

# PASSIVE HOUSE TOWNHOME DEVELOPMENT

427-429-433-435 East 3rd Street, North Vancouver, B.C.

**bfa** studio  
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)

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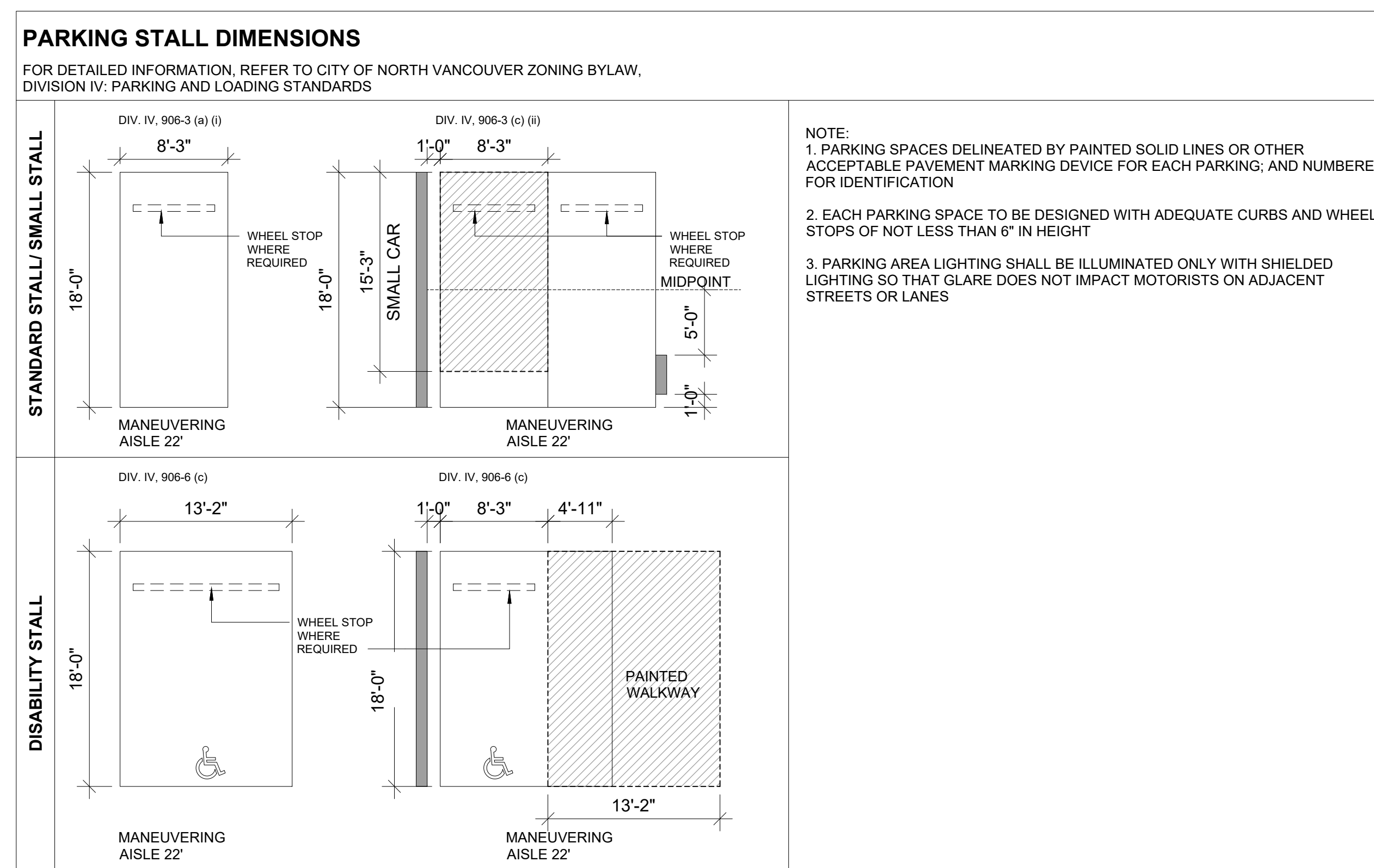


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<b>RE-ISSUED FOR DP DESIGN DEVELOPMENT</b>	
05 MAY 2021	

ABBREVIATIONS LEGEND			
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL
A.B.	AIR BARRIER	N/A	NOT APPLICABLE
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT
B/S	BASEMENT	N.T.S.	NOT TO SCALE
B.D.	BOARD	O.C.	ON CENTRE
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING
B.O.W.	BOTTOM OF WALL	P-4-5	PEEL & STICK
BLDG.	BUILDING	PLYVD.	PLYWOOD
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED
CLKG.	CAULKING	P/L	PROPERTY LINE
CLG.	CEILING	R.	RADIUS
CL	CENTRE LINE	R	RISER
CW	COMPLETE WITH	R.W.L.	RAIN WATER LEADER
CONC.	CONCRETE	REQD	REQUIRED
CONT.	CONTINUOUS	REV	REVISION
CJ	CONTROL JOINT	R & S	ROD & SHELF
CORR.	CORRIDOR	RM.	ROOM
DIA.	DIAMETER	R.D.	ROOF DRAIN
DN	DOWN	R.O.	ROUGH OPENING
DWGS	DRAWINGS	STL.	STEEL
DW	DISHWASHER	STRUCT.	STRUCTURAL
ELECT.	ELECTRICAL	SPEC	SPECIFICATION
ELEV	ELEVATION	SF	SQUARE FEET
ENCL.	ENCLOSURE	EQ.	EQUAL
EQ.	EQUAL	EXT.	EXTERIOR
EXT.	EXTERIOR	F.D.	FLOOR DRAIN
F.D.	FLOOR DRAIN	FDN	FOUNDATION
FDN	FOUNDATION	FIN.	FINISH
FIN.	FINISH	FLR.	FLOOR
FLR.	FLOOR	FTG.	FOOTING
FTG.	FOOTING	GA.	GAUGE
GA.	GAUGE	GL.	GLASS
GL.	GLASS	GWB	GYP-SUM WALLBOARD
GWB	GYP-SUM WALLBOARD	H/C	HANDICAPPED
H/C	HANDICAPPED	HT.	HEIGHT
HT.	HEIGHT	HORIZ.	HORIZONTAL
HORIZ.	HORIZONTAL	H.B.	HOSE BIB
H.B.	HOSE BIB	HR.	HOUR
HR.	HOUR	HWI	HOT WATER HEATER
HWI	HOT WATER HEATER	LN.	LINEN
LN.	LINEN	MAX.	MAXIMUM
MAX.	MAXIMUM	MECH.	MECHANICAL
MECH.	MECHANICAL	MEZZ.	MEZZANINE
MEZZ.	MEZZANINE	MIN.	MINIMUM
MIN.	MINIMUM	MISC.	MISCELLANEOUS
MISC.	MISCELLANEOUS	SM	SQUARE METERS
SM	SQUARE METERS	S.S.	STAINLESS STEEL
S.S.	STAINLESS STEEL	STR.	STAIR
STR.	STAIR	STD.	STANDARD
STD.	STANDARD	T.O.	TOP OF
T.O.	TOP OF	T.O.C.	TOP OF CURB
T.O.C.	TOP OF CURB	T.O.F.	TOP OF FLOOR
T.O.F.	TOP OF FLOOR	T.O.P.	TOP OF PARAPET
T.O.P.	TOP OF PARAPET	T.O.W.	TOP OF WALL
T.O.W.	TOP OF WALL	T	TREAD
T	TREAD	TYP.	TYPICAL
TYP.	TYPICAL	UG	UNDERGROUND
UG	UNDERGROUND	U/S	UNDERSIDE
U/S	UNDERSIDE	UNO	UNLESS NOTED OTHERWISE
UNO	UNLESS NOTED OTHERWISE	U/F	UPPER FLOOR
U/F	UPPER FLOOR	V.B.	VAPOUR BARRIER
V.B.	VAPOUR BARRIER	VERT.	VERTICAL
VERT.	VERTICAL	W.C.	WATER CLOSET (TOILET)
W.C.	WATER CLOSET (TOILET)	WD	WASHER/ DRYER
WD	WASHER/ DRYER	WD.	WOOD
WD.	WOOD	W.I.C.	WALK-IN CLOSET
W.I.C.	WALK-IN CLOSET	W	WITH
W	WITH	W.P.	WATERPROOF
W.P.	WATERPROOF	WR	WASHROOM
WR	WASHROOM		

PROJECT / CONSULTANT TEAM					
<b>ARCHITECT</b> BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC  604.662.8544	<b>INTERIOR DESIGNER</b> BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC  604.662.8544	<b>MECH. / ELEC. / PASSIVE HOUSE ENGINEER</b> ZENON MANAGEMENT 3578 WEST 28TH AVENUE VANCOUVER, BC  778.686.5030	<b>BUILDING ENVELOPE CONSULTANT</b> RDH BUILDING SCIENCE 4333 STILL CREEK DRIVE #400 BURNABY, BC  604.873.1181	<b>CIVIL ENGINEER</b> CREUS ENGINEERING 610-EAST TOWER 221 ESPLANADE WEST NORTH VANCOUVER, BC  604.897.9070	<b>ARBORIST</b> ACER TREE SERVICES LTD. 1401 CROWN STREET NORTH VANCOUVER, BC  604.990.8070
<b>LAND SURVEYOR</b> BENNETT LAND SURVEYING LTD. #201-275 FELL AVENUE NORTH VANCOUVER, BC  604.980.4868	<b>LANDSCAPE ARCHITECT</b> PMG LANDSCAPE ARCHITECTS 4185 STILL CREEK DR. C100 BURNABY, BC  604.294.0011	<b>CODE CONSULTANT</b> CFT ENGINEERING INC. 500-1901 ROSSER AVENUE BURNABY, BC  604.684.2384	<b>GEOTECHNICAL ENGINEER</b> JEC TH CONSULTANTS INC. 122-3823 HENNING DRIVE BURNABY, BC  604.299.6617	<b>STRUCTURAL ENGINEER</b> WEILER SMITH BOWERS 3855 HENNING DRIVE #118 BURNABY, BC  604.294.3753	

PROJECT INFORMATION / ZONING DATA											
PROJECT DESCRIPTION / USE		4 STOREY, 15 UNITS RESIDENTIAL TOWNHOMES, INCLUDING ONE LEVEL OF UNDERGROUND PARKING									
LEGAL DESCRIPTION		LOT 6 BLOCK 144 PLAN 878 & STRATA PLAN BCS3650 BOTH OF DISTRICT LOT 274 GROUP 1 NEW WESTMINSTER DISTRICT									
CIVIC ADDRESS PRESENT		427, 429, 433, 435 EAST 3RD STREET, NORTH VANCOUVER, BC									
CIVIC ADDRESS FUTURE		TBD									
TOTAL LOT AREA		11,946	SF	1,109.8	SM						
LOT SIZE (APPROXIMATE FRONTAGE)				FT	M						
		NORTH / EAST 3RD STREET		99.88	30.4						
		EAST		119.57	36.4						
		SOUTH / LANE		99.93	30.5						
		WEST		119.56	36.4						
OCP / AREA DESIGN GUIDELINES		MOODYVILLE EAST 3RD STREET DEVELOPMENT PERMIT AREA GUIDELINES									
ZONING & DEVELOPMENT PERMIT		RM-2 MEDIUM DENSITY APARTMENT RESIDENTIAL 2									
PROPOSED NUMBER OF RESIDENTIAL UNITS		15									
		REQUIRED / ALLOWED				PROPOSED			NOTES		
				SF	SM		SF	SM			
DENSITY / GROSS BUILDING AREA				19,114	1776		19,114	1776	REFER TO DETAILED CALCULATIONS ON A002		
		FAR	1.60			1.60					
SITE COVERAGE				60.0%	MAX.	50.7%					
AVERAGE GRADE - BLOCK A						139.36	FT	42.48	M		
AVERAGE GRADE - BLOCK B/C						134.39	FT	40.96	M		
BUILDING HEIGHT - BLOCK A		188.57	FT	57.48	M	183.33	FT	55.88	M		
BUILDING HEIGHT BLOCK B/C		183.60	FT	55.96	M	182.33	FT	55.57	M		
NUMBER OF STOREY		4				4					
BUILDING SETBACKS											
		NORTH / EAST 3RD STREET		9.06	FT	2.8	M	9.06	FT	2.8	M
		EAST		7.90	FT	2.4	M	7.90	FT	2.4	M
		SOUTH / LANE		5.20	FT	1.6	M	7.71	FT	2.4	M
		WEST		7.90	FT	2.4	M	7.90	FT	2.4	M
MINIMUM DWELLING UNIT SIZE			MIN. AREA	400	37		496	46			
ACCESSORY LOCK-OFF UNIT				285.0	26.0	1	412	38			
OFF-STREET PARKING		16	STALLS			16	STALLS		REFER TO A002 FOR DETAILED CALCULATION		
BICYCLE STORAGE		SECURED		23		23			1.5 SPACE/ DWELLING UNIT. REFER TO A002 FOR DETAILS		
GARBAGE / RECYCLING / STORAGE				118.4	11.00		156	14.49	5.23 SF/ DWELLING UNIT OR A MINIMUM OF 118.4SF		
NOTES:											
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS											
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF NORTH VANCOUVER BYLAWS											
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC											



**REVISIONS**

NO.	DESCRIPTION	DATE
ISSUED FOR PRE-CONSULTATION		16 DEC 2019
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT

427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

ZONING DATA & PROJECT  
STATISTICS

SEAL

DRAWING NO. REVISION

A001

DATE DRAWN

SCALE CHECKED

AREA CALCULATIONS SUMMARY / SF														
	A	B	C	D	E	F=D+E	G	H	I	J	K=G+H+I+J	L=F-K	M	
LEVEL	NUMBER OF FLOORS	UNIT COUNT SUB TOTAL	PARKING / LOADING / MECHANICAL LEVEL (SF)	RESIDENTIAL AREA (SF)	CIRCULATION /ELEVATORS/ STAIR/ /M&E CLOSETS(SF)	TOTAL AREA / FLOOR (SF)	BEYOND 6.5 INCHES MAX. 10 INCHES EXTERIOR WALL THICKNESS [1] (SF)	GREEN BLDG MAX. 15 SF HRV PER UNIT AREA [17]a (SF)	ACCESSORY LOCK-OFF DWELLING [20]a (SF)	ACCESSORY LOCK-OFF DWELLING + ACCESS FROM STREET [20]b (SF)	TOTAL EXCLUSIONS (SF)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	NOTES
LEVEL PARKING	1	0	9,330	0	0	NA			NA			NA		
LEVEL 1	1	3	0	5,113	187	5,300	416	225	151	108	749	4,551	423	
LEVEL 2	1	12	0	5,934	0	5,934	408		0	0	408	5,526	513	
LEVEL 3	1		0	5,776	0	5,776	417		0	0	417	5,359	498	
LEVEL 4	1		0	3,725	0	3,725	428		0	0	428	3,297	306	
<b>TOTAL</b>		<b>15</b>	<b>9,330</b>	<b>20,548</b>	<b>187</b>	<b>20,735</b>	<b>1,669</b>		<b>151</b>	<b>108</b>	<b>2,153</b>	<b>18,582</b>	<b>1,726</b>	
SITE AREA:		11,946	SF											
TOTAL GROSS:		18,582	SF	1.56										
PARKING/P1		9,330	SF	9,330										
MAXIMUM GFA		19,114	SF	1.60										
DIFFERENCE		532	SF											
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3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018														
4. WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES														

RESIDENTIAL UNIT SUMMARY										
UNIT TYPE	LEVEL 1 (SF)	LEVEL 2 (SF)	LEVEL 3 (SF)	ROOF (SF)	UNIT AREA (SF)	UNIT AREA (SM)	UNIT COUNT	%	OUTDOOR SPACE /UNIT (SF)	NOTES
<b>BLOCK A</b>										
A1 - 1 BR	496	0	0	0	496	46.1	3	20	130	
A2 - STUDIO LOCKOUT UNIT	412	0	0	0	412	38.3	0	0	54	PART OF ONE A1 UNIT
A3 - 3 BR + FLEX	95	608	610	343	1656	153.8	3	20	113	
A4 - 3 BR + FLEX	95	654	657	374	1780	165.4	1		127	
<b>SUB-TOTAL</b>							<b>7</b>	<b>47</b>		
<b>BLOCK B</b>										
B1 - 2BR + FLEX	370	370	334	242	1316	122.3	3	20	110	
B2 - 3BR + FLEX	171	600	562	347	1680	156.1	1	7	110	
<b>SUB-TOTAL</b>							<b>4</b>	<b>27</b>		
<b>BLOCK C</b>										
C1 - 3 BR + FLEX	410	420	420	325	1575	146.3	3	20	110	
C2 - 1BR + FLEX	232	408	408	280	1328	123.4	1	7	110	
<b>SUB-TOTAL</b>							<b>4</b>	<b>27</b>		
<b>TOTAL</b>							<b>15</b>	<b>100</b>		
<b>TOTAL STUDIO</b>							<b>0</b>			PART OF ONE A1 UNIT
<b>TOTAL 1 BEDROOM</b>							<b>4</b>			
<b>TOTAL TH 2 BEDROOM</b>							<b>3</b>			
<b>TOTAL TH 3 BEDROOM</b>							<b>8</b>			
<b>TOTAL</b>							<b>15</b>			
NOTE:										

OFF STREET PARKING SUMMARY		
	RATE/REQUIRED/BYLAWS	PROVIDED
TOWNHOMES (TOTAL:15)	1.05	16
VISITORS	0.10	2
<b>TOTAL</b>		<b>16</b>
STANDARD		11
SMALL CAR-MAXIMUM 35% (6 STALLS)	13	2
DISABILITY	1	1
VISITORS	1	1
VISITOR DISABILITY	1	1
<b>TOTAL</b>	<b>16</b>	<b>16</b>

OFF STREET BICYCLE PARKING				
	# UNITS	SECURED RATIO	SECURED REQUIRED	SECURED PROVIDED
TOWNHOUSES	15	1.5 / UNIT	22.5	23
<b>TOTAL</b>	<b>15</b>		<b>23</b>	<b>23</b>

REVISIONS	
NO.	DESCRIPTION
16	ISSUED FOR PRE-CONSULTATION
12	ISSUED FOR DP
09	REISSUED FOR DP
05	REISSUED FOR DP

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT

427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

PROJECT STATISTICS

SEAL

DRAWING NO. REVISION

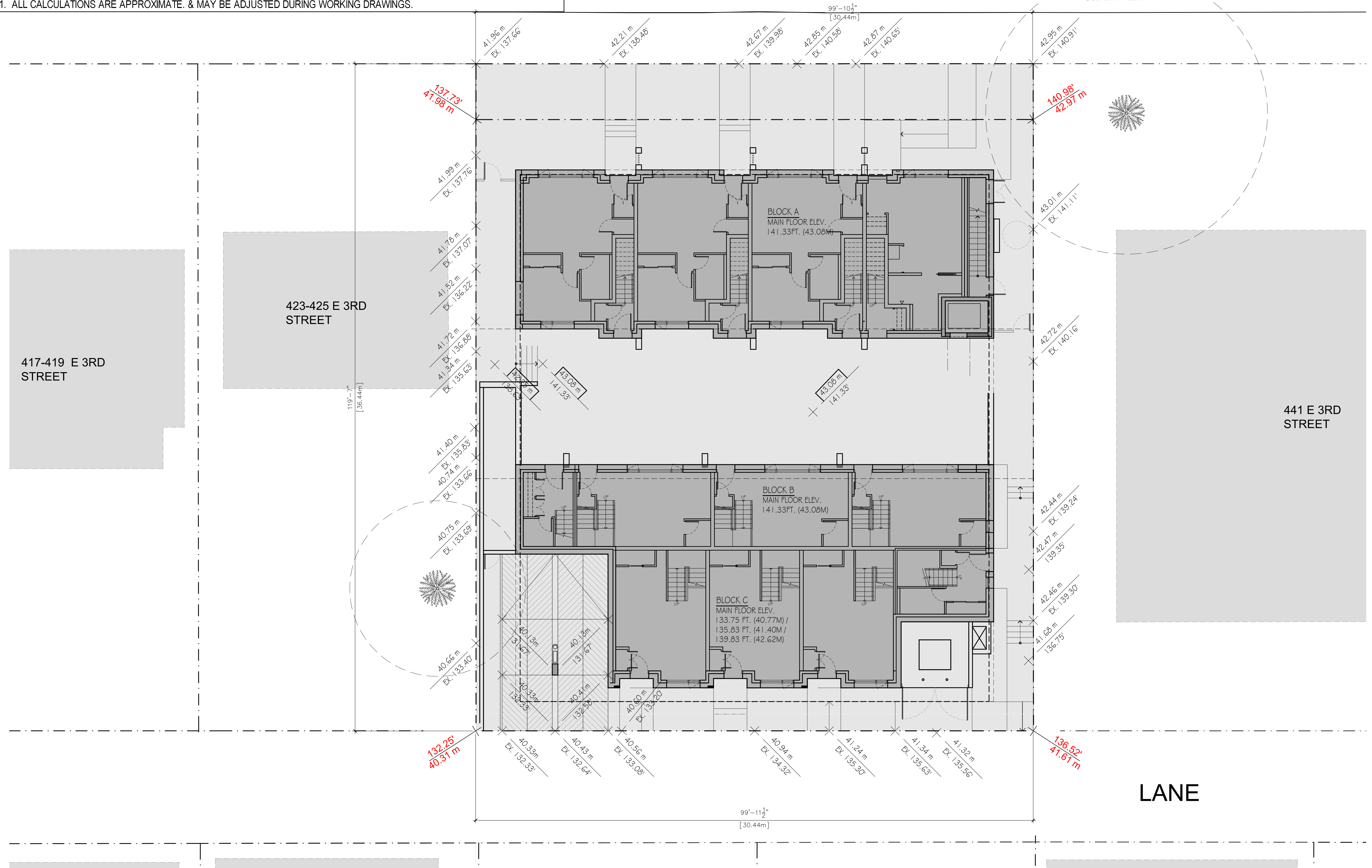
A002

DATE DRAWN

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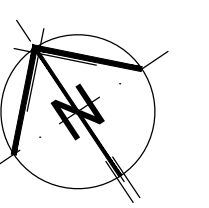
AVERAGE BUILDING GRADES & MAXIMUM ALLOWED BUILDING HEIGHT								
	FRONT / REAR LOT LINE INTERSECTION WITH SIDE LOT LINE (WEST)		FRONT / REAR LOT LINE INTERSECTION WITH SIDE LOT LINE (EAST)		AVERAGE GRADE		MAXIMUM ALLOWED BUILDING HEIGHTS (AVERAGE GRADE + 49.21 FT.)	
	FT.	M	FT.	M	FT.	M	FT.	M
BLOCK A (FRONT LOT LINE)	137.73	41.98	140.98	42.97	139.36	42.48	188.57	57.47
BLOCK B & C (REAR LOT LINE)	132.25	40.31	136.52	41.61	134.39	40.96	183.60	55.96

NOTE:  
1. ALL CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS.



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**19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
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DRAWING TITLE  
**AVERAGE BUILDING GRADES  
& MAXIMUM HEIGHT  
CALCULATION**

SEAL

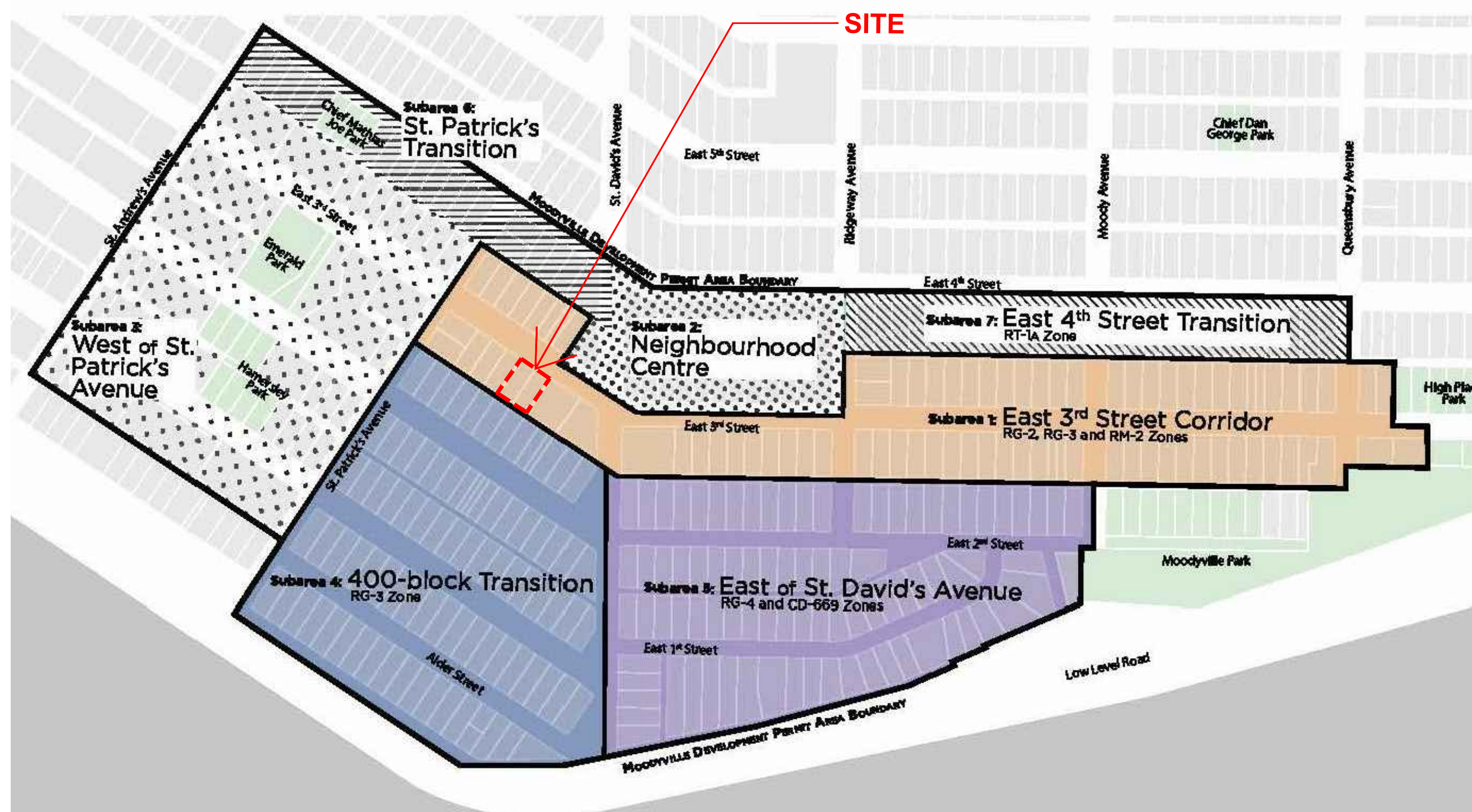
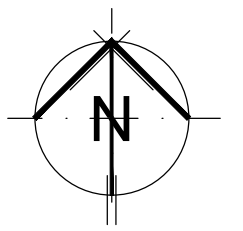
DRAWING NO. **A003** REVISION

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE **3/32" = 1'-0"** CHECKED \_\_\_\_\_

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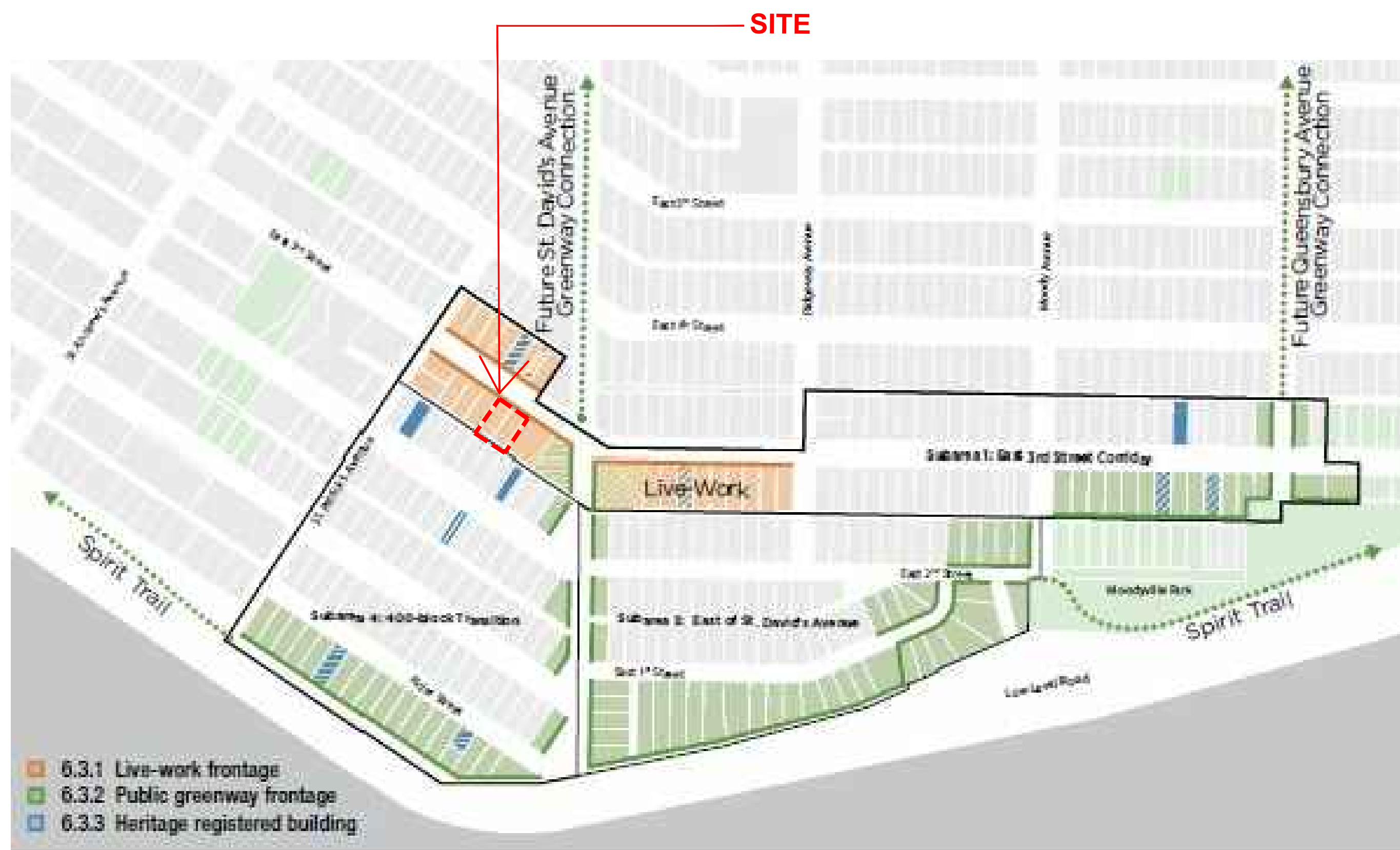
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NEIGHBOURHOOD SUBAREAS



CONTEXT PLAN



SPECIAL CONDITION

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

CONTEXT PLAN

SEAL

DRAWING NO. REVISION

**A100**

DATE DRAWN

SCALE CHECKED

1/32" = 1'-0"

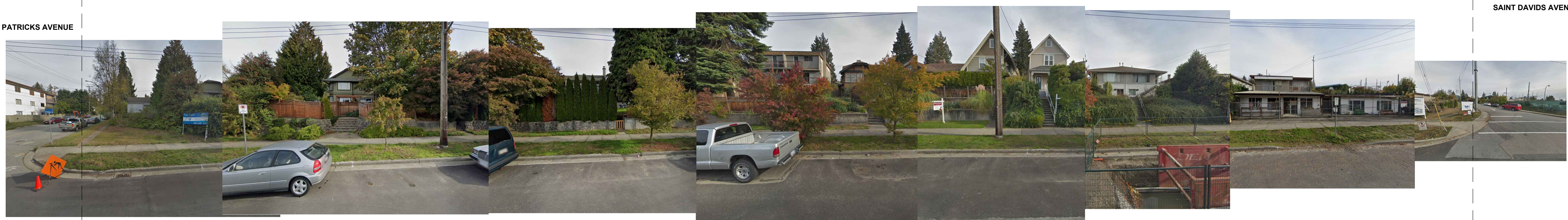
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EAST 3rd STREET (SOUTH)



EAST 3rd STREET (NORTH)



LANE (NORTH)



LANE (SOUTH)

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
STREETSCAPE

SEAL

DRAWING NO. REVISION

**A101**

DATE DRAWN

SCALE N.T.S. CHECKED

REVISIONS		
NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

CONTEXT / STREETSCAPE

SCALE

DRAWING NO. REVISION

**A102**

DATE DRAWN

SCALE CHECKED

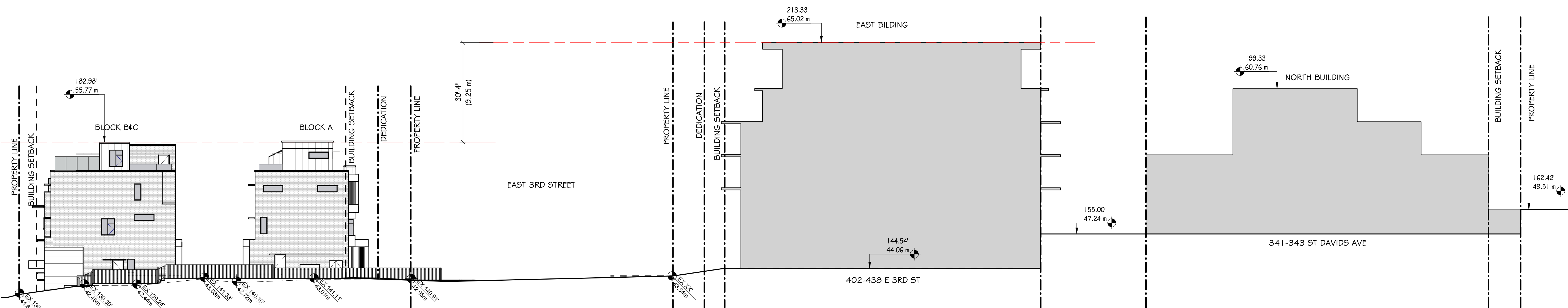
As indicated



NORTH STREETSCAPE ALONG EAST 3RD



SOUTH STREETSCAPE ALONG LANE



HEIGHT COMPARISON DIAGRAM

NOTE: THE GRADES AND ELEVATIONS OF NEIGHBOURING  
PROPERTY APPROXIMATE & BASED ON CITY OF NORTH  
VANCOUVER FILE NO. 08-3400-20-0005/1



**REVISIONS**

NO.	DESCRIPTION	DATE
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CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. **19465**

PROJECT

**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE

**CONTEXT  
SIMILAR PROJECTS**

SEAL

DRAWING NO. REVISION

**A103**

DATE DRAWN

SCALE CHECKED





BLOCK A - NORTH-EAST/ EAST 3RD STREET ELEVATION



BLOCK A - NORTH-WEST/ EAST 3RD STREET ELEVATION



BLOCK B&C - SOUTH-EAST/ LANE ELEVATION



BLOCK B&C - SOUTH-WEST LANE ELEVATION

REVISIONS

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT  
MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

3D MODEL

SEAL

DRAWING NO. REVISION

**A104**

DATE DRAWN

SCALE CHECKED



BLOCK A&B - VIEW FROM INTERNAL COURTYARD



BLOCK A - SOUTH ELEVATION



BLOCK B - NORTH ELEVATION

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR PRE-CONSULTATION		16 DEC 2019
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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT  
MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT

427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

3D MODEL

SEAL

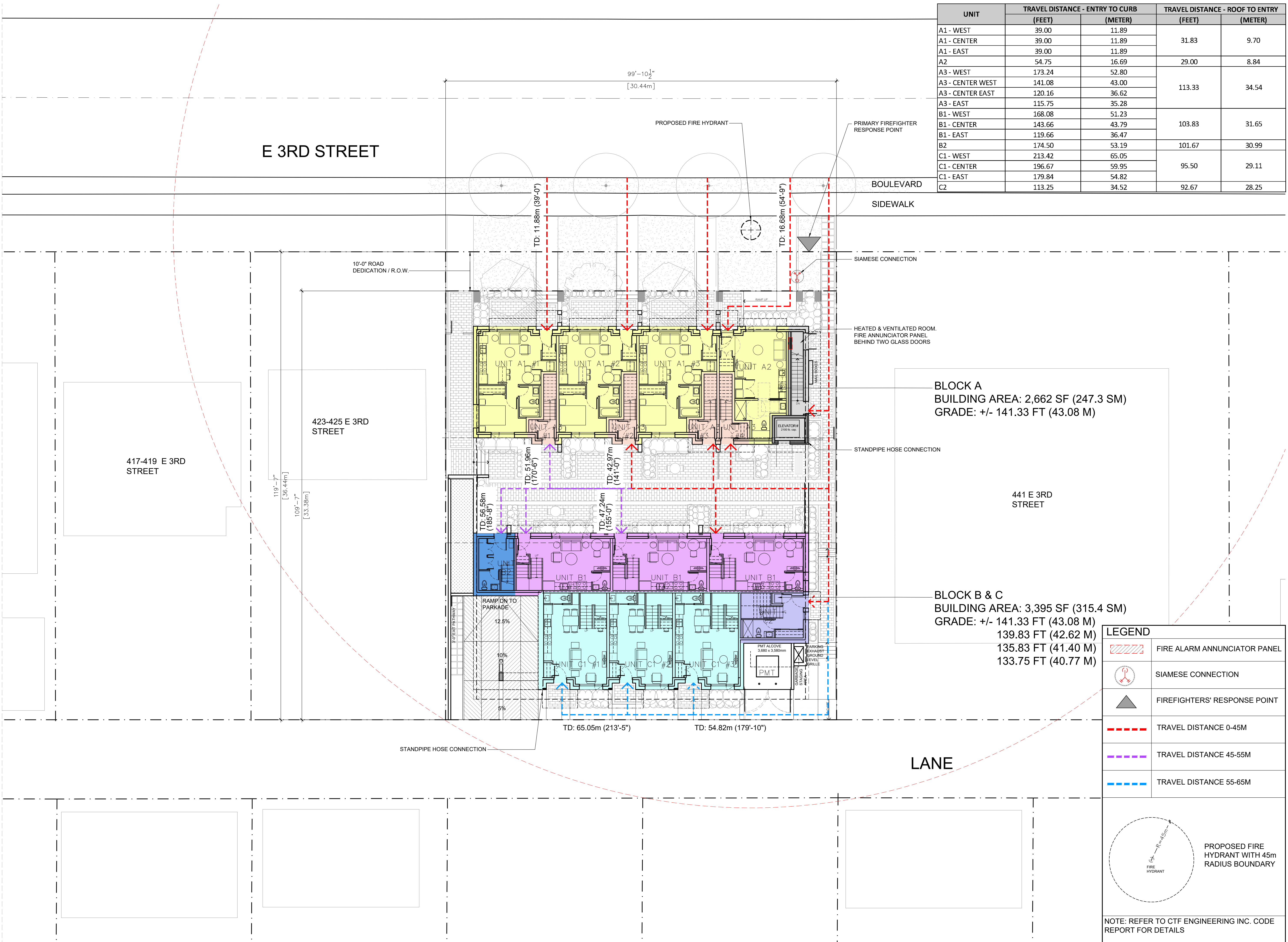
DRAWING NO.

