5 NORTH ELEVATION WITH 4" SIDING BM
PENDRELL VERDIGRIS
12" = 1'-0"

KARL WEIN ASSOCIATES

18-Dec-20

PROJECT:	TRIPLEX			ZONE= CD zone based			OCP= R3	
ADDRESS:	261-263 W 6TH North Vancouver			LOT 29		on RT-1		
LEGAL:								
NEIBOURHOOD:	LOWER LONSDALE					30+1000=		2800
BASIC DATA		MAX	MAX	PROPOSED				
		SF	SM	SF		%	SM	
FSR	0.6	3600.00	334.45	3180		59.67	352.63	
LOT COVERAGE	0.45	2700.00	250.84	1893.00		31.56	175.93	
* THAN I.M	SF	SM		SF		SM	SUM SF	SUM SM
LOT SIZE	WIDTH (F)	LENGTH (F)		WIDTH (M)	LENGTH (M)			
	50	120		15.24	36.58			
LOT AREA		6000.00	SF		557.41	SM		
1ST FLOOR ABOVE GRADE			2.5	(2.5 FT MIN)				181.24
MAX HEIGHTS								
LOT CORNERS		A	B	C	D			
SURVEY	FT	182.3	183.1	172.4	173.2			
REFERENCE GRADE:		FRONT AVERAGE		182.70		9	55.69	M
		LANE AVERAGE		172.80	FT		52.67	M
REF=FRONT+[(LANE-FRONT)*0.40]=				178.74	FT		54.48	M
RIDGE	REF+33.0 =			211.74	FT		64.54	M
TOP	REF+26.2 =			204.94	FT		62.47	M
FLOOR THICKNESS		1.2	FT	(SUBFLOOR+TJI+GYP BD)				
MAXIMUM								
CEILING HEIGHTS:		F TO F		DATUM HEIGHT				
	RIDGE			211.74	FT		64.54	M
	TOP			204.94	FT		62.47	M
	2ND FLOOR	9	FT	195.94	FT		59.72	M
	1ST FLOOR	10	FT	185.94	FT		56.67	M
	BASEMENT	9	FT	176.94	FT		53.93	M
GRADE	183.44	BELOW MAIN FLOOR						
PROPOSED GRADE				509	FT		155.14	M
PROPOSED HEIGHTS								DIFFRENCE TOP MAX VS PROP IN METRES
CEILING HEIGHTS:				DATUM HEIGHT				
	RIDGE		VARIBLE	208.00	FT		121.49	M
	TOP			200.25	FT		61.04	M
	2ND FLOOR	9		191.25	FT		58.29	M
	1ST FLOOR	10		181.25	FT		55.25	M
	BASEMENT	9		172.25	FT		52.50	M

		REQ FT	PROP FT	REQ M	PROP M	
SETBACKS	STREET	15	28	4.572	8.5344	
	LANE	5	5	1.524	1.524	
	A-C	4	5	1.2192	1.524	
	B-D	4	5	1.2192	1.524	317

KARL WEIN ASSOCIATES

18-Dec-20

261-263 W 6TH North Vancouver

GROSS FSR CALUCLATIONS

NEW HOUSE

	SF	SM
2ND FLOOR	1760	163.51
1ST FLOOR	1641	152.45
BASEMENT	1641	152.45
ROOF DK STAIRS	195	
TOTAL	5237	486.53
LESS BASEMENT	1641	152.45
NET AREA	3596	334.08
TOTAL GROSS AREAS	3596	334.08
MAX ALLOWED	3600.00	334.45
diff	4.00	0.37

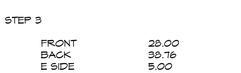
PARKING

		REQUIRED	PROPOSED
TOTAL UNITS	4		
MULTIPLIER	1	4	4
BIKES		3	3

GARBAGE

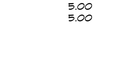
		REQUIRED	PROPOSED	GARBAGE LKR SIZE
EACH UNIT MIN	5.23 SF	20.92	46.30	9.07 SF
	0.49 SM	1.94	4.372	0.843 SM

BIKE LAYOUT



INSIDE A ROOM

BIKE SHELTER



single clear one end
double clear both ends
these may be stacked

4 STREET VIEW FROM NE 4" SIDING
12" = 1'-0"

Sheet List	
Sheet Name	Sheet Number
PROJECT DATA	A100
SITE PLAN	A101
BASEMENT N & S UNITS	A102
MAIN FLOOR - N &S UNITS	A103
2ND FLOOR N&S UNITS	A104
ROOF DECK & ROOF	A105
ROOF PLAN	A105A
N & S ELEVATIONS	A106
WEST ELEVATION	A107
EAST ELEVATION	A108
SECTIONS	A109
DETAIL SECTIONS	A109A
GARAGE PLANS	A110
SPACIAL SEPARATION	A111
ENERGY PERFORMANCE	A112
MATERIAL BOARD	A115
ORIGINAL SURVEY	A116

PROJECT DATA: 261-263 W 6TH ST. NORTH VANCOUVER

OCT 15, 2020

PROPOSED 3 TOWNHOUSES

LEGAL LOT 29, BL 112A, DL 271, PL 1228

LOT SIZE	120X50	LOT AREA	6001.00
ZONE	R3		
FAR	0.60		
BUILDABLE @0.60	3600.00SF		
LOT COVERAGE@0.45	2701.105F		
PROPOSED FAR	3596 SF		
PROPOSED COVERAGE	1893 SF		
BASEMENT	1641 EXEMPT		
MAIN	1641		
2ND FLOOR	1760		
ROOF DK STAIRS	195		
TOTAL AREA	5237		
LESS EXEMPT	1641		
NET AREA	3596		
REQ PARKING @ 1.25	4		
PROPOSED	4		
ELEC CAR PLUGS	4		
GARBAGE	53 sf (16+9+28)		

ENERGUIDE STEP 3

SETBACKS	FRONT	28.00
	BACK	38.76
	E SIDE	5.00
	W SIDE	5.00

1 DATA
6" = 1'-0"

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No.	Description	Date
1	Show fence height front yard - Parking dimentions at Lane. - Lot Coverage revised - Removed Bikes - Changed Garbage configuration - Show upper level overhang - Attic areas defined as inaccessible - Relabel floors	Oct 14 2020
2	front & side yard fence height - OCP to R3 - show 3 bikes - labels of roof overhangs - gable setback	Dec 18 2020

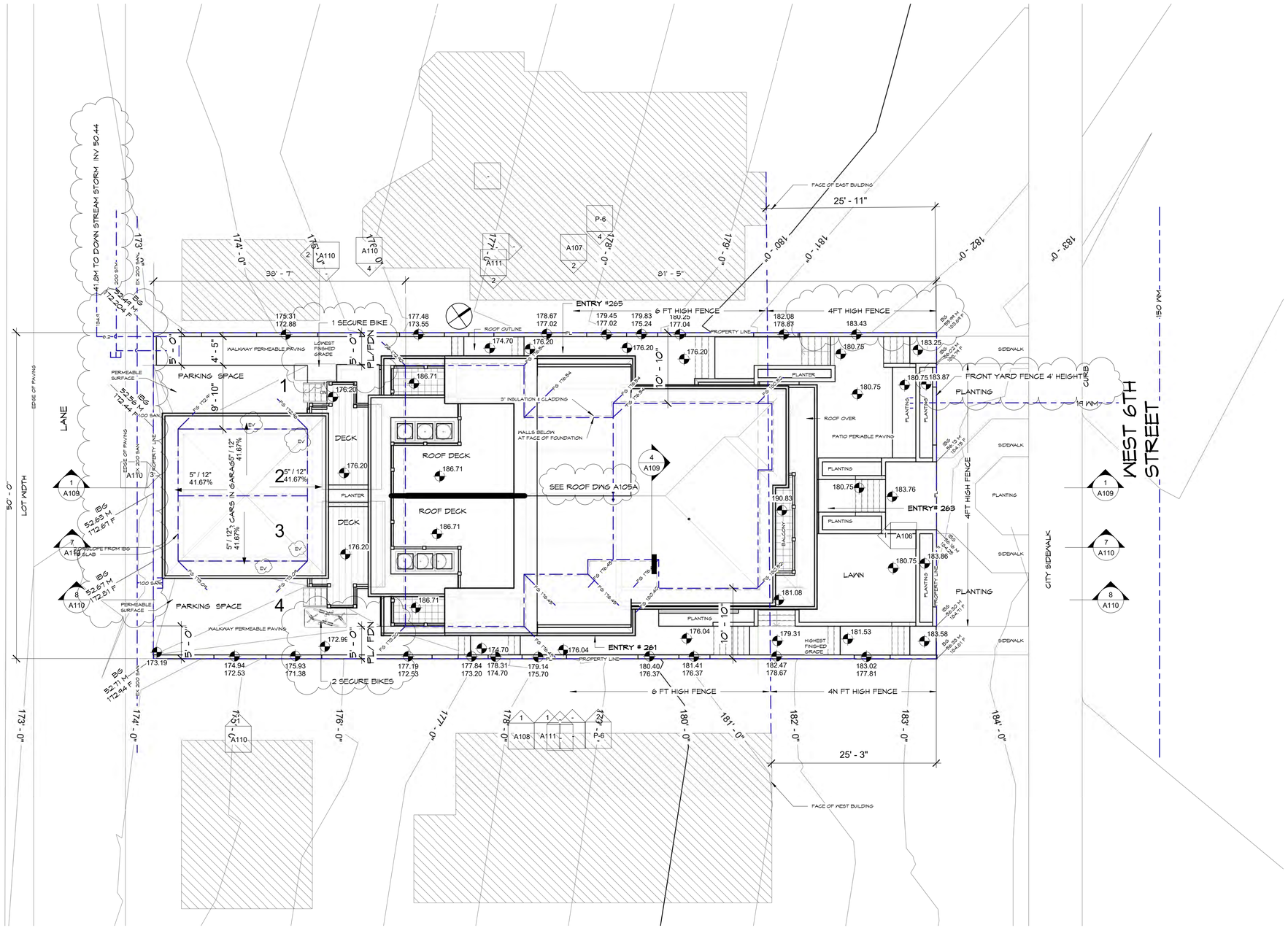
TRIPLEX
261 W 6TH
PROJECT DATA

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A100

Scale	As indicated

2/24/2021 11:43:45 AM



1 Site
1/8" = 1'-0"

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TRIPLEX

261 W 6TH

SITE PLAN

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A101

Scale 1/8" = 1'-0"

