeter door locks**
- 5. Security cameras with full unobstructed view of:**
 - a. the retail sales area**
 - b. any product storage area**
 - c. both the interior and exterior of all store entrances/exits.**

Our cameras will be active and recording at all times, including when our store is not open for business. We will store security camera footage for at least 30 days after recording.

We will post a written notice in the retail sales area informing their patrons that video surveillance is being used on the premises. This notice will be visible at all times.

We will provide a copy of security camera footage to LCRB at any time for use in investigating possible contraventions of the Cannabis Control and Licensing Act, its regulations, and/or these terms and conditions.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

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Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

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2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

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6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

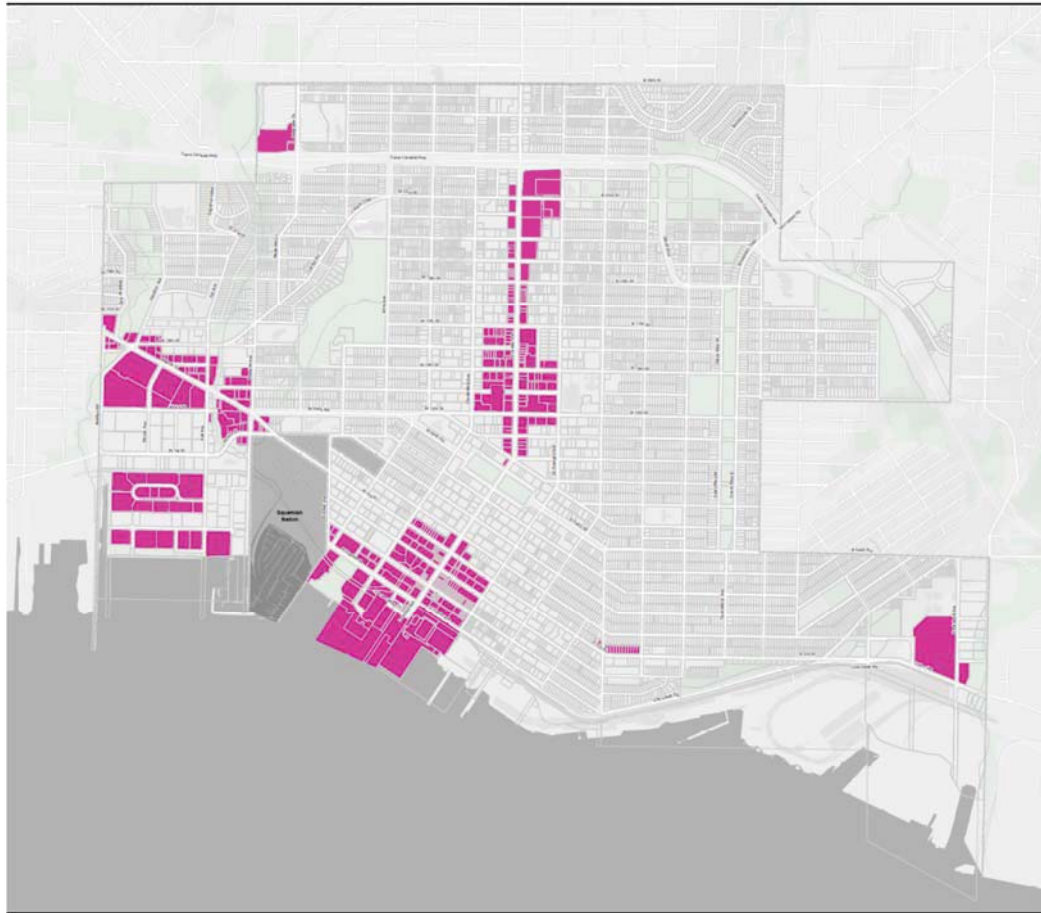
| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



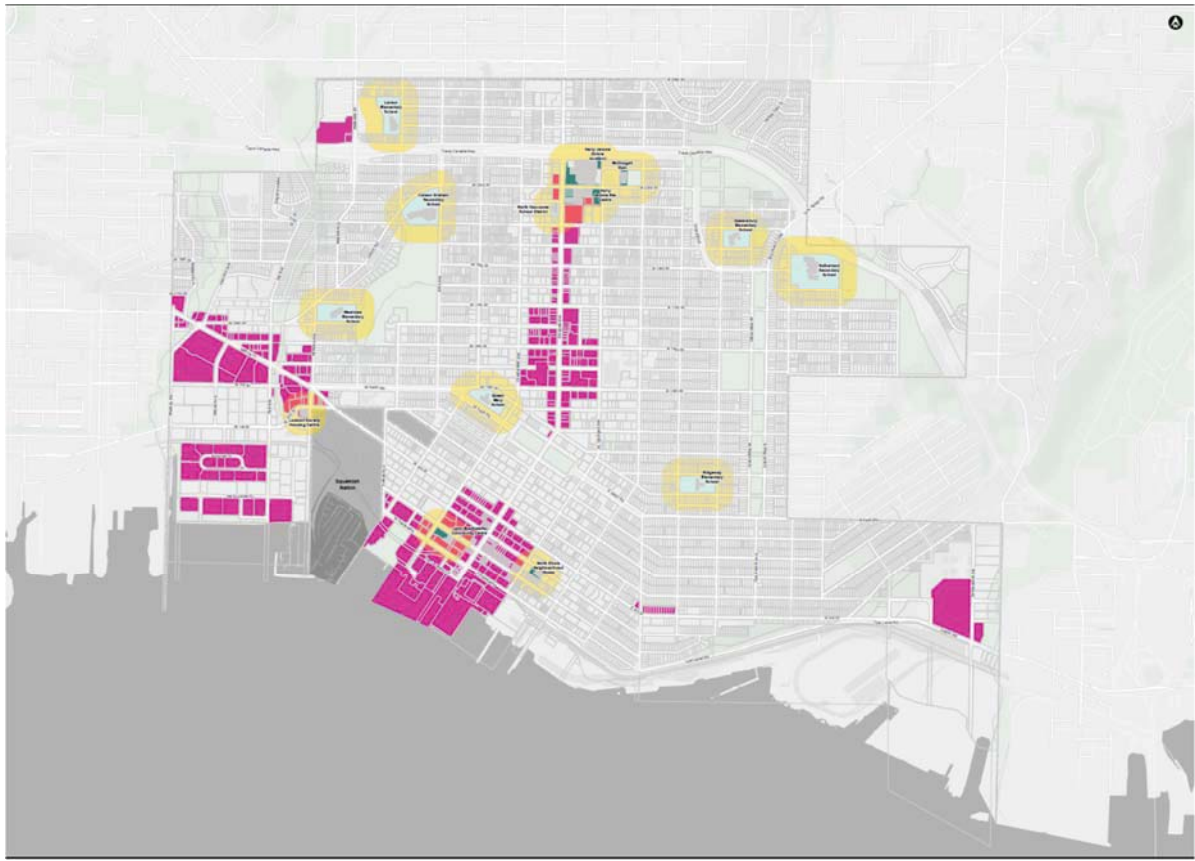
Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

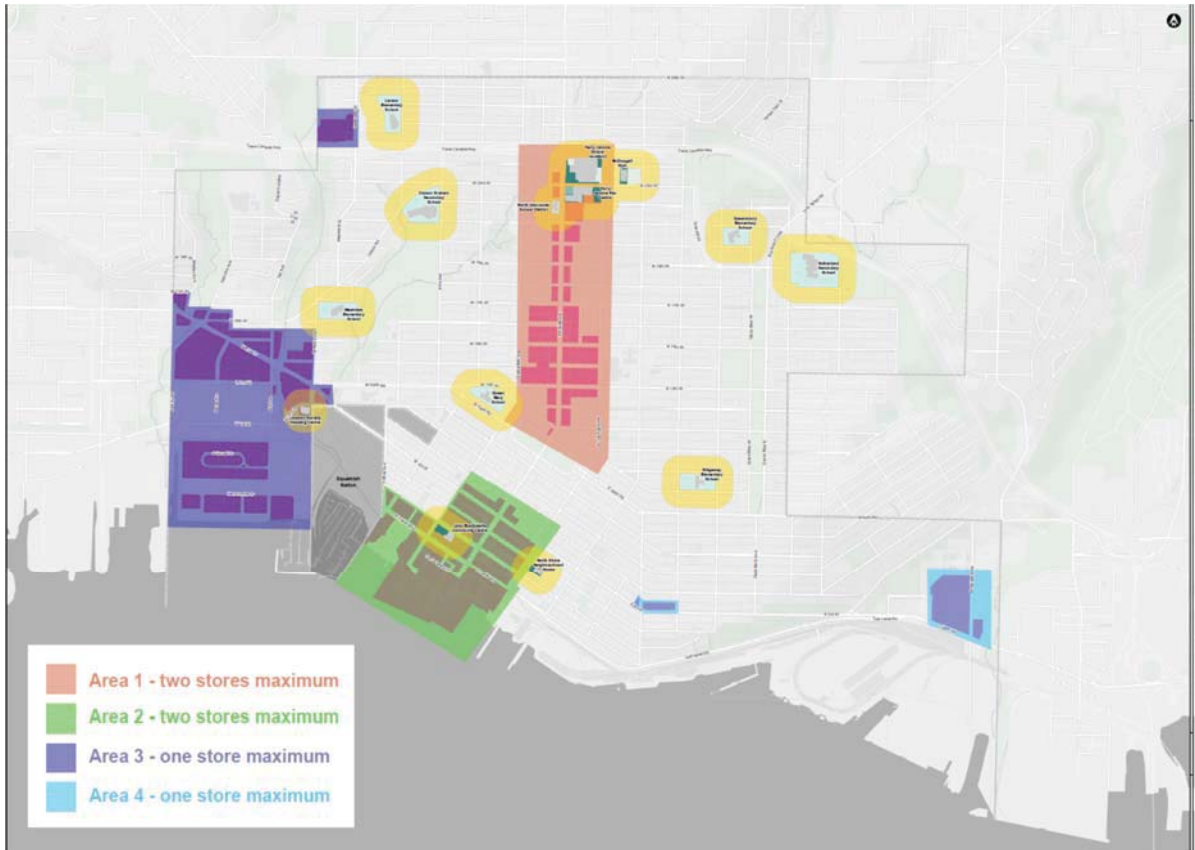
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer *
- OCP Land Use Designation
- Legal Parcels
- City Boundary

* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

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Schedule 3
Recreational Cannabis Retail Businesses
Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

725 West 14th Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------------------|
| Name: <u>Kyle McMurtry</u> | |
| Address: | |
| 1. Do you support the proposed project? | <u>Yes</u> |
| 2. What do you like most about the proposed project? | <u>great design + location - proven track record</u> |
| 3. Do you have any concerns about the proposed project? | <u>no</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>n/a</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: City Cannabis Co

Telephone: 604 282-3097

krystian@Citycannabis.co

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Document: 1193016-v1

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>MICHAEL ROSSI</u> | |
| Address: <u>#56-728 West 14th Street North Vancouver</u> | |
| 1. Do you support the proposed project? | <u>No</u> |
| 2. What do you like most about the proposed project? | <p>(#2) <u>The owner is very knowledgeable but it is <u>not</u> in the ideal space for a cannabis business or for neighbourhood families.</u></p> <p><u>*Keep prices of cannabis high</u></p> |
| 3. Do you have any concerns about the proposed project? | <p>(#3) <u>Residential area that has lots of new young families. This store will bring an increased number of cannabis smoking people to the area. The catchment elementary school already has a high population of at risk youth and families. Each of the townhouse complexes directly neighbouring the proposed location have playgrounds that are safe for children to play. This proposed cannabis store will jeopardize the safety and the mindset of parents.</u></p> |
| 4. What would you suggest to improve or enhance the proposed project? | <p>(#4) <u>The proposed location is at the end of an alley which would encourage the wrong per clientele to visit the area. The area already has a homeless population and this would bring higher numbers. I propose that City Cannabis finds a location further West in more commercialized area near</u></p> |
| 5. Please provide any additional comments. (use back of page if necessary) | <p>(#5) <u>The address for City Cannabis is on 14th street west but the actual entrance is on and parking is on the alley. This will bring increased traffic and stress to already limited street parking available to neighbouring residences.</u></p> |

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krystian@Citycannabis.co

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Carlin Mann</u> | |
| Address: <u>#56-728 14th St W, North Van</u> | |
| 1. Do you support the proposed project? | <u>No</u> |
| 2. What do you like most about the proposed project? | <u>The owner is knowledgeable about his business and surrounding area. translates High prices.</u> |
| 3. Do you have any concerns about the proposed project? | <u>Residential neighbourhood with many playgrounds. Very close to an elementary school with a high population of at risk students and families.</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>There is a lot of commercial space (outside of the residential) very close. Alternative locations would have been a more reasonable option.</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>Consider looking into the area and the school that is close by. They neighbourhood has a high rate of at risk student and families that struggle financially because of current or past addiction. Having a cannabis store in this area is not in the best interest of the children and families in this area.</u> |

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see back

* Although the address is on 14th St. The entrance^{3rd} is actually on an alley that is not accessable by car through 14th St. This will likely ~~not~~ result in unwanted traffic, lost clientele, and stress on already limited street parking on 14th St.

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------|
| Name: Judi Paquette | |
| Address: 4-1755 Fell Ave | |
| 1. Do you support the proposed project? Yes | |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | |
| 4. What would you suggest to improve or enhance the proposed project? | |
| 5. Please provide any additional comments. (use back of page if necessary) | You have allowed a 1/2 way house & homeless shelter in the vicinity without consult of the community. |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------|
| Name: BRUCE RUSSELL | |
| Address: | |
| 1. Do you support the proposed project? NO | TOO CLOSE TO 3 EDUCATIONAL BUSINESSES, A HALFWAY HOUSE AT 312 BENWICK AVENUE, VERY POOR PARKING (7 SPACES TO 3 BUSINESSES!!) |
| 2. What do you like most about the proposed project? NOTHING | AT THE WEST END OF A SHORT LANE WHICH THE CITY PROPOSES TO CLOSE OFF FOR THE B LANE. THE LANE IS A TRAFFIC 200/ |
| 3. Do you have any concerns about the proposed project? YES | NIGHTMARE AT PRESENT WHICH WILL BECOME IMPOSSIBLE WITH A RETAIL CANNABIS USE! |
| 4. What would you suggest to improve or enhance the proposed project? DROP THE APPLICATION - POOL LOCATION. | |
| 5. Please provide any additional comments. (use back of page if necessary) | REFER TO MY APRIL 8, 2019 LETTER TO DAVID JOHNSON, CNV PLANNER. |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | Yes |
| 2. What do you like most about the proposed project? | location |
| 3. Do you have any concerns about the proposed project? | No |
| 4. What would you suggest to improve or enhance the proposed project? | nothing |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: DONNA MONEY | |
| Address: 317 Bewicke Ave | |
| 1. Do you support the proposed project? | Somewhat neutral but have concerns. |
| 2. What do you like most about the proposed project? | Photos of the existing store have a nice professional and clean aesthetic. |
| 3. Do you have any concerns about the proposed project? | My concern relates to the traffic and parking in an already congested and narrow alley, particularly if the City closes off the alley at Marine. |
| 4. What would you suggest to improve or enhance the proposed project? | The Owner should negotiate some parking spaces from the Hertz car rental to ensure their clients don't use other parking belonging to other CRU. |
| 5. Please provide any additional comments. (use back of page if necessary) | If the proposal goes ahead it would give me some comfort to know they will help keep the area clean and let their clients know they cannot loiter/smoke on the nearby benches adjacent to the bus stop. |

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I would prefer to see the location in an area with better parking and access. Either that or the City should consider some improvements to the alley as the City has approved density and parking access points that are a burden to the alley.

I also don't support closing the lane at Marine as this is likely to exacerbate the congestion in the alley.

725 West 14th Street Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No |
| 2. What do you like most about the proposed project? | I do not like the business model |
| 3. Do you have any concerns about the proposed project? | Yes |
| 4. What would you suggest to improve or enhance the proposed project? | No suggestions |
| 5. Please provide any additional comments. (use back of page if necessary) | We strongly oppose this project in our neighbourhood and would ask the city to not permit the licensing |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No |
| 2. What do you like most about the proposed project? | N/A |
| 3. Do you have any concerns about the proposed project? | <ul style="list-style-type: none">• closeness to Vet Hospital• Proximity to schools• Proximity to Shelter• location in laneway - parking issues |
| 4. What would you suggest to improve or enhance the proposed project? | New location |
| 5. Please provide any additional comments. (use back of page if necessary) | Proximity to Elementary & Private schools |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|
| Name: Andrea Agnoloni | |
| Address: 219-700 Marine Drive, North Vancouver, BC V7M 1H3 | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | Do not like it |
| 3. Do you have any concerns about the proposed project? | It is too close to schools, to a half house and it is proposed in a back ally which will generate more traffic |
| 4. What would you suggest to improve or enhance the proposed project? | N/A |
| 5. Please provide any additional comments. (use back of page if necessary) | N/A |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Mark Orr</u> | |
| Address: <u>#413, 317 Bewicke Ave, W. VAN BC.</u> | |
| 1. Do you support the proposed project? | <u>no</u> |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | <u>yes, store proximity to business that has frequent children visited</u> <u>- lack of parking to accommodate traffic</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>- choose location not so close proximity to business frequented by children available to provide adequate parking.</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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E-Mail: djohnson@cnv.org

Document: 1193016-v1

Begin forwarded message:

From: <no_reply@cnv.org>

Date: January 16, 2019 at 8:19:06 PM PST

To: <crabold@cnv.org>

Subject: Have Your Say | Community Feedback Form

| |
|--------------------------------------------------------------------------|
| Subject: No cannabis store pls West 14 st beside Hertz Car rental |
|--------------------------------------------------------------------------|

| |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Comments: I would like voice out my input re:plan of cannabis store beside Hertz rental west 14th st near Marine Drive. It will not be beneficial in our neighbourhood due to lots of young kids in the vicinity. There is Ava music, reading school for very young kids not to mention the children who lives in the vicinity. Plus no parking there as well. The parents are already struggling dropping the kids at Ava music and the tutorial reading school. The children will be inhaling all the second hand smoke there! There use to be one in the corner near the bus stop and the Salvation Army near marine drive , used to be pets store. That is a very good location for this business ! Please think of the children who lives in our area. Thank you Lailani T. |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

| |
|------------------------------|
| Contact Name: Lailani |
|------------------------------|

| |
|---------------------------------|
| Phone Number: [REDACTED] |
|---------------------------------|

| |
|---------------------------------------|
| Your Email Address: [REDACTED] |
|---------------------------------------|



Jet Lee

Unassigned ▼

WED 9:47 PM

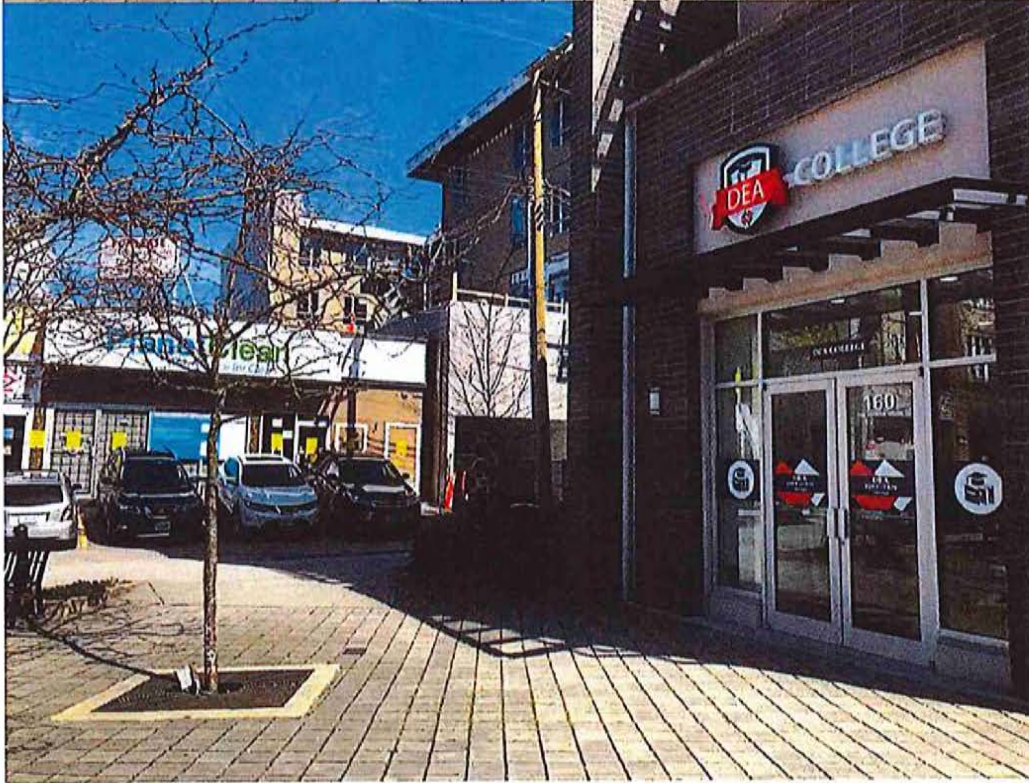
I would Like to ask if its true That a cannabiss store is going to be located near the hertz Rental car That is beside the Ava music and ESL or reading School .
My 2 daughters who has asthma and we live above Ava music.
Plus Young kids in the same neighborhood and the Young students of Ava music and the reading/science Center .
Please check the neighborhood. That is not a good location for this kind of business.
There is a pet store near the bus stop by Marine Drive .
That use to be cannabis store, its empty right now.
Thank you

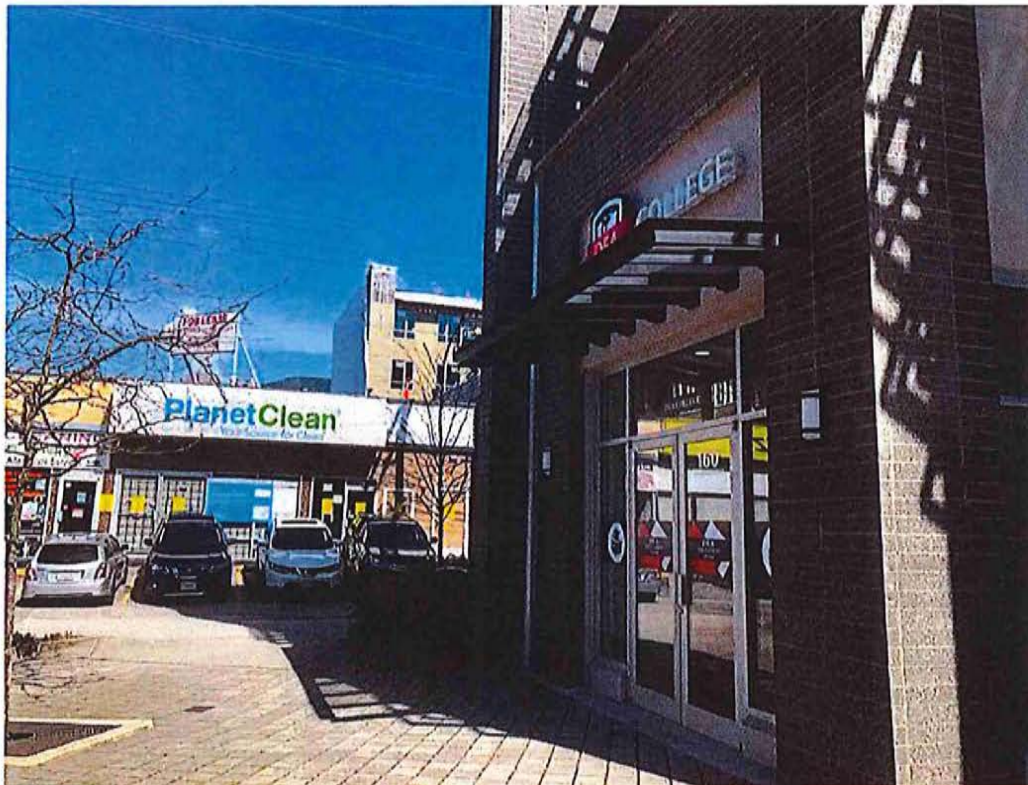


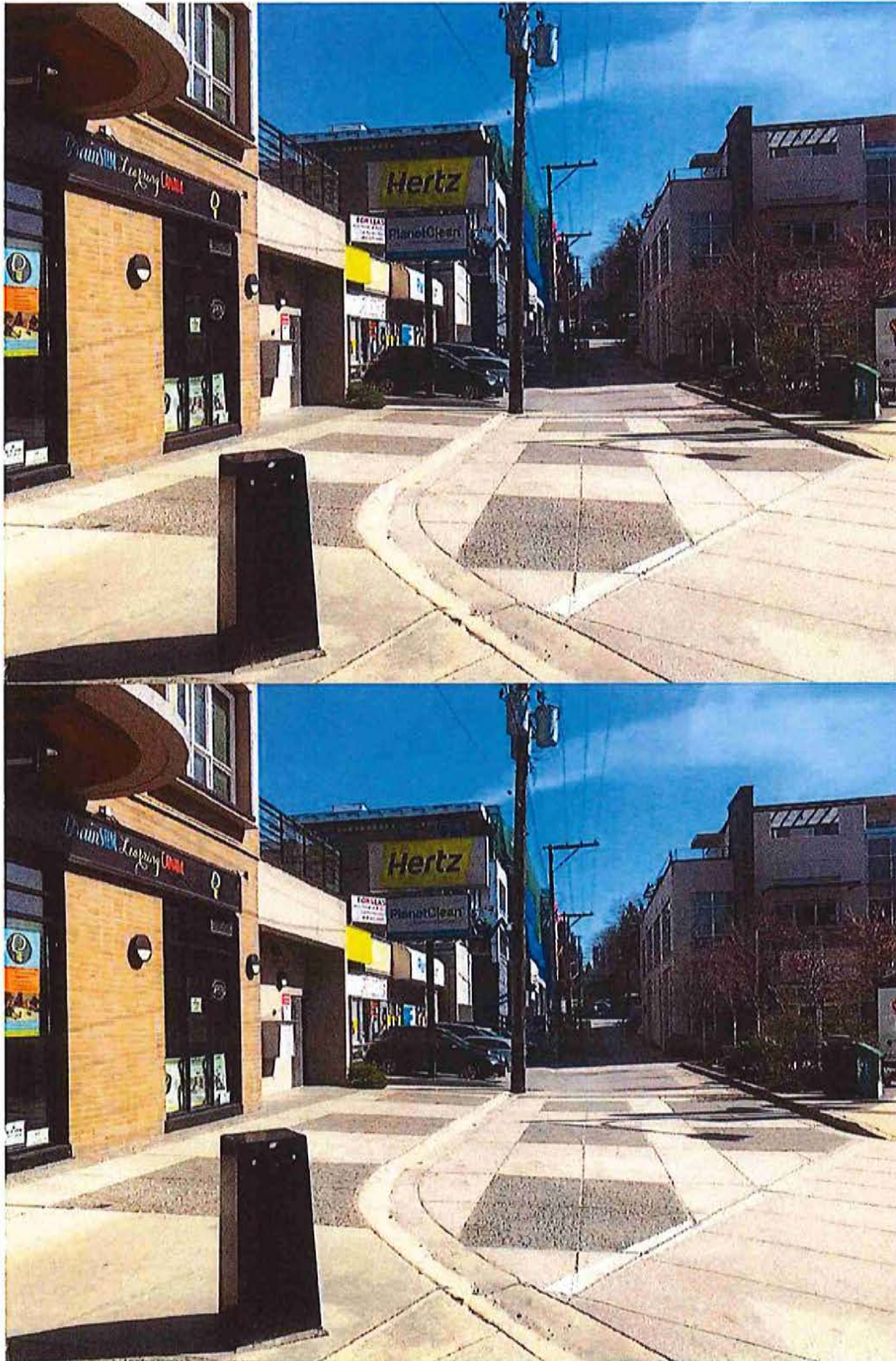
David Johnson

From: Sarah Baldwin [REDACTED]
Sent: March-29-19 12:46 PM
To: David Johnson
Cc: Heather Deris; info@discoverenglish.ca; Oscar Bustos
Subject: 725 Marine Dr.: City Cannabis rezoning application.









Hello, David. As part owner in the business: BrainSTEM Learning Canada Corp. licensed and operating at 730 marine Dr. BrainSTEM Learning is licensed at Educational Services for Children. Our clients are aged 4-14 years of age. I recommend that this block **should not** be rezoned to have a Cannabis organization as there are three educational companies catering to children in this block less than 300M away from 725 Marine dr.

As well, in this block is Ava Music at 734 Marine dr. giving music lessons to children as young as 3 years of age. DEA college, Language School at 160-700 Marine Dr.

Please see the attached photos showing how close these business would be in proximity if this zoning application were to be approved.

I am strongly against this zoning applications approval and believe that another block should be chosen for City Cannabis to be located where there are more businesses that cater to adults and not children.

In the attached photos, the Planet Clean awning would be the future location of City Cannabis.

Thank you for your consideration in this matter.

Sarah Baldwin

VP of Marketing, Communications and Sales

BrainSTEM Learning Canada Corp.

730 Marine Dr.

North Vancouver, BC

V7M 1H3



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April 8, 2019

City of North Vancouver
141 W. 14th Street
North Vancouver, BC V7M 1H9

Email: djohnson@cnv.org

Attention: Mr. D. Johnson

Dear Mr. Johnson:

Re: Retail Cannabis, 425 West 14th Street, North Vancouver

Further to my telephone call of April 4th our company is opposed to proposed retail cannabis outlet at 425 West 14th Street.

The Gulf Pacific Group, via 351 Property Inc. are the owners of the property at 351 Bewicke Avenue as hatched in red on the enclosed "*cannabis use*" application site plan. The proposed cannabis location is outlined in red while the City of North Vancouver's proposed lane closure (B-line) is noted by way of the red "X".

A retail cannabis use is inappropriate for the subject location for a number of reasons, including the following:

1. History has already demonstrated a retail cannabis store generates a lot of customer traffic, not all of which is foot or bus traffic. The subject site has very little on-site parking and no on-street parking. There are only seven (7) storefront parking stalls, four or five of which are dedicated to the other two businesses in the adjacent space (Hertz car rental BibbanTuckers dry cleaners).

The short lane is already congested, and dangerous; a situation which will be exacerbated with a retail cannabis use site, with or without the City of North Vancouver's proposed closure of the west end of the lane (B-line).

2. SCHOOL/EDUCATION PROXIMITY ~ While the application may well meet the distance requirement/separation from a "school", it is next door to two (2) businesses that teach/educates young students with the third such business, DEA Education Centre (#3 on site plan); Brain Stem Learning Canada (#1 on site plan) is effectively "next door", which advertises "*Where Your Kids Get Creative*" as is Ava Music & Art Centre (#2 on site plan) which advertises, "*Music Lessons for All Ages & Levels*". We suggest educating youth is not restricted to public or private schools.

DEA Education Centre (see photo enclosed) is due south of the cannabis store entrance with an unobstructed sightline a mere 60' to 80' feet away.

3. HALFWAY HOUSE (ST. LEONARD'S OF NORTH VANCOUVER) ~ At the east end of the lane on the east side at 312 Bewicke Avenue there is a halfway house; the focus of their work is to assist former federal inmates reintegrate into the community and assist them with substance use recovery.
4. THE LOOKOUT SHELTER ~ The lookout shelter is a few blocks away at 705 2nd Street West, two blocks south of Bewicke and 14th Street - *hardly* an appropriate neighbor.
5. DRUG DEALS ~ Students from the nearby St. Aquinas, a private school (541 W. Keith Road), already occasionally use our Gulf Pacific parking lot to exchange drugs/cannabis ("drug deals"). We do not need any further "sourcing" in our immediate neighborhood.

We are not opposed to the retail sale of cannabis, however, we are opposed to a retailer being allowed to locate in an inappropriate location, therefore, we respectfully request the application be denied.

Your truly,
GULF PACIFIC PROPERTY MANAGEMENT LTD.



R.B. (Bruce) Russell
President

RBR/as

Encl.

cc. Interested Parties

FRIDAY, APRIL 5, 2019 northshorenews nsnews.com

DEVELOPER'S INFORMATION SESSION

City Cannabis is holding an information session where interested members of the public are invited to learn about our application for a Recreational Cannabis Retail Store at 725 West 14th Street.

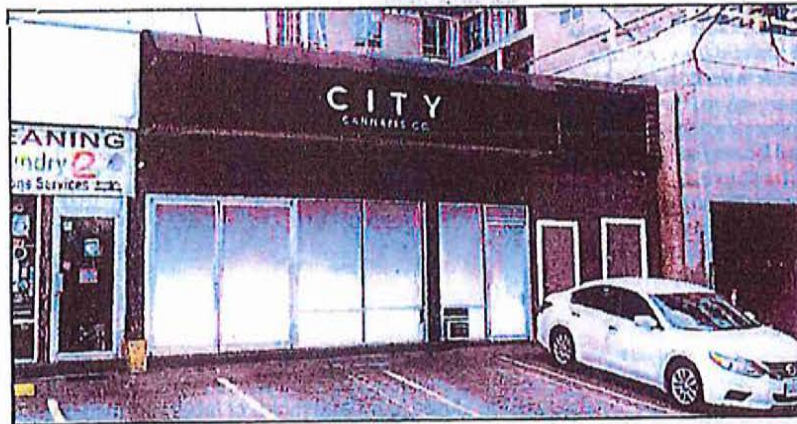


Meeting Location:
John Braithwaite Community Centre
Harbourview Room
145 West 1st Street

Date:
April 9, 2019

Time:
6:00 pm to 8:00 pm

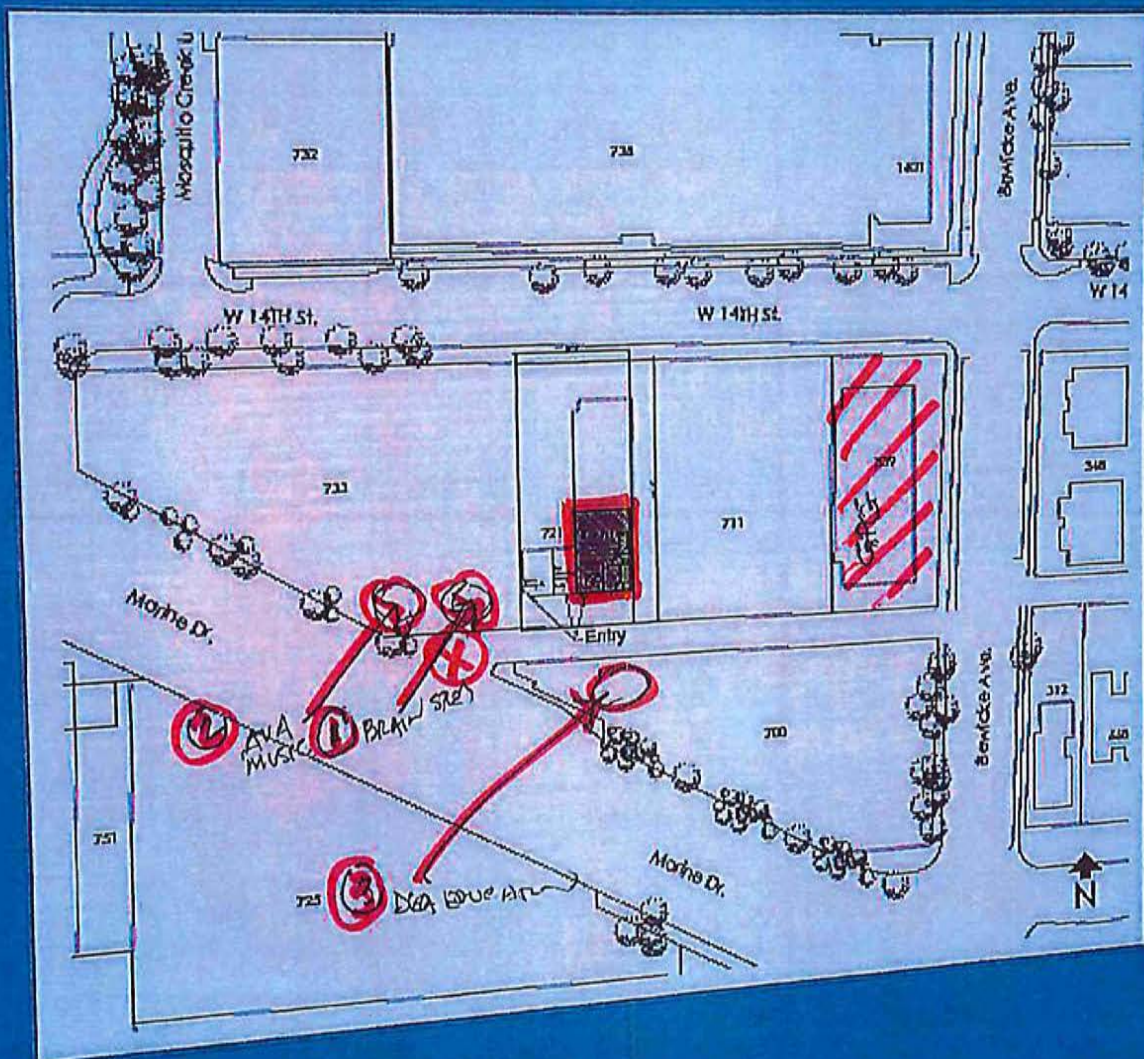
Krystian Wetulani
City Cannabis
604 282-3097
krystian@citycannabis.co



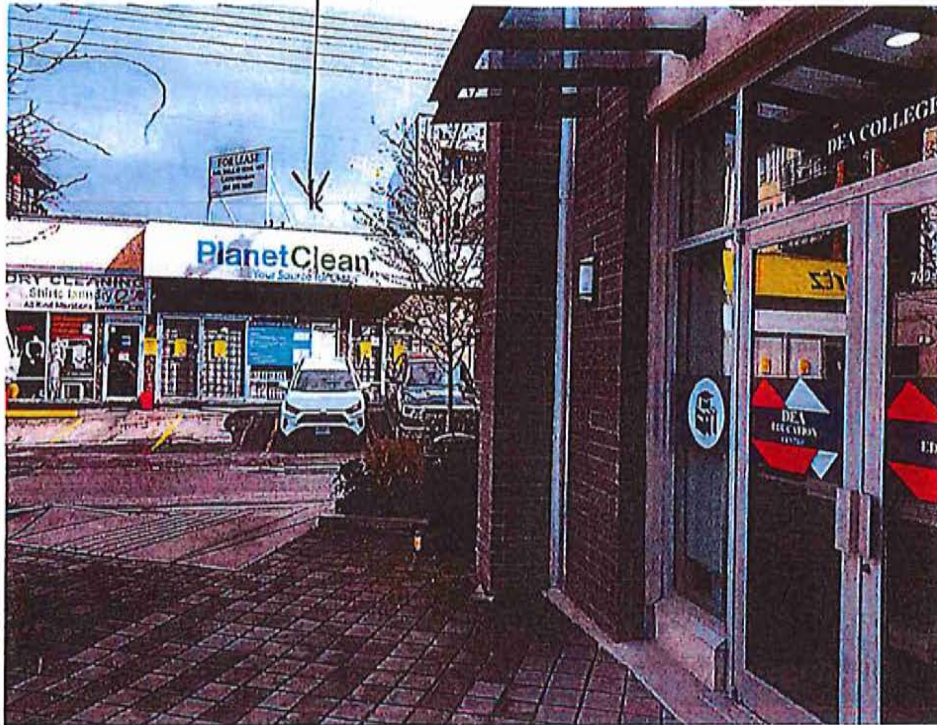
Planning Department Contact: David Johnson, 604 990-4219, djohnson@cnv.org

This meeting has been required by the City of North Vancouver as part of the rezoning process.

SITE PLAN



PROPOSED CITY CANNIBALIS
LOCATION



DEA EDUCATION CENTRE
1160-700 MARINE DRIVE
NORTH VANCOUVER, B

David Johnson

From: DEA Eduction Centre [REDACTED]
Sent: March-30-19 1:24 PM
To: David Johnson
Subject: Fw: 725 Marine Dr.: City Cannabis rezoning application.

Dear David,

As part owner in the business: Discover English Academy (Language School) licensed and operating at 700 marine Dr. Discover English Academy is licensed at Language school for Kids and youths. Our clients are aged 5-17 years of age. I recommend that this block **should not** be rezoned to have a Cannabis organization as there are three educational companies catering to children in this block less than 300M away from 725 Marine Dr.

As well, in this block is Ava Music at 734 Marine Dr. giving music lessons to children as young as 3 years of age. Brainstem giving Educational Services to kids.

I am strongly against this zoning applications approval and believe that another block should be chosen for City Cannabis to be located where there are more businesses that cater to adults and not children.

Regards,

Yalda Ahmadvand
M.A. Linguistics & TESL
Director
DEA Professional Language & Training College
[REDACTED]

David Johnson

From: .. [REDACTED]
Sent: April-03-19 2:02 PM
To: David Johnson
Subject: RE: Proposed Dispensary

I want to send you an email to let you know I am a resident of North Vancouver and I oppose the opening of a dispensary in the lane-way between 14th and Marine Drive. I do not feel this dispensary will be good for the neighborhood. I base my opinion on a number of case studies that have shown the negative impact on communities with dispensaries. With a homeless shelter within a few blocks of this proposed dispensary, there's a high likelihood there will be an increase in crime that is already attributed to this shelter.

The children of NV should be put first when making this decision. Will it benefit the lives of NV's children?

Colorado is a good place to look for this answer:

Opponents say the marijuana industry is clearly going after young people, getting them comfortable with the drug and getting them hooked. Edible marijuana products like candies are aimed directly at youth. And with more than 300 retail outlets selling them in Denver alone, they are more prevalent than any other types.

A top concern for many people who are now part of the resistance is the fact that kids under the age of 21—the minimum age for purchasing marijuana that was written into the law—are nonetheless consuming it at stunning levels, according to the Rocky Mountain High Intensity Drug Trafficking Area (RMHIDTA), an offshoot of the Office of National Drug Control Policy, which coordinates efforts between federal, state and local drug-enforcement agencies.

"I feel like we're losing a generation. I talk to these kids, mainstream kids, and they are doing the concentrate every day. Every day," says Diane Carlson, co-founder of Smart Colorado, a youth advocacy group that works with many schools. "The potential for harm and the implications for their future is unfathomable."

As a result, marijuana usage is affecting all aspects of life in Colorado—education, business, health care and law enforcement alike. "You have a lot of negative impacts," says RMHIDTA Director Tom Gorman. "ER (visits), hospitalization, (citations for driving under the influence of drugs), are all increasing."

It is important to point out the levels of its main psychoactive ingredient, tetrahydrocannabinol (THC), are 400 percent higher than they were three decades ago, according to a plethora of sources, including the *New England Journal of Medicine*.

David Johnson

From: Raein Jamshidi [REDACTED]
Sent: April-04-19 11:27 PM
To: David Johnson
Subject: City Cannabis Co permit application

Hello Mr. Johnson,

I am writing to you because I will not be able to attend the April 9th open house. I live in 733 West 14th Street and I wanted to voice my opinion and concern about the proposed location of this Cannabis retail location at 725 West 14th Street. There is housing located on all 4 sides of the proposed location. In those homes there are a lot of toddlers and young children. I know the city has bylaws saying no retailers within 100 meters of schools, playgrounds, shelters, etc. But considering how many children live so close to that location and walk past it on their way to Westview Elementary or STA. Both are very close. There is also a shelter that is extremely close to this location as well. This is also where the proposed B-Line bus stop will be and there may be a lot of younger individuals who use the service that I believe the bylaw is trying to protect.

The other location on Marine Drive is still too close but there was a Cannabis retailer operation illegally out of that location and although I still think it is too close to all locations mentioned above, it is more desirable than this location.

If you consider the demographics in the immediate vicinity and the location of 2 schools and a shelter I strongly believe this location is not ideal and implore you to consider these facts before making your decision.

Thank you for your time.

Raein Jamshidi
[REDACTED]

City of North Vancouver
141 W. 14th Street
North Vancouver, BC V7M 1H9

Dear Mr. Johnson,

Re: Retail Cannabis, 725 W 14th Street, North Vancouver

My name is Brady Faught, I'm a Professional Engineer at the City of Vancouver and an owner resident at #406 - 317 Bewicke Avenue.

I attended the rezoning meeting last night and provided my feedback via comment form. However, a letter from Gulf Pacific Group was distributed to our strata members objecting the proposal for City Cannabis adjacent to our building. I am concerned as I don't want this letter to be perceived as representative of all opinions in our building.

I am a strong supporter of this proposal for a number of reasons:

1. Local business growth is much needed in our area: I welcome the opportunity to grow local businesses around our building, as it currently feels like a thorough-way for vehicles, with little space or reason to spend time in the area. The B-line plaza combined with great local businesses will add to the City and economic vibrancy on Marine Drive.

2. The product in question is 100% legal and regulated: Concerns about our neighbor halfway house are unsupported – cannabis is legal and may be purchased online if you are over 18. The residents have always been friendly mature adults and can raise any concerns themselves. As someone frequently around our building (walking my dog), the 'student drug deal' comment is also unsupported – these are students waiting for pick-up from their continuing education in the building. In 2 years I have not once seen any 'shady' scenario.

3. Proven successful and courteous businesses: With respect to second hand smoke and loitering, the former Weeds store one block west never had anyone loitering outside. I never smelled smoke, and the staff were always professional and courteous.

4. Proximity to schools (counter opinion): In a dense community like the City of North Vancouver, there will almost always be a church, school, rehab facility or otherwise somewhere in the area. Under this logic there would be no feasible place. The concerns I believe can be easily mitigated, and just like a liquor store, regulation is in place to prevent any interaction with minors.

5. Traffic: With regards to car traffic in the lane, as a resident for 2 years there has never once been an issue of too much traffic or congestion in the lane with existing businesses. With the future B-line providing excellent access to the stores, I see no reason to believe any additional traffic and marine drive closure will have detrimental impact on traffic.

Thanks for your time,



Brady Faught, P.Eng
Unit #406 – 317 Bewicke Avenue

April 10, 2019

City of North Vancouver
Development & Planning Services
141 W. 14th Street
North Vancouver, BC V7M 1H9
Attn: Mr. David Johnson

RE: Retail Cannabis, 425 West 14th Street, North Vancouver

Dear Mr. Johnson,

Please accept this letter to represent our firm's **STRONG OPPOSITION** to the proposed application for City Cannabis to locate their retail cannabis outlet at 425 West 14th Street, North Vancouver.

By way of introduction, I am the owner of the adjacent property located at 711 W.14th Street, North Vancouver that was rezoned and is now subsequently being developed as The Five Points – 44 Residential Units and 6 CRUs. In addition to this project, The Regency Group invests in other projects in North Vancouver as a minority partner and has invested in a number of businesses and development projects in North Vancouver (District and City) since 1983, including most notably, the Regency Auto Group, which started at 1160 Marine Drive. On a personal note, I am also a resident of North Vancouver.