REVISION

**A105**

DATE DRAWN

SCALE CHECKED



UNIT	TRAVEL DISTANCE - ENTRY TO CURB		TRAVEL DISTANCE - ROOF TO ENTRY	
	(FEET)	(METER)	(FEET)	(METER)
A1 - WEST	39.00	11.89	31.83	9.70
A1 - CENTER	39.00	11.89		
A1 - EAST	39.00	11.89		
A2	54.75	16.69	29.00	8.84
A3 - WEST	173.24	52.80		
A3 - CENTER WEST	141.08	43.00		
A3 - CENTER EAST	120.16	36.62	113.33	34.54
A3 - EAST	115.75	35.28		
B1 - WEST	168.08	51.23		
B1 - CENTER	143.66	43.79	103.83	31.65
B1 - EAST	119.66	36.47		
B2	174.50	53.19		
C1 - WEST	213.42	65.05	101.67	30.99
C1 - CENTER	196.67	59.95		
C1 - EAST	179.84	54.82		
C2	113.25	34.52	92.67	28.25

**BLOCK A**  
 BUILDING AREA: 2,662 SF (247.3 SM)  
 GRADE: +/- 141.33 FT (43.08 M)

**BLOCK B & C**  
 BUILDING AREA: 3,395 SF (315.4 SM)  
 GRADE: +/- 141.33 FT (43.08 M)  
 139.83 FT (42.62 M)  
 135.83 FT (41.40 M)  
 133.75 FT (40.77 M)

LEGEND	
	FIRE ALARM ANNUCIATOR PANEL
	SIAMESE CONNECTION
	FIREFIGHTERS' RESPONSE POINT
	TRAVEL DISTANCE 0-45M
	TRAVEL DISTANCE 45-55M
	TRAVEL DISTANCE 55-65M

PROPOSED FIRE HYDRANT WITH 45m RADIUS BOUNDARY

NOTE: REFER TO CTF ENGINEERING INC. CODE REPORT FOR DETAILS

**bfa studio architects**  
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)  
 600 - 355 Burrard Street Vancouver, BC V6C 2G8  
 T 604 662 8544 F 604 662 4060  
 www.bfastudioarchitects.com info@bfastudioarchitects.com

**REVISIONS**

NO.	DESCRIPTION	DATE
ISSUED FOR PRE-CONSULTATION		16 DEC 2019
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REISSUED FOR DP		05 MAY 2021

CLIENT: **NAM (Moodyville) Development Ltd.**

PROJECT NO.: 19465

PROJECT: 427-429-433-435 E 3rd Street, North Vancouver, B.C.

DRAWING TITLE: **FIRE ACCESS PLAN / BCBC SUMMARY**

DRAWING NO.: **A200**

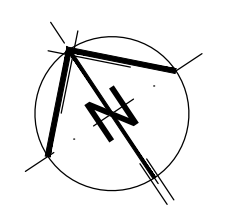
SCALE: 3/32" = 1'-0"

GRADING LEGEND	
$\begin{matrix} \text{---} \text{XXX.XXm} \\ \text{---} \text{XXX.XX'} \end{matrix}$	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS. VALUE IN FEET
$\begin{matrix} \text{---} \text{XXX.XXm} \\ \text{---} \text{XXX.XX'} \end{matrix}$	DESIGN ELEVATION IN METERS VALUE IN FEET

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CLIENT  
**NAM (Moodyville) Development Ltd.**

PROJECT NO.  
**19465**

PROJECT  
**427-429-433-435 E 3rd Street, North Vancouver, B.C.**

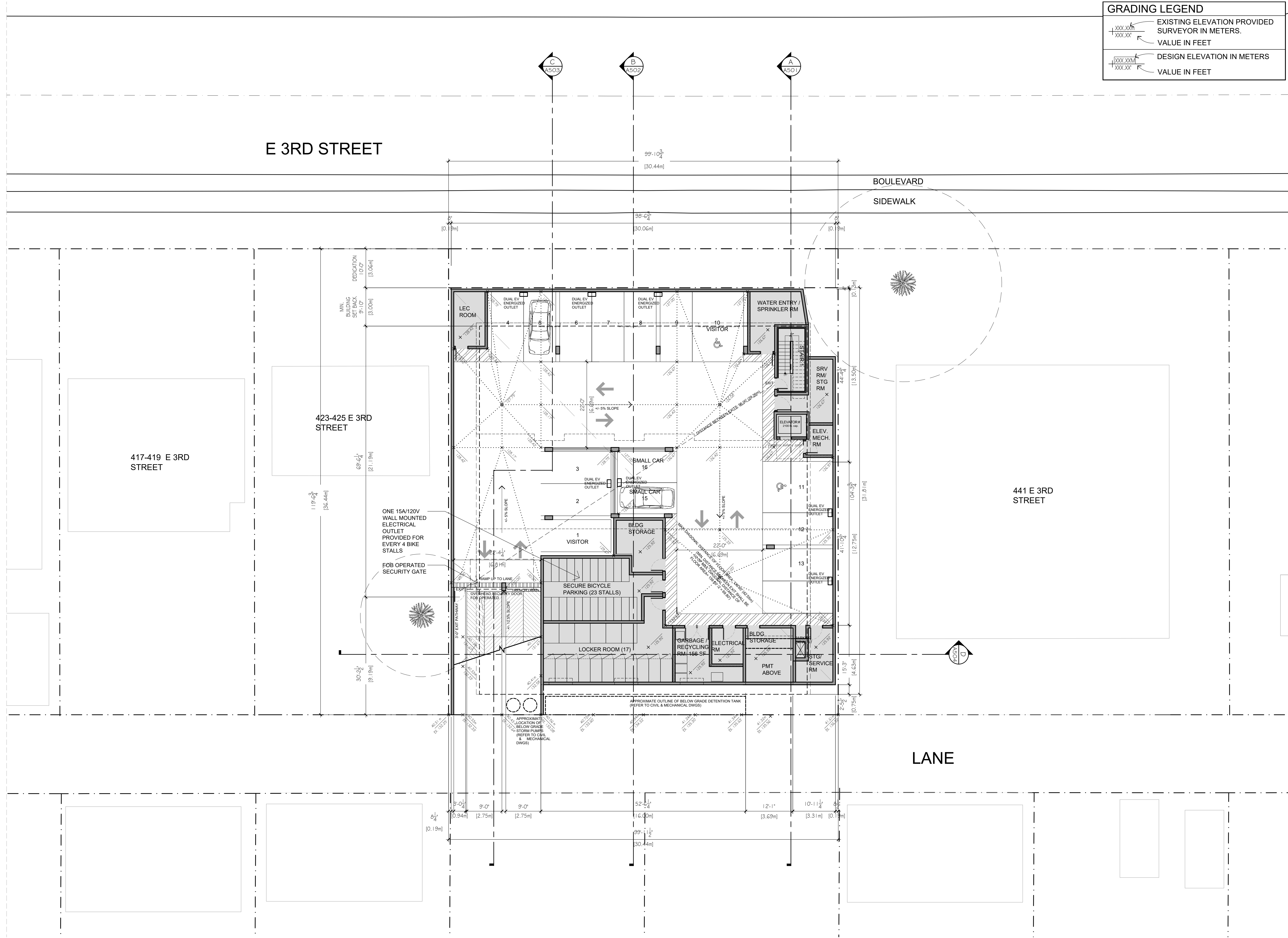
DRAWING TITLE  
**LEVEL P1 FLOOR PLAN**

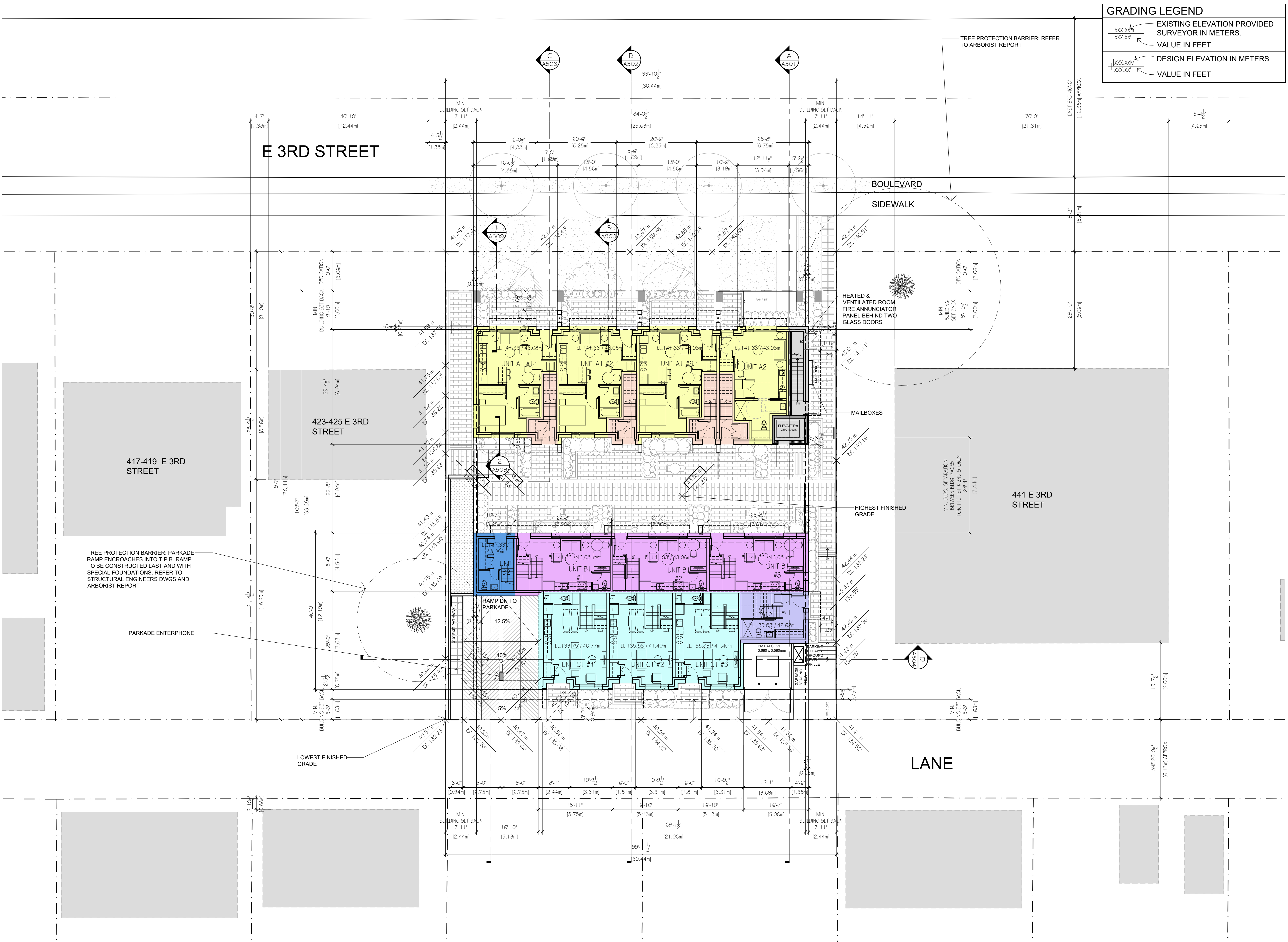
SEAL

DRAWING NO. \_\_\_\_\_ REVISION \_\_\_\_\_

**A201**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_  
 SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_  
**3/32" = 1'-0"**



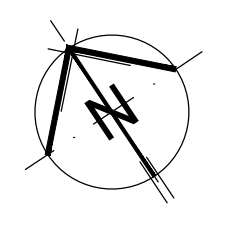


GRADING LEGEND	
XXX.XXm	EXISTING ELEVATION PROVIDED SURVEYOR IN METERS.
XXX.XX'	VALUE IN FEET
XXX.XXm	DESIGN ELEVATION IN METERS
XXX.XX'	VALUE IN FEET

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 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN  
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CLIENT  
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PROJECT NO. 19465  
 PROJECT  
**427-429-433-435 E 3rd Street, North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 1 FLOOR PLAN / SITE PLAN**

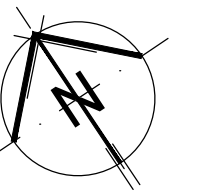
SEAL

DRAWING NO. **A202** REVISION  
 DATE \_\_\_\_\_ DRAWN \_\_\_\_\_  
 SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_  
 3/32" = 1'-0"

**REVISIONS**

NO.	DESCRIPTION	DATE
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Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 2  
FLOOR PLAN**

SEAL

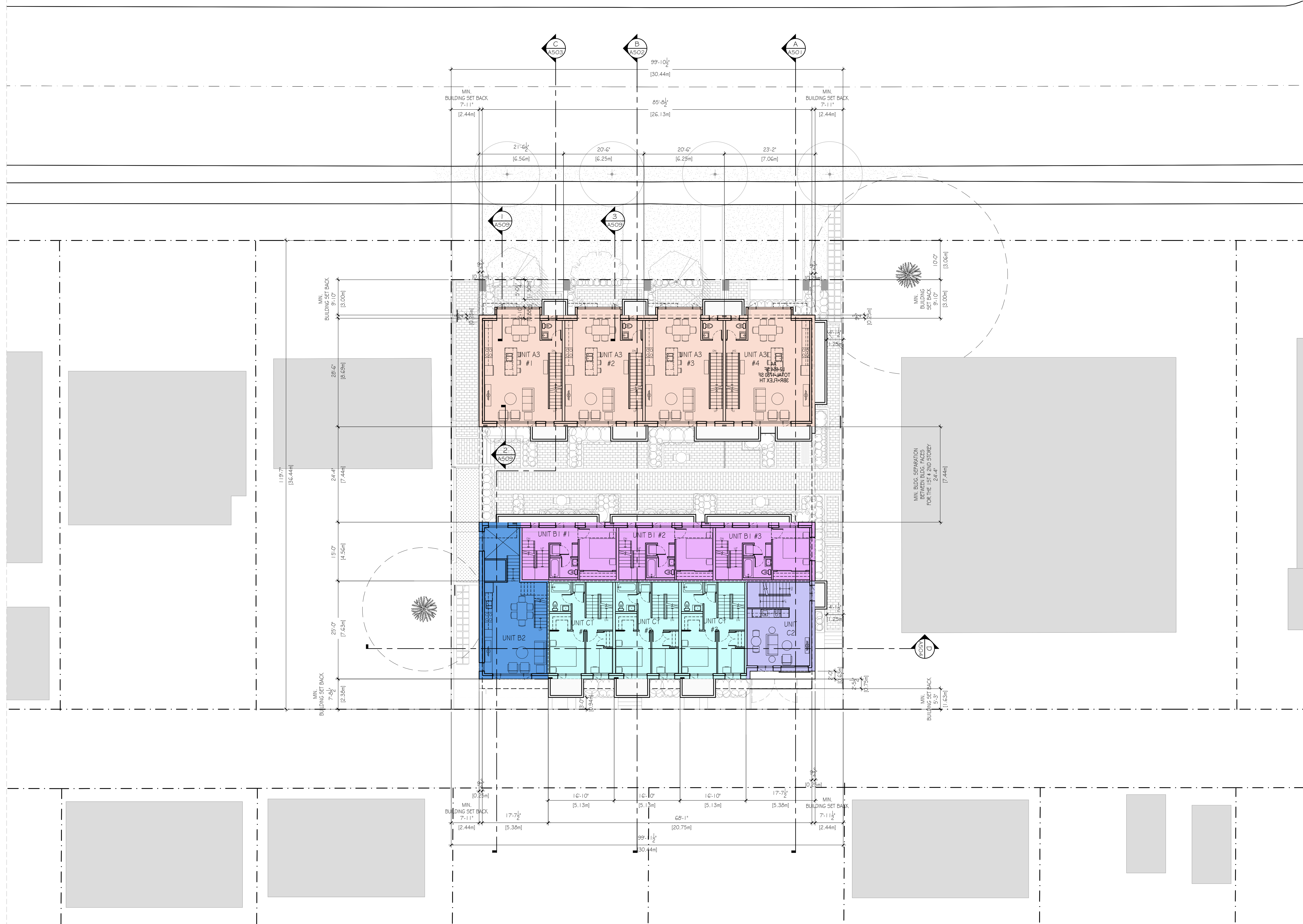
DRAWING NO. \_\_\_\_\_ REVISION \_\_\_\_\_

**A203**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

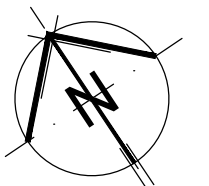
3/32" = 1'-0"



**REVISIONS**

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PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 3  
FLOOR PLAN**

SEAL

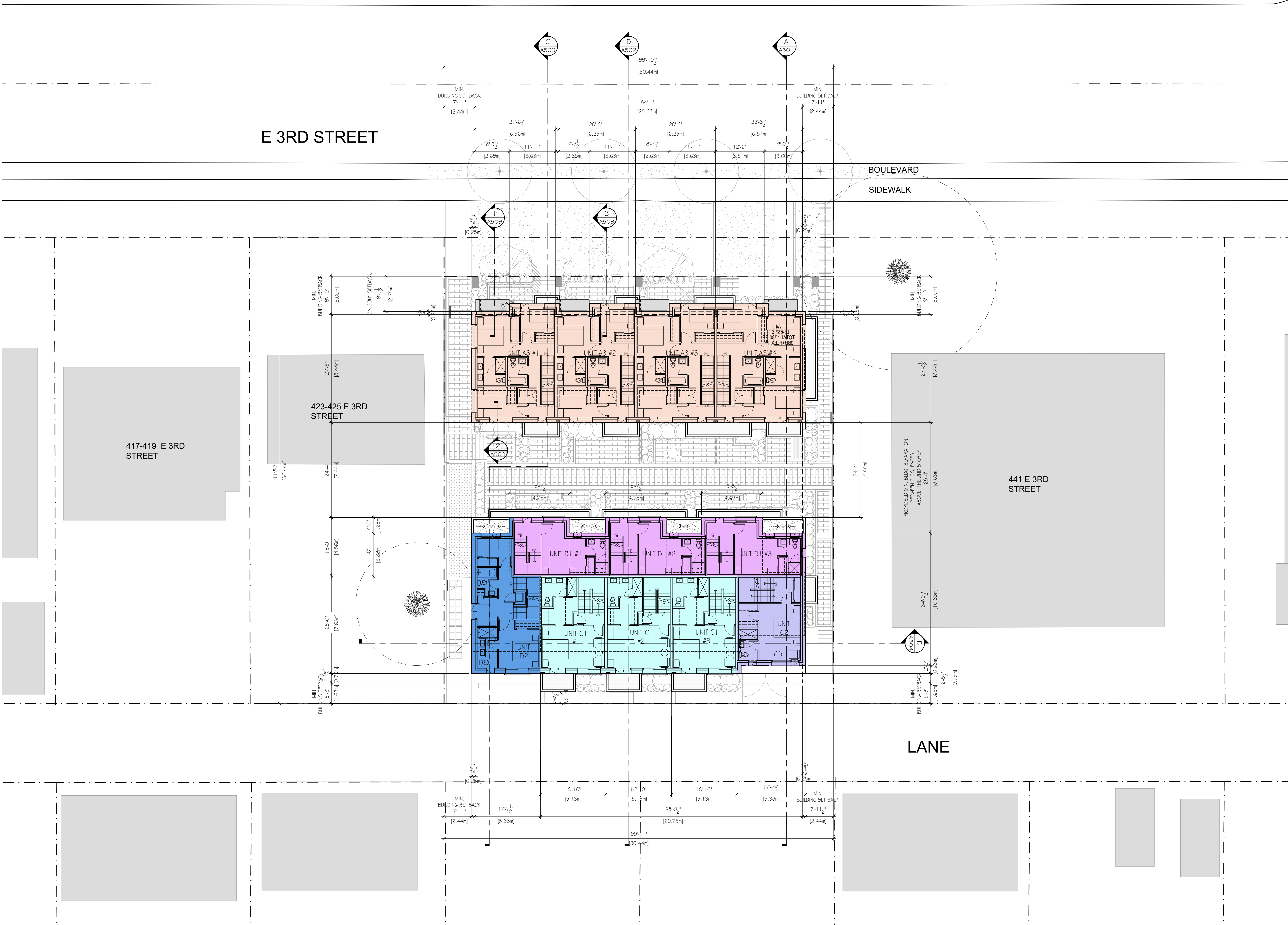
DRAWING NO. \_\_\_\_\_ REVISION \_\_\_\_\_

**A204**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

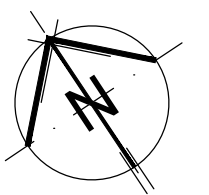
3/32" = 1'-0"



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PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 4  
FLOOR PLAN**

SEAL

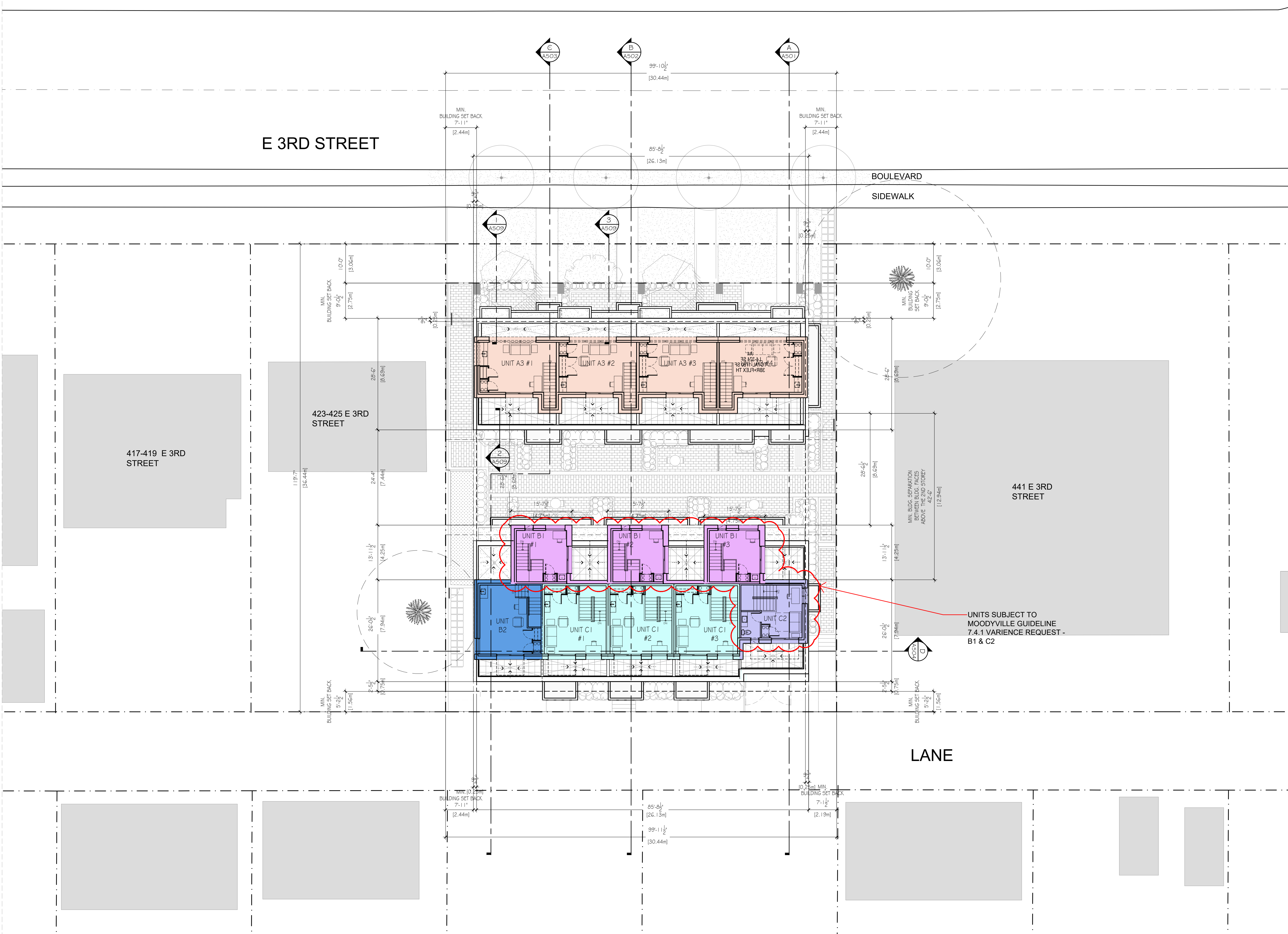
DRAWING NO. **A205** REVISION

**A205**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

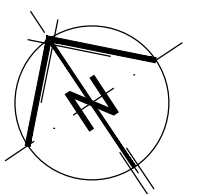
3/32" = 1'-0"





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CLIENT  
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Development Ltd.**

PROJECT NO.  
**19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

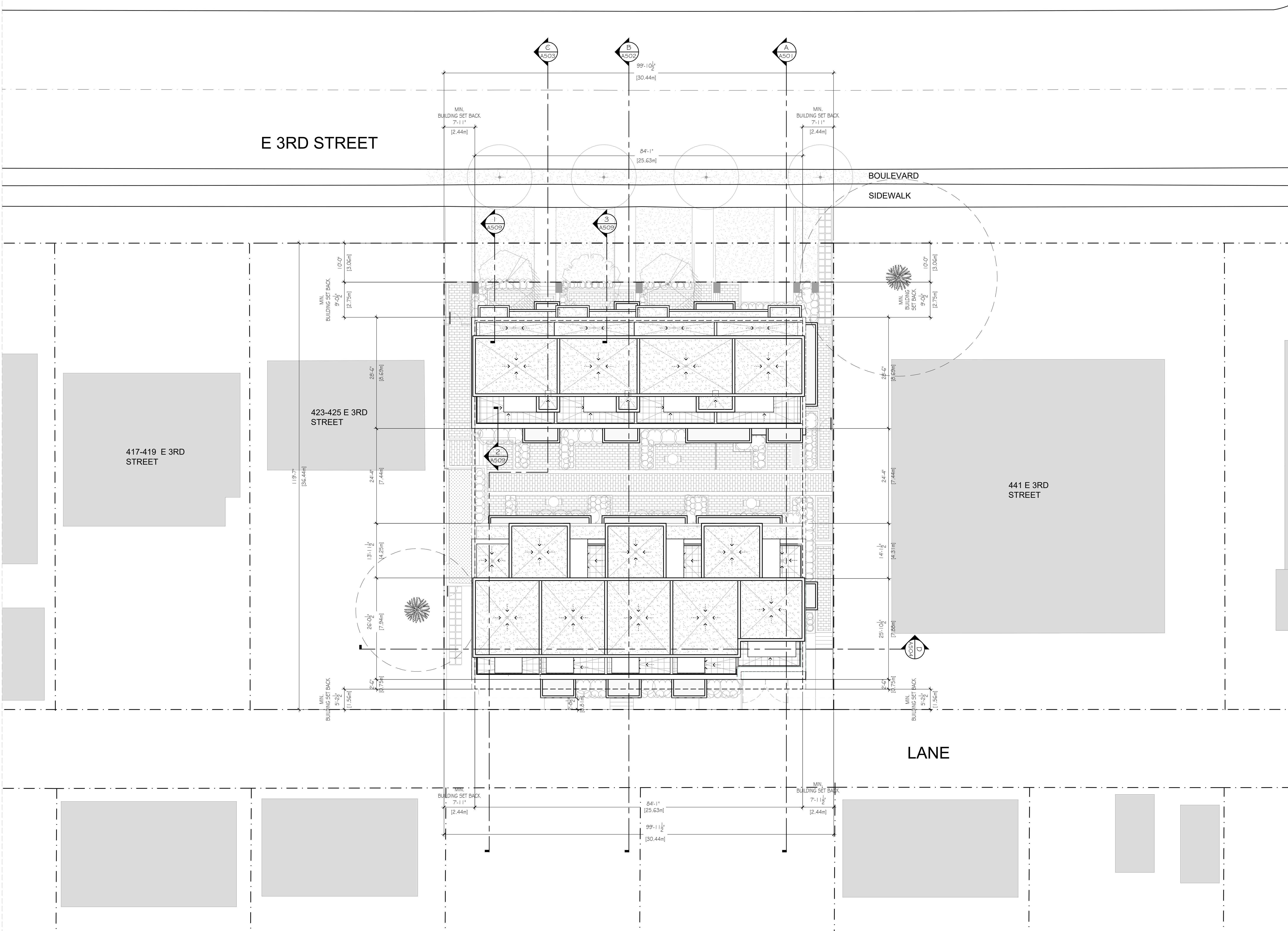
DRAWING TITLE  
**OVERALL ROOF  
FLOOR PLAN**

SEAL

DRAWING NO. **A206** REVISION

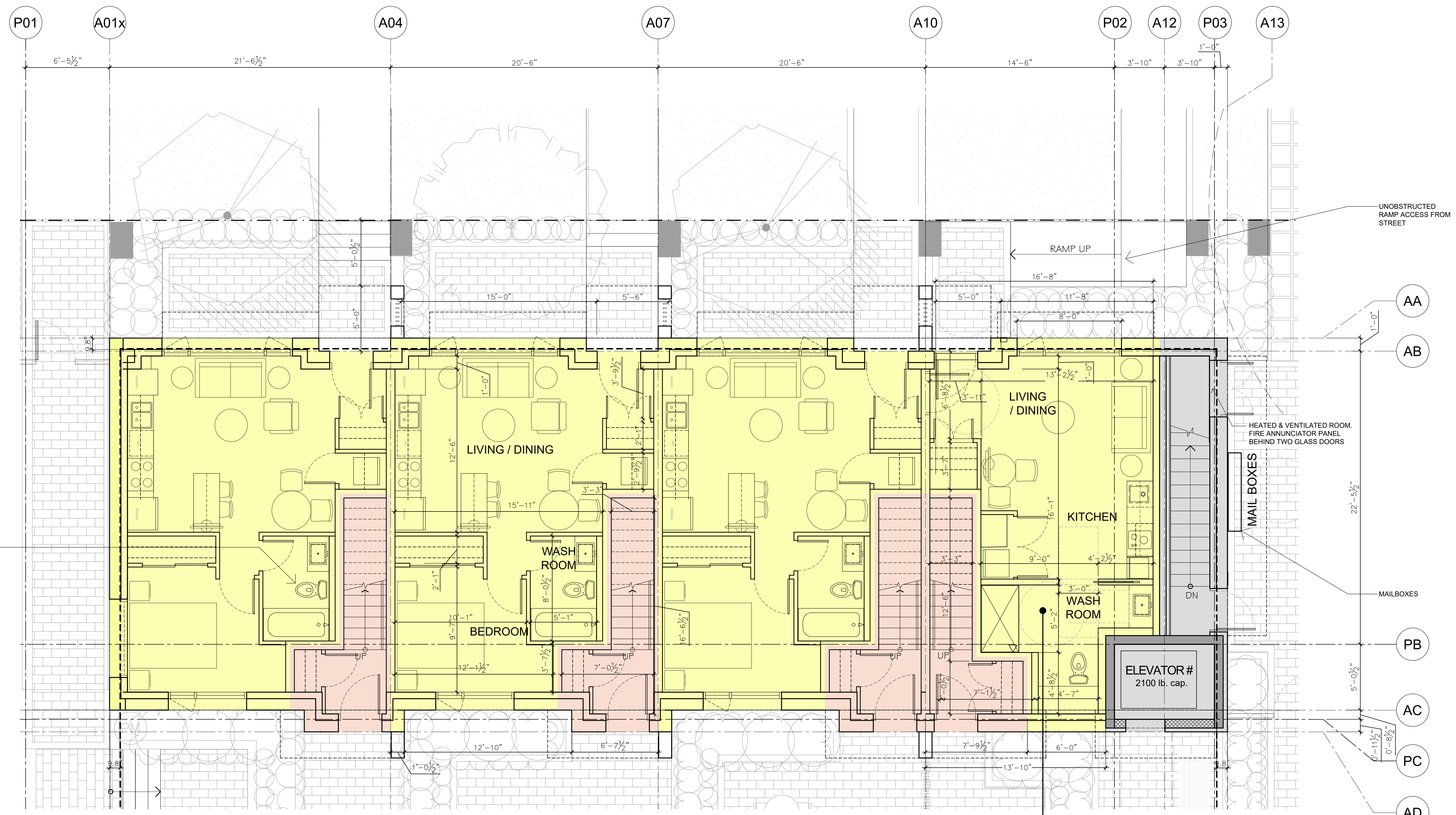
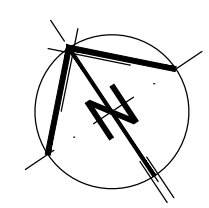
DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE **3/32" = 1'-0"** CHECKED \_\_\_\_\_



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ISSUED FOR DP		12 JUN 2020
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TYPICAL FOR ALL A1 UNITS - HRV UNIT & HEAT EXCHANGE LOCATED IN WASHROOM CEILING SPACE

REFER TO DWG. A305 FOR LOCK-OFF ADAPTABLE LEVEL 2 UNIT

**BLOCK A - LEVEL 1 FLOOR PLAN**

CLIENT

**NAM (Moodyville) Development Ltd.**

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
**BLOCK A  
LEVEL 1 FLOOR PLANS**