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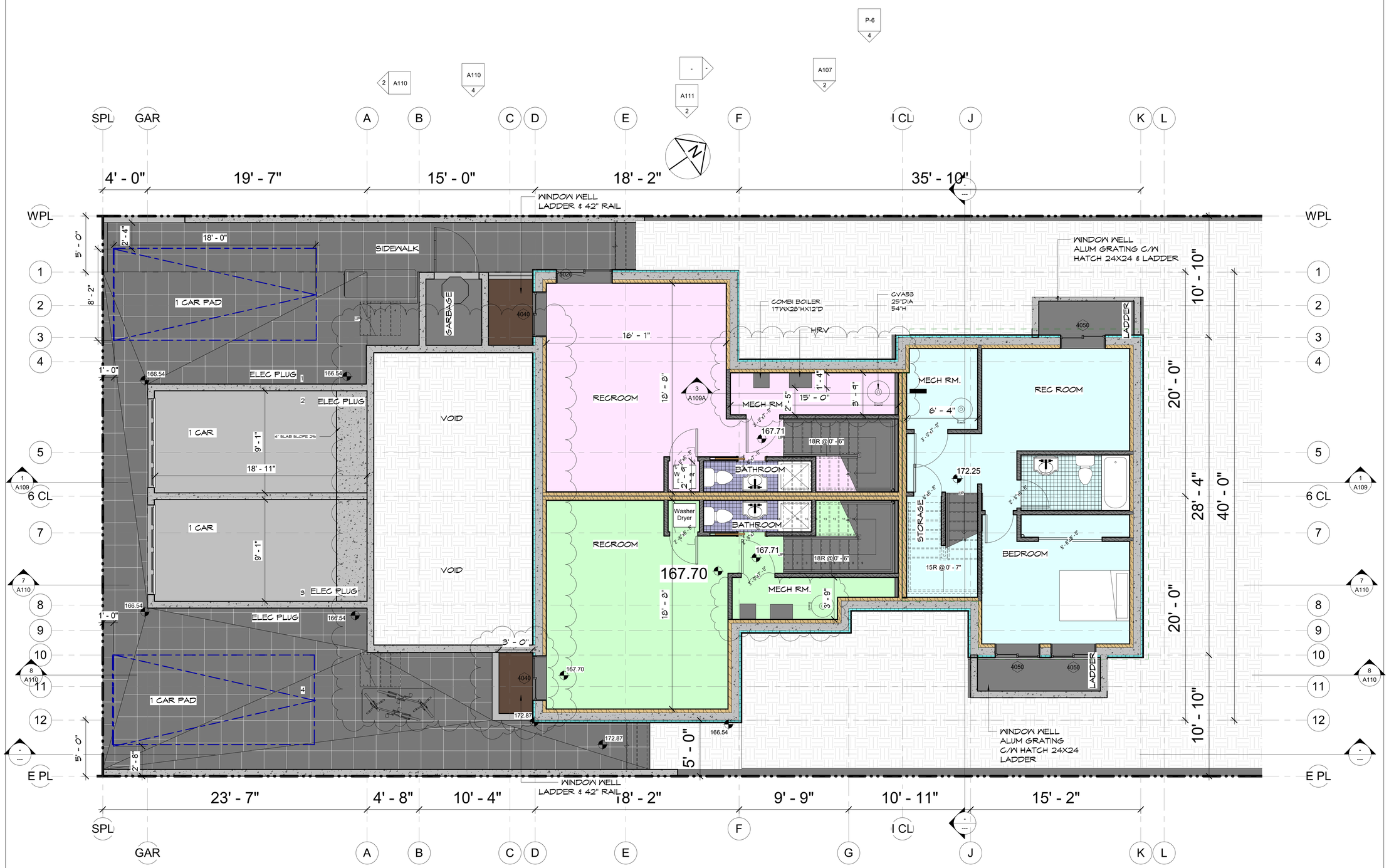

1 Level 1 BP
1/4" = 1'-0"

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TRIPLEX

261 W 6TH

BASEMENT N & S UNITS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A102

Scale	1/4" = 1'-0"

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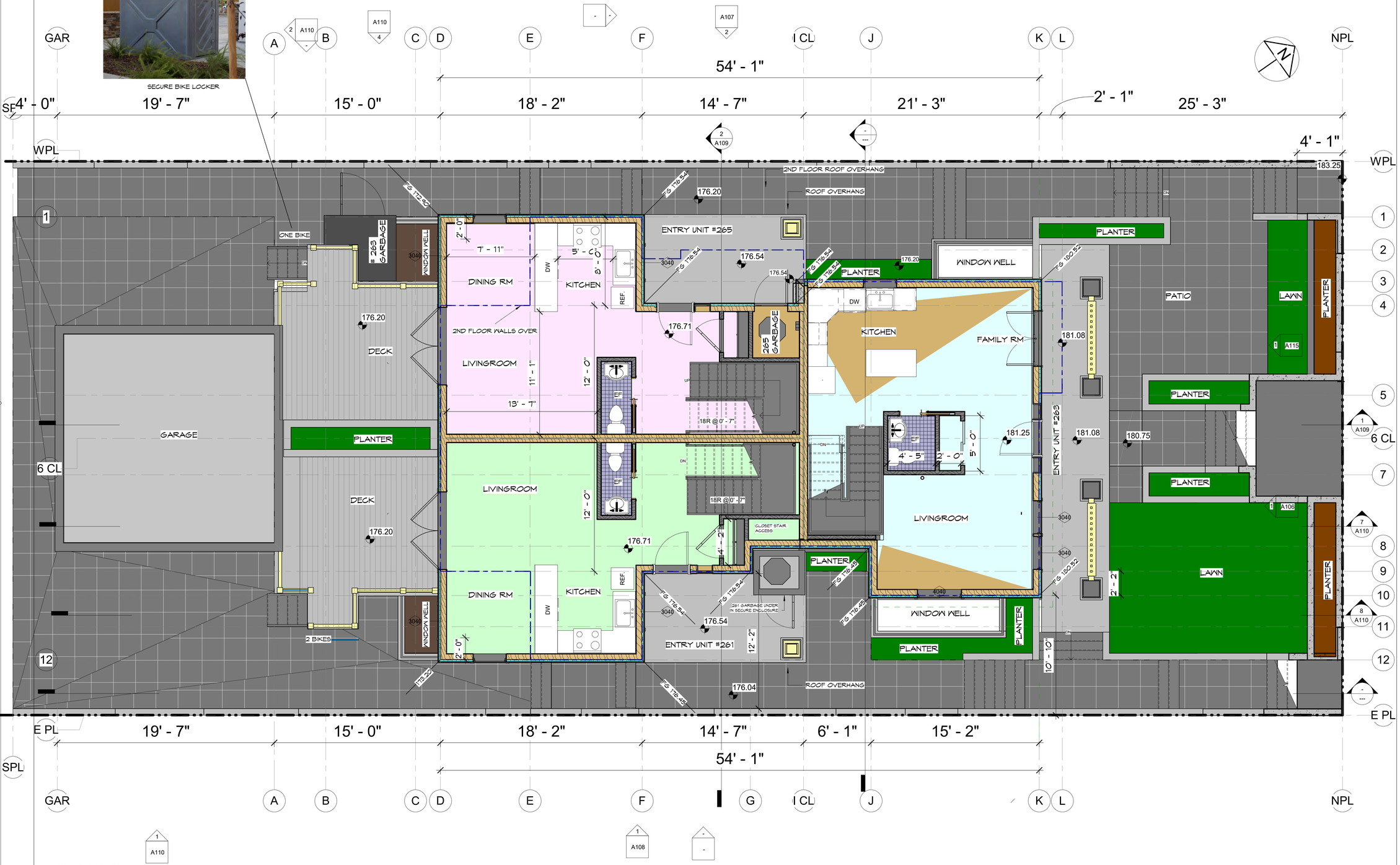
SECURE BIKE LOCKER



1 MAIN FLOOR - S
1/4" = 1'-0"

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No.	Description	Date
2	front & side yard fence height - OCP to R3 - show 3 bikes - labels of roof overhangs - gable setback	Dec 18 2020

TRIPLEX

261 W 6TH

MAIN FLOOR - N &S UNITS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A103

Scale 1/4" = 1'-0"

2/24/2021 11:44:00 AM

1 2ND FLOOR - S
1/4" = 1'-0"

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TRIPLEX

261 W 6TH

2ND FLOOR N&S UNITS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A104

Scale	1/4" = 1'-0"

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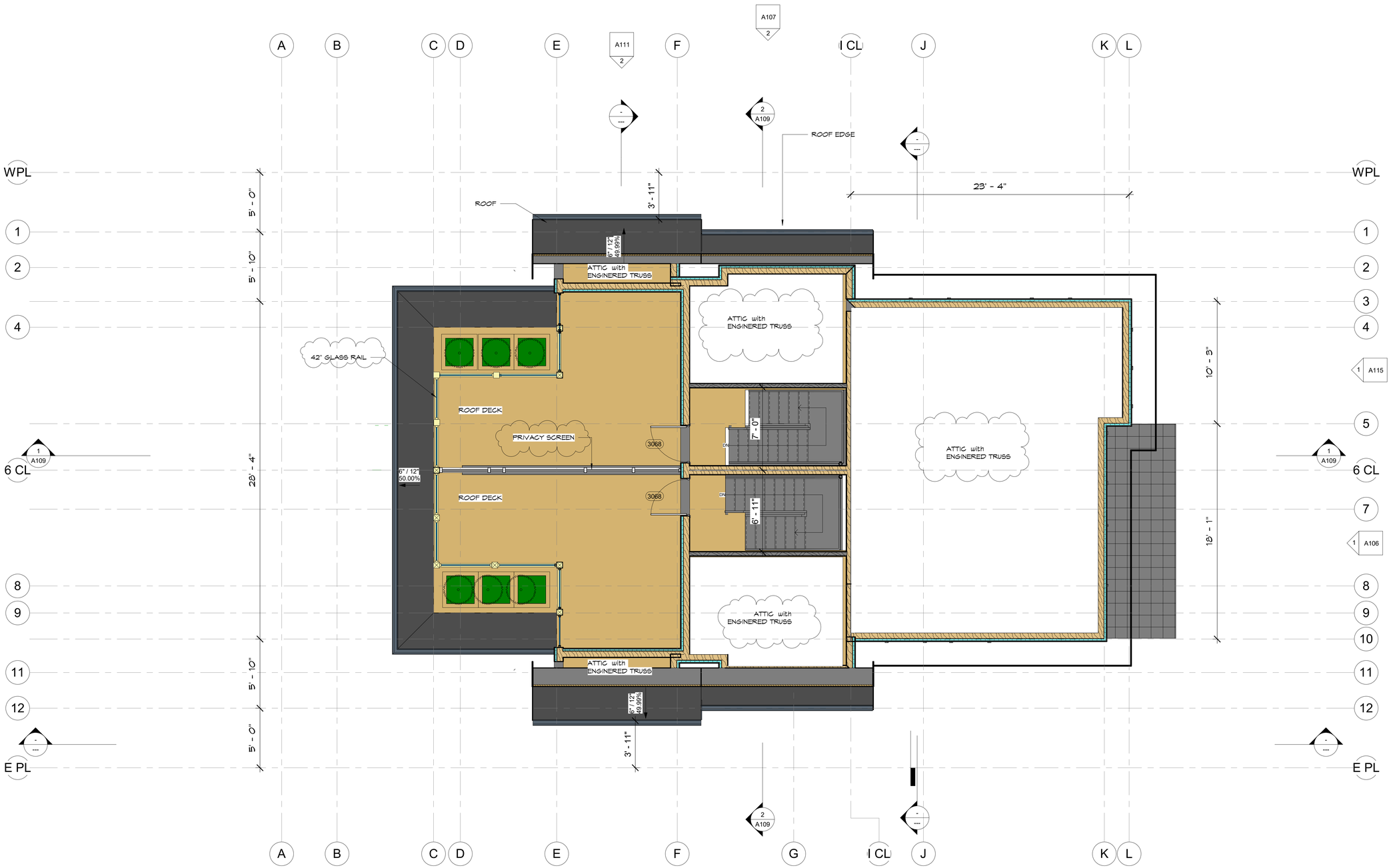

1 LANE TOP
1/4" = 1'-0"

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No.	Description	Date
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TRIPLEX
261 W 6TH
ROOF DECK & ROOF

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A105

Scale 1/4" = 1'-0"