When I recently saw signage for the proposed retail cannabis outlet, I was, quite frankly, shocked and appalled. During our discussions with the City of North Vancouver (the "City") when we were rezoning our neighboring property, there seemed to be a keen focus on affordability and making the area more family friendly – we actually tailored our development to first-time homebuyers and young families seeking to enter the market in hopes that this demographic would stand a chance at finding long term residency in the community where they were born/raised – otherwise not possible given the upward price trajectory of the market that priced-out so many and forced them to leave the area. This pocket of North Vancouver is surrounded by stratified condominiums where CRU owners are generally disallowed from leasing to cannabis stores – 700 Marine Dr., Remix, The Five Points, Creston, Noma, etc. For all intents and purposes, 425 W. 14th is in the middle of a dense, newly-built residential neighborhood, albeit a modern one that comprises condominiums instead of single-family homes. In my view, not exactly a good location for this type of retail use given the demographic that resides here.

Furthermore, this community (or at least that envisioned by the OCP), is also home to three (3) schools / educational facilities in extremely close proximity as well as Westview Elementary and St Thomas Aquinas School. Having direct neighbors to cannabis retail frontage that are educational facilities just doesn't seem right; as a concerned parent, I can't imagine this will be either (a) good for business for those educational facilities or (b) good exposure for the children who attend those facilities, from both a health and influence perspective. Along with this line of thought, The Five Points recently had interest from a tenant looking to lease space for a daycare within our development. As we have not commenced marketing of the commercial space just yet, I believe the opportunity for a new daycare in the area would not exist should the City proceed with approving this development permit application. I also understand that there are some restrictions on cannabis retail placement in the context of proximity to educational facilities.

The area's increased density called for in the OCP has mostly been achieved, with the exception of 425 W. 14th Street. One of the many advantages to this increased density is the creation of community and a neighborhood that hopefully experiences a reduction in crime. We have historically seen drug deals in this area with very little response from the police (there is little they can do in these situations – by the time it is reported, perpetrators have left the area, so it's no fault of the police department who does great work!) – and it was our hope in adding to the already thriving community, with our

development, was that the increased density would help in this reduction of crime. We went so far as to agree to provide access to our underground parking lot by way of *uncompensated* right of way granted to our neighbor, with the goal of ensuring 425 W. 14th would not become an abandoned lot as it otherwise would have been too narrow to accommodate the OCP. It's unfortunate, albeit within the City's and property owner's full rights, to now see this retail usage moving forward when there was so much positive momentum in the neighborhood, which already works to assimilate the residents of the halfway house located on Bewicke Ave, across the street from the subject laneway.

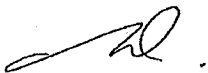
Lastly, the proposed laneway closure – which was contemplated at the time of our rezoning, and we made parking accommodations for this eventuality – will undoubtedly negatively impact the local businesses already operating in the laneway. The other businesses housed at 425 W. 14th Street – a rental car company (high traffic volume and parking requirements, short- and long-term) and a dry cleaner (high traffic volume, short-term) – already create congestion in the lane. A further high-volume outlet will only worsen things, particularly when the lane closure is factored in. There are just 7 parking stalls along the store frontage – can we be sure there will be no further congestion? Will there be spillover effects to the surrounding retail businesses and their parking requirements? To be clear, we are not opposed to the lane closure as we were informed during rezoning, however, the vision of the OCP was to eliminate retail in this laneway, NOT to expand it, as is the current case.

I'm not opposed to having now-legal cannabis retail outlets in North Vancouver, but context matters. This usage in areas of high exposure to children doesn't make sense. This usage in an area of a halfway house doesn't make sense (the North Shore Shelter and Housing Centre is also close by, a few blocks away at 2nd St W & Bewicke). I would ask that the City carefully reconsiders this application and whether it fits within the context of the neighborhood, its residents, the OCP and the kids who will be exposed to a drug whose effects and influence are not yet proven in the context of the community. Surely the City can find a more suitable location.

If you have any questions or require further explanation on the above, please don't hesitate to contact me at AleemA@regencygroupcda.com.

Yours truly,

TRG CAPITAL CORP.
TRG (THE FIVE POINTS) PROJECT LTD.



Per: Aleem Ahamed
Its: Managing Director

RE: CITY OF NORTH VANCOUVER

I OBJECT ~~REASON~~ THE PROPOSED BUILDING
ABOUT THE REZONING APPLICATION
ON 725 WEST 14TH STREET. I DON'T
LIKE PEOPLE ALL GATHER IN MY NEIGHBOURHOOD
FOR BUYING THEIR MARIJUANA PRODUCTS.

OWNER OF REMIX
MAY CHAN 309
mm

- I believe that if people are to have access to marijuana, alcohol or any other genre of drug, it should be done in a safe manor and so I am not against opening marijuana shops throughout the province.
 - It would be best if these shops are placed in commercial areas and community plazas, where people over the age of 19 are going already (i.e. near the BC Liquor Store).
- In B.C.'s law, it is noted that marijuana shops must not be placed within 100 metres of schools and education centres.
- In placing the marijuana shop near Ava Music, you are placing a shop within less than 40 metres from a school with over 400 young students.
- Why should children that go to private schools and extracurricular youth activities be subjected to different rules than they would if they were to attend a public school?
- You are also choosing to place your shops in a residential area, which could be detrimental to recovering addicts, students and families who are choosing to veer away from marijuana, alcohol and drugs entirely.
- There is an alleyway between the proposed cannabis store and the 730 Marine Drive building. There is already plenty of unsafe activity occurring during the night in this area, and the contribution of a marijuana shop would only increase this upon its arrival.

Homayra Denis owner of
Ava Music & Art Centre Ltd.

734 Marine Drive, North Vancouver, BC

[REDACTED]

[REDACTED]

City of North Vancouver
City Clerk's Department

MAY 27 2019

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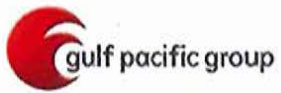
David Johnson

From: Bruce Russell [REDACTED]
Sent: May-27-19 3:56 PM
To: David Johnson; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmilroy@cnv.org; Tony Valente (Councillor)
Subject: Retail Cannabis Rezoning, 725 West 14th Street, North Vancouver, BC.

Dave, Mayor and Council, further to my letter of April 8, 2019 in opposition to the above rezoning/use in our immediate neighbourhood a review of CNV's Recreational Cannabis Retail Policy raises further concerns, if not inconsistencies in the City's stated planning intentions and actions. As a nearby commercial property owner in which our businesses are located, who will be negatively affected by a retail store in such a questionable location, fronting onto a laneway that is proposed by the City to become one-way for a B-Line bus stop or in the alternative a partial 2-way lane with restricted entry at the west end with no west bound Marine traffic permitted, I have justified reasons for my opposition. I am deeply perplexed by the following;

1. The City has expressed concerns for a small number of "sensitive uses" yet has ONLY established a "sensitive use" distance setback of 100m from the proposed cannabis store. This distance is well below the 200 – 300m set by most municipalities. Further, I think the City is being very "insensitive" to the fact there are three (3) licensed educational businesses virtually adjacent to the cannabis store or within 60m. All 3 businesses cater to young students. While the City may argue that neither is a "public or private elementary or secondary school", they are still an academic business, teaching young, impressionable students. As per the expression, "a rose by any other name is still a rose"!
2. I note with interest the North Shore Shelter is one of the few listed "sensitive uses" (page 2, Locational Criteria #2 in your Recreational Cannabis Retail Policy) which at 150m from the subject 725 West 14th Street location is comfortably/conveniently beyond the 100m sensitive use distance. I question the City's concern for the North Shore Shelter yet total lack of concern for the St. Leonard's Halfway House (312 Bewicke Avenue) which is ONLY 92m metres from the subject 725 W. 14th site. Surely if the type of clientele at the NSS is a concern why not the Halfway House? Why the inconsistency? I suggest the residents of SLHW, who are recovering from a drug and alcohol addiction problems every much deserve the same "sensitive distance protection" as the NSS occupants.
3. I refer you to you to the CNV Recreational Cannabis Retail Policy (2nd section) where on page 16, subsection 3 in the Minutes from the APC September 12, 2018 meeting (bullet #15) is states: ***"The City is not considering locating stores in residential or industrial areas"***! The subject site is heavily surrounded by multi-family residential with a 44 unit development nearing completion (The Five Points) immediate to the east of the proposed store. All of these developments have easy to access underground parking which makes for a very convenient, nearby place to smoke the legal cannabis. We already have students from the nearby Saint Thomas Aquinas School who use our lane parking for drug deals, we certainly do not need any more.

I urge Council NOT TO GIVE THE PROPOSED REZONING FIRST READING. There are better located retail properties to the west of Fell Avenue, with better access/egress, better parking and not close to either educational facilities or the St. Leonard's Halfway House. We do not have a problem with the type of use, just the location and not for NIMBY but very practical reasons. Should any council member wish a tour of our already congested, unsafe, no-parking lane, I would be happy to accommodate you at any time. The proposed site virtually has NO PARKING which further makes it a very poor location. Please respect the needs of the existing businesses who have been paying taxes for many years who; those which cater educationally to youth and the hundreds of residents in the immediate area. Better planning can surely find a better location. Thank you for your consideration.



Bruce Russell | President
BruceR@gulfpacific.ca | C: 604.209.8487

Gulf Pacific Property Management Ltd.
T: 604-990.1500 ext. 308
F: 604.990.1766
351 Bewicke, North Vancouver, BC V7M 3E9
www.gulfpacific.ca



Please consider the environment before printing this e-mail and attachments

David Johnson

From: Alex Van Samang <[REDACTED]>
Sent: May-03-19 2:02 PM
To: David Johnson
Subject: City Cannabis Proposal 725 West 14th Street

Dear Mr. Johnson

I have many concerns about the City Cannabis proposal at 725 West 14th Street. This location is not suitable period. Half a block away is a rehabilitation facility and a block away is the North Shore Emergency Shelter. West 14th Street is now mostly residential and two blocks up the road is Westview Elementary School. We are mostly family oriented complexes and condominiums with three small stores in-between...one store of which was the former Four Gardens store that was plagued with problems.

A more suitable location would be in the commercial business area by Save On Foods or Pemberton Street or the store that recently closed next to Blitz autobody across from the Ginger Jar Furniture Store. The Automall area is not a bad location either. All of these locations would have ample parking with no residential communities already in place.

I am supportive of these shops but not at this location. I hope you can understand my point of view and not allow this City Cannabis proposal to move forward.

Regards

Alex Van Samang
402-733 West 14th Street
[REDACTED]

David Johnson

From: Bruce Russell <[REDACTED]>
Sent: April-15-19 3:31 PM
To: krystian@citycannabis.co
Cc: David Johnson; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmilroy@cnv.org; Tony Valente (Councillor)
Subject: Rezoning at 725 West 14th Street, North Vancouver ~ retail cannabis store

Follow Up Flag: Follow up
Flag Status: Flagged

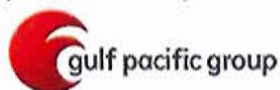
Krystian, I believe you may have been the 1st City Cannabis representative I chatted with at last Tuesday's (April 9th) Developer's Information Session. I spoke to 3 or 4 City Cannabis representatives to whom I explained the many reasons I/our company believed the rezoning and proposed retail cannabis use at the subject site was inappropriate and ill-conceived. As the owners of the nearby building and occupants of 351 Bewicke (for about 10 years) I have extensive knowledge and a very good understanding as to the "challenges" of the very short lane onto which your proposed cannabis store would front. In my letter of April 8, 2019 to the City of North Vancouver (CNV) I listed a number of reasons why 725 is not a good location for a retail cannabis store, reasons for which I don't hesitate to advise a good number of our nearby property owners, businesses and residents are in agreement, such as: the VERY CLOSE proximity of not one but three (3) educational businesses that cater to young students; the nearby St. Leonard's halfway house opposite the east end of "our lane" at 312 Bewicke Avenue; exceptionally limited parking with ONLY 7 storefront parking stalls that are already "overtaxed" by Hertz and the Drycleaner businesses immediately adjacent to your proposed unit; the CNV proposed B-Line CLOSURE of the west end of the "subject lane" at which time the already crowded and challenging lane activity (cars, delivery vehicles, garbage trucks, pedestrians, etc.) will become a nightmare made even worse by a high traffic generator business like yours. As part of our commitment to the community our company provides space to the Highlands United Church which operates a Shelter To Home community service which stores donated furniture which is donated to individuals/families moving into their 1st apartment/townhouse, some of which have had some challenging life struggles. I say no more. Clients access the Church storage area through our secure parking entrance which is off of the subject lane.

On the basis of the general discussions I observed around your display, as well as meetings I have had with many neighbours there appears to be considerable opposition to your rezoning, all for very good reason. I was very surprised that a few of your representatives were not aware of the poor parking; the proposed lane closure nor the presence of 3 educational business so close to what would be the entrance to your store. If I was a retail cannabis store owner I would reject the location on the basis of the poor locational characteristics. I was somewhat astounded when one of your representatives suggested "the suitability of the site may be questionable and/or marginal as to acceptability because the CNV are very limited as to their number of good/better sites". I responded by suggesting: *"that was hardly a valid reason for the city allowing a marginal site to be considered"*. All I received in reply was a shrug of the shoulders which gesture unto itself said a great deal. I went on to suggest: *"I thought it very unfair and shortsighted the city would give so much, if not more, consideration to a new business in a bad location rather than to the property owners, businesses and residents in this immediate area who have been here for many years and paying taxes. I think the City's site count is overstated while their parameters for site qualifications are inadequate and badly flawed"*.

As a former small "D" developer, property owner and commercial property manager (50+ years) our company is well aware of the commonly held developer's, landlord's and retail tenant's belief: "the 3 most important characteristics of a good/successful site/business are: (1) location; (2) location and (3) location"! For the proposed retail cannabis use the subject site fails on all three counts. A great/successful location is a function of good access/egress (consider the lane closure which is a decision driven by the City). Further it is also a function of good view lines to the business, which are

virtually non-existent to this site, a fact confirmed to me by a former tenant in the subject space shortly after the completion of 700 Marine. And leave us not forget the importance of GOOD PARKING, which one of your representatives surprisingly suggested was strong feature of the site!! Nothing could be further from the truth with 3 side-by-side businesses fighting for just 7 parking stalls. As it is at present even with your potential unit vacant, Hertz and the Drycleaners (existing businesses) have a constant problem trying to restrict the storefront parking for their customers only. I can only imagine what it would be like with a high traffic generator like a retail cannabis store. IMPOSSIBLE is a word that comes to mind. The very limited parking situation is made worse as there is no LEGAL lane parking; no street parking on Marine Drive and no public parking nearby. Just imagine the chaos when the city closes the lane virtually in front of your subject premises! I can't imagine you will like it, neither will your neighbours and nor should the latter be subjected to it.

For the record, I am not a prude and I am certainly not against legalized cannabis sales. Our company in fact manages a retail centre where a legal cannabis store is about to open. The 725 rezoning is simply a case of a bad site and the wrong location for such a "use", a site that should not have been made available in the first place. We would encourage both you and the city to find a site elsewhere that is not affected by the unique circumstances of this unfortunate location.



Bruce Russell | President

BruceR@gulfpacific.ca | C: 604.209.8487

Gulf Pacific Property Management Ltd.

T: 604-990.1500 ext. 308

F: 604.990.1766

351 Bewicke, North Vancouver, BC V7M 3E9

www.gulfpacific.ca



Please consider the environment before printing this e-mail and attachments

Petition to stop a Cannabis Store from opening in 725 Marine Drive, North Vancouver, BC

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Print Name

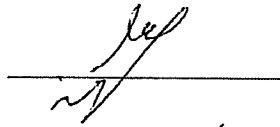
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Telephone

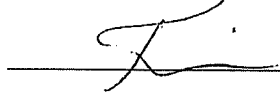
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Fireoza Khoshnood



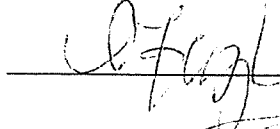
Tina Naderian



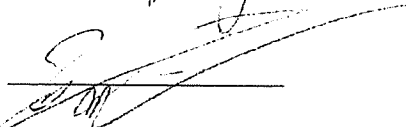
Martaza

Martaza Nabati

Azra Moradian



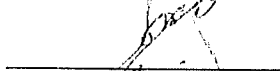
Hamid Tashkorian



Hamed Ghaffari




Karbeh Nikhan

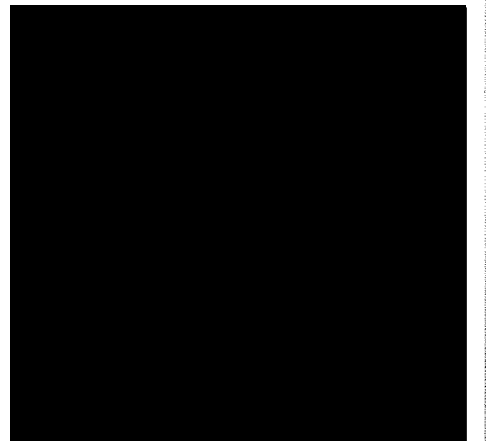


Sohela Alahverdian



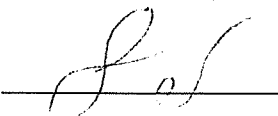
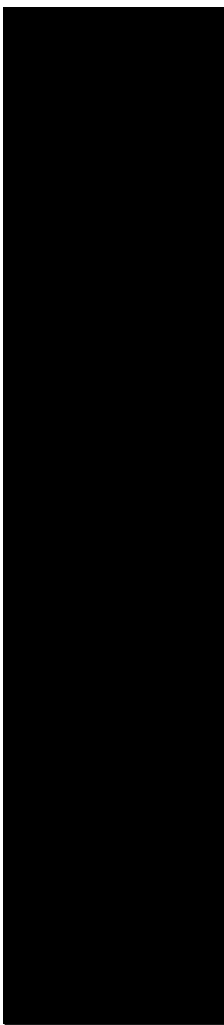
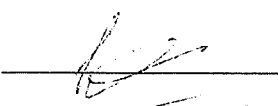
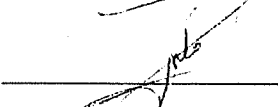
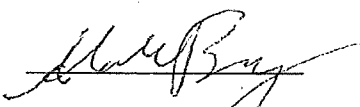


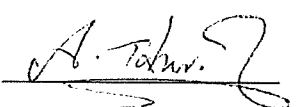
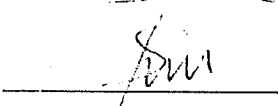
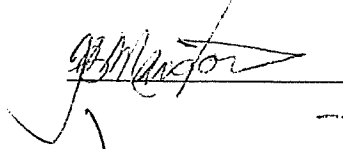
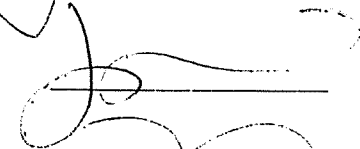
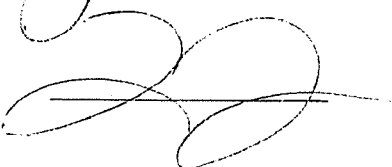
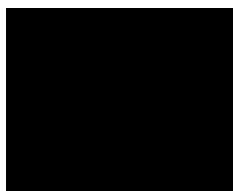
ELAHEH SHAVLIAN Eshavlian

BIJU ARABAL 



Petition to stop a Cannabis Store from opening in 725 Marine Drive, North Vancouver, BC

I, the undersigned, support Ava Music's application for opposing the Cannabis store to operate in the above address, due to having several school and education centers in a very close proximity.

| Print Name | Signature | Telephone |
|------------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| Masoud Tahmaseb |  |  |
| Sheila Nikoo |  | |
| Faeraz Ramestki |  | |
| Ali Basig |  | |
| W. SAU TIP |  | |
| Charmen Ramestki |  | |
| Amash Taheri |  | |
| IONELA SCARE |  | |
| JOE MARSTON |  | |
| Jan Veiel |  | |
| T. Duncan |  |  |

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Print Name

Signature

Telephone

C. SOBREN

[Signature]

H. Keyvanara

[Signature]

H. Dehghan

[Signature]

Xuan Zhang

[Signature]

Jan Riddell

[Signature]

Christina Guay

Christina Guay

MARSHINE HAMBLETON

[Signature]

SANDA TRESNICK

[Signature]

Teresa Smith

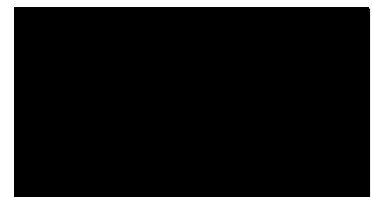
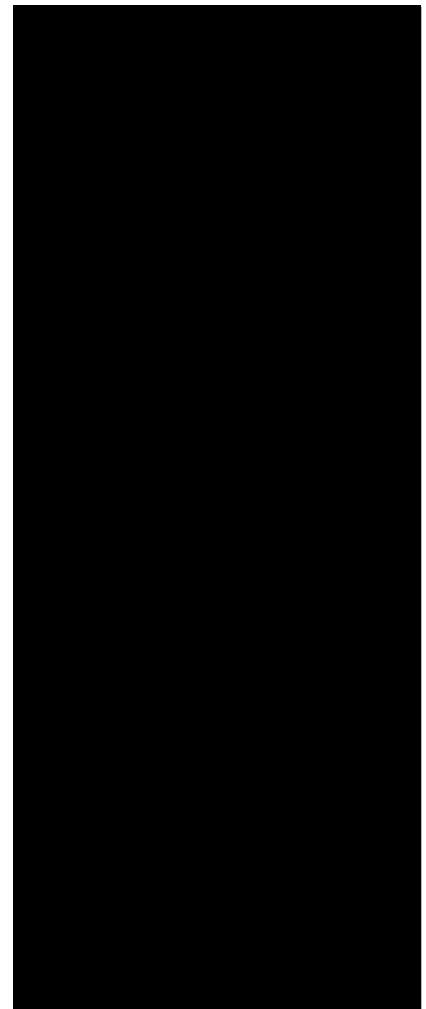
[Signature]

Gynthia Arri

[Signature]

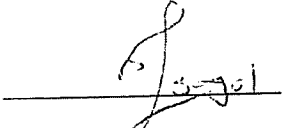
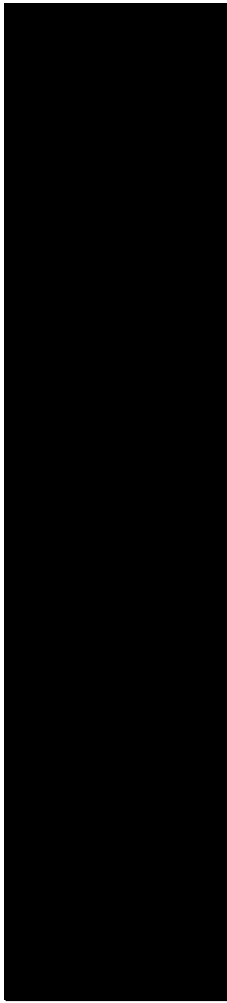

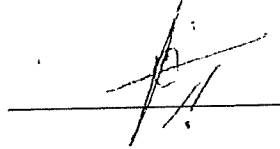
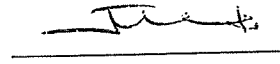
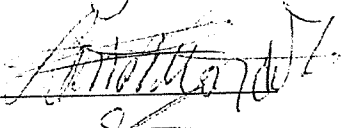
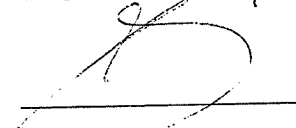
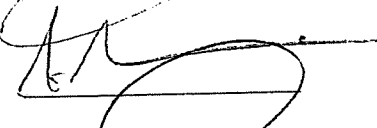


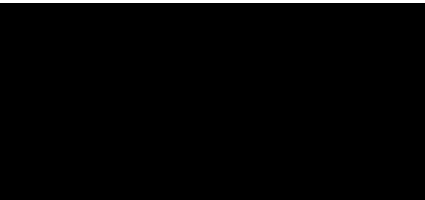
Kathy Kishat

[Signature]



Petition to stop a Cannabis Store from operation in 725 Marine Drive, North Vancouver, BC

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| Print Name | Signature | Telephone |
|---------------------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| <u>Sogol Tehrani</u> | <u></u> |  |
| <u>Merve Tasdelen</u> | <u></u> | |
| <u>Calvin Le</u> | <u>Calvin Le</u> | |
| <u>Sanaz Sorourbakhsh</u> | <u></u> | |
| <u>Taras Shevchenko</u> | <u></u> | |
| <u>Emily G</u> | <u>Emily G</u> | |
| <u>Silvia Velarde</u> | <u></u> | |
| <u>Omid Badali</u> | <u></u> | |
| <u>Ali Abedini</u> | <u></u> | |
| <u>Hossein Keyhan</u> | <u></u> | |
| <u>AURELIA TORANOL</u> | <u></u> |  |

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Print Name

Signature

Telephone

Jason Rose

[Signature]

Yi Zhou

[Signature]

Kenya Cruz.

[Signature]

Maryam Shcaibi

[Signature]

Pezhman Mekhtari

[Signature]

Mohsen Movahed

[Signature]

Marjan Khesravi

[Signature]

Babak Rezania

[Signature]

Maryam Golriz

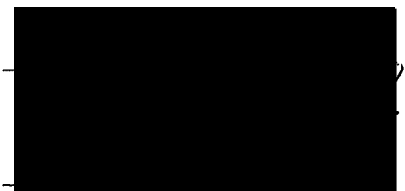
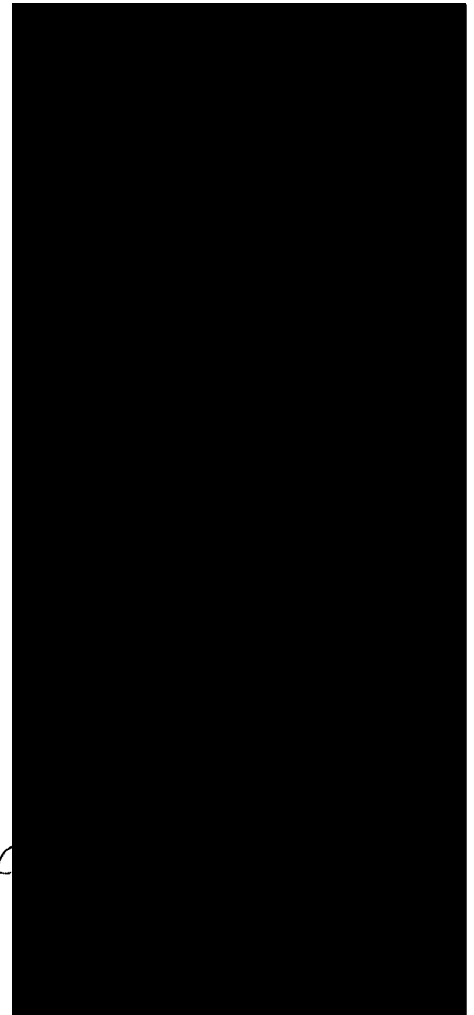
[Signature]

Mahshid Taheri

[Signature]

Samaneh Faezi

[Signature]



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Print Name

Signature

Telephone

Shirin Zaratshan

[Signature]

Yaser Abdoalazimi

[Signature]

Hadi Soleimani

[Signature]

Shiraz D'Mello

[Signature]

Nazgol Rahmani

[Signature]

Shahla Hatami

[Signature]

Rowena Simpa

[Signature]

Rojina Farahmand

[Signature]

Khosrow Dehghanpour

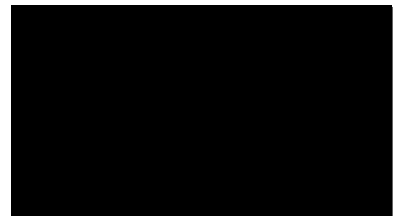
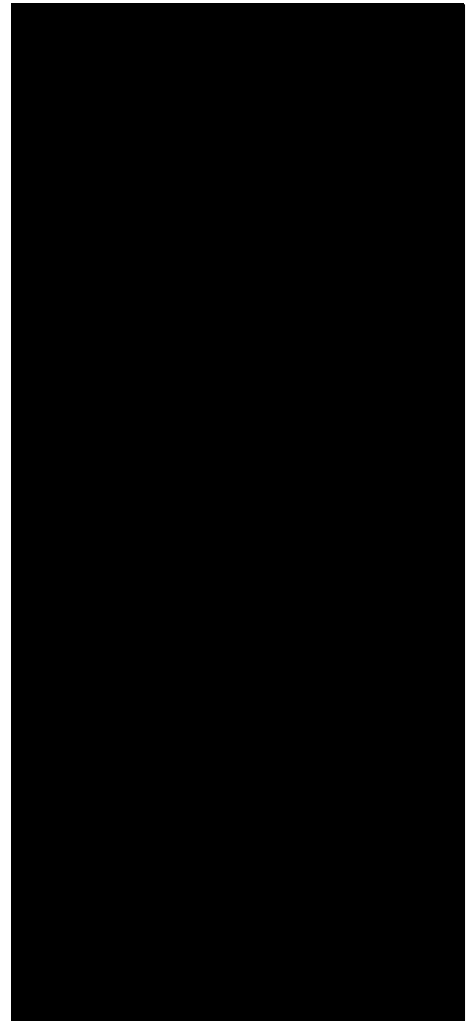
[Signature]

FERI KIRGIMI FARD

[Signature]

Jamal Zadeh

[Signature]



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Print Name

Signature

Telephone

DAVID CASTLE

[Signature]

DAVID BAKKE

[Signature]

RUXANDRA VASILJEVIC

[Signature]

Xi Ya

[Signature]

Heather McNeil

[Signature]

Julia Lee

[Signature]

Ghazaleh KESHAVARZ

[Signature]

MEHRAN HAMIDI

[Signature]

Matthew Tsui

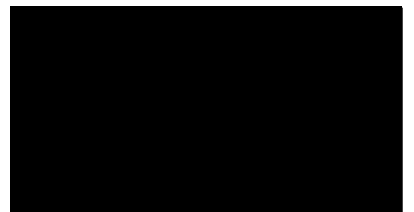
[Signature]

Mano Silva

[Signature]

Ganbuji n

[Signature]



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Print Name

Signature

Telephone

Karen Bratie

Karen Bratie

Kandice Leaf

Kandice Leaf

MARIETA BALAHADIA

Marieta Balahadia

JANINE GILLMAN

Janine Gillman

Sanaz Kashani

Sanaz Kashani

Martha Teuber

Martha Teuber ABSO

Ali Mathur

Ali Mathur

Jade Tang

Jade Tang

JULIANA PINTO

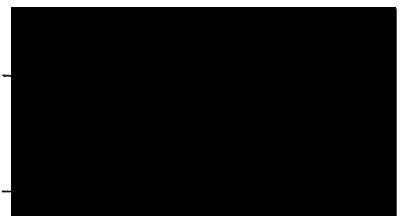
Juliana Pinto

Mohab Kiani

Mohab Kiani

Ali Keshavarz

Ali Keshavarz



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Print Name

Signature

Telephone

Trina Wang

[Signature]

Ji Yeon Hong

Hong $\frac{2}{5}$ 2/10/22

Anita Lee

[Signature]

Penney Dhaneswar

Dhaneswar

Dana Kim

Dan Kim

Nazim Mozafari

[Signature]

Afsoon Shahzary

A. SHAHZAHA

Janice Leung

[Signature]

Farid Rezaei

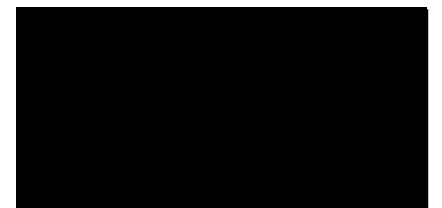
[Signature]

Mahsa Rakhshanifar

[Signature]

Tania Braun

T Braun



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Print Name

Signature

Telephone

LILYA JANGIROV

Lilya Jangirov

Dawn Kehler

DK

Rong Zeng

Rong Zeng

PARISA ERFANI

Parisa Erfani

Puya Firoozbakhsh

Puya Firoozbakhsh

LAURA ANARDI

Laura Anardi

John Akbari

John Akbari

Raymond Hooke

Raymond Hooke

Ali Dahesh

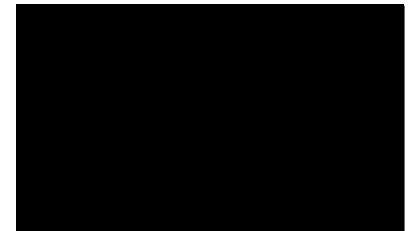
Ali Dahesh

Kourosh Shahverdiani

Kourosh Shahverdiani


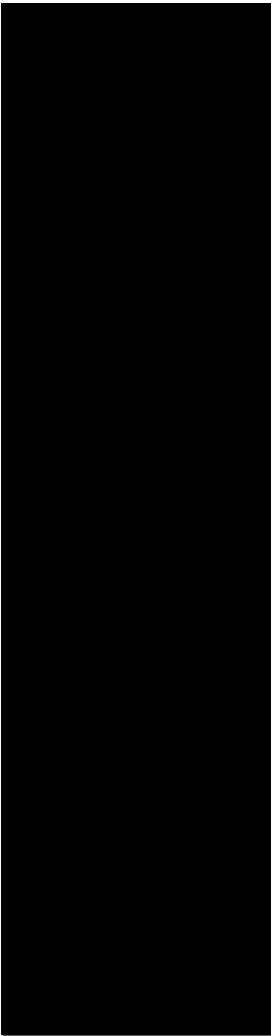
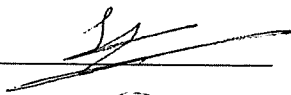

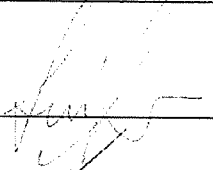



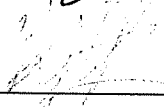
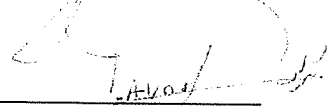

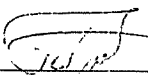
Sonali Li

Sonali Li





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| Print Name | Signature | Telephone |
|----------------------|-------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| Inge Ozdemir |  |  |
| Reyhaneh Naminani |  | |
| DAN YAN |  | |
| Shi Khodan |  | |
| Ghazal Azizi Kashi |  | |
| Ghazaleh Azizi Kashi |  | |
| Marzich Ghanaatian |  | |
| Hemayat |  | |
| ROUSH DAVOUDI |  | |
| Sasan Kelly |  | |
| Avezoo Mabrakian |  | |

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| Print Name | Signature | Telephone |
|--------------------------|--------------------|---------------------------------------------------------------------------------------|
| <u>DONNA SEVA</u> | <u>[Signature]</u> |  |
| <u>Mohsen Taghoubi</u> | <u>[Signature]</u> | |
| <u>Ipek Orug</u> | <u>[Signature]</u> | |
| <u>Majid Mohajerani</u> | <u>[Signature]</u> | |
| <u>Carla Anne Storey</u> | <u>[Signature]</u> | |
| <u>Ye Hong</u> | <u>[Signature]</u> | |
| <u>Ali Bagheri</u> | <u>[Signature]</u> | |
| <u>KEN SEWANE</u> | <u>[Signature]</u> | |
| <u>Slavka Kuthava</u> | <u>[Signature]</u> | |
| <u>Saber Ebatabaei</u> | <u>[Signature]</u> | |
| <u>Behrang Alijani</u> | <u>[Signature]</u> |  |

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Print Name

Signature

Telephone

Natasha Ala

Natasha Ala

Tetyana Goodkowsky

Tetyana Goodkowsky

Yi Zhou

Yi Zhou

Cara Anne Storey

Cara Anne Storey

Oscar Bustos

Oscar Bustos

Sarah Baldwin

730 Marine Dr

Sarah Baldwin

BRUCE RUSSELL

BRUCE RUSSELL

Chelsea Wolff

Chelsea Wolff

Linda Thompson

Linda Thompson

Submission to the City of North Vancouver

**RE: Statement of Concern Pertaining to a Recent Application
by City Cannabis of Vancouver, BC Requesting the Re-Zoning of
the Property at 725 West 14th Street, North Vancouver, BC to
Accommodate a Commercial Recreational Cannabis Storefront**

Prepared by: J.C. Marston

Email: [REDACTED]

Date: 9 April 2019

Topic: Statement of Concern Pertaining to a Recent Application by
City Cannabis of Vancouver, BC Requesting the Re-Zoning of
the Property at 725 West 14th Street, North Vancouver, BC to
Accommodate a Commercial Recreational Cannabis Storefront

Location: John Braithwaite Community Centre, Harbourview Room
145 West 1st Street, North Vancouver, BC

Date: 9 April 2019

Background:

An application was recently submitted to the City of North Vancouver (CNV) by City Cannabis of Vancouver, BC, requesting that the property at 725 West 14th Street be re-zoned to accommodate a Recreational Cannabis Sales Storefront. The property in question houses a single-story building and appears to have space for up to 4 dedicated parking stalls.

The site is currently zoned for Mixed Use Level 2 – Medium Density (incl. residential, commercial retail and office uses). Although the postal address is listed as 725 West 14th St., the property is actually situated on a laneway (referred to on vehicle GPS as Mosquito Creek Lane) which runs between and parallel to the 700 blocks of Marine Drive and West 14th St.

Immediately surrounding land use activities (within 15 metres of the subject building) include:

- A dry-cleaning establishment and a Hertz Rental Car agency, which share the same commercial structure on Mosquito Creek Lane as the proposed retail cannabis outlet
- A new, presently under construction, 4-story residential building (est +/- 50 units), which abuts the eastern perimeter wall of the proposed cannabis outlet
- A 5-year old, 4-story mixed residential), commercial retail and office building at 700 Marine Drive.

The next closest land uses (estimated to be within 15-45 metres of the proposed cannabis shop) include:

- North side of 700 block, Marine Drive (to the immediate west of the building at 700 Marine Drive), a four-story mixed residential and commercial building (built circa 2008)

- South side of 700 block, Marine Drive – a 2018 mixed residential and commercial building, plus various older commercial establishments

Elsewhere, the immediate neighbourhood is comprised primarily of a mix of low to medium density residential buildings, as well as some clustered commercial operations. The nearest public greenspace is the Mosquito Creek Park and Walking Trail, which commences about 50m to the west of the proposed cannabis shop.

Several other critical stand-alone properties in the neighbourhood include:

- Westview Elementary School @ 1660 Bewicke Ave (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Thomas Aquinas School @ 541 W Keith Rd (direct line from proposed cannabis shop to nearest property line at school approx. 300m)
- St Leonard's Society of Canada Halfway House and drug and alcohol treatment centre @312 Bewicke Avenue (direct line from proposed cannabis shop to nearest property line at St Leonard's facility approx. 50m)
- North Shore Emergency Shelter @705 West 2nd Street (direct line from proposed cannabis shop to nearest property line at NSES approx. 150m)

List of Major Local Concerns:

1. "Sensitive Use Properties" – The CNV Recreational Cannabis Retail Policy (d/2018) identifies the guidelines which govern the siting of retail cannabis shops in the city. Upon examination, the document appears to be lacking in terms of identifying and approving reasonable "sensitive use properties" - that is, nearby existing land uses which, for a variety of reasons, could be reasonably seen to be in direct conflict with a nearby retail cannabis operation.
2. Separation Distances - The second area where the CNV policy appears to be noticeably deficient concerns the separation distances which have (or, in most cases, have not) been established between the proposed cannabis outlet and "sensitive use properties."

NOTE: Please refer to Tables 1 and 2 (attached) for further elaboration on Concerns 1 and 2.

Table 1 identifies the key regulatory provisions (in the form of both "sensitive use property designations" and approved separation distances) currently in place for several North American cities, including the CNV. In virtually every instance, the separation requirements in each category are significantly higher for communities other than the CNV. Similarly, most of the cities examined incorporate a broader

range of significant “sensitive use properties” than does the CNV. This is particularly important to bear in mind, as many of the American cities examined (such as Seattle, Denver, Tacoma, and Anchorage) were among the first to address local recreational cannabis retail distribution issues, based upon early legalization initiatives in their respective states between 2012 and 2015. Accordingly, they have had a generally longer history (and, by extension, more experience) in dealing with recreational cannabis sales matters than most other North American cities.

Table 2 identifies all “sensitive use properties” which the CNV has chosen to incorporate into its basic mandatory 100m separation zone. Significantly, the CNV Policy has included some rather puzzling “sensitive use sites” (such as the city library and the NV School District office??), but has chosen to remain silent on a number of seemingly more significant categories, including parks/playgrounds, drug/alcohol treatment centres, daycare centres, etc.)

3. Impact on Local Crime – In North America, cannabis for recreational (or medicinal) purposes has generally been viewed as an illegal substance by legislators and law enforcement agencies since at least the 1950’s. Cannabis production, distribution and use has invariably been associated with all levels of crime, from lesser property offences to organized criminal activities.

While the public perception towards recreational cannabis use has softened considerably in recent years, as evidenced by the increasing number of jurisdictions where it has become legalized, the stigma of a link between cannabis and various levels of criminal activity remains firmly ingrained in the collective psyche of a large proportion of the population. In fact, recreational cannabis has only been legalized in 10 of the 50 states. Many civic governments in those 10 states continue to ban the sale of recreational cannabis outright. Significantly, the federal government of the United States continues to refuse to recognize the legalization of recreational marijuana at any level, and in Canada, where the federal government recently legalized recreational cannabis, a large number of local jurisdictions continue to either ban the substance, or have chosen to take a more measured “wait and see” approach.

In the Hamilton community of North Vancouver where the subject retail cannabis re-zoning application is centred, the traditional concern that such an operation will attract more transient or occasional “bad elements” to the neighbourhood is at the forefront of the discussion. It is going to take time and familiarity to determine whether this concern will be based on perception or reality. Right now, however, perception IS the reality, and this is a significant “hot button” issue for many local residents and business owners.

In addition to the long-standing maxim that “approving new pot shops will generate increased crime rates in our communities,” the Hamilton area is faced with another, likely more legitimate, public safety concern relating to potential criminal impacts associated with opening up a recreational cannabis distribution outlet in the neighbourhood. Within two blocks of the proposed cannabis shop, there are two separate community facilities which must be considered as being wholly incompatible with a nearby cannabis distribution facility – firstly, the St Leonard’s Society drug and alcohol rehab facility for parolees at 312 Bewicke Avenue (approx. 50m from the subject property); and secondly, the North Shore Emergency Shelter for homeless individuals (perhaps 150m distant) . While both of these operations provide valuable services to the Lower Mainland community at large, they are nevertheless a constant source of concern for area residents. Police, fire and ambulance service visits are literally daily occurrences – especially to the NS Emergency Shelter, where the primary reason for emergency service call-outs is purported to be for serious drug overdoses. Many of the residents of these facilities have criminal records, are afflicted with serious drug or alcohol addictions, or suffer from severe mental disorders. Arguably, many of them will be vulnerable to the temptations presented by a legalized cannabis shop situated within close proximity to their shelters/treatment centres.

The likelihood that a cannabis shop at the proposed site could attract a larger criminal element to the neighbourhood, and with it an increase in the incidence of property crimes, cannot be discounted.

4. Increased Traffic along Mosquito Creek Lane – The laneway is a narrow route which currently accommodates considerable through traffic, as well as destination traffic for the Hertz and dry cleaning operations and the commercial and retail facilities situated in the lower floors of the building at 700 Marine Drive. On-street parking in the laneway is already at a premium, especially during the 9 a.m. to 7 p.m. period. In addition, the laneway must currently absorb traffic movements from the underground commercial and residential parking lot for the building at 700 Marine Drive. By next year, the new condominium which is currently under construction on the north side of the laneway will come online, with another 50 or so vehicles owned by residents being factored into the mix.

To further complicate matters, when the new North Shore B-Line route comes into effect the laneway exit onto Marine Drive is scheduled to be permanently closed, turning the end of the lane into a dead end. Vehicles travelling to the Hertz car rental, the dry cleaning establishment, and possibly the cannabis shop will be required to turn around and head back to Bewicke Avenue to exit the area.

Net overall result – added congestion in the laneway.

5. Kids and Pot Shops Don't Mix - EVER – I can't believe I even have to mention this as a primary concern; it seems so self-evident. But the CNV Policy calls for a 100m buffer for schools, and no buffer whatsoever for parks, playgrounds, or daycare centres. Combined with the other concerns identified above, this is a recipe for disaster...

Concluding Remarks:

To the planners and council, I respectfully ask you to go back to Table 1 and re-consider what other jurisdictions deem to be legitimate "sensitive use properties" and reasonable buffer distances.

I would also encourage you to develop a more rigorous methodology for determining the optimum list of critical "sensitive use properties" and separation distances, ultimately leading to a re-defined set of potential locations better suited to accommodate retail cannabis shops.

In simplest terms, the concept of zoning refers to "the segregation of land uses that are thought to be incompatible." Unfortunately, it would appear that, in this instance, the target has thus far been badly missed. Hopefully, you will see fit to go back to the drawing board and re-work the CNV Policy such that it will ultimately serve all parties affected by this locational dilemma in an optimum manner.

I recognize that the CNV is in a difficult position here. Like Brexit, there is no "perfect" solution; however, there is undoubtedly a far better outcome than one which appears to force highly incompatible interests together in the worst possible way. As it presently stands, I don't see the current 100m buffer zone or the very limited definition of "sensitive use properties" gaining any traction at the local level in the Hamilton neighbourhood. While a 300m perimeter might be very difficult to introduce due to suffocating space limitations throughout the CNV, a compromise of 200m for critical "sensitive uses" might be better received by the populace. From there, it would be possible to walk the process back in order to determine possible locations in the general area which might be able to accommodate the cannabis shop requirements. If not, perhaps a pot shop in the Hamilton neighbourhood wasn't meant to be. Plenty of municipalities throughout BC in general, and the Lower Mainland in particular, have already elected to opt out of the "marijuana bonanza," and often no decision is better than a bad one.

In any event, thanks very much for the opportunity to express my concerns. Hope this will be of some help (he said euphemistically...).

Best Regards,

Joe Marston (Email: [REDACTED])

TABLE 1: Comparative Separation Requirements for Retail Cannabis Outlets*

| City | Dist from Schools | Dist from Public Parks or Playgrounds | Dist fm Drug/Alcohol Treatment Centres | Dist from Homeless Shelters | Dist from Other Cannabis Businesses |
|-------------------------------------------|---------------------------------------|---------------------------------------|----------------------------------------|---------------------------------------|----------------------------------------|
| N Van City (2018): Policy Guideline | 100m (328 ft) | Not specified | Not specified | 100m (328 ft) | Not specified |
| N Van Dist (2019): Reqts under review | 200m (656 ft) | Not specified | Not specified | Not specified | Not specified |
| Vancouver (2018): (Bylaw approved) | 300m (984 ft) | Not specified | 300m (984 ft) | Not specified | 300m (984 ft) |
| Seattle (2014): Ordinance adopted | 305m (1000 ft) | 152m (500 ft) | 107m (350 ft) | Not specified | No more than retail facils within 305m |
| Pierce Co, WA (2016) Approved regulations | 305m (1000 ft) | 305m (1000 ft) | Not specified | Not specified | 305m (1000 ft) |
| Tacoma, WA (2016): Amended regulations | 305m (1000 ft) | 152m (d'town dists) 305m (suburbs) | 152m (d'town dists) 305m (suburbs) | Not specified | Not specified |
| Bellingham (2016): Interim Zoning Ord. | 305m (1000 ft) | 305m (1000 ft) | Not specified | Not specified | Not specified |
| Spokane, WA (2013): Ordinance adopted | 305m (1000 ft) | 300m (1000 ft) | Not specified | Not specified | Not specified |
| Fairbanks, AK (2018): Zoning regulations | 152m (500 ft) 61m(post-secondary) | 152m (500 ft) | 31m (100 ft) | Not specified | Not specified |
| Anchorage, AK (2016) Ordinance adopted | 152m-305m, based upon zoning district | 152m-305m, based upon zoning district | Not specified | 152m-305m, based upon zoning district | Not specified |
| Denver, CO (2014): Rec sales legalized | 305m (1000 ft) | Not specified | 305m (1000 ft) | Not specified | 305m (1000 ft) |
| Los Angeles (2017): Ordinance adopted | 213m (700 ft) | 213m (700 ft) | 213m (700 ft) | 213m (700 ft) | Not specified |

*Note: Generally speaking, it appears that separation requirements governing both the recreational and medical commercial distribution of cannabis products in all communities examined is the same, although it is acknowledged that there may, in some instances be minor differences.