SEAL

DRAWING NO. REVISION

**A301**

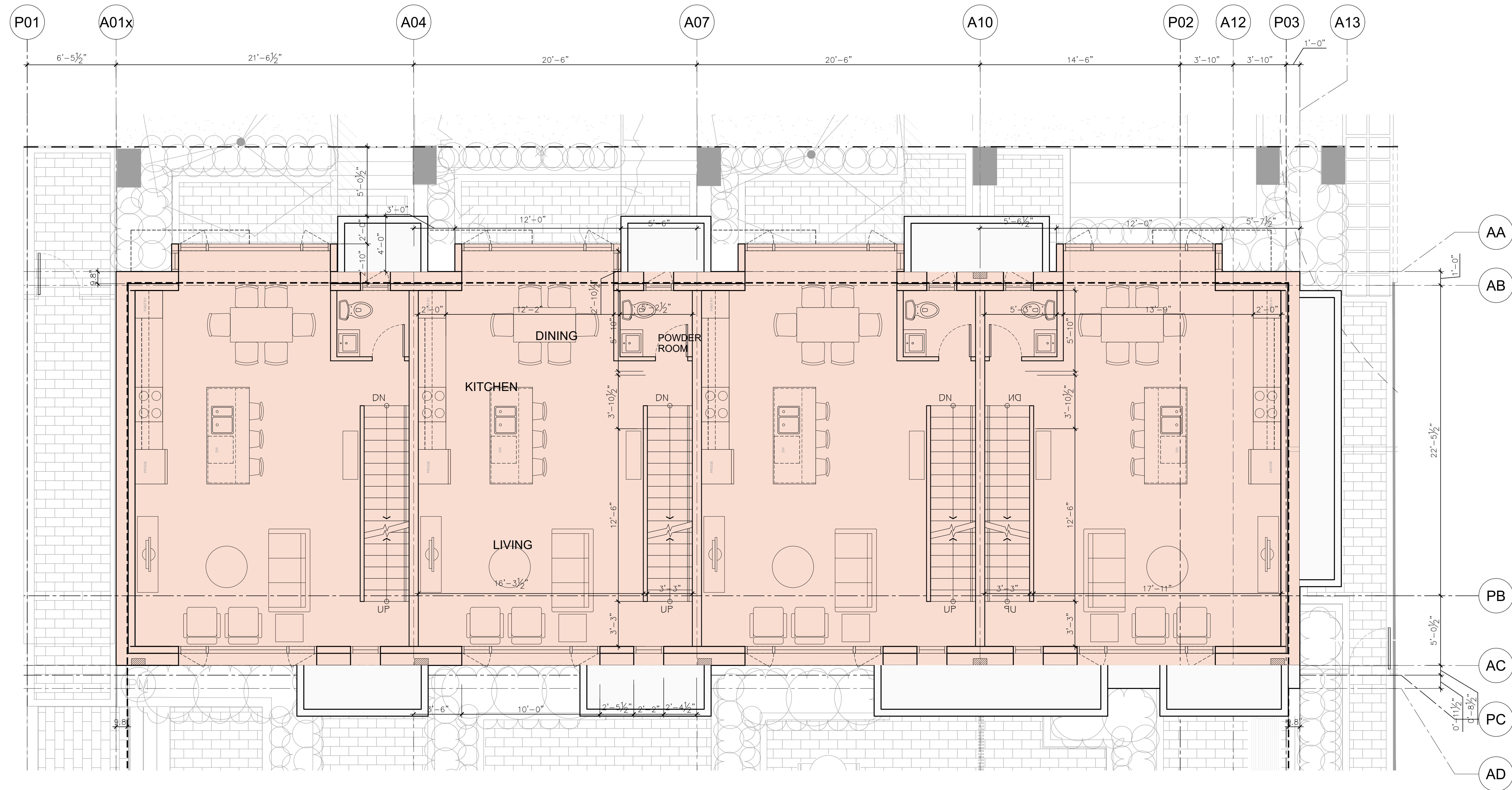
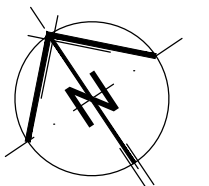
DATE DRAWN

SCALE CHECKED

1/4" = 1'-0"

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
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**BLOCK A - LEVEL 2 FLOOR PLAN**

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**BLOCK A  
LEVEL 2 FLOOR PLANS**

SEAL

DRAWING NO.	REVISION
	-

**A302**

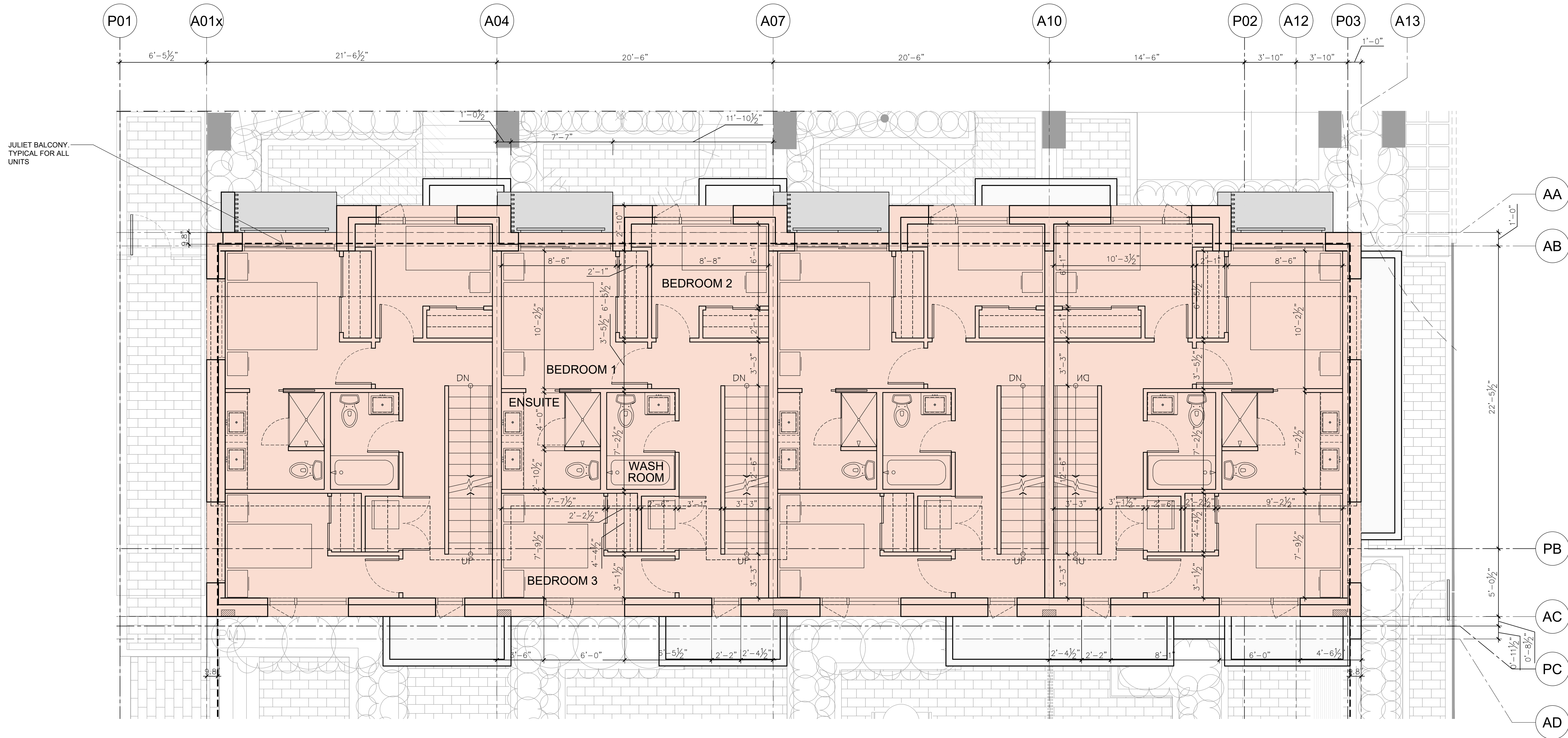
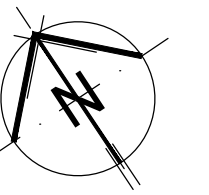
DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

1/4" = 1'-0"

NO.	DESCRIPTION	DATE
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REISSUED FOR DP		05 MAY 2021

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**BLOCK A - LEVEL 3 FLOOR PLAN**

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
**BLOCK A  
LEVEL 3 FLOOR PLAN**

SEAL

DRAWING NO. REVISION

**A303**

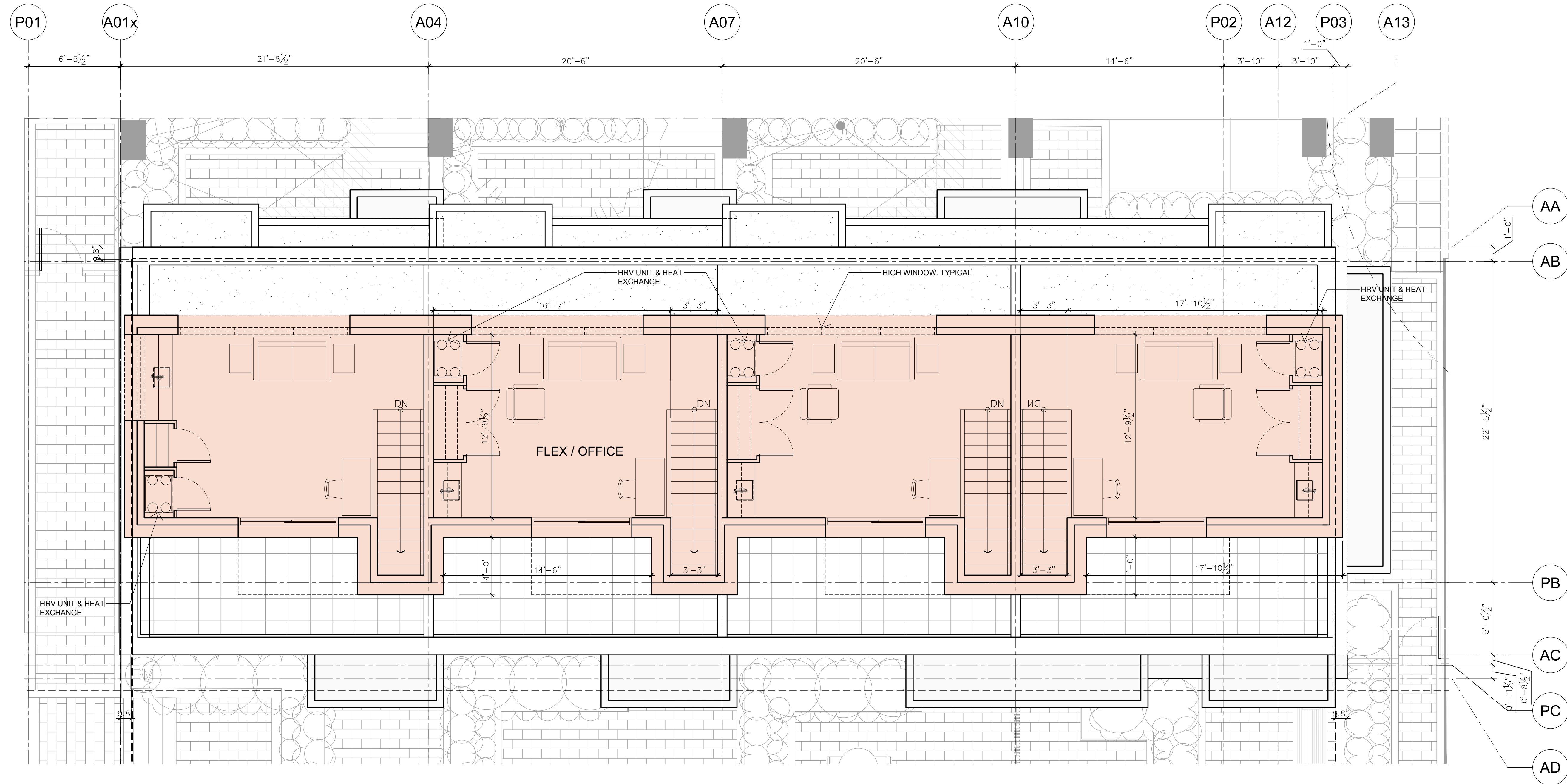
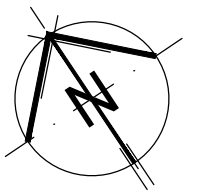
DATE DRAWN

SCALE CHECKED

1/4" = 1'-0"

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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**BLOCK A - LEVEL 4 FLOOR PLAN**

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
**BLOCK A  
LEVEL 4 FLOOR PLAN**

SEAL

DRAWING NO. REVISION

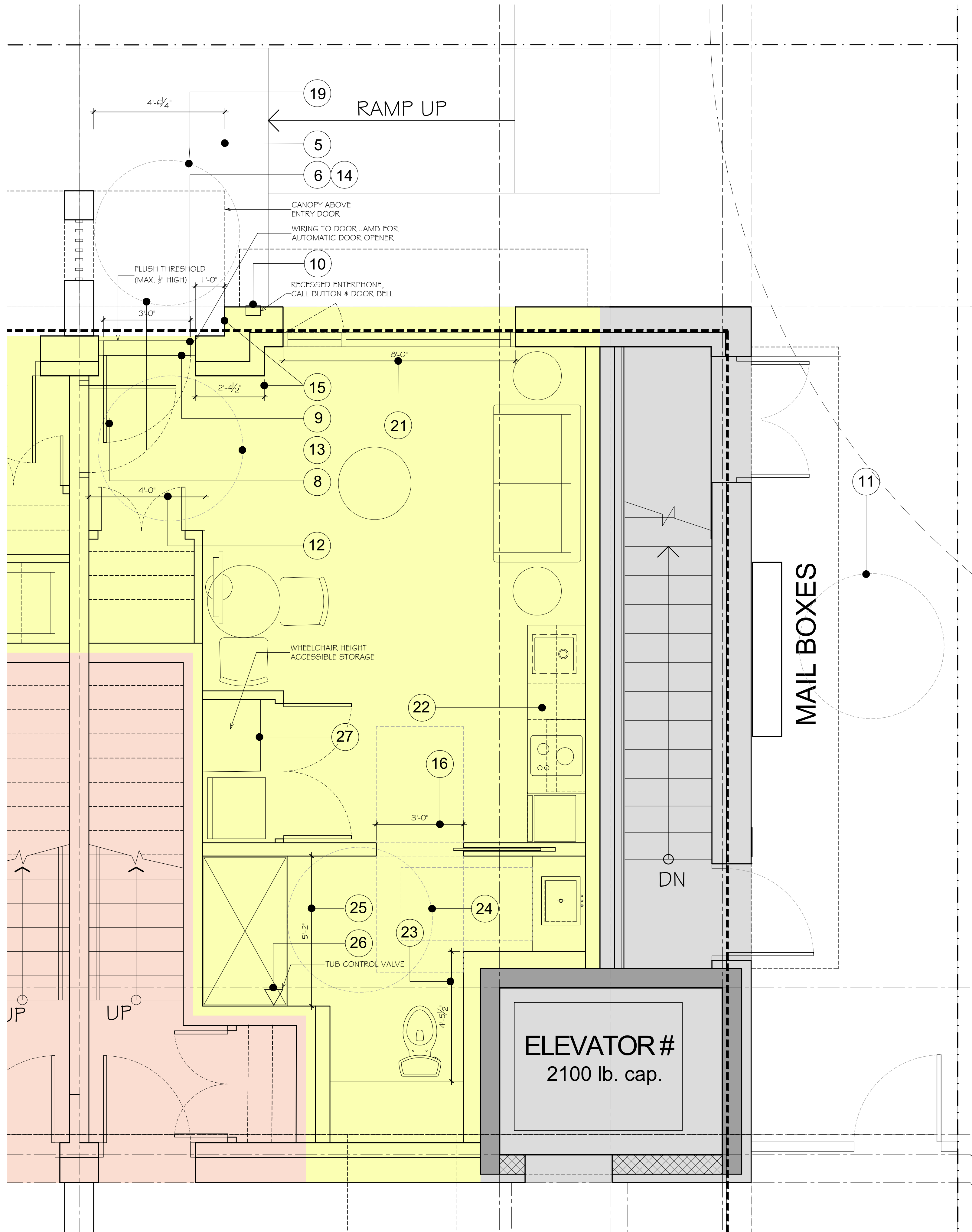
**A304**

DATE DRAWN

SCALE CHECKED

1/4" = 1'-0"

ADAPTABLE DESIGN GUIDELINES			
DESIGN ELEMENTS			
		LEVEL TWO REQUIRED	PROVIDED
1	BUILDING ACCESS	Outside stairs - maximum degree of colour contrast on nosing of each stair	Access to the adaptable unit main entry from the street/sidewalks by ramp.
2	BUILDING ACCESS	Curb cuts have tactile and visual cues	N/A
3	BUILDING ACCESS	Unobstructed access to main building entrances from street/sidewalks	Access to the adaptable unit main entry from the street/sidewalks by ramp.
4	BUILDING ACCESS	Unobstructed internal access: - from parking levels containing accessible parking (5' or 1520 mm corridors; 2' or 610 mm clear wall space adjacent to door latch) - garbage and recycling receptacles and storage lockers - no stairs within building circulating including corridors on residential levels - accessible storage lockers for each unit	Refer to the parking plan for the disability access to accessible parking, garbage and recycling receptacles, and storage lockers.
5	BUILDING ACCESS	Canopy over main building entrances (3' or 915 mm) and enterphone	YES
6	BUILDING ACCESS	Provide automatic door opener for at least one building entry door at ground level as well as underground parkade level where disability parking is provided	Automatic door opener is provided for unit entry door of the lock-off adaptable unit. Refer to the parking plan for the automatic door opener at parking level.
7	BUILDING ACCESS	Disability parking provided in accordance with zoning bylaw figure 9-4 as attached	Refer to parking plan for disability parking
8	BUILDING ACCESS	3' or 915 mm building and suite entry doors	YES
9	BUILDING ACCESS	Flush thresholds throughout the building (maximum 1/2" or 13 mm height)	YES
10	BUILDING ACCESS	Accessible building enterphone, call buttons and, where provided, suite door bells	YES
11	COMMON AREAS	Accessible mailboxes for all AD Level 2 units, and 5' or 1520 mm turning radius in front	YES & REFER TO A403
12	CIRCULATION	Corridors minimum 4' or 1220 mm wide (except for services access areas)	YES
13	CIRCULATION	Provide 5' or 1520 mm turning radius inside and outside the entry corridor of each dwelling unit	YES
14	SUITE CIRCULATION	Provide wiring for an automatic door opener for the suite entry door	YES
15	SUITE CIRCULATION	Provide 2' or 610 mm clear wall space adjacent to door latches where door swings toward user (pocket doors acceptable for bathrooms and bedrooms)	YES
16	DOORS	Minimum one bathroom, minimum one bedroom and storage room doors 2'-10" or 860 mm clear opening	YES
17	PATIOS & BALCONIES	Minimum one door 2'-10" or 860 mm clear door opening	N/A
18	PATIOS & BALCONIES	Minimum one patio or balcony doorsill with maximum 1/2" or 13 mm threshold	N/A
19	PATIOS & BALCONIES	Minimum 5' or 1520 mm turning radius on patio / balcony	YES
20	WINDOWS	Opening mechanism maximum 46" or 1168 mm above floor (provide notation on window schedule)	Refer to window schedule for opening mechanism height
21	WINDOWS	Provide minimum 6'-0" or 1800 mm horizontal windows in living room, dining room and minimum one bedroom where sills are not more than 2'-6" or 750 mm above the floor	6'-0" horizontal window is provided in the living room. Refer to window schedule for window sill height
22	KITCHEN	Continuous counter between sink and stove	YES
23	MIN. ONE BATHROOM	Toilet located adjacent to wall (min 3' or 915 mm length)	YES
24	MIN. ONE BATHROOM	Provide turning radius within bathroom (may result from removal of vanity cabinet)	YES
25	MIN. ONE BATHROOM	3' or 915 mm clearance along full length of tub	YES
26	MIN. ONE BATHROOM	Tub control valve placed at outer edge of tub, with tub spout remaining in central position	YES
27	MIN. ONE BATHROOM	Accessible storage	YES



**bfa studio architects**  
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHRAT FRIARS ARCHITECTS)  
 600 - 355 Burrard Street Vancouver, BC V6C 2G8  
 T 604 662 8544 F 604 662 4060  
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**REVISIONS**

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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CLIENT: **NAM (Moodyville) Development Ltd.**

PROJECT NO.: 19465

PROJECT: 427-429-433-435 E 3rd Street, North Vancouver, B.C.

DRAWING TITLE: **BLOCK A UNIT A2 FLOOR PLANS**

SEAL: **A305**

DRAWING NO.: \_\_\_\_\_ REVISION: \_\_\_\_\_

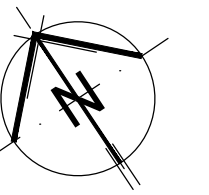
DATE: \_\_\_\_\_ DRAWN: \_\_\_\_\_

SCALE: \_\_\_\_\_ CHECKED: \_\_\_\_\_

1/2" = 1'-0"

NO.	DESCRIPTION	DATE
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CLIENT

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Development Ltd.**

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

**BLOCK B & C  
LEVEL 1 FLOOR PLANS**

SEAL

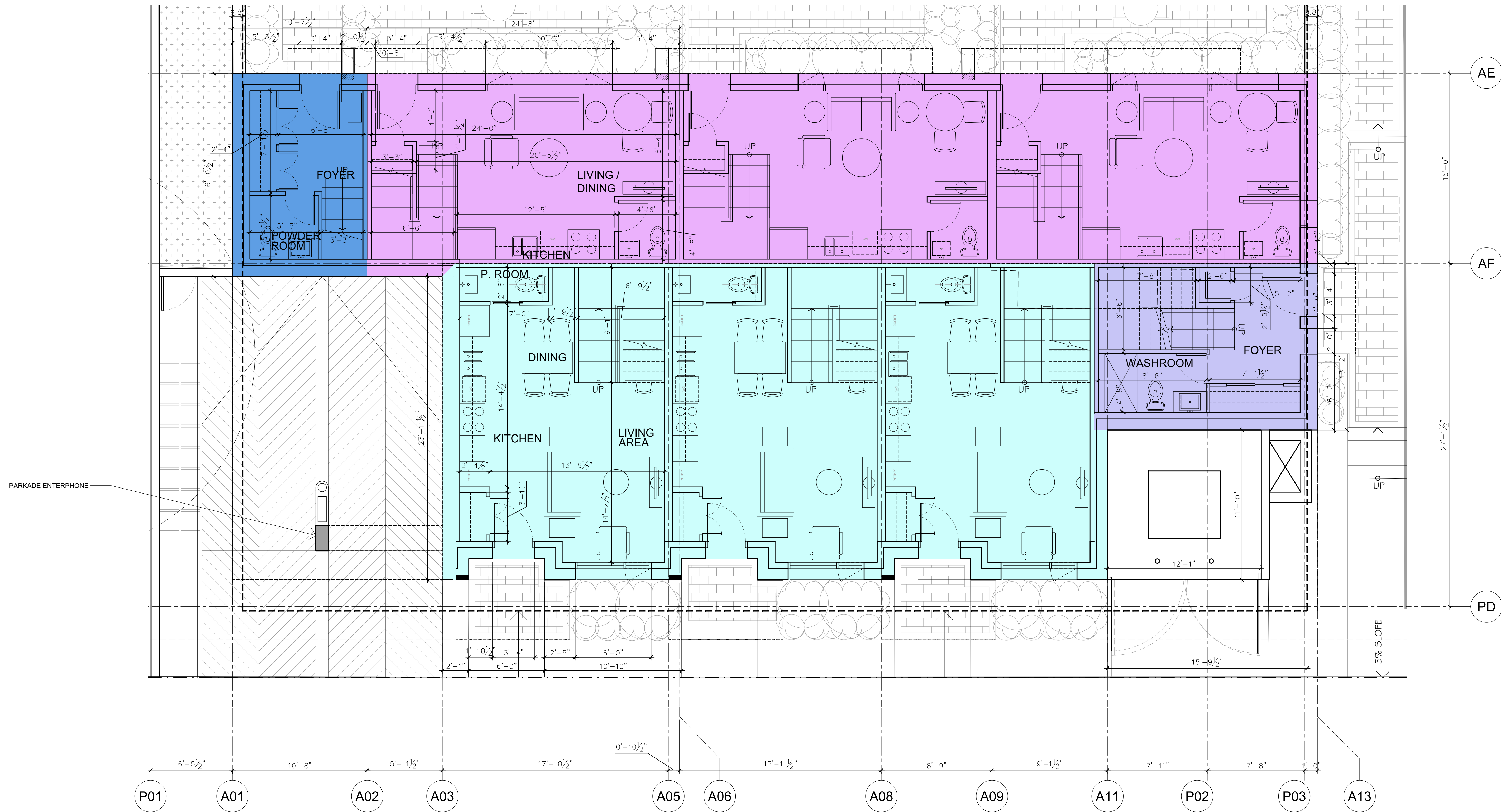
DRAWING NO. REVISION

**A306**

DATE DRAWN

SCALE CHECKED

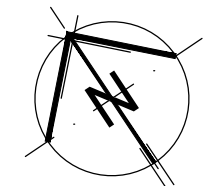
1/4" = 1'-0"



**BLOCK B & C - LEVEL 1 FLOOR PLAN**

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
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Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**BLOCK B & C  
LEVEL 2 FLOOR PLANS**

SEAL

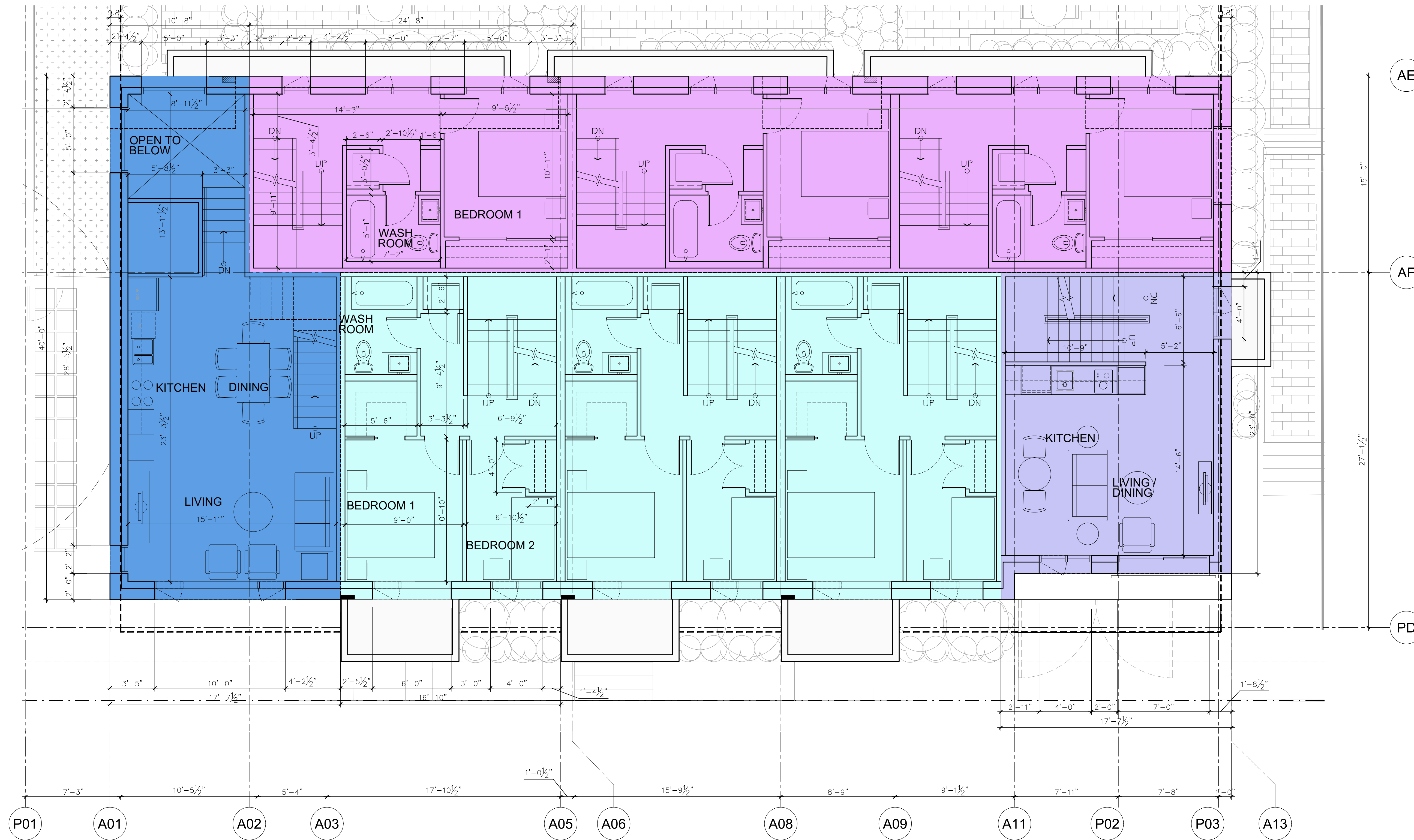
DRAWING NO. \_\_\_\_\_ REVISION  
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**A307**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

1/4" = 1'-0"

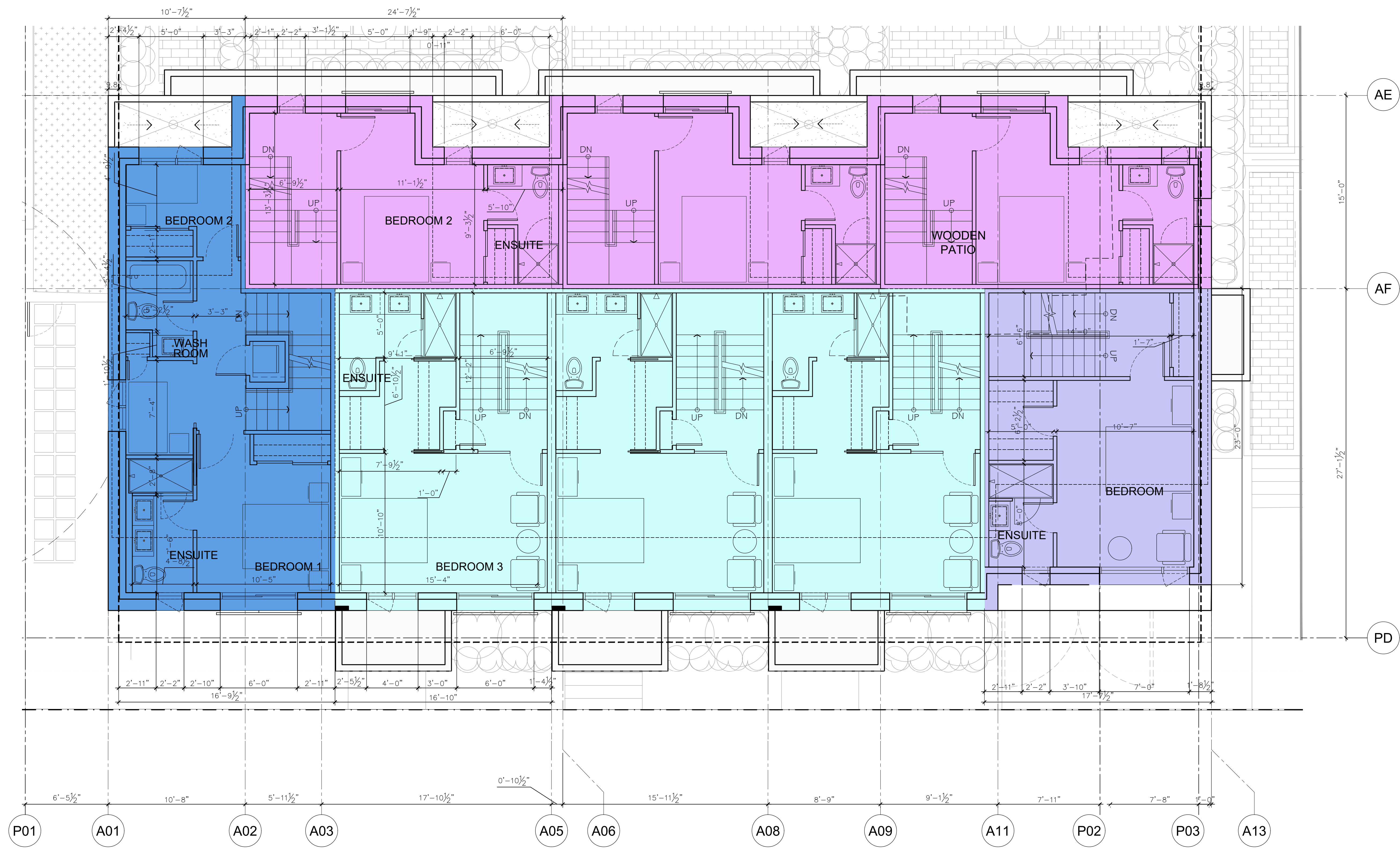
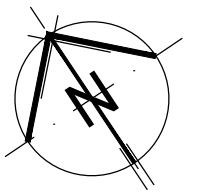


**BLOCK B & C - LEVEL 2 FLOOR PLAN**



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**BLOCK B & C - LEVEL 3 FLOOR PLAN**

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
**BLOCK B & C  
LEVEL 3 FLOOR PLANS**

SEAL

DRAWING NO. REVISION

**A308**

DATE DRAWN

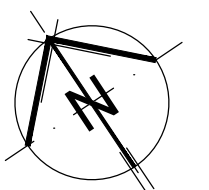
SCALE CHECKED

1/4" = 1'-0"

**REVISIONS**

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Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**BLOCK B & C  
LEVEL 4 FLOOR PLANS**

SEAL

DRAWING NO. \_\_\_\_\_ REVISION \_\_\_\_\_

**A309**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

1/4" = 1'-0"



**BLOCK B & C - LEVEL 4 FLOOR PLAN**

REVISIONS	
NO.	DESCRIPTION
ISSUED FOR PRE-CONSULTATION	16 DEC 2019
ISSUED FOR DP	12 JUN 2020
RE-ISSUED FOR DP	09 MAR 2021
RE-ISSUED FOR DP	05 MAY 2021

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.