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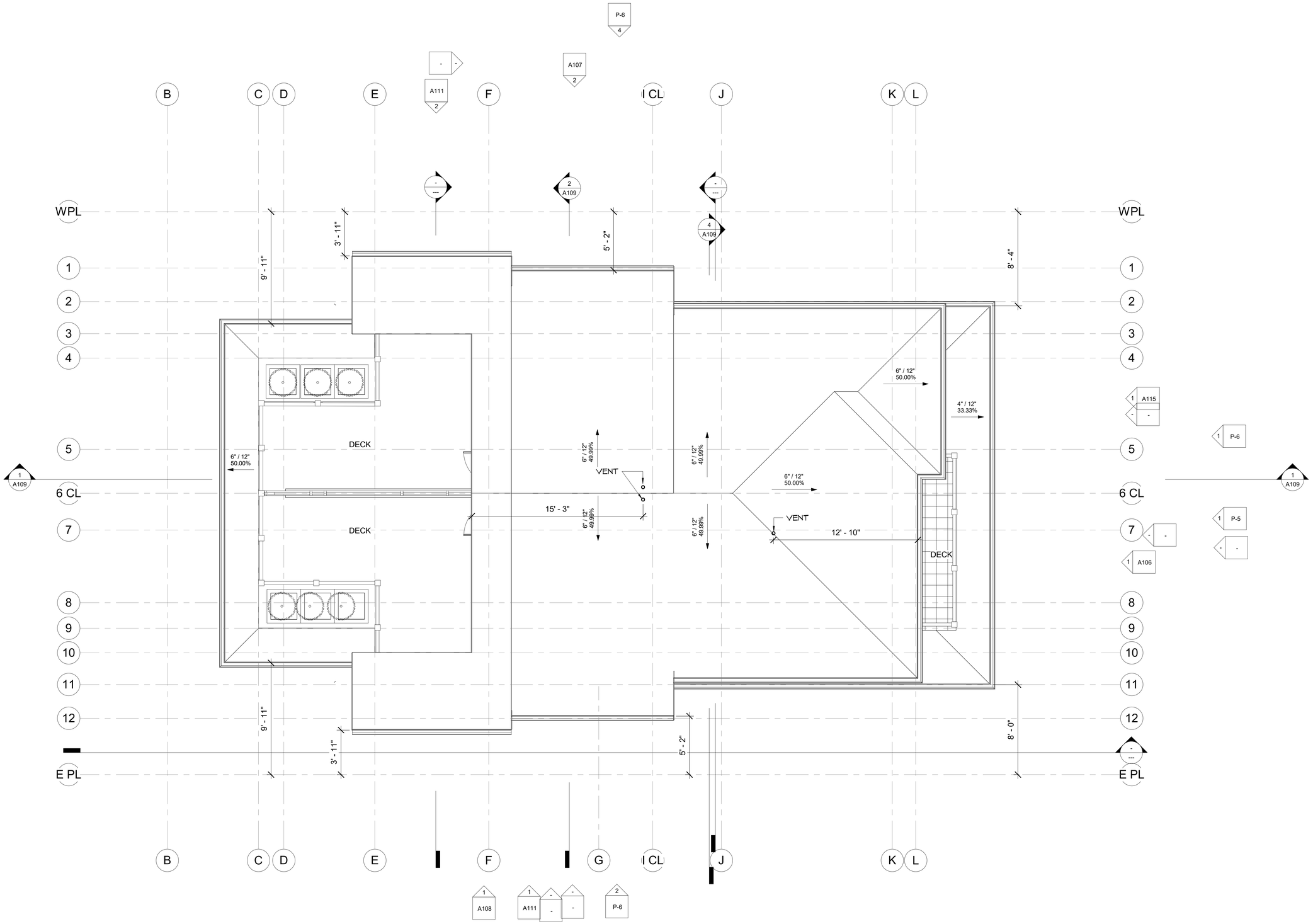

1 RIDGE
1/4" = 1'-0"

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No.	Description	Date

TRIPLEX
261 W 6TH
ROOF PLAN

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A105A

Scale 1/4" = 1'-0"

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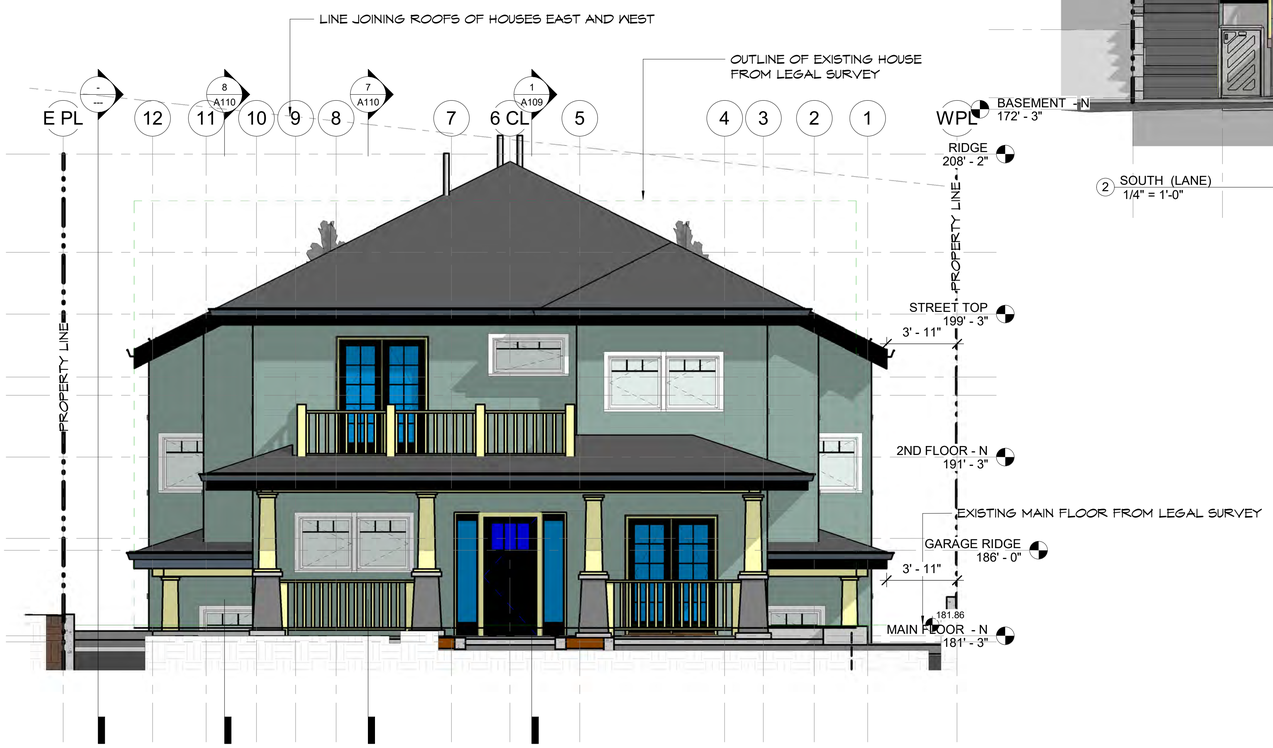
2 SOUTH (LANE)
1/4" = 1'-0"



1 NORTH (STREET)
1/4" = 1'-0"

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No.	Description	Date
1	Show fence height front yard - Parking dimentions at Lane. - Lot Coverage revised - Removed Bikes - Changed Garbage configuration - Show upper level overhang - Attic areas defined as inaccessible - Relabel floors	Oct 14 2020

TRIPLEX
261 W 6TH
N & S ELEVATIONS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A106

Scale 1/4" = 1'-0"

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TRIPLEX

261 W 6TH

WEST ELEVATION

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A107

Scale 1/4" = 1'-0"

2/24/2021 11:44:23 AM

1 EAST
1/4" = 1'-0"

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No.	Description	Date
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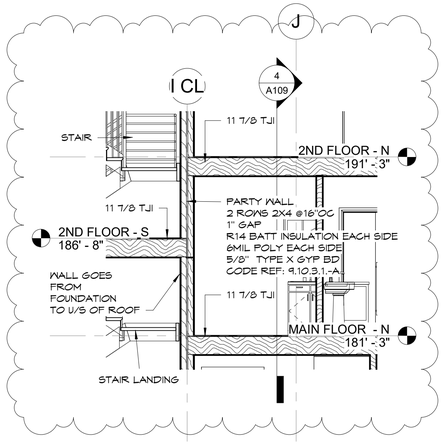
TRIPLEX
261 W 6TH
EAST ELEVATION

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

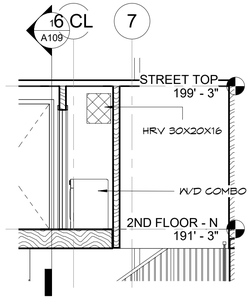
A108

Scale 1/4" = 1'-0"

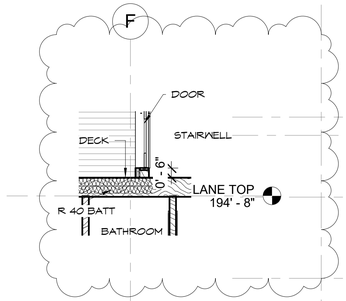
2/24/2021 11:44:26 AM



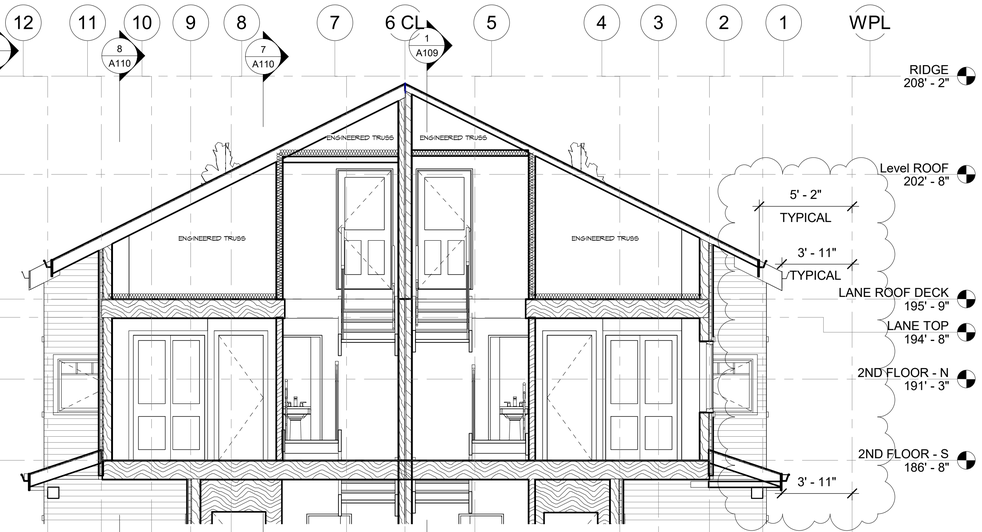
5 SECTION PARTY WALL DETAIL
1/4" = 1'-0"



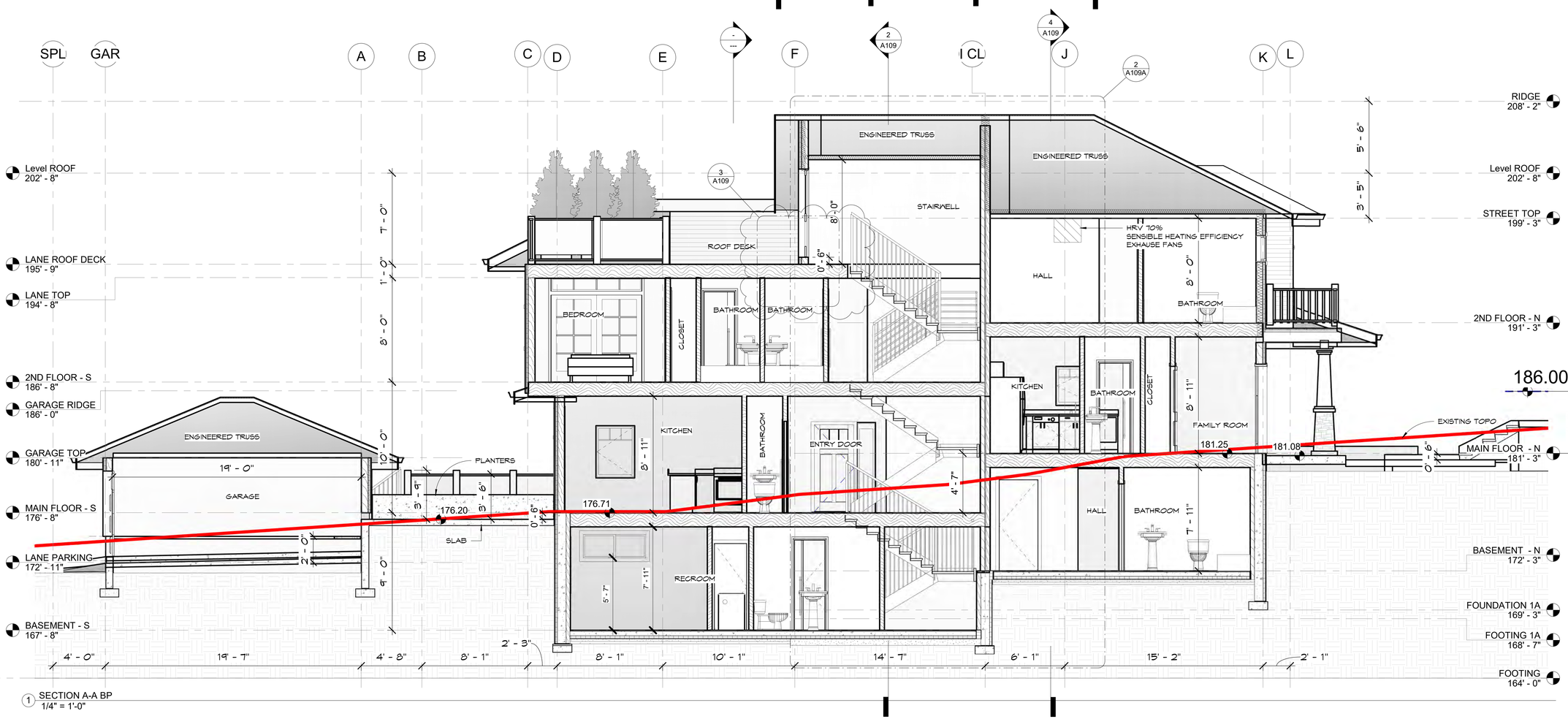
4 DETAIL HRV IN CLOSET
1/4" = 1'-0"