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

TABLE 2: Detailed Separation Criteria for Retail Cannabis Outlets in North Van City*

| <u>Separation Criteria</u> | <u>Minimum Distance from Retail Cannabis Outlet</u> |
|-----------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| <ul style="list-style-type: none"> • Community & Regional Centres | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • Foundry (Youth Services Centre) | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • North Shore Neighbourhood House | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • North Shore Shelter | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • North Vancouver City Library | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • North Vancouver School District Office | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • Public or Private Elementary and Secondary Schools | <ul style="list-style-type: none"> • 100m (328 ft) |
| <ul style="list-style-type: none"> • Public Parks/Playgrounds | <ul style="list-style-type: none"> • Not specified |
| <ul style="list-style-type: none"> • Post-secondary Institutions (universities, colleges, etc) | <ul style="list-style-type: none"> • Not specified |
| <ul style="list-style-type: none"> • Drug/Alcohol Treatment Centres | <ul style="list-style-type: none"> • Not specified |
| <ul style="list-style-type: none"> • Daycare Centres | <ul style="list-style-type: none"> • Not specified |
| <ul style="list-style-type: none"> • Residences | <ul style="list-style-type: none"> • Not specified |
| <ul style="list-style-type: none"> • Other Cannabis Sales, Cultivation, Distribution Facilities | <ul style="list-style-type: none"> • Not specified |

Source: City of North Vancouver, Recreational Cannabis Retail Policy, Fall 2018 (Available on internet)

Prepared by: Joe Marston (jmarston@telus.net), 6 April 2019

TABLE 3: Key North American Legalization Dates for Recreational Use of Cannabis

| <u>Jurisdiction</u> | <u>Legalization Date</u> | <u>Comments</u> |
|---------------------------------|--------------------------|-----------------------------------------------------------------------------------------------------------------------------|
| US States: | | |
| • Washington | 2012 | Well established legal infrastructure |
| • Colorado | 2012 | Well established legal infrastructure |
| • Oregon | 2014 | Well established legal infrastructure |
| • Alaska | 2015 | Well established legal infrastructure |
| • Nevada | 2016 | Evolving legal infrastructure - inconsistent |
| • California | 2016 | Evolving legal infrastructure - inconsistent |
| • Massachusetts | 2016 | Evolving legal infrastructure – inconsistent |
| • Maine | 2016 | Evolving legal infrastructure – inconsistent |
| • Michigan | 2018 | Rudimentary legal infrastructure |
| • Vermont | 2019 | Possession of 1 oz; No retail sales |
| Canada : | | |
| • All provinces and territories | 17 October 2018 | Due to recent legalization, most provinces and communities in initial stages of defining how to proceed with implementation |

Source: Wikipedia

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenford Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koop | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koop + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE 1517 | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | +203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, V | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VAN B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOYE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgeson | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle LeMay | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD E. | 6:12 |
| 46 | Debbie Dickie | 1119 Pinning Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. 76 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd St West North Van | |
| 49 | Myra | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILLOW LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOA | 1250 LONSDALE AVE | 6:00 PM |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 PM |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 PM |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 PM |
| 9 | Don HOLT | 601-12th W | 6:15 PM |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 PM |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 PM |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 PM |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 PM |
| 14 | KKE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 PM |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 PM |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 PM |
| 17 | Stord Scalford | 312 East 1st St. Apt. #103 | 6:40 PM |
| 18 | Courtney Anson | 252 2nd St W | 6:40 PM |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 PM |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 7:43 PM |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 PM |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DINA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent I the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8713

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8713” (City Cannabis / Krystian Wetulani, 725 West 14th Street, CD-720).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-720 (Comprehensive Development 720 Zone):

| Lots | Block | D.L. | Plan | |
|-------------|--------------|-------------|-------------|-----------|
| M | 10 | 265 | 16839 | from CS-1 |

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following section to Section 1100, thereof, after the designation “CD-719 Comprehensive Development 719 Zone”:

“CD-720 Comprehensive Development 720 Zone”
 - B. Adding the following to Section 1101, thereof, after the “CD-719 Comprehensive Development 720 Zone”:

“CD-720 Comprehensive Development 720 Zone”

In the CD-720 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the CS-1 Zone, except that:

- (1) In addition to the Principal Uses permitted in the CS-1 Zone, one Cannabis Sales Retail Store shall be permitted.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.



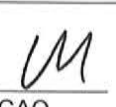
READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



| | | |
|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 1717 LONSDALE AVENUE (THE HERB CO. / SCOTT HAMILTON)

Date: June 12, 2019 File No: 08-3360-20-0494/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 1717 Lonsdale Avenue (The Herb Co. / Scott Hamilton)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714" (The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1772979](#))
2. Submitted Drawings (doc#[1761856](#))
3. Community Impact Statement and Proposed Security Plan (doc#[1761859](#))
4. Recreational Cannabis Retail Policy (doc#[1774193](#))
5. Public Consultation Summary for 1717 Lonsdale Avenue (doc#[1791579](#))
6. General Public Comments (doc#[1775340](#))
7. Zoning Text Amendment Bylaw No. 8714 (doc#[1774195](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 1717 Lonsdale Avenue.

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The building on the subject site currently has a laundromat and a shoe store adjacent to the unit. The proposed store would occupy approximately 130.0 square metres (1,400 square feet) of retail floor space within the building. The floor plan identifies locations for displays, back area offices and security gates (Attachment #2).

The applicant has also provided a Community Impact Statement and their proposed Security Plan, which outlines the applicant's contribution towards the regulation of safer cannabis products and distribution as well as outlining how their operation will be complying with Provincial regulations (Attachment #3).

Site Context and Surrounding Use

The subject site at 1717 Lonsdale Avenue is along the west side of the street, between West 17th Street to the south and West 18th Street to the north (Attachment #1).

The area has a mixture of ground floor commercial along the Lonsdale Avenue corridor, with multi-family residential buildings to the west. The location is along a major public transit corridor with many other commercial businesses and residential buildings within easy walking distance.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Mixed Use Level 3 which supports a mix of higher-density multi-family and commercial uses to strengthen the City's major arterial roads and corridors.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from

entering the store. In this situation, the width of the unit is relatively narrow and not excessive given the scale of all the commercial units along this street front that has transparency into the units.

The current building is a single storey commercial building that has been around since the late 1950's. The only change that is being proposed would be a Tenant Improvement to the unit space that would require a Building Permit.

No amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application does conform to the criteria provided within the policy (Attachment #4). The subject site is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of Carson Graham Secondary School as well as the North Vancouver School District Office, and is one of two applications to be received in the Central Lonsdale area, which allows up to two stores.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist In a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8714 (Attachment #7) would allow the use to exist in this location. The current Zone of the property is General Commercial (C-2) and does permit retail stores.

The size of the store would require the applicant to supply at least three parking stalls within the property. The minimum requirement for the whole building is nine parking stalls and the site has six. A variance to the off-street parking would be required to support the current parking configuration. Staff is supportive of the variance given the location is along a major Public Transit line and the building pre-dates the current Zoning Bylaw requirement of one stall per 50 square metres (or 538.2 square feet). The proposed use would not increase this same requirement.

COMMUNITY CONSULTATION

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications (Attachment #6). From the 91 people who signed in for the event (Attachment #5), staff received two written comments relating to this application.

The comment relates to the smoking of cannabis and the smell it generates affecting the enjoyment of using their own patio as a non-smoker. There was opposition to a store in

close proximity to the one proposed at Lonsdale and 12th Street, and the proposed operating hours is excessive.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #6.

CONCLUSION

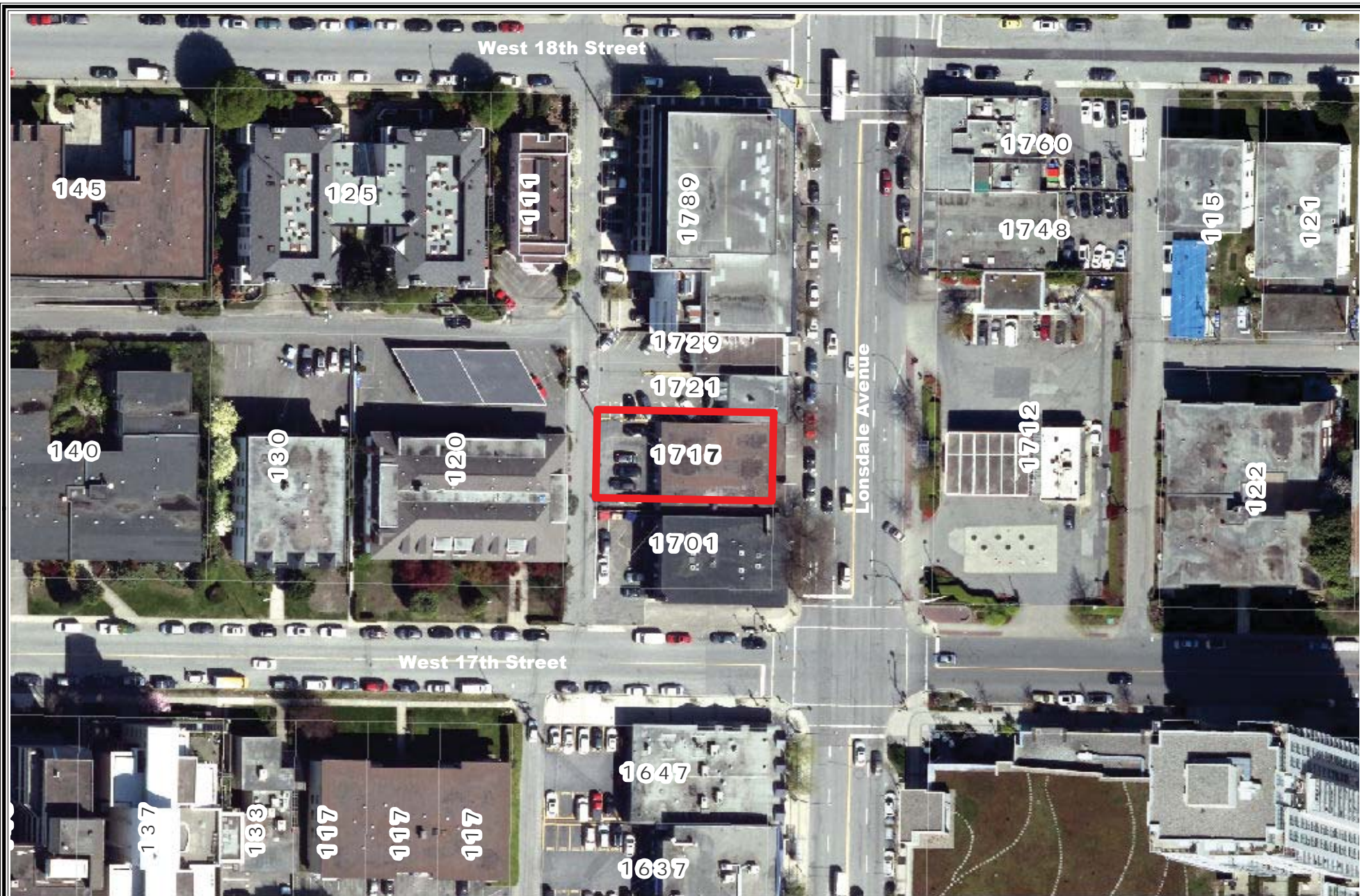
The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the Lonsdale Avenue corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



THE CITY OF NORTH VANCOUVER
RECREATIONAL CANNABIS RETAIL APPLICATION



Prepared, Experienced, and Knowledgeable Cannabis Retailers For Your Community

Business Contact:

Kimmy Budd kimmy@theherbco.ca 604-728-7443

February 12, 2019



Community Impact Statement

Potential Positive Impacts to the Community

- Economic - Bringing more patrons into the area - We estimate to serve around 300+ customers per day and this increase in customer traffic would benefit neighbouring businesses
- Economic - Additional tax revenue for city
- Social/Economic - More jobs being created in the community with above average incomes
- Social/Economic - Purchases of cannabis is more controlled, taking away sales from illegal street-level dealers
- Social - A robust security system creates safety amongst businesses in the immediate surroundings

Strategies to Mitigate Potential Negative Impacts

Staff will undergo regular training and testing throughout their employment. The Herb Co. manual will be provided as a guide to training all staff and will include all policies. The staff will be regularly tested to show their knowledge and understanding of these policies. Through initial and ongoing staff training, we will address our commitment to the environment and the community. Our in-house training includes how to recognize intoxicated patrons, how to properly ID patrons, and how to recommend a safe dosage.

Environmental - Patrons smoking inside, outside, or close to the store

In order to prevent smoking inside, outside, and near the store, the following steps will be taken:

- Security guard at door to monitor inside and outside of store
- The store will have prominent signage inside and outside that states smoking is not permitted inside, outside, or near the store
- Staff will monitor the store to ensure that customers do not smoke outside or near the store
- If customers are smoking inside, outside, or near the store, staff or security will ask them to stop smoking
- We will not sell lighters or matches at the store in order to discourage customers from smoking outside or near the store



Social - Disturbances within the vicinity of the store

Our strategies to prevent disturbances outside the store include:

- Security guard monitoring outside of store
- Installing adequate lighting outside the store
- Supervising parking areas
- Posting signs asking patrons not to disturb the neighbours
- Installing ample security cameras monitoring the exterior & interior of shop

Social - Underaged patrons being served

Our strategies to prevent access to minors include:

- Security guard at door to check identification
- Prominent signage outside store entrance stating “No entry to persons under the age of 19”
- Staff will be trained in legally acceptable forms of identification
- Cameras will be placed to monitor the entry and exits of the store
- Cash registers will prompt staff to check ID prior to any sale
- Cannabis and cannabis accessories will not be visible from outside the store

Social - Patrons over-consuming products

Our strategies to prevent over-consumption of products include:

- Trained budtenders recommending a safe dosage
- Discouraging inappropriate behaviour - identifying, preventing, and dealing with inappropriate behaviours and disturbances
- Refusing service to intoxicated patrons and making sure they leave the premises safely

Social - Cannabis dependency or addiction

Our strategies to prevent cannabis dependency include:

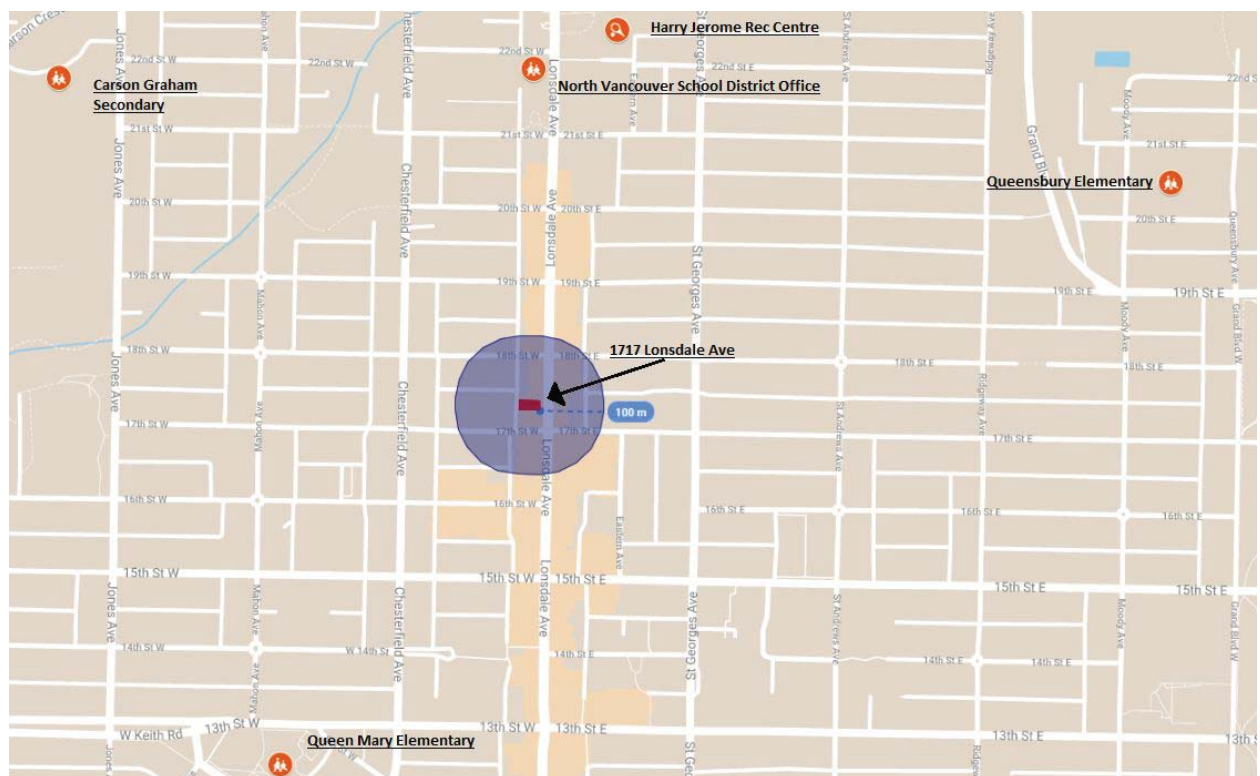
- Trained budtenders recommending a safe dosage
- Refusing service to intoxicated patrons and making sure they leave the premises safely



Our Location

Our proposed store is located in the vibrant Upper Lonsdale community and is not within a 100-metre radius of any of the following sensitive uses:

- All public schools
- North Vancouver School District Office
- North Shore Neighbourhood House
- Community and recreation centres
- North Shore Shelter





Our Community

Our target market will include 19+ year olds in the City of North Vancouver. According to census data, [the population of 19+ year olds in the City of North Vancouver was 53,010 in 2016.](#)

Other potential markets in close proximity:

Summerhill Retirement Residence - 135 15th St W, North Vancouver, BC V7M 1R7:

We can create a safe and positive environment for individuals in the retirement community to explore cannabis as a safer alternative to opiate-based medication for chronic symptoms. Many of our products come in a non-psychoactive, CBD-based form. This would cater to those who want to avoid the inebriating effects of THC but still want to tap into the potential medicinal properties of cannabis. The Herb Co. has been servicing patients in the medical cannabis space for three years. Our staff are well trained to provide individual guidance and education to customers who are less familiar with cannabis and cannabis products. Our location on Main Street in Vancouver caters to the diverse and vibrant community in the Downtown Eastside, accommodating a wide range of individual needs. We are fully aware that this is still a nascent industry. Cannabis is very new to a large portion of the population and customers will have many questions. We strive to maintain our open and accepting practices to all customers interested in learning about this new and exciting industry.

North Shore Wellness Centre - 145 17th St W #200, North Vancouver, BC V7M 3G4:

We see ourselves as a complementary service that can bring potential value to their treatment plans. As previously mentioned, our staff are well-trained professionals that can provide guidance and education as needed. We envision potential collaboration efforts with surrounding wellness centres interested in exploring alternative or corroborative treatments.



Our Security Plan

Pending approval of our application to the next stage, we will have a professional security plan created by

3SI Security Systems, Inc. The Herb Co. has worked with a security professional to create a similar security plan for each existing location. The highlights of these plans include the following:

Plan Preparation

Identified assets included the retail premises, Point-Of-Sale scales and computerized inventory management systems, secure storage and most importantly, staff working on the premises.

Potential loss events were identified as inventory shrinkage, damage to or theft of cannabis, fire, flood or power failure. None of the potential loss events are expected to be likely, or to be extremely infrequent based on the operational histories of similar businesses in the Greater Vancouver area.

Robbery or theft of cannabis will be mitigated by maintaining the minimum inventory in the retail sales cannabis storage area at all times. Any supplemental inventory will be stored in a safe in the back office. Cash not required for making change will be stored in a cash drop box located on the premises, out of sight of customers.

The impact of any single severe loss event such as fire or flood is expected to only shut down retail operations for a few days to a week. Less severe loss events such as theft or damage to retail goods are not expected to impact business operations for more than 1 business day. Contingency options and risk mitigation strategies are included in The Herb Co.'s business plan.

The Herb Co. Retail Location

The Herb Co.'s 1717 Lonsdale Ave storefront is located in Lower Lonsdale area, on the West side of Lonsdale Ave in North Vancouver, bounded by 19th W St to the North and 17th W St to the South. This cannabis retail store is located in the centre of a retail block. The adjacent stores include a laundromat and a shoe store.

Opening, Closing & After-Hours Operational Procedures

The Herb Co. retail hours are 9:00 AM to 11:00 PM, 7 days a week.

Cannabis will be purchased through the The Liquor Distribution Branch (LDB). Stocks will be inventoried prior to store opening each to ensure accurate record keeping. Two staff will open the store, disarm the intrusion alarm system and verify the duress buttons operate correctly and the video system is functioning properly. Once the inventory is complete, the cannabis will be on view in the open vault at the back of the staff area behind the counter, out of reach of



customers. Opening the store to the public will be performed after staff are at their stations and operation of security measures is confirmed.

A minimum of 2 staff will be on the premises at all times while the store is open to the public. The store will not be opened to customers if any physical, electronic or procedural security measures are inoperative.

Store closing will entail clearing all customers from the premises and locking the front door prior to inventory of remaining cannabis and comparing against the morning inventory and the day's sales. After the product is inventoried, the vault will be closed and locked. The cash float and accumulated sales proceeds will be locked in the vault. Cash being removed from the premises will be managed during the day at varied intervals. The till will be left open as a visual indicator that no cash is retained on the premises.

Closing staff will leave the store after exterior camera views are checked to ensure no prowlers are present. Both staff will secure the scissor gate that crosses the entire width of the cannabis retail store waiting area. One of the staff will manage arming the alarm system and opening/securing doors while the second person provides backup observation of the sidewalk and street.

Nighttime hours will have the security video feeds operating to record and transmit video imaging triggered by activity inside the store or video activity exceeding preset activity thresholds set for each exterior camera. The ULC monitored intrusion alarm system will immediately trigger full time recording from all cameras in the event of a breach or internal activity sensed by interior volumetric motion detectors. An alarm will be sent to the monitoring centre and verified via immediate review of security video clips sent in conjunction with the alarm.

North Vancouver RCMP will then be notified of a verified alarm event by the alarm company so police may be dispatched immediately. The Herb Co. manager on call will also be notified so they may attend the store and assist police with their response and investigation.

Intrusion, Fire & Duress Alarm Systems

The store is equipped with an intrusion alarm system connected to a ULC compliant monitoring centre. There is an alarm contact at the front door and motion detectors providing coverage of the front retail space, staff area, and back office space. There is an alarm siren that sounds when the intrusion alarm system is triggered. This system also monitors the smoke detectors to provide continuous fire protection.

A duress alarm system operates in conjunction with the intrusion alarm and is activated when staff trigger one of their wireless fobs. The siren is activated and an alarm signal and video feed is transmitted to the monitoring centre to initiate a police response.



Physical Security & Access Control

The cannabis retail store has only one entrance. Store openings, closings and customer access to the premises will be managed through this front door. Access control is managed with restricted keys issued to staff. Additional keys may be issued in future for security patrol alarm response in accordance with ULC monitoring and mobile security response standards. The flip-up deadbolt lock at the front door has an outside cylinder with a restricted keyway and lever handle on the inside.

All retail product display cases will have high-level commercial grade locks to provide physical security for cannabis on display.

There will be two locked cannabis storage cabinets, which are made of commercial grade steel, to provide physical security for the store's inventory of cannabis.

A cash drop box provides physical security for excess cash during the day's routine retail operations. This box is securely fastened to the counter, out of sight of customers.

The glazing is protected with laminated polyester security film to prevent 'smash and grab' attempts.

The windows will be kept free of obstructions that may prevent passersby from observing activities inside the store. Interior lighting will be sufficient to provide an easy view of the retail space from outside during a sunny day. Exterior lighting levels and glare will be managed to provide easy viewing of interior activities during evening hours.

We propose two options that will prevent visibility of our products from the street:

- 1) The store windows will be frosted as to prevent youth and other pedestrians from observing activities from the outside. The film will be opaque to ensure non-visibility while maintaining a clean outer look that avoids glare onto the street
- 2) Our locked display cases will be fully frosted, except for the top, restricting customers from viewing any products or accessories until they are close enough for a top down view. In addition, our locked storage cabinets will be fully enclosed with no transparency at all. One will be in the back office out of site. The other will be located in the back of the store behind a counter and a wall/pick up window (as seen in our floor plan), far from a pedestrian's line of site.

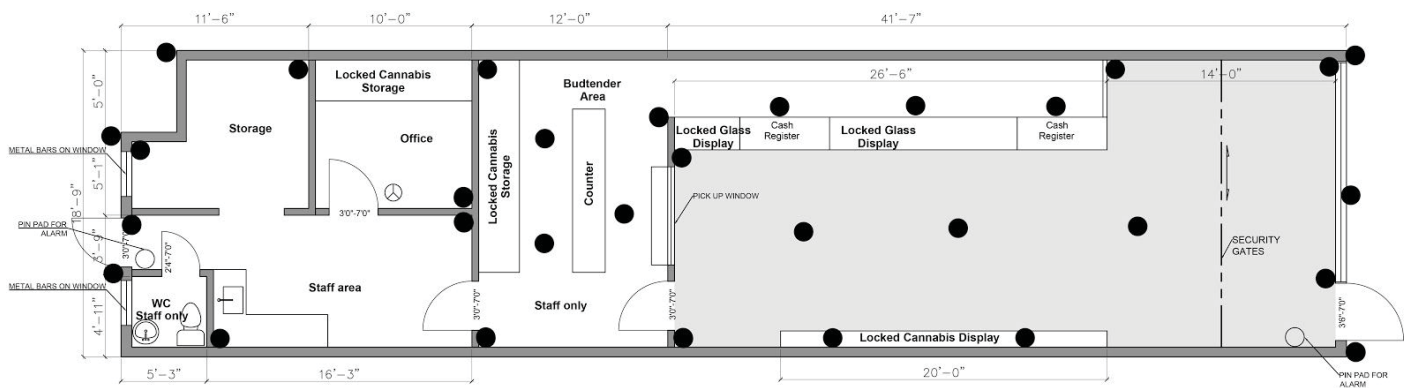
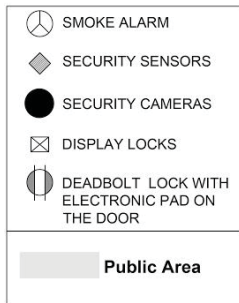


Rendering of Store Exterior:





Floor Plan with Security Cameras:



FLOOR PLAN

SCALE: 1/4"=1'-0"



Security Video Device, Viewing Angles & Storage

- **Alarm System Provider:** Metro Guard
- **Camera Models:** Sibell IPVD-SB4IR, IPOB-SB4IR, IPVD-SB4IRZA
- **NVR Model:** Sibell NVR-SB32-16P

Security cameras will be HD (high definition) with a minimum of 5 Megapixels.

Security cameras will have a full unobstructed view of:

- a. the retail sales area
- b. any product storage area
- c. both the interior and exterior of all store entrances/exits.

The cameras will be active and recording at all times, including when the store is not open for business. All security camera footage will be stored for at least 30 days after recording.

Signage is installed informing customers that all activity on the premises is recorded on security video.

The Herb Co. site surveillance cameras are located at both the exterior and interior of the premises. The exterior cameras are primarily intended to observe and record activity. The interior cameras are intended to provide sufficiently detailed images for identification of individuals and record activity.

The camera provides usable images under any lighting conditions and is equipped with IR illuminators. This camera provides a wide angle view of the entire retail area, front windows and doorway.

The cameras are housed in vandal-resistant enclosures and firmly mounted out of easy reach. All cameras feed a DVR with storage capacity of 30 days as a minimum. Video is recorded on motion to minimize hard drive storage space requirements and facilitate searching for specific events. Image size and quality will be sufficient to identify individuals as they enter and move about the premises.

The angle of view for each camera will be optimized to provide video coverage commensurate with the purpose of each camera. The camera observing the entrance door will have high resolution and sufficiently restricted angle of view to capture everyone entering the store without leaving gaps by which customers might enter and leave undetected. Views of lounging and waiting areas will be wide to cover the entire room so that customer and staff activities may be recorded. (See attached floor plan to see camera locations and angles of view.)

The exterior cameras have a wide angle of view and low light capability to enable staff to observe potential prowlers before removing cash from the store for secure storage.

Video is streamed to Management cellular phones for real-time assessment of site activities at



any time. Views from all of the cameras are shown in a multiplex, real time display on an LCD monitor in the office, out of sight of customers.

The DVR is installed in a concealed, locked enclosure to prevent tampering.

Security Video Transmission & Retrieval

In the event of a security incident, The Herb Co.'s manager on call will immediately download relevant video clips to a hard drive for police to use as a forensic investigation aid. An additional copy of the previous 30 days imaging will be archived to a portable hard drive as a full record of activities on and around the premises.

Video is continuously streamed to management phones but not recorded on these devices. The Herb Co. members and the public will not be permitted to view live or recorded video at any time.

Video will also be streamed to the alarm monitoring centre if an intrusion, fire or duress alarm is triggered. This will allow the alarm dispatcher to provide a verified alarm call to VPD for immediate response.

Staff Security Training

All new staff will complete our comprehensive Workplace Violence Prevention security training program which includes incident response and loss-prevention during their initial weeks of training. All staff will complete a refresher Workplace Violence Prevention security training every six months.



Security Event Operational & Response Procedures

In the event of a robbery on the premises, The Herb Co. has instructed its employees to cooperate and comply with any demands made by the robber(s). Employee training on procedures to follow during a robbery includes the following steps:

1. Remain calm.
2. Do not make sudden moves.
3. Do not argue with the robber.
4. Cooperate and comply with the robber's demands.
5. Always assume a robber is armed.
6. Pay close attention to the robber's appearance (height, weight, skin color/texture, hair color & length, scars/tattoos, clothing, jewellery etc.), voice and mannerisms.
7. Activate the duress alarm if it is safe to do so.
8. Do not physically confront or fight with the robber unless forced to protect yourself or another person.
9. Verify with customers and staff present during the robbery that they are uninjured and call for medical assistance as required.
10. Obtain the names and phone numbers of customers and other witnesses present during the robbery to assist with the police investigation.
11. Secure the store and note where the robber may have left fingerprints, debris, an article of clothing or other evidence. Do not permit other staff or customers to touch evidence.
12. Note the direction the robber fled and whether they used a vehicle.

Thefts should be managed in a non-violent manner. If a staff member witnesses a theft, they should only confront or apprehend the suspected thief if it appears safe for the staff members to do so. Police should be called immediately to respond to any incidence of theft and informed of the details of the incident. Video evidence must be supplied to police on request to assist in their investigation and possible prosecution of the crime.

All incidents of graffiti or other vandalism must be reported to police by the staff member discovering it. Video evidence must be supplied to police on request to assist in their investigation and possible prosecution of the crime.

Unruly patrons should be immediately escorted off the premises. Ejecting the patron from the premises via physical confrontation should be avoided unless you are confident of your ability to manage the situation and are certain that the patron is unarmed. If the patron threatens other staff or customers or becomes physically combative, trigger the duress alarm and



withdraw from the confrontation if possible.

Incident Reporting Procedures

Serious security incidents will be managed by calling 9-1-1, filing a police report and generating a written record of the incident. Events that qualify as serious security incidents include thefts, break and enter attempts, threats or assaults on or near company premises and vandalism.

Suspect identification sheets will be kept on the premises as an aid to remembering and describing a robber or person committing other criminal acts at The Herb Co. Incident report forms will not be used. Staff will be advised to write their report on standard size 8.5" by 11" paper using the 'W5' format:

Who – identify the persons involved and witnesses to the incident.

What – briefly describe the facts of the incident.

When – note the day, date and time of the incident, and the time the report was created.

Where – accurately describe the location(s) of the incident and whether the location changed before the incident concluded.

Why – describe the cause of the incident, if known.

The finished report will be signed by the author and handed off to The Herb Co. Manager responsible for security management. Copies of the suspect identification sheet(s) and incident report will be provided to VPD and regulatory agencies as required.

Less serious security incidents such as inventory irregularities and non-compliance or shortfalls with safety and security policies will be written into permanent company records and managed by The Herb Co. management as a team.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

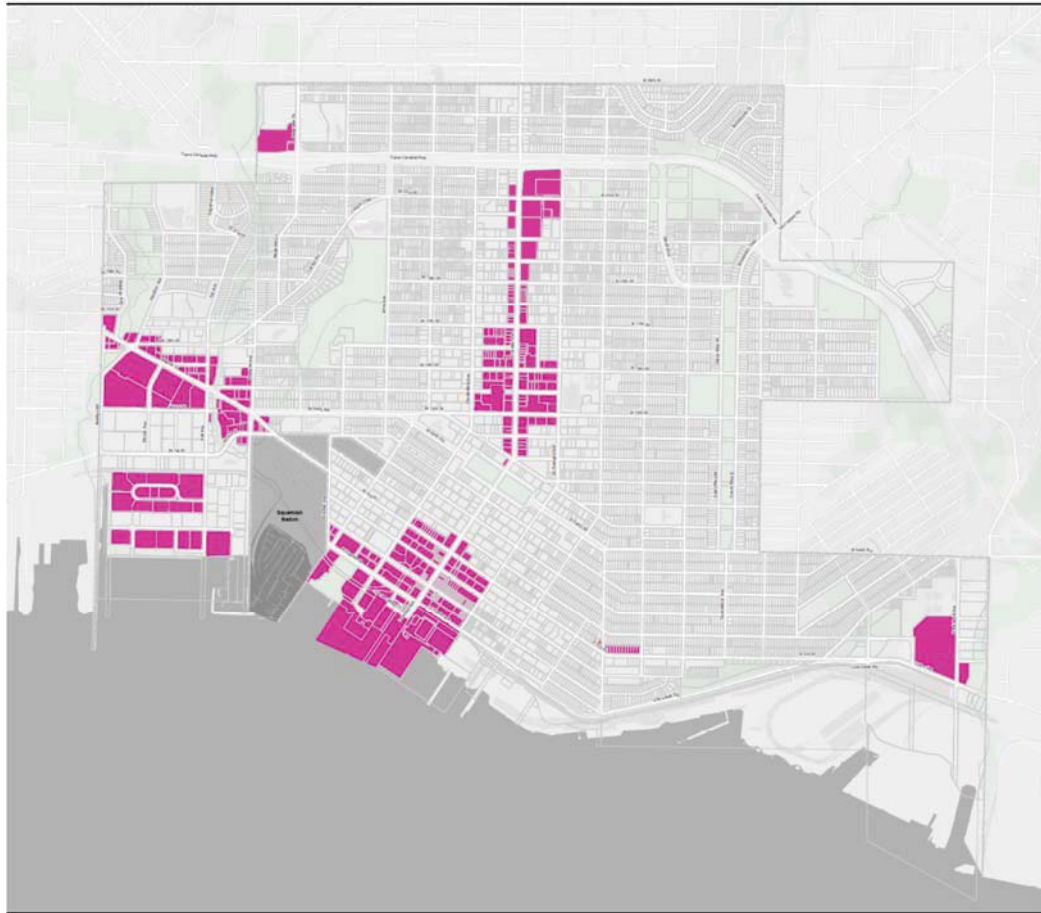
| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary









Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

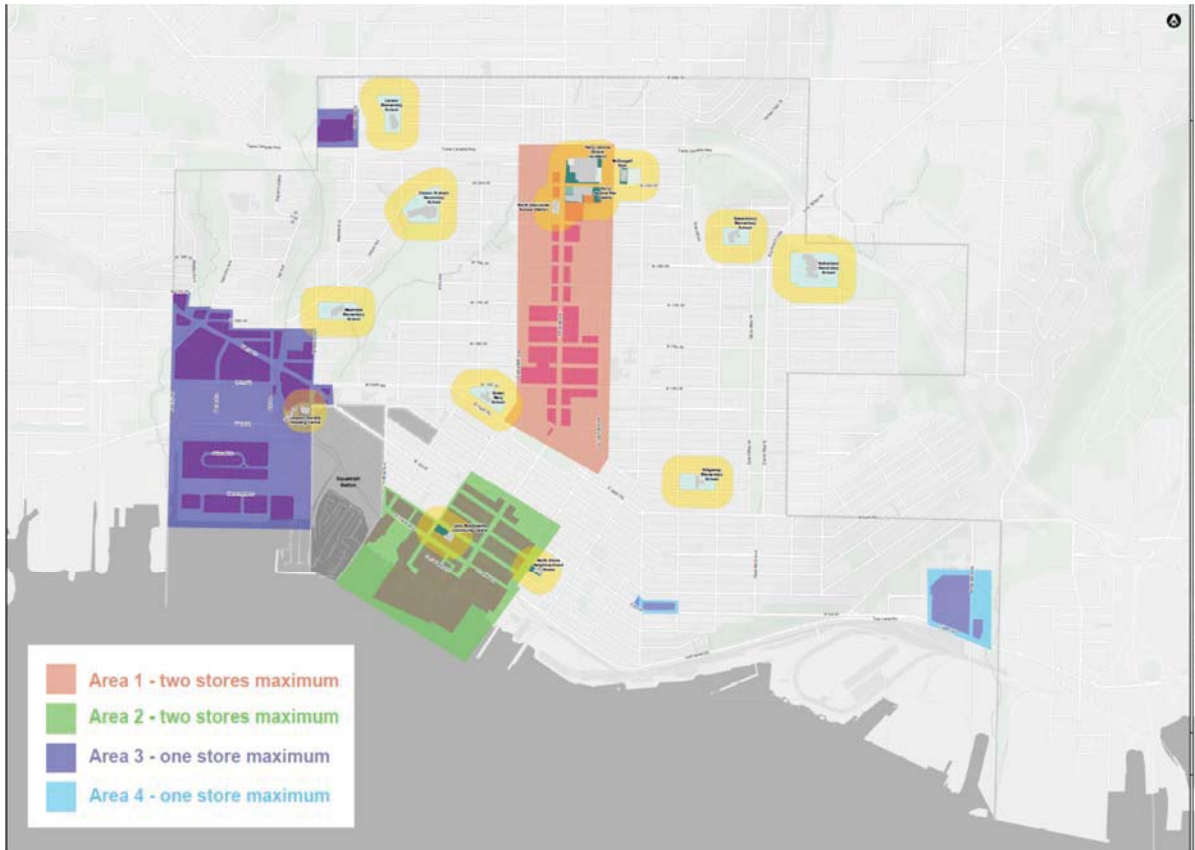
-  Sensitive Use Buildings
-  School/ School District
-  Lookout Society
-  Community/ Recreation Centres
-  100m exclusion buffer *
-  OCP Land Use Designation
-  Legal Parcels
-  City Boundary

* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 3
Recreational Cannabis Retail Businesses
Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

David Johnson

From: Anita Macphee [REDACTED]
Sent: April-03-19 11:45 AM
To: David Johnson
Subject: Cannabis store at 1717 Lonsdale Avenue

I am writing this in spite of my feeling that the city does not really care what the general public's opinion is on community issues but I still have hope that someone will listen. Does anyone ever think of how those of us who live in condos have to put up with the cannabis smoke and also cigarette smoke, plus the idiots that throw their butts onto patios or the roof top garden below them. There are times when I can not go out and enjoy my patio with a cup of coffee and a newspaper because the smell is so bad from those who don't care about others, just their need for Marijuana - yes even at 6:30- 7:00 AM. There have also been times I can not sleep with my window open as I have awakened in the middle of the night where it smells like I have a skunk under my bed. Do I not have the right to breathe clean air when I sleep? We legalize things but don't think about how the rules can be enforced easily to protect others.

This is a totally non smoking building but the onus falls on the affected resident to prove exactly what unit the smoke is coming from. That is almost impossible to do. There is no consideration for the rights of us who are non-smokers. The strata does its best but it is a huge issue and one that is almost impossible to pin down.

That of course, does not have much to do with a pot shop close by, but I do not want to see pot shops in our city period, but at least don't put them in high traffic areas, near schools, day cares and condos. Who says the city has to authorize this project?

Sorry about the "rant", but I hope someone will think about what non-smokers have to put up with and how smoking, whatever type it may be affects the non-smokers and those with medical conditions like asthma.

I am totally against this project.

Thank you, Anita Macphee

Sent from my iPad

1717 Lonsdale Avenue

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019 6 p.m. - 8 p.m.

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Andy Hellmuth</u> | |
| Address: <u>120 W 17th St.</u> | |
| 1. Do you support the proposed project? | No, there is a proposal for 12th St, understand so I don't think we would need one for this proposed location. |
| 2. What do you like most about the proposed project? | that it is still a proposal and that city council listen to concerned citizens that will be affected by this pot shop. |
| 3. Do you have any concerns about the proposed project? | I live in the Old Colony, so my concerns are the pot smoke, increased traffic, perhaps crime around where I and others live. Don't want to have to breathe it in. |
| 4. What would you suggest to improve or enhance the proposed project? | Shorten the hours. & move it to the Lonsdale Quay. |
| 5. Please provide any additional comments. (use back of page if necessary) | I spoke to a few of the representatives, I think their proposal for 9am → 9pm 7 days a week is excessive. They didn't come prepared with a brochure or website (they had to write it out). I know of two |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

cont. →

CONTACTS:

Applicant: Scott Hamilton
City of North Vancouver: David Johnson

RECEIVED
APR 18 2019

Telephone:
Telephone: 604 990 4219

E-Mail: scott.hamilton999@outlook.com
E-Mail: djohnson@cnv.org

→ neighbours who were notified of the Open House after
the day of the openhouse. I do not think there was
proper information given to people that will be affected by
this shop, especially the seniors living in the old Colony.

David Johnson

From: David Johnson
Sent: April-18-19 2:00 PM
To: 'Laraine Hamilton'
Subject: RE: 1717 Lonsdale - Dev.Info.Open House

Hi Laraine.

My apologies for not responding to your message sooner.

I was sorry to hear that you missed the Open House on April 9. There isn't another meeting scheduled, however I am happy to review the application with you and to receive any comments you may have. There is another public opportunity to speak to the application at a Public Hearing that is tentatively scheduled for June 24.

Please feel free to contact me at the information below should you wish to discuss further.

Regards,

David Johnson

Development Planner, Planning and Development Department
t: 604.990.4219 | e: djohnson@cnv.org

City of North Vancouver

141 West 14th Street, North Vancouver, BC V7M 1H9
Reception: 604.985.7761 | www.cnv.org



From: Laraine Hamilton <[REDACTED]>
Sent: April-10-19 2:12 PM
To: David Johnson <djohnson@cnv.org>
Subject: 1717 Lonsdale - Dev.Info.Open House

Dear Mr. Johnson:

Since the invitation to attend the Open House only arrived at my home today (Wed. April 10th) and the Information session was scheduled for Tuesday, April 9th it is rather difficult to provide community input/response to this application. My address 208-120 West 17th Street. I am going to assume that another session will be scheduled...

Regards,

Laraine Hamilton

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenford Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koop | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koop + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE 1517 | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | +203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, V | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VAN B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOYE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgason | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle McMahon | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD E. | 6:12 |
| 46 | Debbie Dickie | 1119 Pinning Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. #6 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd ST WEST NORTH VAN | |
| 49 | Myra | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILDWOOD LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOA | 1250 Lonsdale Ave | 6:00 pm |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 pm |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 pm |
| 9 | Don HOLT | 601-12th W | 6:15 |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 |
| 14 | KKE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 |
| 17 | Stord Scalford | 312 East 1st St. Apt. #103 | 6:40 |
| 18 | Courtney Anson | 252 2nd St W | 6:40 |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 19:43 |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DINA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

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Telephone: 604 990-4219

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Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent l the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8714

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8714” (The Herb Co. / Scott Hamilton, 1717 Lonsdale Avenue, CD-721).**
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-721 (Comprehensive Development 721):

| Lots | Block | D.L. | Plan | |
|-------------|--------------|-------------|-------------|-----------|
| 2 | 19 | 548/549 | 1133 | from CS-2 |

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following section to Section 1100, thereof, after the designation “CD-720 Comprehensive Development 720 Zone”:

“CD-721 Comprehensive Development 721 Zone”
 - B. Adding the following to Section 1101, thereof, after the “CD-720 Comprehensive Development 720 Zone”:

“CD-721 Comprehensive Development 721 Zone”

In the CD-721 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-2 Zone, except that:

- (1) In addition to the Principal Uses permitted in the C-2 Zone, one Cannabis Sales Retail Store shall be permitted;
- (2) A variance to Section 908 to permit six parking stalls on the site.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.




READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



| | | |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 221 WEST 1ST STREET (1ST CANNABIS / 1174707 BC LTD.)

Date: June 12, 2019 File No: 08-3360-20-0493/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 221 West 1st Street (1st Cannabis. / 1174707 BC Ltd.):

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715" (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*.

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1772968](#))
2. Submitted Drawings (doc#[1753260](#))
3. Business Plan, Community Impact Statement and Security Plan (doc#[1775728](#))
4. Recreational Cannabis Retail Policy (doc#[1774193](#))
5. Public Consultation Summary for 221 West 1st Street (doc#[1791506](#))
6. General Public Comments (doc#[1775340](#))
7. Zoning Text Amendment Bylaw No. 8715 (doc#[1774223](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 221 West 1st Street.

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The building on the subject site currently has a private liquor store that is operated by the applicant. The plan is to occupy approximately 14.3 square metres (154 square feet) of existing space from the liquor store for the proposed cannabis use. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided their business plan that includes a Community Impact Statement, which describes the applicant's contribution towards the regulation of safer cannabis products and distribution and their Security Plan that outlines how their operation will be complying with Provincial regulations. (Attachment #3).

Site Context and Surrounding Use

The subject site at 221 West 1st Street is along the south side of the street, between Semisch Avenue to the west and Chesterfield Avenue to the east (Attachment #1).

The area has a mixture of commercial and mixed use developments on the south side of West 1st Street, with predominately residential uses along the north side of West 1st Street as well as further north toward West 3rd Street and beyond.

Recent developments in the area include the mixed-use West Quay development to the west of Semisch Avenue, between the south side of West 1st Street and West Esplanade.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Mixed Use Level 4A which supports a mix of higher-density multi-family and commercial uses in Lower Lonsdale.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government

to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the size of the space is small and not excessive given the scale of all the commercial units along this street front that has transparency into the units.

The building placed on the subject site is a narrow-shaped single storey commercial building that was built in the late 1950s, and is not being redeveloped at this time. The only modification to the building being proposed would be a Tenant Improvement that would require a Building Permit.

No amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application does conform to the criteria provided within the policy (Attachment #5). The subject site is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of Queen Mary Elementary School, and it is one of two applications for the Lower Lonsdale Area.