DRAWING TITLE

BLOCK A - BUILDING ELEVATIONS

SEAL

DRAWING NO. REVISION

**A401**

DATE DRAWN

SCALE CHECKED

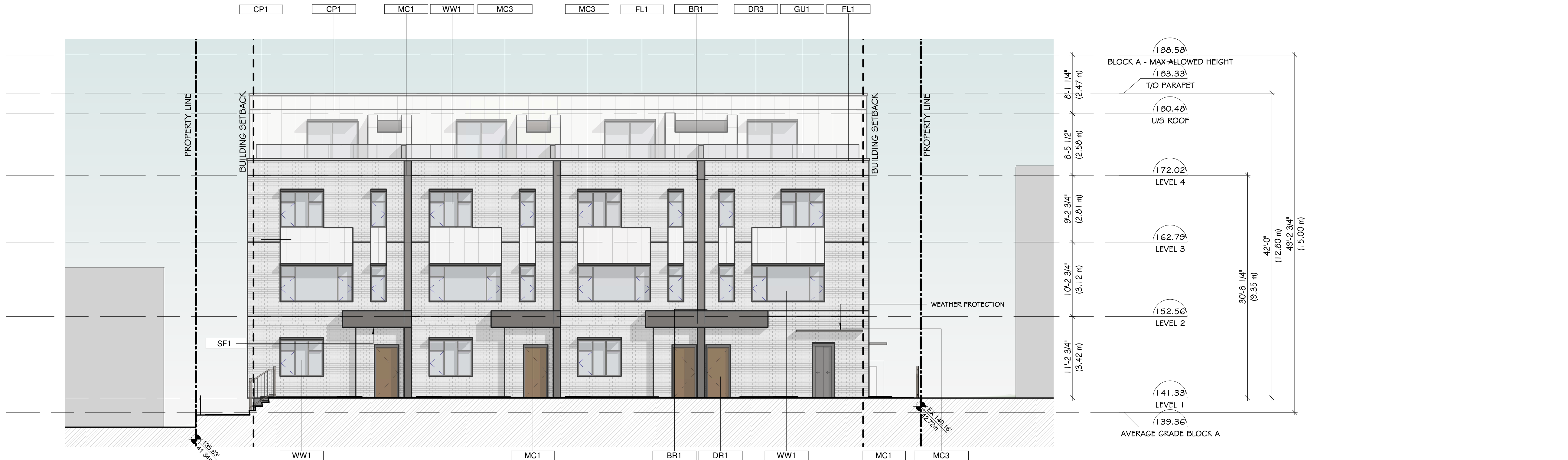
1/8" = 1'-0"



**SIGNAGE OPTIONS**

1 - ABOVE WINDOW - SURFACE MOUNT OR SUSPENDED FROM BAY WINDOW  
2A - ABOVE ENTRY - SUSPENDED FROM CANOPY  
2B - ABOVE ENTRY - SURFACE MOUNT

**1** BLOCK A - NORTH ELEVATION/ EAST 3RD  
1/8" = 1'-0"



**2** BLOCK A - SOUTH ELEVATION/ INTERNAL COURTYARD  
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND					
MARK	ITEM	COLOR / FINISH	MARK	ITEM	COLOR / FINISH
BR1	STANDARD FACE BRICK, PATTERN: TBD	TO MATCH ASPEN; MISSION; MUTUAL MATERIALS	DR2	FIRE RATED EXTERIOR METAL SINGLE DOOR - SIDE EXIT	COLOUR: TO MATCH MC1
CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH SATIN WHITE 9291, SWISS PEARL OR SIMILAR	DR3	ALUMINUM FRAME SLIDING GLASS DOUBLE DOOR	FRAME: TO MATCH MC1, GLASS: CLEAR
MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH LUX DARK ZINC OR SIMILAR	GU1	CLEAR SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: TEMPERED CLEAR GLASS
MC2	VERTICAL TRELLIS - WOOD PATTERN MATERIAL	TO MATCH LUX LIGHT ASH OR SIMILAR	GU2	SAFETY FRITTED GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: FRITTED & TEMPERED FROSTED GLASS
MC3	ALUMINUM HORIZONTAL SHADING DEVICE	TO MATCH MC1	FL1	PREFINISHED METAL FLASHING	COLOUR: TO MATCH CP1
WW1	ALUMINUM WINDOW SYSTEM	FRAME: TO MATCH STARLINE IRON MOUNTAIN GREY, GLASS: CLEAR	SF1	WOOD SOFFIT	YELLOW CEDAR
DR1	FIRE RATED EXTERIOR WOOD SINGLE DOOR - MAIN ENTRY	COLOUR: NATURAL WOOD	CC1	ARCHITECTURAL CONCRETE	

NO.	DESCRIPTION	DATE
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**1** BLOCK B & C - SOUTH ELEVATION/ LANE  
1/8" = 1'-0"



**2** BLOCK B & C - NORTH ELEVATION/ INTERNAL COURTYARD  
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND					
MARK	ITEM	COLOR / FINISH	MARK	ITEM	COLOR / FINISH
BR1	STANDARD FACE BRICK, PATTERN: TBD	TO MATCH ASPEN; MISSION; MUTUAL MATERIALS	DR2	FIRE RATED EXTERIOR METAL SINGLE DOOR - SIDE EXIT	COLOUR: TO MATCH MC1
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MC1	ALUMINUM CLADDING PANEL SYSTEM	TO MATCH LUX DARK ZINC OR SIMILAR	GU1	CLEAR SAFETY GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: TEMPERED CLEAR GLASS
MC2	VERTICAL TRELLIS - WOOD PATTERN MATERIAL	TO MATCH LUX LIGHT ASH OR SIMILAR	GU2	SAFETY FRITTED GLASS BALCONY GUARD	FRAME: TO MATCH WINDOW FRAME, GLASS: FRITTED & TEMPERED FROSTED GLASS
MC3	ALUMINUM HORIZONTAL SHADING DEVICE	TO MATCH MC1	FL1	PREFINISHED METAL FLASHING	COLOUR: TO MATCH CP1
WW1	ALUMINUM WINDOW SYSTEM	FRAME: TO MATCH STARLINE IRON MOUNTAIN GREY, GLASS: CLEAR	SF1	WOOD SOFFIT	YELLOW CEDAR
DR1	FIRE RATED EXTERIOR WOOD SINGLE DOOR - MAIN ENTRY	COLOUR: NATURAL WOOD	CC1	ARCHITECTURAL CONCRETE	

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.

DRAWING TITLE BLOCK B & C - BUILDING ELEVATIONS

SEAL

DRAWING NO. REVISION

**A402**

DATE DRAWN

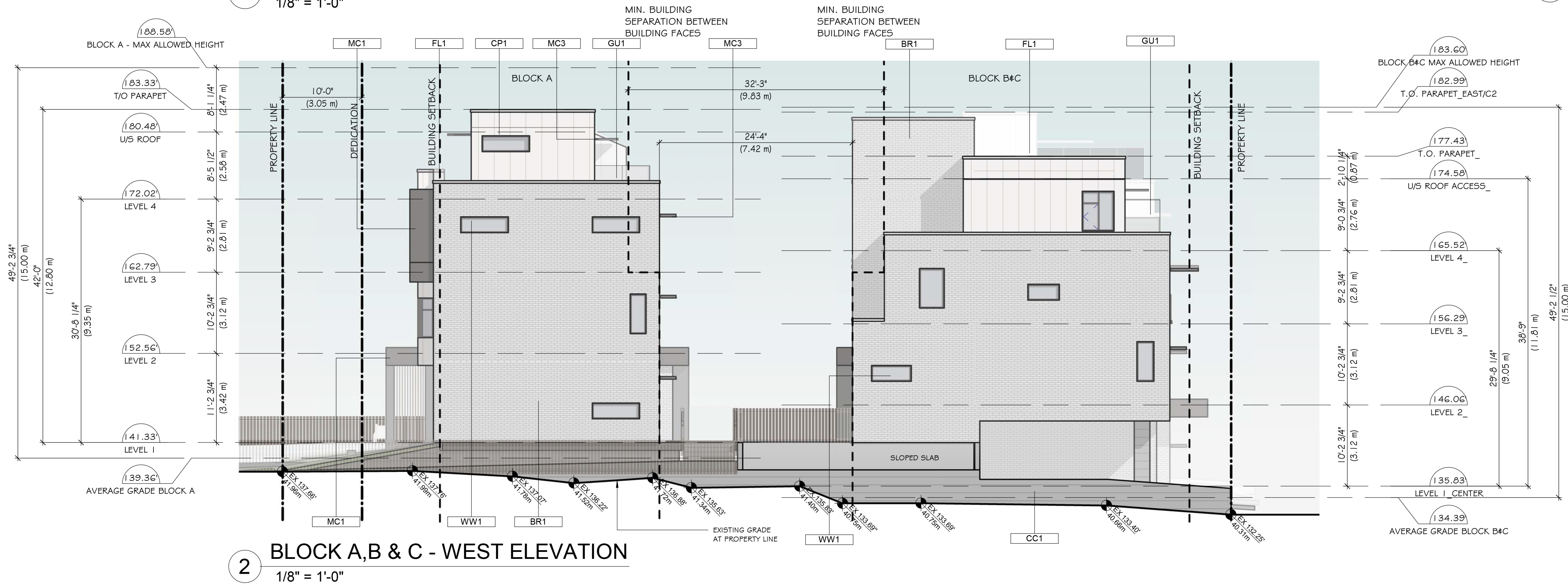
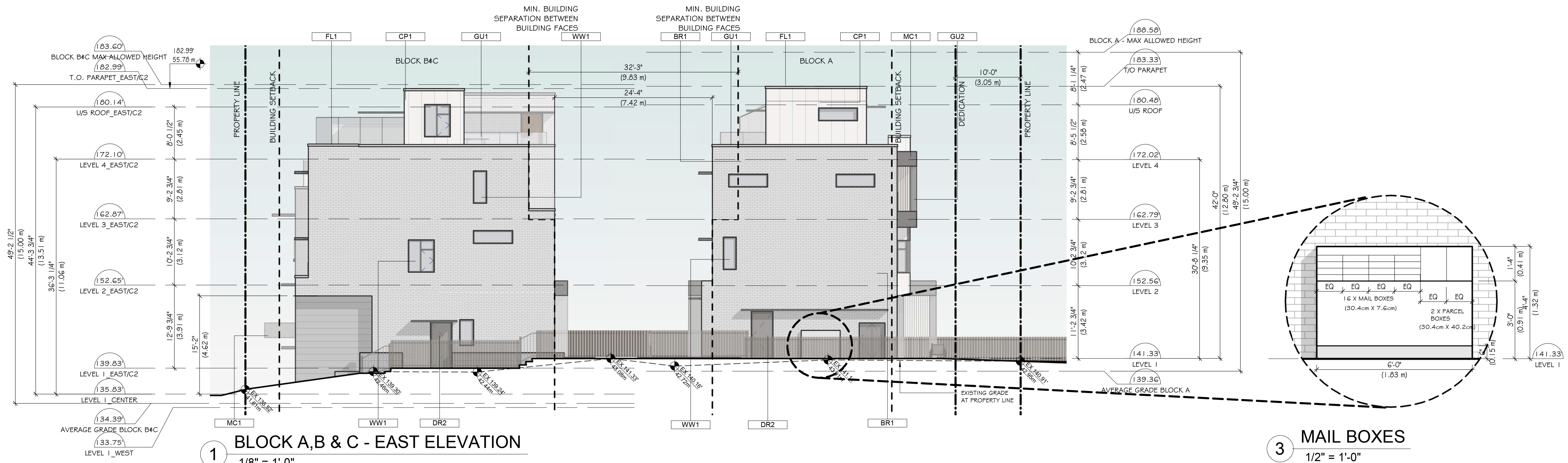
SCALE CHECKED

1/8" = 1'-0"

REVISIONS

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ELEVATION KEYNOTE LEGEND

MARK	ITEM	COLOR / FINISH	MARK	ITEM	COLOR / FINISH
BR1	STANDARD FACE BRICK, PATTERN: TBD	TO MATCH ASPEN; MISSION; MUTUAL MATERIALS	DR2	FIRE RATED EXTERIOR METAL SINGLE DOOR - SIDE EXIT	COLOUR: TO MATCH MC1
CP1	CEMENTITIOUS CLADDING PANELS	TO MATCH SATIN WHITE 9291, SWISS PEARL OR SIMILAR	DR3	ALUMINUM FRAME SLIDING GLASS DOUBLE DOOR	FRAME: TO MATCH MC1, GLASS: CLEAR
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DR1	FIRE RATED EXTERIOR WOOD SINGLE DOOR - MAIN ENTRY	COLOUR: NATURAL WOOD	CC1	ARCHITECTURAL CONCRETE	

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT

MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

BLOCK A, B & C - BUILDING  
ELEVATIONS

SCALE

DRAWING NO. REVISION

**A403**

DATE DRAWN

SCALE CHECKED

As indicated

REVISIONS		
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Development Ltd.

PROJECT NO.

19465

PROJECT

MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

BLOCK A - UNPROTECTED  
OPENING CALCULATION

SEAL

DRAWING NO. REVISION

**A404**

DATE DRAWN

SCALE CHECKED

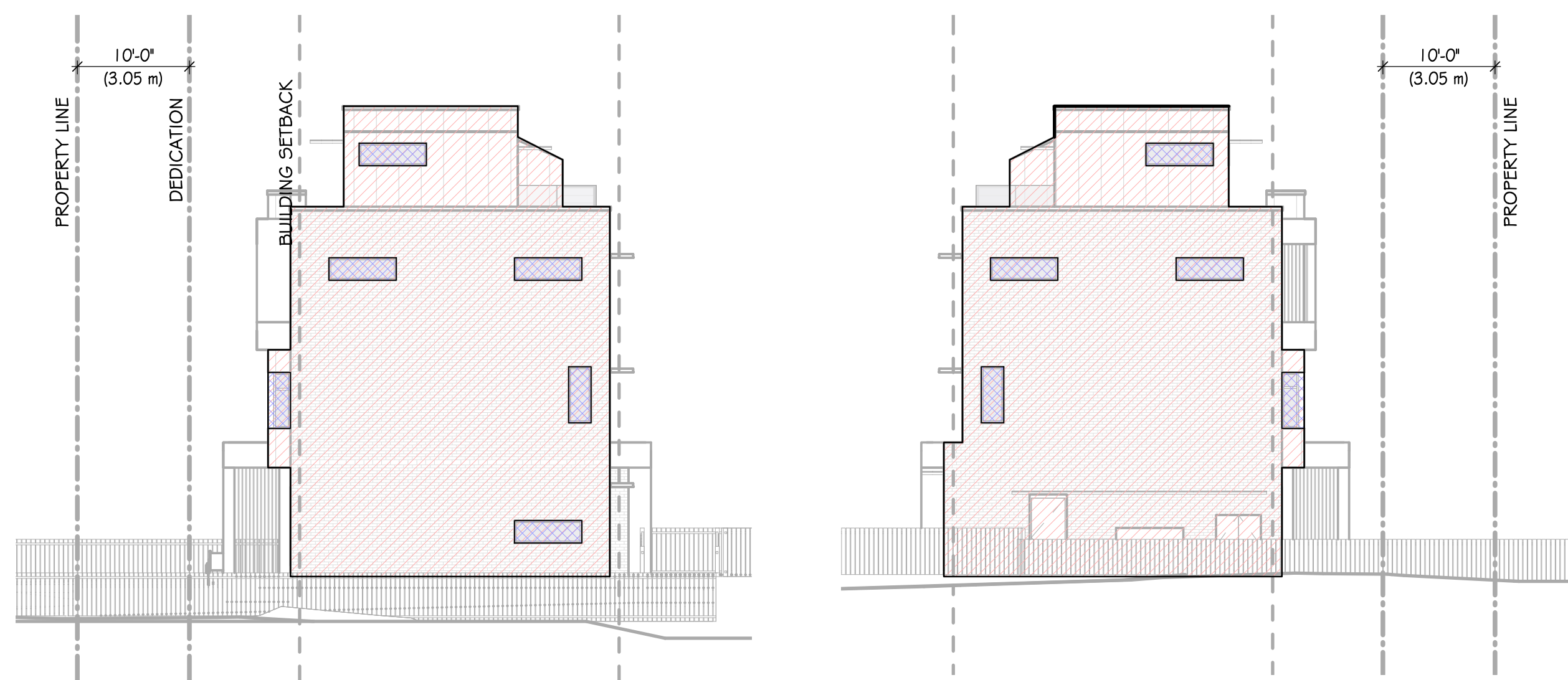
3/32" = 1'-0"



1 BLOCK A - NORTH ELEVATION/ EAST 3RD  
3/32" = 1'-0"



2 BLOCK A - SOUTH ELEVATION/ INTERNAL COURTYARD  
3/32" = 1'-0"



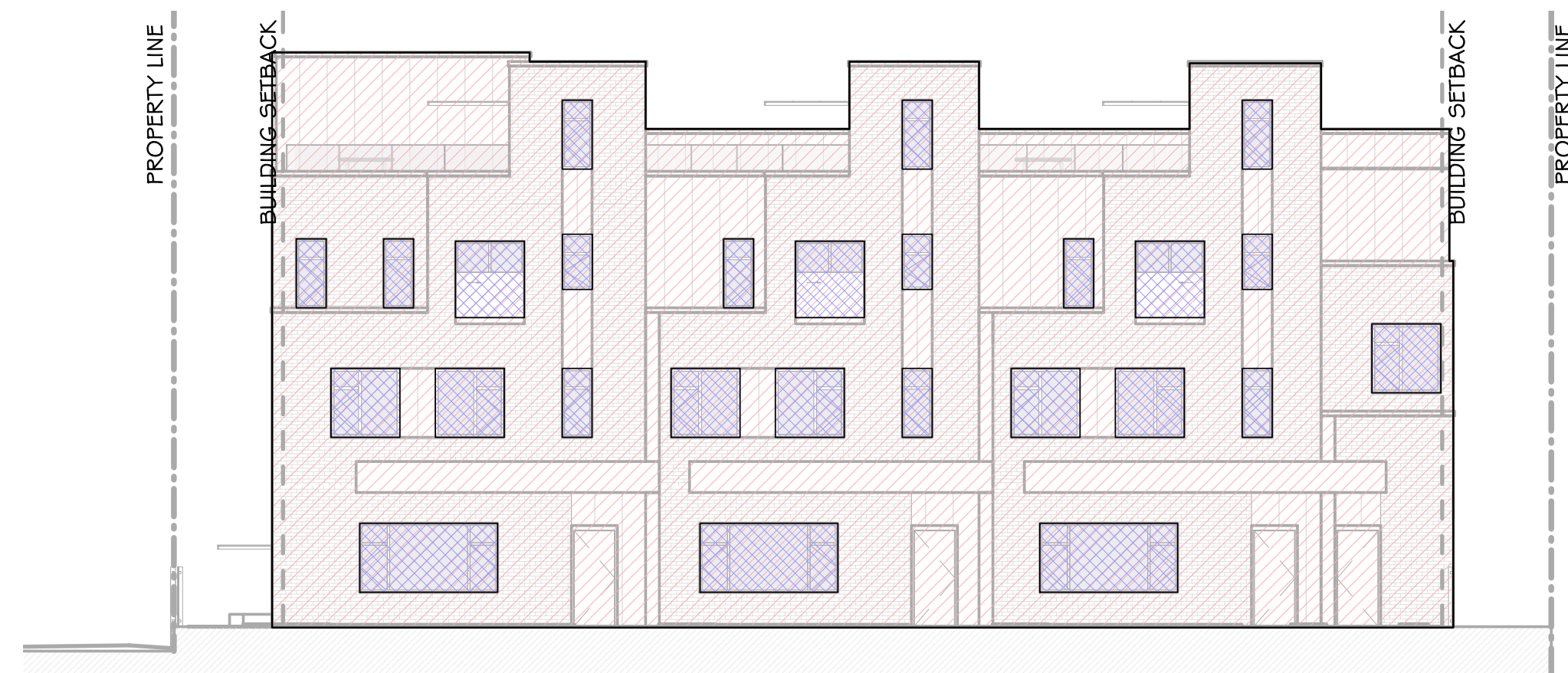
3 BLOCK A - WEST ELEVATION  
3/32" = 1'-0"

4 BLOCK A - EAST ELEVATION  
3/32" = 1'-0"

UNPROTECTED OPENING CALCULATION										
BLOCK A	EXPOSED BUILDING FACE		LIMITING DISTANCE		UNPROTECTED OPENING ALLOWED	UNPROTECTED OPENING ALLOWED		UNPROTECTED OPENING PROVIDED		WINDOW TO WALL RATIO
	sf	m <sup>2</sup>	f	m	%	sf	m <sup>2</sup>	sf	m <sup>2</sup>	
NORTH	3593.3	333.8	17.0	5.2	42%	1523.5	141.5	911.0	84.6	<b>18.05%</b>
EAST	1142.4	106.1	7.1	2.2	20%	228.5	21.2	56.0	5.2	
SOUTH (COURTYARD)	3592.9	333.8	12.2	3.7	27%	970.1	90.1	670.6	62.3	
WEST	1122.5	104.3	7.1	2.2	20%	224.5	20.9	68.0	6.3	

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
RE-ISSUED FOR DP		09 MAR 2021
RE-ISSUED FOR DP		05 MAY 2021

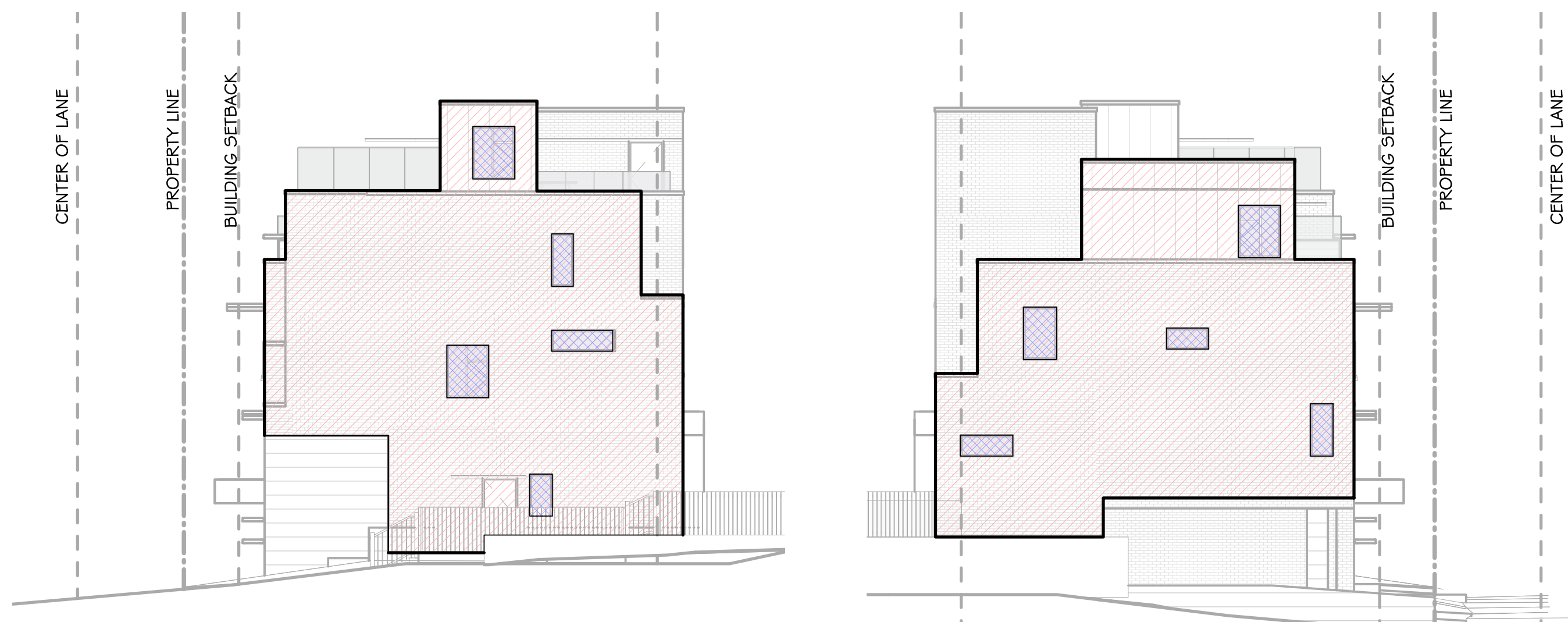
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1 BLOCK B & C - NORTH ELEVATION/ INTERNAL COURTYARD  
3/32" = 1'-0"



2 BLOCK B & C - SOUTH ELEVATION/ LANE  
3/32" = 1'-0"



3 BLOCK B & C - EAST ELEVATION  
3/32" = 1'-0"

4 BLOCK B & C - WEST ELEVATION  
3/32" = 1'-0"

UNPROTECTED OPENING CALCULATION										
BLOCK B&C	EXPOSED BUILDING FACE		LIMITING DISTANCE		UNPROTECTED OPENING ALLOWED	UNPROTECTED OPENING ALLOWED		UNPROTECTED OPENING PROVIDED		WINDOW TO WALL RATIO
	sf	m <sup>2</sup>	f	m	%	sf	m <sup>2</sup>	sf	m <sup>2</sup>	
NORTH (COURTYARD)	3331.4	309.5	12.2	3.7	27%	899.5	83.6	542.5	50.4	16.98%
EAST	1245.0	115.7	7.1	2.2	20%	249.0	23.1	70.7	6.6	
SOUTH	3612.5	335.6	17.8	5.4	45%	1618.4	150.4	903.6	83.9	
WEST	1122.9	104.3	7.1	2.2	20%	224.6	20.9	64.6	6.0	

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT

MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

BLOCK B & C -  
UNPROTECTED OPENING  
CALCULATION

SEAL

DRAWING NO.

REVISION

**A405**

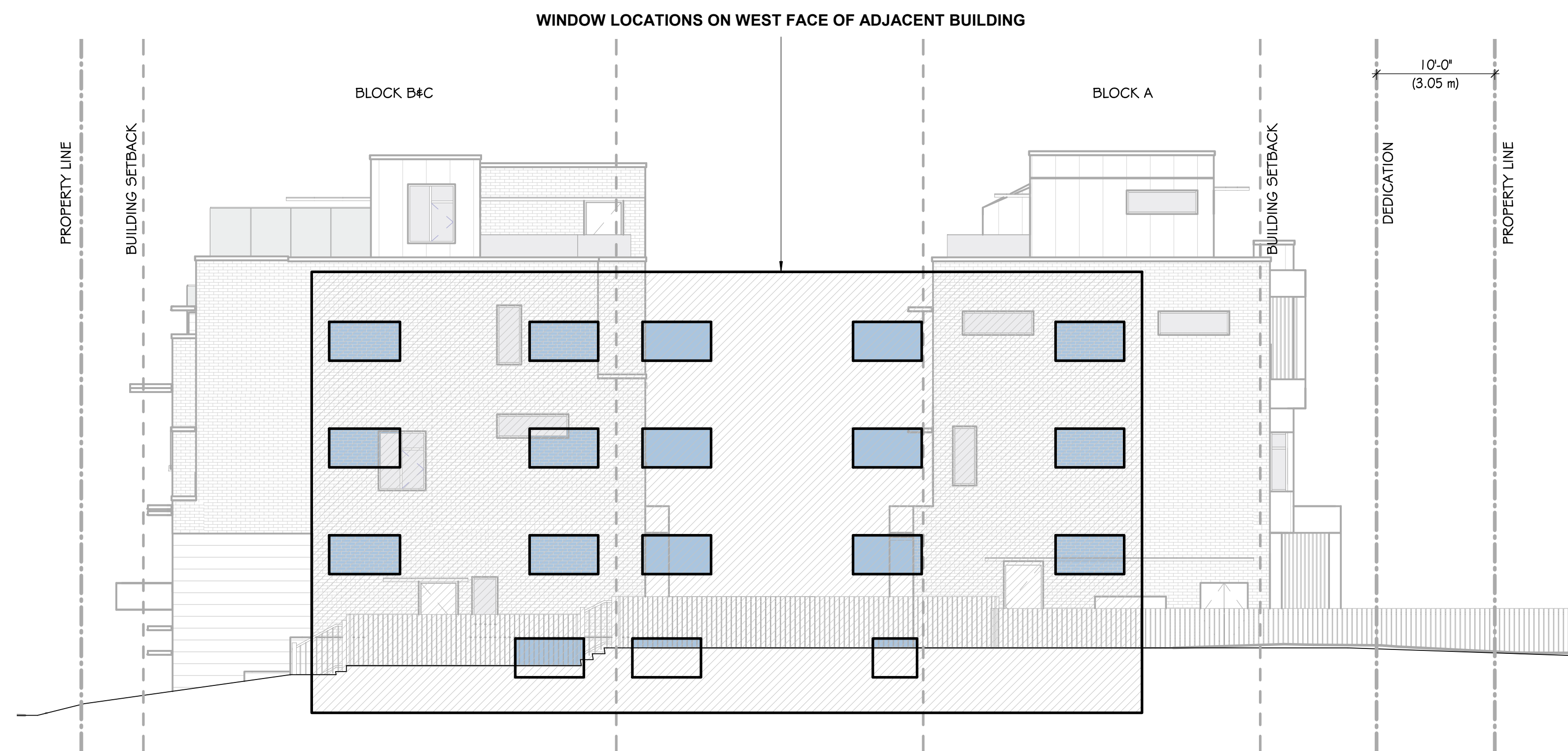
DATE

DRAWN

SCALE

CHECKED

3/32" = 1'-0"

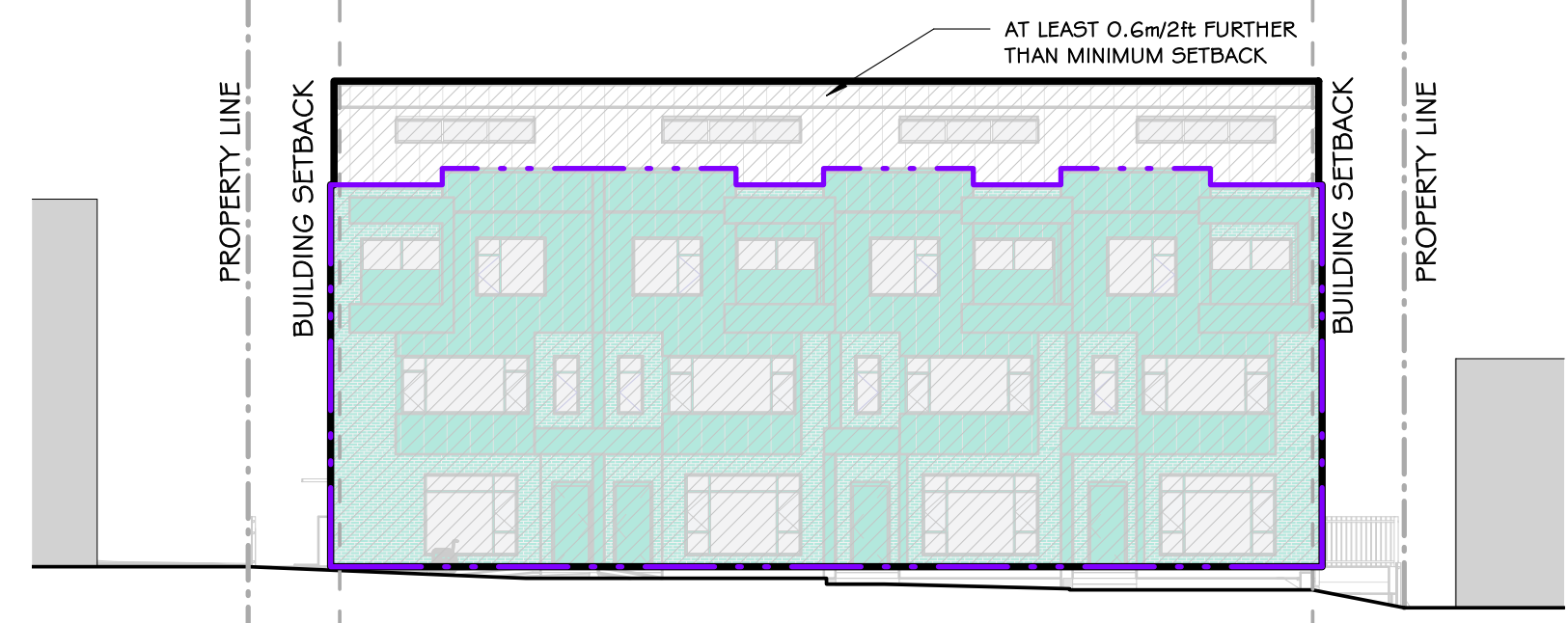


1 REFLECTED ELEVATION - EAST  
1/8" = 1'-0"

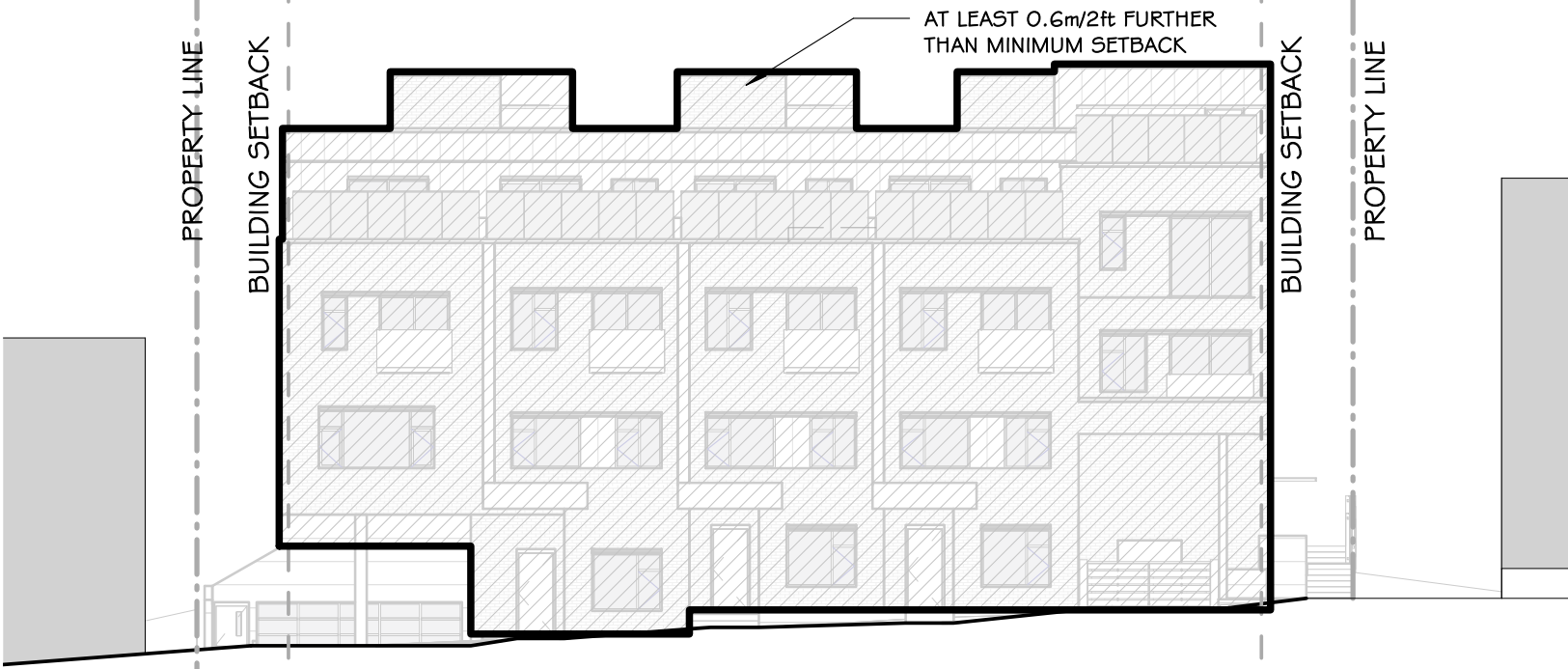


2 REFLECTED ELEVATION - WEST  
1/8" = 1'-0"

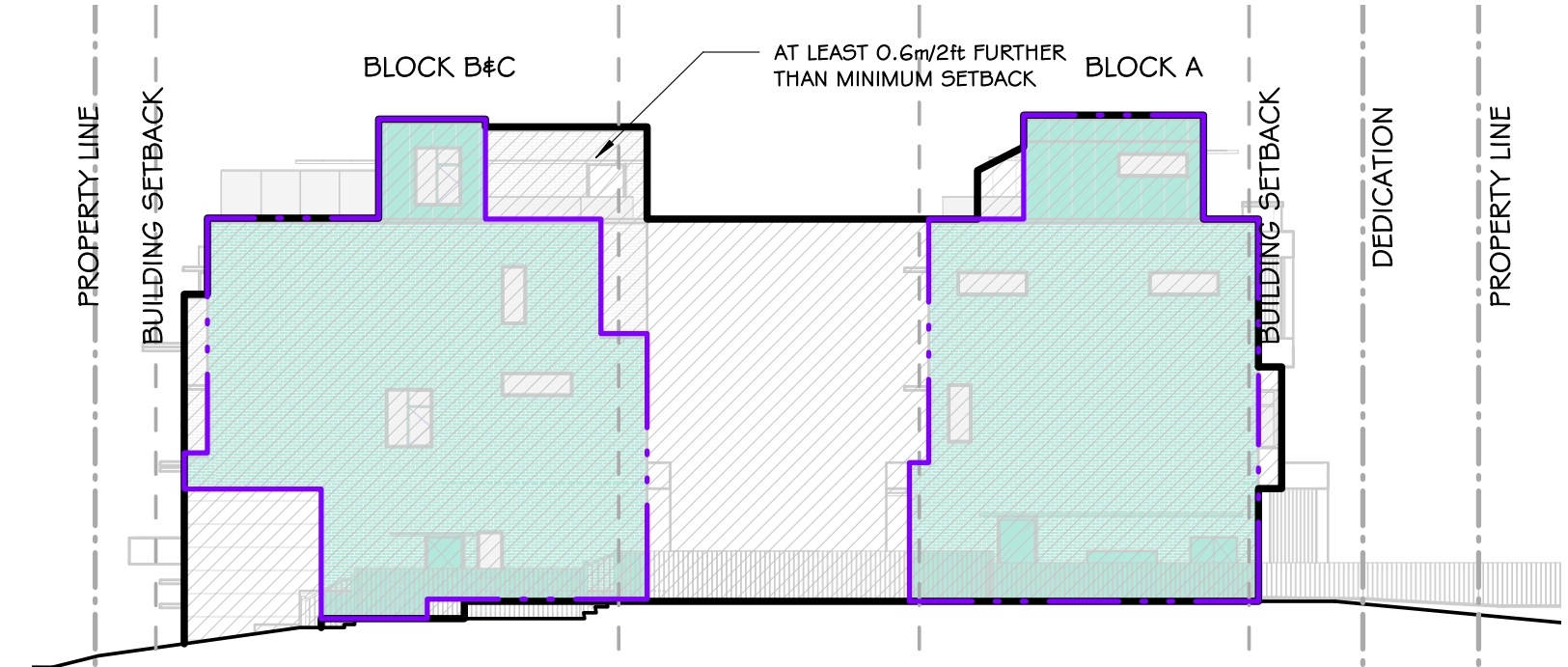
**ARTICULATED FACADE CALCULATION**  
(% OF BUILDING FACE AT LEAST 0.6m/2ft FURTHER THAN THE MINIMUM SETBACK)



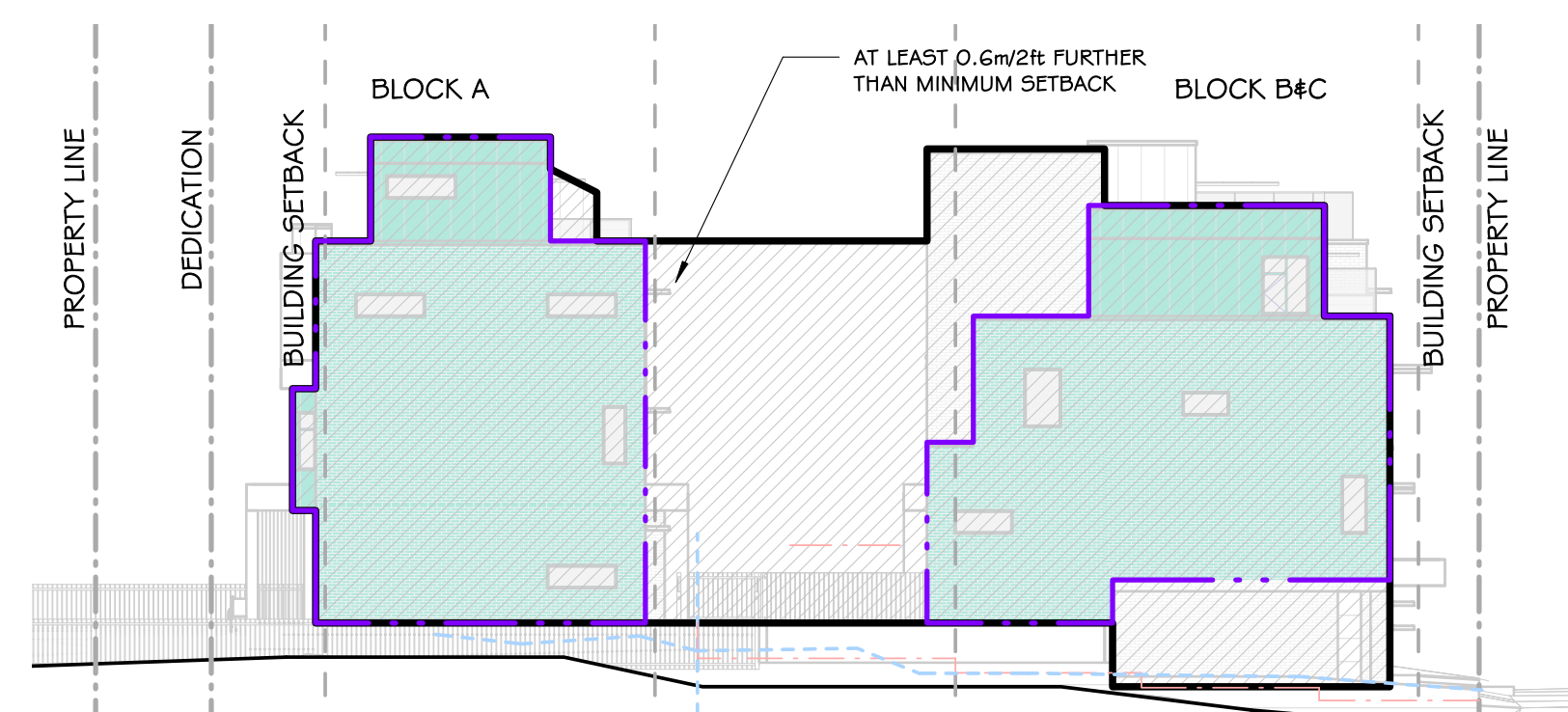
NORTH ELEVATION - 19.24%



SOUTH ELEVATION - 100%



EAST ELEVATION - 33.96%



WEST ELEVATION - 36.85%

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
RE-ISSUED FOR DP		09 MAR 2021
RE-ISSUED FOR DP		05 MAY 2021

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.