3 SECTION A-A BP - DETAIL AT STAIRWELL GRID F
1/4" = 1'-0"



2 SECTION AT STAIRS ROOFTOP DECK
1/4" = 1'-0"



1 SECTION A-A BP
1/4" = 1'-0"

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No.	Description	Date
1	Show fence height front yard - Parking dimentions at Lane - Lot Coverage revised - Removed Bikes - Changed Garbage configuration - Show upper level overhang - Attic areas defined as inaccessible - Relabel floors	Oct 14 2020

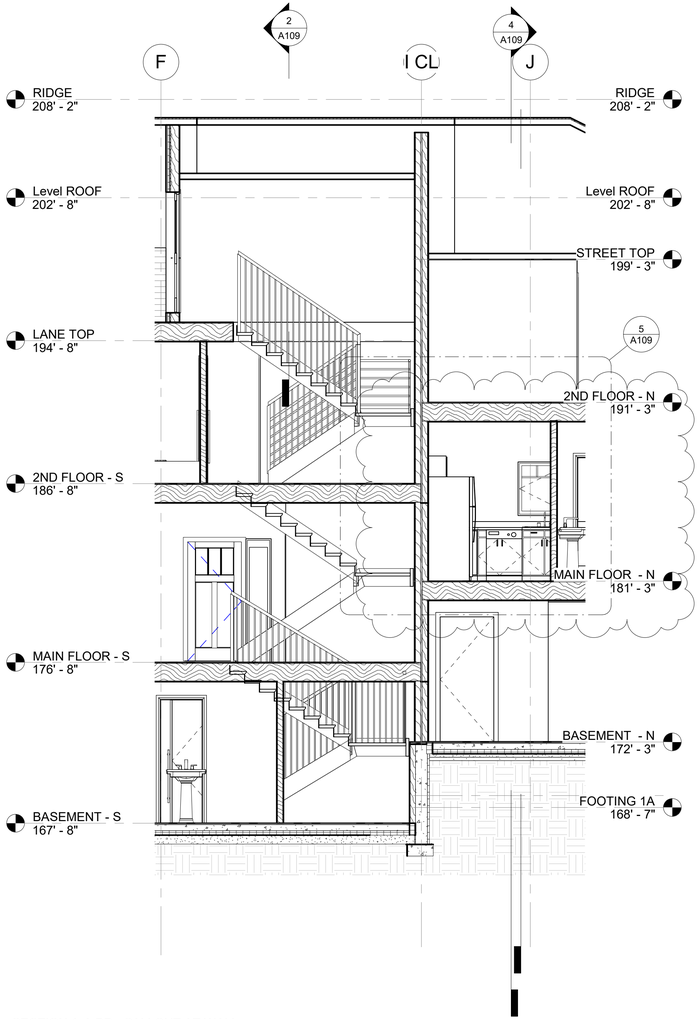
TRIPLEX
261 W 6TH
SECTIONS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

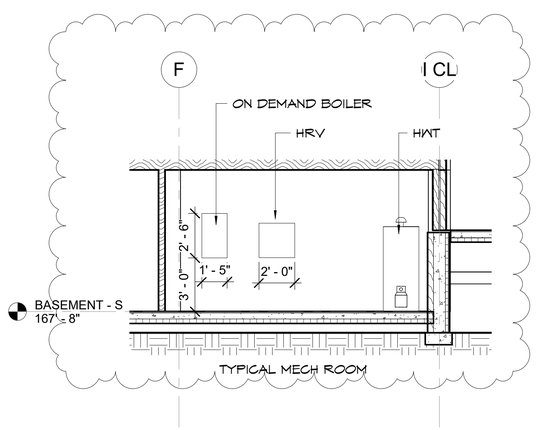
A109

Scale 1/4" = 1'-0"

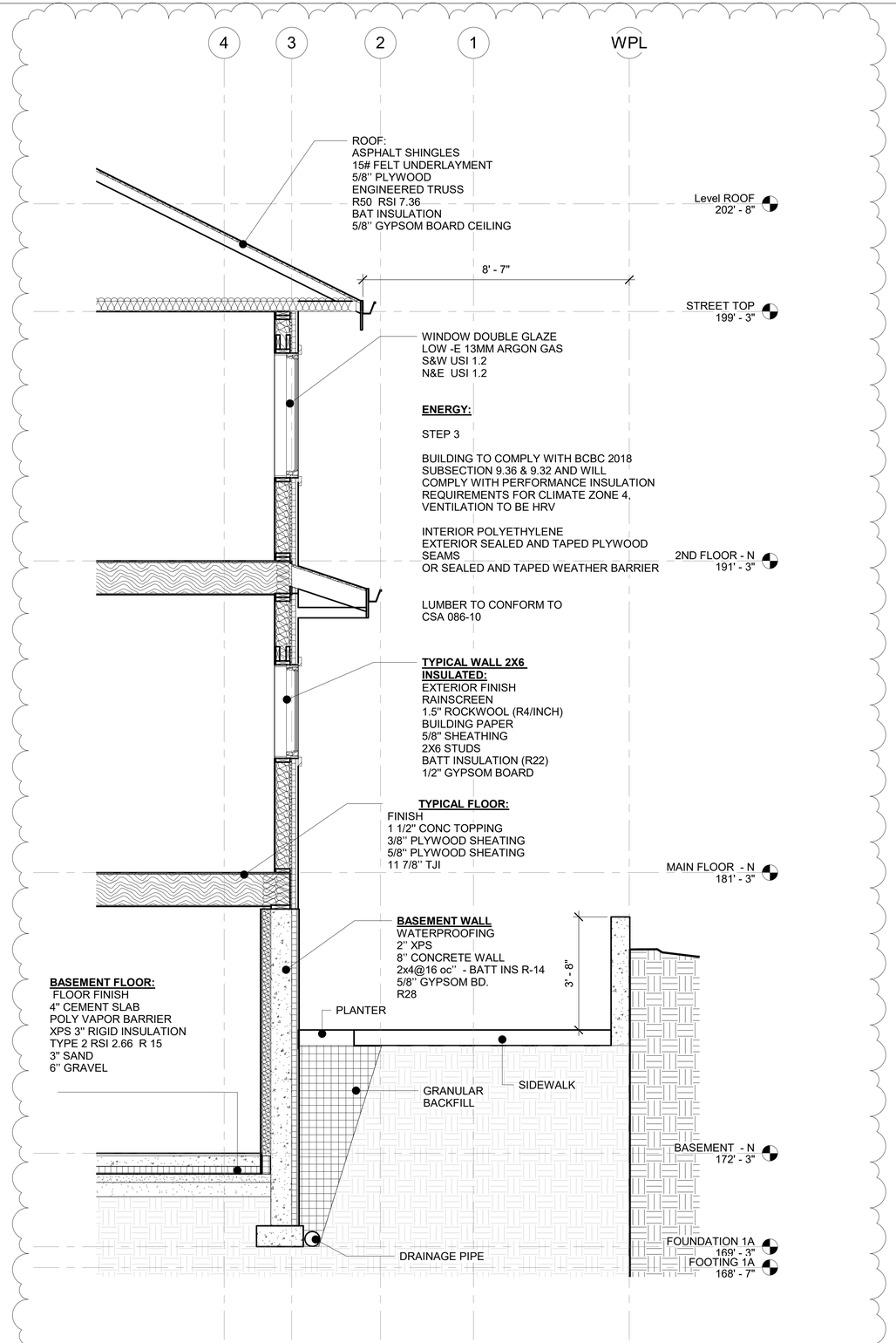
2/24/2021 11:44:36 AM



2 SECTION A-A BP - CALLOUT AT WALL
1/4" = 1'-0"



3 TYPICAL MECH ROOM
1/4" = 1'-0"



1 SECTION TYPICAL WALL DETAIL
1/2" = 1'-0"

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No.	Description	Date
2	front & side yard fence height - OCP to R3 - show 3 bikes - labels of roof overhangs - gable setback	Dec 18 2020

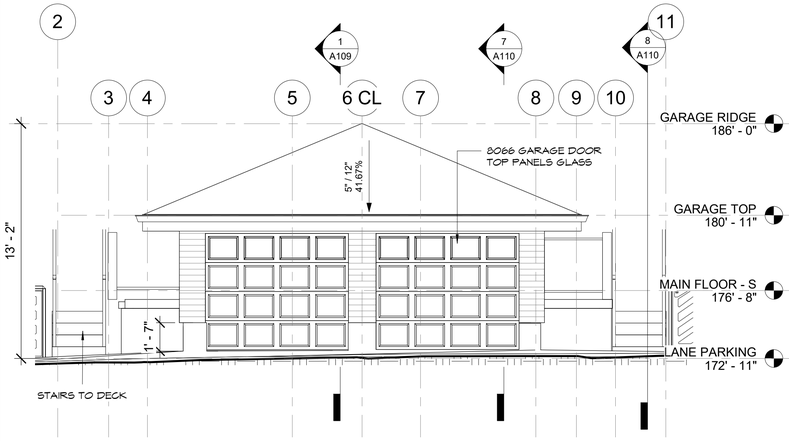
TRIPLEX
261 W 6TH
DETAIL SECTIONS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

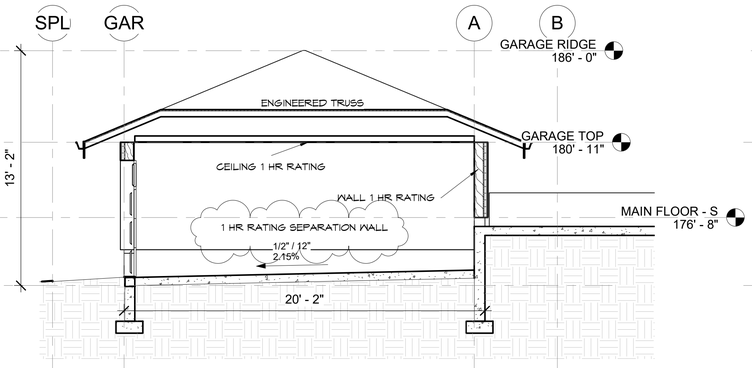
A109A

Scale	As indicated

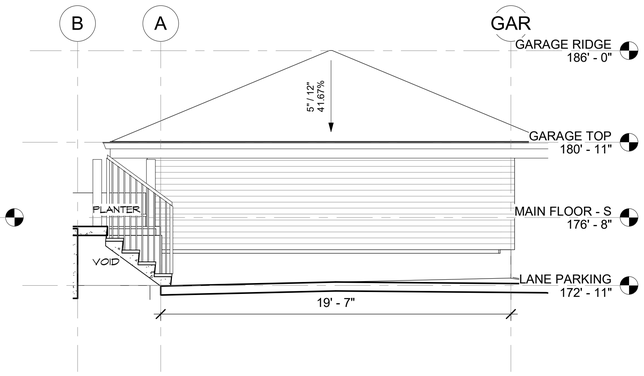
2/24/2021 11:44:38 AM



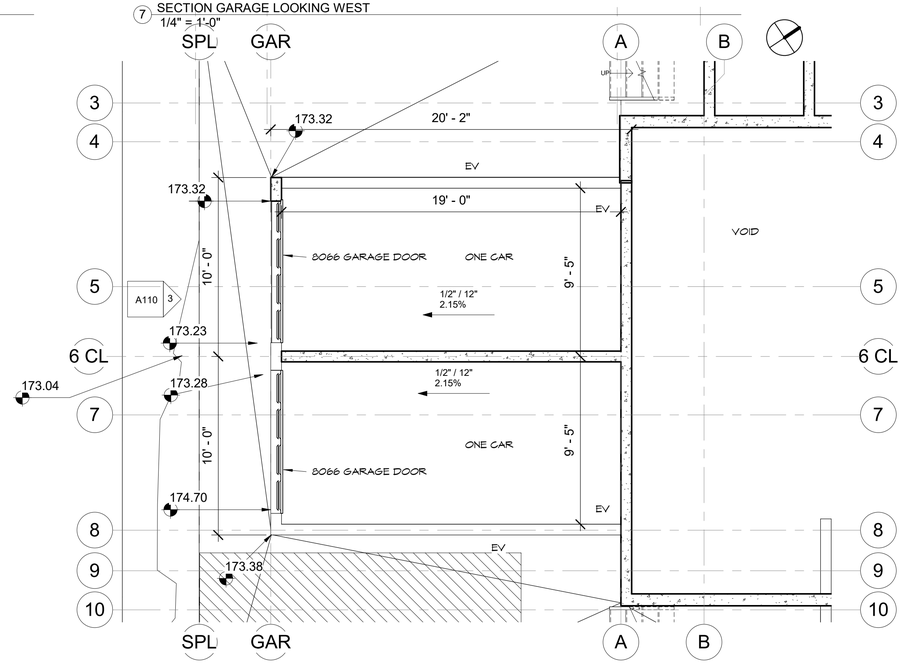
3 Garage Elevation SOUTH
1/4" = 1'-0"