The subject site is located within 100 metres of the Foundry, a youth social services facility to serve the wellness needs of young people and their families on the North Shore. When Council approved the policy, the Foundry was removed from the list of sensitive locations.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist In a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8715 (Attachment #7) would allow the Cannabis Sales use to exist in this location. The current Zone of Comprehensive Development 454 (CD-454) permits retail stores.

The size of both the liquor store and proposed cannabis store would require the applicant to supply at least three parking stalls on the property. The CD-454 Zone permits parking to be supplied in a tandem configuration, and four stalls currently exist off the rear lane.

COMMUNITY CONSULTATION

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications (Attachment #6). From the 91 people who signed in for the event (Attachment #5), staff received 21 written comments relating to this application.

Of the comments received, the level of opposition to the proposal slightly outweighed those in support. Those in opposition expressed concern over the proposed location from the Foundry. Other areas of concern are that the operation of the Sailor Hagar's Pub is not compatible with a residential area, and that the patio at Sailor Hagar's Pub has a smoking patio which could lead to permitting cannabis use on the patio. Those who support the use have no concerns over the proposed use.

The City's Smoking Bylaw has grandfathered smoking on patios for establishments with a Liquor Primary Licensed Establishment category. According to Vancouver Coastal Health, there is nothing in their Bylaws that would prohibit extending cannabis consumption to outdoor patios.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #6.

CONCLUSION

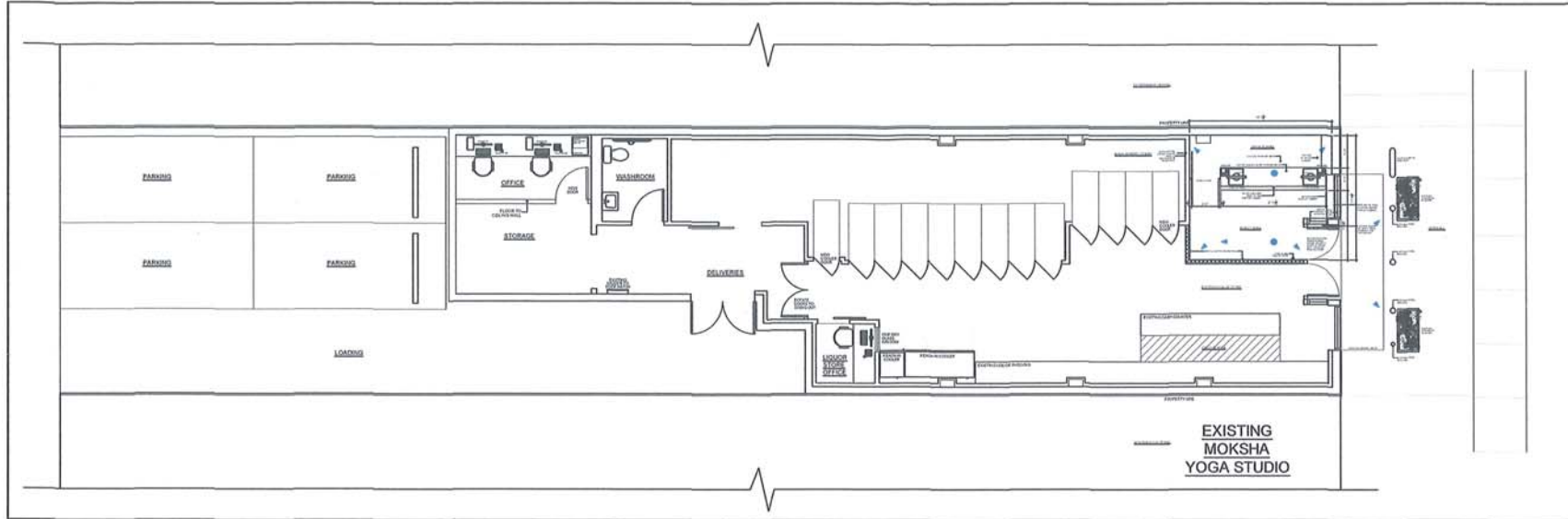
The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the commercial orientation the West 1st Street corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

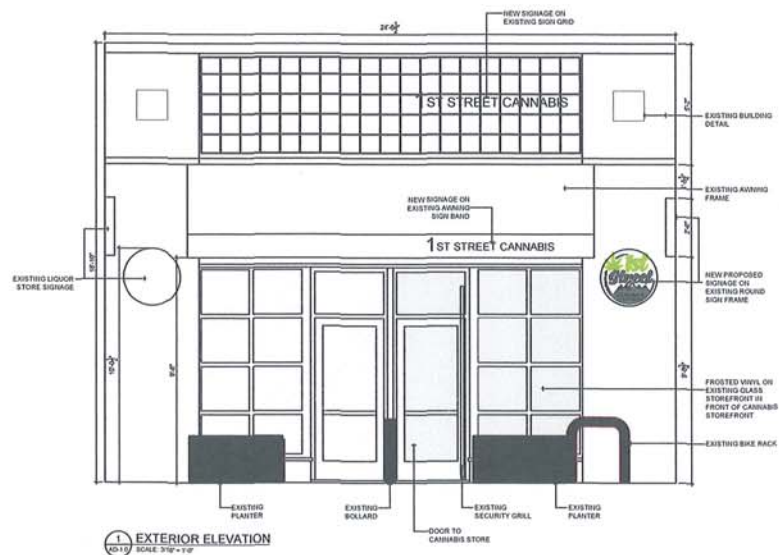
RESPECTFULLY SUBMITTED:


David Johnson
Development Planner





PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"



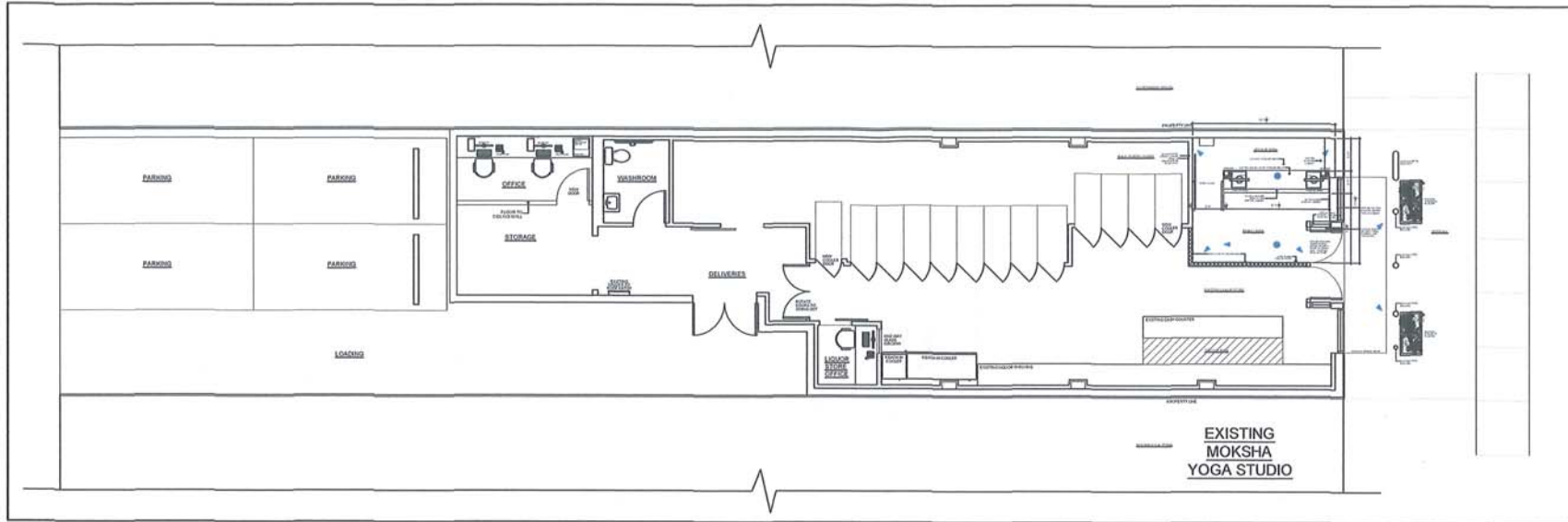
1 EXTERIOR ELEVATION
AD-10 SCALE: 3/16" = 1'-0"

RECEIVED

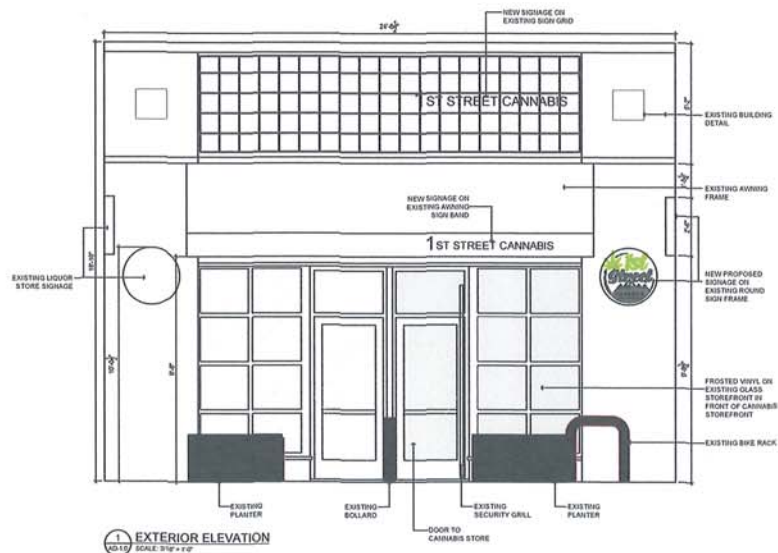
FEB 12 2019

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

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PROPOSED FLOOR PLAN
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**CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
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THE DESIGN CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER.
PROPERTY OF WHG DESIGN

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE.
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#157 (UPPER LEVEL)
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T: 604 200-1887
C: 604 871-0112
E: dave@whgdesign.ca
W: whgdesign.ca

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DRAWN BY: **DW** APPROVED BY: **DW**

PROJECT
**1ST AVENUE CANNABIS
STORE**
221-WEST 1ST STREET, NORTH
VANCOUVER, B.C., V7M 1B3

DRAWING
**PROPOSED CANNABIS &
LIQUOR STORE FLOOR
PLAN**

PROJECT NUMBER **CSH-002** **DRAWING NUMBER** **AD-1.0**

SCALE
AS NOTED **REVISION**
DATE **FEB. 5. 19**

Mission Statement: To provide a safe and secure Licensed Retail Cannabis Store with a warm and friendly shopping environment, providing excellent service and product selection.

Proposed Business Operation

The proposed Retail Cannabis Store will be located within the same building as Sailor Hagar's Liquor Store located at 221 West First St. A part of the store will be sectioned off with a floor to ceiling wall and will have its own entrance/exit door separate from the Liquor Store.

The company applying for the Retail Cannabis License is a numbered company 1174707 B.C. LTD., owned by Brian Riedlinger and Allan Riedlinger (equal owners). The same two owners, Brian Riedlinger and Allan Riedlinger are equal owners of Sailor Hagar's Pub Inc. Sailor Hagar's Pub Inc. is the sole owner of the property located at 221 West First Street, North Vancouver and its has agreed to lease space to the numbered company 1174707 B.C. LTD. to operate the Cannabis Store.

In addition to being owners of Sailor Pub Inc., Brian Riedlinger and Allan Riedlinger are co-General Managers of the Pub and Liquor Store responsible for their daily operation. If the Retail Cannabis Store is approved, both Brian Riedlinger and Allan Riedlinger will be responsible for the overseeing of its day to day operation as well.

Our family has owned and operated Sailor Hagar's Pub and Liquor Store for more than 32 years successfully. Throughout this time, we have always had an exceptional record with the previous 'Liquor Control and Licensing Branch', now known as the 'Liquor and Cannabis Regulation Branch'. Along with this, we have proven to the City of North Vancouver and our community that we are responsible business operators with the sale of alcohol and tobacco. Cannabis is another controlled substance and we are confident we have the experience and expertise to sell it in a responsible manner as well. Our managers always ensure our employees are trained to check for proper government issued identification so that minors are not served and as well, they always ensure our customers are not over served. We reinforce this on a daily regular basis with our employees on a one to one basis, with posted memos and by holding regular staff meetings. Mandatory Provincial Government security checks as well as the required completed course on the sale of cannabis will be done for all of our employees.

Security for the Cannabis Store

From years of experience, operating a Liquor Store, we have learned how to secure a retail store that sells a controlled substance and security will be a top priority for our Cannabis Retail Store as well. We will have a high grade colour security camera system with five cameras inside that will cover all areas of the inside of the store and two cameras outside of the store focusing on the entrance/exit door and activity at the front of the store. This will aid the RCMP with any potential problem customers or security breaches.

Similar to our Liquor Store, our Retail Cannabis Store will have security motion detectors located inside the store which will trigger a signal to a security monitoring company in the event of an intrusion i.e. break and enter. The owners will be notified immediately and the RCMP may be dispatched if necessary.

After hours security will also include a locked security gate on part of the inside of the windows along with shelving along the remainder of the windows that will have a metal back on to prevent anyone from breaking glass and then reaching into the store. With this, rather than a large plate glass window, there will be a series of smaller windows i.e. 2ftX 2ft with aluminum frames that restrict access into the store. As well, there will be a locked security gate on the outside that has a solid siding screen with it that will prevent anyone from accessing or seeing the front entrance/exit door when the store is closed. As per Provincial regulations, all the glass will have a frosted film on them that allows for natural light to enter the store but restricts visibility from the outside to the inside of the store. For further protection, lexan plastic will cover the entrance/exit glass door, leaving it unbreakable. As well, there are existing two concrete planters, and with this, a heavy metal bike rack and four metal security bollards all fastened beneath the ground in front of the building that will prevent a motor vehicle from driving into the building. Finally, we will have a hold-up alarm button that has a direct link to the RCMP and our security company in case of an emergency. Our security company also, will do regular late night walk-by patrols of our store.

All employees of the our Cannabis Store will have the mandatory BC government Security Verification check completed on them, and as well all employees will have completed successfully the mandatory BC Government Cannabis Retail Program before they begin work.

During our hours of operation there will always be a manager or supervisor working in the Cannabis Store. There will always be two employees present and a third one will be added when the store is busy to assist with customer service and security. Our employees will be trained to handle any issues in a safe manner based upon our many years of experience. The aid of the RCMP will be used if any issue escalates. We currently have an exceptional working relationship with the RCMP and this will continue.

Community Impact Statement

We expect to have a very positive impact on the community by being able to provide them with the convenience of shopping for legal recreational cannabis in their own neighbourhood. There are many residents living in condos and apartments etc. on the West side of Lower Lonsdale that will very easily be able to walk and make their purchases from our store. For those residents who prefer to drive and for those live in other parts of our community, we have ample short-term parking (15 minute) conveniently located on First Street in front of and to the immediate east and west of our store. We expect that most of our business will occur in the evenings and weekends and subsequently, the existing commercial loading zone to the west of the store on First Street will provide additional customer street parking. One day a week for less than one hour this same loading zone will be used for the delivery of our Cannabis from the Cannabis Distribution Branch. We also have provided a permanent bike rack available at the front of our store for the many bikers in our neighbourhood. Our building size requires that we have four parking stalls, and we have a total of seven available. This includes four stalls for employee parking at the rear of the building along with three parking stalls that we have purchased from the City of North Vancouver. We will be open from 9:00 am until 11:00 pm, 7 days per week which will allow for the convenience of people who work different shifts. Our store is not a late night business and therefore will have minimum noise impact on our residents located in apartments to the West of the store. Along with this, noise will be minimal on the other side of First Street. This is because it is a wide street that has a natural sound barrier of various types of vegetation including large trees. .

For thirty-two years we have operated a liquor store on the 200 block of West First St. Ten years ago we applied for re-zoning to re-locate our store from 233 West First St. to the current 221 West First St. to accommodate a large store. Even with an increase in store size we have had no negative impact on the community or put added stress on street parking. If there is ever a customer or community concern, we will respond in a quick, diligent manner to ensure a satisfactory result. We have always operated responsibly with the interests of our neighbours in mind. We will ensure any neighbourhood complaints will continue to be resolved appropriately.

As well, we will be strict to ensure minors are not sold any product by asking for proper Government accepted ID. As well, we will ensure that anyone who appears to be impaired from alcohol or drugs will be refused service. Moreover, any unruly customers will not be served and as well any people loitering outside the store will be asked to leave. This deters loitering and potential illegal activity that may occur and minimises noise that may bother nearby residents. All this will create a positive experience for our customers and nearby residents.

In summary, when the store is not open for business, we will ensure our Cannabis store is secure. When it is open we will ensure there will be ample well-trained employees working that will take measures to create a safe and pleasant shopping experience for our customers. In the event an incident occurs, it will be dealt with appropriately based upon our experience and aid of the RCMP. We will insist that all the proper rules and regulations relating to the sale of Cannabis are followed. This will minimize any negative impact on the surrounding neighbourhood.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

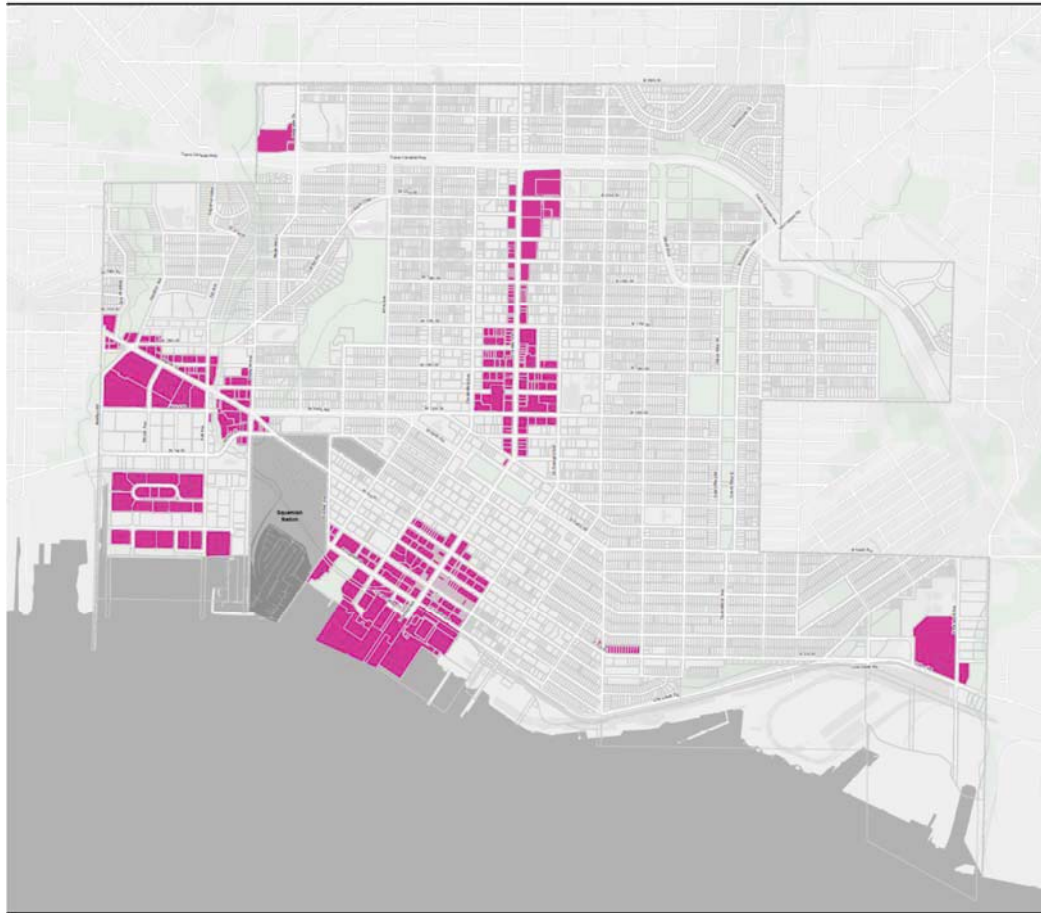
| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



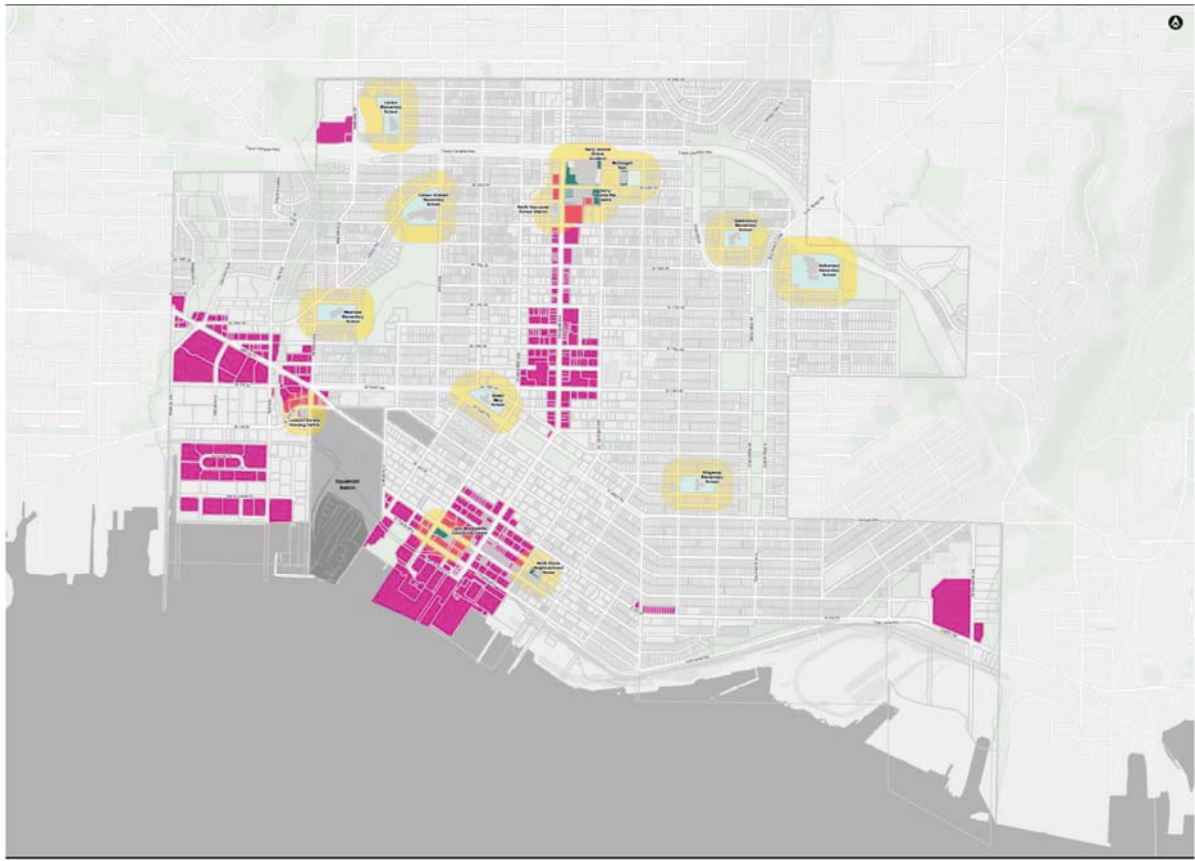
Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary









Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

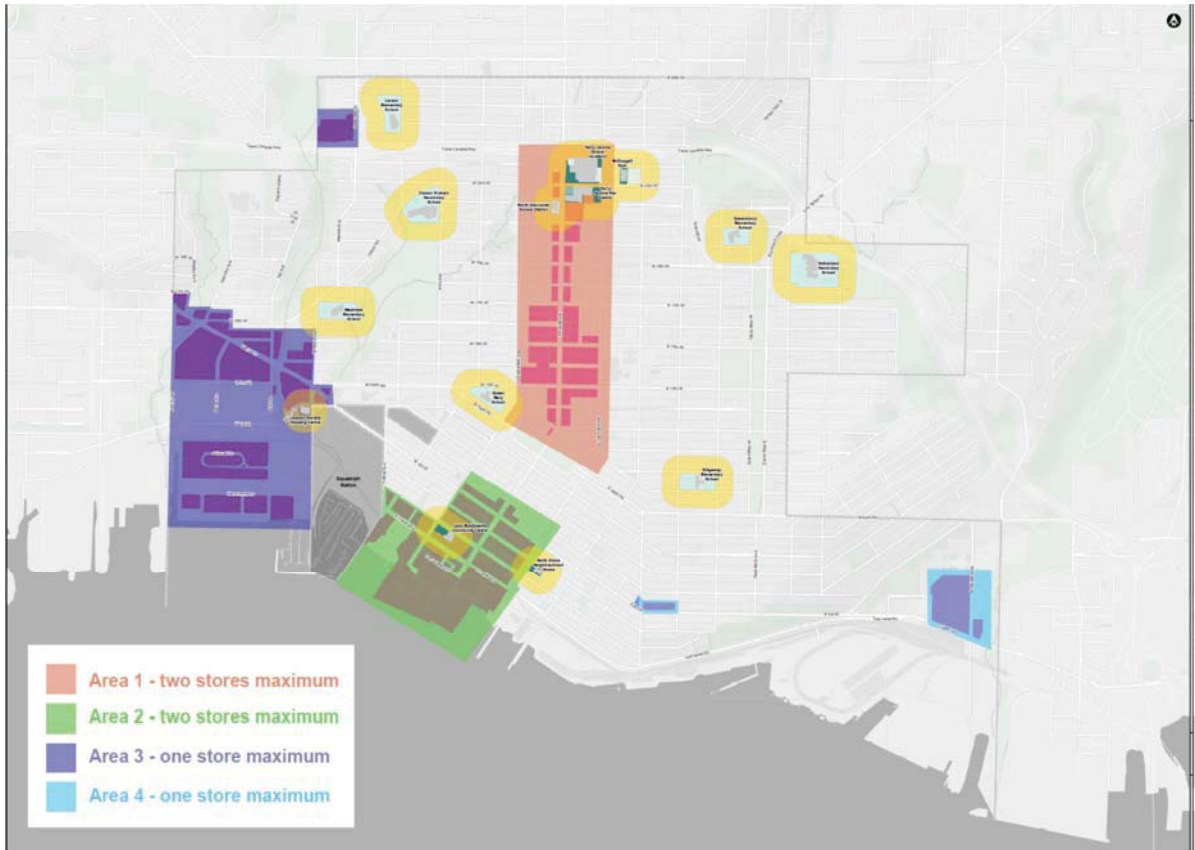
-  Sensitive Use Buildings
-  School/ School District
-  Lookout Society
-  Community/ Recreation Centres
-  100m exclusion buffer *
-  OCP Land Use Designation
-  Legal Parcels
-  City Boundary

* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 3
Recreational Cannabis Retail Businesses
Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|---------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Braed Helgason | |
| Address: #2421 - 255 West 1st Street, North Vancouver | |
| 1. Do you support the proposed project? | I strongly object to this project. |
| 2. What do you like most about the proposed project? | There is Nothing that comes to mind. |
| 3. Do you have any concerns about the proposed project? | ① Very close to The Foundry, which is a rehab center for troubled youth. ② Sailor Hagers Pub is <u>NOT</u> a good citizen to our community |
| 4. What would you suggest to improve or enhance the proposed project? Cancel their application | there are numerous noise violations, fights, and other issues which the police are required to deal with on a weekly basis. Allowing these drunk patrons to have easy ^{proximity} access to drugs is ridiculous. |
| 5. Please provide any additional comments. (use back of page if necessary) | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: 1174707 BC Ltd.

City of North Vancouver: David Johnson

Telephone: 604 809-1084

Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Nathalie Poirier</u> | |
| Address: <u>255 west 1st Street, North Vancouver</u> | |
| 1. Do you support the proposed project? | <u>No!</u> |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | <u>Yes, The area is concerning where drunk patrons of Sailor Hagar wake us up at night. I fear for our children.</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>To Not allow a Cannabis store to open in that location.</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>This location is already problematic with disturbing noises with permission to the pub to allow smoking on their balcony and drunk patrons.</u> |

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CONTACTS:

Applicant: 1174707 BC Ltd.

City of North Vancouver: David Johnson

Adding cannabis will only increase the public disturbances.

Telephone: 604 809-1084

Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | Proximity to a Pub that allows smoking on the patio |
| 4. What would you suggest to improve or enhance the proposed project? | DISTANCE FROM THE PUB |
| 5. Please provide any additional comments. (use back of page if necessary) | THERE SEEM TO BE A GREY AREA ON IF SMOKING NEED IS ALLOWED ON PATIOS. THIS IS GOING TO BE A PROBLEM TO THE NEIGHBOUR. |

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City of North Vancouver: David Johnson

BAN SMOKING AT THE PUB AND BILDS
WILL BE FINE

Telephone: 604 809-1084

Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

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221 WEST FIRST ST

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------|
| Name: Mark Johnson | |
| Address: 306 - 161 - west 4th N-V | |
| 1. Do you support the proposed project? | NO Yes. |
| 2. What do you like most about the proposed project? | everything. |
| 3. Do you have any concerns about the proposed project? | no |
| 4. What would you suggest to improve or enhance the proposed project? | nothing. |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | YES |
| 2. What do you like most about the proposed project? | CONVINCENCE |
| 3. Do you have any concerns about the proposed project? | — |
| 4. What would you suggest to improve or enhance the proposed project? | — |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|------------------------------------------------------------------------------------------------------|--|
| Name: L. Harsanyi | |
| Address: | |
| 1. Do you support the proposed project? YES | |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? NO | |
| 4. What would you suggest to improve or enhance the proposed project? NO | |
| 5. Please provide any additional comments. (use back of page if necessary) ITS ABOUT TIME. | |

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City of North Vancouver: David Johnson

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------|
| Name: <u>Kyle McMurtry</u> | |
| Address: | |
| 1. Do you support the proposed project? | <u>Yes</u> |
| 2. What do you like most about the proposed project? | <u>location + convenience</u> |
| 3. Do you have any concerns about the proposed project? | <u>NO</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>none</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>great concept, cant wait to see</u> |

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------|
| Name: <u>TINA WEEKS</u> | |
| Address: <u>305 Lansdale Ave North Van.</u> | |
| 1. Do you support the proposed project? | <u>YES</u> |
| 2. What do you like most about the proposed project? | <u>4 WITH A LIQUOR STORE</u> |
| 3. Do you have any concerns about the proposed project? | <u>NO</u> |
| 4. What would you suggest to improve or enhance the proposed project? | |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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City of North Vancouver: David Johnson

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E-Mail: brian.1174707@gmail.com

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221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| Name: <u>Cath-Anne Ambrose</u> | |
| Address: <u>137 East 1st Street, North Van.</u> | |
| 1. Do you support the proposed project? | <u>Yes!</u> |
| 2. What do you like most about the proposed project? | <u>Location! Location! Location!</u> <u>- Previous experience with a controlled substance.</u> |
| 3. Do you have any concerns about the proposed project? | <u>No</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>All good!</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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City of North Vancouver: David Johnson

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E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------|
| Name: <i>navana hibbard</i> | |
| Address: <i>137-406 E 1st Street</i> | |
| 1. Do you support the proposed project? | <i>yes!</i> |
| 2. What do you like most about the proposed project? | <i>The location - Awesome owners</i> |
| 3. Do you have any concerns about the proposed project? | <i>No!</i> |
| 4. What would you suggest to improve or enhance the proposed project? | <i>Nope</i> |
| 5. Please provide any additional comments. (use back of page if necessary) | <i>Excited to see what happens</i> |

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------|
| Name: DOM HONG | |
| Address: | |
| 1. Do you support the proposed project? | <input checked="" type="checkbox"/> |
| 2. What do you like most about the proposed project? | <input checked="" type="checkbox"/> |
| 3. Do you have any concerns about the proposed project? | NO |
| 4. What would you suggest to improve or enhance the proposed project? | No |
| 5. Please provide any additional comments. (use back of page if necessary) | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: 1174707 BC Ltd.

City of North Vancouver: David Johnson

Telephone: 604 809-1084

Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------|
| Name: <u>KYLE ROBERTSON</u> | |
| Address: <u>702-124 W 1ST ST. N. VAN</u> | |
| 1. Do you support the proposed project? | <u>yes</u> |
| 2. What do you like most about the proposed project? | <u>Accessability, Convenience</u> |
| 3. Do you have any concerns about the proposed project? | <u>NO</u> |
| 4. What would you suggest to improve or enhance the proposed project? | |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>IN support</u> |

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|------------------------------------------------------------------------------------------------------|--|
| Name: <u>RICK JEFFERY</u> | |
| Address: <u>#201 131 W 3RD ST. N. VAN</u> | |
| 1. Do you support the proposed project? <u>YES</u> | |
| 2. What do you like most about the proposed project? <u>LOCATION</u> | |
| 3. Do you have any concerns about the proposed project? <u>NO</u> | |
| 4. What would you suggest to improve or enhance the proposed project? <u>HURRY UP.</u> | |
| 5. Please provide any additional comments. (use back of page if necessary) <u>THANKS -</u> | |

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------|
| Name: | Julie VanBoeyen |
| Address: | 4204, 131-3rd St West North Vancouver BC |
| 1. Do you support the proposed project? | Yes |
| 2. What do you like most about the proposed project? | Location |
| 3. Do you have any concerns about the proposed project? | Nope |
| 4. What would you suggest to improve or enhance the proposed project? | Open ASAP |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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Telephone: 604 809-1084

Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

Mallory

Recreational Cannabis Retail Store Public Open House

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221 WEST FIRST ST

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------|
| Name: Mallory | |
| Address: 104-237 East 12 th Street N. Vancouver BC | |
| 1. Do you support the proposed project? | Yes |
| 2. What do you like most about the proposed project? | Location |
| 3. Do you have any concerns about the proposed project? | No |
| 4. What would you suggest to improve or enhance the proposed project? | Nothing |
| 5. Please provide any additional comments. (use back of page if necessary) | none |

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Recreational Cannabis Retail Store Public Open House

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221 WEST FIRST ST.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No |
| 2. What do you like most about the proposed project? | — |
| 3. Do you have any concerns about the proposed project? | Yes. The pub next door owned by the applicant allows patrons to smoke in the patio (they are grandfathered on that according to VCH). * see back of page for more comment. |
| 4. What would you suggest to improve or enhance the proposed project? | Ban smoking in the Sailor Heger's pub. |
| 5. Please provide any additional comments. (use back of page if necessary) | Smoking cannabis should not be grandfathered as cigarette smoking is. |

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221 WEST FIRST ST

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No. |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | I don't support the sale of cannabis "is a residential neighborhood beside an already very road busy pub. There are several intoxicated people, til very late at night being disrespectful to neighbors. The sale of cannabis will ^{could} increase the amount of intoxicated patrons. |
| 4. What would you suggest to improve or enhance the proposed project? | Moving it away from the pub. |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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Recreational Cannabis Retail Store

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: 255 West 1st St | |
| 1. Do you support the proposed project? | Conditional. would have to have strict 'No Smoking' laws in effect in area surrounding store |
| 2. What do you like most about the proposed project? | N/A |
| 3. Do you have any concerns about the proposed project? | - Yes. West 1st is designated a 'No Smoking Street' (even a sign depicting this @ 1st + Horsdall). There are plenty of families with children in area & playgrounds/parks nearby as well as new proposed school in vicinity |
| 4. What would you suggest to improve or enhance the proposed project? | Strict No smoking laws with enforcement |
| 5. Please provide any additional comments. (use back of page if necessary) | - We live in a 'Green' (plenty of organic eateries etc) and healthy environment. Don't want to walk through smoke on my way to yoga class etc |

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221 West 1st Street Public Open House

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April 9, 2019 6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: [REDACTED] | |
| Address: #224 - 255 West 1st St., North Vancouver | |
| 1. Do you support the proposed project? | No. In fact I strongly object to this particular location. More appropriate locations would be non-residential areas like shopping centres |
| 2. What do you like most about the proposed project? | Nothing I thought the fact it is located across the street from a children's playground (Semisch Park) would have made it a non-starter. |
| 3. Do you have any concerns about the proposed project? | Two things. Proximity to playground and management of operation. Sailor Hagars Pub is not a good neighbor and cannot control rising level of violence and noise pollution |
| 4. What would you suggest to improve or enhance the proposed project? | I'm amazed 221 made it into the group of 6. I remember a few years ago the owners saying they needed the liquor outlet to survive. I imagine they are saying something now. |
| 5. Please provide any additional comments. (use back of page if necessary) | I moved into 255 West 1st condo a year ago October. Initially I thought it would be great to have a neighborhood pub. Since then the level of noise and violence has continuously escalated. (See back) |

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Telephone: 604 990 4219

E-Mail: brian.1174707@gmail.com

E-Mail: djohnson@cnv.org

On my last and final visit to Sailor Hagers a fight started on the smoking deck (patio) and spilled into the main area where I was having dinner. I would never take family or friends there. This happened around 7:30 pm. One fellow was screaming he was going to kill the other guy. Since then RCMP attendance has become routine. Recently on a Sunday night a woman was taken away in an ambulance and a man in hand cuffs.

I think having a cannabis outlet at this location under the same management group as Sailor Hagers would only serve to diminish the quality of life in the immediate neighborhood.

On my way home at night I often see people passed out on the adjoining steps at 223 West 1st. A few weeks ago a man was being attended to by an EMT while 4 Mounties looked on.

Prohibition is over. Cannabis should never have been illegal to start with. I am not against cannabis outlets but not in a residential neighborhood across the street from a playground and not managed by a group who cannot control their current operation and with a history of total disregard for safety and quality of life of their neighbors.

Recreational Cannabis Retail Store Public Open House

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221 WEST FIRST ST.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No |
| 2. What do you like most about the proposed project? | — |
| 3. Do you have any concerns about the proposed project? | Yes. The pub next door owned by the applicant allows patrons to smoke in the patio (they are grandfathered on that according to VCH). * see back of page for more comments. |
| 4. What would you suggest to improve or enhance the proposed project? | Ban smoking in the Sailor Heger's pub. |
| 5. Please provide any additional comments. (use back of page if necessary) | Smoking cannabis should not be grandfathered as cigarette smoking is. |

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Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

3. Do you have any concerns with the proposed project?

Yes. A second concern is that the Sailor Hager's pub also has a high frequency of police incidents ~~and~~ with patrons disturbing the neighbourhood late at night. They don't seem to make an effort to minimize impact to the neighbors and I'm concerned they would have the same behaviour towards this proposed shop customers.

Proximity to the youth centre and youth clinic both located on 1st St. West is also a concern.

David Johnson

From: Westcoast Livin [REDACTED]
Sent: March-28-19 8:41 PM
To: David Johnson
Subject: 1st cannabis

This place should not be allowed, cause I can go into hagers and leave with a drink in my hand and no one notices, thus selling weed , I believe there will be no due Diligence on the rules

--

Sent from Hotmail Email App for Android

David Johnson

From: snarie <[REDACTED]>
Sent: March-30-19 9:05 AM
To: David Johnson
Subject: There Goes The Neighbourhood

Hello David Johnson,

With all due respect to the City of North Vancouver, we are the neighbours of 221 West 1st Street. Our building is only 4 years old & since we moved in, we have been trying to have the owner of 221 West 1st Street replace the outdated & offending compressor on the roof of his liquor store.

The Health Authority was called out to do a decibel reading by your by-law department and it was found to be OVER the allowable levels for a mixed use residential neighbourhood. The City did not want to take the issue to court but is supposed to be tracking repairs on the machine. The compressor should be replaced in order to respect the current bylaws and allow his neighbours the fundamental right to peace and quiet in their homes.

It may be wise to obtain a report as to how many times refrigeration companies & the RCMP have been called to his current establishments in the past 5 years when considering the current rezoning application to add a cannabis store.

We have no issue with well run cannabis establishments but the noise, idling traffic and mayhem already caused by Brian Reidlinger's establishments will only be further increased by the addition of a weed store considering his current lack of respect for the City or any of his new neighbours.

Regards,

Concerned neighbour.

David Johnson

From: Julie Bartlett <[REDACTED]>
Sent: April-09-19 10:35 AM
To: David Johnson; Linda Buchanan (Mayor); Holly Back (Councillor); Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)
Subject: 1174707 BC Recreational Cannabis retail application

Dear Mr. Johnson, Mayor Buchanan and City Councillors,
I've just read a notice about an "open house" this evening regarding an application to sell recreational cannabis at 221 W.1st Street.

How is it possible that the City of North Vancouver is even considering a cannabis store next door to Foundry!? What kind of cynical message would this send to the youth at Foundry struggling with mental health and addiction, their families and the dedicated professionals who help them?

Substance abuse often begins with mental health issues. I urge you to talk to the psychiatrists and therapists at Foundry and the Hope centre to find out the facts about cannabis and it's effects on young brains. For instance, cannabis can trigger lifelong schizophrenia in young people who have a genetic predisposition (alcohol and other drugs do not).

Symbols matter. Please do not place greed above young lives. Foundry is a lifeline in this community. Hagar's is already making enough profit on people's addictions.

Sincerely,
Julie Bartlett

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenford Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V. | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koop | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koop + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE 1517 | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | +203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, V | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VANV B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOYE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgason | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle LeMay | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD E. | 6:12 |
| 46 | Debbie Dickie | 1119 Pinning Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. #6 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd ST WEST NORTH VAN | |
| 49 | Myra | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILLOW LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOP | 1250 Lonsdale Ave | 6:00 pm |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 pm |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 pm |
| 9 | Don HOLT | 601-12th W | 6:15 |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 |
| 14 | KKE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 |
| 17 | Stord Scalford | 312 East 1st St Apt. #103 | 6:40 |
| 18 | Courtney Anson | 252 2nd St W | 6:40 |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 19:43 |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DINA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent I the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8715

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8715” (1st Cannabis / 1174707 BC Ltd., 221 West 1st Street, CD-454 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In the CD-454 Zone:
 - (1) Delete Section (1) and replace with:
 - (1) In addition to the Principal Uses permitted in the LL-3 Zone, the following uses shall be permitted:
 - a. Licensee Retail Store;
 - b. Maximum of one Cannabis Sales Retail Store.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.




ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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| | | |
|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 315 LONSDALE AVENUE (LONSDALE CANNABIS CO. / 1120364 BC LTD.)

Date: June 12, 2019 File No: 08-3360-20-0493/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 315 Lonsdale Avenue (Lonsdale Cannabis Co. / 1120364 BC Ltd.):

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716" (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1772966](#))
2. Submitted Floor Plan (doc#[1761883](#))
3. Community Impact Statement (doc#[1761882](#))
4. Proposed Security Plan (doc#[1761887](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 315 Lonsdale Avenue (doc#[1791908](#))
7. Applicant response to general public feedback (doc#[1775432](#))
8. General Public Comments (doc#[1775340](#))
9. Zoning Text Amendment Bylaw No. 8716 (doc#[1774307](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 315 Lonsdale Avenue.

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The building on the subject site is a mixed-use ground floor commercial with residential apartment units on the upper floors. The proposed store would occupy approximately 70.6 square metres (760 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3) to outline the community benefits of the store, and their proposed Security Plan (Attachment #4) to provide a description of providing store and building security.

Site Context and Surrounding Use

The subject site at 315 Lonsdale Avenue is one of several ground floor retail units of a mixed-use commercial and apartment residential complex at the north west corner of Lonsdale Avenue and West 3rd Street (Attachment #1). The unit itself faces Lonsdale Avenue and West 3rd Street is the closest cross-street.

The area has a mixture of mid-rise ground floor commercial buildings, along with some other mixed-use buildings consisting of ground floor commercial with apartment residential units above, along the Lonsdale Avenue corridor. Other mid-rise residential apartment buildings are located to both the east and west of Lonsdale Avenue.

The location is along a busy public transit corridor with bus routes travelling along both Lonsdale Avenue and 3rd Street. There are many other commercial businesses within easy walking distance of the site.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Mixed Use Level 4A which supports a mix of higher-density multi-family and commercial uses in Lower Lonsdale.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage

minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the width of the unit is relatively narrow and not excessive given the scale of all the commercial units along this street front that has transparency into the units.

The building placed on the subject site encompasses the entire site with boundaries from West 4th Street to the north, West 3rd Street to the south and Lonsdale Avenue to the east, and was completed in 2001. The only change that is being proposed to the building would be a Tenant Improvement to the commercial unit that would require a Building Permit.

No amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application does conform to the criteria provided within the policy (Attachment #5). The subject site is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of the North Shore Neighbourhood House and Queen Mary Elementary School, and it is one of two applications in the Lower Lonsdale area.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist In a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8716 (Attachment #9) would allow the use to exist in this location. The current Zone of Comprehensive Development 341 (CD-341) does permit retail stores.

The size of the store would require the applicant to supply at least two parking stalls within the property. The mixed-use property has an appropriate number of commercial off-street parking stalls for the intended use.

COMMUNITY CONSULTATION

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all applications. From the 91 people who signed in for the event (Attachment #6), staff received 21 written comments relating to this application.

Most of the written comments were in opposition to the proposal. Many felt the use was not appropriate in a mixed-use building with residents and children. Concerns over an increase

in parking demand, building security, smell, and people safety were also raised. Comments in favor stated the location was fitting.

In response to the feedback given at the Open House, the applicant made some adjustments to their business plan (Attachment #7). Specifically in regards to lessening the hours the store is open, extended security procedures and store security.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #8.

CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the Lonsdale Avenue corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

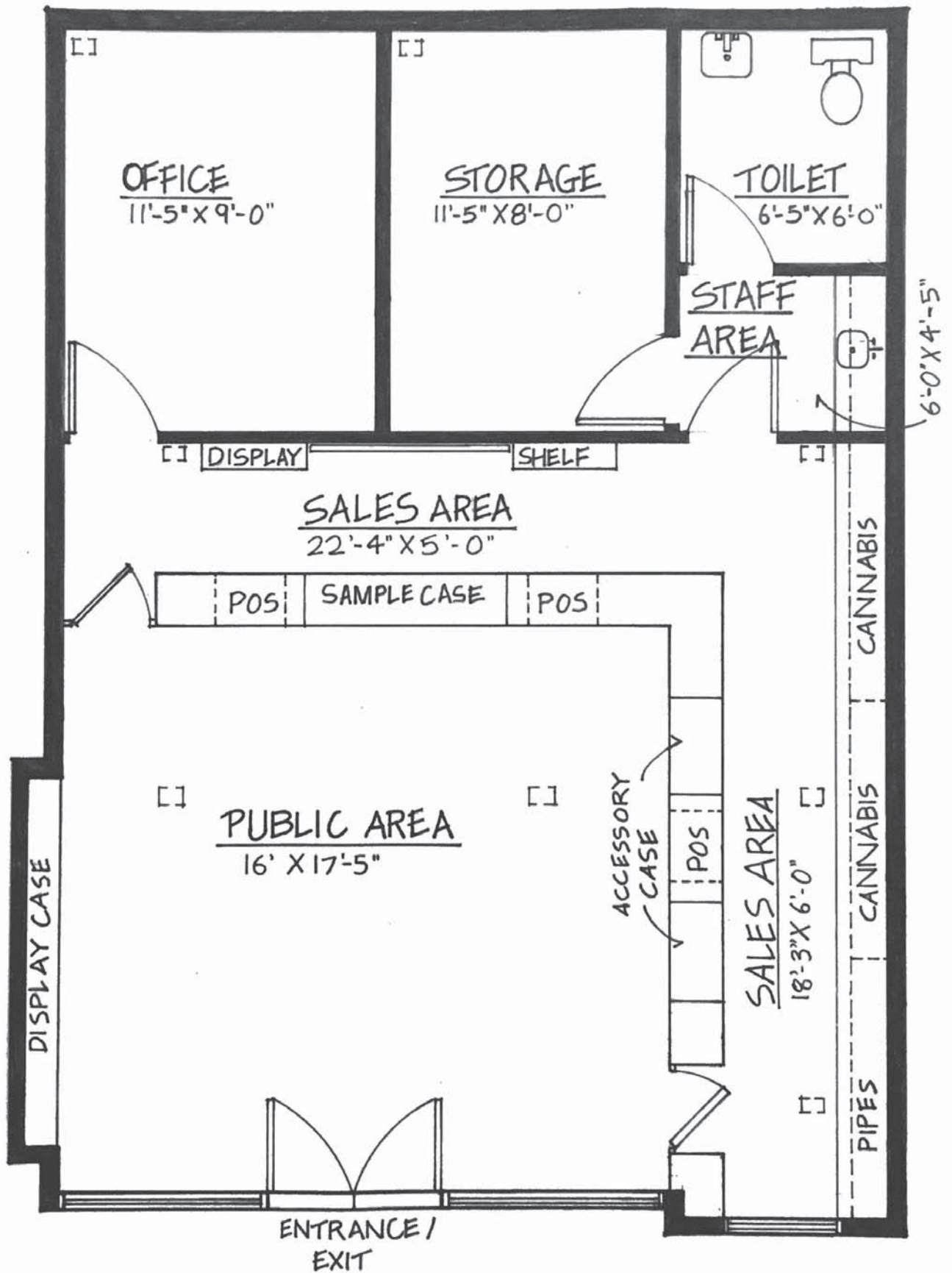
RESPECTFULLY SUBMITTED:



David Johnson
Development Planner



SCALE: 1/4" = 1'-0"
[] = SECURITY CAMERA



Community Impact Statement

By

Lonsdale Cannabis Co.