DRAWING TITLE REFLECTED ELEVATIONS & ARTICULATED FACADE CALCULATION

SEAL

DRAWING NO. REVISION

**A406**

DATE DRAWN

SCALE CHECKED

As indicated



**REVISIONS**

NO.	DESCRIPTION	DATE
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
MATERIAL BOARD

SEAL

DRAWING NO. REVISION  
-

**A407**

DATE DRAWN

SCALE CHECKED

N.T.S



WW1 - VINYL WINDOW FRAME

CP1 - CEMENTITIOUS CLADDING PANEL

MC1 - ALUMINUM CLADDING PANEL SYSTEM

BR1 - STANDARD FACE BRICK

SF1 - WOOD SOFFIT

GU1 - CLEAR SAFETY GLASS  
BALCONY GUARD

GU2 - SAFETY FRITTED GLASS  
BALCONY GUARD

**bfa** studio  
architects

PASSIVE HOUSE TOWNHOME DEVELOPMENT  
427-429-433-435 EAST 3RD STREET,  
NORTH VANCOUVER, BC

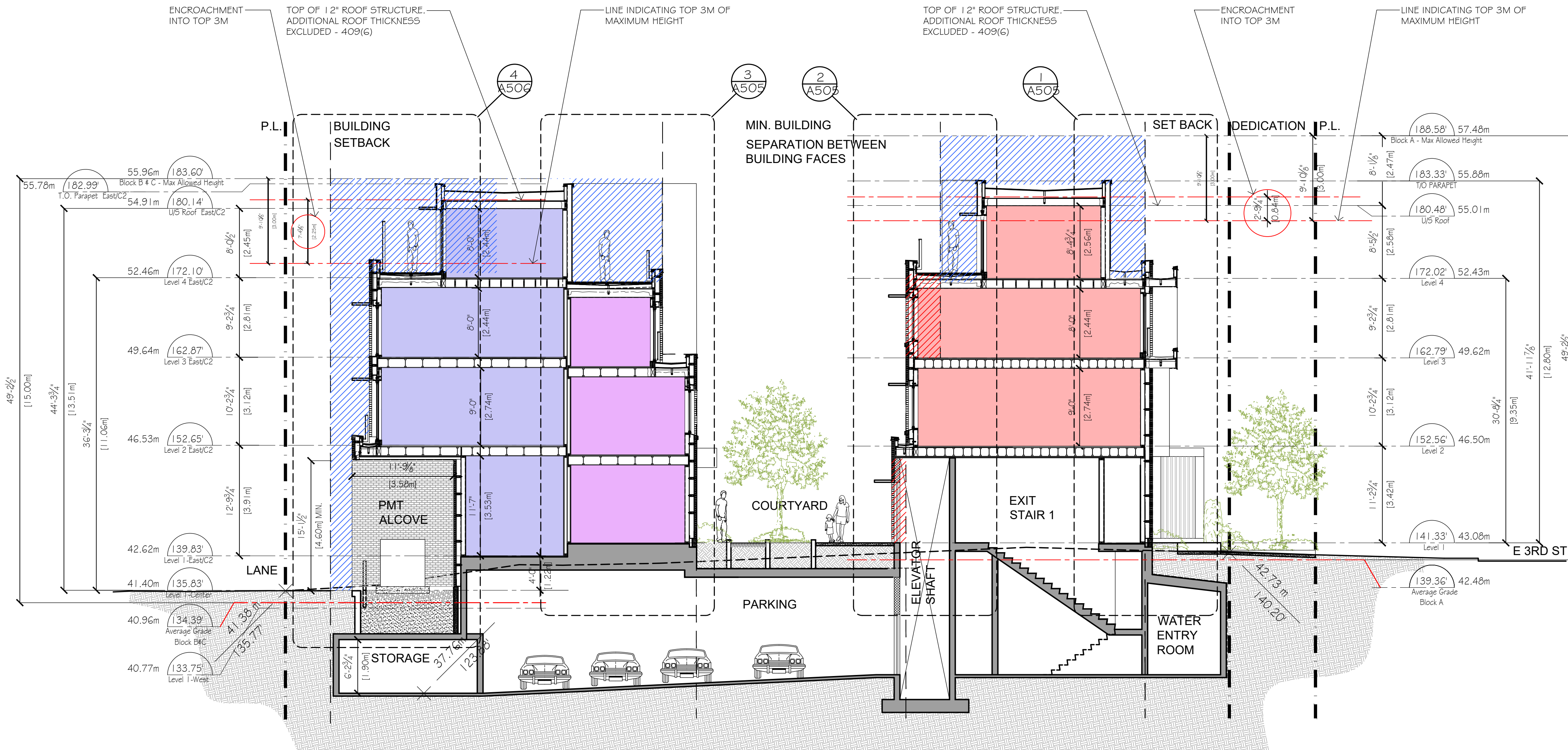
NAM (MOODYVILLE)  
DEVELOPMENT LTD.

600 - 355 Burrard Street  
Vancouver, BC V6C 2G8  
www.bfastudioarchitects.com

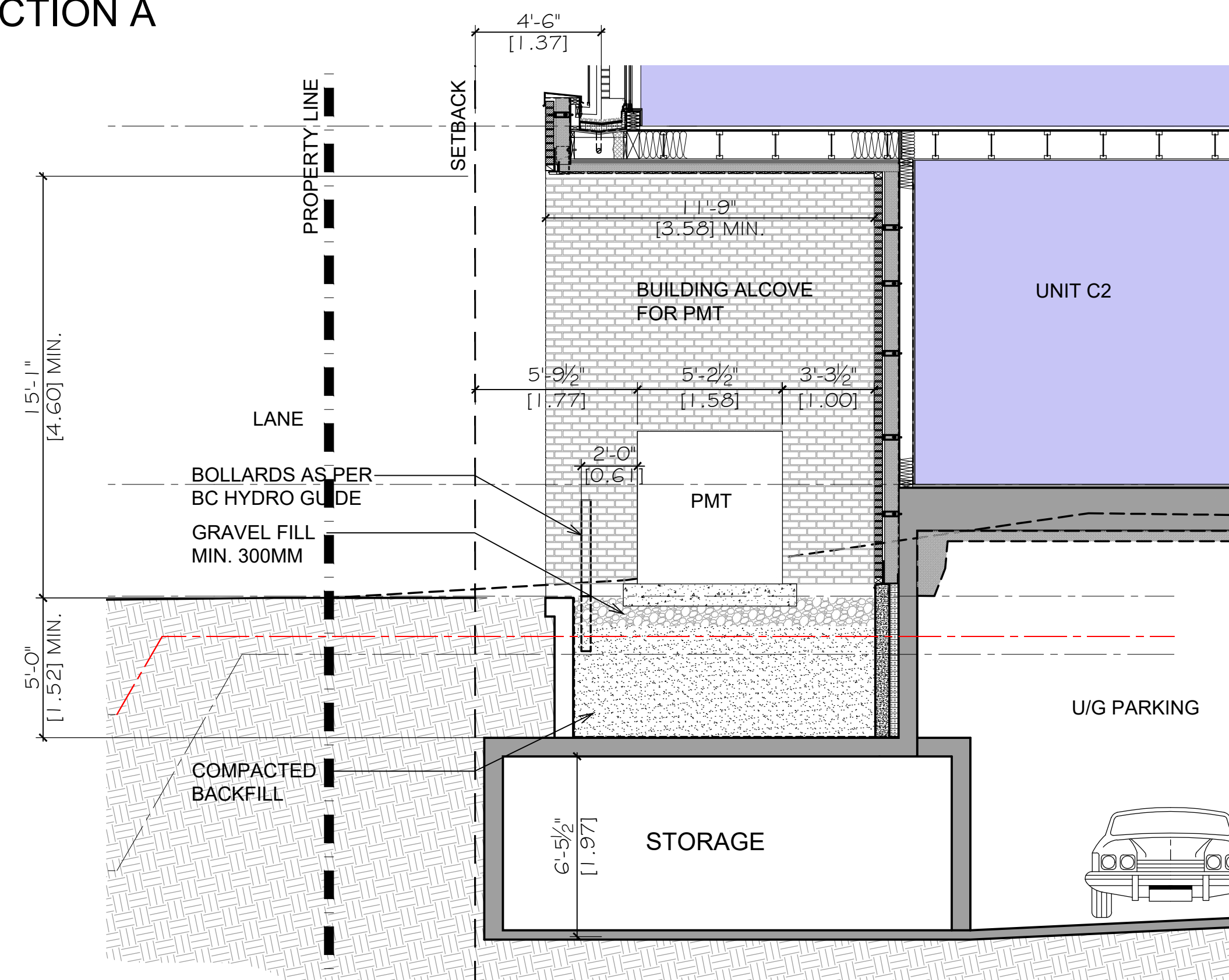
T 604 662 8544  
F 604 662 4060

NO.	DESCRIPTION	DATE
ISSUED FOR PRE-CONSULTATION		16 DEC 2019
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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**SECTION A**



**PMT INSIDE BUILDING ALCOVE  
(SCALE: 1/4" = 1'-0")**

LEGEND	
	BUILDING SEPARATION CONFORMITY OR BETTER
	BUILDING SEPARATION NON-CONFORMITY

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO.

19465

PROJECT

427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

**BUILDING SECTIONS**

SEAL

DRAWING NO.

REVISION

**A501**

DATE

DRAWN

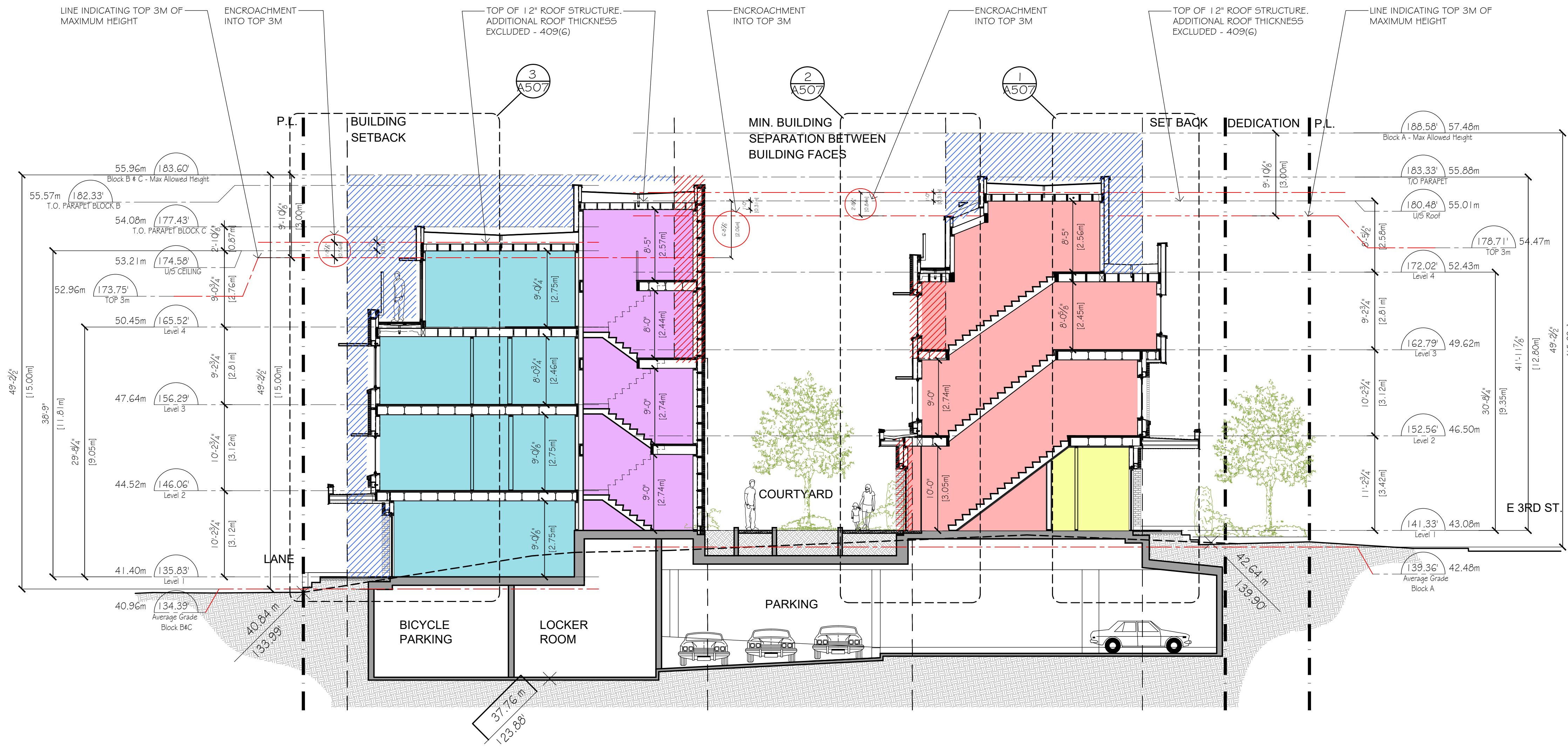
SCALE

CHECKED

1/8" = 1'-0"

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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SECTION B

LEGEND	
	BUILDING SEPARATION CONFORMITY OR BETTER
	BUILDING SEPARATION NON-CONFORMITY

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
BUILDING SECTIONS

SEAL

DRAWING NO. REVISION

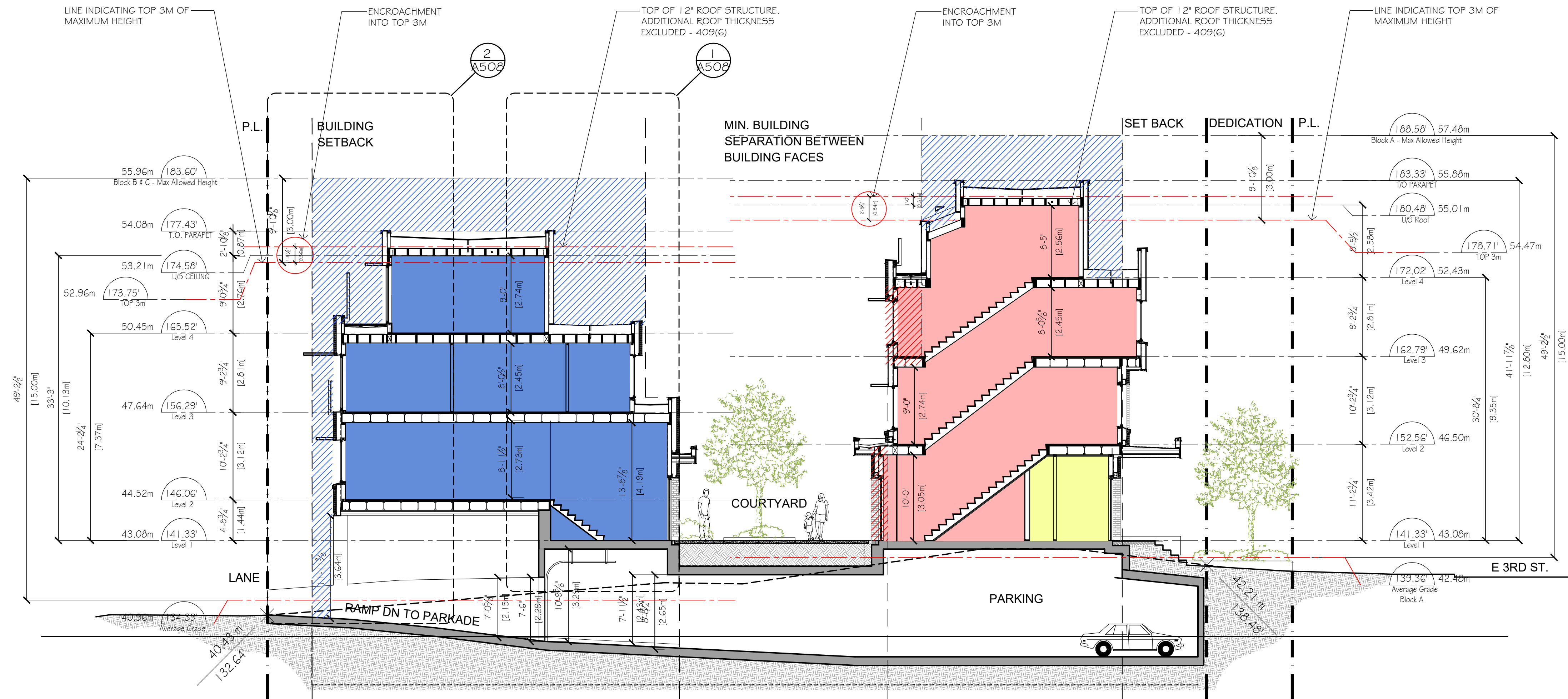
**A502**

DATE DRAWN

SCALE CHECKED  
1/8" = 1'-0"

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ISSUED FOR DP		12 JUN 2020
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SECTION C

LEGEND	
	BUILDING SEPARATION CONFORMITY OR BETTER
	BUILDING SEPARATION NON-CONFORMITY

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
BUILDING SECTIONS

SEAL

DRAWING NO. REVISION

A503

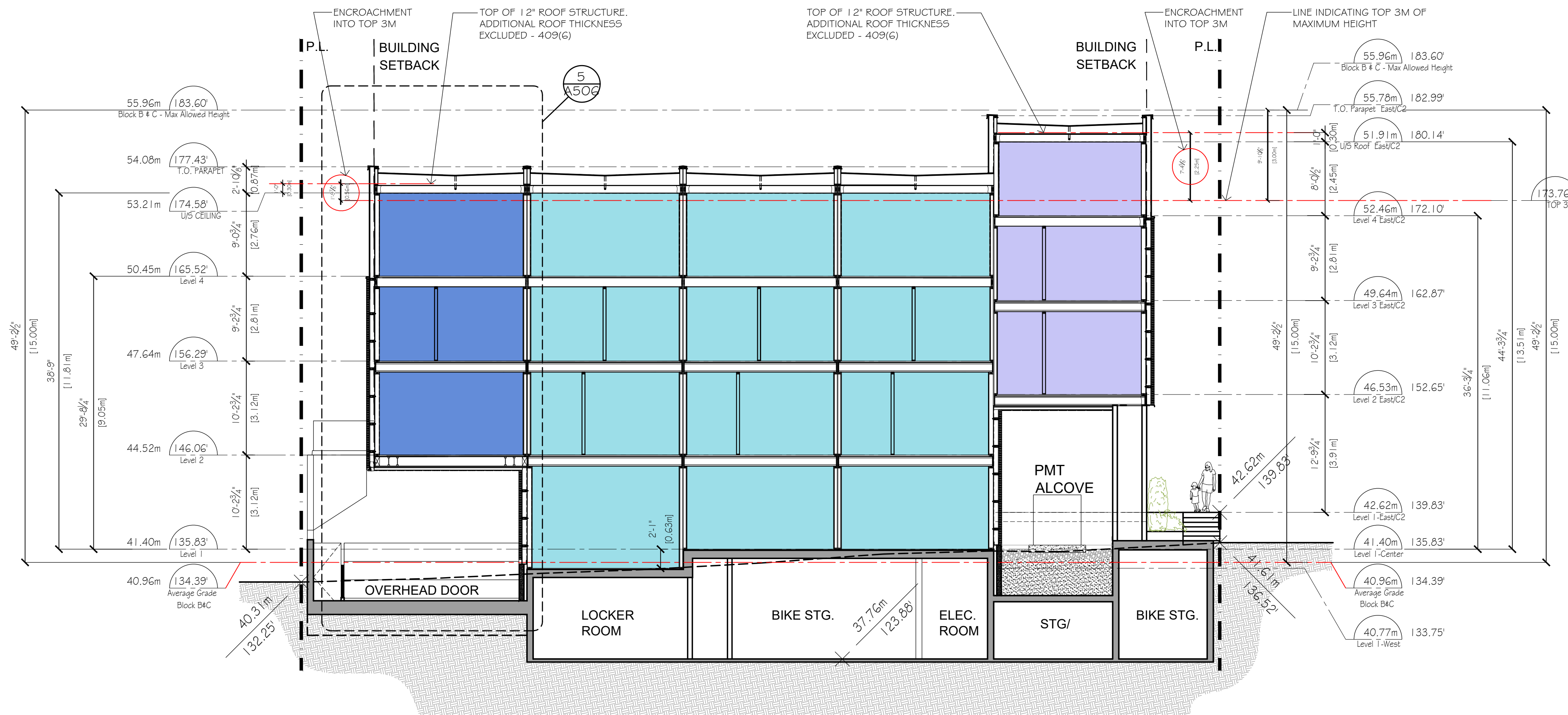
DATE DRAWN

SCALE CHECKED

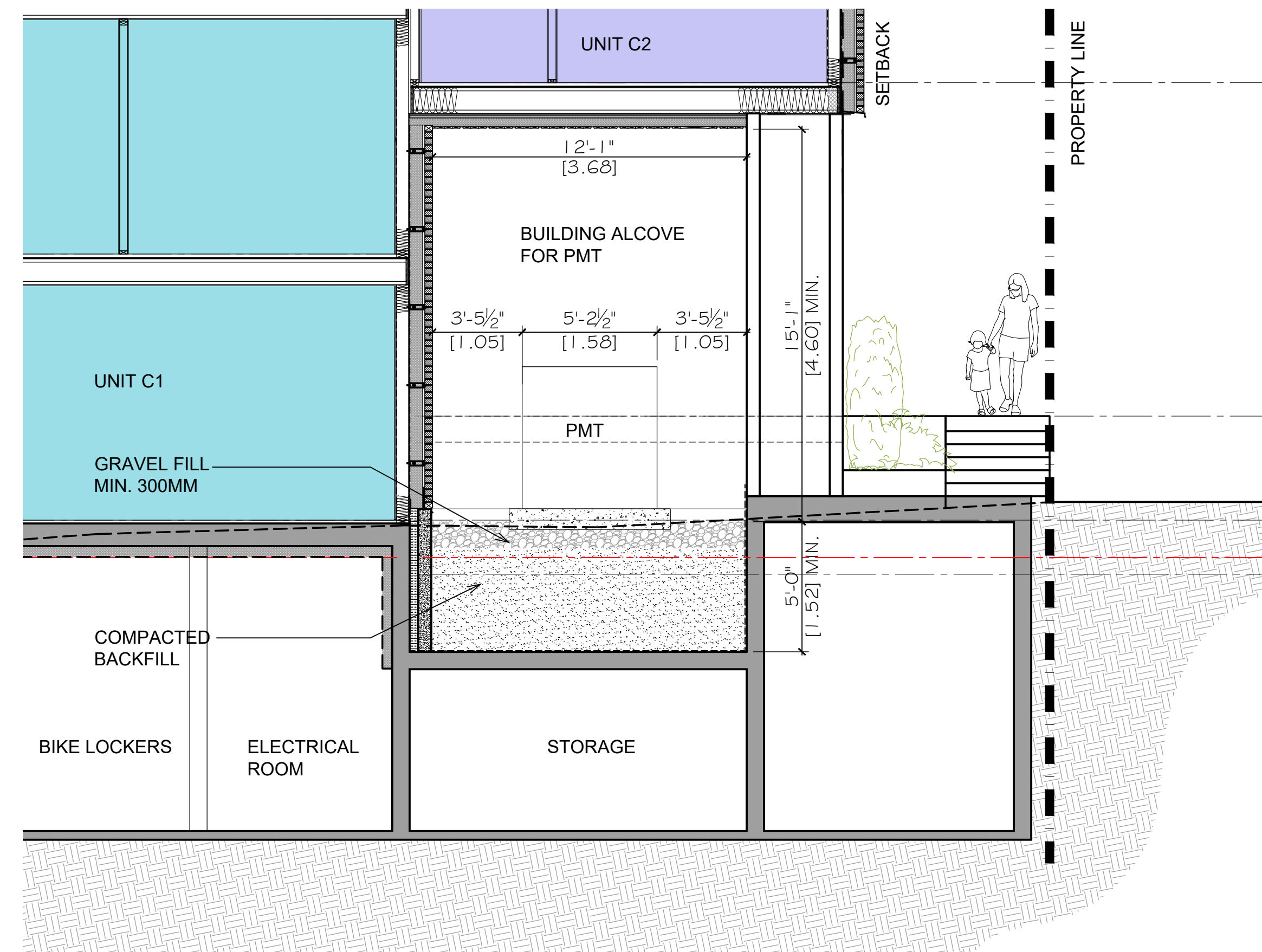
1/8" = 1'-0"

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**SECTION D**



**PMT INSIDE BUILDING ALCOVE**  
(SCALE: 1/4" = 1'-0")

CLIENT

**NAM (Moodyville)**  
Development Ltd.

PROJECT NO.

19465

PROJECT

427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

**BUILDING SECTIONS**

SEAL

DRAWING NO. REVISION

**A504**

DATE DRAWN

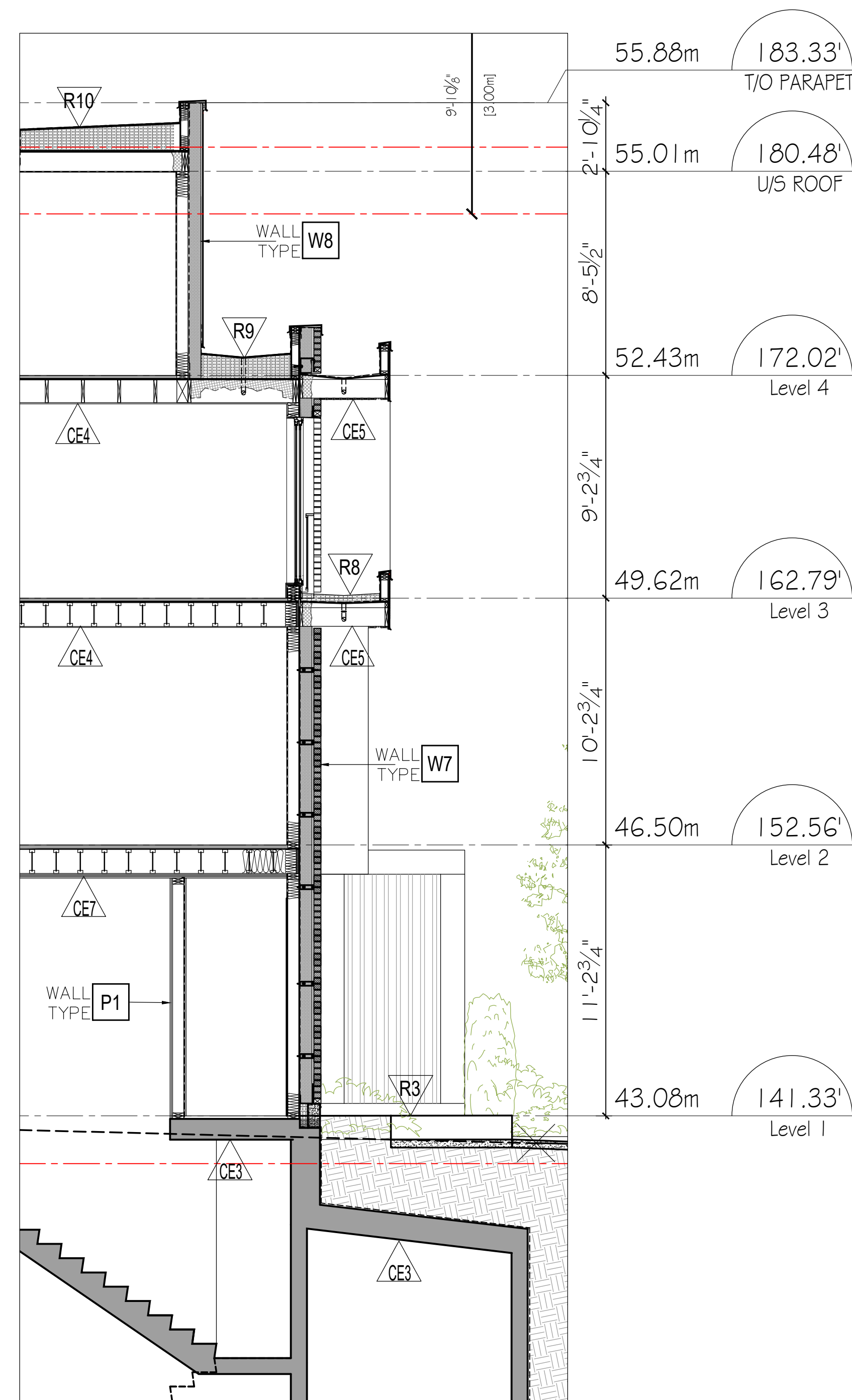
SCALE CHECKED

1/8" = 1'-0"

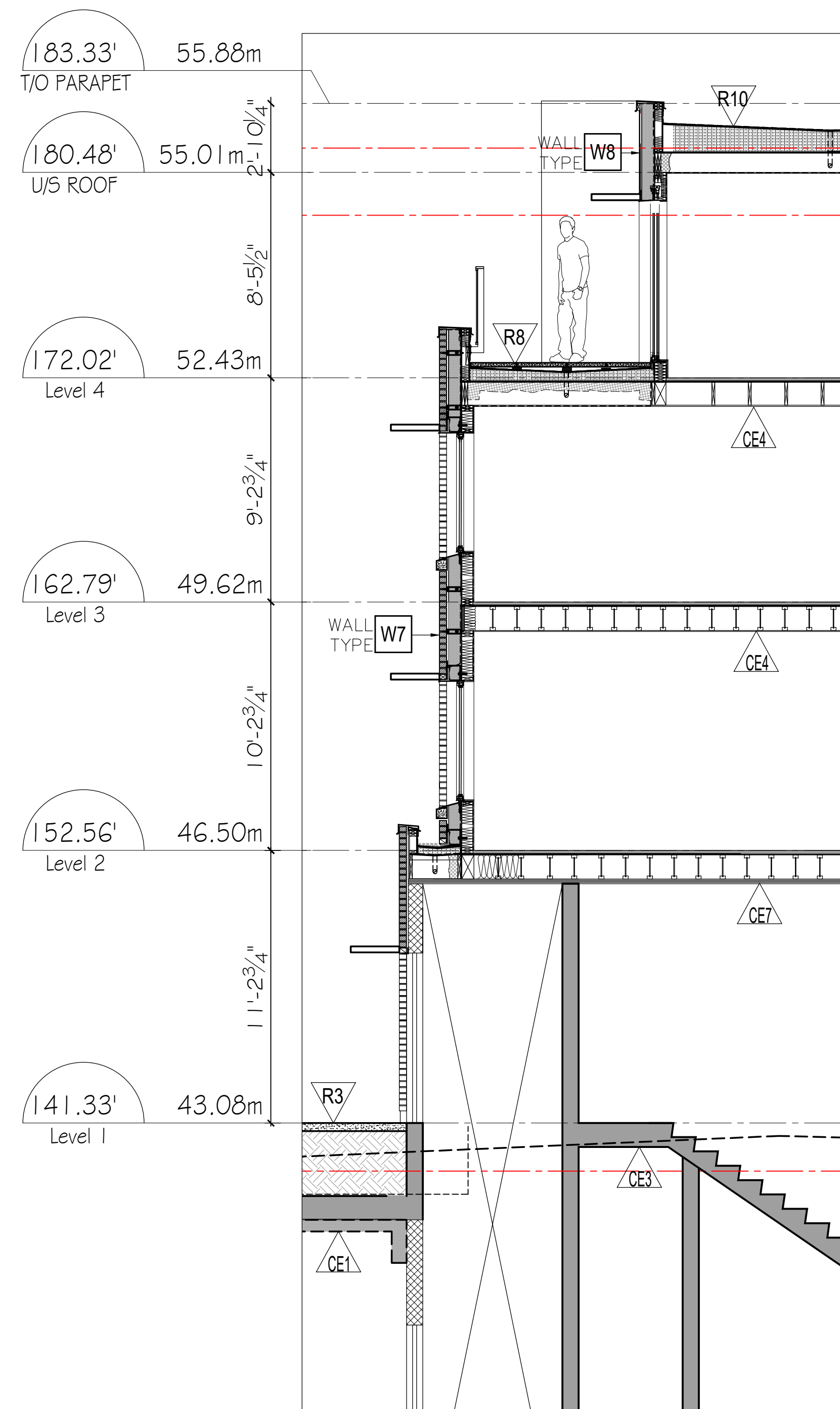
REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
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REISSUED FOR DP		05 MAY 2021