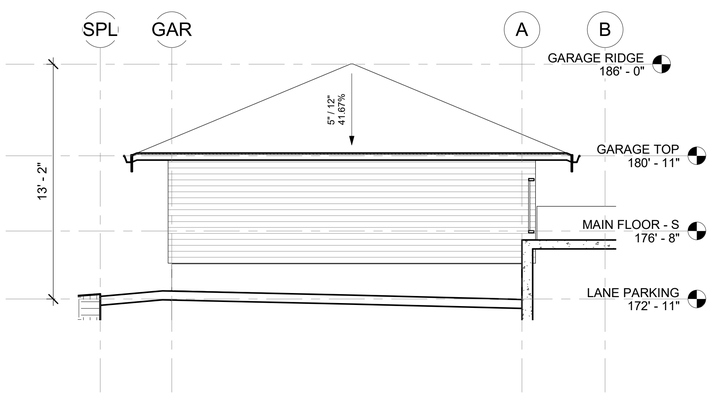


7 SECTION GARAGE LOOKING WEST
1/4" = 1'-0"

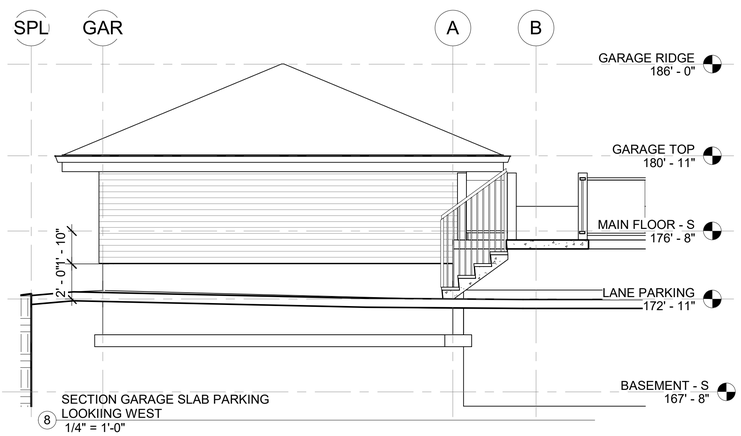


4 Garage Elevation WEST
1/4" = 1'-0"

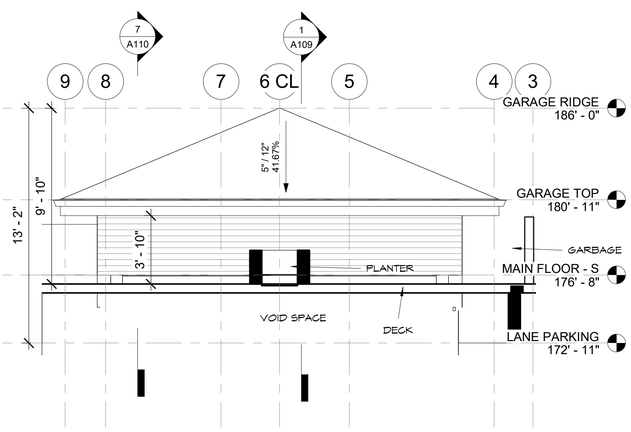




1 Garage Elevation EAST
1/4" = 1'-0"



8 SECTION GARAGE SLAB PARKING LOOKIING WEST
1/4" = 1'-0"



2 Garage Elevation NORTH
1/4" = 1'-0"

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No.	Description	Date
2	front & side yard fence height - OCP to R3 - show 3 bikes - labels of roof overhangs - gable setback	Dec 18 2020

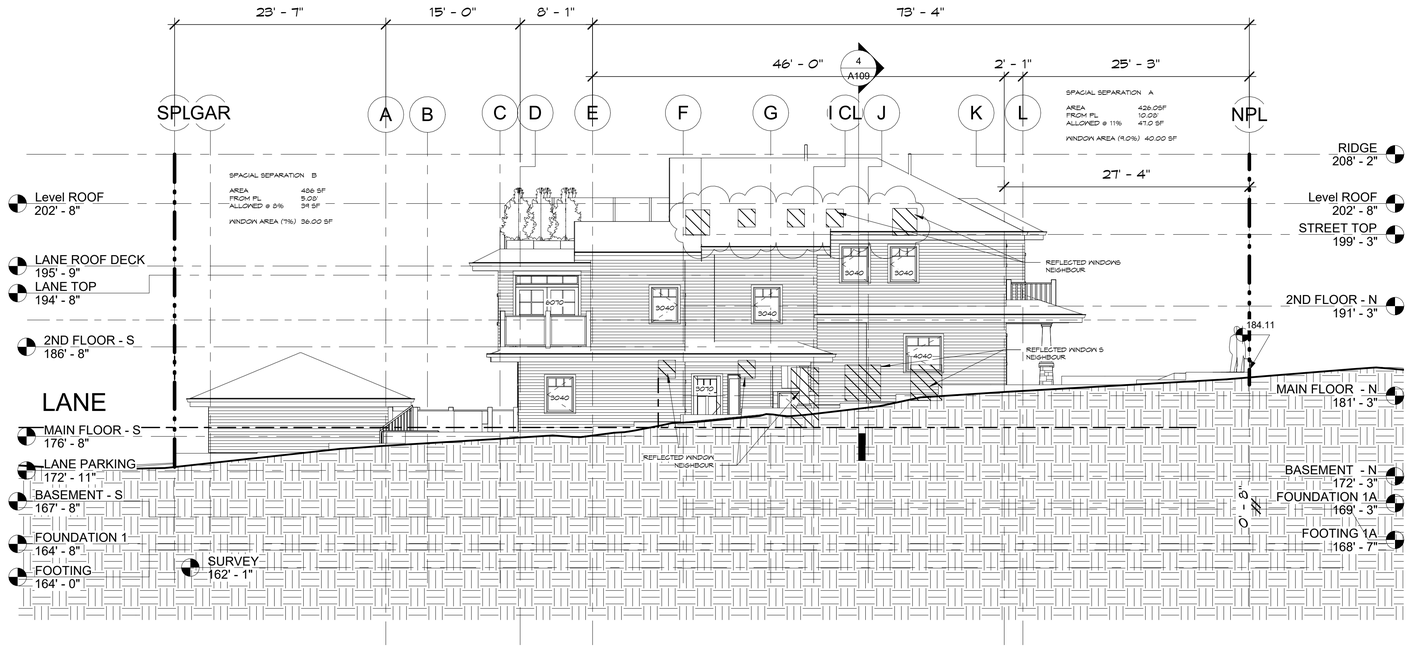
TRIPLEX
261 W 6TH
GARAGE PLANS

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

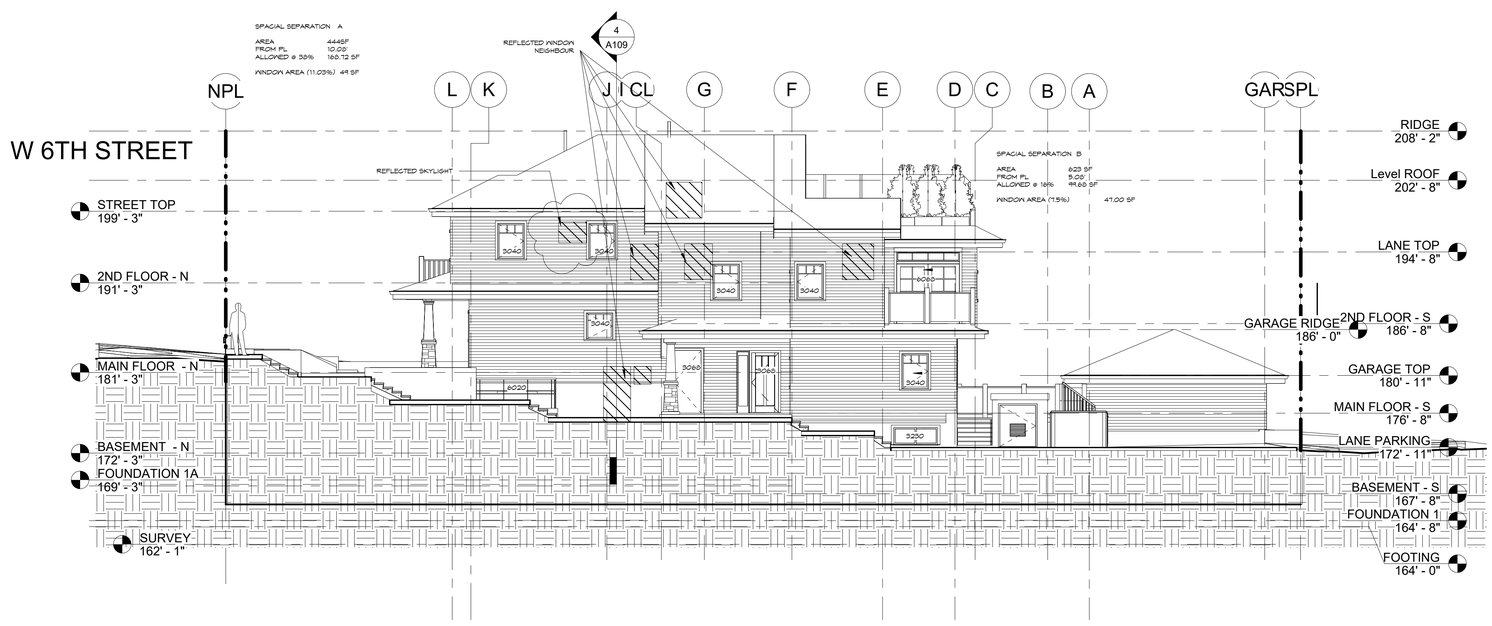
A110

Scale 1/4" = 1'-0"

2/24/2021 11:44:39 AM



1 EAST SPACIAL SEPARATION
1/8" = 1'-0"



2 WEST SPACIAL SEPARATION
1/8" = 1'-0"

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No.	Description	Date
1	Show fence height front yard - Parking dimentions at Lane. - Lot Coverage revised - Removed Bikes - Changed Garbage configuration - Show upper level overhang - Attic areas defined as inaccessible - Relabel floors	Oct 14 2020
2	front & side yard fence height - OCP to R3 - show 3 bikes - labels of roof overhangs - gable setback	Dec 18 2020
3	ADD SOME REFLECTED WINDOWS EAST AND WEST	JUNE 14 2021