Positive impact:

1) Tax

The market of illegal and medicinal cannabis sales is enormous, expected to reach \$7.17 billion dollars in Canada in 2019 (Deloitte, 2018). As a provincially regulated business, the products sold will incur taxes. These taxes will go towards the local and provincial government, creating more funds for the governing bodies, which can go towards helping the community and their people. This was exemplified when Colorado legalized Cannabis in 2014 (Government of Colorado, 2015, as cited in Hajizadeh, 2016). Since their legalization, they saw significant monetary tax revenue, collecting more than \$135 million dollars in tax from a total of \$1 billion dollars of sales from recreational and medicinal cannabis in the first two years. The collected money was utilized to boost the state's public schools and public programs, such as substance abuse. Therefore, a major benefit is the extra funds created by taxing non-medicinal cannabis, which can have positive social and economic impact directly to the residents.

2) Employment

With the expected sales volume of recreational cannabis, there will be a need to fill many roles on the business front, such as sales, and security. We are planning on hiring local residents. Currently, the unemployment rate in North Vancouver is 5.1%, compared to the provincial 4.1% rate (BC Statistics, 2018; Statistics Canada, 2016). It may not resolve unemployment altogether, but will likely help local residents gain employment. As this business grows, more staff will be needed. Thus, one economic/social benefit is job provision in North Vancouver.

3) Displacement from Black Market

There is an illegal, underground market for cannabis, which has strong associations with organized gangs/violence (Hutchinson, 2018). It seems that it is difficult for the police to adequately manage the illegal market through the current legal channels. The proposed location of

Lonsdale Cannabis Co. is in the downtown Lonsdale area. It has high foot traffic and free street parking that allows costumers to gain convenient access to legal cannabis. Market indicates that consumers are willing to pay more for legal methods of access to cannabis, to a certain point (Deloitte, 2018). With access to legal cannabis, opening Lonsdale Cannabis Co. in the proposed location could sway consumers to switch from illegal to legal avenues for cannabis. Thus, a positive social impact is the mitigation of illegal cannabis sales.

4) Criminal Justice System

Another social/economic benefit is the management of cannabis-related criminal charges. The Canadian Department of Justice found that more than 55% (55,000 of 95,400) of all police-reported *Controlled Drugs and Substances Act* were related to cannabis (Government of Canada, 2017). Coupled with cannabis policy and legal framework, these bear an enormous cost and time on local and federal governments (Hajizadeh, 2016). As mentioned in the last point, Lonsdale Cannabis Co. would be able to provide a safe, regulated, and convenient access for cannabis consumers. In turn, not only will the business help with the displacement of the black market for cannabis, it would likely also subsequently have a positive impact by decreasing the number of negative run-ins with the police. This would entail saving overall money on police enforcement and freeing their time to deal with other matters.

5) Health Benefits

Although the license is for a non-medicinal cannabis retail store, there is a wide body of research that highlights the benefits of using cannabis, include glaucoma treatment, relief of seizures, multiple sclerosis, and even fighting against cancer (Railton, 2018). Over 50% of cannabis users report their reason is for improving mood, relaxing or anxiety (Deloitte, 2018). Even though the goal is not providing medicinal cannabis, there will likely be people who wanted to use cannabis for its health benefits.

6) Stylish, Professional, and Clean Brand

As mentioned in the marketing strategy, our business's focus is to break down the negative portrayal of cannabis and create a positive, professional, stylish, regulated identity of cannabis distribution.

Many currently illegal cannabis operations have a negative, unappealing curb appeal. Lonsdale Cannabis Co. will be the beautifully interior designed, and was tailored to blend well in keeping with the current style of the neighborhood. Please refer to the mood board attached. When coupled with a friendly, knowledgeable staff, Lonsdale Cannabis Co. will have the positive aesthetic branding to boast the overall appeal of the neighbourhood.

7) Added Security

One micro-level benefit to the neighbourhood is the added security. The business will have exterior cameras, as well as a security guard during evenings. The cameras will be running 24 hours, even if the store is closed. This means there will be an extra set of eyes on the neighborhood, promoting general crime deterrence and safety. The video cameras may also be helpful for crime/auto accident reports.

Negative:

1) Stigma of a cannabis store

There is a negative conception of cannabis from many of the public and likely from neighboring businesses (Poshnjari, 2018). That is why our marketing strategy focuses heavily on a very professional branding. There is a mood board attached, which helps to illustrate the business' branding and how the store will look. The business and physical store will have a high-class, yet approachable, feel. So, as soon as prospective customers see the brand or come into the store, they can immediately feel a sense of regulation.

2) Interrupting quiet enjoyment – Smell of Operation

Cannabis can have a strong odor, which may disrupt neighbouring businesses. This will be remediated by ensuring that all products are sealed and the sample “smelling” jars are kept shut, if not being used. Further, there will be no cannabis use in the store by staff and customers tolerated, with signs present in and outside the store.

3) Interrupting quiet enjoyment - Smoke

There may be individuals who wish to smoke outside the business doors. This may affect neighbouring businesses. To rectify this issue, the staff (including security) will be trained to inform customers not to

smoke in front of the store, but rather in their private residence. Also, there will be exterior signs not to smoke in front of the store.

4) Disposing Cannabis - Smell

There may be a concern that the cannabis will be disposed in the shared dumpster with other businesses, making the dumpster smelly.

Following the Liquor and Cannabis Board regulations (BC Government, 2018), we will ensure that any unused cannabis will be denatured by shredding into pieces, adding water, and adding cat litter for compost.

5) Disposing Cannabis – illegally sold/personally used

There may be concern that any unused, or defective cannabis from the store may be sold illegally or personally used by the staff/owners. The staff will be carefully monitored with multiple cameras to manage theft in the store/storage room. The storage room will be locked, with the key with only the owners. It is noteworthy that neither partners of Lonsdale Cannabis Co. use cannabis in any form. Any disposal will be recorded by amount, time and type of cannabis, and location by the storeowners.

6) Increased accidents/injuries

Providing access to cannabis user may increase cannabis-related accidents/injuries. We will ensure that there is a zero tolerance policy that cannabis use is allowed inside or near the store. This is primarily to deter customers from using cannabis and placing themselves at a higher risk for accidents, such as auto-accidents. We will also place signs to let customers know of this policy and supplemented with our staff, which will be trained to be vigilant and inform customers to use their products once they are in a safe, private residence.

7) Increased uptake

Research indicates that cannabis legalization and providing easy access will increase cannabis use (Lopez, 2018). Our proposed location is in a very convenient location in Lower Lonsdale. While there may be an increase of cannabis use due to our business, we condone cannabis use, as long as it is conducted legally, safely and voluntarily. A big portion of ensuring this is by thoroughly training our staff to always check for ID and informing customers to use cannabis at the safety of a personal residence.

Final notes:

We understand that there are many economic, social and environmental impacts of opening a non-medicinal cannabis store in North Vancouver. With the ***right*** minds and attitudes, risks can be managed to ensure the growth and prosperity of the people, culture and businesses in North Vancouver. And opening Lonsdale Cannabis Co. can yield many ***positive*** benefits, beyond tax dollars and employment, directly to the residents of North Vancouver.

Security plan

In accordance with the Provincial Liquor and Cannabis Regulation Board's rules (BC Government, 2018), the store will have the following:

- intruder and fire monitor alarm systems
- Locked retail product display cases
- Locked Cannabis storage room
- Secure Perimeter door locks
- Security cameras with unobstructed views of
 - a) retail sales area
 - b) any product storage area
 - c) both interior and exterior of all store entrances/exits

The cameras will be active and recording at all times, including when the store is not open for business. Security camera footage will be stored for at least 30 days after recording. There will be a written notice in the retail sales area informing the patrons that video surveillance is being used on the premises. This notice will be visible at all times.

A copy of security camera footage will be provided to Liquor and Cannabis Regulation Board at any time for use in investigating possible contraventions of the *Cannabis Control and Licensing Act*, its regulations, and/or these terms and conditions. Security camera footage may also be used by Liquor and Cannabis Regulation Board at enforcement hearings held under the *Cannabis Control and Licensing Act*.

There will be adequate lighting, both interior and exterior, for both safety and crime deterrence purposes. Further, there will be an incident log, which will record any incidents, such as intoxicated patrons, injury/accidents, and any illegal actions. These records will be kept for at least 6 years.

In regards to identification requirements, the employees will check for 2 pieces of ID, as outlined in the Liquor and Cannabis Regulation Board guideline book (BC Government, 2018). The requirements will be printed and posted at each cash register. Any minors (18 and younger) will not be served and asked to leave the store.

There will be a security guard, who must be licensed with the *Security Services Act*, present during the evening. They have a dual purpose, both in crime deterrence and peace of mind and safety among employees and patrons.

There will also be a sign present in the store that informs patrons not to disturb neighboring business and other patrons in the store. Cannabis and cannabis products will not allowed to be visible from outside the store.



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

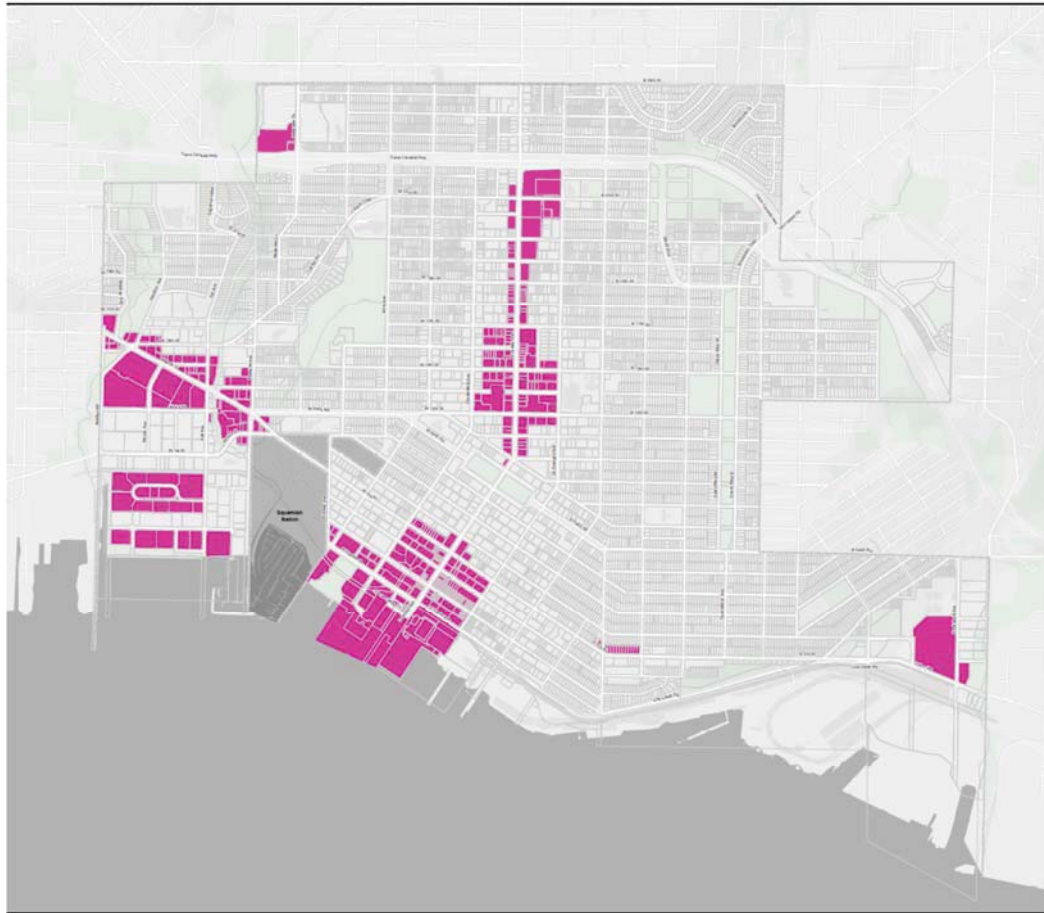
| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

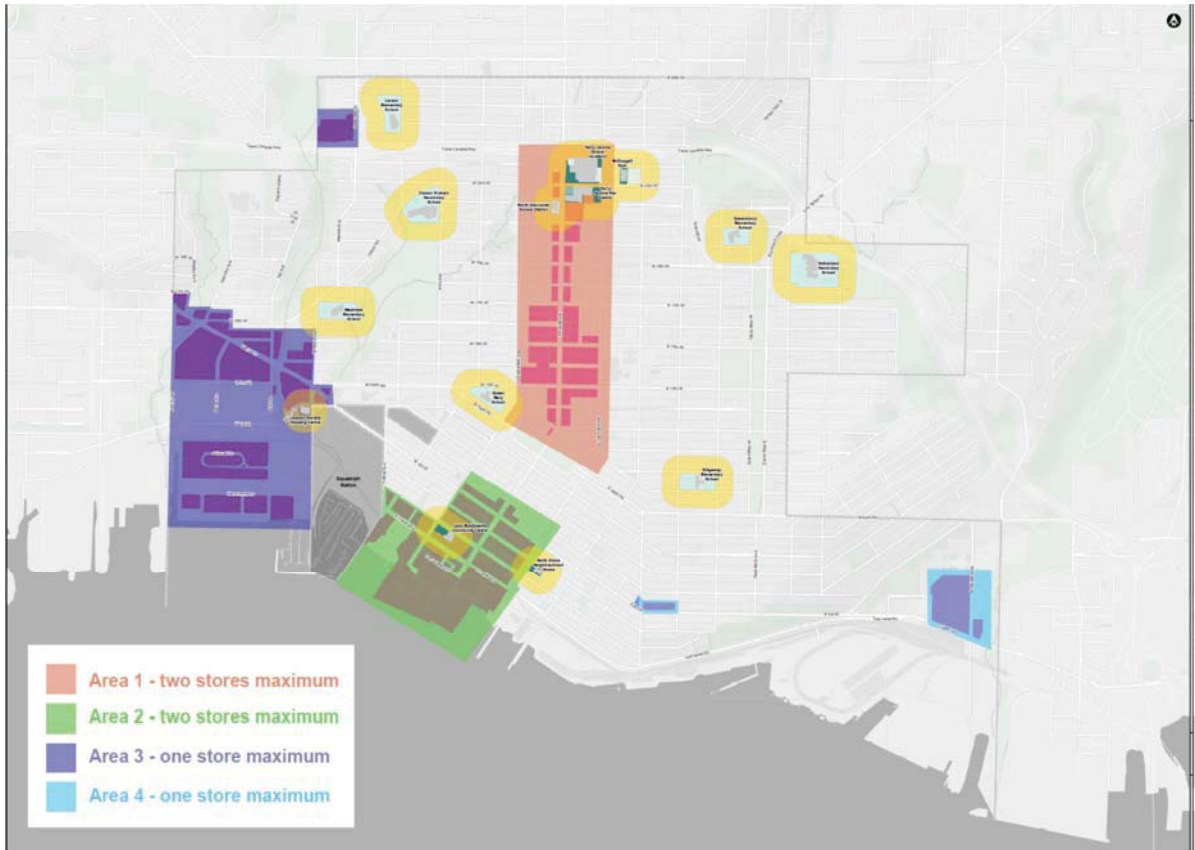
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer *
- OCP Land Use Designation
- Legal Parcels
- City Boundary

* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 3
Recreational Cannabis Retail Businesses
Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | I support that there should be stores in the city. |
| 2. What do you like most about the proposed project? | People should be able to buy legally and conveniently. |
| 3. Do you have any concerns about the proposed project? | Yes, places like Sailor Sailor Haggie pub where people are allowed to smoke on their patio. You will also have weed. It's odd enough that |
| 4. What would you suggest to improve or enhance the proposed project? | smoking still allowed. Weed is too much. TAKE A DEEP look at what surround the |
| 5. Please provide any additional comments. (use back of page if necessary) | stores. SMOKING OF WEED NEEDS TO BE REGULATED DIFFERENT BAL TALESCO. NOT THE SAME. |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| Name: <u>KYLE ROBERTSON</u> | |
| Address: <u>702 - 129 W 1st St. N. VAN</u> | |
| 1. Do you support the proposed project? <u>Yes</u> | <u>Yes, the location is ideal</u> |
| 2. What do you like most about the proposed project? <u>LOCATION</u> | <u>NA</u> |
| 3. Do you have any concerns about the proposed project? <u>NO</u> | <u>NO, I BELIEVE it is the time for non-criminal CANNABIS purchases in N. VAN</u> |
| 4. What would you suggest to improve or enhance the proposed project? | |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

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315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | MILLIONS |
| 4. What would you suggest to improve or enhance the proposed project? | GIVE IT UP - GO ELSEWHERE |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

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Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No. |
| 2. What do you like most about the proposed project? | DO <u>NOT</u> LIKE IT AT ALL. |
| 3. Do you have any concerns about the proposed project? | VERY CONCERNED. FAMILY ORIENTED |
| 4. What would you suggest to improve or enhance the proposed project? | RELOCATE THE PROJECT. |
| 5. Please provide any additional comments. (use back of page if necessary) | — |

**BLDG.
~~PLACE~~**

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CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|----------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|
| Name: TINA WEEKS | |
| Address: 305 Lonsdale Ave | |
| 1. Do you support the proposed project? | NOT IN THIS LOCATION |
| 2. What do you like most about the proposed project? | N/A. |
| 3. Do you have any concerns about the proposed project? | Yes, Residential building lots of dogs, pot is harmful to pets parking, security. Racing up and down alley will continue |
| 4. What would you suggest to improve or enhance the proposed project? | always been an issue before this. |
| 5. Please provide any additional comments. (use back of page if necessary) | Other locations not here. |

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CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>Sarvrez Brent</u> | |
| Address: <u>302-305 Lonsdale Ave -</u> | |
| 1. Do you support the proposed project? | <u>No</u> |
| 2. What do you like most about the proposed project? | <u>Nothing about it at this location.</u> |
| 3. Do you have any concerns about the proposed project? | <u>Not a good business for mixed use residential building with lots of children - Not in keeping with policy behind exclusion zones.</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>Not at this location. Better suited for commercial only space.</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>This is not in keeping with the go slow / keep Canada's away from youth policy approach. Families in the CNV now live in many mixed use residential / commercial sites and these sites should not be considered for this. High risk. Not necessary.</u> |

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CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

315 LONSDALE AVE

Recreational Cannabis Retail Store

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: #202-305 LONSDALE AVE | |
| 1. Do you support the proposed project? | ABSOLUTELY No ! |
| 2. What do you like most about the proposed project? | NOTHING ! |
| 3. Do you have any concerns about the proposed project? | - It is a residential strata building. - concerned with noise, parking, security, CRIME, & overall safety. |
| 4. What would you suggest to improve or enhance the proposed project? | - Not the right location for it. |
| 5. Please provide any additional comments. (use back of page if necessary) | |

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CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store

Public Open House

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315 Lonsdale

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No! - it <u>will</u> increase crime. pot shops get robbed - it <u>will</u> cause a smell people will smoke it nearby - it <u>will</u> cause horrible traffic. There's nowhere to park. |
| 2. What do you like most about the proposed project? | There is nothing good about this idea. Putting a pot shop in a residential building is a terrible idea. |
| 3. Do you have any concerns about the proposed project? | Yes. I <u>use</u> Marijuana and I live in the building. I <u>know</u> what is going to happen. 1) smell 2) crime 3) noise/traffic |
| 4. What would you suggest to improve or enhance the proposed project? | Do not approve this application. Open pot shops in areas with parking that are not near residential buildings. |
| 5. Please provide any additional comments. (use back of page if necessary) | Questions call me at or e-mail |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

see back of paper for more...

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

No one who lives in the building wants
a cannabis store to go in at 315 Lensdale.

No One. It is a bad, bad idea. As
a 1) pot user myself and 2) building resident

I can tell you with 100% certainty that
it will lead to terrible traffic, pot smell &
potential crime. The person who has applied does not
use pot and does not live in the building so he
does not know what kind of trouble this would be.

Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No! It will cause terrible traffic! |
| 2. What do you like most about the proposed project? | I <u>use weed</u> and I am against this! |
| 3. Do you have any concerns about the proposed project? | See back of this sheet for a <u>map</u> |
| 4. What would you suggest to improve or enhance the proposed project? | Open pot shops elsewhere - not in residential buildings |
| 5. Please provide any additional comments. (use back of page if necessary) | The guy who has applied does not use weed and does not live in the building so he has <u>no idea</u> what he's doing. |

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CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

↑ people use this alley as a shortcut ↓

proposed pot drop

Where I live with my 2 children

pet shop where people drop off and pick up pets by parking in the Alley

car dealership w/ cars on sidewalk

thrift shop where people drop off furniture by driving down alley

people park all along 4th so they can take the seahs it's packed M-F 9-5 + weekends.

building I live in

Starbucks where people park illegally to get coffee

location of traffic fatality a few years ago.

Another pedestrian hit (8 killed?)

3rd

Judo Jitsu club with 100s of students + very little parking

pubs
Lonsdale

David Johnson

From: Jeff Meszaros [REDACTED]
Sent: March-29-19 9:58 PM
To: David Johnson
Subject: Fwd: Pot Shop

Hello,

See below. I am not an anti-pot lunatic, but I'm not sure this location is the best idea. This corner is already mayhem with people buzzing up and down the alleyways, and parking illegally to get their coffee fix at Starbucks.

I live in the apartment right over the politician's shop and do you know how many car accidents I've seen? Offhand I can think of three ... and there have been a few pedestrians run down too ... one on third and Lonsdale, one on fourth and Lonsdale and one at 3rd and Chesterfield as I recall.

There was a perfectly decent pot shop over on 2nd, but it got shut down for some crazy reason. Now we're thinking of putting one on a much busier street? It's just crazy. I can hear cars whistling down the hill right now. And people shouting (thanks to the new pub on 2nd) ...

If you don't agree with anything I'm saying, just let me know.

Kind regards,
Jeff
[REDACTED]

Begin forwarded message:

From: Jeff Meszaros [REDACTED]
Subject: Pot Shop
Date: March 29, 2019 at 9:49:13 PM PDT
To: [REDACTED]

Dude,

I live at 305 Lonsdale, right beside where you propose to put a pot shop.

Don't get me wrong, I'm a big fan ... especially of edibles. And CBD is great for my back.

That being said, I'm having visions of people smoking weed right under my window in the cozy corner in front of the politician's office.

Would you want a festival of farts right under your window? Answer that honestly.

I can't come to the thing at the community centre but I imagine it will be silly.

Kind regards,
Jeff

David Johnson

From: Jeff Meszaros <[REDACTED]>
Sent: April-09-19 7:53 PM
To: David Johnson
Subject: 315 Lonsdale - DO NOT APPROVE THIS!

Hello,

We just met at the public hearing. I was the tall animated fellow.

Here are my reasons why the application for 315 Lonsdale Avenue SHOULD NOT BE APPROVED!

1) Traffic. Lonsdale & 3rd is already a very, very busy intersection. There is a Starbucks and people park illegally to get their coffee. There is a pet grooming business and people park illegally to pick up and drop off their pets. There is a thrift store and people use the alley to drop off their furniture etc. There is a jiu jitsu club with 100s of students. There's also a car dealership which parks cars on the sidewalk, not to mention people who work downtown park on 4th all day and then walk down to use the sea bus. The streets in this area are very busy and, since you aren't allowed to turn left onto Lonsdale, people use the alleyways as shortcuts and race up and down them. Did you know there was a traffic-related fatality not too long ago at 4th and Lonsdale? I've also seen people get hit at 3rd and Lonsdale (both corners) and along 3rd towards the 7-11. Having a pot store will add even more traffic with people parking illegally and putting on their 4-way flashers to run in "just for a second" ... which is already a massive problem all around the building.

2) Smell. There is no question that pot is a wonderful thing, but it smells awful. Generally, there is nothing that can be done about this. Even if the store has a security guy, and rules about not smoking the weed on the sidewalk, people will smoke the weed on the sidewalk. At the very least, they will go around the corner to smoke it ... which puts them directly under my window (I live above the dentist). This WILL happen. The marijuana store that was open on 2nd (until recently) had to put up a large sign telling people not to smoke their marijuana on the sidewalk. They smoked it on the sidewalk anyway. Also, the marijuana store that was open near MacGowan had a similar problem. Next to it was a chiropractor (who is still there) and the smell came right through the wall. Weed stinks!

3) Crime. I was reading a short while ago about a weed shop in Kelowna that was robbed. Do you know why robbers rob weed shops? Because they generally have a lot of cash, not too much security, and ... weed. The fellow who has applied says he will have a security guard but this does not comfort me at all as you generally need a security guard when you have a risk of something dangerous happening. What other businesses need security guards? Offhand, I can think of bars and courthouses. Would you put those in the same building as children? Would you? I would not as it seems like just a terrible idea. It's bad enough living next to an alley people use as a race-track and a park full of needles left on the ground by the freestyle recyclers. What are we trying to accomplish here?


That last point is the one to remember. Today, I saw there are several applications to open marijuana stores around North Vancouver. Mostly, they are not in residential buildings. Actually, the one at 315 Lonsdale is the only one I saw with a proposal to open a marijuana store in a residential building. I'll type this next part in capital letters just to be clear ...

YOU SHOULD NOT OPEN A MARIJUANA STORE IN A RESIDENTIAL BUILDING

Sorry if that seemed like yelling. Honestly, I'm amazed I have to even say it. It seems like common sense but, I suppose, that is only because I live in the building and I use weed myself so I am uniquely qualified to see what a bad idea this is ... and it is a bad idea.

Please reply to this e-mail so I know I'm not just shouting into the wind. Also, please forward it to anyone who has the ability to pull the plug on this plan. If you have any questions, please call me and/or reply to this e-mail. Also, if there is another hearing, let me know so I can show up in person

Thanks,
Jeff



David Johnson

From: Lew Donald [REDACTED]
Sent: April-09-19 10:41 PM
To: David Johnson
Subject: Re: cannabis retail store application

Re application of 315 Lonsdale.

I am not in support of this application, or future development in this regard.

I will not attend the meeting

Regards,

Lewis Donald
222-332 Lonsdale
[REDACTED]

Sent from my Samsung Galaxy smartphone.

David Johnson

From: Colm Flavin <[REDACTED]>
Sent: April-09-19 11:08 PM
To: Wendy Tse; David Johnson
Subject: information session

i was at the information session on the pot shops and i'd like to state that these stores are such a ridiculous idea for the area, in particular the 315 Lonsdale location in a residential building. The city is destroying the area with a move like this. it's contrary to redeveloping places like the shipyards and making them family friendly.

Placing one of these in a residential building is bizarre. People with young families live in these buildings and pay good money to do so. you'll place separation for the store from a school but once the kids go home it's fine to have it in the building where they live? Go figure. If you want to drive people out of the area you're going the right way about it. Serious rethink required.

David Johnson

From: Stephen Wurz [REDACTED]
Sent: April-09-19 10:33 AM
To: David Johnson
Cc: Metroplitan-Megan Kleisinger; Meghankoop; Sylvia Collins; Mike Clarke; Jim and Grace
Subject: 315 Lonsdale Ave - Cannabis Retail Application

Dear Mr. Johnson:

I am a member of the Strata Council at the location of the applicant for a Retail Cannabis Licence at 315 Lonsdale Ave.

Our Strata Council met with the applicant, Justin Koh, last evening to gain an understanding of his application and the manner in which his proposed store will operate in our complex.

In our discussions with him, we asked some basic questions with respect to the manner in which the store would operate. These questions included:

- What hours would the store be open?
- What kind of security would you be providing?
- Are you aware of the strata's requirements to make alterations to the unit?

Based on our discussions with him, he did not have a clear idea or plan about the hours the store would be open. He eventually indicated it may be open 9am-9pm, but it he wasn't clear whether this would be seven days per week, or a different schedule. It was clear this part of his business plan has not been thought through.

With respect to the provision of security, he stated to council that he would be placing a security guard in the store we asked him who that person would be and what hours would they be present. Again, he appeared not to have a clear idea of who this person would be (i.e. an employee or a contracted service). He stated that the security guard would be present only in the evenings, but again, its not clear to us when the store is intended to be open.

With respect to making alterations to the unit in the strata, he was not aware of the strata's requirement to seek permission to make alterations to the unit and that building permits would be required.

I am writing to you to notify you that based on the information provided to our strata set out above, that I am opposed to this application.

I trust that you will take this information into consideration when assessing this application.

Yours truly,
Stephen Wurz
[REDACTED]

David Johnson

From: Yvonne Cote <[REDACTED]>
Sent: April-09-19 7:16 PM
To: David Johnson
Subject: Rezoning Application 315 Lonsdale

Very disappointed with the format of the meeting this evening at JBC regarding this application.

Several owners from The Metropolitan (305-345 Lonsdale) attended but were unable to have any of our questions answered regarding this process. Mostly, we do not support this request and were hoping to voice our opinions.

What options do we have?

Y. Cote

David Johnson

From: Jim Strand [REDACTED]
Sent: April-12-19 11:15 AM
To: David Johnson
Cc: Lyn
Subject: Feedback - 315 Lonsdale Ave. Re-Zone Application
Attachments: CNV Pot Shop04122019.pdf

David Johnson,

Please see attached comments. I, like all local residential property owners and residents that I have spoken with about this, strongly oppose the proposed business. It will, without a doubt (and confirmed by local realtors), reduce our property values. New businesses like these should NOT be located in residential areas.

Jim Strand
#507 – 345 Lonsdale Avenue
North Vancouver, BC V7M 3M9
E-Mail: [REDACTED]
[REDACTED]

315 Lonsdale Avenue

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: <u>JIM STRAND</u> | |
| Address: <u>#507 - 345 LONSDALE AVE., NORTH VANCOUVER V7H 3M9</u> | |
| 1. Do you support the proposed project? | <u>NO!</u> |
| 2. What do you like most about the proposed project? <u>GENERAL COMMENT</u> | <u>I WAS DISAPPOINTED THAT THE TUESDAY GATHERING AT BRAITHWAITE WAS A "CANNABIS PROMOTION" EVENT AND NOT A COMMUNITY INFORMATION GATHERING! WHY??</u> |
| 3. Do you have any concerns about the proposed project? | <u>YES DEFINITELY. AS A RESIDENTIAL OWNER IN THE MET AT 315/345 LONSDALE AVE, APPROVAL WILL LOWER PROPERTY VALUES.</u> |
| 4. What would you suggest to improve or enhance the proposed project? | <u>BUSINESSES LIKE THIS SHOULD NOT BE LOCATED IN RESIDENTIAL AREAS!</u> |
| 5. Please provide any additional comments. (use back of page if necessary) | <u>I, LIKE MANY LOCAL RESIDENTIAL PROPERTY OWNERS, SHARE MY CONCERN ABOUT NEGATIVE EFFECT ON PROPERTY VALUE. I HAVE MET NO SUPPORTERS! REALTORS HAVE CONFIRMED OUR OPINIONS.</u> |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

David Johnson

From: Meghan Koop [REDACTED]
Sent: April-25-19 4:53 PM
To: David Johnson
Subject: Cannabis Store 315 Lonsdale, North Vancouver

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Mr. Johnson,

I am a Strata Council member for the building adjoined to the above noted Cannabis store application.

After meeting with the applicant I found he did not have any set out business plan and was not able to answer some very basic questions including hours of operation and security. He did not know he would need approval from strata to have a camera added to the outside of the store either.

I have spoken with many residents who do not want this application to go forward. I myself very much do not want this in our building. Many people have spent many years in this building and we all enjoy it very much. It would be a shame to lose the sense of community we have created here if this proposal should go ahead and be allowed.

I wanted to make sure my voice was known as being very opposed to this application as well as the rest of the residents here at the Metropolitan.

I do hope you will take this into consideration when deciding where to have this store. Thoughts generally being that it should not be forced onto a building with residential units and instead should be located in a commercial building in the area.

Thank you for your consideration. If there is any other avenue we can use to voice this please advise. I will certainly be attending the community hearing once there has been one arranged.

Best regards,
Meghan

David Johnson

From: Shannon Urquhart [REDACTED]
Sent: April-27-19 11:27 AM
To: David Johnson
Subject: Feedback: rezoning application 315 Lonsdale Ave.

Hello,

I received a letter about the rezoning application for 315 Lonsdale Ave to become a Cannabis Retail Store. I was unable to attend the information session but would like to provide my feedback.

I am opposed to rezoning this lot to accommodate a Cannabis Retail Store for the following reasons:

- Increased Odours: Since marijuana legalization in 2018, the amount smoke from marijuana users has dramatically increased both in public spaces and in our home from neighbours who smoke. A cannabis store so close to our home could increase odours in the immediate area.
- Property Values: These stores may also negatively impact property values in the area. To this end, our strata has voted to ban cannabis stores in the commercial space under our building.
- Established Accessibility: While they need to get the proper licensing before re-opening, there are many cannabis stores within blocks already (Lotusland Cannabis Club on E 2nd, Weeds Glass and Gifts on E 2nd, Weemedical Dispensary on E 1st).

Thanks for the opportunity to provide feedback.

Shannon Urquhart
332 Lonsdale Ave.
North Vancouver, BC V7M 3M5

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report publicly available. If you do not wish to be identified, please do not include your name on the form, or consideration by City staff in its review of the application; however it will not be viewed by City Council.

April 9, 2019

| | |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No. This is Primarily A Residential Building With Insufficient Parking For Existing Residents + Business |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | That Cannabis Stores Have Extended Business Hours - 10 TO 11 PM! |
| 4. What would you suggest to improve or enhance the proposed project? | |
| 5. Please provide any additional comments. (use back of page if necessary) | Issue Concerned With Increased Smoking Next Door To Our Entrance |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone:

E-Mail:

David Johnson

From: Kyle Owens <[REDACTED]>
Sent: May-01-19 6:35 PM
To: David Johnson
Subject: Feedback: rezoning application 315 Lonsdale Ave.

Hello,

I received a letter about the rezoning application for 315 Lonsdale Ave to become a Cannabis Retail Store. I was unable to attend the information session but would like to provide my feedback.

I am opposed to rezoning this lot to accommodate a Cannabis Retail Store for the following reasons:

- Increased Odours: Since marijuana legalization in 2018, the amount smoke from marijuana users has dramatically increased both in public spaces and in our home from neighbours who smoke. A cannabis store so close to our home could increase odours in the immediate area.
- Property Values: These stores may also negatively impact property values in the area. To this end, our strata has voted to ban cannabis stores in the commercial space under our building.
- Established Accessibility: While they need to get the proper licensing before re-opening, there are many cannabis stores within blocks already (Lotusland Cannabis Club on E 2nd, Weeds Glass and Gifts on E 2nd, Weemedical Dispensary on E 1st).

Thanks for the opportunity to provide feedback.

Kyle Owens
332 Lonsdale Ave.
North Vancouver, BC V7M 3M5

David Johnson

From: Yvonne Cote - [REDACTED]
Sent: May-08-19 10:32 AM
To: David Johnson; Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)
Subject: cannabis applic for 315 Lonsdale Ave

I strongly wish to voice my opinion AGAINST having this cannabis store right next door to our 305 Lonsdale residential entrance. This means a few **feet** from the entrance to our

homes! Due to extended business hours I feel it should be situated in a more commercial area such as West Esplanade near government Liquor Store, Shoppers Drug Mart etc.

Sincerely,
Yvonne

Cote
305 Lonsdale Ave

#502-

David Johnson

From: Jeff Meszaros [REDACTED]
Sent: May-01-19 9:21 PM
To: David Johnson
Subject: Opening a Cannabis Store at 315 Lonsdale is a terrible idea

Hello,

We spoke at the community centre. You might remember me.

Do we know when/where the next meeting will be about which cannabis stores will be approved for North Vancouver?

As you know, I am totally opposed to opening such a store in a residential building at 315 Lonsdale ... as are all the people I've spoken with in the building.

Please let me know when/where the next meeting will be so I can show up and share my many points which are

- 1) there is no parking to accommodate such a business. It will cause ridiculous traffic problems in an already busy intersection
- 2) the smell WILL be a problem. People WILL open the jars to smell the marijuana and they WILL smoke it immediately outside under residential windows
- 3) there WILL be a greater likelihood of crime occurring. Why else would they be putting in security guards and security cameras?

Again, please let me know when I can show up and voice these points

Thanks
Jeff
[REDACTED]

David Johnson

From: eiko madsen [REDACTED]
Sent: May-25-19 11:30 AM
To: Linda Buchanan (Mayor); David Johnson; Don Bell (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmcillroy@cnv.org; Tony Valente (Councillor)
Subject: Retail Cannabis store

To: The mayor of the City of North Vancouver and council members

Re: Application for a retail cannabis store at 315 Lonsdale Ave, N.V.

I reside at 317-305 Lonsdale Ave, North Vancouver. I own a condominium of the floor directly above the proposed cannabis store located at 315 Lonsdale Ave, North Vancouver.

As a property owner, I have grave concerns regarding the location of the cannabis store in my condominium complex and respectfully request that no permit be granted.

My reasons for not agreeing to the store be permitted to do business in this location is as follows:

1. There is very limited parking in the area. There will be an increase pedestrian traffic in and out of the store. People may wish to smoke inside or outside of the store in spite of the regulation which will permeate into my suite. I fear I will be unable to open my windows due to the strong cannabis scent rising from the street.
This is unacceptable.
2. There are lots of children in our building and they should not be subjected to any smoking.
3. I have been advised that there will be security guards patrolling the area.
That is not appropriate to have a cannabis store in a residential area if there is a need for security guards.
A commercial enterprise of this kind should be in a commercially zoned area.
4. The fact that the proposed cannabis store will be part of our condominium complex, requires security, possible break-ins to the complex will create significant lowering of my property's value.

I sincerely request that you decline the permit. A venture of this kind is not suitable at this location.

Yours truly,

Eiko Madsen
317-305 Lonsdale Ave, North Vancouver
V7M 2G3

David Johnson

From: Deborah Harrison [REDACTED]
Sent: May-23-19 7:08 PM
To: David Johnson; Linda Buchanan (Mayor)
Cc: Tina Hu (Councillor); Don Bell (Councillor); jmcilroy@cnv.org; Tony Valente (Councillor)
Subject: Rezoning - 315 Lonsdale Avenue

Madam Mayor and Mr. Johnson:

Thank you for taking the time to read my email.

I am a 20+ year owner at The Metropolitan - 305 Lonsdale, which, as you will hopefully agree, was one of the first great developments in the Lower Lonsdale area.

Regarding the rezoning for #315, and just to be clear, I have no problem with cannabis and the folks that partake.

Having said that, I wanted to take the opportunity to voice my concern with the rezoning of 315 Lonsdale for a retail cannabis store that (I'm assuming), would attract patrons via a vehicle rather than on foot. I face Lonsdale, so am privy to the present parking problems with the very limited spots for the many, many quick visits people make in front of our building down to the intersection. It's also a very busy corner location, being a popular thoroughfare to the Bridge, West Van, etc. I do hope consideration could be given to a better location for the store, maybe a little more of a semi-commercial area with less families, children and constant traffic already.

Sincerely,

Deborah Harrison [REDACTED]

David Johnson

From: Steve Hilts [REDACTED]
Sent: May-11-19 7:22 PM
To: David Johnson
Cc: Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)
Subject: Rezoning application for retail cannabis store @ 315 Lonsdale

Dear Mr. Johnson

We are owner/residents at 305 Lonsdale Ave and we would be opposed to a zoning change to allow a retail cannabis store in our building. Our understanding is that a specific set of retail uses are currently permitted, and that these were selected on the basis that they are compatible with the accessory residential use. We would no more want a cannabis store in our building than we would a cold beer and wine store, and we will be extremely disappointed if the CNV approves this application for rezoning.

Steven and Sharon Hilts

David Johnson

From: Marlene Tambeau [REDACTED]
Sent: May-09-19 3:04 PM
To: David Johnson
Cc: Linda Buchanan (Mayor); Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); jmcllroy@cnv.org; Tony Valente (Councillor)
Subject: Rezoning Application for Retail Cannabis Store @ 315 Lonsdale Avenue

Dear Mr. Johnson,

As a resident and owner of a unit at The Metropolitan, I am writing to let you know that I am in opposition to the proposed cannabis store at this location. I am not against the use of cannabis, and although marijuana is legal in Canada, it is still:

1. Linked to higher levels of **property crime** in the areas in which retail stores exist (see article from 2017 on results from Denver, CO: <https://www.sciencedaily.com/releases/2017/04/170427130750.html>).
2. Linked to **lower property prices** in areas in which cannabis stores exists. See article from 2018 also from Denver: <https://business.financialpost.com/real-estate/will-pot-shops-affect-property-values-in-your-neighbourhood-they-did-in-colorado>.
3. Unknown in terms of its effects on adolescent brain development. Early research suggests it's effect is much more detrimental than previously identified and having it in such a high traffic area will have a trickle effects like alcohol in terms of its availability on those who are most marginalized and those most at-risk (i.e. teenagers).
4. Parking is already at a premium and adding another popular retailer to an already dense residential building will cause more traffic congestion.
5. And lastly, there are many families in the 305 Lonsdale resident, and the increased crime that research shows when a cannabis store is introduced to a neighbourhood, will have a detrimental effect on younger families.

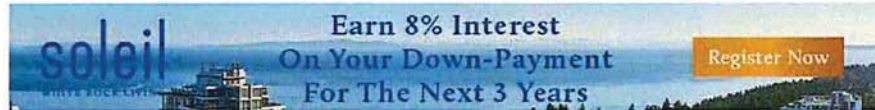
I would encourage the City of North Vancouver to continue with further feedback from the residents and surrounding community (i.e. other retailers and residents), before providing approval to the application. Also, Council should discuss in which areas it is willing to consider applications when they are made, to minimize time, effort and anxiety of all involved in this process. I would suggest that residential areas are NOT the right location for cannabis stores to be considered.

Yours sincerely,

Marlene Tambeau
The Metropolitan
[REDACTED]

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Will pot shops affect property values in your neighbourhood? They did in Colorado

The Haider-Moranis Bulletin: They could here too, once marijuana is legalized this year — but not the way you think



An employee at a marijuana dispensary in Denver holds up a bud for a customer. Recreational sale of marijuana has been legal here since January 2014. AP Photo/David Zalubowski, file

SPECIAL TO
FINANCIAL POST
MURTAZA HAIDER
AND STEPHEN
MORANIS

March 7, 2018
2:32 PM EST

Last Updated
March 16, 2018
9:31 AM EDT

As Canada moves closer to legalizing the recreational use of marijuana, many are speculating on how the decision will affect society and the economy. While some are concerned about health and safety effects, others are optimistic about potential new tax revenues and the prospect of bringing the sale and distribution of marijuana out of the criminal sphere.

One area that few are talking about, however, is how legal marijuana will affect residential property markets.

A vertical advertisement for Mogo. At the top is the Mogo logo. Below it, the text says "Your first 90 days are free. Then it's \$8.99/month." followed by "Promo code: freeprotect". In the center is a smartphone displaying the Mogo app interface. At the bottom, it says "GET MOGOPROTECT" and "AVAILABLE ON:" followed by Android and Apple logos. A small note at the very bottom says "(1) See website".

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While retail rents are likely to benefit first, housing prices may also get a boost, if the experiences in other jurisdictions that have legalized marijuana are repeated.

Writing in the prestigious journal Real Estate Economics, James Conklin and his coauthors studied how the conversion of medical marijuana stores to

recreational marijuana stores affected housing prices in Denver, Colo., where the recreational sale of marijuana was legalized in January 2014.

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Their research provided strong evidence that homes located near such converted stores experienced a much higher increase in value than houses located farther away — as much as 8 per cent more.

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Conklin and his coauthors were meticulous in their research. They implemented several robustness checks and falsification tests to avoid undue influence of spurious correlation. Their results remained consistent and stable and withstood the scrutiny of all tests.

Their results showed that single-family residences situated within 0.1 mile (528 feet) of a medical marijuana store that became a recreational marijuana store experienced an increase of 8 per cent relative to homes sold farther away.

However, dwellings located between 0.1 mile and 0.25 mile from a converted store did not experience any proximity premium. The authors, therefore, concluded that the proximity premium was highly localized.

This finding raises several questions. For instance, why would housing prices report a proximity premium within such a small buffer zone around the converted stores? What possible benefits could a homeowner expect to derive from being that close to a marijuana dispensary, other than ease of access?

Alternatively, why would a homebuyer not buy a structurally similar house that is a little further away, that was not rising in price so quickly? Equally relevant is the question of whether homebuyers who purchased homes near a marijuana store were even aware of the store's presence.

While Conklin and his coauthors were mindful of these limitations and "agnostic as to the underlying cause of our results," it is possible to speculate about some potential explanations.

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One possibility not raised in the study is that homes around marijuana dispensaries had been subject to a discount prior to legalization, but that legalization lifted the stigma around such homes.

Another is that the stores had knock-on economic effects that were highly localized and boosted the economic profiles of their specific neighbourhoods.

While those are only guesses, there is not the only research demonstrating a strong linkage between the legalization of marijuana and higher housing prices.

In a recent paper in Economic Inquiry, Cheng Cheng and coauthors found almost similar results suggesting a 6 per cent premium in prices for homes sold in municipalities that legalized retail sales of marijuana, versus those that didn't.

Cheng and coauthors found that by August 2015, 46 out of the 271 incorporated municipalities in Colorado had passed laws enabling retail marijuana sales. Using even a more rigorous approach by restricting their analysis to dwellings that sold multiple times during the study period they found similar results as Conklin and his coauthors.

The Canadian government expects annual recreational marijuana sales to be around \$4 billion, which will be subject to a 10 per cent excise tax and additional provincial sales taxes. These taxes are expected to raise net new revenue mostly for provinces.

Whether homeowners also see a high remains to be seen.

Murtaza Haider is an associate professor at Ryerson University. Stephen Moranis is a real estate industry veteran. They can be reached at info@hmbulletin.com.