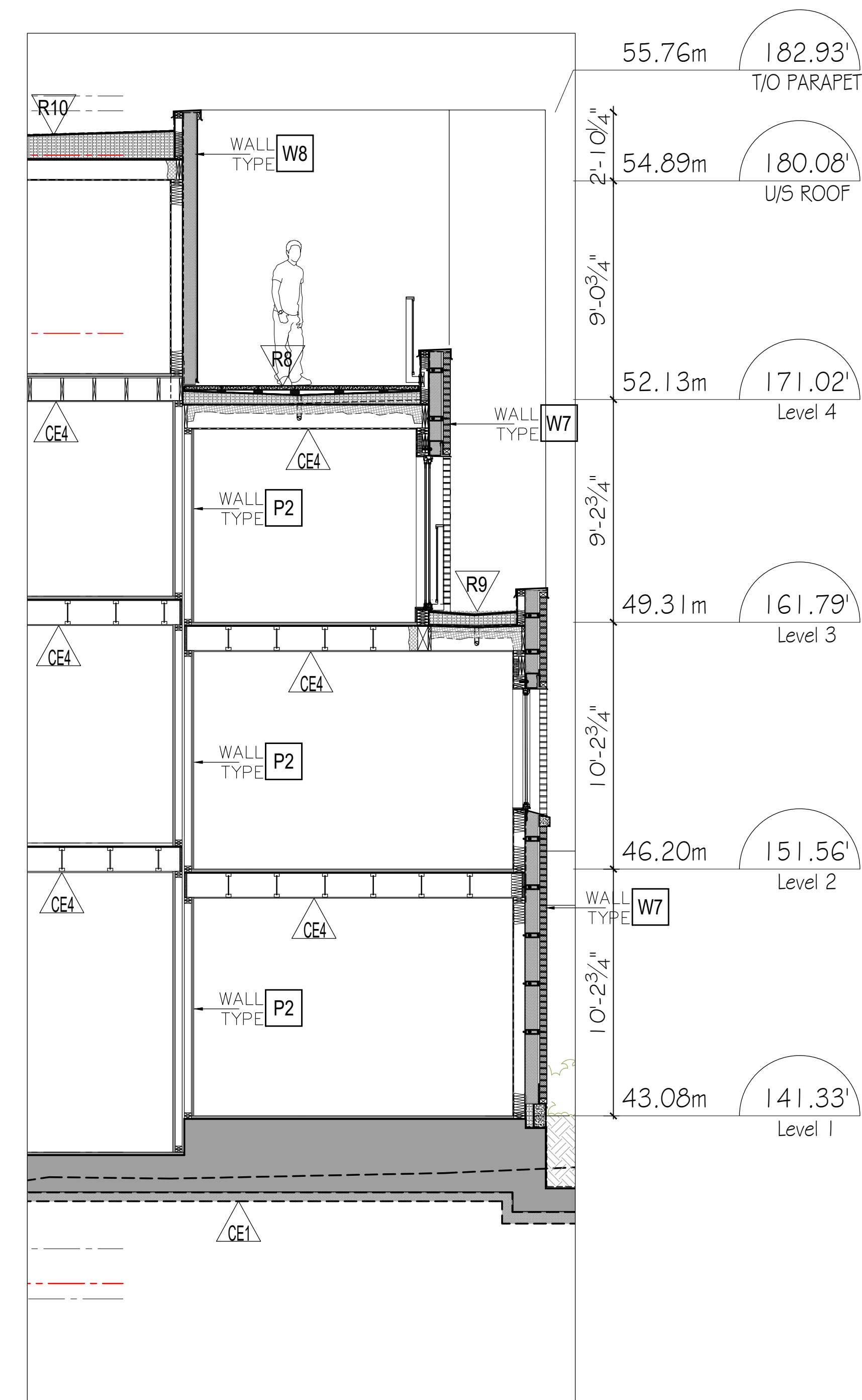
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1 WALL SECTION 1  
1/4" = 1'-0"



2 WALL SECTION 2  
1/4" = 1'-0"



3 WALL SECTION 3  
1/4" = 1'-0"

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

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PROJECT

427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

WALL SECTIONS

SEAL

DRAWING NO. REVISION

A505

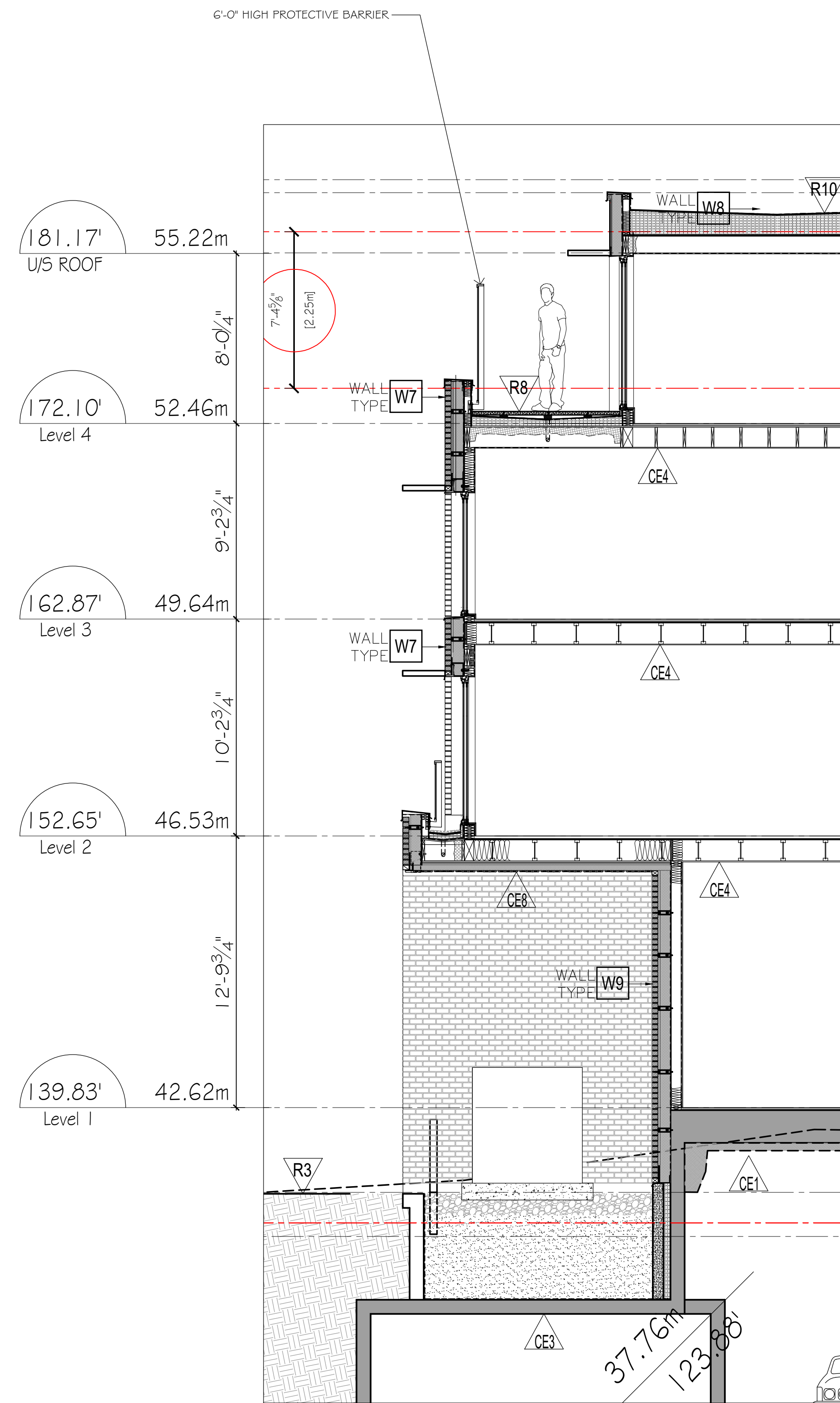
DATE DRAWN

SCALE CHECKED

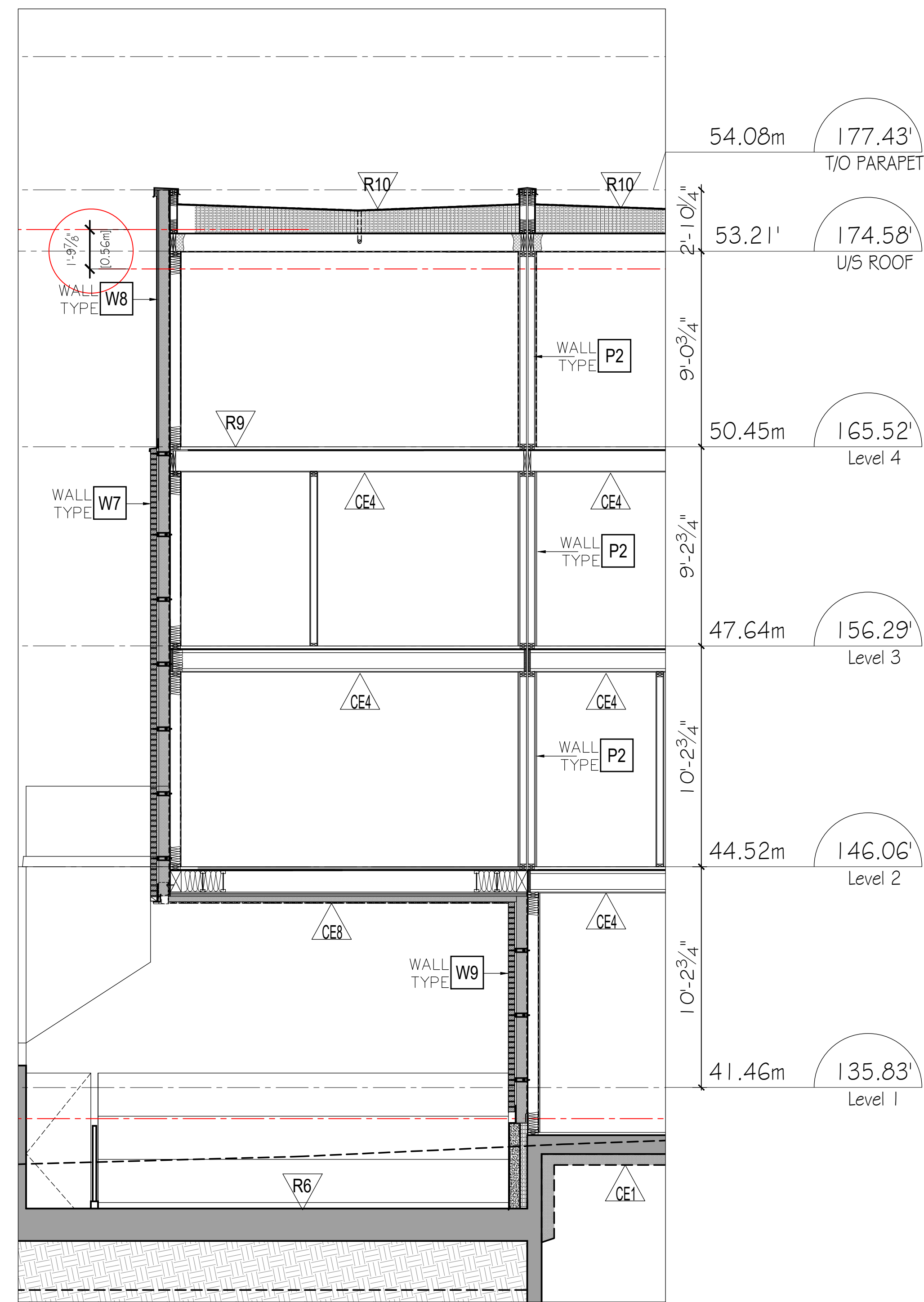
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
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1 WALL SECTION 4  
1/4" = 1'-0"



2 WALL SECTION 5  
1/4" = 1'-0"

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

WALL SECTIONS

SEAL

DRAWING NO. REVISION

A506

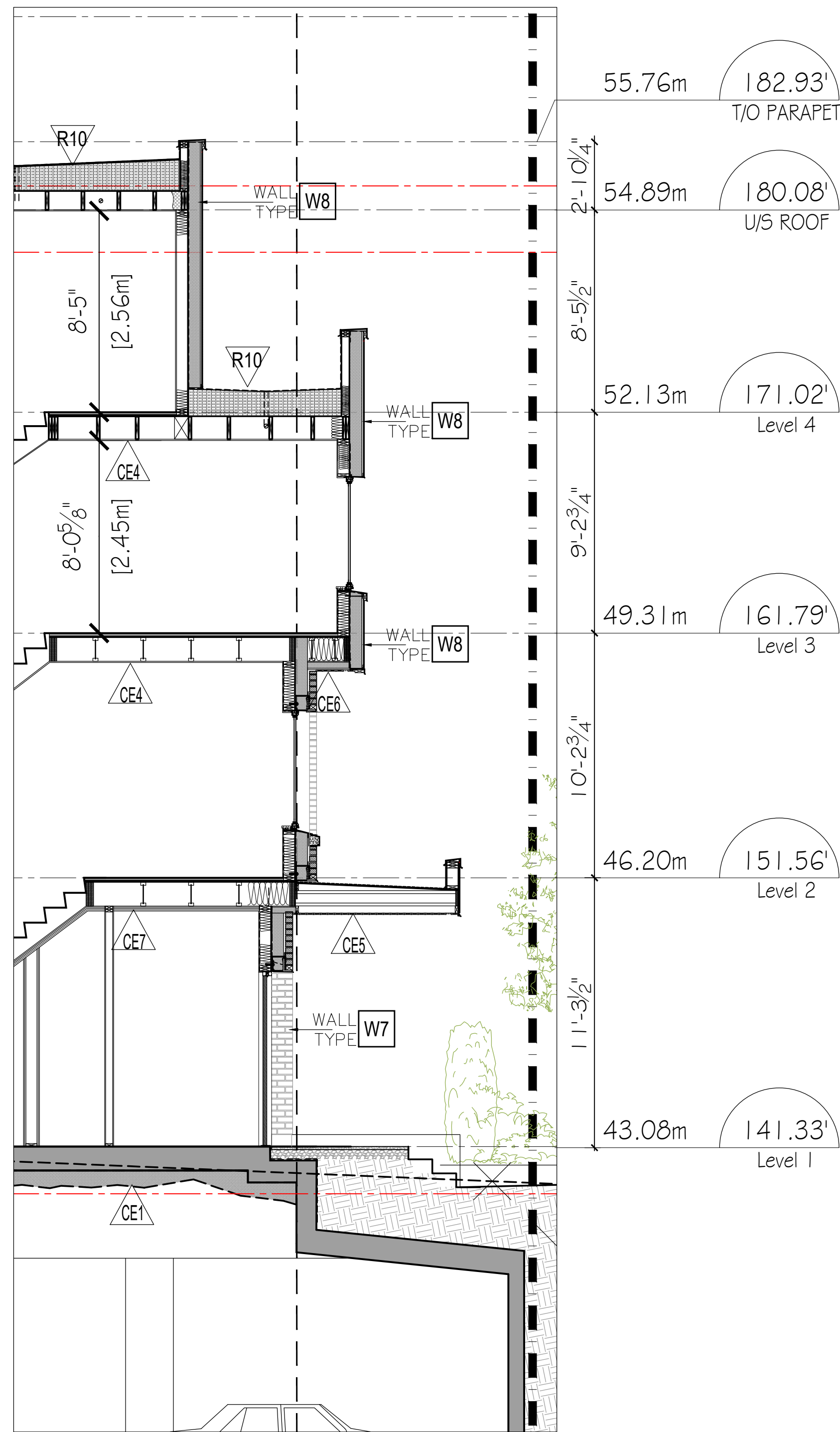
DATE DRAWN

SCALE CHECKED

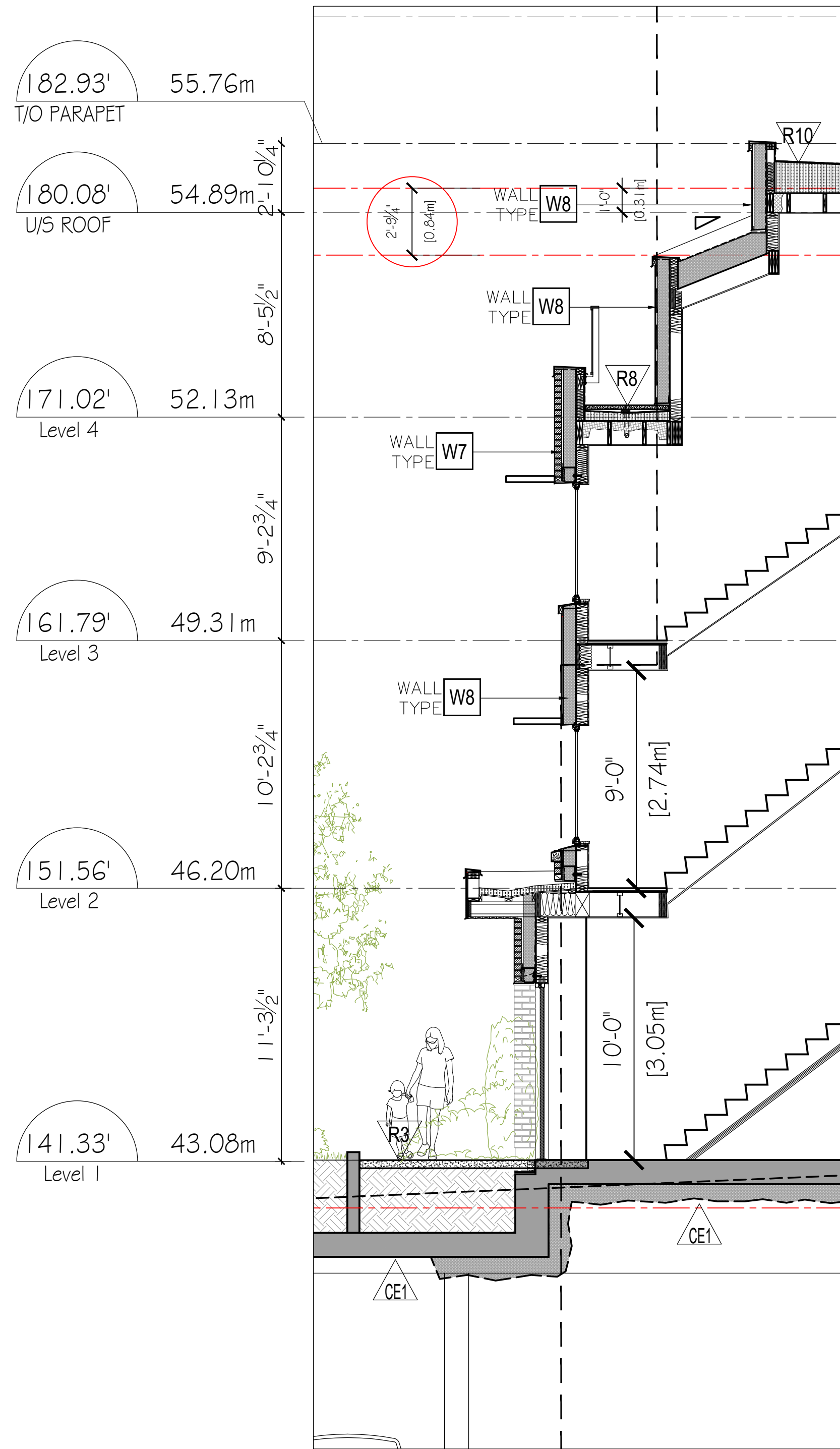
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
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REISSUED FOR DP		05 MAY 2021

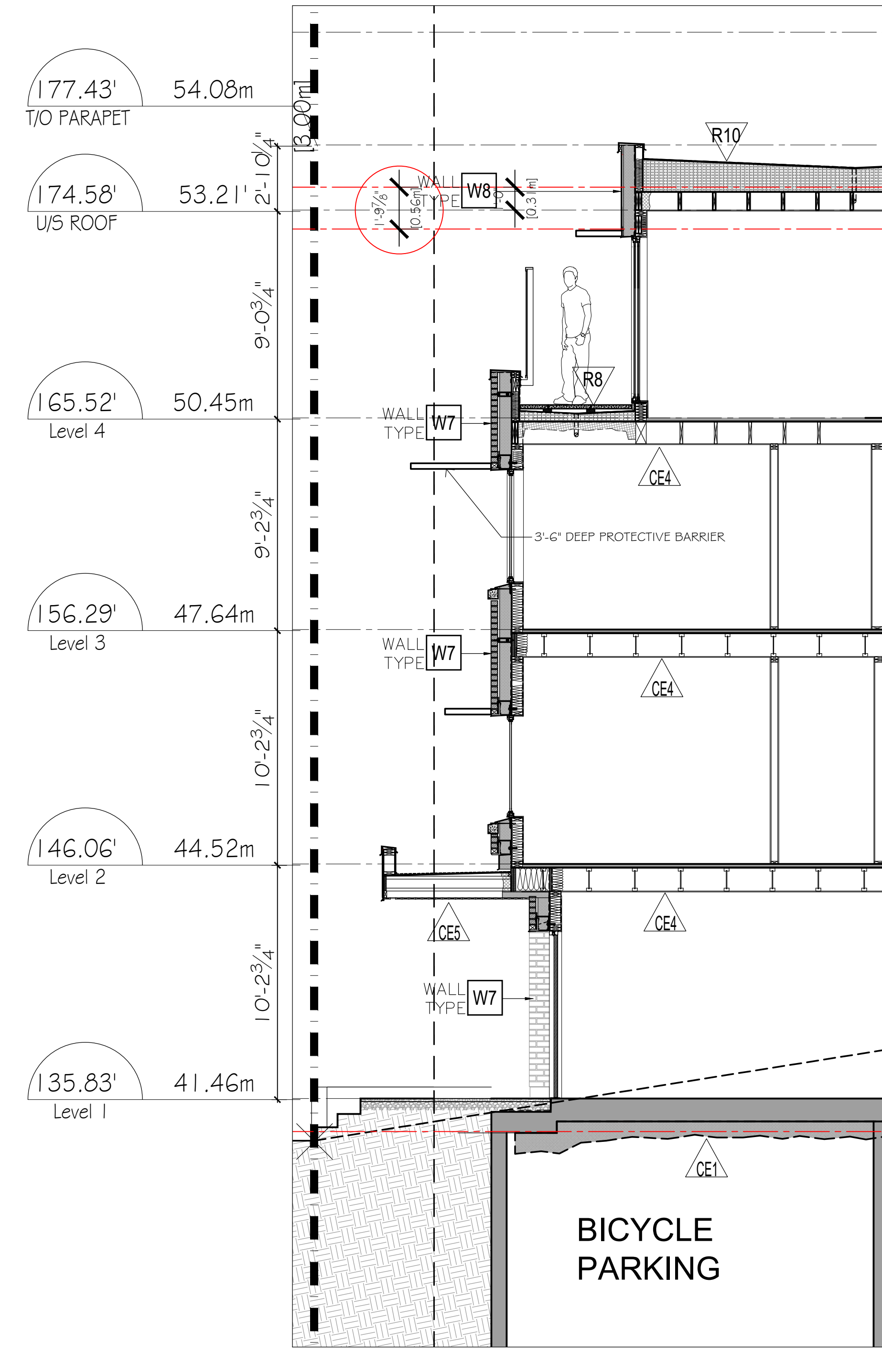
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1 WALL SECTION 6  
1/4" = 1'-0"



2 WALL SECTION 7  
1/4" = 1'-0"



3 WALL SECTION 8  
1/4" = 1'-0"

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

WALL SECTION

SEAL

DRAWING NO. REVISION

A507

DATE DRAWN

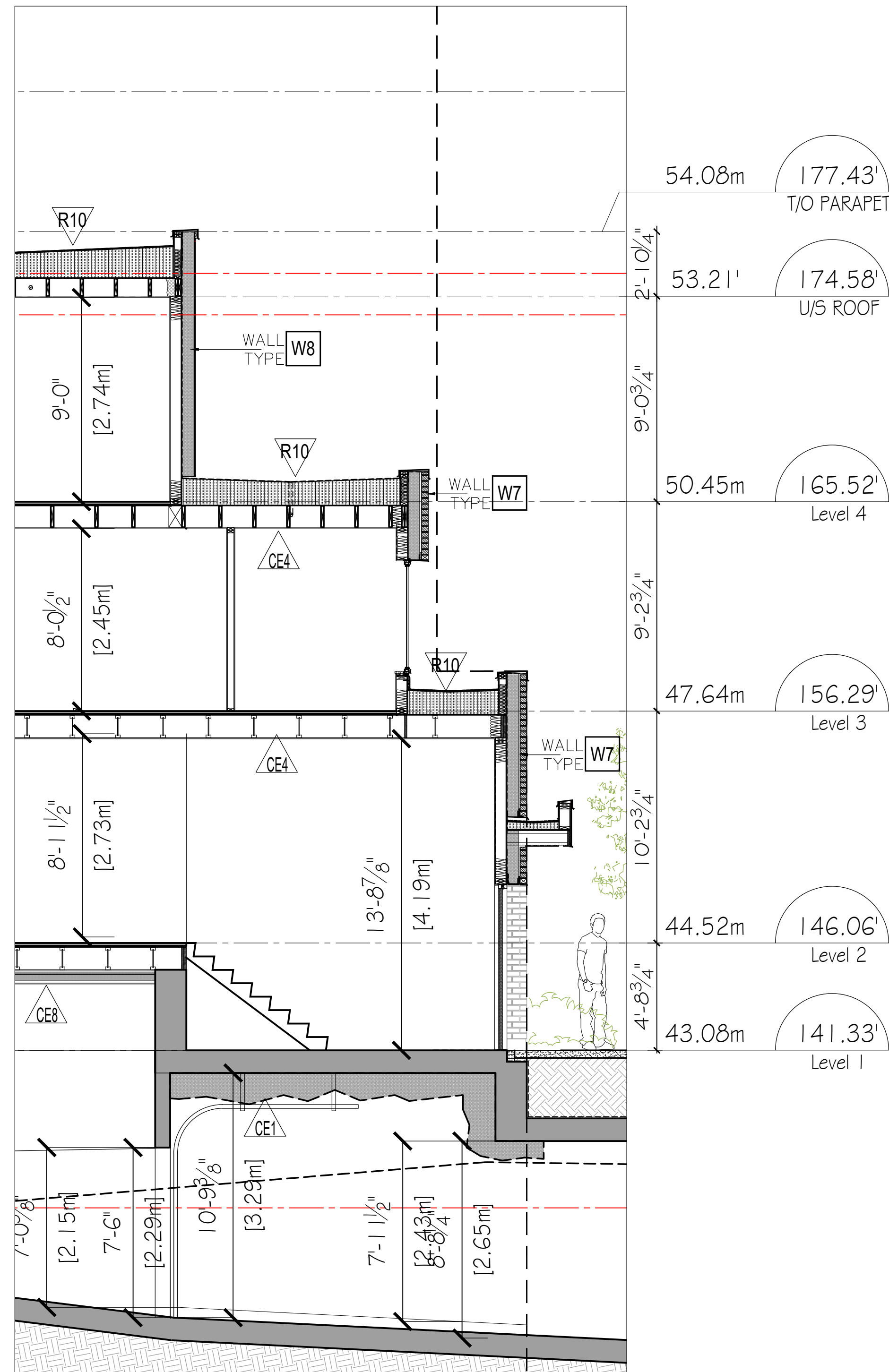
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1/4" = 1'-0"

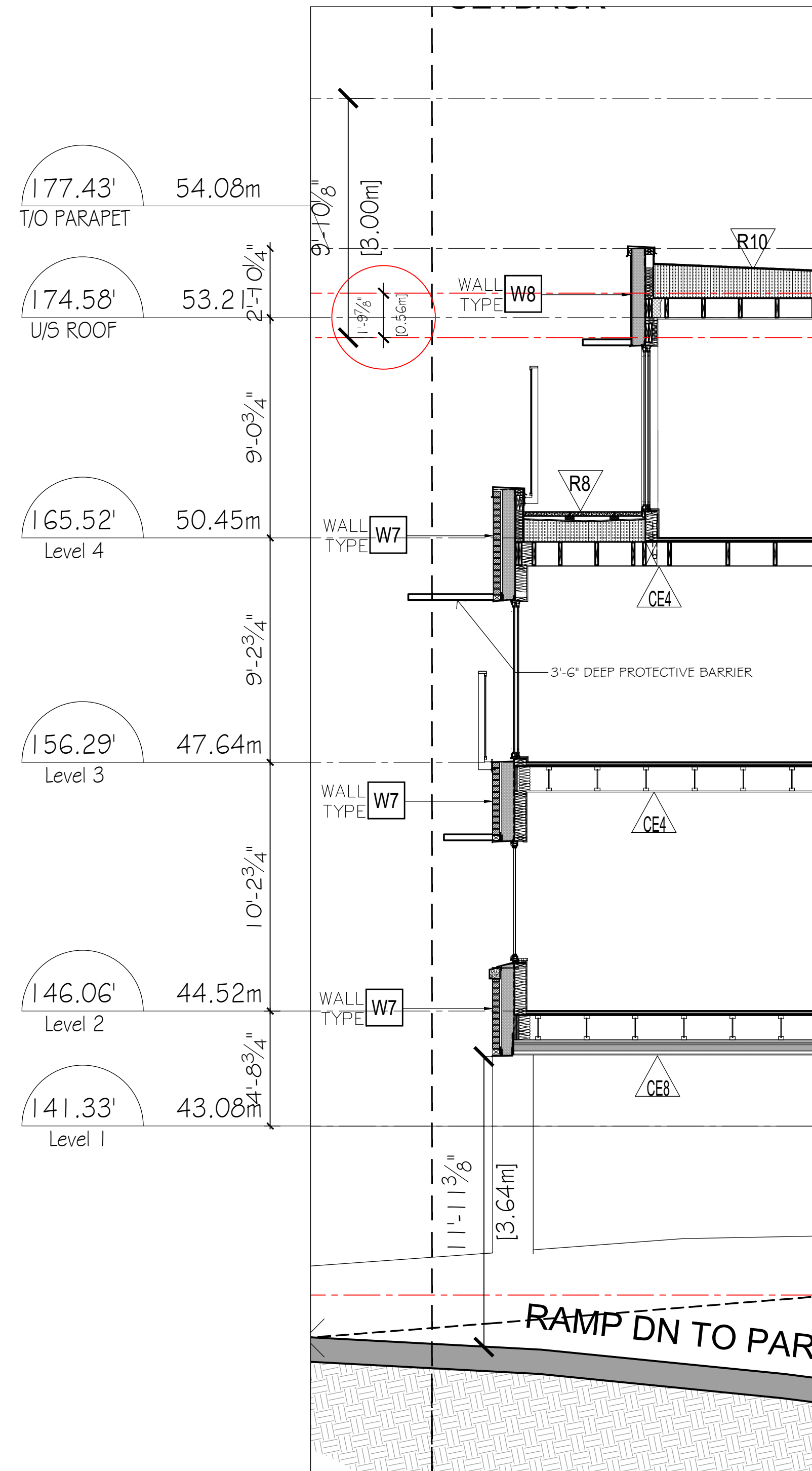


NO.	DESCRIPTION	DATE
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REISSUED FOR DP		05 MAY 2021

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1 WALL SECTION 9  
1/4" = 1'-0"



2 WALL SECTION 10  
1/4" = 1'-0"

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE  
WALL SECTION

SEAL

DRAWING NO. REVISION

A508

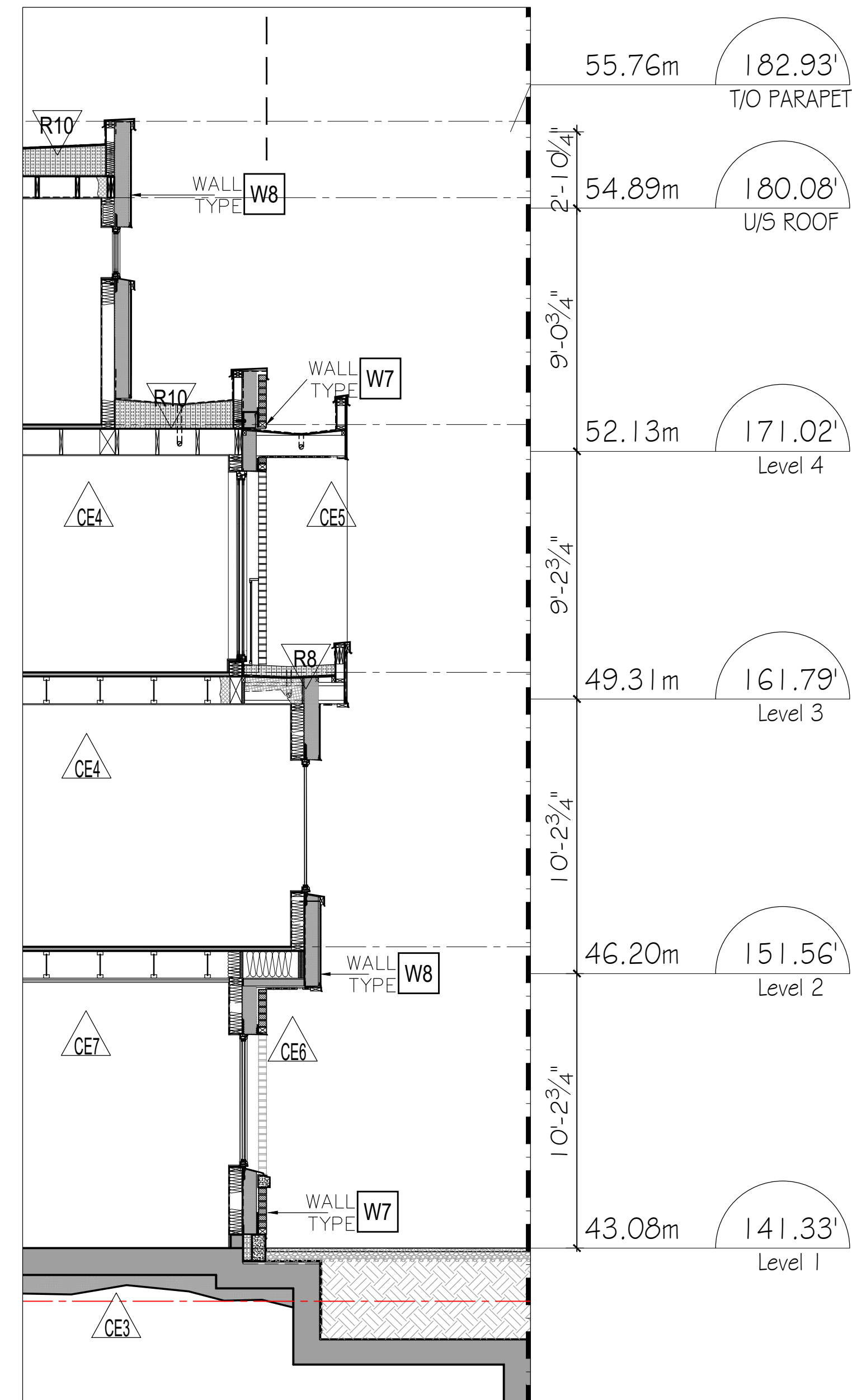
DATE DRAWN

SCALE CHECKED

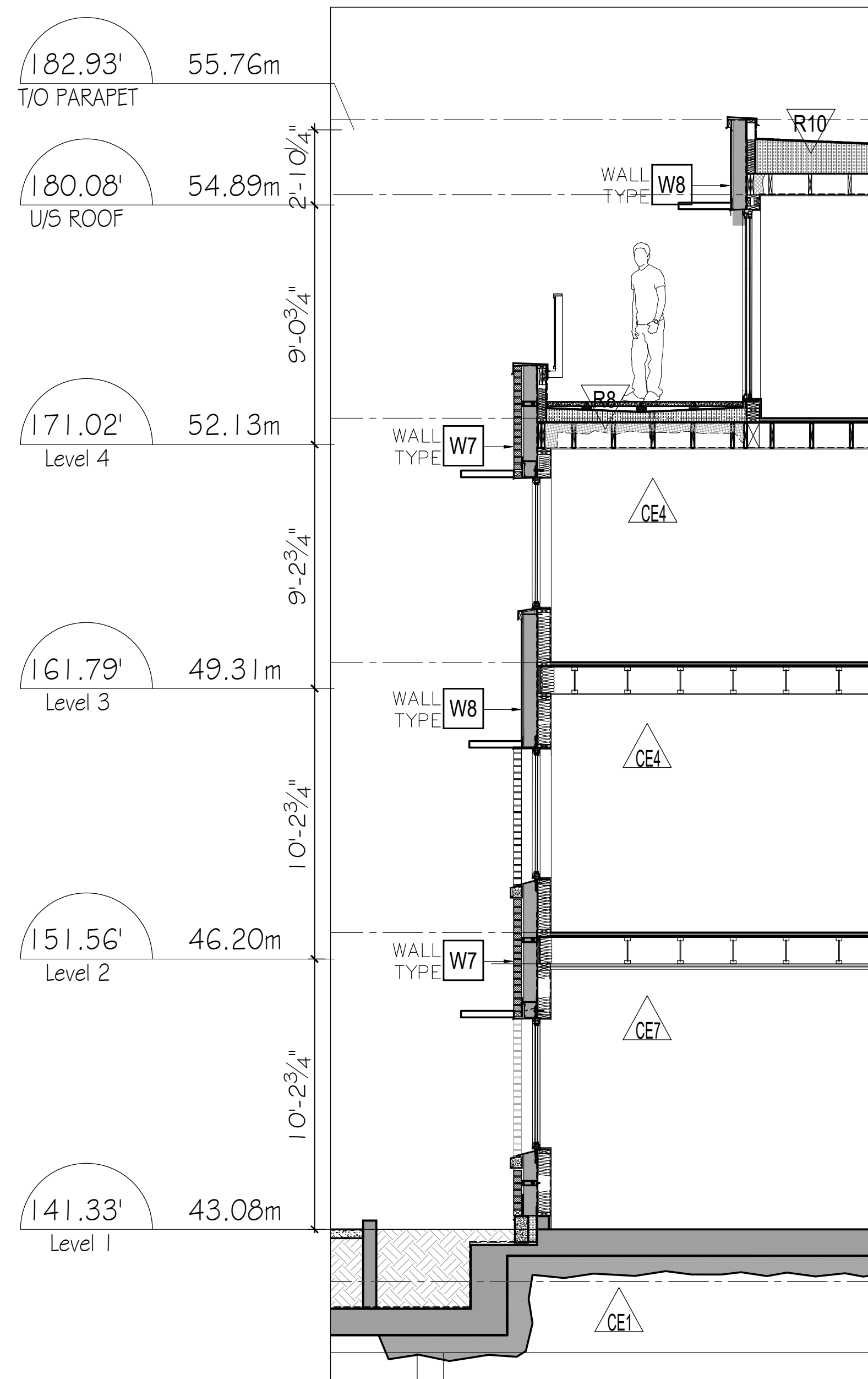
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