TRIPLEX

261 W 6TH

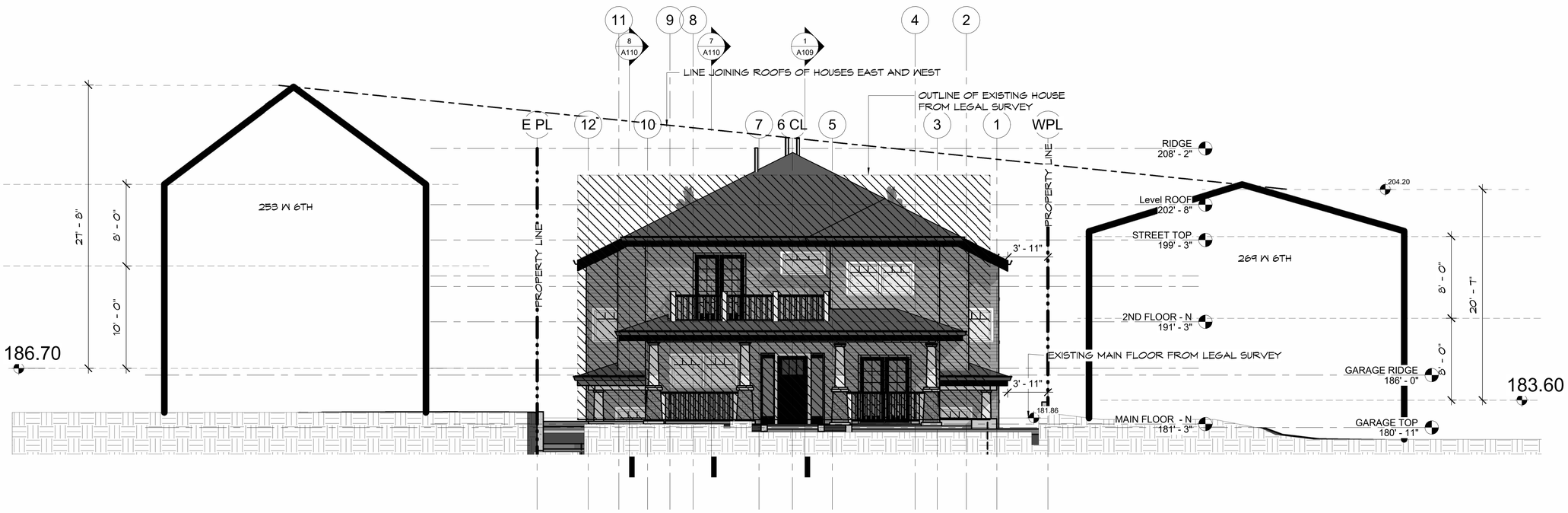
SPACIAL SEPARATION

Project number	261W6
Date	JUNE 21 2021 2020
Drawn by	RMR
Checked by	KW

A111

Scale	1/8" = 1'-0"

6/21/2021 11:55:25 AM



1 NORTH (STREET) SHOWING E & W LOTS
3/16" = 1'-0"

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No.	Description	Date

TRIPLEX

261 W 6TH

STREET HEIGHT
E & W LOTS

Project number	261W6
Date	JUNE 21 2021 2020
Drawn by	RMR
Checked by	KW

A111a

Scale	3/16" = 1'-0"

6/21/2021 11:55:36 AM

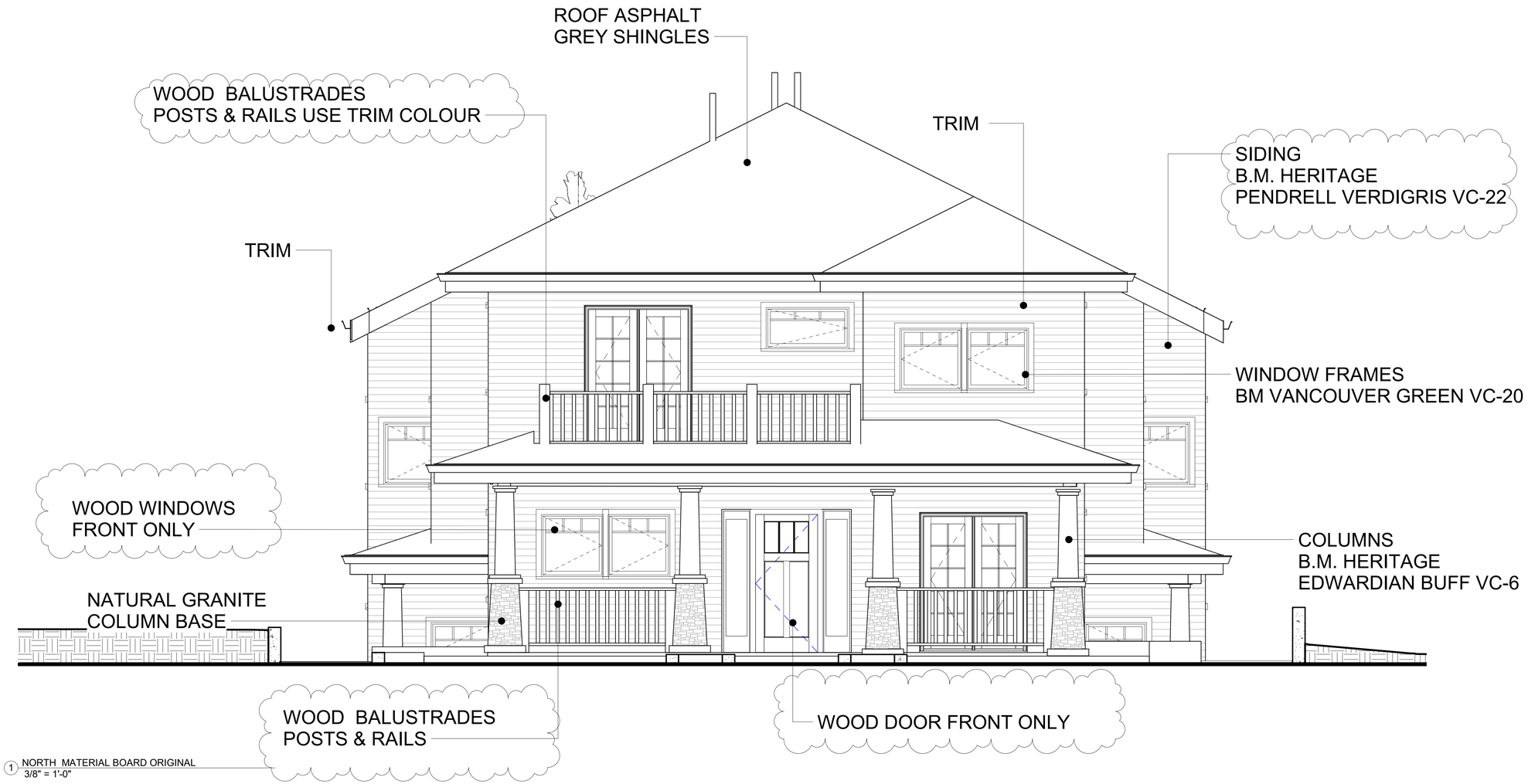
TRIM
(B.M. EDWADIAN BUFF
VC-6)

GRANITE COLUMN BASE

ROOF SHINGLES

CEDAR SOFFIT

SIDING HARDIE
(B.M. PENDRELL VERDIGRIS) VC-22



1 NORTH MATERIAL BOARD ORIGINAL
3/8" = 1'-0"

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No.	Description	Date
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TRIPLEX

261 W 6TH

MATERIAL BOARD

Project number	261W6
Date	FEB 24 2020
Drawn by	RMR
Checked by	KW

A115

Scale	3/8" = 1'-0"

2/24/2021 11:44:44 AM

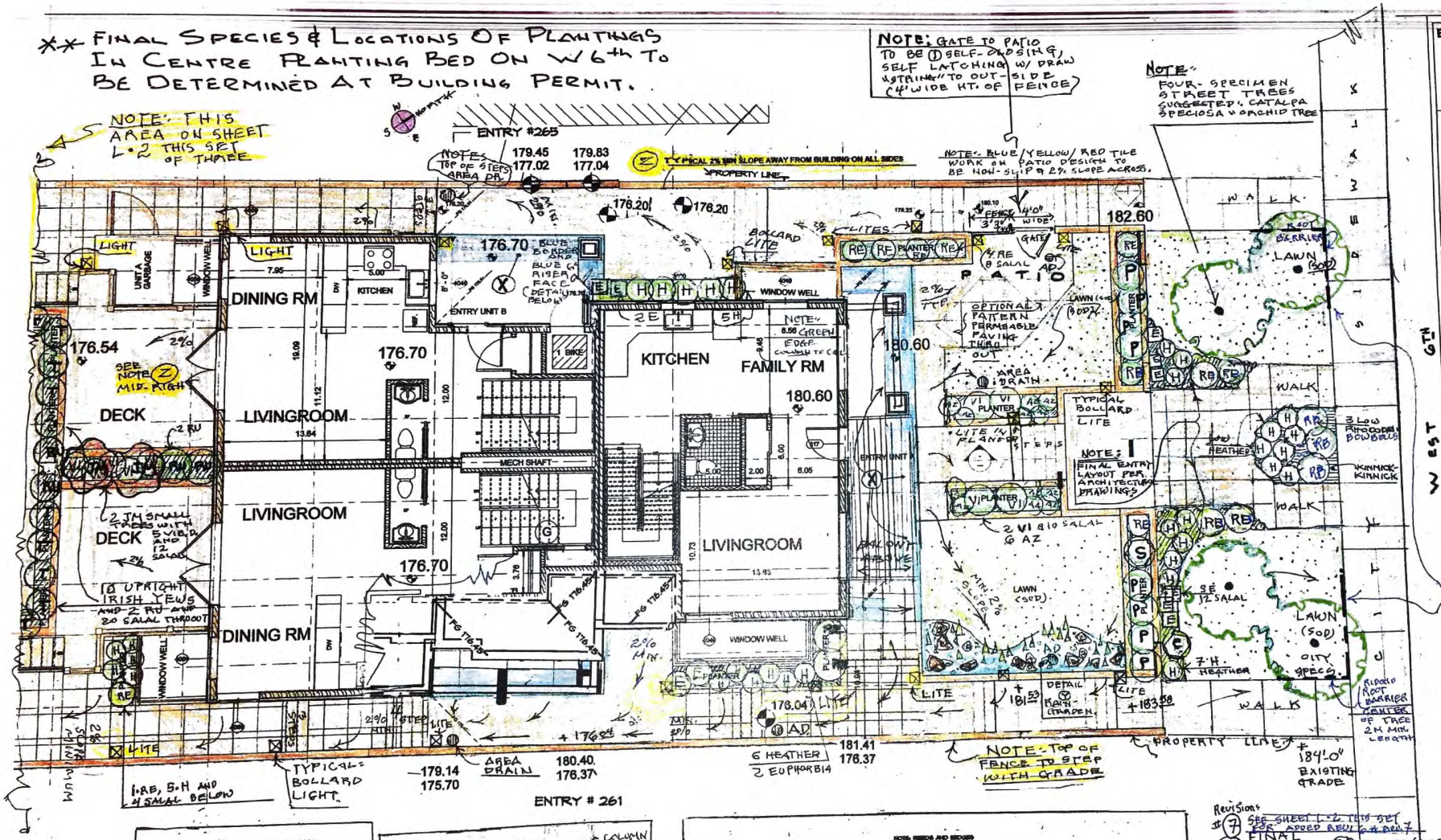
** FINAL SPECIES & LOCATIONS OF PLANTINGS IN CENTRE PLANTING BED ON W 6th TO BE DETERMINED AT BUILDING PERMIT.

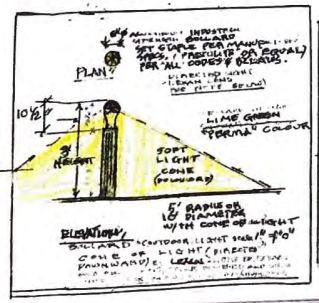
NOTE: THIS AREA ON SHEET L-2 THIS SET OF THREE

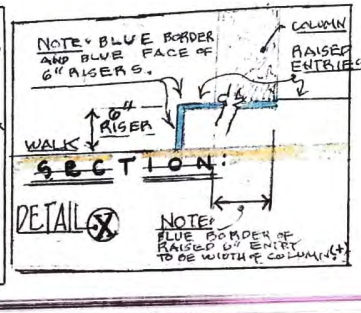
NOTE: GATE TO PATIO TO BE (1) SELF-CLOSING, SELF LATCHING W/ DRAW STRING TO OUT-SIDE (4" WIDE HT. OF FENCE)

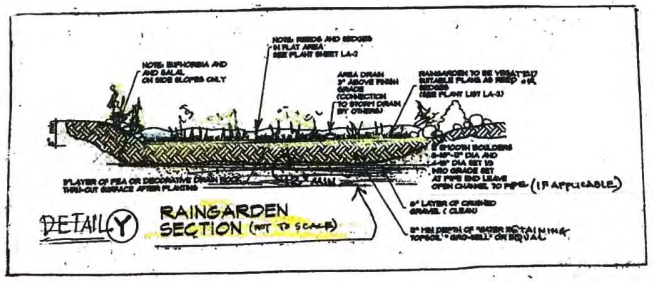
NOTE: FOUR- SPECIMEN STREET TREES SUGGESTED: CATALPA SPECIOSA NORTHERN CHIP TREE

NOTE: BLUE/YELLOW/RED TILE WORK ON PATIO DESIGN TO BE NON-SLIP & 2% SLOPE ACROSS.