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David Johnson

From: ELAINE SHARPE [REDACTED]
Sent: June-03-19 8:18 PM
To: David Johnson
Subject: Development Application to Rezone 315 Lonsdale Avenue - Important, Please Read

Dear Mr. Johnson,

My name is Elaine Sharpe and I live at 305 Lonsdale Avenue in the Metropolitan Building and it was recently brought to my attention that Justin Koh submitted a development application to rezone 315 Lonsdale Avenue to support a Recreational Cannabis Retail Store.

As I live in this building, I do not, under any circumstances, want this store opened in my building; therefore, the purpose of this letter is to formally and strongly oppose this application for the following reasons:

1. The purchase of our condominiums is one of, if not the largest and most important purchase the residents of my building have made and I feel this will lower our property value because if someone is looking to buy and they see one building has a security guard because of a cannabis store, of course, they are going to buy in another building;
2. I feel if this store is opened, it will lead to increased property crime in the building and surrounding areas;
3. I believe it won't just be elderly people using the store for medical needs and a lot of possibly dangerous people will be coming and going from this store;
4. We have a number of young families in our building and, it's my understanding that cannabis stores must be a restricted distance away from schools so if the stores have to be a restricted distance away from schools, then shouldn't they also have to be a restricted distance away from residential homes where there are young children;
5. Currently, in the rooms next to the above address, there is a Math4me Tutoring class and music lessons that take place so there are constantly children coming and going from that address.

I have nothing against cannabis stores, in general, but I adamantly believe they belong in industrial areas, not family dwelling areas.

If you have any questions, do not hesitate to contact me and thank you in advance for your attention to this matter.

Elaine Sharpe
303-305 Lonsdale Avenue
North Vancouver, BC V7M 2G3
Phone: [REDACTED]

Sent from my iPad

David Johnson

From: Linda Buecking [REDACTED]
Sent: May-24-19 1:04 PM
To: David Johnson
Cc: Linda Buchanan (Mayor)
Subject: Re: rezoning application for retail cannabis store at 315 Lonsdale Ave. North Vancouver

On May 24, 2019, at 12:55 PM, Linda Buecking <lbuecking@hotmail.com> wrote:

On May 24, 2019, at 12:42 PM, Linda Buecking <lbuecking@hotmail.com> wrote:

As a resident and owner at 345 Lonsdale Ave. North Van. strata # 3740 I strongly reject this application for a cannabis retail outlet.

We are an 89 unit family residential building with 8 retail units including a public art space, dental office, MP office, dog wash, print shop and hair salon. Our building is on the northwest corner of 3rd and Lonsdale. There are 10 parallel parking spaces on Lonsdale, none in front of the retail on 3rd, and 4 on 4th st. with a fire hydrant on the north corner.

We have a lane on the west side of the building running north from 3rd st. This lane has 3 parkade enter and exits. There is also a lane running west and east that t's with our lane. Vehicles trying to avoid the light at the intersection use the lane as well.

In the lower parkade off the lane there are 9 public parking spaces with 3 designated for the dental office and all the others designated reserved. I assume owners or staff of the retail must use these as finding parking on the street is very challenging. Most street parking is 1 hour limit.

The intersection of 3rd and Lonsdale is one of the busiest in lower Lonsdale. This is not the location for a presumed busy retail with very limited parking and cars trying to parallel park and tying up the flow of traffic. Traffic flow must be a major deciding factor as those of us who lived through the high density development already know and have experienced the new grid lock factor.

A location away from these 2 busy streets would be a better alternative.

I am asking you to reject the proposal put forth to the city for this location as a retail cannabis store.

With respect,
Linda Buecking
#611 345 Lonsdale Ave. North Van
V7M 3M9

David Johnson

From: Alec Leverton [REDACTED]
Sent: May-15-19 12:51 PM
To: David Johnson; Linda Buchanan (Mayor)
Cc: Don Bell (Councillor); jmcilroy@cnv.org; Tony Valente (Councillor); Tina Hu (Councillor); Holly Back (Councillor); Angela Girard (Councillor)
Subject: 315 Lonsdale - Cannabis Store Rezoning - Objections

Dear Mayor Linda, David and the rest of the CNV team,

I'm writing to you all today, to express our severe concern and objections against the potential rezoning of Lonsdale Avenue 315, for a retail cannabis store.

To firstly detail who I am and the demographic I fall under. I am a 29 year old, male, British citizen, and a proud Canadian Permanent Resident (citizenship will be next), and along with my with my Canadian citizen girlfriend (hopefully soon-to-be fiance), we bought our first ever property in unit 304, 305 Lonsdale Avenue back in 2017.

It has become a great concern to us about the idea of having a Cannabis Retail Store located in our building, and here are a few of the reasons why we strongly oppose said rezoning:

- This is a highly residential building, within a highly residential community. With this, there are many units that have children in The Met building, and having a Cannabis store that will inevitably cause the smell and smoke of cannabis to surround and penetrate the building, is simply unacceptable.

I am aware the plans are for the Cannabis to be stored in glass jars, no smoking in or around the area will be permitted, but in real-life this will simply not come to fruition. Children shouldn't be exposed, smell or inhale these fumes. Further to that, animals are allowed in The Met and also have the risk of exposure.

- Security Guard to be posted outside of the store. This will simply look extremely odd and suspicious. Looking at The Met, and seeing the need for a Security Guard to stand outside, when other residential buildings don't, will cause serious concern for if/when the current residents wish to sell their property, and in general will portray The Met and the area to be unsafe.

- Safety: Yes, Cannabis is legal and I support all medical benefits it can provide those in need. However this will also attract certain demographics that may affect what this area has built up to be, a safe, friendly and welcoming community. With certain demographics who use cannabis, this would dramatically alter the area for the worse.

- Just 2 to 3 blocks down is Esplanade, a more industrial and commercial area, where there are a number of commercial units that would make a lot more sense to have this type of business run. A Cannabis store, in The Met - does not make sense, and the other current commercial businesses currently in The Met, are also against this Cannabis rezoning.

- Parking: This store will cause severe foot traffic, and clients would park and use up the parking in front of The Met, and also affect the traffic around Lonsdale and 3rd (already a major, busy road).

Coincidentally, The Met held our annual Committee meeting this week, and every single attendee was against this - I believe others already have and will send a similar email to this.

I look forward to a timely response to this matter and the points I (and others) have made above, and to see the support from you all to prevent this rezoning from happening. I invite you to connect with me via a phone call - or to let me know if there's any other information or steps I can take to prevent this cannabis business from being approved at The Met.

Yours respectfully,
Alec

Alec R. Leverton | Enterprise Sales Executive



David Johnson

From: RENO GAJO [REDACTED]
Sent: June-02-19 7:56 PM
To: Linda Buchanan (Mayor)
Cc: David Johnson; Don Bell (Councillor); Holly Back (Councillor); Angela Girard (Councillor); Tina Hu (Councillor); Jessica Mcilroy (Councillor); Tony Valente (Councillor)
Subject: Proposed Cannabis Store At 315 Lonsdale Avenue
Attachments: 1 entrance nook store.jpg; 2 Current Retail Store.jpg; 3 Phibbs Exchange.jpg; 4 what could be.jpg

Hon. Linda Buchanan
Mayor, City of North Vancouver

Dear Madame Mayor:

Subject: Opposition To Proposed Cannabis Store At 315 Lonsdale Avenue

My spouse and I are long time residents of the City of North Vancouver, and currently living at 305 Lonsdale Avenue (Metropolitan Building) for the past 15 years.

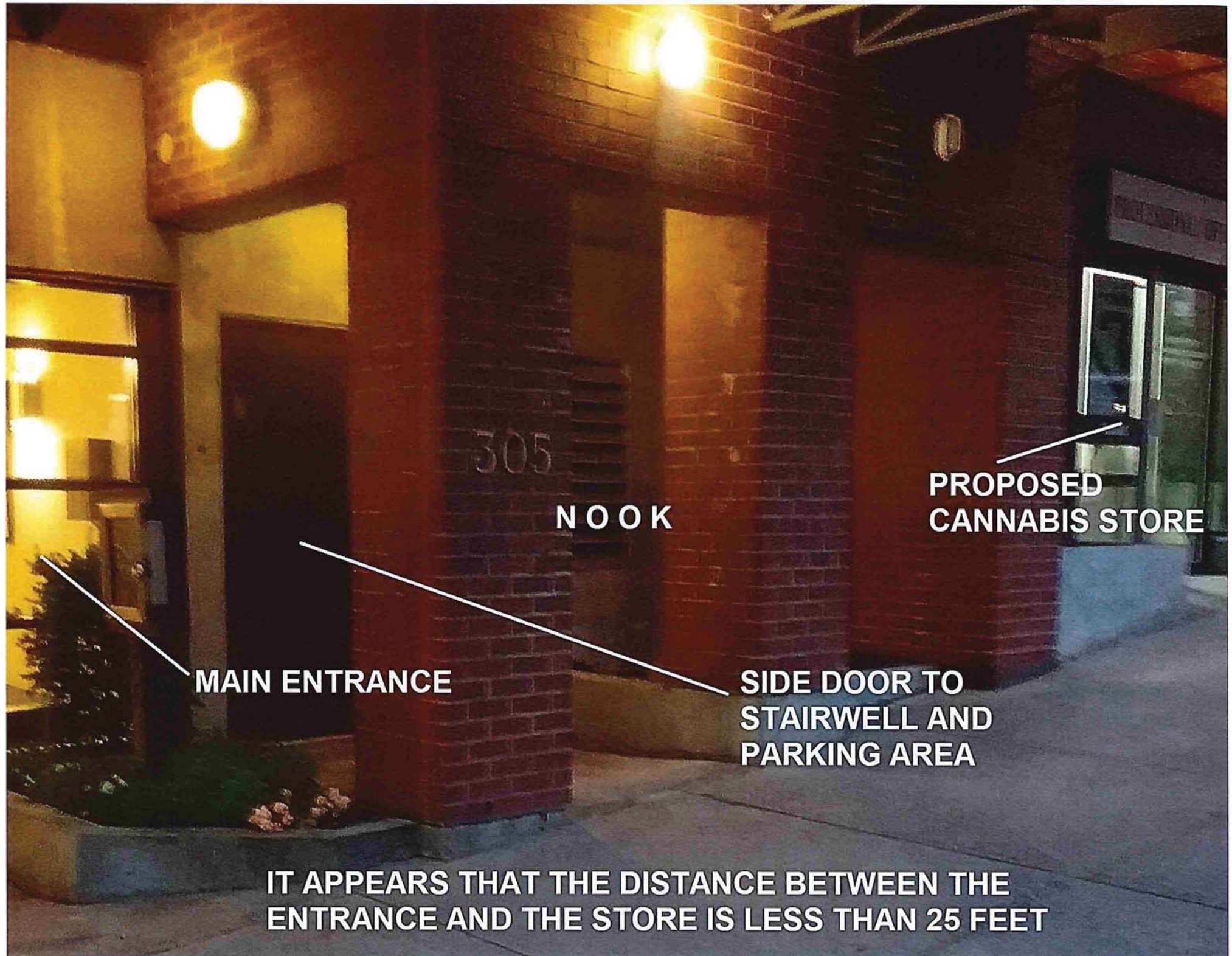
We are against the proposed cannabis store at our building. While cannabis has been legalized, it is still a controlled substance both in usage and in distribution, more so than cigarettes.

Our opposition is based on the following:

1. Cannabis-related rules and regulations are still in a flux. In Toronto, the issue is whether a cannabis store is allowable with 250 or 500 meters of schools. The proposed store at 315 Lonsdale is next to the main entrance to the building separated only by a nook to a side door. This nook is a convenient, out-of-site location for those eager to smoke marijuana right after purchase. It only takes one or two users to do this per day for the smell to linger especially at windless times. The odour is likely to waft into the stairwell (stairwell to the underground parking and to the residential units) as soon as a resident opens the side door or the main entrance door for that matter. Both the foyer and the stairwell have no ventilation so the odour will remain for hours. Resident children also use both the side door and the main entrance.
2. For homeowners at Metropolitan, it is bad enough that the Feds have increased interest rates, the property assessments have increased, the property tax rates have increased and the real estate market is down. The presence of a cannabis store that is to be protected by a security guard means that crime/security is an issue on the premises, and will adversely affect the value, perceived or otherwise, of condominium units. I am a risk-averse retiree and my spouse is about to retire. Our condo is our main retirement asset.
3. There is likely to be more vehicular traffic around the building, and quite possibly, there will be queues or loitering before the store opens in the morning. On the other hand, the legal cannabis stores could bring in a fraction of anticipated revenue only. I read internet reports that most illegal cannabis businesses in California are still underground; perhaps regular users prefer to deal with and trust their illicit sources which are not subject to taxes. Perhaps, cannabis will pan out to be a false gold; I pray that, in a rush to accommodate it, residents are still prudently protected.
4. It is ironic that the current retail location is offering math tutoring (most likely for kids). One wonders if, later on, stores that cater to children or other types of business would be precluded from being set up nearby because a potentially restrictive cannabis store has been grandfathered in.

We hope that the City Council hears our concerns and decides that placing a cannabis retail store next to the building entrance is not in the best interests of the Metropolitan residents.

Thank you so much for your time, and I also wish to that the distinguished City Councillors.



NOOK

**PROPOSED
CANNABIS STORE**

MAIN ENTRANCE

**SIDE DOOR TO
STAIRWELL AND
PARKING AREA**

**IT APPEARS THAT THE DISTANCE BETWEEN THE
ENTRANCE AND THE STORE IS LESS THAN 25 FEET**

CURRENT STORE
OFFERING MATH
TUTORING
PRESUMABLY
FOR KIDS



VANCITY PRO
CHIROPRACTIC
118 2ND FLOOR (MAIN)
VANCOUVER, BC V6C 1A1

Math4me
www.math4me.ca
"Tutoring \$8-15/hour" All Subjects
604-770-3124



No Smoking
within 7.5m/25ft

Tobacco Control Act and/or municipal
bylaws and fines may apply

TRANS LINK

10000-000

**<== PHIBBS
EXCHANGE
SIGN**



VANCITY PRO
CHIROPRACTIC

170 BVS 1 (440-0141)

No Minors
within 7.5m/25ft

Recreational Cannabis Retail Store

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

315 Lonsdale

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No! - it <u>will</u> increase crime. pot shops get robbed - it <u>will</u> cause a smell people <u>will</u> smoke it nearby - it <u>will</u> cause horrible traffic. There's nowhere to park. |
| 2. What do you like most about the proposed project? | There is nothing good about this idea. Putting a pot shop in a residential building is a terrible idea. |
| 3. Do you have any concerns about the proposed project? | Yes. I <u>use</u> Marijuana and I live in the building. I <u>know</u> what is going to happen. 1) smell 2) crime 3) crazy traffic |
| 4. What would you suggest to improve or enhance the proposed project? | Do not approve this application. Open pot shops in areas with parking that are not near residential buildings. |
| 5. Please provide any additional comments. (use back of page if necessary) | Questions call me at or e-mail |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

see back of paper for more...

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store

Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No! It will cause terrible traffic! |
| 2. What do you like most about the proposed project? | I <u>use weed</u> and I am against this! |
| 3. Do you have any concerns about the proposed project? | See back of this sheet for a <u>map</u> |
| 4. What would you suggest to improve or enhance the proposed project? | Open pot shops elsewhere - not in residential buildings |
| 5. Please provide any additional comments. (use back of page if necessary) | The guy who has applied does not use weed and does not live in the building so he has <u>no idea</u> what he's doing. |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: Justin Koh [REDACTED]
Sent: April-12-19 10:53 AM
To: David Johnson
Cc: Wendy Tse
Subject: Lonsdale Cannabis Co

Follow Up Flag: Follow up
Flag Status: Flagged

Hey David/Wendy,

From the public meeting, there were a few concerns that came up. So I just wanted to email you some alterations to our business plan.

1) hours

Some of the strata didn't like the hours being extended too late into the evening or early morning as they were worried maybe they might run into customers from the store. It was originally to be 9am to 9pm, but I changed it to 10am to 7pm.

2) Security

Some residents were worried that some customers may smoke directly outside the building. Originally our security was only to be inside. But we are interested if we can organize it with strata and strata bylaws, that we can have our security walk close to the building perimeter to deter any loitering and smoke going towards the residents.

3) valuable (potential robberies)

A resident noted that they may worried having valuable items inside the store and someone may try to break in. So another security amendment that we are thinking is adding an inside metal gate, as well adding a vault so it deters any potential robberies from taking place.

Justin

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenfoot Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koop | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koop + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE W | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | #203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, D | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VAN B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOGE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgason | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle LeMay | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD. | 6:12 |
| 46 | Debbie Dickie | 1119 Pinning Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. #6 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd ST WEST NORTH VAN | |
| 49 | Mya | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILLOW LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOA | 1250 Lonsdale Ave | 6:00 pm |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 pm |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 pm |
| 9 | Don HOLT | 601-12th W | 6:15 |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 |
| 14 | KKE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 |
| 17 | Stord Scalford | 312 East 1st St. Apt. #103 | 6:40 |
| 18 | Courtney Anson | 252 2nd St W | 6:40 |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 19:43 |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DINA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent I the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8716

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8716” (Lonsdale Cannabis Co. / 1120364 BC Ltd., 315 Lonsdale Avenue, CD-341 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In the CD-341 Zone:
 - (1) Adding to Section (1):
 - (d) Maximum of one Cannabis Sales Retail Store.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.



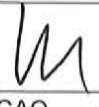
ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

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| | | |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 1200 LONSDALE AVENUE (MARK LONG / BC LIQUOR DISTRIBUTION BRANCH)

Date: June 12, 2019 File No: 08-3360-20-0493/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 1200 Lonsdale Avenue (Mark Long / BC Liquor Distribution Branch)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717" (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*;

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1772983](#))
2. Submitted Drawings (doc#[1775410](#))
3. Community Impact Statement (doc#[1775408](#))
4. Proposed Security Plan (doc#[1775409](#))
5. Recreational Cannabis Retail Policy (doc#[1774193](#))
6. Public Consultation Summary for 1200 Lonsdale Avenue (doc#[1791539](#))
7. Sign-in sheet and General Public Comments (doc#[1775340](#))
8. Zoning Text Amendment Bylaw No. 8717 (doc#[1774374](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store at 1200 Lonsdale Avenue.

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The subject site is a ground floor unit in the Lonsdale Place building at 1200 Lonsdale Avenue, located at the north east corner of Lonsdale Avenue and East 12th Street (Attachment #1). The unit entrance is slightly sunken from the sidewalk at the corner of the property. The proposed store would occupy approximately 276.5 square metres (2,977.0 square feet) of retail floor space within the building. The floor plan identifies locations for displays and back area offices (Attachment #2).

The applicant has also provided a Community Impact Statement (Attachment #3), which describes the applicant's contribution towards the regulation of safer cannabis products and distribution, and their proposed Security Plan, which outlines how their operation will comply with Provincial regulations (Attachment #4).

Site Context and Surrounding Use

The building on the subject site is a commercial building providing a number of professional health related services such as medical offices and massage clinics.

The immediate area has a mixture of ground floor commercial along the Lonsdale Avenue corridor with mid-rise residential apartment buildings to the east. The location is along a major public transit corridor, with many other commercial businesses and residential buildings within easy walking distance.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Mixed Use Level 3 which supports higher-density multi-family and commercial uses to strengthen the City's major arterial roads and corridors.

The proposed store entrance is directly at the corner of Lonsdale Avenue and East 12th Street. The upward slope of Lonsdale Avenue and East 12th Street from the proposed store entrance causes some of the store front to be blocked by the sidewalk, having the store

appear to be in a lower level. The extent of this is considered minor, as most of the store front is visible along both Lonsdale Avenue and East 12th Street.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, store front is set back from the corner and the windows along both street fronts that would be covered are minimized given the slope of the sidewalk.

The building itself is a commercial building that was built in the late 1990s. The only change that is being proposed would be a Tenant Improvement to the unit space that would require a Building Permit.

Overall, no amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application does conform to the criteria provided within the policy, as it is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of Queen Mary Elementary School, and it was one of two applications in the Central Lonsdale area.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist in a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8717 (Attachment #8) would allow the use to exist in this location. The current Zone of General Commercial (C-2) does permit retail stores.

The size of the store would require the applicant to supply at least six parking stalls within the property. Given the number of required parking for this use is the same for all uses under the C-2 Zone, parking requirements are satisfied.

COMMUNITY CONSULTATION

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications. From the 91 people who signed in for the event (Attachment #6), staff received five written comments relating to this application.

The comments were in general opposition to the proposal and relate to the personal safety of people who work in the building as well as the area. Increased traffic generation and parking challenges on the site and along the street were also raised as concerns.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #7.

CONCLUSION

The proposal is consistent with the criteria of the Recreational Cannabis Retail Policy.

The proposed location of the store supports the retail orientation of the Lonsdale Avenue corridor. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:

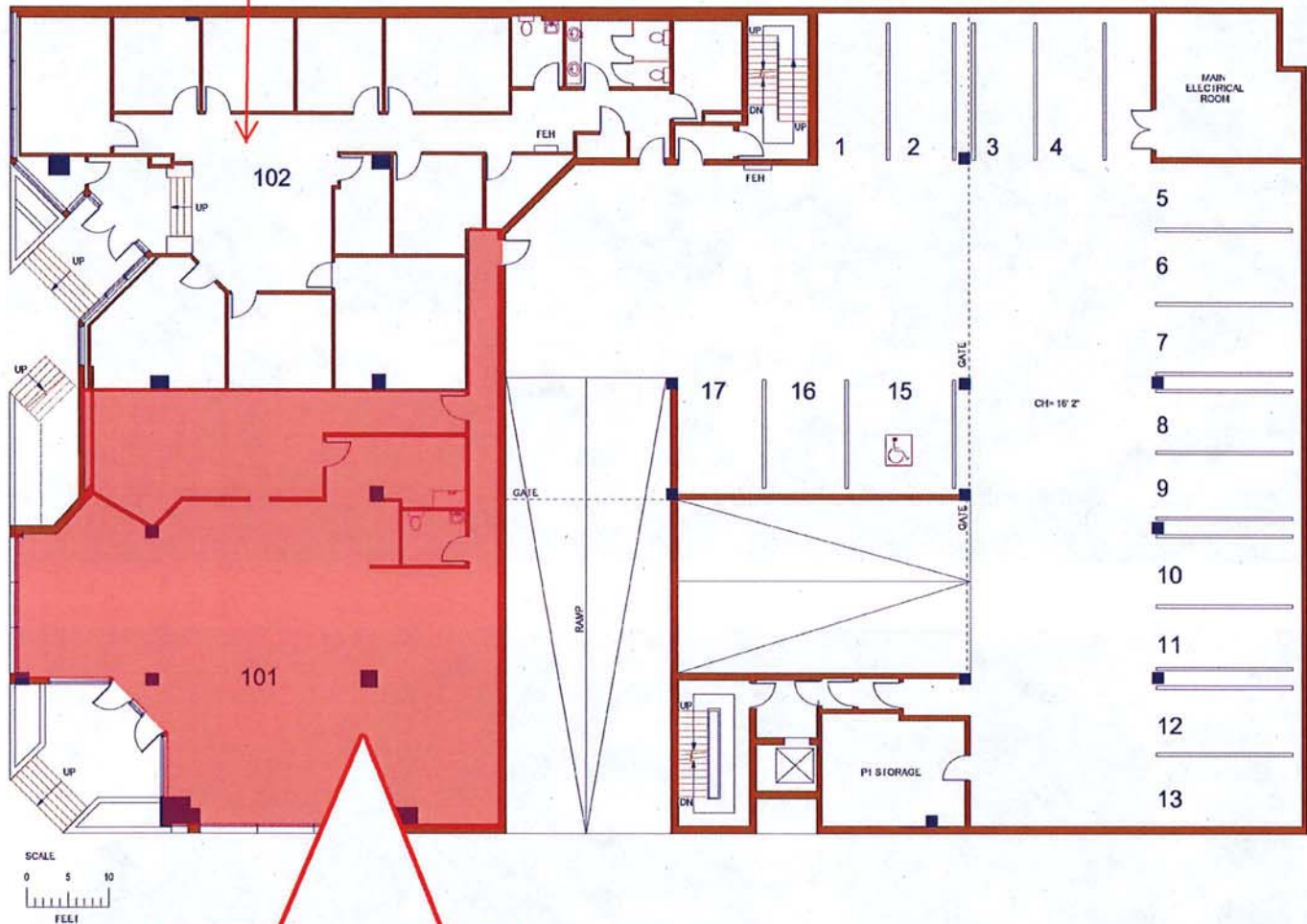


David Johnson
Development Planner





Peoples Pharamcy



SITE

Date: JANUARY 16, 2011

Scale: AS NOTED

Drawn: D.O.

PROJECT No.:

DRAWING No.:

**PROJECT:
LONSDALE PLACE**

ADDRESS: 1200 LONSDALE AVENUE,
NORTH VANCOUVER, BC

CLIENT:
Turner Meakin Management Co. Ltd.

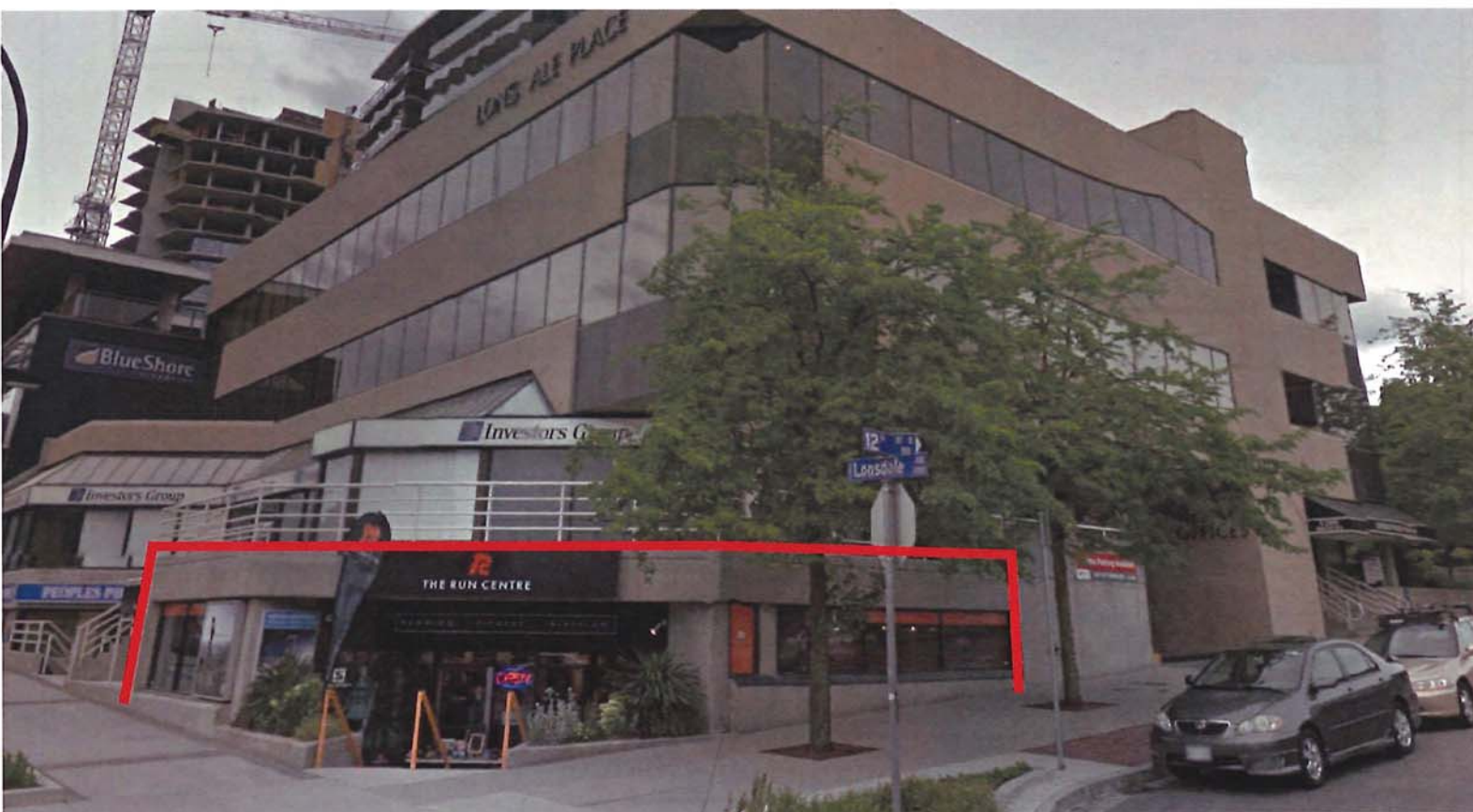
DRAWING TITLE:
DETAILED PLAN 1st FLOOR & PARKING 1



AS BUILD PLANS-AREA CHARTS-SPACE PLANNING

CALGARY: (403)-365-0215
VANCOUVER: (778)-786-2000
Fax: (403)-668-1382
E-mail: jon@accuspacemeasuring.com
Website: www.accuspacemeasuring.com

REVISION - JANUARY 16, 2011





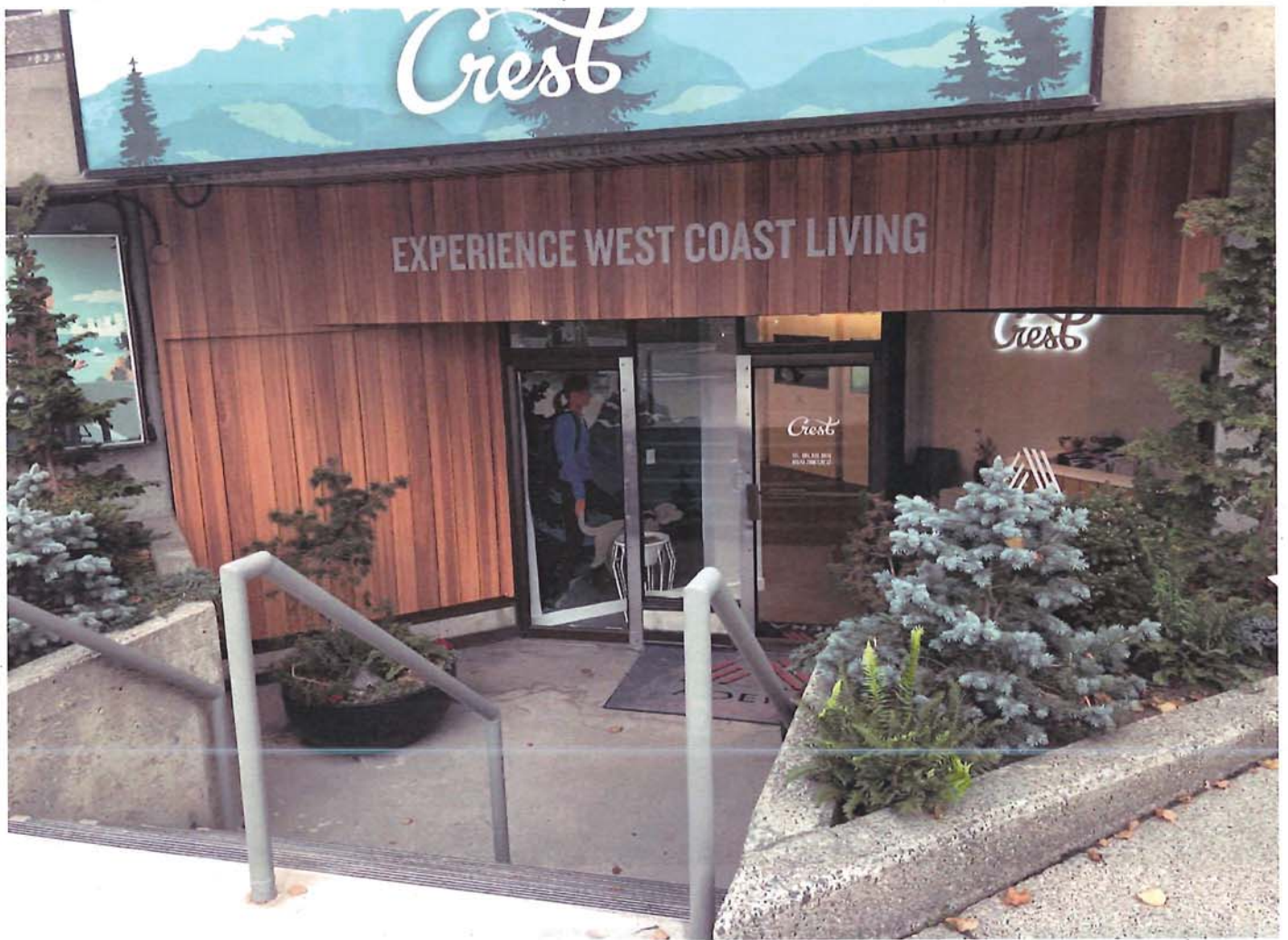
Lonsdale Ave

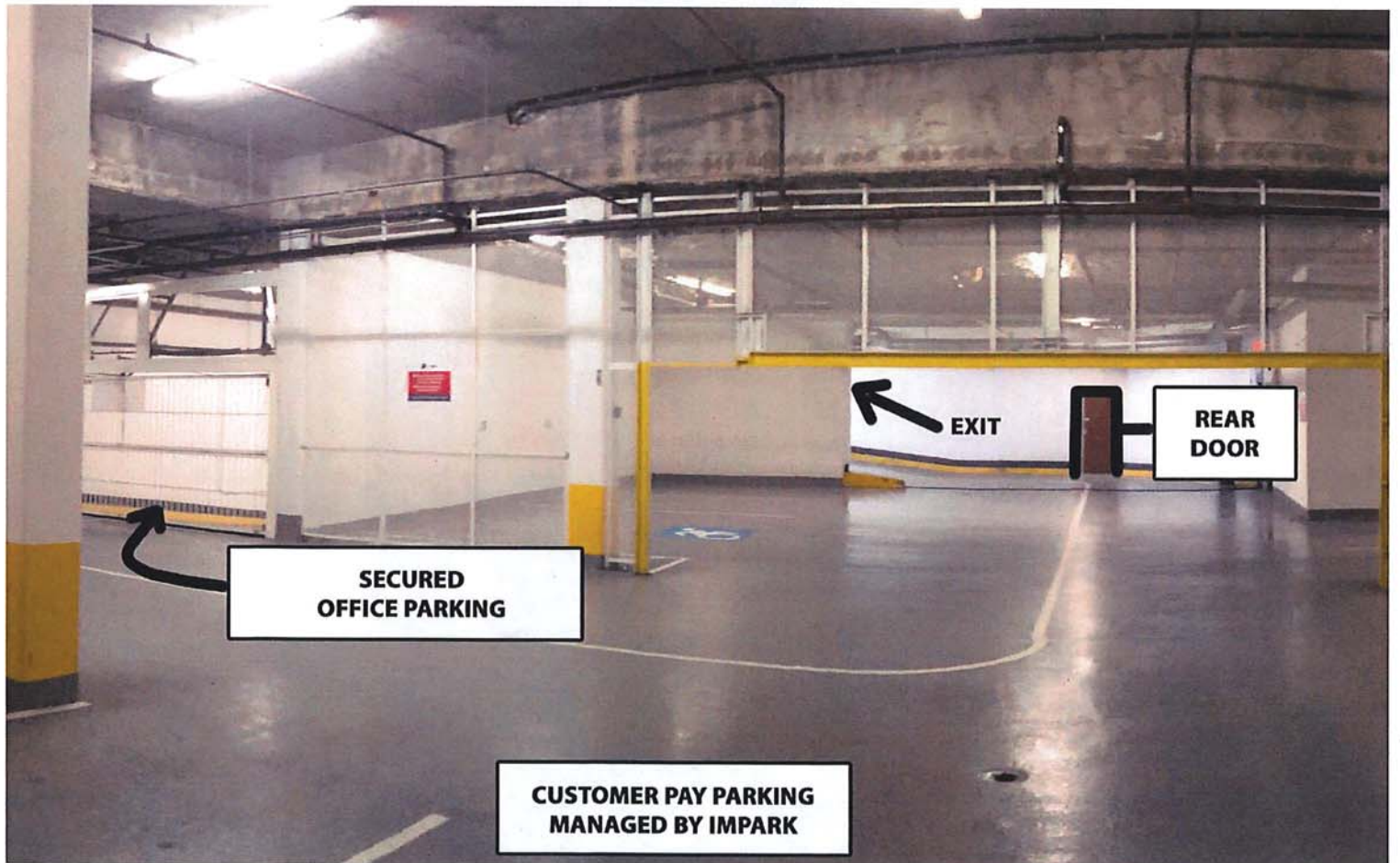
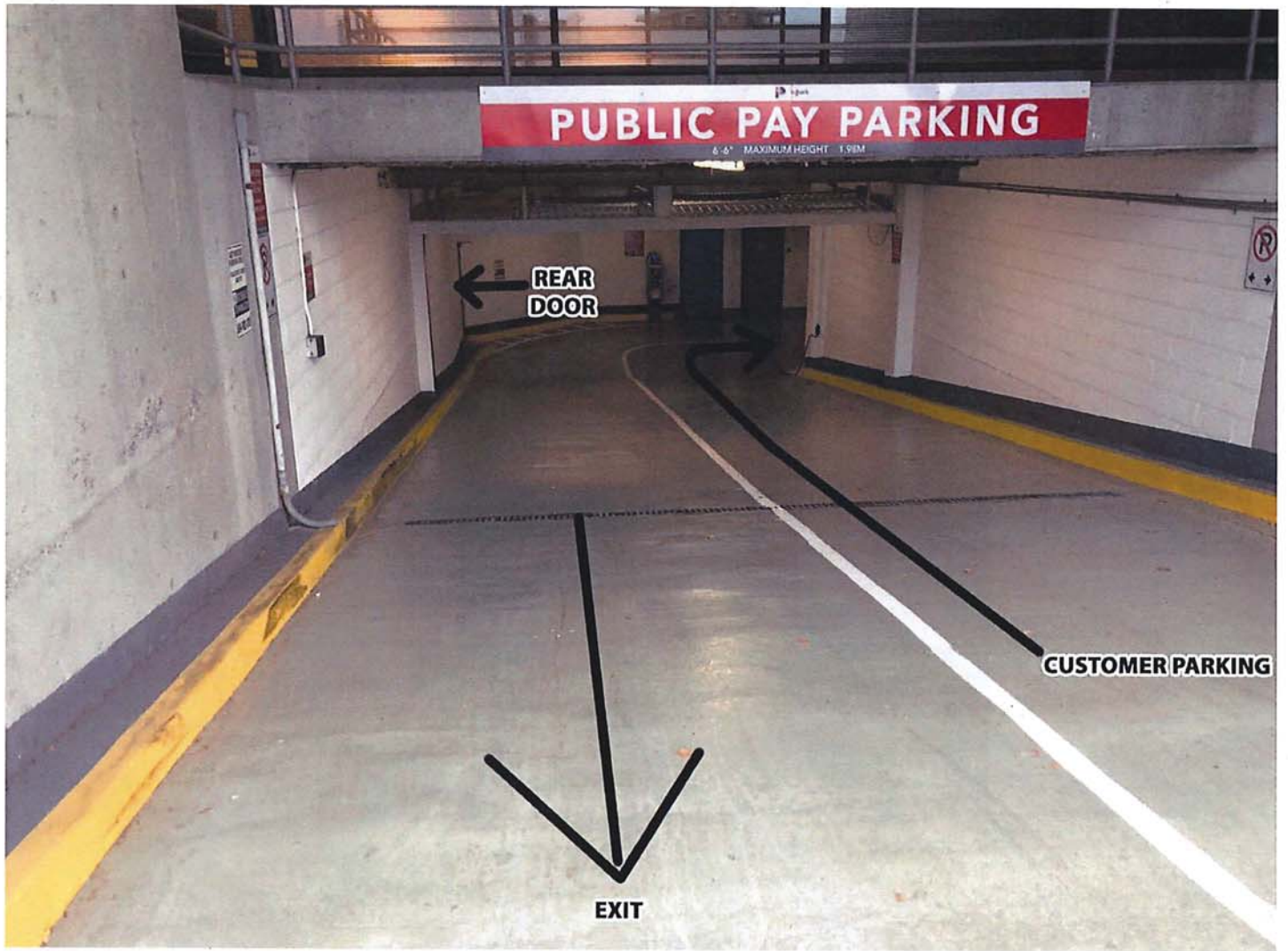
12nd St



12nd St

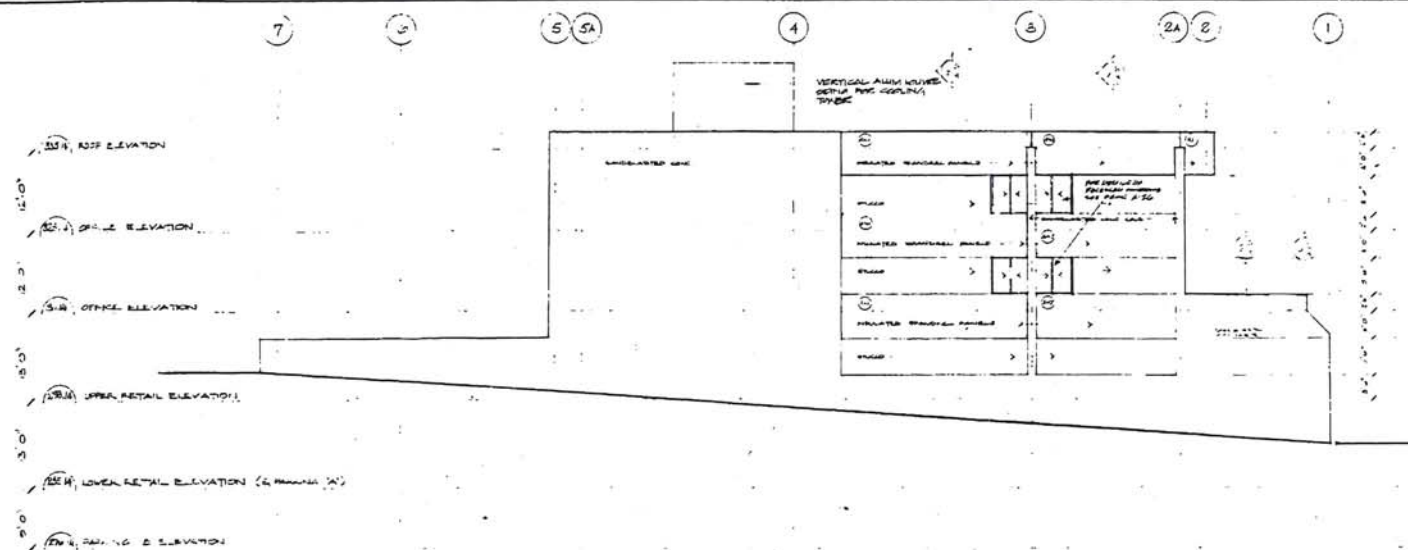
Lonsdale Ave







REAR SURFACE
PAY PARKING



334, ROSE ELEVATION

12. 2012

3.4 OFFICE ELEVATOR

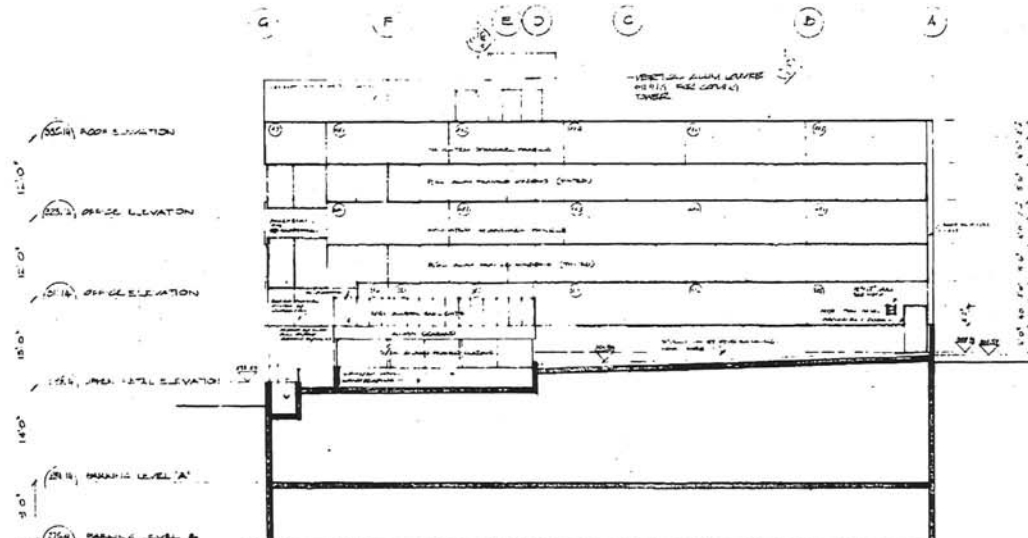
UPPER RETAIL ELEVATION

BASE: LOWEN-BETHEL-ELEVATION '66 Hannaford

ENCLOSURE

VERTICAL ALIGN W/UTS
GETTING THE COOLING
TANK

NORTH ELEVATION



✓ (55C14) 2008 2009 2010 2011

223.2, 042-26 LLEVATO

1014, 044 22 22 1170

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ج: (14) 259

$\therefore \int_{-1}^1 (27x^4) dx = 27x^5 \Big|_{-1}^1 = 27(1^5 - (-1)^5) = 27(1 + 1) = 54$

-VERTICAL LUMEN LINES
02015 (SEE COVER)
TAPER

EAST ELEVATION (TO REAR WALL)

| |
|------------------------------------------------------------------------------------------------------------------------------------------------|
| NOTES |
| REF A - BUILDING GROUP 2, NEWLY INSTALLED, 1" WATER METER, 1/2" WATER VALVE, 1/2" GAS VALVE, 1/2" GAS VALVE, 1/2" GAS VALVE, 1/2" GAS |
| REF B - 1/2" WATER METER, 1/2" WATER VALVE, 1/2" GAS VALVE, 1/2" GAS |
| REF C - ISSUED FOR BUILD PERMIT 02/22/80 |
| REF D - 1/2" WATER METER, 1/2" WATER VALVE, 1/2" GAS VALVE, 1/2" GAS |
| REF E - 1/2" WATER METER, 1/2" WATER VALVE, 1/2" GAS VALVE, 1/2" GAS |
| REF F - 1/2" WATER METER, 1/2" WATER VALVE, 1/2" GAS VALVE, 1/2" GAS |



1208 LONSDALE AVE
NORTH VANCOUVER BC
OFFICE RETAIL BUILDING

**ANNAND
BURTON-BROWN
ARCHITECTS**
205 - No. 1 ALEXANDER STREET
VANCOUVER, B.C. V6A 1B2

| |
|------------|
| ELEVATIONS |
| NORTH |
| EAST |

LONSDALE 1200

A-10

BC CANNABIS STORES



**LIQUOR
DISTRIBUTION
BRANCH**



**Professional.
Experienced.
Responsible.**

**With nearly 100 years of
experience retailing liquor
products, we know what it
means to be a good neighbour.**

Purpose

To make high-quality cannabis products and education available to all customers – from the discerning to the new – through a responsible retail channel that provides expert and friendly service.

SOCIAL RESPONSIBILITY

Every decision is made with a lens that prioritizes public health and safety.

SERVICE

We know our customers intimately and we are highly knowledgeable about the products we sell.