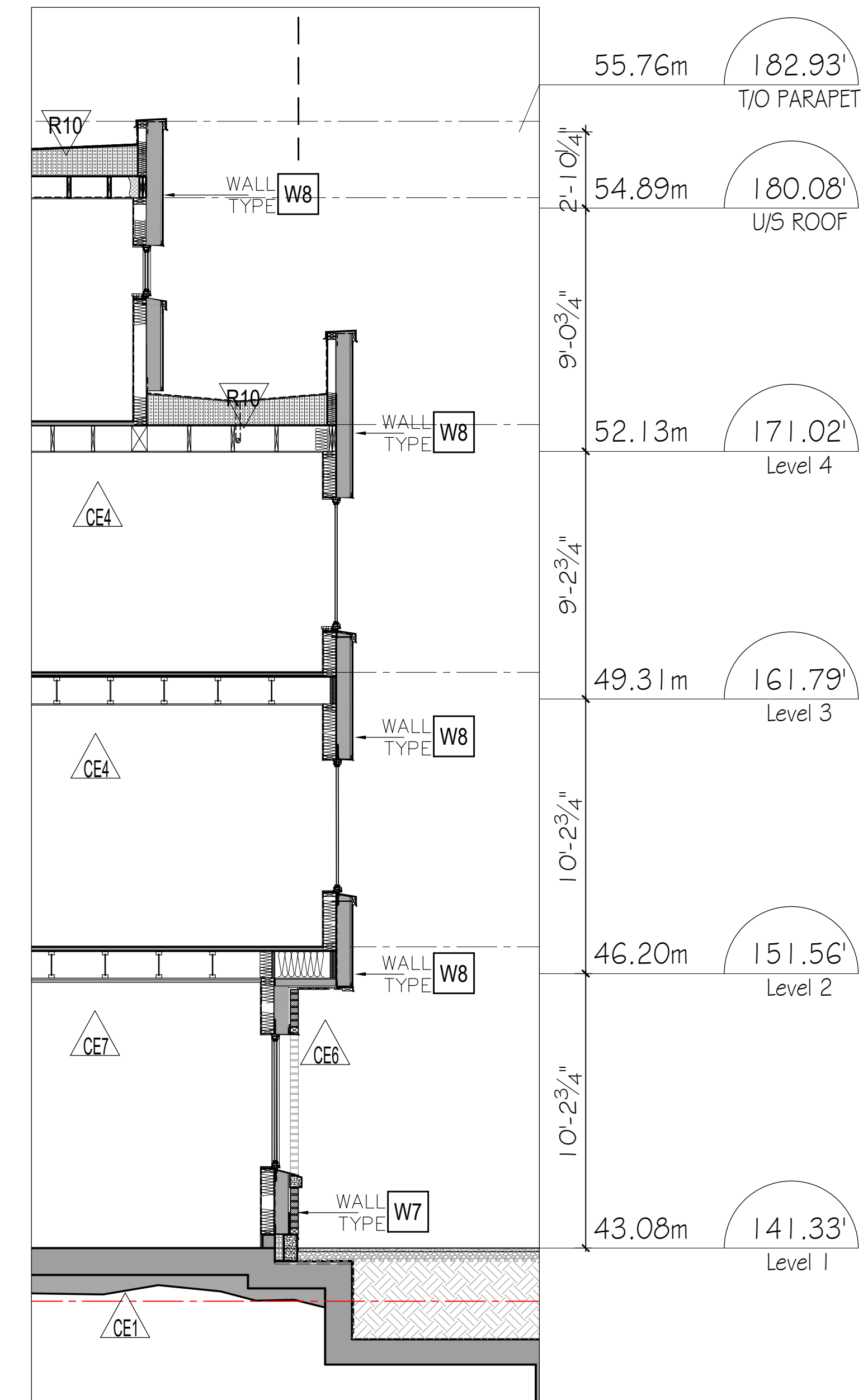
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1 WALL SECTION 11  
1/4" = 1'-0"



2 WALL SECTION 12  
1/4" = 1'-0"



1 WALL SECTION 13  
1/4" = 1'-0"

CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO. 19465

PROJECT  
427-429-433-435 E 3rd Street,  
North Vancouver, B.C.

DRAWING TITLE

WALL SECTION

SEAL

DRAWING NO. REVISION

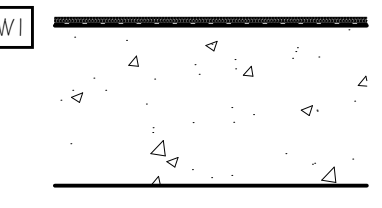
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DATE DRAWN

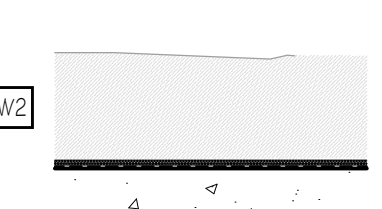
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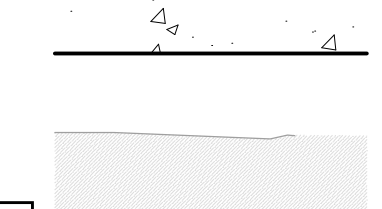
**EXTERIOR WALL & FOUNDATION WALL SCHEDULE**

**W1**  **TYPICAL FOUNDATION WALL (not insulated)**

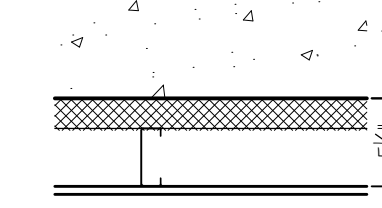
- ACCEPTABLE GRANULAR BACK-FILL
- CONT. FILTER FABRIC
- POLYOLEFIN PROTECTION COURSE
- 90 MIL FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT EMULSION WATERPROOFING MEMBRANE
- REINFORCED POLYESTER MESH AS REQUIRED BY MEMBRANE SUPPLIER
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONC. WALL

**W2**  **FOUNDATION WALL (blind-formed and not insulated)**

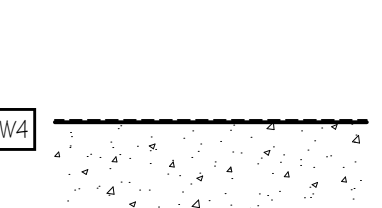
- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS)
- CONT. COMPOSITE DRAIN MAT
- FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT EMULSION WATERPROOFING MEMBRANE
- CONT. GEOCOMPOSITE PROTECTION COURSE
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

**W3**  **FOUNDATION WALL w/ INSULATION (blind-formed and insulated)**

- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS)
- CONT. GEOCOMPOSITE DRAIN MAT
- FLUID-APPLIED, POLYMER-ENHANCED, SINGLE COMPONENT, ASPHALT EMULSION WATERPROOFING MEMBRANE
- CONT. GEOCOMPOSITE PROTECTION COURSE
- STRUCTURAL CONCRETE WALL; REFER TO STRUCT. DWGS. FOR DETAILS
- 2" OF 2LB. POLYURETHANE SPRAY-FOAM INSULATION (NOM. R1.3) [VAPOUR BARRIER]
- 3-5/8" 25 ga. STL. STUDS @ MAX. 24" O.C.
- 1/2" GYPSUM BD. [THERMAL BARRIER]

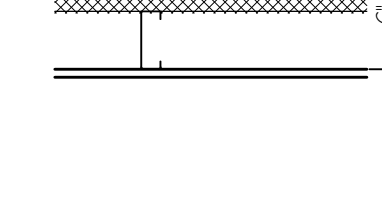
**W4**  **EXPOSED ARCHITECTURAL CONCRETE WALL (INSULATED)**

- 2 COATS OF ELASTOMERIC COATING ON PRIMER; MIN. DRY FILM THICKNESS TO MANUFACTURER'S RECOMMENDATIONS (CLOVERDALE "TOWERTHON", OR APPROVED ALTERNATE)
- MIN. 2" ARCHITECTURAL CONCRETE WALL [AIR BARRIER]; REFER TO STRUCT. DWGS.
- 2-1/2" OF 2LB. POLYURETHANE SPRAY-FOAM INSULATION (NOM. R1.6.25) [VAPOUR BARRIER]
- 3-5/8" 25 ga. STL. STUDS @ MAX. 24" O.C.
- 1/2" GYPSUM BD. [THERMAL BARRIER]

**W5**  **"INTERIOR" INSULATED WALL (eg. PARKADE SEPARATION)**

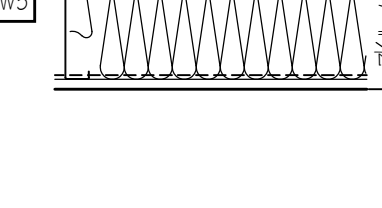
MIN. 1 HR. FIRE-RESISTANCE RATING BASED ON U.L.C. ASSEMBLY No. W415

- 5/8" TYPE 'X' G.W.B.
- 6" 25ga. STL. STUDS @ MAX. 16" O.C.
- R20 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER ON WARM SIDE
- 5/8" TYPE 'X' G.W.B.

**W6**  **"INTERIOR" INSULATED WALL (eg. PARKADE SEPARATION)**

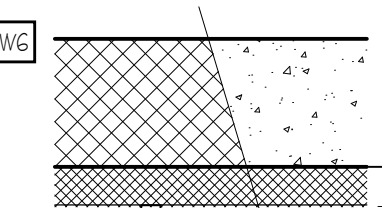
2 HR. FIRE RESISTANCE RATING BASED ON U.L.C. ASSEMBLY No. U905

- PAINT FINISH UNLESS NOTED OTHERWISE
- CONCRETE WALL (REFER TO STRUCT. DWGS.) OR NOM. 8" CMU [AIR BARRIER]
- 2-1/2" OF CONT. 2LB. POLYURETHANE SPRAY-FOAM (NOM. R1.6.25) [VAPOUR BARRIER]
- 3-5/8" 25 ga. STL. STUDS @ MAX. 24" O.C., SPACED OFF CONC./CMU WALL
- 1/2" GYPSUM BD. [THERMAL BARRIER]


**W6**  **FURRED-OUT STAIR WALL IN PARKADE**

MIN. 2 HR. FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B-APPENDIX D, 2018 B.C.B.C.

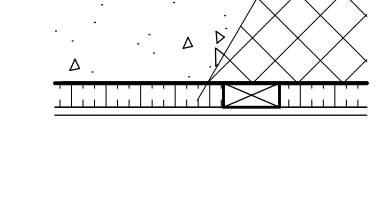
- PAINT FINISH, UNLESS NOTED OTHERWISE
- REINFORCED NORMAL WEIGHT CONCRETE WALL [AIR BARRIER] (REFER TO STRUCT. DWGS.)
- 1-1/2" RIGID XPS INSULATION (NOMINAL R7.5) WITH TAPED JOINTS [VAPOUR BARRIER]
- TYVEK COMMERCIAL WRAP STRIP BEHIND WOOD STUDS [VAPOUR BARRIER]
- 2x4 STUDS ON FLAT @ MAX. 24" OC.
- 5/8" TYPE 'X' G.W.B.

**W7**  **FRAMED WALL W/ BRICK VENEER**

- FACE BRICK, ECON SAXON SIZE (NOM. 3 1/2" x 3 1/2" x 1 1/2") STAINLESS STEEL ADJUSTABLE BRICK TIES W/ THERMAL CLIP SYSTEM
- MIN. 1" AIR SPACE
- 6" ROXUL CAVITYROCK DD SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R25.2 BASED ON R4.2 PER IN.]
- CONTINUOUS VAPOUR-PERMEABLE AIR BARRIER MEMBRANE
- 1/2" EXTERIOR PLY SHEATHING
- 2x6 STUDS @ MAX 16" O.C. (REFER TO STRUCT. DWGS)
- NOM. R 22 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-5.1.34-M86
- 1/2" G.W.B.

**W8**  **FRAMED WALL W/ CEMENTITIOUS PANEL**

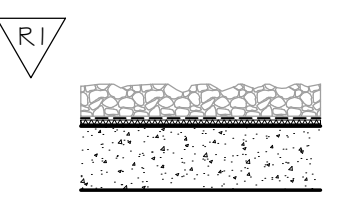
- 1/2" HARD-PANEL CLADDING
- 1x3 BORATE-TREATED WD. OR 1/2" x 3" P.T. PLY STRAPPING WITH MAX. SPACING AS PER CLADDING MANUFACTURER'S RECOMMENDATIONS, SECURED TO STUDS
- 6" ROXUL CAVITYROCK DD SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R25.2 BASED ON R4.2 PER IN.]
- CONTINUOUS VAPOUR-PERMEABLE AIR BARRIER MEMBRANE
- 1/2" EXTERIOR PLY SHEATHING
- 2x6 STUDS @ MAX 16" O.C. (REFER TO STRUCT. DWGS)
- NOM. R 22 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-5.1.34-M86
- 1/2" G.W.B.

**W9**  **FRAMED WALL W/ BRICK VENEER (2HR RATED)**

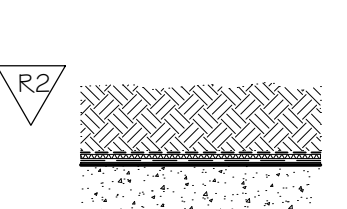
2 HR. FIRE RESISTANCE RATING AS PER ULC DESIGN NO. U371

- FACE BRICK, ECON SAXON SIZE (NOM. 3 1/2" x 3 1/2" x 1 1/2") STAINLESS STEEL ADJUSTABLE BRICK TIES W/ THERMAL CLIP SYSTEM
- MIN. 1" AIR SPACE
- 6" ROXUL CAVITYROCK DD SEMI-RIGID INSULATION (NON-COMBUSTIBLE) [R25.2 BASED ON R4.2 PER IN.]
- CONTINUOUS VAPOUR-PERMEABLE AIR BARRIER MEMBRANE
- 5/8" EXTERIOR GYPSUM SHEATHING
- 2x6 STUDS @ MAX 16" O.C. (REFER TO STRUCT. DWGS)
- NOM. R 22 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER TO CAN/CGSB-5.1.34-M86
- 2 LAYERS OF 5/8" G.W.B.


**ROOF & DECK ASSEMBY SCHEDULE**

**R1**  **NON-INSULATED BALLASTED ROOF**


- MIN. 3" STONE BALLAST (MIN. 22 lb/ SQ.FT.)
- CONT. FILTER FABRIC
- LOOSE-LAID 0.40" DRAINAGE MAT
- 2 PLY MODIFIED SB5 ROOF MEMBRANE
- CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL)

**R2**  **NON-INSULATED PLANTER ROOF**

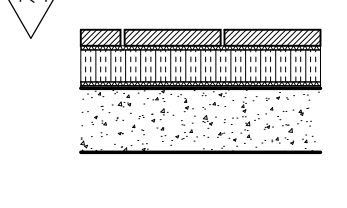
- PLANTING MEDIUM (MIN. 18" MAX. 36" DEPTH)
- CONT. FILTER FABRIC
- 0.40" DRAINAGE MAT
- 1.8 mil WOVEN POLYETHYLENE ROOT BARRIER MEMBRANE
- 2 PLY MODIFIED SB5 MEMBRANE
- CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL)

**R3**  **NON-INSULATED PEDESTRIAN TRAFFIC ROOF W/ PAVERS**

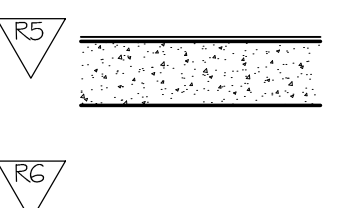
- MIN. 60mm THICK P.C. CONCRETE PAVERS
- MIN. 1" PEA-GRAVEL FOR LEVELING
- CONT. FILTER FABRIC
- 0.40" DRAINAGE MAT
- 2 PLY MODIFIED SB5 MEMBRANE
- CONCRETE SLAB, WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL)

**R4**  **INSULATED PEDESTRIAN TRAFFIC ROOF W/ PAVERS**

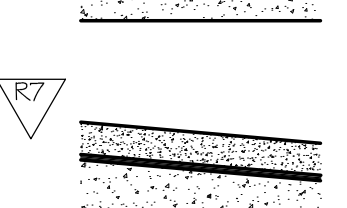
- MIN. 60mm THICK P.C. CONCRETE PAVERS
- MIN. 1" PEA-GRAVEL FOR LEVELING
- 0.40" DRAINAGE MAT
- 6" TYPE 4 RIGID INSULATION (R30)
- 0.40" DRAINAGE MAT
- MODIFIED 2 PLY SB5 MEMBRANE
- CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL)

**R5**  **NON-INSULATED PEDESTRIAN TRAFFIC CONCRETE SLAB**

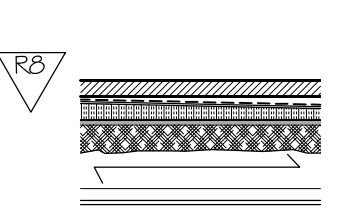
- FLUID-APPLIED POLYURETHANE PEDESTRIAN TRAFFIC MEMBRANE
- CONCRETE SLAB (REFER TO STRUCTURAL)

**R6**  **NON-INSULATED VEHICULAR TRAFFIC CONCRETE SLAB**


- HEAVY-DUTY FLUID-APPLIED POLYURETHANE VEHICULAR TRAFFIC MEMBRANE
- CONCRETE SLAB (REFER TO STRUCTURAL)

**R7**  **PARKING SLAB WITH TOPPING SLAB**

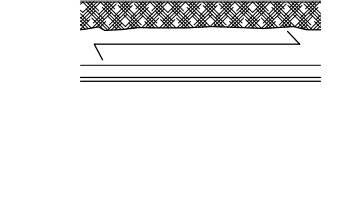
- +/- 3" CONC. TOPPING SLAB
- 2 PLY MODIFIED SB5 MEMBRANE
- SLOPED REINFORCED STRUCTURAL CONCRETE SLAB (REFER TO STRUCTURAL)

**R8**  **INSULATED DECK OVER INTERIOR SPACE**

- PRECAST CONC. PAVERS ON RUBBER SHIMS
- 0.40" DRAINAGE MAT TO LEVEL
- TORCH-ON 2 PLY MODIFIED SB5 ROOFING SYSTEM (MIN. 110 MIL) WITH CLASS 'A', 'B' OR 'C' CLASSIFICATION [AIR BARRIER]
- 1/4" ASPHALTIC COVER BD.; MECHANICALLY FASTENED
- 1/2" TYPE 4 RIGID INSULATION (R30)
- 3/8" PLYWOOD DECK
- 6" 2LB CLOSED CELL POLYURETHANE FOAM
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 1 LAYER OF 1/2" GWB

**R9**  **INSULATED ROOF OVER INTERIOR SPACE**

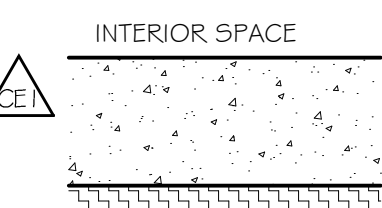
- TORCH-ON 2 PLY MODIFIED SB5 ROOFING SYSTEM W/ GRANULAR-FACE CAP SHEET TO CLASS 'A' CLASSIFICATION AS PER ULC-S107 [AIR BARRIER]
- 1/4" ASPHALTIC COVER BD.; MECHANICALLY FASTENED
- 6" TYPE 4 RIGID INSULATION (R15)
- 3/8" PLYWOOD DECK
- 6" 2LB CLOSED CELL POLYURETHANE FOAM
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 1 LAYER OF 1/2" GWB

**R10**  **TYPICAL ROOF ASSEMBLY (OVER HEATED SPACE)**

NO REQUIRED FIRE RESISTANCE RATING

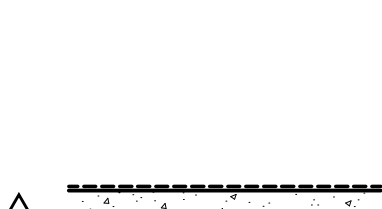
- TORCH-ON 2 PLY MODIFIED SB5 ROOFING SYSTEM W/ GRANULAR-FACE CAP SHEET TO CLASS 'A' CLASSIFICATION AS PER ULC-S107 [AIR BARRIER]
- 1/4" ASPHALTIC COVER BD.; MECHANICALLY FASTENED
- TAPERED TYPE 4 RIGID INSULATION TO CREATE DRAIN SLOPES; MIN. 1 1/2" THICK (R60)
- SELF-ADHERED VAPOUR BARRIER MEMBRANE (SOPRAVAFR OR APPROVED ALTERNATE)
- 3/4" T&G PLY DECKING
- 2x10 JOISTS SPACED AS PER STRUCT. DWGS. (MAX. 16" O.C.)
- 1/2" GWB

**CEILING/ FLOOR SCHEDULE**

**CE1**  **INSULATED PARKADE CEILING AND EXPOSED CONC. SOFFITS**


MIN. 2 HR. FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B-APPENDIX D, 2018 B.C.B.C. (CONC. ONLY)

- FLOOR FINISH (SEE INTERIOR DESIGN PLANS)
- 1-1/2" GYPCRETE TOPPING (E.G. THERMA-FLOOR BY MAXON)
- 1/2" SEPARATION BOARD
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS. FOR THICKNESS) [AIR & VAPOUR BARRIER]
- CONT. 5" NON-COMBUSTIBLE SPRAY-APPLIED INSULATION (NOM. R20); MONOGLASS OR APPROVED ALTERNATE

**CE2**  **PARKADE SLAB WITH VEHICULAR TRAFFIC MEMBRANE**

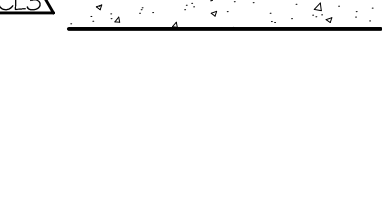
MIN. 2 HR. FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B-APPENDIX D, 2018 B.C.B.C. (CONC. ONLY)

- 2-COAT FLUID-APPLIED HEAVY-DUTY POLYURETHANE VEHICULAR TRAFFIC MEMBRANE WITH PRIMER
- REINFORCED CONC. SLAB (REFER TO STRUCT. DWGS.)
- PAINT FINISH

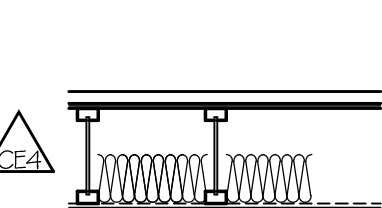
**CE3**  **CONCRETE SLAB ON GRADE**

NO REQUIRED FIRE RESISTANCE RATING

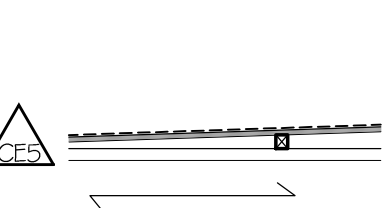
- CONC. SEALER AND HARDENER, EXCEPT IN MECHANICAL ROOMS
- PROVIDE EXPOSED POLYURETHANE TRAFFIC MEMBRANE
- REINFORCED CONC. SLAB (REFER TO STRUCT. DWGS.)
- AT HABITABLE SPACES ONLY, CONT. 6 MIL POLY DAMPROOFING
- COMPACTED SUB-GRADE AS PER GEOTECHNICAL AND STRUCTURAL ENGINEERS' RECOMMENDATIONS

**CE4**  **TYPICAL INTERIOR FLOOR ASSEMBLY**


- FINISH FLOORING
- 1-1/2" GYPCRETE TOPPING
- 3/4" T-4-G PLY SUB FLOOR AS PER STRUCT. DWGS.
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 3 1/2" FIBREGLOSS SOUND ATTENUATION BATTS
- 1/2" RESILIENT MTL. FLURRING CHANNELS PERPENDICULAR TO JOISTS AT MAX. 24" O.C.
- 1 LAYER OF 1/2" GWB

**CE5**  **TYPICAL BALCONY ASSEMBLY (NOT APPLICABLE OVER HABITABLE SPACE)**

- FLUID-APPLIED POLYURETHANE "PEDESTRIAN" DECK MEMBRANE
- 3/4" T-4-G PLY DECKING
- TAPERED SHIMS CUT FROM 2x4 (MIN. 1 1/2" DEPTH) PERPENDICULAR TO JOISTS
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 2x4 STUD FRAMING PERPENDICULAR TO JOISTS
- CEMENTITIOUS PANEL SOFFIT w/ PERFORATED STRIP VENT

**CE6**  **INSULATED SOFFIT ASSEMBLY (OVER HABITABLE SPACE)**

- FINISH FLOORING
- 1-1/2" GYPCRETE TOPPING
- 3/4" T-4-G PLY SUB FLOOR AS PER STRUCT. DWGS.
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 9-1/2" FIBREGLASS BATTS
- 1/2" DENGLAS GOLD SHEATHING
- CONTINUOUS SELF-ADHERED VAPOUR-PERMEABLE AIR BARRIER MEMBRANE
- 3" ROXUL COMFORTBOARD 110 (NON-COMBUSTIBLE) [R12 BASED ON R4 PER IN.]
- 2x4 STUD FRAMING PERPENDICULAR TO JOISTS
- CEMENTITIOUS PANEL SOFFIT w/ PERFORATED STRIP VENT

**CE7**  **INSULATED SOFFIT ASSEMBLY (2HR RATED) (OVER HABITABLE SPACE)**

MIN. 2 HR. FIRE RESISTANCE RATING BASED ON INTERTEK WNR FCA 120-3

- FINISH FLOORING
- 1-1/2" GYPCRETE TOPPING
- 3/4" T-4-G PLY SUB FLOOR AS PER STRUCT. DWGS.
- 11-7/8" TRUS-JOISTS SPACED AS PER STRUCT. DWGS.
- 9-1/2" FIBREGLASS BATTS
- 3 LAYERS OF 1/2" TYPE C GWB (WITH RESILIENT CHANNELS BETWEEN 1ST AND 2ND LAYER OF GWB)
- CONTINUOUS SELF-ADHERED VAPOUR-PERMEABLE AIR BARRIER MEMBRANE
- 3" ROXUL COMFORTBOARD 110 (NON-COMBUSTIBLE) [R12 BASED ON R4 PER IN.]
- 2x4 STUD FRAMING PERPENDICULAR TO JOISTS
- CEMENTITIOUS PANEL SOFFIT w/ PERFORATED STRIP VENT

**bfa studio architects**  
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)

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**REVISIONS**

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

CLIENT: \_\_\_\_\_

PROJECT NO: 19465

PROJECT: 427-429-433-435 E 3rd Street, North Vancouver, B.C.

DRAWING TITLE: WALL SCHEDULES

SCALE: \_\_\_\_\_ CHECKED: \_\_\_\_\_

DRAWING NO: \_\_\_\_\_ REVISION: \_\_\_\_\_

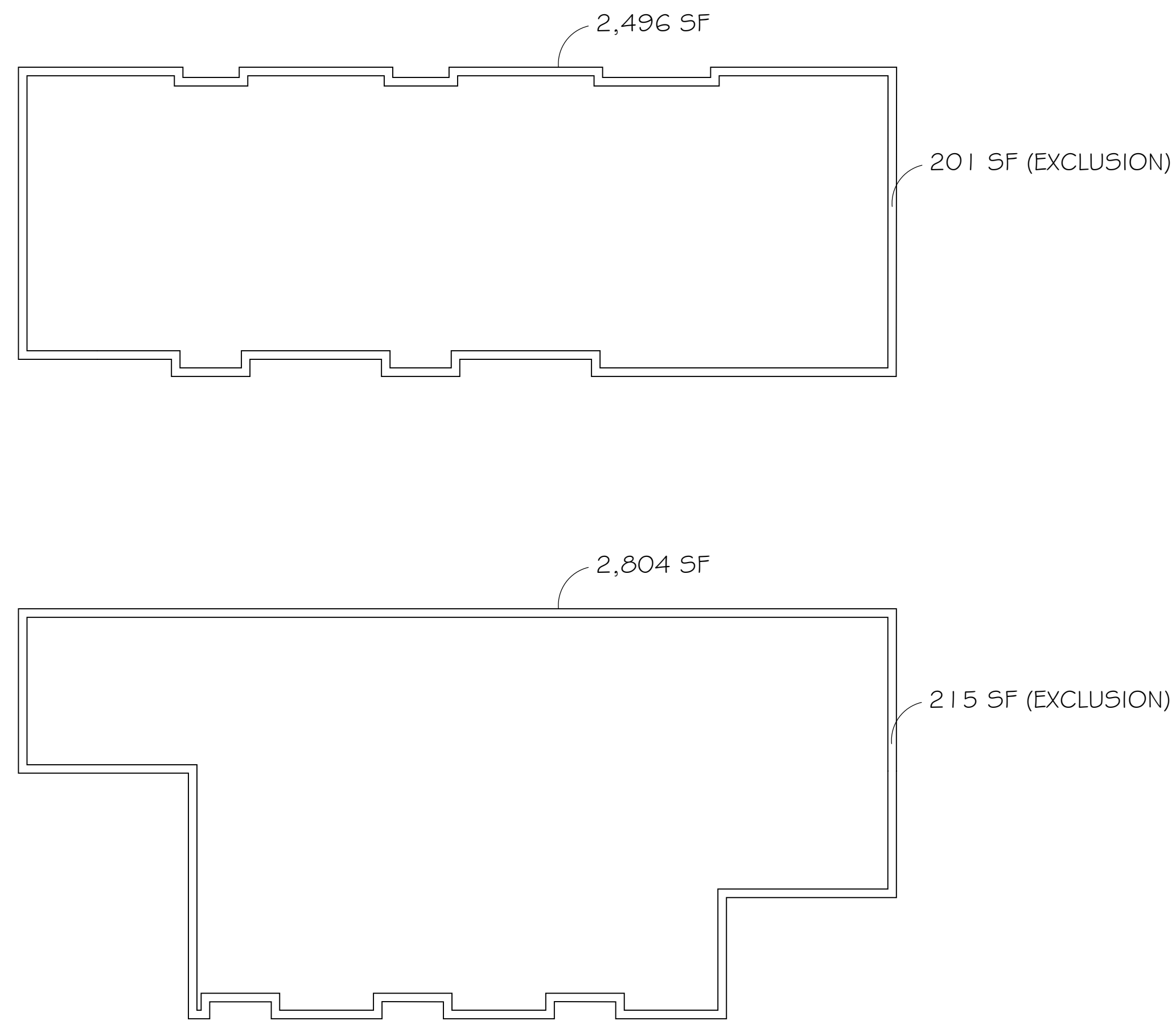
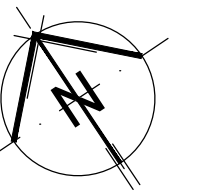
**A701**

DATE: \_\_\_\_\_ DRAWN: \_\_\_\_\_

SCALE: 3/32" = 1'-0"

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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**LEVEL 1 AREA CALCULATION:**

TOTAL GROSS FLOOR AREA	=	5,300 SF
WALL THICKNESS	=	416 SF
GREEN BUILDING	=	56.25 SF
ACCESSORY DWELLING	=	151 SF
ADAPTABLE DWELLING	=	108 SF
TOTAL EXCLUDED AREA	=	731.25 SF
TOTAL FSR	=	<u>4,568.75 SF</u>

CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 1  
AREA OVERLAY**

SEAL

DRAWING NO. **001** REVISION

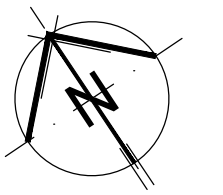
DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

**3/32" = 1'-0"**

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REISSUED FOR DP		05 MAY 2021

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CLIENT

**NAM (Moodyville)  
Development Ltd.**

PROJECT NO. **19465**

PROJECT  
**427-429-433-435 E 3rd Street,  
North Vancouver, B.C.**

DRAWING TITLE  
**LEVEL 2  
AREA OVERLAY**

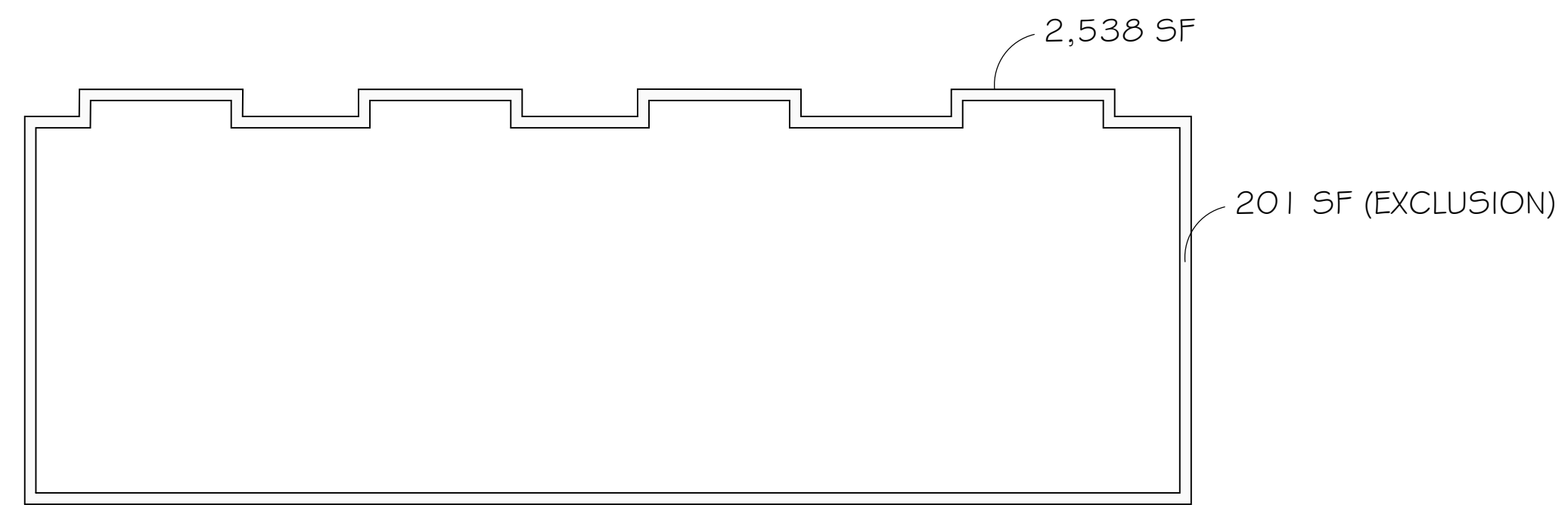
SEAL

DRAWING NO. **002** REVISION **-**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE \_\_\_\_\_ CHECKED \_\_\_\_\_

**3/32" = 1'-0"**

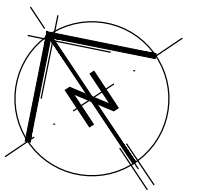


**LEVEL 2 AREA CALCULATION:**

TOTAL GROSS FLOOR AREA	=	5,934 SF
WALL THICKNESS	=	408 SF
GREEN BUILDING	=	56.25 SF
TOTAL EXCLUDED AREA	=	464.25 SF
TOTAL FSR	=	<u>5,469.75 SF</u>