Revisions
#(7) SEE SHEET L-2 THIS SET FOR ADDED REVISION #7
(7A) FINAL REVISION MAY 18th 2021 (7A) DELETE (COMMON) TREE IN ENTRY PLANTER ON CITY PROPERTY
May 26, 2021 May 28, 2021

Jan 5-2018
Received
OCT 15, 2018
Rev. #6

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HARRY HAGGARD LANDSCAPE ARCHITECT
352 BANKS AVE. EAST
PARKSVILLE BC V9P 1K5
CONSULTANT

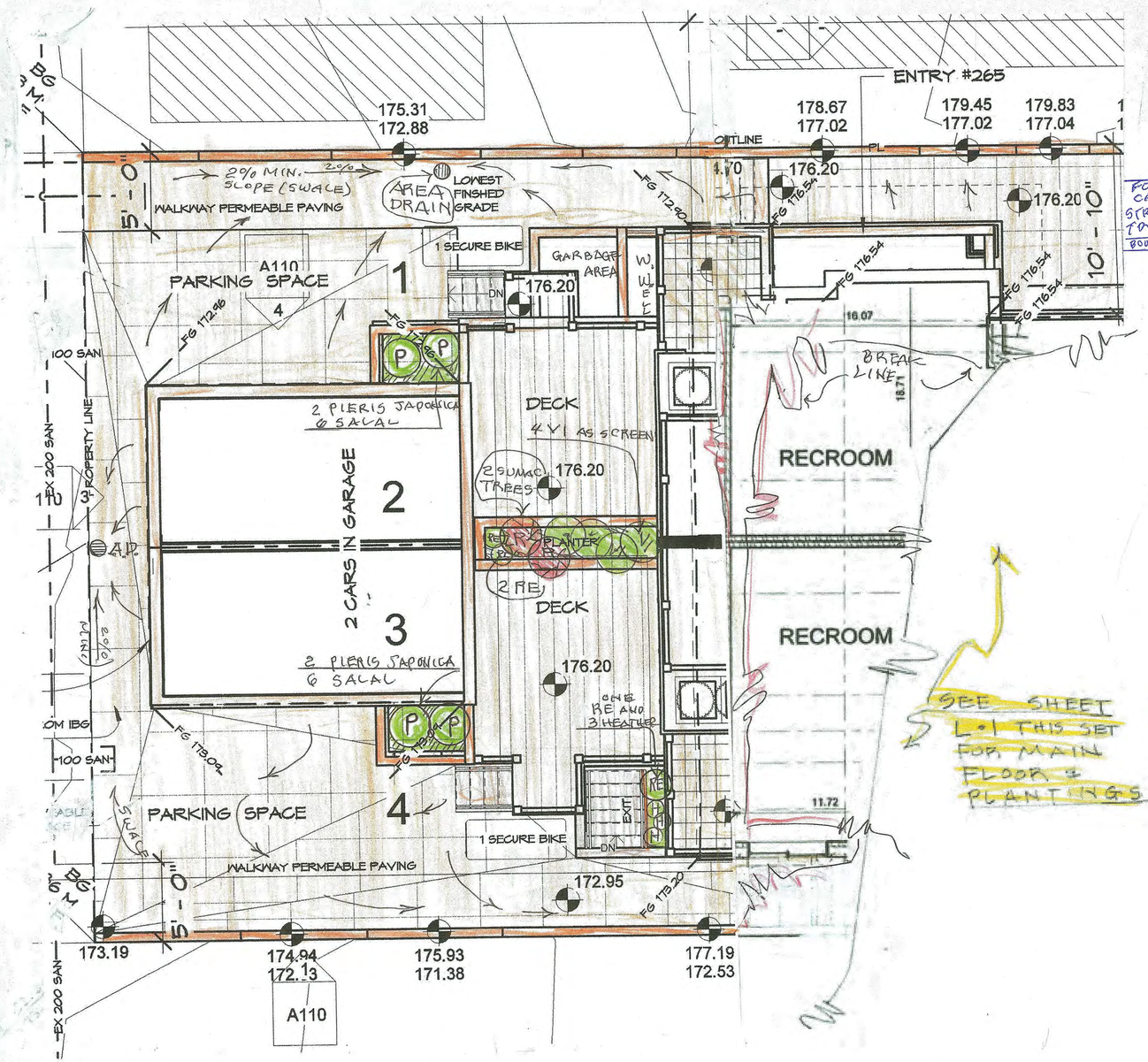
REV. FINAL - MAY 18, 2021
#(7) (a) ADD NOTES TO PLANT LIST AS TO PLANTS OFF SITE 7 AND ON SITE SIX.
(b) ADD 15 SQ. M. OF GRADE A TOPSOIL
(c) BLACK LINES INDICATE MIN. 2M LONG RIGID ROOT BARRIER. (d) SEE PLAN L-2 FOR OTHER PLANT LIST REV.

No.	Description	Date
(1)	LANDSCAPE PLANS (prel)	[illegible]
(2)	Finalized plant count & plan garden sections & cost estimates & schedule	[illegible]
(3)	ADD NEW ENTR. LTG PATTERN AND COLOUR SCHEME TO BE MORE LIVELY	Oct. 19 2020 HLH
(4)	REFINE ENTRY, RE-SCALE, ADD 2017 DETAILS X AND Y	Oct. 22 HLH
(5)	DELETE EXISTING HEDGE IN FRONT YARD AREA CHANGES TO MATCH ARCHITECTS REVISIONS	Sept. 9 2020
(6)	CITY RESPONSE	Jan 28 2021
(7)	FINAL REVISION	May 26 2021

LANDSCAPE PLAN WITH OUTDOOR LITES, GRADING & PLANTING. (PLANT LIST ON SHT L-2)

TRIPLEX
261 W 6TH
MAIN FLOOR LEVELS 2 & 2A

Project number (Rev. 7) SEPT. 9, 2020 (261W6)
Date Jan 5/2018 Rev. Feb/2017 AUG 2 2017
Drawn by HLH / RMR
Checked by HLH KW
Rev. (7) May 18, 21
L-1 OF THREE
Scale 1/4" = 1'-0"



1 Level 1 - PRESENTATION
1/4" = 1'-0"

SEE SHEET L-1 THIS SET FOR MAIN FLOOR & PLANTINGS

Revision #6 Sept 9, 2020

LANDSCAPING ITEMS

NOTE #1 - SAID QUANTITY TO BE VARIFIED PRIOR TO LANDSCAPE CONTRACTOR'S BIDS ARE ASKED FOR.

(PLANT LIST)

ITEM	SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	COND	SPACING
TREES		4	CATALPA SPECIOSA (CACHE)	TREE	PLUS 8 cm Ø	B&B	20'-25'
		2	ACER PALMATUM ATROPURPUREA	BLOODGOOD MAPLE	5 cm	B&B	
	D	2	CORNUS EDIE'S WHITE WONDER	WHITE WONDER DOGWOOD	BCH 5 cm	B&B	RANDOM
		4	RHUS TYPHINA	STAGHORN SUMAC	#3 cont.		
	E	2	SEQUOIA "Nandula"	DWARF VARIETY #7.	cont.		RANDOM
	A	4	AUCUBA "WHITE SPOTS" JAPONICA	- 4'-5' tall B&B			PLAZA
SHRUBS	VR	2	VIBURNUM TINUS	LAURUSTINUS	#3 (THREE) CONTAINER		4' OC
	RE	8	RHODODENDRON ELIZABETH	RED FLOWER	#3 " CONTAINER		3'OC
	RU	2	RHODODENDRON UNIQUE	CREAM FLOWER	#3 (FIVE) CONTAINER		3.5'-4' OC
	RB	SEVEN	RHOD. BOWBELLS	BOWBELLS PINK	#3	cont.	2'0"oc
	T	18	TAXUS BICATA "BERACTA"	UPRIGHT YEW	#5 CONTAINER		
TOTAL 18	P	12/6	PIERIS JAPONICA	LILY OF THE VALLEY BUS	#3 (THREE) CONT.	4'-5' tall B&B	3'-6' TO 4'-0"
GROUND COVER		6	AZALEA ROSE DE GIARD		#2 (TWO) CONTAINER	4'-5' tall B&B	3'-2.5' OC
	V	12	VIBURNUM DAVIDII		#3 (THREE) CONTAINER		
RAIN GARDEN	E	16	EUPHORBIA MARGINATA		#2 (TWO) CONTAINER	6" AT EACH	RAIN GARDEN 18" OC
		30	ARUNDO SPECIES	REEDS	#1 (ONE) CONTAINER	15 AT EACH	
	H	20	ERICA CARNEA	KING GEORGE HEATHERS	#1 (FIVE) CONTAINER		18" OC
		62	GAULTHERIA SHALLON	SALAL	#1 CONTAINER		18" OC

FOUR CATALPA STREET TREES BOULEVARD

REV #6

REV #6

SEE SECTION DETAIL ON SHT L-1 THIS SET.

REV #7 May 18, 2021

PLANT COUNT VARIFICATION (ONSITE AND OFF SITE
ONSITE: 2 BLOOD GOOD MAPLES, 2 STAGHORN SUMAC, 2 DWARF SEQUOIA
OFF SITE: 4 CATALPA SPECIOSA, 2 STAGHORN SUMAC
~~ARBORVITAE DWARF SEQUOIA~~ SIZE, CONT., ETC. IN PLANT LIST SHOWN ABOVE

7A May 26, 2021 - Delete conifer on city Property at Entry HLH

(DELETE) WRITTEN SPECIFICATIONS

1. All work, installation, materials etc. to be per B.C.S.L.A. and B.C.N.T.A. standards and specifications.
2. Add good friable topsoil (maximum 4% clay and maximum 4% peat / sand) to depths as listed: lawn 6", groundcover 12", shrubs 18", and trees 24" to 36"
3. All trees and shrubs on mound slope to have a 6" high earth watering dish.
4. Positive drainage throughout site to be provided by Landscape Contractor after planting and lawn installation (all existing trees left at natural grade with positive drainage.
5. After all planting add minimum 2" fir bark mulch (salt free) throughout and road finish grades.
6. Fir bark mulch finish grades throughout to be 1" below top of asphalt and road finish grades.
7. Plant inspections upon request by Landscape Contractor to include as a minimum of three to be:
   (a) Plant inspection at time of plant arrival.
   (b) Interim site inspections.
   (c) Final site inspection after last plant in place and fir bark mulch in place.
8. One year guarantee to begin after last plant in place and the final inspection has been carried out and reported by letter to this office.
9. A thirty (30) day maintenance of plants to include pruning, watering etc. Said 30-day maintenance to begin after item 7-C above.
10. The written specifications (8 1/2" x 12") form an integral part of these drawings.
11. All dimensions, locations, grades, etc. are approximate and are to be verified on site prior to bidding by the respective contractors.
12. The greater number of plant quantities whether on the plan or the plant listis the number for which the Landscape Contractor is responsible for.