PEOPLE

We are intensely curious, deeply passionate about this space, and nimble, digital thinkers.

INTEGRITY

We always do the right thing and live our values every day, in every role, in every situation.

RESPECT

We work together as a cohesive team and recognize the unique talents of each individual.

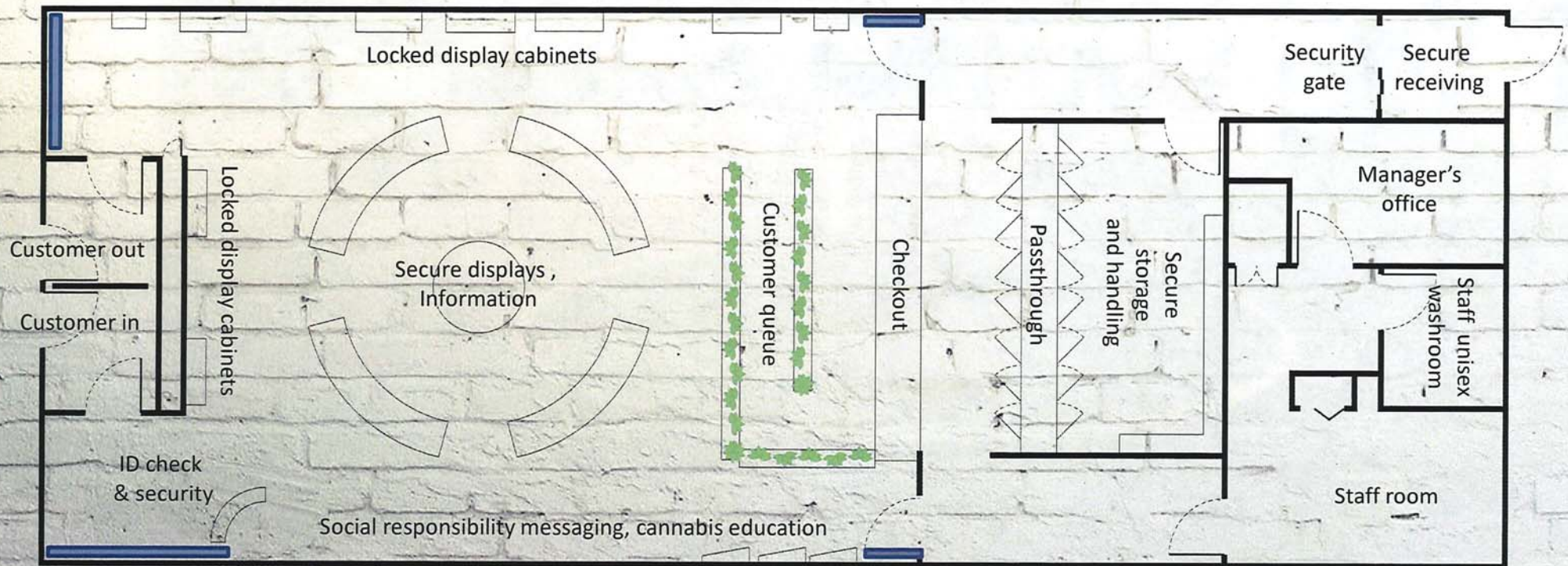
CONTINUOUS IMPROVEMENT

We are agile and quick; we take initiative to fill gaps and propose solutions.

Storefront



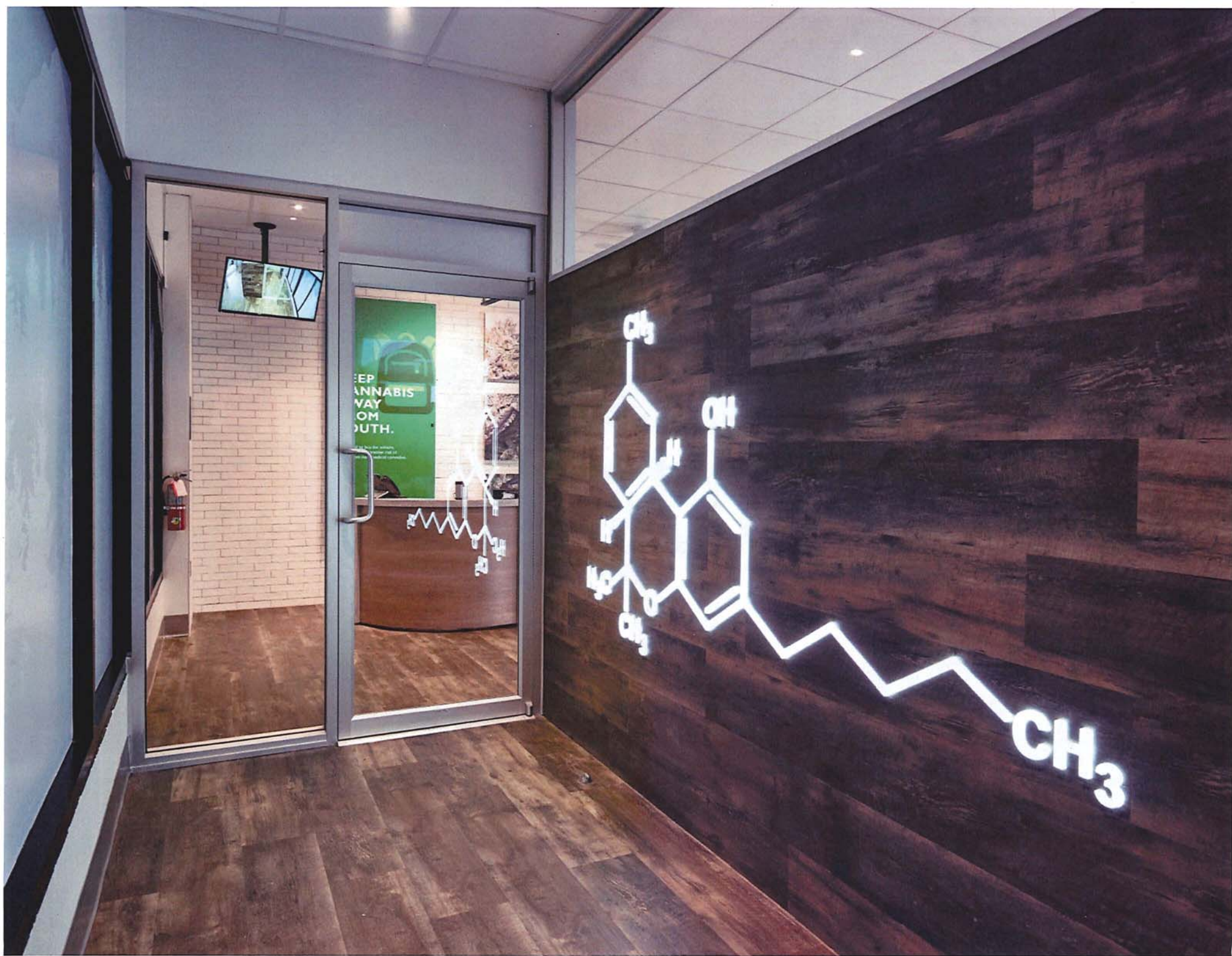
Concept Floorplan:



 = Social responsibility signage

Store interior







KEEP CANNABIS AWAY FROM YOUTH.

It's illegal to buy for minors.
Youth are at a greater risk of
harm from non-medical cannabis.

BC CANNABIS
bccannabis



Before You Buy

Check the label

Check the label

Check the label

Check the label

Check the label

Check the label

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Plant Anatomy

Plant Types

THC & CBD

Terpenes

YOUR KEY

THE BASICS

LEGALITY

HEALTHY USE

ADDITIONAL RESOURCES



Store operations

- Store entranceways will have a counter for a two ID-check policy to prevent minors from entering the store.
- Store staff and in-store material will create a safe and informed customer experience.
- Digital signage and take-away brochures help educate customers of potential risks associated with cannabis use, supporting our mission of social responsibility (SR).
- Products are kept behind the checkout in an employee-only area of the store, out of sight from minors passing by the front of the store.

A reputable place to work.

We take pride in being named one of BC's Top Employers time and time again.

- Mandatory criminal background checks are performed on all employees.
- Comprehensive product knowledge and customer service training are integral to the cannabis consultant onboarding experience.
- As with liquor, we will mandate a Serving It Right equivalent certification for all cannabis consultants.
- Each store will have a Store Manager, Assistant Store Manager, and Cannabis Consultants.



Proven track record of public service and accountability that will carry over to cannabis

- Our strict “ID Under 30” policy in BC Liquor Stores is a strong contributing factor to our successful compliance record. For cannabis, for proof of age, all customers will be required to show two pieces of ID.
- Responsible consumption awareness programs in stores and in our communities like **Dry Grad** and **Get Home Safe** protect young people and their community.
- Our at-the-till charitable collections and employee contributions raise nearly \$1 million for local communities annually.
- We thrive as an environmental leader through responsible waste management.



**START
LOW,
GO
SLOW.**

For the safest experience,
start with products that are
low in THC.

BC CANNABIS STORES

bccannabisstores.com



Safety and security

Customer, employee and community safety is paramount.

- Intruder and fire monitoring systems
- Interior and exterior camera surveillance
- Accessories will be locked in tempered glass display cases.
- A secure storage room that will require access cards to enter.
- Durable and reliable commercial-grade doors and locks.
- Smash-resistant windows.
- Product will not incinerated or disposed on-premise.

We are committed to working with local governments and local law enforcement agencies



Accountable. Partners.



**LIQUOR
DISTRIBUTION
BRANCH**

CONTACT
Kerri Lore
Director of Policy
kerri.lore@bcldb.com
604-252-3196

CONTACT
Mark Long
A/Director, Real Estate
mark.long@bcldb.com
604-252-3113



LIQUOR DISTRIBUTION BRANCH

February 15th, 2018

Planning Department
City of North Vancouver
141 West 14th St.
North Vancouver, BC V7M 1H9

Dear Mayor and Councillors:

Re: Cannabis Retail Store Application

Please accept our application to locate a **government operated cannabis retail store at 1200 Lonsdale Avenue**. The Liquor Distribution Branch ("LDB") has received support from the landlord of this property to proceed with this application ("Authorization" form/letter attached). If approved, the LDB intends to commence business activities within the City of North Vancouver by the fourth quarter of 2019.

About the LDB

The LDB is one of two branches of government responsible for the beverage alcohol and non-medical cannabis (cannabis) industries in B.C. Through the *Liquor Distribution and Cannabis Distribution Acts*, the LDB is mandated with the purchase and distribution of beverage alcohol and cannabis for the Province. As well, the LDB operates a number of public liquor stores (197 in total), and, in February 2018, the Province announced that LDB will also operate public cannabis retail stores, as well as an e-commerce platform to offer public on-line sales of cannabis.

Revenue generated through the LDB's wholesale and retail operations is directed to the Provincial Government and contributes to supporting vital public services such as health care and education. For the 2017/2018 fiscal year, the LDB contributed \$1.12 billion to fund government services. Revenue generated through LDB's newly implemented cannabis operations (both wholesale and retail) will also be directed back to the Province to support important public services.

Location of Proposed Cannabis Retail Store

The 1200 Lonsdale Ave. location was selected by the LDB for a proposed cannabis retail store for a number of reasons, including that the site is:

- Located in one of North Vancouver's commercial centres and accessible from Lonsdale Ave. and 12th St E;
- Located in area 1 that permits cannabis retail use;
- Located at least a 100-metre radius from the following sensitive uses: all public schools, North Vancouver School District Office, North Shore Neighbourhood House, Community and recreation centres, and North Shore Shelter;
- Easily accessible to customers; and
- Not expected to adversely impact traffic in the surrounding area, given its location near a premier intersection and in an already established retail complex.

Building and Site

The following considerations were taken into account when evaluating the appropriateness of the site and building for a cannabis retail store:

- The intended use of the site is consistent with the “retail” nature of the immediate area.
- The size of the proposed cannabis retail store is 2, 977 square feet, which is in the midrange of other retail stores existing on the subject site and in the surrounding area.
- The site provides for ample parking and efficient traffic flow.

The storefront will be bright, clean, welcoming and professional, with the intent of creating a safe and favourable alternative to purchasing cannabis from the illicit market. Storefronts will have frosted windows to align with Health Canada’s requirements that cannabis not be visible to minors. Store hours may vary by each store location, but most stores will be open from Monday to Sunday 10 am to 10 pm.

Community Impact

The LDB works closely with the Liquor and Cannabis Regulation Branch (LCRB) and the Ministry of Public Safety and Solicitor General to encourage the safe and responsible use of alcohol and cannabis in BC. The LDB is also committed to working in partnership with local governments to follow all municipal zoning processes and meet all bylaw requirements, as well as local law enforcement agencies to maintain public safety and to mitigate, and respond to, any negative impact on the community.

Social Responsibility is part of the LDB’s Mission Statement and one of the four pillars we have identified that supports our success. Our efforts are focused on three themes: encouraging and promoting responsible use of alcohol and cannabis, reducing the impact our business has on the environment, and giving back to the communities we serve. We meet these objectives by:

- Delivering products that meet strict product safety and quality requirements - all cannabis products will be purchased through the LDB wholesale channel; product will be lab tested and will only be purchased from producers that have been licensed by Health Canada.
- Ensuring accountability of our key business partners (e.g. Licensed Cannabis Producers).
- Promoting the safe and responsible use of beverage alcohol and cannabis through social responsibility campaigns aimed at keeping alcohol and cannabis out of the hands of youth*, preventing driving under the influence, and informing the public about associated health risks.
- Actively discouraging customers from engaging in high-risk behaviour like drinking or consuming cannabis and driving, consuming alcohol or cannabis during pregnancy and participating in sporting activities while under the influence of alcohol or cannabis;
- Increasing awareness of the dangers associated with over-consumption or risky behaviour through various in-store campaigns with strategically placed messaging;
- Raising money through in-store fundraising campaigns for dry grad celebrations, red cross disaster relief, kids in need, and local community charities (through the Provincial Governments Employee Workplace charitable giving campaign); and
- Incorporating environmental sustainability into all facets of our business with a goal of reducing our environmental footprint and being a leader in sustainable retailing.

****Keeping cannabis out of the hands of minors will be a top priority for the LDB. Unlike liquor stores, minors will not be permitted to enter cannabis retail stores, even if they are accompanied by a***

parent or guardian. When entering the store, there will be an ID check at the entrance. Individuals without ID or minors (even those accompanying someone of legal age) will not be permitted in the store. As well, all staff will be required to complete a provincial training program.

Additionally, customer, employee and community safety is paramount. All BC Cannabis Stores will have:

- Intruder and fire monitoring systems;
- Interior and exterior camera surveillance;
- Locked and tempered glass display cases for cannabis accessories;
- A secure storage room where product will be kept that will require access cards to enter;
- Durable and reliable commercial-grade doors and locks;
- Security shutters; and
- Smash-resistant windows.

And lastly, defective product will be transported to an off-premise location to be destroyed. Stores will not incinerate or dispose of cannabis products on premise.

All stores will employ unionized staff – stores in large municipalities will have approximately 12-20 employees and stores in smaller municipalities will have approximately 6-12 employees.

Further details regarding BC Cannabis Stores and the LDB's social responsibility efforts are included in the attached slide deck. If you require additional materials or have any questions we would be very happy to provide it. We thank you in advance for your consideration of our application.

Sincerely,

Michael Tan
Executive Director, Cannabis Operations
BC Liquor Distribution Branch

Attachments:

1. BC Cannabis Stores – Slide Deck
2. Completed Cannabis Retail Store Re-Zoning Application



British Columbia Cannabis Store - Security Plan

The British Columbia Liquor Distribution Branch (BCLDB) has its own in-house Corporate Loss Prevention (CLP) which consists of a Monitoring Station, maintained 24/7, 365 days a year, our own Technical Security Officers and Investigators for all our locations.

With respect to our Cannabis locations once an application is granted we perform a risk assessment tied to the geographical area we will be operating in and then apply Crime Prevention Through Environment Design (CPTED) to all our locations. The municipal authority having jurisdiction is also incorporated into our physical security plans to ensure community safety.

At minimum, to satisfy federal and provincial legislative requirements, the physical security at all BC Government cannabis stores will be:

1. Bollards at the front and back of stores
2. Security grills over all exterior glazing
3. High security locks and keys
4. Lockable cabinet/showcase displays
5. Monitored burglar alarm system
6. Hold up buttons
7. CCTV coverage of all areas of stores with one year video retention
8. Secure vault room, where the majority of cannabis will be stored
9. Access control for restricted areas of store
10. Cash safe and cash deposit boxes for POS
11. Armoured car pickup and delivery



Where ideas work.

The BCLDB also has its own Corporate Loss Prevention Manual which consists of what to do in the event of criminal activity at our locations, how to deal with Store Emergencies, Currency, Physical Security, Employee Conduct, Documentation of Incidents and Injuries, and a number of appendices. This is a 63 page document that is made available internally to our Cannabis employees. We also employ training in regards to staff safety titled "Keep It Safe" to all employees.

Questions can be directed to:

Brendan Alexander
Director, Corporate Loss Prevention
British Columbia Liquor Distribution Branch
(604) 252-3051
brendan.alexander@bclddb.com



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

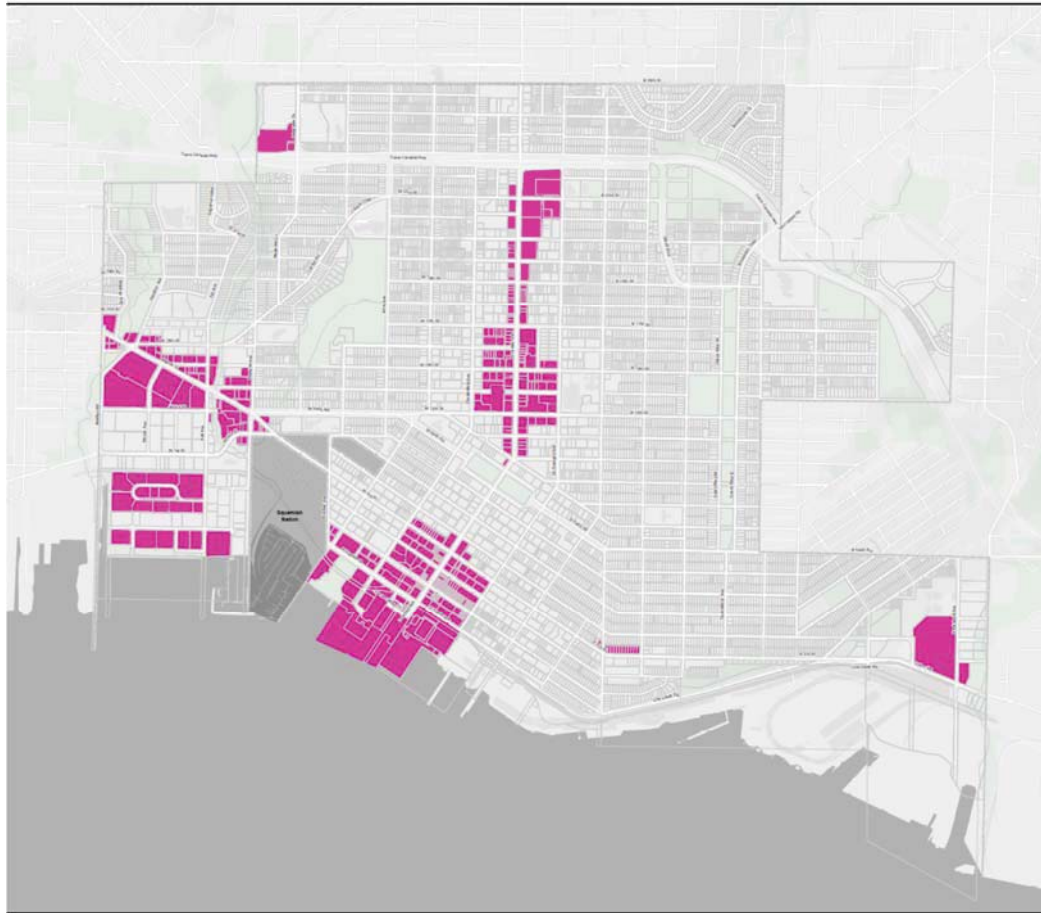
| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



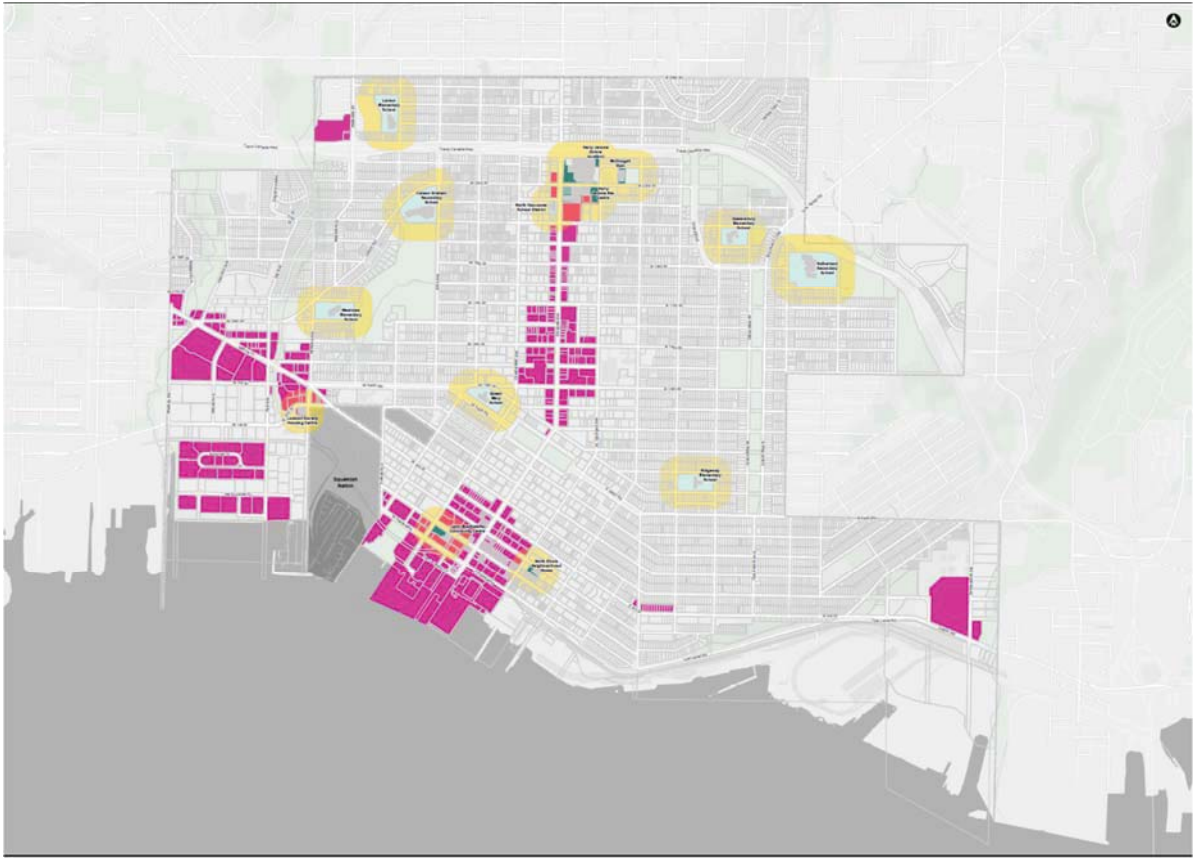
Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

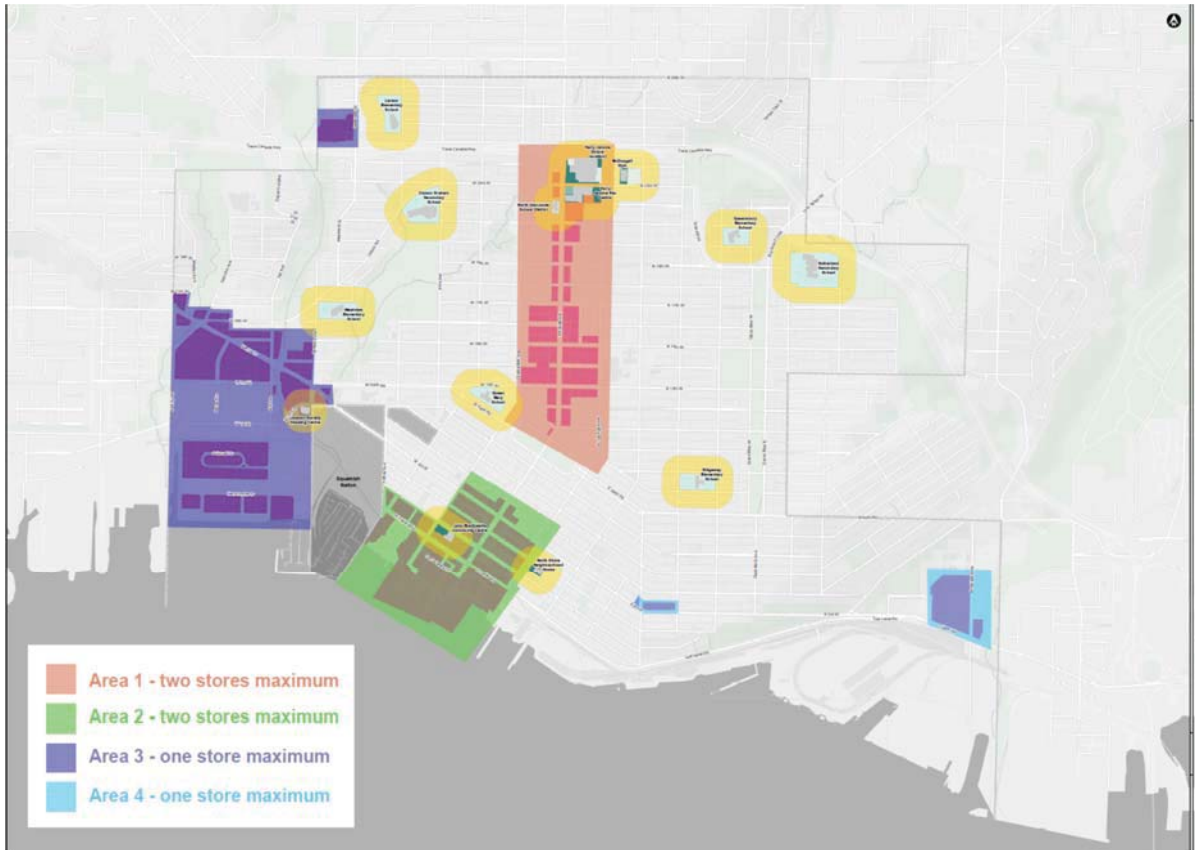
- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer *
- OCP Land Use Designation
- Legal Parcels
- City Boundary

* buffers have been measured from legal parcel boundaries

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 3
Recreational Cannabis Retail Businesses
Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

1200 Lonsdale Avenue

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

[DATE] [TIME]

| | |
|----------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| Name: DR LESLIE GALLON | |
| Address: 961 WILDWOOD LANE WEST VANCOUVER (work @ 1200 Lonsdale) | |
| 1. Do you support the proposed project? | NO, I do not support this at 1200 Lonsdale. |
| 2. What do you like most about the proposed project? | With the recent shooting witnessed by my staff, I do not want any encouragement of undesirable, possible drug trade connected people. |
| 3. Do you have any concerns about the proposed project? | I have a concern about attracting people that are not focused on health care and who will detract from the neighbourhood. |
| 4. What would you suggest to improve or enhance the proposed project? | I have concerns about parking for older people, very young and everyone coming to the building for health care. |
| 5. Please provide any additional comments. (use back of page if necessary) | I have a concern about parking and the frequency on coming & going in a busy neighbourhood at an intersection without light. |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Mark Long
City of North Vancouver: David Johnson

Telephone: 604 252-3133
Telephone: 604 990 4219

E-Mail: bccs_lgapps@bcladb.com
E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|----------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | No - I don't agree with the proposed location |
| 2. What do you like most about the proposed project? | |
| 3. Do you have any concerns about the proposed project? | Yes, traffic generation that will be parking in an already very busy commercial |
| 4. What would you suggest to improve or enhance the proposed project? | sector Allow this type of business to locate in a less busy area. |
| 5. Please provide any additional comments. (use back of page if necessary) | Traffic generation is considerable (I look to the illegal shop on E 2nd St.) I suggest this type of business |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Also, with future development @ 13th & Wonsdale // very busy

locate in a strip mall, shopping center or less busy area to

allow easier access for customers or less impact on parking for existing parkers.

1200 Lonsdale Avenue

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

Apr. 13/19 [DATE] 1630 [TIME]

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Dr. Christopher Booth MD FRCP C | |
| Address: 300-1200 Lonsdale Ave. North Vancouver, BC, | |
| 1. Do you support the proposed project? | Neutral. It depends on how this store actually functions. |
| 2. What do you like most about the proposed project? | I am encouraged by the fact that this is a government run store. I would expect a high degree of adherence to the law, professionalism + community responsibility. |
| 3. Do you have any concerns about the proposed project? | I am a child + adolescent psychiatrist. I am one of several health care providers in the building. I see some youth who struggle with substance use, I worry this could be a trigger. I also worry about how parents may respond, seeing this store on their way to my office. |
| 4. What would you suggest to improve or enhance the proposed project? | I want clear, enforced rules regarding behaviour of patrons. I do not want my patients having to walk past people smoking cannabis on their way to the entrance to the building. |
| 5. Please provide any additional comments. (use back of page if necessary) | I am a health care professional and I work with teens. I would have worries if this was a proposal for a private or government run liquor store, as well. I am trying to promote healthy choices and to avoid these types of activities. |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Mark Long
City of North Vancouver: David Johnson

Telephone: 604 252-3133
Telephone: 604 990 4219

E-Mail: bccs_lgapps@bcldb.com
E-Mail: djohnson@cnv.org

315 Lonsdale Avenue Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|----------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | <i>Not in the 1200 Lonsdale Medical Building.</i> |
| 2. What do you like most about the proposed project? | <i>I am not supportive of it.</i> |
| 3. Do you have any concerns about the proposed project? | <i>Yes. 1. We have a large team, with young female staff who leave at 8pm (when it is dark in the winter). If we have people loitering out back smoking cannabis, I am concerned that they will not feel safe. 2. We currently have people regularly smoking by the parking lot door.</i> |
| 4. What would you suggest to improve or enhance the proposed project? | <i>It is Smoking by-laws are not being enforced. If we have cannabis being smoked, it will be a highly offensive smell and certainly not appropriate for a building with MD's, Dentists, Naturopaths, Physios, etc.</i> |
| 5. Please provide any additional comments. (use back of page if necessary) | <i>Not move into a medical building or at least widen the no-smoking buffer around the building and enforce it!</i> |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Jun-Bin Koh

City of North Vancouver: David Johnson

Telephone: 778 988-2128

Telephone: 604 990 4219

E-Mail: justinkoh67@gmail.com

E-Mail: djohnson@cnv.org

April 5, 2019

Above Average Lingerie & Fashions
103 East 12th Street
North Vancouver, BC
V7L 2J3

To Whom it May Concern:

Attn: The City of North Vancouver
BC Liquor Distribution Branch

We are writing in response to the letter we received from the Liquor Distribution Branch regarding the Cannabis Retail Application. While we do not oppose Cannabis legalization or the retail distribution of Cannabis, we do oppose the application for this location at 1200 Lonsdale Ave.

The LDB has issued a plan for community impact which highlights issues of health, safety and security. While these are all important, and would be expected of a professional, government business, they have not addressed the most immediate and pressing issues for the neighbouring businesses. Our own business was previously located next door to a Cannabis shop for three years so we have experienced the impact these businesses can have on their neighbours including parking and traffic, smoking Cannabis outside of businesses, and reselling to minors.

Traffic and parking were major issues we experienced with the added traffic the Cannabis store generated. Many Cannabis patrons, expecting to be in and out quickly, would double park, park illegally, or park in private or pay parking spaces (without paying) rather than competing for street parking like everyone else.

The other issue we faced was Cannabis patrons using the product outside of our businesses. We understand that this is not a problem with the majority of patrons, but never the less it was an issue for some of the adjacent businesses.

In addition to the above concerns there were many times we witnessed young (minor) people receiving Cannabis products outside on the street that were purchased by an adult and passed on to them.

None of these topics have been addressed in the LDB's community impact comments.

The area around 1200 Lonsdale Ave is already a very busy traffic area with both cars and pedestrians. Within one block there are many high traffic businesses including numerous medical, dental and professional offices, a large fitness facility, several restaurants and retail shops. These businesses all rely heavily on street parking which will become more limited. In our own experience we feel that Cannabis stores don't need to be in such prime, high traffic locations as, like liquor stores, they are destinations that patrons will seek out. A location in an area like the entertainment district, or a shopping complex could be more suitable, with less impact on the surrounding businesses.

Above Average Lingerie & Fashions
Debbie Dickie, Dawn Blaschuk

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenford Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koop | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koop + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE 15 th Y | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | +203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, V | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VANV B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOGE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgeson | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle LeMay | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD E. | 6:12 |
| 46 | Debbie Dickie | 1119 Pinning Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. 76 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd St West North Van | |
| 49 | Myra | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILLOW LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOA | 1250 Lonsdale Ave | 6:00 pm |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 pm |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 pm |
| 9 | Don HOLT | 601-12th W | 6:15 |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 |
| 14 | KYE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 |
| 17 | Stord Scalford | 312 East 1st St Apt. #103 | 6:40 |
| 18 | Courtney Anson | 252 2nd St W | 6:40 |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 19:43 |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DINA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
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| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

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April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent I the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8717

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as “**Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8717**” (Mark Long / BC Liquor Distribution Branch, 1200 Lonsdale Avenue, CD-722).
2. Division VI: Zoning Map of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by reclassifying the following lots as henceforth being transferred, added to and forming part of CD-722 (Comprehensive Development 722 Zone):

| Lots | Block | D.L. | Plan | |
|------|-------|------|-------|----------|
| C | 74 | 549 | 18159 | from C-2 |

3. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. Adding the following section to Section 1100, thereof, after the designation “CD-721 Comprehensive Development 721 Zone”:

“CD-722 Comprehensive Development 722 Zone”
 - B. Adding the following to Section 1101, thereof, after the “CD-721 Comprehensive Development 721 Zone”:

“CD-722 Comprehensive Development 722 Zone”

In the CD-722 Zone, permitted Uses, regulations for permitted Uses, regulations for the size, shape and siting of Buildings and Structures and required Off-Street Parking shall be as in the C-2 Zone, except that:

- (1) In addition to the Principal Uses permitted in the C-2 Zone, one Cannabis Sales Retail Store may be permitted.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.




READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK



| | | |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
|  Division Manager |  Director |  CAO |
|------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|

The Corporation of **THE CITY OF NORTH VANCOUVER**
PLANNING AND DEVELOPMENT DEPARTMENT

REPORT

To: Mayor Linda Buchanan and Members of Council

From: David Johnson, Development Planner

Subject: REZONING APPLICATION: 333 BROOKSBANK AVENUE (MARK LONG / BC LIQUOR DISTRIBUTION BRANCH)

Date: June 12, 2019 File No: 08-3360-20-0493/1

The following is a suggested recommendation only. Refer to Council Minutes for adopted resolution.

RECOMMENDATION:

PURSUANT to the report of the Development Planner, dated June 12, 2019, entitled "Rezoning Application: 333 Brooksbank Avenue (Mark Long / BC Liquor Distribution Branch)":

THAT "Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718" (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment) be considered and referred to a Public Hearing;

THAT notification be circulated in accordance with the *Local Government Act*.

AND THAT a copy of the resolution be forwarded to the Provincial Liquor and Cannabis Regulation Branch.

ATTACHMENTS:

1. Context Map (doc#[1773014](#))
2. Proposed Site Plan (doc#[1790024](#))
3. Submitted Drawings (doc#[1775389](#))
4. Community Impact Statement (doc#[1775388](#))
5. Proposed Security Plan (doc#[1775390](#))
6. Recreational Cannabis Retail Policy (doc#[1774193](#))
7. Public Consultation Summary for 333 Brooksbank Avenue Street (doc#[1775343](#))
8. Public Consultation Sign-In Sheet and General Comments (doc#[1775340](#))
9. Zoning Text Amendment Bylaw No. 8718 (doc#[1774381](#))

PURPOSE

The purpose of this report is to present a rezoning application for Council to consider a Recreational Cannabis Retail Store within a new retail building at the north east corner of Park and Tilford Shops and Gardens site at 333 Brooksbank Avenue (Attachment #1).

BACKGROUND

With the legalization of recreational cannabis on October 17, 2018, the Federal Government under the Cannabis Act provided the legal framework for the production, distribution, sale and possession of both medical and non-medical (recreational) cannabis. The Province of British Columbia created a legislative framework through the Cannabis Control and Licensing Act to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in the Province.

In coordination with both federal and provincial regulations, Council approved the Recreational Cannabis Retail Policy on September 17, 2018, which created the framework under which recreational cannabis retail businesses can be established in the City (Attachment #5). The policy considers the sale of non-medical grade cannabis and does not consider the production, distribution or sales of medicinal cannabis. Medicinal cannabis can be obtained through a federally licensed producer.

The policy focused on the location criteria for where businesses can be located in the City, as well as establishing an application procedure due to the high level of interest. The criteria included limiting Cannabis Retail Stores to properties with the following Official Community Plan designations:

- Mixed Use Level 2 (Medium Density);
- Mixed Use Level 3 (Medium Density);
- Mixed Use Level 4A (High Density);
- Mixed Use Level 4B (High Density)
- Harbourside Waterfront (Mixed Use); and
- Commercial.

The policy also limits locations that are within 100 metres of the following sensitive uses:

- Community Recreational Centres;
- North Shore Neighbourhood House;
- North Shore Shelter;
- North Vancouver school District Office; and
- Public elementary and secondary schools.

The policy includes a maximum of six (6) retail cannabis businesses to be considered, and prescribes a distribution throughout the City as follows:

- Two businesses in the Central Lonsdale area;
- Two in the Lower Lonsdale area;
- One in the west part of the City; and
- One to the east part of the City.

On November 19, 2018, applications were received on a first-come-first-served basis, with each of the geographic areas in the policy represented. Five applications met the policy criteria and were invited to make an application for a Zoning Bylaw Amendment. No applications were received in the eastern part of the City. On January 14, 2019, Council supported staff processing these five applications, and would allow a sixth on a first-come-first-served basis for the east part of the City. The City received the sixth application for a store at the Park and Tilford Shops and Gardens on March 6, 2019.

DISCUSSION

Project Description

The proposed retail building is to be located at the north east corner of the Park and Tilford Shops and Gardens site and would occupy approximately 365.1 square metres (3,930 square feet) of floor space within the building (Attachment #2), an overall increase to the site of 300.0 square metres (3,230 square feet).

The floor plan submitted is a general plan of the store that identifies locations for displays and back area offices. It is intended the entire building would house a Cannabis Sales use (Attachment #3).

The applicant has also provided a Community Impact Statement (Attachment #4), which describes the applicant's contribution towards the regulation of safer cannabis products and distribution and their proposed Security Plan (Attachment #5) that outlines how their operation will comply with Provincial regulations.

Site Context and Surrounding Use

The subject site at 333 Brooksbank Avenue is the location of the Park and Tilford Shops and Gardens at the north west corner of Brooksbank Avenue and Cotton Road (Attachment #1). The proposed building is to be located at the north east corner of the site, adjacent to the existing vehicle access to Brooksbank Avenue, at the northern side of the site (please see 'CRU G' of Attachment #2).

The immediate area contains a mixture of car orientated retail, office and mixed employment uses contained in one and two level buildings.

The location is along a public transit route and is close to many other commercial businesses within walking distance.

PLANNING ANALYSIS

Policy Context

2014 Official Community Plan

The subject site has a designated land use of Commercial which supports a wide range of commercial uses offering retail, office, goods and services. The OCP does not limit floor

area as the designation is for employment generation and does not permit residential uses. The amount of floor area to a Commercial site would be left to Council discretion, and limited to the allowable off-street parking available on the site in accordance with the Zoning Bylaw.

While no building plans have been provided, the applicant has indicated the proposed building is to keep the design theme of all the existing commercial buildings on the site, in particular along the Brooksbank Avenue frontage. The proposed entrance would be orientated toward the south to provide off-street parking at the front of the store, and would provide easier access to pedestrian traffic along Brooksbank Avenue and from the remaining shopping mall site.

Regulations from senior levels of government require all cannabis retail stores to enclose their store fronts to block viewing into the store from the street as a means to discourage minors from entering into the store. Such a measure conflicts with the goal objectives of the OCP to promote a greater pedestrian friendly street front by limiting views into the store from the street. Staff will work with both the applicant and the senior levels of government to achieve OCP objectives and to meet the criteria of storefronts to dissuade minors from entering the store. In this situation, the windows in the proposed building will need to be covered to meet this requirement.

Overall, no amendment to the OCP is required with this application.

Recreational Cannabis Retail Policy

The application does conform with the criteria provided within the policy, as it is in the allowable land use designation as identified in the OCP, it is outside of the 100 metre radii of all the sensitive uses listed in the policy, and it was the only application to be received in the east part of the City, which allows only one store.

Zoning Bylaw 1995, No. 6700

The Zoning Bylaw currently does not allow Cannabis Sales as a permitted use anywhere in the City. Cannabis Sales is defined in the Zoning Bylaw and;

means the retail or wholesale sale of Cannabis, and includes an operation which provides referrals and facilitates access to Cannabis not physically sold on the premises, but does not include sales by a British Columbia Registered Pharmacist in a British Columbia regulated Pharmacy.

Zoning Amendment Bylaw 8718 (Attachment #9) would allow the use of one recreational Cannabis Sales store to exist in this location, as well as update the Siting Plan for the proposed new building. The current Zone of Comprehensive Development 131 (CD-131) does permit retail stores.

Limits to allowable Gross Floor Area and Lot Coverage does not need to be altered with the amending Bylaw as the proposed new building would not exceed the maximum already listed under this Zone. Off-street parking requirements with the proposed new building are met under the existing Zone.

COMMUNITY CONSULTATION

An Open House for all applicants was held on April 9, 2019 for members of the general public to learn about and make comment on all six applications. From the 91 people who signed in for the event (Attachment #7), staff received one written comment relating to this application in support of the store.

General public comments as well as comments that were not tied to a particular application can be found after the sign-in sheets in Attachment #8.

CONCLUSION

The proposal does conform to the Land Use Map of the OCP and meets the criteria of the Recreational Cannabis Retail Policy.

Amendment Bylaw No. 8718 would support the addition of one Cannabis Store as well as update the Siting Plan of the current CD-131 Zone to permit a new building. Final building considerations will be reviewed with a forthcoming Building Permit for the new building.

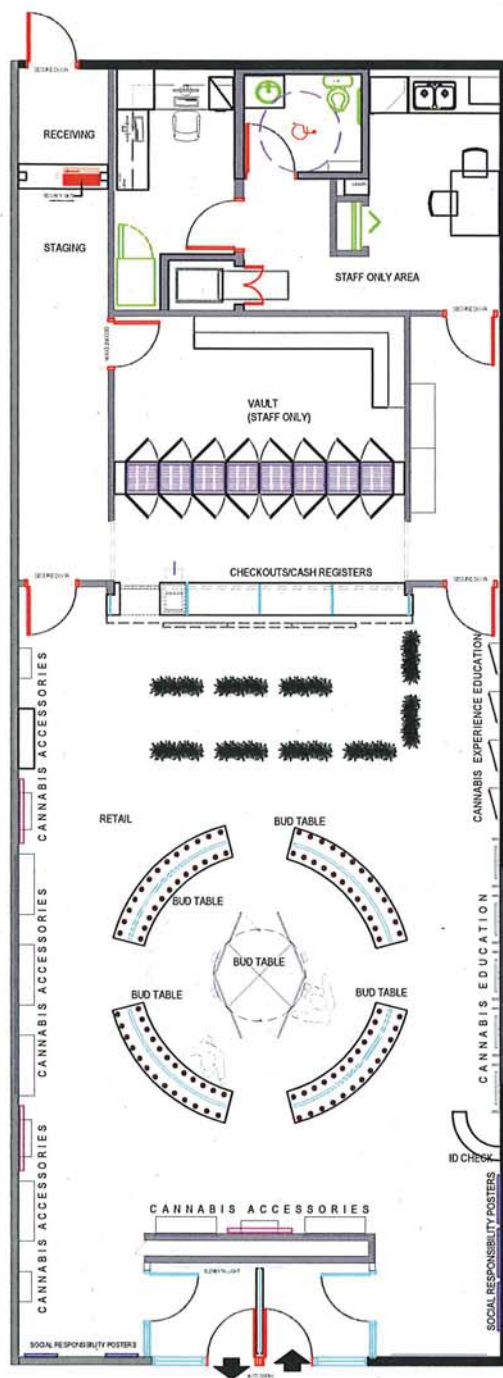
The proposed location of the store supports the retail orientation of Park and Tilford Shops and Gardens, and staff will work with the applicant to finalize their store front presentation during the review of their Building Permit application.

The proposed location of the store supports the retail orientation of the area. Through the Building Permit review, mitigation measures for the storefront design will be finalized.