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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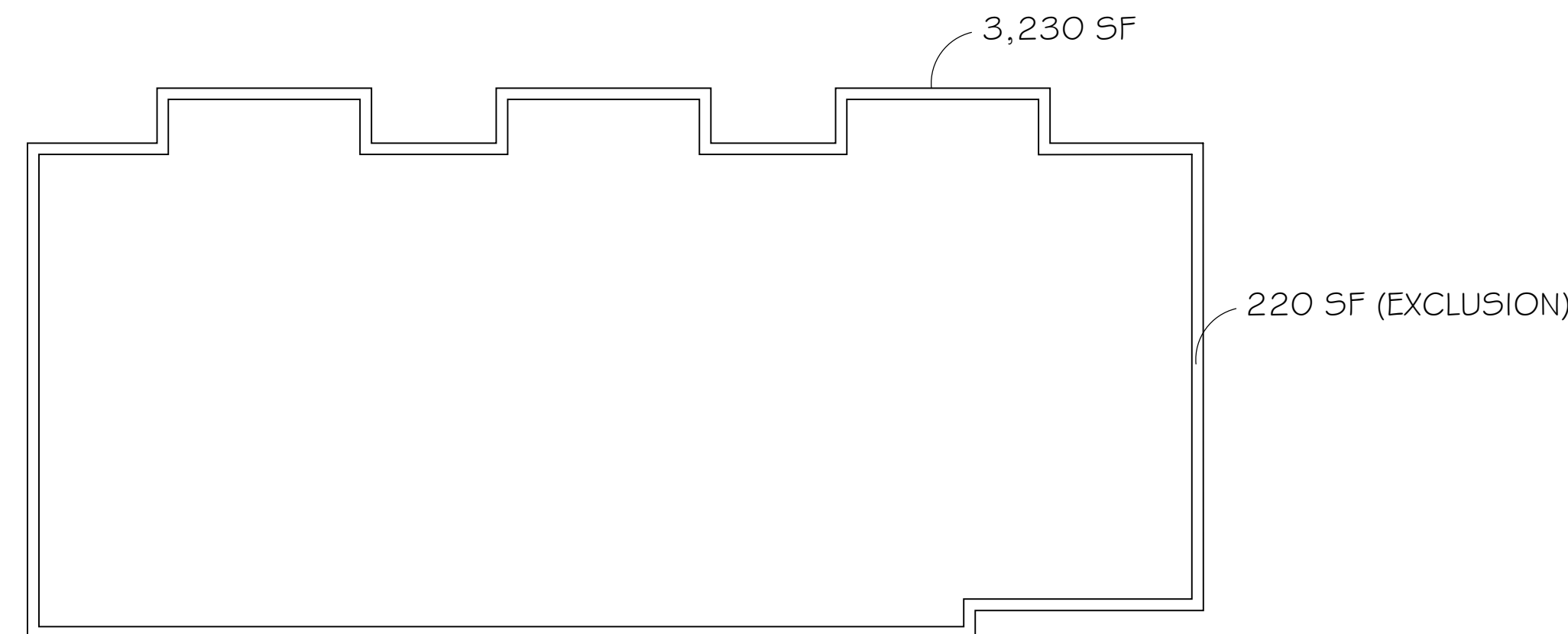
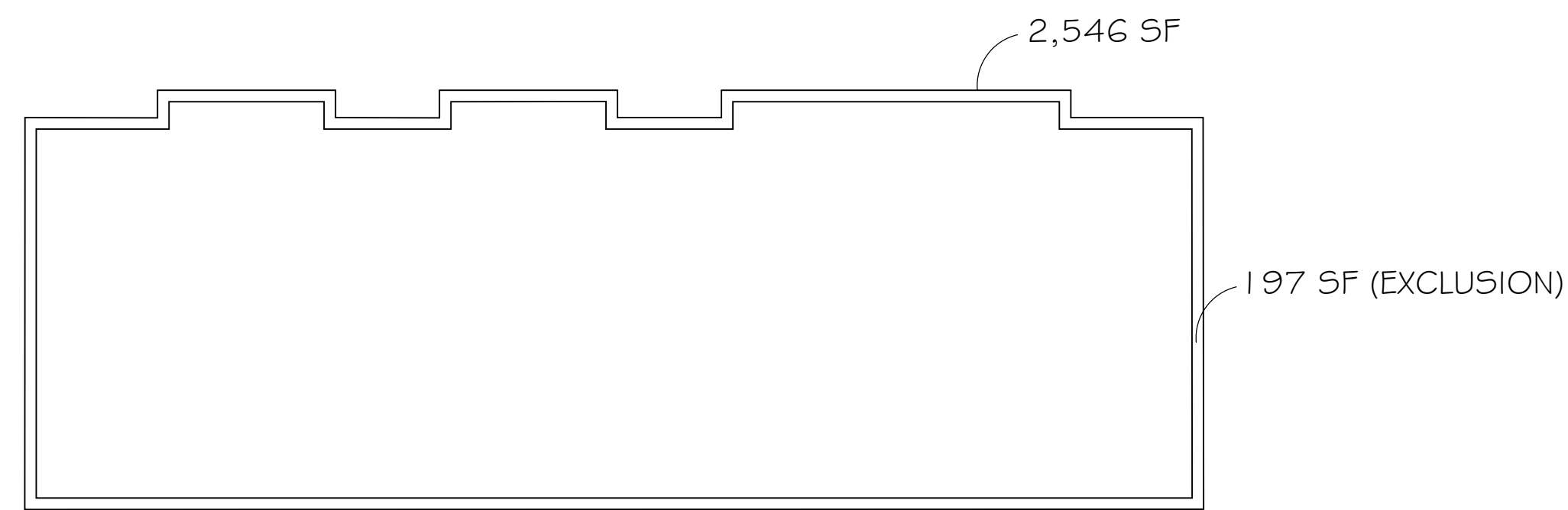
DRAWING TITLE  
**LEVEL 3  
AREA OVERLAY**

SEAL

DRAWING NO. **003** REVISION **-**

DATE \_\_\_\_\_ DRAWN \_\_\_\_\_

SCALE **3/32" = 1'-0"** CHECKED \_\_\_\_\_

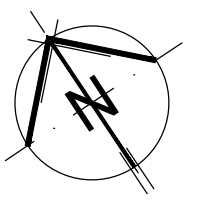


**LEVEL 3 AREA CALCULATION:**

TOTAL GROSS FLOOR AREA	=	5,776 SF
WALL THICKNESS	=	417 SF
GREEN BUILDING	=	56.25 SF
TOTAL EXCLUDED AREA	=	473.25 SF
TOTAL FSR	=	<u>5,302.75 SF</u>

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
REISSUED FOR DP		09 MAR 2021
REISSUED FOR DP		05 MAY 2021

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**427-429-433-435 E 3rd Street,  
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DRAWING TITLE  
**LEVEL 4  
AREA OVERLAY**

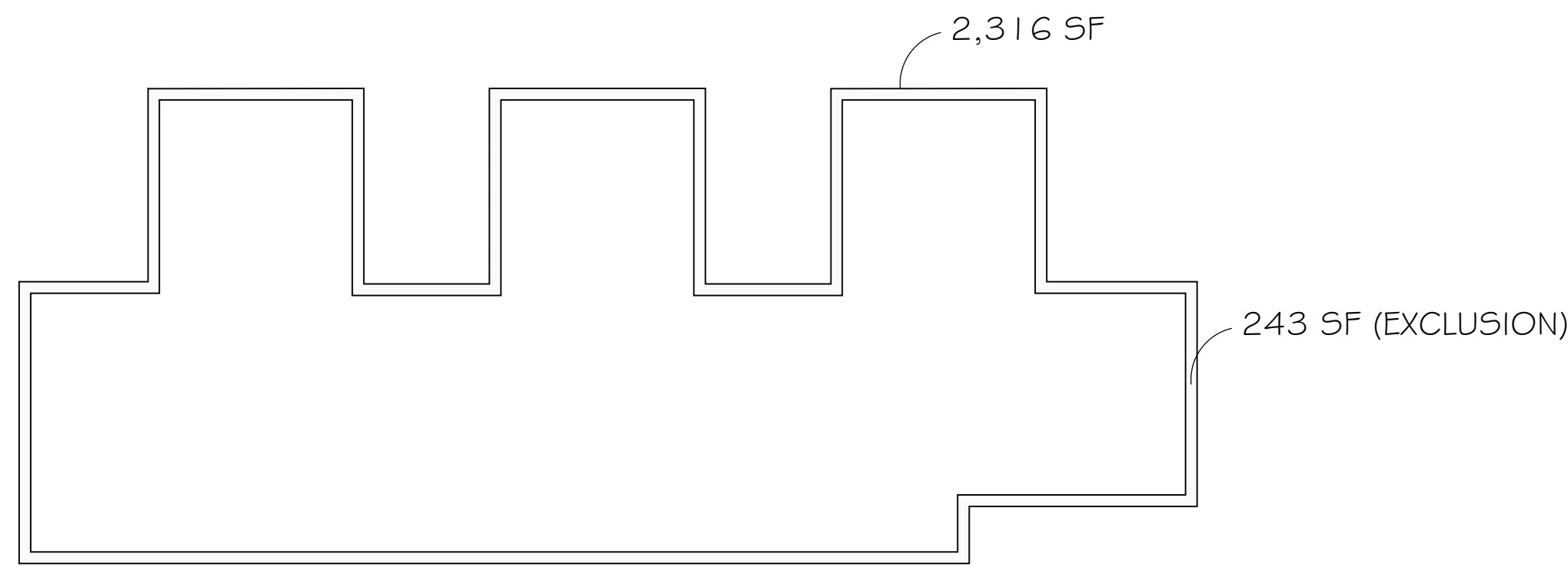
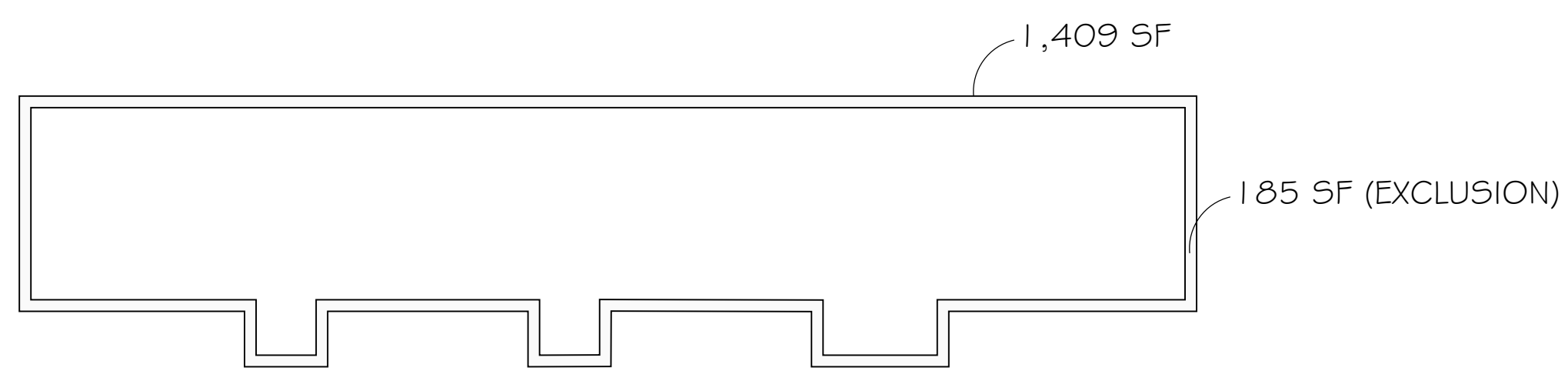
SEAL

DRAWING NO. REVISION

**004**

DATE DRAWN

SCALE CHECKED  
**3/32" = 1'-0"**

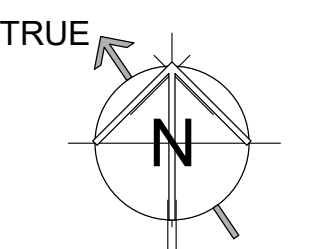


**LEVEL 4 AREA CALCULATION:**

TOTAL GROSS FLOOR AREA	=	3,725 SF
WALL THICKNESS	=	428 SF
GREEN BUILDING	=	56.25 SF
TOTAL EXCLUDED AREA	=	484.25 SF
TOTAL FSR	=	<u>3,240.75 SF</u>

NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
RE-ISSUED FOR DP		09 MAR 2021
RE-ISSUED FOR DP		05 MAY 2021

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PROJECT NO. 19465

PROJECT MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
427-429-433-435 EAST 3rd STREET, NORTH VANCOUVER, B.C.

DRAWING TITLE SHADOW ANALYSIS

SEAL

DRAWING NO. REVISION

**SA01**

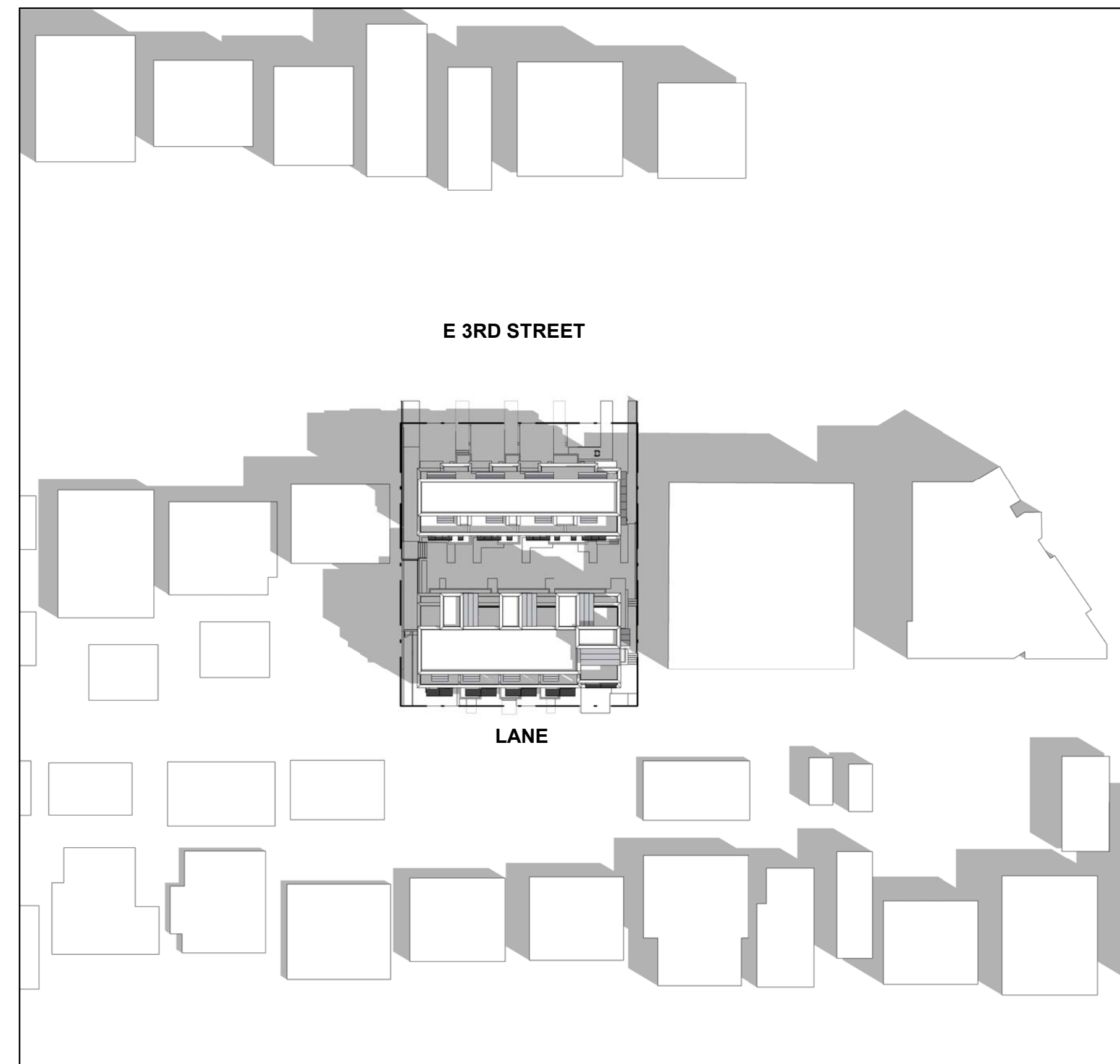
DATE DRAWN

SCALE CHECKED

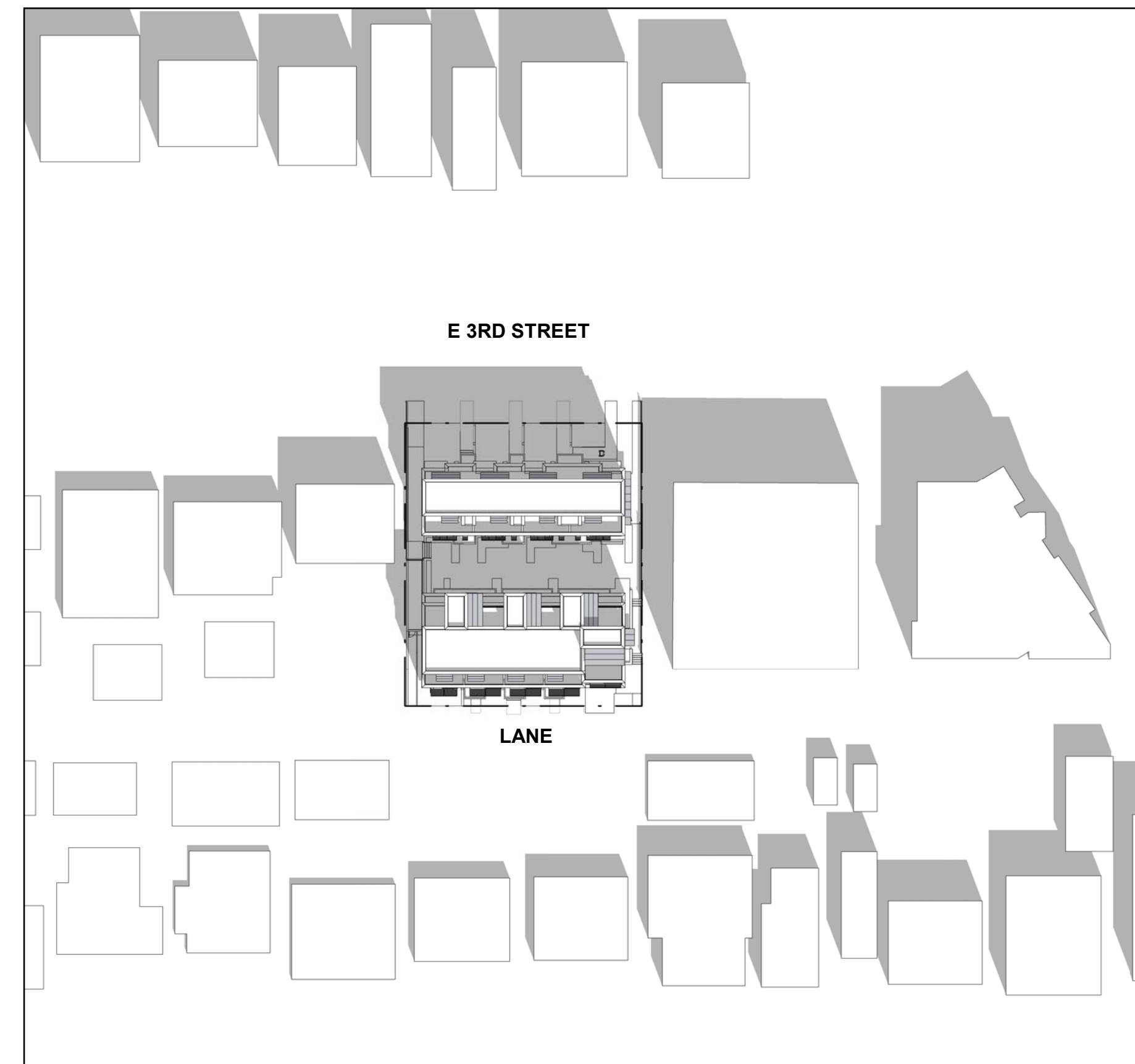
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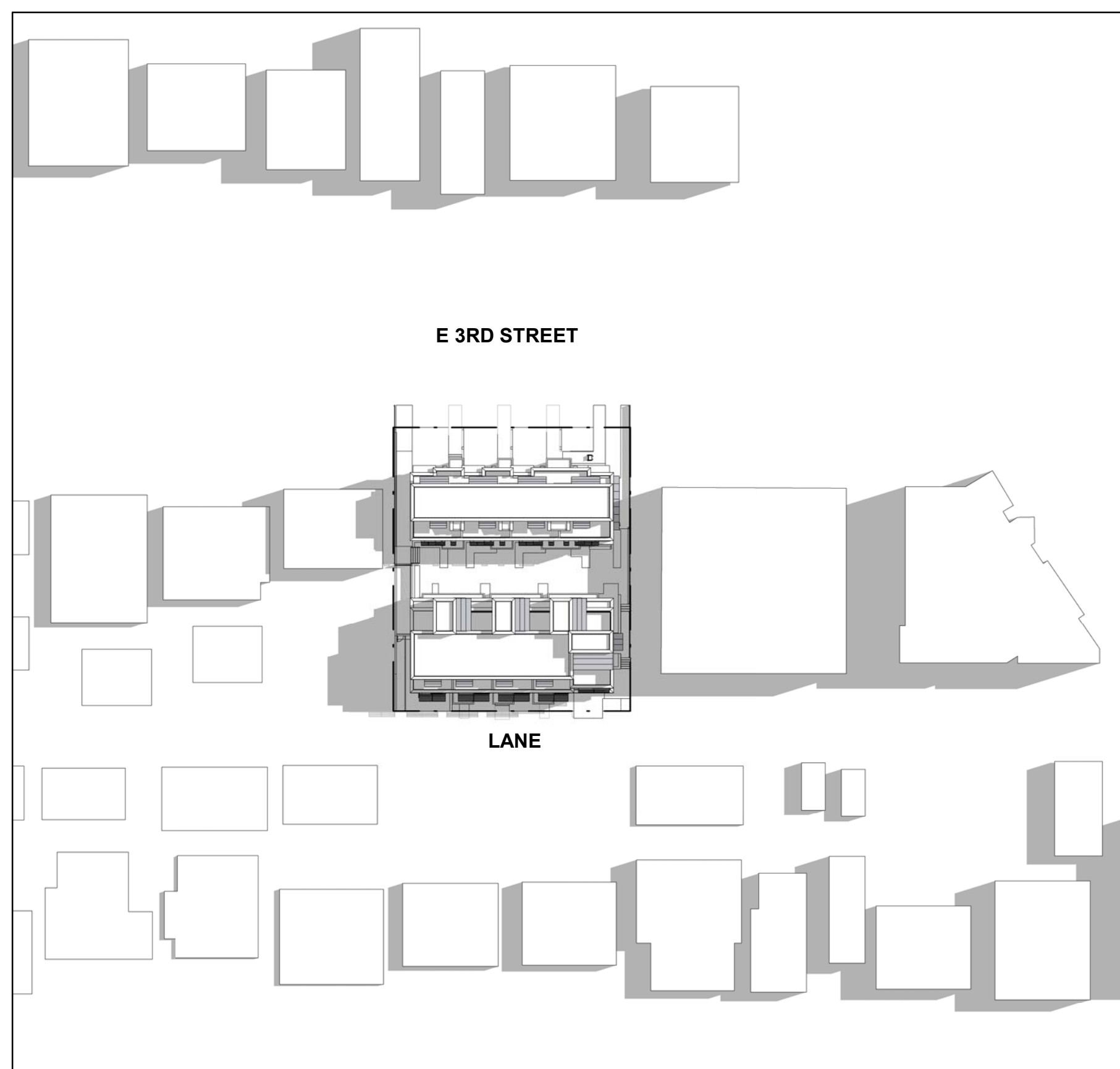
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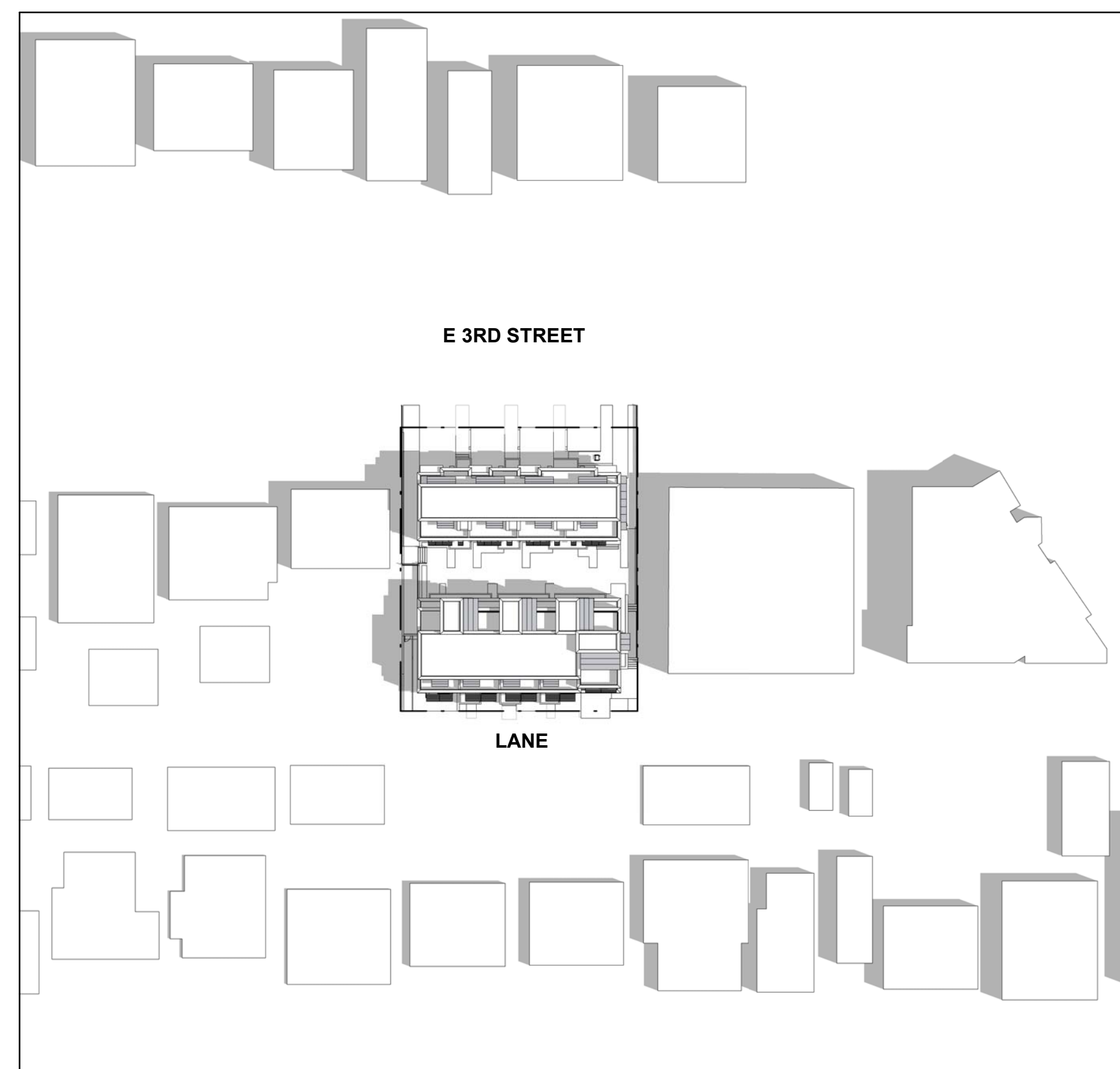
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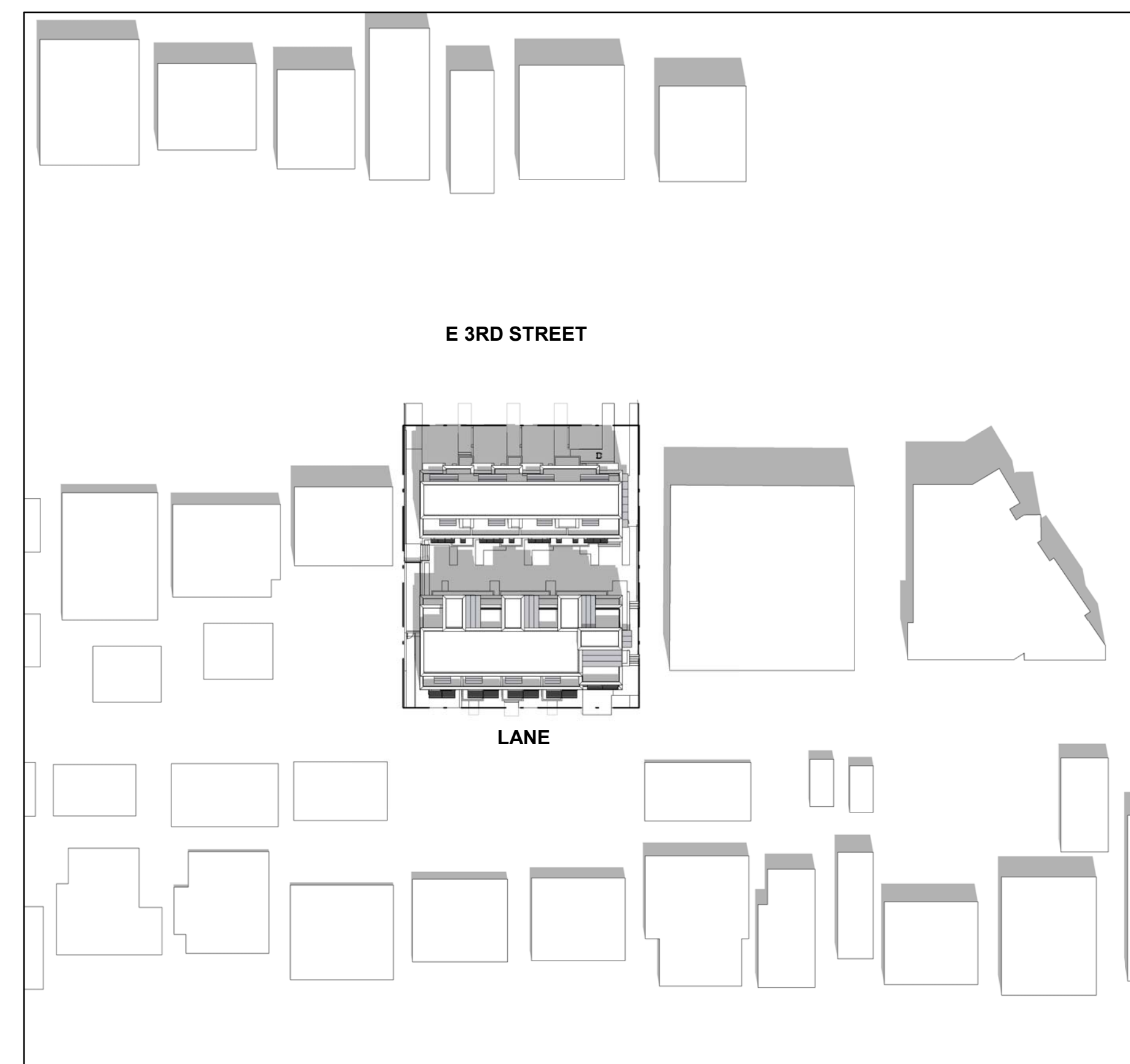
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1" = 50'-0"



4 JUNE 21\_10:00am  
1" = 50'-0"



5 JUNE 21\_12:00pm  
1" = 50'-0"



6 JUNE 21\_2:00pm  
1" = 50'-0"

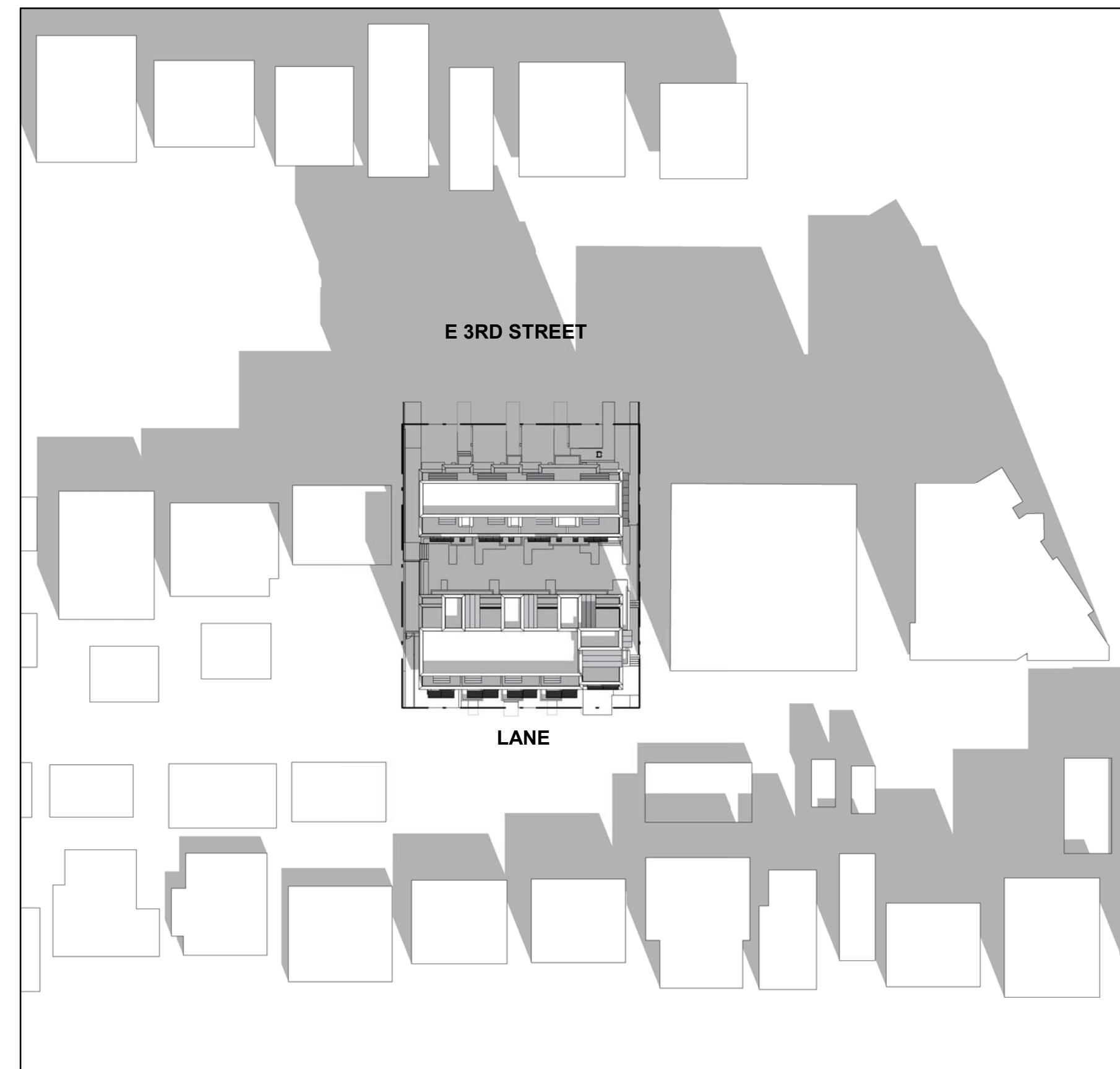




1 DEC 21\_10:00am  
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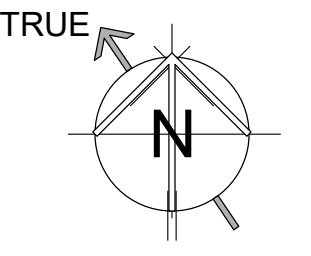
2 DEC 21\_12:00pm  
1" = 50'-0"



3 DEC 21\_2:00pm  
1" = 50'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
ISSUED FOR DP		12 JUN 2020
RE-ISSUED FOR DP		09 MAR 2021
RE-ISSUED FOR DP		05 MAY 2021

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CLIENT

NAM (Moodyville)  
Development Ltd.

PROJECT NO.

19465

PROJECT

MULTI-FAMILY RESIDENTIAL  
DEVELOPMENT  
427-429-433-435 EAST 3rd  
STREET, NORTH  
VANCOUVER, B.C.

DRAWING TITLE

SHADOW ANALYSIS

SEAL

DRAWING NO.

REVISION

SA02

DATE

DRAWN

SCALE

CHECKED

1" = 50'-0"