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED MEMBER HARRY LEE HAGGARD 042

MAY 18. 2021

HARRY LEE HAGGARD 042

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No.	Description	Date
1	PRELIMINARY PLAN	Dec. 10 2017
2.	FINAL W/ PLANT COUNT, SPECS, ETC.	JAN. 5-2018
3.	REVISIONS ON SHEET L-1 THIS SET FOR APPLICATIONS. HLH	JAN 29 2019
4.	SEE L-1 -	Oct 22-2018
5	SEE L-1, THIS SET OF 3	Sept 9, 2020
6	SEE SHT L-1 THIS SET	Jan 28 2021
7	" "	MAY (18) 2021
7-A	Delete conifer at entry on city property one Sig.	May 26-2021

TRIPLEX
261 W 6TH
BASEMENT LEVELS
(1A-1B) PLANTING
PLAN & SITE PLANTING

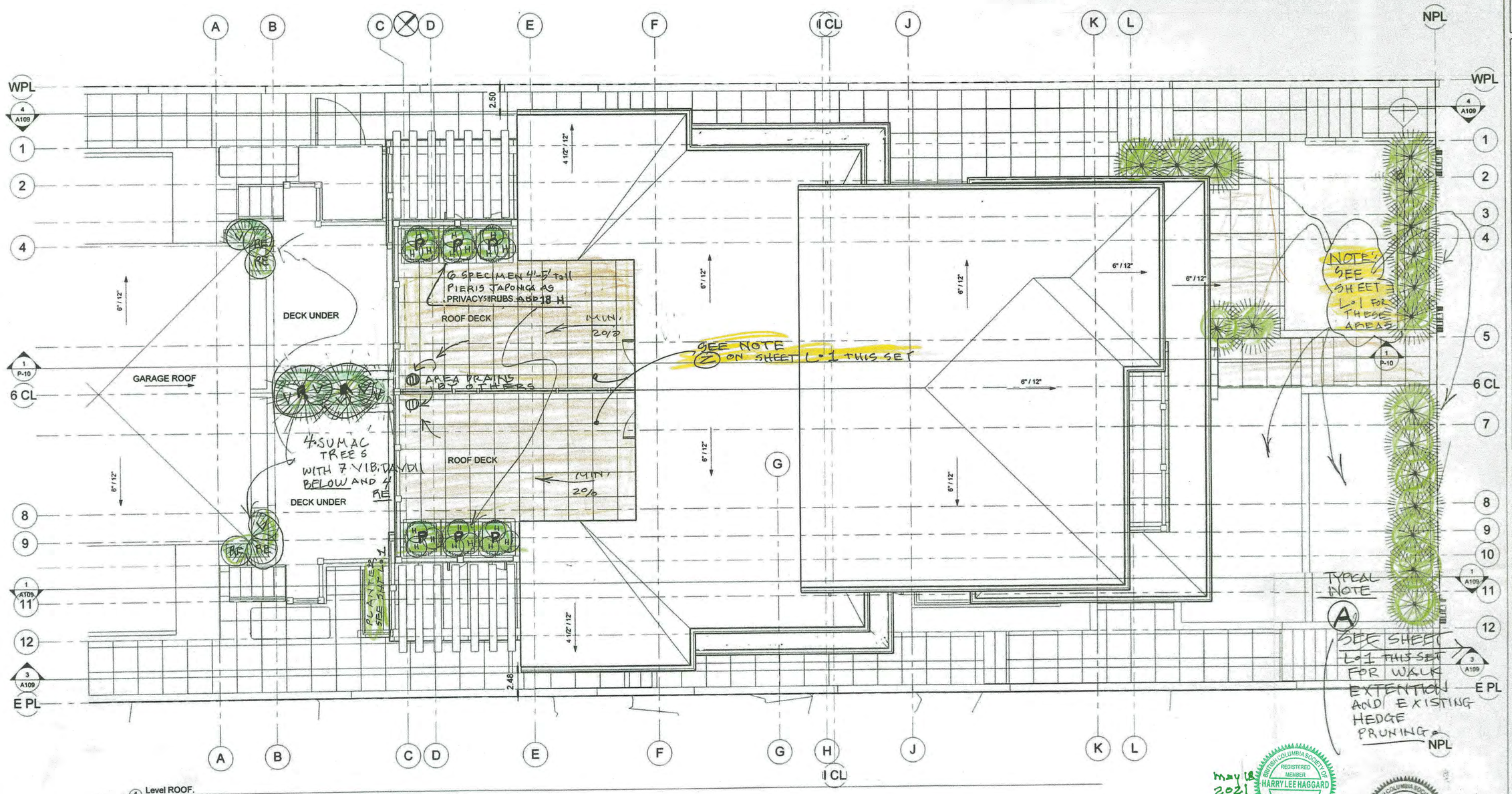
Project number	Rev #5 / Sept 9 2020 261W6
Date	Plant List Dec. 11 / AUG 2-2017
Drawn by	Jan 9-2018 / HLH / RMR
Checked by	HLH / KW

REV #7 May 18, 2021 **L-2** OF THREE

Scale 1/4" = 1'-0"

Rev #5 Sept 9 2020 HLH

11/26/2017 3:46:40 PM



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No.	Description	Date
1	FINAL PLAN TO DATE W/ PLANT COUNT, COST ESTIMATE AND GL SCHEDULE.	Jan. 9, 2018
2		
3	REVISIONS only on Sheet L-1 this set (SEE NOTE (A))	Jan 29 2018
4	see sht L-1 this set	
5	see sht L-1 this set of 3.	Sept 9, 2020
6	SEE SHT L-1 FOR REVISIONS	May 18, 2021
7		

TRIPLEX
261 W 6TH
ROOF PLAN (PLANTING)

Rev. #5 Sept 9, 2020

Project number	261W6
Date	~~FINAL Jan. 2018~~ Dec. 14/17 ~~AUG 2 2017~~
Drawn by	HLH / RMR
Checked by	HLH / KW
Scale	1/4" = 1'-0"

Rev. #7 May 18 2021

L-3 OF THREE

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
HARRY LEE HAGGARD
042

May 18 2021
signed

Rev #1/2 Jan 9, 2018

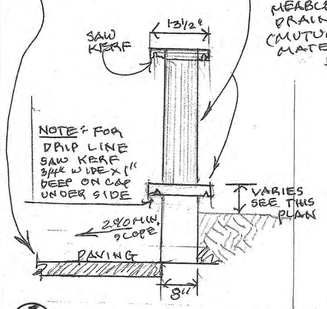
Jan. 5, 2018

Rev #3 - Jan 29-2018

NOTE: WALLS PER CONSTRUCTION AND COLOUR OF ARCHITECTURAL WALL DESIGN.

AND

PAVING 18"x18" COLUMBIA SLATE PATIO STONES IN SUMMIT BLEND (PERMEABLE 1/2" DRAIN JOINTS. (MUTUAL MATERIALS OR EQUAL)

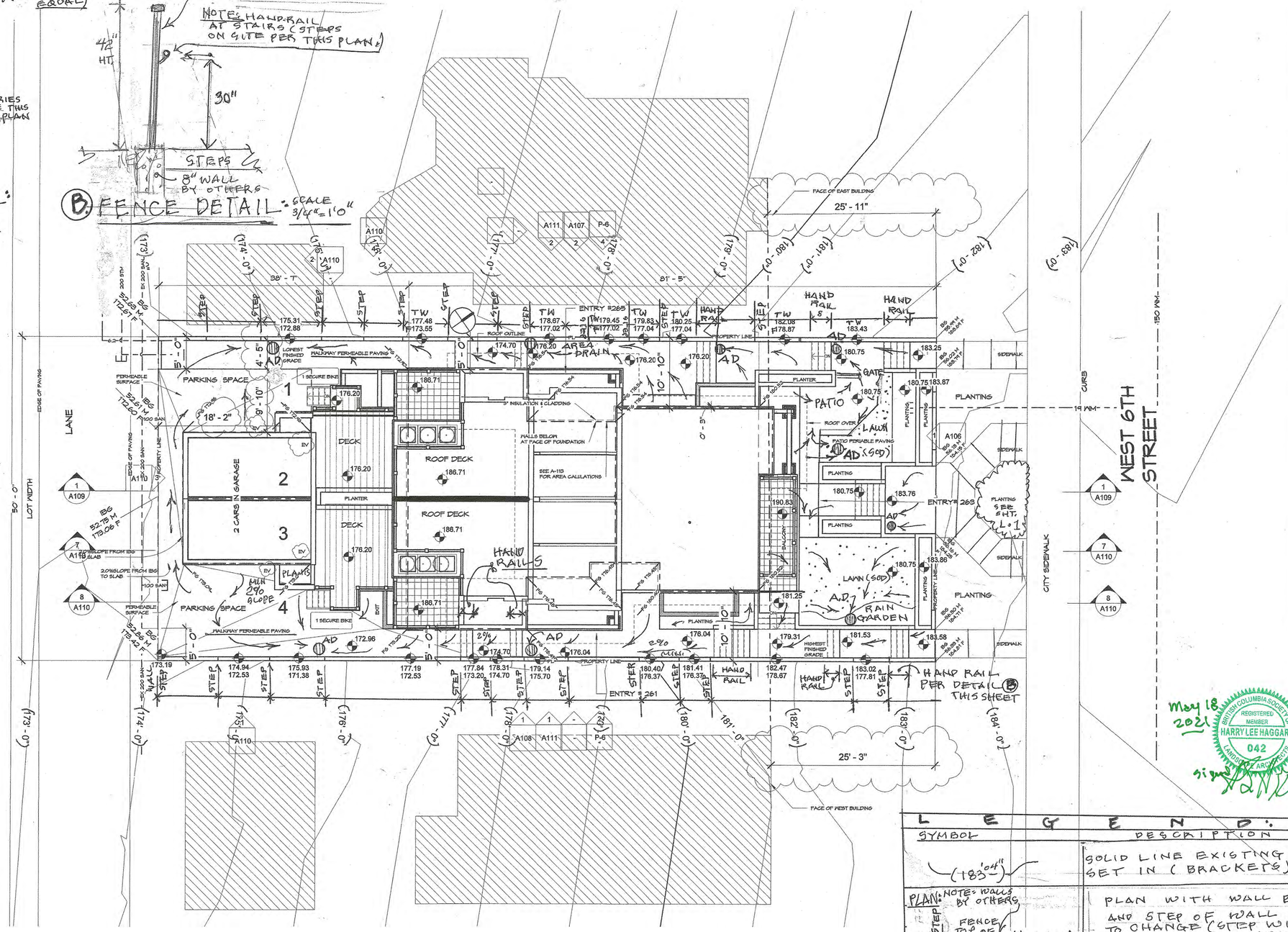


A. WALL DETAIL: SCALE 3/4" = 1'0" (SECTION)

NOTE: ~~PANEL TO GRADE~~

NOTE: HAND-RAIL AT STAIRS (STEPS ON SITE PER THIS PLAN.)

B. FENCE DETAIL: SCALE 3/4" = 1'0"



LEGEND:	
SYMBOL	DESCRIPTION
(183'04")	SOLID LINE EXISTING GRADE SET IN (BRACKETS)
PLAN: NOTE: WALLS BY OTHERS; STEP; FENCE TOP OF WALL (See detail A and B); PROP. LINE	PLAN WITH WALL BY OTHERS AND STEP OF WALL AND FENCE TO CHANGE (STEP WITH NATURAL GRADE) - SHOWN ABOVE
LAWN (SOD)	LAWN (SOD) WITH MINIMUM 2% SLOPE
A.D. (connection by others)	AREA DRAIN (AT LOW POINTS AND GENERALLY TOP OF STAIRS)
RAIN GARDEN	RECYCLE SITE WATER (SURFACE WATER)
HAND RAIL; STEPS; WALK	HAND-RAIL AT ALL SITE STEPS BY OTHERS. PAVING BY MUTUAL MATERIALS 18"x18" PERMEABLE JOINTS COLOUR TO COMPLIMENT ARCH. COLORS

1 Site 1/8" = 1'-0"

LANSCAPE. GRADING. PLAN:

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No.	Description	Date
1	Revision 1	Date 1
2	(SEE REVISION-1	
3	2, 3, 4, 5 ON SHT.	
4	5, L1 TO L13.	SEPT. 15 2020
#6.	ADD THIS SHEET TO SET OF 5 GRADING TO LANDSCAPE & FENCE/GATE & WALL WITH CAP DETAIL	
7	See sht. L-1)	May 18 2021

May 18 2021

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS — REGISTERED MEMBER — HARRY LEE HAGGARD — 042

signature

TRIPLEX
261 W 6TH

GRADING PLAN: (LANDSCAPE)

Project number	261W6
Date	~~Sept. 16, 2020~~ — SEPT 1 2020
Drawn by	~~AGK~~ RMR
Checked by	KW
Rev # 7, May 18-2021	L.4 OF FOUR
Scale	1/8" = 1'-0"

9/3/2020 12:08:45 PM