RESPECTFULLY SUBMITTED:


David Johnson
Development Planner

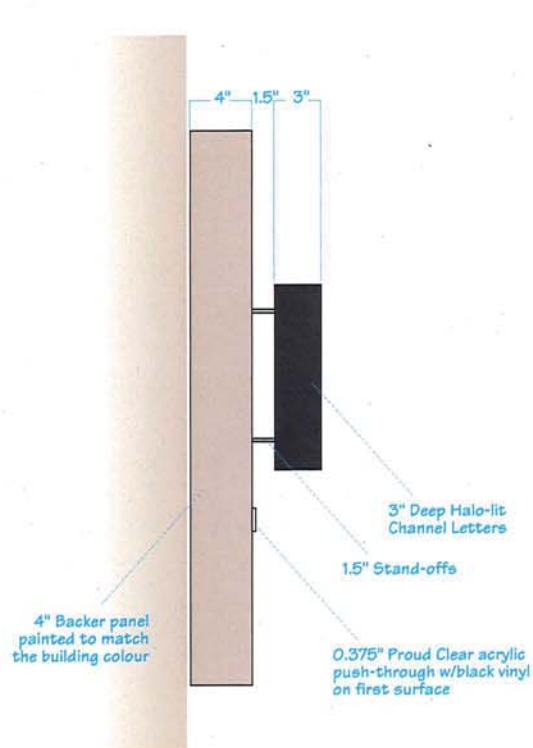
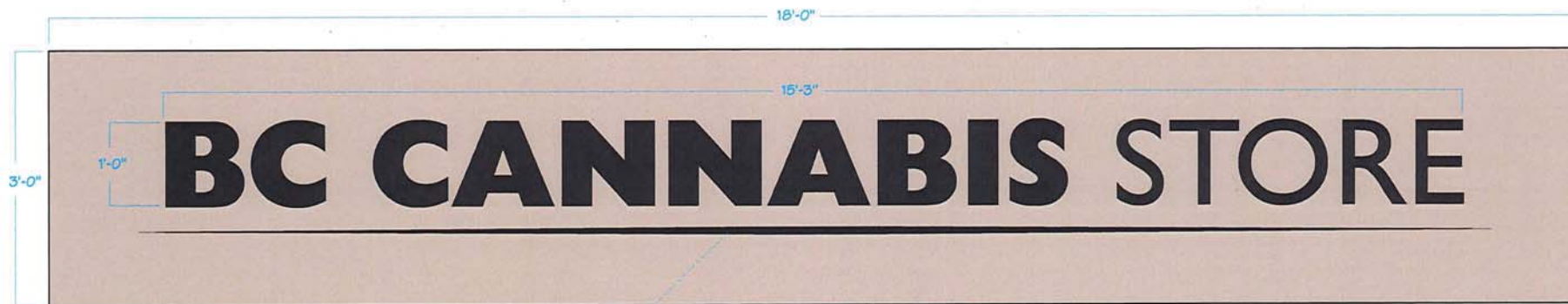





BC CANNABIS STORES

APPROVED CONCEPT

[concept proposed. to be applied to available locations]



| | | | | | |
|-----------------------------------------------------------------------------------------------------------------------|--------------------|-------------------------------------------------------------------|-------------------------------|-----------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ARTISTIC sign service ltd. 745 Sacree St. East Kamloops, BC Phone 250-372-9288 Fax 250-372-9283 | Client's Approval: | | Date: October 18, 2018 | File Name: BC Cannabis Store fascia sign.pdf | Revision: 001sr |
| | Project Name: | Project Description: | | Vinyl Colours: | Paint Colours: |
| | | Halo lit channel letters and push-through acrylic on backer panel | | Black | Black Letters Backer panel to match building |
| | Date: | | | | <small>ORIGINAL GRAPHIC DESIGN & PRODUCTION CONCEPTS ARE THE PROPERTY OF ARTISTIC SIGN SERVICE LTD. AND MAY NOT BE REPRODUCED WITHOUT AUTHORIZATION. REPRODUCTIONS OF CLIENT LOGOS & TRADEMARKS ARE SOLELY FOR THE PURPOSE AND APPLICATIONS REQUESTED BY THE CLIENT AND REMAIN THE PROTECTED PROPERTY OF THEIR RESPECTIVE COMPANIES.</small>  |

BC CANNABIS STORES



**LIQUOR
DISTRIBUTION
BRANCH**



**Professional.
Experienced.
Responsible.**

**With nearly 100 years of
experience retailing liquor
products, we know what it
means to be a good neighbour.**

Purpose

To make high-quality cannabis products and education available to all customers – from the discerning to the new – through a responsible retail channel that provides expert and friendly service.

SOCIAL RESPONSIBILITY

Every decision is made with a lens that prioritizes public health and safety.

SERVICE

We know our customers intimately and we are highly knowledgeable about the products we sell.

PEOPLE

We are intensely curious, deeply passionate about this space, and nimble, digital thinkers.

INTEGRITY

We always do the right thing and live our values every day, in every role, in every situation.

RESPECT

We work together as a cohesive team and recognize the unique talents of each individual.

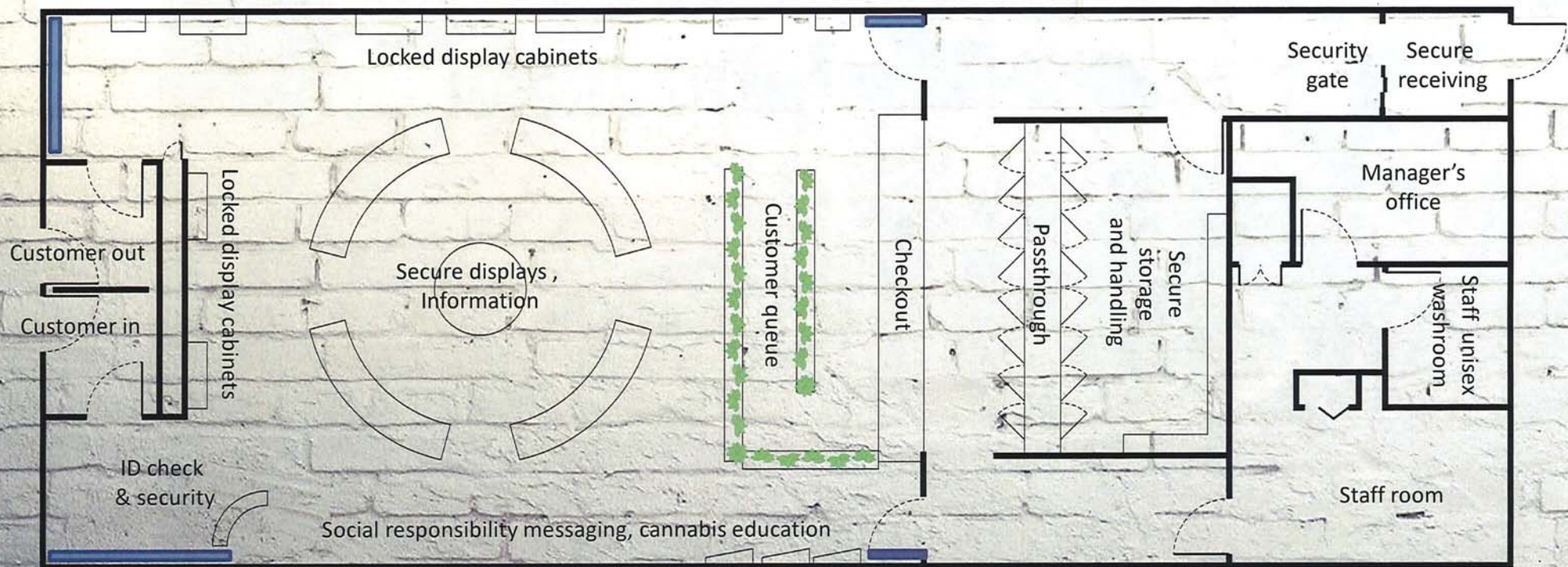
CONTINUOUS IMPROVEMENT


We are agile and quick; we take initiative to fill gaps and propose solutions.

Storefront



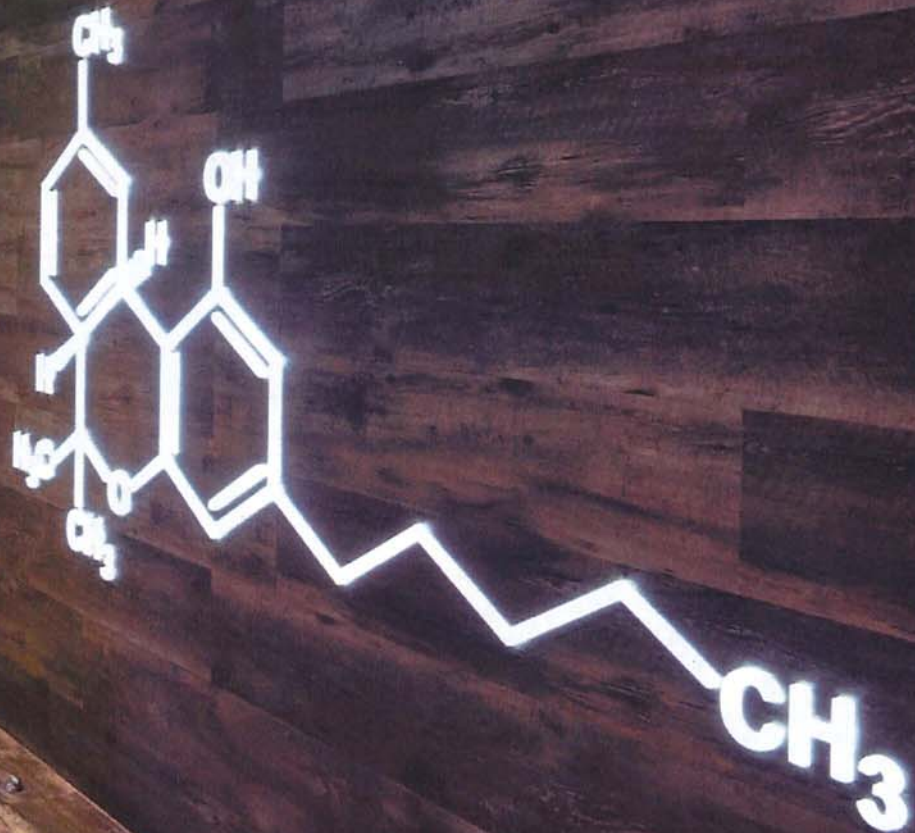
Concept Floorplan:



 = Social responsibility signage

Store interior





KEEP
MARIJUANA
AWAY
FROM
YOUTH.



It's illegal to buy for minors.
Youth are at a greater risk of
harm from non-medical cannabis.

BC CANNABIS
bccannabis

17,000

1028 MAY



Store operations

- Store entranceways will have a counter for a two ID-check policy to prevent minors from entering the store.
- Store staff and in-store material will create a safe and informed customer experience.
- Digital signage and take-away brochures help educate customers of potential risks associated with cannabis use, supporting our mission of social responsibility (SR).
- Products are kept behind the checkout in an employee-only area of the store, out of sight from minors passing by the front of the store.

Proven track record of public service and accountability that will carry over to cannabis

- Our strict “ID Under 30” policy in BC Liquor Stores is a strong contributing factor to our successful compliance record. For cannabis, for proof of age, all customers will be required to show two pieces of ID.
- Responsible consumption awareness programs in stores and in our communities like **Dry Grad** and **Get Home Safe** protect young people and their community.
- Our at-the-till charitable collections and employee contributions raise nearly \$1 million for local communities annually.
- We thrive as an environmental leader through responsible waste management.



**START
LOW,
GO
SLOW.**

For the safest experience,
start with products that are
low in THC.

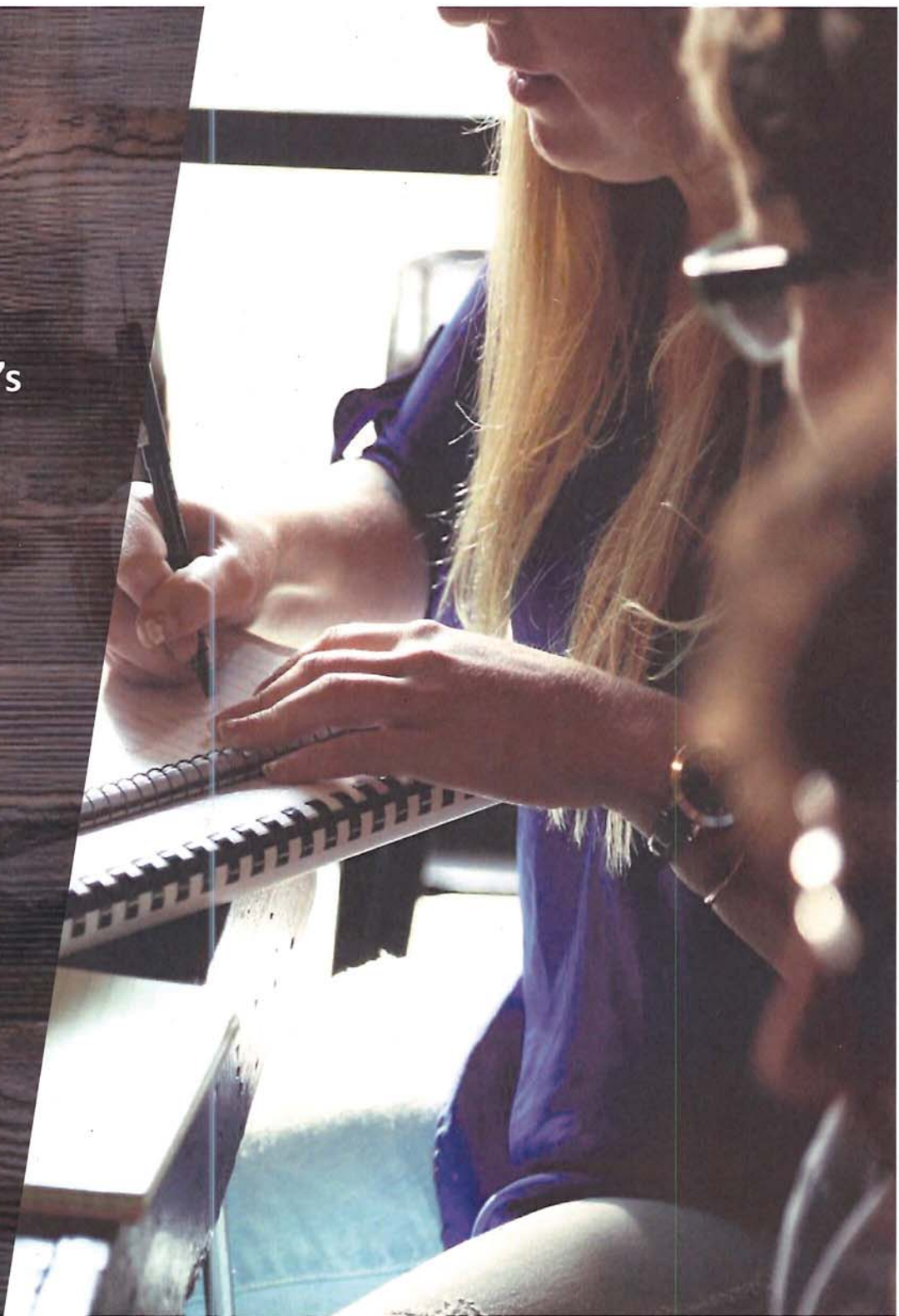
BC CANNABIS STORES

bccannabisstores.com

A reputable place to work.

We take pride in being named one of BC's Top Employers time and time again.

- Mandatory criminal background checks are performed on all employees.
- Comprehensive product knowledge and customer service training are integral to the cannabis consultant onboarding experience.
- As with liquor, we will mandate a Serving It Right equivalent certification for all cannabis consultants.
- Each store will have a Store Manager, Assistant Store Manager, and Cannabis Consultants.





Safety and security

Customer, employee and community safety is paramount.

- Intruder and fire monitoring systems
- Interior and exterior camera surveillance
- Accessories will be locked in tempered glass display cases.
- A secure storage room that will require access cards to enter.
- Durable and reliable commercial-grade doors and locks.
- Smash-resistant windows.
- Product will not incinerated or disposed on-premise.

We are committed to working with local governments and local law enforcement agencies



Accountable. Partners.



**LIQUOR
DISTRIBUTION
BRANCH**

CONTACT
Kerri Lore
Director of Policy
kerri.lore@bcldb.com
604-252-3196

CONTACT
Mark Long
A/Director, Real Estate
mark.long@bcldb.com
604-252-3113



**LIQUOR
DISTRIBUTION
BRANCH**

REZ 2019-00006

RECEIVED

MAR 06 2019

CITY OF NORTH VANCOUVER
COMMUNITY SERVICES
DEPARTMENT

February 19th, 2019

Planning Department
City of North Vancouver
141 West 14th Street
North Vancouver BC V7M 1H9

Dear Mayor and Councillors:

Re: Cannabis Retail Store Application

Please accept our application to locate a **government operated cannabis retail store** at Park & Tilford Shopping Centre, 333 Brooksbank Avenue. The Liquor Distribution Branch (LDB) has received support from the property owner to proceed with this application (Authorization letter attached).

About the LDB

The LDB is one of two branches of government responsible for the beverage alcohol and non-medical cannabis (cannabis) industries in B.C. Through the *Liquor Distribution and Cannabis Distribution Acts*, the LDB is mandated with the purchase and distribution of beverage alcohol and cannabis for the Province. As well, the LDB operates a number of public liquor stores (197 in total), and as of October 17th, a public cannabis retail store in Kamloops, as well as an e-commerce platform to offer public on-line sales of cannabis. The LDB is self insured as a branch of the BC government.

Revenue generated through the LDB's wholesale and retail operations is directed to the Provincial Government and contributes to supporting vital public services such as health care and education. For the 2017/2018 fiscal year, the LDB contributed \$1.12 billion to fund government services. Revenue generated through LDB's newly implemented cannabis operations (both wholesale and retail) will also be directed back to the Province to support important public services.

Location of Proposed Cannabis Retail Store

This location was selected by the LDB for a proposed cannabis retail store for a number of reasons, including that the site is:

- Located in a large retail complex and therefore consistent with the nature of the immediate area;
- Located in area 4 that permits cannabis retail use;
- Located at least a 100-metre radius from the following sensitive uses: all public schools, North Vancouver School District Office, North Shore Neighbourhood House, Community and recreation centres, and North Shore Shelter;
- Easily accessible to customers; and
- Not expected to adversely impact traffic in the surrounding area, given its location in an already established retail complex.

Building and Site

The following considerations were taken into account when evaluating the appropriateness of the site and building for a cannabis retail store:

- The intended use of the site is consistent with the “retail” nature of the immediate area.
- The size of the proposed cannabis retail store is approximately 4000 square feet.
- The site will provide for ample parking and efficient traffic flow.

The site is a new build site and due to construction it will take about two years for the store to be operational.

Community Impact

The LDB works closely with the Liquor and Cannabis Regulation Branch (LCRB) and the Ministry of Public Safety and Solicitor General to encourage the safe and responsible consumption of alcohol and cannabis in BC. The LDB is committed to working in partnership with local governments to ensure a smooth introduction of the legal cannabis retail market to BC communities. While government-operated cannabis retail stores do not require a licence from the LCRB¹, we are committed to following all municipal zoning processes and meeting all bylaw requirements, as well as working with local law enforcement agencies to maintain public safety and to mitigate, and respond to, any negative impact on the community.

Social Responsibility is part of the LDB's Mission Statement and one of the four pillars we have identified that supports our success. Our efforts are focused on three themes: encouraging and promoting responsible use of alcohol and cannabis, reducing the impact our business has on the environment, and giving back to the communities we serve. We meet these objectives by:

- Delivering products that meet strict product safety and quality requirements - all cannabis products will be purchased through the LDB wholesale channel; product will be lab tested and will only be purchased from producers that have been licensed by Health Canada.
- Ensuring accountability of our key business partners (e.g. Licensed Cannabis Producers).
- Promoting the safe and responsible use of beverage alcohol and cannabis through social responsibility campaigns aimed at keeping alcohol and cannabis out of the hands of youth*, preventing driving under the influence, and informing the public about associated health risks.
- Actively discouraging customers from engaging in high-risk behaviour like drinking or consuming cannabis and driving, consuming alcohol or cannabis during pregnancy and participating in sporting activities while under the influence of alcohol or cannabis;
- Increasing awareness of the dangers associated with over-consumption or risky behaviour through various in-store campaigns with strategically placed messaging;
- Raising money through in-store fundraising campaigns for dry grad celebrations, Red Cross disaster relief, kids in need, and local community charities (through the Provincial Government's Employee Workplace charitable giving campaign); and
- Incorporating environmental sustainability into all facets of our business with a goal of reducing our environmental footprint and being a leader in sustainable retailing.

¹ As a branch of the Ministry of Attorney General, the LDB does not require a formal license from the LCRB to operate a retail cannabis store - written confirmation from the LCRB is attached.

****Keeping cannabis out of the hands of minors will be a top priority for the LDB. Unlike liquor stores, minors will not be permitted to enter cannabis retail stores, even if they are accompanied by a parent or guardian. When entering the store, there will be an ID check at the entrance. Individuals without ID or minors (even those accompanying someone of legal age) will not be permitted in the store. As well, all staff will be required to complete a provincial training program.***

Store Operations

BC Cannabis Stores will be bright, clean, welcoming and professional, with the intent of creating a safe and favourable alternative to purchasing cannabis from the illicit market. Storefronts will have frosted windows to align with Health Canada's requirements that cannabis not be visible to minors.

All cannabis products carried by BC Cannabis Stores are sourced from federally licensed cannabis producers that are required to meet Health Canada's guidelines for quality control, Good Production Practices, and inventory management.

All stores will employ unionized staff – stores in large municipalities will have approximately 12-20 employees and stores in smaller municipalities will have approximately 6-12 employees. Each store will have a Store Manager, at least one Assistant Store Manager, and staff comprised of full and part-time Cannabis Consultants. All employees go through criminal background checks. Store hours may vary by each store location, but most stores will be open from Monday to Sunday 10 am to 10 pm.

The LDB's neighbourhood strategy includes:

- Mandatory full day training program, Keep It Safe, required for all staff. This program covers best practices for dealing with intoxicated customers, suspicious activities, and instances of violence, theft or nuisance. Additional topics covered include understanding cannabis related laws and strategies for maintaining a safe environment for employees and customers.
- Implementation of procedures on how to deal with unruly customers, store safety, loitering, and consumption outside the premises. For example, procedures are in place to ensure there are at least 2 employees in the store at all times and that stores are armed and locked outside business hours. For events that occur outside of the store, staff are trained to contact mall security, if applicable, or to call 911.
- BC Cannabis Stores have a two ID policy. Customers must show two pieces of ID, one of which must be issued by a government agency and includes their name, birth date, and picture. The second must include an imprint of their name, signature and/or picture. Staff receive training on conducting ID checks and identifying signs of altered ID documents.
- Defective product will be transported to an off-premise location to be destroyed. Stores will not incinerate or dispose of cannabis products on premise, reducing the risk that cannabis will come into the hands of minors or the illicit market.

Security

Customer, employee, and community safety is paramount. The LDB brings over 40 years of experience in working with local government, enforcement agencies, and security experts in establishing and operating secure retail stores in BC. The LDB utilizes Crime Prevention Through Environmental Design (CPTED) principles in all of our retail store layouts.

BC Cannabis Stores are supported by the LDB's Corporate Loss Prevention department and privately contracted security personnel are available to work in conjunction with store staff to ensure security practices and protocols are followed.

All BC Cannabis Stores will have:

- Centrally maintained province-wide intruder and fire monitoring systems;
- Interior and exterior camera surveillance;
- Locked and tempered glass display cases for cannabis accessories;
- A secure storage room where product will be kept that will require access cards to enter;
- Durable and reliable commercial-grade doors and locks;
- Security shutters; and
- Smash-resistant windows.

Further details regarding BC Cannabis Stores and the LDB's social responsibility efforts are included in the attached presentation. If you require additional materials or have any questions we would be very happy to provide it. We thank you in advance for your consideration of our application.

Sincerely,

Michael Tan
Executive Director – Cannabis Operations
BC Liquor Distribution Branch

Attachments:

1. BC Cannabis Stores presentation
2. Application Package



**LIQUOR
DISTRIBUTION
BRANCH**

British Columbia Cannabis Store - Security Plan

The British Columbia Liquor Distribution Branch (BCLDB) has its own in-house Corporate Loss Prevention (CLP) which consists of a Monitoring Station, maintained 24/7, 365 days a year, our own Technical Security Officers and Investigators for all our locations.

With respect to our Cannabis locations once an application is granted we perform a risk assessment tied to the geographical area we will be operating in and then apply Crime Prevention Through Environment Design (CPTED) to all our locations. The municipal authority having jurisdiction is also incorporated into our physical security plans to ensure community safety.

At minimum, to satisfy federal and provincial legislative requirements, the physical security at all BC Government cannabis stores will be:

1. Bollards at the front and back of stores
2. Security grills over all exterior glazing
3. High security locks and keys
4. Lockable cabinet/showcase displays
5. Monitored burglar alarm system
6. Hold up buttons
7. CCTV coverage of all areas of stores with one year video retention
8. Secure vault room, where the majority of cannabis will be stored
9. Access control for restricted areas of store
10. Cash safe and cash deposit boxes for POS
11. Armoured car pickup and delivery



Where ideas work.

The BCLDB also has its own Corporate Loss Prevention Manual which consists of what to do in the event of criminal activity at our locations, how to deal with Store Emergencies, Currency, Physical Security, Employee Conduct, Documentation of Incidents and Injuries, and a number of appendices. This is a 63 page document that is made available internally to our Cannabis employees. We also employ training in regards to staff safety titled "Keep It Safe" to all employees.

Questions can be directed to:

Brendan Alexander
Director, Corporate Loss Prevention
British Columbia Liquor Distribution Branch
(604) 252-3051
brendan.alexander@bclddb.com



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

POLICY

Recreational Cannabis Retail Policy

REASON FOR POLICY

The Government of Canada has announced the recreational use of cannabis will become legal in Canada on October 17, 2018. The federal Cannabis Act is the legal framework under which the production, distribution, sale and possession of cannabis, for both medical and non-medical (recreational) purposes, is regulated in Canada. Through legislation including the Cannabis Control and Licensing Act, the Province of British Columbia has created a legislative framework to supplement federal legislation and facilitate legal and controlled access to recreational cannabis in British Columbia following federal legalization.

In coordination with federal and provincial regulations, this Policy creates a framework under which recreational cannabis retail businesses will be established in the City, with a focus on the following:

1. Defining **locational criteria** for where businesses may be situated, based on land use requirements, separation from sensitive uses and geographical distribution;
2. Implementing the **application procedure** under which proposals for new cannabis retail businesses are to be submitted, assessed and approved to operate within the City.

Applicability

This policy is applicable to all rezoning applications to operate a recreational cannabis retail business in the City.

Authority to Act

The legislative framework of the Province of British Columbia, including the Community Charter, Local Government Act, and the Cannabis Control and Licensing Act, provides the basis upon which the City may regulate certain locational aspects of recreational cannabis retail businesses, as well as procedures for assessing and approving business proposals.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Administration of this policy is delegated to the Planning Department.

PROVISIONS AND PROCEDURES

The following describes locational criteria for all recreational cannabis retail businesses in the City and outlines the procedure under which applications will be accepted, assessed and approved.

Locational Criteria

1. Recreational cannabis retail businesses may only be located on properties assigned with the following land use designations under the 2014 Official Community Plan (OCP) – Schedule A Land Use Map (see Schedule 1):
 - Mixed-Use Level 2 (Medium Density);
 - Mixed-Use Level 3 (Medium Density);
 - Mixed-Use Level 4A (High Density);
 - Mixed-Use Level 4B (High Density);
 - Harbourside Waterfront (Mixed-Use); and,
 - Commercial.
2. Recreational cannabis retail businesses may not be located within a 100-metre radii of the following sensitive uses (see Schedule 2):
 - Community and Recreational Centres;
 - North Shore Neighbourhood House;
 - North Shore Shelter;
 - North Vancouver School District Office; and,
 - Public elementary and secondary schools.
3. A maximum of six (6) retail businesses will be considered. Business locations are to be distributed throughout four areas in the City, in accordance with Schedule 3.

Application Procedure

1. Resources for application submission, including detailed instructions and links to the application form, submission requirements and other relevant information, will be posted on the City website at www.cnv.org/cannabis on October 1, 2018.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

2. The City will accept applications between November 19, 2018 at 10:00 am (PST) and November 30, 2018 at 5:00 pm (PST). All applications must include the information identified in Schedule 4 to be considered complete. Initial evaluation will be based on whether required documentation has been submitted. Through the rezoning process, a more in-depth analysis will be completed, at which point additional documents may be required.

Applications will only be accepted online through the City's file transfer service. Submissions will be deemed successfully received once displayed as a new e-mail in the inbox of the City's e-mail address. The order of which applications are received in the City's inbox will be considered the official register of applications received by the City. The City will not be liable for any application submission delay for any reason, including technological delays, or issues with either party's network or e-mail program. The City will also not be liable for any damages associated with submissions not received. The link to the file transfer service will be posted at www.cnv.org/cannabis.

The following rules apply to submissions:

- Only one submission per business/operator per area will be accepted;
 - Should the City receive multiple submissions from the same business/operator for the same location, only the first received submission will be considered;
 - A submission containing more than one application will not be considered and will be disqualified; and,
 - A submission containing more than one proposed location will not be considered and will be disqualified;
3. After the intake period, staff will review applications on a "first-come, first-serve" basis for application completeness. Applications that are deemed incomplete will not be further considered and disqualified.
 4. The City will consider a total of up to six (6) business locations, distributed throughout areas of the City in accordance with Schedule 3. The first two (2) complete applications received in Areas 1 and 2 and the first complete applications received in Areas 3 and 4 will be eligible to submit a rezoning application.
 5. All applications that proceed to the rezoning stage must submit an application fee of \$4,026.25.

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

6. Staff will process the first set of rezoning applications as a single batch if possible. All rezoning applicants must follow standard procedures for the rezoning process, including the following:
 - a. Responding to feedback and comments from staff, applicable advisory bodies, and the public;
 - b. Organizing an open house session and conducting other applicable public notification and consultation measures; and,
 - c. Attending standard Council proceedings, including a Public Hearing, when scheduled.

Should an applicant withdraw from the rezoning process during this stage, the applicant(s) who had submitted the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.

7. All applications will be held at Third Reading pending confirmation of approval for a Provincial Non-Medical Cannabis Retail License. Should an application at Third Reading not receive Provincial approval, the next complete application in the same area, as defined in Schedule 3, will be eligible to submit a rezoning application.
8. Upon rezoning approval, applicants may submit a business license application and, if applicable, a building permit application to the City.
9. Once operational, staff will monitor businesses to keep Council informed on the state of recreational cannabis retail in the City. After a period of two years, staff will reassess the Policy to determine whether amendments are warranted and/or if additional stores should be considered in the City, and return to Council with a recommendation for next steps. Council may request an alternative timeline for staff reassessment of the Policy at their discretion.
10. Should the City not receive the appropriate number of complete applications for each area, as defined in Schedule 3, during the timeframe outlined above in the Policy, future applications will be accepted on a 'first come, first serve' basis that are consistent with the requirements of this Policy.

| | | | |
|-----------------|--------------------|----------------|---------|
| Approval date: | September 24, 2018 | Approved by: | Council |
| | | | |
| Effective date: | | Revision date: | |
| | | | |

Policy Name: Recreational Cannabis Retail Policy




Policy Number: 7

Schedule 1

Permitted OCP Land Use Designations for Recreational Cannabis Retail Business Locations



Legend

-  Permitted OCP Land Use Designations
-  Legal Parcels
-  City Boundary

Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 2
Recreational Cannabis Retail Businesses
100-metre Radius Separation Requirement from Sensitive Uses



Legend

- Sensitive Use Buildings
- School/ School District
- Lookout Society
- Community/ Recreation Centres
- 100m exclusion buffer *
- OCP Land Use Designation
- Legal Parcels
- City Boundary

* buffers have been measured from legal parcel boundaries

Policy Number: 7

Schedule 3

Recreational Cannabis Retail Businesses

Areas of Consideration



Policy Name: Recreational Cannabis Retail Policy

Policy Number: 7

Schedule 4
Recreational Cannabis Retail Businesses - Submission Requirements

| REQUIRED INFORMATION / DOCUMENTATION | YES | NO |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------|
| Name and contact information of applicant(s) | | |
| Civic address and legal description of property where the proposed business is to be located | | |
| Letter of consent signed by the subject property strata corporation or registered owner(s) authorizing application submission and proof of an option for lease or purchase of the subject property; or a State of Title Certificate confirming the ownership of the subject property | | |
| Confirmation that the proposed location complies with all locational requirements as per this policy | | |
| Full description of the proposed business operation, including, at minimum, the following information: <ul style="list-style-type: none">• past business experience• corporate structure• number of staff, products sold, target market, and hours of operation• other general business information | | |
| Letter confirming that all individuals/corporate entities associated with the proposed business are <u>not</u> currently operating any illegal recreational cannabis operations in the City of North Vancouver | | |
| Description of the expected time frame for commencing business activities within the City, if approved | | |
| A Community Impact Statement outlining the following: <ul style="list-style-type: none">• Potential positive and negative economic, social and environmental impacts the business may have on the immediate neighbourhood and wider community• Strategies for mitigating potential negative impacts | | |
| A Security Plan demonstrating security features that comply or exceed Provincial requirements | | |
| Provincial licensing referral from Liquor and Cannabis Regulation Branch (required to be received from Province) | | |

333 Brooksbank Avenue

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

[DATE] [TIME]

| | |
|-------------------------------------------------------------------------------|---------------|
| Name: Mark Johnson | |
| Address: 161 West 4th St. N.V. | |
| 1. Do you support the proposed project? | Yes |
| 2. What do you like most about the proposed project? | availability. |
| 3. Do you have any concerns about the proposed project? | no |
| 4. What would you suggest to improve or enhance the proposed project? | nothing. |
| 5. Please provide any additional comments. (use back of page if necessary) | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

Applicant: Mark Long

City of North Vancouver: David Johnson

Telephone: 604 252-3133

Telephone: 604 990 4219

E-Mail: bccs_lgapps@bcldb.com

E-Mail: djohnson@cnv.org

Public Open House for Cannabis Retail Stores

SIGN IN SHEET

Please Note: This form will become part of the staff report to City Council on this development proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address.

CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|----------------------|---------------------------------|--------|
| 1 | Robin Baxter | | 6:00P |
| 2 | Sim NEILL | C-12 | |
| 3 | Heather Habib | 712-333 Brooksbank Ave. N. Van. | 6pm |
| 4 | Jim Strand | 507-345 Lonsdale Ave | 6pm |
| 5 | Jeff Moscos | 209-305 Lonsdale Ave | 6pm |
| 6 | Carlos Flores | 315-733 West 14 St. | 6:00pm |
| 7 | Andrea Theargeld | 517-345 Lonsdale Ave | |
| 8 | Robynne Edwards | H1-1576 Tatlow Ave. N. Van. | 6:00pm |
| 9 | Mackenzie Grantham | " | 6:00pm |
| 10 | Lorenzo Edwards | " | 6:00pm |
| 11 | Sylvia Collins | 609-345 Lonsdale Ave | 6:00pm |
| 12 | Heather Dens | 734 Lonsdale Ave | 6:00pm |
| 13 | Gandy HARVEY | 733 W. 14th St. NV | 6:00pm |
| 14 | Brendan Storestreet | 733 West 14 street | 6pm |
| 15 | Yalda Ahmadvand | 180-700 Marine Drive NV | 6:00pm |
| 16 | Don Rowlett | 508-345 Lonsdale NV | 6:00pm |
| 17 | Gray Jennica | 1890 Cardinal Ave | 6:00pm |
| 18 | Jim Kennedy | #503-305 Lonsdale | 6:00pm |
| 19 | Jim Kennedy | 1516 Kenfoot Dr White Rock | 6:00 |
| 20 | Shelly O'Meara | 224-255 W 1st St N.V | 6:00 |
| 21 | Yvonne Cote | #502-305 Lonsdale | 6:00 |
| 22 | Meghan Koup | 502-277 1st St. West | 6:00 |
| 23 | Meghan Koup + Nathan | 406-305 Lonsdale Ave | 6:00 |
| 24 | Caitlin Mann | 56-718 15th St W | 6:05 |
| 25 | Christina Hall | | 6:10 |

| No. | Name | Address | Time |
|-----|----------------------|----------------------------------------------|------|
| 26 | BOB Burtin | 655 5 th ST | 6pm |
| 27 | WAYNE CATTONI | 8084 17 th AVE 1517 | |
| 28 | Kamal Nanavaty | 111 E 13 th ST | |
| 29 | Feroze Nanavaty | 111 E 13 th ST | |
| 30 | Trace Kennedy | 503-305 Lonsdale Ave NV. | |
| 31 | Ericc Maxime | #223 255 West 5 th Street | |
| 32 | Joe Lappan | #224 - 255 West 1st St | 6 pm |
| 33 | Sermaz Brent | 302-305 Lonsdale Ave. | 6 pm |
| 34 | Andy Hellmuth | +203 - 17 th W - 125 Lonsdale | 6 PM |
| 35 | MARLENE TAMBEAU | 305-305 LONSDALE AVE | 6pm |
| 36 | Peter Bachmann | 407-1200 Lonsdale Ave. North Vancouver | 6:05 |
| 37 | MICHAEL ROSSI | #56-728 West 14 th St. | |
| 37 | Morgan Mink, V | #5 728 West 14 th | 6:00 |
| 38 | VERONICA B | | 6:00 |
| 39 | ANDREW HAWTHOR | 3264 W. 31 st AVE VAN B.C | |
| 40 | MAEV GATO/ KENO GATO | 306-305 LONSDALE AVE. N. VAN BC | 6PM |
| 41 | B. Moge | 111 East 13 th Street | 6:00 |
| 42 | A. MOYE | 111 E 13 th ST N. VAN | 6:10 |
| 43 | Brad Helgason | #421-255 West 1st Street. | 6:11 |
| 44 | Kyle LeMay | 1655 Edwards Rd | 6:11 |
| 45 | BRAIN LARSEN | 1720 GRAND BLVD E. | 6:12 |
| 46 | Debbie Dickie | 1119 Runaway Rd (103 East 12 th) | |
| 47 | Kathy Chan | P.O. #6 Lions Bay BC | 6:15 |
| 48 | Julie VanBreegen | #204, 131-3rd St West North Van | |
| 49 | Myra | #101 461 WEST 16 N VAN | 6:15 |
| 50 | Leona Gallon | 961 WILDWOOD LANE W VAN | 6:15 |

Public Open House for Cannabis Retail Stores

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CANNABIS RETAIL STORES

DATE: 4/9/2019

TIME: 6:00 pm to 8:00 pm

LOCATION: John Braithwaite Community Centre – Harbourview Room

| No. | Name | Address | Time |
|-----|--------------------------|-------------------------------------------|---------|
| 1 | Ezekiel UHOA | 1250 LONSDALE AVE | 6:00 PM |
| 2 | Nathalie Poirier | 255 West 1st Street | 6:00 PM |
| 3 | Brad Helgason | 255 West 1st Street | 6:15 PM |
| 4 | Jess Wagstaffe | 507-719 West 3rd St | |
| 5 | GEORGE BEWICK | 3819 CAMBRIDGE W. VAN | 6:15 PM |
| 6 | PICK JEFFERY | #204 131 W 3rd St N. VAN | 6:15 PM |
| 7 | ISCIAN MEAKIN | 1151 EDGEMOOR RD N. VAN | 6:15 PM |
| 8 | LEIGHTON HARRISON | 408-305 Lonsdale Ave N. VAN | 6:15 PM |
| 9 | Don HOLT | 601-12th W | 6:15 PM |
| 10 | Garry Johnston | 319 EAST 6TH | 6:15 PM |
| 11 | Athenne A. Ambrose | 137-East 1st St. #406, N. Van | 6:25 PM |
| 12 | BRUCE BASSEL | 351 BEWICK AVE. NORTH VANCOUVER | 6:27 PM |
| 13 | Dorene RUSSELL | 2-240 E 4th St N. Vancouver | 6:27 PM |
| 14 | KYE ROBERTSON | 702-124 W 1st St N. VAN | 6:30 PM |
| 15 | ANDREW KLAYDE | 213 EAST 22ND ST N. VAN | 6:25 PM |
| 16 | JOE MARTON | 303-317 BEWICK N. VAN | 6:35 PM |
| 17 | Stord Scalford | 312 East 1st St Apt. #103 | 6:40 PM |
| 18 | Courtney Anson | 252 2nd St W | 6:40 PM |
| 19 | Janet Kotalovic | 255 W. 1st St N Van | 6:55 PM |
| 20 | HECTOR HERNANDEZ | 310-124 3rd St W N Van | 7:43 PM |
| 21 | Jennifer Erin Vaughan | 201-733 West 14th St N. Van BC V7M 0C6 | 7:00 PM |
| 22 | Sarah Baldwin | 730 Marine Dr. Opposed to 725 Marine Loc. | 7:00 PM |
| 23 | | | |
| 24 | | | |
| 25 | | | |

| No. | Name | Address | Time |
|-----|-------------------|---------------------------------------------|----------|
| 51 | DIVA WEEKS | 305 Lonsdale Ave. North | 6:15 pm |
| 52 | RAQUEL JOHNSTON | 317 E 6th N. Van | 6:15 pm |
| 53 | Havona Hibbard | 137-406 E 1st Street | 6:25 pm |
| 54 | Howard Hao | 201-332 Lonsdale Ave. | 18:25 pm |
| 55 | Brady Fought | 317 Bewicke Avenue | 18:25 pm |
| 56 | Amya Hirji | 305 Lonsdale Ave #202 | 18:25 pm |
| 57 | BRIAN RABBIT | 1661 PHILIP AVE | 6:28 |
| 58 | DONNA TONEY | 317 Bewicke Ave. | 6:30 |
| 59 | Alic Batoni | 209-211 700 Marine Dr N. VAN | 6:30 |
| 60 | Mark Johnson | 306 306-161- West 4th St. N Van. | 6:45 |
| 61 | ALEX RAKS | 1212 23rd ST W. | 6:45 |
| 62 | Steven Rakis | 780 W ST Georges | 6:45 |
| 63 | Chester Wolff | 822 BSTEM. | |
| 64 | Rita Hernandez | 310-124 W 3rd Street North Van | 6:55 |
| 65 | Bernette Howard | 277 W 1st Street | 7:05 |
| 66 | Dominic Howard | 277 W. 1st street. | 7:05 pm |
| 67 | MICHAEL GALLAGHER | | 7:15 |
| 68 | Julia Dickson | 255 1st St W. | 7:15 |
| 69 | Colm Flavin | 111 East 3rd. | |
| 70 | | | |
| 71 | | | |
| 72 | | | |
| 73 | | | |
| 74 | | | |
| 75 | | | |
| 76 | | | |

Recreational Cannabis Retail Store

Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Name: Brady Fought | |
| Address: 317 Bewicke Avenue | |
| 1. Do you support the proposed project? | Yes! Great to see these professional, local business seeking establishment in North Vancouver. Welcomed. |
| 2. What do you like most about the proposed project? | The 'Weeds' store by my house (now closed) was very welcoming, courteous and professional. No smoke issues. These projects and reps. seem to be equally established and a great fit for the community. |
| 3. Do you have any concerns about the proposed project? | No. Please have bike racks! |
| 4. What would you suggest to improve or enhance the proposed project? | ↓ |
| 5. Please provide any additional comments. (use back of page if necessary) | I see no issues, CNV planning a brewery district, it seems no different and they should receive equal support both as legal products |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-----------------------------------------------------------------------------------------------------------------------------------|--|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? <i>YES</i> | |
| 2. What do you like most about the proposed project? <i>IT IS CLEAN AND GOOD FOR THE COMMUNITY</i> | |
| 3. Do you have any concerns about the proposed project? <i>NO</i> | |
| 4. What would you suggest to improve or enhance the proposed project? <i>KEEP THE PUBLIC INFORMED</i> | |
| 5. Please provide any additional comments. (use back of page if necessary) <i>MAKE THE DISTRIBUTORS OPEN & FRIENDLY</i> | |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

Recreational Cannabis Retail Store Public Open House

Please Note: Should you provide your name and address, this form will become part of the staff report to City Council on this proposal and will be publically available. If you do not wish to be identified, please do not include your name on the form, only your address. Your comments will be taken into consideration by City staff in its review of the application; however it will not be viewed by City Council or the public.

April 9, 2019

6:00 pm to 8:00 pm

| | |
|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| Name: | |
| Address: | |
| 1. Do you support the proposed project? | NO |
| 2. What do you like most about the proposed project? | NOTHING |
| 3. Do you have any concerns about the proposed project? | YES , |
| 4. What would you suggest to improve or enhance the proposed project? | DON'T PROCEED |
| 5. Please provide any additional comments. (use back of page if necessary) | THIS TYPE OF COMMERCIAL ACTIVITY IS UNDESIRABLE FOR FAMILIES IN THIS AREA AND IS MOST UNWELCOME. PLEASE DO NOT PROCEED. THIS IS UNWANTED! |

Comments will be delivered to the City of North Vancouver for consideration. Alternatively, you may mail or email your comments to either the City of North Vancouver or to the applicant. All comments will be forwarded to the City.

CONTACTS:

City of North Vancouver: David Johnson

Telephone: 604 990-4219

E-Mail: djohnson@cnv.org

David Johnson

From: [REDACTED]
Sent: March-27-19 9:24 PM
To: David Johnson
Attachments: text_1553747028630.txt

Umm I rent I the area, but this weed licences wrong spelling wont
bo through and I'll make sure of it

This message was sent from a Bell mobile phone.

Bell

-----Original Message-----

From: Ben Rieder <[REDACTED]>

Sent: April-03-19 7:48 PM

To: Web_Feedback <info@cnv.org>

Subject: to the Mayor ,urgent

Good day Mrs Buchanan

hope you are well
Fed election coming.

Why the North Van municipality wants to pu dispensary on lonsdale and 3rd street?
why not in Lynn Valley ,Marine drive ,Edgmond village ,
cb there those place re for rich people,

-poor and middle class live on Lonsdale,
the dispensary stores on Lonsdale are to close to the children sport school :

juitstu and Champions and close to the primary school and day care,community centers,
already 1 store go the permit on first street ,HAGGAR booze shop.

-we dont want any of those customers parking there cars ,pick up ,unrully and swearing to any one ,
-we don't want those dispensary useless store in NORTH VAN.

Thank you for launching a massive petition against this please>
if the NDP does not stand to protect our children ,family
we are not going to support you for the next city election and we are going to push the NDP to ban those
store in North Van

they can go on Marine drive ,Dollarton ,lynn Valley ,Edgmond if you like not on Lonsdale near our
community ,children school ,posrt scholl as well please!

Since October ,0 zero store in North Van ,all was well until now!
we can live without them.

king regards

Benny

Begin forwarded message:

From: Hibilly Blu <[REDACTED]>

Date: April 2, 2019 at 3:47:23 PM PDT

To: lbuchanan@cnv.org

Subject: Restricted access to cannabis on the North Shore

Cannabis has been legal for 5 months now, that said it is harder to get than before legalization. Places to smoke cannabis is relegated to the streets, if you don't own your own place, if an agreement is not in place with your landlord if you rent. People on the North Shore have issues with smoking cigareets let alone cannabis. I do not want to smoke outside on the streets or alleys. We need lounges and meeting places for cannabis consumers, Just like the alcohol drinkers have. The laws surrounding cannabis are not fair and too restrictive as they stand.

When it comes to alcohol, parents are trusted to manage their children in liquor stores where the consumption of an intoxicating substance is entirely normalized. Considering all cannabis product packaging will be intentionally unappealing to minors and there will be no consumption or sampling permitted in the store, it would inherently seem to be a safer place for Canada's youth than the sidewalk or liquor stores. Yet, out of 6 positions to apply for a cannabis store here, only 5 licenses handed out and almost half of them to alcohol dealers.

Cannabis should be treated like alcohol, was the message coming from government. Yet, all I have been seeing is the oppiste.

North Vancouver has restricted all access and disrupted a market that was already working.

Thank you for your time and consideration on this matter.
Stephen Nilsson

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THE CORPORATION OF THE CITY OF NORTH VANCOUVER

BYLAW NO. 8718

A Bylaw to amend “Zoning Bylaw, 1995, No. 6700”

The Council of The Corporation of the City of North Vancouver, in open meeting assembled, enacts as follows:

1. This Bylaw shall be known and cited for all purposes as **“Zoning Bylaw, 1995, No. 6700, Amendment Bylaw, 2019, No. 8718” (Mark Long / BC Liquor Distribution Branch, 333 Brooksbank Avenue, CD-131 Text Amendment)**.
2. Part 11 of Division V: Comprehensive Development Regulations of Document “A” of “Zoning Bylaw, 1995, No. 6700” is hereby amended by:
 - A. In the CD-131 Zone:
 - (1) Adding to Section (1):
 - (i) Maximum of one Cannabis Sales Retail Store;
 - (2) Replacing Schedule 26 with the Schedule 26 attached to this bylaw.

READ a first time on the <> day of <>, 2019.

READ a second time on the <> day of <>, 2019.

READ a third time on the <> day of <>, 2019.

ADOPTED on the <> day of <>, 2019.

MAYOR

CITY CLERK

CD-131

Amending Bylaw No. 8718

SCHEDULE 26

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TITLE: SITING PLAN

